

SITE DATA - 6609 EDITH ROAD

PROPOSED USAGE: OFFICE/WAREHOUSE
 LOT AREA: 142,473.04 S.F. (3.271 ACRES)
 OFFICE AREA: 6,930 S.F.
 WAREHOUSE AREA: 9,761 S.F.
 GROSS BUILDING AREA: 13,226 S.F.
 CONSTRUCTION TYPE: V-N SPRINKLED

LANDSCAPE CALCULATIONS:

NET LOT AREA 132,731 SF ±
 BUILDING AREA 13,226 SF ±
 LANDSCAPING REQUIRED: 15% OF 119,505 SF
 LANDSCAPE PROVIDED 24,066 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:
 OFFICE AREA: 6,930 GSF / 200 GSF 35 SPACES
 WAREHOUSE AREA: 9,761 GSF / 2000 GSF 5 SPACE
 TOTAL PARKING REQUIRED: 40 SPACES
 TOTAL PARKING PROVIDED: 40 SPACES
 HC PARKING REQUIRED: 3 SPACES
 HC PARKING PROVIDED: 5 SPACES
 BICYCLE RACK REQUIRED: 2 SPACES
 BICYCLE RACK PROVIDED: 6 SPACES

SITE DATA - 6613 EDITH ROAD

PROPOSED USAGE: WAREHOUSE
 LOT AREA: 94,575 S.F. (2.171 ACRES)
 WAREHOUSE AREA: 7,380 S.F.
 CONSTRUCTION TYPE: V-N SPRINKLED

LANDSCAPE CALCULATIONS:

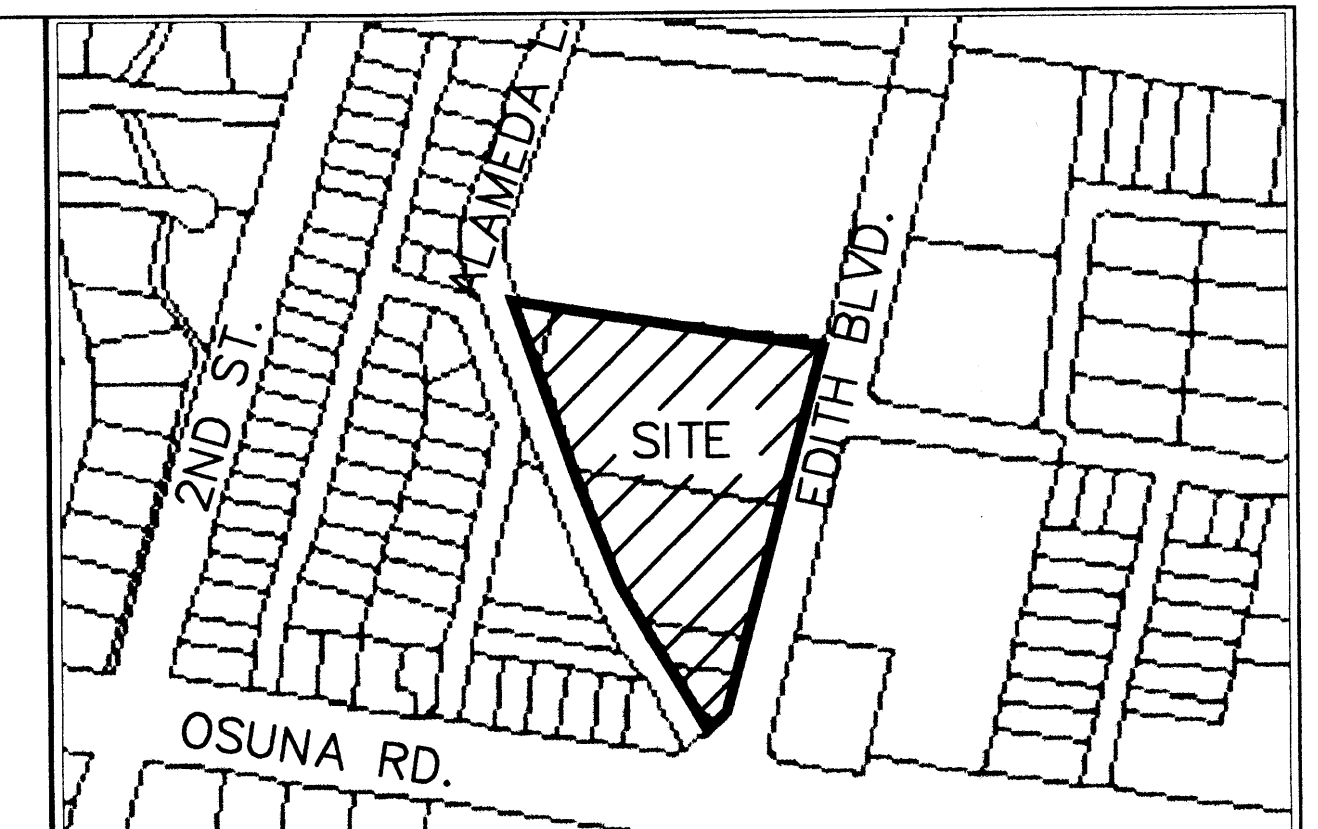
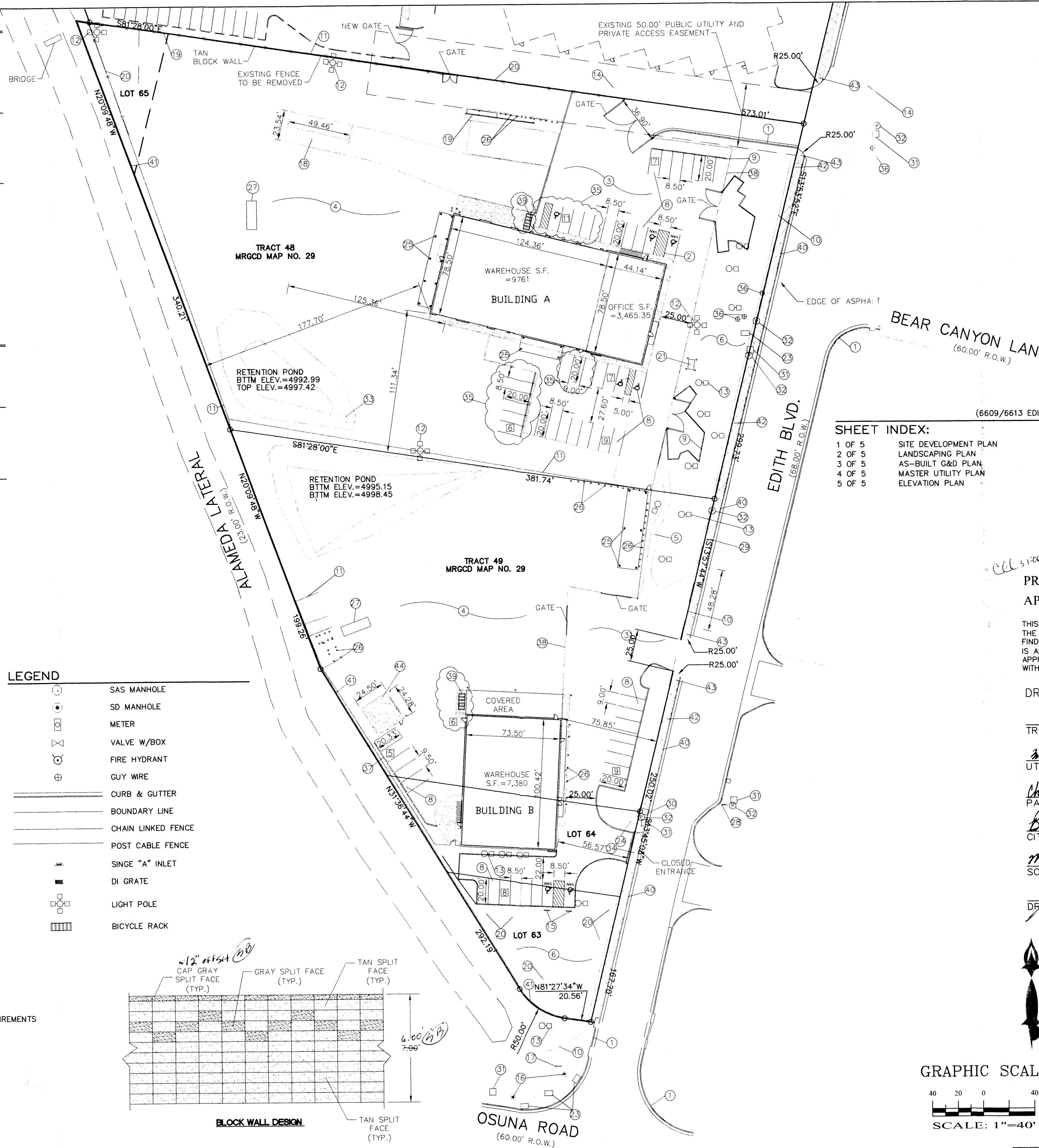
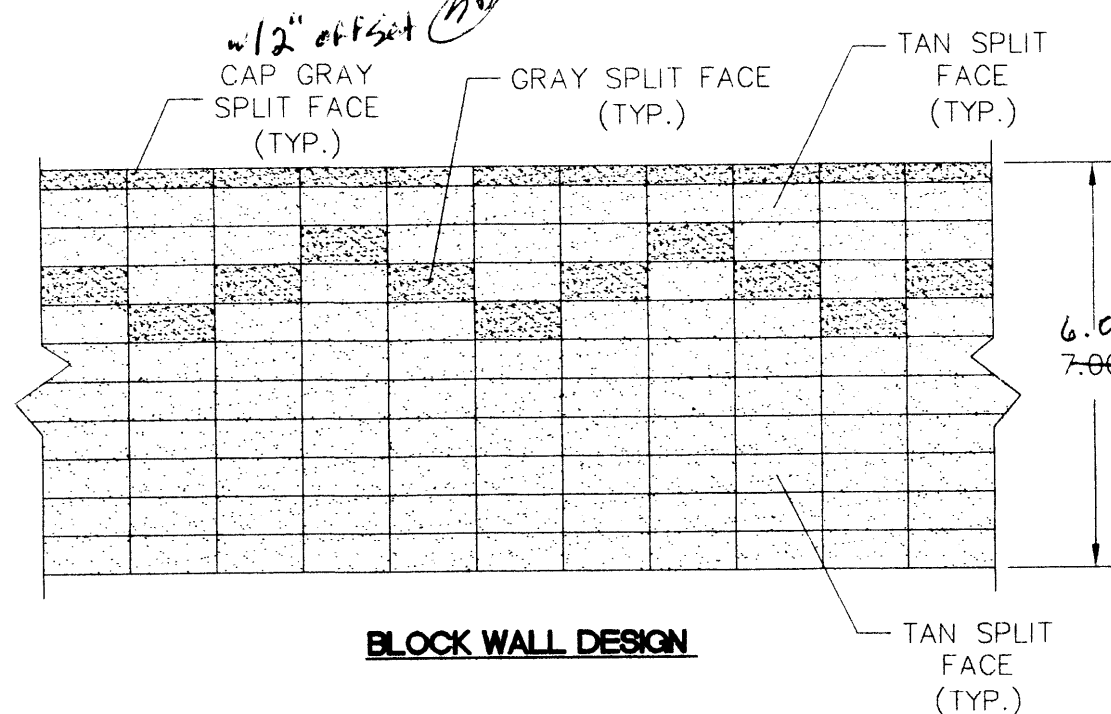
NET LOT AREA 80,850 SF ±
 WAREHOUSE AREA 7,380 SF ±
 LANDSCAPING REQUIRED: 15% OF 73,470 SF
 LANDSCAPE PROVIDED 17,486 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:
 WAREHOUSE AREA: 7,380 GSF / 2000 GSF 4 SPACES
 TOTAL PARKING REQUIRED: 4 SPACES
 TOTAL PARKING PROVIDED: 28 SPACES
 HC PARKING REQUIRED: 1 SPACE
 HC PARKING PROVIDED: 2 SPACES
 BICYCLE RACK REQUIRED: 2 SPACES
 BICYCLE RACK PROVIDED: 6 SPACES

