

Improvement Sketch

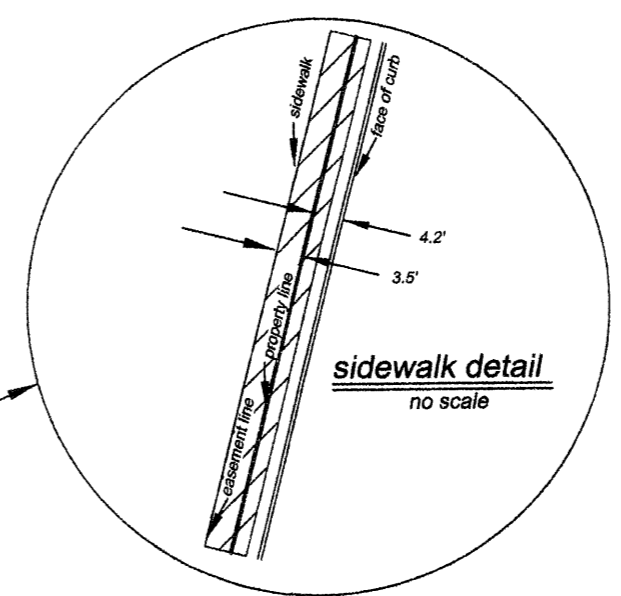
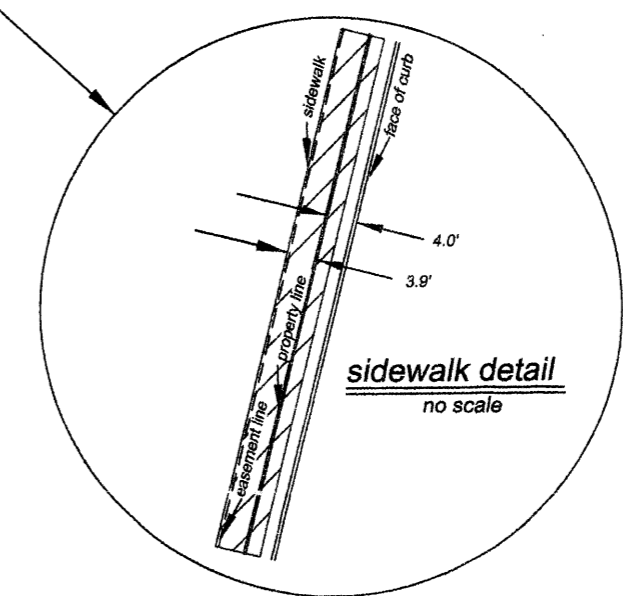
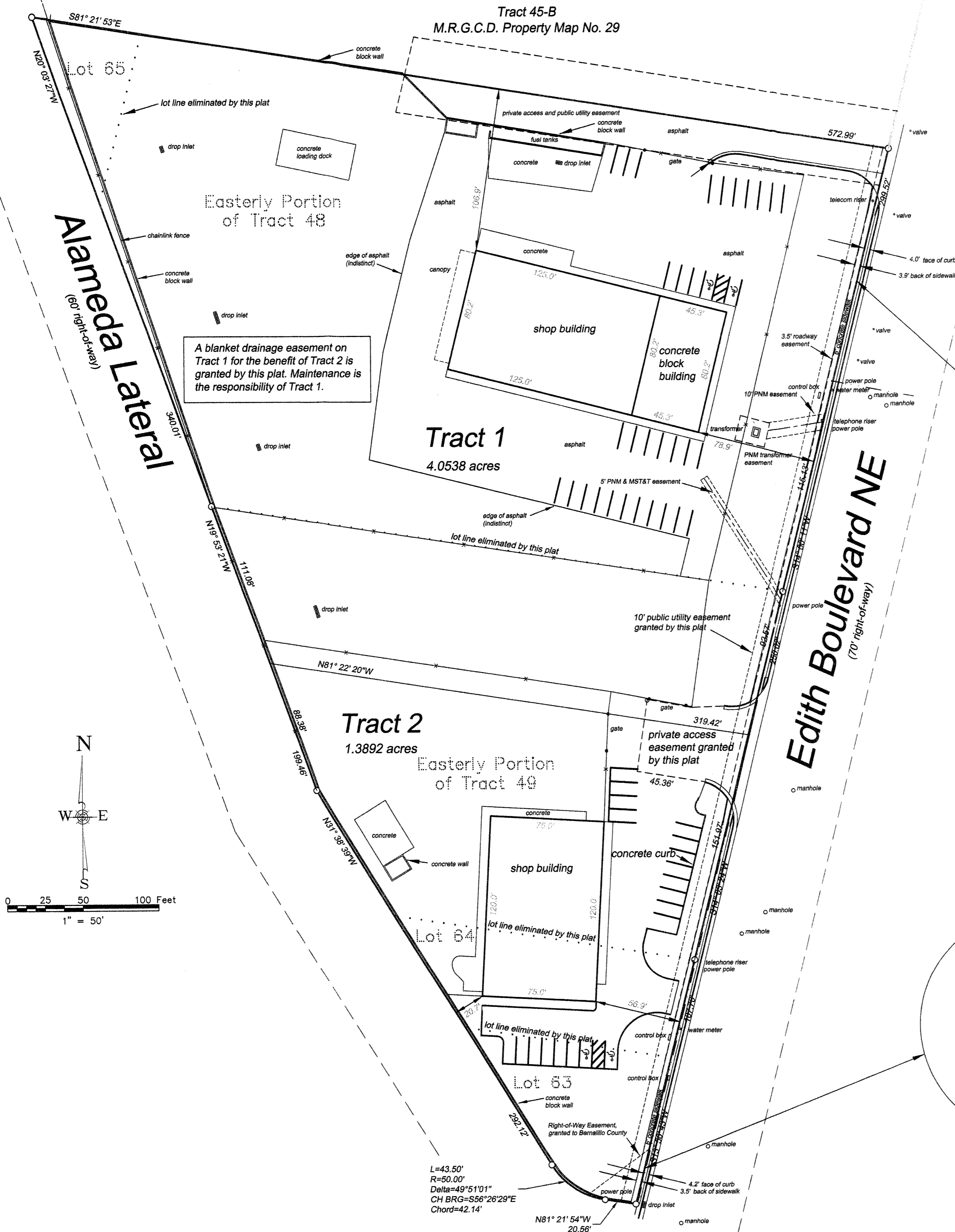
Tracts 1 & 2

Lands of BB & P and Edith Equipment Co.

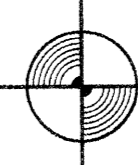
Being a Replat of
Lots 63, 64 & 65, Calavero Addition
together with

An Easterly Portion of Tract 48 &
An Easterly Portion of Tract 49
M.R.G.C.D. Property Map Number 29
Projected Section 28, T.11N., R.3E. N.M.P.M.

City of Albuquerque
Bernalillo County, New Mexico
December 2010

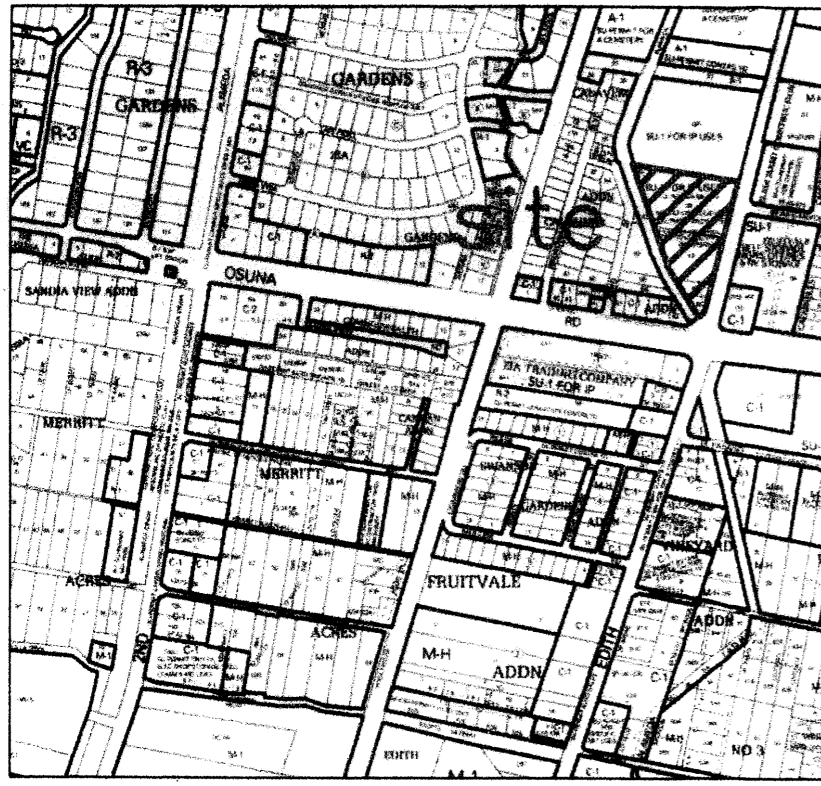


$L=43.50'$
 $R=50.00'$
 $\Delta=49^{\circ}51'01''$
 $CH\ BRG=S56^{\circ}26'29''E$
 $Chord=42.14'$
 $N81^{\circ}21'54''W$
 $20.56'$


Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032



Vicinity Map
no scale



Zone Atlas Page Number E-15

SUBDIVISION DATA

- Total gross acreage: 5.4430 acres
- Total number of existing lots - 5. Total number of replatted existing lots - 2.
- Total mileage of streets created - 0.
- The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone, NAD83.
- Where measured distances differ from record, () indicates record bearings and distances.
- Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
- Date of field survey: November, 2010.
- Documents used in the preparation of this survey: Plat of Calavero Addition, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 13, 1948, in Plat Book C, page 113. Plat of Survey filed 12/23/96, Book 96S, Folio 229; Title Commitments issued by Stewart Title Guaranty Company, File No. 10100788 dated 10/26/2010 and File No. 10110760 dated 11/30/2010 and easement documents referenced therein. Restrictive covenants and non-easement title matters are not shown hereon. Warranty Deed filed 4/15/1994, Document No. 940249788. Warranty Deed filed 3/3/1997, Document No. 97021801. Easement documents referred to on sheet 2.
- Right-of-Way Easement, granted to Bernalillo County by document filed July 10, 1953, BK 142A, Page 66, Document No. 95119, could not be plotted and is not shown hereon.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Comcast, Inc. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

NOTE REGARDING INSTALLATION OF SOLAR COLLECTORS

Section 14-14-7(B) "No property within the area of this plat shall at any time be subject to a deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat."

LEGAL DESCRIPTION

A certain parcel of land being described as Lots 63, 64 and 65, Calavero Addition, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 13, 1948, in Map Book C, folio 113, together with an Easterly Portion of Tract 48 and an Easterly Portion of Tract 49, of Middle Rio Grande Conservancy District Property Map No. 29, Projected Section 28, Township 11 North, Range 3 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, and being more particularly described by metes and bounds as follows:

Beginning at the northeast corner of the parcel herein described, said point being the identical northeast corner of said Tract 48 and a point on the westerly right-of-way line of Edith Boulevard NE, whence City of Albuquerque Control Survey Monument NDC_11_9 bears N 86° 10' 06" E, a distance of 5148.54 feet; Thence, along said westerly right-of-way line of Edith Boulevard NE, for the following courses: S 14° 00' 11" W, a distance of 299.52 feet, to a point; S 14° 03' 24" W, a distance of 250.02 feet, to a point; S 13° 50' 43" W, a distance of 167.70 feet, to the southeast corner of the parcel herein described and a point on the northeasterly right-of-way line of the Alameda Lateral; Thence, along said northeasterly right-of-way line of the Alameda Lateral, for the following courses: N 81° 21' 54" W, a distance of 20.56 feet, to a point of curvature; Northwesterly, a distance of 43.50 feet, along the arc of a curve bearing to the right (said arc having a radius of 50.00 feet and a long chord which bears N 56° 26' 29" W, a distance of 42.14 feet), to a point of tangency; N 31° 38' 39" W, a distance of 292.12 feet, to a point; N 19° 53' 21" W, a distance of 199.46 feet, to a point; N 20° 03' 27" W, a distance of 340.01 feet, to the northwest corner of the parcel herein described; Thence, S 81° 21' 53" E, a distance of 572.99 feet, to the northeast corner and point of beginning of the parcel herein described and containing 5.4430 acres more or less.

FREE CONSENT AND DEDICATION

The platting of the land comprising Tracts 1 & 2, Lands of BB & P and Edith Equipment Co. as shown hereon and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Owner of an Easterly Portion of Tract 49, M.R.G.C.D. Property Map No. 29 and Lots 63 and 64, Calavero Addition
BB & P Ltd. Co., a New Mexico Limited Liability Company

David M. Ellen, MANAGING MEMBER

ACKNOWLEDGMENT

STATE OF Colorado)
COUNTY OF Summit) SS

This instrument was acknowledged before me on December 11, 2010,
by David M. Ellen, Managing Member, BB & P Ltd. Co., a New Mexico Limited Liability Company.

My Commission Expires: 08/27/2014

Notary Public

Owner of Tract 48, M.R.G.C.D. Property Map No. 29 and Lot 65, Calavero Addition

Edith Equipment Ltd. Co., a New Mexico Limited Liability Company

David M. Ellen, MANAGING MEMBER

ACKNOWLEDGMENT

STATE OF Colorado)
COUNTY OF Summit) SS

This instrument was acknowledged before me on December 11, 2010,
by David M. Ellen, Managing Member, Edith Equipment Ltd. Co., a New Mexico Limited Liability Company.

My Commission Expires: 08/27/2014

Notary Public

SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitments issued by Stewart Title Guaranty Company, File No. 10100788 dated 10/26/2010 and File No. 10110760 dated 11/30/2010, and the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 12/13/2010
Ronald A. Forstbauer Date
N.M.P.S. No. 6126

Tracts 1 & 2
Lands of BB & P and Edith Equipment Co.
Being a Replat of
Lots 63, 64 & 65, Calavero Addition
together with
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An Easterly Portion of Tract 49
M.R.G.C.D. Property Map Number 29
Projected Section 28, T.11N., R.3E. N.M.P.M.
Elena Gallegos Grant
City of Albuquerque
Bernalillo County, New Mexico
December 2010

PROJECT NUMBER _____

Application Number _____

The purpose of this plat is to consolidate 2 tracts and 3 lots into 2 tracts and to grant the easements shown hereon.

PLAT APPROVAL

Utility Approvals:

PNM ELECTRIC SERVICES	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST, INC.	DATE

City Approvals:

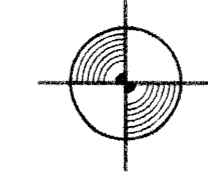
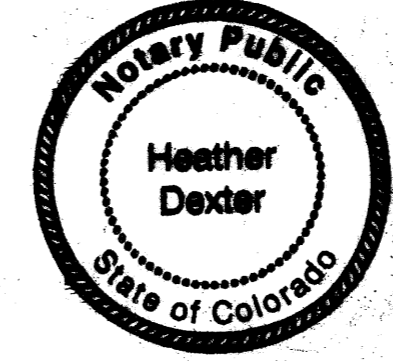
<u>[Signature]</u> 12-13-10 CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS & RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC #: _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE: _____



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

Tracts 1 & 2
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 Projected Section 28, T.11N., R.3E. N.M.P.M.
 Elena Gallegos Grant
 City of Albuquerque
 Bernalillo County, New Mexico
 December 2010

Tract 45-B
 M.R.G.C.D. Property Map No. 29
 Warranty Deed filed 5/4/2004
 Bk A77, Pg 221, Document No. 2004060381

Tract 1
 4.0538 acres

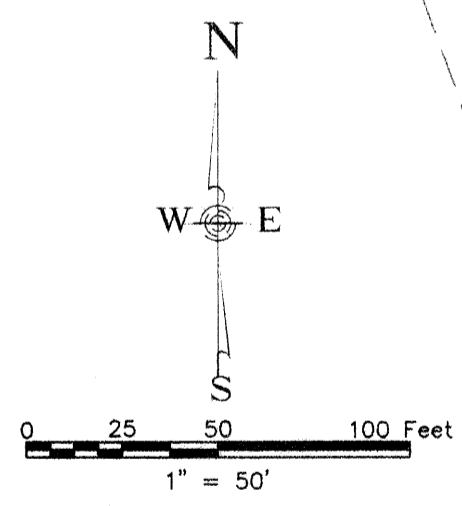
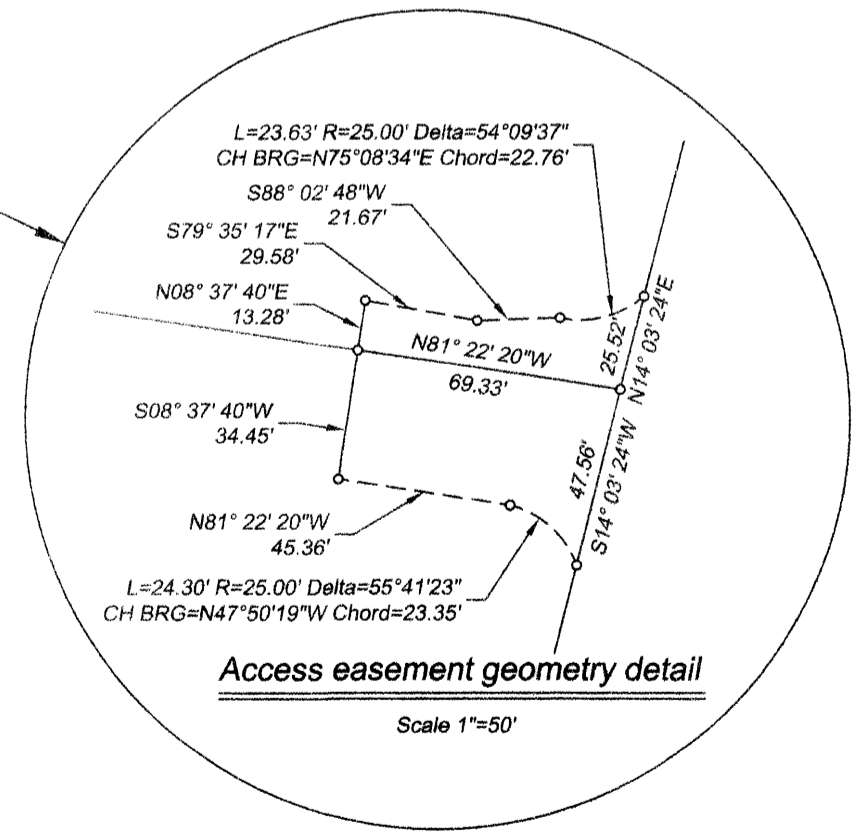
Tract 2
 1.3892 acres

Edith Boulevard NE
 (70' right-of-way)

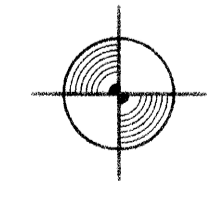
Alameda Lateral
 (60' right-of-way)

A blanket drainage easement on
 Tract 1 for the benefit of Tract 2 is
 granted by this plat. Maintenance is
 the responsibility of Tract 1.

