



13. **Project# 1009158**
12DRB-70059 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL  ALDRICH LAND SURVEYING agent(s) for NOON DAY
MINISTRIES FIRST BAPTIST CHIRCH OF
ALBUQUERQUE request(s) the above action(s) for all or a
portion of Lot(s) 11-17, WEST 30' OF 36-38, Block(s) 14,
Tract(s) 23-A, **FRANCISCAN ADDITION** zoned M-1,
located on 2ND ST NW AND PROSPECT containing
approximately 1.0928 acre(s). (H-14) **THE
PRELIMINARY/FINAL PLAT WAS APPROVED WITH
FINAL SIGN OFF DELEGATED TO TRANSPORTATION
FOR DIMENSIONAL EXHIBIT AND TO PLANNING FOR
AGIS DXF AND VERIFICATION OF "PORTIONS OF"
LOT PRIOR TO 1973.**
14. **Project# 1002739**
12DRB-70072 EXT OF SIA FOR TEMP
DEFR SDWK CONST  MARK GOODWIN AND ASSOCIATES, P.A. agent(s)
for KB HOME request(s) the above action(s) for all or a
portion of **ANDERSON HEIGHTS Unit(s) 1**, zoned R-
D, located on 118TH BETWEEN GIBSON AND DENNIS
CHAVEZ containing approximately 248 acre(s). (N-8) **A
TWO YEAR EXTENSION TO THE AGREEMENT FOR
THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
15. **Project# 1004387**
12DRB-70085 AMENDMENT TO
PRELIMINARY PLAT MARK GOODWIN AND ASSOCIATES, P.A. agent(s)
for ENCINO PL LLC request(s) the above action(s) for all
or a portion of Lot(s) 31-A, 31-B, 32-A, 33-A, 34-A, 35-A,
Block(s) 12, **COUNTRY CLUB ADDITION** zoned O-1,
located on ENCINO BETWEEN LAS LOMAS AND
ROMA containing approximately .9165 acre(s). (J-15)
**THE AMENDED PRELIMINARY PLAT WAS APPROVED.
THIS AMENDMENT DOES NOT EXTEND THE
EXPIRATION DATE OF THE ALREADY APPROVED
PRELIMINARY PLAT.**
16. **Project# 1004073**
12DRB-70071 EXT OF MAJOR
PRELIMINARY PLAT MARK GOODWIN AND ASSOCIATES, P.A. agent(s)
for JTH, LLC request(s) the above action(s) for all or a
portion of Tract(s) 4A, **VOLTERRA VILLAGE -
TBICA JUAN TABO HILLS UNIT 1 Unit(s) 1**, zoned
SU-1, located on JUAN TABO BETWEEN TIJERAS
ARROYO AND GALLANT FOX containing
approximately 25.62 acre(s). (M-21 & 22) **A ONE-YEAR
EXTENSION OF THE PRELIMINARY PLAT WAS
APPROVED SUBJECT TO CURRENT AND VALID
VACATION APPROVAL.**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 17, 2011

Project# 1004387

11DRB-70201 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)

ENCINO PLACE LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31-A thru 35-A, Block 12, **COUNTRY CLUB ADDITION**, zoned O-1, located on ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre. (J-15)

At the August 17, 2011 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by September 1, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, DRB Chair

Cc: Encino Pl. LLC – 716 Encino Place NE – Albuquerque, NM 87102
Marilyn Maldonado
file



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 17, 2011

Project# 1004387

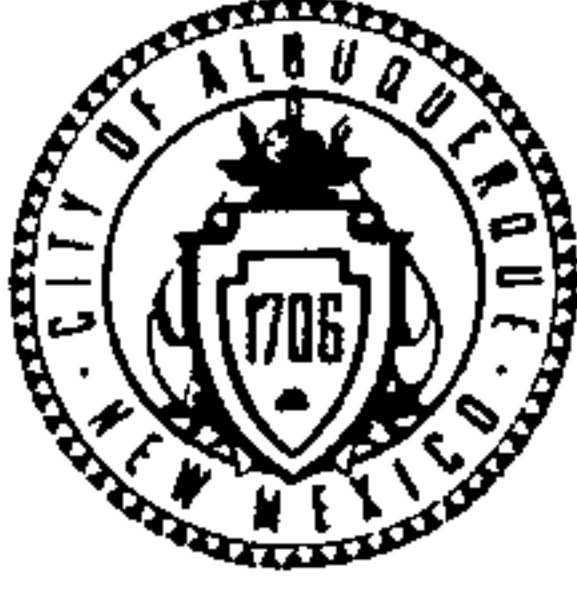
11DRB-70201 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
AGREEMENT (2YR SIA)

ENCINO PLACE LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31-A thru 35-A, Block 12, **COUNTRY CLUB ADDITION**, zoned O-1, located on ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre. (J-15)

AMAFCA No comment.
COG No comments.
TRANSIT No comments.
ZONING ENFORCEMENT No comments.
NEIGHBORHOOD COORDINATION Letters sent to: Spruce Park NA (R)
APS No comments.
POLICE DEPARTMENT No Crime Prevention or CPTED comments concerning the proposed Subdivision Improvements Agreement Extension request at this time.
FIRE DEPARTMENT No comments.
PNM ELECTRIC & GAS No comments.
COMCAST No comments.
QWEST Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.
ENVIRONMENTAL HEALTH No comments.
M.R.G.C.D No comments.
OPEN SPACE DIVISION

No comments.
CITY ENGINEER Comments, if any, will be provided at the meeting
TRANSPORTATION DEVELOPMENT Please clearly define all infrastructure not yet completed and provide an approximate timeline
PARKS AND RECREATION No objection.
ABCWUA No comments.
PLANNING DEPARTMENT Refer to comments from affected agencies plus any public hearing comments regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 29, 2009

Project # 1004387

09DRB-70228 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for SPRUCE PARK LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31A, 31B, 32A, 33A, 34A & 35A, Block(s) 12, **COUNTRY CLUB ADDITION** zoned O-1, located on the east side of ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre(s). (J-15)


At the July 29, 2009, Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 13, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

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Jack Cloud, AICP, DRB Chair

Cc: Mark Goodwin & Associates PA – P.O. Box 90606 – Albuquerque, NM 87199

Cc: Spruce Park LLC – 7700 Ouray NW – Albuquerque, NM 87120

Marilyn Maldonado

File



DEVELOPMENT REVIEW BOARD

Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 29, 2009 9:00 AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E., Transportation Development

Roger Green, P.E., Albuquerque/ Bernalillo Co. WUA

Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1000650**
09DRB-70224 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

TIERRA WEST LLC agent(s) for WAL-MART STORES
EAST LP request(s) the referenced/ above action(s) for all
or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA
AND WENK** zoned SU-1 FOR C-1 PERMISSIVE USES,
located in the southeast corner of COORS BLVD SW and
RIO BRAVO BLVD SW containing approximately 20.05
acre(s). (P-10) **A SIX MONTH EXTENSION OF THE
SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS
APPROVED.**

2. **Project# 1000858**
09DRB-70225 VACATION OF PUBLIC
EASEMENT

TIERRA WEST LLC agent(s) for SOUTHWEST
REGIONAL COUNCIL OF CARPENTERS request(s)
Vacation of a Temporary Public Drainage Easement on
Lot(s) A-4A, **LUECKING PARK COMPLEX NO 2 &
3** zoned SU-1 FOR OFFICE PARK, PRD & RELATED
USES, located on the west side of VASSAR DR NE
between COMANCHE RD NE and PAN AMERICAN
FREEWAY NE containing approximately 2.3928 acre(s).
(G-16) **THE VACATION WAS APPROVED AS SHOWN
ON EXHIBIT B IN THE PLANNING FILE PER SECTION
14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION
ORDINANCE. WITH THE SIGNING OF THE INFRA-
STRUCTURE LIST DATED 7/29/09. THE PRELIMINARY
PLAT WAS APPROVED. FINAL PLAT WAS DEFERRED
FOR THE SIA.**

3. ~~**Project# 1004387**~~
09DRB-70228 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for
SPRUCE PARK LLC request(s) the referenced/ above
action(s) for all or a portion of Lot(s) 31A, 31B, 32A, 33A,
34A & 35A, Block(s) 12, **COUNTRY CLUB
ADDITION** zoned O-1, located on the east side of
ENCINO PL NE between LAS LOMAS RD NE and
ROMA AVE NE containing approximately .9165 acre(s).
(J-15) **A TWO YEAR EXTENSION OF THE SUBDIVISION
IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 29, 2009

Project # 1004387

09DRB-70228 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
AGREEMENT
(2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for SPRUCE PARK LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31A, 31B, 32A, 33A, 34A & 35A, Block(s) 12, **COUNTRY CLUB ADDITION** zoned O-1, located on the east side of ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre(s). (J-15)

At the July 29, 2009, Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 13, 2009, in the manner described below.

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Jack Cloud, AICP, DRB Chair

Cc: Mark Goodwin & Associates PA – P.O. Box 90606 – Albuquerque, NM 87199

Cc: Spruce Park LLC – 7700 Ouray NW – Albuquerque, NM 87120

Marilyn Maldonado

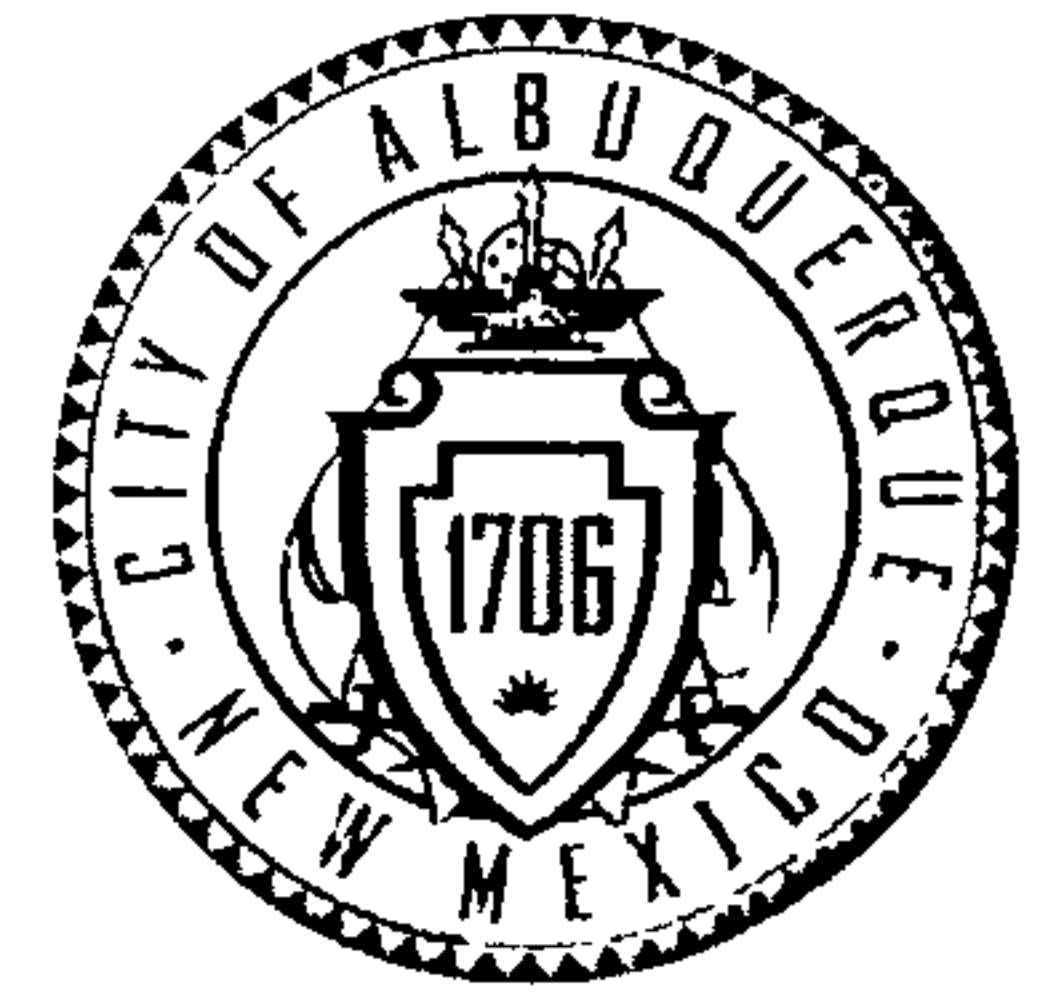
File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004387 AGENDA# 3 DATE: 7/29/09

- 1. Name: _____ Address: _____ Zip: _____
- 2. Name: _____ Address: _____ Zip: _____
- 3. Name: _____ Address: _____ Zip: _____
- 4. Name: _____ Address: _____ Zip: _____
- 5. Name: _____ Address: _____ Zip: _____
- 6. Name: _____ Address: _____ Zip: _____
- 7. Name: _____ Address: _____ Zip: _____
- 8. Name: _____ Address: _____ Zip: _____
- 9. Name: _____ Address: _____ Zip: _____
- 10. Name: _____ Address: _____ Zip: _____
- 11. Name: _____ Address: _____ Zip: _____
- 12. Name: _____ Address: _____ Zip: _____
- 13. Name: _____ Address: _____ Zip: _____
- 14. Name: _____ Address: _____ Zip: _____
- 15. Name: _____ Address: _____ Zip: _____
- 16. Name: _____ Address: _____ Zip: _____
- 17. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 3

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

NM 87103

RESOLUTION:

2 - X^v

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: July 29, 2009



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

July 29, 2009

Project # 1004387
 09DRB-70228 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
 AGREEMENT (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for SPRUCE PARK LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31A, 31B, 32A, 33A, 34A & 35A, Block(s) 12, **COUNTRY CLUB ADDITION** zoned O-1, located on the east side of ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre(s). (J-15)

AMAFCA No comments	
COG MRCOG staff have no comment on the development application.	
TRANSIT Project # 1004387 09DRB-70228 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR SIA) Adjacent and nearby routes Nearest bus route is Route #50, Airport-Downtown route, located on Encino Rd. approximately 420' south of the Southwest corner of the property. Adjacent bus stops Nearest bus stop for the above-mentioned route is on Encino approximately 800' from the Southwest corner of the property. Site plan requirements None Large site TDM suggestions None. Other information None.	
ZONING ENFORCEMENT No comments	
NEIGHBORHOOD COORDINATION Spruce Park NA (R)	
APS	Project #1004387 Country Club Addition, Lots 31A, 31B, 332A, 33A, 34A, and

09DRB-70228 MAJOR-2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (2YR SIA)

35A, Block 12, is located on the east side of Encino PI NE between Las Lomas Rd NE and Roma Ave NE. The owner of the above property requests a Major 2 Year Extension of Subdivision Improvements Agreement (2 YR SIA) for a development that will consist of 6 total. This will impact Monte Vista Elementary School, Jefferson Middle School, and Albuquerque High School. Monte Vista Elementary School is exceeding capacity, Jefferson Middle School and Albuquerque High School have excess capacity.

Loc No	School	2008-09 40th Day	2008-09 Capacity	Space Available
312	Monte Vista	493	440	-53
425	Jefferson	908	934	26
590	Albuquerque	1,650	1,941	291

Residential Units: 6
Est. Elementary School Students: 2
Est. Middle School Students: 1
Est. High School Students: 1
Est. Total # of Students from Project: 4

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

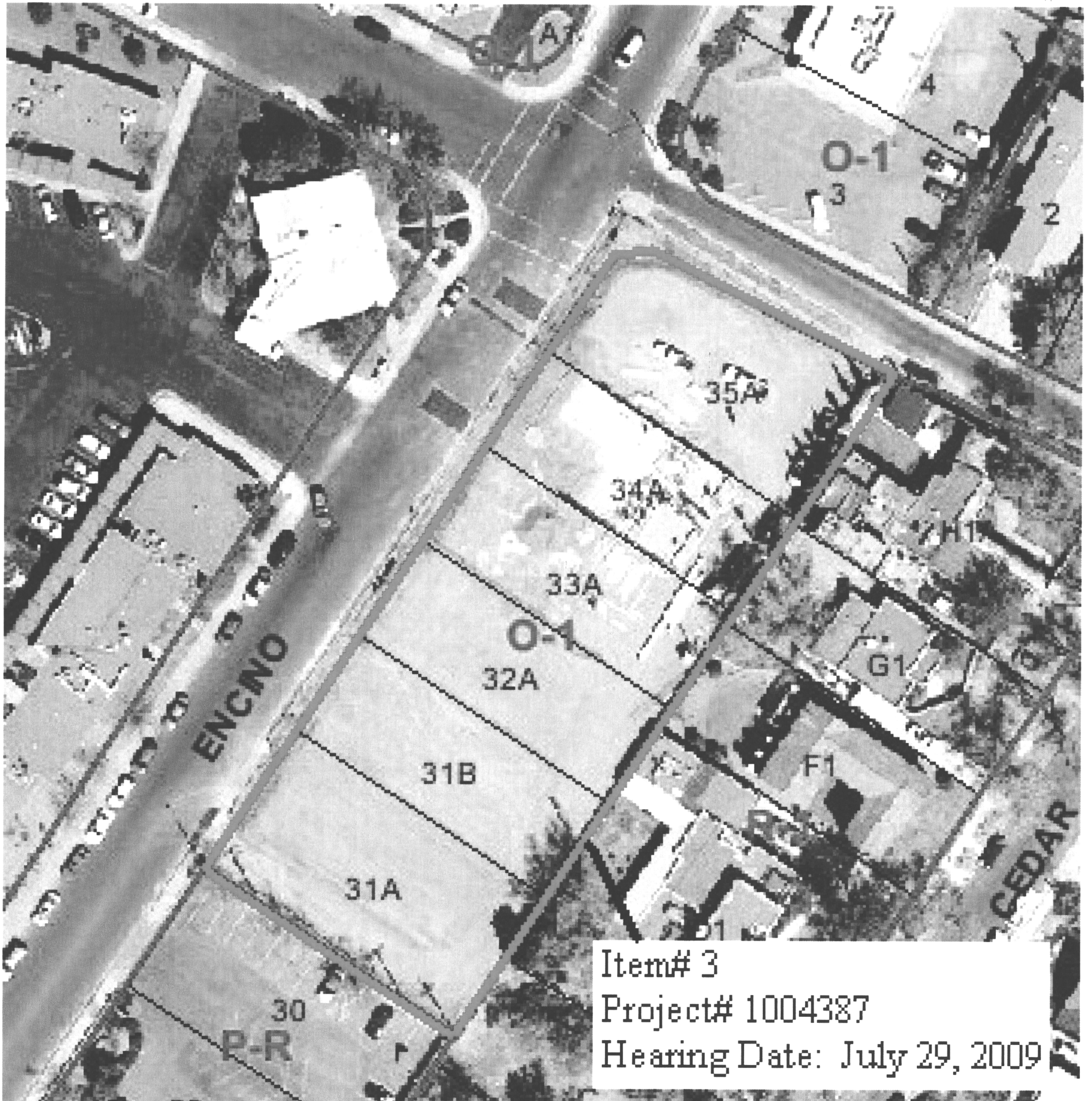
- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

On August 21, 2007, Spruce Park LLC entered into a Pre-

	Development Facilities Fee Agreement with the Albuquerque Public Schools to pay a facility fee for each residential unit that will be constructed in the subdivision. These fees will help with the construction and maintenance of new and existing schools within the APS district.	
POLICE DEPARTMENT See file for informational comments		
FIRE DEPARTMENT No comments		
PNM ELECTRIC & GAS No comments		
COMCAST No comments		
QWEST No comments		
ENVIRONMENTAL HEALTH No comments		
M.R.G.C.D No comments		
OPEN SPACE DIVISION Open Space has no adverse comments		
CITY ENGINEER The Hydrology section has no objection to the extension request.		
TRANSPORTATION DEVELOPMENT No comments		
PARKS AND RECREATION No objection.		
ABCWUA No comments		
PLANNING DEPARTMENT Refer to comments from affected agencies and any public hearing comments regarding proposed extension.		

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



Item# 3
Project# 1004387
Hearing Date: July 29, 2009

ROUTING SHEET FOR DRB & EPC REVIEWS

Date: 7/24/09

The following case or applications are being sent to your command and/or office for review:

DRB: 1004387

EPC: _____

Please return originals to Lupe Gallegos @ 768-2175, APD/Planning Division, by: 7/22/09 (to expedite fax comments forms to 768-2324 on/before date).

VALLEY AREA COMMAND
Yvette Garcia

NORTHWEST AREA COMMAND (Cottonwood Sub)
Pete Gleabert

SOUTHEAST AREA COMMAND
Laura Kuehn

SOUTHWEST AREA COMMAND
Bill Jackson

✓

CRIME PREVENTION
(FH and NE) Steve Sink

REVIEWED BY: Steve Sink PHONE: 924-3600

DATE: 7/27/09

DRB/EPC/LUCC APPLICATION CHECKLIST

A review of DRB Case 1004387 indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

- Traffic volume/*Explain:*
- Traffic control devices/*Explain:*
- Burglaries/*Explain:*
- Speeding violations/*Explain:*
- Lighting issues/*Explain:*
- Maintenance of landscaping/*Explain:*
- Robbery/*Explain:*
- Assault/*Explain:*
- Shoplifting/*Explain:*
- Accidents in the parking lot/*Explain:*
- A higher probability of crimes during evening/weekend hours/*Explain:*
- Commercial burglary/*Explain:*
- Rape/*Explain:*
- Adequate security/*Explain:*
- Alarm security/*Explain:*
- Alarm response i.e. false alarms, etc/*Explain:*
- Transients/*Explain:*
- Need for neighborhood association/*Explain:*
- Other: *No Crime Prevention or CPTED comments concerning the proposed SIA Extension at this time*

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: July 29, 2009
Zone Atlas Page: J-15
Notification Radius: 100 Ft.

Project# 1004387
App# 09DRB-70228

Cross Reference and Location: ENCINO NE BETWEEN LOS LOMAS NE AND
ROMA NE

Applicant: SPRUCE PARK LLC
7700 DURAY NW
ALBUQUERQUE, NM 87120

Agent: MARK GOODWIN & ASSOCIATES PA
PO BOX 90606
ALBUQUERQUE, NM 87199

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JULY 29, 2009
Signature: ERIN TREMLIN

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL	ACRES
1	10150 58235 01030 406	BOHAN JULIANE N	615 CEDAR N E	ALBUQUERQUE	NM	87106	R	A1A	* B 012COUNTRY CLUB ADDN X S 5FT OF LOT C	0.1 899 134 1
2	10150 58239 03230 420	SPRUCE PARK LLC	1 BUFFALO C T	PLACITAS	NM	87043	V	A1A	LT 31-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT .1951 AC	0.1 951 330 6
3	10150 58220 09030 906	COOLIDGE MEDICAL ARTS LLC	1 WEST RED OAK LN	WHITE PLAINS	NY	10604	C	A1A	TRACT A-1 OF PLAT OF TRACTS A-1 & A-2 MED-SQUAREVALMONTE ADDITION CONT 5.3613 AC	5.5 623 602 9
4	10150 58271 04540 404	STAKE BENJAMIN M & SAAVEDRA ELBA L	1201 LAS LOMAS NE	ALBUQUERQUE	NM	87106	R	A1A	* 005 014COUNTRY CLUB ADD	0.2 652 732 7
5	10150 58253 03830 414	LUGER GEORGE F & KATHLEEN K	643 CEDAR S T NE	ALBUQUERQUE	NM	87106	R	A1A	LT H-1-A BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1BLOCK 12 COUNTRY CLUB ADDITION CONT 2354 AC	0.2 283 264
6	10150 58245 04130 418	SPRUCE PARK LLC	1 BUFFALO C T	PLACITAS	NM	87043	V	A1A	LT 32-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT .1349 AC	0.1 348 717 2
7	10150 58196 02030 305	MEDICAL BUILDING I NC SUITE 105	715 DR MARTIN LUTHER KING JR AVE NE	ALBUQUERQUE	NM	87102	C	A1A	TR A X B SW CONST CO	0.4 525 742 9
8	10150 58219 00630 413	BEHAVIORAL HEALTH RESEARCH CENTER OF THE SOUTHWEST	612 ENCINO PL NE	ALBUQUERQUE	NM	87102	C	A1A	* 028 012EXT OF BLK12 COUNTRY CLUB ADDN	0.2 209 156 8
9	10150 58248 04530 417	SPRUCE PARK LLC	1 BUFFALO C T	PLACITAS	NM	87043	V	A1A	LT 33-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT .1349 AC	0.1 348 712 5
10	10150 58258 05240 402	HILL WAYNE A & BERNADETTE G	1119 LAS LOMAS RD NE	ALBUQUERQUE	NM	87106	R	A1A	* 002 013COUNTRY CLUB ADD	0.1 580 064 9
11	10150 58232 00530 405	MOHRMANN GERALD ETUX	611 CEDAR S T NE	ALBUQUERQUE	NM	87106	R	A1A	* J 012COUNTRY CLUB ADDN	0.1 707 191 2
12	10150 58243 03730 419	SPRUCE PARK LLC	1 BUFFALO C T	PLACITAS	NM	87043	V	A1A	LT 31-B BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT 1349 AC	0.1 348 720 4
13	10150 58264 04840 403	ERASMUS MARK D	1123 LAS LOMAS AVE NE	ALBUQUERQUE	NM	87106	R	A1A	* 001 013COUNTRY CLUB ADD	0.2 607 481 4
14	10150 58227 01830	BEHAVIORAL HEALTH RESEARCH CENTER OF THE SOUTHWEST	612 ENCINO PL NE	ALBUQUERQUE	NM	87102	C	A1A	LOTS 29 & 30 BLOCK 12 COUNTRY CLUB ADDITIONCONT 3265 AC	0.3 283 482

	411	ST		UE						4
15	10150 58247 03030 409	REDDY SURAJ & EVAN	637 CEDAR ST NE	ALB UQU ERQ UE	N M	87 10 6	R	A1 A	LT F-1 BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION C ONT .1446 AC	0.1 468 480 8
16	10150 58227 04730 310	HAYMAN ARTHUR M C/O HIGHLAND PHARMACY	1717 ENCINO PL NE	ALB UQU ERQ UE	N M	87 10 2	C	A1 A	THE NLY POR OF SW CONST CO REPLAT R B & 20' OF PVT ENTRANCE AKA TR G ENCINO MED BLDG INC SB-LEASES CONT 0 164 AC	0.1 765 965 7
17	10150 58251 04830 416	SCHIFANI RUTH M	7 ENCINO PL NE	ALB UQU ERQ UE	N M	87 10 6	V	A1 A	LT 34-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT .1349 AC	0.1 348 709 9
18	10150 58195 52630 315	SURGICAL ASSOCIATES P A	711 ENCINO PL NE	ALB UQU ERQ UE	N M	87 10 2	C	A1 A	TRACT 2A TRACTS COMPRISING OF TR 2 ENCINO PLACE ADD	0.6 506 745 5
19	10150 57221 52024 104	PROPST DAVID L & F OWLER- PROPST JENNIFER A	607 CEDAR NE	ALB UQU ERQ UE	N M	87 10 6	R	A1 A	* K 012 COUNTRY CLUB	0.2 040 483 9
20	10150 58250 03430 410	LUGER GEORGE F & KATHLEEN K	643 CEDAR ST NE	ALB UQU ERQ UE	N M	87 10 6	R	A1 A	LT G-1 BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION C ONT .1446 AC	0.1 285 690 2
21	10150 58253 05330 415	SPRUCE PARK LLC	1 BUFFALO CT	PLA CITA S	N M	87 04 3	V	A1 A	LT 35-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT .1818 AC	0.1 817 805 7
22	10150 58193 04232 509	ENCINO MEDICAL BLDG INC	401 SAN MATEO BLVD NE	ALB UQU ERQ UE	N M	87 10 8	C	A1 A	SOUTHWEST CONST CO REPLAT RB & 20 FT PVT ENTRANCE EXC N'LY PORT (AKA ENCINO MEDICAL CONDOS) CONT 5.7360 AC	4.3 951 037 3
23	10150 58242 02330 408	COOPER EARL & JOYCE	633 CEDAR ST NE	ALB UQU ERQ UE	N M	87 10 6	R	A1 A	LT D-1 BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION C ONT .3327 AC	0.3 279 966 2
24	10150 58238 01630 407	BOHAN JULIANE N	615 CEDAR NE	ALB UQU ERQ UE	N M	87 10 6	V	A1 A	LT C BLK 12 COUNTRY CLUB ADDITION EXCL THE S'LY FIVE FT CONT 1539 AC +/-	0.1 537 274 6
25	10150 58247 05540 401	ASIR LLC	800 ENCINO PL NE	ALB UQU ERQ UE	N M	87 10 2	C	A1 A	LOTS 3 & 4 BLK 13 COUNTRY CLUB ADD	0.3 800 278 8

OR CURRENT RESIDENT
101505824705540401
ASIR LLC
800 ENCINO PL NE
ALBUQUERQUE, NM 87102

OR CURRENT RESIDENT
101505822009030906
COOLIDGE MEDICAL ARTS LLC
1 WEST RED OAK LN
WHITE PLAINS, NY 10604

OR CURRENT RESIDENT
101505826404840403
ERASMUS MARK D
1123 LAS LOMAS AVE NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505825303830414
LUGER GEORGE F & KATHLEEN K
643 CEDAR ST NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505823200530405
MOHRMANN GERALD ETUX
611 CEDAR ST NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505825104830416
SCHIFANI RUTH M
7 ENCINO PL NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505819552630315
SURGICAL ASSOCIATES P A
711 ENCINO PL NE
ALBUQUERQUE, NM 87102

Project# 1004387
DANIEL LAIRD
Spruce Park NA
603 CEDAR NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505821900630413
BEHAVIORAL HEALTH RESEARCH
CENTER OF THE SOUTHWEST
612 ENCINO PL NE
ALBUQUERQUE, NM 87102

OR CURRENT RESIDENT
101505824202330408
COOPER EARL & JOYCE
633 CEDAR ST NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505822704730310
HAYMAN ARTHUR M C/O HIGHLAND
PHARAMCY
1717 ENCINO PL NE
ALBUQUERQUE, NM 87102

OR CURRENT RESIDENT
101505825003430410
LUGER GEORGE F & KATHLEEN K
643 CEDAR ST NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505722152024104
PROPST DAVID L & FOWLER-PROPST
JENNIFER A
607 CEDAR NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505823903230420
SPRUCE PARK LLC
1 BUFFALO CT
PLACITAS, NM 87043

Project# 1004387
MARK GOODWIN & ASSOCIATES PA
PO BOX 90606
ALBUQUERQUE, NM 87199

Project# 1004387
BART CHIMENTI
Spruce Park NA
1502 ROMA NE
ALBUQUEQRUE, NM 87106

OR CURRENT RESIDENT
101505823501030406
BOHAN JULIANE N
615 CEDAR NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505819304232509
ENCINO MEDICAL BLDG INC
401 SAN MATEO BLVD NE
ALBUQUERQUE, NM 87108

OR CURRENT RESIDENT
101505825805240402
HILL WAYNE A & BERNADETTE G
1119 LAS LOMAS RD NE
ALBUQUERQUE, NM 87106

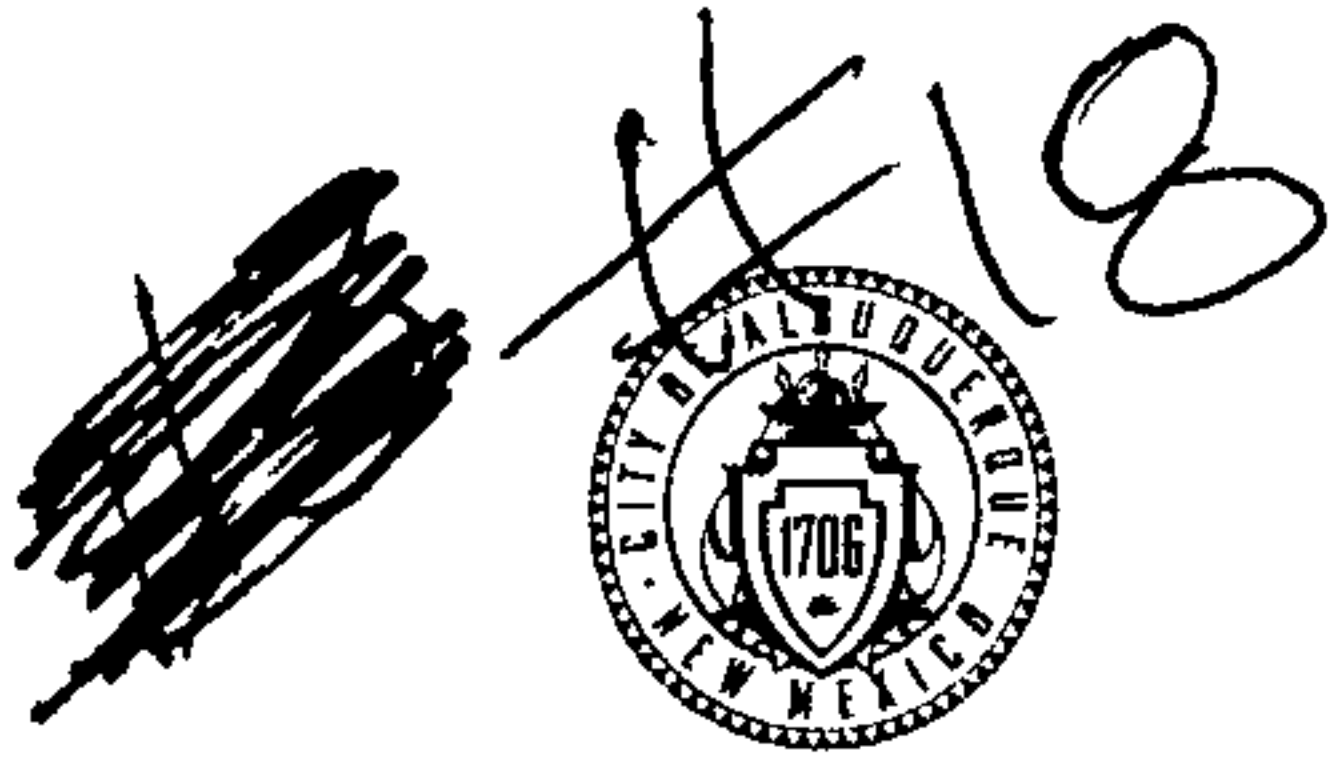
OR CURRENT RESIDENT
101505819602030305
MEDICAL BUILDING INC SUITE 105
715 DR MARTIN LUTHER KING JR
AVE NE
ALBUQUERQUE, NM 87102

OR CURRENT RESIDENT
101505824703030409
REDDY SURAJ & EVAN
637 CEDAR ST NE
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101505827104540404
STAKE BENJAMIN M & SAAVEDRA
ELBA L
1201 LAS LOMAS NE
ALBUQUERQUE, NM 87106

Project# 1004387
SPRUCE PARK LLC
7700 OURAY NW
ALBUQUERQUE, NM 87120





DRB CASE ACTION LOG

~~DRB~~ **FINAL**

Comp 45 - 9/15/07

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00335 ~~DRB~~
Project Name : COUNTRY CLUB ADDITION
Agent: Surveys Southwest

Project # 1004387
Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/22/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): real property signature

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1004387



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 22, 2007 9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Sandra Handley, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:15 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1003859**
07DRB-70161 MAJOR - 2YR SUBD IMP
AGMT (2YR SIA)

BOHANNAN HUSTON INC agent(s) for SILVERLEAF VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) 1-9, **NORTH ANDALUCIA AT LA LUZ**, zoned SU-1 for C-2, O-1 & PRD, located on COORS BLVD NW BETWEEN MONTANO RD NW AND LEARNING RD NW containing approximately 50.77 acre(s). (E-12 & F-12) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project# 1004355**
07DRB-70146 VACATION OF PUBLIC
RIGHT-OF-WAY
- WILSON AND COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or a portion of **VISTA VIEJA, UNIT 2**, zoned R-D, located on VISTA TERRAZA DR NW BETWEEN BOUVARDIA RD NW AND MOCK HEATHER RD NW. (D-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**
3. **Project# 1004607**
07DRB-70147 VACATION OF PUBLIC
RIGHT-OF-WAY
- WILSON AND COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or a portion of Block(s) 12 & 14, 20, **VISTA VIEJA, UNITS 3 & 4**, zoned R-D, located on VISTA TERRAZA DR NW BETWEEN BOUVARDIA RD NW AND MOCK HEATHER RD NW (D-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**
4. **Project# 1002739**
07DRB-70148 VACATION OF PUBLIC
EASEMENT
07DRB-70149 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70150 MINOR - SDP FOR
SUBDIVISION
07DRB-70151 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
07DRB-70152 SIDEWALK WAIVER
07DRB-70153 MINOR - TEMP DEFR
SWDK CONST
- MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC. request(s) the above action(s) for all or a portion of Parcel(s) 4 & 6, **ANDERSON HEIGHTS, UNIT 4 & 6**, zoned R-D, located on 118th ST NW BETWEEN COLONEL AVE NW AND AMOLE MESA NW containing approximately 56.8675 acre(s). *[Deferred from 08/15/07]* (N-8) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH AN APPROVED GRADING PLAN ENGINEER STAMP DATED 07/20/07, THE PRELIMINARY PLAT WAS APPROVED. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE AND FOR 3 COPIES OF THE PLAN. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE. THE SIDEWALK WAIVER AND THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WERE APPROVED AS SHOWN OF EXHIBIT C.**

5. **Project# 1006516**
 07DRB-70030 BULK LAND VARIANCE
 07DRB-70031 MAJOR - PRELIMINARY
 PLAT APPROVAL
 07DRB-70034 VACATION OF PUBLIC
 EASEMENT
 07DRB-70032 MINOR - TEMP DEFR
 SWDK CONST
 07DRB-70033 SIDEWALK WAIVER
 07DRB-70085 MINOR-PRELIM&FINAL
 PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). *[Deferred from 06/27/07, 07/25/07, 07/22/07 & 08/22/07]* (R-15, R-16, S-15 & S-16) **DEFERRED AT THE AGENT'S REQUEST TO 09/26/07.**
6. **Project # 1005070**
 06DRB-01154 Major-Preliminary Plat
 Approval
 06DRB-01156 Minor-Sidewalk Waiver
 06DRB-01155 Minor-Temp Defer SDWK
- SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). *[Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07 & 08/22/07]* (C-9) **Deferred at the agent's request to 09/05/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
 MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

7. **Project# 1004622**
 07DRB-70197 EPC APPROVED SDP
 FOR BUILD PERMIT
- GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18, PARCELS K, M & N, Tract(s) A, Block(s) 21, **NORTH ALBUQUERQUE ACRES, Unit(s) A**, zoned SU-2/C-1, located on PASEO DEL NORTE NE BETWEEN BARSTOW NE AND WYOMING BLVD NE containing approximately 1.45 acre(s). *[Deferred from 08/22/07]* **[Anna DiMambro, EPC Planner]** (D-19) **DEFERRED AT THE AGENT'S REQUEST TO 08/29/07.**
8. **Project# 1005484**
 07DRB-70196 EPC APPROVED SDP
 FOR BUILD PERMIT
- MULLEN HELLER ARCHITECTURE agent(s) for CAT STEVENS LLC request(s) the above action(s) for all or a portion of Tract(s) H-6A6A2A1, **RIVERVIEW PARCELS**, zoned SU-1 FOR IP USES, located on GOLF COURSE RD NW BETWEEN PASEO DEL NORTE NW AND SHELLY ROSE NW containing approximately 0.9607 acre(s). **[Carol Toffaleti, EPC Planner]** (C-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENT AND TO PLANNING FOR 3 COPIES.**

9. **Project# 1005389**
07DRB-70189 MINOR - SDP FOR BUILDING PERMIT
- SADLER CONSTRUCTION agent(s) for ALTUSA LLC request(s) the above action(s) for all or a portion of Tract(s) 7, **LAS LOMITAS BUSINESS PARK**, zoned SU-1/IP, located on EL PUEBLO NE BETWEEN EDITH NE AND JEFFERSON NE containing approximately 1.7015 acre(s). (D-16) **WITHDRAWN AT THE AGENT'S REQUEST.**
10. **Project# 1005282**
07DRB-70170 EPC APPROVED SDP FOR BUILD PERMIT
- ANISSA CONSTRUCTION INC agent(s) for MIKE HOSNI of M & F AUTO PARKING GARAGE request(s) the above action(s) for all or a portion of Lot(s) A-26-B1, CASY SUBDIVISION, zoned SU-1 FOR C-2 USES, located on COORS BETWEEN QUAIL NW AND PHEASANT NW containing approximately 2.4334 acre(s). [**Catalina Lehner, EPC Case Planner**] [*Deferred from 08/15/07*] (G-11) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CATALINA LEHNER'S INITIALS AND 3 COPIES OF THE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1005415**
07DRB-70188 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for LAWRENCE SEGURA request(s) the above action(s) for all or a portion of Tract(s) 43B1 ,43C1 & 43D1, TOWN OF ALBUQUERQUE GRANT (to be known as **LANDS OF JODI AND LAWRENCE SEGURA**, zoned RA-2, located on CARLOTA NW BETWEEN GABALDON RD NW AND LOS LUCEROS NW containing approximately 0.981 acre(s). (H-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**
12. **Project# 1003125**
07DRB-70192 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE/AVIATION & ECLIPSE AVIATION INC request(s) the above action(s) for all or a portion of Tract(s) D-1 & S-1, **LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK**, zoned SU-1/ AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW BETWEEN PASEO DEL VOLCAN NW AND SHOOTING RANGE PARK RD NW containing approximately 251 acre(s). (F-G/6). **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT**

13. **Project# 1003613**
07DRB-70193 MAJOR - FINAL PLAT
APPROVAL

THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for SUNSET VILLA, LLC request(s) the above action(s) for all or a portion of Lot(s) 11, 1-4, Tract(s) 34 (to be known as **SUNSET VILLA**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW BETWEEN ATRISCO RD SW AND SUNSET GARDENS RD SW containing approximately 14.7 acre(s). (K-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR MRGCD SIGNATURE, REVISE NOTE 11, SHOW ACCESS EASEMENT TO TRACT 11, DEDICATION ON SUNSET GARDENS TO MOVE MRGCD EASEMENT AND TO PLANNING TO RECORD THE PLAT.**

14. **Project# 1002837**
07DRB-70191 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for BARBARA JARVIS request(s) the above action(s) for all or a portion of Lot(s) 12 & 13, Block(s) 3, **BUENA VISTA HEIGHTS**, zoned SU-2/UC, located on LEAD AVE SE BETWEEN SILVER SE AND YALE SE containing approximately 0.326 acre(s). (K-15) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ISSUE ON LEAD AVENUE AND TO PLANNING FOR COPY OF THE RECORDED PLAT.**

15. **Project# 1006742**
07DRB-70194 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for JOE OLIVAS request(s) the above action(s) for all or a portion of Lot(s) 1 & 10, Block(s) 14, **EAST CENTRAL BUSINESS ADDITION**, with a portion of vacated Skyline Rd NE, zoned C-2, located on DOROTHY ST NE BETWEEN LINN AVE NE AND MARTHA ST NE containing approximately 0.5527 acre(s). (L-21) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 15-FOOT RADIUS ON LINN AND DOROTHY AND COPY OF THE RECORDED PLAT.**

16. **Project# 1006549**
07DRB-70195 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for BENCOR request(s) the above action(s) for all or a portion of Tract(s) Z, **MILLS & BOREN SUBDIVISION**, zoned C-2, located on CARLISLE BLVD NE BETWEEN MENAUL BLVD AND SOLANO NE containing approximately 1.66 acre(s). (H-17) **THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

17. **Project# 1005160**
07DRB-70178 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for MARK GONZALES request(s) the above action(s) for all or a portion of Lot(s) 2-A & 4-A, Tract(s) 246, **JESUS ROMERO ADDITION, UNIT 2**, and Tract 246, MRGCD Map 38, zoned C-1 W/CONDITIONAL USE FOR DWELLING UNITS, located on RIO GRANDE BLVD NW BETWEEN HOLLYWOOD AVE NW AND SOTO NW containing approximately 0.4309 acre(s). *[Deferred from 08/15/07]* (J-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CONDITIONAL USE REVISION, AGIS DXF FILE AND COPY OF THE RECORDED PLAT.**
18. **Project# 1004387**
07DRB-00335 Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] *[Deferred from 04/11/07, Indef defer 4/18/07]* (J-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY'S SIGNATURE AND COPY OF THE RECORDED PLAT.**
19. **Project #1003828**
07DRB-00717 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- WILLIAM T CANIGLIA, agent(s) for CANDELARIA VILLAGE COMPANY request(s) the above action(s) for all or a portion of Lot(s) 38, **CANDELARIA VILLAGE**, zoned R-1, located on 12TH ST NW and DON FRANCISCO PL NW containing approximately 0.338 acre(s). *[Defer from 06/20/07, 7/11/07 & 08/22/07]* (G-13) **Deferred at the agent's request to 10/17/07.**
20. **Project# 1003445**
07DRB-70054 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for Tract(s) B-1-A, C-1-A, D-1-A & Lot(s) 6-A-1-A, A and 10-A-2, Block(s) D, Unit 1, ALBUQUERQUE WEST, **FOUNTAIN HILLS** and Tract(s) B, RICHLAND HILLS, UNIT 1, zoned SU-1 FOR IP USES W/EXCEPTIONS & PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 39.9074 acre(s). *[Defer from 06/20/07]* [REF: 07DRB00261] (C-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SITE PLAN FOR SUBDIVISION AMENDMENT AND TO RECORD THE PLAT.**

21. **Project# 1006715**
07DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACK'S HIGH COUNTRY INC. agent(s) for ALVIN & NANCY ANDERSEN request(s) the above action(s) for all or a portion of Lot(s) 11, **RINCON DEL RIO ADDITION**, zoned RA-2, located on RINCON DEL RIO CT NW BETWEEN TRELIS DR NW AND GLENWOOD NW containing approximately 0.4719 acre(s). *[Deferred from 08/08/07,08/15/07 & 08/22/07]* (G-12) **Deferred at the agent's request to 08/29/07.**
22. **Project# 1003692**
07DRB-70035 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- WILSON AND COMPANY INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) A, B, AND C, LANDS OF ALBUQUERQUE PUBLIC SCHOOLS (to be known as **HEIGHTS COMMUNITY CENTER**) zoned SU-2 for O-1, located on BUENA VISTA AVE SE BETWEEN ST. CYR AVE SE AND COAL AVE SE containing approximately 7.916 acre(s)(K-15) *[Deferred from 6/13/07 & 08/22/07. Indef deferred on 06/20/07]* **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT AND TO RECORD.**
23. **Project# 1006507**
07DRB-70025 MINOR - FINAL PLAT
APPROVAL
- COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19 & 20, Block(s) 30, RAYNOLDS ADDITION (to be known as **14TH & COAL SUBDIVISION, UNIT 1**) zoned SU-2/MFR, located on 14TH ST SW BETWEEN IRON SW AND LEAD SW containing approximately 0.33 acre(s). [REF: DRB 1005244] *[Indef deferred on 06/20/07]* (K-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**
24. **Project# 1006509**
07DRB-70026 MINOR - FINAL PLAT
APPROVAL
- COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC. request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 17, 18 AND 19, Block(s) 29, HUNING CASTLE ADDITION (to be known as **14TH & COAL SUBDIVISION, UNIT 2**) zoned SU-2 FOR MFR, located on 14TH ST SW BETWEEN IRON SW AND LEAD SW containing approximately 0.68 acre(s). [REF: 1005244] *[Indef deferred on 06/20/07]* (K-19)) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

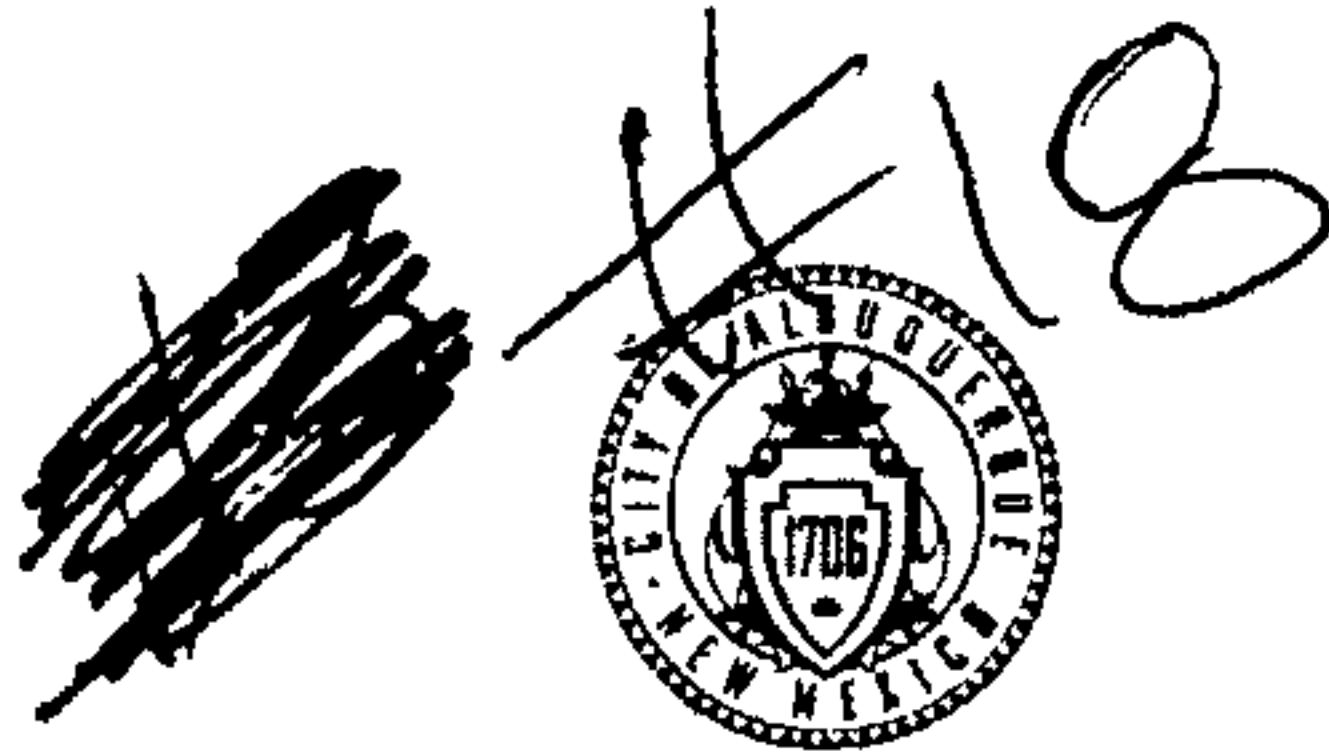
25. **Project# 1005094**
07DRB-70190 SKETCH PLAT REVIEW
AND COMMENT

ANTONIO BILOTTO request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, Block(s) A, **GRANDE HEIGHTS SUBDIVISION**, zoned R-1, located on WARD CT NW BETWEEN VISTA GRANDE NW AND SEQUOIA CT NW containing approximately 1.573 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. Approval of the Development Review Board Minutes for July 25, 2007. **THE DRB MINUTES FOR JULY 25, 2007 WERE APPROVED BY THE BOARD.**

Other Matters:

ADJOURNED: 11:15 A.M.



DRB CASE ACTION LOG ~~(PRELIM)~~ FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00335 (SDF)
Project Name : COUNTRY CLUB ADDITION
Agent: Surveys Southwest

Project # 1004387
Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/22/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): Real property signatory
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number 1004387



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 18, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:35 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003973**
07DRB-00365 Major-Preliminary Plat Approval
07DRB-00366 Minor-Sidewalk Waiver
07DRB-00367 Minor-Temp Defer SDWK

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or any portion of Tract(s) 5 & 7, THE TRAILS UNIT 2 (to be known as **TAOS AT THE TRAILS, UNIT 2**) zoned SU2-SRSL and SU2-UR, located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE BLVD NW containing approximately 34 acre(s). [Deferred from 4/18/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/25/07.**

2. **Project # 1005031**
06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] *[Deferred from 8/23/06, 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

06DRB-01017 Major-Preliminary Plat Approval
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL , located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) *[Deferred from 8/9/06, 8/23/06, 9/13/06, 9/27/06, 10/4/06 , 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

06DRB-01282 Minor-Subd Design (DPM) Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] *Deferred from 9/13/06, 9/27/06, 10/4/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

3. **Project # 1005133**
07DRB-00260 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for VT INC., A MISSOURI CORPORATION request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2, **SEVEN BAR RANCH**, zoned SU-1 FOR AP located on COORS BLVD BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 18 acre(s). *[Deferred from 3/28/07, 04/11/07 & 4/18/07]*(B-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/25/07.**

07DRB-00352 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for COORS EAGLE RANCH LLC request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2-A, N-1-B-2-B & N-1-B-2-C, **SEVEN BAR RANCH**, zoned SU-1 FOR AP, located on COORS BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW, containing approximately 17 acre(s). [Deferred from 3/28/07, 04/11/07 & 4/18/07] (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/25/07.**

07DRB-00486 Minor-SiteDev Plan
Subd/EPC
07DRB-00487 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for AEM & ASSOCIATES request(s) the above action(s) for all or any portion of Tract(s) N1 & B2, **SEVEN BAR RANCH**, zoned SU-1 for C-2 permissive uses, located on COORS BYPASS NW between EAGLE RANCH RD NW and SEVEN BAR LOOP RD NW containing approximately 17 acre(s). [Carmen Marrone for Makita Hill, EPC Case Planner] [Deferred from 4/18/07] (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/25/07.**

4. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat
Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07 & 4/18/07] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

5. Project # 1004387

07DRB-00334 Major-Vacation of Pub
Right-of-Way
07DRB-00335 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] [Deferred from 04/11/07, Indef defer

PMY
1004387

4/18/07] (J-15) THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/18/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/13/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR SIA.



SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1000892**
07DRB-00468 Minor-SiteDev Plan
BldPermit/EPC

LEE GAMELSKY ARCHITECTS PC agent(s) for CHARLES BENZAQUEN request(s) the above action(s) for the portion of the south 100-feet of Lot(s) 47 & 48, Block(s) 10, **PEREA ADDITION**, zoned SU-2/TH located on TIJERAS NW between 12th ST NW and 13th ST NW containing approximately 1 acre(s). [Carol Toffaleti, EPC Case Planner] (J-13) THE SITE PLAN FOR FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STANDARD DRAWINGS FOR SIDEWALKS IN PUBLIC RIGHT-OF-WAY AND LANDSCAPE MAINTENANCE AGREEMENT AND PLANNING FOR CAROL TOFFALETI'S INITIALS AND 3 COPIES OF THE SITE PLAN.

7. **Project # 1005049**
07DRB-00488 Minor-SiteDev Plan
BldPermit/EPC

BRISCOE ARCHITECTS PC agent(s) for VINTAGE CAPITAL GROUP request(s) the above action(s) for all or any portion of Tract(s) M, R, S-1 and S-2, **FAR NORTH SHOPPING CENTER**, zoned C-2 and C-3 (SC), located on SAN MATEO BLVD NE between ACADEMY NE and HARPER NE containing approximately 18 acre(s). [Maggie Gould, EPC Case Planner] [Deferred from 4/18/07] (E-18) DEFERRED AT THE AGENT'S REQUEST TO 5/02/07.

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1001409**
07DRB-00432 Minor-Extension of Preliminary Plat
- ADVANCED ENGINEERING & CONSULTING, LLC agent(s) for SAIFI TALEBREZA request(s) the above action(s) for all or any portion of Lot(s) 20-A, Block(s) 1, **CANDELIGHT FOOTHILLS UNIT 1**, zoned R-1 located on LOMAS BLVD NE between MONTE LARGO DR NE and SUMMIT HILLS DR NE containing approximately 1 acre(s). [REF: 01DRB01160, 01DRB01819, 02DRB01863, 03DRB02033, 04DRB01425, 05DRB00531, 06DRB00446] (J-23) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED. THIS WILL BE THE LAST EXTENSION.**
9. **Project # 1002478**
07DRB-00485 Minor-Prelim&Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for MIKE JACOBS request(s) the above action(s) for all or any portion of Lot(s) 6 & 7, **BLUE SKY BUSINESS PARK**, zoned M-2, located on JACS LANE NE between the AMAFCA NORTH DIVERSION CHANNEL NE and NORTH I-25 NE containing approximately 5 acre(s).(D-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD THE PLAT.**
10. **Project # 1004994**
07DRB-00382 Minor-Prelim&Final Plat Approval
- MARK GOODWIN & ASSOCIATES PA agent(s) for COLLATZ-PICKARD LLC request(s) the above action(s) for all or any portion of Anasazi Ridge, Unit 1, Tract E and Tract A, Seville Subdivision, Unit 7A (to be known as **ANASAZI RIDGE, UNIT 1A**) zoned R-1 located on MCMAHON BLVD NW between ANASAZI RIDGE AVE NW and BASKET WEAVER PL NW containing approximately 1 acre(s). [*Indef deferred from 4-4-07*] (A-10) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

11. **Project # 1005255**
07DRB-00420 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for JAMES A & JAMES C PETERSON request(s) the above action(s) for all or any portion of Lot(s) A-1, Block(s) 15 and Lot(s) B-1 & C-1, Block(s) 10, **VISTA LARGA**, zoned R-1 located on HANNETT AVE NE between STANFORD DR NE and HARVARD DR NE containing approximately 1 acre(s). *[Deferred from 4/11/07 & 4/18/07]* (J-16) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

12. **Project # 1005498**
07DRB-00462 Minor-Sketch Plat or Plan

CLAUDIO VIGIL ARCHITECTS agent(s) for L & M ASSET MANAGEMENT request(s) the above action(s) for all or any portion of Lot(s) 10-13, Block(s) 3, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned IP located on PASADENA NE between 1-25 NE and SAN MATEO NE containing approximately 3 acre(s). (B-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1005513**
07DRB-00490 Minor-Sketch Plat or Plan

JACK'S HIGH COUNTRY INC. agent(s) for FRANK L. & EVELYN S. BARELA request(s) the above action(s) for all or any portion of Lot(s) 2, **LAND OF ALBERT L MATTHEW**, zoned R-1, located on 12th ST NW between DON FRANCISCO NW and DON FRANCISCO PL NW containing approximately 1 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project # 1005514**
07DRB-00489 Minor-Sketch Plat or Plan

JACK'S HIGH COUNTRY INC agent(s) for ARELLANO CORDERO request(s) the above action(s) for all or any portion of Lot(s) 11 & 12, Block(s) 7, **HUNING CASTLE ADDITION**, zoned R-1, located on LOS ALAMOS AVE SW between LAGUNA BLVD SW and 16th ST SW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. Approval of the Development Review Board Minutes for April 11, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR APRIL 11, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:35 A.M.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 18, 2007

- 5. Project # 1004387**
07DRB-00334 Major-Vacation of Pub Right-of-Way
07DRB-00335 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] [*Deferred from 04/11/07, Indef defer 4/18/07*] (J-15)

At the April 18, 2007, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

With the signing of the infrastructure list dated 4/18/07 and approval of the grading plan engineer stamp dated 10/13/06 the preliminary plat was approved. The final plat was indefinitely deferred for the SIA.

If you wish to appeal this decision, you must do so by May 3, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.



OFFICIAL NOTICE OF DECISION

PAGE 2

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

for Sheran Matson, AICP, DRB Chair

Cc: Judith C Schaab, 1 Buffalo Ct, Placitas, NM 87043
Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102
Robert Westfall, 1329 Sigma Chi NE, 87106
Joyce Cooper, 633 Cedar NE, 87106
Bill Kraemer, 200 Lomas NW, Suite #1111, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004387 AGENDA#: 5 DATE: 4/18/07

1. Name: Robert Westfall Address: 1329 Sigma Chi Zip: 87106
SIGMA NE

2. Name: Don Graney Address: 333 Lomas Zip: 87102

3. Name: Judy Schaab Address: 11600 Academy NE Zip: 87111

N. to ce only
N. to ce only

4. Name: Joyce Cooper Address: 633 Cedar NE Zip: 87106

5. Name: Bill Kraemer Address: 200 LOMAS NW #111 Zip: 87102

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

4/12/07

Art Haysman, Pharmacist

- re-opening Las Lomas
- opposed to vaccination

Peter Bookas, Pres of Med. Fac. Assoc.

- opposed to vaccination



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 11, 2007

9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:50 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1005185**
07DRB-00262 Major-Preliminary Plat
Approval

ISAACSON & ARFMAN PA agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, LAND OF EDMUND I RADY (to be known as **VILLA LOMA ESTATES**) zoned SU1-PRD located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH PL NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436] [Deferred from 3/28/07 & 4/11/07] (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 04/25/07.**

07DRB-00353 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING LLC agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, Land of Edmund I Rady (to be known as **VILLA LOMA ESTATES**) zoned SU-1 for PRD, located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436, 07DRB00262] [**Carmen Marrone for Petra Morris, EPC Case Planner**] [*Deferred from 3/28/07 & 4/11/07*] (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 04/25/07.**

2. **Project # 1002743**
07DRB-00336 Major-Preliminary Plat
Approval

DAC ENTERPRISES INC agent(s) for HARVEST LAND LLC request(s) the above action(s) for all or any portion of Tract(s) I & J, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD located on COORS NW between WESTERN TRAILS NW and DELLYNE NW containing approximately 4 acre(s). (F-11) **WITH THE RE-SIGNING OF THE INFRASTRUCTURE LIST DATED 02/08/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/19/79 THE PRELIMINARY PLAT WAS APPROVED WITH A CONDITION OF FINAL PLAT: THE HOME OWNERS ASSOCIATION PRESIDENT MUST SIGN THE FINAL PLAT.**

3. **Project # ~~1004387~~**
07DRB-00334 Major-Vacation of Pub
Right-of-Way
07DRB-00335 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] [*Deferred from 04/11/07*] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 04/18/07.**

4. **Project # 1005133**
07DRB-00260 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for VT INC., A MISSOURI CORPORATION request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2, **SEVEN BAR RANCH**, zoned SU-1 FOR AP located on COORS BLVD BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 18 acre(s). [Deferred from 3/28/07 & 04/11/07](B-13) **DEFERRED AT THE AGENT'S REQUEST TO 04/18/07.**

- 07DRB-00352 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for COORS EAGLE RANCH LLC request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2-A, N-1-B-2-B & N-1-B-2-C, **SEVEN BAR RANCH**, zoned SU-1 FOR AP, located on COORS BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 17 acre(s). [Deferred from 3/28/07 & 04/11/07] (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 04/18/07.**

5. **Project # 1004075**
06DRB-01537 Major-Vacation of Pub
Right-of-Way
06DRB-01539 Minor-Vacation of Private
Easements

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, 4B, 4C and 1 through 15, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on INTERSTATE 25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,294 acre(s). [REF: 06DRB-00744] [Deferred from 11/15/06, 12/13/06, 1/3/07, 1/17/07, 2/7/07, 2/28/07, 3/21/07 & 04/11/07]. (R-16, Q-16, R-15, R-17, S-14, S-16, S-17, T-16) **DEFERRED AT THE AGENT'S REQUEST TO 05/02/07.**

6. **Project # 1002739**
06DRB-01621 Major-Vacation of Public Easements
06DRB-01622 Major-Vacation of Pub Right-of-Way
06DRB-01623 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for **ANDERSON HEIGHTS, UNIT 5A**, zoned RD/RLT, located on 118TH ST SW, between DENNIS CHAVES BLVD SW and COLOBEL AVE SW containing approximately 41 acre(s). [REF: 06DRB-01431] [Deferred from 12/6/06,12/13/06 & 12/20/06] [Deferred from 1/3/07,1/10/07,1/17/07,1/24/07, 1/31/07, 2/7/07, 2/21/07, 3/07/07 & 03/21/07 & 4/4/07] (P-8) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT "B" IN THE PLANNING FILE. THE FINAL PLAT WAS APPROVED WITH THE FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR AN AMENDMENT TO THE INFRASTRUCTURE LIST AND TO FINALIZE OFF SITE EASEMENTS AND PLANNING FOR REAL PROPERTY SIGNATURE, 15-DAY APPEAL PERIOD AND TO RECORD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1005473**
07DRB-00411 Minor-SiteDev Plan
BldPermit

JEFF FOSS agent(s) for RAY CRAVEY request(s) the above action(s) for all or any portion of Lot(s) 40, **ALAMEDA BUSINESS PARK**, zoned SU-1 IP located south of ALAMEDA NW between WASHINGTON NW and 4TH ST NW containing approximately 1 acre(s). (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES AND ADDITION TO SIGNATURE BLOCK.**

8. **Project # 1002330**
06DRB-01642 Minor-SiteDev Plan
BldPermit/EPC

JIM MEDLEY ARCHITECT AIA agent(s) for ULTIMATE CAR WASH request(s) the above action(s) for all or a portion of Tract(s) G-2-A-2, **MONTGOMERY COMPLEX**, zoned SU-1 FOR C-1, located on MONTGOMERY BLVD NE, between CARLISLE BLVD NE and I-25 containing approximately 1 acre(s). [REF: 06EPC-00954] [**Maggie Gould, EPC Case Planner**] [*Indef deferred from 11/29/06*] (F-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ACCEPTANCE OF THE WATER LINE THAT WAS CONSTRUCTED WITHOUT A WORK ORDER AND 3 COPIES OF THE SITE PLAN AND TRANSPORTATION DEVELOPMENT FOR 30-FOOT CROSS ACCESS EASEMENT AND SIDEWALK EASEMENT ON MONTGOMERY.**

9. **Project # 1002819**
07DRB-00354 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for DIAMOND MESA LLC request(s) the above action(s) for all or any portion of Lot(s) E-6-A-1, Albuquerque South (to be known as **DIAMOND MESA**) zoned SU-1 FOR R-2 & RT USES located on GIBSON BLVD SW between 98th ST SW and AMOLE ARROYO DRAINAGE ROW containing approximately 27 acre(s). [**Carmen Marrone, EPC Case Planner**] [*Deferred from 3/28/07*] (N-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 04/11/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO THE CITY ENGINEER FOR THE SIA AND TO PLANNING FOR 3 COPIES.**

10. **Project # 1005508**
07DRB-00341 Minor-SiteDev Plan
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP for Lt Indust Uses located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 3/28,4/4/ & 04/11/07 [Heard under Proj #1001523 in error]*] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 04/25/07.**

07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [*Deferred from 2/28/07*] [*Indef deferred from 3/14/07*] [*Deferred from 3/28/07, 4/4/07 & 04/11/07*] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 04/25/07.**

11. **Project # 1005360**
07DRB-00372 Minor-SiteDev Plan
BldPermit

KENT TRAUERNICHT agent(s) for STEVE SCHAUKE request(s) the above action(s) for all or any portion of Lot(s) 45, **ALAMEDA BUSINESS PARK**, zoned SU-2 FOR IP-EP located on CALLE ALAMEDA NE, between PASEO ALAMEDA NE and ALAMEDA PARK DR NE containing approximately 1 acre(s). [REF: 07ZHE-00120] [*Deferred from 4/4/07*] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CITY STANDARD DRAWING NOTES FOR SIDEWALKS AND DRIVE PAD MODIFICATIONS AND PLANNING FOR SOLID WASTE MANAGEMENT SIGNATURE, WALL DESIGN AND 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1005365**
07DRB-00403 Minor-Prelim&Final Plat
Approval

ALPHA PROFESSIONAL SURVEYING INC agent(s) for FRANK & MARY PADILLA request(s) the above action(s) for all or any portion of Lot(s) A, B & C, Tract(s) 300-A-2-B-1, M.R.G.C.D. Map 38, **LANDS OF LOPEZ & PADILLA**, zoned RA-2, located on CARSON RD NW between RIO GRANDE NW and MONTOYA NW containing approximately 1 acre(s). [REF: 07DRB00140] (J-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

13. **Project # 1001133**
07DRB-00404 Minor-Ext of SIA for Temp
Defer SDWK

THE TRIAD GROUP request(s) the above action(s) for all or any portion of Lot(s) 9, 23, 29 & 38, **PARADISE TERRACE**, zoned R-1, located on GOLF COURSE RD NW between MCMAHON NW and DRIFTWOOD NW containing approximately 10 acre(s). [REF: 01DRB00373, 03DRB00572, 05DRB00337] (A-12) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

14. **Project # 1005233**
07DRB-00418 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for CARDINAL HEALTHCARE PTS LLC request(s) the above action(s) for all or any portion of Tract(s) A & B, Block(s) 5, **SUNDT'S INDUSTRIAL CENTER**, zoned M-2 located on ALEXANDER BLVD NE between MONTBEL LP NE and JOAN HILL PL NE containing approximately 17 acre(s). [REF: 06DRB01568] (F-15 & F-16) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

15. **Project # 1005478**
07DRB-00421 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for JSJ NOB HILL LLC & BKM LLC request(s) the above action(s) for all or any portion of Lot(s) 1, 2, 18 & 19, Block(s) 15, **MESA GRANDE**, zoned SU-2 O-R located on WASHINGTON ST SE between MESA GRANDE PL SE and ZUNI RD SE containing approximately 1 acre(s). (K-17) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

16. **Project # 1005255**
07DRB-00420 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for JAMES A & JAMES C PETERSON request(s) the above action(s) for all or any portion of Lot(s) A-1, Block(s) 15 and Lot(s) B-1 & C-1, Block(s) 10, **VISTA LARGA**, zoned R-1 located on HANNETT AVE NE between STANFORD DR NE and HARVARD DR NE containing approximately 1 acre(s). *[Deferred from 04/11/07]* (J-16) **DEFERRED AT THE AGENT'S REQUEST TO 04/18/07.**

17. **Project # 1005398**
07DRB-00422 Minor-Prelim&Final Plat
Approval

DANIEL DUNN request(s) the above action(s) for all or any portion of Lot(s) 1, 2 & 3, **GARCIA ADDITION**, zoned SR-1 located on 11TH ST NW between MOUNTAIN DR NW and SAWMILL DR NW containing approximately 1 acre(s). (J-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

18. **Project # 1005470**
07DRB-00406 Minor-Sketch Plat or Plan

DESCANSO INC request(s) the above action(s) for **UNPLATTED PORTION OF THE LANDS OF THE B.N.S.F. RAILROAD**, zoned M-2, located on 2ND ST SW between AVENIDA CESAR CHAVEZ SW and WOODWARD RD SW. (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMENTS WERE GIVEN.**

19. **Project # 1003359**
07DRB-00408 Minor-Sketch Plat or Plan
- FAIZD KESSAM request(s) the above action(s) for all or any portion of Block(s) 26, Tract(s) A, Lot(s) 8-10 & 23-25, **NORTH ALBUQUERQUE ACRES UNIT B**, zoned SU-2 FOR IP located on EAGLE ROCK AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 5 acre(s). [REF: 04EPC00482] (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMENTS WERE GIVEN.**
20. **Project # 1005474**
07DRB-00413 Minor-Sketch Plat or Plan
- CATHERINE HELLER request(s) the above action(s) for all or any portion of Lot(s) 7 & 8, Block(s) 3, **ROSEMONT PARK ADDITION**, zoned S-R (R-1) located on 11TH ST NW between 10TH ST NW and 12TH ST NW. (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMENTS WERE GIVEN.**
21. **Project # 1005477**
07DRB-00419 Minor-Sketch Plat or Plan
- WAYJOHN SURVEYING INC agent(s) for TWIN MOUNTAIN CONSTRUCTION II COMPANY request(s) the above action(s) for Tract(s) 1, LANDS OF M-T INVEST. CO and Tract(s) A-1, SPRINGER-SPEECHLY PLAT (to be known as **LANDS OF TWIN MOUNTAIN**) zoned SU-2 C-3 and SU-2 M-1 located on MENAUL BLVD NE between EDITH BLVD NE and I-25 containing approximately 16 acre(s). (H-15) **THE ABOVE REQUEST WAS REVIEWED AND COMENTS WERE GIVEN.**
22. Approval of the Development Review Board Minutes for April 4, 2007. **THE DRB MINUTES FOR APRIL 4, 2007 WERE APPROVED BY THE BOARD.**

23. OTHER MATTERS:

Project # 1003554
07DRB-00482 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for VISTA ORIENTE LLC, request(s) the above action(s) for Lot(s) 5 & 6, **CENTRAL PARK PLACE**, zoned C-2, located on CENTRAL AVE SE between CONCHAS ST SE and EUBANK BLVD SE containing approximately 2 acre(s). (L-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

ADJOURNED: 12:50 P.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004/387 AGENDA#: 3 DATE: 4/11/07

✓ 1. Name: BILL KRAMER Address: 200 LOMAS NW Zip: 87102

✓ 2. Name: ART HAYMAN Address: ~~717~~ ENCINO NE Zip: 87102

Notice 3
3. Name: Joyce Cooper Address: 633 Cedar NE Zip: 87106
PRES N.A.