LEGEND

- NOTES (ALL EXISTING): UNLESS OTHERWISE NOTED
- 1. CURB AND GUTTER
- 2. ACCESSIBLE SIDEWALK RAMP
- 3. ASPHALT PAVING AREA
- 4. GRAVEL, EQUIPMENT STORAGE AREA
- 5. 5' ASPHALT SIDEWALK
- 6. LANDSCAPING
- 7. SAND
- 8. PARKING SPACES
- 9. RR TIE
- 10. POST CABLE FENCE
- 11. 6" HIGH CHAIN LINKED FENCE
- 12. LIGHT POLE TYP
- 13. 6" GROUND LIGHT TYP
- 14. EDGE OF ASPHALT
- 15. VAN ACCESSIBLE SIGN
- 16. STOP LIGHT
- 17. TRAFFIC SIGN
- 18. CONCRETE LOAD DOCK
- 19. FUEL STATION
- 20. CONTROL VALVES
- 21. TRANSFORMER
- 22. ELECTRICAL PANEL
- 23. ELECTRICAL BOX
- 24. EDGE OF GRASS
- 25. CANAPANY POST
- 26. BOLLARD
- 27. ROLLABLE TRASH CONTAINERS
- 28. SPEED LIMIT SIGN
- 29. STOP LIGHT SIGN
- 30. MAILBOX
- 31. TELEPHONE BOX
- 32. POWER POLE
- 33. CONCRETE RUNDOWN
- 34. CLOSED DRIVEWAY, NOT TO BE USED
- 35. PROPOSED NEW PARKING SPACE TO COMPLY W/ PARKING REQUIREMENTS
- 36. GUY WIRE
- 37. CONCRETE BUMPER TYP
- 38. 6" CHAIN LINK FENCE W/ SLATS AND BARBED WIRE
- 39. PROPOSED BICYCLE RACK
- 40. NEW STANDARD CURB PER CITY STD. DWG. # 2415A (1/4")
- 41. CLOSED BLOCK WALL SEE DETAIL THIS SHEET
- 42. NEW 6" SIDEWALK PER CITY STANDARD DWG. 2430 (1/4")
- 43. NEW UNIDIRECTIONAL RAMP PER COA DWG. 2440 (1/4")
- 44. CONCRETE PAD



VICINITY MAP: E-15-Z

LEGAL DESCRIPTION:
 TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION, CONTAINING 237,023.03 S.F. (5.4413 AC.)

- GENERAL NOTES:**
- CURRENT ZONING IS SU-1 FOR IP USES PLUS INDOOR SALES AND SERVICE OF IRRIGATION EQUIPMENT. SALES AND SERVICE OF OPERATIVE CONTRACTORS EQUIPMENT.
 - NO AMPLIFIED SOUND SHALL BE ALLOWED. THERE SHALL BE NO OUTDOOR SPEAKER SYSTEM OR PUBLIC ADDRESS (PA) SYSTEM
 - ALL STORAGE AREAS AND OUTSIDE WORK AREAS SHALL BE ADEQUATELY SCREENED FROM OFF-SITE VIEW.
 - LIGHTING ON THE SUBJECT SITE MUST COMPLY WITH ZONING CODE 14-16-3-9, AREA LIGHTING REGULATIONS.
 - IRRIGATION EQUIPMENT AND CONTRACTORS' EQUIPMENT SHALL NOT BE STORED OUTSIDE IN PILES ON THE LOADING DOCKS OR ANYWHERE OUTSIDE ON THE SUBJECT SITE.
 - ALL POLE MOUNTED LIGHTS SHALL BE NO HIGHER THAN 20 FEET FROM GRADE TO TOP AND NO HIGHER THAN 16 FEET WITHIN 100 FEET OF A RESIDENTIAL ZONE. NO LIGHTING WITHIN 100 FEET OF A RESIDENTIAL ZONE WILL BE HIGHER THAN 16 FEET. ALL POLE MOUNTED AND BUILDING MOUNTED LIGHTS SHALL BE FULLY SHIELDED TO PROHIBIT FUGITIVE LIGHT SPILLAGE ONTO SURROUNDING RESIDENTIAL PROPERTIES AND PUBLIC RIGHT OF WAY.
 - THE SITE SHALL MAINTAIN A CLEAN AND CONTAINED DUMPSTER.
 - ALL WORK IN THE ROW WILL BE DONE UNDER WORK ORDER.

SHEET INDEX:

- 1 OF 5 SITE DEVELOPMENT PLAN
- 2 OF 5 LANDSCAPING PLAN
- 3 OF 5 AS-BUILT G&D PLAN
- 4 OF 5 MASTER UTILITY PLAN
- 5 OF 5 ELEVATION PLAN

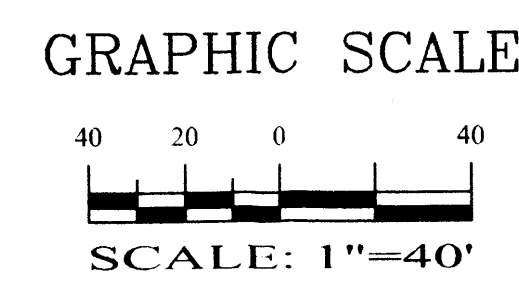
PROJECT NUMBER: 1004367
 APPLICATION NUMBER: 06 DRB-00216

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	5-1-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	3/1/06
UTILITIES DEVELOPMENT	DATE
<i>[Signature]</i>	3/1/06
CHRISTINA SANDORAL PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	11/15/10
BRADLEY J. BINGHAM CITY ENGINEER	DATE
<i>[Signature]</i>	3/1/06
MICHAEL HOLTEN (existing) SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	11/15/10
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

ADVANCED ENGINEERING and CONSULTING, LLC
 4416 ANAHEIM AVE. NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505) 899-5570



6609 and 6613 EDITH BLVD.
 SITE DEVELOPMENT PLAN

DRAWING: 200458-ST.DWG	DRAWN BY: SHH	DATE: 08-29-05	SHEET # 1 OF 5
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1004367

