

#2



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00656 (SPS)
Project Name: RENAISSANCE CENTER
Agent: Tierra West LLC

Project # 1004368
Phone No.: 858-3100

Project Number

1004368

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/13/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Cross access + Cross
Parking basements + sidewalk

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies
Landscaping pictures of walk + curb
15 day approval

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004368 AGENDA# 2 DATE: 06/13/07

Tierra West LLC

1. Name: Jan Niski Address: 5571 Midway Park Pl Zip: 87109

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

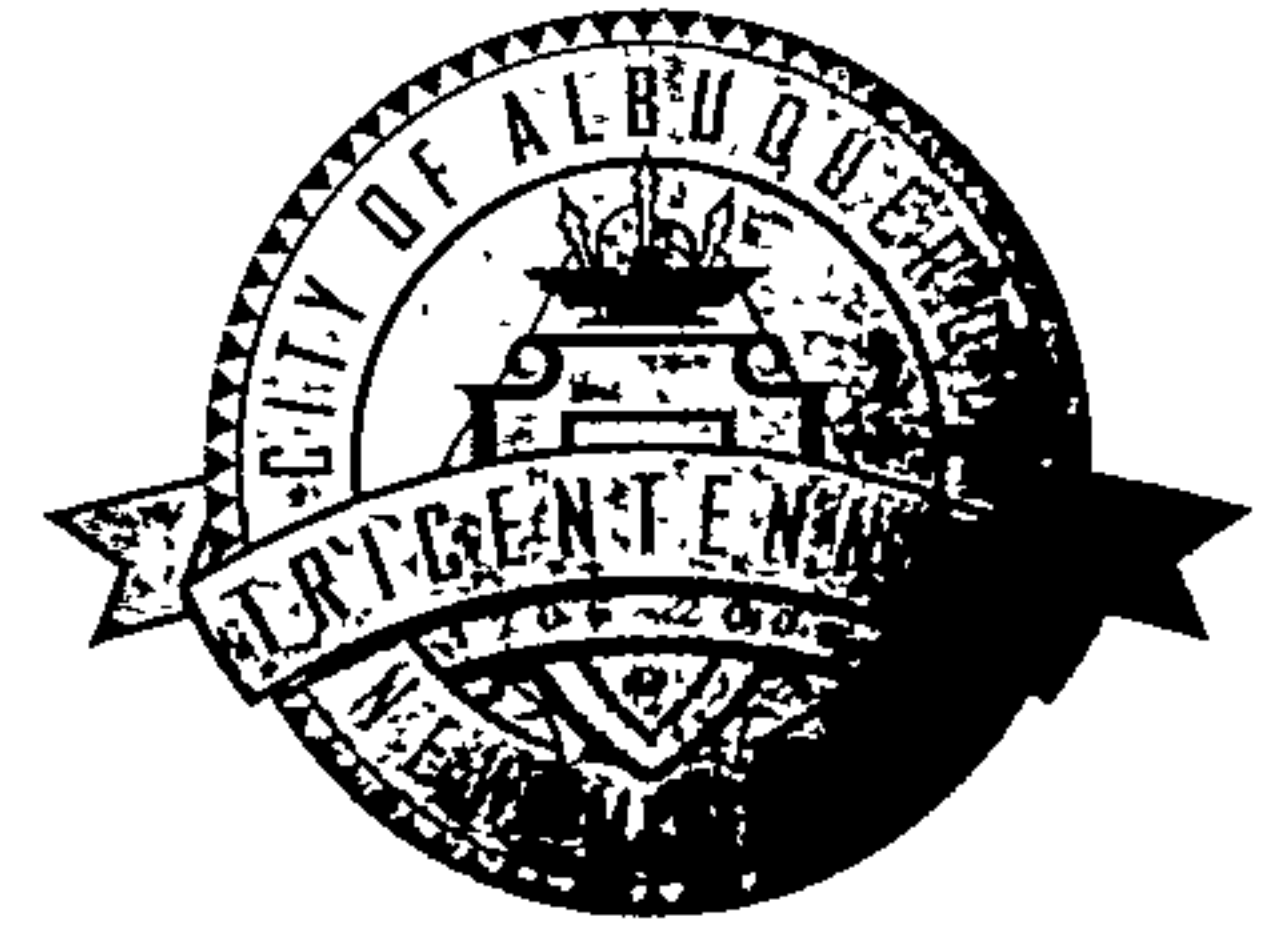
14. Name: _____ Address: _____ Zip: _____

15. Name: _____ Address: _____ Zip: _____

16. Name: _____ Address: _____ Zip: _____

17. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004368

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: (UD) (CE) **(TRANS)** (PRKS) **(PLNG)**

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JUNE 13, 2007

0



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 13, 2007

2. Project # 1004368
07DRB-00656 Major-SiteDev Plan BldPermit

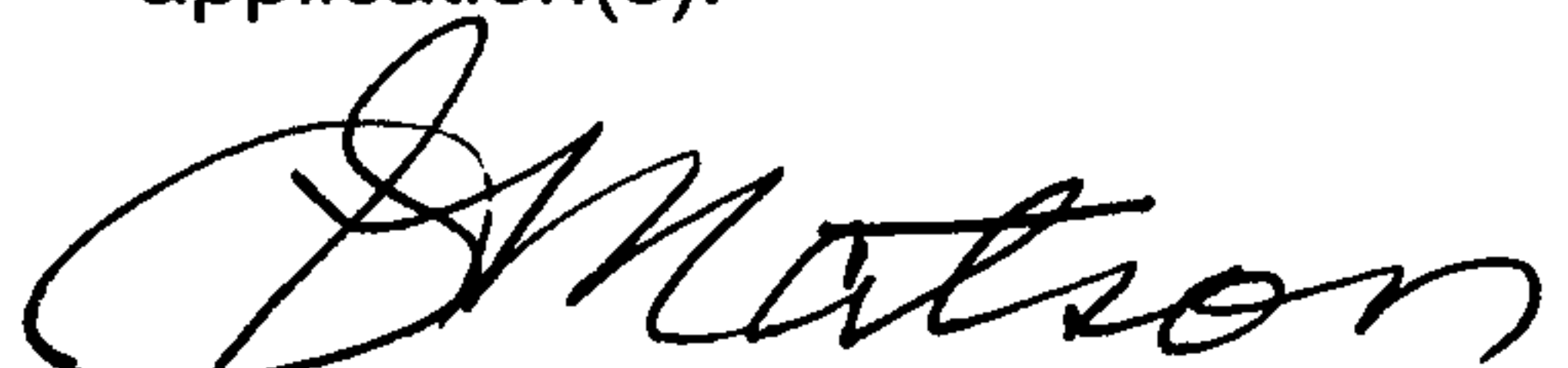
TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2, request(s) the above action(s) for all or any portion of Tract(s) 4A2, **RENAISSANCE CENTER**, zoned SU-1, IP USES, located on RENAISSANCE BLVD NE between ALEXANDER NE and CULTURE DR NE containing approximately 1 acre(s). (F-16)

At the June 13, 2007, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Transportation Development for cross access and cross parking easements and sidewalk and to Planning for 3 copies of the site plan and 15-day appeal period.

If you wish to appeal this decision, you must do so by June 28, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

Cc: Union Tension Transaction Trust 93-2, 122 Tulane SE, 87106
Tierra West LLC, 5571 Midway Park Pl NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 13, 2007

Project # 1004368
07DRB-00656 Major-SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2, request(s) the above action(s) for all or any portion of Tract(s) 4A2, **RENAISSANCE CENTER**, zoned SU-1, IP USES, located on RENAISSANCE BLVD NE between ALEXANDER NE and CULTURE DR NE containing approximately 1 acre(s). (F-16)

AMAFCA	No adverse comments.
COG	No comments received.
Transit	No comments received.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	Letter(s) sent to No Association(s)
APS	

Renaissance Center a proposed retail center located at Renaissance Blvd NE and between Mercantile Ave NE and Culture Dr NE (Tract 4A2, Renaissance Center), will have no adverse impacts on the APS district.

Police Department No crime prevention or CPTED comments at this time.

Fire Department

Exact fire hydrant requirements will be figured when permitted plans are submitted for review.

PNM Electric & Gas	Approved.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.

Open Space Division

No adverse comments.

City Engineer

No adverse comment.

Transportation Development

A copy of the plat is needed that shows cross access, cross parking and easements for the meandering sidewalk. Are the sidewalks within the public right-of-way existing? Are the ADA ramps in place? The motorcycle stalls need to be shortened. Has the tract paid its TIS offsite mitigation fees?

Parks & Recreation

No objection.

Utilities Development

Need Fire Flow Calculation Sheet and Fire Marshall's approval on Site Plan showing location of all required fire hydrants.

Planning Department

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2, request(s) the above action(s) for all or any portion of Tract(s) 4A2, **RENAISSANCE CENTER**, zoned SU-1, IP USES, located on RENAISSANCE BLVD NE between ALEXANDER NE and CULTURE DR NE containing approximately 1 acre(s). (F-16)

Planning appreciates the inclusion of the SPS pertaining to this site in the application.

General Comments:

- Remove the EPC paragraph and the word "Signoff" from the signature block.
- Under "Notes", remove numbers 2 and 3.
- The location of the monument sign on the site plan sheet was not found even though it was assigned "E".
- On the Landscape Plan, the 2 references to Santa Fe Brown gravel should include "3" minimum depth".
- Under "Landscape Calculations", is the Offsite Area the square footage of the lot located in the access road?

The Renaissance Master Plan (RMP) requires 1 tree per 20 lineal feet of frontage. Culture requires: 293.8 ft divided by 20 = 14 trees. The Landscape Plan has 11 trees. Renaissance Blvd.requires 7 trees. 158.74 divided by 20 = 7 trees. The Landscape Plan has 6 trees.

Planning Department

The RMP requires a minimum 4 varieties of shade trees. The Landscape Plan shows 2 varieties. The minimum size requirement for shrubs and vines is 5 gallon.

The approval letter from the ARC is required.

Impact Fee Administrator

Impact Fees are not applicable at this time of platting. However, Impact Fees will be required at the time a building permit is issued for the new 16,190 sf retail center. Using the building size given and 1.08 acres for impervious acreage the estimated impact fees are as follows.

1. Roadway Facilities for the I-25 Corridor: \$ 44,684.40
2. Public Safety Facilities for the Eastside: \$7,366.45

Impact Fees are to be paid at the time of issuance of building permits.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Union Tension Transaction Trust 93-2, 122 Tulane SE, 87106
Tierra West LLC, 5571 Midway Park PI NE, 87109

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: June 13, 2007
Z one Atlas Page: F-16
Notification Radius: 100 Ft.

Project# 1004368
App#07DRB-00656

**Cross Reference and Location: RENAISSANCE BLVD NE BETWEEN
MERCANTILE AVE NE AND CULTURE DR NE**

Applicant: UNION TENSION TRANSACTION TRUST 93-2
122 TULANE SE
ALBUQUERQUE, NM 87106

Agent: TIERRE WEST LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: MAY 25, 2007
Signature: ERIN TREMLIN



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Union Pension Transaction Trust 93-2 PHONE: 505-268-1200
 ADDRESS: 122 Tulane SE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: Site Plan for Building Permit Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 4A2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Renaissance Center
 Existing Zoning: SU1 for IP Uses Proposed zoning: No change
 Zone Atlas page(s): F-16 MRGCD Map No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Z-84-13/
SV 95-44/DRB 95-399/

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.44 +/-
 LOCATION OF PROPERTY BY STREETS: On or Near: Renaissance Blvd NE
 Between: Mercantile Ave. NE and Culture Drive NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

(Print) Ronald R. Bohannon, P.E. DATE 5/8/07
 Applicant Agent

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	SF	Fees
<u>01DRB - 00656</u>	<u>SBP</u>	<u>P2</u>	<u>\$ 385.00</u>
_____	_____	_____	\$ _____
_____	<u>AVP</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____

Form revised 4/07

Total
\$ 480.00

Hearing date June 13

Josh W. [Signature] 5/16/07
 Planner signature / date

Project # 1004368

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15) Maximum Size: 24" x 36"

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.

Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14) Maximum Size: 24" x 36"

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.

Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10) Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.

Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.

Applicant name (print)

[Signature]

5/8/07
Applicant signature / date



Form revised APRIL 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
070RB - 00656

[Signature] 5/16/07
Planner signature / date
Project # 1004368

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OW NE R ST ATE	OW NE R ZIP CO DE	PR OP ERT Y CL AS S	TA X DIS TRI CT	LEGAL
1	101606 135018 340610	UNITED NM TRUST CO/TRUST EE OF UNION PENS TRANS T RUST #93-2NM	1110 PENN SYLVANIA N E SUITE A	ALBU QUE RQU E	N M	871 10	V	A1 A	TR 6A2 PLAT OF TRACTS 6-A-1, 6- A-2, 7-A & 7- B RENAISSANCE CENTER CONT 3. 684 AC OR 160,462 SF
2	101606 135926 710205	TIERRA RENAISSANCE LLC	2577 MAIN AVE	DUR ANG O	C O	813 01	C	A1 A	TRACT 10-B PLAT OF TRS 9-A- 1, 10-A & 10- B OF RENAISSANCE CENTER CON T 7.597 AC OR 330,927 SF
3	101606 129626 621025	SAMS EAST INC/WALMART ST ORES INC PRPTY TAX DEPT 8 914 STORE 4938- 00/ABQ CENTRAL	1301 SE 10T H ST	BENT ONVI LLE	AR	727 16 0 555	V	A1 A	TRACT 3B2- A PLAT OF TRACTS 3A3-A, 3A4- A, 3B1-A AND 3B2- A RENAISSANCE CENTER CONT 6. 4210 AC
4	101606 128819 930709	KNIEVEL KENNETH D & MARJ ORIE A KNIEVEL & KENNETH DONALD KNIEVEL ETAL	225 SEQUO IA CIR	WIND SOR	C O	805 50 5 807	C	A1 A	TR 4A1 CORRECTION PLAT OF TR ACTS 4A1 & 4A2 RENAISSANCE CE NTER III CONT 7.1407 AC
5	101606 131521 530708	WELLS FARGO BANK NEW ME XICO N A UNION PENSION TR ANS TRUST 93-2NM	1110 PENN SYLVANIA N E SUITE A	ALBU QUE RQU E	N M	871 10	V	A1 A	TR 4A2 CORRECTION PLAT OF TR ACTS 41A1 & 4A2 RENAISSANCE C ENTER III CONT 1.4455 AC
6	101606 135021 840615	TRACT 6 LIMITED LIABILITY C OMPANY	2340 MENA UL BLVD NE	ALBU QUE RQU E	N M	871 07 1 842	C	A1 A	TR 6A1 PLAT OF TRACTS 6-A-1, 6- A-2, 7-A & 7- B RENAISSANCE CENTER CONT 2. 926 AC OR 127,472 SF

Or Current Resident
KNIEVEL KENNETH D & MARJORIE A
KNIEVEL & KENNETH DONALD
KNIEVEL ETAL
225 SEQUOIA CIR
WINDSOR, CO 80550 5807

Or Current Resident
TRACT 6 LIMITED LIABILITY
COMPANY
2340 MENAUL BLVD NE
ALBUQUERQUE, NM 87107 1842

Project# 1004368
UNION PENSION TRANSACTION
TRUST 93-2
122 TULANE SE
ALBUQUERQUE, NM 87106

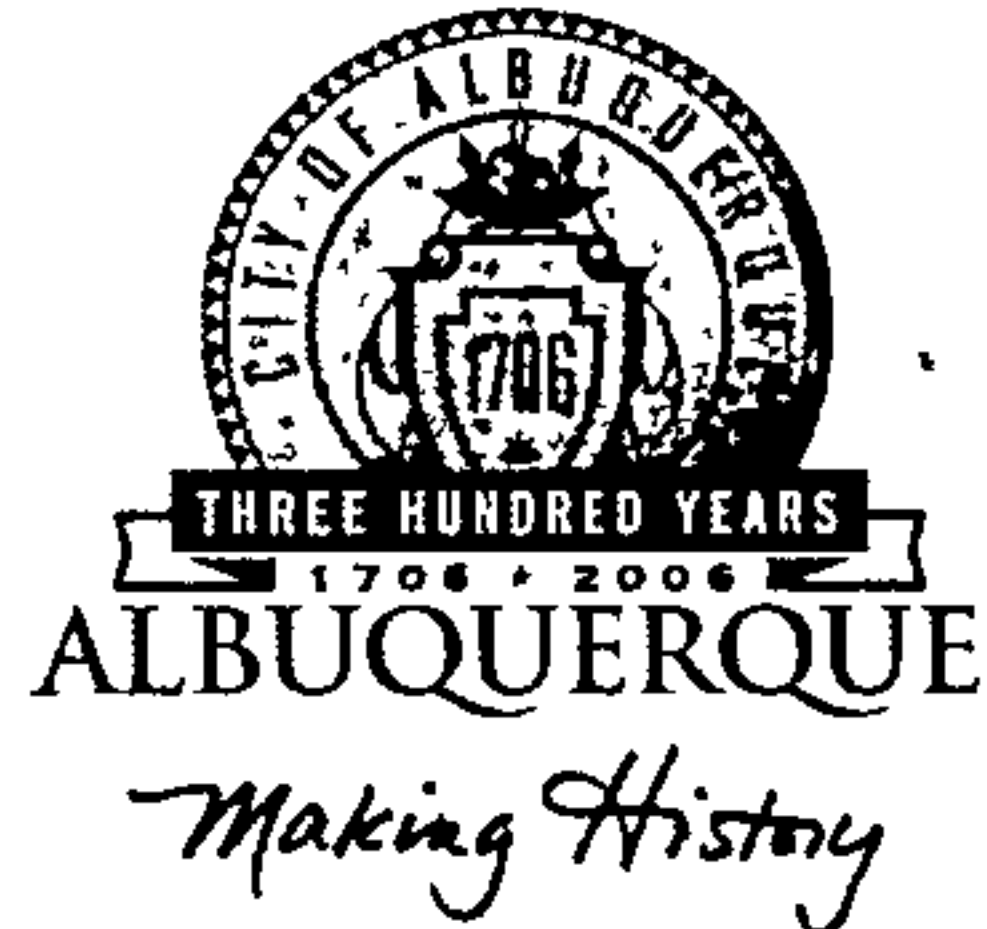
Or Current Resident
SAMS EAST INC/WALMART STORES
INC PRPTY TAX DEPT 8914 STORE
4938-00/ABQ CENTRAL
1301 SE 10TH ST
BENTONVILLE, AR 72716 0555

Or Current Resident
UNITED NM TRUST CO/TRUSTEE OF
UNION PENS TRANS TRUST #93-2NM
1110 PENNSYLVANIA NE SUITE A
ALBUQUERQUE, NM 87110

Project# 1004368
KELI KRUEGER
Tierra West LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

Or Current Resident
TIERRA RENAISSANCE LLC
2577 MAIN AVE
DURANGO, CO 81301

Or Current Resident
WELLS FARGO BANK NEW MEXICO
N A UNION PENSION TRANS TRUST
93-2NM
1110 PENNSYLVANIA NE SUITE A
ALBUQUERQUE, NM 87110



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

April 18, 2007

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **April 18, 2007:**

Contact Name: KELI KRUEGER

Company or Agency: TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE/87109
PHONE: 858-3100/FAX: 858-1118
E-mail: kkrueger@tierrawestllc.com

contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at **TRACT 4A2, RENAISSANCE CENTER, LOCATED ON RENAISSANCE BOULEVARD NE BETWEEN MERCANTIL AVENUE NE AND CULTURE DRIVE NE** zone map **F-16**.

Our records indicate that as of April 18, 2007, there were no Recognized Neighborhood Associations in this area.


If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

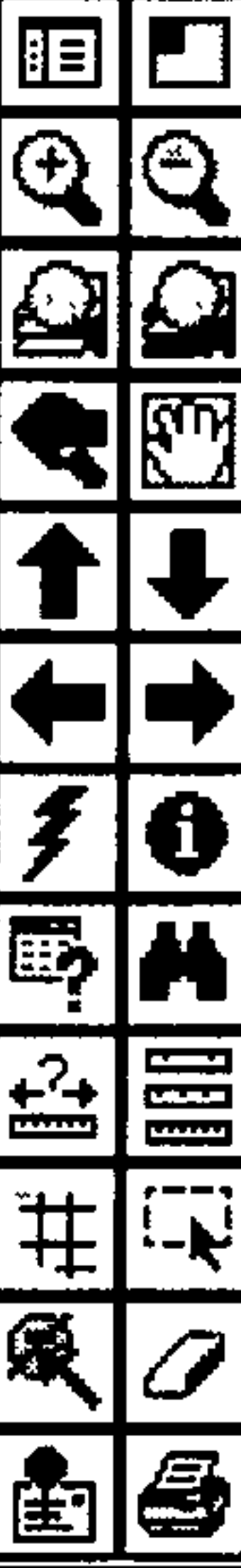
Stephani Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

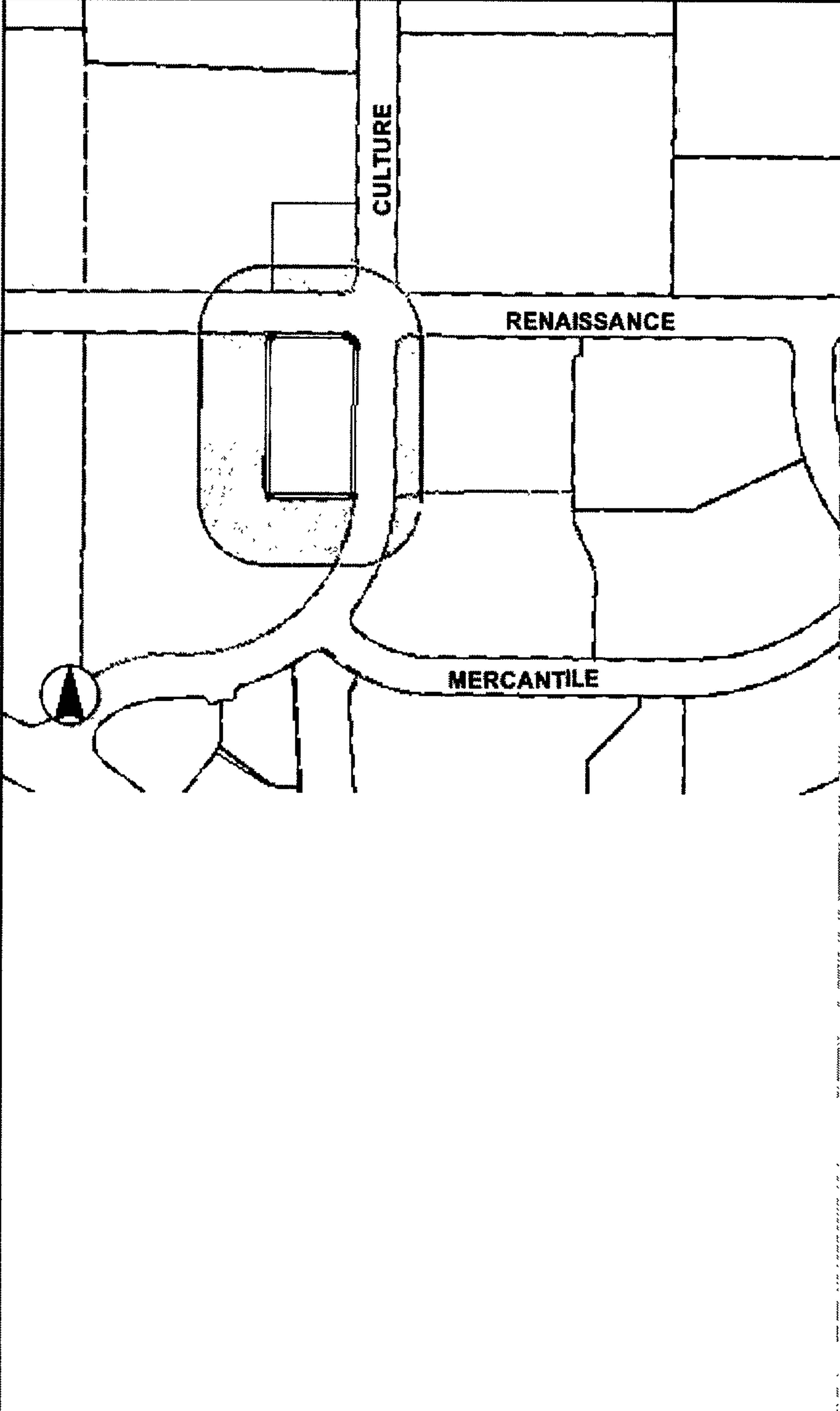
planningnrnaform(10/18/04)