✓ 4. Name: PETER RONKOS Address: 717 ENCINO PL NE #17 Zip: 87102
RONKES

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 3

SUBJECT:

Final Plat
Preliminary Plat
Vacation of Public Right-of-Way

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No objection to Vacation request.
An approved grading and drainage plan dated 10-13-06 is on file for Preliminary Plat approval.
An approved SIA with Financial Guarantee(s) is required prior to final plat approval.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED **4-18-07** X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 11, 2007

(J-15/D091)



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

April 11, 2007

Project # 1004387

07DRB-00334 Major-Vacation of Pub Right-of-Way

07DRB-00335 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] (J-15)

- AMAFCA No adverse comments.
- COG No adverse comments.
- Transit No comments received.
- Zoning Enforcement No adverse comments.
- Neighborhood Coordination Letter(s) sent to Spruce Park NA (R).

APS Lots 31-35, Block 12, **Country Club Addition**, located at Encino PI NE and Las Lomas Rd NE, will consist of 6 townhomes. The proposed development will affect Monte Vista Elementary School, Jefferson Middle School, and Albuquerque High School. Monte Vista Elementary School is at capacity. Jefferson Middle School will be nearing capacity as development in the area continues. Albuquerque High School has excess capacity.

Loc No	School	2006-07 40th Day	2006-07 Capacity	Space Available
312	Monte Vista	480	466	-14
425	Jefferson	839	889	50
590	Albuquerque	1,840	2,100	260

Since Monte Vista Elementary School is below capacity, the developer/property owner will need to sign **Pre-Development Facilities Fee Agreement** with APS.

Police Department No crime prevention or CPTED comments at this time.

Fire Department No adverse comments.

PNM Electric & Gas

Regarding the Major-Vacation of Public Easement: **Approved** . Regarding the Minor - Prelim& Final Plat Approval: **PNM must have easement for it's existing facilities Approved if PNM easements remain.**

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division Open Space has no adverse comments.

City Engineer An approved drainage plan is on file for preliminary plat approval. An executed SIA with financial guarantees is required for final plat action by the DRB. No objection to the vacation request.

Transportation Development Is the vacation exhibit the same as previously approved? Is the SIA still valid?

Parks & Recreation

Defer to Transportation for the vacation request. No objection to the platting action.

Utilities Development No adverse comments.

Planning Department

Defer to Transportation on the vacation of City right of way. The vacation on Page 2 of the plat should include this language: "...vacated portion of Las Lomas Road NE, Application # 07DRB-00354." Will the existing medical complex be demolished? We can't approve a replat that has a building across lot lines.

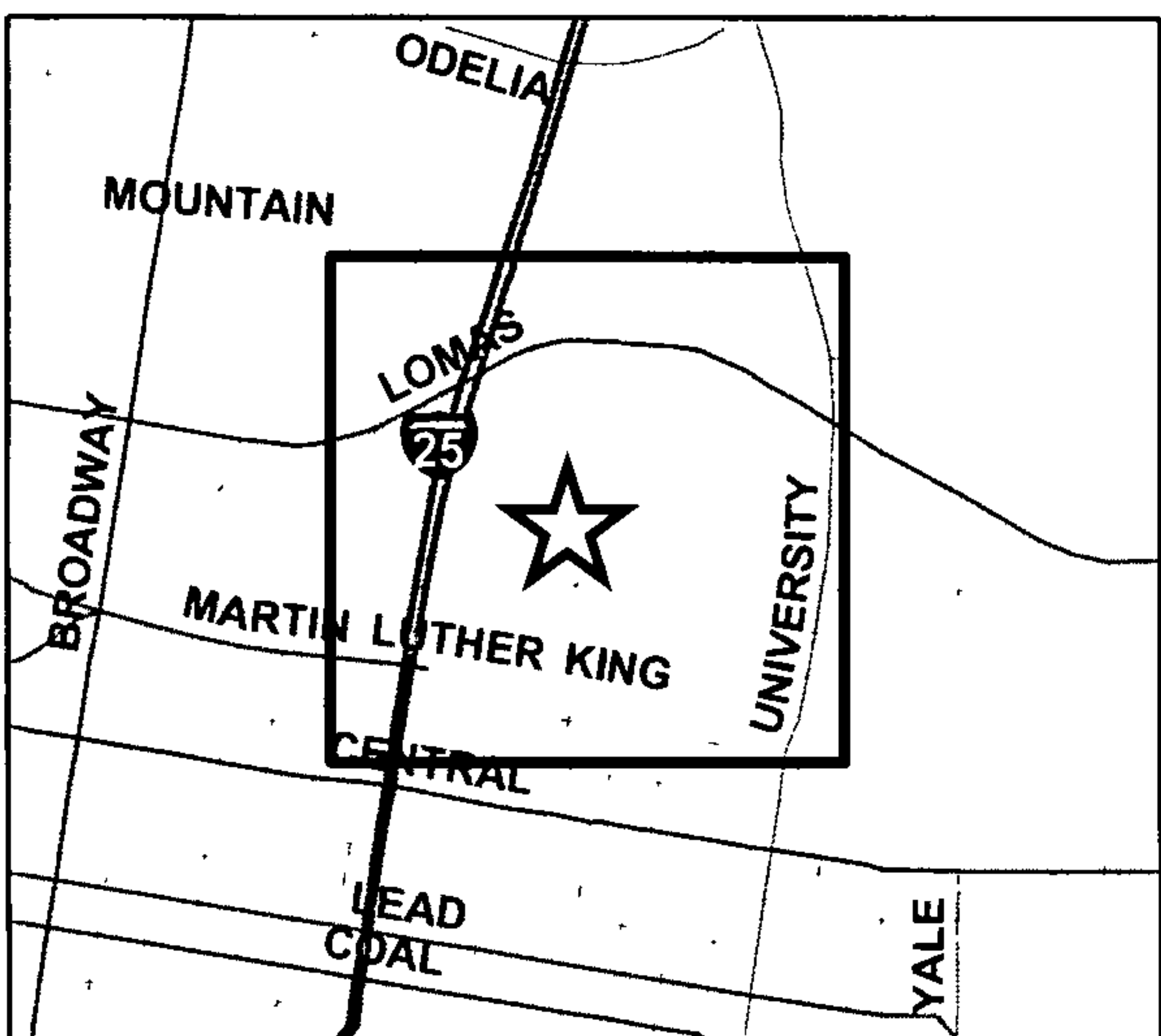
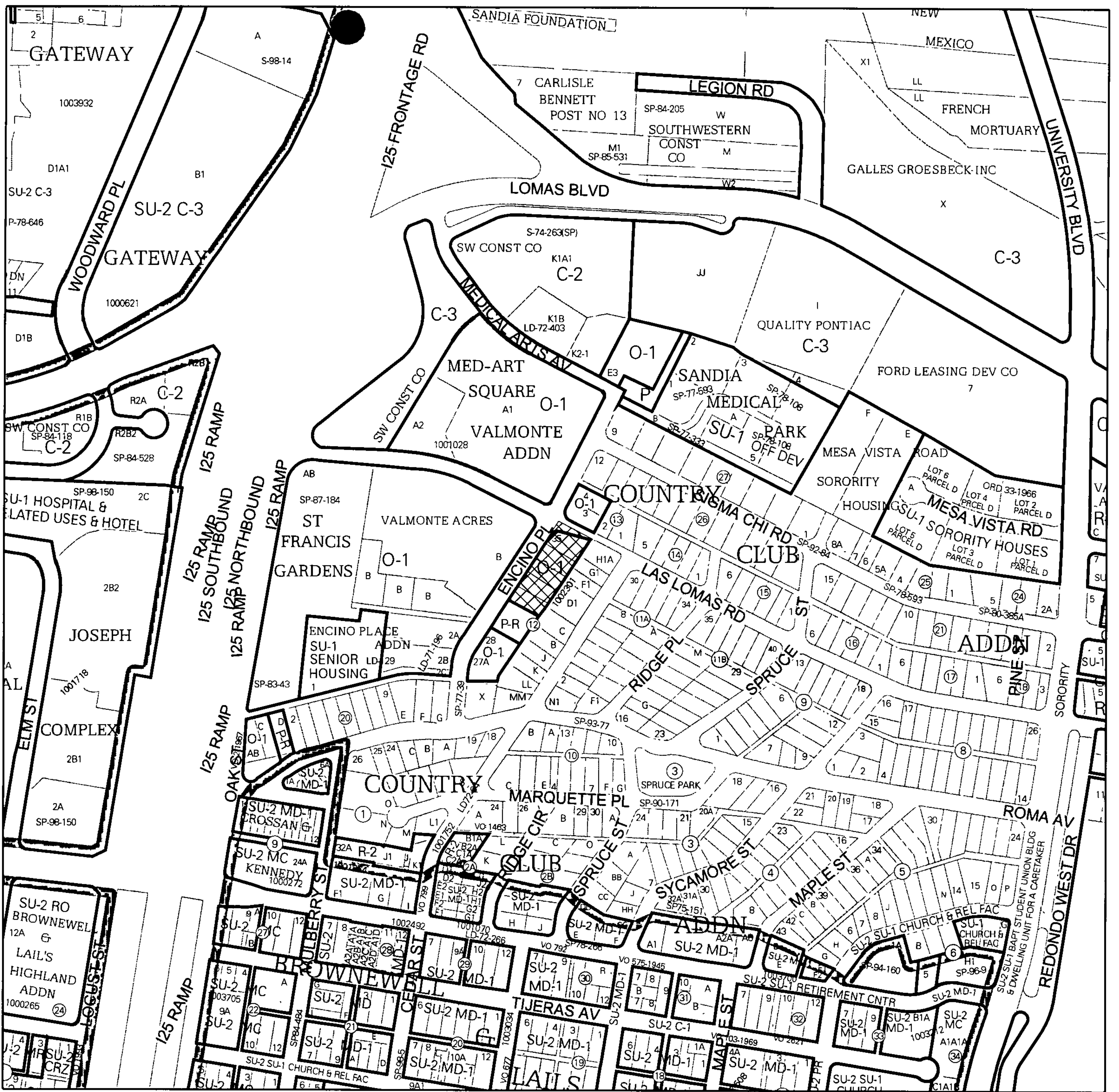
Impact Fee Administrator

Impact Fees are not applicable at this time of platting. While it is unclear how proposed plat will conform with zoning regulations and the building code regarding existing development, any new development will be subject to payment of Impact Fees at the rate of \$.10 for each additional square foot of heated office area.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Judith C Schaab, 1 Buffalo Ct, Placitas, NM 87043

Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102



ZONING MAP

Note: Grey shading indicates County



1 inch equals 500 feet

Project Number:
1004387

Hearing Date:
4/11/2007

Zone Map Page:
J-15

Additional Case Numbers:
07DRB-00334

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: April 11, 2007
Z one Atlas Page: J-15
Notification Radius: 100 Ft.

Project# 1004387
App#07DRB-00334
07DRB-00335

Cross Reference and Location: LAS LOMAS RD NE BETWEEN ENCINO PL NE
AND CEDAR CT NE

Applicant: JUDITH C. SCHAAB
1 BUFFALO CT
PLACITAS, NM 87043

Agent: SURVEYS SOUTHWEST LTD
333 LOMAS BLVD NE
ALBUQUERQUE, NM 87102

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: MARCH 23, 2007
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation **PORTION OF LAS LOMAS RD NE**
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRELIM PLAT

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JUDITH C. SCHAAB PHONE: 771-3351
 ADDRESS: 1 BUFFALO CT. FAX: _____
 CITY: PLACITAS STATE NM ZIP 87043 E-MAIL: _____
 Proprietary Interest in Site: OWNER List all owners: _____
 AGENT (if any): SURVELS SOUTHWEST, LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLYD NE FAX: 998-0306
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: DIVIDE FIVE EXISTING LOTS INTO SIX NEW LOTS & TO VACATE A PORTION OF LAS LOMAS RD NE. (PRELIM PLAT).

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 31-35 Block: 12 Unit: N/A
 Subdiv. / Addn. COUNTRY CLUB ADDITION, TOGETHER W/ A PORTION OF LAS LOMAS RD NE
 Current Zoning: D-1 Proposed zoning: N/A
 Zone Atlas page(s): J-15-Z No. of existing lots: 5 No. of proposed lots: 6
 Total area of site (acres): 0.9165 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 1-015-058-235-032-30412 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREET: On or Near LAS LOMAS ROAD NE
 Between: ENCINO PLACE NE and CEDAR CT. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Proj # 1004387
05DRB-01332, 06DRB-00644

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Ken Graney DATE 3-06-07
 (Print) Ken Graney Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	01DRB <u>00334</u>	VRW	<u>V</u>	\$ <u>300.00</u>
<input checked="" type="checkbox"/> All fees have been collected	01DRB <u>00335</u>	P&E	<u>5(3)</u>	\$ <u>565.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		ADV		\$ <u>75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent		OME		\$ <u>20.00</u>
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>04/11/07</u>			Total <u>\$960.00</u>

Sandy Handley 03/13/07 Project # 1004387
 Planner signature / date

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. 24 copies of the plat are required. The Variance and subdivision should be applied for simultaneously.
- ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- ___ Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY *PORTION OF LAS LOMAS RD NE*

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") 24 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the variance or waiver
- ___ Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the deferral or extension
- ___ Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- ___ The complete document which created the private easement (not to exceed 8.5" by 14") 6 copies
- ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the vacation
- ___ Letter of authorization from the grantors and the beneficiaries
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF RECORDED PLAT

- ___ 6 copies of the recorded plat to be vacated.
- ___ 6 copies of documents justifying the vacation.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter describing, explaining, and justifying the vacation
- ___ Any original and/or related file numbers are listed on the cover application
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jan Graney
 Applicant name (print)
Jan Graney 3-06-07
 Applicant signature / date



Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07DRB-00334

Sandy Handley 03/13/07
 Planner signature / date
 Project # 1004387

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	OW NE R ST ATE	OW NE R ZIP CO DE	PR OP ER TY CL AS S	TA X DI ST RI CT	LEGAL
1	101505 824703 030409	FRANCHINI R GREGO RY & ELIZABETH	637 CEDAR NE	ALBU QUE RQU E	N M	871 05	V	A1 A	LT F-1 BLK 12 PLAT OF LOTS D-1, F-1, G- 1 & H-1- A, BLOCK 12 COUNTRY CLUB ADDITION A R EPLAT OF LOTS D, E, F, G & H- 1 BLOCK 12 COUNTRY CLUB ADDITION CO NT .1446 AC
2	101505 819602 030305	MEDICAL BUILDING IN C SUITE 105	715 DR MA RTIN LUTHE R KIN AVE N E	ALBU QUE RQU E	N M	871 02 366 1	C	A1 A	TR A X B SW CONST CO
3	101505 822701 830411	BEHAVIORAL HEALTH RESEARCH CENTER OF THE SOUTHWEST	612 ENCIN O PL NE	ALBU QUE RQU E	N M	871 02	C	A1 A	LOTS 29 & 30 BLOCK 12 COUNTRY CLUB AD DITION CONT .3265 AC
4	101505 823200 530405	MOHRMANN GERALD ETUX	611 CEDAR ST NE	ALBU QUE RQU E	N M	871 06 452 2	R	A1 A	* J 012COUNTRY CLUB ADDN
5	101505 825003 430410	LUGER GEORGE F & K ATHLEEN K	643 CEDAR ST NE	ALBU QUE RQU E	N M	871 06	R	A1 A	LT G-1 BLK 12 PLAT OF LOTS D-1, F-1, G- 1 & H-1- A, BLOCK 12 COUNTRY CLUB ADDITION A R EPLAT OF LOTS D, E, F, G & H- 1 BLOCK 12 COUNTRY CLUB ADDITION CO NT .1446 AC
6	101505 722152 024104	PROPST DAVID L & FO WLER- PROPST JENNIFER A	607 CEDAR NE	ALBU QUE RQU E	N M	871 06	R	A1 A	* K 012COUNTRY CLUB
7	101505 822009 030906	MEDICAL ARTS BLDG INC % LEWINGER HA MILTON INC	801 ENCIN O PL NE	ALBU QUE RQU E	N M	871 02	C	A1 A	TRACT A-1 OF PLAT OF TRACTS A-1 & A- 2 MED- ART SQUARE VALMONTE ADDITION CONT 5.3613 AC
8	101505 821900 630413	BEHAVIORAL HEALTH RESEARCH CENTER OF THE SOUTHWEST	612 ENCIN O PL NE	ALBU QUE RQU E	N M	871 02	C	A1 A	* 028 012EXT OF BLK12 COUNTRY CLUB AD DN
9	101505 819304 232509	ENCINO MEDICAL BLD G INC	PO BOX 364 80	ALBU QUE RQU E	N M	871 76 648 0	C	A1 A	SOUTHWEST CONST CO REPLAT RB & 20 F T PVT ENTRANCE EXC N'LY PORT (AKA ENC INO MEDICAL CONDOS) CONT 5.7360 AC
1 0	101505 824705 540401	ASIR LLC	4205 HANN ETT AVE NE	ALBU QUE RQU E	N M	871 10	C	A1 A	LOTS 3 & 4 BLK 13 COUNTRY CLUB ADD
1 1	101505 825805 240402	HILL WAYNE A & BER NADETTE G	1119 LAS L OMAS RD N E	ALBU QUE RQU E	N M	871 06 452 4	R	A1 A	* 002 013COUNTRY CLUB ADD
1 2	101505 822704 730310	HAYMAN WILLIAM S	4 JUNIPER HILL RD NE	ALBU QUE RQU E	N M	871 22	C	A1 A	THE NLY POR OF SW CONST CO REPLAT R B & 20' OF PVT ENTRANCE AKA TR G ENCIN O MED BLDG INC SB- LEASES CONT 0.164 AC
1 3	101505 826404 840403	ERASMUS MARK D	1123 LAS L OMAS AVE N E	ALBU QUE RQU E	N M	871 06	R	A1 A	* 001 013COUNTRY CLUB ADD
1 4	101505 823503 230412	SPRUCE PARK LLC	718 ENCIN O PL NE	ALBU QUE RQU E	N M	871 02 262	C	A1 A	LOTS 31, 32, 33, 34 & 35 BLOCK 12 COUNTR Y CLUB ADDITION CONT 8644 AC

				E		0			
15	101505 825303 830414	LUGER GEORGE F & K ATHLEEN K	643 CEDAR ST NE	ALBU QUE RQU E	N M	871 06	R	A1 A	LT H-1-A BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION CONT .2354 AC
16	101505 824202 330408	COOPER EARL & JOY CE	633 CEDAR ST NE	ALBU QUE RQU E	N M	871 06	R	A1 A	LT D-1 BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION CONT .3327 AC
17	101505 823801 630407	BOHAN JULIANE N	615 CEDAR NE	ALBU QUE RQU E	N M	871 06	V	A1 A	LT C BLK 12 COUNTRY CLUB ADDITION EXCL THE S'LY FIVE FT CONT .1539 AC +/-
18	101505 823501 030406	BOHAN JULIANE N	615 CEDAR NE	ALBU QUE RQU E	N M	871 06	R	A1 A	* B 012COUNTRY CLUB ADDN X S 5FT OF LOT C

Or Current Resident
ASIR LLC
4205 HANNETT AVE NE
ALBUQUERQUE, NM 87110

Or Current Resident
BEHAVIORAL HEALTH RESEARCH
CENTER OF THE SOUTHWEST
612 ENCINO PL NE
ALBUQUERQUE, NM 87102

Or Current Resident
BOHAN JULIANE N
615 CEDAR NE
ALBUQUERQUE, NM 87106

Or Current Resident
COOPER EARL & JOYCE
633 CEDAR ST NE
ALBUQUERQUE, NM 87106

Or Current Resident
ENCINO MEDICAL BLDG INC
PO BOX 36480
ALBUQUERQUE, NM 87176 6480

Or Current Resident
ERASMUS MARK D
1123 LAS LOMAS AVE NE
ALBUQUERQUE, NM 87106

Or Current Resident
FRANCHINI R GREGORY &
ELIZABETH
637 CEDAR NE
ALBUQUERQUE, NM 87105

Or Current Resident
HAYMAN WILLIAM S
4 JUNIPER HILL RD NE
ALBUQUERQUE, NM 87122

Or Current Resident
HILL WAYNE A & BERNADETTE G
1119 LAS LOMAS RD NE
ALBUQUERQUE, NM 87106 4524

Or Current Resident
LUGER GEORGE F & KATHLEEN K
643 CEDAR ST NE
ALBUQUERQUE, NM 87106

Or Current Resident
MEDICAL ARTS BLDG INC %
LEWINGER HAMILTON INC
801 ENCINO PL NE
ALBUQUERQUE, NM 87102

Or Current Resident
MEDICAL BUILDING INC SUITE 105
715 DR MARTIN LUTHER KIN AVE
NE
ALBUQUERQUE, NM 87102 3661

Or Current Resident
MOHRMANN GERALD ETUX
611 CEDAR ST NE
ALBUQUERQUE, NM 87106 4522

Or Current Resident
PROPST DAVID L & FOWLER-PROPST
JENNIFER A
607 CEDAR NE
ALBUQUERQUE, NM 87106

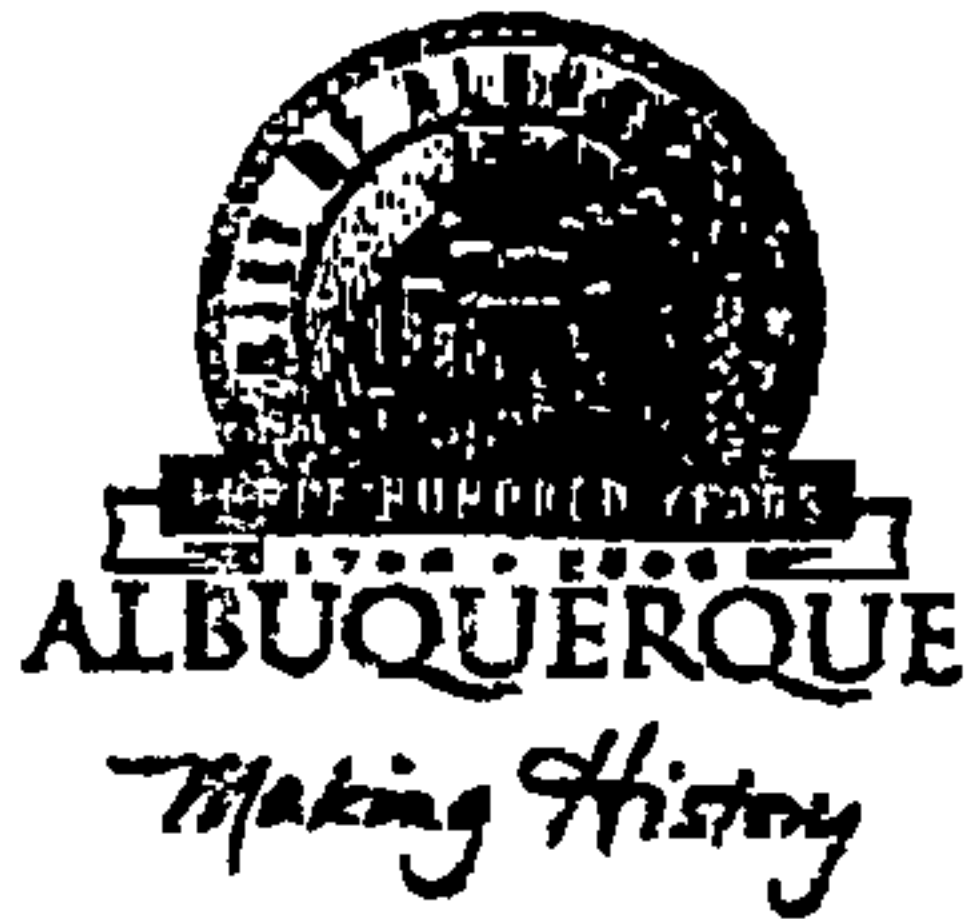
Or Current Resident
SPRUCE PARK LLC
718 ENCINO PL NE
ALBUQUERQUE, NM 87102 2620

Project# 1004387
JUDITH C. SCHAAB
1 BUFFALO CT
PLACITAS, NM 87043

Project# 1004387
SURVEYS SOUTHWEST
333 LOMAS BLVD NE
ALBUQUERQUE, NM 87102

Project# 1004387
DANIEL LAIRD
Spruce Park N.A.
603 CEDAR NE
ALBUQUERQUE, NM 87106

Project# 1004387
ROBERT WESTFALL
Spruce Park N.A.
1329 SIGMA CHI WESTFALL NE
ALBUQUERQUE, NM 87106



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: March 17, 07

TO CONTACT NAME: Sarah
COMPANY/AGENCY: Survey's Southwest LTD
ADDRESS/ZIP: 333 Lomas Blvd NE - 87110
PHONE/FAX #: 998-0303 (FAX-998-0306)

Thank you for your inquiry of 3-07-07 (date) requesting the names of **Recognized Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Lots 31 through 35, BIK 12 COUNTRY CLUB Addition
zone map page(s) 2-15.

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Spruce Park NA Inc.
Neighborhood Association
Contacts: Daniel Laird
603 Cedar NE / 87106
766-7696 (h) 844-6188 (w)
Robert Westfall
329 Sigma Chi NE / 87106
764-9089 (h)

Neighborhood Association
Contacts: _____

See reverse side for additional Neighborhood Association Information: YES { } NO

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Ralaine S. Carmona
OFFICE OF NEIGHBORHOOD COORDINATION

.....
Attention: Both contacts per neighborhood association need to be notified.
.....

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

March 6, 2007

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12, COUNTRY CLUB
ADDITION

Dear Board Members:

Surveys Southwest, Ltd is requesting a Vacation Action for a portion of Las Lomas Road NE and Preliminary Plat approval to divide Five (5) existing lots into Six (6) new lots and to incorporate the portion of vacated Las Lomas Road NE.


The prior vacation action, approved December 21, 2005 (Project #1004387 / 05DRB-01332) has expired.

If you have any questions please feel free to contact me.

Sincerely,

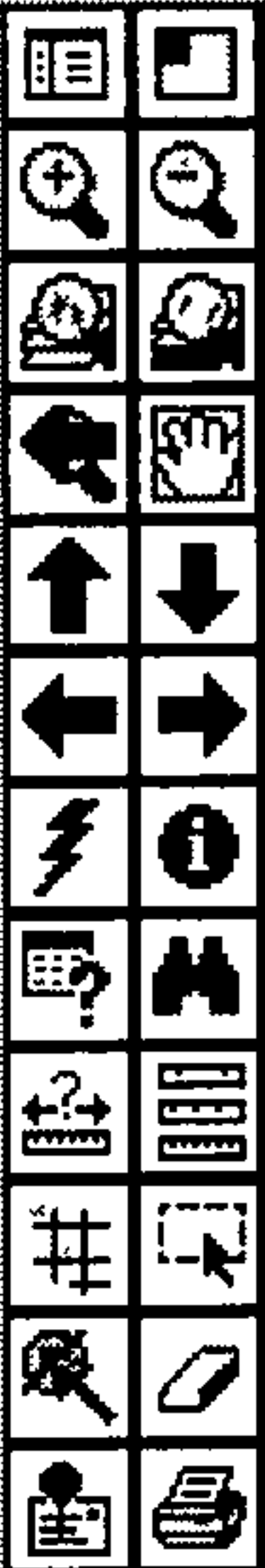


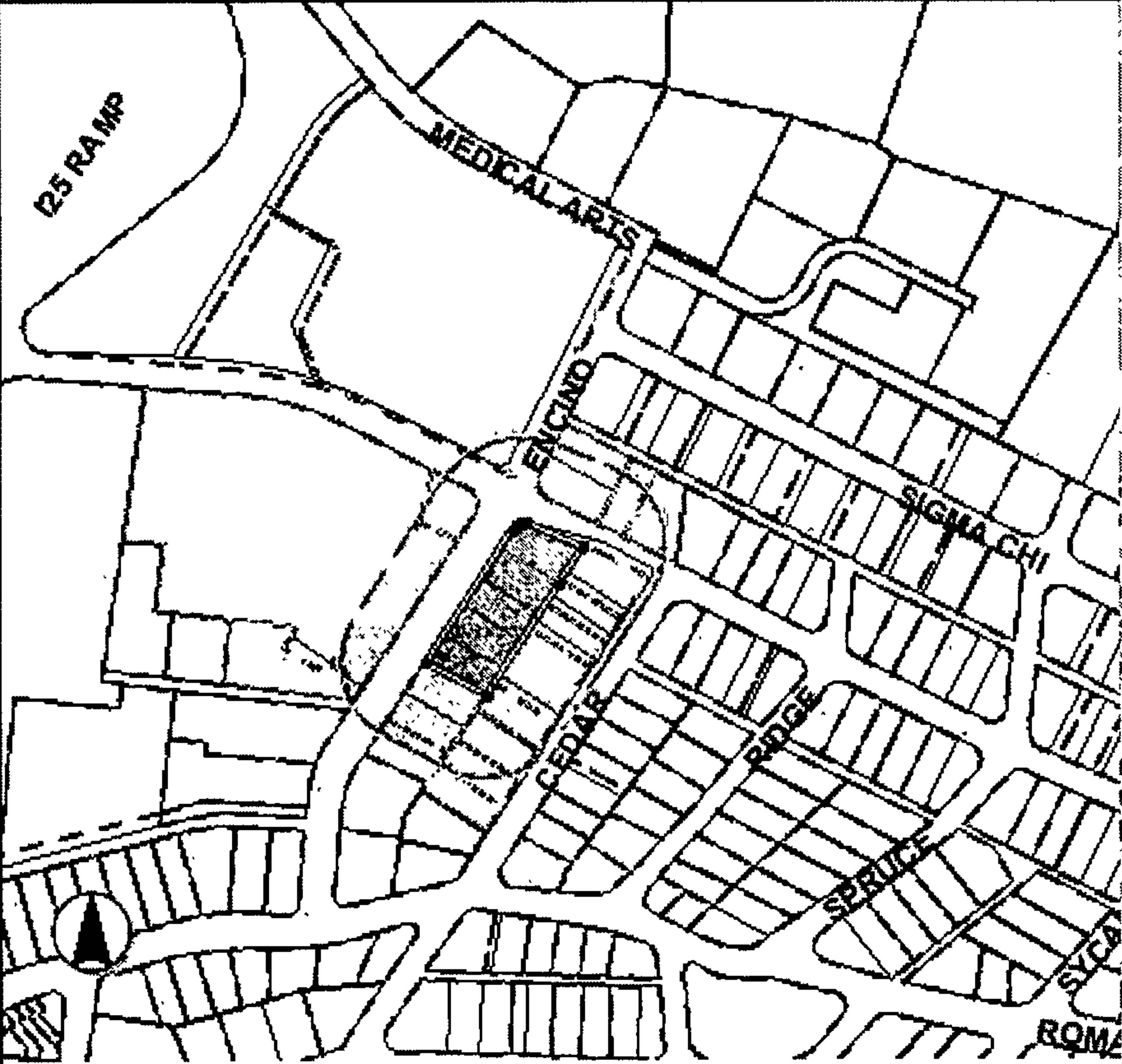
Dan Graney
President



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
- 2006 AIR PHOTO
- 2004 AIR PHOTO
- 2002 AIR PHOTO
- 1999 AIR PHOTO

Refresh Map

Auto Refresh

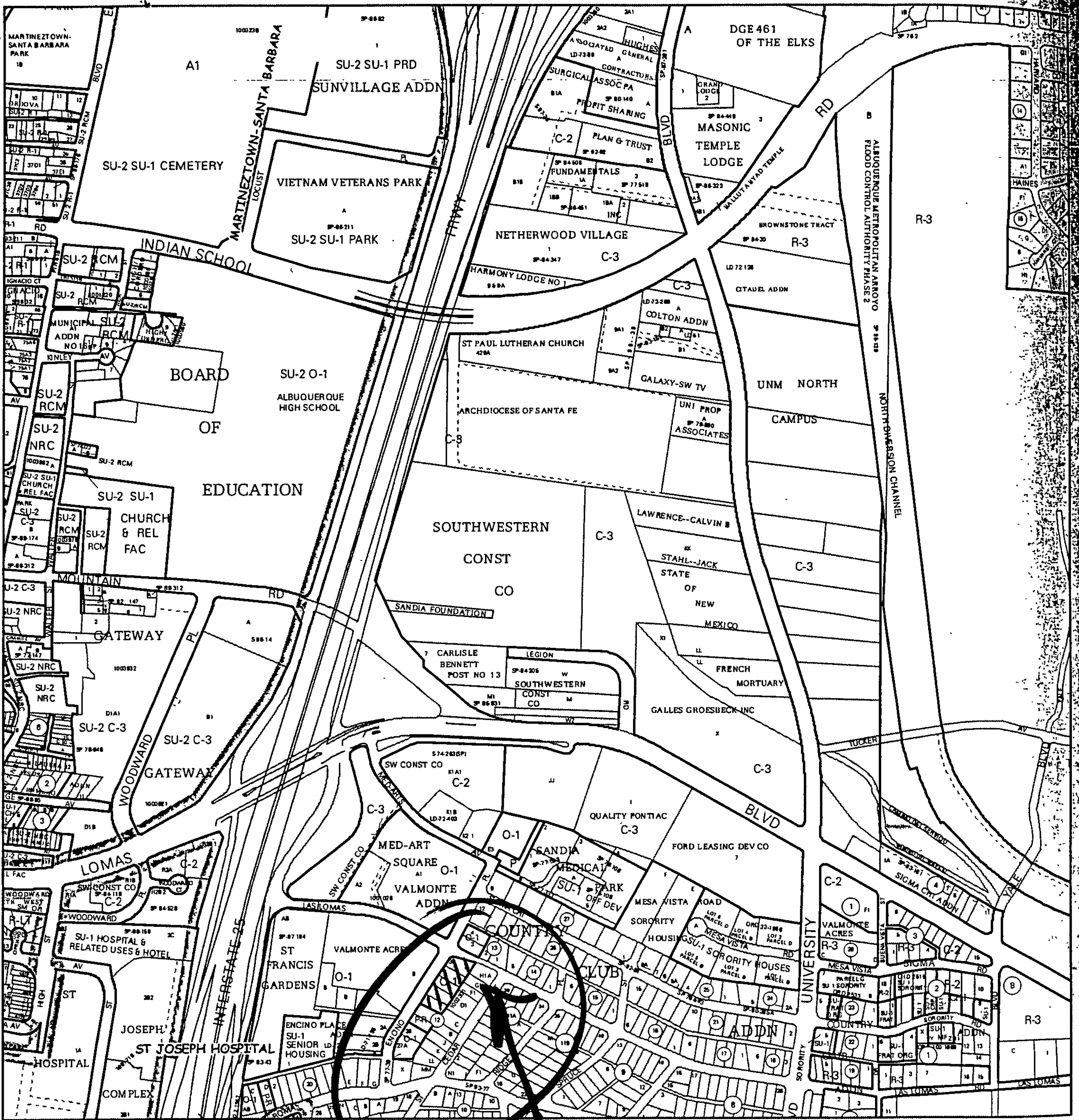
Help:

- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible.
- Visible group/layer, click to hide.
- Layer not visible at this scale.
- Partially visible group, click for visible.
- Inactive layer, click for active.
- The active layer.

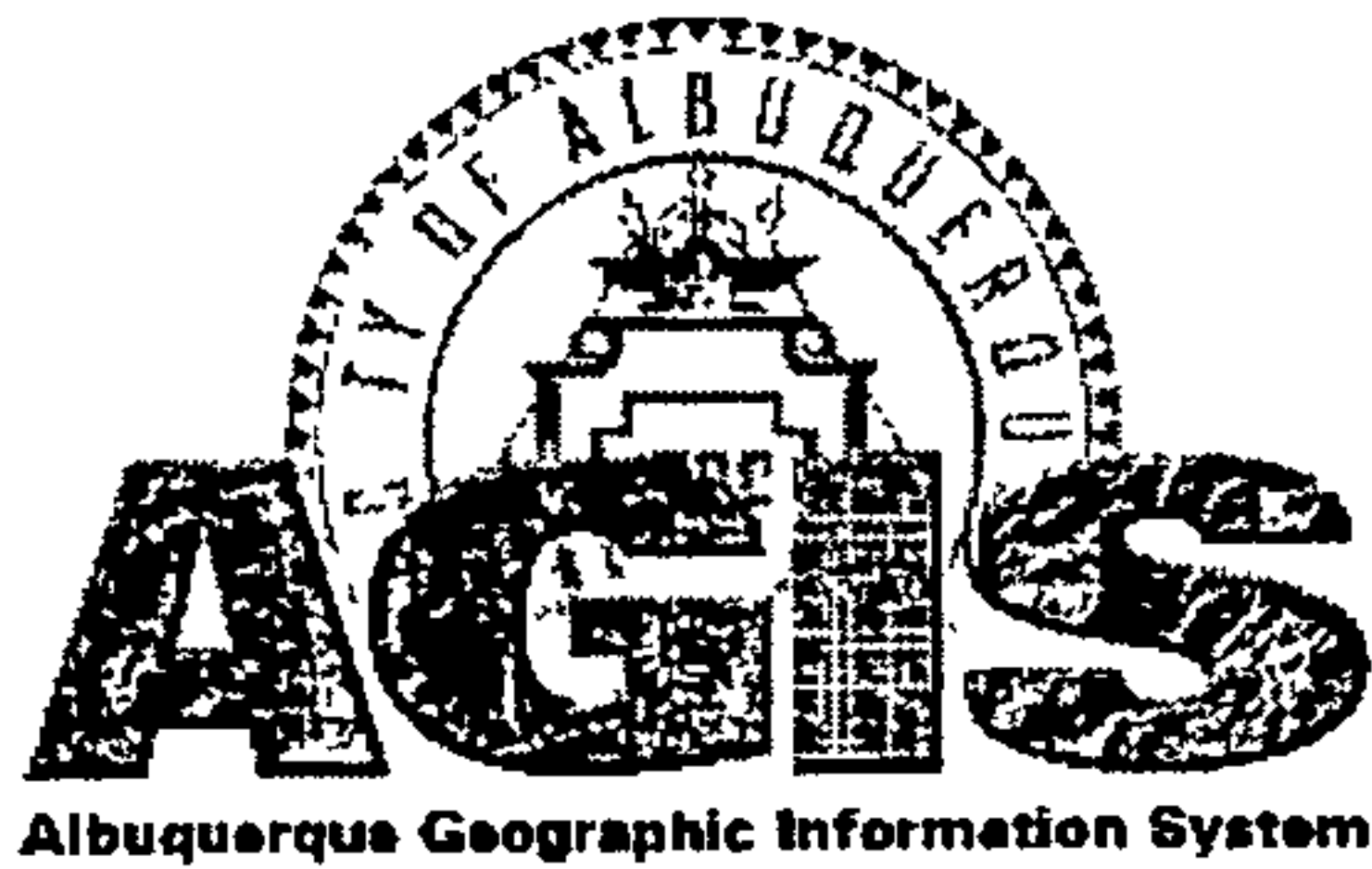
OWNERSHIP

Rec	UPC CODE	OWNER
1	101505824703030409	FRANCHINI R GREGORY & ELIZABETH
2	101505819602030305	MEDICAL BUILDING INC SUITE 105

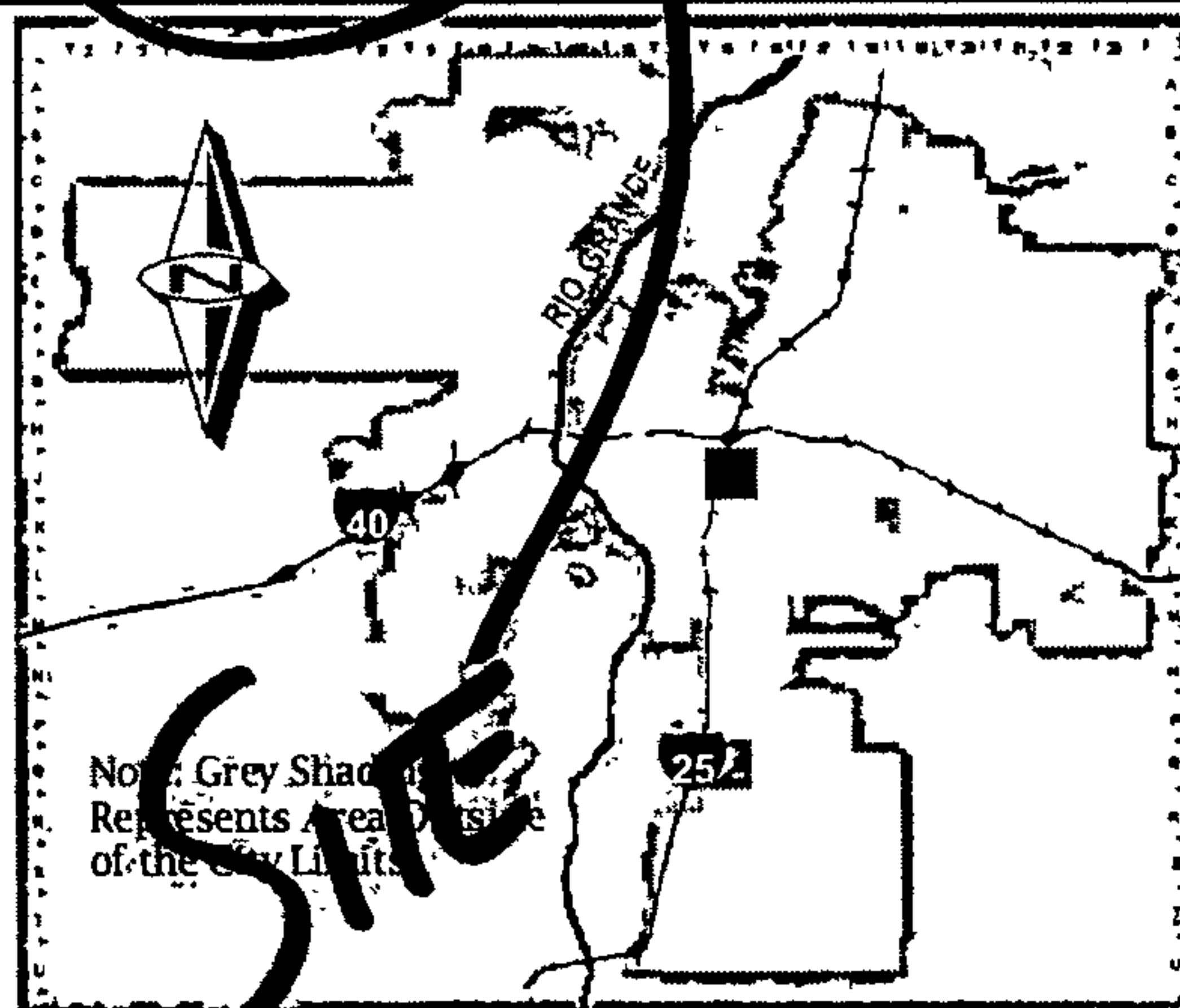
Pan
SEARCH CONTACT
REFRESH
HELP
INDEX PAGE



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 10/25/2006



Zone Atlas Page:

J-15-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney
Applicant name (print)

Dan Graney 3-06-07
Applicant signature / date



Form revised 8/04, 1/05, 10/05 & NOV 06

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	<u>Sandy Handley</u> Planner signature / date
<input checked="" type="checkbox"/> Fees collected	07DRB - - - - - 00335	
<input checked="" type="checkbox"/> Case #s assigned	- - - - -	
<input checked="" type="checkbox"/> Related #s listed	- - - - -	
		Project # 1004-07

F Y I



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

March 28, 2007

TO: Daniel Laird and Robert Westfall, Spruce Park Neighborhood Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: *Major Vacation of Public Right-of-Way and Minor Preliminary and Final Plat Approval for dividing five (5) existing lots into six (6) new lots and vacation of Las Lomas Road NE.*

Proposed by: Surveys Southwest, LTD at 505-998-0303

Agent for: Judith C. Schaab

For property located: On or near Las Lomas Road NE between Encino Place NE and Cedar Court NE.

P.O. Box 1293

The case number(s) assigned is: 07DRB-00334 and 00335, Project # 1004387.

Albuquerque

City Planning accepted application for this request on **March 13, 2007.**

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at **9 a.m. on Wednesday, April 11, 2007** in the **Planning Hearing Room, Room 160, Plaza Del Sol Building, 600 Second St. NW.**

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 11, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002743

07DRB-00336 Major-Preliminary Plat
Approval

DAC ENTERPRISES INC agent(s) for HARVEST LAND LLC request(s) the above action(s) for all or any portion of Tract(s) I & J, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD located on COORS NW between WESTERN TRAILS NW and DELLYNE NW containing approximately 4 acre(s). (F-11)

Project # 1004387

07DRB-00334 Major-Vacation of Pub
Right-of-Way
07DRB-00335 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12| **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] (J-15)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MARCH 26, 2007.

4387

DXF Electronic Approval Form

DRB Project Case #: 1004387

Subdivision Name: COUNTRY CLUB ADDN BLK 12 LOTS 31A 31B 33A 34A 35A

Surveyor: MITCH REYNOLDS

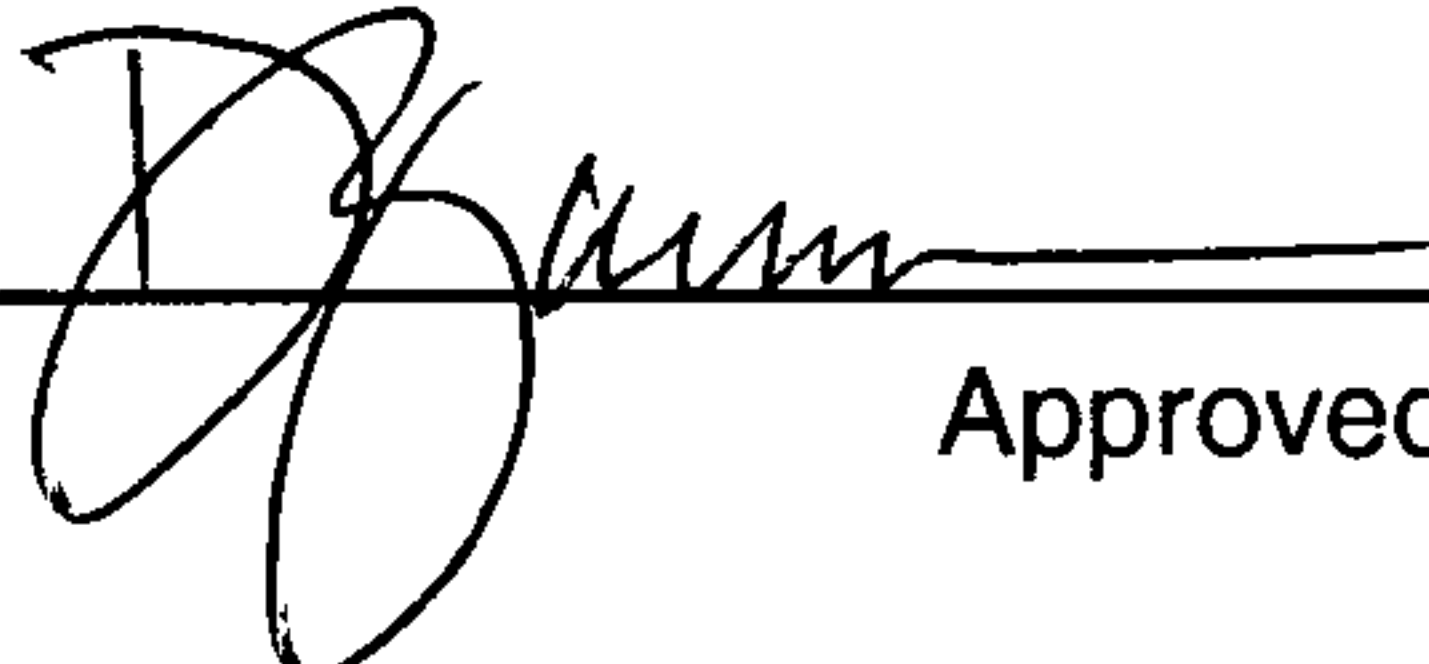
Contact Person: SARAH AMATO

Contact Information: 998-0303

DXF Received: 3/15/2007

Hard Copy Received: 3/15/2007

Coordinate System: Ground rotated to NMSP Grid



Approved

03-16-2007

Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **4387** to agiscov on **3/16/2007** Contact person notified on **3/16/2007**

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

March 6, 2007

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12, COUNTRY CLUB
ADDITION

Dear Board Members:

Surveys Southwest, Ltd is requesting to withdraw the Preliminary / Final Plat Action (Project #1004387 / 06DRB-00644) for the above referenced property due to the vacation action that was approved December 21, 2005 has expired and a new submittal will need to be requested for approval of the Vacation Action and Preliminary Plat.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00644 (P&F)

Project # 1004387

Project Name: COUNTRY CLUB ADDITION

Agent: Surveys Southwest

Phone No: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/8/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: CLOSURE OF DRIVE PADS ALONG PUBLIC STREETS

Property Management Signature

UTILITIES:

CITY ENGINEER / AMAFCA: signed plan approved engineer's certification

PARKS / CIP:

PLANNING (Last to sign):

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required. — OK

Copy of recorded plat for Planning.

Project Number

1004387

#10



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 8, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 a.m.

Adjourned: 10:35 a.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000965**
06DRB-01500 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) 1, LANDS OF RAY GRAHAM III, **ANDALUCIA @ LA LUZ**, zoned SU-1, located on COORS NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 85 acre(s). [02DRB-00059] (F-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1005169**
06DRB-01504 Major-Bulk Land Variance
06DRB-01505 Minor-Prelim&Final Plat
Approval

ALPHA PROFESSIONAL SURVEYING agent(s) for UNM REAL ESTATE DEPARTMENT request(s) the above action(s) for all or a portion of Tract(s) 10 & 11, **UNIVERSITY OF NEW MEXICO, AIRPORT PARCEL**, zoned M-2 located on IRA SPRECHER RD SE, between LOS PICAROS SE and the ALBUQUERQUE SUNPORT SE, containing approximately 446 acre(s). (P-16/P-17) **BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR A FLOODPLAIN EASEMENT TO BE GRANTED TO CITY OF ALBUQUERQUE AND PLANNING FOR NOTICE OF SUBDIVISION PLAT CONDITIONS, FEE SIMPLE LANGUAGE, 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

3. **Project # 1004851**
06DRB-01452 Major-Preliminary Plat
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for THE SAWMILL DEVELOPMENT COMPANY LLC request(s) the above action(s) for all or a portion of Tract(s) 2, LANDS OF MCCLAIN and Tract(s) A-3, LANDS OF AND WILLIAM ANDREW MCCORD (to be known as **ANTIGUA TRAVESIA**, zoned S-M1, located on ZEARING AVE NW, between RIO GRANDE BLVD NW and 19TH ST NW containing approximately 3 acre(s). [REF: 06DRB-00556, 06DRB-01095] *[Deferred from 11/1/06 & 11/8/06]* (H-13) **DEFERRED AT THE BOARD'S REQUEST TO 11/15/06.**

4. **Project # 1005191**
06DRB-01454 Major-Preliminary Plat
Approval
06DRB-01455 Major-Vacation of Pub
Right-of-Way
06DRB-01456 Minor-Sidewalk Variance
06DRB-01457 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13-20, Tract(s) A, Block(s) 29, NORTH ALBUQUERQUE ACRES, UNIT B (to be known as **SEVANO PLACE SUBDIVISION**) zoned R-D, located on LOUISIANA NE, between ALAMEDA NE and SIGNAL NE containing approximately 7 acre(s). *[Deferred from 11/1/06 & 11/8/06]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/15/06.**

5. **Project # 1004989**
06DRB-01411 Major-Preliminary Plat Approval
06DRB-01412 Major-Vacation of Public Easements
06DRB-01413 Minor-Subd Design (DPM) Variance
06DRB-01414 Minor-Sidewalk Waiver
06DRB-01415 Minor-Temp Defer SDWK
- BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) A, UNIT 2, WILDERNESS @ HIGH DESERT (to be known as **WILDERNESS CANON @ HIGH DESERT**) zoned SU-2, HD/R-R, located on HIGH DESERT PL NE, between TRAILHEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 06DRB-00933, 04DRB-00713, 04DRB-01723] [*Deferred from 10/25/06 & 11/8/06*] (F-23) **DEFERRED AT THE AGENT'S REQUEST TO 11/15/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1004976**
06DRB-01548 Minor-SiteDev Plan Subd/EPC
06DRB-01549 Minor-SiteDev Plan BldPermit/EPC
- H BARKER ARCHITECTS agent(s) for CALABACILLAS GROUP request(s) the above action(s) for all or a portion of Lot(s) A-1, B-1, C-1 & C-2, **BLACK ARROYO DAM**, zoned C-2, located on GOLF COURSE RD NW, between BENTON AVE NW and WESTSIDE BLVD NW containing approximately 12 acre(s). [REF: 06EPC-00424, 06EPC-00425] [*Catalina Lehner, EPC Case Planner*] [*Deferred from 11/1/06 & Indef deferred 11/8/06*] (A-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1004688**
06DRB-01572 Minor-Final Plat Approval
- CLARK CONSULTING ENGINEERS agent(s) for JOHN ABBOTT & BILL H. BURNS request(s) the above action(s) for all or a portion of Tract(s) 2, 2a & 2b, **ALVARADO GARDENS ADDITION, UNIT 1**, zoned RA-2, located on RIO GRANDE BLVD NW between MATTHEW AVE NW and CAMPBELL RD NW, containing approximately 3 acre(s). [*Indef deferred 11/8/06*] (G-12/G-13) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

8. **Project # 1002730**
06DRB-01521 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *[Deferred from 10/25/06 Indef deferred 11/8/06]* (C-20) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

06DRB-01555 Minor-Subd Design (DPM)
Variance

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *Indef deferred 11/8/06]* (C-20) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

9. **Project # 1005233**
06DRB-01568 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for WACHOVIA DEVELOPMENT, request(s) the above action(s) for all or a portion of Tract(s) A & B, Block(s) 5, **SUNDT'S INDUSTRIAL CENTER**, zoned M-2, located on MONTBEL LOOP NE, between JOAN HILL PL NE and ALEXANDER BLVD NE containing approximately 18 acre(s). (F-15) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR PRIVATE FACILITIES MAINTENANCE COVENANT, CROSS-LOT DRAINAGE EASEMENT AND TRANSPORTATION DEVELOPMENT FOR SIDEWALKS.**

10. **Project # 1004387**
06DRB-00644 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for LESLIE JENSEN request(s) the above action(s) for all or a portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, zoned O-1, located on LAS LOMAS RD NE and ENCINO PL NE and containing approximately 1 acre(s). [REF: 05DRB-01332] [*Indef Deferred on 5/17/06*] (J-15) **WITH THE APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/13/06 THE PRELIMINARY PLAT WAS APPROVED WITH FINAL PLAT DELEGATED TO CITY ENGINEER FOR APPROVED ENGINEER CERTIFICATION AND TO TRANSPORTATION DEVELOPMENT FOR PROPERTY MANAGEMENT'S SIGNATURE, PROOF THAT THE DRIVE PADS ARE CLOSED AND THE APPLICATION NUMBER OF THE VACATION ON THE PLAT.**

11. **Project # 1004943**
06DRB-01547 Minor-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JULIE GUITERREZ request(s) the above action(s) for all or a portion of Tract(s) D, VILLAGE CENTER NORTH (to be known as **PINNACLE PEAK TOWNHOMES**) zoned SU-1 for mixed use, located on PINNACLE PEAK NW, between MCMAHON BLVD NW and UNSER BLVD NW containing approximately 2 acre(s). [REF: 06DRB-01164, 06DRB-01165, 06DRB-01167] [*Deferred from 11/1/06 & 11/8/06*] (A-11) **DEFERRED AT THE BOARD'S REQUEST TO 11/15/06.**

12. **Project # 1002928**
06DRB-01570 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for LONGFORD AT THE TRAILS LLC request(s) the above action(s) for all or a portion of Lot(s) 6-AP1 & 7-AP1, **TAOS @ THE TRAILS**, zoned RD, located on TREELINE AVE NW east of PILABO ST NW and containing approximately 1 acre(s). (C-9) **PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

13. **Project # 1003170**
06DRB-01564 Minor-Prelim&Final Plat
Approval

LARKIN GROUP NM INC agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) A, **CITY OF ALBUQUERQUE WATER TREATMENT FACILITY**, zoned SU-1 M-1, located on CHAPPELL DR NE, between MISSION AVE NE and OSUNA RD NE containing approximately 163 acre(s). [REF: 04DRB-01329] (E-16/F-16) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LANGUAGE ON THE PLAT, EXTENSION OF A 20-FOOT WATERLINE EASEMENT AND TO RECORD.**

14. **Project # 1004254**
06DRB-01569 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for CHARLES JAEGER request(s) the above action(s) for all or a portion of Lot(s) A-1, **ALVARADO GARDENS, UNIT 3**, zoned R-2 residential zone, located on VERANDA RD NW, between RIO GRANDE BLVD NW and GLENWOOD DR NW containing approximately 1 acre(s). [REF: 05DRB-00964] [*Indef deferred 11/8/06*] (G-12) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

15. **Project # 1004874**
06DRB-01571 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for ANDERSON PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 18 & 19, Block(s) 2, **MONKBRIDGE ADDITION**, zoned SU-1, located on CANDELARIA RD NW between 2nd ST NW and 4TH ST NW, containing approximately 1 acre(s). (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR COPY OF NOTICE OF DECISION REGARDING ZONING, AMAFCA'S SIGNATURE AND TO RECORD.**

16. **Project # 1005229**
06DRB-01551 Minor-Prelim&Final Plat
Approval

JACK'S HIGH COUNTRY agent(s) for LESLEY RYAN & DIONISIA BURTON request(s) the above action(s) for all or a portion of Lot(s) 13A-1, 13B-1, 14A1-A2 & 17-A, **LANDS OF BURTIN & RYAN**, zoned SU-2 R-1, located on 8TH ST SW, between PACIFIC SW and CROMWELL SW containing approximately 1 acre(s). *[Deferred from 11/1/06]* (K-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR WATERLINE EASEMENT LOCATION, AMAFCA'S SIGNATURE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

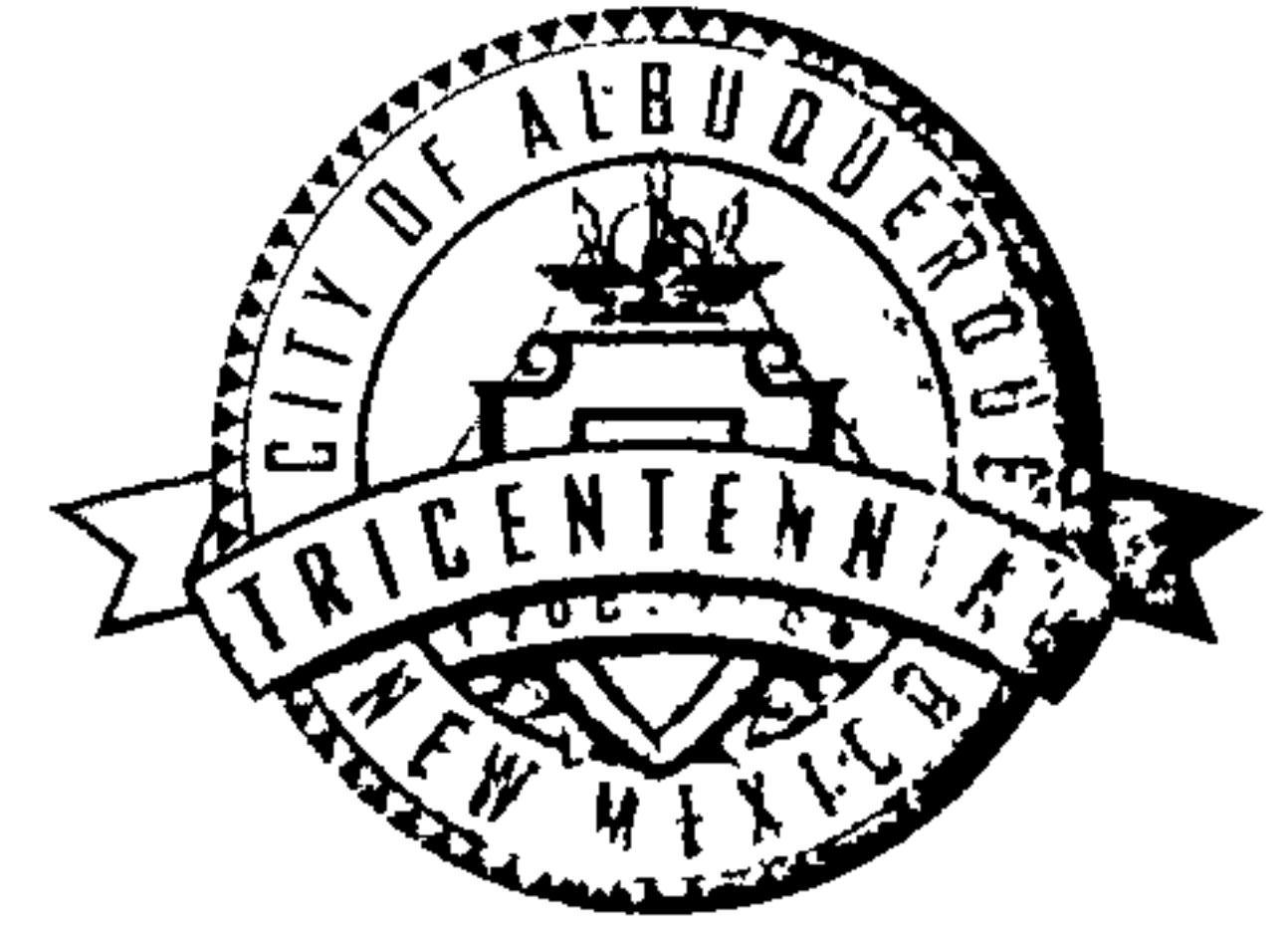
17. **Project # 1005230**
06DRB-01552 Minor-Sketch Plat or Plan

FRANK SIERRA request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 2, **VAN CLEAVE ACRES**, zoned RA-2, located on VAN CLEAVE NW, between SAN ISIDRO NW and GREIGOS LATERAL containing approximately 1 acre(s). (G-13) **INDEFINITELY DEFERRED ON A NO SHOW.**

18. Approval of the Development Review Board Minutes for November 1, 2006. **THE DRB MINUTES FOR 11/1/06 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:35 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 10

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

Plat comments.

An approved grading and drainage plan dated 10-13-06 is on file for Preliminary Plat approval.

An approved engineer's certification of the grading and drainage plan is required prior to final plat approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED **X**; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) **(FP)** TO: (UD) **(CE)** **(TRANS)** (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: NOVEMBER 8, 2006



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 17, 2006 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

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- A. Call to Order: 9:00 A.M. Adjourned: 10:37 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001304**
06DRB-00574 Major-Vacation of
Public Easements

CHRISTOPHER CALOTT request(s) the above action(s) for all or a portion of Block(s) 18, Lot(s) 17-A, 17-B, & 17-C, **PEREA ADDITION**, zoned SU-2/SF, located on 14TH ST NW, between ROMA AVE NW and FRUIT AVE NW containing approximately 1 acre(s). [REF: 01DRB00830,02DRB00493, 05DRB00909] (J-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1003212**
06DRB-00569 Major-Vacation of Public Easements
06DRB-00570 Minor-Prelim&Final Plat Approval

JOHN MENICUCCI, BERGER BRIGGS REAL ESTATE agent(s) for GRAND AVENUE PARTNERS, A NM LIMITED PARTNERSHIP, request(s) the above action(s) for all or a portion of Block(s) 34, Tract(s) A-1-A-1 & B-1, **BROWNEWELL & LAIS HIGHLAND ADDITION**, zoned SU-2 MC, located on DR MARTIN LUTHER KING JR AVE NE, between UNIVERSITY BLVD NE and PINE ST NE containing approximately 2 acre(s). [REF: 04EPC00699, 05DRB00729] (K-15) **THE VACATION WAS APPROVED WITH THE ADDITION OF A 30-FOOT PRIVATE PARKING EASEMENT AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CLARIFICATION OF THE PARKING AND ACCESS EASEMENT AND PLANNING FOR AGIS DXF FILE, 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

3. **Project # 1000696**
05DRB-01529 Major-Preliminary Plat Approval
05DRB-01530 Minor-Sidewalk Waiver
05DRB-01531 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s).[Deferred from 10/26/05 & 11/9/05 & 11/23/05 & 11/30/05 & 1/4/06 & 1/25/06 & 2/22/06 & 3/15/06 & 4/5/06 & 4/19/06] (D-12) **WITHDRAWN AT THE AGENT'S REQUEST.**

4. **Project # 1003238**
06DRB-00543 Major-Vacation of Public Easements
06DRB-00432 Minor-Prelim&Final Plat Approval
06DRB-00545 Minor-Vacation of Private Easements

SURV-TEK INC agent(s) for VANTAGE BUILDERS request(s) the above action(s) for all or a portion of Lot(s) 58-P1, Parcel E, **FLORAL MEADOWS**, zoned R-LT, located on SARITA AVE NW, between MONTOYA NW and MACIEL NW containing approximately 1 acre(s). *[Deferred fro 5/10/06]* (H-12) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

THERE ARE NO SITE DEVELOPMENT PLANS THIS WEEK...