Private access easement granted by this
 plat for the benefit of Tract 1 and Tract 2.
 Maintenance is shared equally by Tract 1
 & Tract 2. (see detail for dimensions)



The property shown hereon is subject to non-specific
 easements referenced in Documents Numbered 94-134757,
 49434 and 54360, records of Bernalillo County, New Mexico.



Forstbauer Surveying, L.L.C.
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Vicinity Map
no scale



Zone Atlas Page Number E-15

SUBDIVISION DATA

- 1. Total gross acreage: 5.4430 acres
2. Total number of existing lots - 5. Total number of replatted existing lots - 2.
3. Total mileage of streets created - 0.
4. The basis of bearings for this survey is the New Mexico State Plane Grid, Central Zone, NAD83.
5. Where measured distances differ from record, () indicates record bearings and distances.
6. Unless otherwise indicated all corners are set 1/2" rebar w/cap LS 6126.
7. Date of field survey: November, 2010.
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Owner of an Easterly Portion of Tract 49, M.R.G.C.D. Property Map No. 29 and Lots 63 and 64, Calavero Addition BB & P Ltd. Co., a New Mexico Limited Liability Company

David M. Ellen, MANAGING MEMBER

ACKNOWLEDGMENT

STATE OF Colorado)
COUNTY OF Summit) SS

This instrument was acknowledged before me on December 11, 2010, by David M. Ellen, Managing Member, BB & P Ltd. Co., a New Mexico Limited Liability Company.

My Commission Expires: 08/27/2014
Heather Dexter
Notary Public

Owner of Tract 48, M.R.G.C.D. Property Map No. 29 and Lot 65, Calavero Addition Edith Equipment Ltd. Co., a New Mexico Limited Liability Company

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COUNTY OF Summit) SS

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SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, registered New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Licensure for Professional Engineers and Professional Land Surveyors effective May 1, 2007 and shows easements of record as indicated on Title Commitments issued by Stewart Title Guaranty Company, File No. 10100788 dated 10/26/2010 and File No. 10110760 dated 11/30/2010, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 12/13/2010
Ronald A. Forstbauer Date
N.M.P.S. No. 6126

Tracts 1 & 2
Lands of BB & P and Edith Equipment Co.
Being a Replat of
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An Easterly Portion of Tract 48 &
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Projected Section 28, T.11N., R.3E. N.M.P.M.
Elena Gallegos Grant
City of Albuquerque
Bernalillo County, New Mexico
December 2010

PROJECT NUMBER 1004367
Application Number 10 DRB 70353

The purpose of this plat is to consolidate 2 tracts and 3 lots into 2 tracts and to grant the easements shown hereon.

PLAT APPROVAL

DOCH 2010134196
12/30/2010 10:56 AM Page 1 of 2
PLAT R: \$12.00 B: 2010 C: 0.0143 M: Toulous Oliveira, Bernalillo Co

Utility Approvals:

N/A
PNM ELECTRIC SERVICES DATE
N/A
NEW MEXICO GAS COMPANY DATE
N/A
QWEST TELECOMMUNICATIONS DATE
N/A
COMCAST, INC. DATE

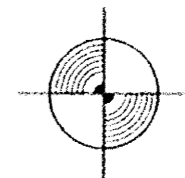
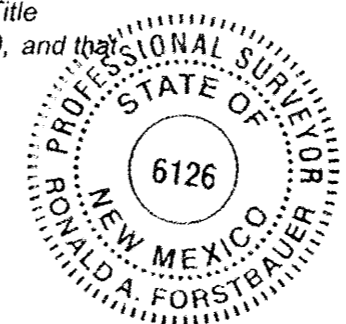
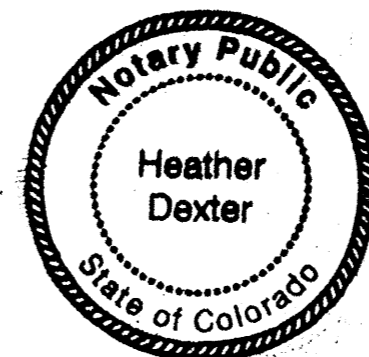
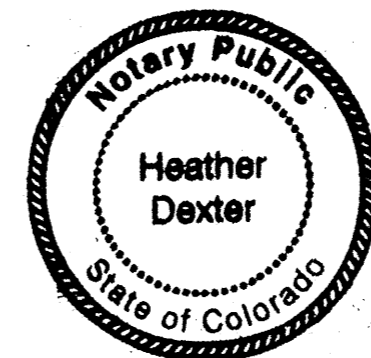
City Approvals:

12-13-10
CITY SURVEYOR DATE
N/A
REAL PROPERTY DIVISION DATE
N/A
ENVIRONMENTAL HEALTH DEPARTMENT DATE
12-23-10
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
12/22/10
ABCWA DATE
12/22/10
Christina Sandoval DATE
PARKS & RECREATION DEPARTMENT DATE
12/23/10
A.M.A.F.C.A. DATE
12-22-10
CITY ENGINEER DATE
12-27-10
DRP CHAIRPERSON, PLANNING DEPARTMENT DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC #: 101506247733610901
PROPERTY OWNER OF RECORD: Edith Equipment LTD CO

BERNALILLO COUNTY TREASURER'S OFFICE:

12/30/10



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

SITE DATA — 6609 EDITH ROAD

PROPOSED USAGE: OFFICE/WAREHOUSE
 LOT AREA: 142,473.04 S.F. (3.271 ACRES)
 OFFICE AREA: 6,930 S.F.
 WAREHOUSE AREA: 9,761 S.F.
 GROSS BUILDING AREA: 13,226 S.F.
 CONSTRUCTION TYPE: V-N SPRINKLED

LANDSCAPE CALCULATIONS:
 NET LOT AREA 132,731 SF ±
 BUILDING AREA 13,226 SF ±
 LANDSCAPING REQUIRED: 15% OF 119,505 SF 17,925 SF ±
 LANDSCAPE PROVIDED 24,066 SF ±

PARKING CALCULATIONS:
 PARKING REQUIRED:
 OFFICE AREA: 6,930 GSF / 200 GSF 35 SPACES
 WAREHOUSE AREA: 9,761 GSF / 2000 GSF 5 SPACE
 TOTAL PARKING REQUIRED: 40 SPACES
 TOTAL PARKING PROVIDED: 40 SPACES
 HC PARKING REQUIRED: 3 SPACES
 HC PARKING PROVIDED: 5 SPACES
 BICYCLE RACK REQUIRED: 2 SPACES
 BICYCLE RACK PROVIDED: 6 SPACES

SITE DATA — 6613 EDITH ROAD

PROPOSED USAGE: WAREHOUSE
 LOT AREA: 94,575 S.F. (2.171 ACRES)
 WAREHOUSE AREA: 7,380 S.F.
 CONSTRUCTION TYPE: V-N SPRINKLED

LANDSCAPE CALCULATIONS:
 NET LOT AREA 80,850 SF ±
 WAREHOUSE AREA 7,380 SF ±
 LANDSCAPING REQUIRED: 15% OF 73,470 SF 11,020 SF ±
 LANDSCAPE PROVIDED 17,486 SF ±

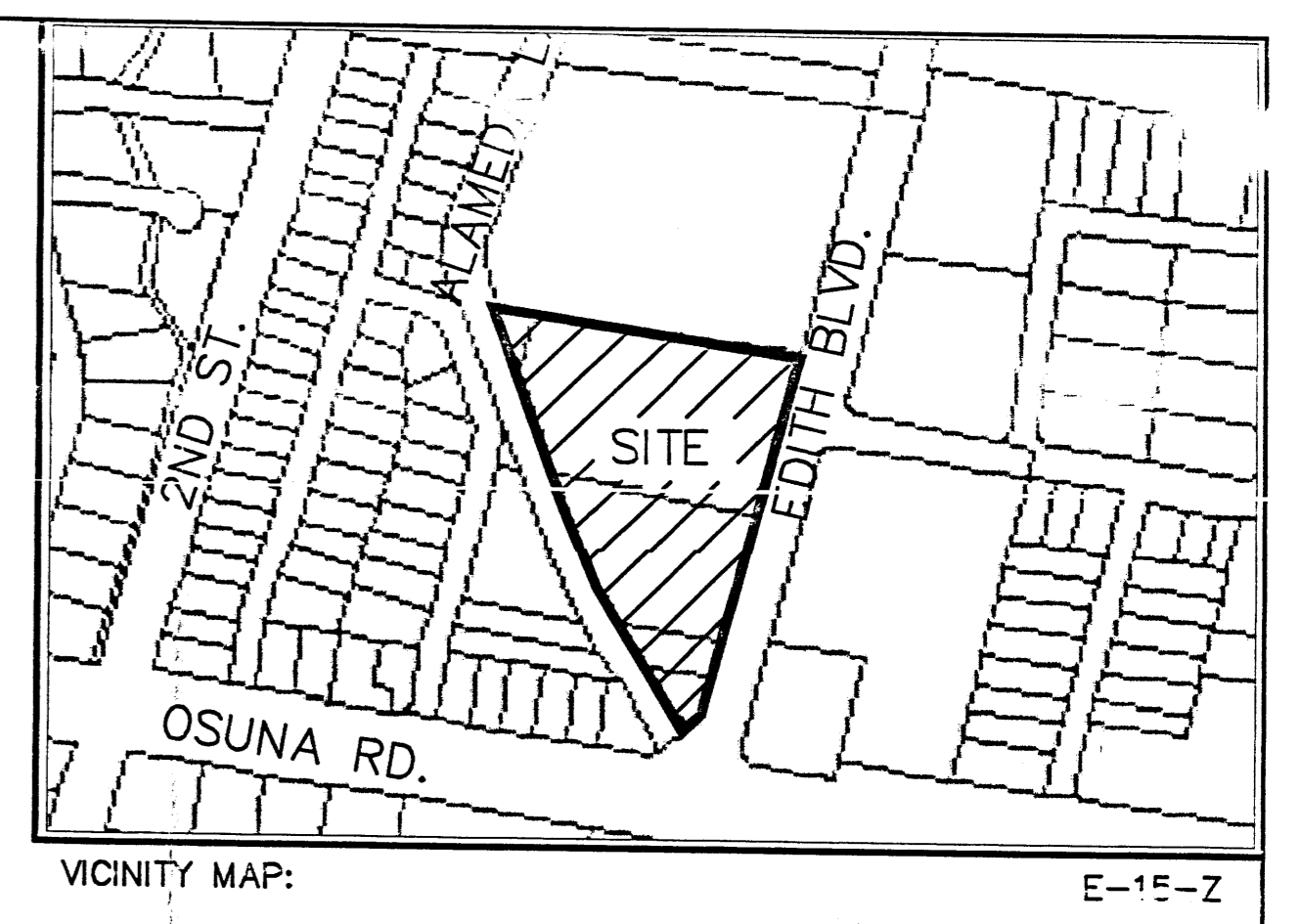
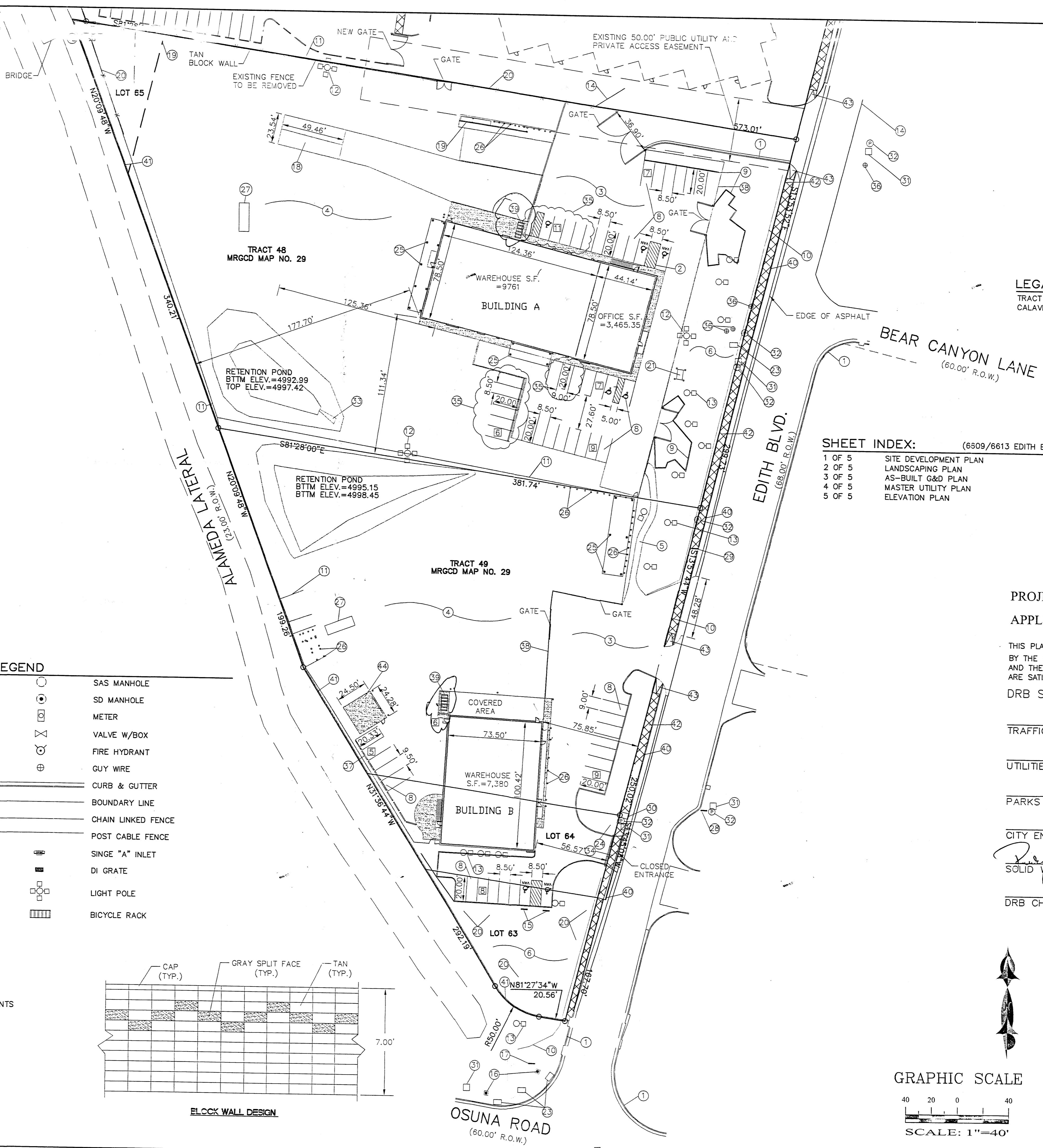
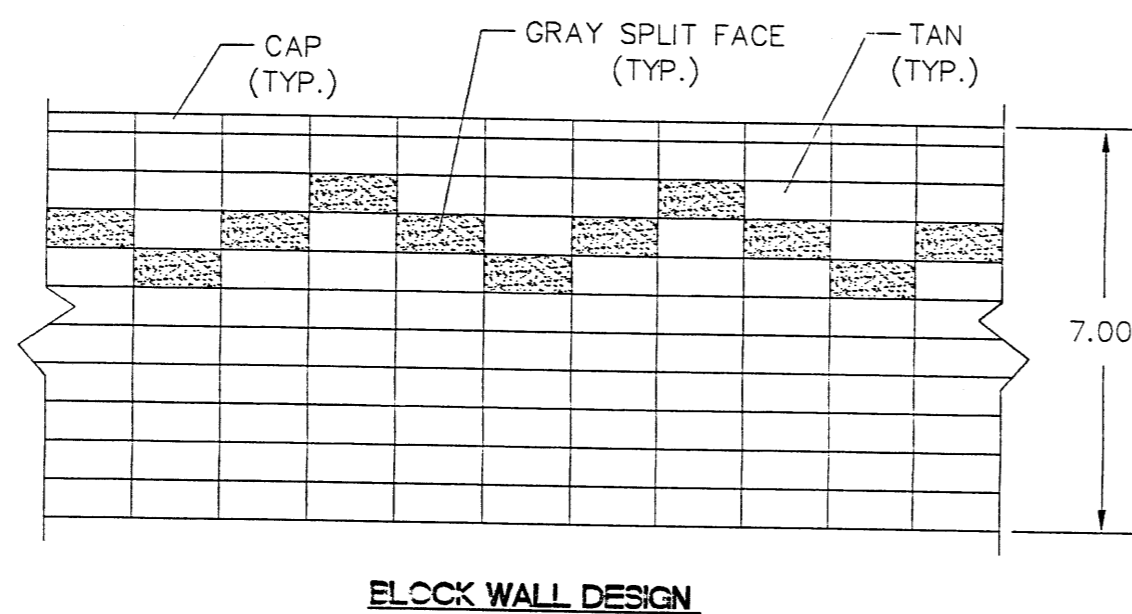
PARKING CALCULATIONS:
 PARKING REQUIRED:
 WAREHOUSE AREA: 7,380 GSF / 2000 GSF 4 SPACES
 TOTAL PARKING REQUIRED: 4 SPACES
 TOTAL PARKING PROVIDED: 28 SPACES
 HC PARKING REQUIRED: 1 SPACE
 HC PARKING PROVIDED: 2 SPACES
 BICYCLE RACK REQUIRED: 2 SPACES
 BICYCLE RACK PROVIDED: 6 SPACES