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





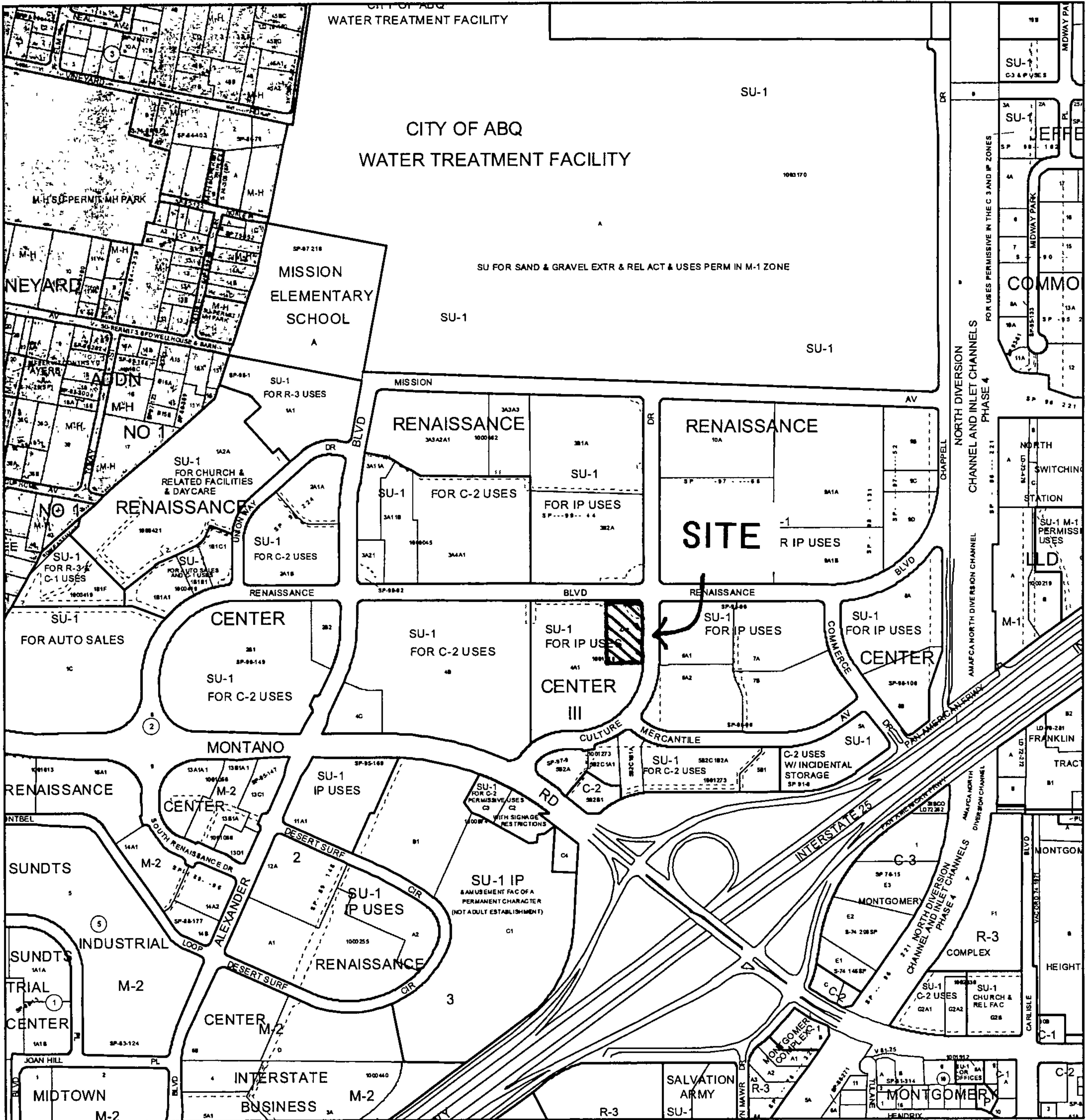
LAYERS

- STREETS
- FREEWAYS
- MAJOR STREETS
- STREET NETWORK
- STREET NAMES
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- MUNICIPAL LIMITS
- ZONE GRID
- NEIGHBORHOODS
- METRO DEV AREA
- DASZ
- DESIGN OVERLAY
- POLICE BEATS
- COUNCIL
- PARKS
- PETROGLYPH MNT
- BOSQUE SECTORS
- OPENSOURCE
- COMP PLAN
- AREA PLANS
- SECTOR PLANS
- SENATE DISTRICT
- REP. DISTRICTS
- PLANNING AREAS
- HISTORIC ZONES
- CORRIDORS
- ZIPCODES
- POVERTY POCKET
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2006 AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO


OWNERSHIP		
Rec	UPC CODE	OWNER
1	101606135018340610	UNITED NM TRUST CO/TRUSTEE OF UNION PENS TRANS
2	101606135026710205	TIERRA RENAISSANCE, LLC

Pan

[SEARCH](#) [REFRESH](#) [HELP](#) [INDEX PAGE](#)
[CONTACT](#)

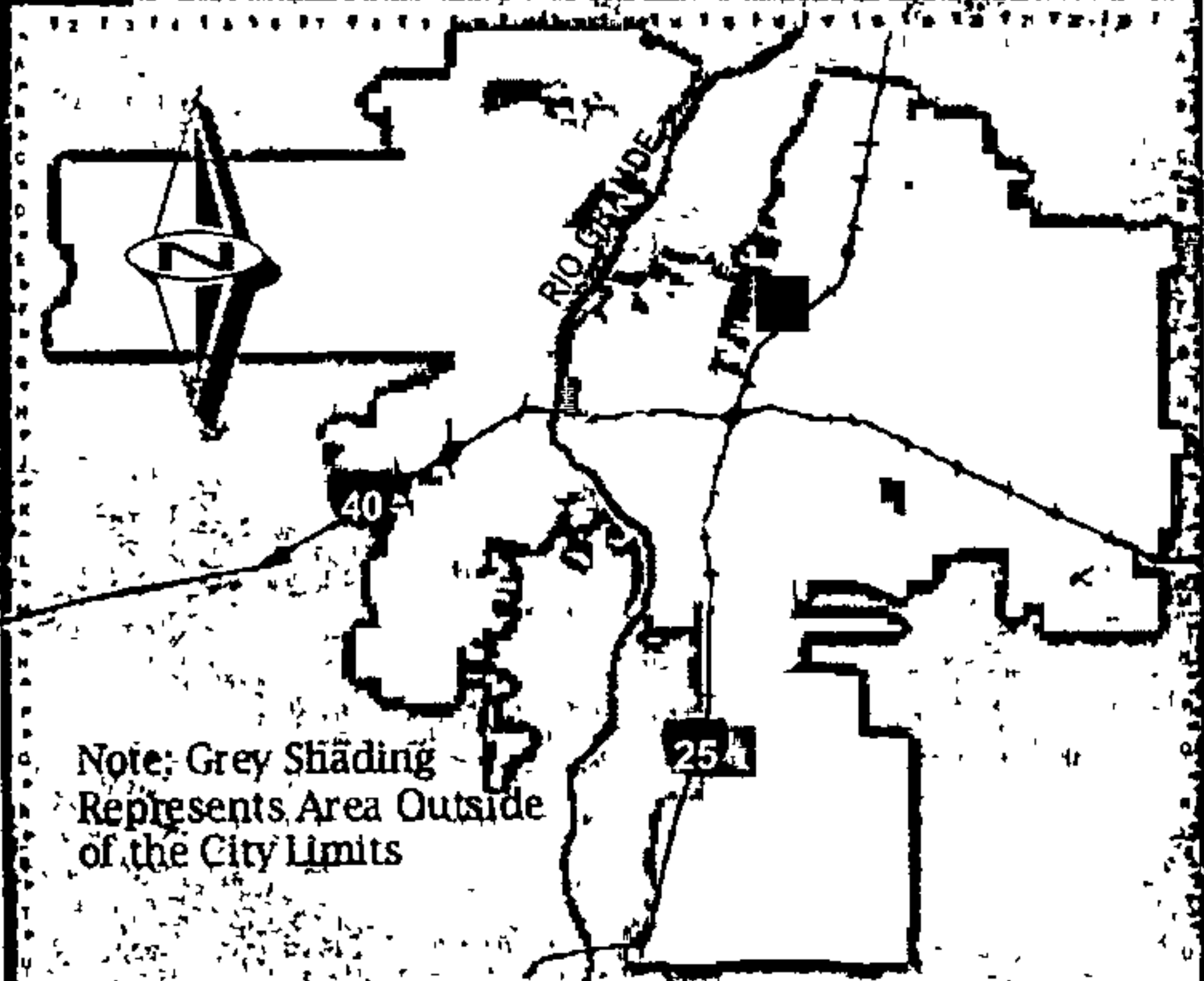


For more current information and more details visit: <http://www.cabq.gov/gis>



AGIS
Albuquerque Geographic Information System




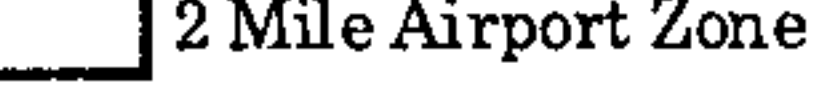
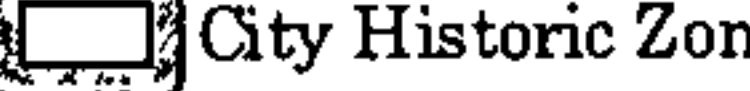




Map amended through: 5/1/2006



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-16-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500
Feet

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

May 9, 2007

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103


**RE: Site Plan for Building Permit Approval
Tract 4A2, Renaissance Center
Zone Atlas Page F-16**

Dear Ms. Matson:

Tierra West LLC, on behalf of the Union Pension Transaction Trust 93-2, requests approval of the Site Plan for Building Permit for the above-referenced site. The Site Plan for Subdivision was previously approved with the Sportsman's Warehouse project in 2001. The design of the building is similar to that of surrounding properties in the Renaissance Center, specifically the Sportsman's Warehouse. Design elements, including the use of complementing colors and the porch structure, have been added to the building façade. An Infrastructure List is not required for this project. The signed TIS has been included in the package and per the Office of Neighborhood Coordination, there are no impacted neighborhoods.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Jonathan D. Niski, EI

cc: Toni Ponio

JN: 27013

JN/kdk

2007: 27013 Sheran Matson SPBP 050907



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 13, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000945
07DRB-00621 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for EAGLE ROCK PROPERTIES LLC request(s) the above action(s) for all or any portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP located on EAGLE ROCK AVE NE between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF:06DRB-00710] (C-18)

~~Project # 1004368~~
07DRB-00656 Major-SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2, request(s) the above action(s) for all or any portion of Tract(s) 4A2, **RENAISSANCE CENTER**, zoned SU-1, IP USES, located on RENAISSANCE BLVD NE between ALEXANDER NE and CULTURE DR NE containing approximately 1 acre(s). (F-16)

Project # 1005590
07DRB-00652 Major-Vacation of Public Easements
07DRB-00654 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or any portion of Tract(s) A & B, **SUSIE RAYOS MARMON ELEMENTARY SCHOOL**, zoned R-D located on ILIFF RD NW between 72ND ST NW and 68TH ST NW containing approximately 15 acre(s). [REF: DRB 97-262] (H-10)

Project # 1003779
07DRB-00662 Major-Preliminary Plat Approval
07DRB-00663 Major-Vacation of Public Right-of-Way
07DRB-00665 Minor-Sidewalk Waiver
07DRB-00666 Minor-Temp Defer SDWK

LARRY READ & ASSOCIATES agent(s) for ADIL RIZVI request(s) the above action(s) for all or any portion of Lot(s) 17 & 18, Block(s) 2, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3, KUMAIL SUBDIVISION**, zoned R-D located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). (C-19)

Project # 1000072
07DRB-00664 Major-Vacation of Public Easements

D R HORTON request(s) the above action(s) for all or any portion of Tract(s) BB & AA, Block(s) 1, **CARMEL SUBDIVISION**, zoned R-D located on CARMELITO LOOP NE between HOLLY AVE NE and CARMEL AVE NE containing approximately 1 acre(s). [REF: 04DRB-00033] (C-18)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. **INDIVIDUALS WITH DISABILITIES** needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 28, 2007.

#3



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

Comp 9/22/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **05DRB-01267 (SBP)**

Project # **1004368**

Project Name: **NORTH RENAISSANCE CTR.**

Agent: **James Cooke**

Phone No.: **301-8533**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN); was approved on 8/31/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: copy of RECORDED S.W. EASEMENT ✓

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign):

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor

Include 3 copies of the approved site plan along with the originals.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1004368

#3



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01267 (SBP)
Project Name: NORTH RENAISSANCE CTR.
Agent: James Cooke

Project # 1004368
Phone No.: 301-8533

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN); was approved on 8/31/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED.

TRANSPORTATION: copy of RECORDED SITE ASSESSMENT

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

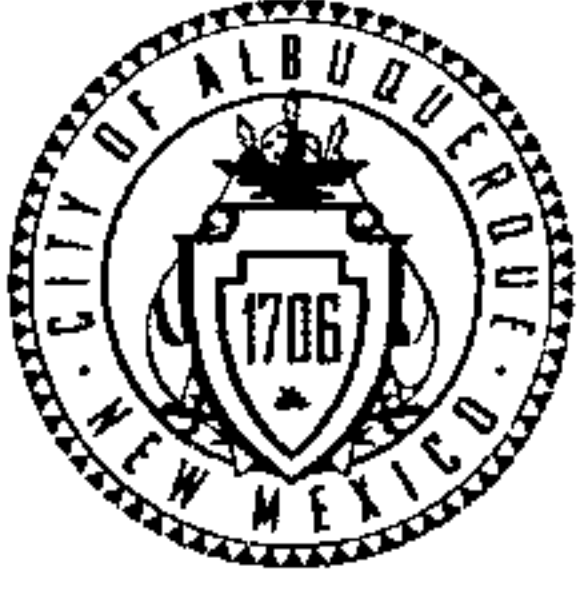
PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
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- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1004368



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 31, 2005

3. Project #1004368
05DRB-01267 Major-SiteDev Plan BldPermit

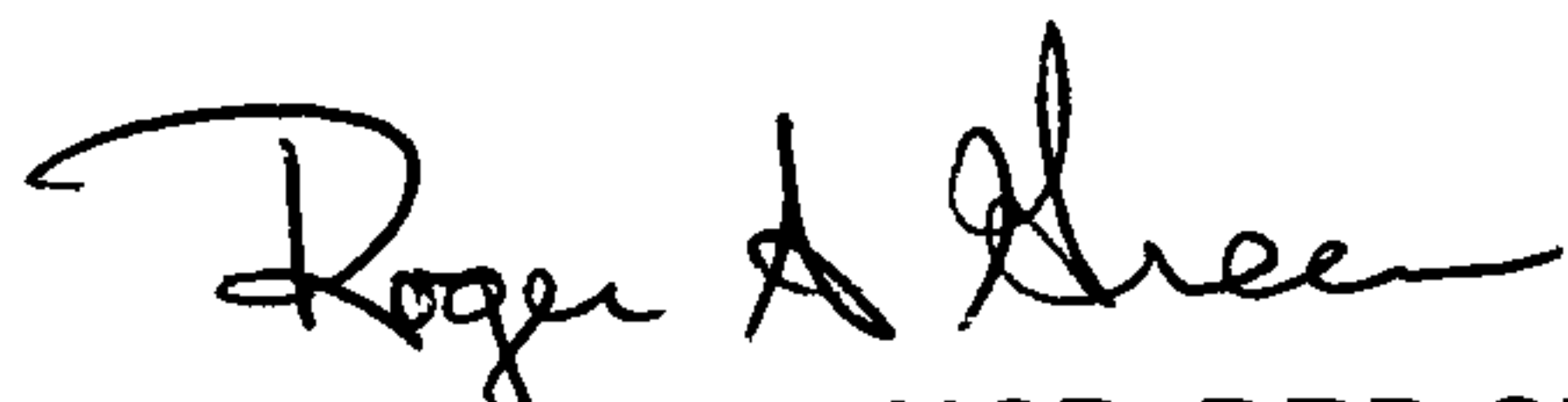
JAMES COOKE agent(s) for RAIN FACTORY LLC request(s) the above action(s) for all or a portion of Tract(s) 4A-2, **NORTH RENAISSANCE CENTER**, zoned SU-1 FOR IP USES, located on CULTURE DR NE, between MONTANO RD NE and RENAISSANCE BLVD NE containing approximately 2 acre(s). [REF: PROJ. #1001118] (F-16)

At the August 31, 2005, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Transportation Development for a sidewalk easement.

If you wish to appeal this decision, you must do so by September 15, 2005, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

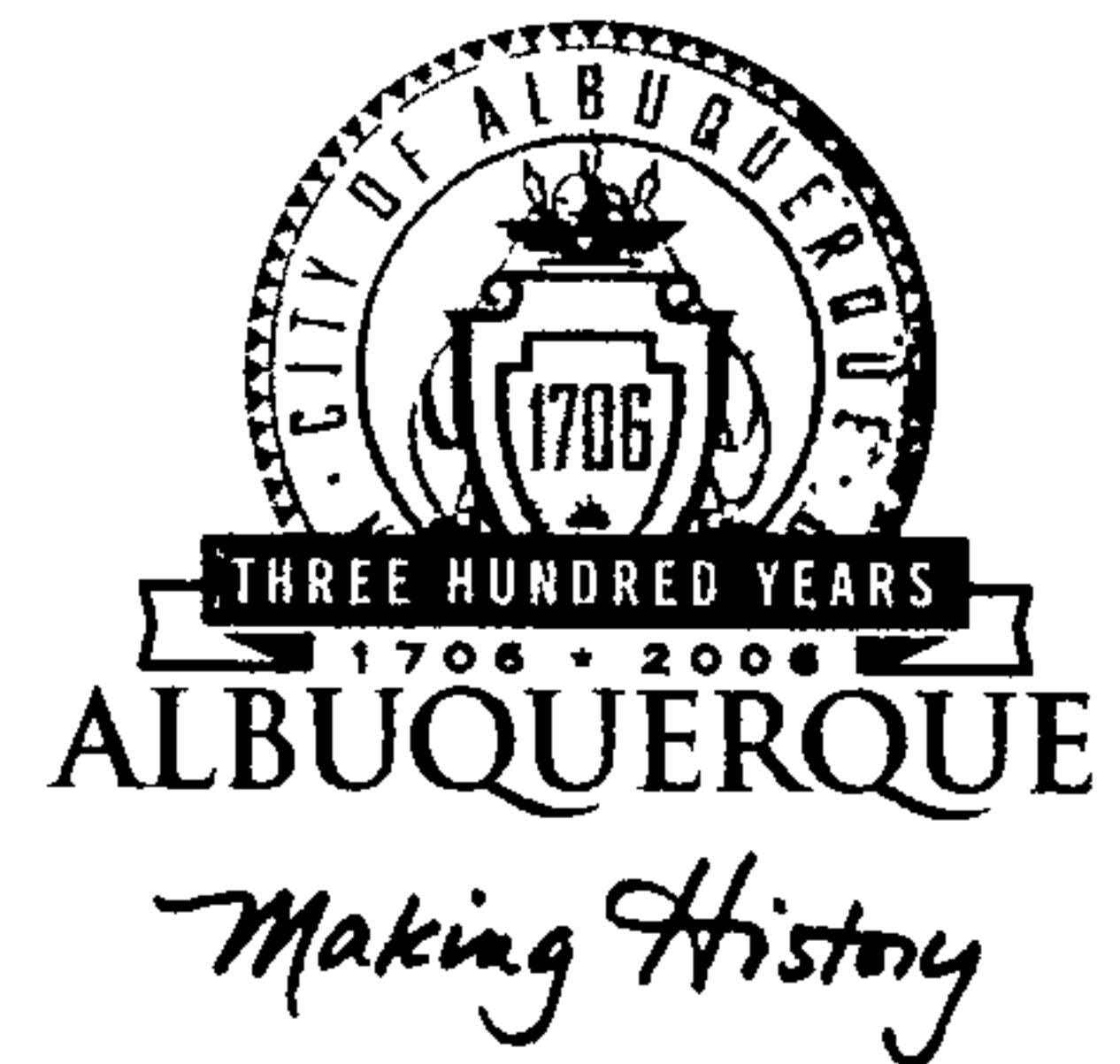
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: Rain Factory LLC, P.O. Box 3220, 87190
James Cooke, 302 12th St SW, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004368

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

Albuquerque

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 31, 2005

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004368 AGENDA#: 3 DATE: 8/31/05

1. Name: JAMES COOKE Address: 302 12TH ST SW Zip: 87102

2. Name: Eric Mitchell Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 31, 2005

Project #1004368
05DRB-01267 Major-SiteDev Plan BldPermit

JAMES COOKE agent(s) for RAIN FACTORY LLC request(s) the above action(s) for all or a portion of Tract(s) 4A-2, **NORTH RENAISSANCE CENTER**, zoned SU-1 FOR IP USES, located on CULTURE DR NE, between MONTANO RD NE and RENAISSANCE BLVD NE containing approximately 2 acre(s). [REF: PROJ. #1001118] (F-16)

AMAFCA	No adverse comments.
COG	Renaissance Blvd is identified as having on street Bike Lanes on the Long Range Bikeway System map. Coordination with City DMD should occur to ensure project inclusion as appropriate.
Transit	No objection to the request.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	No Association(s).
APS	No comments received.
Police Department	
	A review of the following DRB case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Lighting Issues - if 24 hour operation - provide lighting, and facility footprint to allow as much visibility as possible Maintenance of landscaping should not conflict with lighting and should be low level @maturity other: no crime prevention or CPTED comments
Fire Department	No adverse comments.
PNM Electric & Gas	Approves.
Comcast	No comments received.

QWEST No comments received.
Environmental Health No comments received.
M.R.G.C.D. No comments received.
Open Space Division No adverse comments.
City Engineer No adverse comments.
Transportation Development

A sidewalk easement is needed for the meandering sidewalk.

Parks & Recreation No objection.

Utilities Development

No objection to Site Plan approval. Existing water tap size must be verified prior to meter release.

Planning Department

The site plan sheet should be labeled "Site Plan for Building Permit".

The reference in General Note 15 to "wireless telecommunications facilities" should be deleted. Approval of these structures are a separate EPC administrative approval process.

The water usage should be delineated for each plant on the Landscape Plan.

The Renaissance Business Park Master Plan (RBPMP) requires a 20 foot landscape strip along the property which abuts Culture Drive. Because of the 18 foot sunken retaining wall, a compromise is to plant the strip between the back of curb and the sidewalk from the SE corner of the property to the southernmost Bradford Pear.

The Roof material and colors should be added to the elevations sheet as well as the materials of the doors & windows.

The Colors and materials of the building do not meet the RBPMP standards. However, if the RBPMP Architectural Control Committee approves, Planning will not object.

The minimum sizes of the trees and shrubs do not meet the intent of the RBPMP. Again, if the RBPMP Architectural Control Committee approves, Planning will not object.

Planning Department

The Employee Court needs tables, benches & container plants.

Agent was contacted by phone on August 11, 2005, given these comments and asked to provide a copy of the RPBMP Architectural Control Committee approval of this site plan.

Planning will take delegation for the 15 appeal period as required of public hearing cases by the City Subdivision Ordinance.

Impact Fee Administrator

Construction of a new car wash on Tract 4-A-2 will be subject to Impact Fees for Public Safety and Roadways. Based on a total floor area of 11,665 square feet, estimated impact fees will be approximately \$5,308 for Public Safety in the East Side Service Area and \$32,195 in the I-25 Corridor Service Area for Roadways.

Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees of \$37,503 may be paid at a rate of 34% (\$12,751) if building permits are obtained by December 30, 2005, and 67% (\$25,127) if permits are obtained by December 29, 2006.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Rain Factory LLC, P.O. Box 3220, 87190

James Cooke, 302 12th St SW, 87102



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 31, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project #1002535

05DRB-01269 Major-Vacation of Public Easements
05DRB-01270 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT LIMITED request(s) the above action(s) for Lot(s) 32, 33, 34, 35 and 38, West 35-feet OF Lot(s) 37; together with Lot(s) 36-A, HUBBELL HEIGHTS ADDITION & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT, (to be known as **HUBBELL HEIGHTS ADDITION**) zoned C-2 & O-1 & R-1, located on 65TH ST SW, between CENTRAL SW and CHURCHILL SW containing approximately 6 acre(s). [REF: 1003709, Z-1211] (K-10)

Project #1004289

05DRB-01246 Major-Vacation of Pub Right-of-Way

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 and 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19TH ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). [REF: 05DRB-01073] (H-13)

~~**Project #1004368**~~

~~05DRB-01267 Major-SiteDev Plan BldPermit~~

JAMES COOKE agent(s) for RAIN FACTORY LLC request(s) the above action(s) for all or a portion of Tract(s) 4A-2, **NORTH RENAISSANCE CENTER**, zoned SU-1 FOR IP USES, located on CULTURE DR NE, between MONTANO RD NE and RENAISSANCE BLVD NE containing approximately 2 acre(s). [REF: PROJ. #1001118] (F-16)

Project #1003366

05DRB-01272 Major-Vacation of Pub Right-of-Way
05DRB-01273 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SHARIF (FELIX) RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1-A-2, **TOWN OF ALAMEDA GRANT**, zoned SU-1 FOR PRD, located on GOLF COURSE ROAD NW, between IRVING NW and the CALABACILLAS ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, Z-80-74, AX-80-16, Z-85-84, AX-85-20, Z-93-131, DRB-94-146, V-96-89, 04DRB-00596, 04DRB-00912, 04DRB01242] (B-12)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 15, 2005.

153

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: AUGUST 31, 2005
Zone Atlas Page: F-16-Z
Notification Radius: 100 Ft.