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. ~~Project # 1004387~~
06DRB-00644 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for LESLIE JENSEN request(s) the above action(s) for all or a portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, zoned O-1, located on LAS LOMAS RD NE and ENCINO PL NE and containing approximately 1 acre(s). [REF: 05DRB-01332] *[Indef Deferred on 5/17/06]* (J-15) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

6. **Project # 1004792**
06DRB-00645 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST agent(s) for DUNCAN MILLOY request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 1, **FITZGERALD ADDITION**, zoned R-1, located on FITZGERALD RD NW, between CANDELARIA RD NW and 4TH ST NW containing approximately 1 acre(s). [REF: 06DRB-00414] (G-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1004789**
06DRB-00642 Minor-Prelim&Final Plat Approval
- BILLY & JEANETTE BACA request(s) the above action(s) for all or a portion of Lot(s) 10-A, **R L GAUL ADDITION**, zoned R-1, located on SHANGRI-LA CT NW, between GREIGOS NW and DELAMAR NW containing approximately 1 acre(s). [REF: 06DRB-00409] (F-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**
8. **Project # 1004233**
06DRB-00646 Major-Final Plat Approval
- PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) I-2, SUNDORO SUBDIVISION, UNIT 1 (to be known as **STORMCLOUD SUBDIVISION, UNIT 1**, zoned SU-2, R-LT, located on ARROYO VISTA BLVD NW, between TIERRA VISTA ST NW and LADERA DR NW containing approximately 164 acre(s). [REF: 05DRB-00899, 05DRB-00900, 05DRB-00901, 05DRB-00902] [*Indef Deferred on 5/17/06*] (H-8, H-9, J-8, J-9) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
9. **Project # 1001789**
05DRB-01718 Minor-Final Plat Approval
- PRECISION SURVEYS INC agent(s) for DASKALOS NOB HILL request(s) the above action(s) for all or a portion of Block(s) 6, Tract(s) 17-28, **MONTE VISTA**, zoned CCR, located on CENTRAL AVE NE, between TULANE NE and WELLESLEY NE containing approximately 1 acre(s). [*Deferred from 11/16/05 & Indef deferred for SIA, Deferred from 5/17/06*] (K-16) **DEFERRED AT THE AGENT'S REQUEST TO 5/24/06.**

10. **Project # 1001946**
06DRB-00221 Minor-Final Plat Approval

BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A-1 & B-1, **HISE LANDS**, zoned M-1, located on PASEO DEL NORTE NE NE, between INTERSTATE 25 NE and SAN PEDRO BLVD NE containing approximately 6 acre(s). [06DRB00083] *[Final Plat Indef deferred for SIA]* (D-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MAINTENANCE AND BENEFICIARIES OF ACCESS EASEMENTS.**

11. **Project # 1001028**
05DRB-01886 Minor-Prelim&Final Plat Approval

PRECISION SURVEYS agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Tract(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned R-1, located on ALEJANDRO ST NW, between BLUE WATER NW and RINCON NW containing approximately 5 acre(s). *[Was Indef Deferred on 12/21/05, Indef Deferred on 5/17/06]* (J-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

12. **Project # 1004876**
06DRB-00632 Minor-Sketch Plat or Plan

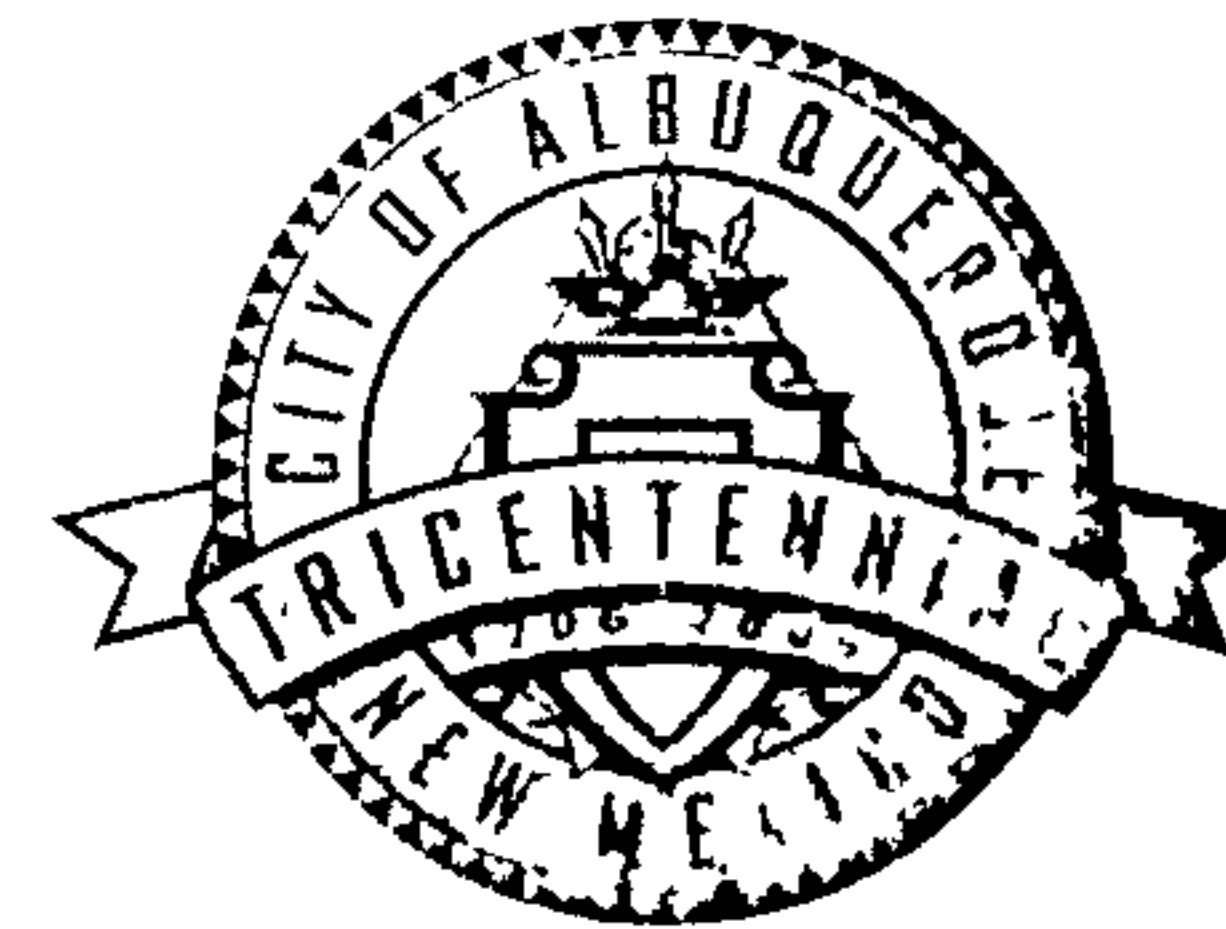
JULIO JURADO request(s) the above action(s) for all or a portion of Lot(s) 4, Tract(s) 41, **TOWN OF ATRISCO GRANT, UNIT 2**, zoned R-D/R1 residential and related uses zone, developing area, located on 90TH ST SW, between SUNSET GARDENS RD SW and EUCARIZ AVE SW containing approximately 1 acre(s). (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1004878**
06DRB-00638 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST agent(s) for GEORGE METZGAR request(s) the above action(s) for all or a portion of Lot(s) 8-C, 8-D, 9A & 9B, Block(s) A, **SOUTH BROADWAY ACRES UNIT 1**, zoned SU-2 MR, located on BETHEL DR SE and TOPEKA ST SE and containing approximately 1 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

ADJOURNED: 10:37 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 5

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An approved grading and drainage plan is required for Preliminary Plat approval.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED Indef ; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 17, 2006

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
May 17, 2006
DRB Comments**

ITEM # 5

PROJECT # 1004387

APPLICATION # 06-00644


RE: Country Club Addition/p&f

What is going to happen to the existing structures on the property?

Residential uses in the O-1 zone per the City of Albuquerque Comprehensive City Zoning Code include Permissive and Conditional.

Permissively, dwelling units (house, townhouse or apartment) constituting up to 25% of the gross floor area on the premises, provided usable open space is provided on-site in an amount equal to 400 square feet of reach efficiency or one bedroom dwelling unit, 500 square feet for each two-bedroom dwelling unit, and 600 square feet for each dwelling unit containing three or more bedrooms.

Conditionally, dwelling units constituting more than 25% of the gross floor area on a premises, open space provided as specified dwelling units in this zone.



Andrew Garcia, Planning Alternate
924-3858 Fax 924-3864 agarcia@cabq.gov

5/17/06
Conditional
uses approved.
Agent will
supply
copy

5

4387

DXF Electronic Approval Form

DRB Project Case #: 1004387

Subdivision Name: COUNTRY CLUB BLOCK 12 LOTS 31A, 31B, 32A, 33A, 34A & 35A

Surveyor: MITCH REYNOLDS


Contact Person: SARAH AMATO

Contact Information: 998-0303

DXF Received: 5/10/2006

Hard Copy Received: 5/10/2006

Coordinate System: NMSP Grid (NAD 27)


Approved

05.10.2006
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc **4387** to agiscov on **5/10/2006** Contact person notified on **5/10/2006**

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
3/8/06	Country Club Address Proj 1004387	Sketch	Indef defered on a no show
5/17/06	Country Club Address Proj 1004387	Preld: Final	

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
March 8, 2006
DRB Comments**

ITEM # 16

PROJECT # 1004387

APPLICATION # 06DRB-00269

RE: Lots 31-35, Block 12, Country Club Addition/sketch plat

A copy of the notice of decision approving the townhouse conditional use in the O-1 zone must be turned in with the application for replat.

The required setbacks must be met.

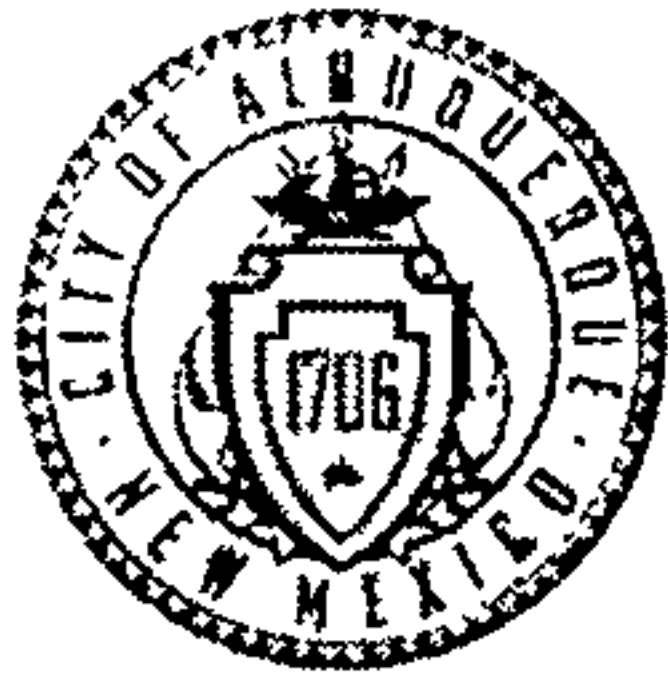
Any perimeter walls abutting a street must have design approval from the DRB Chair before plat approval.

If there are public infrastructure requirements, the project will become a major subdivision and require public hearing application.



Sheran Matson, AICP, DRB Chair

924-3880 Fax 924-3864 smatson@cabq.gov



IMPACT FEES – # 1004387

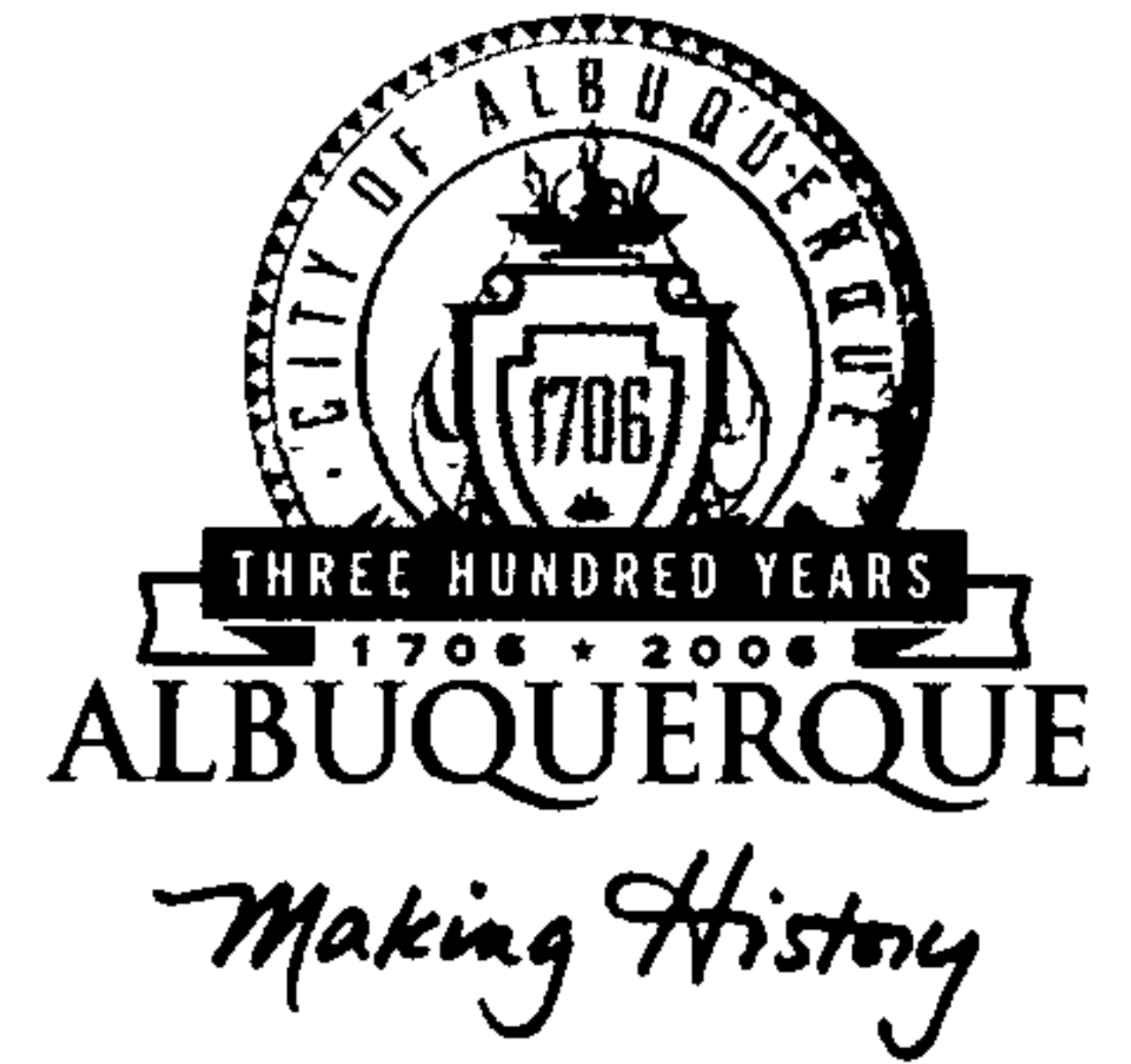
Development Review Board 3/8/06 Agenda Item #16
Sketch Plat: Lots 31 - 35, Block 12, Country Club Addition

Construction of a new single family residence within the proposed subdivision will require payment of Impact Fees. Based on a house size of approximately 2,000 square feet, it is estimated that impact fees will total approximately \$892 if a permit is obtained prior to December 29, 2006 and \$1,332 thereafter.

JACK CLOUD
IMPACT FEE ADMINISTRATOR



CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 16

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

no show

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 8, 2006



3

**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 11, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002743

07DRB-00336 Major-Preliminary Plat
Approval

DAC ENTERPRISES INC agent(s) for HARVEST LAND LLC request(s) the above action(s) for all or any portion of Tract(s) I & J, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD located on COORS NW between WESTERN TRAILS NW and DELLYNE NW containing approximately 4 acre(s). (F-11)

Project # ~~1004387~~

07DRB-00334 Major-Vacation of Pub
Right-of-Way
07DRB-00335 Minor-Prelim&Final Plat
Approval

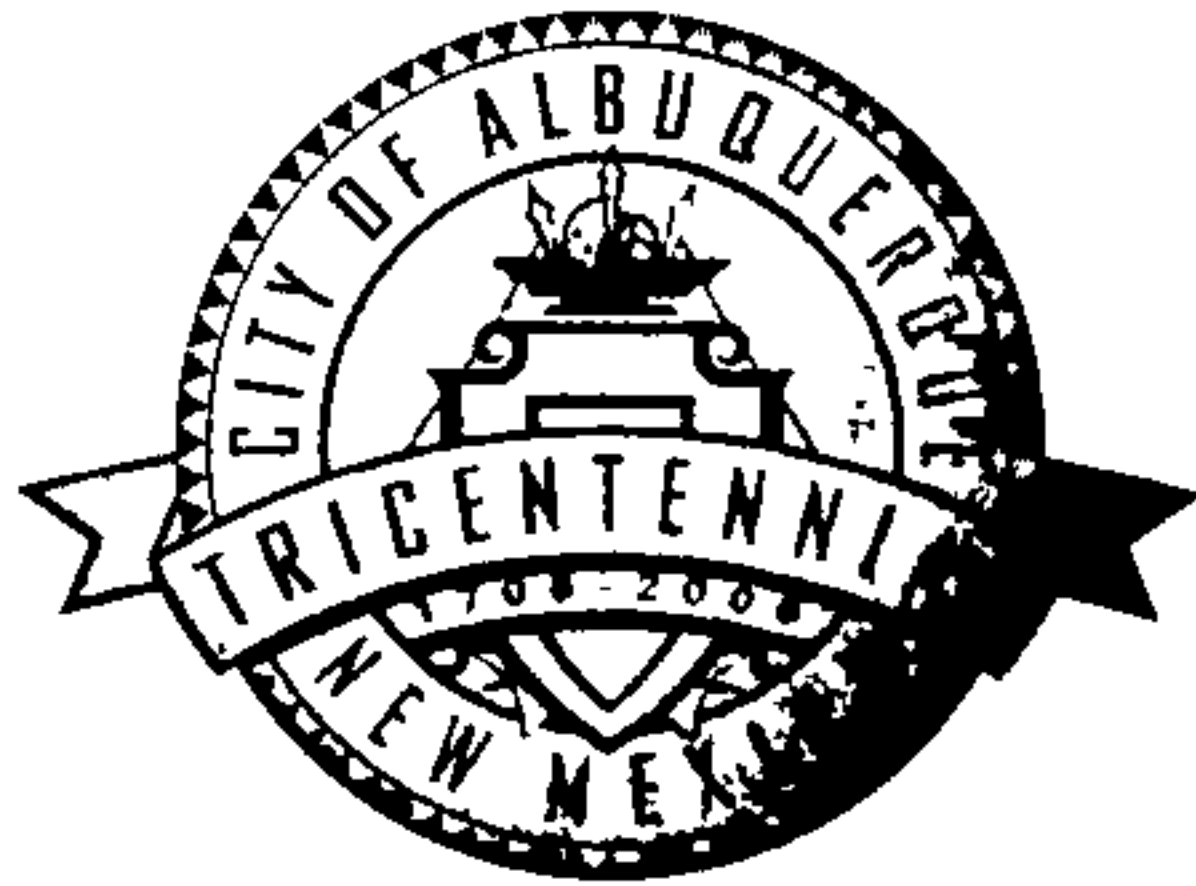
SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] (J-15)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

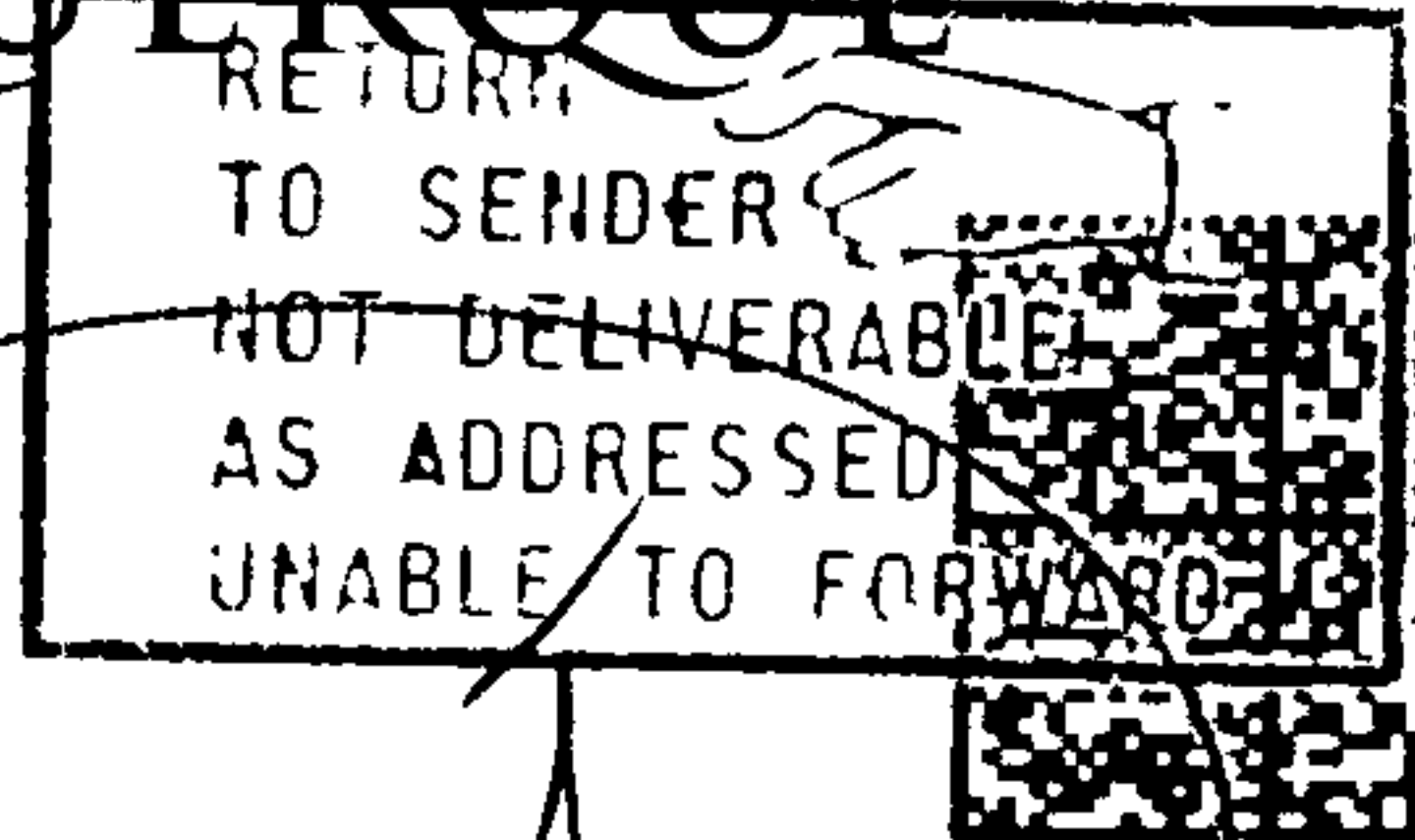
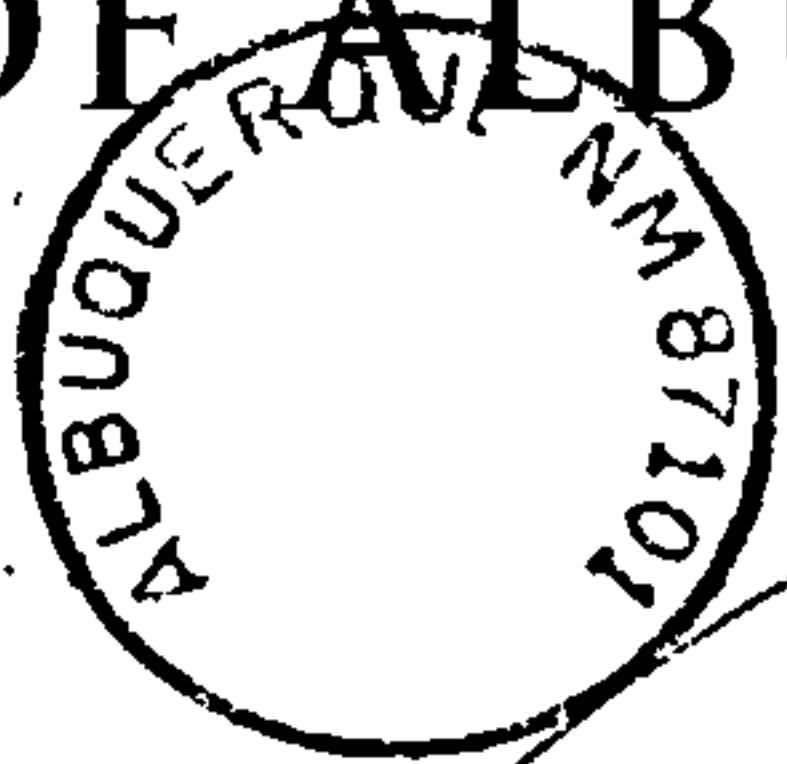
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MARCH 26, 2007.

CITY OF ALBUQUERQUE



Planning Department

DRB



UNITED STATES POSTAGE
PITNEY BOWES
02 1M
0004219022 MAR 23 2007
MAILED FROM ZIP CODE 87102
\$ 00.39⁰

Or Current Resident
SPRUCE PARK LLC
718 ENCINO PL NE
ALBUQUERQUE, NM 87102 2620

Handwritten signature: V. CAN LAND

Or Current Resident

#7102+2620



UTF

P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, April 11, 2007**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1002743

07DRB-00336 Major-Preliminary Plat
Approval

DAC ENTERPRISES INC agent(s) for HARVEST LAND LLC request(s) the above action(s) for all or any portion of Tract(s) I & J, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 PRD located on COORS NW between WESTERN TRAILS NW and DELLYNE NW containing approximately 4 acre(s). (F-11)

Project # ~~1004387~~

07DRB-00334 Major-Vacation of Pub
Right-of-Way
07DRB-00335 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12| **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] (J-15)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MARCH 26, 2007.

CITY OF ALBUQUERQUE

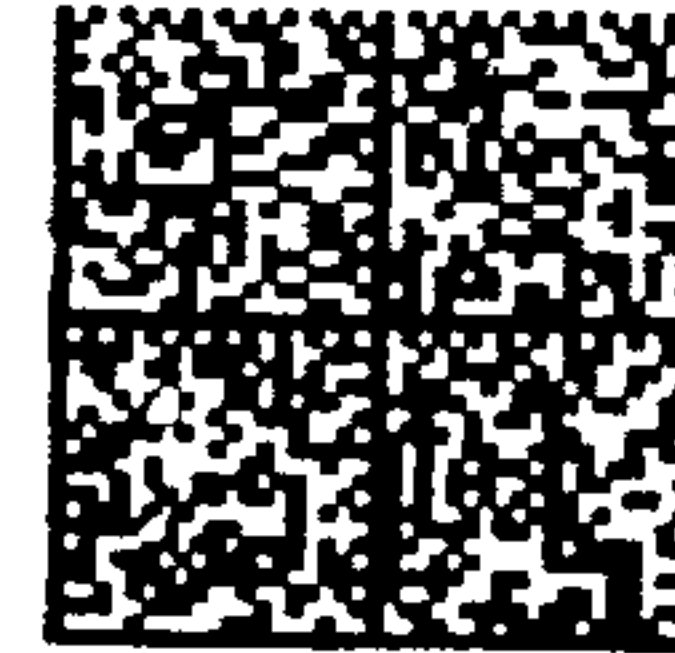


Planning Department

Or Current Resident
FRANCHINI R GREGORY &
ELIZABETH
637 CEDAR NE
ALBUQUERQUE, NM 87105

VAC

DRB



02 1M \$ 00.39⁰
0004219022 MAR 23 2007
MAILED FROM ZIP CODE 87102

Or Current Resident

|| || || |

4522



P O BOX 1293

Albuquerque,

New Mexico 87103

UTF

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/02/2009 Issued By: PLNSDH

##

Permit Number: 2009 070 228

Category Code 910

Application Number: 09DRB-70228, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: ENCINO NE BETWEEN LAS LOMAS NE AND ROMA NE

Project Number: 1004387

Applicant

Spruce Park Llc

7700 Ouray Nw
Albuquerque NM 87120
833-1840

Agent / Contact

Mark Goodwin And Associates Pa
John Maackenzie
P.O. Box 90606
Albuquerque NM 87199

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

7/2/2009 11:53AM LOC: ANNX
WSH 008 TRANS# 0032
RECEIPT# 00107459-00107459
PERMIT# 2009070228 TRSASR
Trans Amt \$145.00
App Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$145.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

03/05/2012 Issued By: BLDAVM 138390

Category Code **910**
2012 070 085

Application Number: 12DRB-70085, Amendment To Preliminary Plat

Address:

Location Description: ENCINO BETWEEN LAS LOMAS AND ROMA

Project Number: 1004387

Applicant

ENCINO PL LLC

716 ENCINO PL NE
ALBUQUERQUE NM 87109
848-1820

Agent / Contact

MARK GOODWIN AND ASSOCIATES, P.A.
DIANE HOELZER
P.O. BOX 90606
ALBUQUERQUE NM 87199

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
TOTAL:		\$70.00

FOR DEPOSIT TO
CITY OF ALBUQUERQUE
COMMON FUND ACCT 109677682
Loc: ANNX US 006 Trans: 0009
Trs Date 3/5/2012 00144977 00144977
DRB 2012070085 TRSCCS
Trans Amt \$70.00
CK \$70.00

City Of Albuquerque
Treasury Division

3/5/2012 3:36PM LOC: ANNX
WS# 006 TRANS# 0009
RECEIPT# 00144977-00144977
PERMIT# 2012070085 TRSCCS
Trans Amt \$70.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$70.00
CHANGE \$0.00

Thank You



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 29, 2009, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1000650
09DRB-70224 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the referenced/ above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA AND WENK** zoned SU-1 FOR C-1 PERMISSIVE USES, located in the southeast corner of COORS BLVD SW and RIO BRAVO BLVD SW containing approximately 20.05 acre(s). (P-10)

Project# 1000858
09DRB-70225 VACATION OF PUBLIC
EASEMENT

TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF CARPENTERS request(s) Vacation of a Temporary Public Drainage Easement on Lot(s) A-4A, **LUECKING PARK COMPLEX NO 2 & 3** zoned SU-1 FOR OFFICE PARK, PRD & RELATED USES, located on the west side of VASSAR DR NE between COMANCHE RD NE and PAN AMERICAN FREEWAY NE containing approximately 2.3928 acre(s). (G-16)

Project# 1007771
09DRB-70229 VACATION OF PUBLIC
RIGHT-OF-WAY

ADAM TRUBOW request(s) Vacation (closing) of public right of way for the platted east-west alley adjacent to Lot 8, Block(s) 1, **REALTY SALES COMPANY'S 1ST ADDITION**, zoned SU-2/ R-1, located on the east side of 7TH ST SW between IRON AVE SW and STOVER AVE SW containing approximately 0.07 acre(s). (K-14)

Project # 1004387
09DRB-70228 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT
(2YR SIA)

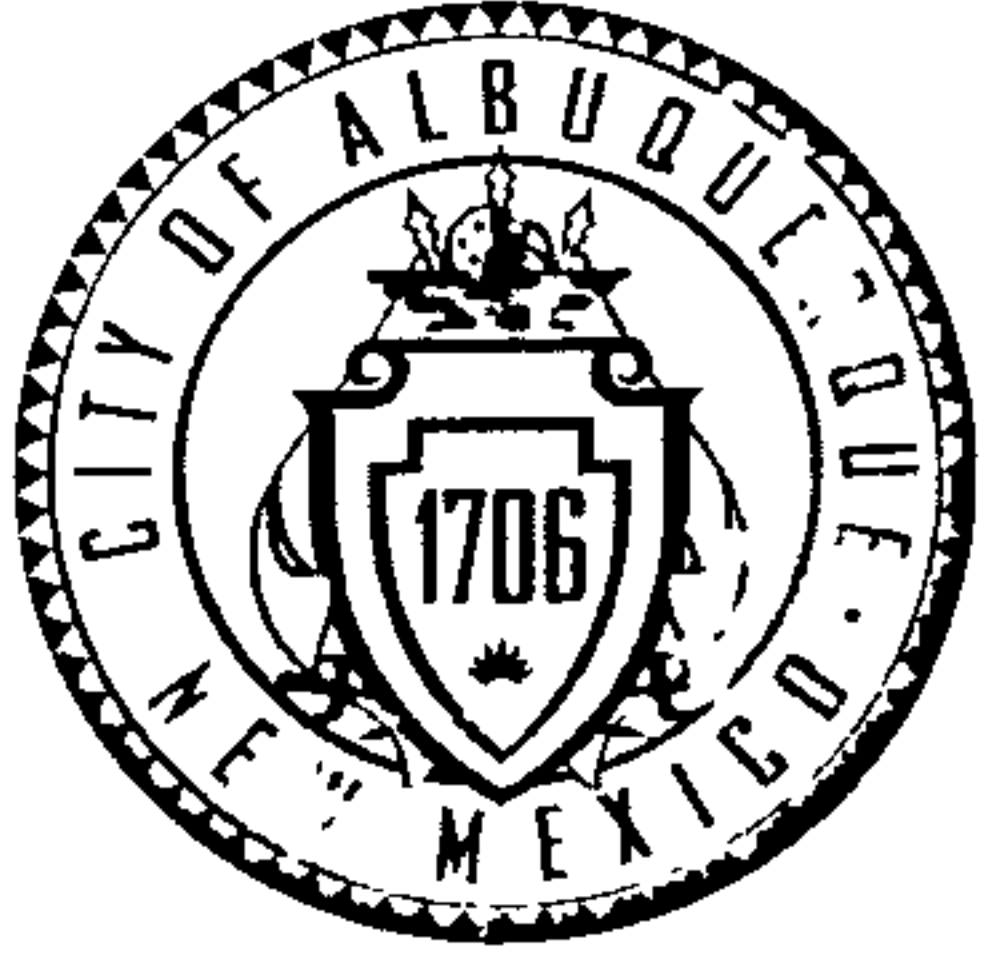
MARK GOODWIN AND ASSOCIATES PA agent(s) for SPRUCE PARK LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31A, 31B, 32A, 33A, 34A & 35A, Block(s) 12, **COUNTRY CLUB ADDITION** zoned O-1, located on the east side of ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre(s). (J-15)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8337.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 13, 2009.

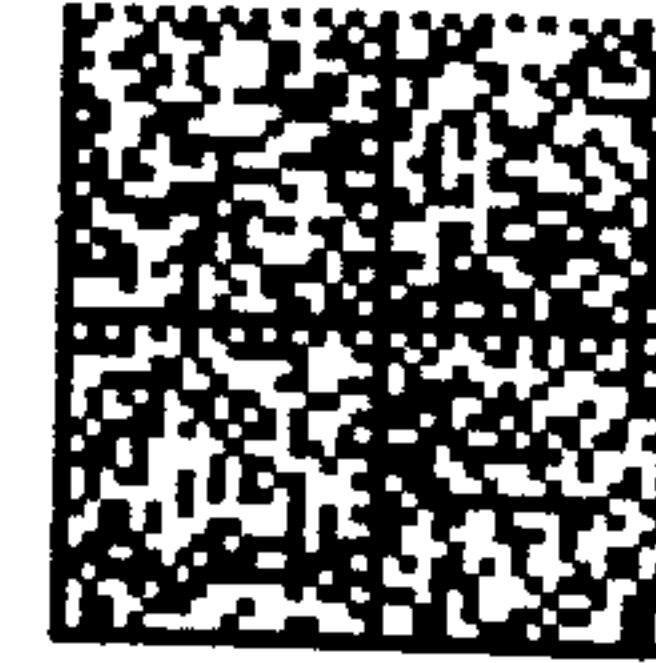
CITY OF ALBUQUERQUE



Planning Department

DRB

OR CURRENT RESIDENT
101505819304232509
ENCINO MEDICAL BLDG INC
401 SAN MATEO BLVD NE
ALBUQUERQUE, NM 87108



02 1M \$ 00.44⁰
0004261639 JUL 10 2009
MAILED FROM ZIP CODE 87102

Handwritten initials: R M

Handwritten text: Return to sender

NIXIE 871 CE 1 84 07/18/09

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 87103129393 *0268-07013-10-37

87103129393



P O Box 1293 Albuquerque New Mexico 87103

INFRASTRUCTURE LIST

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No: 1004387
DRB Application No.: _____

ORIGINAL

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
Lot 31A, 31B, 32A, 33A, 34A, 35A, Block 12 Country Club Addition
EXISTING LEGAL DESCRIPTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			Remove Existing Driveways New STD C&G	Encino Place	At Four Locations		/	/	/
		12' FF	Remove Existing C&G New Private Entrance Driveway	Encino Place	At South Property Line		/	/	/
		15' FF	Remove Existing C&G New Private Entrance Driveway	Las Lomas Rd	At East Property Line		/	/	/
		3/4" (6 ea)	Water Services	Encino Place	Existing Main	Row Line	/	/	/
		4" (6 ea)	Sanitary Sewer Services	Encino Place	Existing Main	Row Line	/	/	/
		12' Wide (Min.)	Res Pvmt & Header Curb	20' Private Access Esmt	Encino Place	Las Lomas Rd.	/	/	/
		4'	Sidewalk	Encino Place	South Property Line	Las Lomas Rd.	/	/	/
			Mill and Overlay (2" Asphalt) SAS / WL Connections	Encino Place	South Property Line	Las Lomas Rd.	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>								

Approval of Creditable Items:
 Impact Fee Administrator Signature Date
 City User Dept. Signature Date

Project name: Estates at Glendale (DRB 1008656)

9/24/08

- 1 Engineer Certification of the grading plan is required for release of SIA.
- 2 _____
- 3 _____
- 4 _____
- 5 _____
- 6 _____
- 7 _____
- 8 _____

AGENT / OWNER
 Diane Hoelzer, PE
 NAME (print)
 MARK GOODWIN & ASSOCIATES, PA
 FIRM
Diane Hoelzer 3/6/12
 SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 3-21-12
 DRB CHAIR - date

[Signature] 03-21-12
 TRANSPORTATION DEVELOPMENT - date

[Signature] 03/21/12
 UTILITY DEVELOPMENT - date

Ante A. Chene 3-21-12
 CITY ENGINEER - date

Carol S. Dumont 3-21-12
 PARKS & GENERAL RECREATION - date

 AMAFCA - date

 - date

 - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Lot 31A, 31B, 32A, 33A, 34A, 35A, Block 12, Country Club Addition

EXISTING LEGAL DESCRIPTION

Spruce Park Compound

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			Remove Existing Driveways New STD C&G	Encino Place	At Four Locations		/	/	/
		3/4" (6 ea)	Water Services	Encino Place	Existing Main	Row Line	/	/	/
		4" (6 ea)	Sanitary Sewer Services	Encino Place	Existing Main	Row Line	/	/	/
		12' Wide (Min.)	Res Pvmt & Header Curb	20' Private Access Esmt	Encino Place	Las Lomas Rd.	/	/	/
		4'	Sidewalk	Encino Place	South Property Line	Las Lomas Rd.	/	/	/
			Mill and Overlay (2" Asphalt) SAS / WL Connections	Encino Place	at all service connections		/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	City Inspector	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>									
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

Project Name: Spruce Park Compound

DRB Project No: 1004387 5/16/12

- 1 Engineer Certification of the grading plan is required for release of SIA.
- 2 _____
- 3 _____
- 4 _____
- 5 _____
- 6 _____
- 7 _____
- 8 _____

AGENT / OWNER

Diane Hoelzer, PE

NAME (print)

MARK GOODWIN & ASSOCIATES, PA

FIRM

Diane Hoelzer 5-10-12
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 5-16-12
DRB CHAIR - date

[Signature] 05-16-12
TRANSPORTATION DEVELOPMENT - date

[Signature] 05/16/12
UTILITY DEVELOPMENT - date

[Signature] 5-16-12
CITY ENGINEER - date

Carol S. Dumont 5-16-12
PARKS & RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST

Meeting Date: August 17 2011

Project# 1004387

Zone Atlas Page: J-15

App# 11DRB 70201

Notification Radius: 166'

Cross Reference and Location: East side Encino PINE Between
Las Lomas Bol NE and Roma Ave. NE

Applicant: Encino Place LLC

7116 Encino PINE

Alb NM 87102


Agent: SAME

Special Instructions:

Notice must be mailed from the
City's 15 day's prior to the meeting.

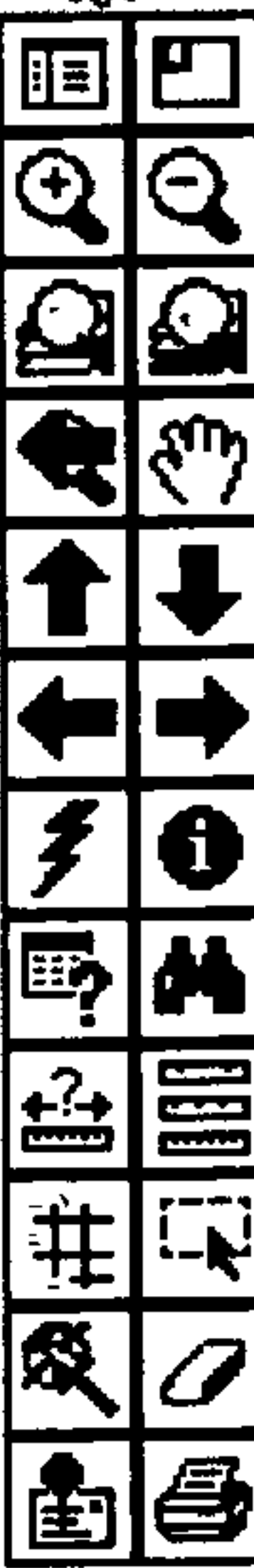
Date Mailed: July 29, 2011


Signature: 



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- EASEMENTS
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2010 AIR PHOTO
 - 2008 AIR PHOTO
 - 2006 AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

Refresh Map

Auto Refresh

Help:

- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible
- Visible group/layer, click to hide.
- Layer not visible at this scale.

OWNERSHIP

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWN STA
1	101505822701830411	BEHAVIORAL HEALTH RESEARCH CENTER OF THE SOUTHWEST	612 ENCINO PL NE	ALBUQUERQUE	NM
2	101505823903230420	SPRUCE PARK LLC	1 BUFFALO CT	PLACITAS	NM
3	101505823200520405	MOUDMANN GERALD ETUY	644 CEDAR ST NE	ALBUQUERQUE	NM

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[CONTACT GIS TEAM](#)

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP	PROP CLASS	TAX DISTRICT	LEGAL	ACRES
1	101505822701830000	BEHAVIORAL HEALTH RESEARCH CENTER OF THE SOUTH WEST	612 ENCINO PL NE	ALBUQUERQUE	NM	87102	C	A1A	LOTS 29 & 30 BLOCK 12 COUNTRY CLUB ADDITION CONT 3265 AC	0 32834824
2	101505823903230000	SPRUCE PARK LLC	1 BUFFALO CT	PLACITAS	NM	87043	V	A1A	LT 31-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT 1951 AC	0 19513306
3	101505823200530000	MOHRMANN GERALD ETUX	611 CEDAR ST NE	ALBUQUERQUE	NM	87106	R	A1A	* J 012 COUNTRY CLUB ADDN	0 17071912
4	101505824303730000	SPRUCE PARK LLC	1 BUFFALO CT	PLACITAS	NM	87043	V	A1A	LT 31-B BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT 1349 AC	0 13487204
5	101505819602030000	ENCINO MED BLDG INC - MEDICAL BLDG INC C/O AQUARIUS LLC	8020 CONSTITUTION PL NE SUITE 202	ALBUQUERQUE	NM	87110	C	A1A	TR A X B SW CONST CO	0 45257429
6	101505819552630000	NMS ENCINO PLACE LLC	711 ENCINO PL NE	ALBUQUERQUE	NM	87102	C	A1A	TRACT 2A TRACTS COMPRISING OF TR 2 ENCINO PLACE ADD	0 65067455
7	101505824705540000	ASIR LLC	800 ENCINO PL NE	ALBUQUERQUE	NM	87102	C	A1A	LOTS 3 & 4 BLK 13 COUNTRY CLUB ADD	0 38002788
8	101505823801630000	BOHAN JULIANE N	615 CEDAR NE	ALBUQUERQUE	NM	87106	V	A1A	LT C BLK 12 COUNTRY CLUB ADDITION EXCL THE S'LY FIVE FT CONT 1539 AC +/-	0 15372746
9	101505819304232000	ENCINO MEDICAL BLDG INC	401 SAN MATEO BLVD NE	ALBUQUERQUE	NM	87106	C	A1A	SOUTHWEST CONST CO REPLAT RB & 20 FT PVT ENTRANCE EXC N'LY PORT (AKA ENCINO MEDICAL CONDOS) CONT 5 7360 AC	4 39510373
10	101505825305330000	SPRUCE PARK LLC	1 BUFFALO CT	PLACITAS	NM	87043	V	A1A	LT 35-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT 1818 AC	0 18178056
11	101505824703030000	REDDY SURAJ & EVAN	637 CEDAR ST NE	ALBUQUERQUE	NM	87106	R	A1A	LT F-1 BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION CONT 1446 AC	0 14684808
12	101505826404840000	ERASMUS MARK D & KRISTIN	1123 LAS LOMAS NE	ALBUQUERQUE	NM	87106	R	A1A	* 001 013 COUNTRY CLUB ADD	0 26074814
13	101505824202330000	COOPER EARL & JOYCE	633 CEDAR ST NE	ALBUQUERQUE	NM	87106	R	A1A	LT D-1 BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION CONT 3327 AC	0 32799662
14	101505824804530000	SPRUCE PARK LLC	1 BUFFALO CT	PLACITAS	NM	87043	V	A1A	LT 33-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT 1349 AC	0 13487125
15	101505827104540000	STAKE BENJAMIN M & SAAVEDRA ELBA L	1201 LAS LOMAS NE	ALBUQUERQUE	NM	87106	R	A1A	* 005 014 COUNTRY CLUB ADD	0 26527327
16	101505825003430000	LUGER GEORGE F & KATHLEEN K	643 CEDAR ST NE	ALBUQUERQUE	NM	87106	R	A1A	LT G-1 BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION CONT 1446 AC	0 12856902
17	101505825104830000	SCHIFANI RUTH M	7 ENCINO PL NE	ALBUQUERQUE	NM	87106	V	A1A	LT 34-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT 1349 AC	0 13487099
18	101505822704730000	HAYMAN ARTHUR M C/O HIGHLAND PHARAMCY	717 ENCINO PL NE	ALBUQUERQUE	NM	87102	C	A1A	THE NLY POR OF SW CONST CO REPLAT R B & 20' OF PVT ENTRANCE AKA TR G ENCINO MED BLDG INC SB-LEASES CONT 0 164 AC	0 17659657
19	101505825805240000	HILL WAYNE A & BERNADETTE G	1119 LAS LOMAS RD NE	ALBUQUERQUE	NM	87106	R	A1A	* 002 013 COUNTRY CLUB ADD	0 15800649
20	101505821900630000	BEHAVIORAL HEALTH RESEARCH CENTER OF THE SOUTH WEST	612 ENCINO PL NE	ALBUQUERQUE	NM	87102	C	A1A	* 028 012 EXT OF BLK 12 COUNTRY CLUB ADDN	0 22091568
21	101505722152024000	PROPST DAVID L & FOWLER-PROPST JENNIFER A	607 CEDAR NE	ALBUQUERQUE	NM	87106	R	A1A	* K 012 COUNTRY CLUB	0 20404839
22	101505822009030000	COOLIDGE MEDICAL ARTS LLC	1 WEST RED OAK LN	WHITE PLAINS	NY	10604	C	A1A	TRACT A-1 OF PLAT OF TRACTS A-1 & A-2 MED-ART SQUARE VALMONTE ADDITION CONT 5 3613 AC	5 56236029
23	101505823501030000	BOHAN JULIANE N	615 CEDAR NE	ALBUQUERQUE	NM	87106	R	A1A	* B 012 COUNTRY CLUB ADDN X S 5FT OF LOT C	0 18991341
24	101505824504130000	SPRUCE PARK LLC	1 BUFFALO CT	PLACITAS	NM	87043	V	A1A	LT 32-A BLK 12 PLAT OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A BLK 12 COUNTRY CLUB ADDITION CONT 1349 AC	0 13487172
25	101505825303830000	LUGER GEORGE F & KATHLEEN K	643 CEDAR ST NE	ALBUQUERQUE	NM	87106	R	A1A	LT H-1-A BLK 12 PLAT OF LOTS D-1, F-1, G-1 & H-1-A, BLOCK 12 COUNTRY CLUB ADDITION A REPLAT OF LOTS D, E, F, G & H-1 BLOCK 12 COUNTRY CLUB ADDITION CONT 2354 AC	0 2283264

ASIR LLC
800 ENCINO PL NE
ALBUQUERQUE, NM 87102

BEHAVIORAL HEALTH RESEARCH CENTER OF
THE SOUTHWEST
612 ENCINO PL NE
ALBUQUERQUE, NM 87102

BOHAN JULIANE N
615 CEDAR NE
ALBUQUERQUE, NM 87106

COOLIDGE MEDICAL ARTS LLC
1 WEST RED OAK LN
WHITE PLAINS, NY 10604

COOPER EARL & JOYCE
633 CEDAR ST NE
ALBUQUERQUE, NM 87106

ENCINO MEDICAL BLDG INC
401 SAN MATEO BLVD NE
ALBUQUERQUE, NM 87108

ENCINO MED BLDG INC - MEDICAL BLDG INC
C/O AQUARIUS LLC
8020 CONSTITUTION PL NE SUITE 202
ALBUQUERQUE, NM 87110

ERASMUS MARK D & KRISTIN
1123 LAS LOMAS NE
ALBUQUERQUE, NM 87106

HAYMAN ARTHUR M C/O HIGHLAND
PHARAMCY
717 ENCINO PL NE
ALBUQUERQUE, NM 87102

HILL WAYNE A & BERNADETTE G
1119 LAS LOMAS RD NE
ALBUQUERQUE, NM 87106

LUGER GEORGE F & KATHLEEN K
643 CEDAR ST NE
ALBUQUERQUE, NM 87106

MOHRMANN GERALD ETUX
611 CEDAR ST NE
ALBUQUERQUE, NM 87106

NMS ENCINO PLACE LLC
711 ENCINO PL NE
ALBUQUERQUE, NM 87102

PROPST DAVID L & FOWLER-PROPST
JENNIFER A
607 CEDAR NE
ALBUQUERQUE, NM 87106

REDDY SURAJ & EVAN
637 CEDAR ST NE
ALBUQUERQUE, NM 87106

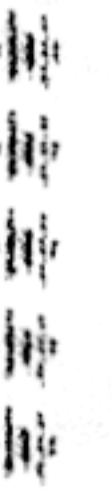
SCHIFANI RUTH M
7 ENCINO PL NE
ALBUQUERQUE, NM 87106

SPRUCE PARK LLC
1 BUFFALO CT
PLACITAS, NM 87043

STAKE BENJAMIN M & SAAVEDRA ELBA L
1201 LAS LOMAS NE
ALBUQUERQUE, NM 87106

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES



STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

07/22/2011 Issued By: BLDAVM 116699

Category Code 910
2011 070 201

Application Number: 11DRB-70201, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: ENCINO BETWEEN LAS LOMAS AND ROMA

Project Number: 1004387

Applicant
ENCINO PLACE LLC

716 ENCINO PLACE NE
ALBUQUERQUE NM 87102
505-848-1820

Agent / Contact
ENCINO PLACE LLC

716 ENCINO PLACE NE
ALBUQUERQUE NM 87102
505-848-1820

Application Fees

441018/4943000	APN Fee	\$75.00
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

7/22/2011 9:07AM LOC: ANNX
WSH 006 TRANS# 0005
RECEIPT# 00136334-00136334
PERMITH 2011070201 TRSASR
Trans Amt \$145.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$145.00
CHANGE \$0.00

Thank You



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

May 10, 2012

Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: SPRUCE PARK COMPOUND - Amended Infrastructure List
DRB 1004387**

Dear Mr. Cloud;


On behalf of my client, the following changes were made to the Infrastructure List:

1. The extent of mill and overlay was changed to Encino Place @ all service connections. This matches what was originally approved back in April of 2008.

Please call me if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.


Diane Hoelzer, PE
Senior Engineer

DLH/dlh

f:\11060\ Spruce Park\drb_itr2.wpd

INFRASTRUCTURE LIST

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No: **1004387**
DRB Application No: _____

ORIGINAL

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
Lot 31A, 31B, 32A, 33A, 34A, 35A, Block 12 Country Club Addition
EXISTING LEGAL DESCRIPTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			Remove Existing Driveways New STD C&G	Encino Place	At Four Locations		/	/	/
		12' FF	Remove Existing C&G New Private Entrance Driveway	Encino Place	At South Property Line		/	/	/
		15' FF	Remove Existing C&G New Private Entrance Driveway	Las Lomas Rd	At East Property Line		/	/	/
		3/4" (6 ea)	Water Services	Encino Place	Existing Main	Row Line	/	/	/
		4" (6 ea)	Sanitary Sewer Services	Encino Place	Existing Main	Row Line	/	/	/
		12' Wide (Min.)	Res Pvmt & Header Curb	20' Private Access Esmt	Encino Place	Las Lomas Rd.	/	/	/
		4'	Sidewalk	Encino Place	South Property Line	Las Lomas Rd.	/	/	/
			Mill and Overlay (2" Asphalt) SAS / WL Connections	Encino Place	South Property Line	Las Lomas Rd.	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>								

Approval of Creditable Items:
 Impact Fee Administrator Signature Date

Approval of Creditable Items:
 City User Dept. Signature Date

Project name: Estates at Glendale (DRB 1008656)

9/24/08

- 1 Engineer Certification of the grading plan is required for release of SIA.
- 2 _____
- 3 _____
- 4 _____
- 5 _____
- 6 _____
- 7 _____
- 8 _____

AGENT / OWNER

Diane Hoelzer, PE

NAME (print)

MARK GOODWIN & ASSOCIATES, PA

FIRM

Diane Hoelzer 3/6/12
 SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 3-21-12
 DRB CHAIR - date

[Signature] 03-21-12
 TRANSPORTATION DEVELOPMENT - date

[Signature] 03/21/12
 UTILITY DEVELOPMENT - date

[Signature] 3-21-12
 CITY ENGINEER - date

Carol S. Dumont 3-21-12
 PARKS & GENERAL RECREATION - date

 AMAFCA - date

 - date

 - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Lot 31A, 31B, 32A, 33A, 34A, 35A, Block 12, Country Club Addition

EXISTING LEGAL DESCRIPTION

Spruce Park Compound

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			Remove Existing Driveways New STD C&G	Encino Place	At Four Locations		/	/	/
		3/4" (6 ea)	Water Services	Encino Place	Existing Main	Row Line	/	/	/
		4" (6 ea)	Sanitary Sewer Services	Encino Place	Existing Main	Row Line	/	/	/
		12' Wide (Min.)	Res Pvmt & Header Curb	20' Private Access Esmt	Encino Place	Las Lomas Rd.	/	/	/
		4'	Sidewalk	Encino Place	South Property Line	Las Lomas Rd.	/	/	/
			Mill and Overlay (2" Asphalt) SAS / WL Connections	Encino Place	at all service connections		/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	City Inspector	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>									
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

Project Name: Spruce Park Compound

DRB Project No: 1004387 5/16/12

- 1 Engineer Certification of the grading plan is required for release of SIA.
- 2 _____
- 3 _____
- 4 _____
- 5 _____
- 6 _____
- 7 _____
- 8 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Diane Hoelzer, PE

NAME (print)

MARK GOODWIN & ASSOCIATES, PA

FIRM

Diane Hoelzer 5-10-12
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL RECREATION - date

AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 17, 2011

Project# 1004387

11DRB-70201 MAJOR - 2 YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)

ENCINO PLACE LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31-A thru 35-A, Block 12, **COUNTRY CLUB ADDITION**, zoned O-1, located on ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre. (J-15)

At the August 17, 2011 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by September 1, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, DRB Chair

Cc: Encino Pl. LLC – 716 Encino Place NE – Albuquerque, NM 87102
Marilyn Maldonado
file



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mark Goodwin & Associates, PA PHONE: 828-2200
 ADDRESS: PO Box 90606 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: _____

APPLICANT: Encino Place LLC PHONE: 848-1820
 ADDRESS: 716 Encino Place NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: Amended Infrastructure List

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 31-A, 31-B, 32-A, 33-A, 34-A, 35-A Block: 12 Unit: —
 Subdiv/Addn/TBKA: Country Club Addition
 Existing Zoning: O-1 Proposed zoning: no change MRGCD Map No —
 Zone Atlas page(s): J-15 UPC Code: 101 505825 305 30415

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z-, V-, S-, etc.): 1004387
07 DRB-00335, 09 DRB-70228, 11 DRB-70201

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no
 No. of existing lots: 6 No. of proposed lots: 6 Total area of site (acres): 0.9165
 LOCATION OF PROPERTY BY STREETS: On or Near: Encino Place NE
 Between: Las Lomas Rd. NE and Roma Ave. NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Diane Hoelzer DATE 3/5/12
 (Print) Diane Hoelzer, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 - DRB - 70085</u>	<u>APP</u>	_____	\$ <u>50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>March 21, 2012</u>				Total \$ <u>70.00</u>

[Signature]
3-5-12
 Planner signature / date

Project # 1004387

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat (Infrastructure List) and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat (Infrastructure List) and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Drane Hoelzer, PE
 Applicant name (print)
Drane Hoelzer 3/5/12
 Applicant signature / date



Form revised **October 2007**
[Signature] 3-5-12
 Planner signature / date
 Project # 1004387

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB - 70085



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

March 6, 2012

Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: SPRUCE PARK COMPOUND - Amended Infrastructure List
DRB 1004387**

Dear Mr. Cloud;

On behalf of my client we are seeking approval of an amended Infrastructure list for the above referenced project.

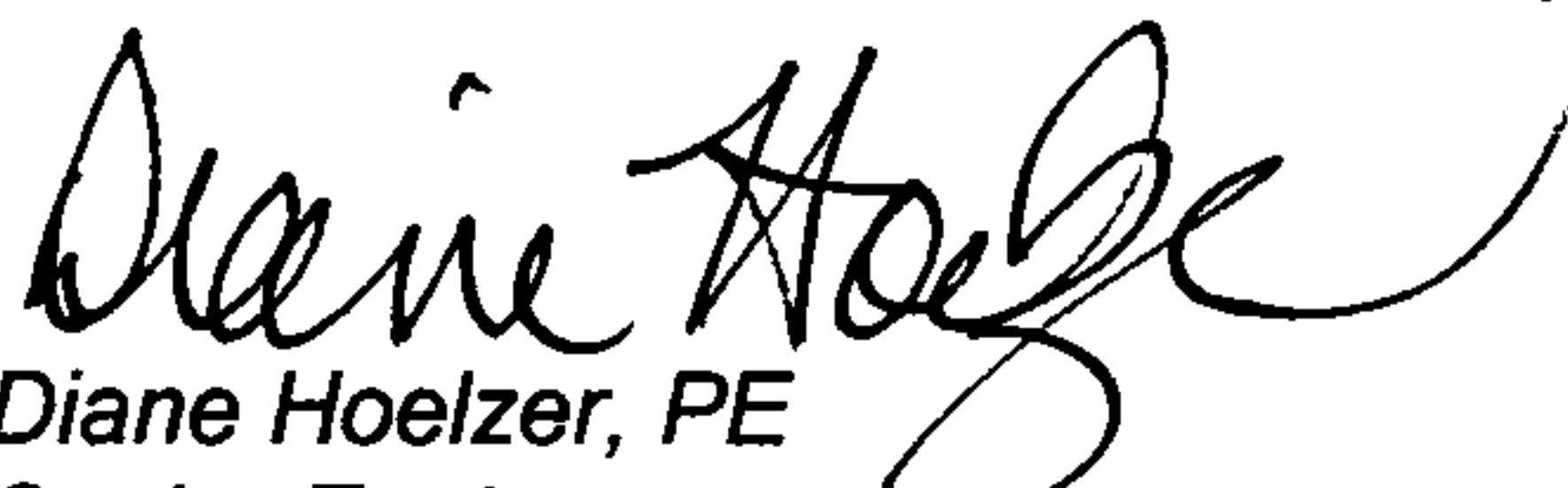
The following changes were made to the Infrastructure List:

1. Street name Las Palomas Road was corrected to Las Lomas Road,
2. 5.5' decorative sidewalk was revised to match existing sidewalk 4' wide.

Please call me if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.


Diane Hoelzer, PE
Senior Engineer

DLH/dlh
f:\11060\ Spruce Park\drb_itr.wpd

INFRASTRUCTURE LIST

(Rev. 9/21/06)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date SIA Plan Approved: _____
 Date Preliminary Plat Approved: 04/18/05
 Date Preliminary Plat Expires: 09/18/05
 DRB Project No.: 1004387
 DRB Application No.: 07PRB-00335

LOT 31A, 31B, 32A, 33A, 34A, 35A, BLOCK 12 COUNTRY CLUB ADDITION

PROPOSED NAME OF PLAY AND/OR SITE DEVELOPMENT PLAN

LOTS 31 thru 35, BLOCK 12, COUNTRY CLUB ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and owner/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Const Engineer
<input type="checkbox"/>	<input type="checkbox"/>	-	REMOVE EXISTING DRIVEWAYS. INSTALL STD C&G	ENCINO PLACE	@ 4 LOCATIONS	(4)	1	1	1
<input type="checkbox"/>	<input type="checkbox"/>	12" CP	REMOVE EXISTING C&G. INSTALL PRIV. ENTRANCE DETAIL	ENCINO PLACE	@ SOUTH PROPERTY LINE		1	1	1
<input type="checkbox"/>	<input type="checkbox"/>	15" PP	REMOVE EXISTING C&G. INSTALL PRIV. ENTRANCE DETAIL (MODIFIED)	LAS PALMAS RD	@ EAST PROPERTY LINE		1	1	1
<input type="checkbox"/>	<input type="checkbox"/>	6-3/4"	Water Services	ENCINO PLACE	EXISTING MAIN	ROW LINE	1	1	1
<input type="checkbox"/>	<input type="checkbox"/>	6-4"	Sanitary Sewer Services	ENCINO PLACE	EXISTING MAIN	5' EAST OF ROW LINE	1	1	1
<input type="checkbox"/>	<input type="checkbox"/>	VARIES 12" MIN	PAVED ACCESS RD w/ CURBS	IN ACCESS	ENCINO PLACE	LAS LOMAS RD	1	1	1
<input type="checkbox"/>	<input type="checkbox"/>	5'-6" MIN	DECORATIVE SIDEWALK	ENCINO PLACE	SOUTH PROPERTY LINE	LAS LOMAS RD	1	1	1
<input type="checkbox"/>	<input type="checkbox"/>		meter inlet at MILL	ENCINO PLACE	@ ALL SERVICE CONNECTIONS		1	1	1

The items listed below are on the CCIP and approved for Impact Fee credit. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Civil Engineer
							/	/	/
							/	/	/

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____

Approval of Creditable Items:

City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 Engineer certification of the grading plan is req'd for release
 2 of SIA (DC)
 3

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
<p><u>Mr. Jake Bordenave</u> NAME (print)</p> <p><u>BORDENAVE DESIGNS</u> FIRM</p> <p><u>[Signature]</u> 4/24/07 SIGNATURE - date</p> <p><u>Dan Grancy Surveys Southeast</u> <u>[Signature]</u> 4.18.07</p>	<p><u>Andrew Gomez</u> - 4/18/07 DRB CHAIR - date</p> <p><u>[Signature]</u> 4-18-07 TRANSPORTATION DEVELOPMENT - date</p> <p><u>[Signature]</u> 4/18/07 UTILITY DEVELOPMENT - date</p> <p><u>Bradley J. B...</u> CITY ENGINEER - date 4/18/07</p>	<p><u>Christina Sanchez</u> 4/18/07 PARKS & RECREATION - date</p> <p>_____ AMAFCA - date</p> <p>_____ - date</p> <p>_____ - date</p>	
DESIGN REVIEW COMMITTEE REVISIONS			

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

APR 24 '07 09:10AM

P.3/3

INFRASTRUCTURE LIST

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No: 1004387
DRB Application No.: _____

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
Lot 31A, 31B, 32A, 33A, 34A, 35A, Block 12 Country Club Addition
EXISTING LEGAL DESCRIPTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			Remove Existing Driveways New STD C&G	Encino Place	At Four Locations		/	/	/
		12' FF	Remove Existing C&G New Private Entrance Driveway	Encino Place	At South Property Line		/	/	/
		15' FF	Remove Existing C&G New Private Entrance Driveway	Las Lomas Rd	At East Property Line		/	/	/
		3/4" (6 ea)	Water Services	Encino Place	Existing Main	Row Line	/	/	/
		4" (6 ea)	Sanitary Sewer Services	Encino Place	Existing Main	Row Line	/	/	/
		12' Wide (Min.)	Res Pvmnt & Header Curb	20' Private Access Esmt	Encino Place	Las Lomas Rd.	/	/	/
		4'	Sidewalk	Encino Place	South Property Line	Las Lomas Rd.	/	/	/
			Mill and Overlay (2" Asphalt) SAS / WL Connections	Encino Place	South Property Line	Las Lomas Rd.	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>								
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

Project name: Estates at Glendale (DRB 1008656)

9/24/08

- 1 Engineer Certification of the grading plan is required for release of SIA.
- 2 _____
- 3 _____
- 4 _____
- 5 _____
- 6 _____
- 7 _____
- 8 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Diane Hoelzer, PE			
NAME (print)	DRB CHAIR - date	PARKS & GENERAL RECREATION - date	
MARK GOODWIN & ASSOCIATES, PA	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date	
<i>Diane Hoelzer</i> 3/6/12 SIGNATURE - date	UTILITY DEVELOPMENT - date	_____ - date	
	CITY ENGINEER - date	_____ - date	

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): _____ PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: Encino Place LLC PHONE: 848-1820

ADDRESS: 716 Encino Place NE FAX: 848-9710

CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: 2-year extension of SIA recorded 7/27/2007

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 31-A, 31-B, 32-A, 33-A, 34-A & 35-A Block: 12 Unit: _____

Subdiv/Addn/TBKA: Country Club Addition

Existing Zoning: O-1 Proposed zoning: _____ MRGCD Map No _____

Zone Atlas page(s): J-15 UPC Code. 1-015-058-245-041-30418

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

DRB 1004387

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): _____

LOCATION OF PROPERTY BY STREETS: On or Near: East side of Encino Place NE

Between: Las Lomas Rd. NE and Roma Ave. NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Ruth M. Schifani DATE 7/21/2011

(Print) Ruth M. Schifani, Manager Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>110RB-70201</u>	<u>CMF</u>	_____	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	<u>\$ 75.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 145.00</u>

Hearing date Aug. 17, 2011

Planner signature / date [Signature] 7-22-11 Project # 1004387

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Encino Place LLC
Applicant name (print)
Ruth M. Sch. for Mar. 7/21/11
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
LIDRB - 70201

[Signature] 7-22-11
Planner signature / date
Project # 1004387

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from August 2, 2011 To August 17, 2011

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Margie R. Schill Paralegal
(Applicant or Agent)

7-22-2011
(Date)

I issued 2 signs for this application, 7-22-11
(Date)

[Signature]
(Staff Member)

DRB PROJECT NUMBER: 1004387



MODRALL SPERLING

L A W Y E R S

HAND DELIVERED

July 22, 2011

Development Review Board
City of Albuquerque
Plaza del Sol
600 Second Street NW
Albuquerque, NM 87102

Re: Spruce Park – DRB Project No. 1004387
SIA Procedure B - 652281

Margie R. Schell
Paralegal
505.848.1816
Fax: 505.848.1891
margies@modrall.com

Ladies and Gentlemen:

This firm represents Encino Place LLC ("Encino") which recently acquired a portion of the property covered by the above-referenced SIA. We understand the SIA has expired. In order to process the Assignment and Assumption Agreement and replace the Letter of Credit, the SIA must be extended. Encino is in the process of making arrangements for construction of the required subdivision improvements.

Very truly yours,

Margie R. Schell
Paralegal

cc: Encino Place LLC

Y:\dox\client\84858\0001\CORRES\W1515844.DOC

Modrall Sperling
Roehl Harris & Sisk P.A.

Bank of America Centre
500 Fourth Street NW
Suite 1000
Albuquerque,
New Mexico 87102

PO Box 2168
Albuquerque,
New Mexico 87103-2168

Tel: 505.848.1800
www.modrall.com



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

July 20, 2011

Margie Schell, Paralegal
Modrall Sperling
500 4th Street NW/87102
Phone: 505-848-1816/Fax: 505-848-9710

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Margie:

Thank you for your inquiry of July 20, 2011 requesting the names of **ALL Neighborhood and/or Homeowner Associations and Coalitions** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) LOTS 31-A, 31-B, 32-A, 33-A, 34-A AND 35-A, BLOCK 12, COUNTRY CLUB ADDITION, LOCATED ON THE EAST SIDE OF ENCINO PLACE NE BETWEEN LAS LOMAS ROAD NE AND ROMA AVENUE NE** Zone Map: J-15.