SITE DATA – 6609 EDITH ROAD

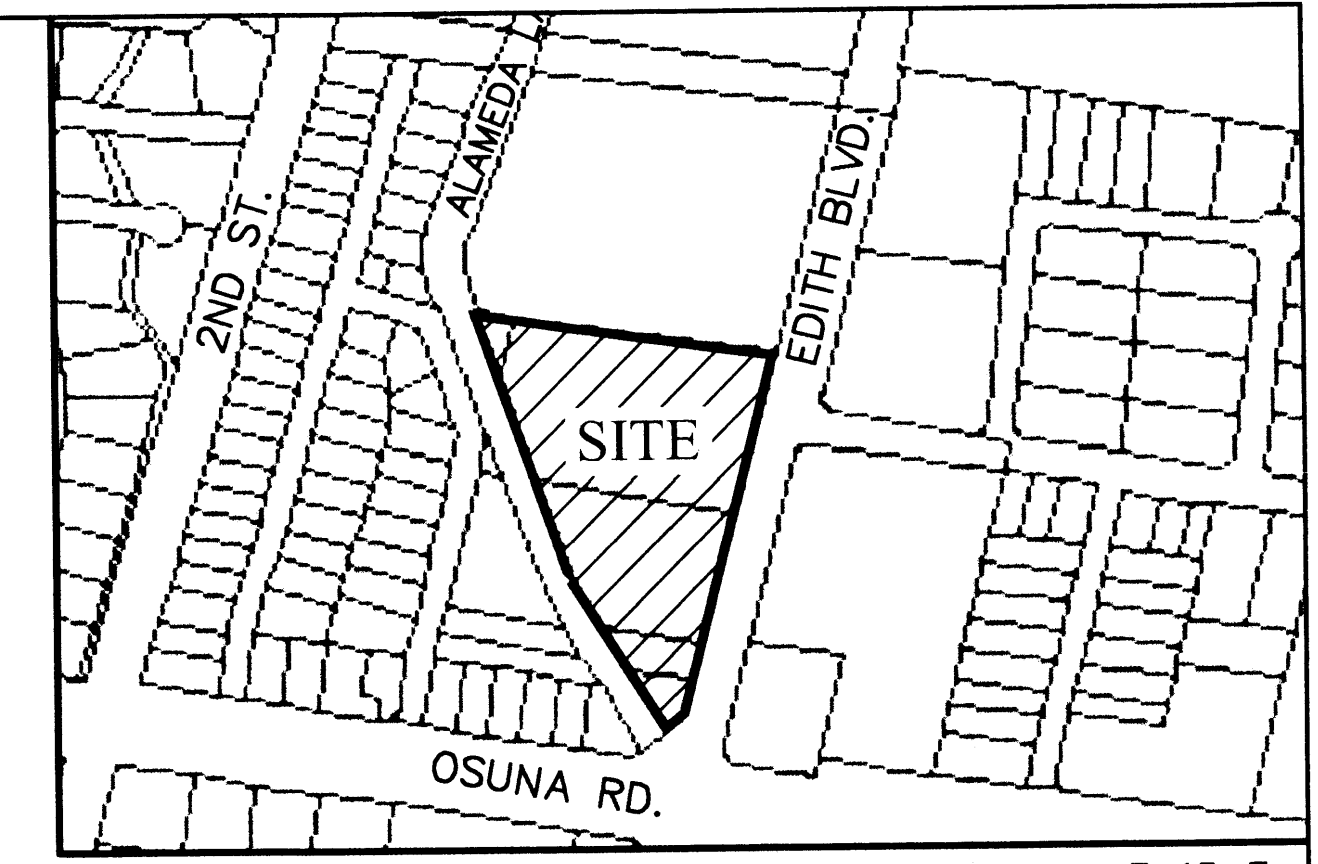
LANDSCAPE CALCULATIONS:

NET LOT AREA	132,731 SF ±
BUILDING AREA	13,226 SF ±
LANDSCAPING REQUIRED:	
15% OF 119,505 SF	17,925 SF ±
LANDSCAPE PROVIDED	24,066 SF ±

SITE DATA – 6613 EDITH ROAD

LANDSCAPE CALCULATIONS:

NET LOT AREA	80,850 SF ±
WAREHOUSE AREA	7,380 SF ±
LANDSCAPING REQUIRED:	
15% OF 73,470 SF	11,020 SF ±
LANDSCAPE PROVIDED	17,486 SF ±

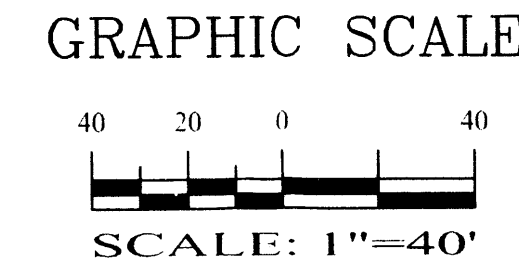


VICINITY MAP: E-15-Z

LEGAL DESCRIPTION:
TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION, CONTAINING 237,023.03 S.F. (5.4413 AC.)

LEGEND

- SAS MANHOLE
- SD MANHOLE
- METER
- VALVE W/BOX
- FIRE HYDRANT
- GUY WIRE
- CURB & GUTTER
- BOUNDARY LINE
- CHAIN LINKED FENCE
- POST CABLE FENCE
- SINGE "A" INLET
- DI GRATE
- TREE
- PALM YUCCA
- MEDIUM SHRUB, ORNAMENTAL GRASS
- LOW SHRUB, GROUND COVER
- EVERGREEN HEDGE
- LIGHT POLE

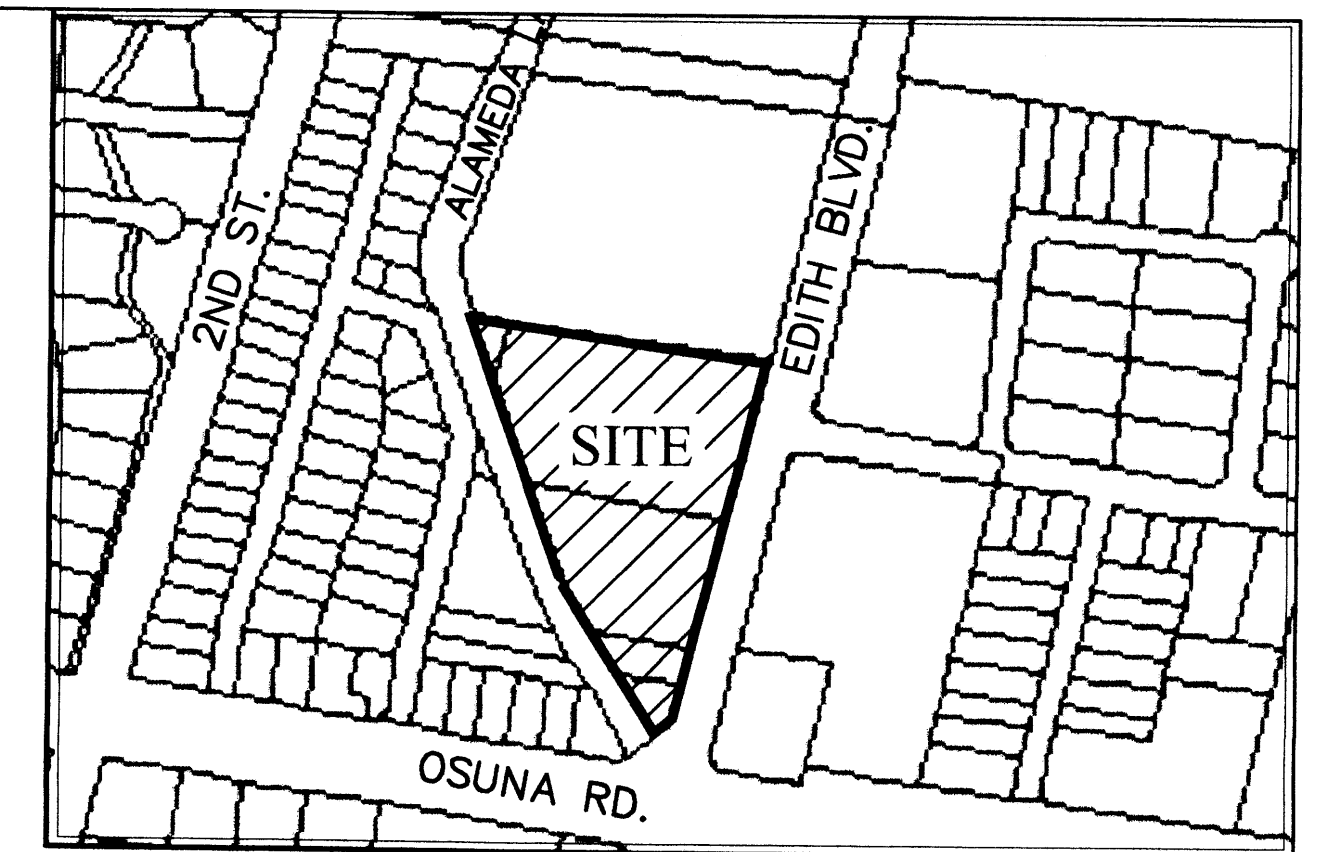


SHAHAB BIAZAR
P.E. #13479



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6609 and 6613 EDITH BLVD. AS-BUILT LANDSCAPING PLAN			
DRAWING: 200458-ST-DP.DWG	DRAWN BY: SHH	DATE: 08-29-05	SHEET # 2 OF 5



VICINITY MAP: E-15-Z

LEGAL DESCRIPTION:

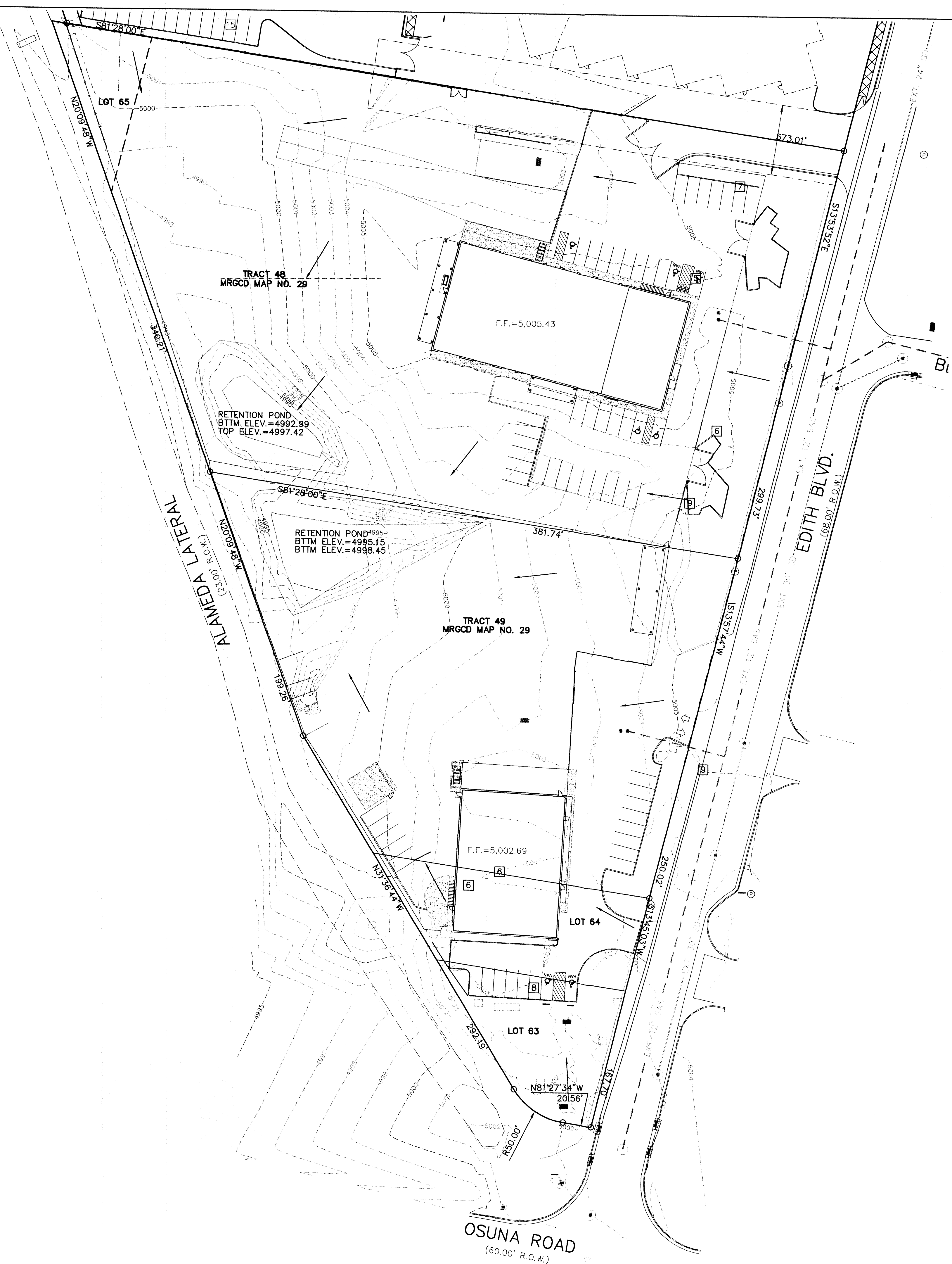
TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION, CONTAINING 237,023.03 S.F. (5.4113 AC.)

GENERAL NOTES:

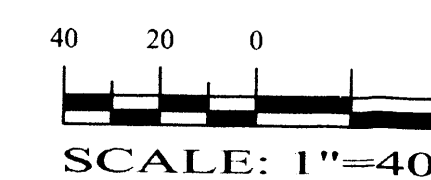
1. CURRENT ZONING IS SU-1 FOR IP USES PLUS INDOOR SALES AND SERVICE OF IRRIGATION EQUIPMENT. SALES AND SERVICE OF OPERATIVE CONTRACTORS EQUIPMENT.

LEGEND

- SAS MANHOLE
- SD MANHOLE
- METER
- VALVE W/BOX
- FIRE HYDRANT
- GUY WIRE
- CURB & GUTTER
- BOUNDARY LINE
- CHAIN LINKED FENCE
- POST CABLE FENCE
- SINGLE "A" INLET
- DI GRATE
- TREE
- PALM YUCCA
- MEDIUM SHRUB, ORNAMENTAL GRASS
- LOW SHRUB, GROUNDCOVER
- EVERGREEN HEDGE
- LIGHT POLE



GRAPHIC SCALE



SHAHAB BIAZAR
P.E. #13479

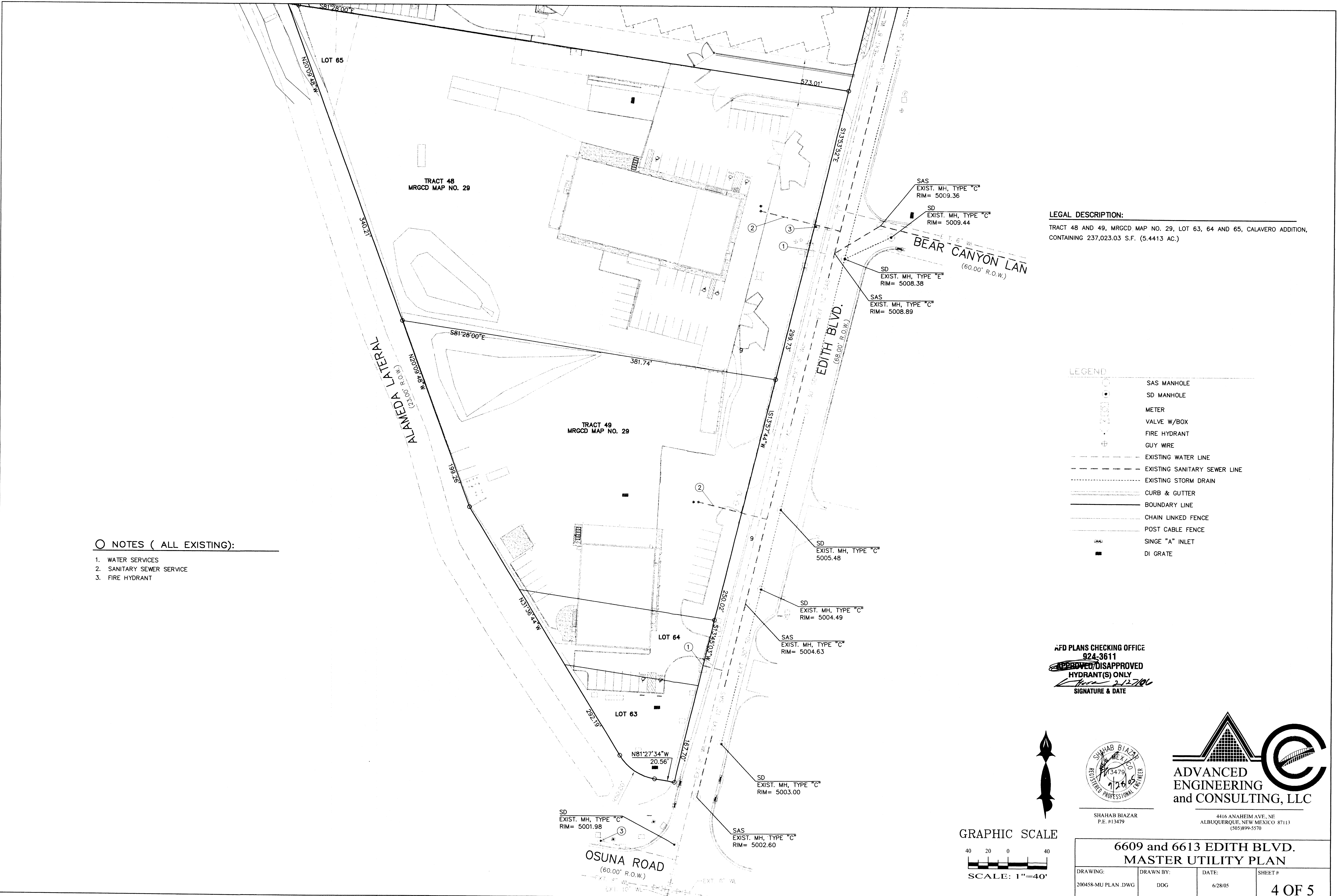


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**6609 and 6613 EDITH BLVD.
AS-BUILT GRADING PLAN**

DRAWING: 200458-ST-DP.DWG	DRAWN BY: JGH	DATE: 08/29/05	SHEET # 3 OF 5
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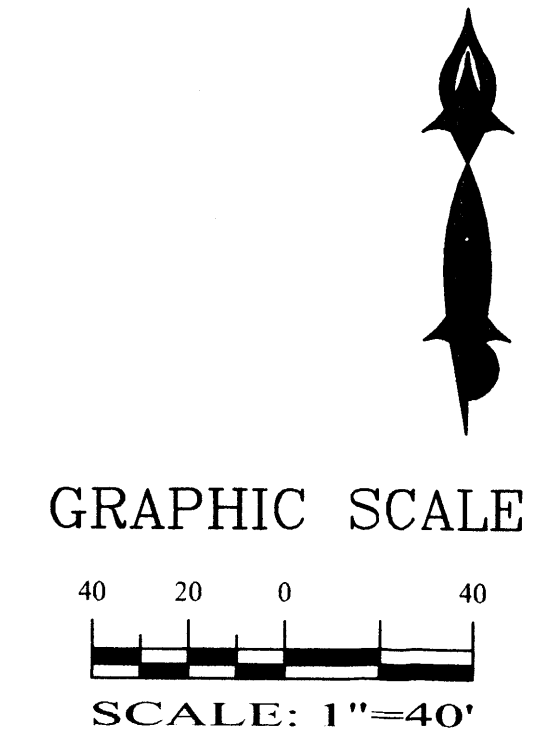
- NOTES (ALL EXISTING):**
1. WATER SERVICES
 2. SANITARY SEWER SERVICE
 3. FIRE HYDRANT

LEGAL DESCRIPTION:
 TRACT 48 AND 49, MRCCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION,
 CONTAINING 237,023.03 S.F. (5.4413 AC.)