LEGEND

- SAS MANHOLE
- SD MANHOLE
- ⊗ METER
- ⊗ VALVE W/BOX
- ⊗ FIRE HYDRANT
- ⊕ GUY WIRE
- CURB & GUTTER
- BOUNDARY LINE
- CHAIN LINKED FENCE
- POST CABLE FENCE
- SINGE "A" INLET
- DI GRATE
- ⊕ LIGHT POLE
- ▤ BICYCLE RACK

NOTES (ALL EXISTING):

- 1. CURB AND GUTTER UNLESS OTHERWISE NOTED
- 2. ACCESSIBLE SIDEWALK RAMP
- 3. ASPHALT PAVING AREA
- 4. GRAVEL, EQUIPMENT STORAGE AREA
- 5. 5' ASPHALT SIDEWALK
- 6. LANDSCAPING
- 7. SAND
- 8. PARKING SPACES
- 9. RR TIE
- 10. POST CABLE FENCE
- 11. 6" HIGH CHAIN LINKED FENCE
- 12. LIGHT POLE TYP
- 13. 6" GROUND LIGHT TYP
- 14. EDGE OF ASPHALT
- 15. VAN ACCESSIBLE SIGN
- 16. STOP LIGHT
- 17. TRAFFIC SIGN
- 18. CONCRETE LOAD DOCK
- 19. FUEL STATION
- 20. CONTROL VALVES
- 21. TRANSFORMER
- 22. ELECTRICAL PANEL
- 23. ELECTRICAL BOX
- 24. EDGE OF GRASS
- 25. CANOPY POST
- 26. BOLLARD
- 27. ROLLABLE TRASH CONTAINERS
- 28. SPEED LIMIT SIGN
- 29. STOP LIGHT SIGN
- 30. MAILBOX
- 31. TELEPHONE BOX
- 32. POWER POLE
- 33. CONCRETE RUNDOWN
- 34. CLOSED DRIVEWAY, NOT TO BE USED
- 35. PROPOSED NEW PARKING SPACE TO COMPLY W/ PARKING REQUIREMENTS
- 36. GUY WIRE
- 37. CONCRETE BUMPER TYP
- 38. 6" CHAIN LINK FENCE W/ SLATS AND BARBED WIRE
- 39. PROPOSED BICYCLE RACK
- 40. NEW STANDARD CURB PER CITY STD. DWG. # 2415A
- 41. PROPOSED BLOCK WALL SEE DETAIL THIS SHEET
- 42. NEW 6" SIDEWALK PER CITY STANDARD DWG. 2430
- 43. NEW UNIDIRECTIONAL RAMP PER COA DWG. 2440
- 44. CONCRETE PAD



LEGAL DESCRIPTION:
 TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION, CONTAINING 237,023.03 S.F. (5.4413 AC.)

- GENERAL NOTES:**
- CURRENT ZONING IS SU-1 FOR IP USES PLUS INDOOR SALES AND SERVICE OF IRRIGATION EQUIPMENT. SALES AND SERVICE OF OPERATIVE CONTRACTORS EQUIPMENT.
 - NO AMPLIFIED SOUND SHALL BE ALLOWED. THERE SHALL BE NO OUTDOOR SPEAKER SYSTEM OR PUBLIC ADDRESS (PA) SYSTEM
 - ALL STORAGE AREAS AND OUTSIDE WORK AREAS SHALL BE ADEQUATELY SCREENED FROM OFF-SITE VIEW.
 - LIGHTING ON THE SUBJECT SITE MUST COMPLY WITH ZONING CODE 14-16-3-9, AREA LIGHTING REGULATIONS.
 - IRRIGATION EQUIPMENT AND CONTRACTORS' EQUIPMENT SHALL NOT BE STORED OUTSIDE IN PILES ON THE LOADING DOCKS OR ANYWHERE OUTSIDE ON THE SUBJECT SITE.
 - ALL POLE MOUNTED LIGHTS SHALL BE NO HIGHER THAN 20 FEET FROM GRADE TO TOP AND NO HIGHER THAN 16 FEET WITHIN 100 FEET OF A RESIDENTIAL ZONE. NO LIGHTING WITHIN 100 FEET OF A RESIDENTIAL ZONE WILL BE HIGHER THAN 16 FEET. ALL POLE MOUNTED AND BUILDING MOUNTED LIGHTS SHALL BE FULLY SHIELDED TO PROHIBIT FUGITIVE LIGHT SPILLAGE ONTO SURROUNDING RESIDENTIAL PROPERTIES AND PUBLIC RIGHT OF WAY.

SHEET INDEX: (6609/6613 EDITH BLVD.)

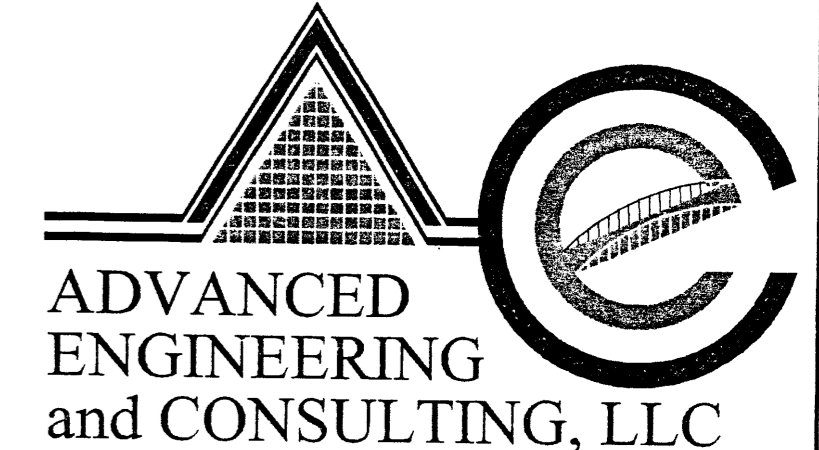
1 OF 5	SITE DEVELOPMENT PLAN
2 OF 5	LANDSCAPING PLAN
3 OF 5	AS-BUILT G&D PLAN
4 OF 5	MASTER UTILITY PLAN
5 OF 5	ELEVATION PLAN

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
<i>Ray Rivera 7/21/22</i> SOLID WASTE MANAGEMENT	<i>W/Date</i> DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

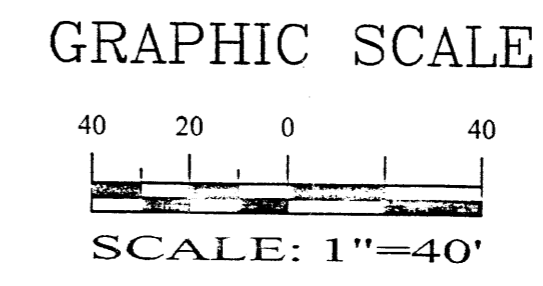


SHAHAB BIAZAR
 P.E. #13479

4416 ANAHEIM AVE. NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

**6609 and 6613 EDITH BLVD.
 SITE DEVELOPMENT PLAN**

DRAWING: 200458-ST.DWG	DRAWN BY: SHH	DATE: 08-29-05	SHEET # 1 OF 5
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SITE DATA – 6609 EDITH ROAD (TRACT 1)

PROPOSED USAGE: OFFICE/WAREHOUSE
 PROPOSED LOT AREA: 176,583.53 S.F. (4.0538 ACRES)
 OFFICE AREA: 6,930 S.F.
 WAREHOUSE AREA: 9,761 S.F.
 GROSS BUILDING AREA: 13,226 S.F.
 CONSTRUCTION TYPE: V-N SPRINKLED

LANDSCAPE CALCULATIONS:
 NET LOT AREA 163,358 SF ±
 BUILDING AREA 13,226 SF ±
 LANDSCAPING REQUIRED: 15% OF 163,358 SF
 LANDSCAPE PROVIDED 28,194 SF ±

PARKING CALCULATIONS:
 PARKING REQUIRED:
 OFFICE AREA: 6,930 GSF / 200 GSF 35 SPACES
 WAREHOUSE AREA: 9,761 GSF / 2000 GSF 5 SPACE
 TOTAL PARKING REQUIRED: 40 SPACES
 TOTAL PARKING PROVIDED: 40 SPACES
 HC PARKING REQUIRED: 3 SPACES
 HC PARKING PROVIDED: 5 SPACES
 BICYCLE RACK REQUIRED: 2 SPACES
 BICYCLE RACK PROVIDED: 6 SPACES

SITE DATA – 6613 EDITH ROAD (TRACT 2)

PROPOSED USAGE: WAREHOUSE
 PROPOSED LOT AREA: 60,513.55 S.F. (1.3892 ACRES)
 WAREHOUSE AREA: 7,380 S.F.
 CONSTRUCTION TYPE: V-N SPRINKLED

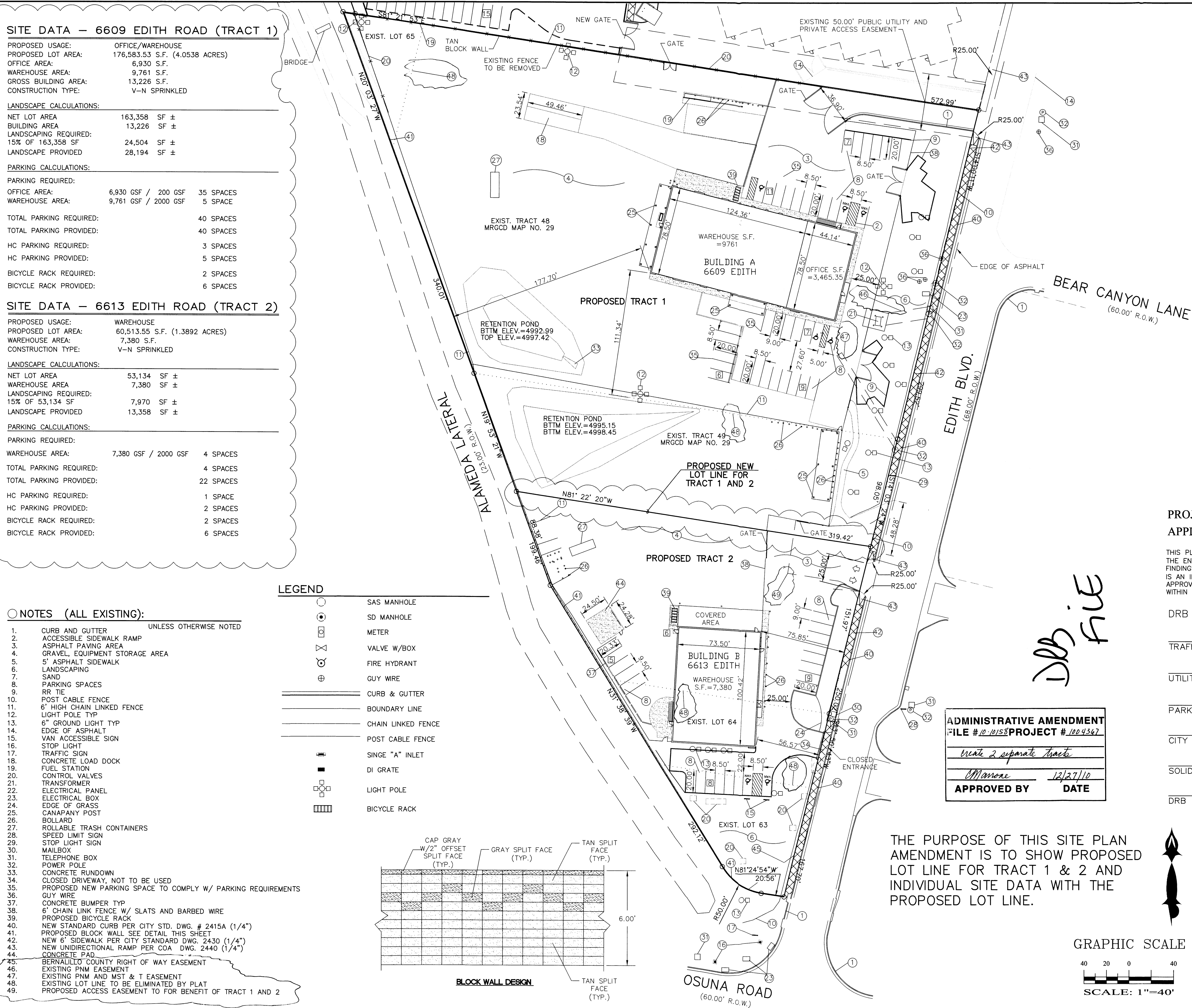
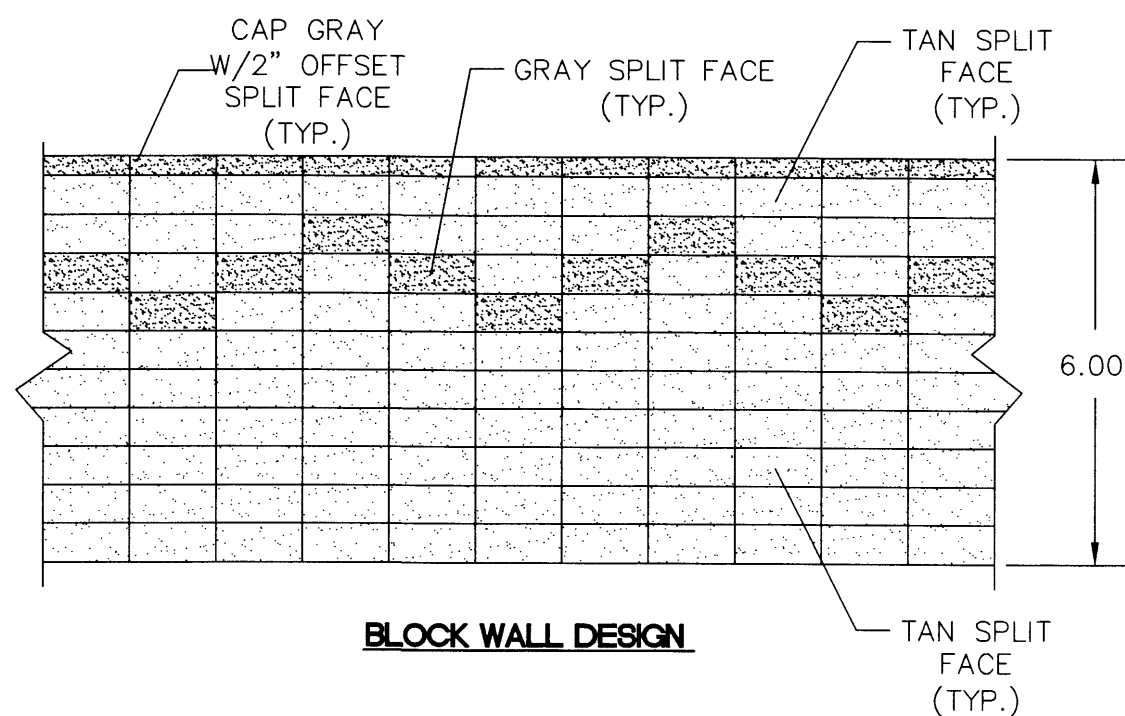
LANDSCAPE CALCULATIONS:
 NET LOT AREA 53,134 SF ±
 WAREHOUSE AREA 7,380 SF ±
 LANDSCAPING REQUIRED: 15% OF 53,134 SF
 LANDSCAPE PROVIDED 7,970 SF ±

PARKING CALCULATIONS:
 PARKING REQUIRED:
 WAREHOUSE AREA: 7,380 GSF / 2000 GSF 4 SPACES
 TOTAL PARKING REQUIRED: 4 SPACES
 TOTAL PARKING PROVIDED: 22 SPACES
 HC PARKING REQUIRED: 1 SPACE
 HC PARKING PROVIDED: 2 SPACES
 BICYCLE RACK REQUIRED: 2 SPACES
 BICYCLE RACK PROVIDED: 6 SPACES

LEGEND

NOTES (ALL EXISTING):