Project# 1004368
App# 05DRB-01267

Cross Reference and Location:

Applicant: RAIN FACTORY, LLC
Address: PO BOX 3220
ALBUQUERQUE NM 87190

Agent: JAMES COOKE
Address: 302 12TH ST SW
ALBUQUERQUE NM 87102

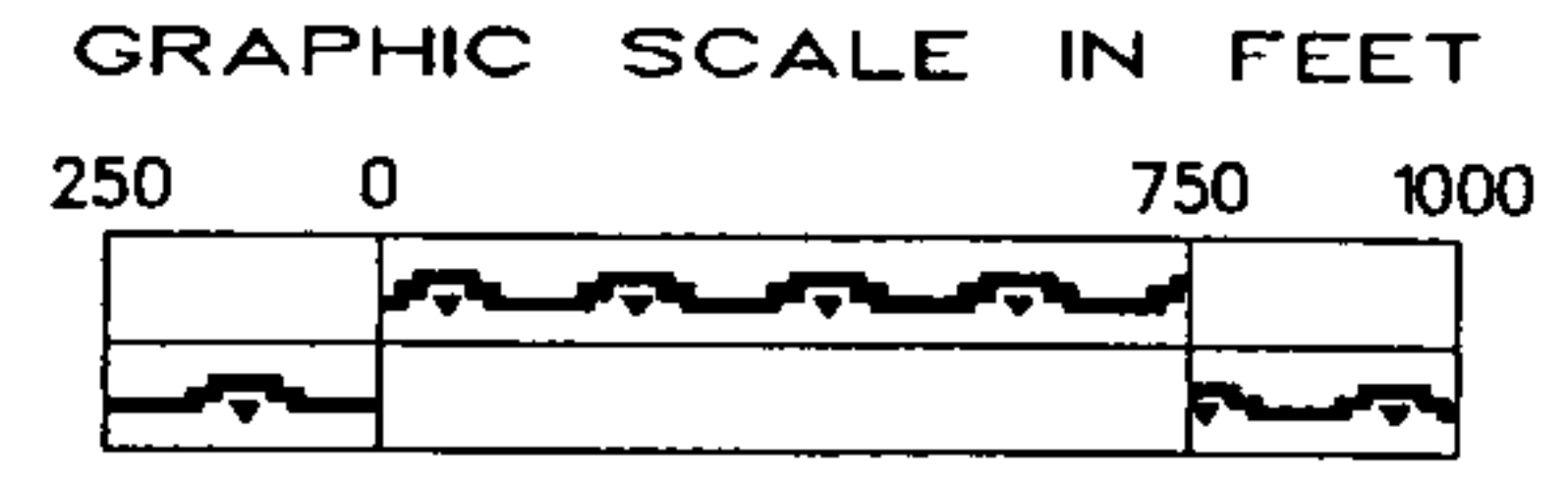
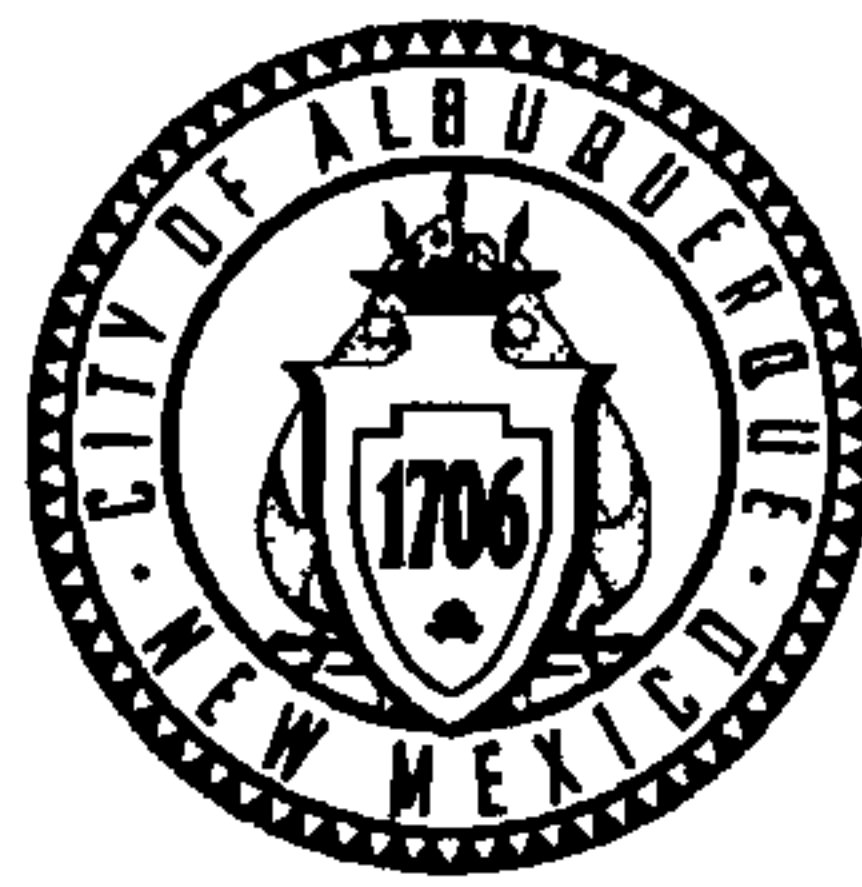
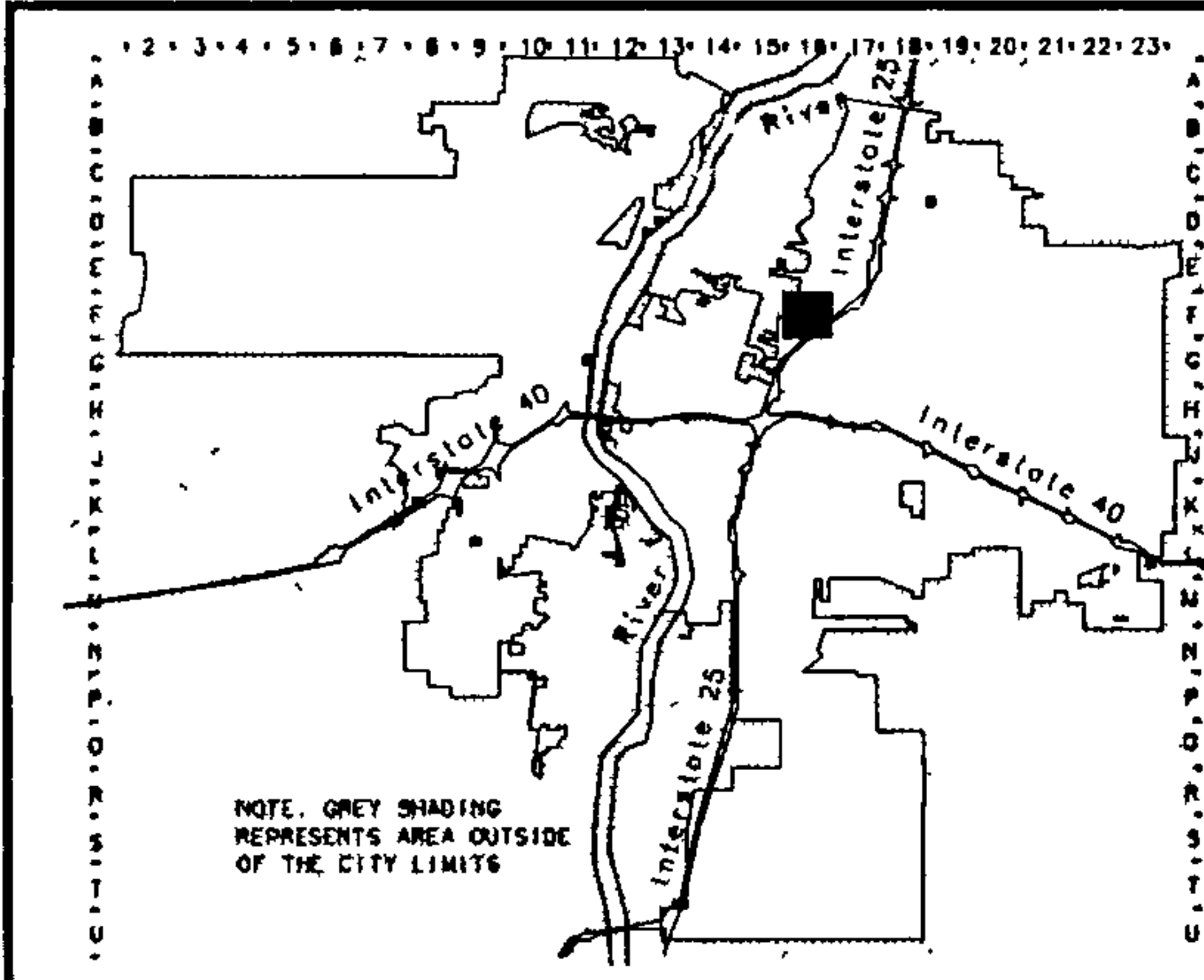
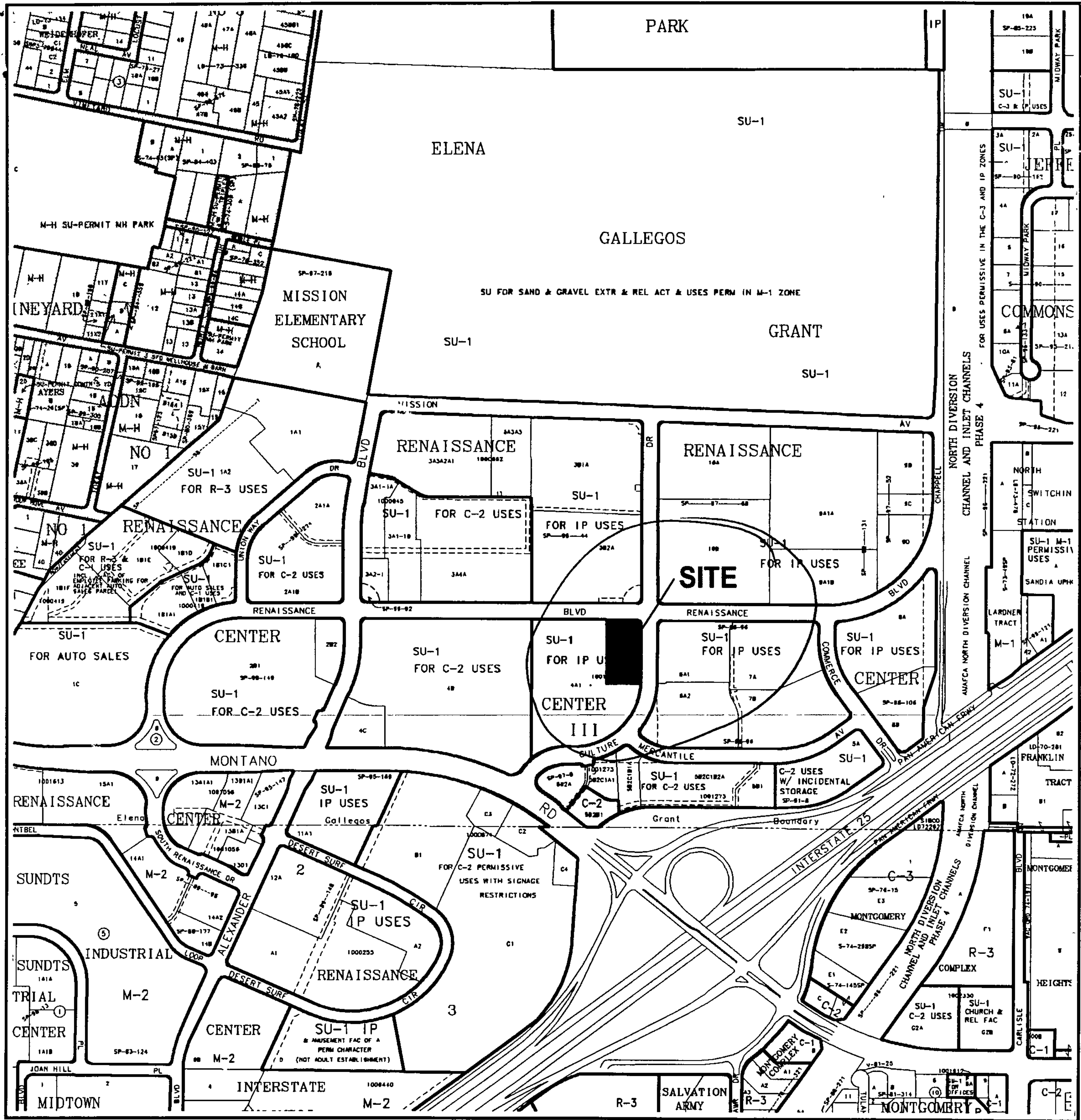
Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: AUGUST 12, 2005

Signature: KYLE TSETHLIKAI

101606135926710205	LEGAL: TRAC T 10 -B PLAT OF TRS 9-A-1, 10-A & 10-B OF RENAI LAND USE: PROPERTY ADDR: 00000 RENAISSANCE OWNER NAME: TIERRA RENAISSANCE LLC OWNER ADDR: 02577 MAIN	AV DURANGO CO	81301
101606129626621025	LEGAL: TRAC T 3B 2-A PLAT OF TRACTS 3A3-A, 3A4-A, 3B1-A AND LAND USE: PROPERTY ADDR: 00000 CULTURE OWNER NAME: WELLS FARGO BNK NM N.A., TRUST OWNER ADDR: 00000	ALBUQUERQUE NM	87176
101606128819930709	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101606131521530708	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101606135021840615	LEGAL: TR 6 A1 P LAT OF TRACTS 6-A-1, 6-A-2, 7-A & 7-B RENA LAND USE: PROPERTY ADDR: 00000 RENAISSANCE OWNER NAME: TRACT 6 LIMITED LIABILITY COMP OWNER ADDR: 02340 MENAUL	BL NE ALBUQUERQUE NM	87107
101606135018340610	LEGAL: TR 6 A2 P LAT OF TRACTS 6-A-1, 6-A-2, 7-A & 7-B RENA LAND USE: PROPERTY ADDR: 00000 MERCHANTILE OWNER NAME: UNITED NM TRUST CO/TRUSTEE OF OWNER ADDR: 01110 PENNSYLVANIA	NE ALBUQUERQUE NM	87110



Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2004

Zone Atlas Page
F-16-Z
Map Amended through March 01, 2004



RAIN FACTORY™, LLC

P.O. Box 3220
Albuquerque, NM
87190-3220

July 20, 2005

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque Planning Department
600 Second Street NW
Albuquerque, New Mexico 87103

Dear Ms. Matson,

This letter authorizes James Cooke, 302 12th Street SW, Albuquerque, New Mexico, to submit our plans and documents for consideration by the Development Review Board for our project at 4821 Culture Drive.

He is the RAIN FACTORY™ project manager and is authorized to field and respond to all inquiries and comments from Board members and City staff.

Yours truly,

A handwritten signature in black ink that reads "John F. Cooke". The signature is written in a cursive style. Below the signature is a horizontal line.

John F. Cooke
Managing Member
RAIN FACTORY™, LLC



44
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44

**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 31, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project #1002535
05DRB-01269 Major-Vacation of Public Easements
05DRB-01270 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT LIMITED request(s) the above action(s) for Lot(s) 32, 33, 34, 35 and 38, West 35-feet OF Lot(s) 37; together with Lot(s) 36-A, HUBBELL HEIGHTS ADDITION & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT, (to be known as **HUBBELL HEIGHTS ADDITION**) zoned C-2 & O-1 & R-1, located on 65TH ST SW, between CENTRAL SW and CHURCHILL SW containing approximately 6 acre(s). [REF: 1003709, Z-1211] (K-10)

Project #1004289
05DRB-01246 Major-Vacation of Pub Right-of-Way

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 and 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19TH ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). [REF: 05DRB-01073] (H-13)

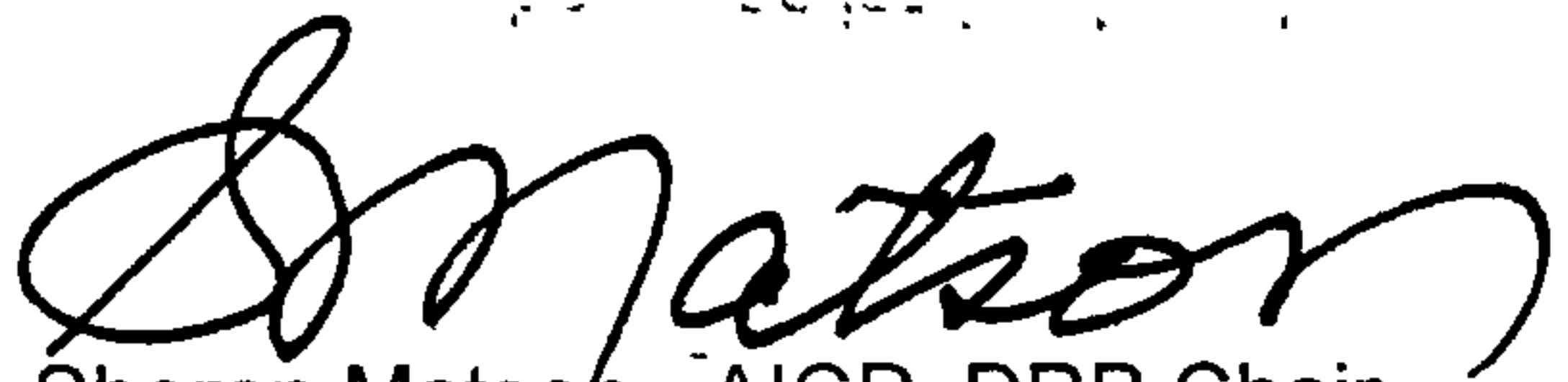
Project #1004368
05DRB-01267 Major-SiteDev Plan BldPermit

JAMES COOKE agent(s) for RAIN FACTORY LLC request(s) the above action(s) for all or a portion of Tract(s) 4A-2, **NORTH RENAISSANCE CENTER**, zoned SU-1 FOR IP USES, located on CULTURE DR NE, between MONTANO RD NE and RENAISSANCE BLVD NE containing approximately 2 acre(s). [REF: PROJ. #1001118] (F-16)

Project #1003366
05DRB-01272 Major-Vacation of Pub Right-of-Way
05DRB-01273 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SHARIF (FELIX) RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1-A-2, **TOWN OF ALAMEDA GRANT**, zoned SU-1 FOR PRD, located on GOLF COURSE ROAD NW, between IRVING NW and the CALABACILLAS ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, Z-80-74, AX-80-16, Z-85-84, AX-85-20, Z-93-131, DRB-94-146, V-96-89, 04DRB-00596, 04DRB-00912, 04DRB01242] (B-12)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

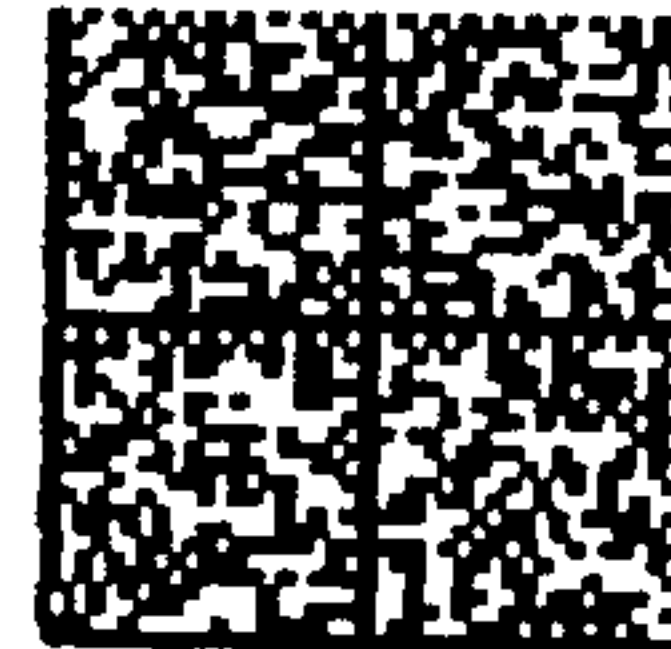

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 15, 2005.

CITY OF ALBUQUERQUE



Planning Department



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0004329277 AUG 16 2005
MAILED FROM ZIP CODE 87102

RETURNED TO
SENDER
NOT DELIVERABLE
AS ADDRESS IS
UNABLE TO
101606135021840615

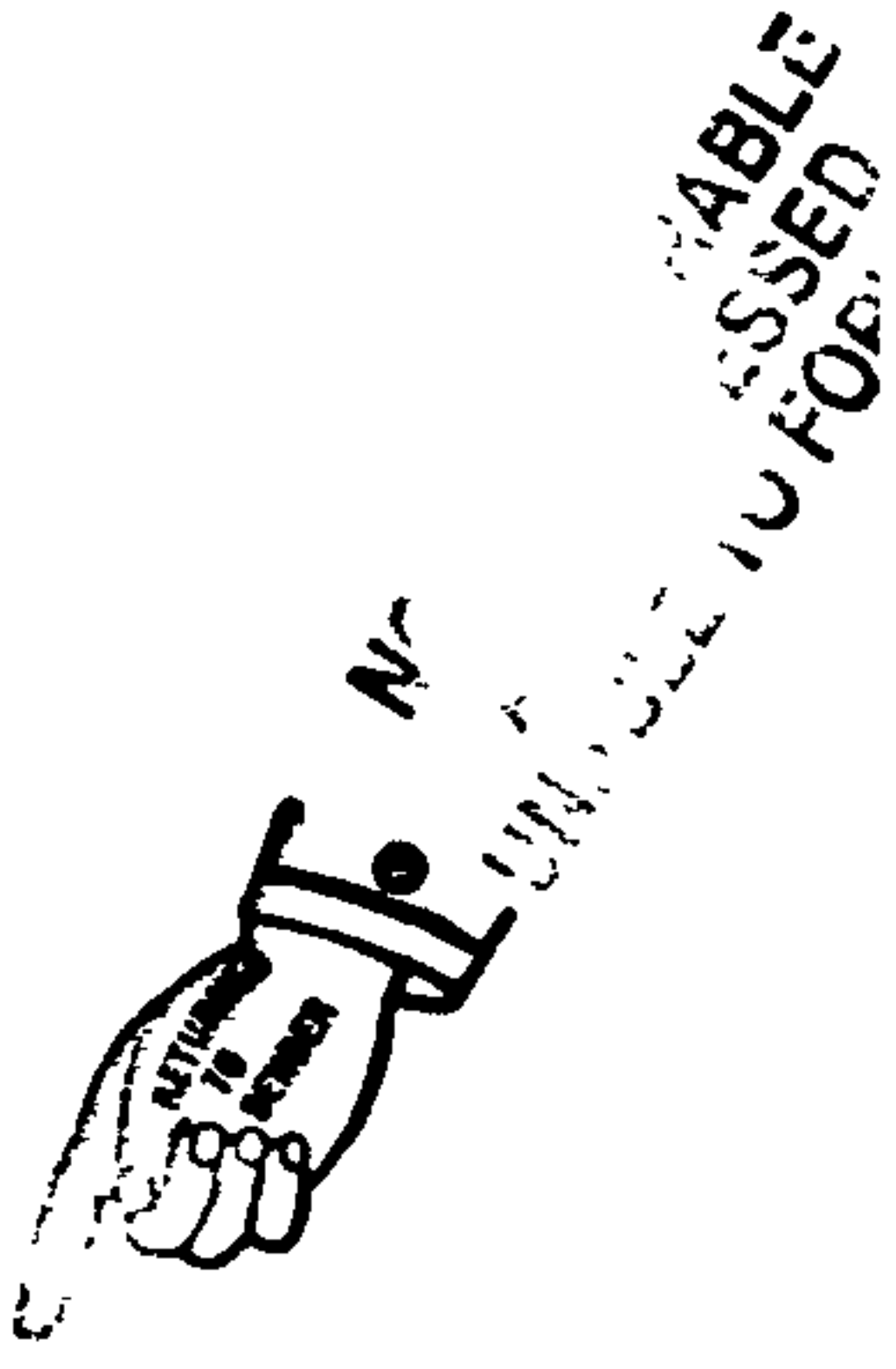
DRB

TRACT & LIMITED LIABILITY COMP
2340 MENAUL BL NE
ALBUQUERQUE NM 87107

87107+1842-99 C009



P O Box 1293 Albuquerque New Mexico 87103



87103/1293



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 13, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000945

07DRB-00621 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for EAGLE ROCK PROPERTIES LLC request(s) the above action(s) for all or any portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP located on EAGLE ROCK AVE NE between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF:06DRB-00710] (C-18)

Project # 1004368

07DRB-00656 Major-SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2, request(s) the above action(s) for all or any portion of Tract(s) 4A2, **RENAISSANCE CENTER**, zoned SU-1, IP USES, located on RENAISSANCE BLVD NE between ALEXANDER NE and CULTURE DR NE containing approximately 1 acre(s). (F-16)

Project # 1005590

07DRB-00652 Major-Vacation of Public Easements
07DRB-00654 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or any portion of Tract(s) A & B, **SUSIE RAYOS MARMON ELEMENTARY SCHOOL**, zoned R-D located on ILIFF RD NW between 72ND ST NW and 68TH ST NW containing approximately 15 acre(s). [REF: DRB 97-262] (H-10)

Project # 1003779

07DRB-00662 Major-Preliminary Plat Approval
07DRB-00663 Major-Vacation of Public Right-of-Way
07DRB-00665 Minor-Sidewalk Waiver
07DRB-00666 Minor-Temp Defer SDWK

LARRY READ & ASSOCIATES agent(s) for ADIL RIZVI request(s) the above action(s) for all or any portion of Lot(s) 17 & 18, Block(s) 2, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3, KUMAIL SUBDIVISION**, zoned R-D located on OAKLAND AVE NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). (C-19)

Project # 1000072

07DRB-00664 Major-Vacation of Public Easements

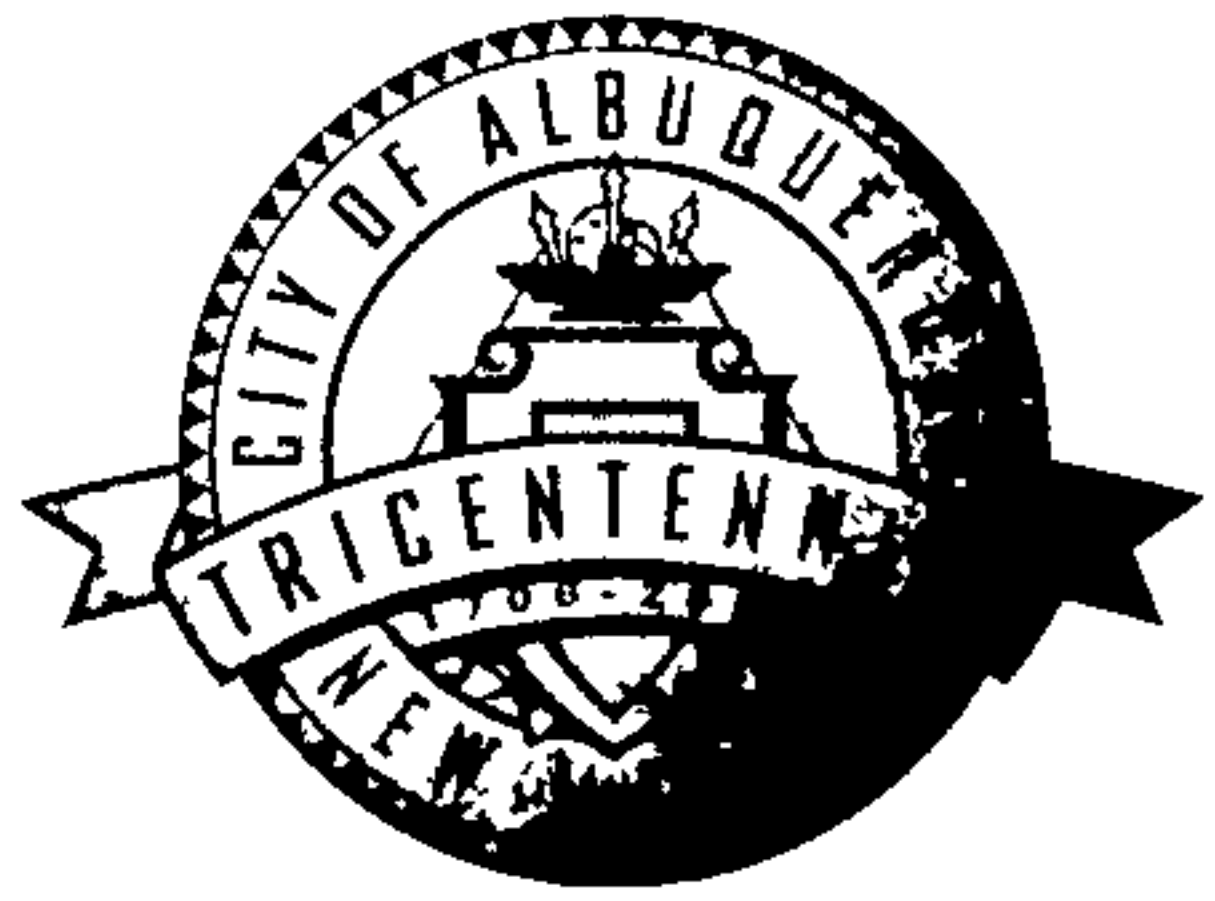
D R HORTON request(s) the above action(s) for all or any portion of Tract(s) BB & AA, Block(s) 1, **CARMEL SUBDIVISION**, zoned R-D located on CARMELITO LOOP NE between HOLLY AVE NE and CARMEL AVE NE containing approximately 1 acre(s). [REF: 04DRB-00033] (C-18)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sherah Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 28, 2007.