LEGEND

	SAS MANHOLE
	SD MANHOLE
	METER
	VALVE W/BOX
	FIRE HYDRANT
	GUY WIRE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN
	CURB & GUTTER
	BOUNDARY LINE
	CHAIN LINKED FENCE
	POST CABLE FENCE
	SINGE "A" INLET
	DI GRATE

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 Signature & Date

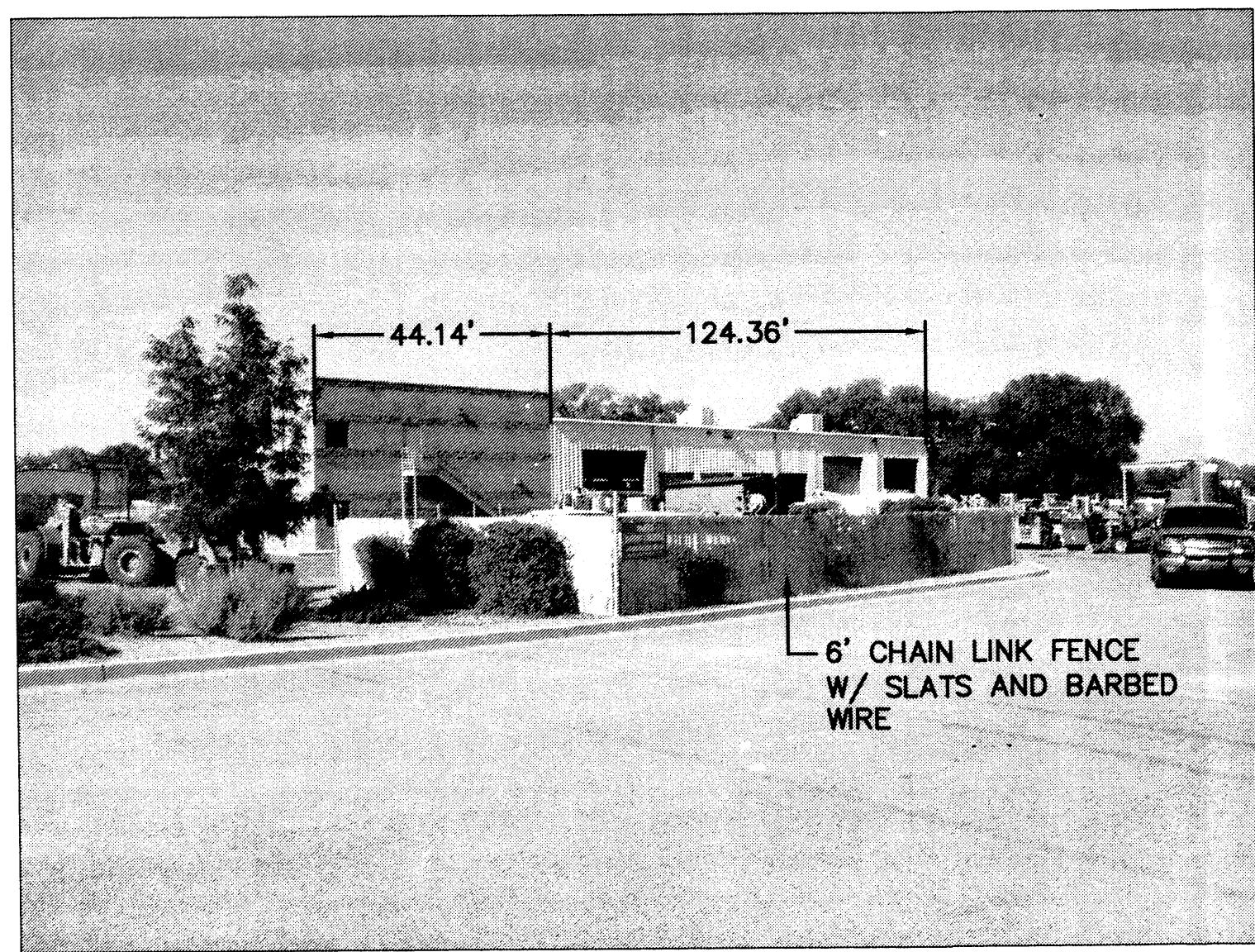


SHAHAB BLAZAR
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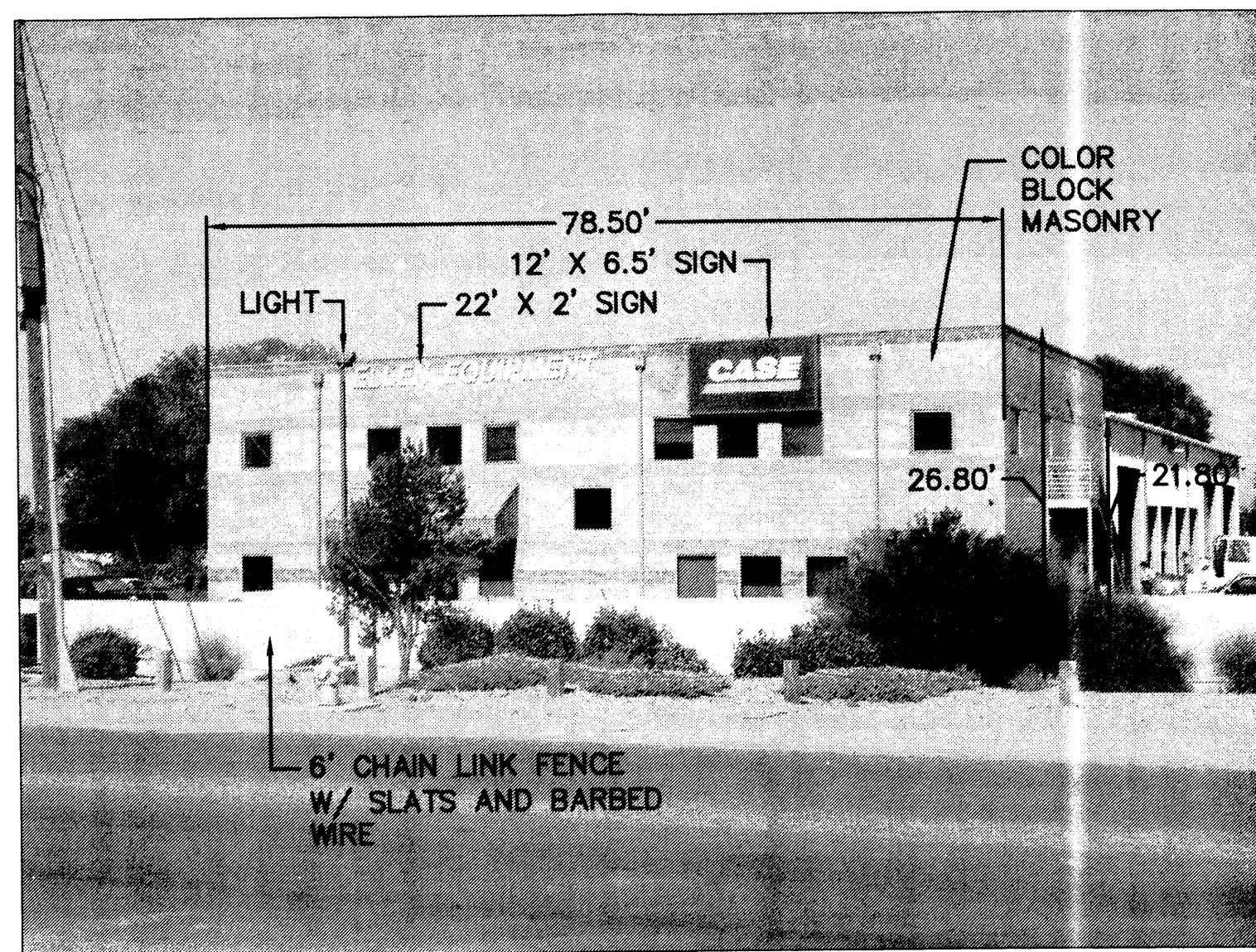
6609 and 6613 EDITH BLVD. MASTER UTILITY PLAN			
DRAWING: 200458-MU PLAN.DWG	DRAWN BY: DDG	DATE: 6/28/05	SHEET # 4 OF 5