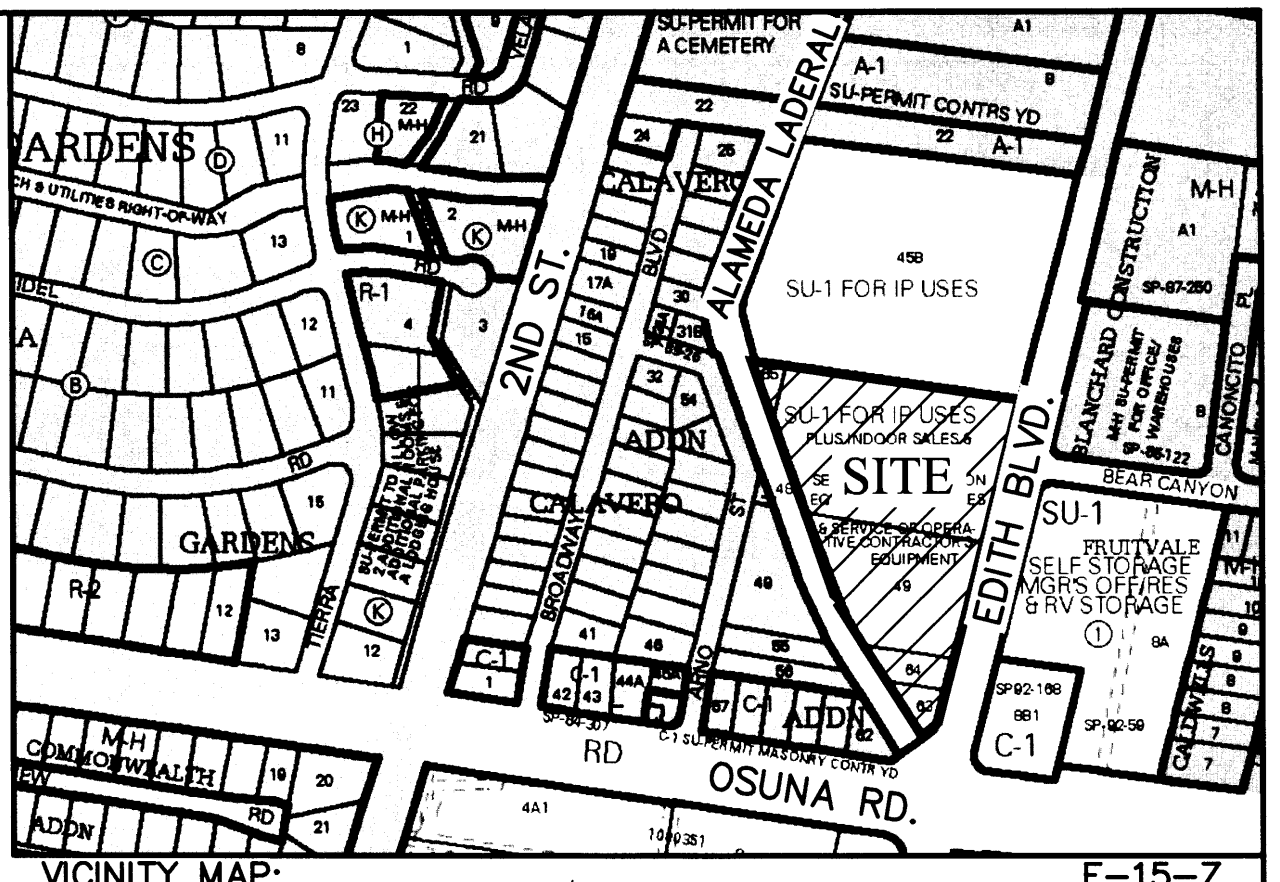
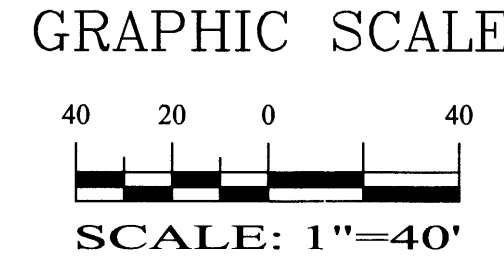
- 1. CURB AND GUTTER UNLESS OTHERWISE NOTED
- 2. ACCESSIBLE SIDEWALK RAMP
- 3. ASPHALT PAVING AREA
- 4. GRAVEL, EQUIPMENT STORAGE AREA
- 5. 5' ASPHALT SIDEWALK
- 6. LANDSCAPING
- 7. SAND
- 8. PARKING SPACES
- 9. RR TIE
- 10. POST CABLE FENCE
- 11. 6" HIGH CHAIN LINKED FENCE
- 12. LIGHT POLE TYP
- 13. 6" GROUND LIGHT TYP
- 14. EDGE OF ASPHALT
- 15. VAN ACCESSIBLE SIGN
- 16. STOP LIGHT
- 17. TRAFFIC SIGN
- 18. CONCRETE LOAD DOCK
- 19. FUEL STATION
- 20. CONTROL VALVES
- 21. TRANSFORMER
- 22. ELECTRICAL PANEL
- 23. ELECTRICAL BOX
- 24. EDGE OF GRASS
- 25. CANOPY POST
- 26. BOLLARD
- 27. ROLLABLE TRASH CONTAINERS
- 28. SPEED LIMIT SIGN
- 29. STOP LIGHT SIGN
- 30. MAILBOX
- 31. TELEPHONE BOX
- 32. POWER POLE
- 33. CONCRETE RUNDOWN
- 34. CLOSED DRIVEWAY, NOT TO BE USED
- 35. PROPOSED NEW PARKING SPACE TO COMPLY W/ PARKING REQUIREMENTS
- 36. GUY WIRE
- 37. CONCRETE BUMPER TYP
- 38. 6" CHAIN LINK FENCE W/ SLATS AND BARBED WIRE
- 39. PROPOSED BICYCLE RACK
- 40. NEW STANDARD CURB PER CITY STD. DWG. # 2415A (1/4")
- 41. PROPOSED BLOCK WALL SEE DETAIL THIS SHEET
- 42. NEW 6" SIDEWALK PER CITY STANDARD DWG. 2430 (1/4")
- 43. NEW UNIDIRECTIONAL RAMP PER COA DWG. 2440 (1/4")
- 44. CONCRETE PAD
- 45. BERNALILLO COUNTY RIGHT OF WAY EASEMENT
- 46. EXISTING PNM EASEMENT
- 47. EXISTING PNM AND MST & T EASEMENT
- 48. EXISTING LOT LINE TO BE ELIMINATED BY PLAT
- 49. PROPOSED ACCESS EASEMENT TO FOR BENEFIT OF TRACT 1 AND 2



DRB file

ADMINISTRATIVE AMENDMENT
 FILE # 10-10158 PROJECT # 1004367
create 2 separate tracts
Manone 12/27/10
APPROVED BY DATE

THE PURPOSE OF THIS SITE PLAN AMENDMENT IS TO SHOW PROPOSED LOT LINE FOR TRACT 1 & 2 AND INDIVIDUAL SITE DATA WITH THE PROPOSED LOT LINE.



LEGAL DESCRIPTION:
 TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION, CONTAINING 237,023.03 S.F. (5.4413 AC.)

GENERAL NOTES:

- CURRENT ZONING IS SU-1 FOR IP USES PLUS INDOOR SALES AND SERVICE OF IRRIGATION EQUIPMENT. SALES AND SERVICE OF OPERATIVE CONTRACTORS EQUIPMENT.
- NO AMPLIFIED SOUND SHALL BE ALLOWED. THERE SHALL BE NO OUTDOOR SPEAKER SYSTEM OR PUBLIC ADDRESS (PA) SYSTEM
- ALL STORAGE AREAS AND OUTSIDE WORK AREAS SHALL BE ADEQUATELY SCREENED FROM OFF-SITE VIEW.
- LIGHTING ON THE SUBJECT SITE MUST COMPLY WITH ZONING CODE 14-16-3-9, AREA LIGHTING REGULATIONS.
- IRRIGATION EQUIPMENT AND CONTRACTORS' EQUIPMENT SHALL NOT BE STORED OUTSIDE IN PILES ON THE LOADING DOCKS OR ANYWHERE OUTSIDE ON THE SUBJECT SITE.
- ALL POLE MOUNTED LIGHTS SHALL BE NO HIGHER THAN 20 FEET FROM GRADE TO TOP AND NO HIGHER THAN 16 FEET WITHIN 100 FEET OF A RESIDENTIAL ZONE. NO LIGHTING WITHIN 100 FEET OF A RESIDENTIAL ZONE WILL BE HIGHER THAN 16 FEET. ALL POLE MOUNTED AND BUILDING MOUNTED LIGHTS SHALL BE FULLY SHIELDED TO PROHIBIT FLUORESCENT LIGHT SPILLAGE ONTO SURROUNDING RESIDENTIAL PROPERTIES AND PUBLIC RIGHT OF WAY.
- THE SITE SHALL MAINTAIN A CLEAN AND CONTAINED DUMPSTER.
- ALL WORK IN THE ROW WILL BE DONE UNDER WORK ORDER.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



4416 ANAHEIM AVE. NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

6609 and 6613 EDITH BLVD.
AMENDED SITE DEV. PLAN FOR BUILDING PERMIT

DRAWING: 200458-ST.DWG	DRAWN BY: SH-B	DATE: 12-14-10	SHEET # 1 OF 1
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REVISED: 12.14.10

SITE DATA - 6609 EDITH ROAD

PROPOSED USAGE: OFFICE/WAREHOUSE
 LOT AREA: 142,473.04 S.F. (3.271 ACRES)
 OFFICE AREA: 6,930 S.F.
 WAREHOUSE AREA: 9,761 S.F.
 GROSS BUILDING AREA: 13,226 S.F.
 CONSTRUCTION TYPE: V-N SPRINKLED

LANDSCAPE CALCULATIONS:
 NET LOT AREA 132,731 SF ±
 BUILDING AREA 13,226 SF ±
 LANDSCAPING REQUIRED: 15% OF 119,505 SF 17,925 SF ±
 LANDSCAPE PROVIDED 24,066 SF ±

PARKING CALCULATIONS:
 PARKING REQUIRED:
 OFFICE AREA: 6,930 GSF / 200 GSF 35 SPACES
 WAREHOUSE AREA: 9,761 GSF / 2000 GSF 5 SPACE
 TOTAL PARKING REQUIRED: 40 SPACES
 TOTAL PARKING PROVIDED: 40 SPACES
 HC PARKING REQUIRED: 3 SPACES
 HC PARKING PROVIDED: 5 SPACES
 BICYCLE RACK REQUIRED: 2 SPACES
 BICYCLE RACK PROVIDED: 6 SPACES

SITE DATA - 6613 EDITH ROAD

PROPOSED USAGE: WAREHOUSE
 LOT AREA: 94,575 S.F. (2.171 ACRES)
 WAREHOUSE AREA: 7,380 S.F.
 CONSTRUCTION TYPE: V-N SPRINKLED

LANDSCAPE CALCULATIONS:
 NET LOT AREA 80,850 SF ±
 WAREHOUSE AREA 7,380 SF ±
 LANDSCAPING REQUIRED: 15% OF 73,470 SF 11,020 SF ±
 LANDSCAPE PROVIDED 17,486 SF ±

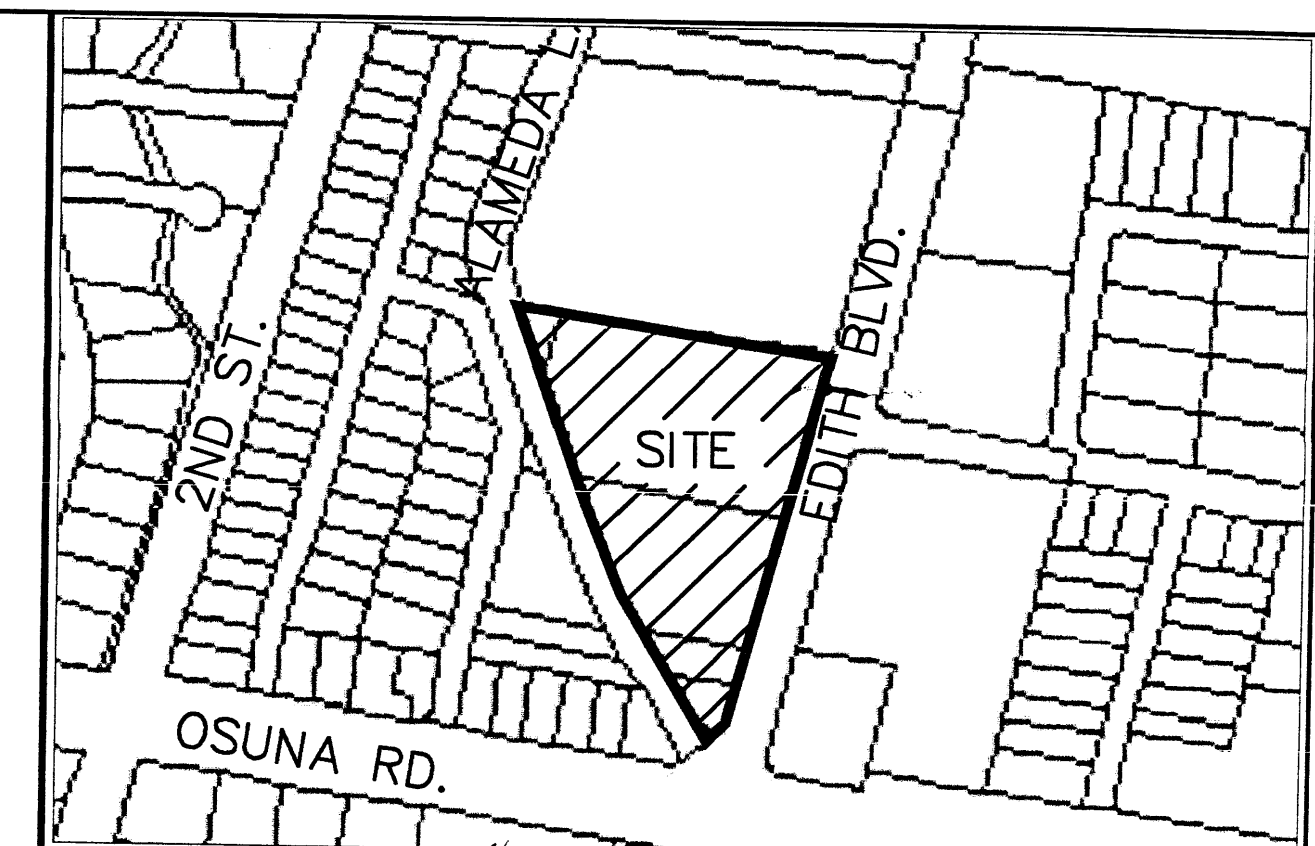
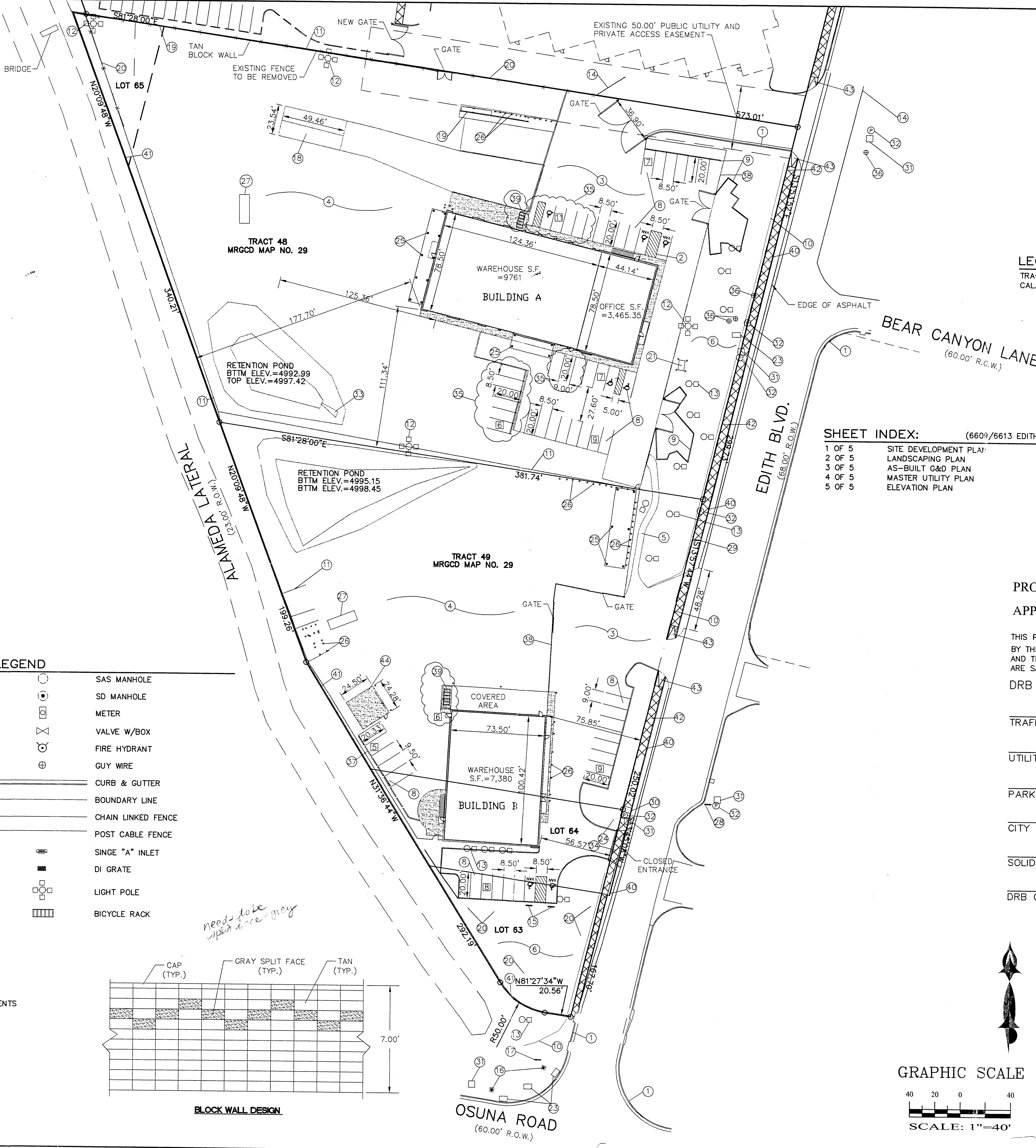
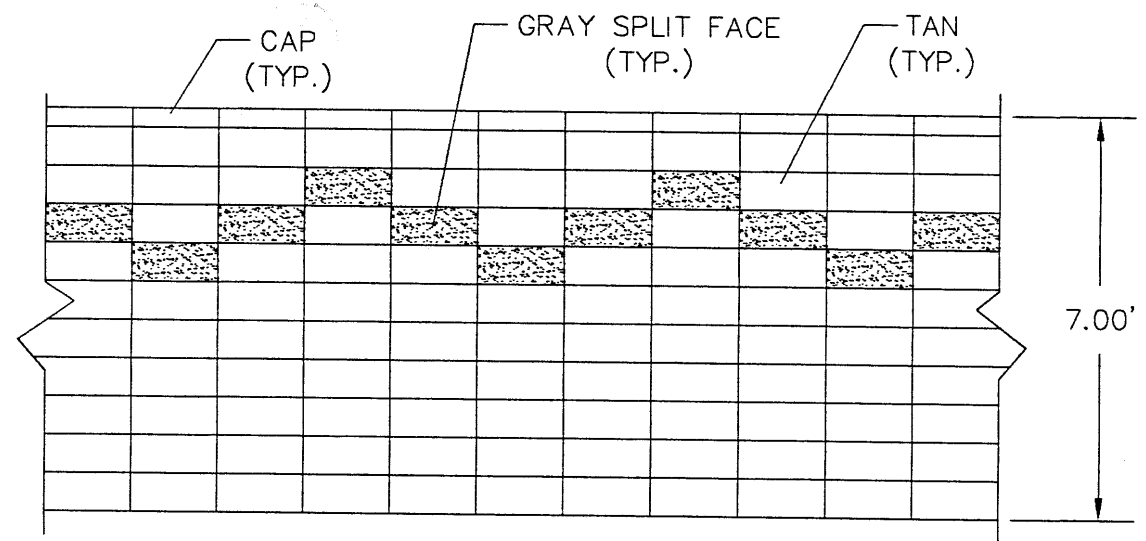
PARKING CALCULATIONS:
 PARKING REQUIRED:
 WAREHOUSE AREA: 7,380 GSF / 2000 GSF 4 SPACES
 TOTAL PARKING REQUIRED: 4 SPACES
 TOTAL PARKING PROVIDED: 28 SPACES
 HC PARKING REQUIRED: 1 SPACE
 HC PARKING PROVIDED: 2 SPACES
 BICYCLE RACK REQUIRED: 2 SPACES
 BICYCLE RACK PROVIDED: 6 SPACES