CITY OF ALBUQUERQUE



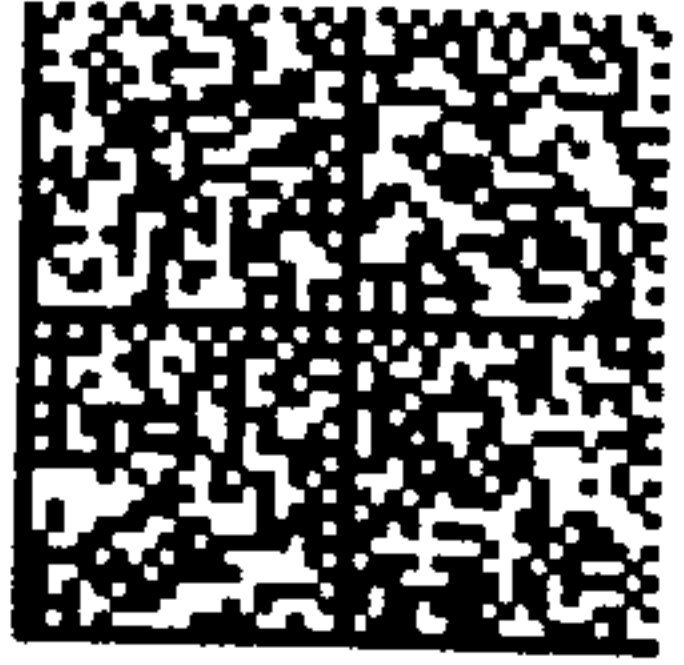
Planning Department

DRB

Or Current Resident
TRACT 6 LIMITED LIABILITY
COMPANY
2340 MENAUL BLVD NE
ALBUQUERQUE, NM 87107 1842

Or Curren

87107+1842 000
87103@1293



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RETURN TO SENDER
INSUFFICIENT ADDRESS
UNABLE TO FORWARD

BC: 87103129393 *0568-18299-22-37



P O Box 1293 Albuquerque, New Mexico 87103



June 12, 2007

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
Post Office Box 1293
Albuquerque, New Mexico 87103

**RE: Tract 4A2
Renaissance Center**

Dear Ms. Matson:

On behalf of the Union Development Corporation, f/k/a the New Mexico Development Foundation, please accept this letter as written approval of acceptance on behalf of the Renaissance Center Architectural Review Committee. The committee approves the plan as submitted on Sterling Development retail building for the following tract 4A2 Renaissance Center.

If you have any questions, please do not hesitate to contact our office directly at 505.268.1200.

Sincerely,

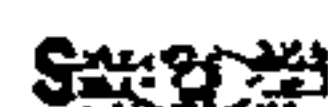
James K. Trump, Jr.

James K. Trump, Jr.
Chairman Architectural Review Committee
jim@buildnewmexico.org

JKT/tlp

A MEMBER OF BUILD NEW MEXICO

122 Tulane SE • Albuquerque, New Mexico 87106 • Phone: (505) 268-1200 • Fax: (505) 268-0449



*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 1925
CONNECTION TEL 9p8581118
SUBADDRESS
CONNECTION ID
ST. TIME 06/04 13:19
USAGE T 00'42
PGS. 2
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO:

John Niski

FAX NUMBER:

858-1118

PAGES

2

SENT BY: Sheran Matson, DRB Chair

DATE: _____

PHONE NUMBER: 924-3880

FAX # 924-3864

PROJECT NO:

1204368

APPLICATION NO: _____



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 13, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000945
07DRB-00621 Major Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for EAGLE ROCK PROPERTIES LLC request(s) the above action(s) for all or any portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP located on EAGLE ROCK AVE NE between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF:06DRB-00710] (C-18)

No objection to the requested 2 year extension.

Project # 1004368
07DRB-00656 Major-SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2, request(s) the above action(s) for all or any portion of Tract(s) 4A2, **RENAISSANCE CENTER**, zoned SU-1, IP USES, located on RENAISSANCE BLVD NE between ALEXANDER NE and CULTURE DR NE containing approximately 1 acre(s). (F-16)

Planning appreciates the inclusion of the SPS pertaining to this site in the application.

General Comments:

- Remove the EPC paragraph and the word "Signoff" from the signature block.
- Under "Notes", remove numbers 2 and 3.
- The location of the monument sign on the site plan sheet was not found even though it was assigned "E".
- On the Landscape Plan, the 2 references to Santa Fe Brown gravel should include "3" minimum depth".
- Under "Landscape Calculations", is the Offsite Area the square footage of the lot located in the access road?

✓ The Renaissance Master Plan (RMP) requires 1 tree per 20 lineal feet of frontage. Culture requires: 293.8 ft divided by 20 = 14 trees. The Landscape Plan has 11 trees. Renaissance Blvd.requires 7 trees. 158.74 divided by 20 = 7 trees. The Landscape Plan has 6 trees.

✓ The RMP requires a minimum 4 varieties of shade trees. The Landscape Plan shows 2 varieties. The minimum size requirement for shrubs and vines is 5 gallon.

✓ The approval letter from the ARC is required.

Project # 1005590
07DRB-00652 Major-Vacation of Public Easements
07DRB-00654 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or any portion of Tract(s) A & B, **SUSIE RAYOS MARMON ELEMENTARY SCHOOL**, zoned R-D located on ILIFF RD NW between 72ND ST NW and 68TH ST NW containing approximately 15 acre(s). [REF: DRB 97-262] (H-10)

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

16 May 07

Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 80 provided: 73
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 4
provided: 6
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 -PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Union Pension Transaction Trust 93-2 PHONE: 505-268-1200
 ADDRESS: 122 Tulane SE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE Nm ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: Site Plan for Building Permit Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 4A2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Renaissance Center
 Existing Zoning: Sud for IP Uses Proposed zoning: No change
 Zone Atlas page(s): F-16 MRGCD Map No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): Z-84-13/
SV 95-44/ DRB 95-399/

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.44 +/-
 LOCATION OF PROPERTY BY STREETS: On or Near: Renaissance Blvd NE
 Between: Mercantile Ave. NE and Culture Drive NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5/8/07
 (Print) Ronald R. Bohannon, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>01DRB - 00656</u>	<u>SBP</u>	<u>12</u>	<u>\$ 385.00</u>
_____	_____	_____	\$ _____
_____	<u>AVP</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____

Hearing date June 13

Total \$ 480.00

[Signature] 5/16/07
 Planner signature / date

Project # 1004368

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING


- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.


 Applicant name (print)


 Applicant signature / date

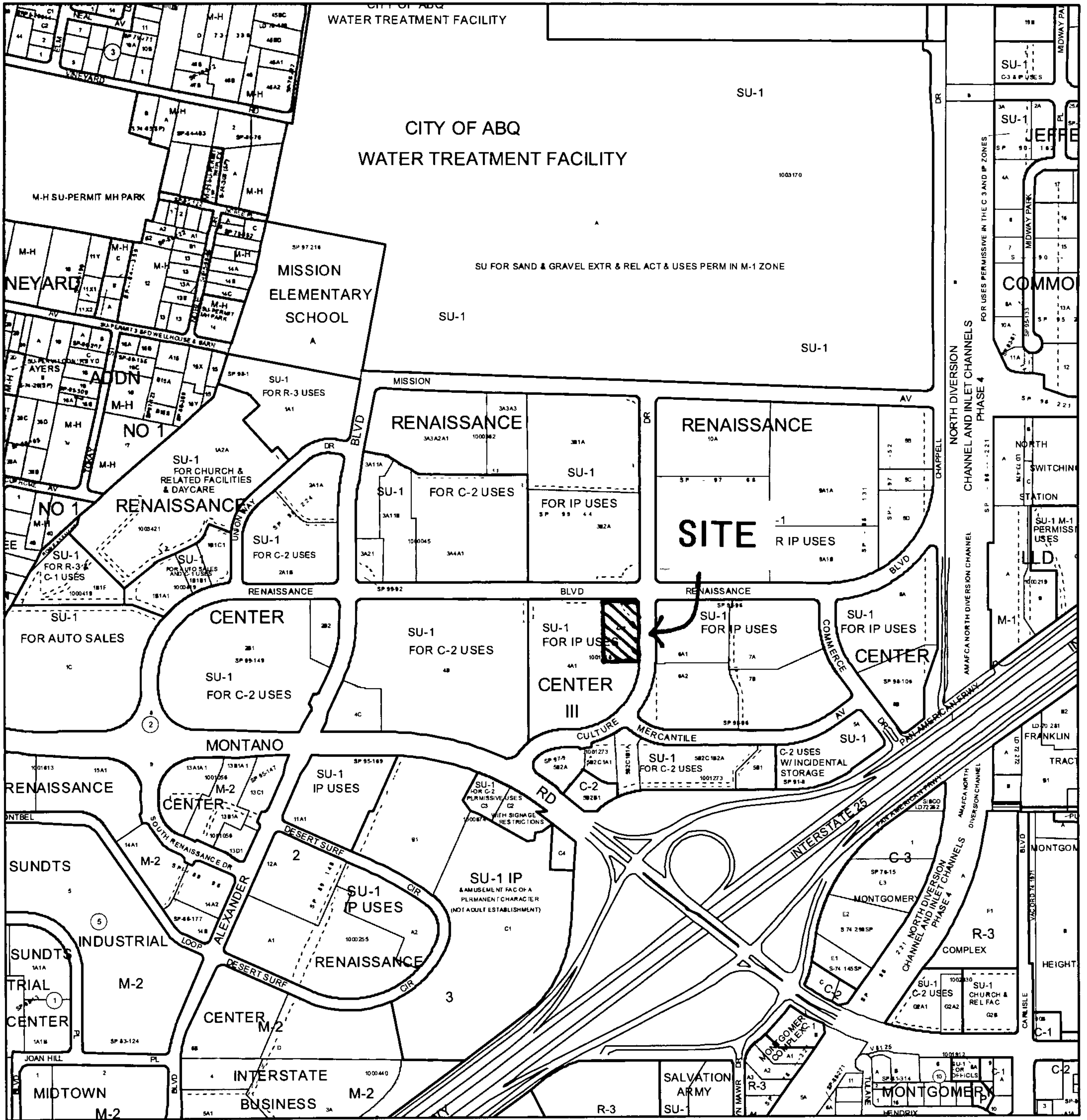


Form revised APRIL 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 07DRB - _____ - 00656
 _____ - _____ - _____
 _____ - _____ - _____

 5/16/07

 Planner signature / date
Project # 1004368



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

TIERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

May 9, 2007

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

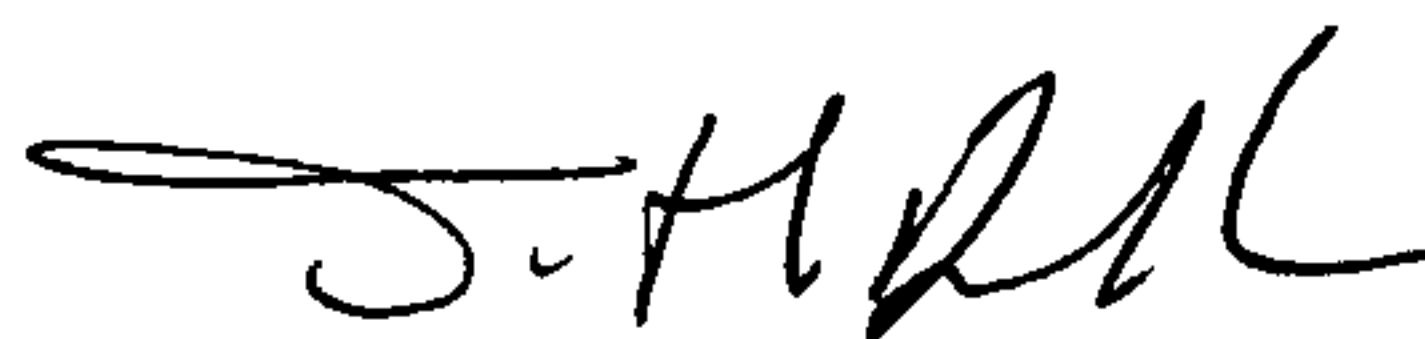
**RE: Site Plan for Building Permit Approval
Tract 4A2, Renaissance Center
Zone Atlas Page F-16**

Dear Ms. Matson:

Tierra West LLC, on behalf of the Union Pension Transaction Trust 93-2, requests approval of the Site Plan for Building Permit for the above-referenced site. The Site Plan for Subdivision was previously approved with the Sportsman's Warehouse project in 2001. The design of the building is similar to that of surrounding properties in the Renaissance Center, specifically the Sportsman's Warehouse. Design elements, including the use of complementing colors and the porch structure, have been added to the building façade. An Infrastructure List is not required for this project. The signed TIS has been included in the package and per the Office of Neighborhood Coordination, there are no impacted neighborhoods.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Jonathan D. Niski, EI

cc: Toni Ponio

JN: 27013

JN/kdk



May 2, 2007

City of Albuquerque
Development Review Board
PO Box 1239
Albuquerque, NM 87103

RE: Tract 4A2, Renaissance Center

To Whom It May Concern:

As the Owner/Developer, I hereby grant Tierra West LLC to act as agent on behalf of ~~Union Pension Trust~~ on matters pertaining to any and all submittals to the City of Albuquerque regarding the above referenced project.

Toni-Lee Ponie

Print Name

Toni-Lee Ponie

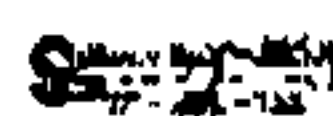
Sign Name

5/2/07

Date

A MEMBER OF BUILD NEW MEXICO

122 Tulane SE • Albuquerque, New Mexico 87106 • Phone: (505) 268-1200 • Fax: (505) 268-0449



City of Albuquerque
Municipal Development Department
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Date: January 17, 1986

NOTIFICATION OF DECISION

Pacific Realty Corporation
14180 Ballas Parkway, Suite 300
Dallas, Texas 75240

File: 2-84-13-1

Location: Tracts 1 through 10 of Renaissance Center/Renaissance Center II, zoned R-2, and SU-1 for R-3 uses, C-2 Uses, and I-P Uses, located north and south of Montano Road between the Alameda Lateral and the North Diversion Channel, containing approximately 240 acres. (F-16)

On January 16, 1986, the Environmental Planning Commission voted to approve your Site Development Plan for the above referenced property based on the following Findings and subject to the following Conditions.

FINDINGS:

1. The Development Guidelines are complete and informative as to the overall design concept of the Renaissance Center.
2. The 50% small car parking requested is objectionably high.
3. The proposed site improvements and development restrictions are consistent with the zoning established on the site.

CONDITIONS:

1. The area south of Montano Road, zoned R-2, must be deleted from the plan because the R-2 zoning does not authorize adoption of a master plan by the EPC. However, the Master Developer has planned improvements in this area to be consistent with the area north of Montano, and the EPC recommends City staff treat both areas in a consistent manner.
2. The change in street names must be established prior to final sign-off of this Master Plan.
3. The northernmost access to the west frontage road (its intersection with Chappell Road) must be identified as temporary but will remain open until reasonable alternate access is provided between the A.C.F. site to the north and the west frontage road. Paving of this portion of Chappell Road may be temporary in character, i.e., rolled curbs rather than paving and gutter.
4. The Master Developer must initially construct all improvements shown on Exhibit D, except those south of Montano Road. The Property Owner's Association will maintain the median landscaping.
5. The tree landscaping areas shown on Exhibit D (the area north of Mission Avenue and the landscaping bordering Montano Road on the north side along the detention pond), but not designated for maintenance on Exhibit E, must be added to Exhibit E.
6. Landscaping must meet the requirements of the proposed Street Tree Ordinance and Master Plan Ordinance.
7. Median trees and major shrubs in the medians shall be set back sufficiently from the end of the median to minimize visibility obstructions.
8. Sidewalk widths must be a minimum of 6 feet. Curvilinear units are acceptable.
9. The plan must meet concerns of the Traffic Engineer's comments #10, 11b and d, and 12.
10. The sculpture locations designated in Exhibit H on Renaissance Boulevard shall either be designated as pedestrian crossings and clearly marked as such or shrubs should be planted between the curb and the sidewalk at such locations to discourage crossings at these locations.
11. Street lighting must be as directed in the Traffic Engineer's comment #2. Once a type of light is accepted, an approved detail must be submitted to the Planning Division for inclusion in the project file.
12. The parking spaces must be no more than 325 small cars on each development plan.

If the intent of a particular use is not governed by the restrictions on Exhibit J, the intent of the individual use shall prevail.

OFFICIAL NOTIFICATION OF DECISION

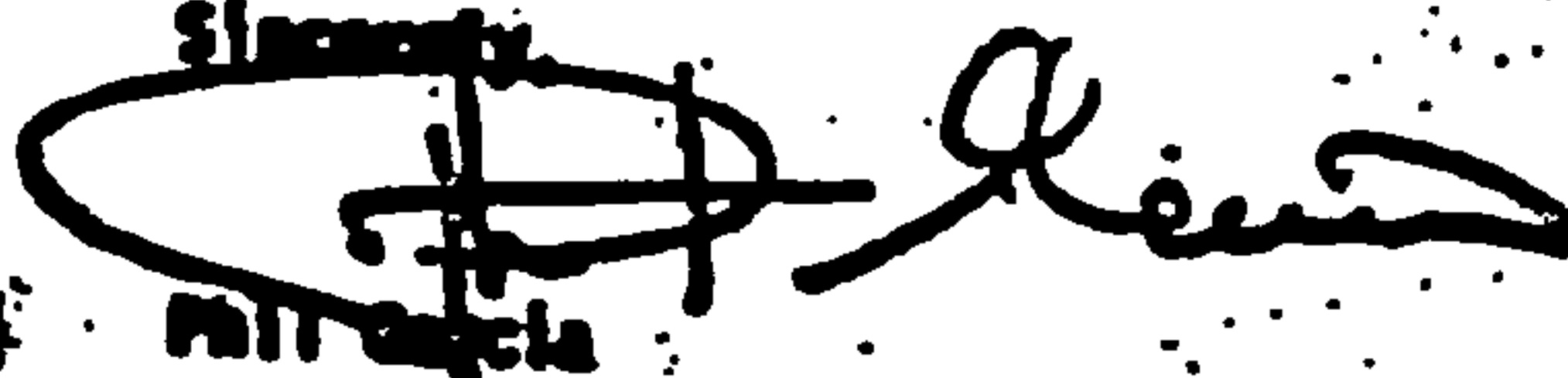
14. The following design guidelines shall govern the development of the entire site:
- a) Architectural character: Acceptable architectural styles shall include contemporary and post-modern buildings which respect the regional context. Features that display sensitivity to the pedestrian will be encouraged. Designs should avoid massive, unbroken volumes which ignore human scale.
 - b) Colors: Acceptable colors shall range from light to dark earth tones or warm to cool greys.
 - c) Landscaping: Landscape setback areas of a minimum of 10 feet in depth shall be required along all public streets. Landscaping within individual sites shall be consistent in character with the landscaping initially provided by the Master Developer.
15. The Design Guidelines Book, Sections III and IV will be the approved document as modified by the above conditions. This document will be signed-off by the OMB. The plan sheets submitted will be discarded from the file.
16. Covenants imposed will not take precedence over applicable City Rules and Regulations.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY 1/31-06 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$40 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL YOU CAN RECEIVED BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPEAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,



Phil Garcia
Assistant City Planner

FR/djw

cc:

George E. "Pat" Bryan III, 500 Copper Bldg. Suite 201; 87102

David Green, 710 Mission Ave. N.E.

John Tschir, 2000 Broadway S.E.; 87103

Tom Harris, 5814 Tokay Road N.E.

Phil Garcia, 705 Mission N.E.

City of Albuquerque
Planning Division
P.O. Box 1293, Albuquerque, New Mexico 87103

Campbell Holdings/Guaranty Service Corporation
Jack B. Campbell
2701 E. Chapman Ave. Ste. 210
Fullerton, CA 92631

Date: November 28, 1987

NOTIFICATION OF DECISION

2-84-13-5 Requests amendment to
Ren. Ctr. Master Plan + site plan app'l
for portion of Tract 5, zoned SU-1 for C-2
west of I-25, north of Martin
approx 2.26 acres (P-114)
File: 2-84-13-5
Location: Requests site development plan approval for
Tract 13, Eagle Ranch Subdivision, zoned C-1, located
west of Eagle Ranch Road NW, between Irving Boulevard
NW and Paradise Boulevard NW, containing approximately
5 acres. (C-13)

error

On November 19, 1987, the Environmental Planning Commission voted to approve 2-84-13-5, an amendment to The Renaissance Center Master Plan, the Site Development Plan, and delegation of future Site Development Plan approval for all Tracts within the Renaissance Center to the Development Review Board based on the following Findings:

Findings:

1. The proposed amendment for location of a three story building on a portion of Tract 5 should not create a significant negative impact.
2. The proposed site development plan generally meets the design guidelines and adopted City policies. Minor modification to design and the landscaping plan are required.
3. The Planning Department will hold public hearings and require identical submission information if delegation of site plan is approved.
4. The Renaissance Master Plan is sufficiently detailed to permit DRB approval action on site development plans.

CONDITIONS:

1. Trees should be planted along the southwestern side of building C similar to those at the northwestern side of Building A. Ground cover in these areas should be altered to provide a more durable surface. A low wall or landscaping should be provided along the eastern edge of the pool.
2. Sidewalks along parking areas should be a minimum of 5 feet in width.
3. The entry/exit requires minor modification as specified by the Traffic Engineer.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY DECEMBER 4, 1987, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$70 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 30 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,

Richard D. Miller
Richard D. Miller

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
PLANNING DIVISION

AGENDA NUMBER: 8
ENVIRONMENTAL PLANNING COMMISSION
January 16, 1986
Z-84-13-1

RECOMMENDATION:

APPROVAL OF Z-84-13-1 as a Master Plan Concept, Site Improvements Plan, and Development Restrictions Plan based on the preceding findings and subject to the following Conditions.