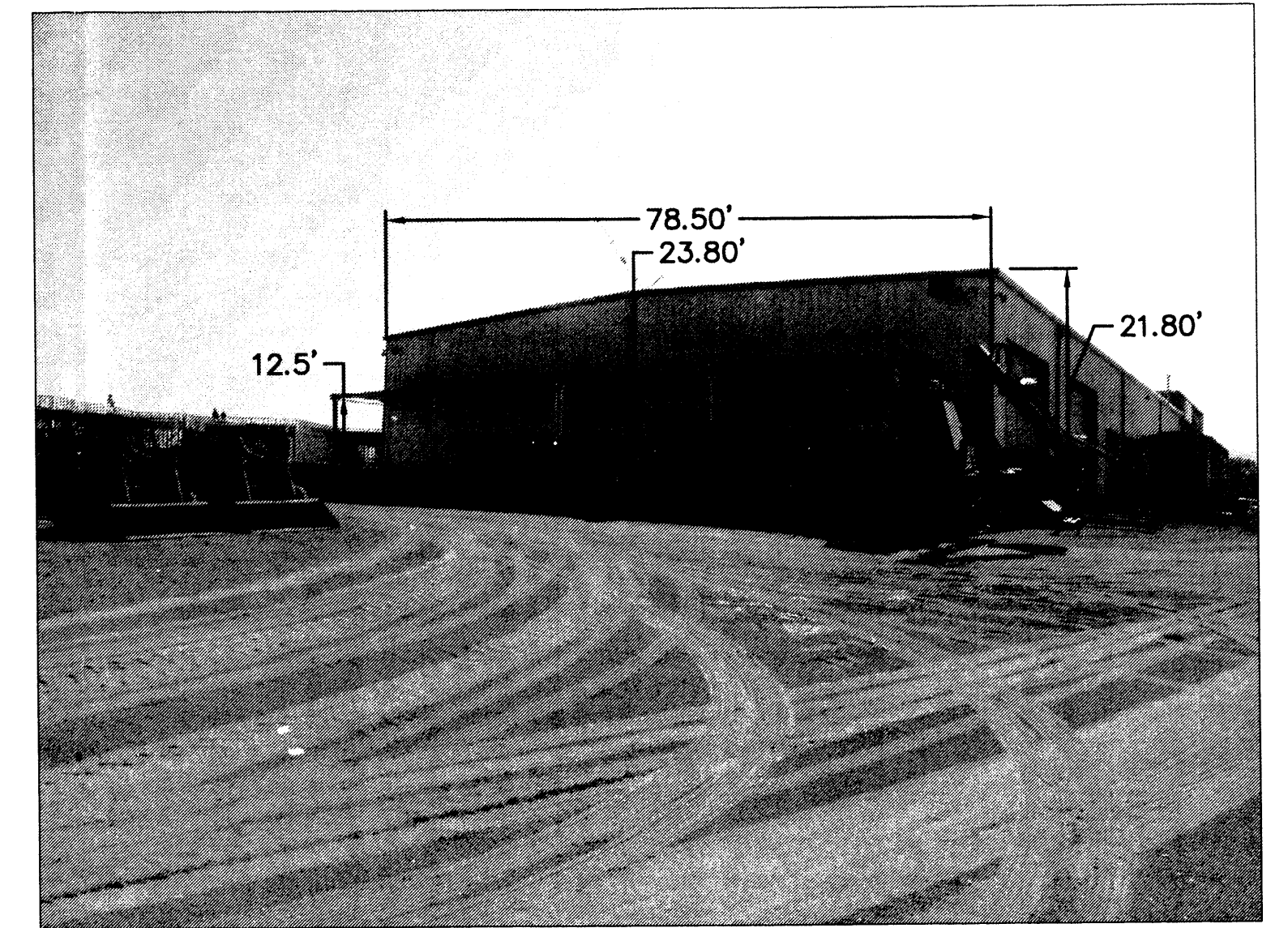
BUILDING A (NORTH ELEVATION)



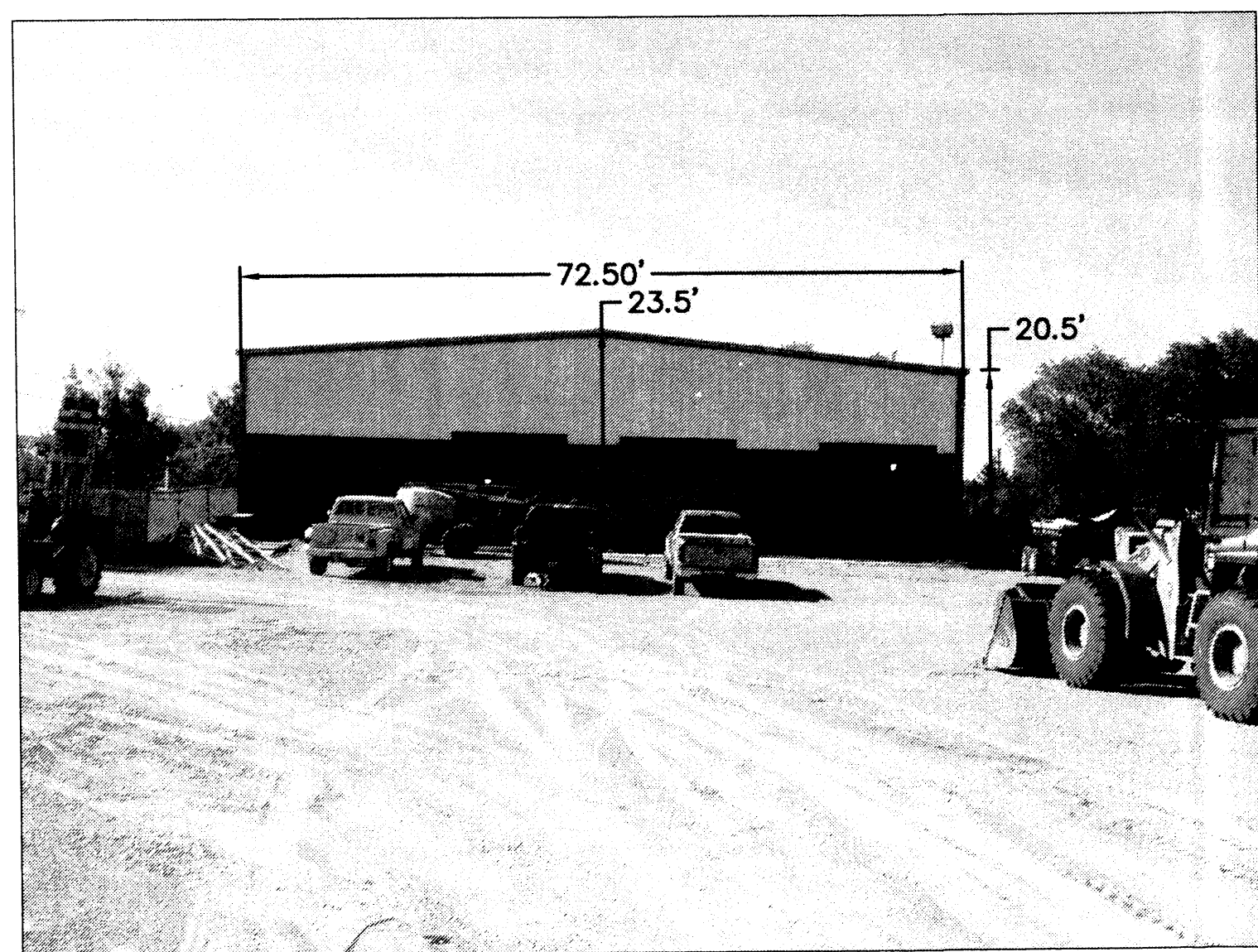
BUILDING A (SOUTH ELEVATION)



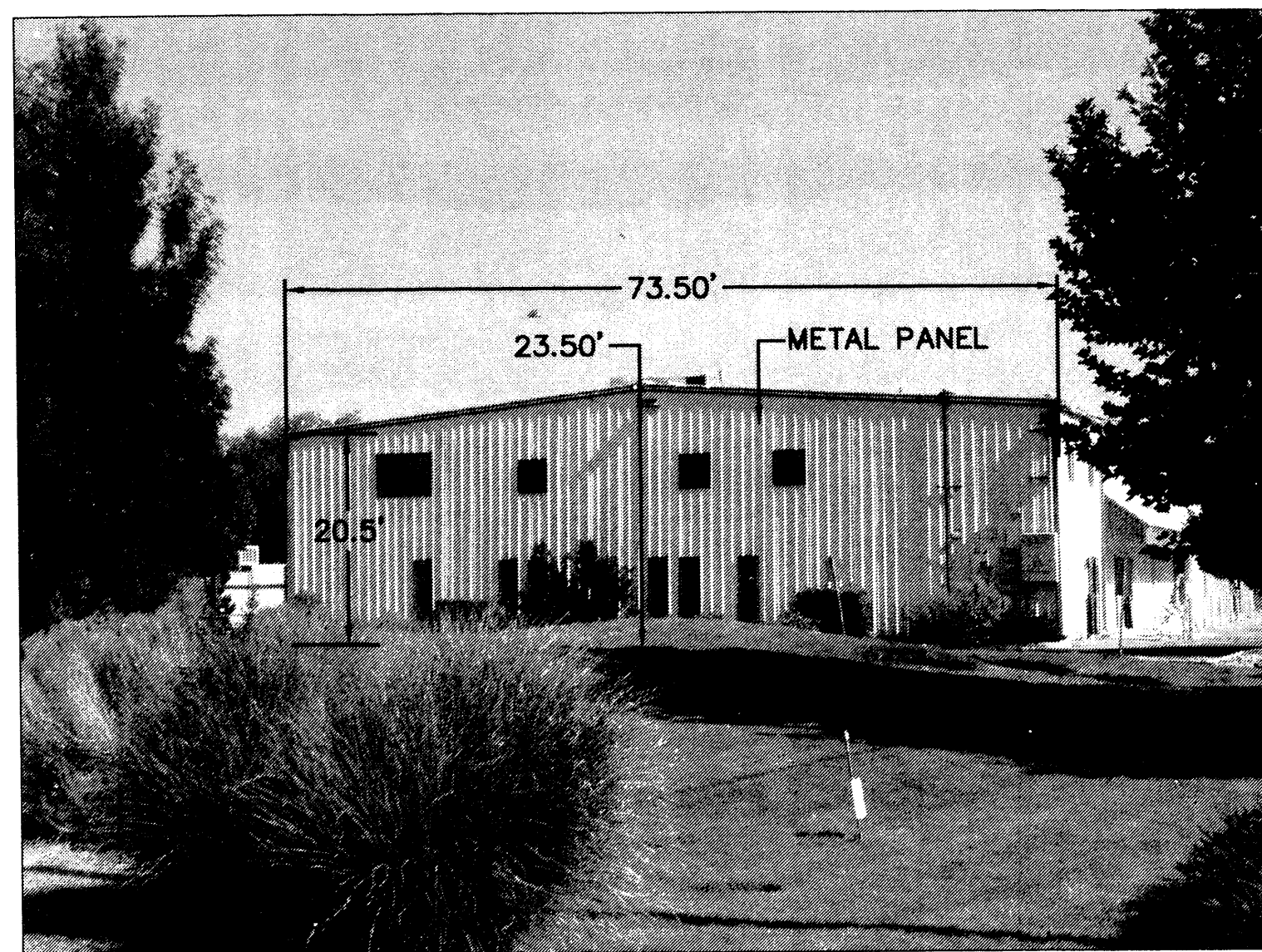
BUILDING A (EAST ELEVATION)