NOTES (ALL EXISTING):

- UNLESS OTHERWISE NOTED
- CURB AND GUTTER
 - ACCESSIBLE SIDEWALK RAMP
 - ASPHALT PAVING AREA
 - GRAVEL, EQUIPMENT STORAGE AREA
 - 5' ASPHALT SIDEWALK
 - LANDSCAPING
 - SAND
 - PARKING SPACES
 - RR TIE
 - POST CABLE FENCE
 - 6" HIGH CHAIN LINKED FENCE
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 - EDGE OF ASPHALT
 - VAN ACCESSIBLE SIGN
 - STOP LIGHT
 - TRAFFIC SIGN
 - CONCRETE LOAD DOCK
 - FUEL STATION
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 - CLOSED DRIVEWAY, NOT TO BE USED
 - PROPOSED NEW PARKING SPACE TO COMPLY W/ PARKING REQUIREMENTS
 - GUY WIRE
 - CONCRETE BUMPER TYP
 - 6" CHAIN LINK FENCE W/ SLATS AND BARBED WIRE
 - PROPOSED BICYCLE RACK
 - NEW STANDARD CURB PER CITY STD. DWG. # 2415A
 - PROPOSED BLOCK WALL SEE DETAIL THIS SHEET
 - NEW 6" SIDEWALK PER CITY STANDARD DWG. 2430
 - NEW UNIDIRECTIONAL RAMP PER COA DWG. 2440
 - CONCRETE PAD

LEGEND

- SAS MANHOLE
- SD MANHOLE
- METER
- VALVE W/BOX
- FIRE HYDRANT
- GUY WIRE
- CURB & GUTTER
- BOUNDARY LINE
- CHAIN LINKED FENCE
- POST CABLE FENCE
- SINGLE "A" INLET
- DI GRATE
- LIGHT POLE
- BICYCLE RACK



LEGAL DESCRIPTION:
 TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, CALAVERO ADDITION, CONTAINING 237,023.03 S.F. (5.4413 AC)
PRELIMINARY PLAN APPROVED BY DRB

- GENERAL NOTES:
- CURRENT ZONING IS SU-1 FOR IP USES, PLUS INDOOR SALES AND SERVICE OF IRRIGATION EQUIPMENT, SALES AND SERVICE OF OPERATIVE CONTRACTORS EQUIPMENT.
 - NO AMPLIFIED SOUND SHALL BE ALLOWED. THERE SHALL BE NO OUTDOOR SPEAKER SYSTEM OR PUBLIC ADDRESS (PA) SYSTEM
 - ALL STORAGE AREAS AND OUTSIDE WORK AREAS SHALL BE ADEQUATELY SCREENED FROM OFF-SITE VIEW.
 - LIGHTING ON THE SUBJECT SITE MUST COMPLY WITH ZONING CODE 14-16-3-9, AREA LIGHTING REGULATIONS.
 - IRRIGATION EQUIPMENT AND CONTRACTORS' EQUIPMENT SHALL NOT BE STORED OUTSIDE IN FILES ON THE LOADING DOCKS OR ANYWHERE OUTSIDE ON THE SUBJECT SITE.
 - ALL POLE MOUNTED LIGHTS SHALL BE NO HIGHER THAN 20 FEET FROM GRADE TO TOP AND NO HIGHER THAN 16 FEET WITHIN 100 FEET OF A RESIDENTIAL ZONE. NO LIGHTING WITHIN 100 FEET OF A RESIDENTIAL ZONE WILL BE HIGHER THAN 16 FEET. ALL POLE MOUNTED AND BUILDING MOUNTED LIGHTS SHALL BE FULLY SHIELDED TO PROHIBIT FUGITIVE LIGHT SPILLAGE ONTO SURROUNDING RESIDENTIAL PROPERTIES AND PUBLIC RIGHT OF WAY.
 - THE SITE SHALL MAINTAIN A CLEAN AND CONTAINED DUMPSTER.

SHEET INDEX: (6609/6613 EDITH BLVD.)

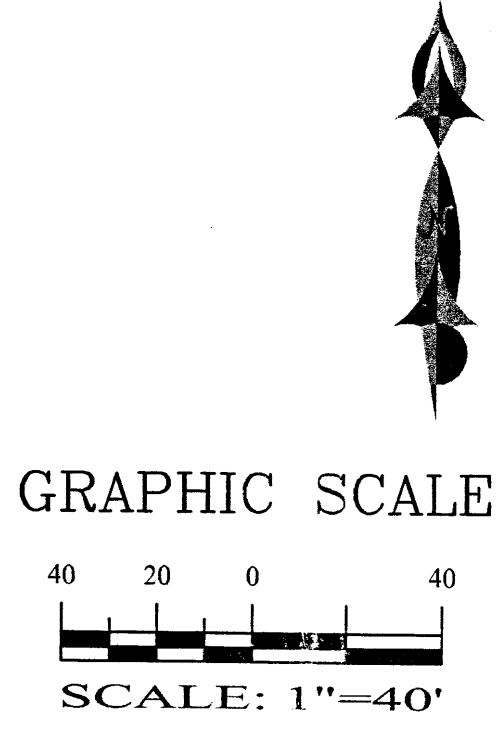
1 OF 5	SITE DEVELOPMENT PLAN
2 OF 5	LANDSCAPING PLAN
3 OF 5	AS-BUILT G&D PLAN
4 OF 5	MASTER UTILITY PLAN
5 OF 5	ELEVATION PLAN

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SHAHAB BIAZAR
 P.E. #13479
 REGISTERED PROFESSIONAL ENGINEER

ADVANCED ENGINEERING and CONSULTING, LLC
 4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87111
 (505)899-5570

6609 and 6613 EDITH BLVD.
 SITE DEVELOPMENT PLAN

DRAWING: 200458-ST.DWG	DRAWN BY: SHH	DATE: 08-29-05	SHEET: 1 OF 5
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SITE DATA – 6609 EDITH ROAD

LANDSCAPE CALCULATIONS:

NET LOT AREA	132,731	SF ±
BUILDING AREA	13,226	SF ±
LANDSCAPING REQUIRED:		
15% OF 119,505 SF	17,925	SF ±
LANDSCAPE PROVIDED	24,066	SF ±

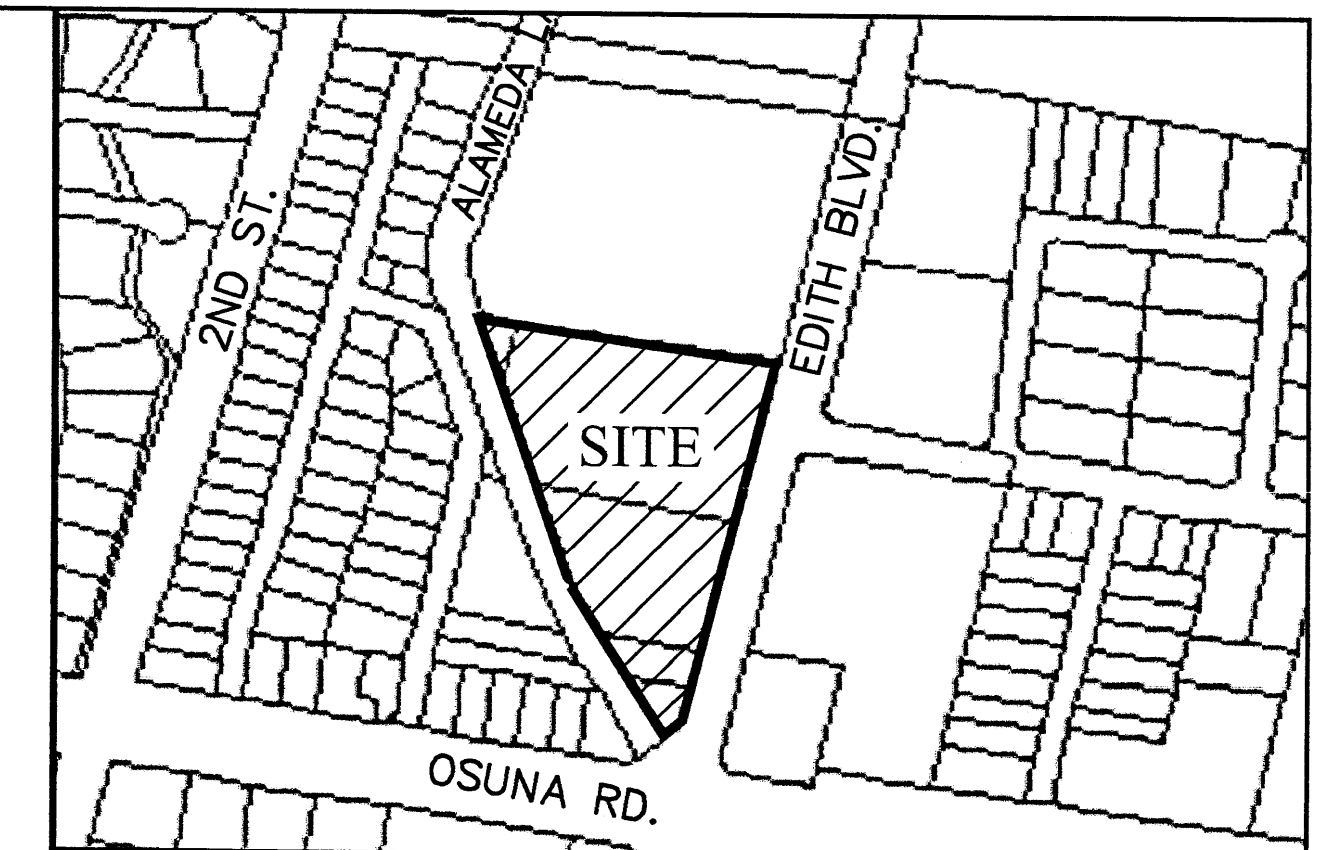
SITE DATA – 6613 EDITH ROAD

LANDSCAPE CALCULATIONS:

NET LOT AREA	80,850	SF ±
WAREHOUSE AREA	7,380	SF ±
LANDSCAPING REQUIRED:		
15% OF 73,470 SF	11,020	SF ±
LANDSCAPE PROVIDED	17,486	SF ±

LEGEND

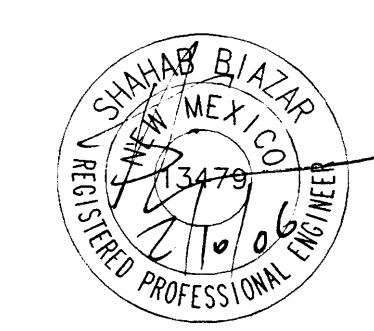
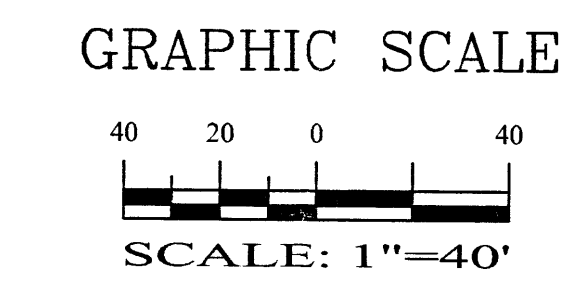
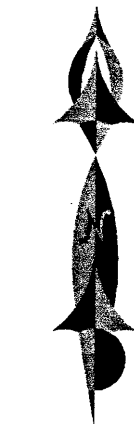
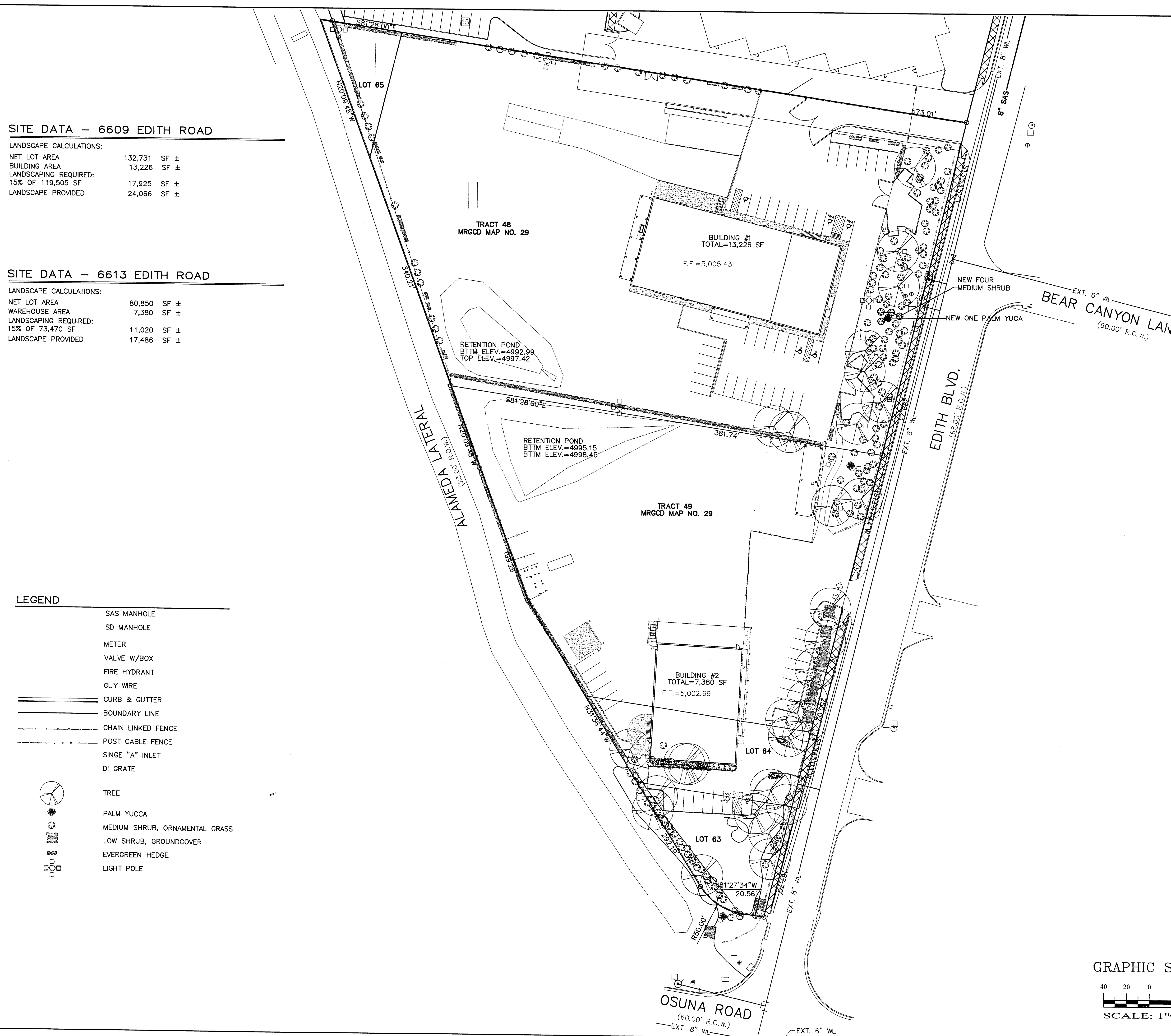
	SAS MANHOLE
	SD MANHOLE
	METER
	VALVE W/BOX
	FIRE HYDRANT
	GUY WIRE
	CURB & GUTTER
	BOUNDARY LINE
	CHAIN LINKED FENCE
	POST CABLE FENCE
	SINGE "A" INLET
	DI GRATE
	TREE
	PALM YUCCA
	MEDIUM SHRUB, ORNAMENTAL GRASS
	LOW SHRUB, GROUNDCOVER
	EVERGREEN HEDGE
	LIGHT POLE



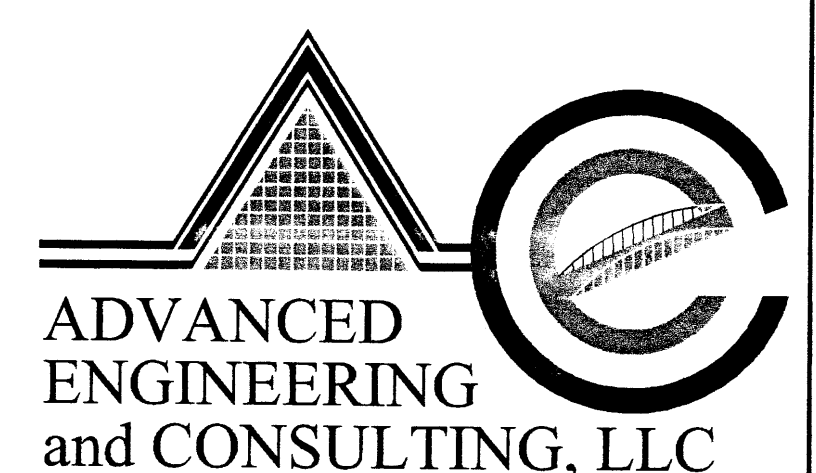
VICINITY MAP: E-15-Z

LEGAL DESCRIPTION:

TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION, CONTAINING 237,023.03 S.F. (5.4413 AC.)