Our records indicate that the **Neighborhood and/or Homeowner Associations and Coalitions** affected by this proposal and the contact names are as follows:

SPRUCE PARK N.A. INC. (SPK) "R"

***Valerie J. St. John**

441 Ash St. NE/87106 275-3931 (h)

Robert Westfall

1329 Sigma Chi NE/87106 764-9089 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.

planningrnaform(05/22/08)



MODRALL SPERLING

L A W Y E R S

CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Margie R. Schell
Paralegal
505.848.1816
Fax: 505.848.1891
margies@modrall.com

July 20, 2011

Valerie J. St. John
Spruce Park N.A. Inc.
441 Ash St. NE
Albuquerque, NM 87106

Robert Westfall
Spruce Park N.A. Inc.
1329 Sigma Chi NE
Albuquerque, NM 87106

Re: Extension of SIA
Project #652281 (Spruce Park)
Lots 31-A, 31-B, 32-A, 33-A, 34-A and 35-A, Block 12, Country Club
Addition

Dear Ms. St. John and Mr. Westfall:

We will be submitting an Application to the Planning Department requesting an extension of the above-referenced Subdivision Improvements Agreement (Procedure B) (#652281) on behalf of our client, Encino Place LLC. The property has recently been sold and the existing SIA has expired. In order to process the Assignment and Assumption, the SIA must be extended. The new owner is in the process of making arrangements for construction of the required subdivision improvements. Should you have any questions regarding this request to extend, please contact Ruth Schifani of this office at 848-1820.

Very truly yours,

Margie R. Schell
Paralegal

cc: Encino Place LLC

Y:\dox\client\84858\0001\CORRES\W1515866.DOC

Modrall Sperling
Roehl Harris & Sisk P.A.

Bank of America Centre
500 Fourth Street NW
Suite 1000
Albuquerque,
New Mexico 87102

PO Box 2168
Albuquerque,
New Mexico 87103-2168

Tel: 505.848.1800
www.modrall.com

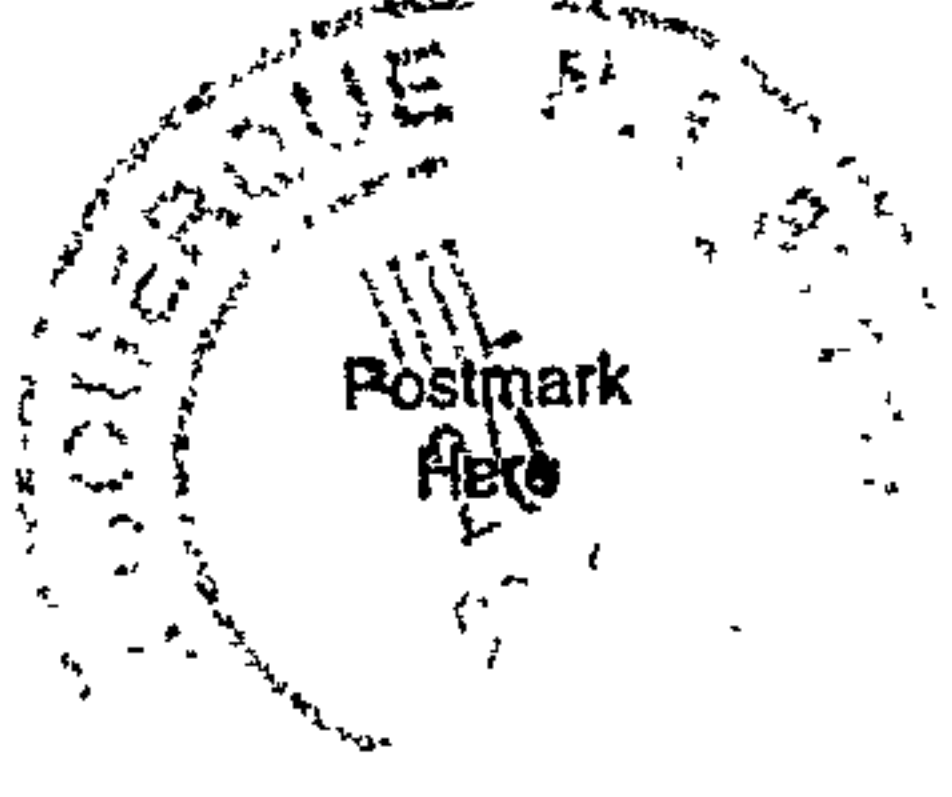
7008 0150 0002 6015 6283
E929 5T09 2000 0510 9002

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MRS- 84858A0001 USE

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$5.59



Sent To Valerie J. St. John
 Street, Apt. No.; or PO Box No. Spruce Park N.A. Inc.
 City, State, ZIP+4 441 Ash St. NE
 Albuquerque, NM 87106

PS Form 3800, August

Instructions

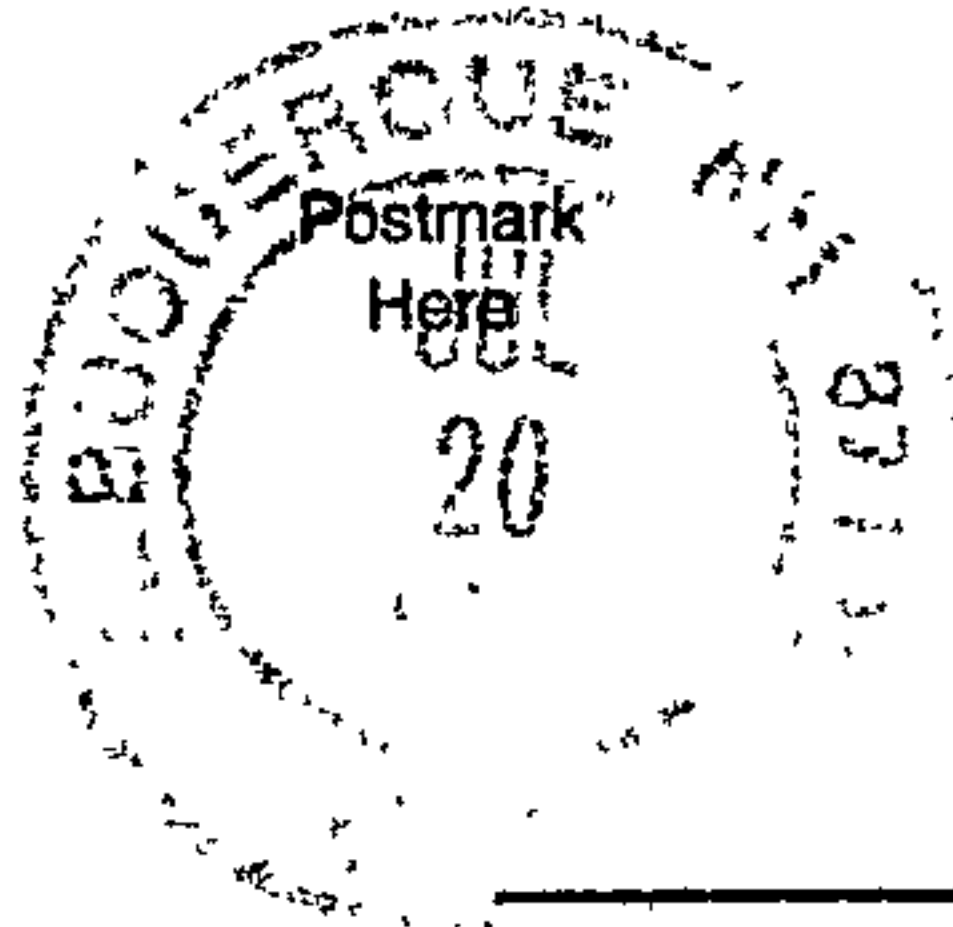
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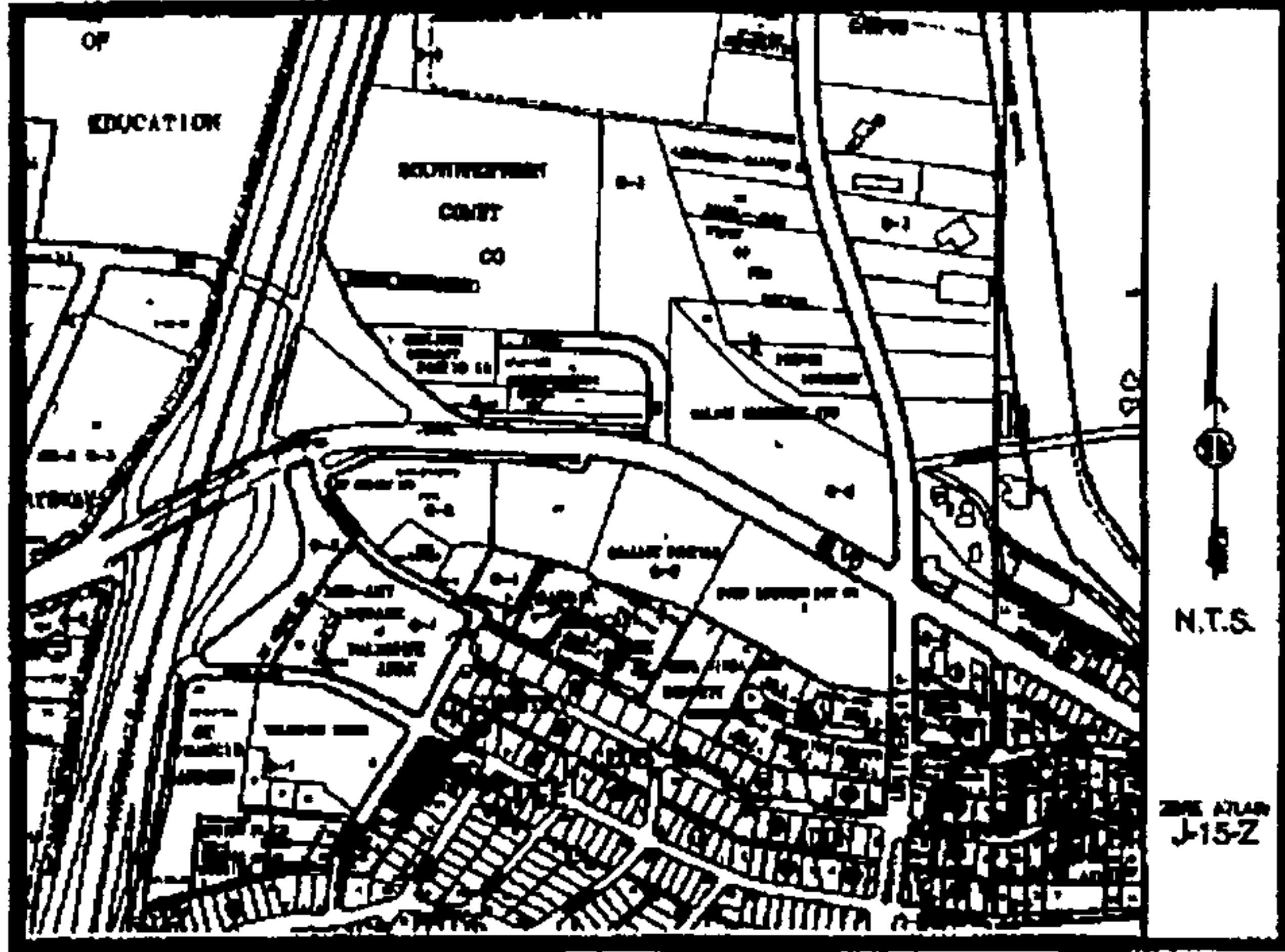


Sent To Robert Westfall
 Street, Apt. No.; or PO Box No. Spruce Park N.A. Inc.
 City, State, ZIP+4 1329 Sigma Chi NE
 Albuquerque, NM 87106

PS Form 3800, Aug

Instructions

TALW LCA # addition 11



Vicinity Map

SUBMISSION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1987, AND ARE BASED ON ACS CONTROL MONUMENTS B-115 AND 10-116, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF COUNTRY CLUB ADDITION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON MARCH 28, 1941 IN VOLUME A, FOLIO 135.
6. GROSS AREA: 0.8185 ACRES
7. NUMBER OF EXISTING LOTS: 6
8. NUMBER OF LOTS CREATED: 8
9. THE PRIVATE LANDSCAPE EASEMENT IS TO BENEFIT LOTS 31-A THRU 35-A AND IS TO BE MAINTAINED BY SAID LOT OWNERS.
10. PROPERTY IS ZONED O-1.
11. THE 20' PRIVATE ACCESS AND DRAINAGE EASEMENT IS FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A AND IS TO BE MAINTAINED BY SAID OWNERS.

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR STRUCTS ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED AS EXHIBIT B, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 22, 2007 DOC. #2007121237.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: 050582913220412
PROPERTY OWNER OF RECORD
Suzanne Park, LLC
BERNALILLO COUNTY TREASURERS OFFICE
9-4-07

LEGAL DESCRIPTION

Lots numbered Thirty-one (31) through Thirty-five (35) inclusive in Block numbered Twelve (12) of the Country Club Addition to the City of Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 28, 1941 in Plat Book A, page 126 TOGETHER with a portion of vacated Las Lomas Road N.E. right-of-way and being more particularly described as follows:
BEGINNING at a point on the North property line, being a point on the South right-of-way of Las Lomas Road N.E., whence City of Albuquerque, ACS monument B-116 bears N 89° 10' 28" E, 1847.48 feet distant; thence along said right-of-way S 82° 48' 08" E, 107.81 feet to the northwest corner; thence leaving said right-of-way S 33° 35' 37" W, 288.81 feet to the southeast corner; thence N 89° 34' 08" W, 185.00 feet to the southwest corner, being a point on the East right-of-way of Encino Place N.E.; thence along said right-of-way N 37° 25' 57" E, 284.88 feet to a point of curvature to the right having a central angle 82° 38' 07", with a radius of 80.00 feet, a distance of 28.18 feet (chord bearing N 75° 23' 28" E, 85.08 feet) to the point of intersection with the south right-of-way of Las Lomas Road N.E., and point of beginning and containing 0.8185 acres, more or less.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LOTS 31-35 AS SHOWN AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN.

OWNER(S) SIGNATURE: Judith C. Schrab DATE: 3/12/07
OWNER(S) PRINT NAME: Judith C. Schrab
ADDRESS: 1 Buffalo Creek, Santa Fe, NM 87506 TRACT:
ACKNOWLEDGMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12TH DAY OF MARCH, 2007.
BY: JUDITH C. SCHRAB, Member, Spruce Park, LLC
MY COMMISSION EXPIRES: 12/31/09 Sarah Amado
NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
3. CONSENT FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND FIBER OPTICS AND CABLES.
4. CONSENT CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL, DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN, OR NEAR EASEMENTS SHOWN ON THIS PLAT.

UTILITY APPROVALS

Lead W. Mark 3-15-07
P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICES DATE
Donnell R. ... 3/19/07
QUEST COMMUNICATIONS DATE
Suzanne Park 3-19-07
COMBUST CABLE DATE

PROJECT NO. 0512P005
DRAWN BY FGR
ZONE ATLAS: J-15-Z
718ENCNO.005

PLAT OF
LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12
COUNTRY CLUB ADDITION
PROJECTED SECTION 16, T. 10 N., R. 3 E., N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2007
SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO RECONFIGURE FIVE (5) EXISTING LOTS INTO SIX (6) NEW LOTS, TO GRANT ADDITIONAL EASEMENTS AND TO VACATE A PORTION OF LAS LOMAS ROAD N.E. AS SHOWN HEREON.

CITY APPROVALS: PROJECT NO.: 1004387 APPLICATION NO. 07268-00355

<u>[Signature]</u>	3-13-07
CITY SURVEYOR	DATE
<u>[Signature]</u>	3-28-07
TRAFFIC ENGINEERING	DATE
<u>Christina Sandoval</u>	3/22/07
PARKS & RECREATION DEPARTMENT	DATE
<u>[Signature]</u>	
WATER UTILITIES DEVELOPMENT - ABCWA	DATE
<u>Bradley L. Bingham</u>	3/22/07
A.M.A.F.C.A.	DATE
<u>Bradley L. Bingham</u>	3/22/07
CIVIL ENGINEER	DATE
<u>[Signature]</u>	3/27/07
OPS CHAIRPERSON, PLANNING DEPARTMENT	DATE
<u>[Signature]</u>	3-22-07
REAL PROPERTY DIVISION	DATE

DOCS 287127148
PLAT 1215 AS OF 03/27/07 1:04 P
MAY 07 10:50 AM 2007 BERNALILLO COUNTY

SURVEYOR'S CERTIFICATION

I, Mitchell W. Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, show all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown herein, utility companies and other parties representing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 03-12-07
Mitchell W. Reynolds
New Mexico Professional Surveyor, 11224
Date

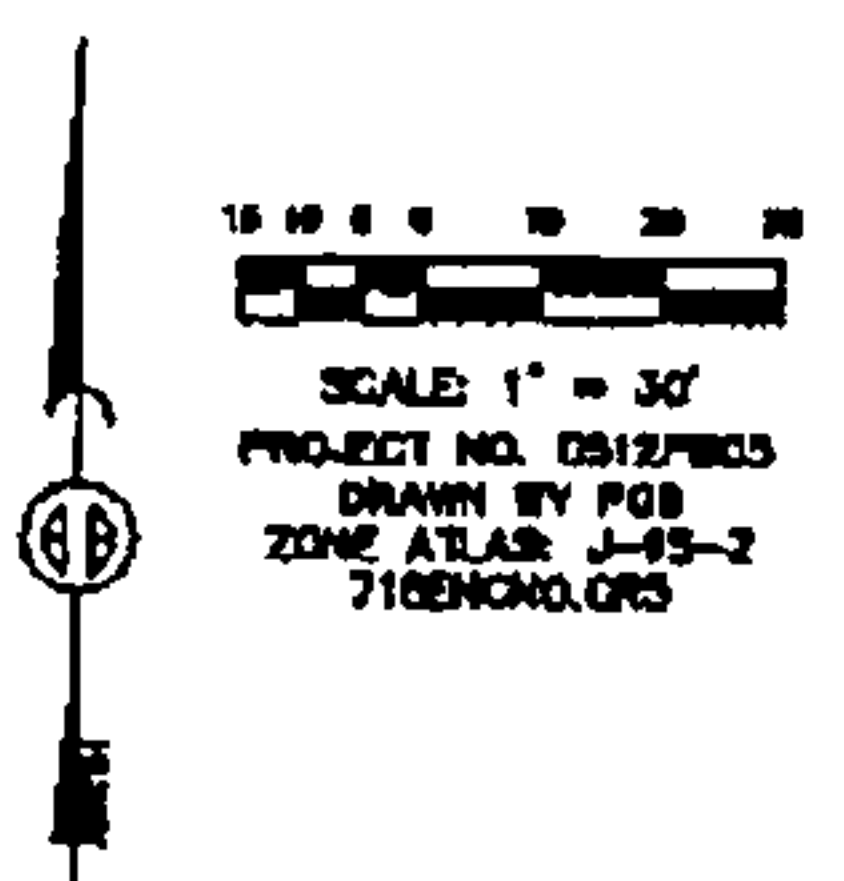


SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102
PHONE: (505) 998-0303
FAX: (505) 998-0305

T10N R3E SEC. 16

**PLAT OF
 LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12
 COUNTRY CLUB ADDITION
 PROJECTED SECTION 16, T. 10 N., R. 3 E., N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 2007
 SHEET 2 OF 2**

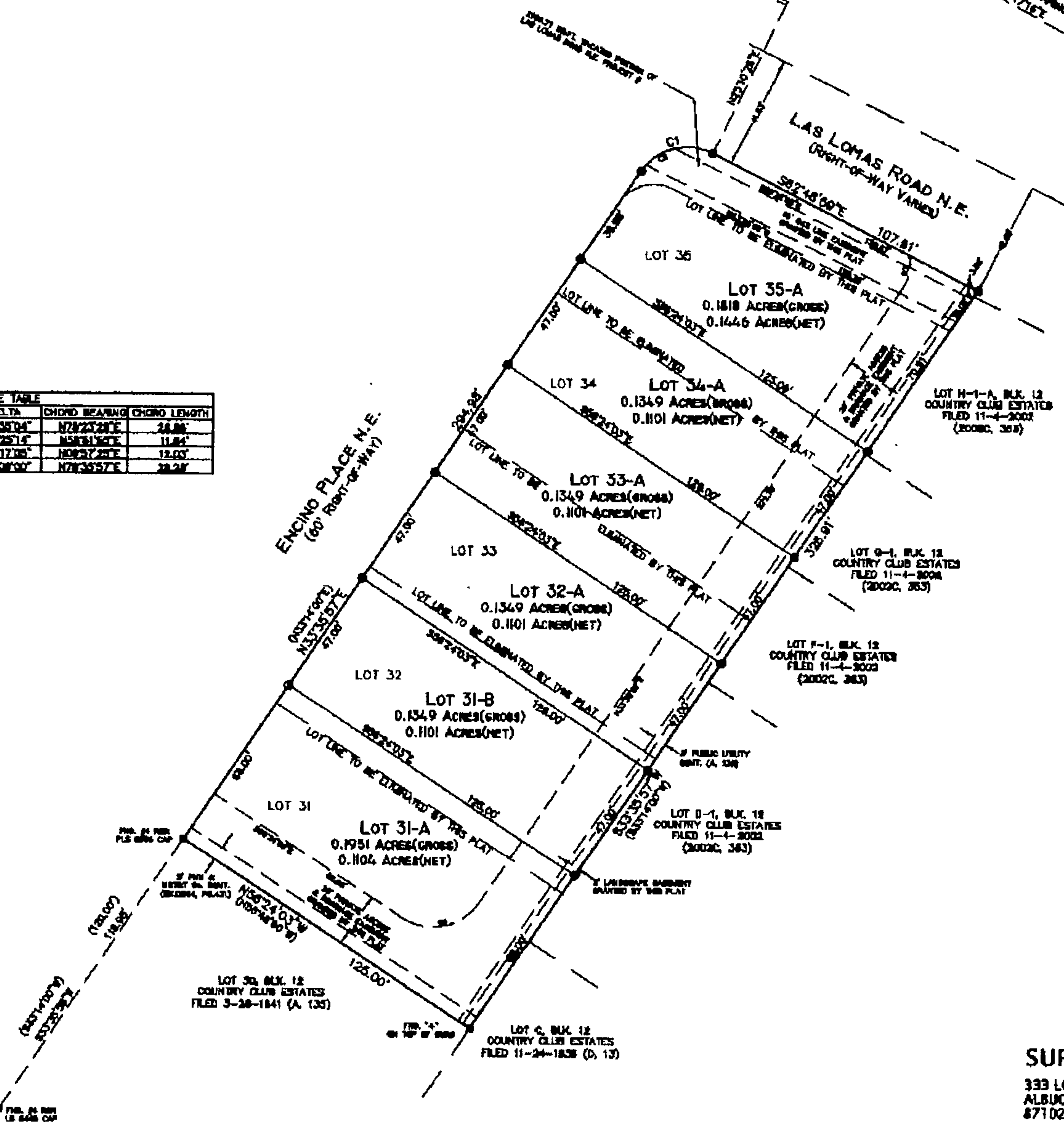


SCALE: 1" = 30'
 PROJECT NO. 05127803
 DRAWN BY PGB
 ZONE ATLAS: J-45-2
 710ENCRD.ORS

STATION: ACB 8-95
 X = 288822.06
 Y = 148822.06
 GROUND TO GRID = 0.00007128
 DELTA ALPHA = -0011204"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1983

STATION: ACB 10-106
 X = 322777.86
 Y = 148827.86
 GROUND TO GRID = 0.00007040
 DELTA ALPHA = -0011202"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1983

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	28.11'	63°35'04"	N78°23'28"E	28.86'
C2	20.00'	12.02'	34°25'14"	N58°51'56"E	11.84'
C3	15.00'	12.38'	47°17'38"	N69°57'25"E	12.03'
C4	20.00'	31.47'	80°06'00"	N78°35'57"E	28.24'



BOOK 2887127148
 PAGE 275, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

MONUMENT LEGEND
 △ - FOUND CONTROL STATION AS NOTED
 □ - FOUND MONUMENT AS NOTED
 ● - SET 1/2" NEONAR W/ YELLOW PLASTIC CAP STAMPED "CRISMO LIBRARI" UNLESS OTHERWISE NOTED

SURVEYS SOUTHWEST, LTD.
 333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306
T10N R3E SEC. 16

No. of Lots:
Nearest Major Streets

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

Spruce Park

CPN 652281

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 27th day of July, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Spruce Park, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] New Mexico limited liability company, whose address is 7700 Ouray NW, Albuquerque, NM 87120 whose telephone number is 833-1840, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] SEE ATTACHED, recorded on _____ in the records of the Bernalillo County Clerk at Book _____, pages _____ through _____ (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Spruce Park, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Spruce Park describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 15th of June 2009 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 652281.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by ALS, Inc., and construction surveying of the private Improvements shall be performed by N/A. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Mark Goodwin & Associates, PA, and inspection of the private Improvements shall be performed by N/A, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider

shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geo-Test, and field testing of the private Improvements shall be performed by N/A, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty:	<u>Loan Reserve Letter #2455</u>
Amount: \$ <u>67,908.45</u>	Name of Financial Institution or Surety
providing Guaranty:	<u>First Community Bank</u>
Date City first able to call Guaranty:	<u>June 15, 2009</u>
Construction Completion Deadline:	<u>June 15, 2009</u>
If Guaranty other than a Bond, last day City able to call Guaranty:	<u>August 15, 2009</u>
Additional Information:	<u></u>

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange for a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Legal Description
Spruce Park

Lots 31 - 35, Block 12, Country Club Addition filed in the office of the Bernalillo County Clerk March 26, 1941, Book A, Page 135

Together with

A portion of vacated Las Lomas Road NE right-of-way.



MODRALL SPERLING

L A W Y E R S

HAND DELIVERED

July 22, 2011

Development Review Board
City of Albuquerque
Plaza del Sol
600 Second Street NW
Albuquerque, NM 87102

Re: Spruce Park – DRB Project No. 1004387
SIA Procedure B - 652281

Margie R. Schell
Paralegal
505.848.1816
Fax: 505.848.1891
margies@modrall.com

Enclosed are the following documents regarding the above-referenced project.
They are:

1. Our check in the amount of \$145.00 to cover the cost of filing the enclosed Development Review Application.
2. Development Review Application to extend SIA an additional two years. The original and/or file numbers are listed on the enclosed Application.
3. Copy of zone atlas map J15 with property outlined and crosshatched.
4. Modrall Sperling letter addressed to the Development Review Board dated July 21, 2011 describing and justifying request.
5. Modrall Sperling letter dated July 20, 2011 addressed to those members of the neighborhood associations listed on the inquiry response from the Office of Community & Neighborhood Coordination.
Attached to this letter are copies of the certified mail receipts.
5. Copy of current plat reduced to 8½" x 11".
6. Copy of the Official DRB Notice (DRB Project # 1004387) **and** a copy of the Official DRB Notice 09DRB-70228 Major.
7. Copy of the SIA recorded July 27, 2007 which includes a copy of the approved Infrastructure List.
8. Copy of the First Extension Agreement recorded September 21, 2009.
9. Copy of the Office of Community & Neighborhood Coordination inquiry response.

Modrall Sperling
Roehl Harris & Sisk P.A.

Bank of America Centre
500 Fourth Street NW
Suite 1000
Albuquerque,
New Mexico 87102

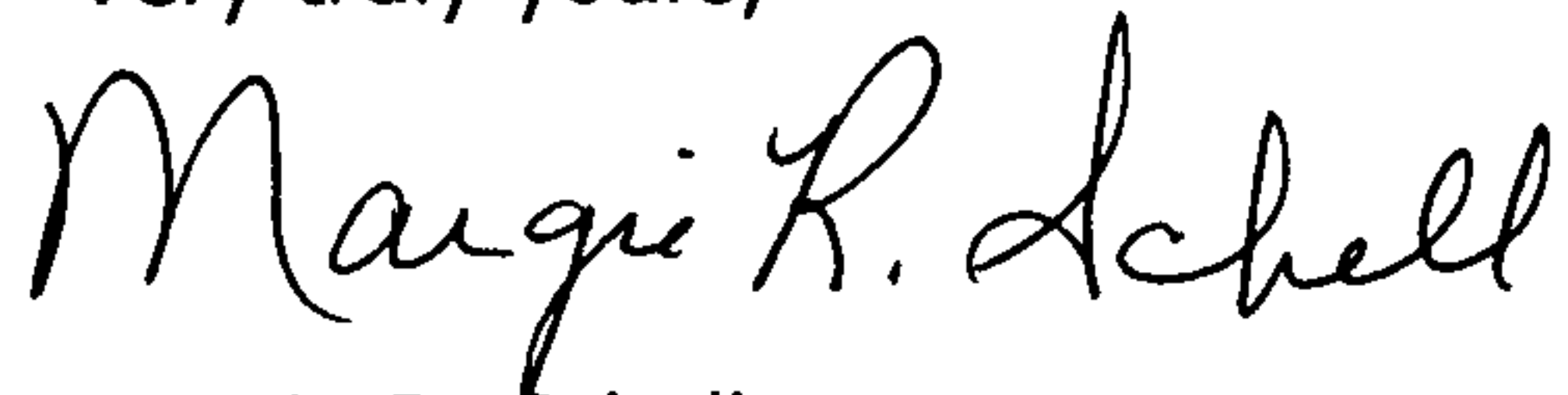
PO Box 2168
Albuquerque,
New Mexico 87103-2168

Tel: 505.848.1800
www.modrall.com

Development Review Board
City of Albuquerque
July 21, 2011
Page 2

Please let me know if you have any questions or need additional information regarding this matter. Thank you.

Very truly yours,



Margie R. Schell
Paralegal

Enclosures

cc without Enclosures : Kevin J. Curran, Assistant City Attorney
City of Albuquerque
Planning Department

Marilyn E. Maldonado
Contract Specialist
City of Albuquerque

Encino Place LLC



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 18, 2007

- 5. Project # 1004387**
07DRB-00334 Major-Vacation of Pub Right-of-Way
07DRB-00335 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] [*Deferred from 04/11/07, Indef defer 4/18/07*] (J-15)

At the April 18, 2007, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

With the signing of the infrastructure list dated 4/18/07 and approval of the grading plan engineer stamp dated 10/13/06 the preliminary plat was approved. The final plat was indefinitely deferred for the SIA.

If you wish to appeal this decision, you must do so by May 3, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.



OFFICIAL NOTICE OF DECISION

PAGE 2

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

for Sheran Matson, AICP, DRB Chair

Cc: Judith C Schaab, 1 Buffalo Ct, Placitas, NM 87043
Surveys Southwest Ltd., 333 Lomas Blvd NE, 87102
Robert Westfall, 1329 Sigma Chi NE, 87106
Joyce Cooper, 633 Cedar NE, 87106
Bill Kraemer, 200 Lomas NW, Suite #1111, 87102
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 29, 2009

Project # 1004387

09DRB-70228 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
AGREEMENT
(2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for SPRUCE PARK LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31A, 31B, 32A, 33A, 34A & 35A, Block(s) 12, **COUNTRY CLUB ADDITION** zoned O-1, located on the east side of ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre(s). (J-15)

At the July 29, 2009, Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 13, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Mark Goodwin & Associates PA – P.O. Box 90606 – Albuquerque, NM 87199
Cc: Spruce Park LLC – 7700 Ouray NW – Albuquerque, NM 87120
Marilyn Maldonado
File

Current DRC
Project Number:

FIGURE 12

INFRASTRUCTURE LIST

(Per DRB 10)

EXHIBIT "A"

TO SUBMISSION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOT 31A, 31B, 32A, 33A, 34A, 35A, BLOCK 12, COUNTRY CLUB ADDITION

LOTS 31 thru 35, BLOCK 12, COUNTRY CLUB ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATING ACTION

Date Submitted: 3/6/07
Date Site Plan Approved:
Date Preliminary Plat Approved: 04/18/07
Date Preliminary Plat Expires: 04/18/08
DRB Project No.: 1004387
DRB Application No.: 01DRB-00335

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. Using the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that supplemental items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that supplemental or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and applicant. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and checked by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Seal Engineer
<input type="checkbox"/>	<input type="checkbox"/>	-	REMOVE EXISTING DRIVEWAYS, INSTALL STD C&G	ENCINO PLACE (A)		4 LOCATIONS			
<input type="checkbox"/>	<input type="checkbox"/>	12' x 12'	REMOVE EXISTING C&G, INSTALL PRIV. ENTRANCE DETAIL	ENCINO PLACE		@ SOUTH PROPERTY LINE			
<input type="checkbox"/>	<input type="checkbox"/>	15' x 15'	REMOVE EXISTING F&G, INSTALL PRIV. ENTRANCE DETAIL (MODIFIED)	LAS PALMAS		@ EAST PROPERTY LINE			
<input type="checkbox"/>	<input type="checkbox"/>	6" x 4"	Water Services	ENCINO PLACE	EXISTING MAIN	ROW LINE			
<input type="checkbox"/>	<input type="checkbox"/>	6" x 4"	Sanitary Sewer Services	ENCINO PLACE	EXISTING MAIN	5' EAST OF ROW LINE			
<input type="checkbox"/>	<input type="checkbox"/>	VARIABLE 18" MIN	RAISED ACCESS RD w/ CURBS	10 ACCESS ESMT	ENCINO PLACE	LAS LOMAS RD			
<input type="checkbox"/>	<input type="checkbox"/>	51-6" MIN	DECORATIVE SIDEWALK	ENCINO PLACE	SOUTH PROPERTY LINE	LAS LOMAS RD			
<input type="checkbox"/>	<input type="checkbox"/>		pile of infill at Mill & Study EXHIBIT "A"	ENCINO PLACE					

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City Dept Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed	Constructed Under DRG #	Size	Type of Improvement	Location	From	To	Approval of Creditable Items:	Impact Fee Administrator Signature	Date	Approval of Creditable Items:	City User Dept. Signature	Date

NOTES
 If the site is located in a floodplain, then the financial guarantees will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

1
 2
 3
 Engineer certification of the grading plan is reqd for release of SIA (see)

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT / OWNER: J.J. JAMES BORDENAVE
 NAME (PRINT): J.J. JAMES BORDENAVE
 SIGNATURE: [Signature]
 DATE: 4-18-07

AGENT / OWNER: Christian Sandoval
 NAME (PRINT): CHRISTINA SANDOVAL
 SIGNATURE: [Signature]
 DATE: 4/18/07

AGENT / OWNER: Bob Grady
 NAME (PRINT): BOB GRADY
 SIGNATURE: [Signature]
 DATE: 4-18-07

AGENT / OWNER: [Signature]
 NAME (PRINT): [Signature]
 SIGNATURE: [Signature]
 DATE: 4/18/07

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT / OWNER

APR 24 '07 09:10AM

15

FIGURE 18

^{1st} EXTENSION AGREEMENT
Procedure "B"
PROJECT NO. 652281

Spruce Park

This Agreement made this 17th day of September, 2009, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider:) Spruce Park, LLC ("Developer"), whose address is 7700 Ouray NW, Albuquerque, NM 87120 and whose telephone number is (505) 833-1840 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Developer entered into an Agreement on the 27th day of July 2007, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on July 27, 2007, at Document No. 2007109288, pages 1 through 7, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 15th day of June 2009; and

~~WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated _____ recorded _____, in Book Misc. _____, pages _____ through _____, records of Bernalillo County, New Mexico, extending the construction deadline to _____, and~~

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B:)

A. for all improvements, the 15th day of June 2011.

B. on portions of the improvements as follows:

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
_____	_____
_____	_____
_____	_____



2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: 1st Amendment to Loan Reserve Letter 2455
Amount: \$ 67,908.45 Name of Financial Institution or Surety
providing Guaranty: First Community Bank
Date City first able to call Guaranty (Construction Completion
Deadline): June 15, 2011
If Guaranty other than a Bond, last day City able to call Guaranty
is: August 15, 2011
Additional information: _____

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER: **Spruce Park, LLC**

By (Signature): *Judith Settle*
Name: Judith Settle
Title: Managing Member
Dated: 8/31/09

CITY OF ALBUQUERQUE:

Phil De...
City Engineer
Dated: 9-17-09

Use 9/15/09

W
9-15-09

DEVELOPER'S NOTARY

STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo

This instrument was acknowledged before me on 3rd day of Aug, 2009 by
(name of person:) Judith Settle, (title or capacity, for instance, "President"
or "Owner") managing member of (Developer:) Spruce Park, LLC.



OFFICIAL SEAL Susan Rasinski
Notary Public
SUSAN RASINSKI
NOTARY PUBLIC-STATE OF NEW MEXICO

My Commission Expires
9-10-2012

My commission expires: _____

CITY'S NOTARY

STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo

This instrument was acknowledged before me on 17th day of September,
2009 by Richard Dourte, City Engineer of the City of Albuquerque, a
municipal corporation, on behalf of said corporation.

Richard Dourte
Notary Public

My Commission Expires:
10-07-13

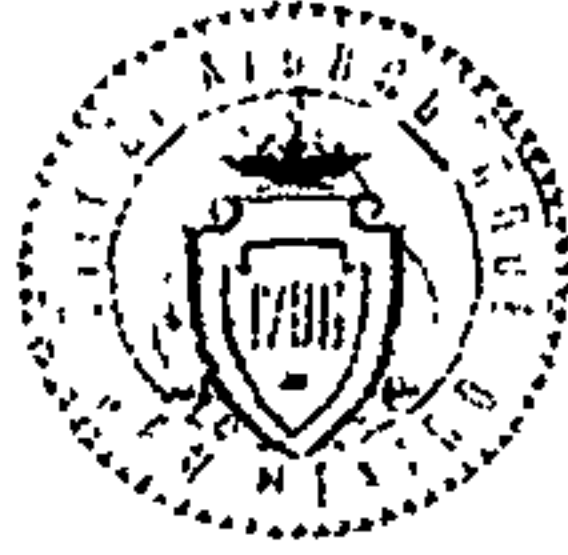


EXHIBIT "A" ?

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 29, 2009

Project # 1004387

09DRB-70228 MAJOR - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS
AGREEMENT
(2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for SPRUCE PARK LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 31A, 31B, 32A, 33A, 34A & 35A, Block(s) 12, **COUNTRY CLUB ADDITION** zoned O-1, located on the east side of ENCINO PL NE between LAS LOMAS RD NE and ROMA AVE NE containing approximately .9165 acre(s). (J-15)

At the July 29, 2009, Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 13, 2009, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Mark Goodwin & Associates PA – P.O. Box 90606 – Albuquerque, NM 87199
Cc: Spruce Park LLC – 7700 Ouray NW – Albuquerque, NM 87120
Marilyn Maldonado
File



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mark Goodwin & Associates PA PHONE: 828-2200

ADDRESS: P.O. Box 9060 FAX: _____

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Spruce Park LLC PHONE: 833-1840

ADDRESS: 7700 Duray NW FAX: _____

CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: _____

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: 2 year extension of SIA
(Spruce Park Compound)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 31A, 31B, 32A, 33A, 34A, 35A Block: 12 Unit: _____

Subdiv/Addn/TBKA: Country Club Addition

Existing Zoning: O-1 Proposed zoning: _____ MRGCD Map No _____

Zone Atlas page(s): J:15 UPC Code: 101505B2530530415

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1004387

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no

No. of existing lots: 6 No. of proposed lots: 6 Total area of site (acres): 0.9165

LOCATION OF PROPERTY BY STREETS: On or Near: Encino NE

Between: Las Lomas NE and Roma NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Mark Goodwin DATE 6.8.09

(Print) John M. Mackenzie, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09DRB 70228</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>07/29/09</u>			Total <u>\$ 145.00</u>

Sandy Handley 07/02/09
Planner signature / date

Project # 1004387

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

for John M. Mackenzie, PE
 Applicant name (print)
Mark Smith
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
09DRB-70228

Sandy Handley 07/02/09
 Planner signature / date
 Project # 1004387



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~

June 8, 2009

Mr. Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Spruce Park Compound (1004387)

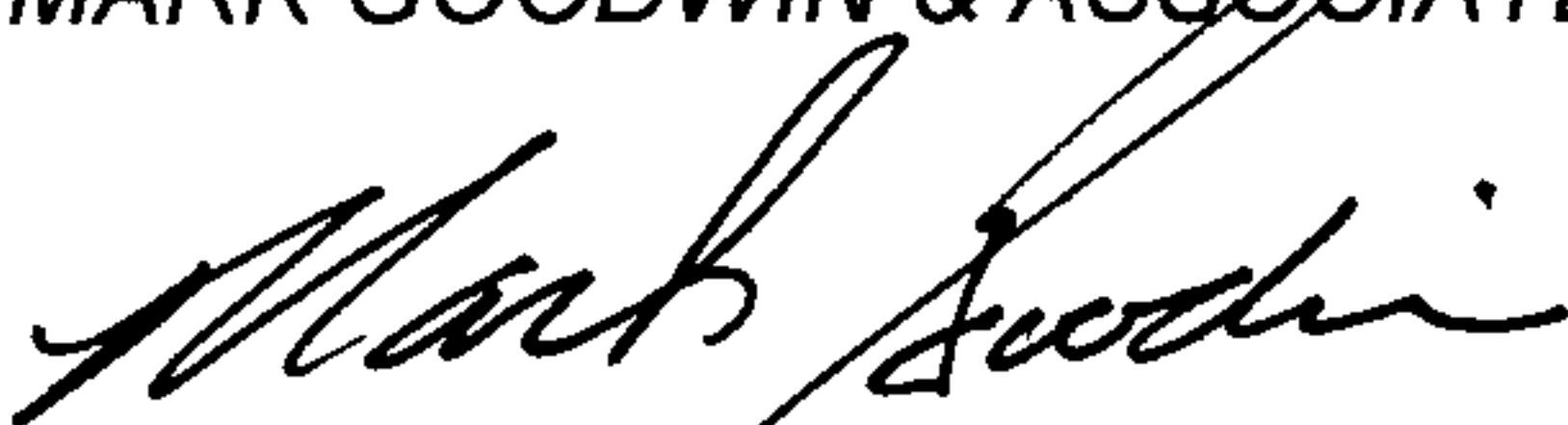
Dear Mr. Cloud:

On behalf of our client, Spruce Park, LLC, and the requirements of the DPM we are submitting the following DRB application. We are requesting a 2-year extension of the Subdivision Improvements Agreement. Due to the current economy this project was put on hold.

Please contact our office if you have any questions or comments.

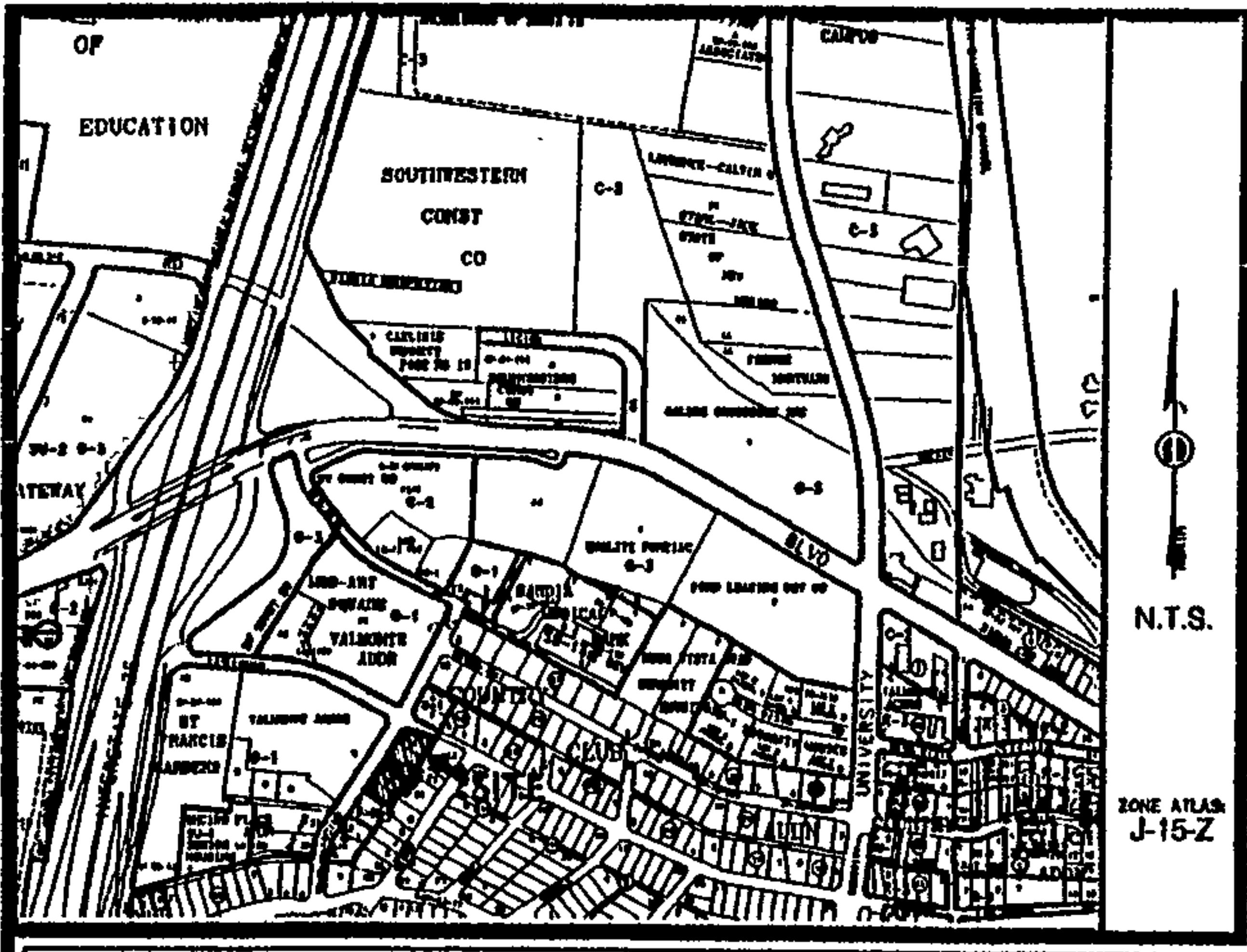
Sincerely,

MARK GOODWIN & ASSOCIATES, PA

for 
John M. MacKenzie, PE
Vice President

JMM/sr

Attachments



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS 9-J16 AND 10-J15, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF COUNTRY CLUB ADDITION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON MARCH 28, 1941 IN VOLUME A, FOLIO 135.
6. GROSS AREA: 0.9165 ACRES
7. NUMBER OF EXISTING LOTS: 5
8. NUMBER OF LOTS CREATED: 6
9. THE PRIVATE LANDSCAPE EASEMENT IS TO BENEFIT LOTS 31-A THRU 35-A AND IS TO BE MAINTAINED BY SAID LOT OWNERS.
10. PROPERTY IS ZONED O-1.
11. THE 20' PRIVATE ACCESS AND DRAINAGE EASEMENT IS FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A AND IS TO BE MAINTAINED BY SAID OWNERS.

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED AS EXHIBIT B, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 22, 2007 DOC. #2007121237.

LEGAL DESCRIPTION

Lots numbered Thirty-one (31) through Thirty-five (35) inclusive in Block numbered Twelve (12) of the Country Club Addition to the City of Albuquerque, New Mexico as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 28, 1941 in Plat Book A, page 135 TOGETHER with a portion of vacated Las Lomas Road N.E. right-of-way and being more particularly described as follows:
 BEGINNING at a point on the North property line, being a point on the South right-of-way of Las Lomas Road N.E.; whence City of Albuquerque, ACS monument 9-J16 bears N 25° 10' 26" E, 1347.43 feet distant; thence along said right-of-way S 62° 48' 58" E, 107.91 feet to the northeast corner; thence leaving said right-of-way S 33° 35' 57" W, 328.91 feet to the southeast corner; thence N 58° 24' 03" W, 125.00 feet to the southwest corner, being a point on the East right-of-way of Encino Place N.E.; thence along said right-of-way N 33° 35' 57" E, 204.98 feet to a point of curvature to the right having a central angle of 63° 35' 04", with a radius of 20.00 feet, a distance of 29.18 feet (chord bearing N 75° 23' 20" E, 28.66 feet) to the point of intersection with the south right-of-way of Las Lomas Road N.E., and point of beginning and containing 0.9165 acres, more or less.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LOTS 31-35 AS SHOWN AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN.

OWNER(S) SIGNATURE: Judith C. Schaab DATE: 3/12/07
 OWNER(S) PRINT NAME: Judith C. Schaab
 ADDRESS: 1 Buffalo Court, Albuquerque, NM 87103 TRACT:
 ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12TH DAY OF MARCH, 2007.
 BY: JUDITH C. SCHAAB, MEMBER, SPRUCE PARK, LLC
 MY COMMISSION EXPIRES: 10/31/09 Sarah Amato
 NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN, OR NEAR EASEMENTS SHOWN ON THIS PLAT.

UTILITY APPROVALS

Lead S. Mark 3-15-07
 P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICES DATE
Donnell R. O'Connell 3/29/07
 QWEST COMMUNICATIONS DATE
Brian Buben 3-19-07
 COMCAST CABLE DATE

PLAT OF
 LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12
 COUNTRY CLUB ADDITION
 PROJECTED SECTION 16, T. 10 N., R. 3 E., N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 2007
 SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO RECONFIGURE FIVE (5) EXISTING LOTS INTO SIX (6) NEW LOTS, TO GRANT ADDITIONAL EASEMENTS AND TO VACATE A PORTION OF LAS LOMAS ROAD N.E. AS SHOWN HEREON.

CITY APPROVALS: PROJECT NO.: 1004387 APPLICATION NO. 07 DAB-00335

[Signature] 3-13-07
 CITY SURVEYOR DATE
[Signature] 3-22-07
 TRAFFIC ENGINEERING DATE
Christina Sandoval 3/22/07
 PARKS & RECREATION DEPARTMENT DATE
Rogel Hernandez
 WATER UTILITIES DEVELOPMENT- ABCWUA DATE
Bradley L. Bingham 8/22/07
 A.M.A.F.C.A. DATE
Bradley L. Bingham 8/22/07
 CITY ENGINEER DATE
[Signature] 8/27/07
 DRP CHAIRPERSON, PLANNING DEPARTMENT DATE
[Signature] 8-22-07
 REAL PROPERTY DIVISION DATE

DOC# 2007127148
 03/04/2007 10:25 AM Page 1 of 3
 PLAT # 312 00 0 2007C 0 0206 8
 TOLUOSE, BERNALILLO COUNTY
 NEW MEXICO

SURVEYOR'S CERTIFICATION

I, Mitchell W Reynolds, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Mitchell W. Reynolds 03-12-07
 Mitchell W. Reynolds Date
 New Mexico Professional Surveyor, 11224



SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T10N R3E SEC. 16

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: 10505 823503230412
 PROPERTY OWNER OF RECORD:
SPRUCE PARK, LLC
 BERNALILLO COUNTY TREASURER'S OFFICE:
[Signature] 9-4-07

PROJECT NO. 0512PB05
 DRAWN BY PCB
 ZONE ATLAS: J-15-Z
 718ENCRS

Date Submitted: 3/6/07

Date Site Plan Approved:

Date Preliminary Plat Approved: 04/18/07

Date Preliminary Plat Expires: 04/18/08

DRB Project No.: 10043817

DRB Application No.: 01PRB-00335

INFRASTRUCTURE LIST

(Per 92.010)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOT 31A, 31B, 32A, 33A, 34A, 35A, Block 12, Quarter Club Addition
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOTS 31 thru 35, Block 12, Country Club Addition
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that applicant items and/or unforeseen items have not been included in the Infrastructure Listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that applicant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantee. All such revisions require approval by the DRC Chair, the User Department and applicant. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be incorporated project expenses and those set out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	P.E.
		-	REMOVE EXISTING DRIVEWAY, INSTALL STD C&G	ENCINO PLACE (4)			/	/
		10' x 6'	REMOVE EXISTING C&G, INSTALL PERM. ENTRANCE DETAIL	ENCINO PLACE		@ SOUTH PROPERTY LINE	/	/
		15' x 6'	REMOVE EXISTING C&G, INSTALL PERM. ENTRANCE DETAIL (MODIFIED)	LAS PALMAS RD		@ EAST PROPERTY LINE	/	/
		6'-3"	Water Services	ENCINO PLACE	EXISTING MAIN	ROW LINE	/	/
		6'-4"	Sanitary Sewer Services	ENCINO PLACE	EXISTING MAIN	5' EAST OF ROW LINE	/	/
		VARIES (MIN 12" MIN)	PAVED ACCESS RD w/ CURBS	IN ACCESS	ENCINO PLACE	LAS LOMAS RD	/	/
		5'-6" MIN	DECORATIVE SIDEWALK	ENCINO PLACE	SOUTH PROPERTY LINE	LAS LOMAS RD	/	/
			filled in lot of misc. utility	service connection			/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRIC #	Constructed Under DRIC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Cust Engineer
							/	/
							/	/

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____
 City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

1
 2
 3
 Engineer certification of the grading plan is reqd for release of SIA (see)

AGENT / OWNER

J. J. JAKE BORDENAVE
 NAME (PRINT)

BORDENAVE DESIGNS
 FIRM

[Signature]
 SIGNATURE - date

Dga Grancy Surveys & Seathurst
 [Signature] 4.18.07
 PITTENGRIVER - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] - 4/18/07
 CHAIR - date

[Signature] 4/18/07
 TRANSPORTATION DEVELOPMENT - date

[Signature] 4/20/07
 UTILITY DEVELOPMENT - date

[Signature] 4/18/07
 PITTENGRIVER - date

[Signature] 4/18/07
 PARKS & RECREATION - date

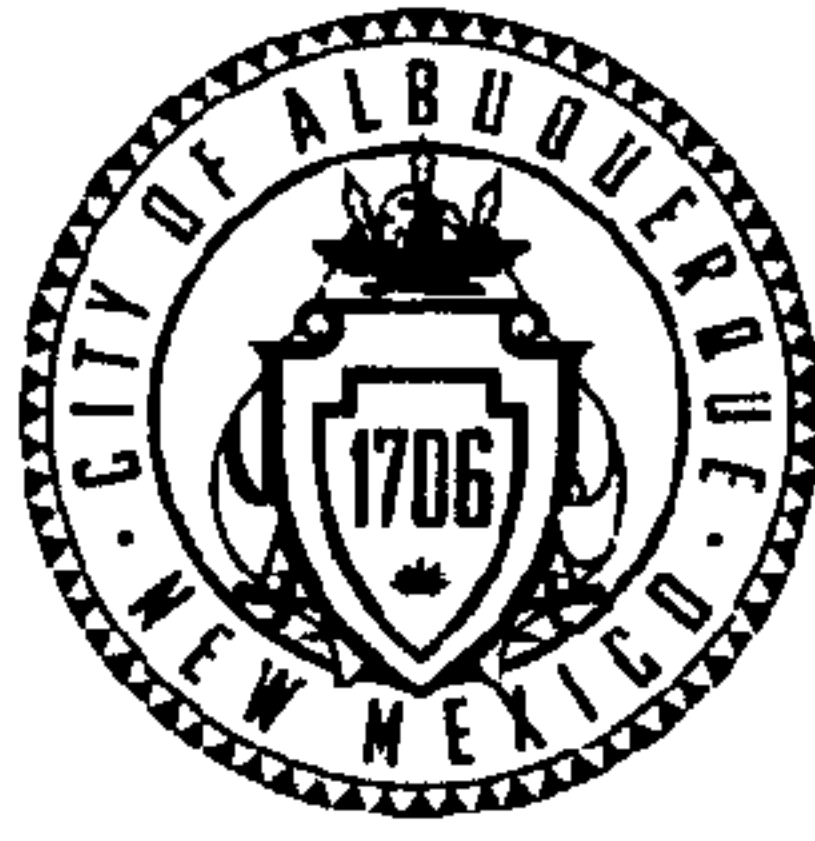
AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT / OWNER



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

June 9, 2009

Susan Rasinski
Mark Goodwin and Associates, PA
P.O. Box 90606/87199
Phone: 828-2200/Fax: 797-9539
E-mail: susan@goodwinengineers.com

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Susan:

Thank you for your inquiry of June 9, 2009 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) - LOTS 34-35, BLOCK 12, COUNTRY CLUB ADDITION, LOCATED ON ENCINO NE BETWEEN LAS LOMAS NE AND ROMA NE** zone map **J-15**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SPRUCE PARK N.A. INC. (SPK) "R"

Daniel Laird

603 Cedar NE/87106 766-7696 (h)

Bart Chimenti

1502 Roma NE/87106 293-6734 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningrnaform(11/23/07)



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~

July 1, 2009

Mr. Daniel Laird
Spruce Park NA, Inc.
603 Cedar NE
Albuquerque, NM 87106

Mr. Bart Chimenti
Spruce Park NA, Inc.
1502 Roma NE
Albuquerque, NM 87106

Re: Spruce Park Compound

Dear Mr. Laird and Mr. Chimenti:

Enclosed please find a copy of the DRB Application requesting a 2 year extension of the SIA for the referenced project. The anticipated date to be heard is August 5, 2009. Please contact John M. MacKenzie of our office if you have any questions or concerns.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

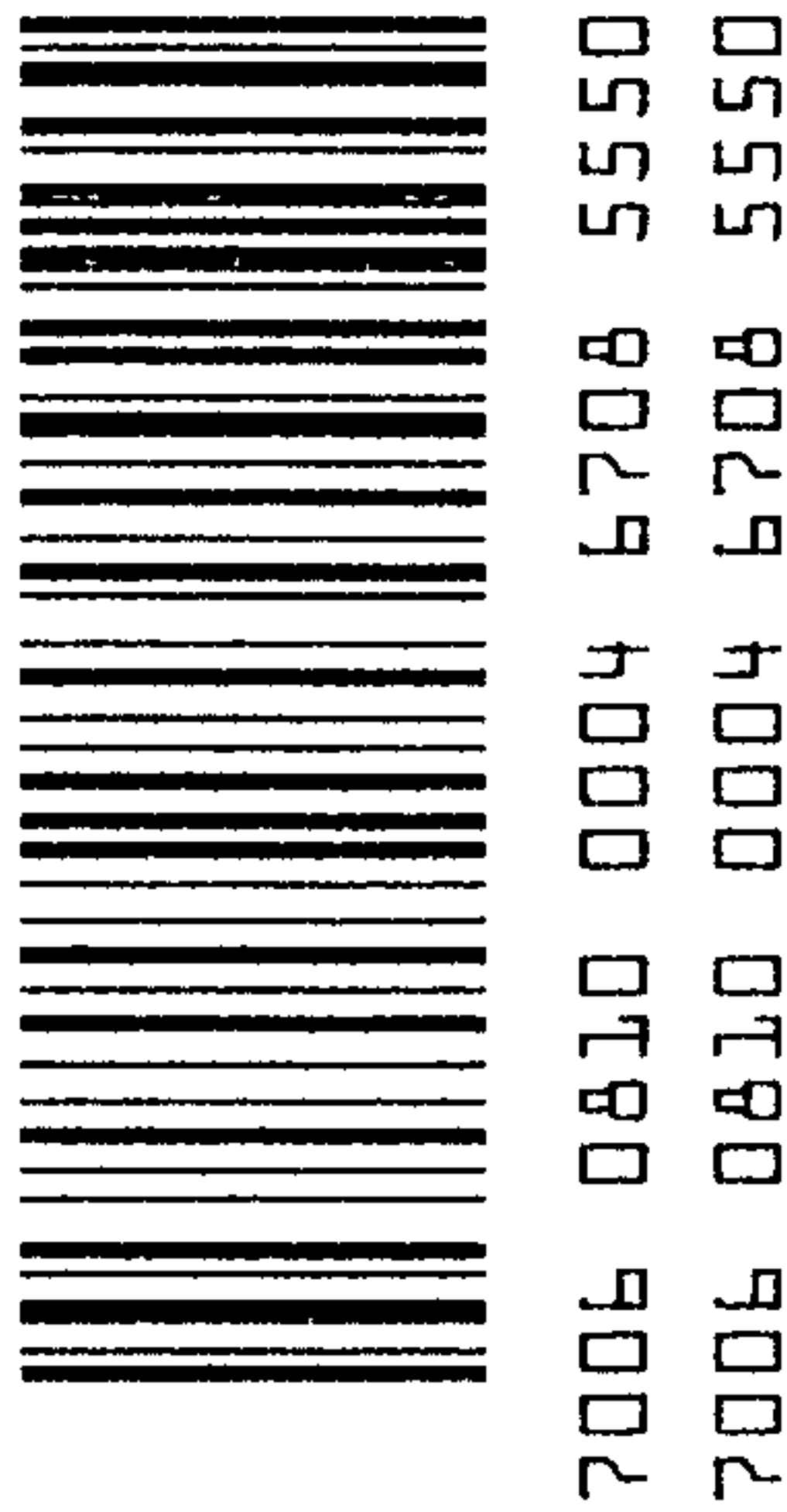
A handwritten signature in cursive script that reads 'Susan Rasinski'.

Susan Rasinski
Office Manager

/sr

Enclosure

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE.
CERTIFIED MAIL™



7006 0810 0004 6708 5550
7006 0810 0004 6708 5550

U.S. Postal Service™ *Spence Park*
CERTIFIED MAIL™ RECEIPT JM
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

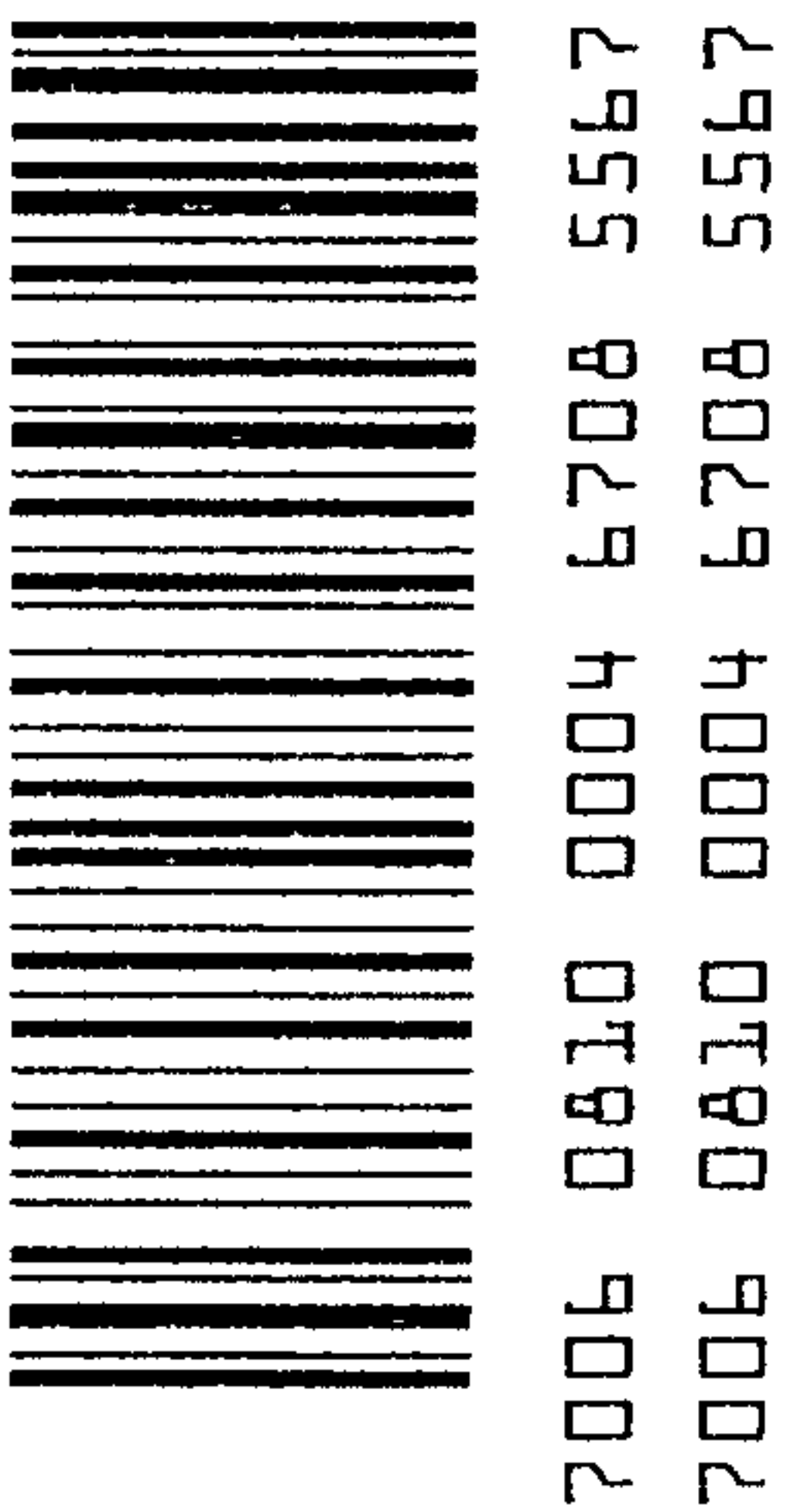
Sent To *D. Laird, Spruce Park NA*
Street, Apt No., or PO Box No. *603 Cedar NE*
City, State, ZIP+4 *87106*

PS Form 3800, June 2002 (See Reverse for Instructions)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to</p> <p><i>Daniel Laird</i> <i>Spruce Park NA</i> <i>603 Cedar NE</i> <i>Albuq NM 87106</i></p>	<p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label) <i>7006 0810 0004 6708 5550</i></p>	

PS Form 3811, February 2004 JM Domestic Return Receipt *Spence Park* 102595-02-M-1540

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE.
CERTIFIED MAIL™



7006 0810 0004 6708 5567
7006 0810 0004 6708 5567

U.S. Postal Service™ *Spence Park*
CERTIFIED MAIL™ RECEIPT JM
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To *B. Chimento - Spruce Park NA*
Street, Apt No., or PO Box No. *1502 Roma NE*
City, State, ZIP+4 *87106*

PS Form 3800, June 2002 (See Reverse for Instructions)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	<p>A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to</p> <p><i>Bart Chimento</i> <i>Spruce Park NA</i> <i>1502 Roma NE</i> <i>Albuq NM 87106</i></p>	<p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label) <i>7006 0810 0004 6708 5567</i></p>	

PS Form 3811, February 2004 JM Domestic Return Receipt *Spence Park* 102595-02-M-1540

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JULY 14, 2009 To JULY 29, 2009

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

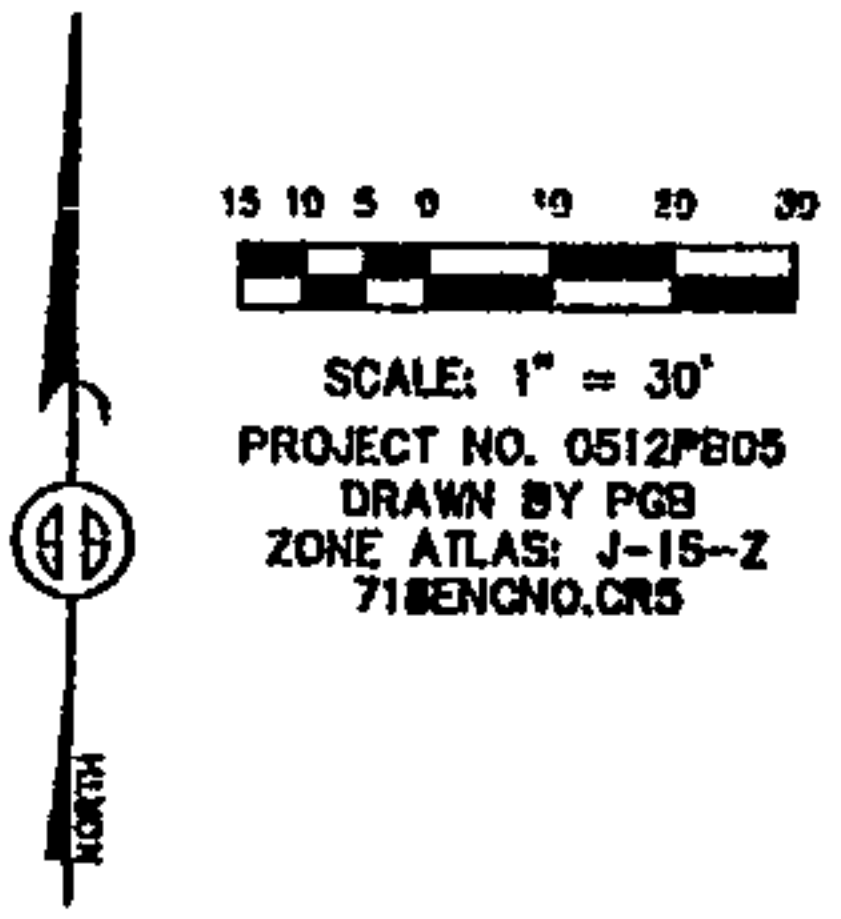
[Signature] For JOHN MACKENZIE
(Applicant or Agent)

7/22/09
(Date)

I issued 2 signs for this application, 07/02/09 Sandy Handley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1004387

PLAT OF
 LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12
 COUNTRY CLUB ADDITION
 PROJECTED SECTION 16, T. 10 N., R. 3 E., N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 2007
 SHEET 2 OF 2



STATION: ACS 9-J15
 X = 388623.85
 Y = 1488998.08
 GROUND TO GRID = 0.8887130
 DELTA ALPHA = -00°13'04"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927

STATION: ACS 10-J15
 X = 387877.80
 Y = 1488217.50
 GROUND TO GRID = 0.88867040
 DELTA ALPHA = -00°12'55"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	28.18'	83°35'04"	N75°23'29"E	28.68'
C2	20.00'	12.02'	34°25'14"	N58°51'55"E	11.84'
C3	15.00'	12.38'	47°17'05"	N09°57'25"E	12.03'
C4	20.00'	31.42'	90°00'00"	N78°39'57"E	28.28'



DOC# 2007127148
 03/04/2007 10:28 AM Page 2 of 2
 PLAT # 512 00 0 2007C
 T. 10 N., R. 3 E., S. 16
 Town of Albuquerque Grant
 City of Albuquerque
 Bernalillo County, New Mexico

CITY PROJECT NO. 6522281
 SHEET 2 OF 6

MONUMENT LEGEND
 ▲ - FOUND CONTROL STATION AS NOTED
 □ - FOUND MONUMENT AS NOTED
 ● - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRYSKO LS8686" UNLESS OTHERWISE NOTED

SURVEYS SOUTHWEST, LTD.
 333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306
 T10N R3E SEC. 16

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

August 14, 2007

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: PROJECT #1004387 / 07DRB-00335 / COUNTRY CLUB ADDITION

Dear Board Members:

Surveys Southwest, Ltd is requesting to be back on the agenda for the August 22, 2007 DRB meeting for final plat sign off for the above referenced property.