CONDITIONS:

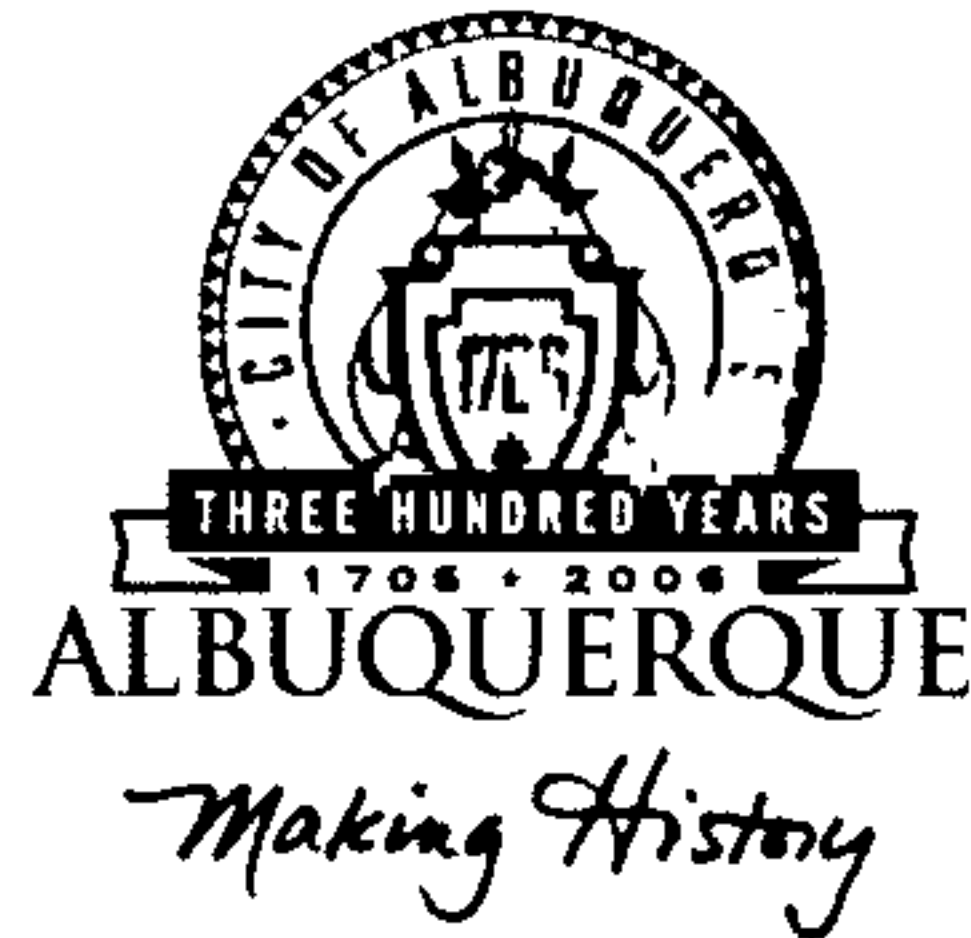
1. The area south of Montano Road, zoned M-2, must be deleted from the plan.
2. The change in street names must be established prior to final sign-off of this Master Plan.
3. The northernmost access to the west frontage road (its intersection with Chappell Road) must be identified as temporary.
4. The Master Developer must initially construct all improvements shown on Exhibit D, except those south of Montano Road. The Property Owner's Association will maintain the median landscaping.
5. The two landscaping areas shown on Exhibit D (the area north of Mission Avenue and the landscaping bordering Montano Road on the north side along the detention pond), but not designated for maintenance on Exhibit E, must be added to Exhibit E.
6. Landscaping must meet the requirements of the amended Street Tree Ordinance.
7. Median trees and major shrubs in the medians shall be set back sufficiently from the end of the median to minimize visibility obstructions.
8. Sidewalk widths must be a minimum of 6 feet. Curvilinear walks are acceptable.
9. The plan must meet concerns of the Traffic Engineer's comments #7, 10, 11b and d, and 12.
10. The sculpture locations designated in Exhibit H on Renaissance Boulevard shall either be designated as pedestrian crossings and clearly marked as such or shrubs should be planted between the curb and the sidewalk at such locations to discourage crossings at these locations.
11. Street lighting must be as directed in the Traffic Engineer's comment #2. Once a type of light is accepted, an approved detail must be submitted to the Planning Division for inclusion in the project file.
12. The parking spaces must be no more than 235 small cars.
13. If a use is submitted on a site plan which does not fall into a category listed on Exhibit J, the height limitations of the individual zone shall prevail.
14. The following design guidelines shall govern the development of the entire site:
 - a) Architectural character: Acceptable architectural styles shall include contemporary and post-modern buildings which respect the regional context. Features that display sensitivity to the pedestrian will be encouraged. Designs should avoid massive, unbroken volumes which ignore human scale.
 - b) Colors: Acceptable colors shall range from light to dark earth tones or warm to cool greys.
 - c) Landscaping: Landscape setback areas of a minimum of 10 feet in depth shall be required along all public streets. Landscaping within individual sites shall be consistent in character with the landscaping initially provided by the Master Developer.
15. The Design Guidelines Book, Sections III and IV will be the approved document as modified by the above conditions. This document will be signed-off by the DDB. The plan submitted will be discarded from the file.

Susan J. Montgomery
Susan Montgomery
Planner

SVD/jw

cc: Pacific Realty Corporation, 14180 Dallas Parkway, Suite 300, Dallas, Texas; 75240
George R. "Pat" Bryan III, 500 Copper N.W., Suite 201; 87102

IT IS REQUESTED THAT THE APPLICANT



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

April 18, 2007

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **April 18, 2007:**

Contact Name: KELI KRUEGER
Company or Agency: TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE/87109
PHONE: 858-3100/FAX: 858-1118
E-mail: kkrueger@tierrawestllc.com

contacted the Office of Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at **TRACT 4A2, RENAISSANCE CENTER, LOCATED ON RENAISSANCE BOULEVARD NE BETWEEN MERCANTIL AVENUE NE AND CULTURE DRIVE NE** zone map **F-16**.

Our records indicate that as of April 18, 2007, there were no Recognized Neighborhood Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(10/18/04)

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Tierra West LLC DATE OF REQUEST: 4/18/07 ZONE ATLAS PAGE(S): F-16

CURRENT:

ZONING SW-1 for IP uses

PARCEL SIZE (AC/SQ. FT.) 1.4455 +/-

LEGAL DESCRIPTION:

LOT OR TRACT # 4A2 BLOCK # _____

SUBDIVISION NAME Renaissance Center

REQUESTED CITY ACTION(S):

ANNEXATION []	SECTOR PLAN []	SITE DEVELOPMENT PLAN:
COMP. PLAN []	ZONE CHANGE []	A) SUBDIVISION [] BUILDING PERMIT [X]
AMENDMENT []	CONDITIONAL USE []	B) BUILD'G PURPOSES [] ACCESS PERMIT []
		C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 1 13,000 ϕ RETAIL
BUILDING SIZE: 16,190 +/- (sq. ft.) 3,200 ϕ OFFICE

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Keli D. Krueger DATE 4/18/07
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994 FOR THIS PROPOSAL.

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE [] NORTH RENAISSANCE TIS

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X] SEE ATTACHED TRIP GENERATION.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony J. [Signature] DATE 5-8-07
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO [X]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

Keli D. Krueger DATE 4/18/07
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / TRAFFIC ENGINEER _____ DATE _____
-FINALIZED / /

Renaissance Center Commercial Dev (Renaissance Blvd. / Culture Blvd) **Trip Generation Data**

	USE (ITE CODE)	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.		
	DESCRIPTION	GROSS	ENTER	EXIT	ENTER	EXIT	
	Summary Sheet						
		Units					
	Shopping Center (820)	13.00	1,803	28	18	78	85
	General Office Building (710) - Less than 51,000 S.F.	3.19	47	6	1	1	6
	Subtotal		1,850	34	19	79	91

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from May 29, 2007 To June 13, 2007

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Heidi D. Krueger, 5/16/07
(Applicant or Agent) (Date)

I issued 2 signs for this application, 5/16/07, [Signature]
(Date) (Staff Member)

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Union Pension Transaction Trust 93-2
AGENT Tierra West LLC
ADDRESS 5571 Midway Park Place NE
PROJECT & APP # 1004368 / OT DRB-00656
PROJECT NAME Tract 4A2, Renaissance Center

\$ 20⁰⁰ 441032/3424000 Conflict Management Fee

\$ 385⁰⁰ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75⁰⁰ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 480⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

TIERRA WEST LLC
8509 JEFFERSON NE
ALBUQUERQUE, NM 87113
PH (505) 858-3100

2641
95-677/1070

DATE 5-16-07

PAY TO THE ORDER OF City of Albuquerque \$ 480.00
~~City of Albuquerque~~ Four hundred eighty & no/100 DOLLARS
~~Leadership Division~~

DUPLICATE

5/16/2007 HIGH DESERT STATE BANK 30AM LOC: ANNX
Account 441032 Fund 0110
Trans Amt \$480.00
J24 Misc

FOR Submittal Fees 20181311

MP

Thank You

DUPLICATE
City Of Albuquerque
Treasury Division

5/16/2007 10:30AM LOC: ANNX
RECEIPT# 00075596 WSH 008 TRANS# 0013
Account 441018 Fund 0110
Activity 4971000 TRSCXG
Trans Amt \$480.00
J24 Misc \$75.00
CK \$480.00
CHANGE \$0.00
Thank You

DUPLICATE
City Of Albuquerque
Treasury Division

5/16/2007 10:30AM LOC: ANNX
RECEIPT# 00075595 WSH 008 TRANS# 0013
Account 441006 Fund 0110
Activity 4983000 TRSCXG
Trans Amt \$480.00
J24 Misc \$385.00
Thank You



August 16, 2005

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
Post Office Box 1293
Albuquerque, New Mexico 87103

**RE: Tract 4A-2
Renaissance Center**

Dear Ms. Matson:

On behalf of the Union Development Corporation, f/k/a the New Mexico Development Foundation, please accept this letter as written approval of acceptance on behalf of the Renaissance Center Architectural Review Committee. The committee approves the plan as submitted on The Rain Factory, tract 4A-2 Renaissance Center.

If you have any questions, please do not hesitate to contact our office directly at 505.268.1200.

Sincerely,

James K. Trump, Jr.
Chairman Architectural Review Committee
jim@buildnewmexico.org

JKT/tlp

A MEMBER OF BUILD NEW MEXICO

1110 Pennsylvania NE, Suite A • Albuquerque, New Mexico 87110 • Phone: (505) 268-1200 • Fax: (505) 268-0449



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 8/04/05
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 28 provided: 29
Handicapped spaces required: 2 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2
provided: 10+
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input checked="" type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P
<input type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<input type="checkbox"/> Street Name Change (Local & Collector)
STORM DRAINAGE	L A APPEAL / PROTEST of...
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: RAIN FACTORY, LLC PHONE: 505-301-8533
 ADDRESS: P.O. BOX 3220 FAX: 866-509-0492
 CITY: ALBUQUERQUE STATE NM ZIP 87190 E-MAIL: _____
 Proprietary interest in site: _____ * List all owners: _____
 AGENT (if any): JAMES COOKE PHONE: 505-301-8533
 ADDRESS: 302 12TH ST SW FAX: 866-509-0492
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: jc@james-cooke.com

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 4A-2 Block: _____ Unit: _____
 Subdiv. / Addn. NORTH RENAISSANCE CENTER TBK: RAIN FACTORY
 Current Zoning: SU-1 FOR IP USES Proposed zoning: NA
 Zone Atlas page(s): F-16-2 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 1.45 Density if applicable: dwellings per gross acre: - dwellings per net acre: -
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101606131521530708 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: CULTURE DRIVE NE
 Between: MONTANO and RENAISSANCE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____
 SIGNATURE [Signature] DATE 8/04/05
 (Print) JAMES COOKE _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DEB - 01267</u>	<u>SBP</u>	<u>P(2)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>08/31/05</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 480.00</u>

Sandy Handley 08/04/05 Project # 1004368
 Planner signature / date

FORM P(2): SITE PLAN REV 1 - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB **FROM EPC**
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement **PENDING**
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

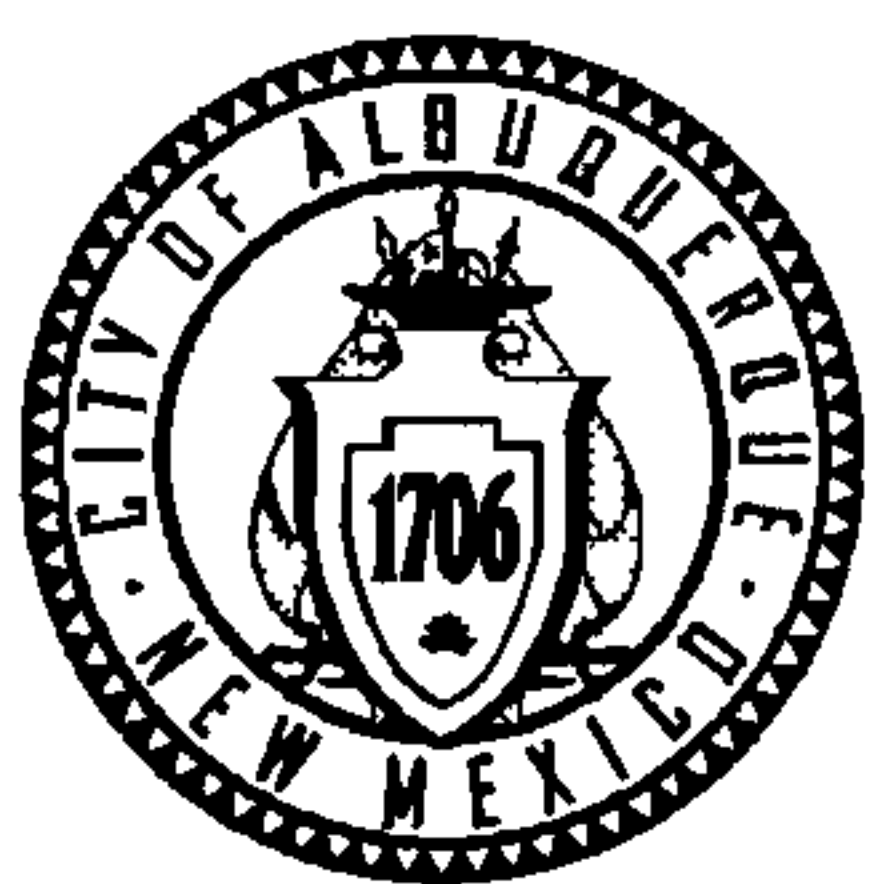
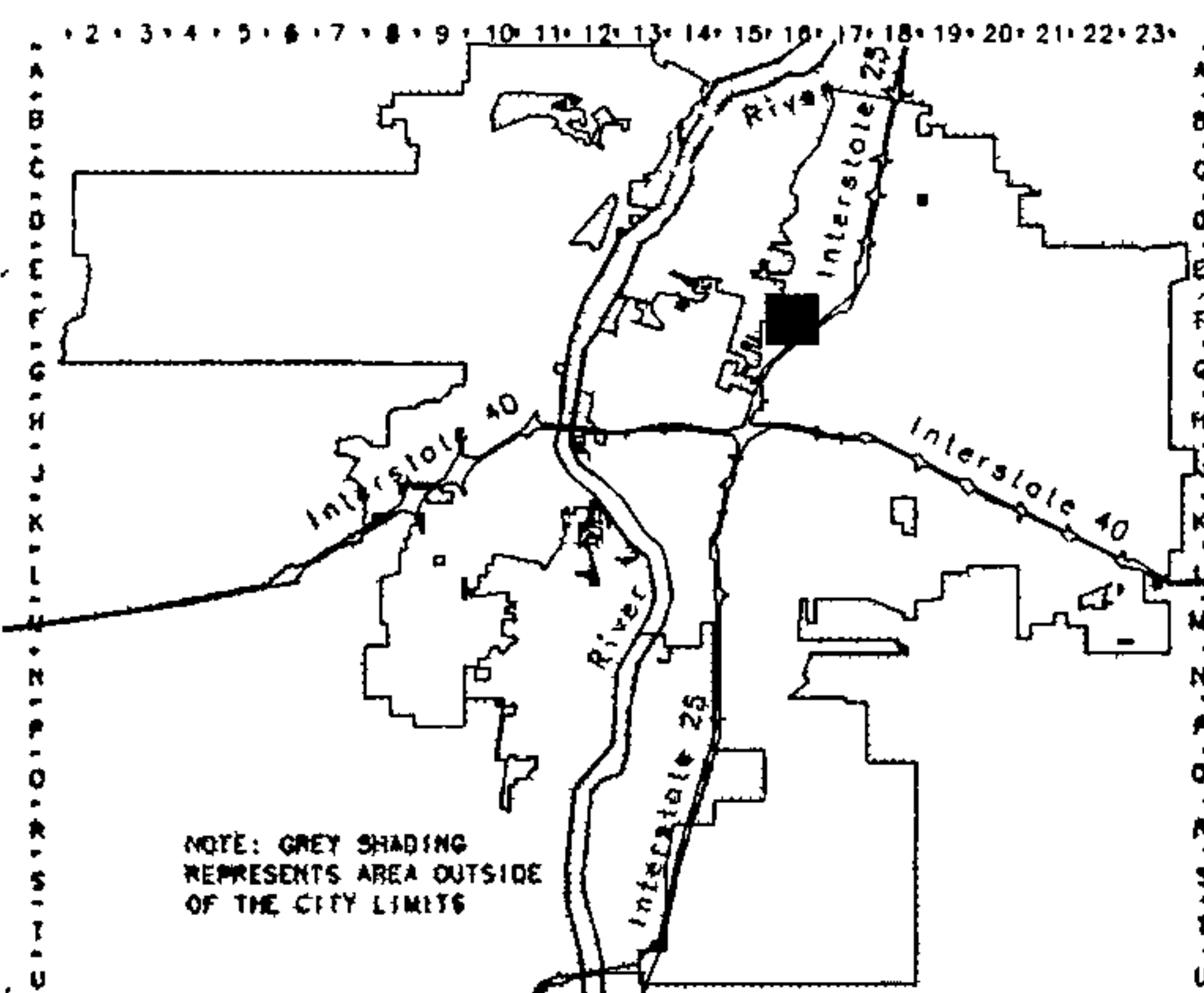
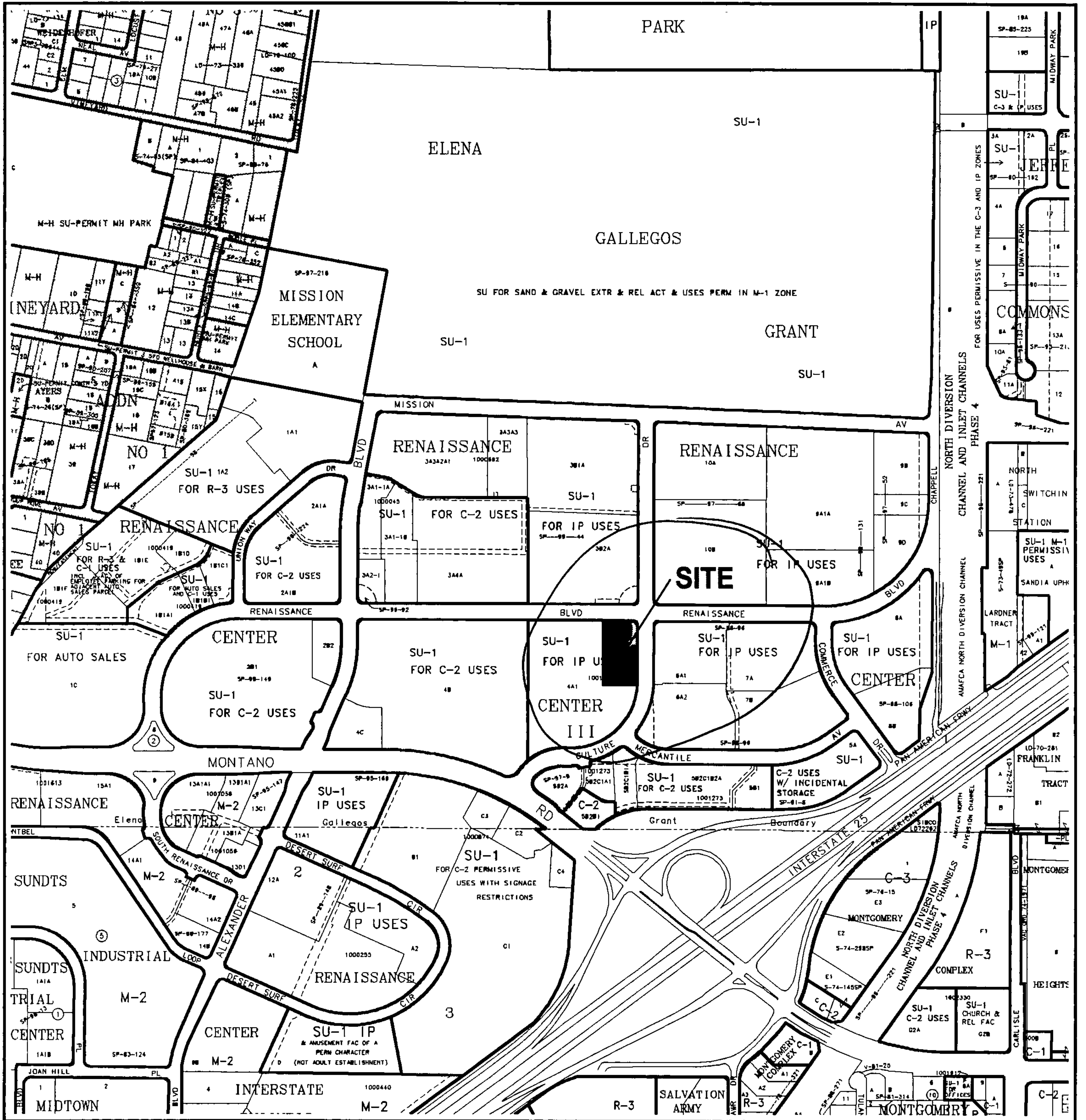
[Signature] 8/03/05
 Applicant name (print)
James Cooke
 Applicant signature / date



Form revised JUNE 2005

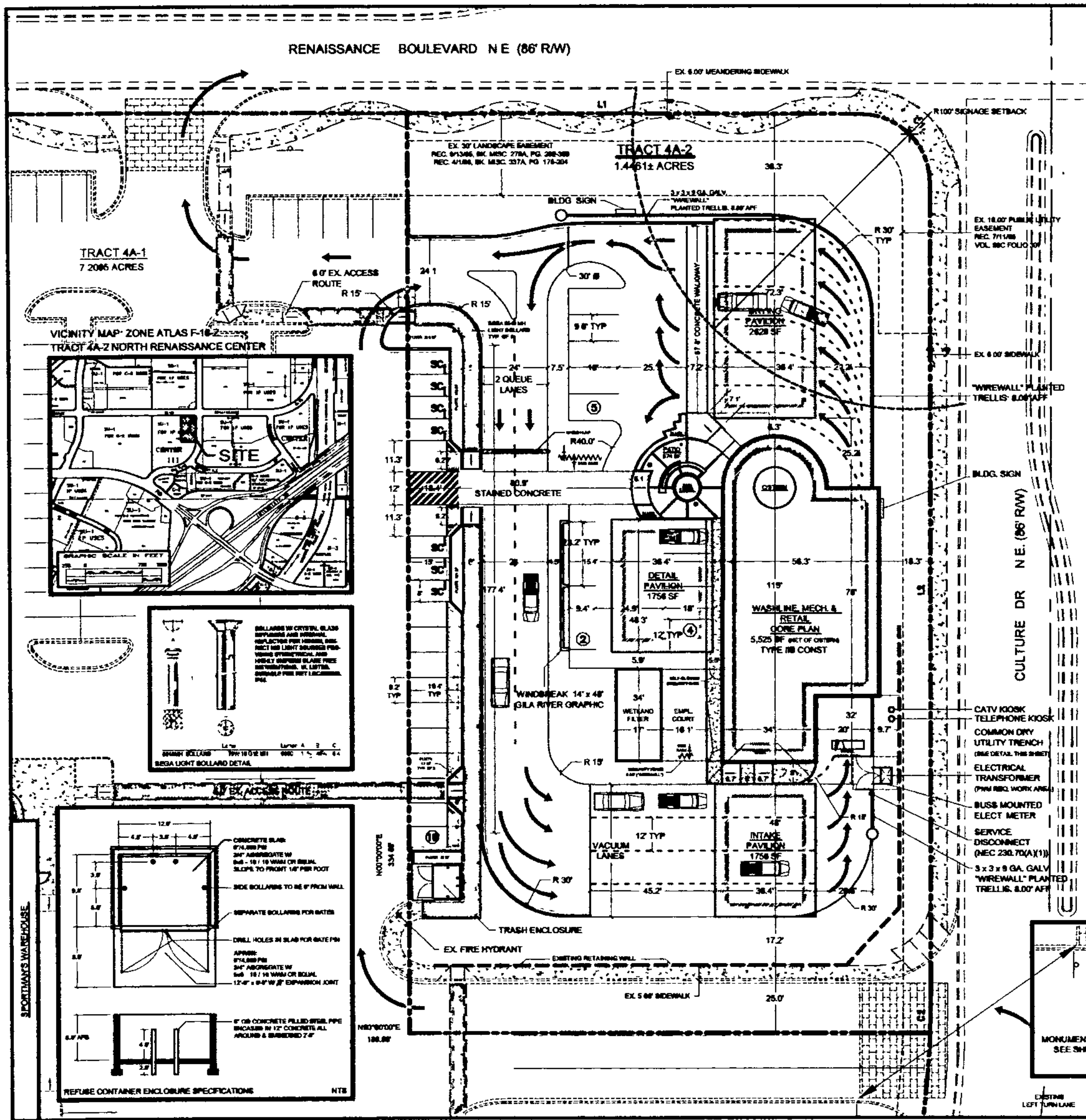
- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
05 DRB - - 01267
 - - -
 - - -

Sandy Handley 08/31/05
 Planner signature / date
Project # 1004368



Abuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT
 © Copyright 2004

Zone Atlas Page
F-16-Z
 Map Amended through March 01, 2004



GENERAL NOTES

- COMMON INGRESS/EGRESS STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 4A-1 AND 4A-2 IS GRANTED MOST RECENTLY BY THAT PLAT FILED IN THE OFFICE OF THE COUNTY CLERK FOR BERNALILLO COUNTY, NEW MEXICO ON JULY 26, 2001, IN BOOK 2001 C-213
- ANY CHANGES FROM WHAT IS APPROVED ON THIS SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PROPOSED WILL BE REQUIRED FOR THE TRACT 4A-2 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER
- COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACTS 4A-1 AND 4A-2 IS GRANTED BY THIS SITE PLAN AND PREVIOUS PLATS AND WILL BE GRANTED ON THE PLAT
- MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE RENAISSANCE CENTER MASTER PLAN
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 18 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE MAXIMUM GLARE CUT-OFF ANGLES
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL
- LIGHT POLES SHALL BE A MAXIMUM OF 20' WITH FULL CUT-OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT-OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS

INDEX BACK - Specifications, Space Use, and Installation Instructions

Product Name:
 One Half Inch As Manufactured by Core Site Rods
 Blue Perforated per Units & Measurements
 1/2" OD 11 Gauge CRW Rod
 Finish: A hot dipped galvanized finish after fabrication is required. Number one and number two options are the standard. The standard finish is a hot dipped galvanized finish. The standard finish is a hot dipped galvanized finish.