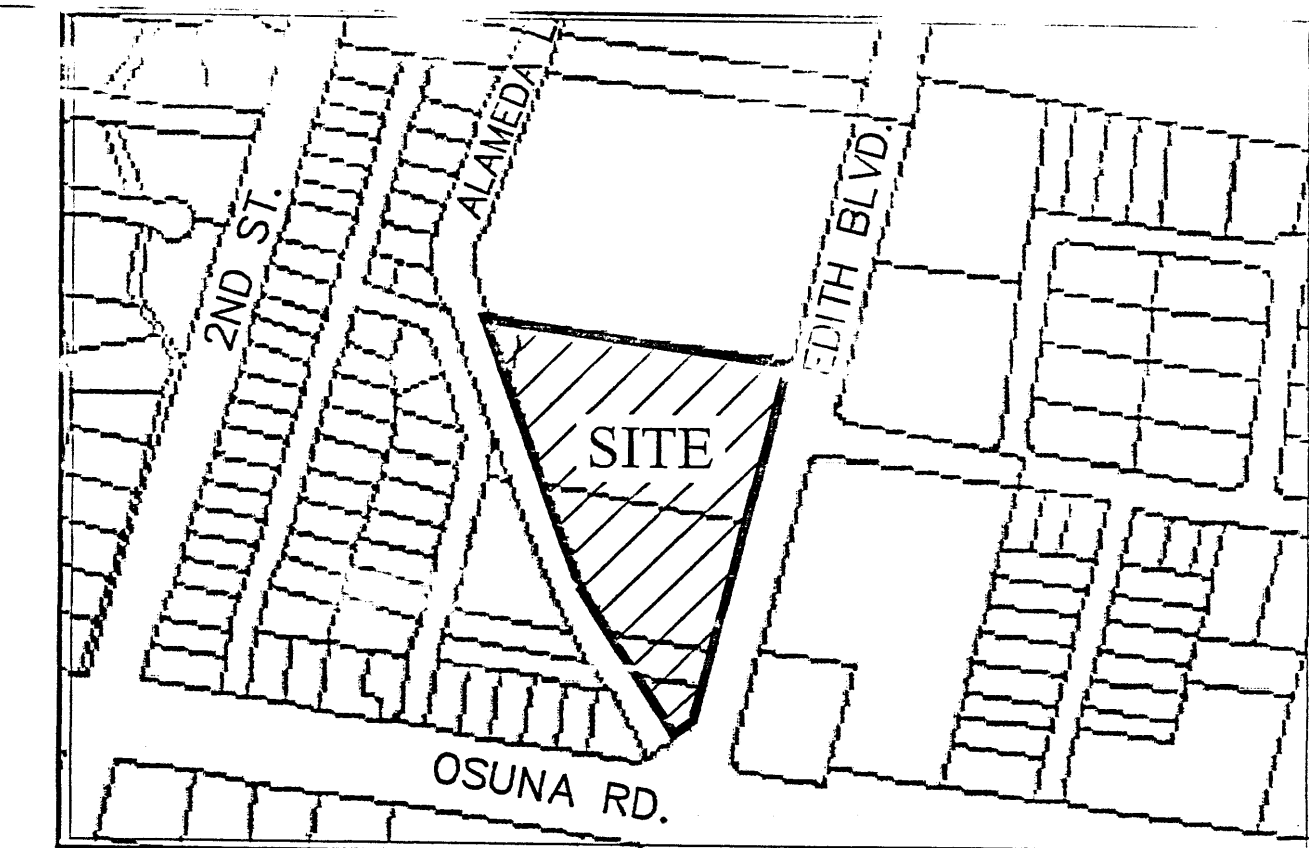
SHAHAB BIAZAR
P.E. #13479



**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

6609 and 6613 EDITH BLVD. AS-BUILT LANDSCAPING PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200458-ST-DP.DWG	SHH	08-29-05	2 OF 5

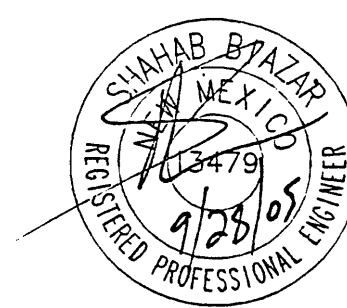
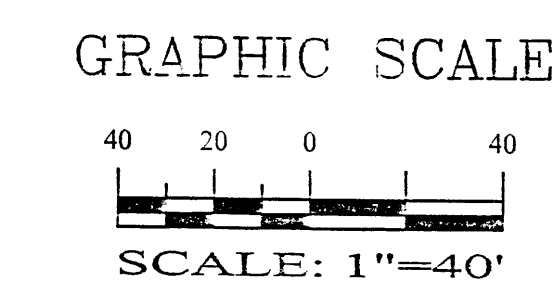
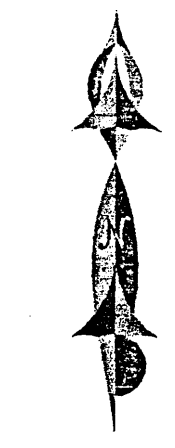
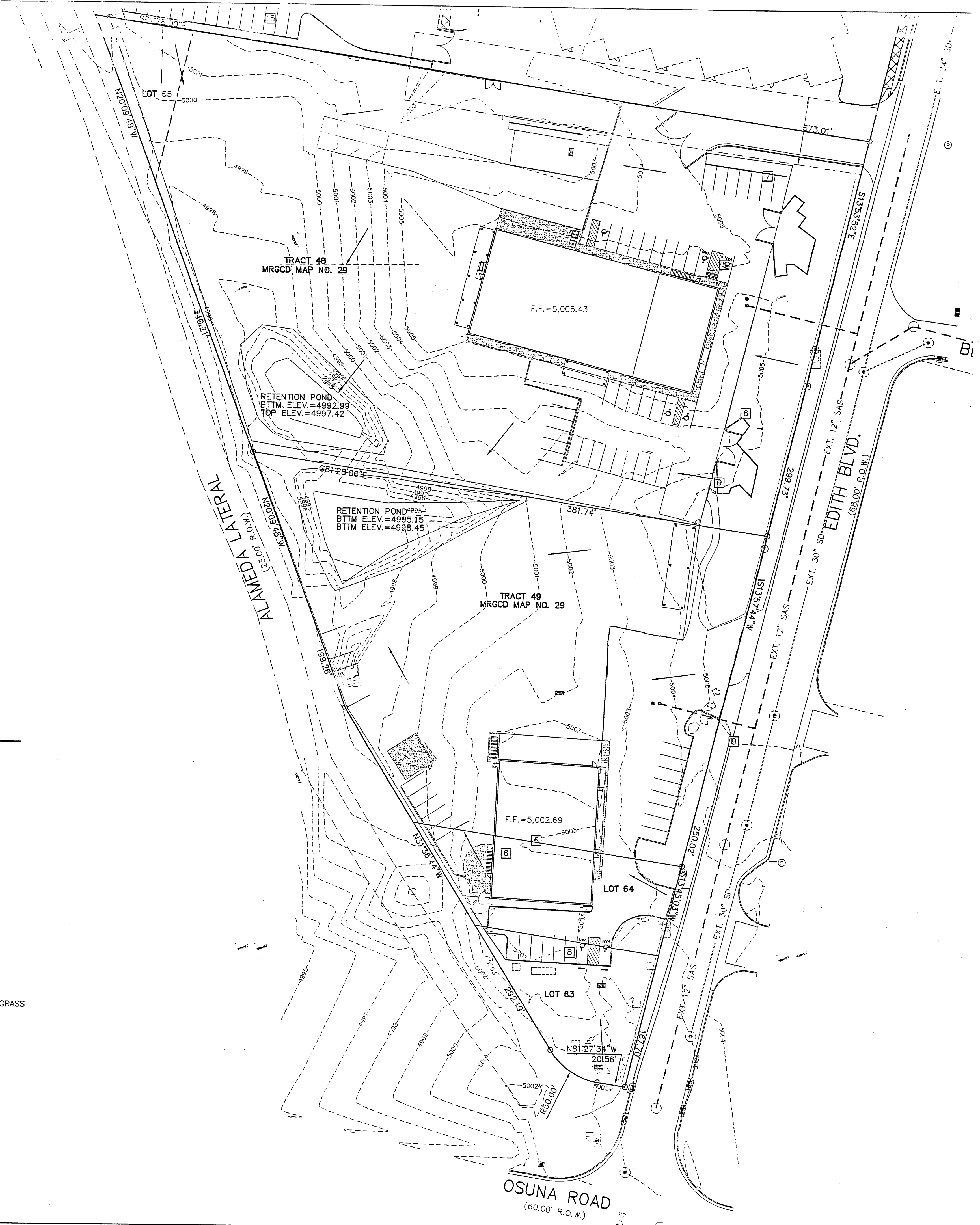


VICINITY MAP: E-15-Z

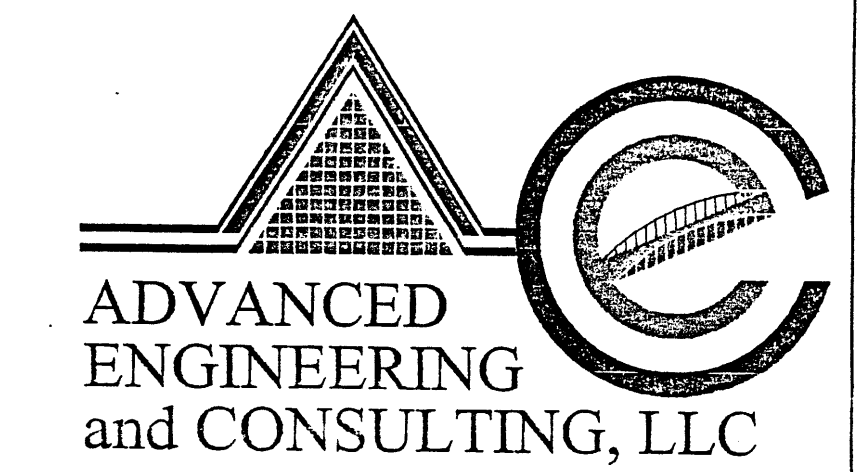
LEGAL DESCRIPTION:
 TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION, CONTAINING 237,023.03 S.F. (5.4113 AC.)

GENERAL NOTES:
 1. CURRENT ZONING IS SU-1 FOR IP USES PLUS INDOOR SALES AND SERVICE OF IRRIGATION EQUIPMENT. SALES AND SERVICE OF OPERATIVE CONTRACTORS EQUIPMENT.

- LEGEND**
- SAS MANHOLE
 - SD MANHOLE
 - METER
 - VALVE W/BOX
 - FIRE HYDRANT
 - GUY WIRE
 - CURB & GUTTER
 - BOUNDARY LINE
 - CHAIN LINKED FENCE
 - POST CABLE FENCE
 - SINGE "A" INLET
 - DI GRATE
 - TREE
 - PALM YUCCA
 - MEDIUM SHRUB, ORNAMENTAL GRASS
 - LOW SHRUB, GROUNDCOVER
 - EVERGREEN HEDGE
 - LIGHT POLE

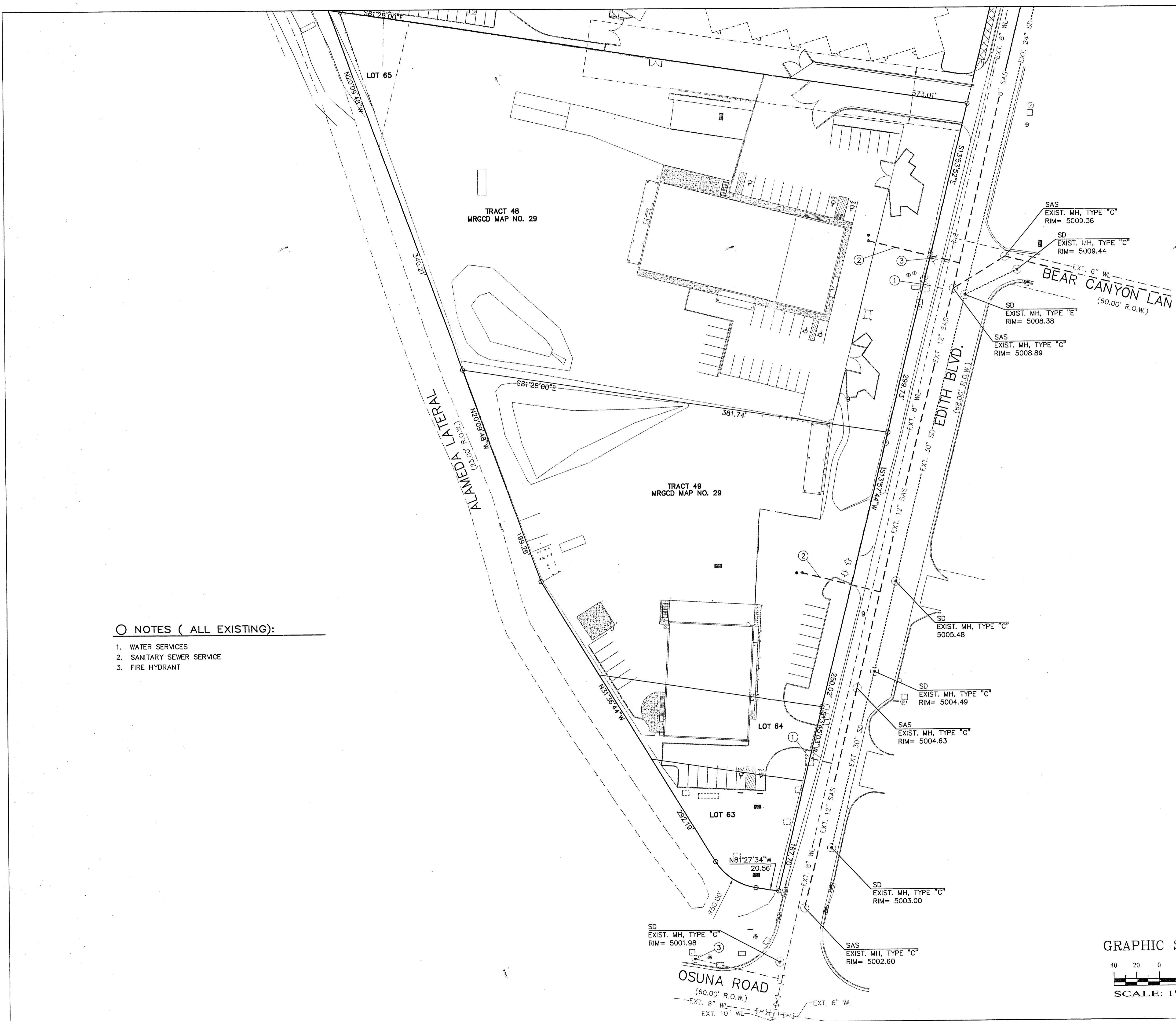


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6609 and 6613 EDITH BLVD. AS-BUILT GRADING PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200458-ST-DP.DWG	JGH	08/29/05	3 OF 5

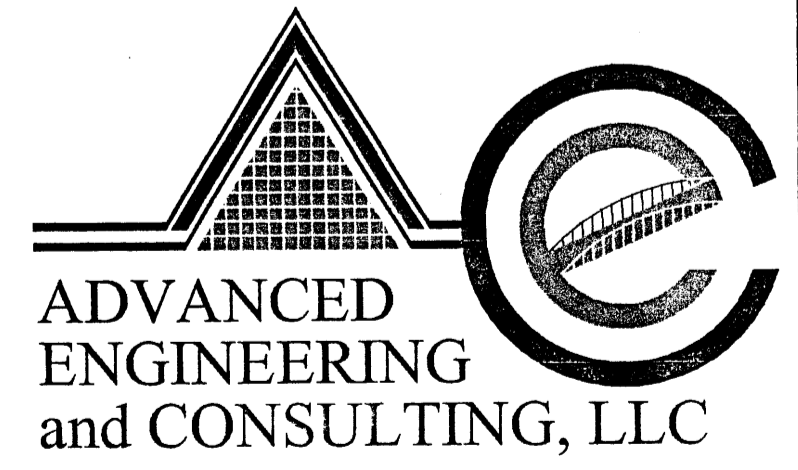
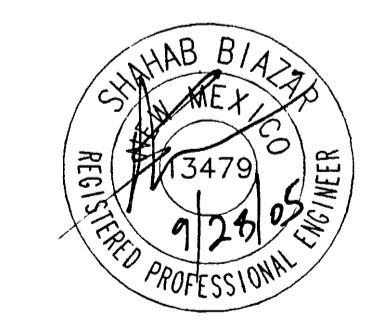
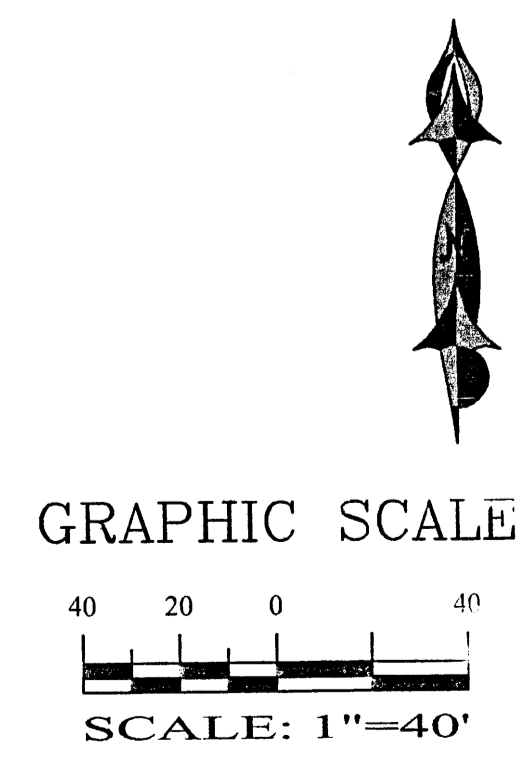


LEGAL DESCRIPTION:
 TRACT 48 AND 49, MRGCD MAP NO. 29, LOT 63, 64 AND 65, CALAVERO ADDITION,
 CONTAINING 237,023.03 S.F. (5.4413 AC.)