Enclosed are Two (2) recorded copies of the Subdivision Improvement Agreement (SIA) for Spruce Park. The preliminary plat was approved April 18, 2007.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President

No. of Lots:
Nearest Major Streets

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

Spruce Park

CPN 652281

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 27th day of July, 2007, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Spruce Park, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] New Mexico limited liability company, whose address is 7700 Ouray NW, Albuquerque, NM 87120 whose telephone number is 833-1840, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] SEE ATTACHED, recorded on _____ in the records of the Bernalillo County Clerk at Book _____, pages _____ through _____ (the "Subdivision"). The Subdivider certifies exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Spruce Park, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Spruce Park describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-10-2-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 15th of June 2009 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 652281.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate.</u>
	<u>(Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by ALS, Inc., and construction surveying of the private Improvements shall be performed by N/A. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Mark Goodwin & Associates, PA, and inspection of the private Improvements shall be performed by N/A, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider

shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geo-Test, and field testing of the private Improvements shall be performed by N/A, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Loan Reserve Letter #2455
Amount: \$ 67,908.45 Name of Financial Institution or Surety
providing Guaranty: First Community Bank
Date City first able to call Guaranty: June 15, 2009
Construction Completion Deadline: June 15, 2009
If Guaranty other than a Bond, last day City able to call Guaranty: August 15, 2009
Additional Information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

EXHIBIT B

FINAL
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and

JUDITH C. SCHAAK, MEMBER, SPRUCE PARK, LLC ("Developer") effective as of this 21st day of AUGUST, 2007, and pertains to the subdivision commonly known as COUNTRY CLUB ADDITION, and more particularly described as LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12, COUNTRY CLUB ADDITION PROJECTED SECTION 16, T10N, R3E, N.M.P.M., TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

(the "Subdivision".) The following individual lots comprise the subdivision:

[List lots by street address and new legal description; Lots which will be used for multi-family residences should be marked "multifamily- ___ units" with the number of units filled in.]

WHEREAS, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance;



DI roject # 1004387

APS Cluster ALBUQUERQUE

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees to pay to APS a facilities fee for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:
 - If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.
 - If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
 - If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

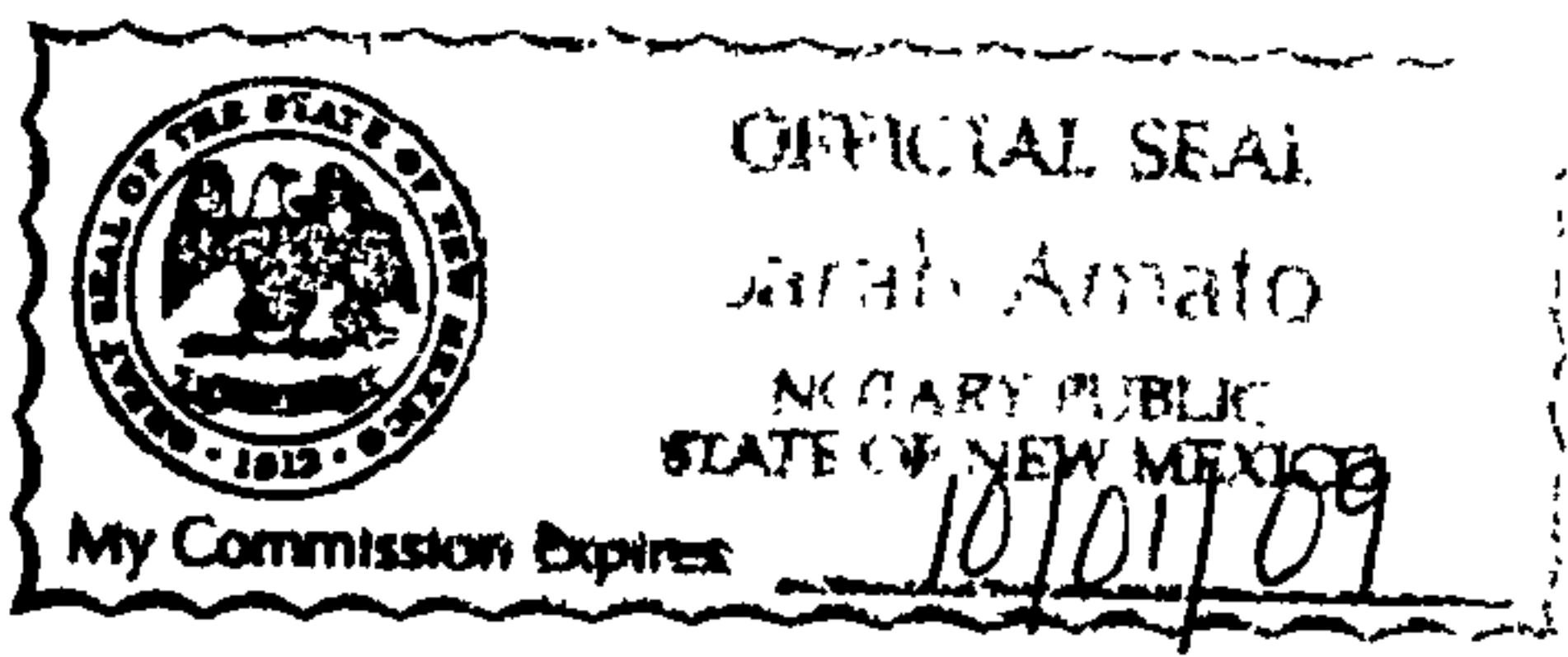
The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this agreement.
4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.
5. This contract shall be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."
6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

Judith C. Schaab
Signature

Judith C. Schaab
Name (typed or printed) and title

Members Spruce Park LLC
Developer



STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on August 21, 2007, by JUDITH C. SCHAA B as MEMBER of SPRUCE PARK LLC, a corporation.

(Seal)

Sarah Amato
Notary Public

My commission expires: 10/01/09

ALBUQUERQUE PUBLIC SCHOOLS

By: [Signature]
Signature

BETTY KING, PLANNING, APS CMP
Name (typed or printed) and title

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on August 22, 2007, by Betty King as Planner, APS CMP of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.

(Seal)

April L. Winters
Notary Public

My commission expires: May 18, 2011

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOT 31A, 31B, 32A, 33A, 34A, 35A, BLOCK 12, COUNTRY CLUB ADDITION
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOTS 31 thru 35, BLOCK 12, COUNTRY CLUB ADDITION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		-	REMOVE EXISTING DRIVEWAYS. INSTALL STD C&G	ENCINO PLACE (4)	@ 4 LOCATIONS		1	1	1
		12' CF	REMOVE EXISTING C&G. INSTALL PRIV. ENTRANCE DETAIL	ENCINO PLACE	@ SOUTH PROPERTY LINE		1	1	1
		15' F.F.	REMOVE EXISTING C&G. INSTALL PRIV. ENTRANCE DETAIL (MODIFIED)	LAS PALMAS RD	@ EAST PROPERTY LINE		1	1	1
							1	1	1
		6-3/4"	Water Services	ENCINO PLACE	EXISTING MAIN	ROW LINE	1	1	1
		16-4"	Sanitary Sewer Services	ENCINO PLACE	EXISTING MAIN	5' EAST OF ROW LINE	1	1	1
		VARIES 12' MIN	PAVED ACCESS RD w/ CURBS	IN ACCESS ESMP	ENCINO PLACE	LAS LOMAS RD	1	1	1
		51-6" MIN	DECORATIVE SIDEWALK	ENCINO PLACE	SOUTH PROPERTY LINE	LAS LOMAS RD	1	1	1
			MILL & PATCH	ENCINO PLACE	@ ALL SERVICE CONNECTIONS		1	1	1

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private	P.E. Inspector	City Const Engineer
							1	1	1
							1	1	1
							1	1	1

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 Engineer certification of the grading plan is reqd for release
2 of SIA OK

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

NAME (print) Julius Bordenave Andrew Lerner - 4/18/07 Christina Danaberal 4/18/07
 NAME (print) Bordenave Designs DRB CHAIR - date PARKS & RECREATION - date

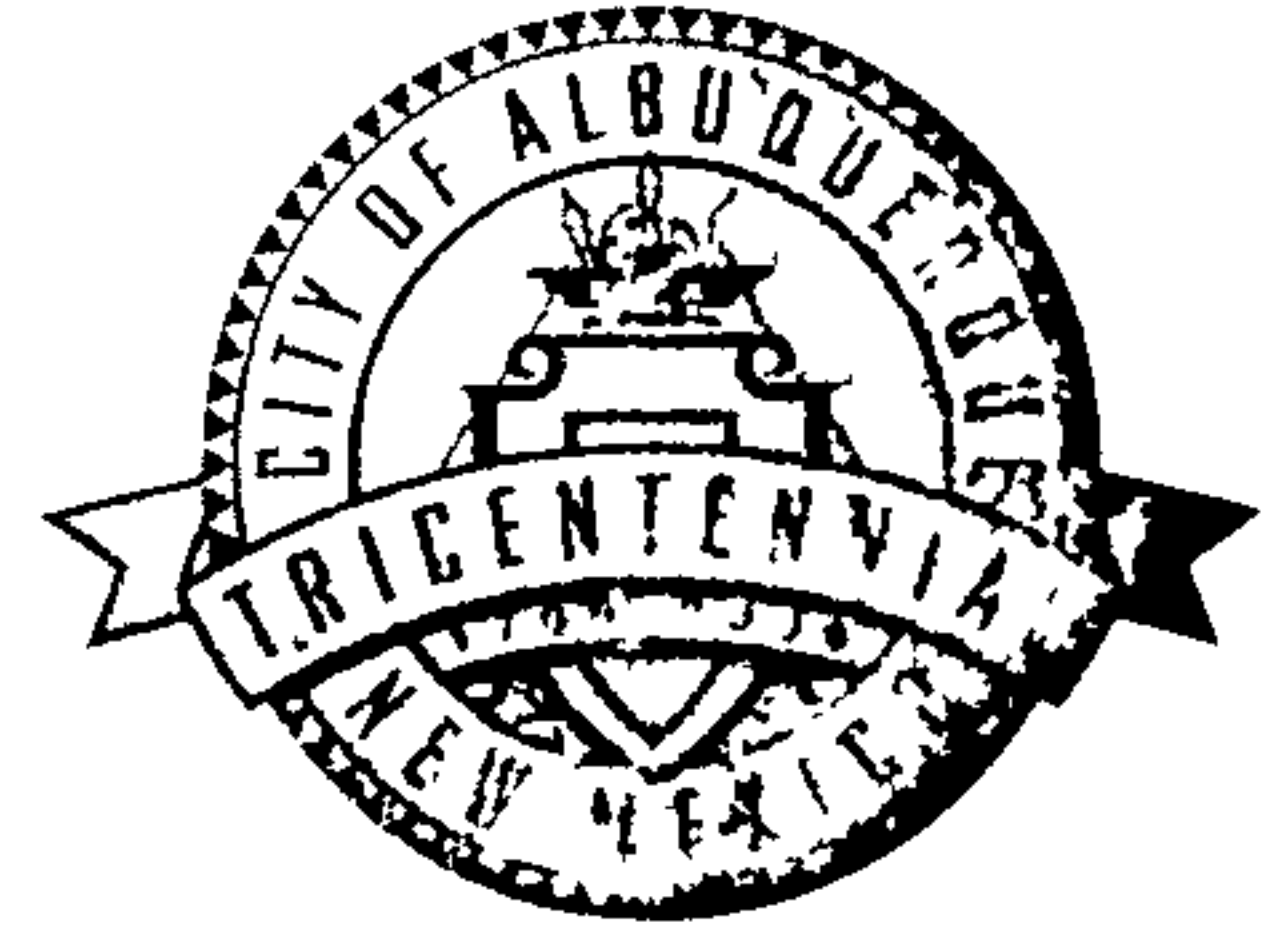
FIRM Bordenave Designs 4-18-07 AMAFCA - date
 SIGNATURE - date [Signature] 4/18/07 TRANSPORTATION DEVELOPMENT - date
[Signature] 4/18/07 UTILITY DEVELOPMENT - date

Don Grancy Survey Southwest Buddy J. Blk
Mark Gray 4.18.07 DRB ENGINEER - date 4/18/07

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 5

SUBJECT:

Final Plat
Preliminary Plat
Vacation of Public Right-of-Way

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No objection to Vacation request.
An approved grading and drainage plan dated 10-13-06 is on file for Preliminary Plat approval.
An approved SIA with Financial Guarantee(s) is required prior to final plat approval.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: APRIL 18, 2007

(J-15/D091)

Daniel Laird
President
Spruce Park Neighborhood Association

17 April 2007

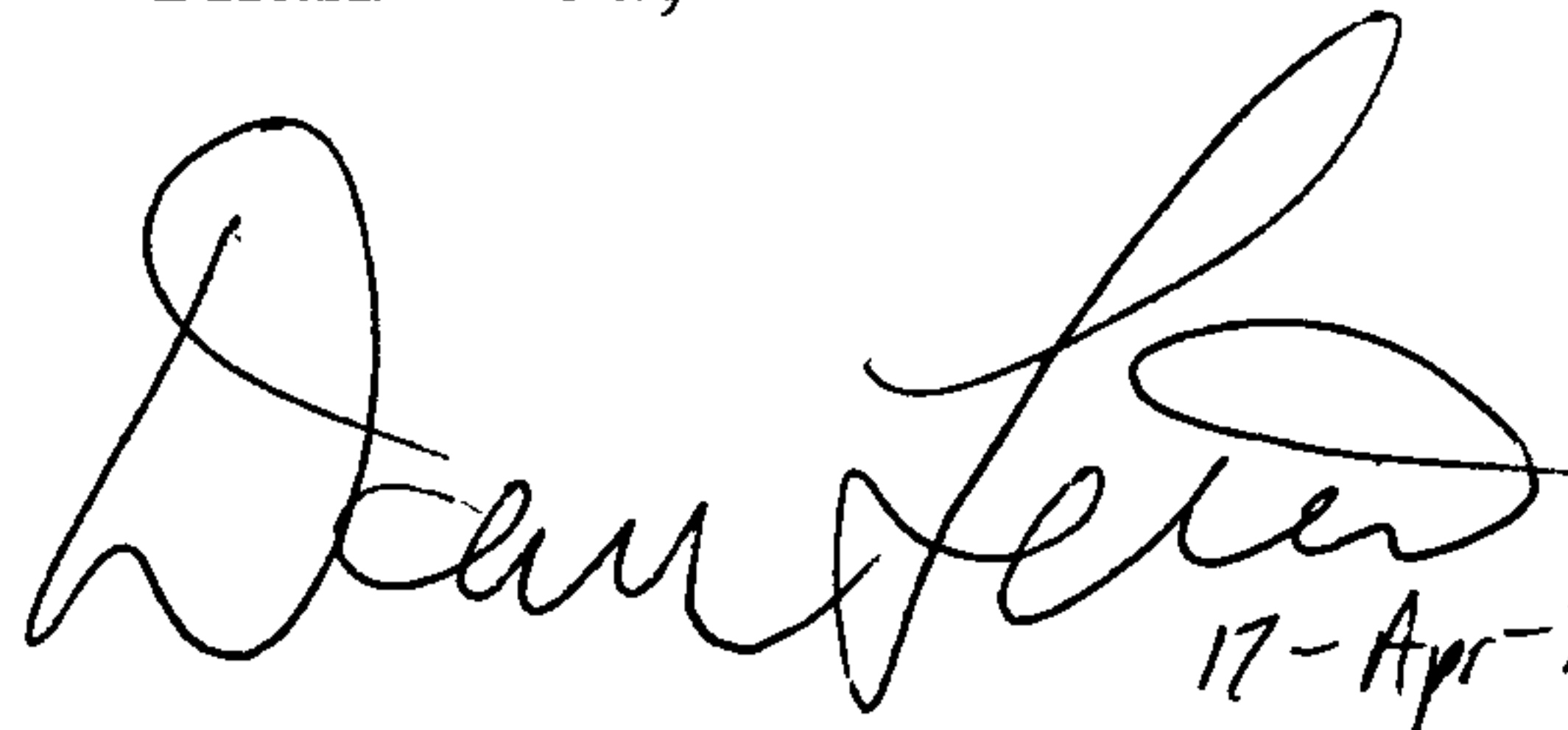
Reference: Project #1004387

Sheran Matson
AICP
DRB Chair
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

Dear Ms. Matson,

On behalf of the board of directors of the **Spruce Park Neighborhood Association** (SPNA), I would like to express our **strong support** for the partial vacation of public right-of-way (Las Lomas) and replat of Lots 31-35, Block 12 of Country Club Addition from five to six lots. Our neighborhood association has spent a great deal of time working with Spruce Park LLC to ensure that the proposed development will improve our neighborhood and we would like to see that development move forward.

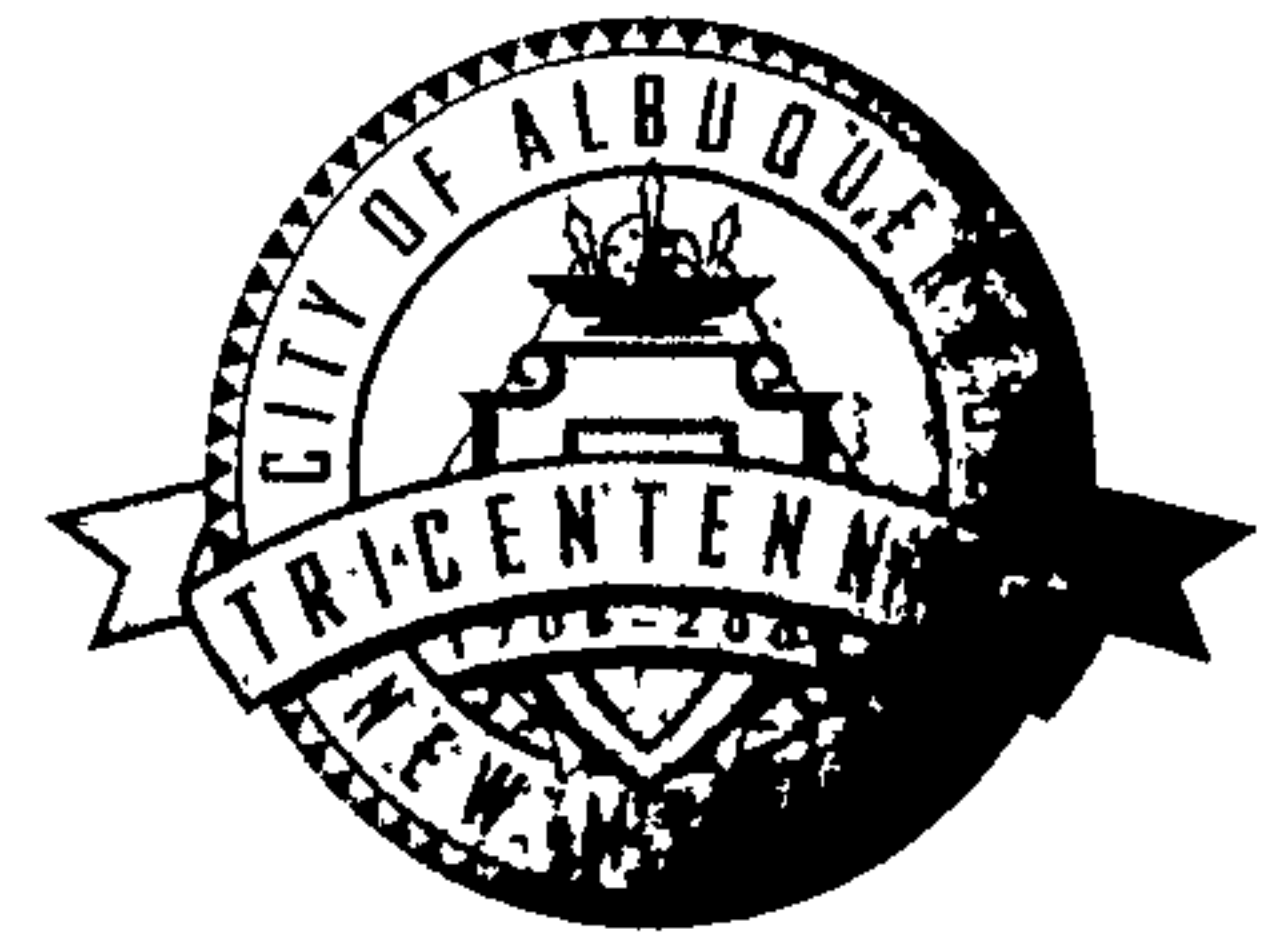
Thank You,



17-Apr-2007

Daniel Laird

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 18

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

all signed

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham

DATE: AUGUST 22, 2007

City Engineer / AMAFCA Designee 505-924-3986

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)

PRELIM PLAT
PORTION OF LAS LOMAS RD NE V

SITE DEVELOPMENT PLAN

for Subdivision Purposes
 for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC)

STORM DRAINAGE

Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (Phase I, II, III)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)
 Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JUDITH C. SCHAAB PHONE: 771-3351
 ADDRESS: 1 BUFFALO CT. FAX: _____
 CITY: PLACITAS STATE NM ZIP 87043 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): SURVELLS SOUTHWEST, LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: DIVIDE FIVE EXISTING LOTS INTO SIX NEW LOTS & TO VACATE A PORTION OF LAS LOMAS RD NE. (PRELIM PLAT).

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 31-35 Block: 12 Unit: N/A
 Subdiv. / Addn. COUNTRY CLUB ADDITION, TOGETHER W/ A PORTION OF LAS LOMAS RD NE
 Current Zoning: D-1 Proposed zoning: N/A
 Zone Atlas page(s): J-15-Z No. of existing lots: 5 No. of proposed lots: 6
 Total area of site (acres): 0.9165 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 1-015-058-235-032-30412 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREET: On or Near LAS LOMAS ROAD NE
 Between: ENCINO PLACE NE and CEDAR CT. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Proj # 1004387
05DRB-01332, 06DRB-00644

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE [Signature] DATE 3-06-07
 (Print) Van Oranney _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB 00334</u>	<u>VRW</u>	<u>✓</u>	<u>\$ 300.00</u>
<u>07DRB 00335</u>	<u>P&E</u>	<u>(53)</u>	<u>\$ 565.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>OME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	<u>\$ _____</u>
Hearing date <u>04/11/07</u>	_____	_____	Total <u>\$ 960.00</u>

Sandy Handley 03/13/07
 Planner signature / date

Project # 1004387

FORM V: SUBDIVISION VARIANCE & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY *PORTION OF LAS LOMAS RD NE*

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.** (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DPM)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies**
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF RECORDED PLAT

- 6 copies** of the recorded plat to be vacated.
- 6 copies** of documents justifying the vacation.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter describing, explaining, and justifying the vacation
- Any original and/or related file numbers are listed on the cover application
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney
 Applicant name (print)
Dan Graney 3-06-07
 Applicant signature / date

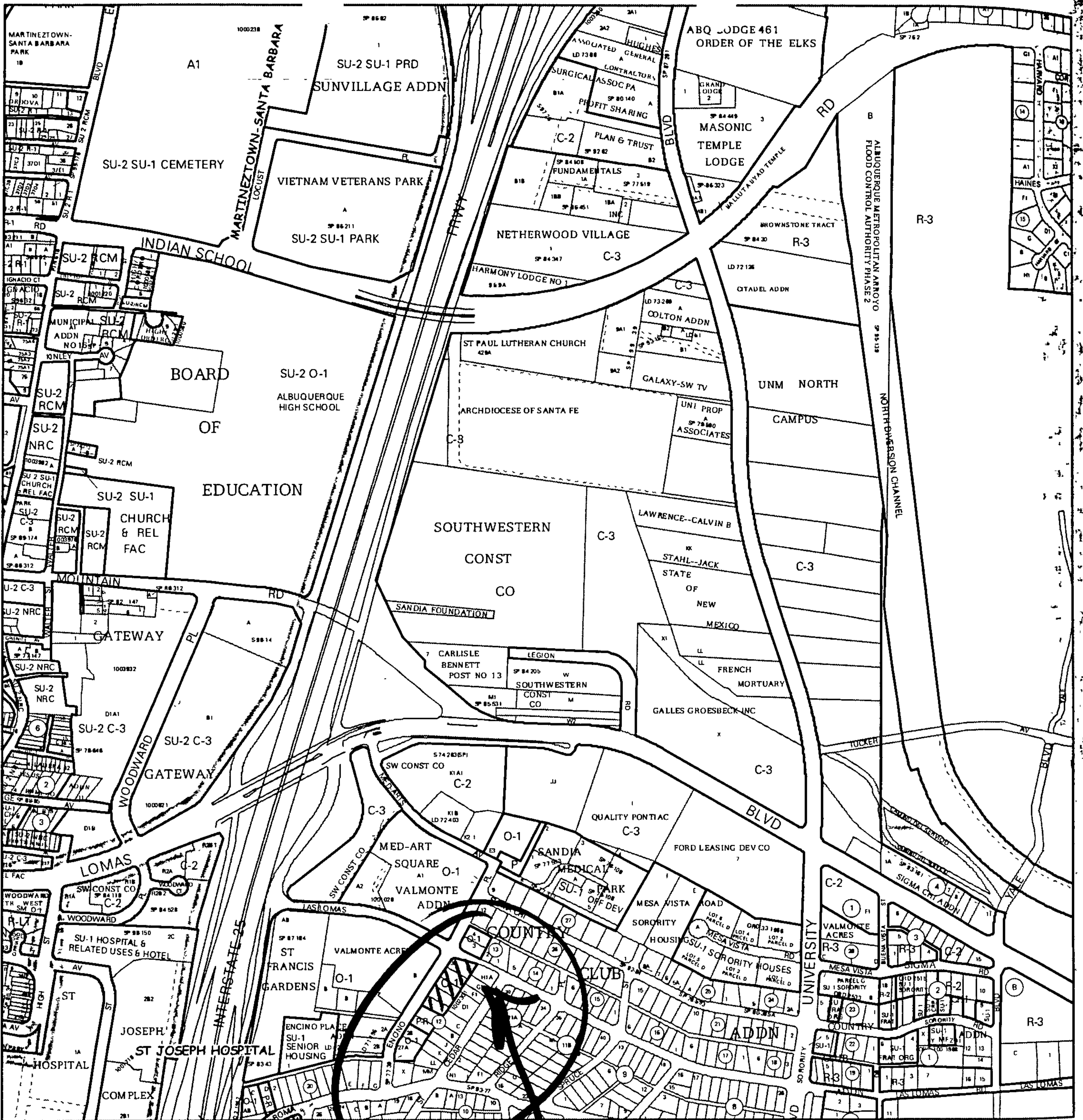


Form revised 4/03, 10/03 and APRIL 2006

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07DRB-00334

Sandy Hurdley 03/13/07
 Planner signature / date
 Project # 1004387



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 10/25/2006

Not: Grey Shaded
Represents Area Outside
of the City Limits

Zone Atlas Page:
J-15-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

March 6, 2007

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12, COUNTRY CLUB
ADDITION

Dear Board Members:

Surveys Southwest, Ltd is requesting a Vacation Action for a portion of Las Lomas Road NE and Preliminary Plat approval to divide Five (5) existing lots into Six (6) new lots and to incorporate the portion of vacated Las Lomas Road NE.

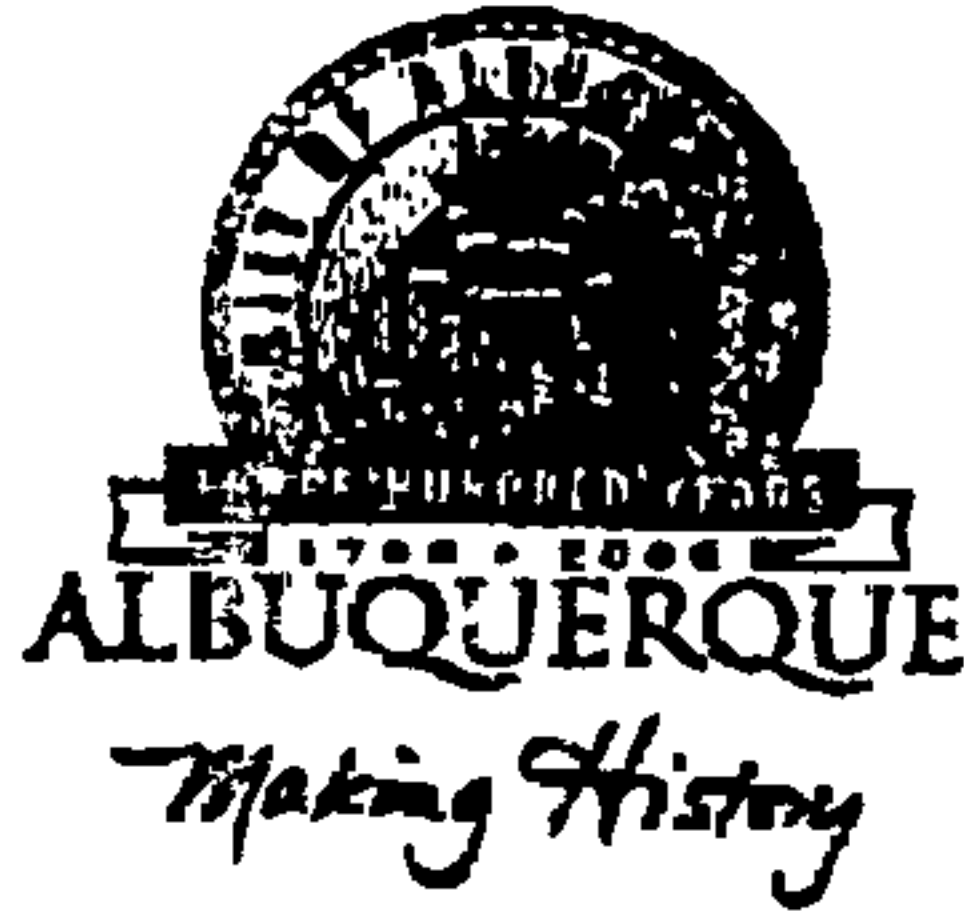
The prior vacation action, approved December 21, 2005 (Project #1004387 / 05DRB-01332) has expired.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: March 7, 07

TO CONTACT NAME: SARAH
 COMPANY/AGENCY: SURVEY'S SOUTHWEST LTD
 ADDRESS/ZIP: 333 LAMAR BLVD NE - 87110
 PHONE/FAX #: 998-0303 (FAX-998-0306)

Thank you for your inquiry of 3-07-07 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at LOTS 31 THROUGH 35, BLK 12 COUNTRY CLUB
Addition
 zone map page(s) 2-15.

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Spruce Park NA Inc.

Neighborhood Association

Contacts: Daniel Laird
603 Cedar NE / 87106
766-7696(h) 844-6688 (w)
Robert Westfall
329 Sigma Chi NE / 87106
764-9089(h)

Neighborhood Association

Contact: _____

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Palma S. Carmona
 OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

Suggested Information for Neighborhood Notification Letters... Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

We recommend that the Notification Letter include the following information:

- The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- A physical description of the location, referenced to streets and existing land uses.
- A complete description of the actions requested of the EPC:
- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination (ONC)

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet **-OR-**
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Data of Inquiry: 3-7-07 Time Entered: 8:23am ONC Rep. Initials: [Signature]

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

March 7, 2007

SPRUCE PARK NEIGHBORHOOD ASSOC., INC
DANIEL CAIRD
603 CEDAR NE
ALBUQUERQUE, NM 87106

REF: LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12, COUNTRY CLUB
ADDITION

Dear Daniel Caird:


This letter is a notice to you of continuing action in the Country Club Addition.

Surveys Southwest, Ltd is re-submitting the above referenced property for a Vacation / Preliminary Plat Action to facilitate the final plat approval. The vacation action was approved December 21, 2005, but has since expired. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

The date and time of the DRB hearing will be posted on the site two weeks before the hearing. Presently the schedule for the hearing is April 11, 2007.

If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

7005 1820 0008 1964 2436

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
(Domestic Mail Only; No Insurance Coverage Provided)	
For delivery information visit our website at www.usps.com ®	
OFFICIAL USE	
Postage	\$.87
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12

Postmark Here
3/12/07

Sent To	DANIEL CAIRD
Street, Apt. No., or PO Box No.	603 CEDAR NE
City, State, ZIP+4	ALBU N. MEX 87106

PS Form 3800, June 2002 See Reverse for Instructions

Surveys Southwest, Ltd

333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306

March 7, 2007

SPRUCE PARK NEIGHBORHOOD ASSOC., INC
ROBERT WESTFALL
1329 SIGMA CHI NE
ALBUQUERQUE, NM 87106

REF: LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12, COUNTRY CLUB
ADDITION

Dear Robert Westfall:


This letter is a notice to you of continuing action in the Country Club Addition.

Surveys Southwest, Ltd is re-submitting the above referenced property for a Vacation / Preliminary Plat Action to facilitate the final plat approval. The vacation action was approved December 21, 2005, but has since expired. A copy of the proposed plat is attached. When approved, this will become the final plat for the above referenced property.

The date and time of the DRB hearing will be posted on the site two weeks before the hearing. Presently the schedule for the hearing is April 11, 2007.

If you have any questions please feel free to contact me.

Sincerely,


Dan Graney
President

7005 1820 0008 1964 2443

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
(Domestic Mail Only; No Insurance Coverage Provided)	
For delivery information visit our website at www.usps.com ®	
OFFICIAL USE	
Postage	\$.87
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 5.12
Sent To	ROBERT WESTFALL
Street, Apt. No., or PO Box No.	1329 SIGMA CHI NE
City, State, ZIP+4	ALBU. N. MEX 87106

Postmark Here
3/12/07

PS Form 3800, June 2002 See Reverse for Instructions

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME JUDITH SCHAAB
 AGENT SURVEYS SOUTHWEST LTD
 ADDRESS 333 LOMAS BLVD NE
 PROJECT & APP # 1004387 / 07DRB-00334-335
 PROJECT NAME COUNTRY CLUB Addition

City of Albuquerque
Treasury Division

3/13/2007 12:16PM LOC: ANNY
 RECEIPT# 00077813 HSH 007 TRANSH 0036
 Account 441006 Fund 0000 TRSEJA
 Activity 4983000
 Trans Amt \$960.00
 J24 Misc \$865.00

Thank You

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 865.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
- \$ 960.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

3/13/2007 12:16PM LOC: ANNY
 RECEIPT# 00077813 HSH 007 TRANSH 0036
 Account 441006 Fund 0000 TRSEJA
 Activity 4971000
 Trans Amt \$960.00
 J24 Misc \$865.00
 Counterreceipt.doc 6/

95-145/1070 1066

SPRUCE PARK LLC
 P.O. BOX 20953
 ALBUQUERQUE, NM 87154

DATE March 12, 2007

Pay to the order of City of Albuquerque \$ 960.00/100
Nine hundred sixty and no/100

FIRST STATE BANK
 www.fsbnm.com

Judith Schaab

+1 10 700 14 5 21 1066 00 24 64 3 14

Thank You

Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from MARCH 27, 2007 To APRIL 11, 2007

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Sarah Armato
(Applicant or Agent)

3/13/07
(Date)

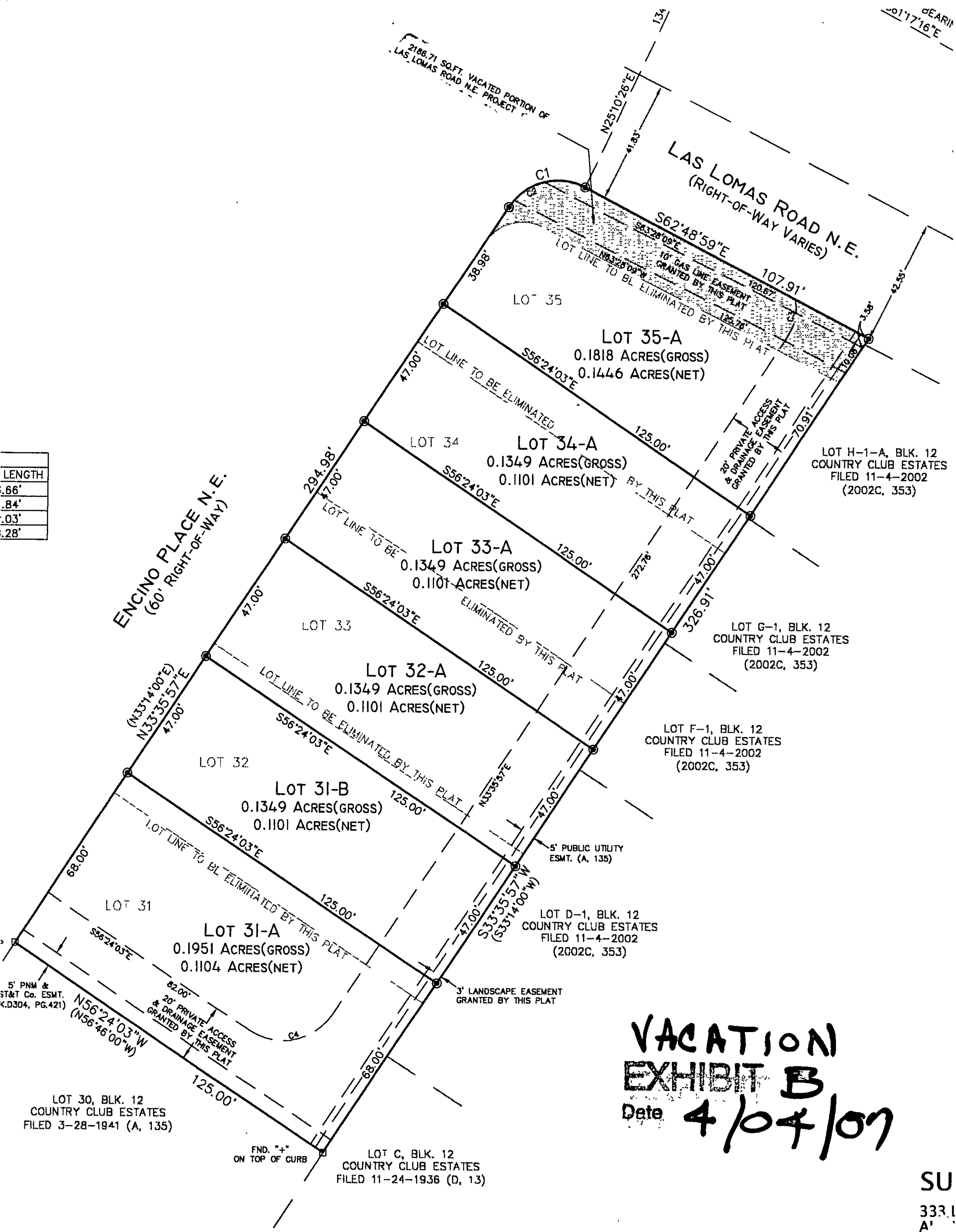
I issued 2 signs for this application, 03/13/07 Sandy Handley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1004387

2186.71 SQ.FT. VACATED PORTION OF
LAS LOMAS ROAD N.E. PROJECT

LAS LOMAS ROAD N.E.
(RIGHT-OF-WAY VARIES)

LENGTH
.66'
.84'
.03'
.28'



ENCINO PLACE N.E.
(60' RIGHT-OF-WAY)

5' PNM &
ST&T Co. ESMT.
K.D.304, PG.421)

LOT 30, BLK. 12
COUNTRY CLUB ESTATES
FILED 3-28-1941 (A, 135)

FND. "+"
ON TOP OF CURB

LOT C, BLK. 12
COUNTRY CLUB ESTATES
FILED 11-24-1936 (D, 13)

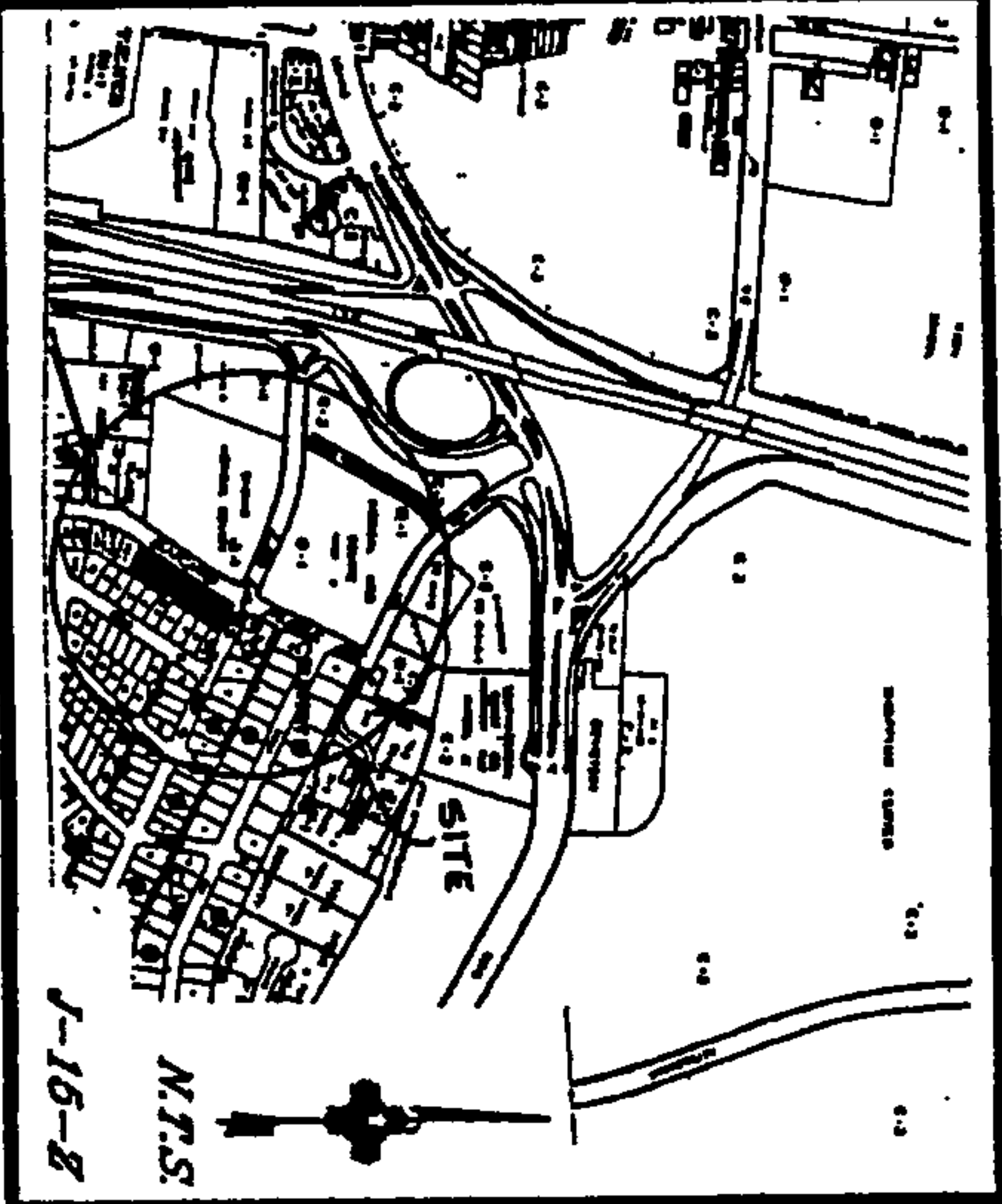
LOT D-1, BLK. 12
COUNTRY CLUB ESTATES
FILED 11-4-2002
(2002C, 353)

LOT F-1, BLK. 12
COUNTRY CLUB ESTATES
FILED 11-4-2002
(2002C, 353)

LOT G-1, BLK. 12
COUNTRY CLUB ESTATES
FILED 11-4-2002
(2002C, 353)

LOT H-1-A, BLK. 12
COUNTRY CLUB ESTATES
FILED 11-4-2002
(2002C, 353)

VACATION
EXHIBIT B
Date 4/04/07

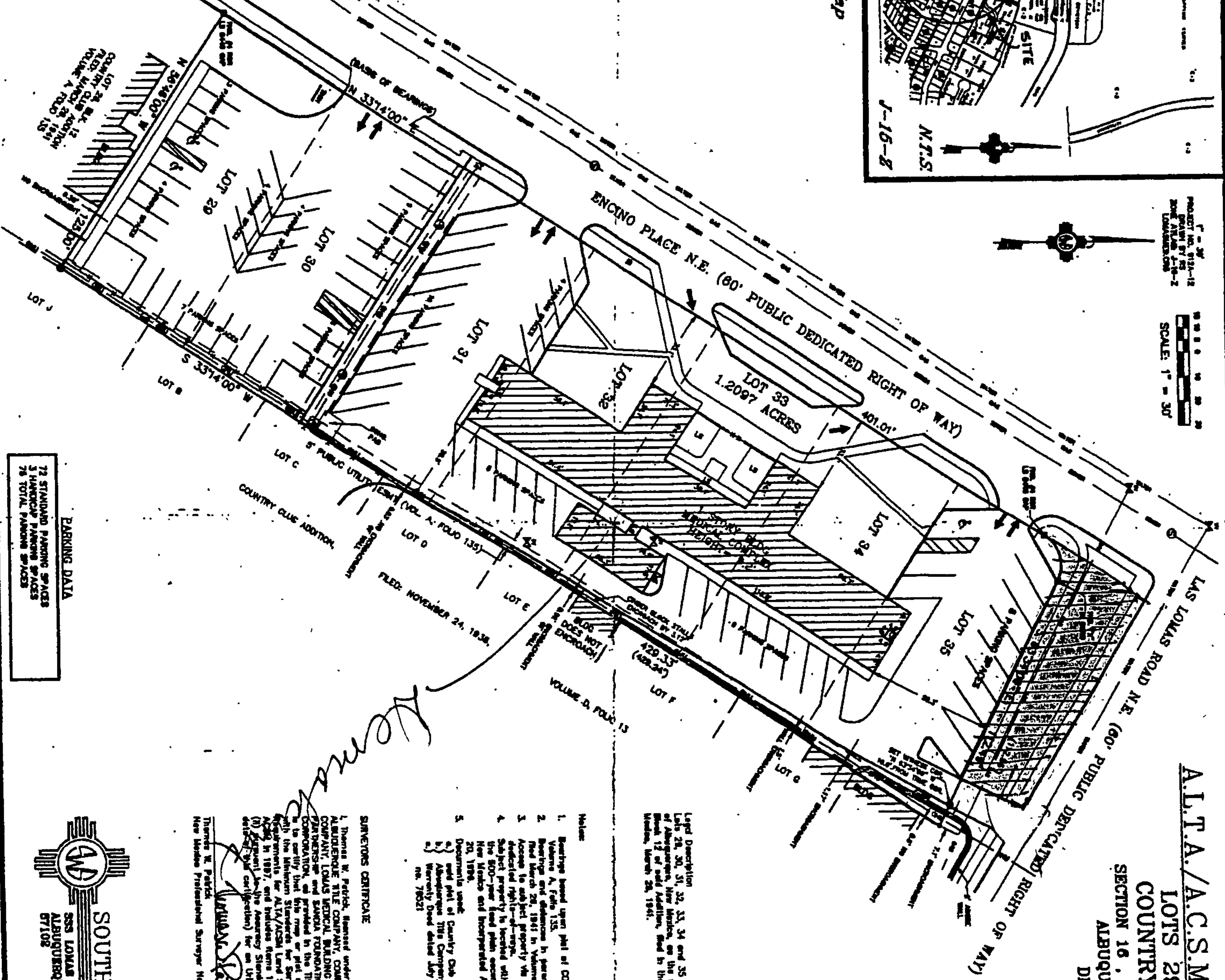


SYMBOLS LEGEND

○	LIGHT POLE
●	POWER POLE
—	OVERHEAD UTILITY LINE
- - -	UNDERGROUND GAS LINE
- - -	UNDERGROUND SEWER LINE
- - -	UNDERGROUND WATER LINE
⊙	SEWER MANHOLE
⊙	DRAINAGE MANHOLE
⊙	GAS VALVE
⊙	WATER METER
⊙	WATER VALVE
⊙	FIRE HYDRANT
⊙	GAS METER
—	BLOCK WALL
—	FENCE
→	TRAFFIC FLOW
LS	LANDSCAPED AREA

MONUMENT LEGEND

- △ FOUND CONTROL STATION AS NOTED
- FOUND MONUMENT AS NOTED
- SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "ALTA/ACSM" 7/8" DIA. OR SET IN PAUL WITH BRASS TAG STAMPED "ALTA/ACSM" OR SET "X" IN CONCRETE



PARKING DATA

72 STANDARD PARKING SPACES
3 HANDICAP PARKING SPACES
78 TOTAL PARKING SPACES

PROJECT NO. 912A-12
SCALE: 1" = 30'

A.L.T.A./A.C.S.M. LAND TITLE SURVEY
LOTS 29-35, BLOCK 12
COUNTRY CLUB ADDITION
 SECTION 16, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, NEW MEXICO
 DECEMBER, 1999

Legal Description
 Lots 29, 30, 31, 32, 33, 34 and 35 of Block 12 of the COUNTRY CLUB ADDITION to the City of Albuquerque, New Mexico, on the same are shown on the Revised Plat of the Extension of said Block 12 of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, March 28, 1941.

- Notes:**
1. Bearings based upon plat of COUNTRY CLUB ADDITION as filed March 28, 1941 in Volume A, Folio 135.
 2. Bearings and distances in parentheses () are part of COUNTRY CLUB ADDITION as filed March 28, 1941 in Volume A, Folio 135.
 3. Access to subject property via Encino Place, N.E. and Los Lomas Road, N.E., publicly dedicated right-of-way.
 4. Subject property is located within Zone X, designating areas determined to be suitable for the 500-year flood plain according to the Flood Insurance Rate Map, Bernalillo County, New Mexico and Incorporated Areas per Map Number S500100354 D, dated September 20, 1989.
 5. Documents were:
 a) filed plat of Country Club Addition as filed March 28, 1941 (A-135)
 b) Abandonment Title Company commitment no. 1783443D dated December 8, 1989
 c) Warranty Deed dated July 28, 1978 to Bank DSBT, pages 125-130 as document no. 76021

SURVEYORS CERTIFICATE

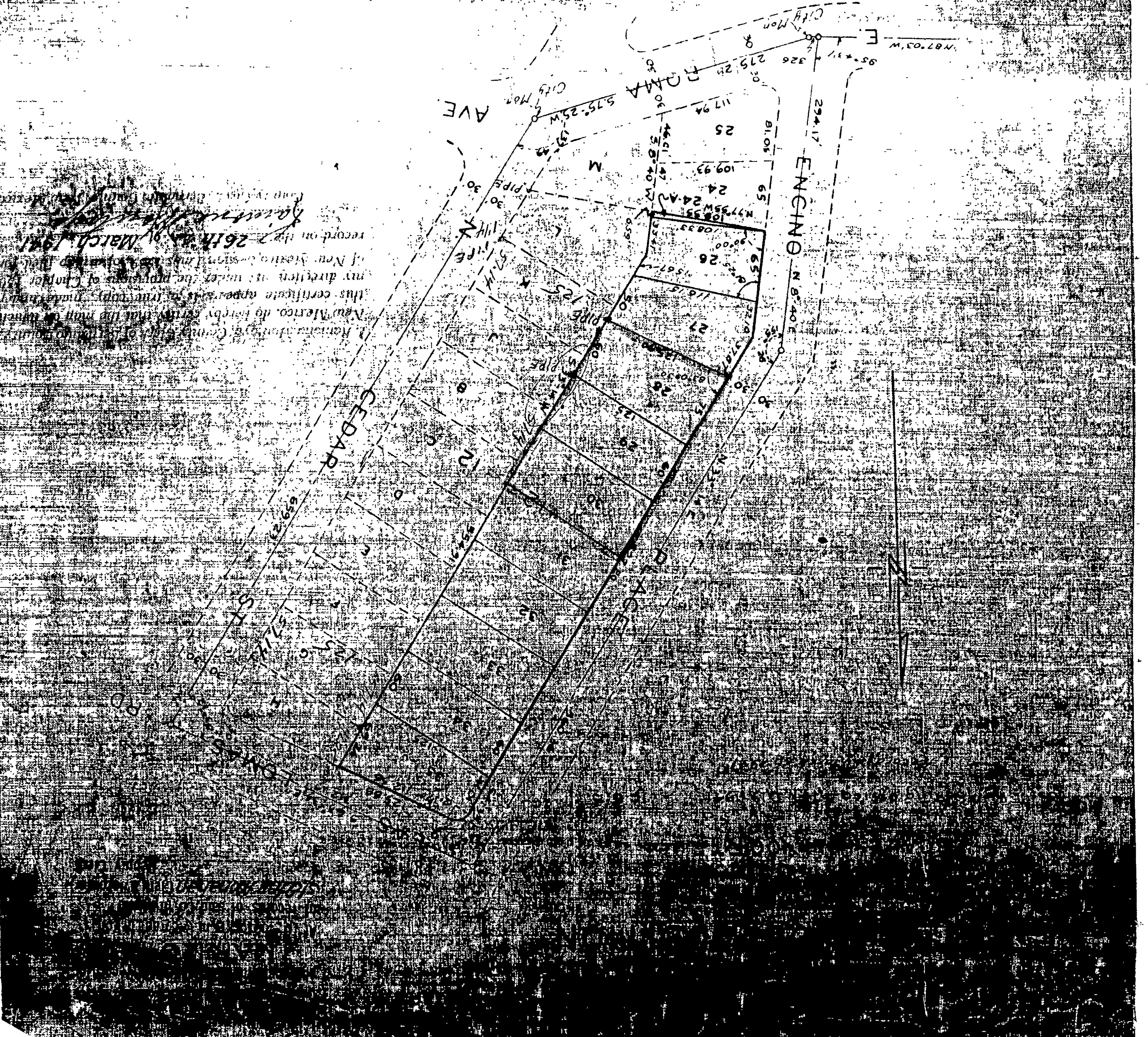
I, Thomas W. Patrick, Surveyor under the laws of the State of New Mexico, do hereby certify, in ABANDONABLE TITLE COMPANY, COMPROMISE/HEALTH LAND TITLE INSURANCE COMPANY, LOSAS BECKA FORWARDING A NEW MEXICO NON-PROFIT CORPORATION, and SERRA, INCORPORATED, A NEW MEXICO NON-PROFIT CORPORATION, as provided in the Title Binder No. 1783443D dated December 08, 1989. This plat was prepared by me and the survey on which it is based were made (1) in accordance with the Surveyors Standards for Surveying in New Mexico and (2) in accordance with the Surveyors Standards for Surveying in New Mexico and (3) in accordance with the Surveyors Standards for Surveying in New Mexico and (4) in accordance with the Surveyors Standards for Surveying in New Mexico and (5) in accordance with the Surveyors Standards for Surveying in New Mexico and (6) in accordance with the Surveyors Standards for Surveying in New Mexico and (7) in accordance with the Surveyors Standards for Surveying in New Mexico and (8) in accordance with the Surveyors Standards for Surveying in New Mexico and (9) in accordance with the Surveyors Standards for Surveying in New Mexico and (10) in accordance with the Surveyors Standards for Surveying in New Mexico.

Thomas W. Patrick
 New Mexico Professional Surveyor No. 12851



SOUTHWEST SURVEYING CO., INC.
 8888 LONAN BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 996-0505
 FAX: (505) 996-0506
710N R3E SEC. 16

The following is a list of the names of the persons who have been appointed as assessors for the year 1911, in the several precincts of the County of Santa Clara, New Mexico, as provided for by the Act of Congress, approved March 3, 1877, and amended March 3, 1878, and March 3, 1879, and March 3, 1880, and March 3, 1881, and March 3, 1882, and March 3, 1883, and March 3, 1884, and March 3, 1885, and March 3, 1886, and March 3, 1887, and March 3, 1888, and March 3, 1889, and March 3, 1890, and March 3, 1891, and March 3, 1892, and March 3, 1893, and March 3, 1894, and March 3, 1895, and March 3, 1896, and March 3, 1897, and March 3, 1898, and March 3, 1899, and March 3, 1900, and March 3, 1901, and March 3, 1902, and March 3, 1903, and March 3, 1904, and March 3, 1905, and March 3, 1906, and March 3, 1907, and March 3, 1908, and March 3, 1909, and March 3, 1910, and March 3, 1911.



This plat was prepared by the Surveyor General of New Mexico, under the provisions of Chapter 100 of the Statutes of New Mexico, and is a true and correct copy of the original as the same appears in the office of the Surveyor General, Santa Fe, New Mexico, this 26th day of March, 1911.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<p>SUBDIVISION</p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> for Subdivision Purposes</p> <p><input type="checkbox"/> for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p> <p>STORM DRAINAGE</p> <p><input type="checkbox"/> Storm Drainage Cost Allocation Plan</p>	<p>S Z</p> <p>P</p> <p>L A</p> <p>D</p>	<p>ZONING & PLANNING</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><input type="checkbox"/> Street Name Change (Local & Collector)</p> <p>APPEAL/PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
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PRELIM/FINAL

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: LESLIE JENSEN PHONE: C/O: MARK HARENBERG
263-7506

ADDRESS: 1 BUFFALO CT. FAX: _____

CITY: PLACITAS STATE: NM ZIP: 87043 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

AGENT (if any): SURVELS SOUTHWEST, LTD PHONE: 998-0303

ADDRESS: 333 LOMAS BLYD NE FAX: 998-0306

CITY: ALBU STATE: NM ZIP: 87114 E-MAIL: _____

DESCRIPTION OF REQUEST:

DIVIDE FIVE EXISTING LOTS INTO SIX NEW LOTS. (PRELIM/FINAL)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1 LOTS 31 THRU 35 Block: 12 Unit: N/A

Subdiv. / Adn. COUNTRY CLUB ADDITION

Current Zoning: D-1 Proposed zoning: N/A

Zone Atlas page(s): J-15-Z No. of existing lots: 5 No. of proposed lots: 6

Total area of site (acres): 0.9156 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? Yes No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 1-015-058-235-032-30412 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: LAS LOMAS TRAIL NE

Between: ENCINO PLACE NE and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 05 DRB-01332 PROJ # 1004387

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Dan Graney DATE 5-04-06

(Print) DAN GRANEY Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<p><input checked="" type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><u>NA</u> <input type="checkbox"/> Site is within 1000ft of a landfill</p> <p><u>NA</u> <input type="checkbox"/> F.H.D.P. density bonus</p> <p><u>NA</u> <input type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>06 DRB . 00644</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>5/17/06</u></p>	<p>Action</p> <p><u>PEP</u></p> <p><u>CMF</u></p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p><u>5(3)</u></p> <p>_____</p> <p>_____</p>	<p>Fees</p> <p><u>\$ 525.</u></p> <p><u>\$ 20.00</u></p> <p>_____</p> <p>_____</p> <p>Total</p> <p><u>\$ 585.00</u></p>
--	--	---	--	---

Xin Sis 5/9/06

Project # 1004387

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney
Dan Graney

Applicant name (print)

5-04-06

Applicant signature / date



Form revised 8/04, 1/05 & 10/05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

06DRB - - 00644

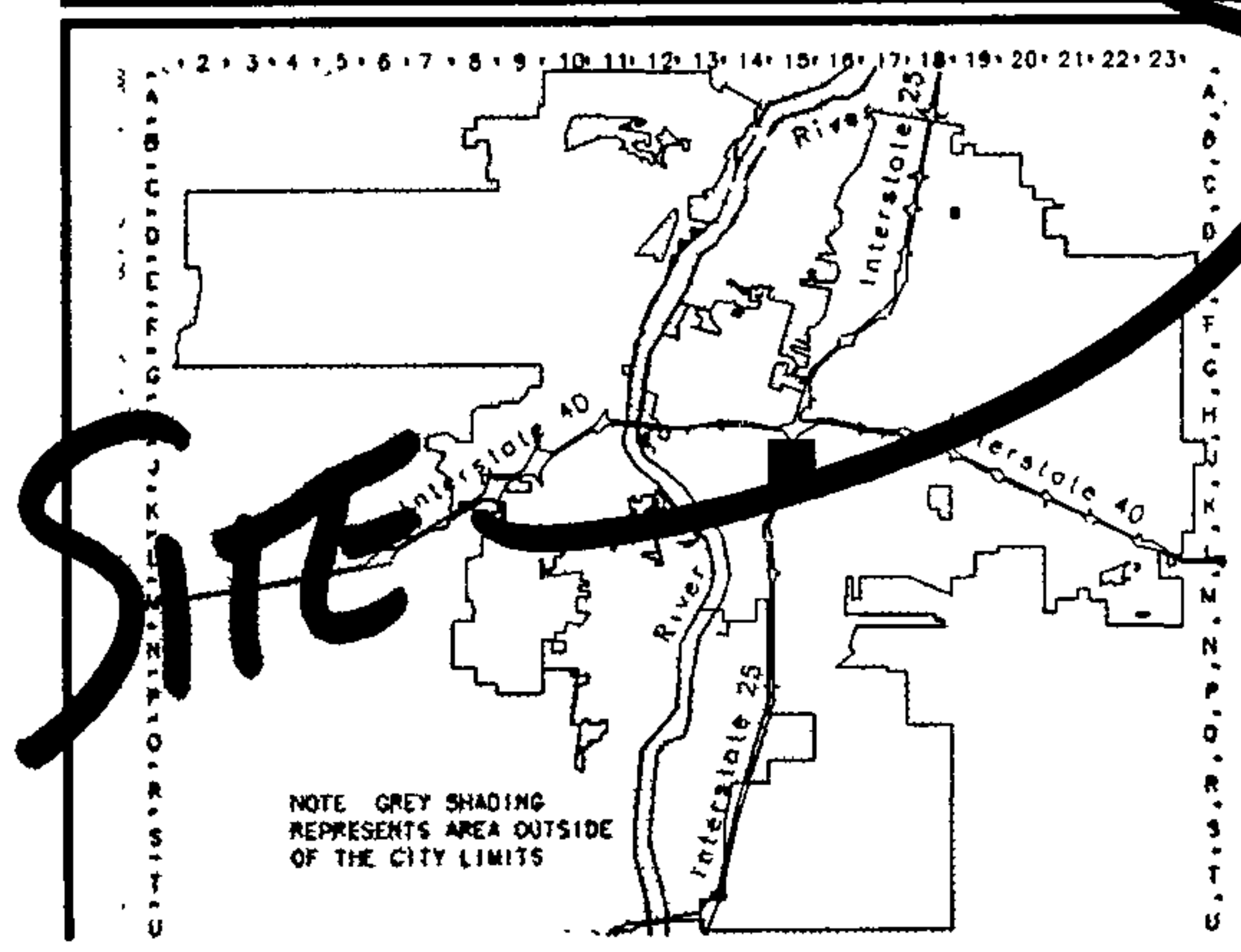
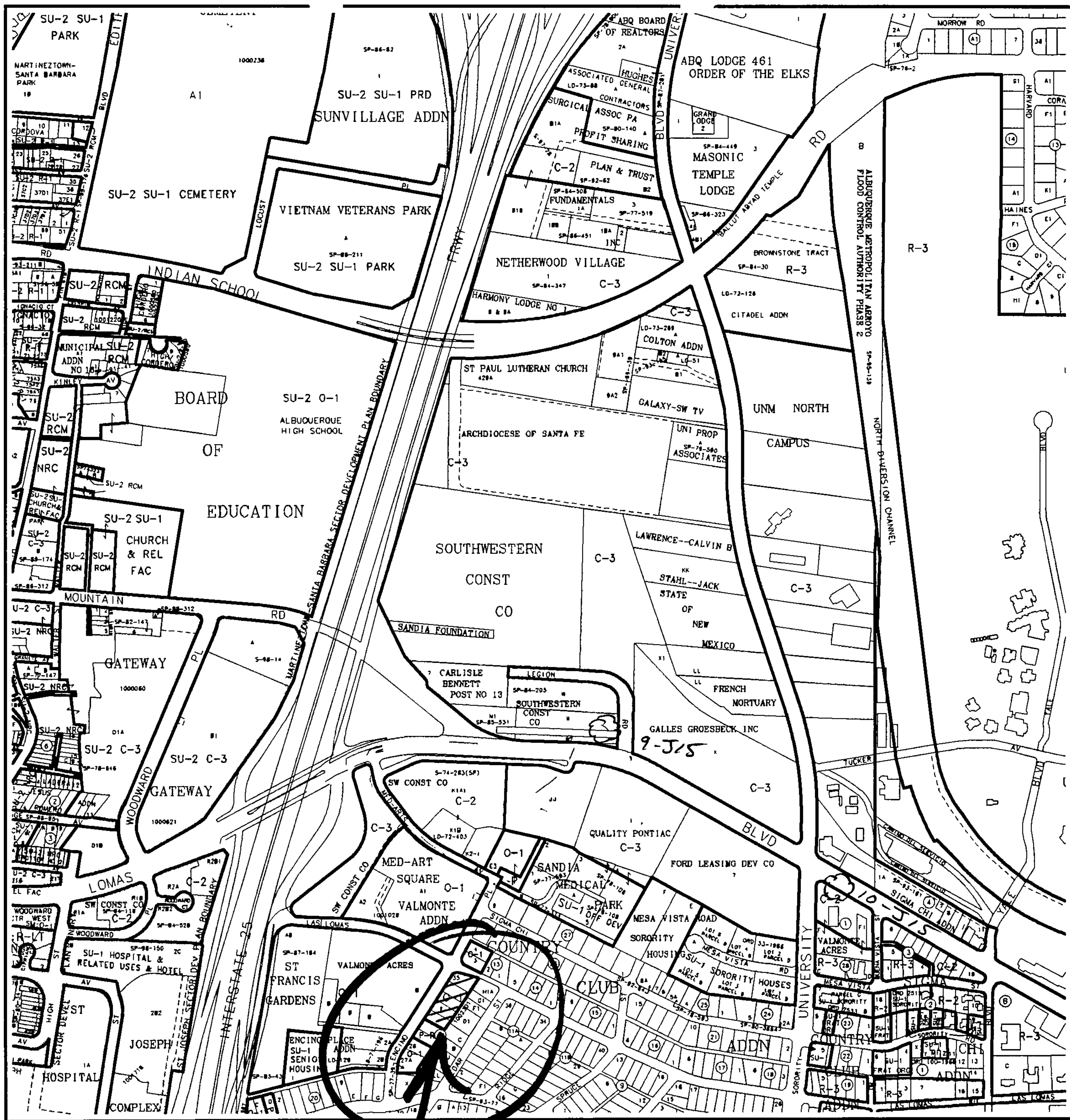
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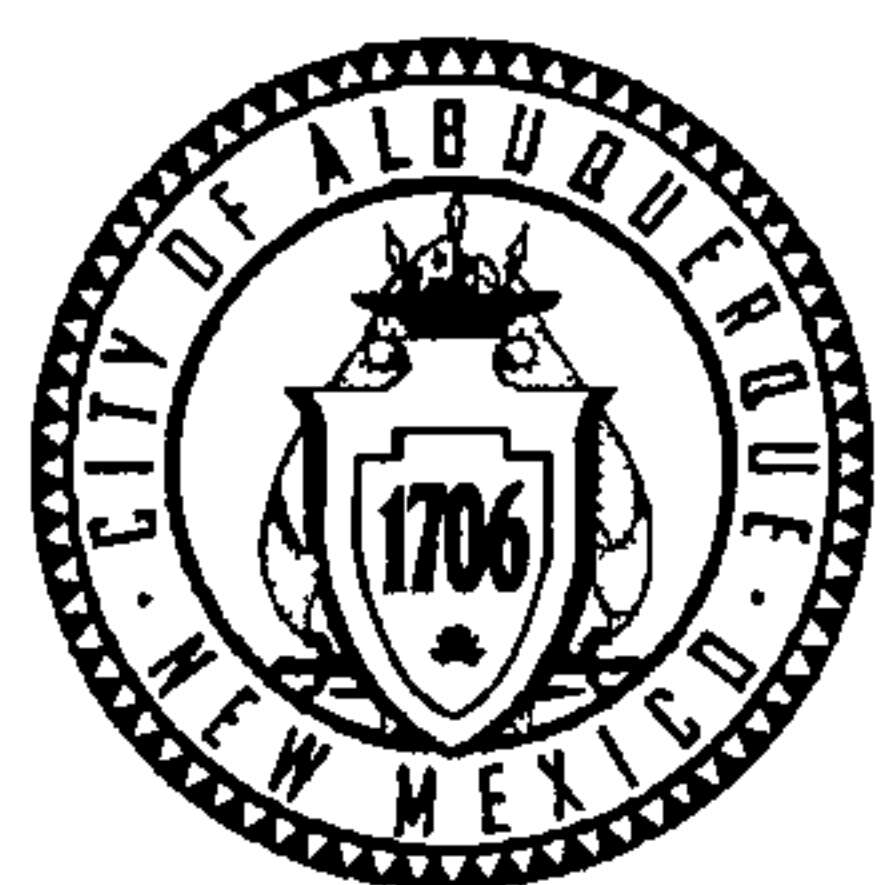
Jim Siss 5/9/06

Planner signature / date

Project # 1004387



NOTE GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS



A G I S
 Albuquerque Geographic Information System
 PLANNING DEPARTMENT

© Copyright 2004



Zone Atlas Page

J-15-Z

Map Amended through August 03, 2004

Surveys Southwest, Ltd

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

May 5, 2006

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 31-A, 31-B, 32-A, 33-A, 34-A & 35-A, BLOCK 12, COUNTRY CLUB
ADDITION

Dear Board Members:

The purpose of the above referenced replat is to create Six (6) residential lots and incorporate vacated right-of-way per Project #1004387.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME LESLIE JENSEN
AGENT SURVEYS Southwest.
ADDRESS _____
PROJECT & APP # 1004387 / 06 DRB-00644
PROJECT NAME COUNTRY CLUB ADDITION

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 565.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 585.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

SPRUCE PARK LLC
P.O. BOX 20953
ALBUQUERQUE, NM 87154

95-145/1070 No. 1027
DATE 4/15/06

Pay to the order of City of Albuquerque \$ 585.00
Five hundred eighty five dollars + 00/100

1ST FIRST STATE BANK
www.fsbnm.com

memo Planning Fee

Judith C. Schaub

Counterreceipt. +1: 1070014521: 1027-002464314

*****DUPLICATE*****
City Of Albuquerque
Treasury Division

5/9/2006 10:50AM LOC: ANNX
RECEIPT# 00062622 WS# 007 TRANSH 0004
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$585.00
J24 Misc

\$20.00
Thank You

*****DUPLICATE*****
City Of Albuquerque
Treasury Division

5/9/2006 10:50AM LOC: ANNX
RECEIPT# 00062623 WS# 007 TRANSH 0004
Account 441006 Fund 0110
Activity 4983000 TRSKAL
Trans Amt \$585.00
J24 Misc

\$565.00
CK \$585.00
CHANGE \$0.00
Thank You



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 21, 2005

5. Project # 1004387
05DRB-01332 Major-Vacation of Pub Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [*Deferred from 9/14/05 & 10/5/05 & 11/9/05 & 12/14/05*] (J-15)

At the December 21, 2005, Development Review Board meeting, the vacations were approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

The following are conditions of final plat approval:

The owner shall sign the final plat. ✓

Spruce Park LLC must close on the purchase of property within the 15-day appeal period or applicant will withdraw the vacation.