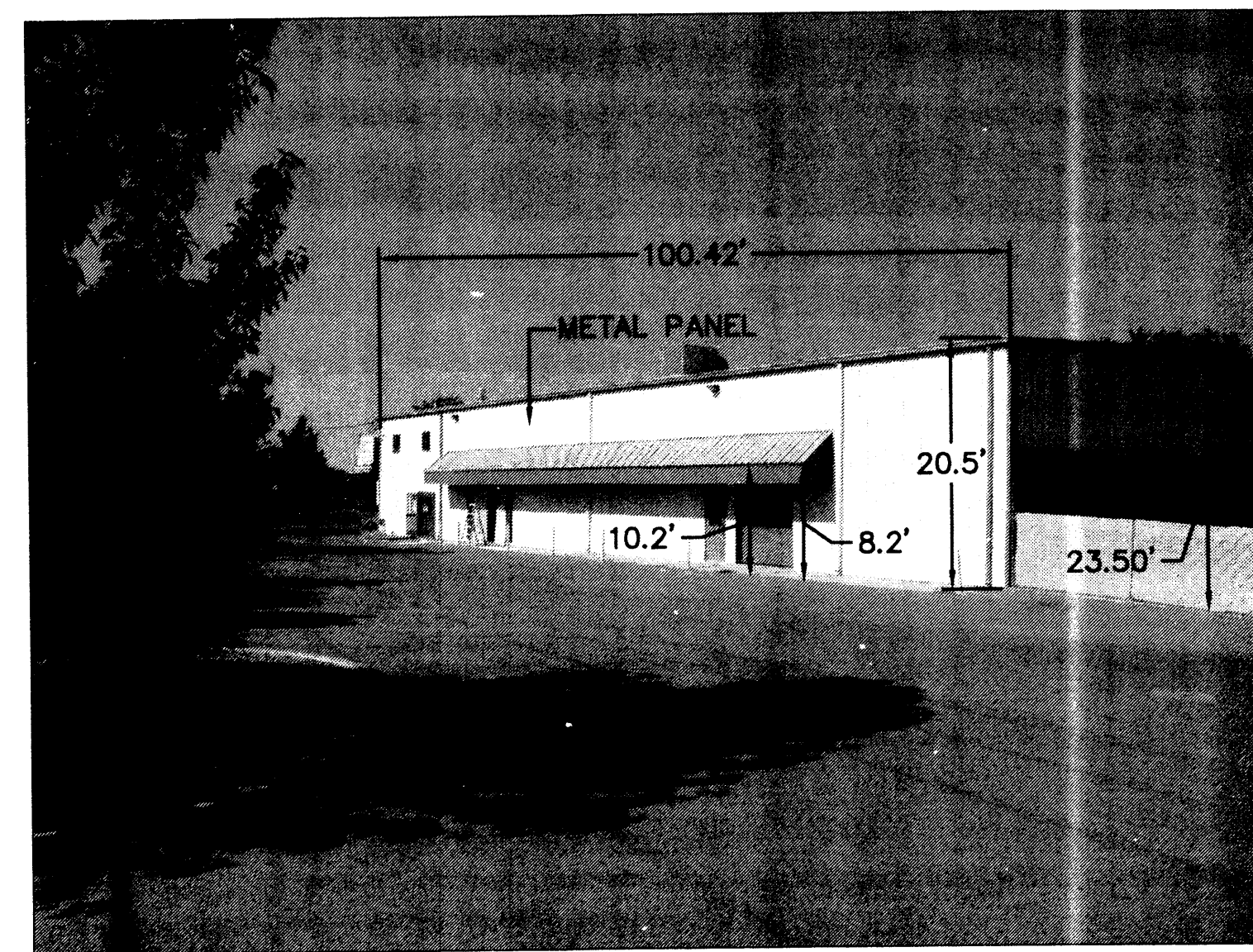
BUILDING A (WEST ELEVATION)



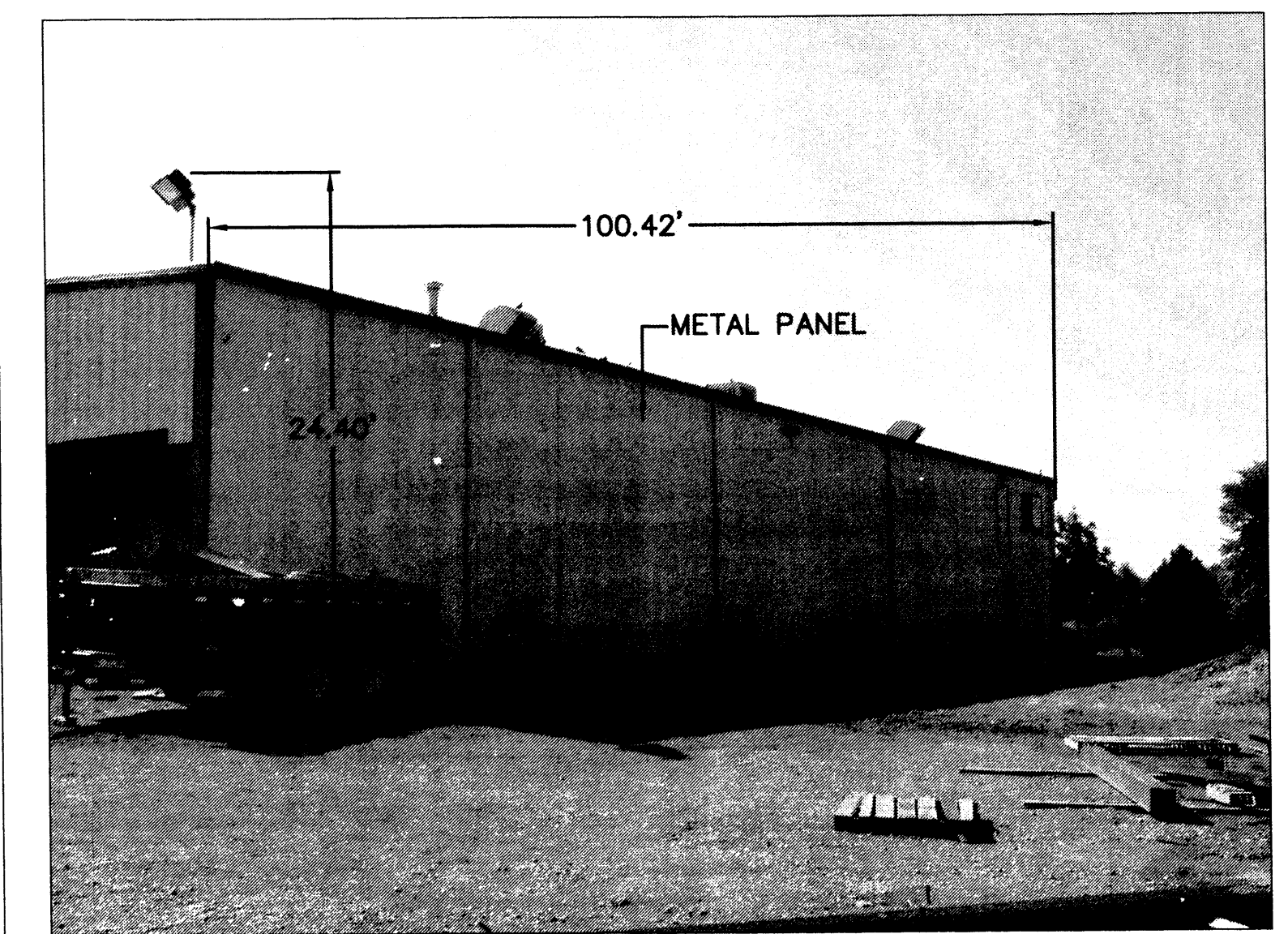
BUILDING B (NORTH ELEVATION)