INSTALLATION:
 Recommended Mount: These planters are designed to be mounted to a concrete slab. The planters are designed to be mounted to a concrete slab. The planters are designed to be mounted to a concrete slab. The planters are designed to be mounted to a concrete slab.

DETAILS:
 See this sheet for details on the installation of the planters. The planters are designed to be mounted to a concrete slab. The planters are designed to be mounted to a concrete slab. The planters are designed to be mounted to a concrete slab.

- THERE SHALL BE NO BACKLIT PLASTIC OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE
- BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
- SEE THIS SHEET FOR REFUSE ENCLOSURE
- SEE THIS SHEET FOR LIGHT BOLLARD DETAILS
- SEE THIS SHEET FOR BIKE RACK DETAILS
- NO FREESTANDING CELL TOWER OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE

TIME & MOTION		
ACTIVITY/STATION	#	AUTOS
QUEUE LINES	2	
VACUUM LINES	4	
QUEUE LINES CAPACITY		17
VACUUM LINES CAPACITY		8
AUTOS @ VACUUM		4
TOTAL AUTOS IN QUEUE		28
CONVEYOR SPEED	PER HR.	98
(MAX CONVEYOR SPEED)	PER HR.	128
ORDER TAKEN PER AUTO	1.8 MIN.	
VACUUM TIME PER AUTO @ 98% HR.	2.67 MIN.	
(VACUUM TIME/AUTO INDUSTRY)	1.38 MIN.	
TIME ON CONVEYOR	47 MIN.	
DRYING BAYS	12	
DRYING TIME PER AUTO @ 98% HR.	8.34 MIN.	
(DRYING TIME/AUTO INDUSTRY)	4.24 MIN.	
PORTING TIME PER AUTO	1.23 MIN.	
RETURN TO CUSTOMER	2.34 MIN.	
TOTAL TIME PER AUTO	16.17 MIN.	
ELAPSED TIME NORMAL STAFFING	12.84 MIN.	
EFFICIENCY 12 DRY BAYS	PER HR.	68.84
ELAPSED TIME 12% STAFFING	10.36 MIN.	
EFFICIENCY 12 DRY BAYS	PER HR.	68.57
AUTOS @ 12% STAFFING @ 1 HR.	PER DAY	446
AUTOS @ 12% STAFFING @ 1 HR.	PER DAY	857

TRAFFIC CAPTURE		
DAILY TRAFFIC COUNT	%	AUTOS
48,890	8.72	288
56,880	9.72	360
40,000	0.80	360
68,880	8.88	457

CAPTURE RATE INDUSTRY AVE. WESTERN US. 0.88 %

PROJECT NUMBER: _____
Application Number: _____

Is an instrument that requires? () Yes () No. If yes, then a set of approved CPC plans with a work order is required for any construction within Public Right-of-Way or for reconstruction of public improvements.

DRS SITE DEVELOPMENT PLAN APPROVAL

Traffic Engineering, Transportation Division	Date _____
Water Utility Department	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
DRS Chairperson, Planning Department	Date _____

* Environmental Health if necessary

LEGEND

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	PROPERTY LINE
	EASEMENT
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	GRAVEL/PAVE
	EXISTING RETAINING WALL
	INTERNAL TRAFFIC LANES
	AUTO TRAFFIC CIRCULATION
	SIDEWALK RAMP PER CDA DETAIL (DWG 2441 SIMILAR)
	PARKING SPACES PER AISLE

- SHEET INDEX**
- SITE PLAN
 - LANDSCAPE PLAN
 - PRELIMINARY GRADING & DRAINAGE PLAN
 - PRELIMINARY GRADING & DRAINAGE PLAN DETAILS
 - BUILDING & STRUCTURE ELEVATIONS
 - BUILDING & STRUCTURE ELEVATIONS MATERIALS & DETAILS
 - CONCEPTUAL UTILITY PLAN

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD DIRECTION	CHORD
C1	38.19	25.00	N44°54'42"W	35.30
C2	13.30	380.30	N01°01'19"E	13.30

LINE TABLE		
LINE	LENGTH	BEARING
L1	183.88	S89°49'25"
L2	296.83	S00°00'00"

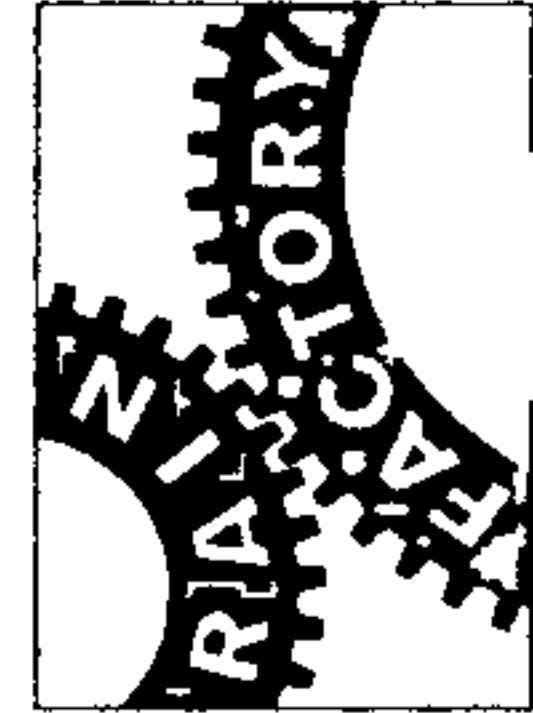
SITE DATA - ZONING SU-1 FOR IP USES - PARKING CALCULATED @ 1 SPACE PER 200 SF OF NET LEASABLE SPACE											
TRACT	FLOOR AREA RATIO	BLDG. TYPE	BLDG. AREA (SF)	MAX BLDG HEIGHT	PARKING REQUIRED	PARKING PROVIDED	ADD. PARKING PROVIDED	ADD. PARKING PROVIDED	ADD. PARKING PROVIDED	ADD. PARKING PROVIDED	LOT AREA (SF)
4A-2	0.19	CAR WASH	5,525 NET OF CISTERN	36'	28	28	2	2	2	2	14,481
		SHADE PAVILIONS	8,340	36'	0	0	0	0	0	0	

SITE PLAN



WRIGHT AND HAMMER
 ARCHITECTS
 1735 ALISO DRIVE
 ALBUQUERQUE, N.M.
 87110-505-288-8784

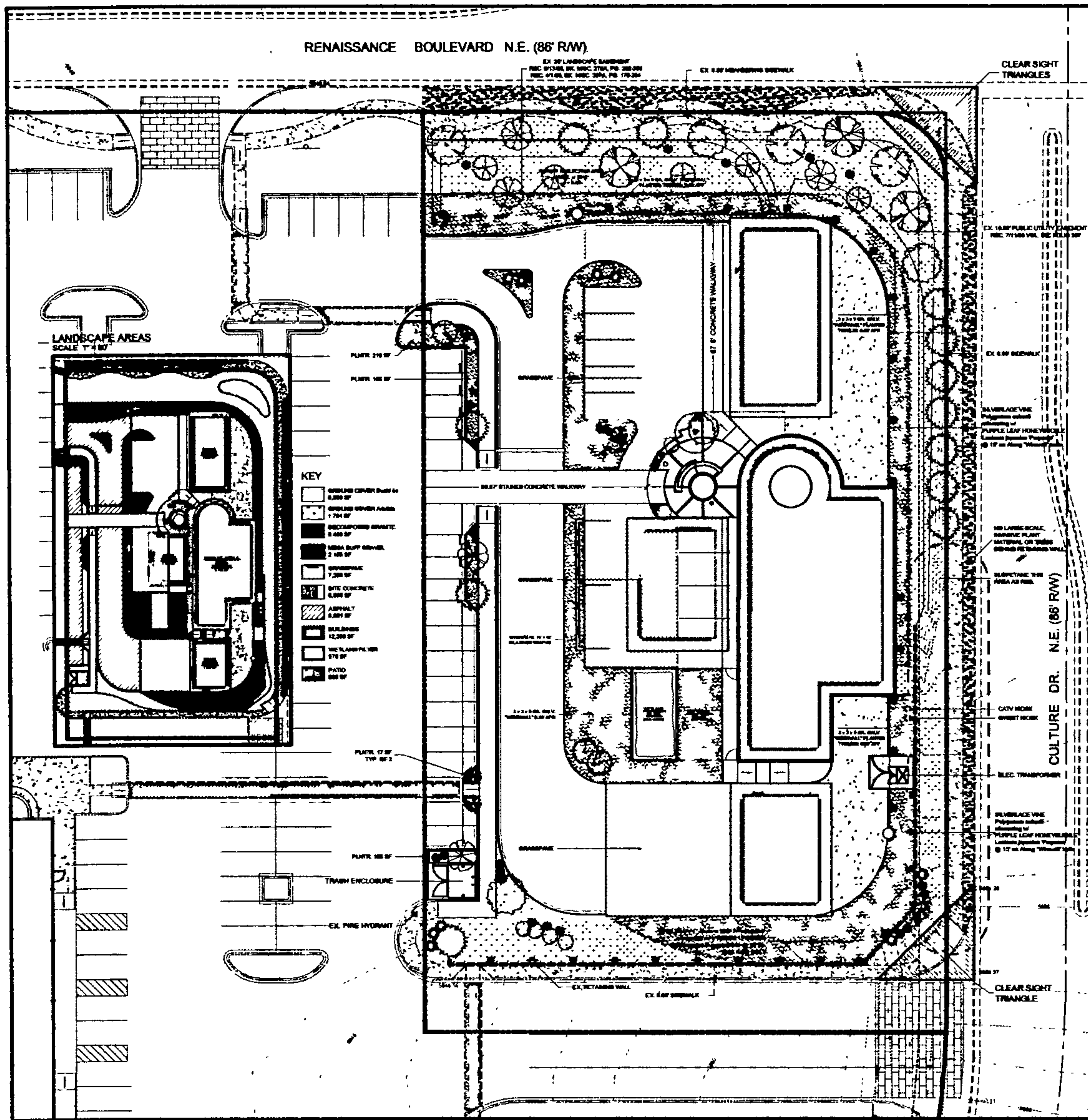
RAIN FACTORY™
 4821 CULTURE DRIVE NE
 ALBUQUERQUE, NEW MEXICO



DATE
 28 JULY, 2005

REVISIONS

SHEET
1



GENERAL NOTES

1. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
2. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.
3. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
4. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
5. PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
6. DECOMPOSED GRANITE OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED. MESA BUFF GRAVEL OVER FILTER CLOTH SHALL BE SUBSTITUTED IN STREET-SIDE AREAS.

LEGEND

- MODESTO ASH 3
Fraxinus velutina
2" Cal
- LONDON PLANE 3
Platanus scerifolia
2" Cal
- DESERT WILLOW 5
Chilopsis linearis
2" Cal
- GOLDEN RAIN TREE 3
Koeleria paniculata
2" Cal
- ARIZONA SYCAMORE 1
Platanus wrightii (mult-trunk)
24" Box
- BRADFORD PEAR 12
Pyrus calleryana 'Bradford'
6" - 8"
- GINKGO 8
Ginkgo biloba
4" - 8"
- NEW MEXICO OLIVE 6
Forestiera neomexicana
3" - 5"
- RED OSIER DOGWOOD 18
Cornus stolonifera
2" - 3"
- WINTERFAT 14
Carotides lanata (Eurotia lanata)
1 Gal
- BEAR GRASS 8
Nolina microcarpa
1 Gal
- SOTOL 3
Dasylirion wheeleri
1 Gal
- SEEPWILLOW 8
Baccharis sarothroides
1 Gal
- ENGLISH IVY 8
Hedera helix 'Needlepoint'
1 Gal
- VIRGINIA CREEPER 7
Parthenocissus quinquefolia
1 Gal
- SILVERLACE VINE 8
Polygonum suberifolium
1 Gal
- PURPLE LEAF HONEYSUCKLE 7
Lonicera japonica 'Purplea'
1 Gal
- PURPLE THREEAWN 1 784 SF
Aristida longiseta (Aristida purpurea)
- BUFFALO GRASS 8 500 SF
Buchloe dactyloides
- 1/2" MESA BUFF GRAVEL
W/ FILTER FABRIC
- DECOMPOSED GRANITE
W/ FILTER FABRIC
- GRASSPAVE (SODDED) 7 258 SF
WATER SAVER® with RTF™
- GRASSPAVE (SODDED) 7 258 SF
WATER SAVER® with RTF™
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPERTY LINE
- EASEMENT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK/GRAVELPAVE
- EXISTING RETAINING WALL
- GRAVELPAVE
- EXISTING CONTOURS
- PROPOSED CONTOURS

IRRIGATION

1. IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE 5 EACH 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE 2 EACH 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.
2. RUN TIME FOR EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY TO BE ADJUSTED SEASONALLY.
3. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.
4. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

GRASSPAVE

- PERVIOUS LOAD BEARING SURFACE
- STORMWATER POLLUTION FILTRATION AND TREATMENT
- AIRBORNE DUST CAPTURE AND RETENTION
- HEAT ENERGY REFLECTION REDUCTION

1. 800 LBS 13 MM (1/2") THICK (SOIL THICKNESS) ROLLED SOD FROM A REPUTABLE LOCAL GROWER. SPECIES SHOULD BE WEAR RESISTANT, FREE FROM DISEASE, AND IN EXCELLENT CONDITION. SOD SHALL BE GROWN IN SAND OR SANDY LOAM SOILS ONLY, OR SUPPLIED FROM A RECOGNIZED "WASHED SOD" PROCESS. SOD GROWN IN SOILS OF CLAY, SILT, OR HIGH ORGANIC MATERIALS SUCH AS PEAT WILL NOT BE ACCEPTED.

2. HYDROGROW CONDITIONER: A DRY SYNTHETIC CRYSTAL MADE OF POLYACRYLAMIDE (5.1% POLYMER). THIS POLYMER IS NON TOXIC AND NEUTRAL IN PH AND WILL ABSORB 100 TO 350 TIMES ITS WEIGHT IN WATER FROM MOST TAP SOURCES. HYDROGROW IS A NON-IONIC FORM OF POLYMER WHICH ALLOWS ABSORPTION OF FERTILIZERS AND OTHER MINERALS WITHOUT DEGRADATION. ALTERNATIVE POLYMERS OF IONIC OR ANIONIC FORMS WILL NOT BE ALLOWED TO BE SUBSTITUTED.

HYDROGROW IS A MIXTURE OF SOIL POLYMER, ZEPHRO INSOLITE, AND HUMATE SOIL CONDITIONERS. HYDROGROW POLYMER IS A SYNTHETIC CRYSTAL (POLYACRYLAMIDE) SOIL ADDITIVE WHICH ABSORBS WATER AND DISSOLVED NUTRIENTS. CRYSTALS ARE NON TOXIC, PH NEUTRAL AND VERY SLOW TO BIODEGRADE. HYDROGROW IS ANIONIC AND IS NOT AFFECTED BY MINERALS AND SALTS IN SOILS OR WATER. CRYSTALS ARE "TIMED" IN SIZE. DRY HYDROGROW EXPANDES AND SOFTENS INTO GELATIN SPONGES OF WATER AND NUTRIENTS, ABSORBING 100 TO 300 TIMES THEIR WEIGHT. PLANTS ROOTS WILL PENETRATE THE EXPANDED CRYSTALS AND REMOVE THE MOISTURE AND NUTRIENTS AS NEEDED, RESPONDING WITH RAPID GROWTH AND MORE HEALTHY VEGETATION. THE HUMATE COMPONENT PROVIDES HUMUS, FERTILIZER, MICRONUTRIENTS, AND STARTER BACTERIA FOR AN IDEAL GROWTH ENVIRONMENT FOR SOIL BACTERIA AND ENZYMES TO CONVERT NPK FERTILIZER ELEMENTS INTO FOOD FOR PLANTS.

- LESS FREQUENT IRRIGATION
- MORE MOISTURE RETAINED IN SANDY SOILS
- QUICK ESTABLISHMENT OF NEW PLANTS.

GRASSPAVE (SOD) SPREAD 10 LBS PER 1000 SF OVER BASE BEFORE PLACING GRASSPAVE MATS.

SOD

WATER SAVER® with RTF™ (Rhinoceros Tail Fescue) BY BARENBRUG

WATER SAVER® IS A SPECIAL BLEND OF DWARF TURF-TYPE TALL FESCUES. THE CULTIVARS HAVE BEEN CHOSEN BASED UPON COMPATIBILITY IN COLOR, TEXTURE, DISEASE RESISTANCE, DURABILITY, GROWTH RATE AND OVERALL TURF PERFORMANCE. IN NATIONAL TRIALS, RESEARCH HAS SHOWN THAT THE VARIETIES IN WATER SAVER WILL TOLERATE DROUGHT BECAUSE OF THEIR VAST ROOT SYSTEMS. A WATER SAVER LAWN WITHSTANDS A HIGH RATE OF TRAFFIC AND ABUSE AND DISPLAYS EXCELLENT TOLERANCE TO SHADE. WATER SAVER TURF-TYPE TALL FESCUE MAY BE USED ON ATHLETIC FIELDS, SCHOOL YARDS, HOME LAWNS, COMMERCIAL PROJECTS, ROADSIDE EROSION CONTROL, AND GOLF COURSE ROUGH AREAS.

LOCALIZED HEAT ISLAND MITIGATION

TEMPERATURES RECORDED AT 2' ABOVE EXISTING ASPHALT PAVING IMMEDIATELY WEST OF THE SITE WERE CONSISTENTLY 1°F TO 10°F HIGHER THAN AMBIENT AIR TEMP AND TEMPERATURES RECORDED AT ADJACENT GRASSY AREAS.

GRASSPAVE RESULTS IN INCREASED EMPLOYEE AND CUSTOMER COMFORT AS MUCH AS A 15% REDUCTION IN ENERGY CONSUMPTION FOR COOLING AND A REDUCTION OF LOCAL OZONE GENERATION AT A RATE (F - O₃) OF 1 : 2.

WETLAND FILTER

HARD-STEM AQUAPHYTES SELECTED FROM AMONG:

- BLUE FLAG *Iris laevis*
- HORSETAIL *Equisetum hyemale*
- SOFT RUSH *Juncus effusus*
- DWARF PAPPYRUS *Cyperus papyrus*
- THALIA *Thalia dealbata*
- GRACEFUL CATTAIL *Typha latifolia*
- YELLOW FLAG *Iris laevis*

LANDSCAPE CALCULATIONS							STREET TREE REQUIREMENTS			
LOT AREA	BLDG. AREA	OFFSITE AREA	NET LOT AREA	REQUIRED @ 15%	PROVIDED	TOTAL BED PROVIDED	GROUND COVER REQ. @ 75%	GROUND COVER PROVIDED	REQ: 482 FRONTAGE @ 1 PER 20'	PROVIDED
62,982 SF	12,333	0	50,649	7,597 SF	10,284 SF	10,284 SF	7,713 SF	10,284 SF	25 TREES	25 TREES

LANDSCAPE PLAN



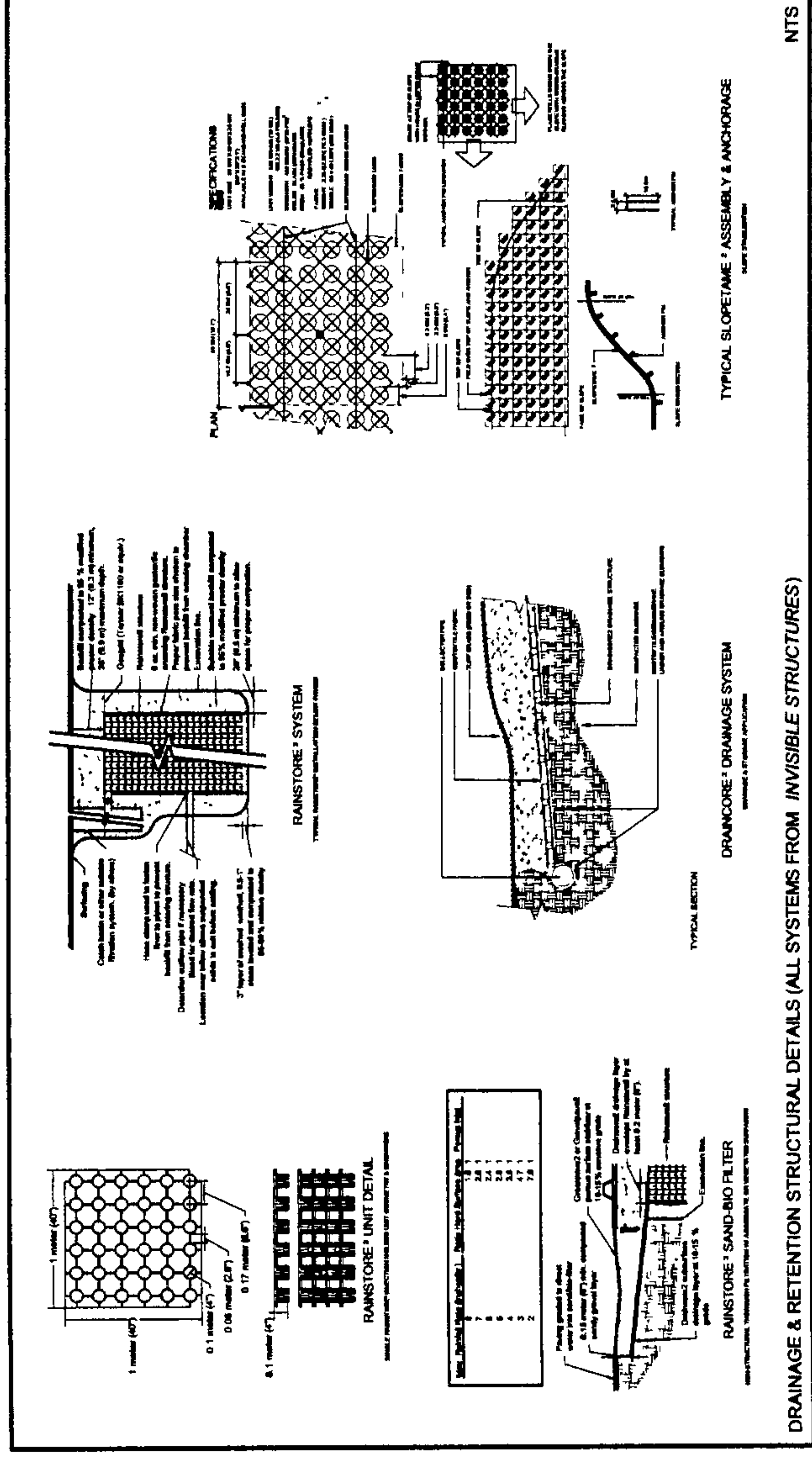
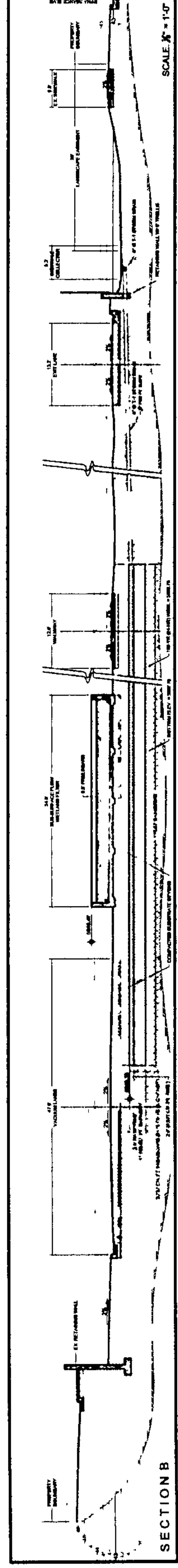
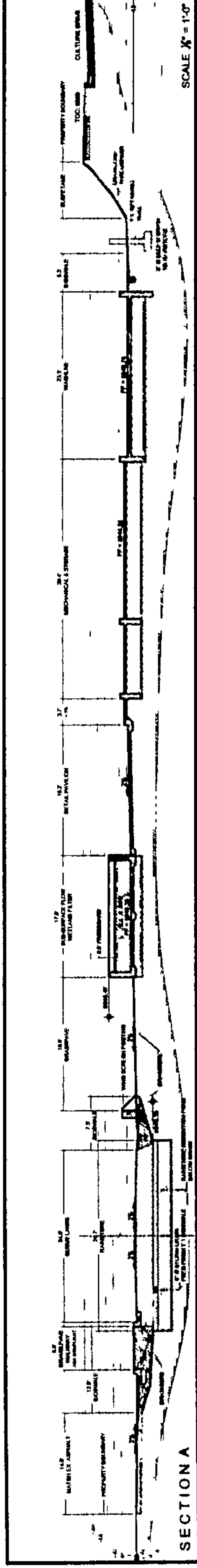
WRIGHT AND HAMMER
ARCHITECTS
1725 ALBUQUERQUE DRIVE N.W.
ALBUQUERQUE, N.M. 87104