A conditional use permit must be approved by the Zoning Hearing Examiner (ZHE) ✓ for residential lots in the O-1 zone.

Plat must show residential lots.



OFFICIAL NOTICE OF DECISION

PAGE 2

If you wish to appeal this decision, you must do so by January 6, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: Mark Harenberg, Spruce Park LLC, P.O. Box 20953, 87154

Bill Bailey, 4002 Oakmont, Rio Rancho, NM 87124

John Myers, 1401 Central Ave NW, 87104

Rupert Holland, Spruce Park Neighborhood Association, 415 Maple St NE, 87106

Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

File

CITY OF ALBUQUERQUE



October 25, 2006

Jean J. Bordenave, P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87109

Re: Spruce Park Conceptual Grading and Drainage Plan
Engineer's Stamp dated 10-13-06 (157091)

Dear Mr. Bordenave,

Based upon the information provided in your submittal dated 10-18-06, the above referenced plan is approved for Preliminary Plat Action by the DRB. Once that board approves the Grading Plan, please submit a mylar copy for my signature in order to obtain a Rough Grading Permit.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Chene, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

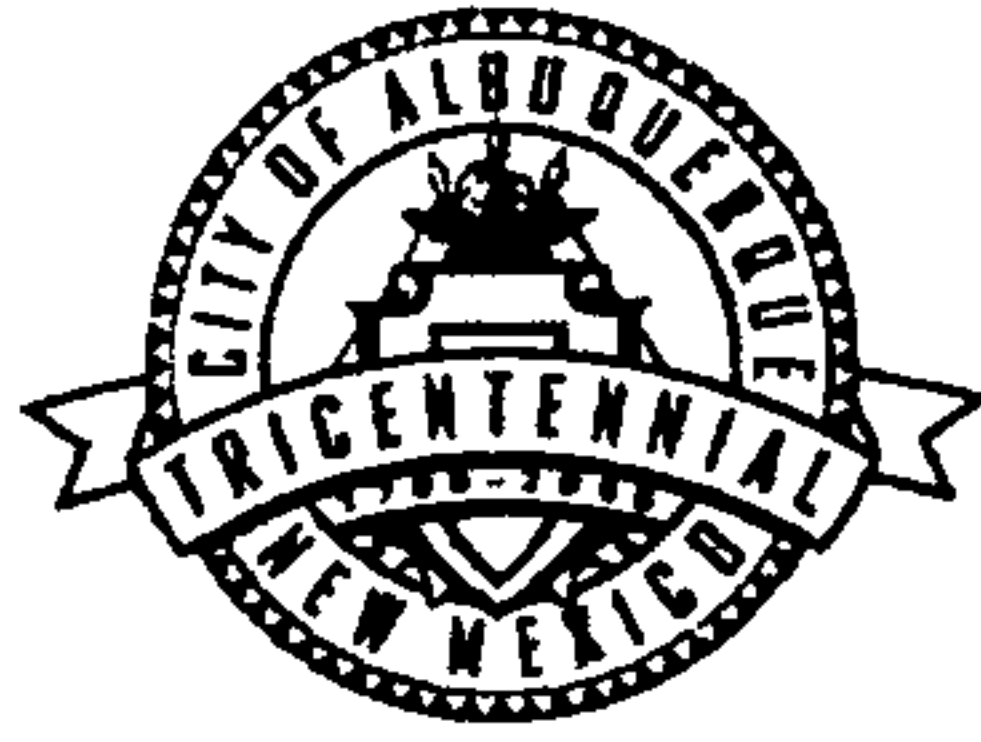
P.O. Box 1293

Albuquerque

New Mexico 87103

www.coabq.gov

C: file
Brad Bingham



#10

CITY OF ALBUQUERQUE
OFFICE OF THE ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

SPRUCE PARK LLC request(s) a special exception to Section § 14-16-2-15-(B)-(4): a **CONDITIONAL USE** to allow dwelling units to exceed the 25% gross floor area on a premise requirement, on all or a portion of Lot(s) 31, Block(s) 12, Country Club Addition, zoned O-1 and located at **718 ENCINO PLACE NE (J-15)**

Special Exception No:..... **05ZHE-01858**
Project No: **1004583**
Hearing Date: 01-17-06
Closing of Public Record: 04-14-06
Date of Decision: 04-14-06

STATEMENT OF FACTS: The applicant, Spruce Park LLC, request(s) a conditional use to allow for dwelling units to exceed the 25% gross floor area on a premise requirement. The applicant proposes to construct six dwelling units in the Spruce Park Neighborhood. This matter was initially deferred to allow all of the interested parties to confer. Applicant has met with the Spruce Park Neighborhood Association. The Spruce Park Neighborhood Association and the applicant have submitted proposed conditions for this development upon a conclusion that with these conditions the proposed development would not cause injury to the neighborhood, adjacent property, or the community. The applicant has demonstrated that the proposed conditional use would not cause injury to the neighborhood, adjacent properties, or the community, as required in the Zoning Ordinance. Subsequent to the public hearing, the parties were asked to confer regarding a landscaping plan to be submitted to this office. The plans were submitted pursuant to correspondence received by the Spruce Park Neighborhood Association on April 7, 2006. A review of the landscaping plan as well as the proposed conditions submitted by the parties indicate that the proposed development would comply with the landscaping requirements and the Zoning Ordinance with regards to the standards for the granting of a conditional use. It is noted that there was no objection to this request. However, there is a letter of concern regarding the desire that the applicant comply with the conditions as set forth with the recommendations as provided for in the file.

FINDINGS AND CONCLUSIONS: I find that the proposed development of the town homes would not cause injury to the neighborhood, adjacent property or the community, consistent with the conditions agreed to by the parties and submitted to this office for consideration. For reasons stated above, this request is approved.

DECISION: Approved with conditions.

CONDITIONS:

- 1) That the applicant comply with the landscaping requirements and the proposed landscaping site plan which is part of the file and which has been agreed to by all parties.
- 2) That the applicant comply with the conditions agreed to with the Spruce Park Neighborhood Association and made a part of this approval, as Exhibit C.

If you wish to appeal this decision, you may do so by 5:00 p.m., in the manner described below:

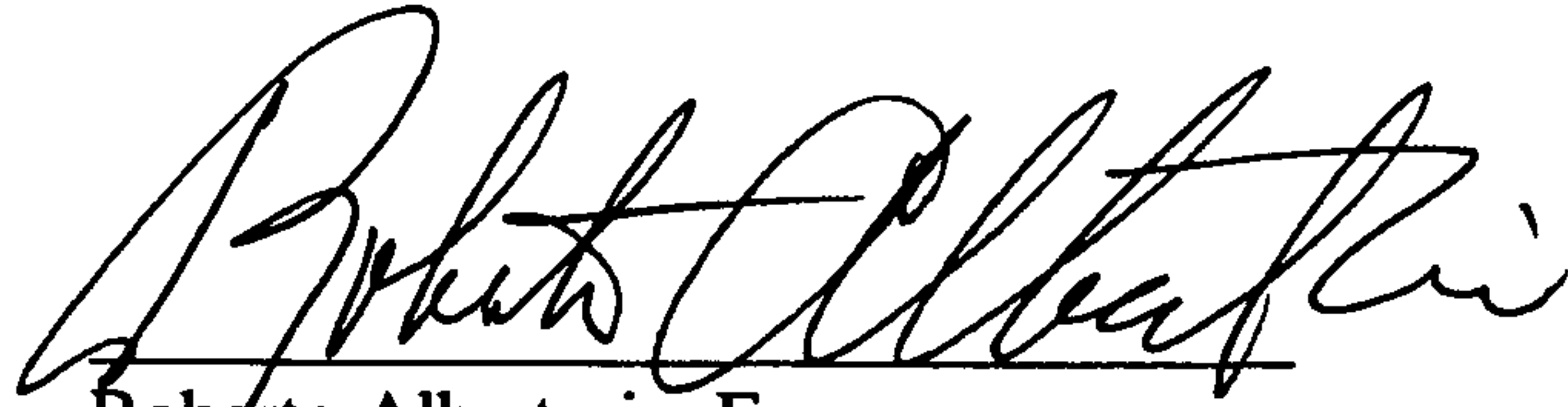
APPEAL IS TO THE BOARD OF APPEALS WITHIN 15 DAYS OF THE DECISION. A filing fee of \$55.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street, Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14. 16. 4. 4. (B). of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



Roberto Albertorio, Esq.
Zoning Hearing Examiner

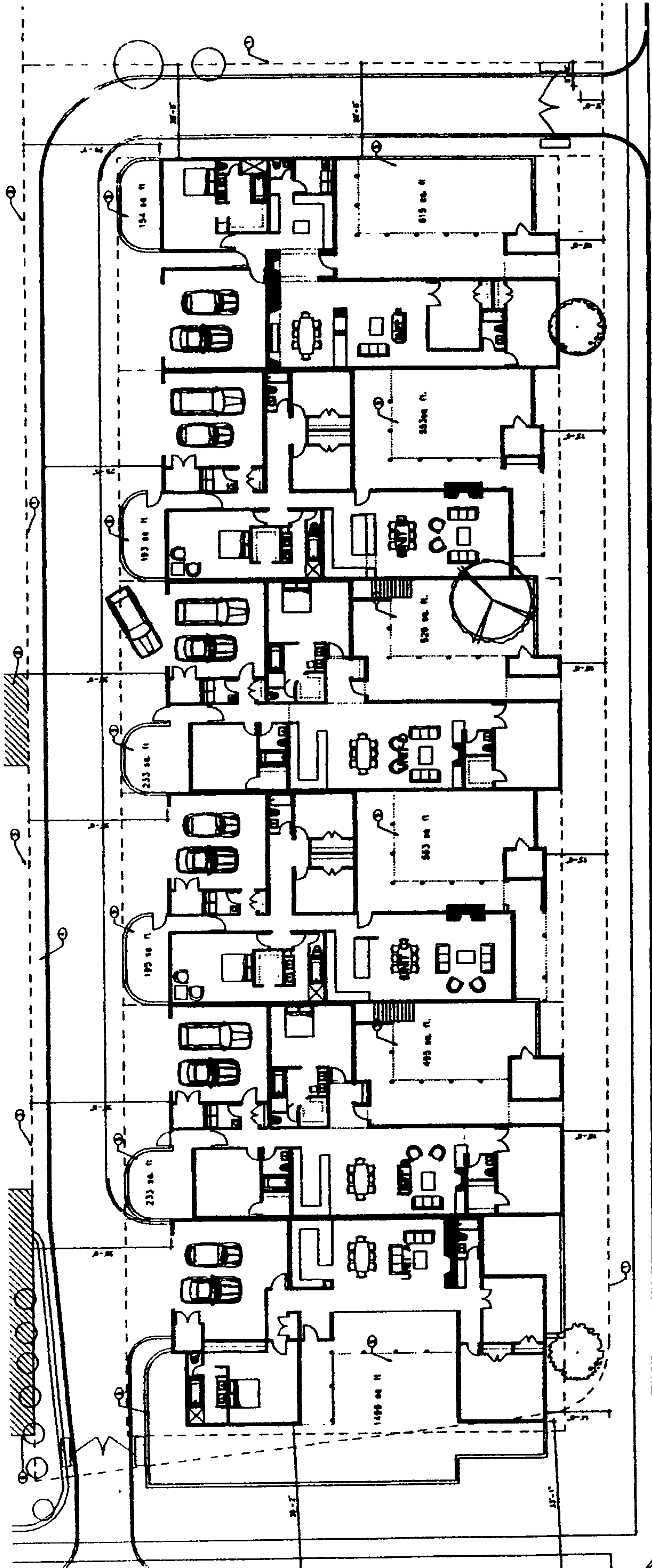
cc: Zoning Enforcement (2)
ZHE File
Spruce Park LLC, PO Box 20953, 87154
Ed Fitzgerald, 121 Jefferson NE, 87108
Luis Robles, 500 Fourth St NW, Ste 200, 87102
John Cochran, Spruce Park Zoning Committee, 1423 Sigma Chi Rd NE, 87106
Julie Bohan, MD, 615 Cedar NE, 87106
Rupert Holland, 415 Maple NE, 87106

EXHIBIT "C"

Conditions For Approval For A Conditional Use For Dwelling Units Constituting More Than 25% Of The Gross Floor Area On A Premises Zoned O-1 and For Vacation Of A Portion Of Las Lomas Road Right-Of-Way

1. These conditions shall apply to Lots 31, 32, 33, 34 and 35, Block 12, Country Club Addition to the City of Albuquerque, New Mexico (the "Property").
2. There shall be six (6) dwelling units, in a "for sale" residential townhouse project (the "Project").
3. If the Project is approved and even one residential townhouse is constructed, only residential uses and such other uses as are permitted in the R-T Residential Zone shall be allowed on the Property.
4. Only conditional uses allowed in the R-T Residential Zone may be considered if a conditional use for dwelling units is approved.
5. Upon re-plat of the Property, each of the six (6) new lots shall have a minimum lot area of 5,000 square feet and a minimum lot depth of 125 feet.
6. The architectural style of the Project shall be "Pueblo Revival," and will be substantially as shown on the "Project Plans" attached as Exhibit "A".
7. No improvements, except those shown on the Project Plans, shall be constructed within any vacated public right-of-way. No more than ten feet (10') of any vacated Las Lomas Road NE public right-of-way may be enclosed with a wall, which wall may not exceed six feet (6') in height. The balance of any vacated public right-of-way shall be landscaped, which landscaping shall include a public bench, and remain visually accessible to the public.
8. The Project shall contain not less than 11,000 square feet of heated floor area; no single dwelling unit shall contain less than 1,500 square feet of heated floor area and a two-vehicle garage.
9. Each townhouse dwelling unit shall be single-story.
10. Each townhouse dwelling unit shall have a maximum height of 18 feet (18'), which shall include the height of any parapet, except for chimneys, flues and similar utility-type projections. Height shall be measured from the existing grade of the property.
11. The heights of the east façades of six (6) townhouse dwelling units shall vary to break up the overall massing of the east façade.
12. Parapets shall screen any rooftop mechanical equipment from view from the ground floor of properties adjacent to the project.
13. Roof decks are prohibited within the twenty-four feet (24') west of the eastern parapet wall of the townhouses, and shall be no closer than fifty-four feet (54') from the east property line of the Property.
14. There shall be a minimum front yard setback of ten feet (10').
15. There shall be a minimum rear yard setback of thirty feet (30'); however, there may be slight variations of this setback by as much as five feet (5'), as recommended by the Project Architect, for design enhancement.
16. There shall be a minimum side yard setback of ten feet (10') on the northern side of the Project.

17. There shall be a minimum side yard setback of twenty feet (20') on the southern side of the Project.
18. No structure other than a privacy or garden wall shall be constructed within thirty feet (30') of a lot zoned R-1 Residential, with the exception of the slight variations allowed in Condition #15.
19. No wall shall be constructed within ten feet (10') of the Encino Place or the Las Lomas Road property line. The maximum height of any wall adjacent to Encino Place or Las Lomas Road shall be six feet (6').
20. The developer shall prepare a landscape plan for the Project which shall include, at a minimum:
 - (a) a landscape buffer within a minimum three-foot (3') wide landscape area, six feet (6') wide where possible, along the eastern boundary of the Property;
 - (b) landscaping within the setback areas adjacent to Las Lomas Road and Encino Place, which landscaping is to be consistent with the landscaping of the adjacent historic Spruce Park Neighborhood; and
 - (c) at least one (1) tree per townhouse unit on the west side of the Property.
21. The driveway parallel to the eastern boundary of the Property shall exit onto Las Lomas Road at a northwesterly angle to discourage traffic from turning east on Las Lomas Road, subject to approval by the Transportation Development Section of the City Planning Department.
22. There shall be no curb cuts serving the individual lots within the Project. The only vehicle access shall be the common, one-way access, entering from Encino Place and exiting onto Las Lomas Road. There shall be no prohibition of on-street parking, unless required by the City.
23. The developer shall establish cross-access easements for each of the six (6) new lots.
24. No vehicle parking shall be permitted within the front yard setback areas along Encino Place or within the front/side yard setback area along Las Lomas Road.
25. Unless otherwise provided in these conditions, the Project shall comply with the R-T regulations of the Zoning Code.
26. Any outdoor lighting shall comply with the area lighting regulations of the Zoning Code.
27. Solid Waste service for the Project shall be with individual trash containers, to be collected from Encino Place, if permitted by the City.
28. The site plan shall generally comply with the requirements for a site development plan for subdivision and a site development plan for building permits.



SITE PLAN
Scale 1" = 10'-0"



PROJECT DATA

PROJECT: SPRUCE PARK COMPOUND
 PROJECT ADDRESS: 714 LOCUS PLACE SE, ALBUQUERQUE, NEW MEXICO 87102
 LOCAL DESCRIPTION: 1015, 11, 20, 21, 24, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

KEYED NOTES

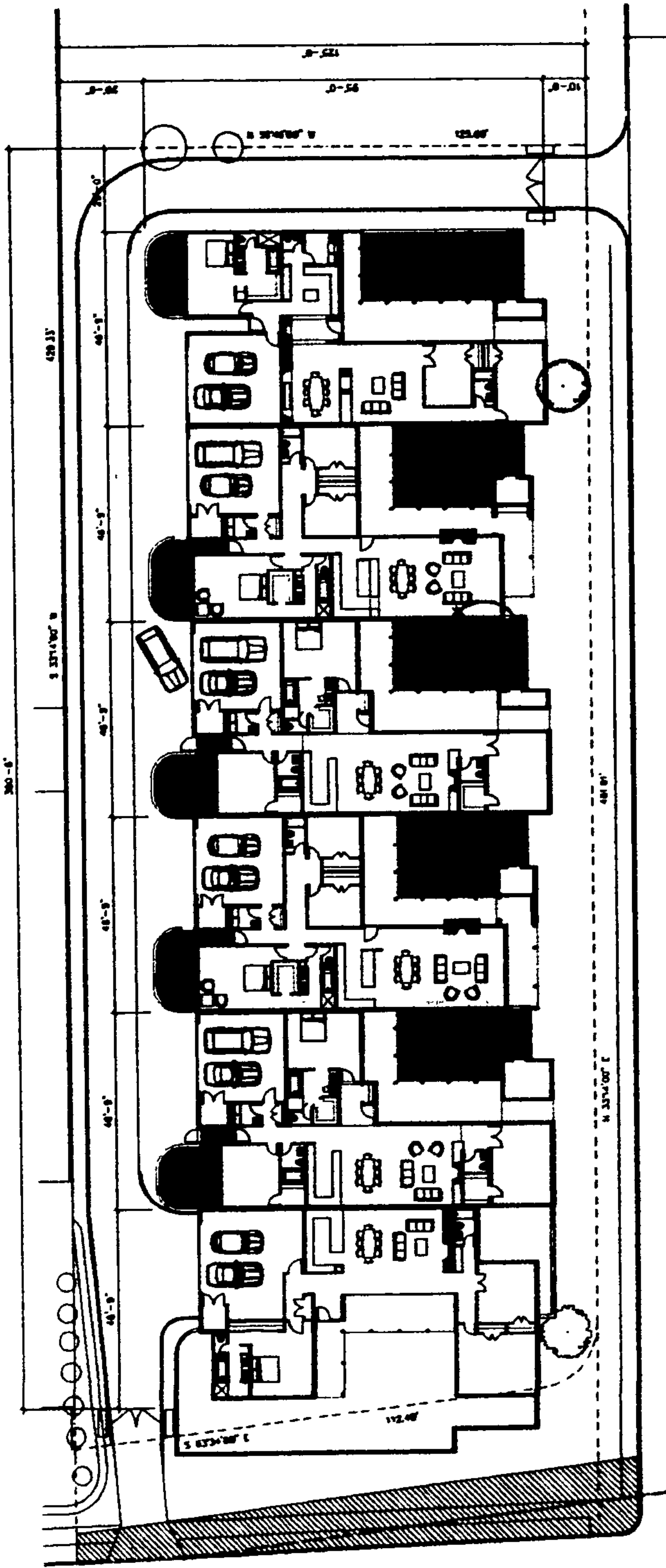
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- 2 UNIT BUILDING FOOTPRINT
- 3 UNIT BUILDING EXTERIOR FINISH
- 4 UNIT BUILDING INTERIOR FINISH
- 5 UNIT BUILDING ROOF FINISH
- 6 UNIT BUILDING FOUNDATION

UNIT	BUILDING AREA	LANDSCAPE AREA	GRASSY AREA
UNIT A	3,000 SQ. FT.	1,274 SQ. FT.	1,400 SQ. FT.
UNIT B	2,674 SQ. FT.	2,203 SQ. FT.	790 SQ. FT.
UNIT C	2,536 SQ. FT.	2,820 SQ. FT.	740 SQ. FT.
UNIT D	2,674 SQ. FT.	2,100 SQ. FT.	700 SQ. FT.
UNIT E	2,536 SQ. FT.	2,820 SQ. FT.	740 SQ. FT.
UNIT F	2,674 SQ. FT.	2,100 SQ. FT.	700 SQ. FT.
TOTAL	18,045 SQ. FT.		
SITE	31,700 SQ. FT.		

SPRUCE PARK COMPOUND

E D W A R D
 FITZGERALD
 ARCHITECT
 1015 LOCUS PLACE SE
 ALBUQUERQUE, NEW MEXICO 87102
 TEL: 505-263-3333 FAX: 505-263-3334

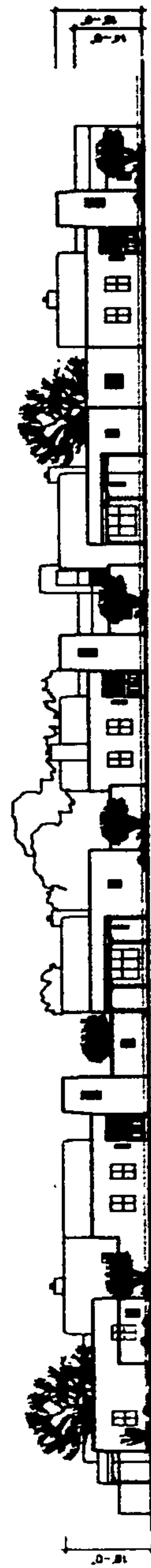
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 OF: 2



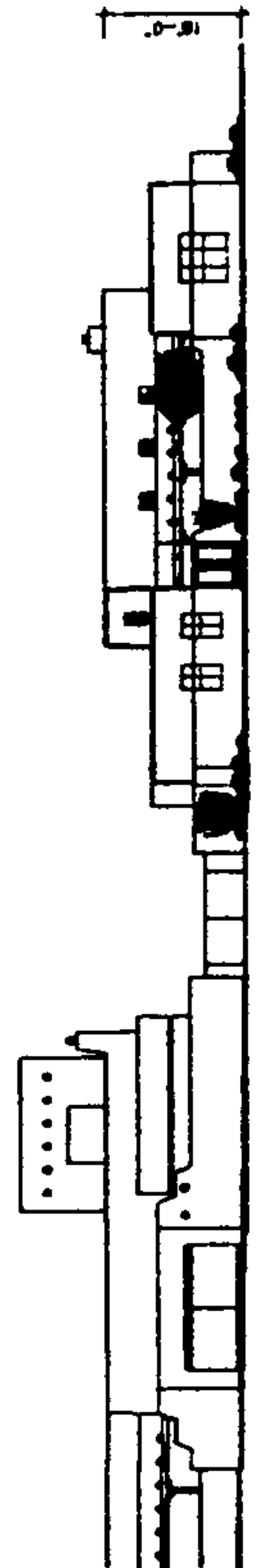
ENCINO PLACE NE

LAS LOMAS ROAD NE

SITE PLAN
 scale 1/16"=1'-0"



WEST ELEVATION
 scale 1/16"=1'-0"



NORTH ELEVATION
 scale 1/16"=1'-0"

SPRUCE PARK
 COMPOUND

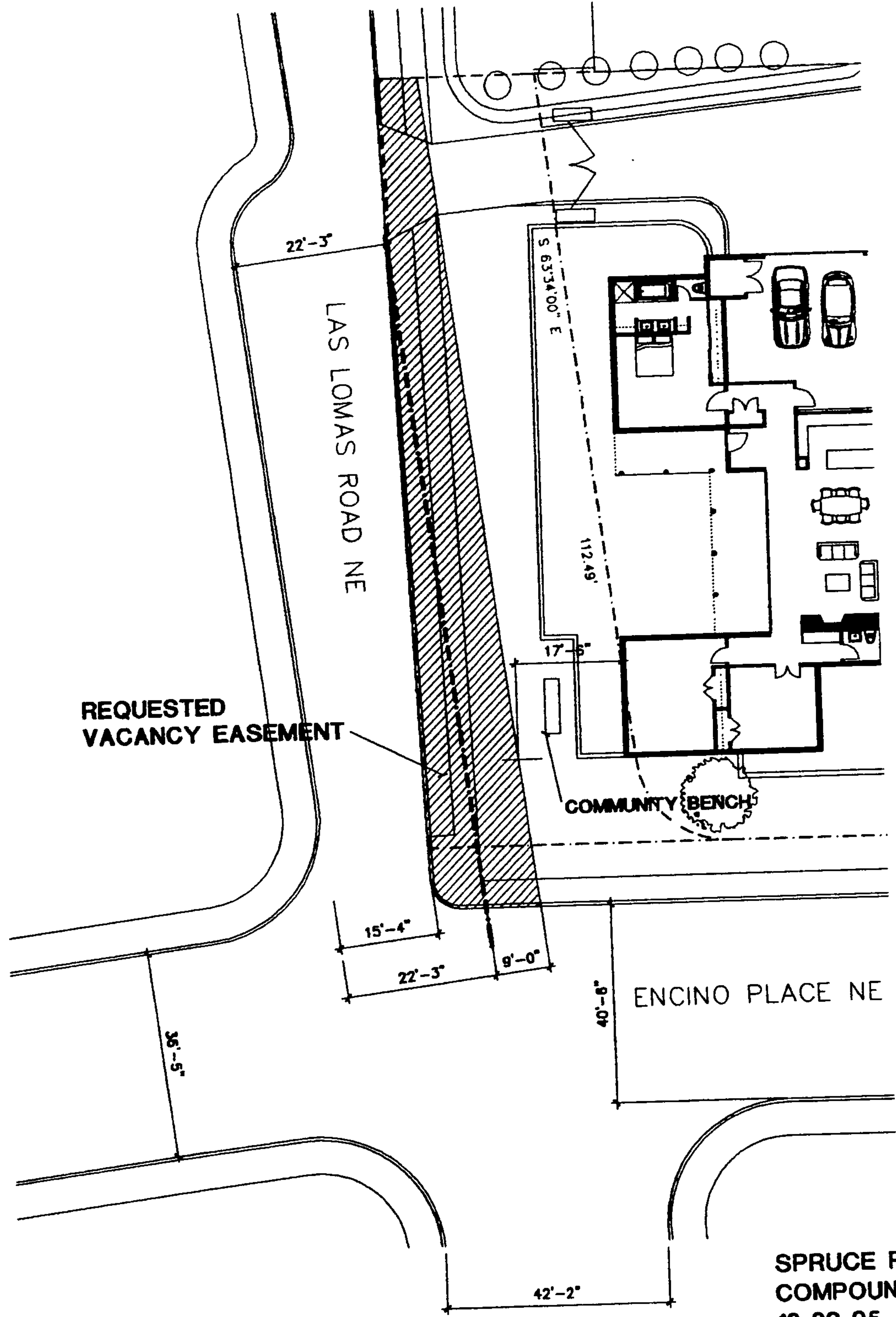
E D W A R D
 FITZGERALD

131 JACKSON STREET
 ALBUQUERQUE, NEW MEXICO
 505 253 7 500 4900
 705 508 1 500 1000



A-1

19-20-08
 8/17P



SPRUCE PARK
COMPOUND
12-20-05

E D W A R D
F I T Z G E R A L D

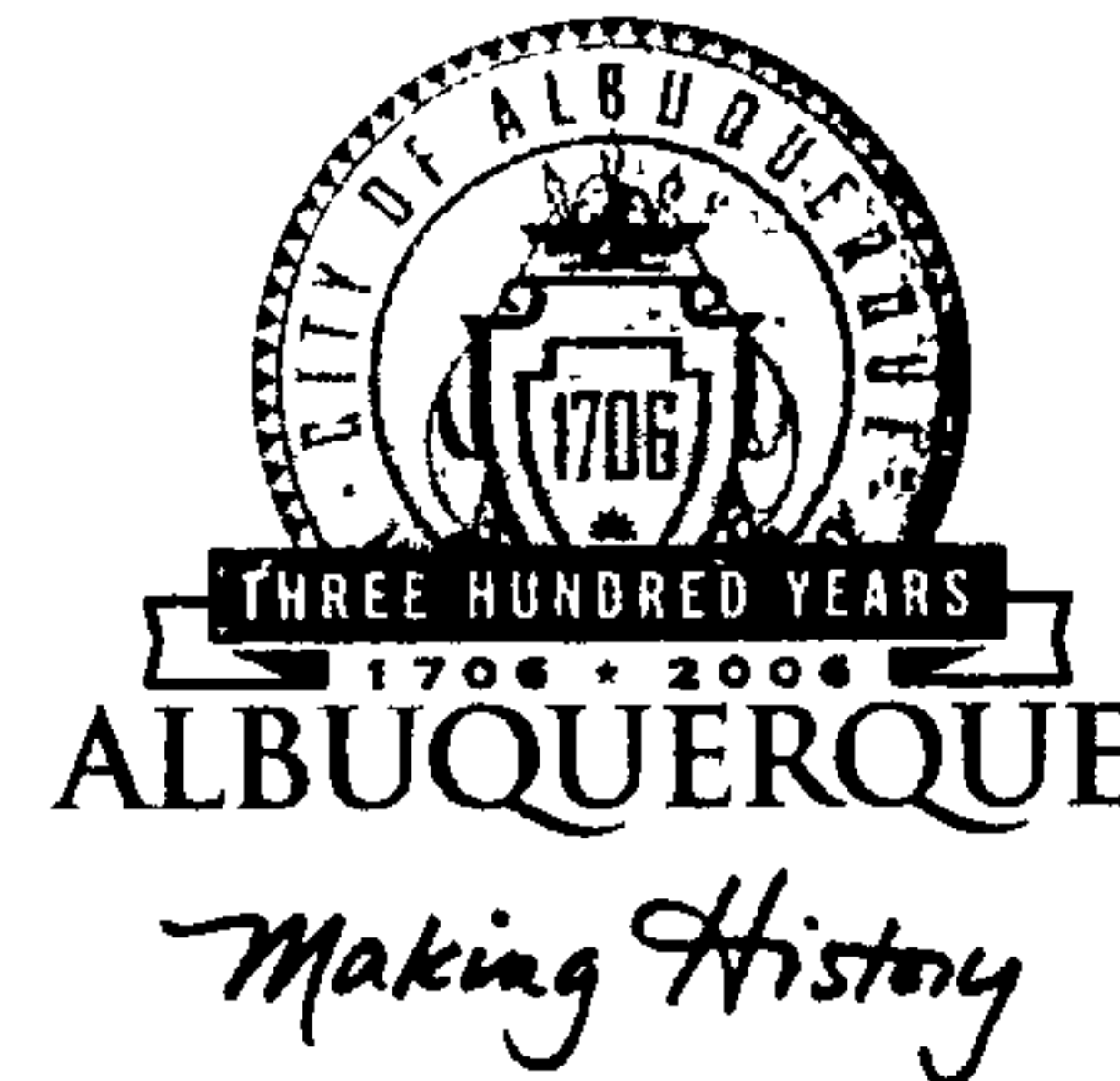
ARCHITECTS

121 JEFFERSON STREET NE
ALBUQUERQUE NEW MEXICO
8 7 1 0 8
TEL 505 268 9055
FAX 505 265 2696

CITY OF ALBUQUERQUE

Just deferred on a No Show

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**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 16

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

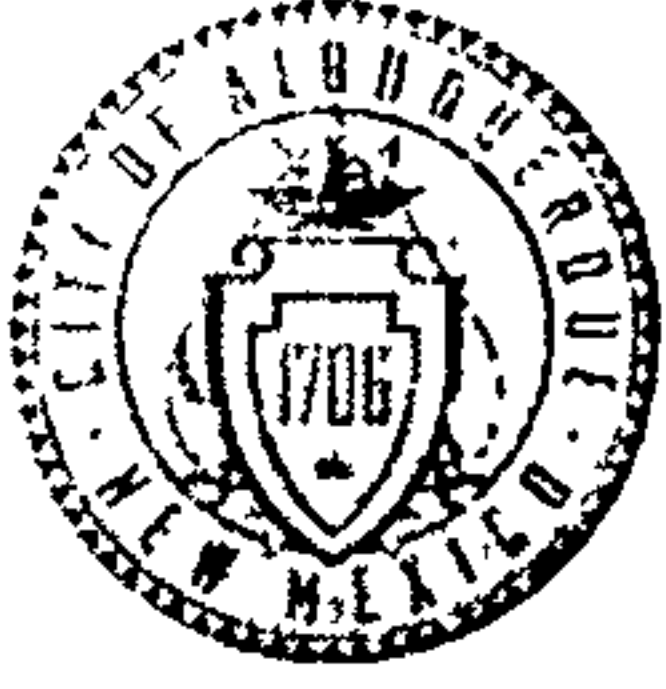
DATE: March 8, 2006

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



IMPACT FEES – # 1004387

Development Review Board 3/8/06 Agenda Item #16
Sketch Plat: Lots 31 - 35, Block 12, Country Club Addition

Construction of a new single family residence within the proposed subdivision will require payment of Impact Fees. Based on a house size of approximately 2,000 square feet, it is estimated that impact fees will total approximately \$892 if a permit is obtained prior to December 29, 2006 and \$1,332 thereafter.

JACK CLOUD
IMPACT FEE ADMINISTRATOR

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
March 8, 2006
DRB Comments**

ITEM # 16

PROJECT # 1004387

APPLICATION # 06DRB-00269

RE: Lots 31-35, Block 12, Country Club Addition/sketch plat

A copy of the notice of decision approving the townhouse conditional use in the O-1 zone must be turned in with the application for replat.

The required setbacks must be met.

Any perimeter walls abutting a street must have design approval from the DRB Chair before plat approval.

If there are public infrastructure requirements, the project will become a major subdivision and require public hearing application.



Sheran Matson, AICP, DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form		ZONING & PLANNING	
<input type="checkbox"/>	Major Subdivision action	S	Z	<input type="checkbox"/>	Annexation
<input checked="" type="checkbox"/>	Minor Subdivision action <i>SK</i>			<input type="checkbox"/>	County Submittal
<input type="checkbox"/>	Vacation	V		<input type="checkbox"/>	EPC Submittal
<input type="checkbox"/>	Variance (Non-Zoning)			<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN		P		<input type="checkbox"/>	Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/>	for Subdivision Purposes			<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/>	for Building Permit			<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/>	IP Master Development Plan			<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...	
STORM DRAINAGE		D		<input type="checkbox"/>	Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan				

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: SPRUCE PARK LLC PHONE: 293 8841
 ADDRESS: 1636 Arduleta Dr NE FAX: -
 CITY: _____ STATE _____ ZIP 87112 E-MAIL: -
 Proprietary interest in site: OWNER IN FEE SIMPLE List all owners: SPRUCE PARK, LLC
 AGENT (if any): Edward Fitzgerald / Architects PHONE: 268 9055
 ADDRESS: 121 Jefferson NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: Ed@efarchitects.com

DESCRIPTION OF REQUEST: Extend property boundary to north and divide the property into 6 lots

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 31-35 Block: 12 Unit: _____
 Subdiv. / Addn. Country Club Addition
 Current Zoning: 0-1 Proposed zoning: 0-1
 Zone Atlas page(s): J-15 No. of existing lots: 5 No. of proposed lots: 6
 Total area of site (acres): .8644 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101505823503230412 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 718 Encino Pl NE
 Between: Las Lunas and Roma

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):
~~None~~ 05 DRB - 01332

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE [Signature] DATE 2/28/06
 (Print) DAVID L KELEHER - EDWARD FITZGERALD ARCHITECTS Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/>	All checklists are complete	<u>06 DRB - 00269</u>	<u>SK</u>	<u>9(3)</u>	<u>\$ 0</u>
<input type="checkbox"/>	All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/>	All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/>	AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/>	Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/>	Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/>	F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/>	F.H.D.P. fee rebate	_____	_____	_____	Total \$ _____

Hearing date 03-08-06

Andrew Garcia 2-28-06

Project # 1004387

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED, OR INTERNAL ROUTING)

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DAVID KETTER, Edward Fitzgerald Architects
 Applicant name (print)
[Signature] 2/28/06
 Applicant signature / date

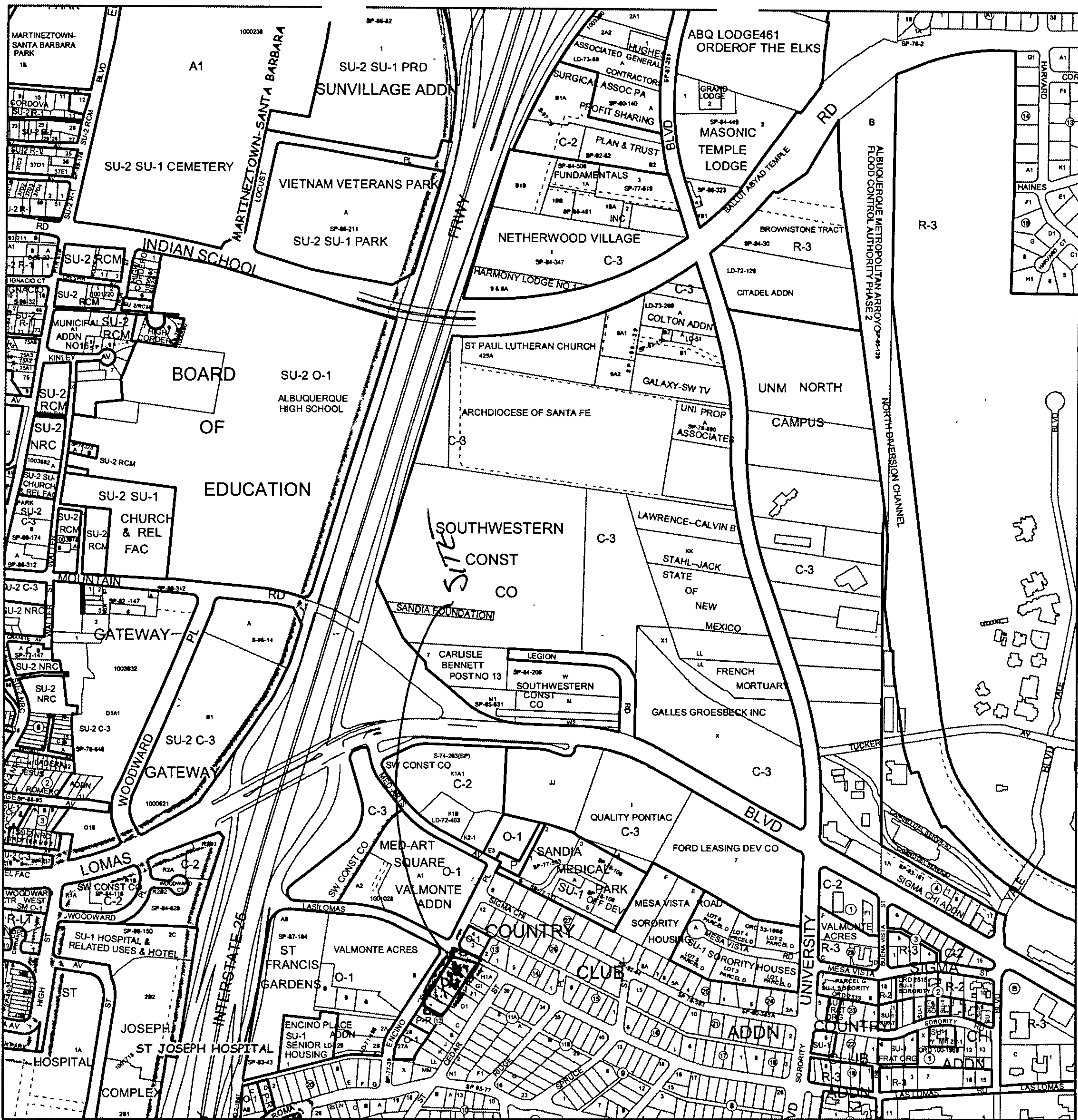


Form revised 8/04, 1/05 & 10/05

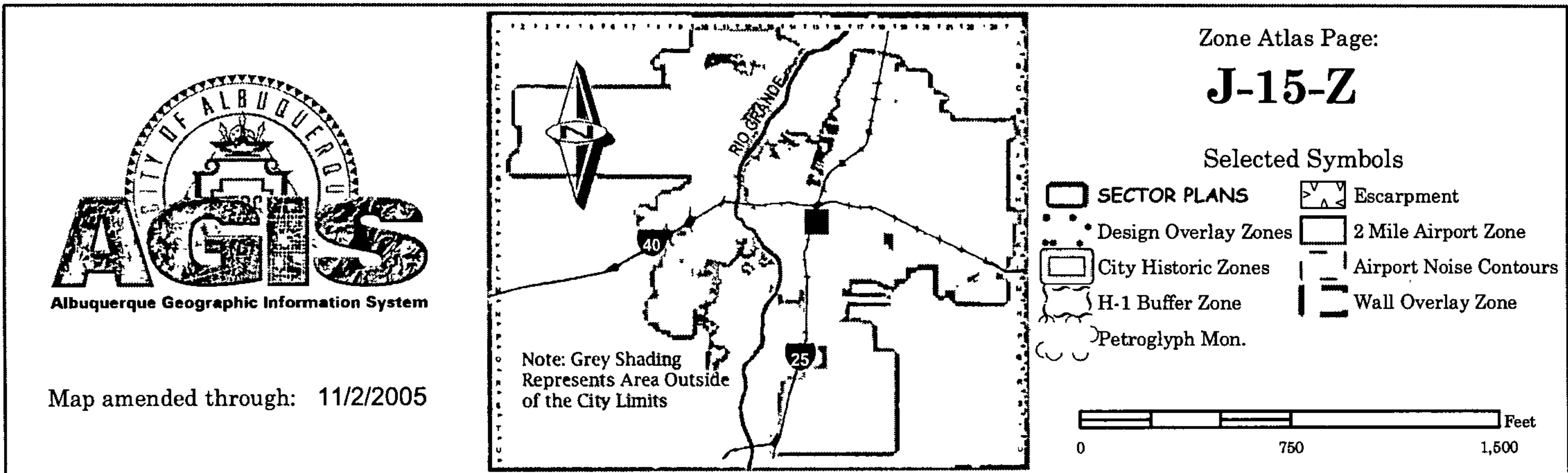
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 06DRB - 00269

Andrew Garcia 2-28-06
 Planner signature / date
Project # 1004387



For more current information and more details visit: <http://www.cabq.gov/gis>



SPRUCE PARK COMPOUND 2.28-06

Minor Subdivision Action

in O-1 for: *Townhouses*

Property Location: 718 Encino Place NE
Albuquerque, NM 87106

Legal Description: Lots 31,32,33,34&35
Block 12
Country Club Addition

Owner: Spruce Park LLC
PO Box 20953
Albuquerque, NM 87154

Agent: Edward Fitzgerald / Architects
121 Jefferson NE
Albuquerque, NM 87108
505-268-9055

Request for re-plating of the existing 5 properties into 6 properties, correspond with the proposed Townhouse layout. The existing site plan has been approved for conditional use allowing residential townhouses in the O-1 zoning.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 21, 2005

5. Project # 1004387
05DRB-01332 Major-Vacation of Pub Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). *[Deferred from 9/14/05 & 10/5/05 & 11/9/05 & 12/14/05] (J-15)*

At the December 21, 2005, Development Review Board meeting, the vacations were approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

The following are conditions of final plat approval:

The owner shall sign the final plat.

Spruce Park LLC must close on the purchase of property within the 15-day appeal period or applicant will withdraw the vacation.

A conditional use permit must be approved by the Zoning Hearing Examiner (ZHE) for residential lots in the O-1 zone.

Plat must show residential lots.



OFFICIAL NOTICE OF DECISION

PAGE 2

If you wish to appeal this decision, you must do so by January 6, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Sheran Matson, AICP, DRB Chair

Cc: Mark Harenberg, Spruce Park LLC, P.O. Box 20953, 87154

Bill Bailey, 4002 Oakmont, Rio Rancho, NM 87124

John Myers, 1401 Central Ave NW, 87104

Rupert Holland, Spruce Park Neighborhood Association, 415 Maple St NE, 87106

Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004387 AGENDA#: 5 DATE: 12/21/05

✓ 1. Name: John Myers Address: 1401 Central Ave
HT NW Zip: 87104

2. Name: Mark Harenberg Address: 1535 Archuleta Zip: 87112

✓ 3. Name: Rupert Hollenz Address: Spine Park Neighborhood Association
915 Maple St NE Zip: 87106

Notice 4. Name: Bill Bailey Address: 4002 Oakdown
Rio Rancho Vm Zip: 87124

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

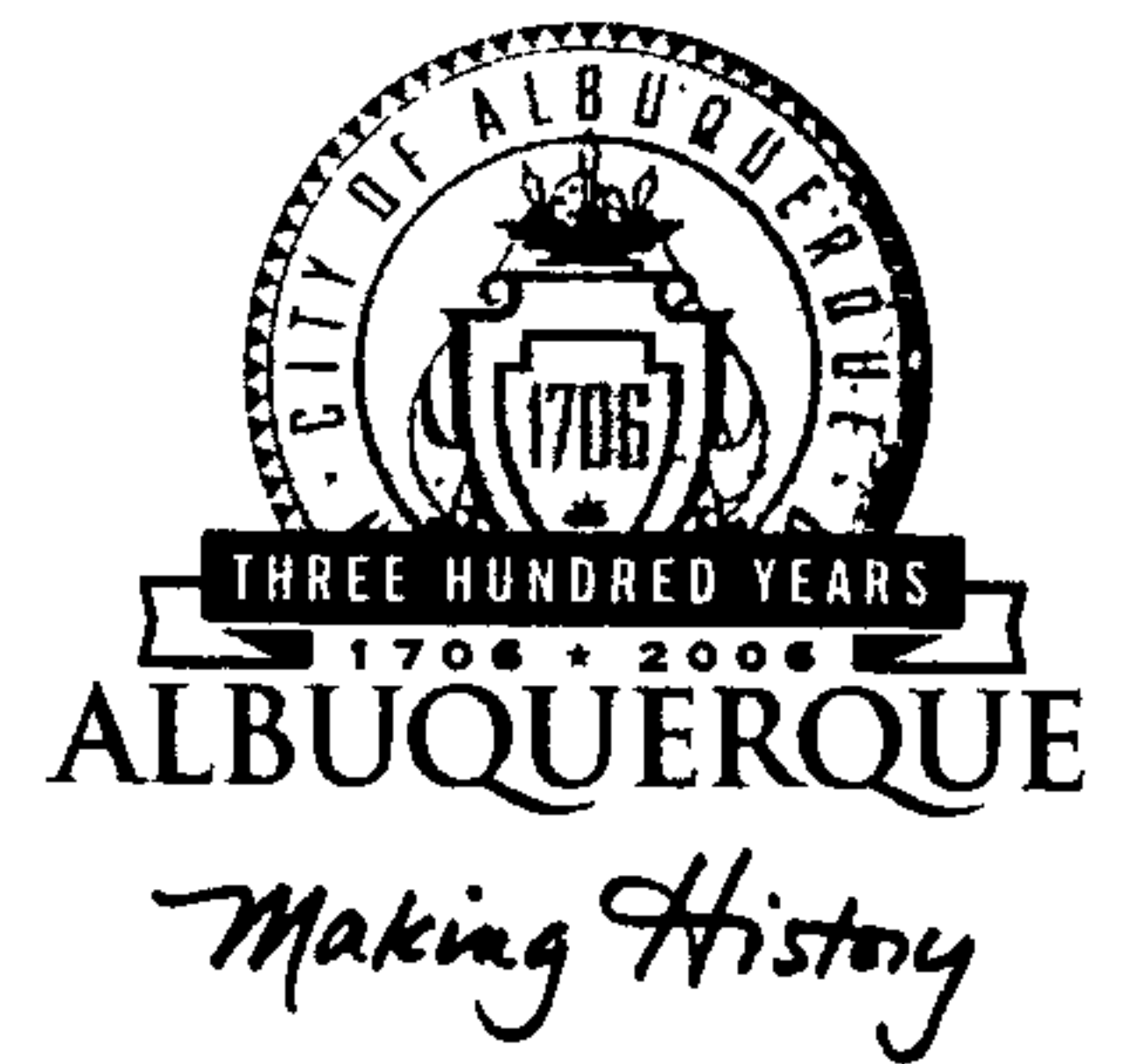
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 5

SUBJECT:

Vacation

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the vacation request.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 21, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 14, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:25 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- Project # 1004360**
05DRB-01736 Major-SiteDev Plan
Subd
05DRB-01737 Major-Preliminary Plat
Approval
RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-A, ACRES ADDITION (to be known as **ENTRADA DEL BOSQUE SUBDIVISION**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between GABALDON NW and LULAC AVE NW containing approximately 3 acre(s). [REF: 05DRB01245] [Deferred from 12/14/05] (J-12) **DEFERRED AT THE BOARD'S REQUEST TO 12/21/05.**

2. **Project # 1003132**
05DRB-01754 Major- Vacation of Public Easements
05DRB-01753 Major- Vacation of Public Easements

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for MWS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A & 9-B, **BROADWAY INDUSTRIAL CENTER, UNIT 3**, zoned SU-2 - HM located on KARSTEN COURT SE, between SAN JOSE SE and GIBSON AVE SE containing approximately 4 acre(s). [REF: 03DRB020703, DRB-97-271] (M-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A CONDITION OF FINAL PLAT: THE EXISTING LOTS WILL BE CONSOLIDATED INTO A SINGLE LOT.**

3. **Project # 1001594**
05DRB-01761 Major-Vacation of Public Easements

WILSON & COMPANY agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 29A, LANDS OF SALAZAR/QUATRO/JSJ/ HANNETT, (to be known as **ARROWWOOD HILLS, UNIT 1**, zoned R-LT residential zone, located on AMOLE MESA SW, between MESA ARENOSO DR SW and MESSINA DR SW containing approximately 1 acre(s). [REF: 02DRB01621, 01622,, 04DRB00137, 00261, 00262,00263] (N-8/N-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1003921**
05DRB-01758 Major-Vacation of Pub Right-of-Way
05DRB-01759 Major-Vacation of Public Easements
05DRB-01760 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for AMAFCA & CITY OF ALBUQUERQUE, MUNICIPAL DEVELOPMENT DIVISION, request(s) the above action(s) for all or a portion of Lot(s) 1-32, Block(s) 7 and Lot(s) 1-32, Block(s) 8, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-1, R-D, R-T, located on CORONA AVE NE, between LOUISIANA BLVD NE and WYOMING AVE NE containing approximately 10 acre(s). (C-19) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN.**

5. ~~Project # 1004387~~
05DRB-01332 Major-Vacation of Pub
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [Deferred from 9/14/05 & 10/5/05 & 11/9/05 & 12/14/05] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

6. **Project # 1004462**
05DRB-01525 Major-Vacation of Public
Easements
05DRB-01524 Major-Preliminary Plat
Approval
05DRB-01526 Minor-Sidewalk Waiver
05DRB-01527 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [Deferred from 10/26/06 & 11/2/05 & 11/9/05 & 11/16/05 & 11/23/05 & 11/30/05 & 12/7/05 & 12/14/05] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1004343**
05DRB-01213 Minor-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC. agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 22-27, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on EDITH BLVD NW, between ALAMEDA PARK DR NW and the AMAFCA DIVERSION CHANNEL containing approximately 12 acre(s). [REF: DRB-98-223] [Deferred from 8/3/05 & 8/10/05 & INDEF DEFERRED ON 9/7/05] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK DIMENSIONING AND SIDEWALK DETAIL AND 3 COPIES OF THE SITE PLAN.**

8. **Project # 1004097**
05DRB-01790 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON LLC request(s) the above action(s) for all or a portion of Tract(s) 4-1, **MESA DEL SOL EMPLOYMENT CENTER, PHASE 1**, zoned SU-1 FOR IP USES, located at the intersection of BOBBY FOSTER SE and UNIVERSITY BLVD SE Extension, containing approximately 7 acre(s). **[Catalina Lehner, EPC Case Planner] [Deferred from 12/7/05] (Q-16/R-16) SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RADII TURNING TEMPLATES, A COPY OF COUNTY LETTER AND 3 COPIES OF THE SITE PLAN.**

05DRB-01826 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for REGENTS OF UNM & COMMISSIONER OF PUBLIC LANDS OF THE STATE OF NEW MEXICO TRUSTEE, request(s) the above action(s) for all or a portion of Tract(s) 9-A & 9-B, **MESA DEL SOL, EMPLOYMENT CENTER PHASE 1**, zoned SU-2 PLANNED COMMUNITY, located on BOBBY FOSTER SE, between UNIVERSITY BLVD SE Extension, containing approximately 7 acre(s). **Q-16,R-15/R-16, S-16) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/14/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: A 17-FOOT RIGHT-OF-WAY EXCHANGE WITH THE COUNTY SHALL BE REVISITED PRIOR TO FINAL PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

9. **Project # 1002346**
05DRB-01794 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01792 Minor-Prelim&Final Plat
Approval

GEORGE RAINHART ARCHITECT & ASSOCIATES agent(s) for GRADY RENTALS LLC request(s) the above action(s) for all or a portion of Tract(s) G, **VENTANA RANCH**, (to be known as **VENTANA SQUARE @ VENTANA RANCH**) zoned C-2 community commercial zone, located on UNIVERSE BLVD NW, between PARADISE BLVD NW and VENTANA RD NW containing approximately 10 acre(s). [REF: 05EPC-01264, 05EPC-01263, 02DRB-01735, 03DRB-00070, 03DRB-00171] **[Carmen Marrone, EPC Case Planner] [Deferred from 12/7/05] (B-10) SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR COORDINATION AND APPROVAL WITH AMAFCA OF MAINTENANCE ROAD**

ACCESS AND PLANNING FOR 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/14/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITIONS OF FINAL PLAT: AMAFCAS SIGNATURE ON FINAL PLAT. MAINTENANCE NOTES FOR CROSS ACCESS EASEMENTS ARE ADDED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.

05DRB-01830 Minor-SiteDev Plan
Subd/EPC

GEORGE RAINHART ARCHITECT & ASSOCIATES agent(s) for GRADY RENTALS LLC request(s) the above action(s) for all or a portion of Tract(s) G, VENTANA RANCH, (to be known as **VENTANA SQUARE @ VENTANA RANCH**) zoned C-2 community commercial zone, located on UNIVERSE BLVD NW, between PARADISE BLVD NW and VENTANA RD NW containing approximately 10 acre(s). [REF: 05EPC-01264, 05EPC-01263, 02DRB-01735, 03DRB-00070, 03DRB-00171] **[Carmen Marrone, EPC Case Planner]** (B-10) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO CLARIFY TRACT BOUNDARY AND PLANNING FOR 3 COPIES OF SITE PLAN.**

10. **Project # 1000871**
05DRB-01839 Minor-SiteDev Plan
Subd/EPC
05DRB-01840 Minor-SiteDev Plan
BldPermit/EPC

DESIGN GROUP agent(s) for JIM JEPPSON request(s) the above action(s) for all or a portion of Lot(s) B-5-B-1, B-5-C-1, **ACADEMY ACRES SUBDIVISION**, zoned SU-1, located on HARPER AVE NE, between I-25 FRONTAGE RD NE and BARNHART ST NE containing approximately 8 acre(s). [REF: 05-EPC-01257, 05-EPC-01261, 05-DRB-01458,05DRB-01715,05DRB-01706] **[David Stallworth, EPC Case Planner]** *[Deferred from 12/14/05]* (E-17, E-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

05DRB-01837 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for Tract(s) B-5-B-1 and B-5-C-1, **ACADEMY ACRES SUBDIVISION, UNIT 5**, zoned SU-1, located on HARPER DR NE, between INTERSTATE 25 NE and SAN PEDRO DR NE containing approximately 8 acre(s). *[Deferred from 12/14/05]* (E-17/E-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

11. **Project # 1002739**
05DRB-01835 Minor-Amnd SiteDev Plan
Subd
05DRB-01832 Minor-Amnd Prelim Plat
Approval
05DRB-01834 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for K B HOME NEW MEXICO INC request(s) the above action(s) for, ANDERSON HEIGHTS, UNIT 1 (to be known as **ANDERSON HEIGHTS, UNIT 5**) zoned RD/RLT, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 57 acre(s). [REF: 05DRB00681, 05DRB00683, 05DRB00684, 05DRB00685, 05DRB00686, 05DRB00639] (N-8/P-8) **THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1003886**
05DRB-01831 Minor-Amnd Prelim Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for EVERGREEN DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE SUBDIVISION, (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY DR NE containing approximately 6 acre(s). [REF: 05DRB-00908, 05DRB-01572] (J-20) **WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 12/14/05 AND APPROVAL OF THE AMENDED GRADING PLAN DATED 11/9/05 THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: REVISED PERIMETER WALL LOCATION MAP. P-1 LOT DESIGNATIONS ARE REQUIRED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

13. **Project # 1001770**
05DRB-01232 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for JPS, LLC request(s) the above action(s) for all or a portion of Tract(s) 5-A1-B & 5-A2-A, LANDS OF JOEL P. TAYLOR (to be known as **MONTANO RETAIL**), zoned C-2, (SC) located on COORS BLVD NW, between MONTANO NW and MONTANO PLAZA NW containing approximately 7 acre(s). [REF: 05-DRB-00320] *[Final Plat Indef Deferred for S/A]* (E-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR REMOVAL OF EASEMENT 24 AND EASEMENT 22 SHOULD BE PRIVATE AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

14. **Project # 1003655**
05DRB-01833 Minor-Final Plat Approval

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 8, 15, 16 & 17, Block(s) 1, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **LA VISTA AT DESERT RIDGE TRAILS**) zoned RD, located on WYOMING BLVD NE, between EAGLE ROCK AVE NE and MODESTO AVE NE containing approximately 3 acre(s). [REF: 04DRB01373] *[Deferred from 12/14/05]* (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 1/11/06.**

15. **Project # 1003594**
05DRB-01827 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Lot(s) 109-A-1 thru 113-A-1 and Tract(s) N-1, **VENTANA MESA SUBDIVISION, UNIT 1, @ VENTANA RANCH WEST**, zoned R-LT, located on PASEO DEL NORTE NW, between CARSON MESA DR NW and VENTANA WEST PARKWAY NW containing approximately 1 acre(s). [REF: 04-DRB-01199] (B-9) **PRELIMINARY AND FINAL PLAT WERE APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR NMU INC SIGNATURE.**

16. Project # 1002330
05DRB-01838 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for JIM HAKEEM request(s) the above action(s) for all or a portion of Tract(s) G-2-A, **MONTGOMERY COMPLEX**, zoned SU-1 for C-2, located near the AMAFCA NORTH DIVERSION CHANNEL NE, between MONTGOMERY BLVD NE and CARLISLE BLVD NE containing approximately 3 acre(s). [REF: 04DRB-01985, 03DRB-00401, 03DRB-00402, 03DRB-00347] (F-16) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCAS SIGNATURE AND TRANSPORTATION DEVELOPMENT FOR MEDIAN MODIFICATION ON MONTGOMERY, 15-FOOT RADIUS AND 20-FOOT WATER LINE EASEMENT.**

17. Project # 1004570
05DRB-01828 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for BRUCE & KATHERINE BESSER request(s) the above action(s) for all or a portion of Lot(s) 6A1 & 6A2, Block(s) 14, Tract(s) A, **UNIT B, NORTH ALBUQUERQUE ACRES**, zoned SU-2 M-1, located between WILSHIRE AVE NE and INTERSTATE 25, containing approximately 3 acre(s). [Deferred from 12/14/05] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/21/05.**

18. Project # 1000922
05DRB-01829 Minor-Extension of
Preliminary Plat

WILSON & COMPANY INC agent(s) for LEGACY SUSTAINABLE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) A, **LA CUENTISTA SUBDIVISION**, zoned R-1, located on KIMMICK DR NW, between URRACA ST NW and CAMINO DE PAZ NW containing approximately 50 acre(s). [REF: 04-DRB-01880, 04DRB-01881] (C-10/C-11/D-10/D-11) **AN EXTENSION OF PRELIMINARY PLAT WAS APPROVED TO APRIL 30, 2006. THE CONDITIONS OF FINAL PLAT STILL APPLY.**

19. **Project # 1001085**
05DRB-01836 Minor-Prelim&Final Plat
Approval

ANTHONY DECK request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, Block(s) B, **ROSEWOOD SUBDIVISION, UNIT 1**, zoned R-D, located on BLOSSOMWOOD PL NW, between HANOVER RD NW and I-40 NW containing approximately 10 acre(s). [REF: 05-DRB-00133, 05DRB00402] (J-10) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

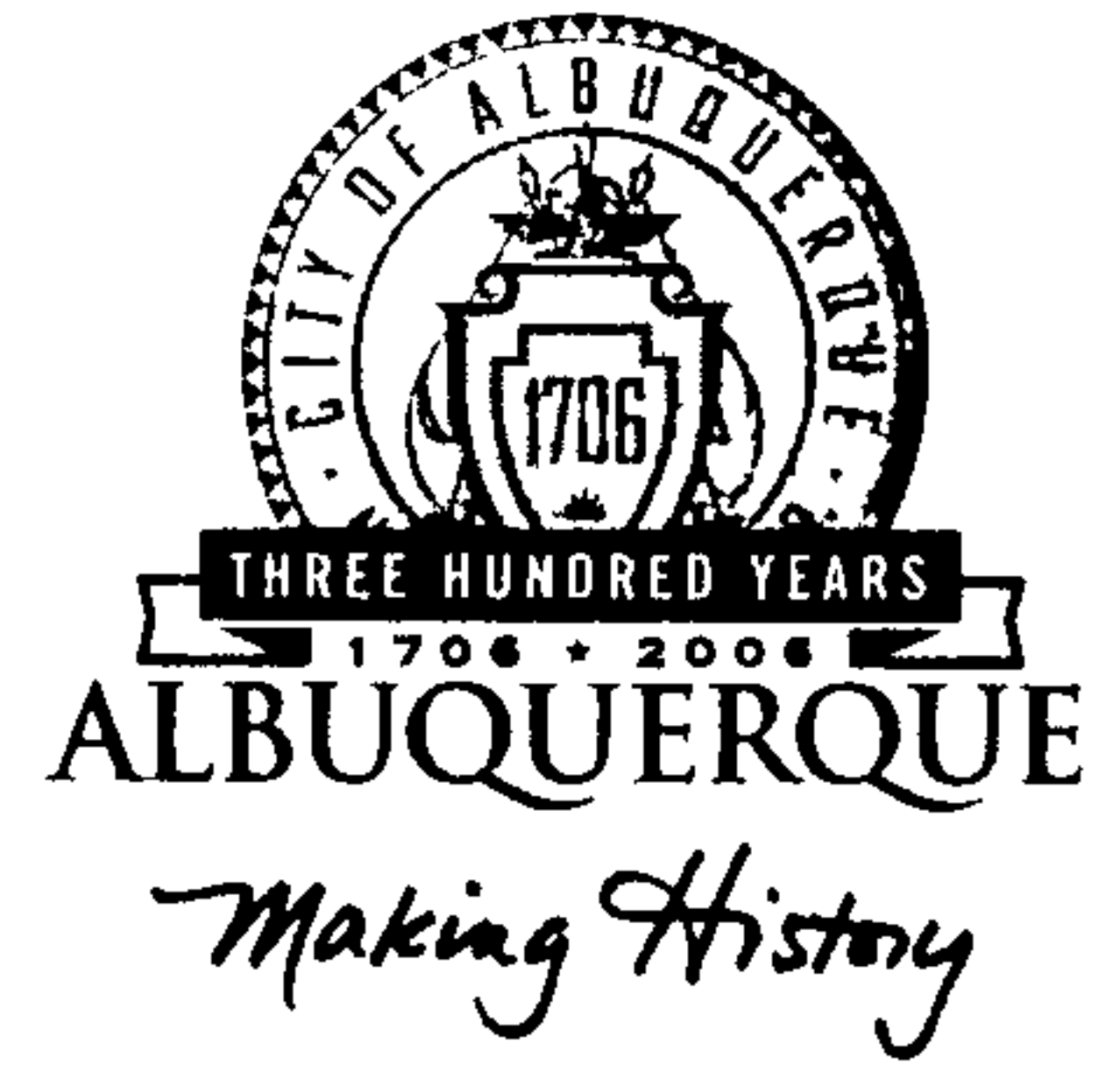
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK . . .

20. Approval of the Development Review Board Minutes for November 30, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR NOVEMBER 30, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:25 A.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 5

SUBJECT:

Vacation

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the vacation request.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

12-21-05

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 14, 2005

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004387 AGENDA#: 5 DATE: 12.14.05

1. Name: Mark Harmsberg Address: 1536 Archuleta Zip: 87112

2. Name: John Myers Address: 1401 Central NW Zip: _____

3. Name: WM J BILEY Address: 4002 OAKMOUNT RICHMOND Zip: 87124

4. Name: Rupert Holland Spruce Park NA Address: 415 Maple NW Zip: 87106

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 9, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:20 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1001875

05DRB-01607 Major-Two Year SIA

TIERRA WEST LLC agent(s) for ARGUS DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 2, KINSCHERFF & UNPLATTED LAND OF PRESLEY CO OF N.M. (to be known as **WESTERN TRAILS ESTATES**, zoned SU-1 FOR PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and SAN ANTONIO ARROYO containing approximately 22 acre(s). [REF: 02DRB-00570, 02EPC-00838, 02DRB-01493, 02DRB-01495, 02DRB-01507, 02DRB-01508] (F-11) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1002848**
05DRB-01620 Major-Two Year SIA

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION request(s) the above action(s) for all or a portion of Tract(s) A1 & B1, **AMERICAN TOYOTA**, zoned SU-2, SU-1, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY NE and SAN PEDRO DR NE containing approximately 5 acre(s). [REF: 03DRB0127, DRB-95-75,04DRB00571] (C-18) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED. THIS WILL BE THE LAST EXTENSION.**

3. **Project # 1000650**
05DRB-01067 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for DOUBLE CHEESE CORP request(s) the above action(s) for all or a portion of Tract(s) 1A2, **LANDS OF LAMONICA**, zoned SU-1/C-1 permissive use, located on COORS BLVD SW, between LAMONICA RD SW and RIO BRAVO BLVD SW containing approximately 2 acre(s). [*Deferred from 7/20/05. Indefinitely deferred on a no show on 8/10/05*] (P-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION TO UPDATE TIS AND TO PLANNING TO ADDRESS COMMENTS AND 3 COPIES OF THE SITE PLAN.**

4. **Project # 1000560**
05DRB-01501 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for IRONSTONE BANK request(s) the above action(s) for all or a portion of Tract(s) 1A2A1, JOURNAL CENTER (to be known as **IRONSTONE BANK**) zoned IP industrial park zone, located on LANG AVE NE, between JEFFERSON ST NE and HEADLINE BLVD NE containing approximately 5 acre(s). [REF: Z-72-33, 05DRB00680][*Deferred from 10/26/05 & 11/2/05*] (D-17) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/9/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN AND TRANSPORTATION DEVELOPMENT FOR ACCESS CLOSURE AGREEMENT.**

5. **Project # 1001370**
05DRB-01619 Major-Vacation of Public Easements

MARK GOODWIN & ASSOCIATES agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5, **JUAN TABO HILLS, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on JUAN TABO BLVD SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 102 acre(s). [REF: S-98-30, DRB-98-20, AX-80-10, Z-80-30] (M-21) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1000696**
05DRB-01529 Major-Preliminary Plat Approval
05DRB-01530 Minor-Sidewalk Waiver
05DRB-01531 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s). [Deferred from 10/26/05 & 11/9/05] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 11/23/05.**

7. **Project # 1004387**
05DRB-01332 Major-Vacation of Pub Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [Deferred from 9/14/05 & 10/5/05 & 11/9/05] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 12/14/05.**

8. **Project # 1003523**
05DRB-01369 Major-Preliminary Plat
Approval
05DRB-01368 Major-SiteDev Plan Subd
05DRB-01370 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for GHP, LLC request(s) the above action(s) for LOT 30, 31, 32 and 33, LANDS OF ATRISCO GRANT, UNIT 3, (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2 FOR R-LT, located on 98TH ST NW, between ENDEE RD NW and I-25 NW containing approximately 17 acre(s). [REF:04EPC-01003, 04EPC-01352, 04EPC-01489] [Deferred from 9/28/05 & 11/2/05 & 11/9/05] (J-8) **DEFERRED AT THE AGENT'S REQUEST TO 11/23/05.**

9. **Project # 1004462**
05DRB-01525 Major-Vacation of Public
Easements
05DRB-01524 Major-Preliminary Plat
Approval
05DRB-01526 Minor-Sidewalk Waiver
05DRB-01527 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for REPLAT OF Tract(s) A, ANDALUCIA AT LA LUZ, (to be known as **ANDALUCIA @ LA LUZ, UNIT 3**) zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 13 acre(s). [REF: 05EPC-01115, 05EPC-01117] [Deferred from 10/26/06 & 11/2/05 & 11/9/05] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 11/16/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1000551**
05DRB-01544 Minor-SiteDev Plan
BldPermit/EPC

DAC ENTERPRISE INC agent(s) for MOHAMED KASSAM request(s) the above action(s) for all or a portion of Tract(s) A2A & A2B, PARK SQUARE ADDITION, (to be known as **UPTOWN HOTEL**) zoned SU-3, located on AMERICAS PARKWAY NE, between I-40 and INDIAN SCHOOL RD NE containing approximately 4 acre(s). [REF: Z-95-70, DRB-98-176, 04EPC-00690] [**Carmen Marrone, EPC Case Planner**] [Deferred from 10/12/05 & 10/26/05 & 11/9/05] (J-18) **DEFERRED AT THE AGENT'S REQUEST TO 11/16/05.**

11. **Project # 1003747**

05DRB-01550 Minor-SiteDev Plan
Subd/EPC
05DRB-01551 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1, 4 & 5, WYOMING MALL (to be known as **WALMART**) zoned C-2 (SC), located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE containing approximately 31 acre(s). [REF: ZA-99-017, ZA-79-214, ZA-78-225, ZA-84-226, ZA-78-143, ZA-14-95,, DRB-97-319, 05EPC-00024, 05EPC-00025] **[Carmen Marrone, EPC Case Planner]** *[Deferred from 10/12/05 & 10/26/05]* (H-20) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/9/05 THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLANS AND TRANSPORTATION DEVELOPMENT FOR ENTRANCE AT BLACK ANGUS AND REMOVAL OF QWIK CURB.**

05DRB-01685 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1, 4 & 5, WYOMING MALL (to be known as **WALMART**) zoned C-2 (SC), located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE containing approximately 31 acre(s). [REF: 05DRB-01550, 05DRB-01551] (H-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDING INFORMATION FOR "ECR'S" AND TO PLANNING FOR AGIS DXF FILE.**

12. **Project # 1000500**

05DRB-01689 Minor-SiteDev Plan
BldPermit/EPC

CITY PLANNING DEPARTMENT agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Block(s) 0000, CA SPORTS STADIUM PARK, (to be known as **ABQ SPORTS COMPLEX**) zoned SU-1 SPORTS COMPLEX, RESTAURANT, LOUNGE & RELATED FACILITIES, located on AVENIDA CESAR CHAVEZ SE, between UNIVERSITY BLVD SE and BUENA VISTA BLVD SE containing approximately 26 acre(s). [REF: Z-83-16] (L-15) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RESOLUTION OF PARKING RAMP ISSUES AND ADA RAMP NOTES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

13. **Project # 1000029**
05DRB-01681 Minor-Extension of Preliminary Plat
- BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C, B-1A-1 OF **DUKE CITY LUMBER CO ADDITION** and Lot(s) D-1-A, of **ARBOLERA DE VIDA PHASE 2**, zoned S-M1, S-DR, located on BELLAMAH AVE NW, between 19TH ST NW and 18TH ST NW containing approximately 26 acre(s). [REF: 04DRB01651] (H-13) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
14. **Project # 1000296**
05DRB-01682 Minor-Ext of SIA for Temp Defer SDWK
- BYRD CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 106P1, **OXBOW PARK SUBDIVISION**, zoned R-1 residential zone, located on ALAMOGORDO DR NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). (G-11) **A ONE-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
15. **Project # 1002819**
05DRB-01506 Minor-Prelim&Final Plat Approval
- TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-6-A, **ALBUQUERQUE SOUTH UNIT 3**, zoned SU-1, R-2, R-T, located on 98TH STREET SW, between GIBSON BLVD SW and BLAKE RD SW containing approximately 31 acre(s). [REF: 03DRB-01183, 03DRB-01180] [*Deferred from 10/5/05 & 10/12/05 & 10/19/05 & 10/26/05*] (N-9) **WITHDRAWN AT THE AGENT'S REQUEST.**

16. **Project # 1003238**
05DRB-01666 Major-Final Plat Approval

TIERRA WEST agent(s) for EVERGREEN DURANES LTD CO LLC request(s) the above action(s) for Lot(s) 42-AP1 and 44-AP1 thru 57-AP1, **FLORAL MEADOWS**, zoned R-LT residential zone, located on I-40, between RIO GRANDE NW and MONTOYA ST NW containing approximately 2 acre(s). [REF: Z-71-118, 04EPC-00156,, 04EPC-00157, 04DRB-00661, 04DRB-01227, 05DRB-01489] (H-12/H-13) **THE FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1004434**
05DRB-01687 Minor-Prelim&Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for MS DEV ONE LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF JACK F CULLY (to be known as **EL POTRERO PROPERTIES**) zoned RA-2, located on EL PORTERO RD NW, between TIERRA VIVA NW and MONTANO NW containing approximately 2 acre(s). [REF: 05DRB-01475] (F-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR M.R.G.C.D. SIGNATURE AND ESTATE CURB AND TO PLANNING FOR AGIS DXF FILE AND ZONING DATA.**

18. **Project # 1003883**
05DRB-01000 Minor- Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for CARL J BETTINGER ETAL, request(s) the above action(s) for all or a portion of Lot(s) 9, Tract(s) 9-A-1A-2, JOURNAL CENTER PHASE 2, UNIT 1, (to be known as **JOURNAL CENTER LAW OFFICES**) zoned IP, located on TIBURON ST NE, between JEFFERSON ST NE and containing approximately 3 acre(s). [*Indef Deferred 6/22/05 for the S/A*] [Applicant's name has changed] (D-17) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

19. **Project # 1004454**
05DRB-01670 Minor- Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for TIMOTHY & LORIE DROPPS request(s) the above action(s) for all or a portion of Block(s) B, Tract(s) 7, **SOUTH BROADWAY ACRES, UNIT 1**, zoned SU-2 MR, located on JOHN ST SE between BETHEL SE and WOODWARD ST SE containing approximately 1 acre(s). (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 9-FOOT SETBACK FROM FACE OF CURB AND PLANNING FOR PROPERTY MANAGERMENTS' SIGNATURE AND AGIS DXF FILE.**

20. **Project # 1004529**
05DRB-01683 Minor-Prelim&Final Plat
Approval

DONART BRONDER request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) L, **ATLANTIC & PACIFIC ADDITION**, zoned SU-2 NCR, located on ATLANTIC AVE SW, between 4TH ST SW and 3RD ST SW containing approximately 1 acre(s). (K-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 2-FOOT OF DEDICATION ALONG THE ALLEY AND PLANNING FOR CHANGE OF ZONING ON PLAT AND TO RECORD.**

21. **Project # 1003475**
05DRB-01656 Minor-Final Plat Approval

WILSON & COMPANY INC agent(s) for FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) 1, **SUNDANCE ESTATES (to be known as PARADISE VIEW SUBDIVISION)** zoned R-LT residential zone, located on PARADISE BLVD NW, between JAMES MONROE MID-SCHOOL and ST JUDE CATHOLIC CHURCH containing approximately 23 acre(s). [REF: 04DRB01694, 04DRB01695, 04DRB01696] [*Deferred from 11/2/05 for SIA*] [*Deferred from 11/9/05*] (B-1011) **DEFERRED AT THE AGENT'S REQUEST TO 11/16/05.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

22. **Project # 1004521**
05DRB-01663 Minor-Sketch Plat or Plan
- ADIL RIZVI request(s) the above action(s) for all or a portion of Block(s) 30, Tract(s) A, **SONORA SUBDIVISION, UNIT B**, zoned RD, located on SIGNAL NE, between LOUISIANA NE and SAN PEDRO NE containing approximately 1 acre(s).(C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
23. **Project # 1004528**
05DRB-01680 Minor-Sketch Plat or Plan
- JOHN C LORENZO agent(s) for JOSE & NORA CHAVEZ request(s) the above action(s) for Tract(s) 180B2, 176A5B and 176B1, **LANDS OF JOE B AND NORA G CHAVEZ**, zoned RA-2 residential and agricultural zone, located on CAMILO LN NW and LEONORA NW and containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
24. **Project # 1004530**
05DRB-01686 Minor-Sketch Plat or Plan
- ISAAC BENTON & ASSOCIATES agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for Tract(s) G-2, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR PDA to include C-3 USES, located on MARNA LYNN AVE NW, between DAVENPORT ST NW and CACTUS TRAIL DR NW containing approximately 2 acre(s). [REF: DRB-89-465,DRB-94-624,DRB-94-616,Z-94-134](C-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
25. Approval of the Development Review Board Minutes for October 26, 2005.

ADJOURNED: 11:20 a.m.

Refer 12/14/05

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004387 AGENDA#: 7 DATE: 11.9.05

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

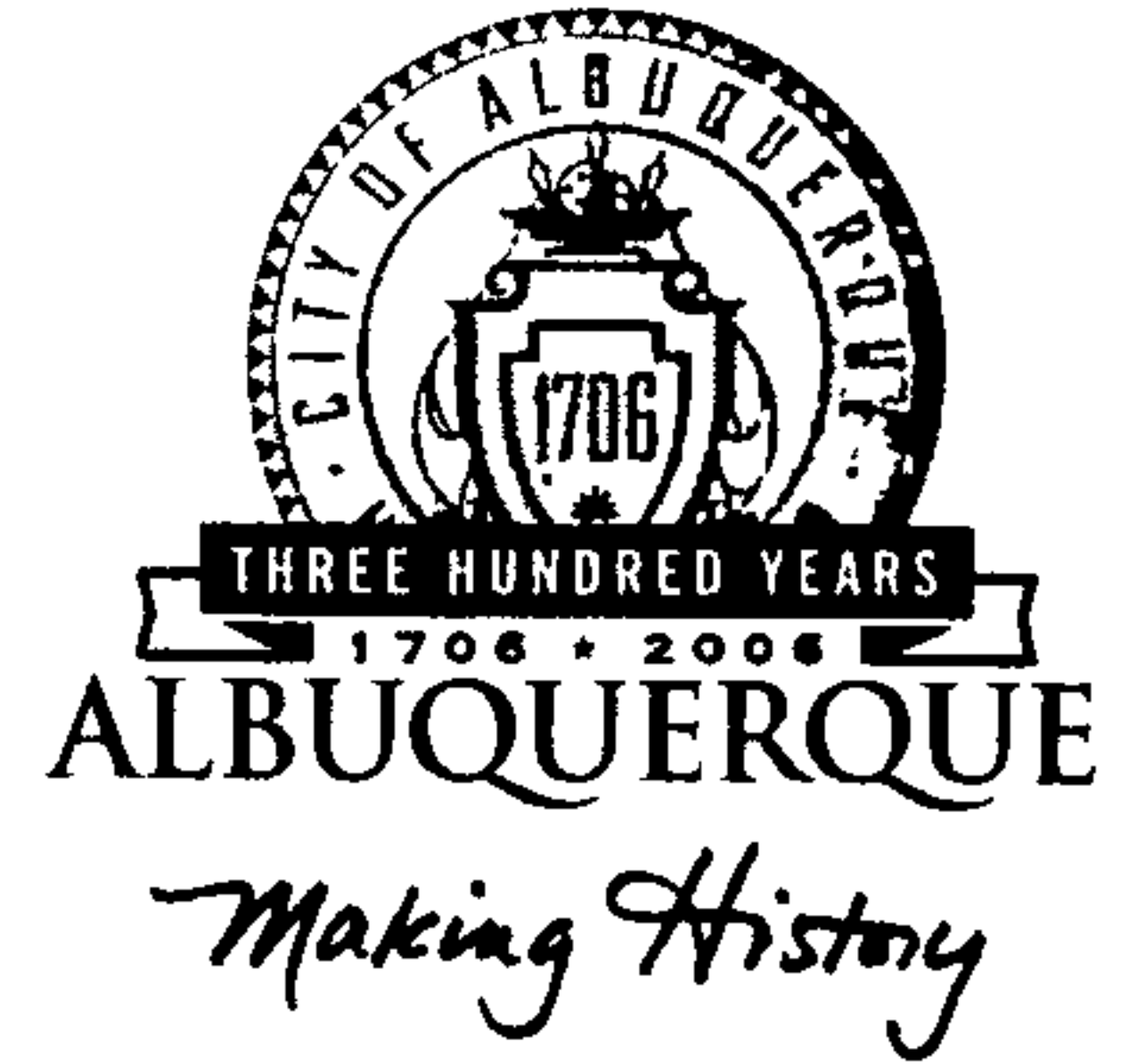
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 7

SUBJECT:

Vacation

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the subject request.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ¹²⁻¹⁴⁻⁰⁵ X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: November 9, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 5, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:20 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1003573**
05DRB-01379 Major-Amended
Grading Plan Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 and 30, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as OAKLAND NORTH) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s).[REF:04DRB01138, 04DRB01417,05DRB00481][Deferred from 9/28/05 & 10/5/05] (C-20) DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.

2. **Project # 1003747**
05DRB-01410 Major-Vacation of
Public Easements

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) 1 & 5, **WYOMING MALL**, zoned C-2 community commercial zone (SC), located on WYOMING BLVD NE, between MENAUL BLVD NE and NORTHEASTERN ST NE. [REF: ZA-99-017, ZA-79-214, ZA-78-143, ZA-84-226, DRB-97-319, 05EPC00024, 05EPC00025] (H-20) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1004404**
05DRB-01364 Major-Bulk Land
Variance
05DRB-01365 Major-Vacation of
Public Easements
05DRB-01367 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) H-2, **THE TRAILS, UNIT 1**, and unplatted lands, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NW west of RAINBOW ST NW and containing approximately 165 acre(s). [Deferred from 9/21/05 & 10/5/05] (C-8/C-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/26/05.**

4. **Project # 1004387**
05DRB-01332 Major-Vacation of Pub
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [Deferred from 9/14/05 & 10/5/05] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 11/9/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 5. Project # 1002962**
05DRB-01507 Minor- Sector
Development Plan, Phase 1

CONSENSUS PLANNING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) 5, BLACK RANCH, T11N R2E SEC 16 W 1/2 NW 1/4, Tract(s) 4, SANTA FE AT THE TRAILS CO., Tract(s) 1, THE TRAILS, UNIT 2, Tract(s) G & J and Tract(s) 6, THE TRAILS, UNIT 2 (to be known as **LONGFORD TRAILS**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE R-O-W NW, between COUNTY LAND and STATE LAND. [REF: 1004353, 02DRB01530] (B-8, B-9, B-10, C-8, C-9 and C-10) **THE DRB RECOMMENDS THAT THE BOUNDARIES SHOWN ON THE TRAILS PROPOSED SECTOR PLAN BOUNDARIES MAP INCLUDED WITH THE APPLICATION ARE APPROVED AS THE BOUNDARIES FOR THE TRAILS SECTOR PLAN.**

- 6. Project # 1000081**
05DRB-01512 Minor- Amended
SiteDev Plan Subd
05DRB-01514 Minor- Amended
SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for KOHL'S CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A & H, COTTONWOOD CORNERS, (to be known as **KOHL'S COTTONWOOD CORNERS**) zoned SU-1 FOR IP USES, located on ELLISON DR NW, between COTTONWOOD DR NW and ALAMEDA RD NW containing approximately 9 acre(s). [REF: Z-95-26, Z-84-110, AX-84-22, DRB-94-582, DRB-95-487] (**Russell Brito, EPC Case Planner**) (A-14) **WITHDRAWN AT THE AGENT'S REQUEST.**

7. **Project # 1000579**
05DRB-01513 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for KOHL'S DEPARTMENT STORES INC request(s) the above action(s) for all or a portion of Tract(s) A, PASEO DE LOUISIANA (to be known as **KOHL'S DEPARTMENT STORES**) zoned SU-2 C-1, located on PASEO DEL NORTE BLVD NE, between LOUISIANA BLVD NE and HOLLY AVE NE containing approximately 8 acre(s). [REF: Z-98-81, DRB-96-66] [Stephanie Shumsky, EPC Case Planner] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/5/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND PLANNING FOR STEPHANIE SHUMSKY'S INITIALS, REMOVAL OF THE JUNIPER TREES, FEWER HIGH WATER USE TREES ON THE SITE PLAN AND APPROVAL BY CITY COUNCIL OF THE REQUEST TO WITHDRAW THE PENDING APPEAL.**

8. **Project # 1003983**
05DRB-01482 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for TIMOTHY WEAKS request(s) the above action(s) for all or a portion of Lot(s) 1, RICHFIELD PARK SUBDIVISION (to be known as **DWIGHT'S GLASS AND GLAZING**) zoned IP, located on ALAMEDA BLVD NE, between WASHINGTON ST NE and JEFFERSON ST NE containing approximately 2 acre(s). [REF: 05DRB-00344] [Deferref from 9/28/05 & 10/5/05] (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1003591**
05DRB-01508 Minor-Extension of
Preliminary Plat Approval

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of **SUNGATE ESTATES, UNIT 2**, zoned R-2 FOR R-T AND RLT, located on MESA ARENOSO DR SW, between 98TH ST SW and OPEN RANGE AVE SW, containing approximately 17 acre(s). [REF: 04DRB-01185] (N-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

10. **Project # 1002461**
05DRB-01505 Minor-Prelim&Final Plat
Approval
- TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 8A, **EL RANCHO GRANDE 1, UNIT 1**, zoned R-LT residential zone, located on VERMEJO PARK DR SW at the east end of AMOLE MESA AVE SW and containing approximately 16 acre(s). [REF: 03DRB00163, 03DRB00164] (N-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCAS SIGNATURE, ADD BENEFICIARY TO NOTES 6 AND 7, THE ZONING SHOULD BE LISTED UNDER SUBDIVISION DATA AND TO TRANSPORTATION DEVELOPMENT FOR NEW AGIS DXF APPROVAL AND RIGHT-OF-WAY DEDICATION ALONG VERMIJO PARK DRIVE.**
11. **Project # 1002819**
05DRB-01506 Minor-Prelim&Final Plat
Approval
- TIM ALDRICH agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) E-6-A, **ALBUQUERQUE SOUTH UNIT 3**, zoned SU-1, R-2, R-T, located on 98TH STREET SW, between GIBSON BLVD SW and BLAKE RD SW containing approximately 31 acre(s). [REF: 03DRB-01183, 06DRB-01180] [*Deferred from 10/5/05*] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**
12. **Project # 1004453**
05DRB-01498 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for DAMION CHIMENTI request(s) the above action(s) for all or a portion of Lot(s) 19-23, Block(s) E, **BACA & ARMIJO ADDITION**, zoned SU2/RG, located on 3RD ST SW, between CROMWELL AVE SW and 2ND ST SW containing approximately 1 acre(s). [REF: DRB-95-57] (K-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR P1 LOT DESIGNATIONS.**

13. **Project # 1002858**
05DRB-01487 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) I-1 PARCEL A-1, MESA @ ANDERSON HILLS, UNIT 1 (to be known as **MESA @ ANDERSON HILLS, UNIT 2**) zoned R-2 residential zone, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 21 acre(s). [REF: 04DRB00234, 04DRB00235,, 05DRB00488] (P-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO CHECK IF AGIS DXF WAS APPROVED AND TO RECORD.**

14. **Project # 1003470**
05DRB-01493 Major-Final Plat Approval

WILSON & COMPANY agent(s) for VISTA VIEJA INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **VISTA VIEJA SUBDIVISION, UNIT 1**, zoned R-1, located on 81ST STREET NW, between ALBERICOQUE PL NW and SCENIC ROAD NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524] (D-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

15. **Project # 1003641**
05DRB-01502 Minor-Final Plat Approval

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 1 through 24, BACA ADDITION (to be known as **ATLANTIC & SANTA FE SUBDIVISION**) zoned R-G residential garden apartment zone, located on 1ST ST SW, between ATLANTIC AVE SW and SANTA FE AVE SW containing approximately 2 acre(s). [REF: 04DRB01311] (K-14) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PRIVATE SEWER EASEMENTS AND SKETCH SHOWING SIDEWALKS AND TO PLANNING FOR LOT SIZE REQUIREMENTS AND TO RECORD THE PLAT.**

16. **Project # 1003801**
05DRB-01179 Minor- Final Plat Approval
- SURV-TEK INC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 28-31, Block(s) A, **ALTURA ADDITION**, zoned SU-1 for C-1, located on CARLISLE NE, between INDIAN SCHOOL NE and CONSTITUTION NE containing approximately 1 acre(s). [REF: 04EPC01821] [David Stallworth, EPC Case Planner] [The Final Plat was Indef Deferred from 7/27/05 for the SIA] (J-16) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENTS AND PLANNING TO RECORD.**
17. **Project # 1003685**
05DRB-01477 Minor-Prelim&Final Plat Approval
- BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 14A, Tract(s) O-1, (to be known as **WESTERN SHADOWS@ VENTANA RANCH WEST**) zoned R-LT residential zone, located on RAYNER DR NW, between VENTANA RIDGE RD NW and [REF: 04DRB01448] [Deferred from 9/28/05] (B-8) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
18. **Project # 1003128**
05DRB-01424 Minor-Prelim&Final Plat Approval
- CONSENSUS PLANNING agent(s) for BANDALIER EQUITIES LTD CO request(s) the above action(s) for all or a portion of Lot(s) 1-5, Block(s) 11, Tract(s) 5, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned R-D residential and related uses zone, developing area, located on PASEO DEL NORTE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 4 acre(s). [Deferred from 9/21/05 & 9/28/05 & 10/5/05] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 10/12/05.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

- 19. Project # 1004456**
05DRB-01509 Minor-Sketch Plat or Plan

BRASHER & LORENZ agent(s) for BARON'S RUN LLC request(s) the above action(s) for all or a portion of Lot(s) 14-18, Block(s) 11, Tract(s) 1 NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **BARON'S RUN**) zoned R-D residential and related uses zone, developing area, located on BARSTOW ST NE, between FLORENCE AVE NE and GLENDALE AVE NE containing approximately 5 acre(s). (B-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

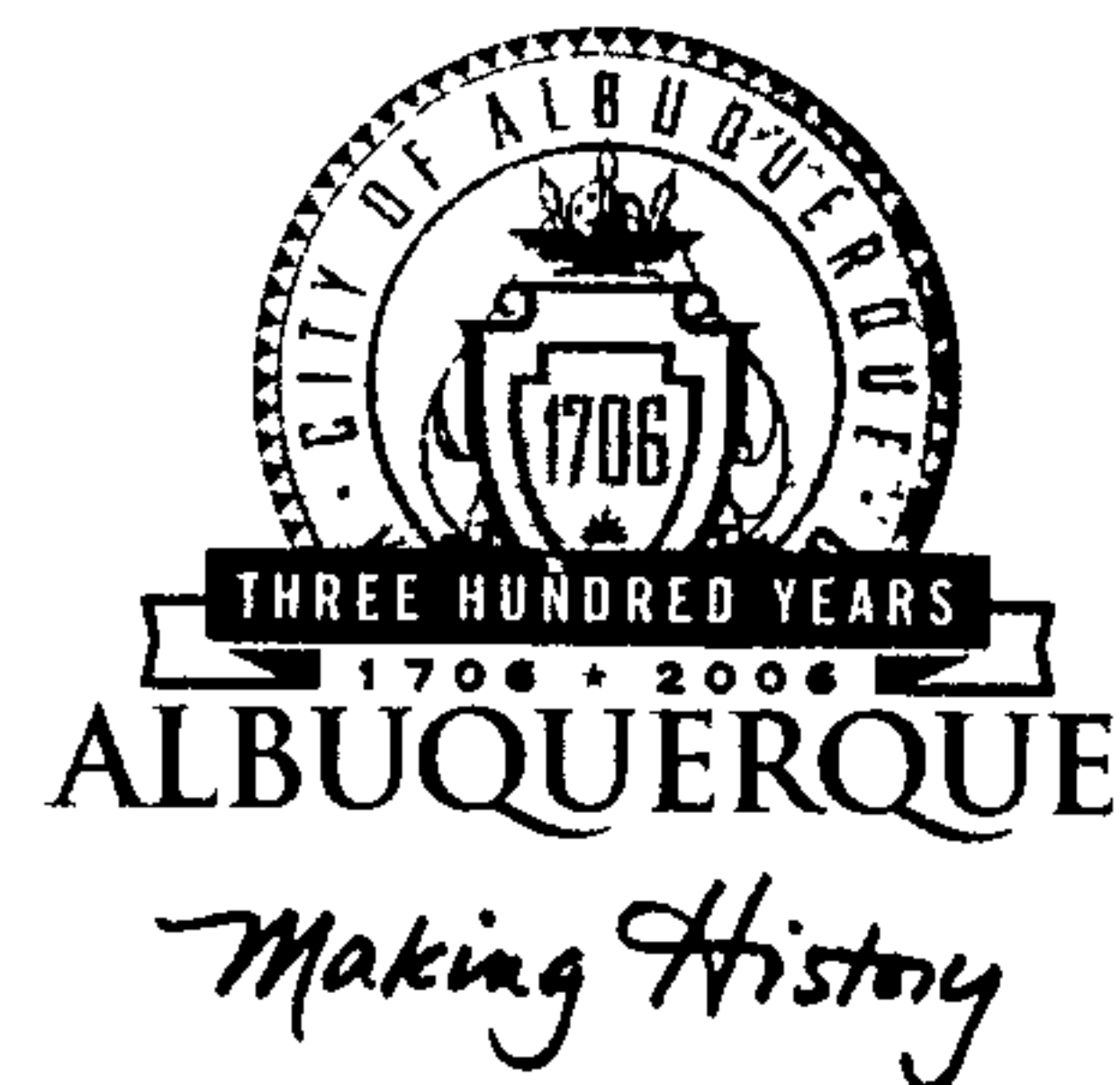
- 20. Project # 1004458**
05DRB-01515 Minor-Sketch Plat or Plan

JUSTIN SIMMONS request(s) the above action(s) for all or a portion of Lot(s) 4, **C J M MOORE REALTY CO ADDITION**, zoned R-1, located on RIO GRANDE BLVD NW, between MOUNTAIN RD NW and PUEBLO BONITO NW containing approximately 1 acre(s). (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 21. Approval of the Development Review Board Minutes for September 21, 2005. THE DRB MINUTES FOR SEPTEMBER 21, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:20 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 4

SUBJECT:

Vacation

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

P.O. Box 1293

The Hydrology Section has no objection to the vacation request.

Albuquerque

RESOLUTION:

New Mexico 87103

APPROVED ____; DENIED ____; DEFERRED ¹¹⁻⁹⁻⁰⁵ X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 5, 2005

Referred to
11/9/05

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004387 AGENDA#: 4 DATE: 10/5/05

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 14, 2005

Project # 1004387
05DRB-01332 Major-Vacation of Pub Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). (J-15)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No objection to the request.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	Letter sent to Spruce Park (R) N.A.
APS	No comments received.
Police Department	No CPTED or crime prevention comments at this time.
Fire Department	No adverse comments.
PNM Electric & Gas	PNM does not approve. PNM has underground gas facilities in the subject area.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.
City Engineer	The Hydrology section has no objection to vacation request.

Transportation Development

How does the right-of-way line up to the northeast? Where are the sidewalks and curb lines in relation to the requested vacation? A sketch is needed that shows the area.

Parks & Recreation

Defer to Transportation.

Utilities Development

No objection to Vacation request with condition that vacated portion is retained as a PUE.

Planning Department

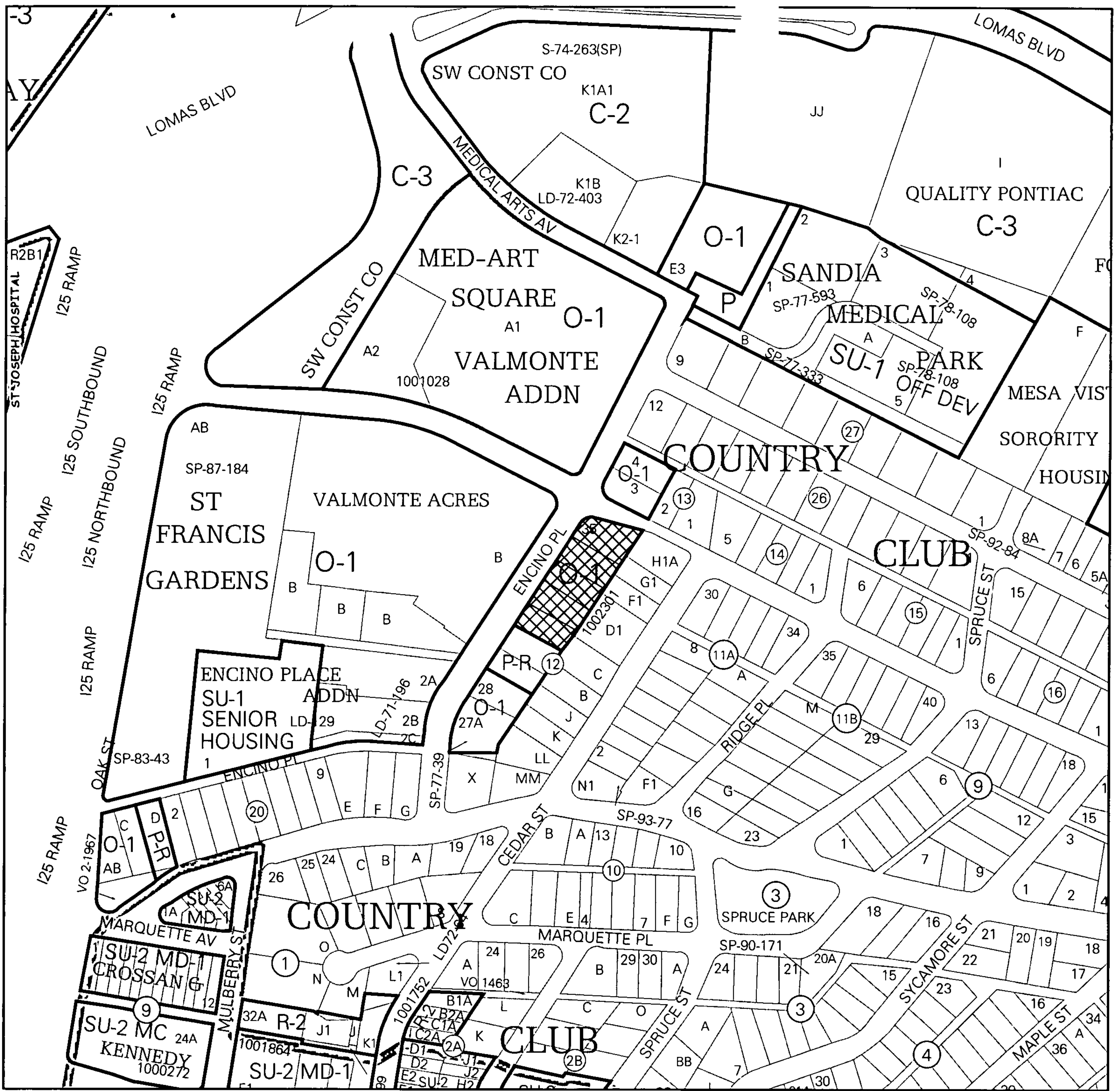
Planning has no objection to the vacation request. Defer to the Traffic Engineer.

Impact Fee Administrator

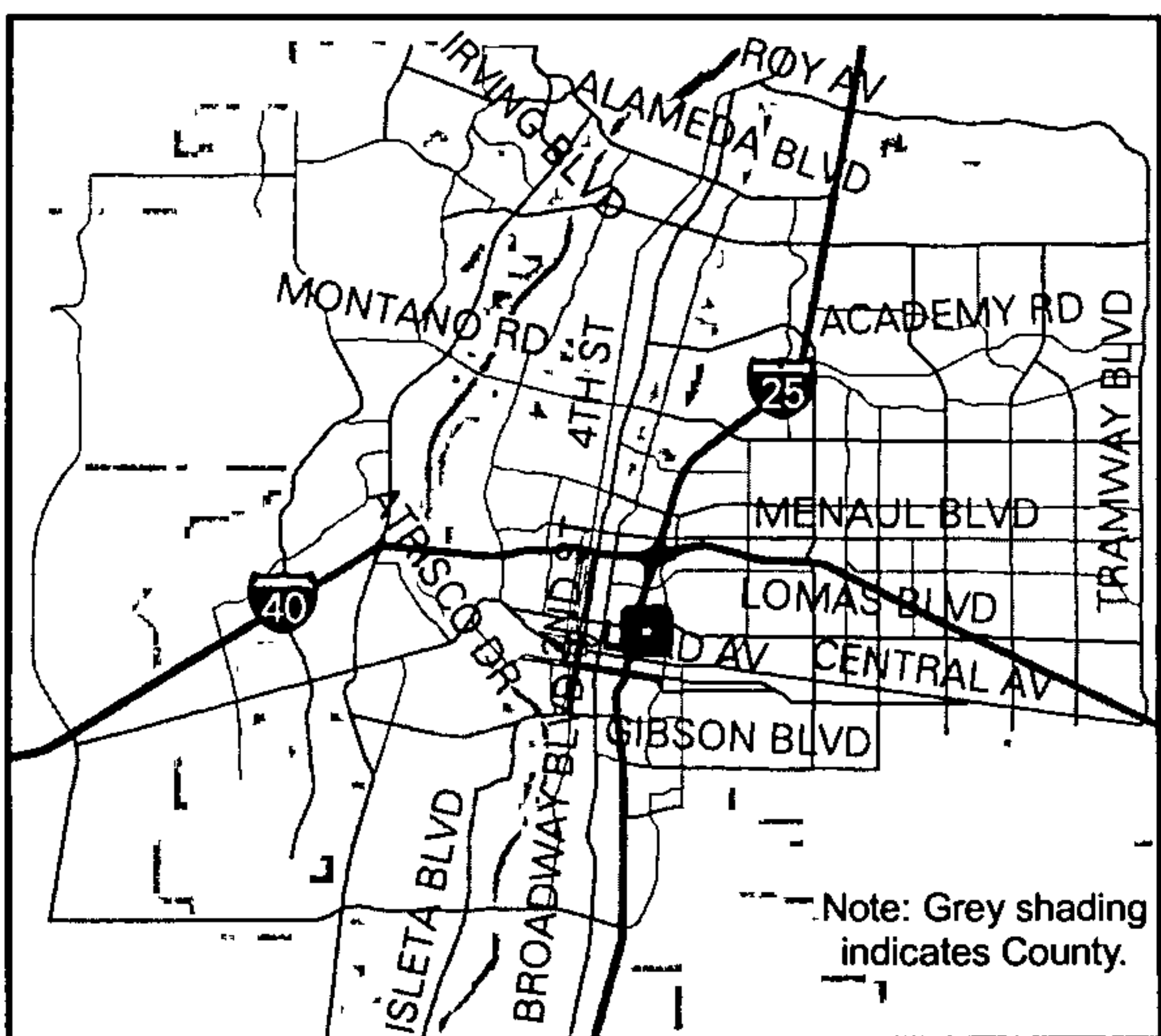
No comment on proposed Vacation.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Spruce Park LLC, Attn: Mark Harenberg, P.O. Box 20953, 87154



ZONING MAP



1 inch equals 318 feet

Project Number:

1004387

Hearing Date:

9/14/05

Zone Map Page:

J-15

Additional Case Numbers:

05DRB-01332



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 14, 2005 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 10:00 a.m.
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000621**
05DRB-01334 Major-One Year SIA
- BOHANNAN HUSTON INC agent(s) for JOHN Q HAMMONS HOTELS request(s) the above action(s) for all or a portion of Tract(s) B-1, **GATEWAY SUBDIVISION**, zoned SU-2 C-3, located on LOMAS BLVD NE, between WOODWARD PL NE and MOUNTAIN RD NE containing approximately 9 acre(s). [REF: 03DRB01353, 03DRB01649] (J-15) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1002645**
05DRB-01335 Major-One Year SIA

TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS LLC request(s) the above action(s) for **SEVILLE, UNIT 8**, zoned RLT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA ST NW containing approximately 27 acre(s). [REF: 03DRB-01441, 03DRB-01441] (A-10) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1002321**
05DRB-01333 Major-SiteDev Plan
BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 11, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between MASTHEAD NE and BARTLETT NE containing approximately 10 acre(s). (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WTH FINAL SIGN OFF DELEGATED TO PLANNING FOR ADDRESSING OF COMMENTS FROM PLANNING AND 3 COPIES OF THE SITE PLAN. THE DRB VOIDED THE PRIOR SITE PLAN FOR BUILDING PERMIT FOR THIS SITE THAT WAS APPROVED ON 10/29/05.**

4. ~~Project # 1004387~~
05DRB-01332 Major-Vacation of Pub
Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). [Deferred from 9/14/05] (J-15) **DEFERRED AT THE AGENT'S REQUEST TO 10/5/05.**

5. **Project # 1004388**
05DRB-01336 Major-Preliminary Plat Approval
05DRB-01337 Minor-Sidewalk Waiver
05DRB-01338 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 14, VENTANA RANCH WEST (to be known as **WESTERN SHADOWS, UNIT 2**) zoned R-LT residential zone, located on VENTANA RIDGE RD NW, east of DEL OESTE DR NW and containing approximately 20 acre(s). [REF:1002778] (B-8) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/14/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/13/05 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1001081**
05DRB-01173 Major-Vacation of Pub Right-of-Way

TIERRA WEST agent(s) for HOME DEPOT U.S.A. INC request(s) the above action(s) for all or a portion of Lot(s) 23, **SNOW HEIGHTS ADDITION**, zoned C-2 (SC) community commercial zone, located on SNOW HEIGHTS CIRCLE NE, between MENAUL BLVD NE and SNOW HEIGHTS BLVD NE. [*Deferred from 8/10/05 & 8/24/05 & 9/14/05*] (H-20) **DEFERRED AT THE AGENT'S REQUEST TO 10/5/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

THERE ARE NO SITE DEVELOPMENT PLANS THIS WEEK . . .

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1002856**
05DRB-01402 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **THE MEADOWS AT ANDERSON HILLS, UNIT 2**, zoned R-LT residential zone, located on RIO CLARA AVE NW, between UNSER BLVD NW and 98TH ST NW containing approximately 21 acre(s). [REF: SD-87-41, Z-99-58, SPR-95-22] (P-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE, TO CHECK ON 25-FOOT WATER EASEMENT FOR UNIT 2 AND TO RECORD PLAT.**

- 05DRB-01401 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **THE MEADOWS AT ANDERSON HILLS, UNIT 5**, zoned R-LT residential zone, located on RIO CLARA NW, between UNSER BLVD NW and 98TH ST NW containing approximately 9 acre(s). [REF: SD-87-4-1, Z-99-58, SPR-95-2-2] (P-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

8. **Project # 1000965**
05DRB-01382 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO., INC., request(s) the above action(s) for all or a portion of Tract(s) B & 2 LANDS OF RAY GRAHAM III, **VALLE PARAISO SUBDIVISION AT ANDALUCIA AT LA LUZ**, zoned SU-1 special use zone, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 33 acre(s). [REF: 04EPC00857] [*Deferred from 9/7/05 & 9/14/05*] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 9/21/05.**

9. **Project # 1000116**
05DRB-01385 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for WISZNIA ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) F-2A1-D, **BROADBENT BUSINESS PARK**, (to be known as Tract(s) F-2A1-D-1, F-2A1-D-2, F-2A1-D-3, F-2A1-D-4 and F-2A1-D-5) zoned M-1 light manufacturing zone, located on MENAUL BLVD NE, between LAMBERTON PL NE and BROADBENT PKWY NE containing approximately 8 acre(s). [REF: Z-73-138, Z-73-138-4] *[Deferred from 9/7/05 & 9/14/05 Indef Deferred on a no show]* (H-15) **INDEFINITELY DEFERRED ON A NO SHOW. LATER THE AGENT REQUESTED DEFERRAL TO 9/21/05.**

10. **Project # 1004076**
05DRB-01403 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for HILTON AVENUE LOFTS LLC, JOHN EDGE request(s) the above action(s) for all or a portion of Lot(s) 11-14, Block(s) 23, THOMAS ADDITION (to be known as **HILTON AVENUE LOFTS**) zoned R-LT residential zone, located on HILTON AVE NE, between HENDRIX RD NE and PARSIFAL ST NE containing approximately 1 acre(s). (G-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/14/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/12/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT APPROVAL: PERIMETER WALL DESIGN SHALL BE APPROVED PRIOR TO FINAL PLAT. DESIGNATION OF P-1 OR P-2 ON THE LOTS. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project # 1004409**
05DRB-01386 Minor-Sketch Plat or
Plan
- SURVEYS SOUTHWEST LTD agent(s) for JEMINA HOLYFIELD request(s) the above action(s) for all or a portion of Lot(s) 19 & 20, Block(s) 23, **WAGGOMAN-DENISON ADDITION**, zoned R-2 residential zone, located on CHICO ROAD NE, between GENERAL MARSHALL ST NE and WYOMING NE containing approximately 1 acre(s). (K-20) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
12. Approval of the Development Review Board Minutes for August 31, 2005. **THE DRB MINUTES FOR AUGUST 31, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:00 A.M.

Refer to 10/5/05

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004387 AGENDA#: 4 DATE: 9/14/05

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

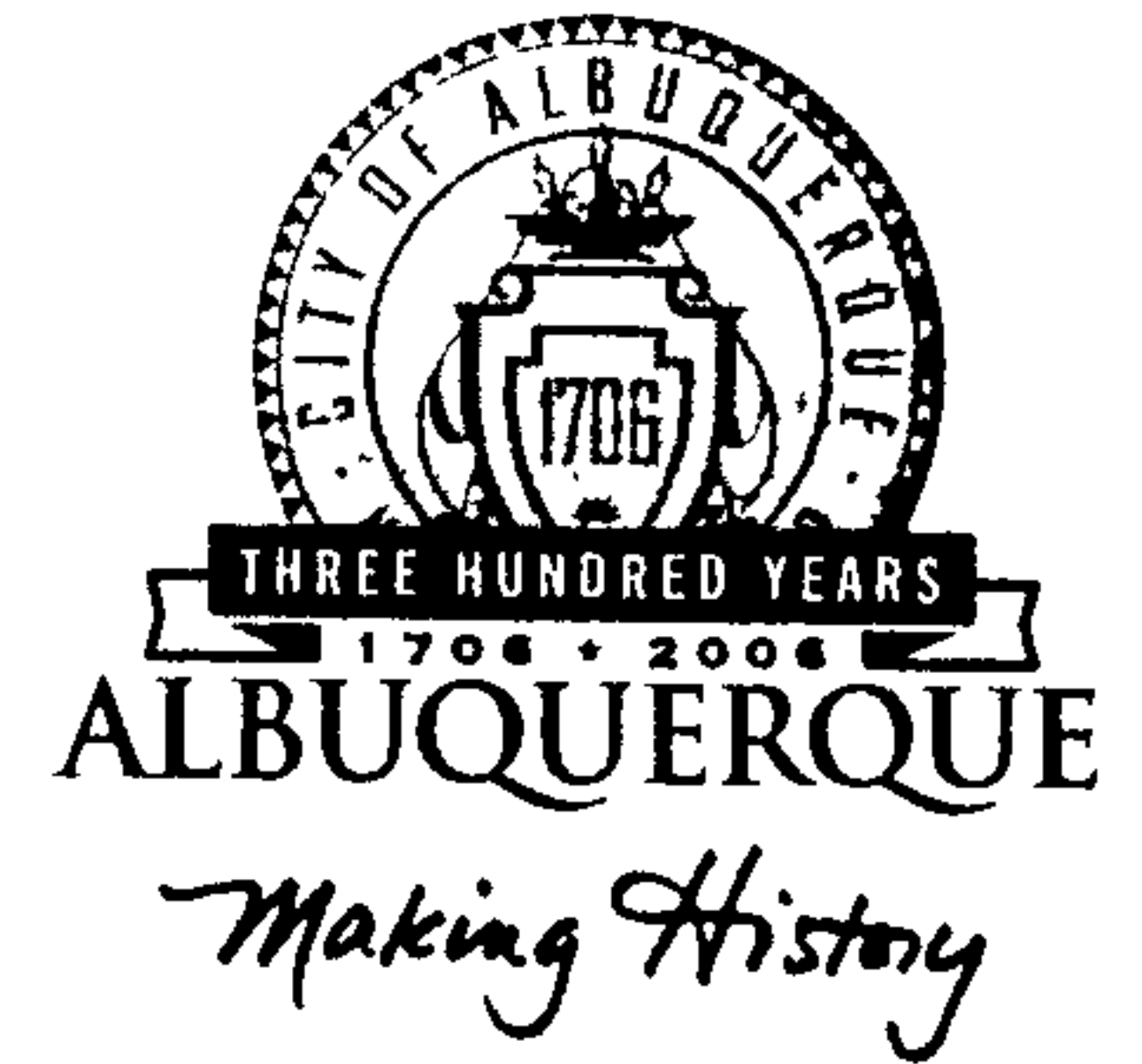
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004387

AGENDA ITEM NO: 4

SUBJECT:

Vacation of Public Right-of-Way

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No objection.

P.O. Box 1293

RESOLUTION:

10-5-05

APPROVED __; DENIED __; DEFERRED X; COMMENTS PROVIDED __; WITHDRAWN __

Albuquerque

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

New Mexico 87103

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: September 14, 2005

www.cabq.gov

Robles, Rael & Anaya, P.C.

ATTORNEYS AT LAW

Marcus J. Rael Jr.
Luis Robles
Christina E. Anaya
Edward R. Pearson
Hector H. Balderas

500 4th Street NW, Suite 200
Albuquerque, NM 87102
Tel: (505) 242-2228
Fax: (505) 242-1106

September 12, 2005

Development Review Board
c/o Claire Senova
Planning Department
City of Albuquerque
600 2nd Street, NW – 3rd floor
Albuquerque, New Mexico 87102

HAND DELIVERED

Handwritten signature and initials, possibly 'Luis Robles' and 'RHU', written in black ink.

Re: Project # 1004387
**05DRB-01332 Major Vacation of Public Right-of-Way
for tract northeast of Lot(s) 35, Block(s) 12, Country Club Addition,
located on the northeast corner of Encino Place NE and Los Lomas Rd NE
Hearing Date: September 14, 2005**

Members of the Development Review Board:

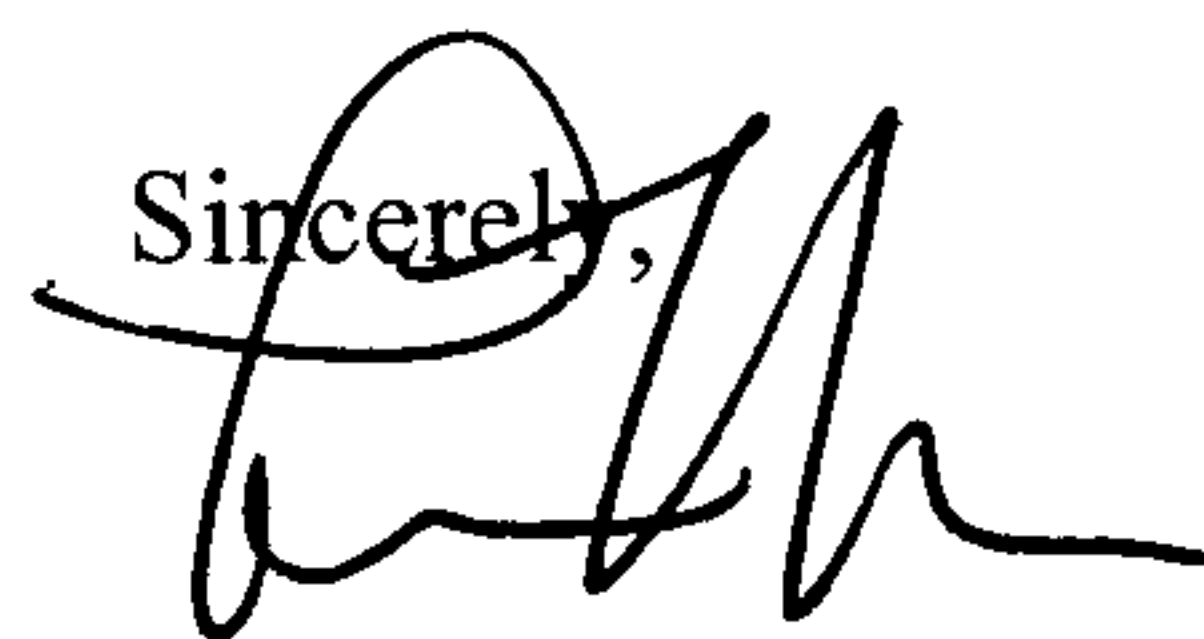
The purpose of this letter is to request that the Development Review Board defer the hearing set for the above-referenced matter.

I serve as the chair person for the Spruce Park Neighborhood Association's Zoning Committee. Before the members of the Zoning Committee can assess the merits of the applicant's request, the Committee must review the applicant's proposed site plan for the property immediately adjacent to the proposed vacation site. This has yet to occur.

On September 9, 2005, I spoke with the applicant's agent regarding the Committee's request for a deferral. As of September 12th, the applicant has yet to state its position on the requested deferral to the Committee.

Accordingly, I respectfully request that this Board defer the hearing on this matter and reset the hearing at the Board's next regularly scheduled meeting.

If you have any questions or concerns, please contact me.

Sincerely,

Luis Robles

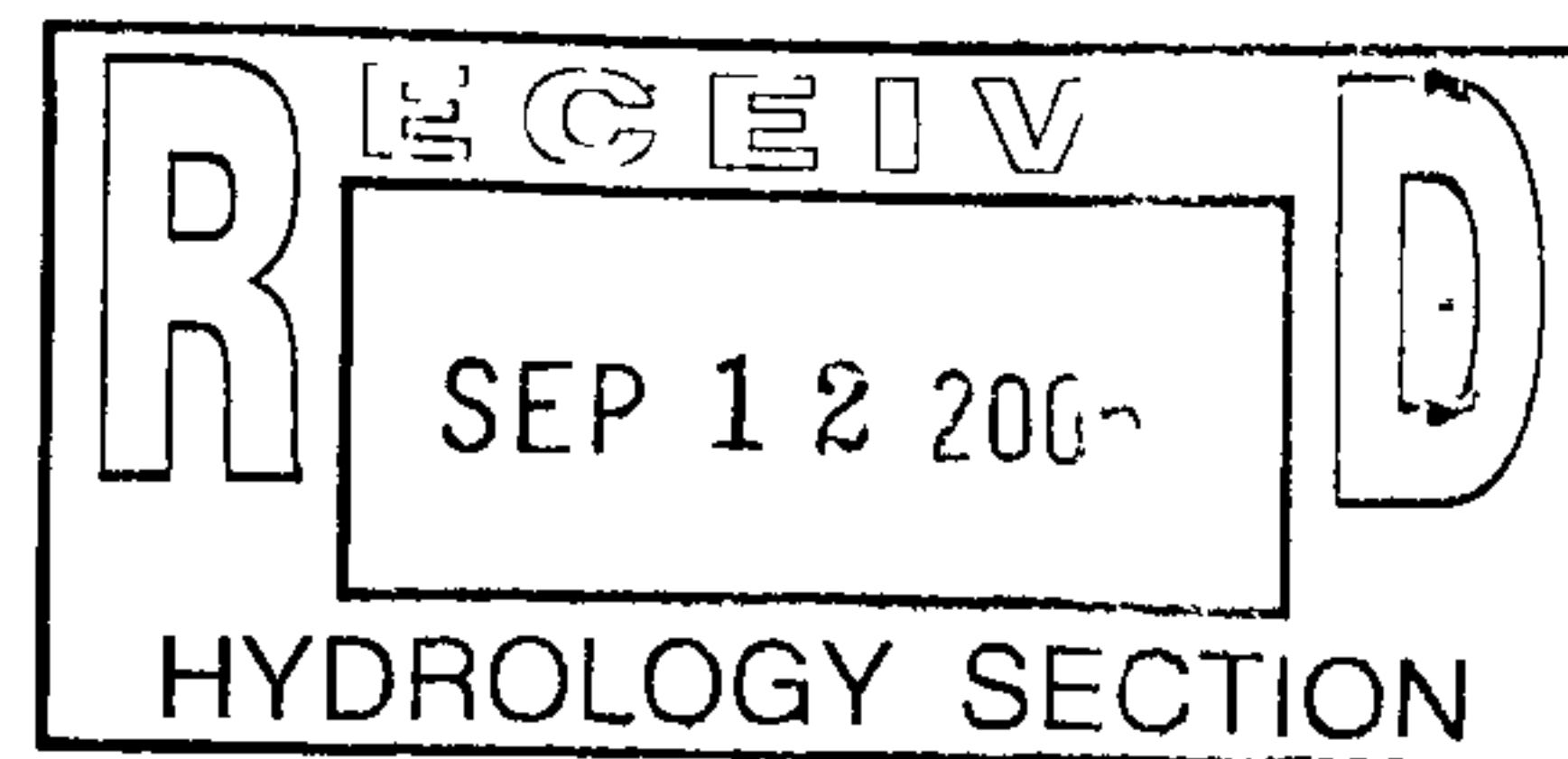
cc: Mark Harenberg, Agent for the Applicant
Rhonda Reynolds, SPNA President
SPNA Zoning Committee

Robles, Rael & Anaya, P.C.

Attorneys at Law

500 4th Street NW, Suite 200
Albuquerque, NM 87102

Development Review Board
c/o Claire Senova
Planning Department
City of Albuquerque
600 2nd Street, NW – 3rd Floor
Albuquerque, New Mexico 87102





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
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Project # 1000621

05DRB-01334 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for JOHN Q HAMMONS HOTELS request(s) the above action(s) for all or a portion of Tract(s) B-1, **GATEWAY SUBDIVISION**, zoned SU-2 C-3, located on LOMAS BLVD NE, between WOODWARD PL NE and MOUNTAIN RD NE containing approximately 9 acre(s). [REF: 03DRB01353, 03DRB01649] (J-15)

Project # 1002645

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Project # 1002321

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05DRB-01337 Minor-Sidewalk Waiver
05DRB-01338 Minor-Temp Defer SDWK

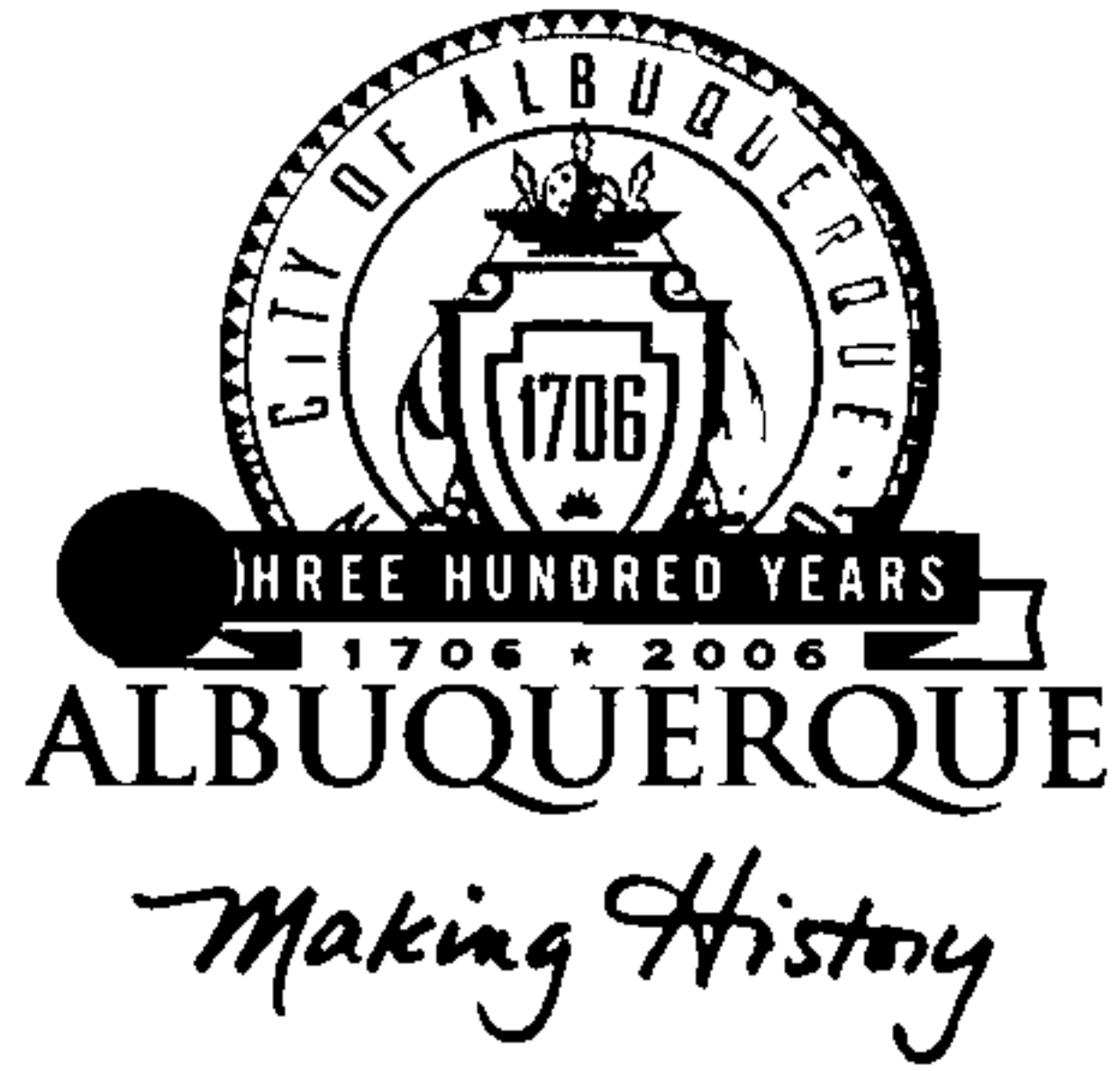
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Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 29, 2005.