- NOTES (ALL EXISTING):**
1. WATER SERVICES
 2. SANITARY SEWER SERVICE
 3. FIRE HYDRANT

LEGEND

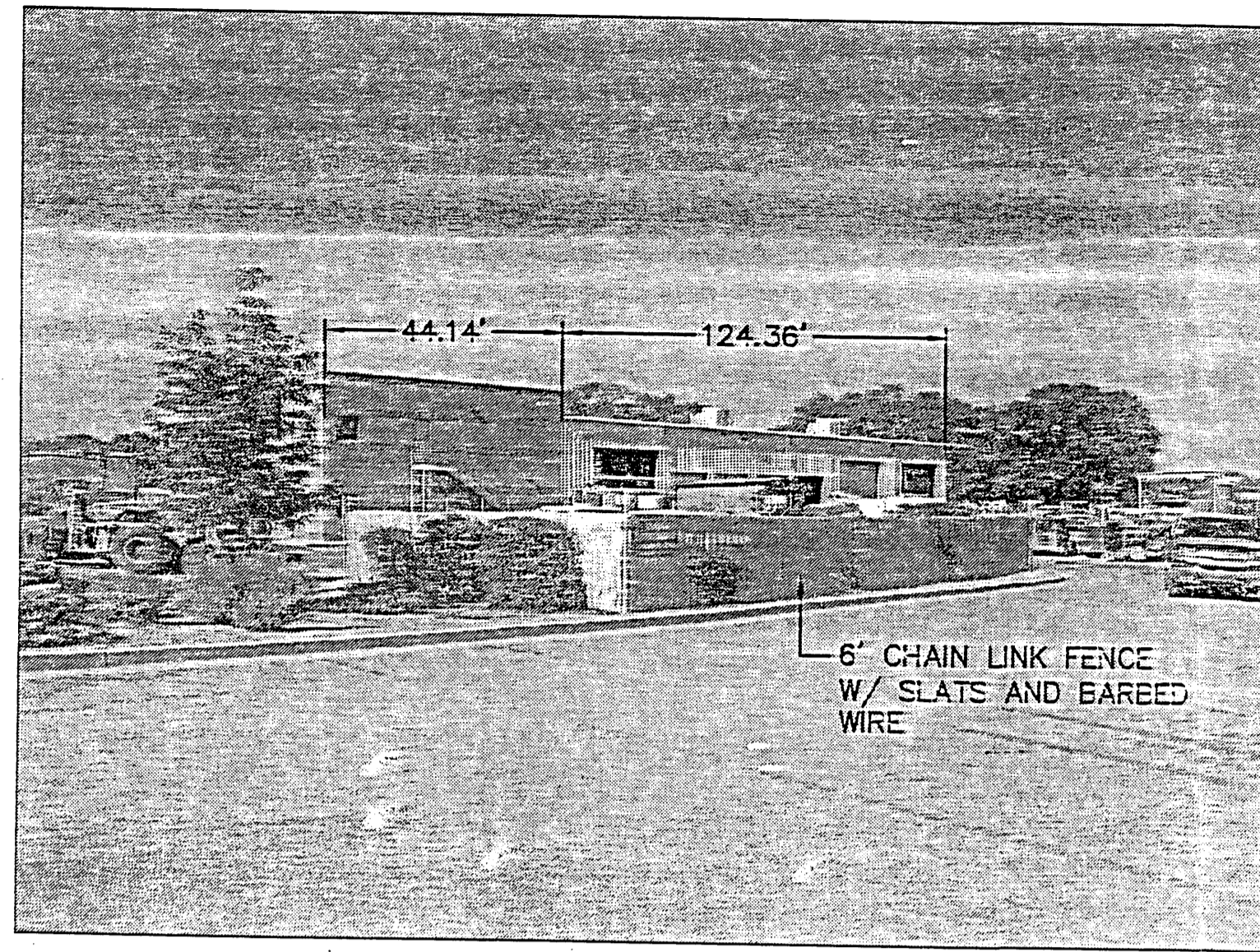
	SAS MANHOLE
	SD MANHOLE
	METER
	VALVE W/BOX
	FIRE HYDRANT
	GUY WIRE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN
	CURB & GUTTER
	BOUNDARY LINE
	CHAIN LINKED FENCE
	POST CABLE FENCE
	SINGLE "A" INLET
	DI GRATE



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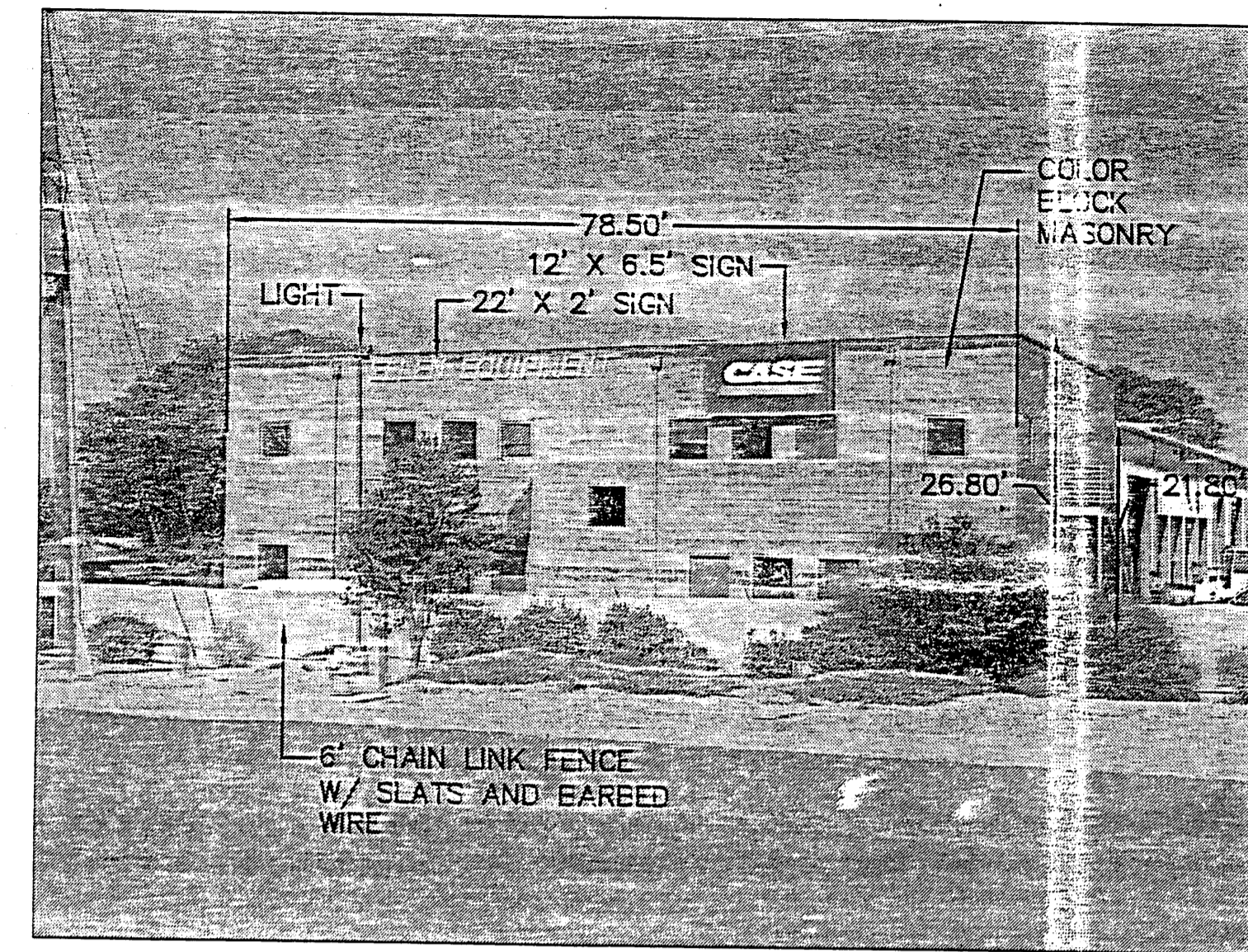
6609 a.l. 6613 EDITH BLVD. MASTER UTILITY PLAN			
DRAWING: 200458-MU PLAN.DWG	DRAWN BY: DDG	DATE: 6/28/05	SHEET # 4 OF 5



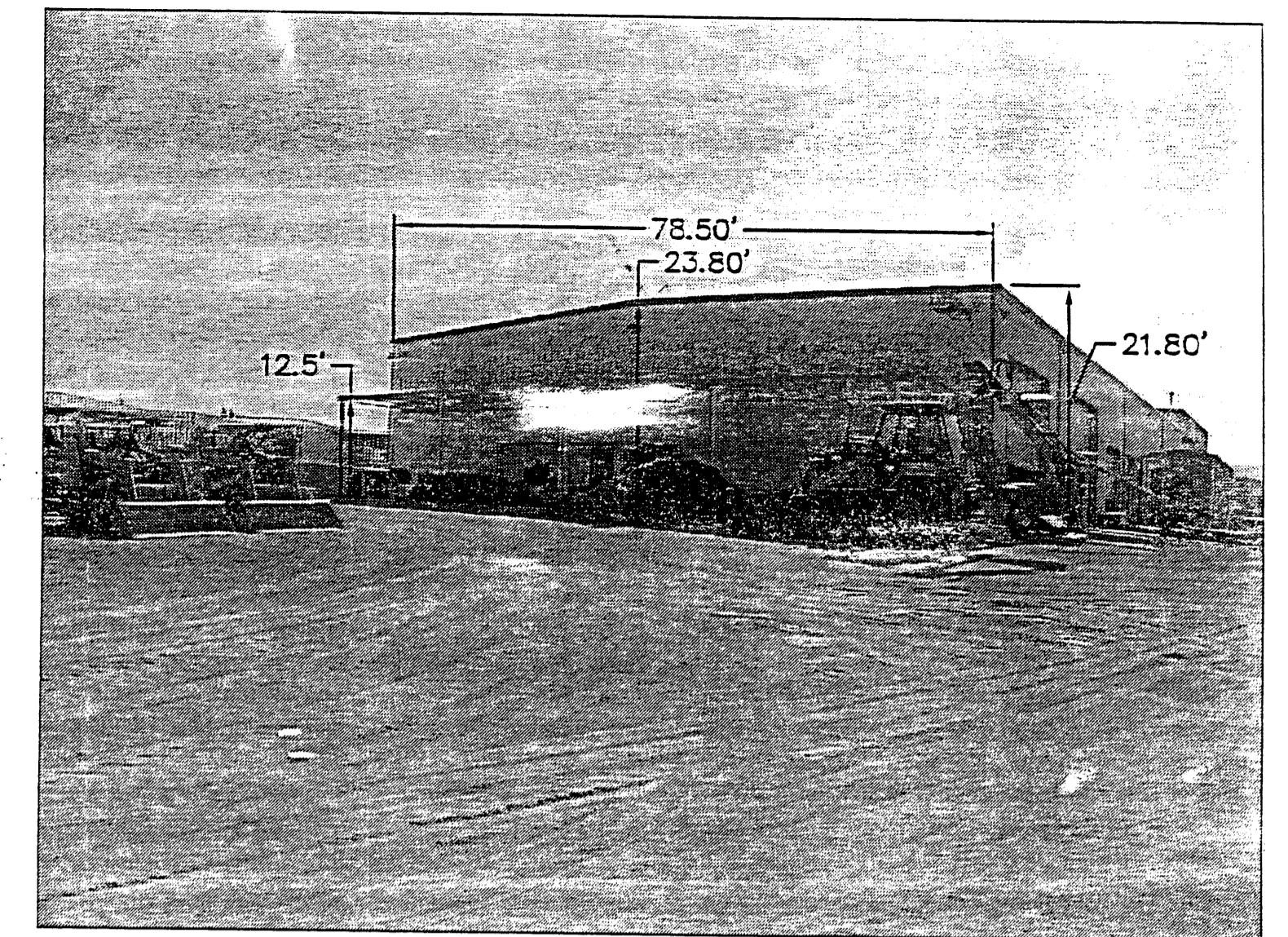
BUILDING A (NORTH ELEVATION)



BUILDING A (SOUTH ELEVATION)



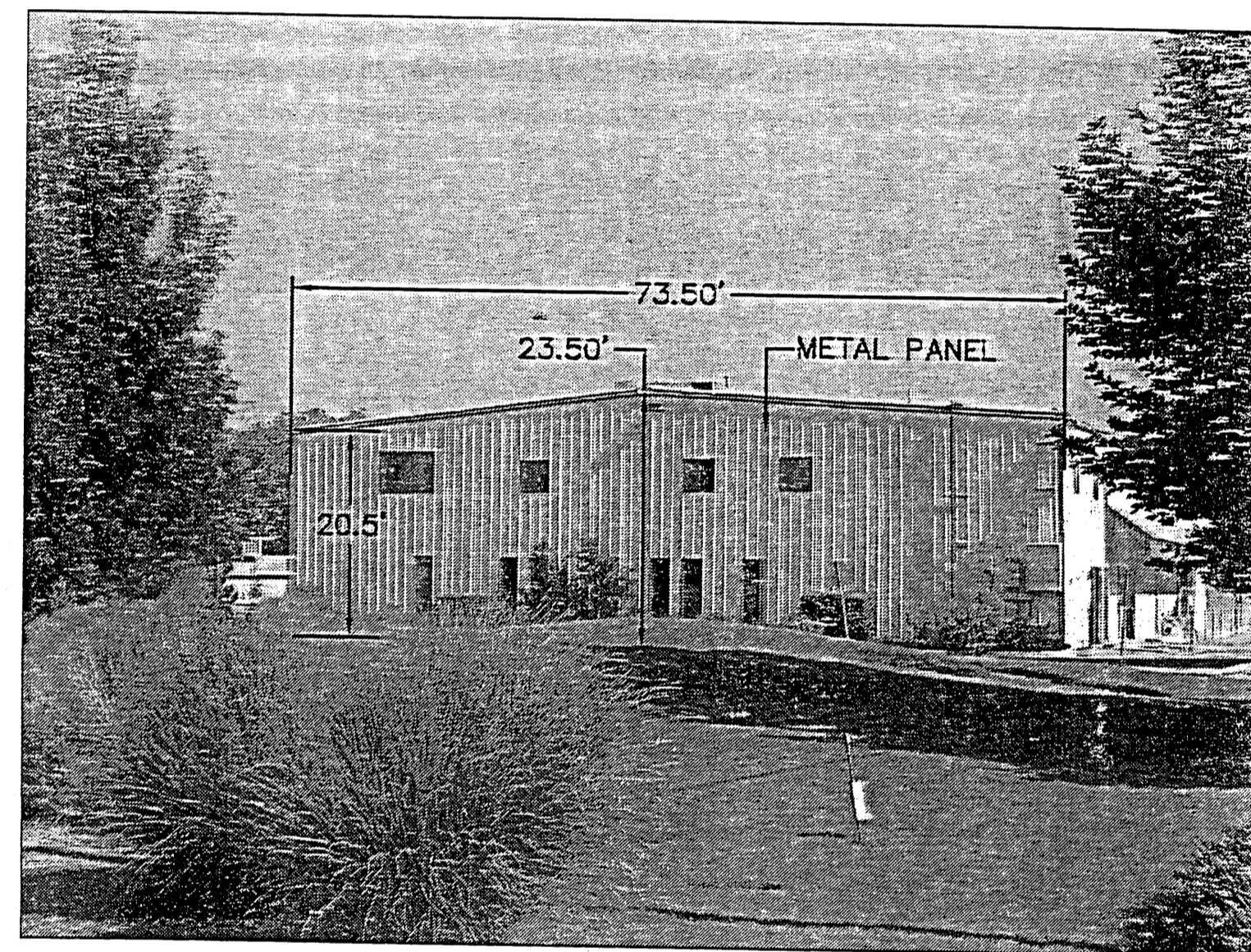
BUILDING A (EAST ELEVATION)



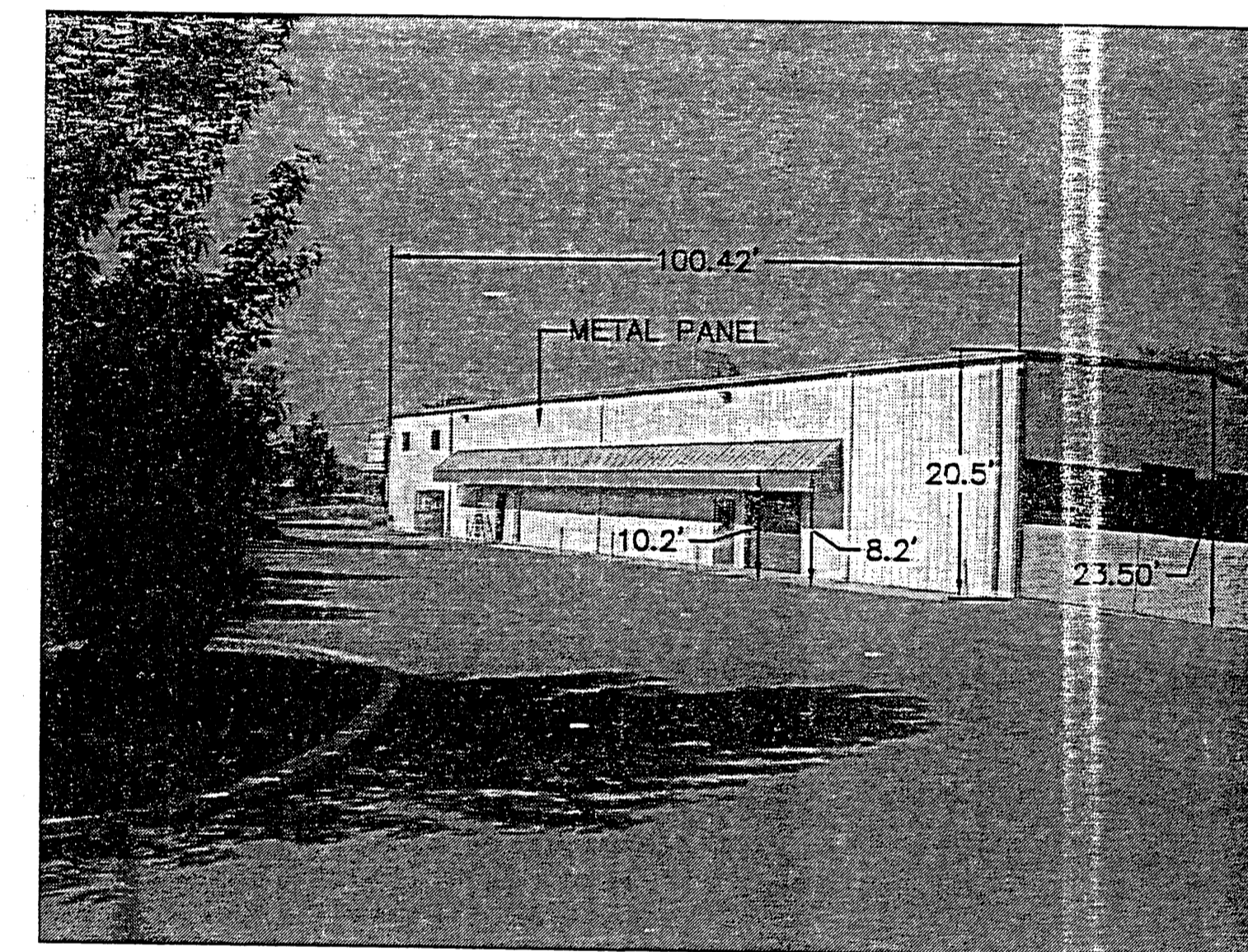
BUILDING A (WEST ELEVATION)