RAIN FACTORY™
4821 CULTURE DRIVE NE
ALBUQUERQUE, NEW MEXICO

DATE: 03 AUGUST, 2005

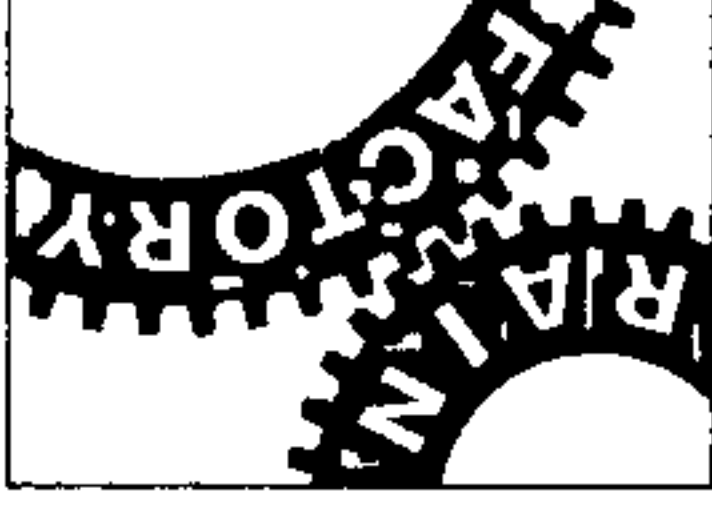
REVISIONS

SHEET 2



WRIGHT AND HAMMER
 1735 ALISO DRIVE
 ALBUQUERQUE, N.M. 87110 505-298-8764

RAIN FACTORY
 4821 CULTURE DRIVE NE
 ALBUQUERQUE, NEW MEXICO



DATE: 26 JULY, 2005
 REVISIONS:

SHEET: 3.1

GENERAL NOTES

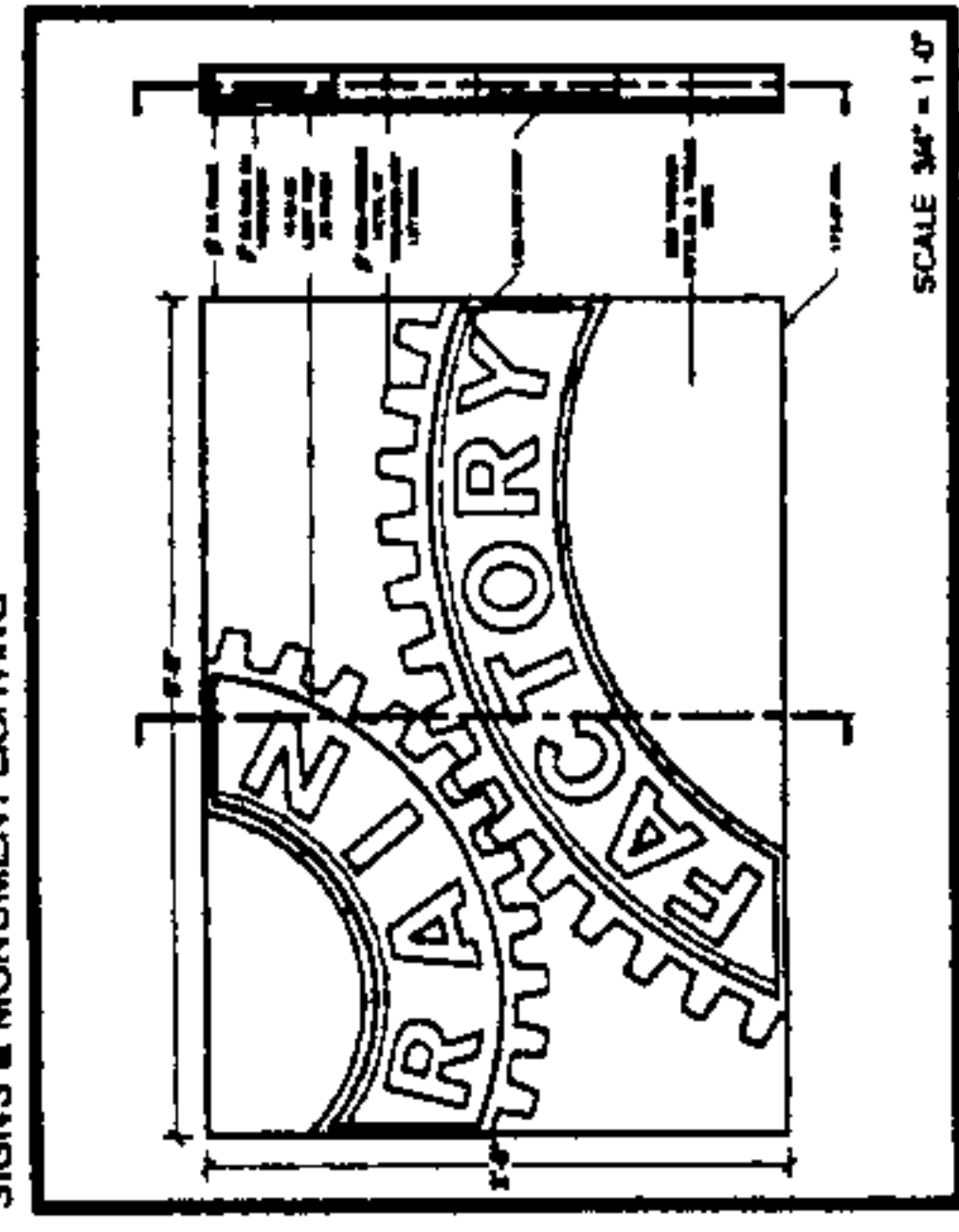
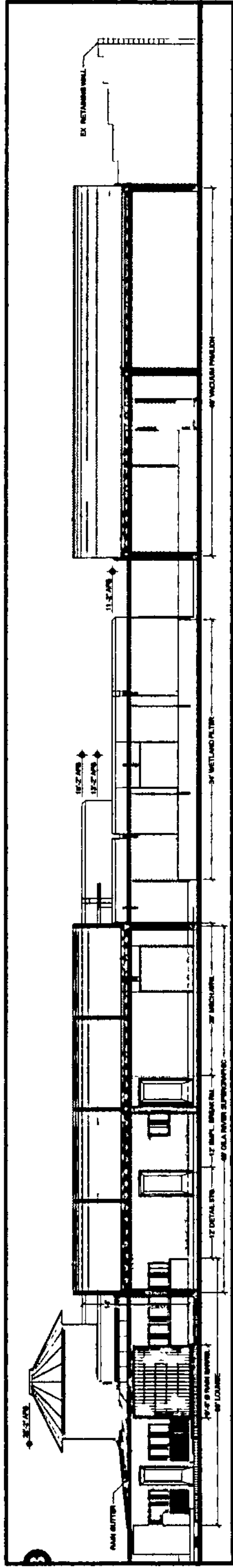
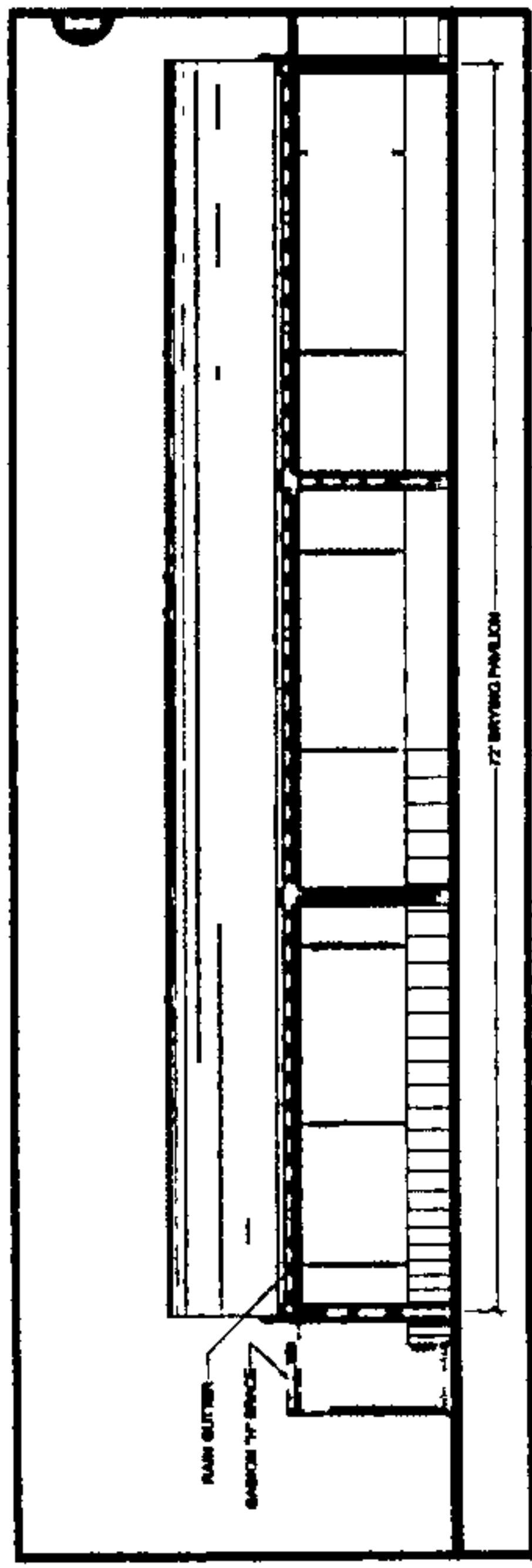
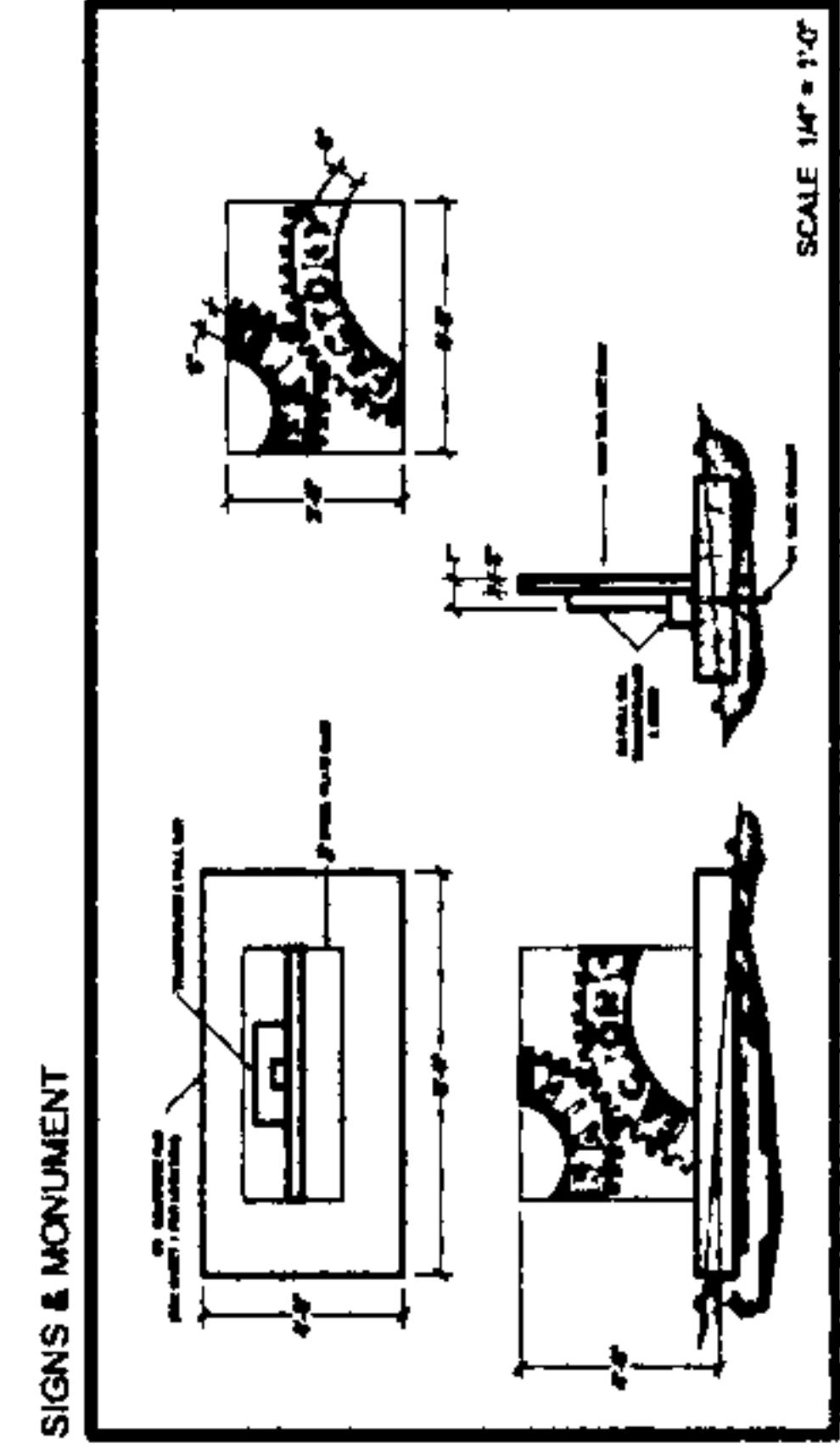
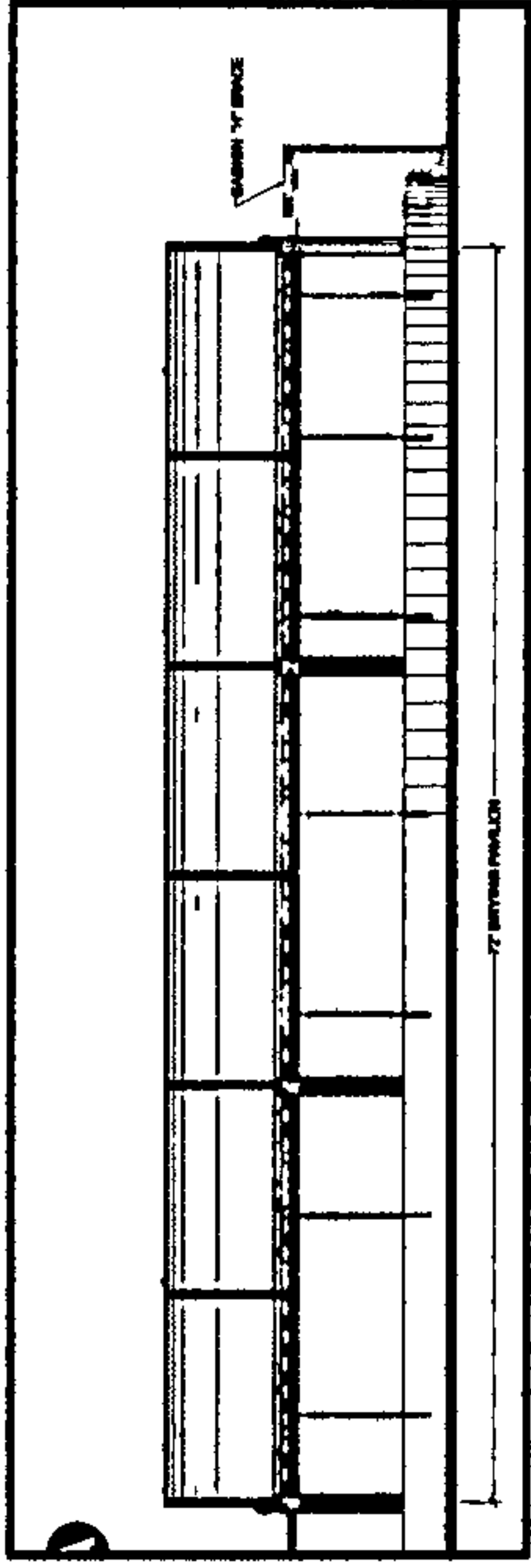
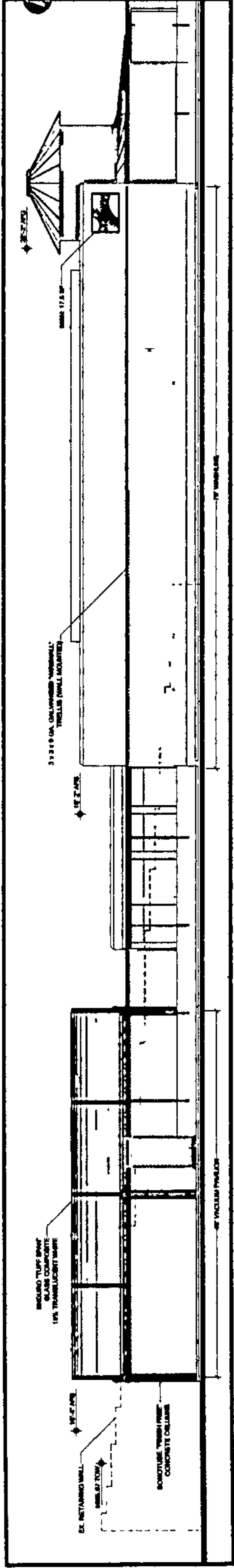
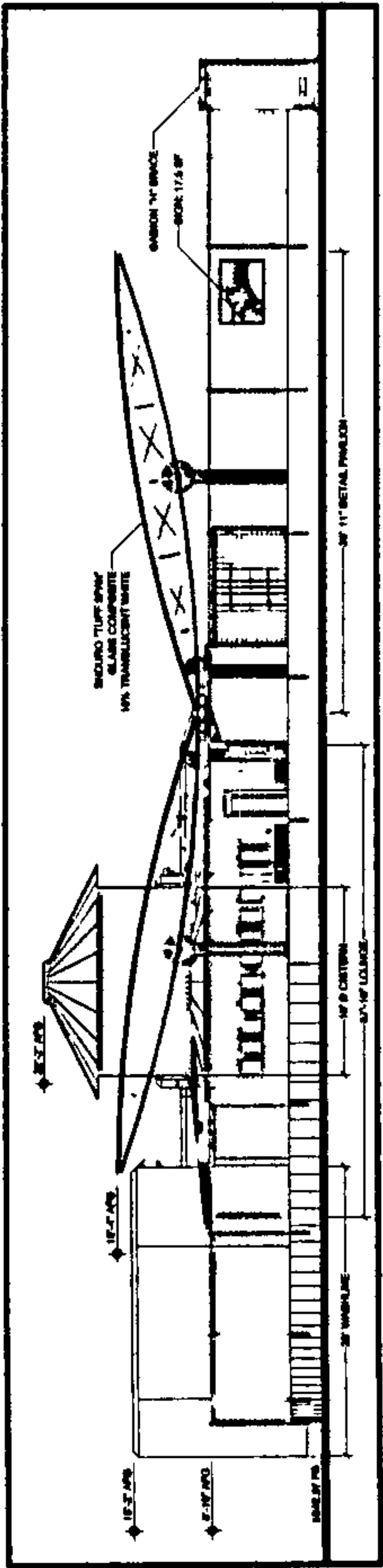
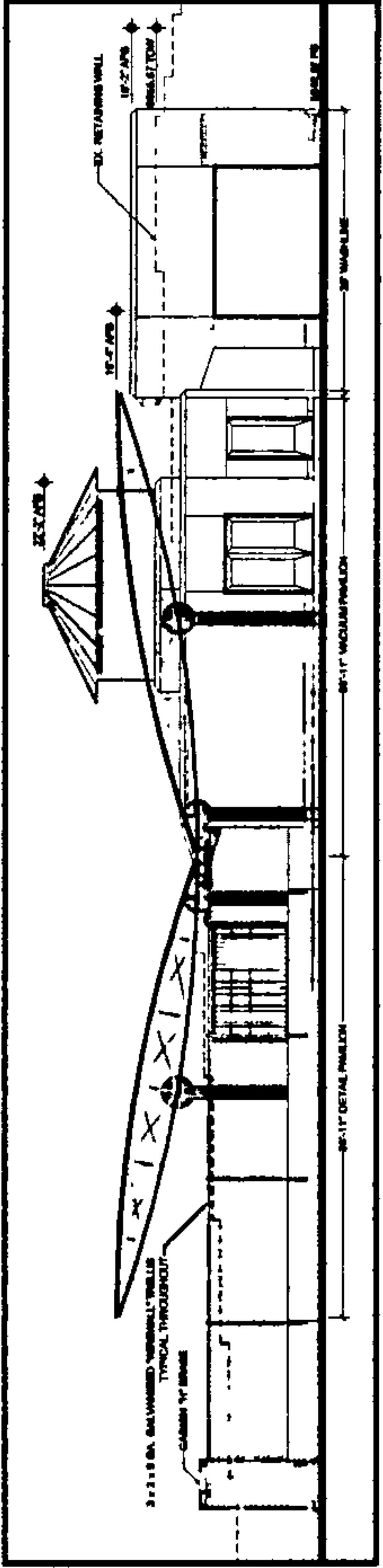
1. ADAMWHEELCHAIR ACCESSIBILITY: GRASSPAVE™ HAS A STABLE SLIP RESISTANT SURFACE, TESTED TO MEET ADA STANDARD.
2. RAINSTORE™ STRUCTURE DESIGNED TO POTENTIAL QUALITY SPECIFICATIONS. RAINSTORE™ HAS BEEN LABORATORY AND FIELD TESTED TO 14,200 LBS. LOADING (BRIDGE LOADING).
3. GRASSPAVE™ REQUIRES THE SAME DEPTH OF SUBBASE AS TWO INCHES OF ASPHALT. GRASSPAVE™ HAS A POUNDS-PER-SQUARE-INCH (PSI) CAPACITY OF 5,720. GRASSPAVE™ CAN SUPPORT ANY LOAD THAT IS LEGAL TO DRIVE ON THE STREET.
4. SLOPE/PAVE™ UNITS: LIGHTWEIGHT INJECTION MOLDED PLASTIC UNITS 0.540x0.025x0.025 (20"X20"X1" HIGH, 2.7 SQ. FT. EACH) WITH HOLLOW RINGS FROM A STRONG OPEN GRID WITH A GEOTEXTILE "JUTE" TPE FABRIC HEAT BONDED TO THE BOTTOM OF THE GRID. UNITS MAY BE SHIPPED IN PREASSEMBLED 1-METER SQUARES OR MEASUREMENTS WITH MANUFACTURER'S STANDARD COLOR IS BLACK. UNIT WEIGHT = 2.18 KG PER M2 (7.1 OZ/SF). VOLUME = 8% SOLID.
5. TOPSOIL FILL: SHALL CONSIST OF LOOSE FRANKLIN LOAM, REASONABLY FREE OF ADMIXTURES OF SUBSOIL, REFUSE, STUMPS, ROCKS, BRUSH, WEEDS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO THE PROPER DEVELOPMENTAL OF VEGETATIVE GROWTH.
6. ANCHORS: ANCHOR PINS SHALL BE EITHER HEAVY GAUGE (8 - 12) WIRE "U" SHAPED OR 4" TO 8" LONG NAILS. ANCHORS AND WASHERS 5 X 25 MM OD (3/16" ID X 1"). ALL GALVANIZED METAL OR SIMILAR COATING TO RESIST CORROSION.
7. DRAINCORE™ DRAINAGE CORE UNITS: LIGHTWEIGHT INJECTION-MOLDED PLASTIC UNITS, USUALLY SUPPLIED IN A LARGE ROLL FORMAT 24" WIDE X 25' LONG (8 FT X 85 FT), WITH HOLLOW RINGS RISING FROM A STRONG GEOTEXTILE FABRICS AND GEOMEMBRANES SHALL BE SUPPLIED FROM RELIABLE AND PROVEN SOURCES WITH KNOWN CHARACTERISTICS SUITABLE TO EACH SPECIFIC APPLICATION. THESE MATERIALS MAY BE USED TO UNDERLAY, OVERLAY, OR SURROUND THE DRAINCORE™ PRODUCT DEPENDING UPON SPECIFIC NEED.
8. EVERDURE CALTITE IS AN INTEGRAL HYDROPHOBIC AND PORE-BLOCKING INGREDIENT (HBI) FOR INCLUSION IN STRUCTURAL CONCRETE. ITS PRESENCE REVERSES CAPILLARY "WICK" OR SUCKING ACTION AS WELL AS PROVIDING A PHYSICAL PORE-BLOCKING COMPONENT WHEN SUBJECTED TO HYDROSTATIC PRESSURE. A HIGH RANGE WATER REDUCING ADMIXTURE IS ALSO USED TO REDUCE THE WATER/CEMENT RATIO AS WELL AS CONCRETE PERMANENTLY PROTECTED FROM WATER INGRESS AND PROTECTED AGAINST SOLUBLE SALT AND ACID ATTACK. EVERDURE CALTITE HAS BEEN SHOWN TO BE HIGHLY EFFECTIVE EVEN IN SOME OF THE WORLD'S MOST SEVERE ENVIRONMENTS. ITS RECORD OF MORE THAN 40 YEARS UNDER CONDITIONS OF EXTREME CHLORIDE AND SULFATE EXPOSURE WITH NO SIGNIFICANT DETERIORATION IS UNIQUE. EVERDURE CALTITE WATERPROOFING AND DURABILITY ENHANCEMENT.