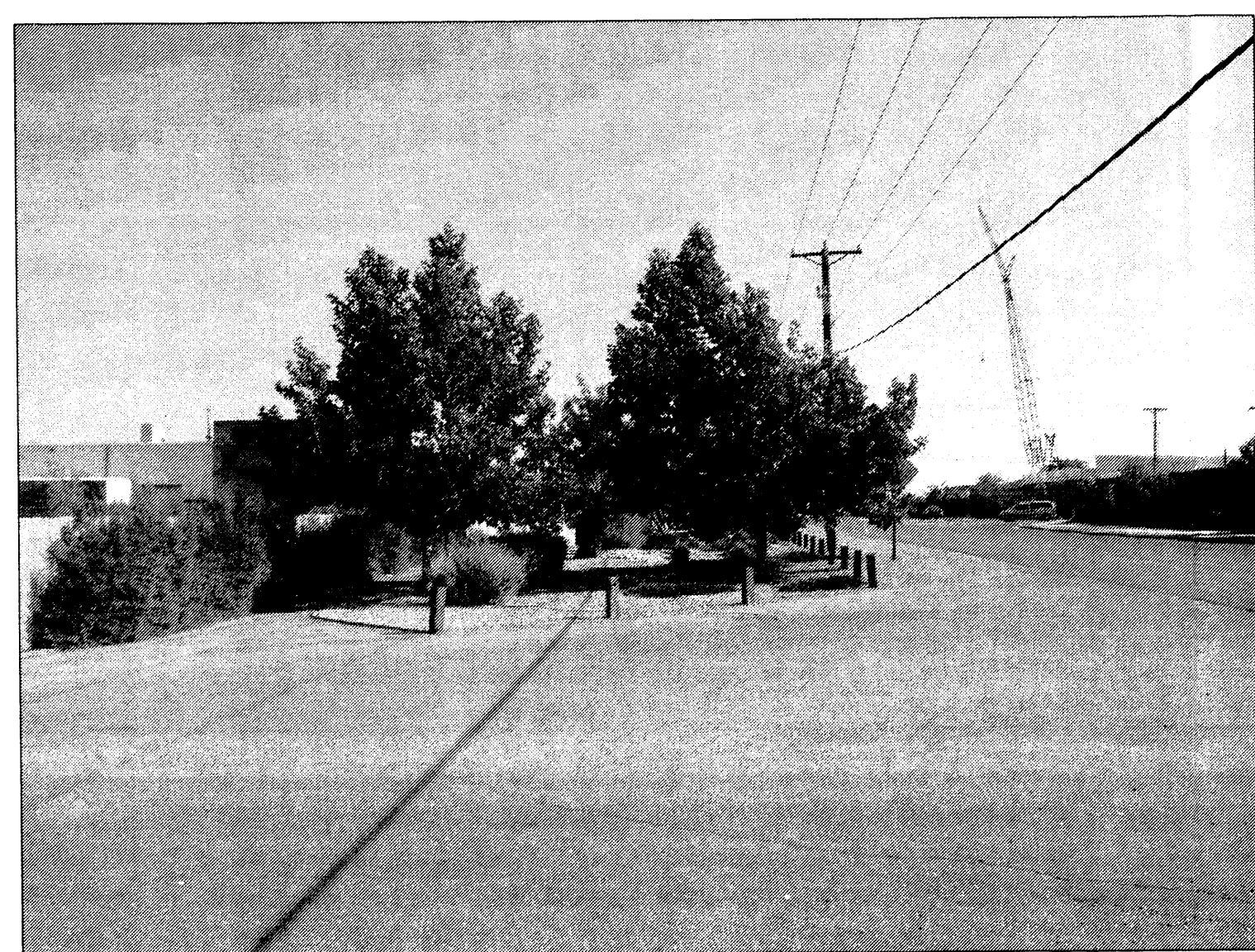
BUILDING B (SOUTH ELEVATION)



BUILDING B (EAST ELEVATION)



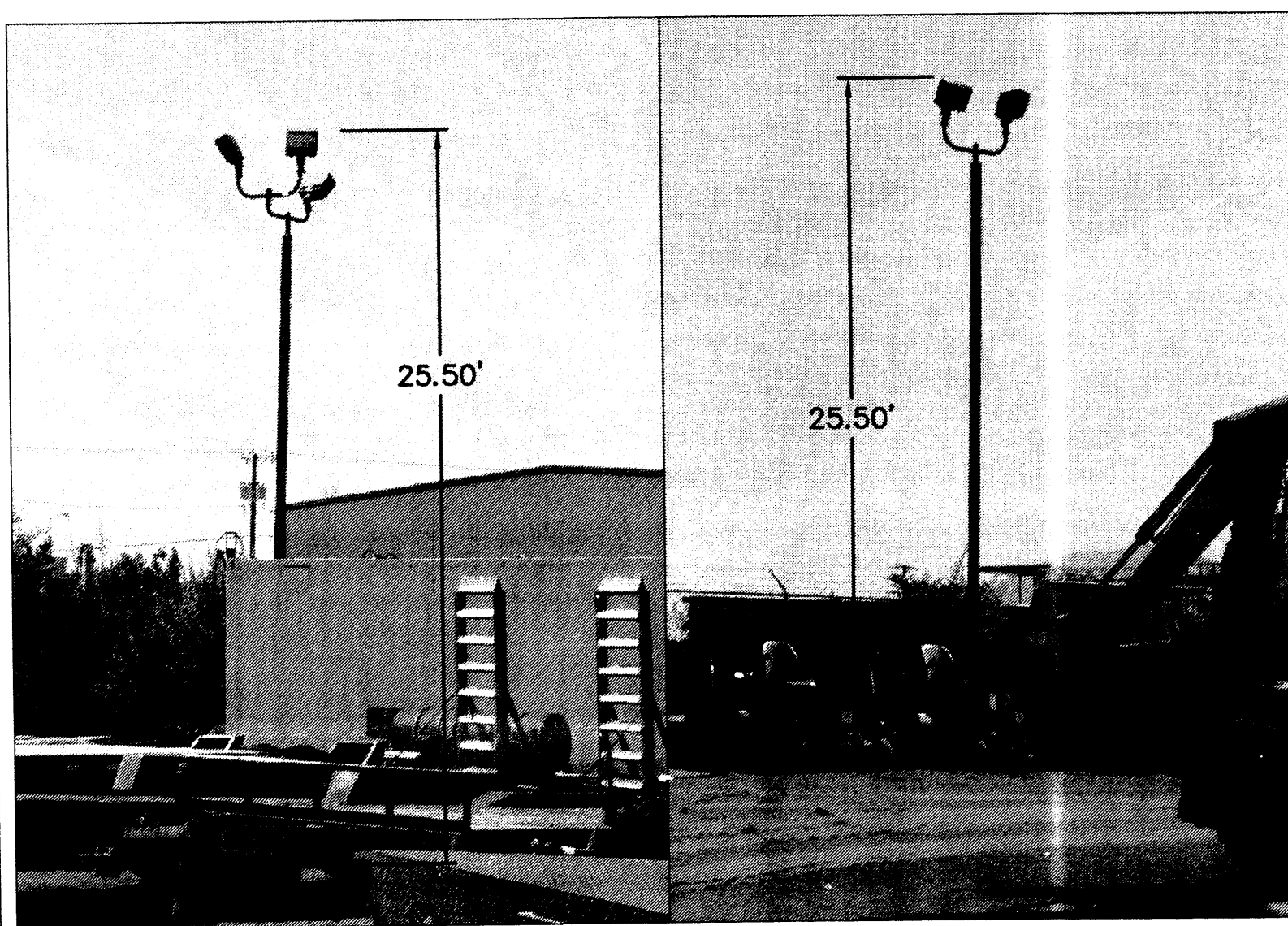
BUILDING B (WEST ELEVATION)



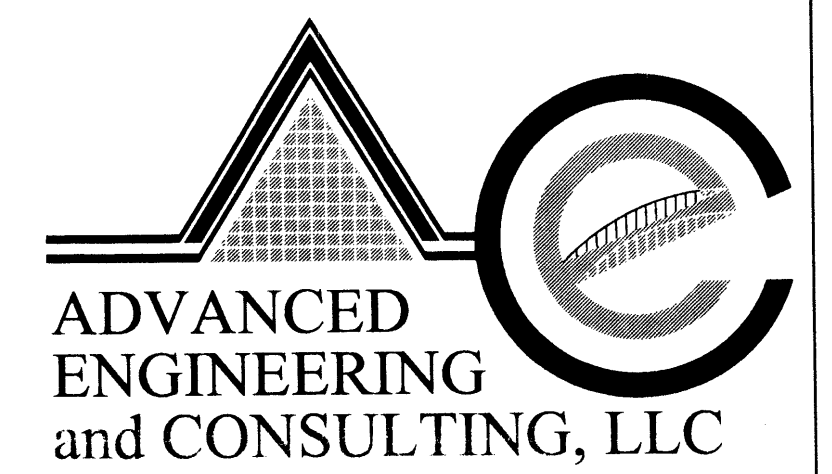
FRONT LANDSCAPING



FRONT LANDSCAPING



LIGHT POLES



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6609 and 6613 EDITH BLVD.
ELEVATION PLAN

DRAWING: 200458-PIC.DWG	DRAWN BY: SHH	DATE: 08-29-05	SHEET # 5 OF 5
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REVISED: 09-29-05