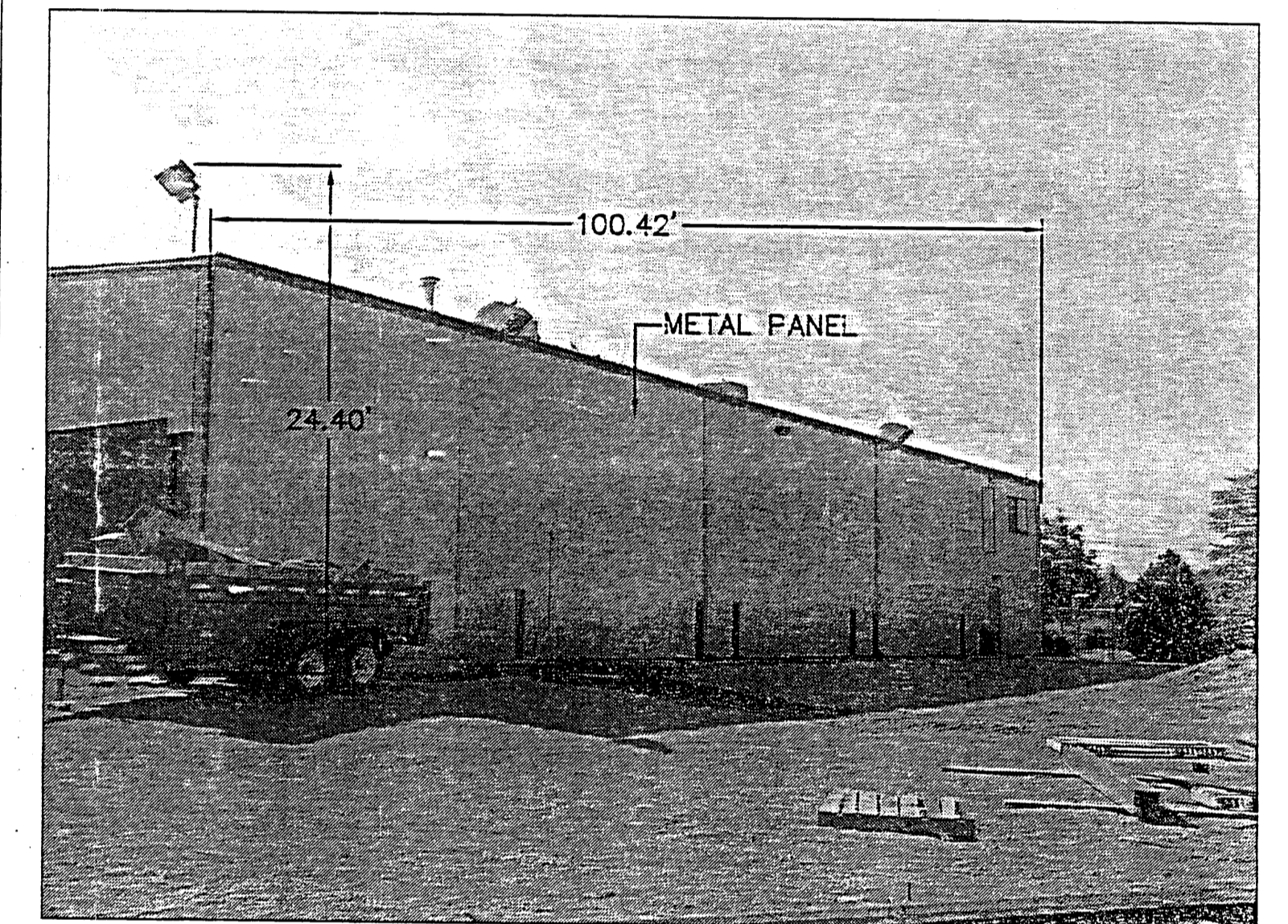
BUILDING B (NORTH ELEVATION)



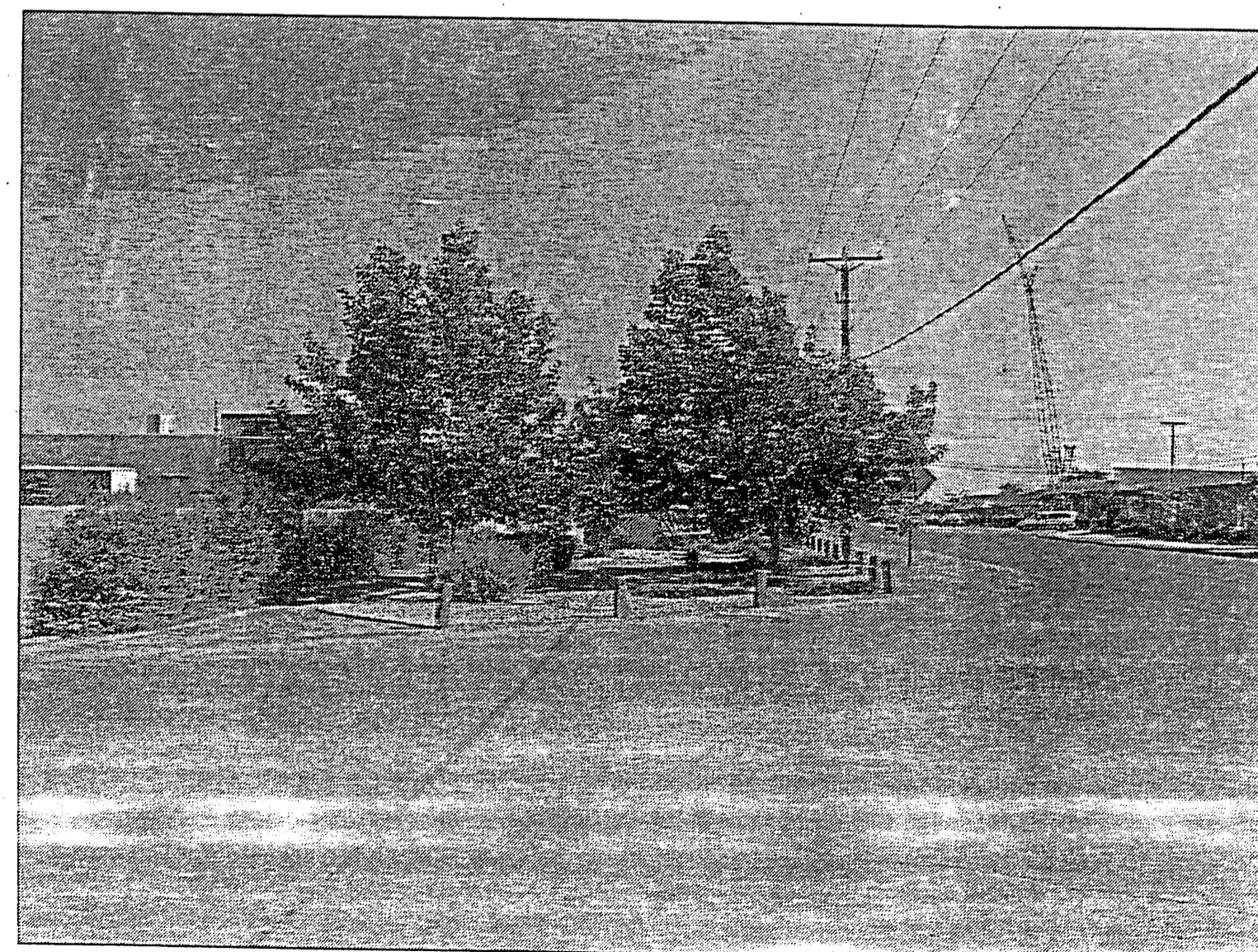
BUILDING B (SOUTH ELEVATION)



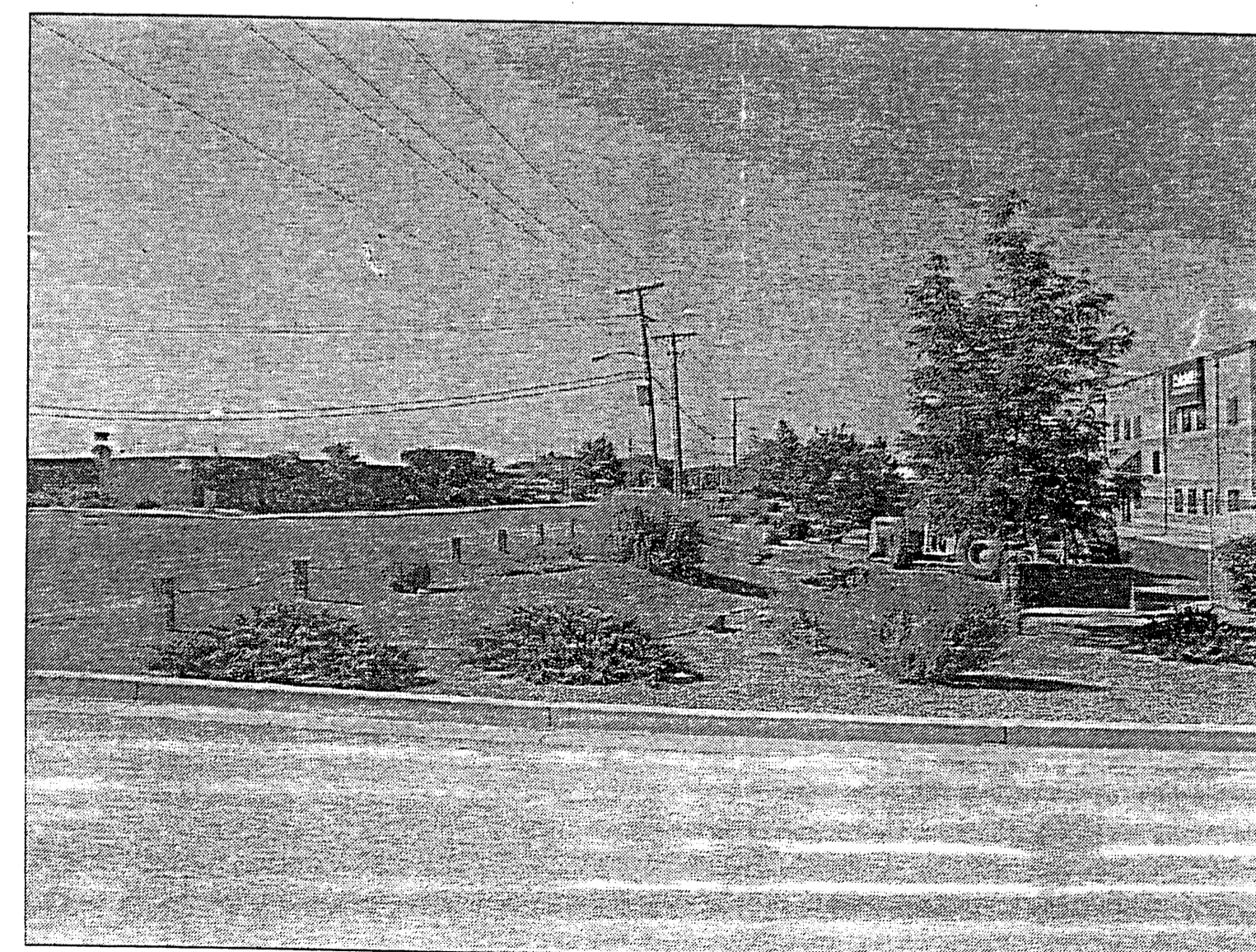
BUILDING B (EAST ELEVATION)



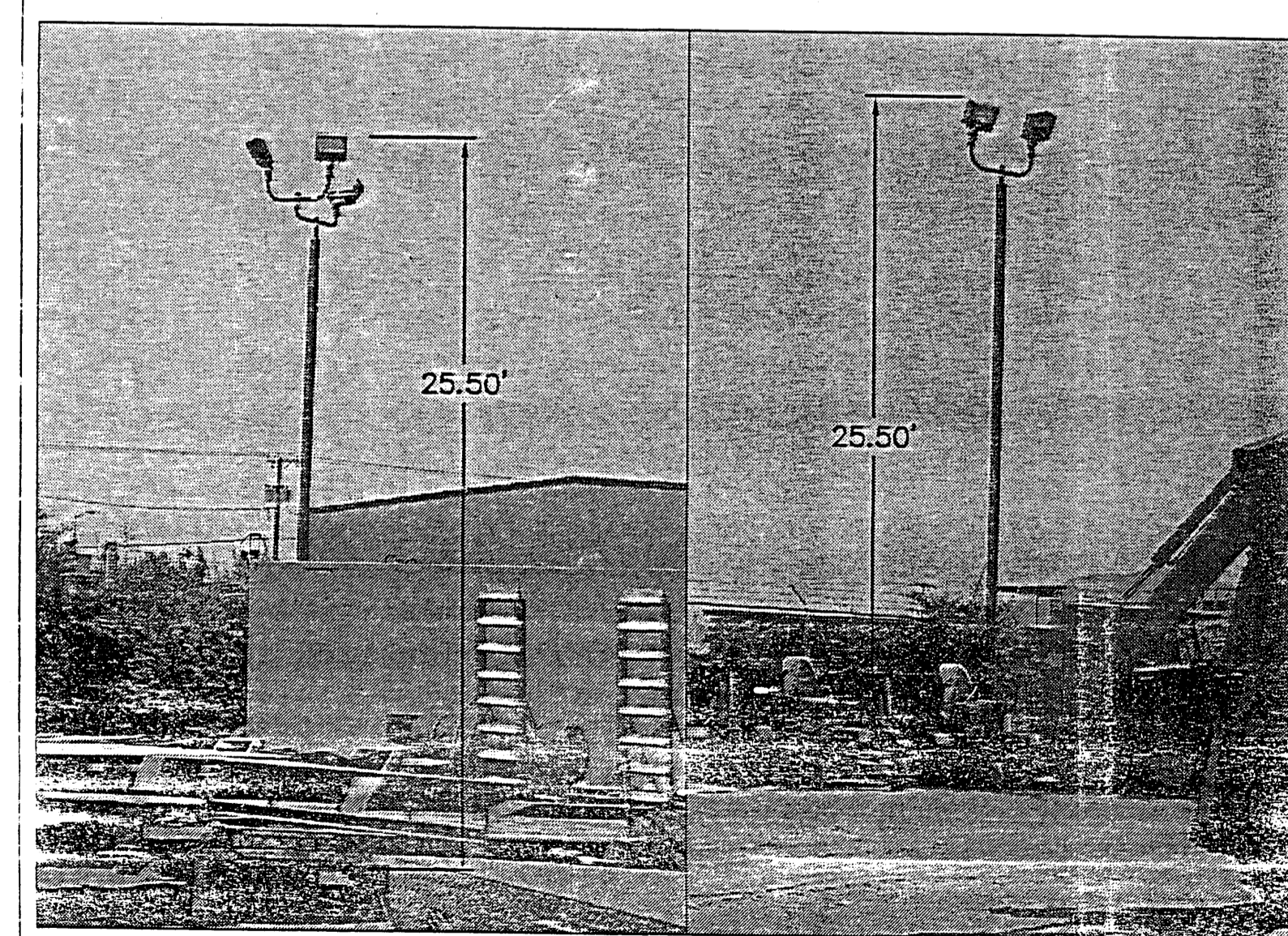
BUILDING B (WEST ELEVATION)



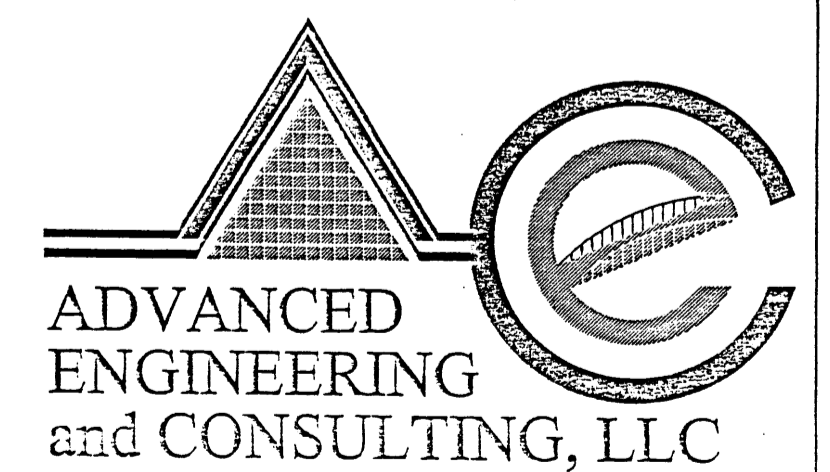
FRONT LANDSCAPING



FRONT LANDSCAPING



LIGHT POLES



ADVANCED
ENGINEERING
and CONSULTING, LLC

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6609 and 6613 EDITH BLVD.
ELEVATION PLAN

DRAWING: 200458-PIC.DWG	DRAWN BY: SHH	DATE: 08-29-05	SHEET # 5 OF 5
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REVISED: 09-29-05