LEGEND

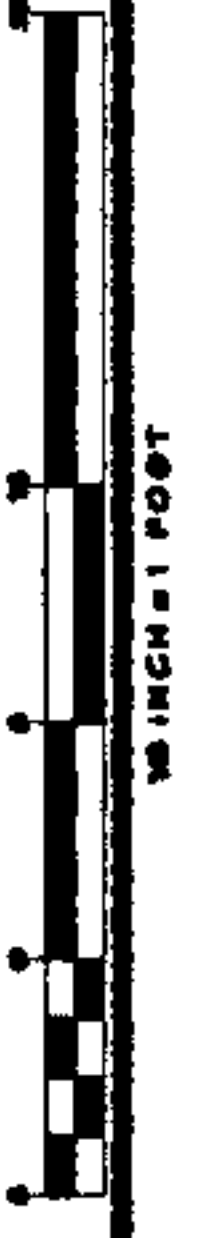
- 1. CALTITE WATERPROOF CONCRETE
- 2. COMPACTED SUBSTRATE
- 3. EARTH
- 4. WETLAND MEDIA 40% POROUS
- 5. RAINSTORE STRUCTURE



PRELIMINARY GRADING PLAN
 SECTIONS & DETAILS



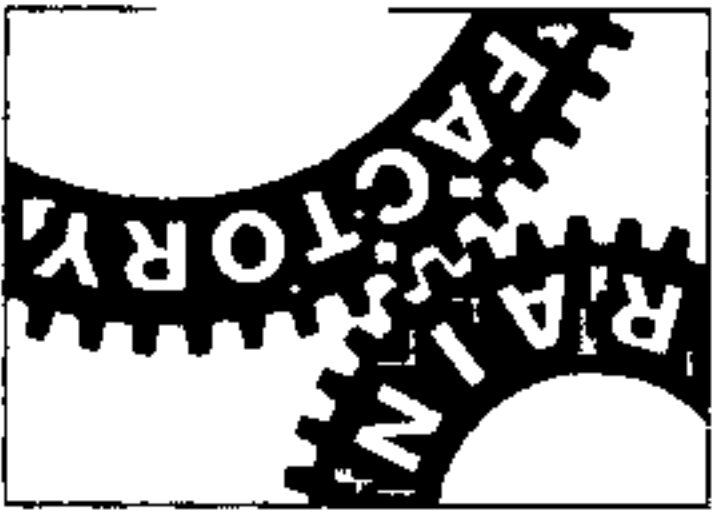
BUILDING & STRUCTURE ELEVATIONS



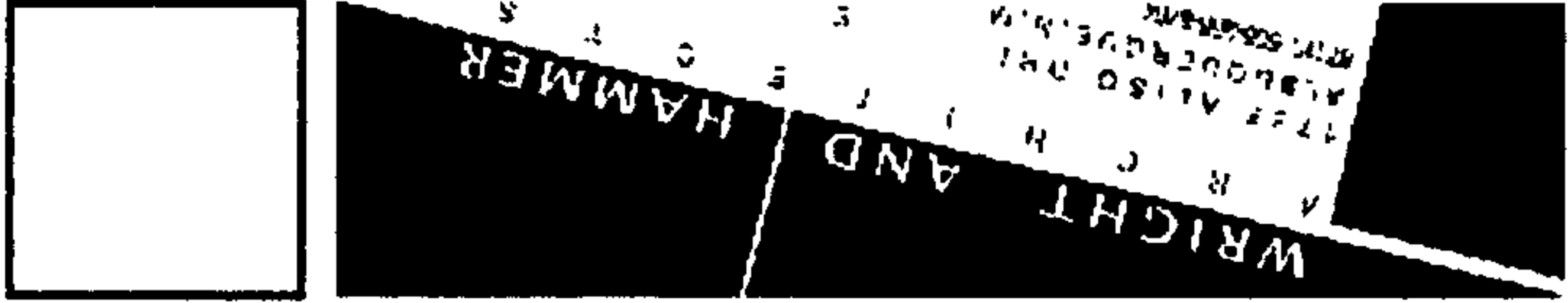
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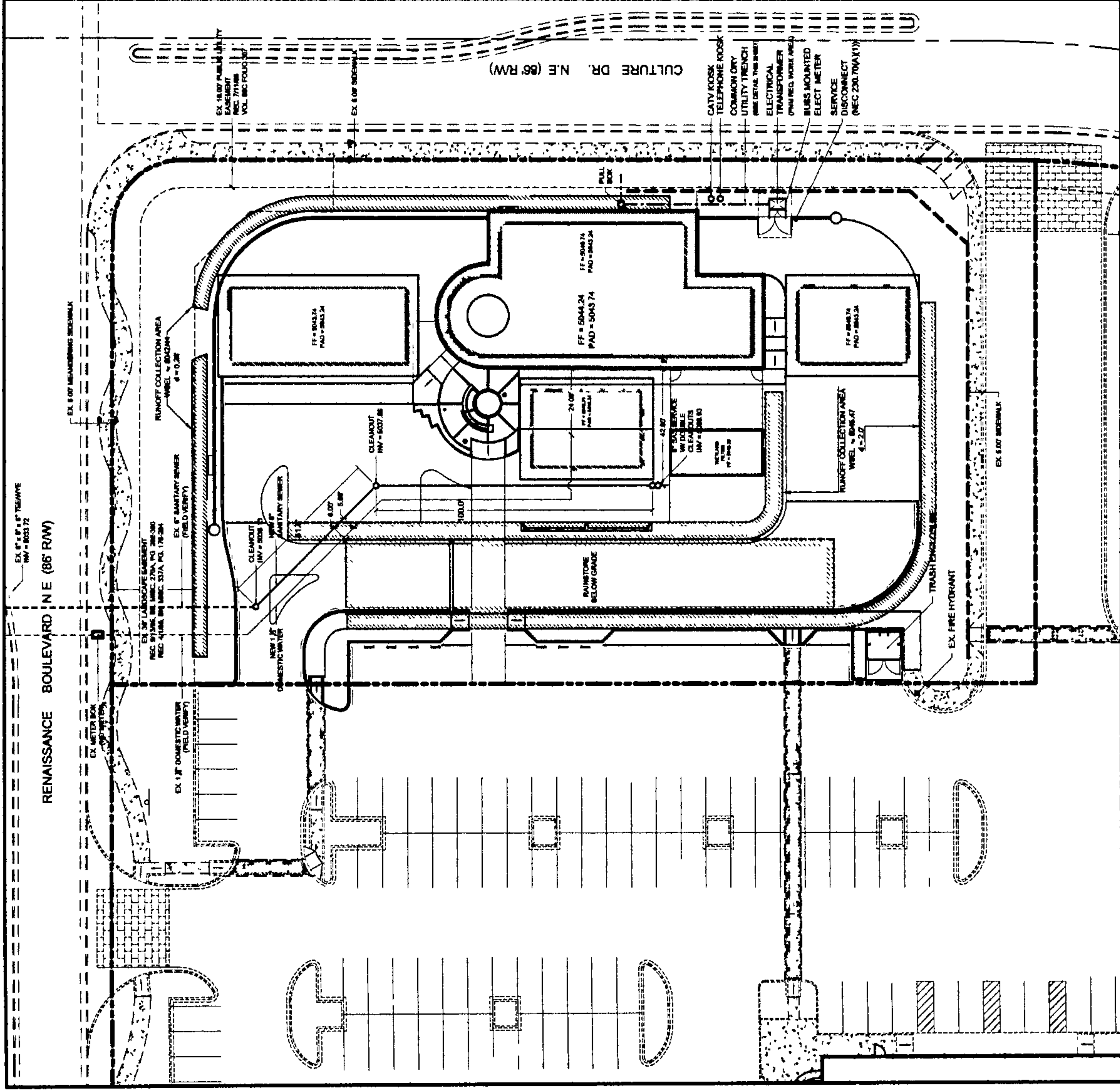
SHEET

DATE
28 JULY, 2005
REVISIONS



RAIN FACTORY™
4821 CULTURE DRIVE NE
ALBUQUERQUE, NEW MEXICO



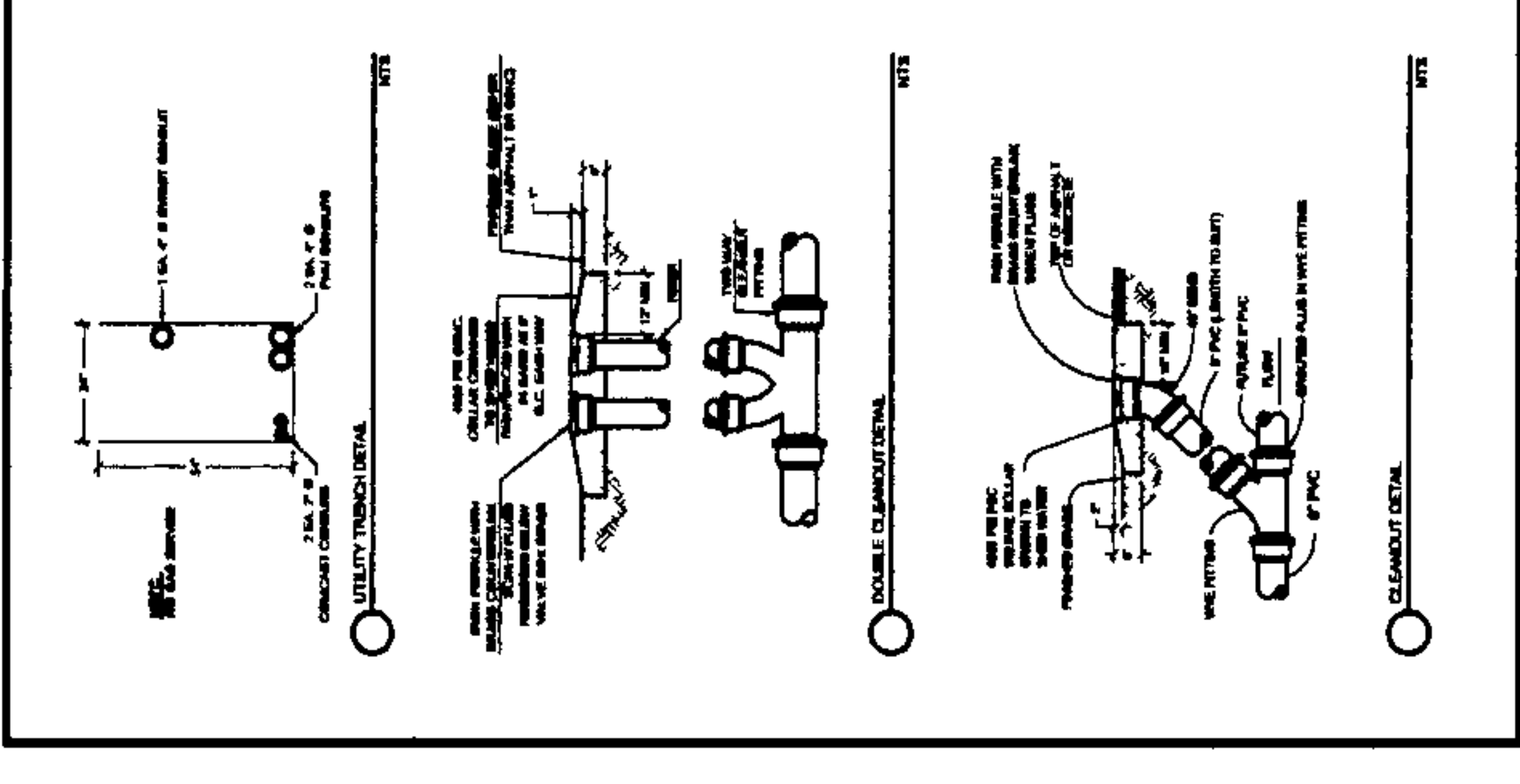


CONCEPTUAL UTILITY PLAN



GENERAL NOTES

1. 4" MINIMUM BURY FOR ALL UTILITIES UNLESS OTHERWISE NOTED
2. REFERENCE ARCHITECTURAL PLANS FOR ALL WATERLINE RISER LOCATIONS
3. CLEAN-OUTS ARE TO BE BUILT PER IPC 2003 CODE STANDARDS
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2120
5. ALL PIPE MATERIAL TO BE PER IPC 2003
6. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS

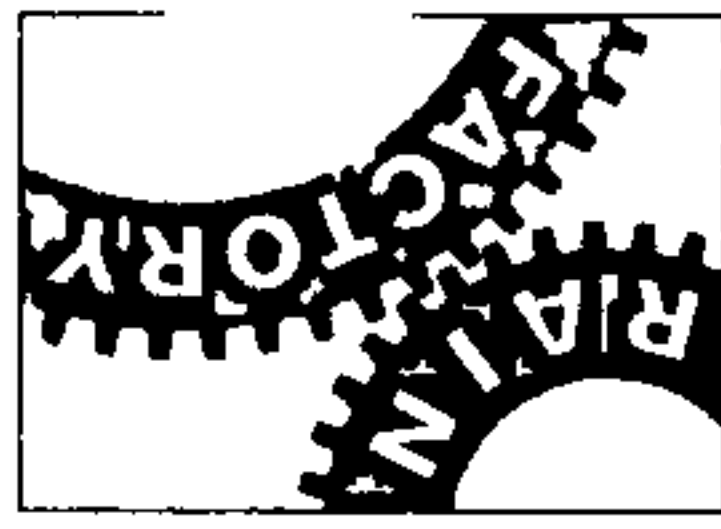


LEGEND

(Symbol)	EXISTING CURB & GUTTER
(Symbol)	PROPOSED CURB & GUTTER
(Symbol)	PROPERTY LINE
(Symbol)	EASEMENT
(Symbol)	EXISTING SIDEWALK
(Symbol)	PROPOSED SIDEWALK/GRAVEL/PAVE
(Symbol)	EXISTING RETAINING WALL
(Symbol)	ROOF AREA
(Symbol)	RETENTION STRUCTURE
(Symbol)	BIOSWALE/RUNOFF COLLECTION
(Symbol)	EXISTING SANITARY SEWER LINE
(Symbol)	EXISTING WATER LINE
(Symbol)	PROPOSED SANITARY SEWER LINE
(Symbol)	PROPOSED WATER LINE
(Symbol)	PROPOSED COMMON DRY UTIL. TRENCH
(Symbol)	EXISTING FIRE HYDRANT

WRIGHT AND HAMMER
 ARCHITECTS
 1735 ALISO DRIVE
 ALBUQUERQUE, N.M.
 87110 505-296-8794

RAIN FACTORY
 4821 CULTURE DRIVE NE
 ALBUQUERQUE, NEW MEXICO



DATE:
 28 JULY, 2005
 REVISIONS

SHEET
5

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME RAIN FACTORY, LLC.
 AGENT JAMES COOKE
 ADDRESS 302 12th ST. SW
 PROJECT & APP # 1004368/05 DRB
 PROJECT NAME RAIN FACTORY

DUPLICATE
 City Of Albuquerque
 Treasury Division

B/4/2005 2:08PM LOC: ANNX
 RECEIPT# 00044921 WSH 006 TRANSH 0041
 Account 441018 Fund 0110
 Activity 4971000 TRSASR
 Trans Amt \$480.00
 J24 Misc

\$75.00
 VI
 CHANGE \$480.00
 \$0.00
 Thank You

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 385.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study
- \$ 480.00 TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

B/4/2005 2:08PM LOC: ANNX
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 Account 441006 Fund 0110
 Activity 4983000 TRSASR
 Trans Amt \$480.00
 J24 Misc

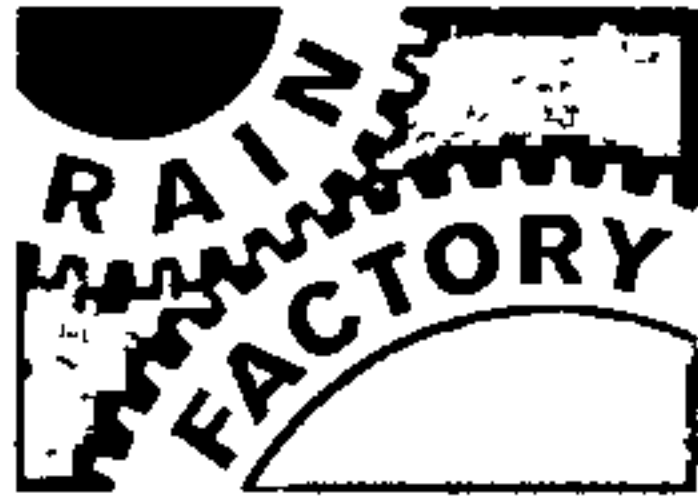
DUPLICATE
 City Of Albuquerque
 Treasury Division

DUPLICATE
 City Of Albuquerque
 Treasury Division

B/4/2005 2:08PM LOC: ANNX
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 Account 441032 Fund 0110
 Activity 3424000 TRSASR
 Trans Amt \$480.00
 J24 Misc

\$385.00
 Thank You

\$20.00
 Thank You



RAIN FACTORY™, LLC

P.O. Box 3220
Albuquerque, NM
87190-3220

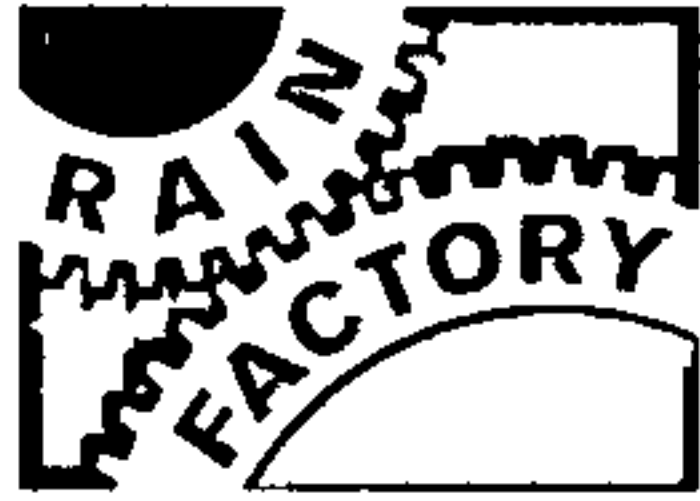
PROJECT SUMMARY

Tract 4A-2, North Renaissance Center, the *Rain Factory*™ site, is approximately 1.45 acres located in the southwest quadrant of the intersection of Renaissance Boulevard NE and Culture Drive NE as shown on Zone Atlas Page F-16-Z. The lot is undeveloped with the lots to the west and south developed as Sportsman's Warehouse and Costco. The site is zoned SU-1 for IP Uses. Car Washing is a permitted use under §14-16-2-19 IP Industrial Park Zone of The City of Albuquerque Zoning Ordinance. The project is compliant with the Development Regulations for Renaissance Center as outlined in the Master Declaration filed November 6, 1998.

The property will be developed with a car wash facility and associated access drives, parking areas, and sidewalks. The design calls for the capture and utilization of as much of the storm runoff generated onsite (as well as gray water from the facility for landscape irrigation) as is possible. The runoff from the roof areas will be directed to a below-grade retention structure (*Rainstore*³) underlying the queuing traffic lanes by way of the rain barrel sediment trap. The landscaped areas and *Grasspave*² traffic areas will be underlain with a drainage fabric (*Draincore*²) that will capture the infiltrated runoff and direct it to the *Rainstore*³ structure (see sheets 3 and 3.1). The *Rainstore*³ structure is sized to contain the runoff from a 100-year 24-hour storm (8,881 cubic feet) as well as an additional 2,787 cubic feet (31% of required capacity) of freeboard. Any accumulated runoff will be cycled through mechanical reclaim equipment producing potable quality water and will be discharged into the car wash equipment for reuse. The proposed storm water management plan is consistent with the city's policy of restricting discharge from developed sites in this area to 0.1 cfs peak discharge during a 100-year 6-hour storm. The only storm water discharge from this site will be minor and only from small isolated areas along the perimeter of the site.

The *Rain Factory*™ is a full-service car wash incorporating an array of natural and mechanical systems that reduce consumption of municipal water by maximizing on-site reclamation, recycling, reuse, and conservation. The central component of the design is water reclamation equipment which restores all water used for washing and rinsing to potable quality with 95% efficiency. These systems will reduce the per-car consumption (including evaporation/carry-off and all on-site requirements for irrigation and domestic uses) to ~5 gallons. The result is a reduction in consumption ranging from 70% to 90% over conventional facilities. Standard attachment to City sanitary sewer will serve as back up and as relief for any clean-water surplus generated. Municipal water will be used for any on-site potable requirements.

The *Rain Factory*™ represents a leading-edge approach based in high-quality customer service and the integration of water conservation systems. The architectural form expresses these values and systems. The interior and exterior spaces are designed to achieve the finest wash and most engaging customer experience possible.



RAIN FACTORY™, LLC

P.O. Box 3220
Albuquerque, NM
87190-3220

July 20, 2005

Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque Planning Department
600 Second Street NW
Albuquerque, New Mexico 87103

Dear Ms. Matson,

This letter authorizes James Cooke, 302 12th Street SW, Albuquerque, New Mexico, to submit our plans and documents for consideration by the Development Review Board for our project at 4821 Culture Drive.

He is the RAIN FACTORY™ project manager and is authorized to field and respond to all inquiries and comments from Board members and City staff.

Yours truly,

A handwritten signature in black ink that reads "John F. Cooke". The signature is written in a cursive, slightly stylized font.

John F. Cooke
Managing Member
RAIN FACTORY™, LLC

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: RAIN FACTORY, LLC DATE OF REQUEST: 8/4/05 ZONE ATLAS PAGE(S): F-16-Z

CURRENT: ZONING: SU-1 FOR IPUSES

LEGAL DESCRIPTION: LOT OR TRACT # 4A-2 BLOCK # SUBDIVISION NAME NORTH RENAISSANCE CENTER

PARCEL SIZE (AC/SQ. FT.)

REQUESTED CITY ACTION(S):

- ANNEXATION [] SECTOR PLAN [] SITE DEVELOPMENT PLAN: A) SUBDIVISION [] BUILDING PERMIT [X] B) BUILD'G PURPOSES [] ACCESS PERMIT [] C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: 1

- NO CONSTRUCTION/DEVELOPMENT [] # OF UNITS: NEW CONSTRUCTION [X] BUILDING SIZE: 5,525 (sq. ft.) EXPANSION OF EXISTING DEVELOPMENT []

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE (TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH) DATE 8/04/05

Planning Department, Development & Building Services Division, Transportation Development Section - 2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Traffic Engineer Signature: Tony Lyed DATE: 8-4-05

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

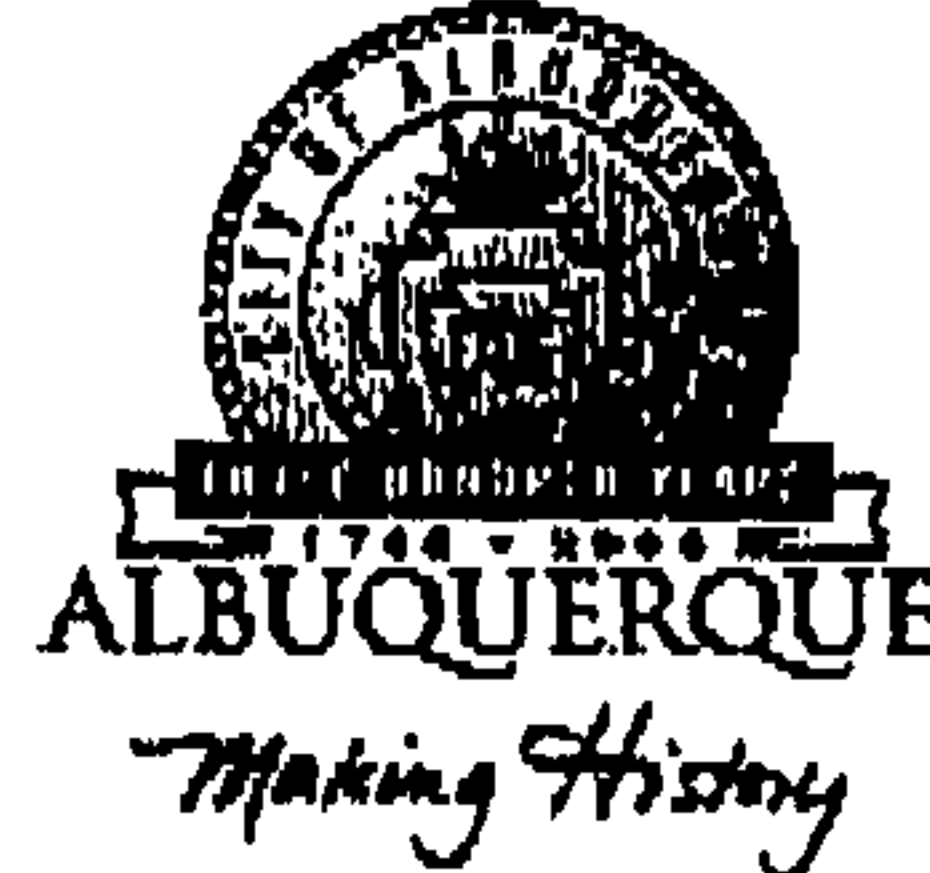
AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO []

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

Applicant Signature: Date: 8/4/05

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED -FINALIZED TRAFFIC ENGINEER DATE



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

July 20, 2005

James Cooke, Rain Factory, LLC
P.O. Box 3220 / 87190
Phone: 301-8533 / Fax: 509-0492

Dear James:

Thank you for your inquiry of July 20, 2005 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT 4A-2, NORTH RENAISSANCE CENTER, LOCATED ON CULTURE DRIVE NE BETWEEN RENAISSANCE BOULEVARD NE AND MONTANO ROAD NE** zone map F-16.

Our records indicate that as of July 20, 2005 there were no Recognized Neighborhood Associations in this area.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested**, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,



OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from AUG. 16th, 2005 To AUG. 31st, 2005

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

8/04/05
(Date)

I issued 2 signs for this application, 08/04/05 Sandy Handley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1004368