CITY OF ALBUQUERQUE



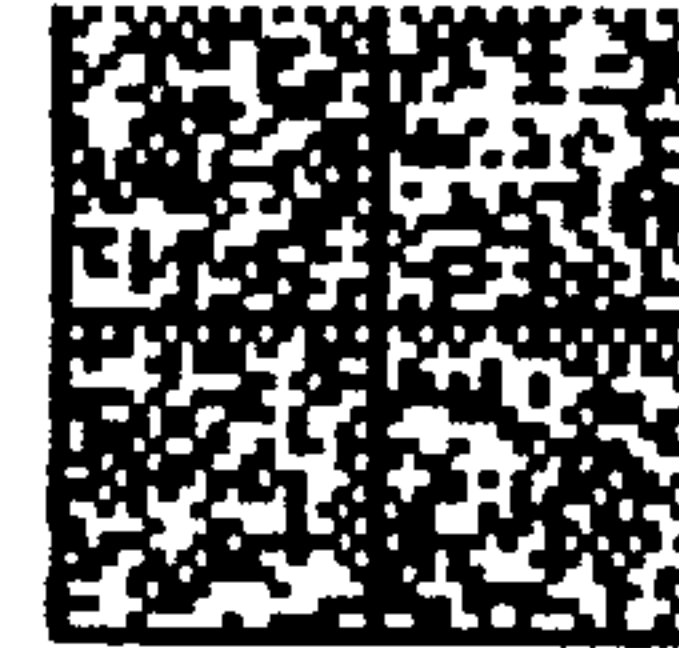
Planning Department

P.O. Box 1293

Albuquerque, NM 87103

DRB

NO SUCH NUMBER



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FRANCHINI R GREGORY & ELIZABE
637 CEDAR NE
ALBUQUERQUE NM 87103 *sp*



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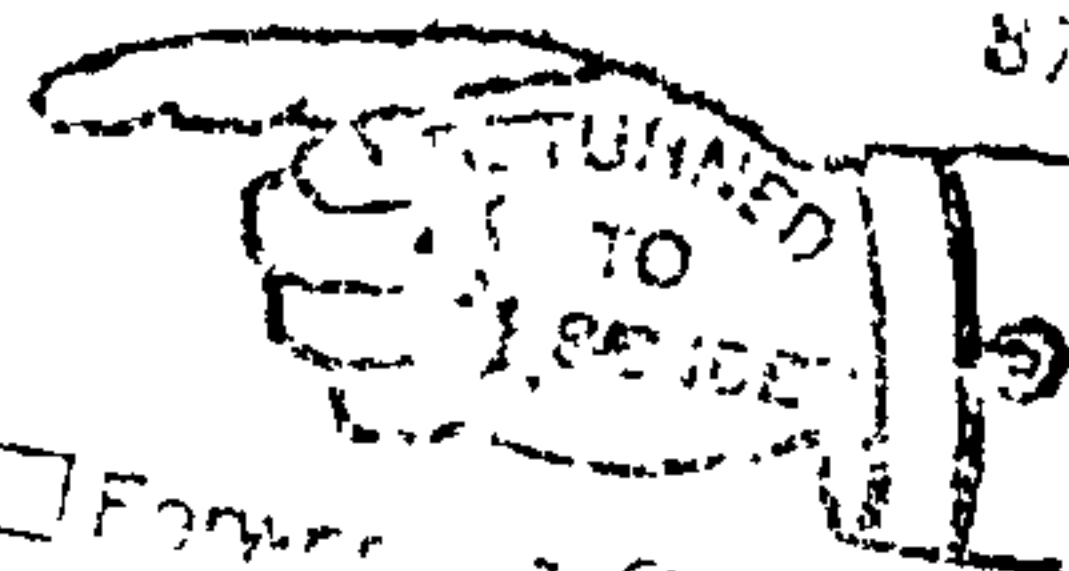
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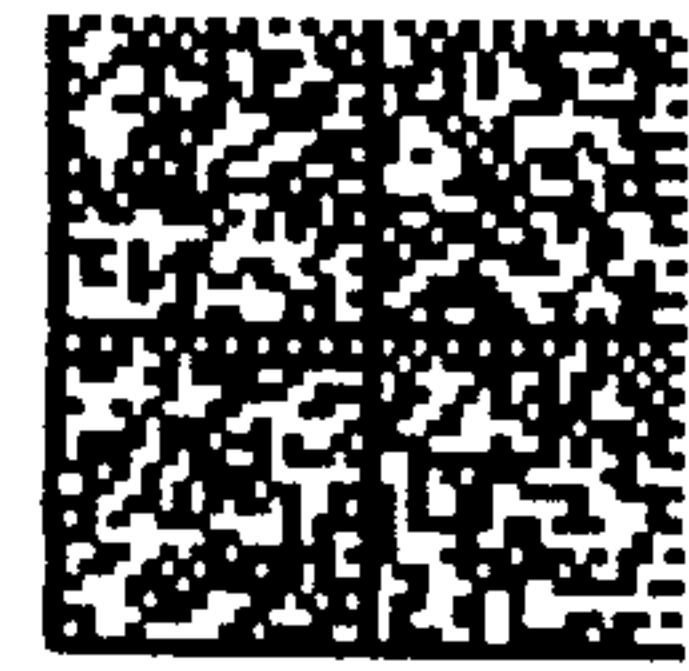
Planning Department

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Project # 1004387

SPRUCE PARK LLC
PO BOX 20953
ALBUQUERQUE, NM 87154

87154+0953-53 2010



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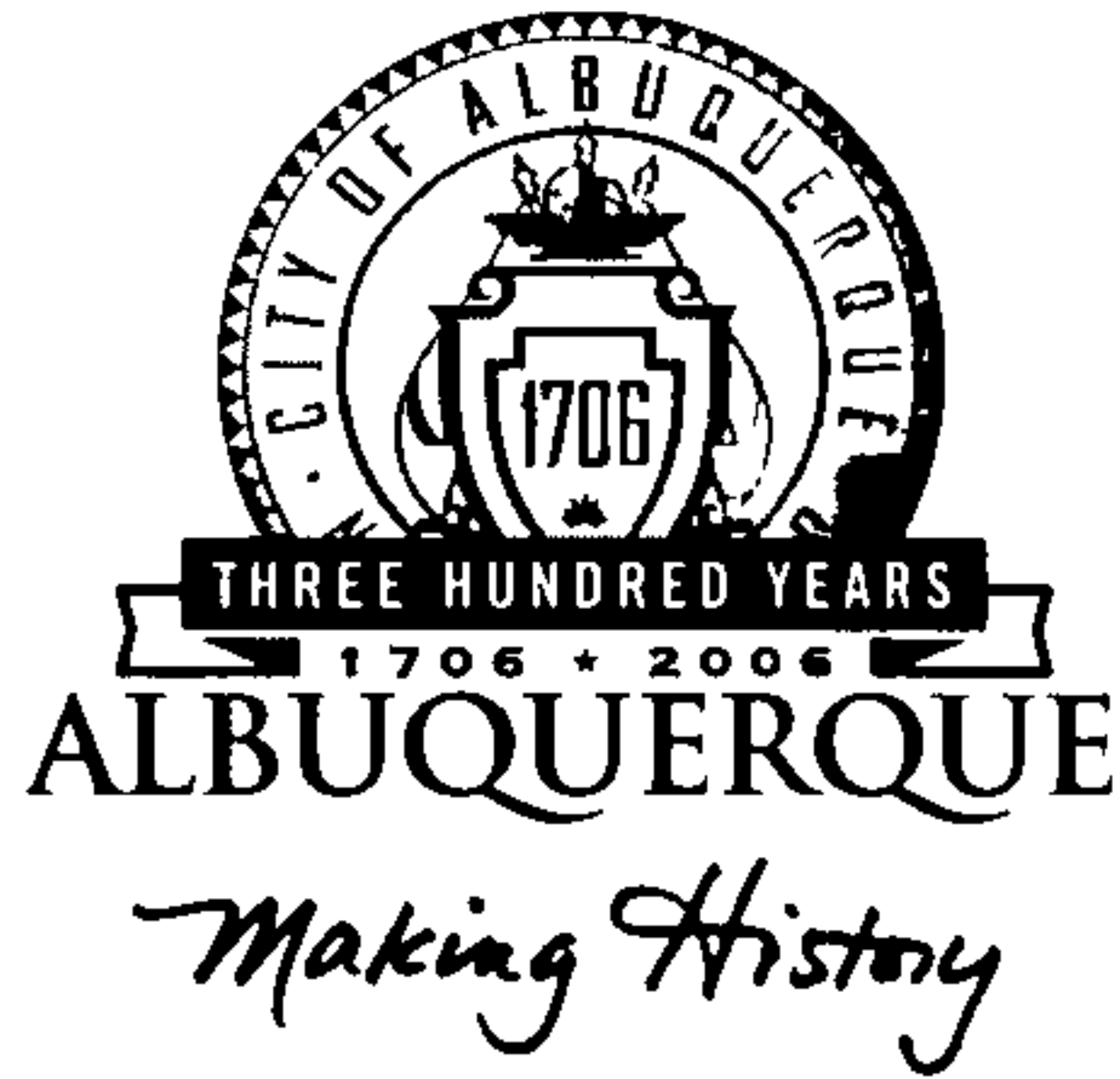
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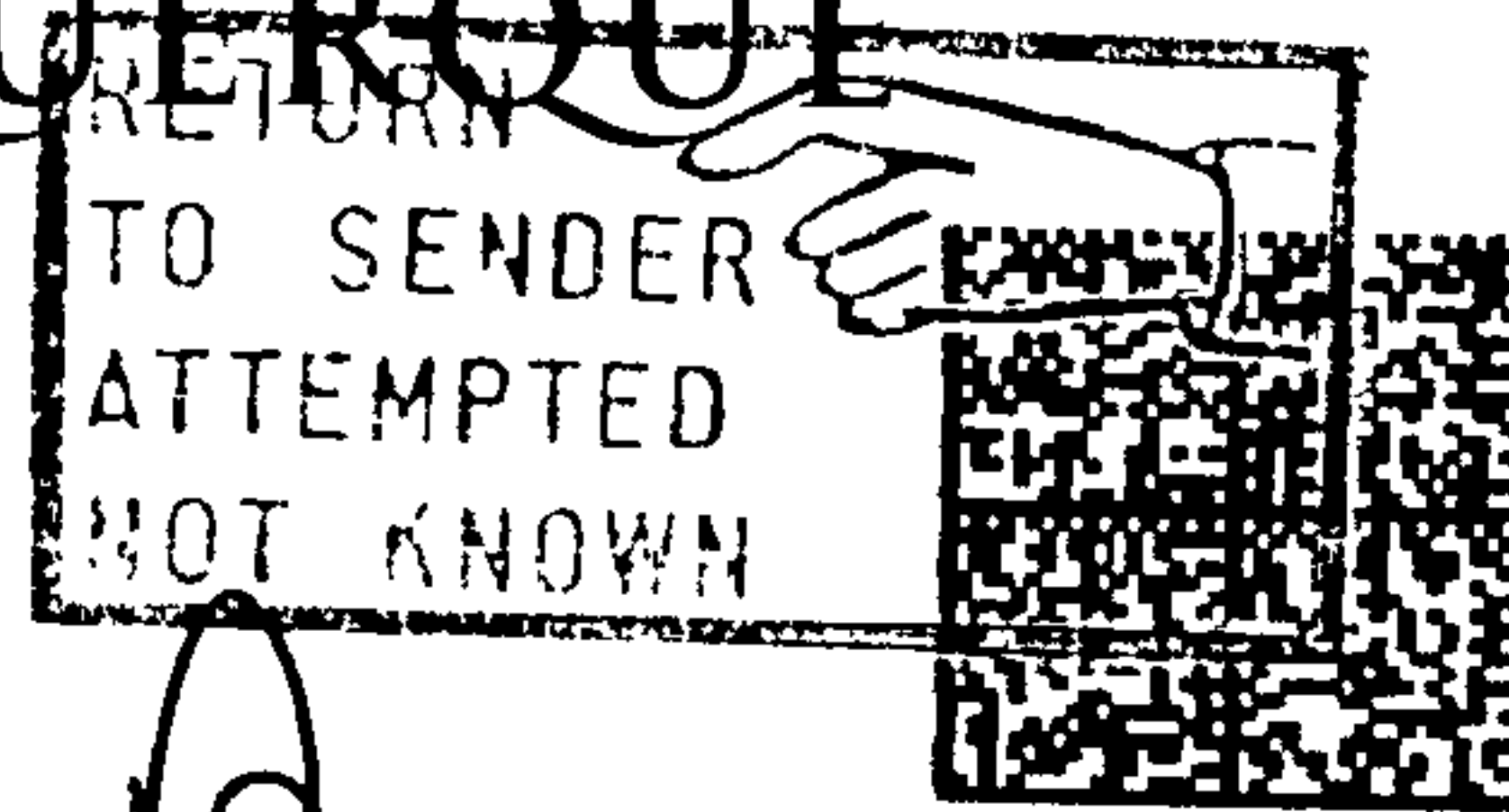
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ALBUQUERQUE NM 87102



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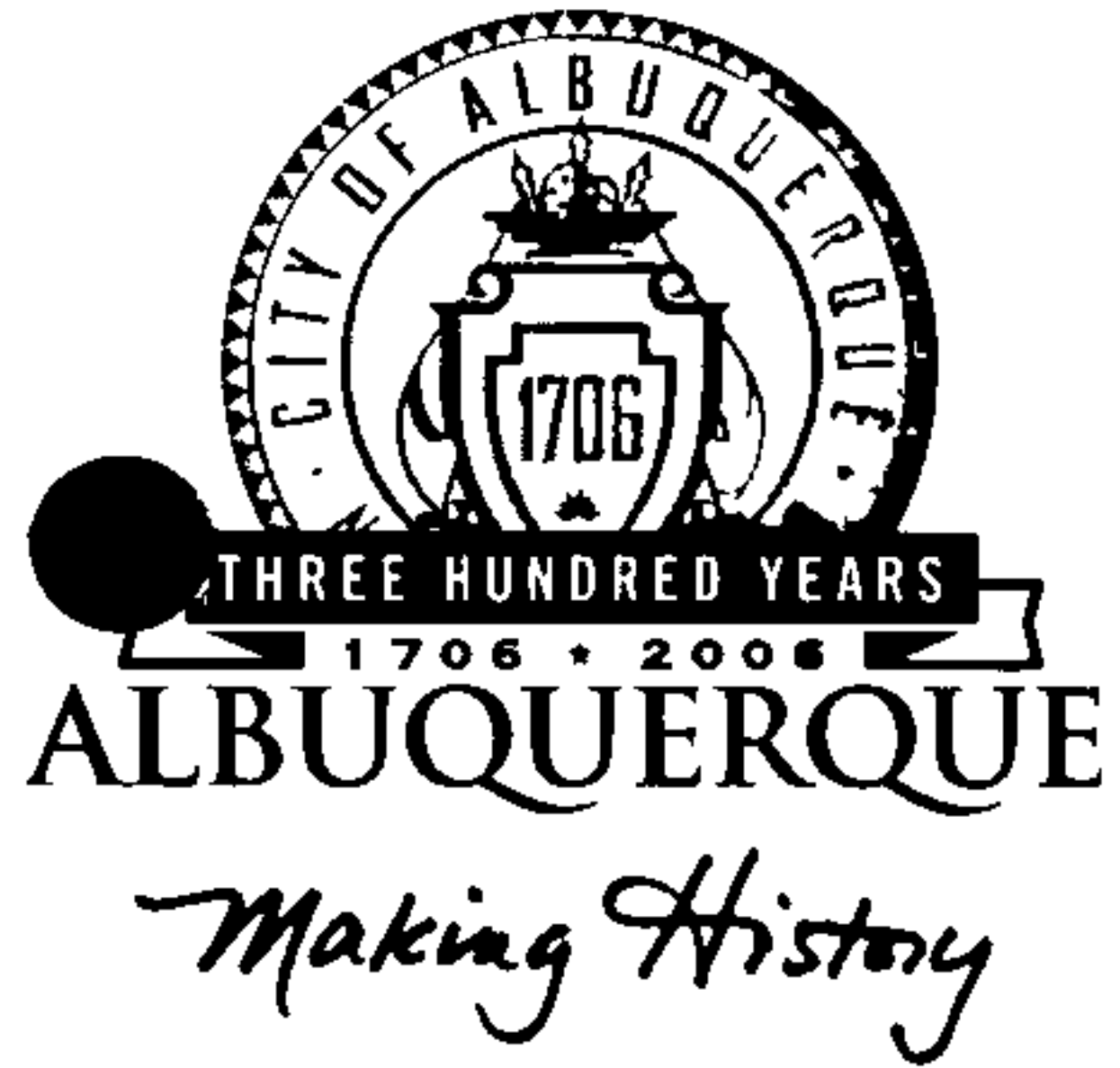
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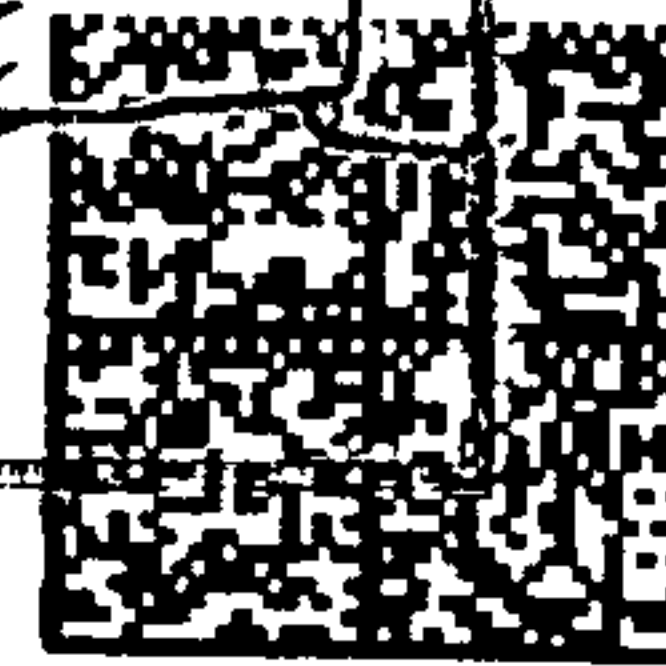
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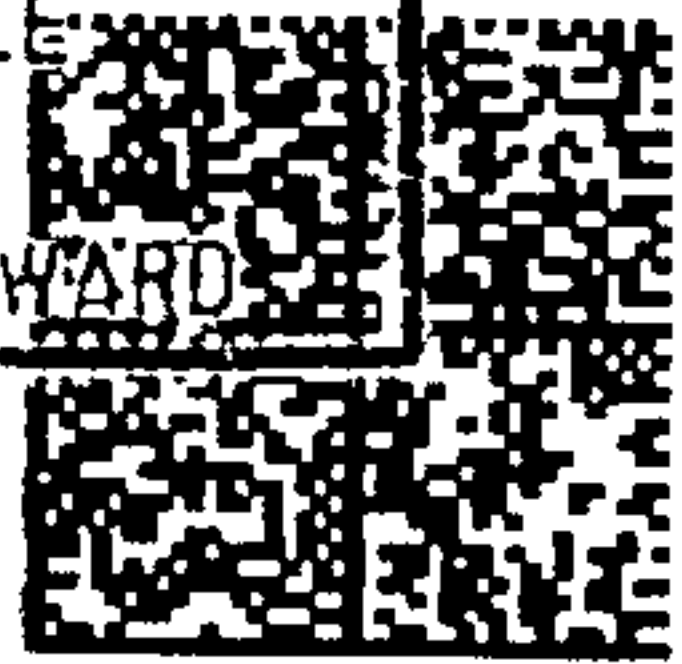
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Albuquerque, NM 87103

101505827704240405

HAYES RICHARD L & GRACE E
1205 LAS LOMAS RD NE
ALBUQUERQUE NM 87106

87106+4325-05 C011



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Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 29, 2005.

CITY OF ALBUQUERQUE



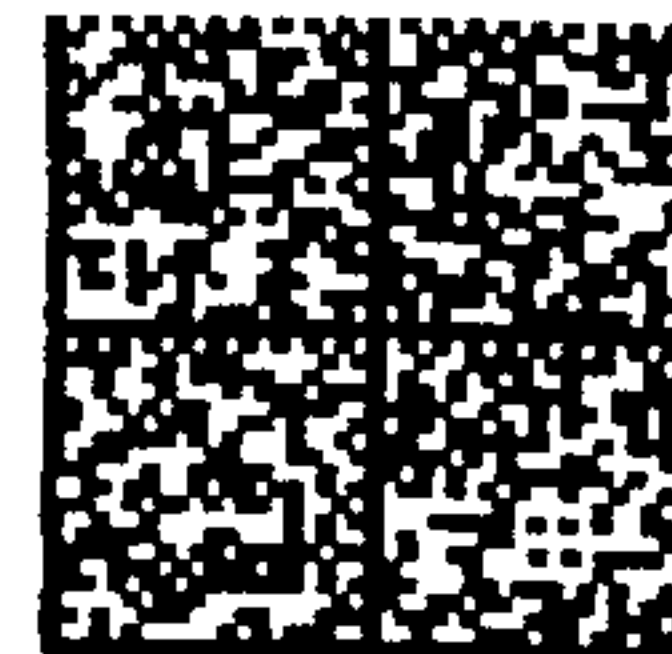
Making History

Planning Department

P.O. Box 1293

Albuquerque, NM 87103

DRB



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MAILED FROM ZIP CODE 87102

**ATTEMPTED,
NOT KNOWN**

101505817202730307

ENCINO ADDITION INC
3300 COLUMBIA NE
ALBUQUERQUE NM 87107

**ATTEMPTED
NOT KNOWN**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 14, 2005,** beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000621

05DRB-01334 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for JOHN Q HAMMONS HOTELS request(s) the above action(s) for all or a portion of Tract(s) B-1, **GATEWAY SUBDIVISION**, zoned SU-2 C-3, located on LOMAS BLVD NE, between WOODWARD PL NE and MOUNTAIN RD NE containing approximately 9 acre(s). [REF: 03DRB01353, 03DRB01649] (J-15)

Project # 1002645

05DRB-01335 Major-Two Year SIA

TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS LLC request(s) the above action(s) for **SEVILLE, UNIT 8**, zoned RLT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA ST NW containing approximately 27 acre(s). [REF: 03DRB-01441, 03DRB-01441] (A-10)

Project # 1002321

05DRB-01333 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 11, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between MASTHEAD NE and BARTLETT NE containing approximately 10 acre(s). (D-17)

Project # 1004387

05DRB-01332 Major-Vacation of Pub Right-of-Way

MARK HARENBERG agent(s) for SPRUCE PARK LLC request(s) the above action(s) for tract northeast of Lot(s) 35, Block(s) 12, **COUNTRY CLUB ADDITION**, located on the northeast corner of ENCINO PLACE NE and LOS LOMAS RD NE and containing approximately 1 acre(s). (J-15)

Project # 1004388

05DRB-01336 Major-Preliminary Plat Approval
05DRB-01337 Minor-Sidewalk Waiver
05DRB-01338 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 14, VENTANA RANCH WEST (to be known as **WESTERN SHADOWS, UNIT 2**) zoned R-LT residential zone, located on VENTANA RIDGE RD NW, east of DEL OESTE DR NW and containing approximately 20 acre(s). [REF:1002778] (B-8)

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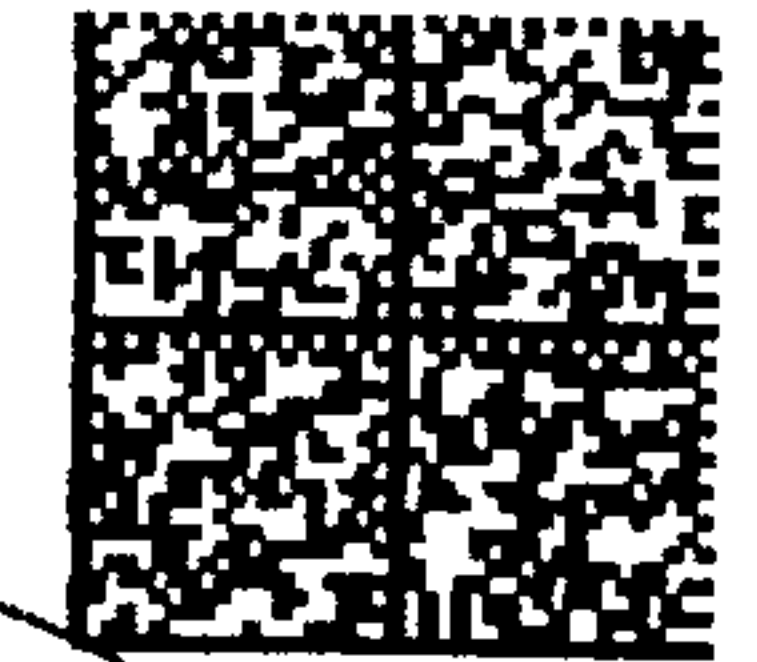
Making History

Planning Department

P.O. Box 1293

Albuquerque, NM 87103

DRB



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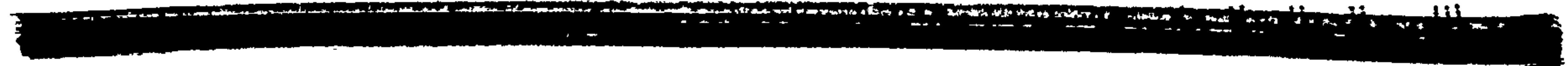
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SANDIA FOUNDATION





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CITY OF ALBUQUERQUE**

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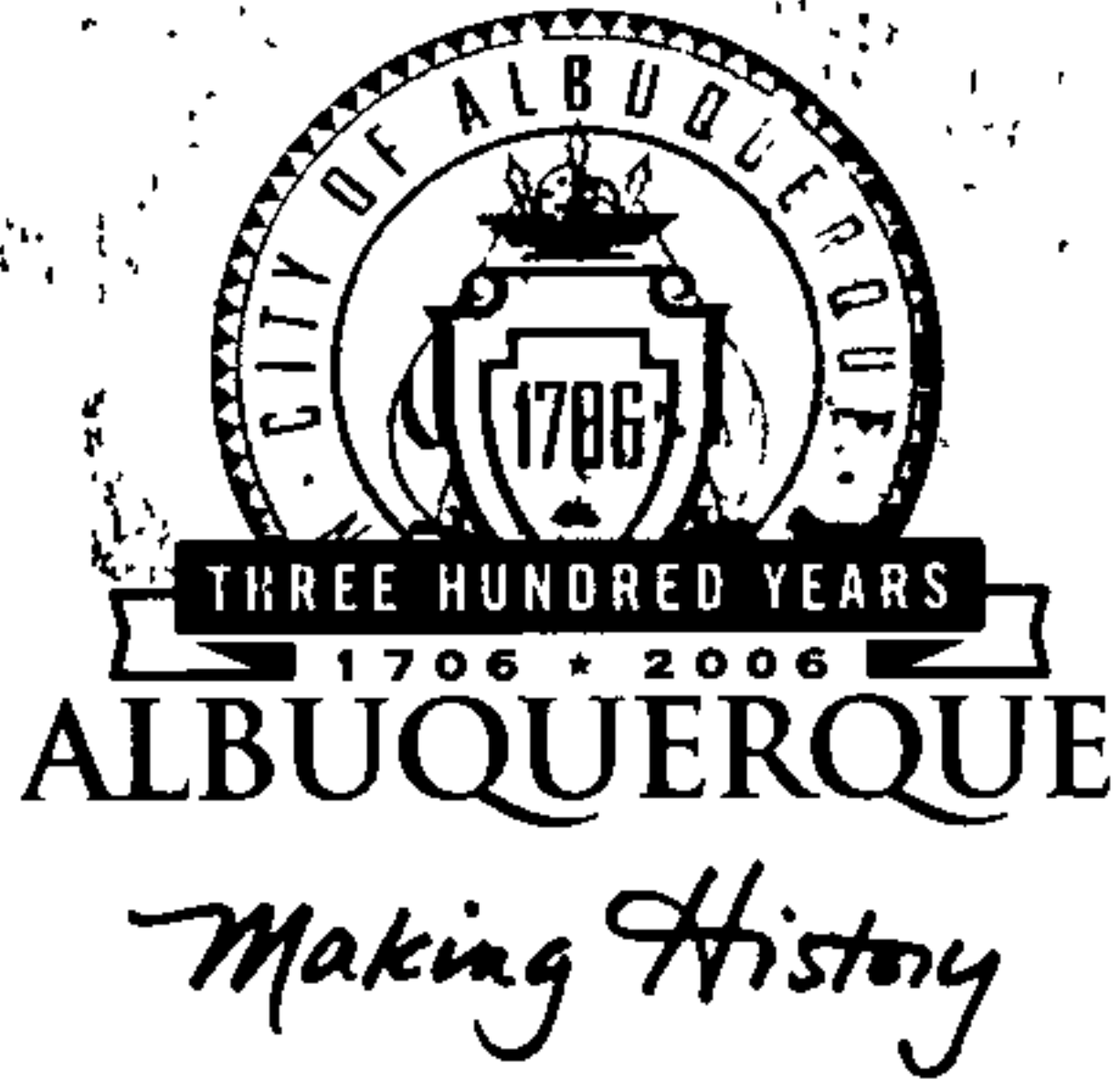
- Project # 1000621**
05DRB-01334 Major-Two Year SIA
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- Project # 1002645**
05DRB-01335 Major-Two Year SIA
- TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS LLC request(s) the above action(s) for **SEVILLE, UNIT 8**, zoned RLT, located on IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA ST NW containing approximately 27 acre(s). [REF: 03DRB-01441, 03DRB-01441] (A-10)
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05DRB-01337 Minor-Sidewalk Waiver
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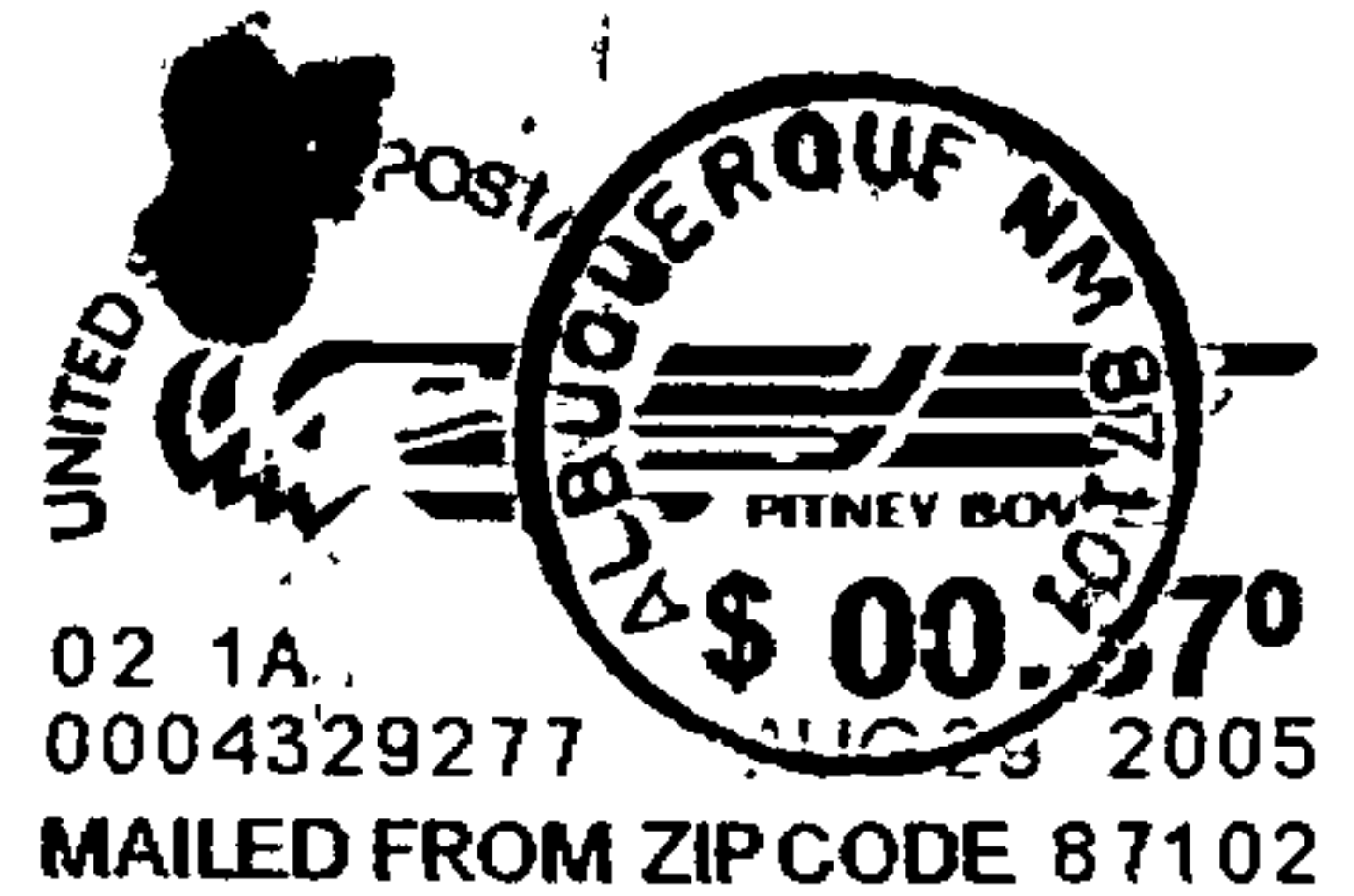
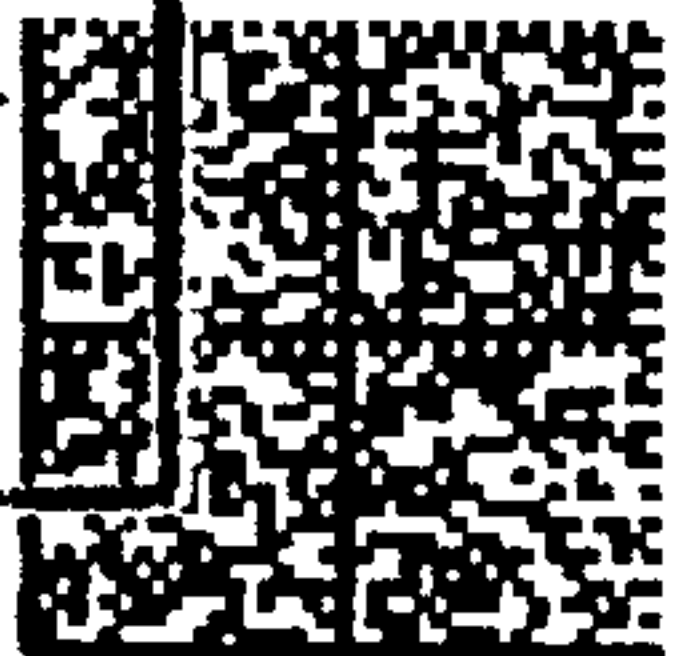

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 29, 2005.

CITY OF ALBUQUERQUE



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TO SENDER
NOT DELIVERABLE
AS ADDRESSED
UNABLE TO FORWARD



D R B

Planning Department

P.O. Box 1293

Albuquerque, NM 87103

101505815502530301L1

SANDIA FOUNDATION
700 LOMAS BL NE
ALBUQUERQUE NM 87102

8710242368-33 C016



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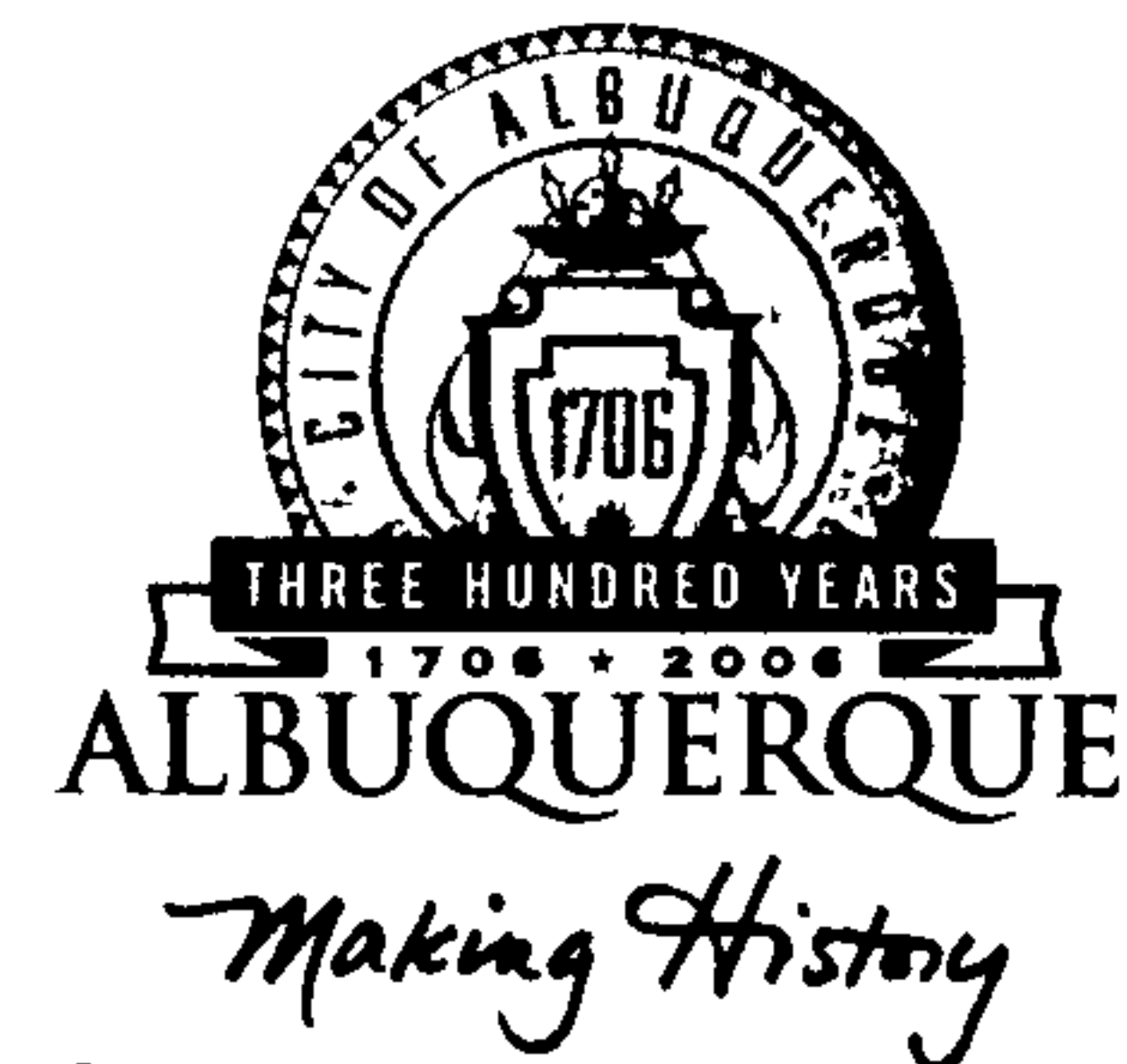
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CITY OF ALBUQUERQUE

F Y I



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

August 31, 2005

TO: Rhonda Reynolds and Luis Robles, Spruce Park Neighborhood Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately one (1) acre(s): Major Vacation of Public Right-of-Way for Encino Place NE and Los Lomas Road NE.**

Proposed by: Mark Harenberg at 293-8841

Agent for: Spruce Park, LLC

For property located: On or near the northeast corner of Encino Place NE at Encino Place NE and Los Lomas Road NE.

P.O. Box 1293

The case number(s) assigned is: 05DRB- 01332, Project # 1004387.

City Planning accepted application for this request on August 19, 2005.

Albuquerque

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, September 14, 2005 in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

www.cabq.gov

You should contact **Claire Senova** at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: SEPTEMBER 14, 2005
Zone Atlas Page: J-15-Z
Notification Radius: 100 Ft.

Project# 1004387
App# 05DRB-01332

Cross Reference and Location: NE corner of Encino Place NE at Encino Place NE and Los Lomas Rd NE

Applicant: SPRUCE PARK LLC
Address: PO BOX 20953
ALBUQUERQUE, NM 87154

Agent: MARK HARENBERG
Address: PO BOX 20953
ALBUQUERQUE NM 87154

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: AUGUST 26, 2005

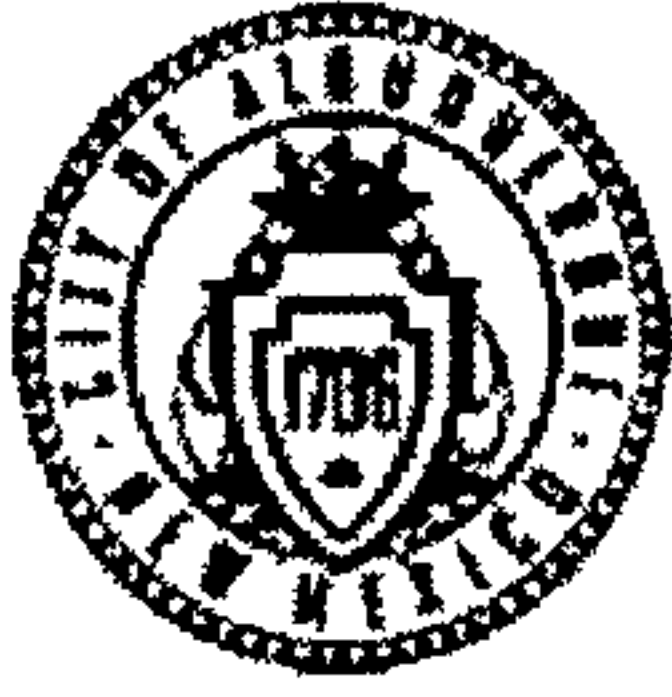
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

Project# _____
Application# _____

PAGE 1 OF 2

Zone Atlas Page #	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
J-15	1015058	235-032	304-12	✓
		227-018	11	✓
		219-006	13	✓ Dup ²
K-15	1015057	212-518	241-20	✓
		211-510	01	✓
		221-509	02	✓
		225-515	03	✓
		221-520	04	✓
J-15	1015058	232-005	304-05	✓
		235-010	06	✓
		238-016	07	✓ Dup ²
		242-023	08	✓
		247-030	09	✓
		250-034	10	✓
		253-038	14	✓ Dup ²
		271-045	404-04	✓
		264-048	03	✓
		258-052	02	✓
		247-055	01	✓
		277-042	05	✓
		220-090	309-06	✓
		193-086	05	✓ Dup ²
	*	193-042	325-09	✓ General Delivery
		227-047	303-10	✓



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bq.gov
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To
cc
bcc
Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01015058 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101505823503230412 LEGAL: LOTS 31, 32, 33, 34 & 35 BLOCK 12 COUNTRY CLUB
LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: LOMAS MEDICAL BLDG JOINT VNTR
OWNER ADDR: 01605 CORNELL NE
ALBUQUERQUE NM 87106
0101505822701830411 LEGAL: LOTS 29 & 30 BLOCK 12 COUNTRY CLUB ADDITION
LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: BEHAVIORAL HEALTH RESEARCH
OWNER ADDR: 00612 ENCINO PL NE
ALBUQUERQUE NM 87102
0101505821900630413 LEGAL: 028 012E XT OF BLK12 COUNTRY CLUB ADDN
LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: BEHAVIORAL HEALTH RESEARCH
OWNER ADDR: 00612 ENCINO PL NE
ALBUQUERQUE NM 87102
0101505721251824120 LEGAL: 27A 12 R EPLAT OF LOT 27 & LOT Y COUNTRY CLUB
ADDN LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: BACHICHA ROBERT L ETUX
OWNER ADDR: 00606 ENCINO PL NE
ALBUQUERQUE NM 87102
0101505721151024101 LEGAL: 012L T X OF PLAT OF LTS X X Y BLK 12 COUNTRY
CLUB A LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: TYRPAK BARBARA
OWNER ADDR: 00600 ENCINO PL NE
ALBUQUERQUE NM 87102
0101505722150924102 LEGAL: 012C OUNT RY CLUB LOT MM
LAND USE:
PROPERTY ADDR: 00000 ROMA
OWNER NAME: NEWMAN MARTIN HARRY
OWNER ADDR: 01141 ROMA AV NE
ALBUQUERQUE NM 87102
0101505722551524103 LEGAL: LL 0 12LL X MM OF 12C CLUB ADDN
LAND USE:
PROPERTY ADDR: 00000 CEDAR
OWNER NAME: LAIRD DANIEL & ANNE FERGUSON
OWNER ADDR: 00603 CEDAR ST NE
ALBUQUERQUE NM 87106
0101505722152024104 LEGAL: K 01 2COU NTRY CLUB
LAND USE:
PROPERTY ADDR: 00000 CEDAR
OWNER NAME: PROPST DAVID L &
OWNER ADDR: 00607 CEDAR NE
ALBUQUERQUE NM 87106

0101505825805240402 LEGAL: 002 013C COUNTRY CLUB ADD
LAND USE:
PROPERTY ADDR: 00000 LAS LOMAS
OWNER NAME: HILL WAYNE A & BERNADETTE G
OWNER ADDR: 01119 LAS LOMAS RD NE
ALBUQUERQUE NM 87106

0101505824705540401 LEGAL: LOTS 3 & 4 BLK 13 COUNTRY CLUB ADD
LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: MAULDIN JOHN S & KAREN C
OWNER ADDR: 00624 SPRUCE NE
ALBUQUERQUE NM 87106

0101505827704240405 LEGAL: 004 014C COUNTRY CLUB ADDITION
LAND USE:
PROPERTY ADDR: 00000 LAS LOMAS
OWNER NAME: HAYES RICHARD L & GRACE E
OWNER ADDR: 01205 LAS LOMAS RD NE
ALBUQUERQUE NM 87106

0101505822009030906 LEGAL: TRAC T A- 1 OF PLAT OF TRACTS A-1 & A-2 MED-ART
SQUA LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: MEDICAL ARTS BLDG INC
OWNER ADDR: 00801 ENCINO PL NE
ALBUQUERQUE NM 87102

0101505819308630905 LEGAL: TRAC T A- 2 OF PLAT OF TRACTS A-1 & A-2 MED-ART
SQUA LAND USE:
PROPERTY ADDR: 00000 LAS LOMAS
OWNER NAME: MEDICAL ARTS BLDG INC
OWNER ADDR: 00801 ENCINO PL NE
ALBUQUERQUE NM 87102

0101505819304232509 LEGAL: SOUT HWES T CONST CO REPLAT RB & 20 FT PVT
ENTRANCE LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: ENCINO MEDICAL BLDG INC
OWNER ADDR: GENERAL DELIVERY
ALBUQUERQUE NM 87176

0101505822704730310 LEGAL: THE NLY POR OF SW CONST CO REPLAT R B & 20' OF
PVT LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: HAYMAN WILLIAM S
OWNER ADDR: 00004 JUNIPER HILL RD NE
ALBUQUERQUE NM 87122

0101505819602030305 LEGAL: TR A X B SW CONST CO
LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: MEDICAL BUILDING INC
OWNER ADDR: 00715 GRAND AV NE
ALBUQUERQUE NM 87102

0101505818202230306 LEGAL: LAND S OF SOUTHWEST CONSTR CO ETAL TRACT DXE
LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: SANDIA FOUNDATION
OWNER ADDR: PO BOX 26666
ALBUQUERQUE NM 87125

0101505817202730307 LEGAL: TR F SW CONST CO .468 AC
LAND USE:
PROPERTY ADDR: 00000 LAS LOMAS
OWNER NAME: ENCINO ADDITION INC
OWNER ADDR: 03300 COLUMBIA NE
ALBUQUERQUE NM 87107

0101505819552630315 LEGAL: TRAC T 2A TRACTS COMPRISING OF TR 2 ENCINO PLACE
AD LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: SURGICAL ASSOCIATES P A
OWNER ADDR: 00711 ENCINO PL NE
ALBUQUERQUE NM 87102

0101505819252030316 LEGAL: TRAC T 2B OF TRACTS COMPRISING TR 2 ENCINO PLACE
AD LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: SCHULTZ LOUIS E ETUX ETAL
OWNER ADDR: 00711 ENCINO PL NE
ALBUQUERQUE NM 87102

0101505819251530317 LEGAL: TRAC T 2C OF TRACTS COMPRISING TRACT 2 ENCINO
PLACE LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: SCHULTZ LOUIS E ETUX ETAL
OWNER ADDR: 00711 ENCINO PL NE
ALBUQUERQUE NM 87102

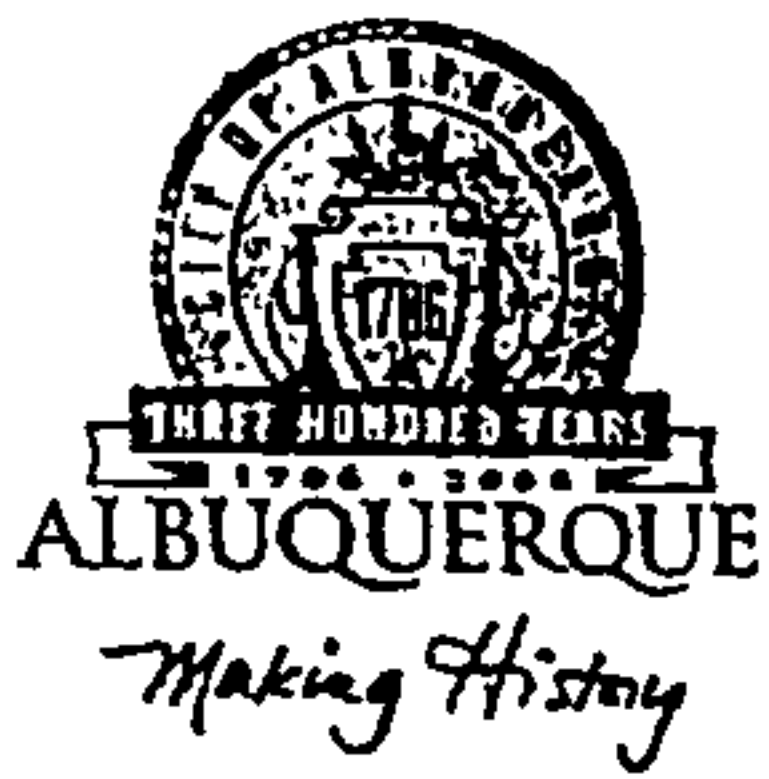
0101505816400430303 LEGAL: TRAC T 1 EXCEPT SLY 22 FT TO R/W ENCINO PLACE
ADD LAND USE:
PROPERTY ADDR: 00000 ENCINO
OWNER NAME: ENCINO HOUSE
OWNER ADDR: 00609 ENCINO PL NE
ALBUQUERQUE NM 87106

0101505719750723714 LEGAL: G 02 0 CO UNTRY CLUB ADDN
LAND USE:
PROPERTY ADDR: 00000 ROMA
OWNER NAME: WILKINS EBITSAM S
OWNER ADDR: 09961 FLORENCE AV NE
ALBUQUERQUE NM 87122

0101505719150723713 LEGAL: F 02 0 CO UNTRY CLUB ADDN
LAND USE:
PROPERTY ADDR: 00000 ROMA
OWNER NAME: HARRIS CLIFF A
OWNER ADDR: 01121 ROMA AV NE
ALBUQUERQUE NM 87106

0101505718550723712 LEGAL: E 02 0 CO UNTRY CLUB ADDN
LAND USE:
PROPERTY ADDR: 00000 ROMA
OWNER NAME: GARCIA BLANCHE B & KINCAID DIA
OWNER ADDR: 00712 CARLISLE SE
ALBUQUERQUE NM 87106

0101505717750323711 LEGAL: 009 020 COUNTRY CLUB ADDN
LAND USE:
PROPERTY ADDR: 00000 ROMA
OWNER NAME: PINO JOSEPH E & HARRIET M
OWNER ADDR: 08912 LAS CAMAS RD NE
ALBUQUERQUE NM 87111



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – (505) 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914. Your request is for the following:
Cell Tower []; Private Development []; City Project []; -OR- Other []

CONTACT NAME: Wm J. BAILEY or MARK HADENBERG

COMPANY NAME: SPRUCE PARK LLC

ADDRESS/ZIP: PO BOX 20953

PHONE: (505) 293-8841 FAX: (505) 299-6327

ZONE ATLAS map @ PAGE J-15-2

NEIGHBORHOOD ASSOCIATION INFORMATION

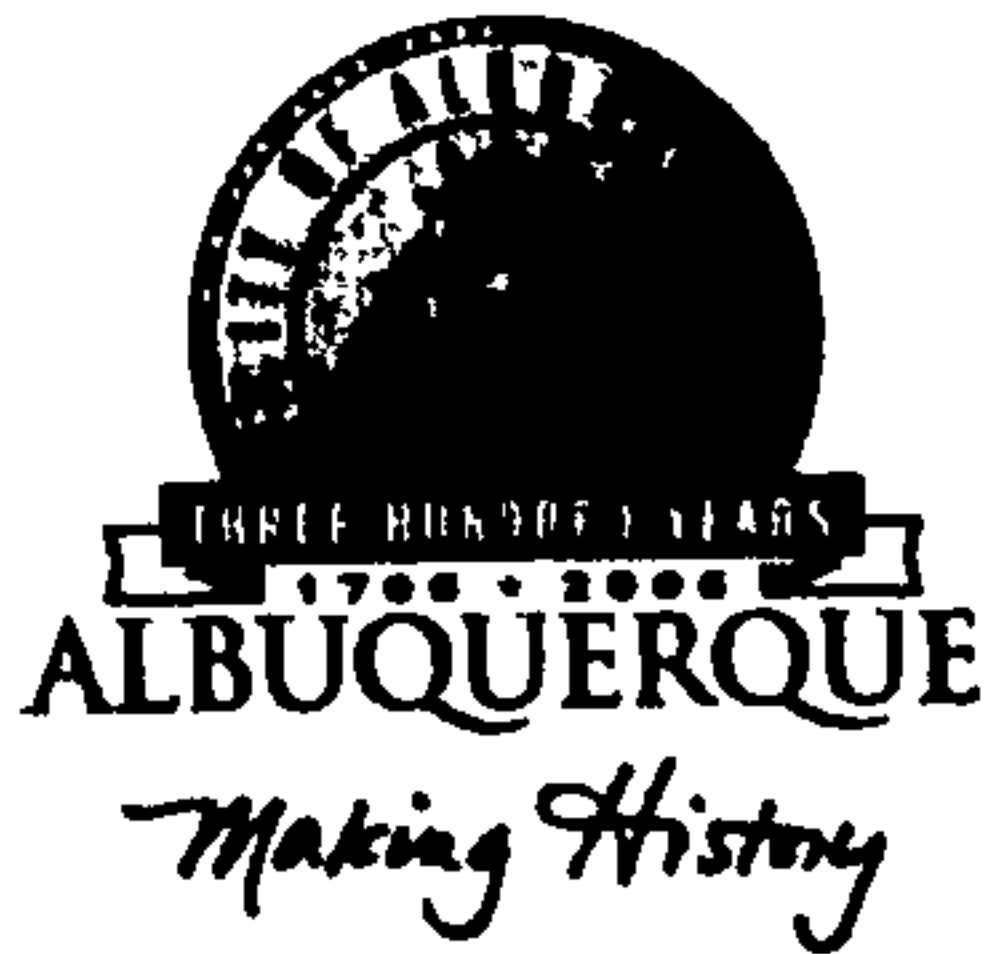
PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS: SOUTH LINE OF LOS LOMAS ROAD (SEE ATTACH!)
~~NORTH EAST CORNER OF~~ NORTH PROPERTY LINE OF LOT 35 BLOCK 12 COUNTRY CLUB ADDITION TO
LEGAL DESCRIPTION

LOCATED ON ENCINO PLACE NE AND LOS LOMAS ROAD NE
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN SEE BELOW AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

IMMEDIATELY NORTH OF 718 ENCINO PLACE NE
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (____).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 8/17/05

TO CONTACT NAME: WM J. Bailey or Mark Harenberg
COMPANY/AGENCY: Spruce Park LLC
ADDRESS/ZIP: PO Box 20953 / 87154
PHONE/FAX #: 293-8841 / 299-6327

Thank you for your inquiry of August 17, 2005 requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at South line of Los Lomas Road, North property line of lot 35, Block 12, Country Club Addition, located on Encino Pl NE of Los Lomas Road NE zone map page(s) J-15 between immediately North of 718 Encino Pl NE

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Spruce Park
Neighborhood Association
Contacts: Rhonda Reynolds
1510 Roma Ave NE / 87106
242-7931 (h)
Luis Robles
1211 Roma Ave. NE / 87106
764-8519 (h)

Neighborhood Association
Contacts: _____

See reverse side for additional Neighborhood Association Information: YES { } NO {}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

OFFICE OF NEIGHBORHOOD COORDINATION

.....
Attention: Both contacts per neighborhood association need to be notified.
.....

Project # 1004387

SPRUCE PARK LLC
PO BOX 20953
ALBUQUERQUE, NM 87154

MARK HARENBERG
PO BOX 20953
ALBUQUERQUE, NM 87154

RHONDA REYNOLDS
Spruce Park N.A.
1510 ROMA AVE NE
ALBUQUERQUE, NM 87106

LUIS ROBLES
Spruce Park N.A.
1211 ROMA AVE NE
ALBUQUERQUE, NM 87106

101505823503230412
LOMAS MEDICAL BLDG JOINT VNTR
1605 CORNELL NE
ALBUQUERQUE NM 87106

101505822701830411
BEHAVIORAL HEALTH RESEARCH
612 ENCINO PL NE
ALBUQUERQUE NM 87102

101505721251824120
BACHICHA ROBERT L ETUX
606 ENCINO PL NE
ALBUQUERQUE NM 87102

101505721151024101
TYRPAK BARBARA
600 ENCINO PL NE
ALBUQUERQUE NM 87102

101505722150924102
NEWMAN MARTIN HARRY
1141 ROMA AV NE
ALBUQUERQUE NM 87102

101505722551524103
LAIRD DANIEL & ANNE FERGUSON
603 CEDAR ST NE
ALBUQUERQUE NM 87106

101505722152024104
PROPST DAVID L &
607 CEDAR NE
ALBUQUERQUE NM 87106

101505823200530405
MOHRMANN GERALD ETUX
611 CEDAR ST NE
ALBUQUERQUE NM 87106

101505823501030406
BOHAN JULIANE N
615 CEDAR NE
ALBUQUERQUE NM 87106

101505824202330408
COOPER EARL & JOYCE
633 CEDAR ST NE
ALBUQUERQUE NM 87106

101505824703030409
FRANCHINI R GREGORY & ELIZABE
637 CEDAR NE
ALBUQUERQUE NM 87105

101505825003430410
LUGER GEORGE F & KATHLEEN K
633 CEDAR ST NE
ALBUQUERQUE NM 87106

101505827104540404
STAKE BENJAMIN M &
1201 LAS LOMAS NE
ALBUQUERQUE NM 87106

101505826404840403
ERASMUS MARK D
1123 LAS LOMAS AV NE
ALBUQUERQUE NM 87106

101505825805240402
HILL WAYNE A & BERNADETTE G
1119 LAS LOMAS RD NE
ALBUQUERQUE NM 87106

101505824705540401
MAULDIN JOHN S & KAREN C
624 SPRUCE NE
ALBUQUERQUE NM 87106

101505827704240405
HAYES RICHARD L & GRACE E
1205 LAS LOMAS RD NE
ALBUQUERQUE NM 87106

101505822009030906
MEDICAL ARTS BLDG INC
801 ENCINO PL NE
ALBUQUERQUE NM 87102

101505819304232509
ENCINO MEDICAL BLDG INC
GENERAL DELEVERY
ALBUQUERQUE, NM 87176

101505822704730310
HAYMAN WILLIAM S
4 JUNIPER HILL RD NE
ALBUQUERQUE NM 87122

101505819602030305
MEDICAL BUILDING INC
715 GRAND AV NE
ALBUQUERQUE NM 87102

101505818202230306
SANDIA FOUNDATION
PO BOX 26666
ALBUQUERQUE, NM 87125

101505817202730307
ENCINO ADDITION INC
3300 COLUMBIA NE
ALBUQUERQUE NM 87107

101505819552630315
SURGICAL ASSOCIATES P A
711 ENCINO PL NE
ALBUQUERQUE NM 87102

101505819252030316
SCHULTZ LOUIS E ETUX ETAL
711 ENCINO PL NE
ALBUQUERQUE NM 87102

101505819251530317
SCHULTZ LOUIS E ETUX ETAL
711 ENCINO PL NE
ALBUQUERQUE NM 87102

101505816400430303

ENCINO HOUSE
609 ENCINO PL NE
ALBUQUERQUE NM 87106

101505719750723714

WILKINS EBITSAM S
9961 FLORENCE AV NE
ALBUQUERQUE NM 87122

101505719150723713

HARRIS CLIFF A
1121 ROMA AV NE
ALBUQUERQUE NM 87106

101505718550723712

GARCIA BLANCHE B & KINCAID DI
712 CARLISLE SE
ALBUQUERQUE NM 87106

101505717750323711

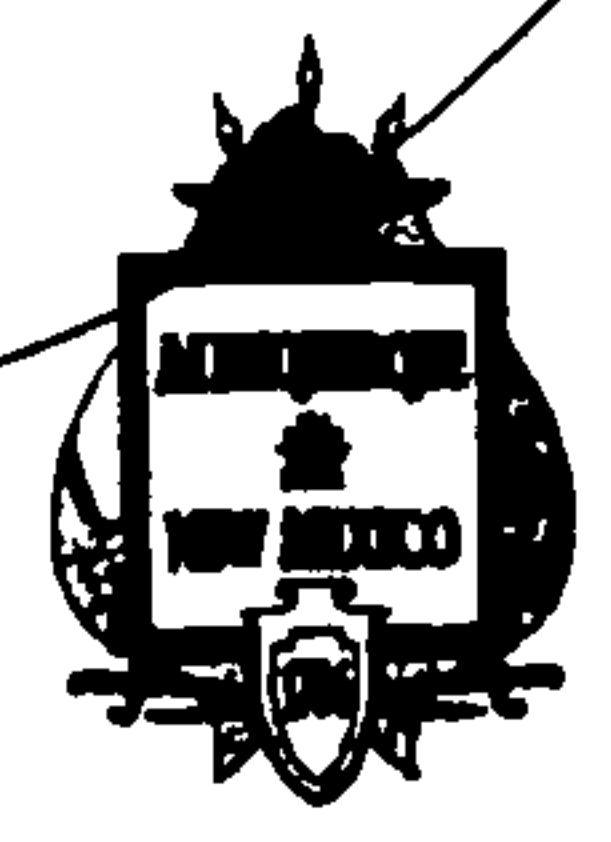
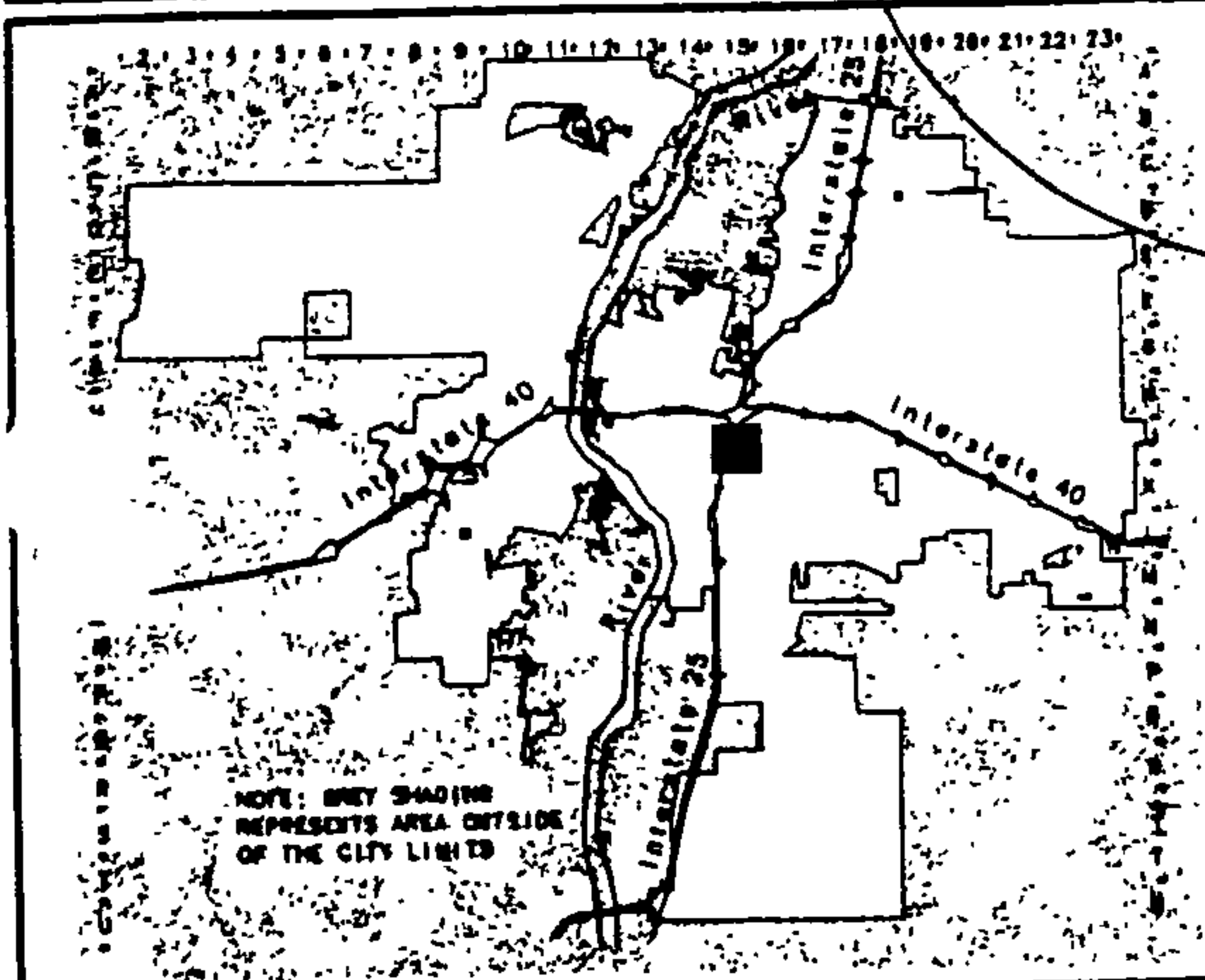
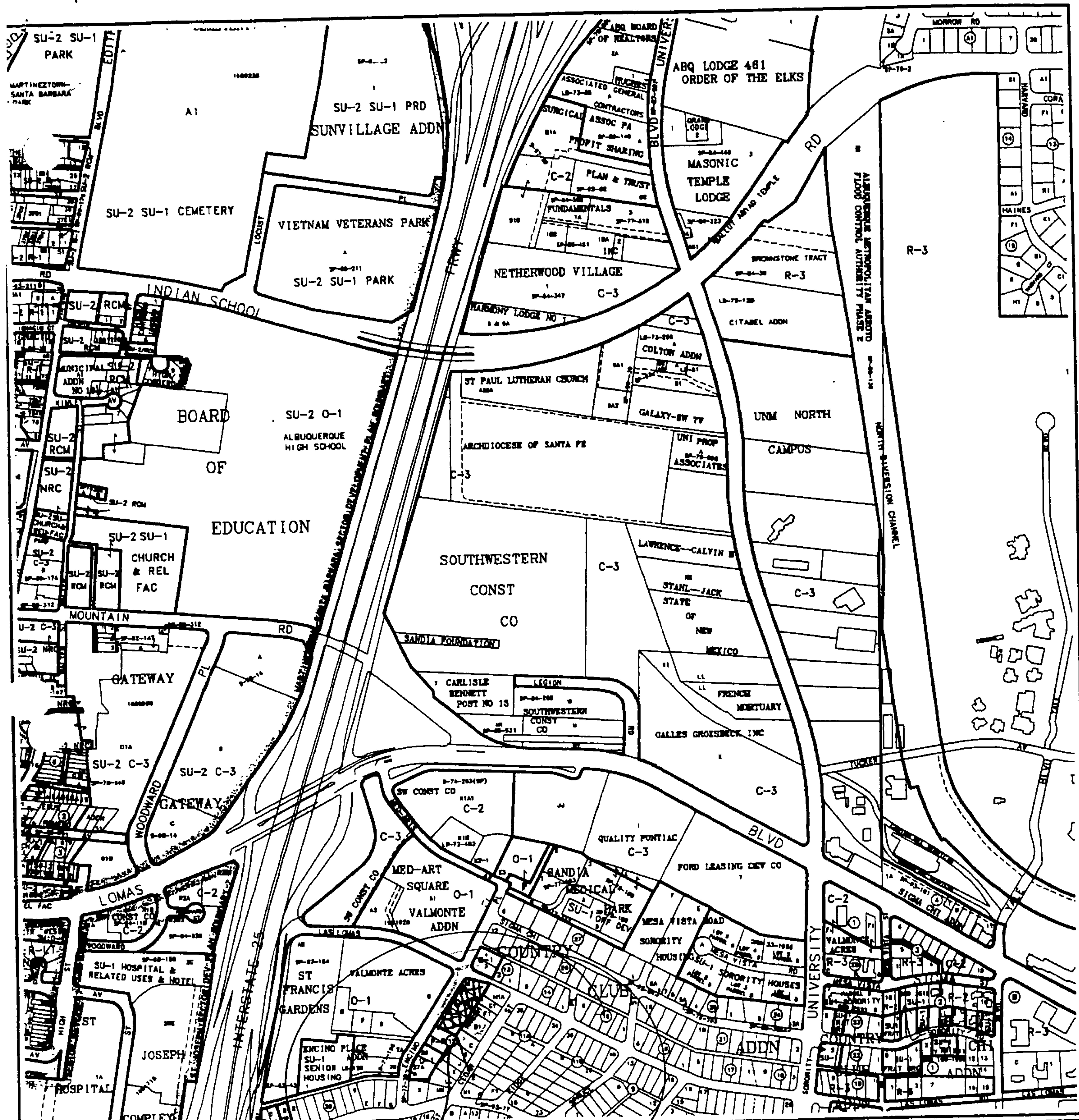
PINO JOSEPH E & HARRIET M
8912 LAS CAMAS RD NE
ALBUQUERQUE NM 87111

101505717250323710

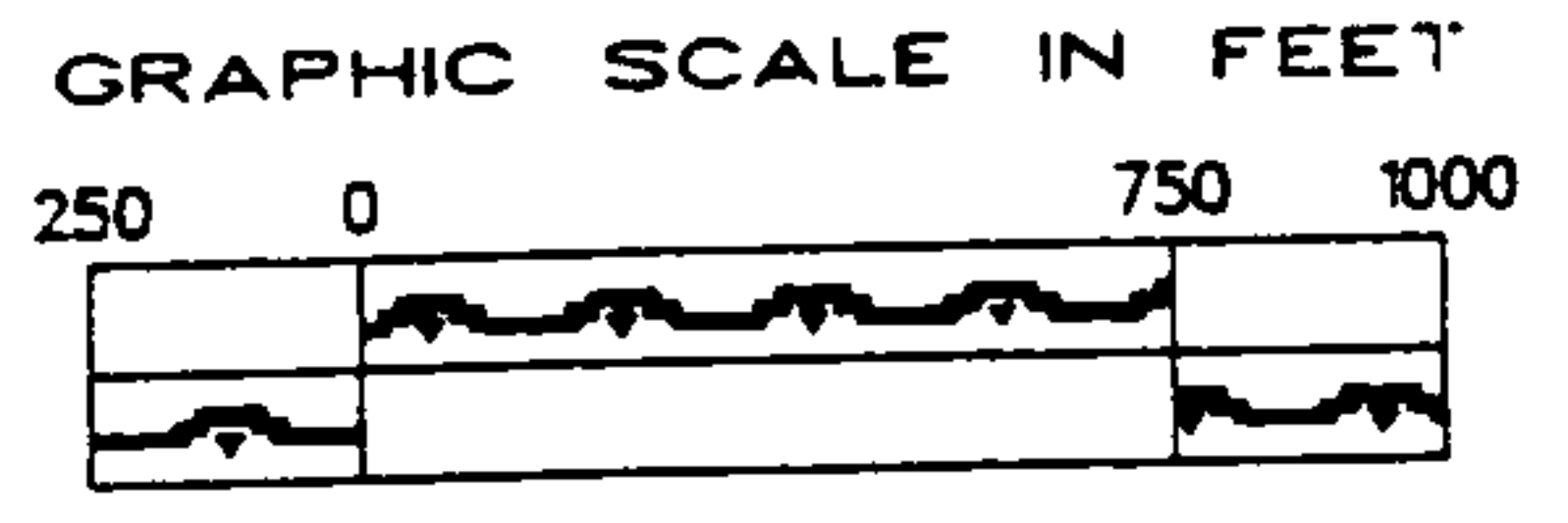
ANDERSON WILLARD E
1109 ROMA AV NE
ALBUQUERQUE NM 87106

101505815502530301L1

SANDIA FOUNDATION
700 LOMAS BL NE
ALBUQUERQUE NM 87102



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
J-15-Z
Map Amended through January 21, 2003

NOTE: GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS

APPLICATION TO VACATE

TO: City of Albuquerque
Development Review Borad

FROM: Spruce Park LLC, a New Mexico limited liability company
Mark Harenberg, Managing Member

SUBJECT: Application to Vacate City right-of-way
Northeast corner of Encino Place NE & Los Lomas Road NE
(See Application & attachments for location)

DATE: August 17, 2005

The Applicant, Spruce Park LLC (SPLLC) hereby requests that the City of Albuquerque vacate certain City Owned right-of-way, as described and shown in the application, for the following reasons:

1. The tract is of irregular dimensions but approximately 122.5 ft. by 37.5 ft and located at the northwest corner of Encino Place NE and Los Lomas Road NE, (as shown on the Zone Atlas Map at page J 15 Z) and comprising approximately 4,593.75 sq. ft. of unimproved land. The land is burdened by a gas line easement in favor of PNM but otherwise unencumbered to the best of Applicant's knowledge. On its southern border the tract joins land being purchased by Applicant (718 Encino Place NE). On its northern border is Los Lomas Road NE. There is a City sidewalk and some landscaping but no other improvements. It can't be developed without adjacent being included.
2. Applicant is informed by the City Property Department that the tract is an appropriate subject for this vacation application since it is a right-of-way not needed by the City. Los Lomas is a one way street running east to west and could not be expanded to a two way street without a very expensive acquisition of homeowner property on Los Lomas Road. Moreover, Applicant is informed that it is the intent of both the City and the Spruce Park Neighborhood Association (SPNA) to keep Los Lomas Road as a one way street at this point so commercial traffic from the Medical Arts Center located along Encino Place would not route through the residential neighborhood.
3. By vacating this tract, not needed by the City, the Applicant, as the adjacent property owner could purchase the tract and incorporate it into Applicant's plan to convert 718 Encino Place NE from professional office use (O-1) into a residential town home development use (SU-1 for PRD or similar). The value of the property would be put back on the tax role, the landscape design could be incorporated into Applicant's landscape design and the maintenance cost and obligation would be transferred from the City to the Applicant as the new owner.

SPRUCE PARK LLC

By 
Mark Harenberg, Managing Member

FILE
1004389

WARRANTY DEED

Lomas Medical Building Joint Venture, a New Mexico partnership, for consideration paid, grant(s) to
Spruce Park LLC, a New Mexico limited liability company,
whose address is/are 718 Encino NE, Albuquerque, NM
the following described real estate in Bernalillo County, New Mexico:

Lots numbered Thirty-one (31), Thirty-two (32) and Thirty-three (33) in Block numbered Twelve (12) of the COUNTRY CLUB ADDITION to the City of Albuquerque, New Mexico, as the same are shown on the Revised Plat of the Extension of said Block 12 of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, March 26, 1941, in Plat Book A, page 135.

SUBJECT TO all patent and mineral reservations, restrictive covenants, restrictions and reservations of easements and rights-of-way of record, and all applicable zoning regulations, restrictions and requirements and all other matters of record and to taxes for the year 2005 and subsequent years;
with warranty covenants.

Witness my/our hands this date: December 22, 2005

Lomas Medical Building Joint Venture, a New Mexico partnership

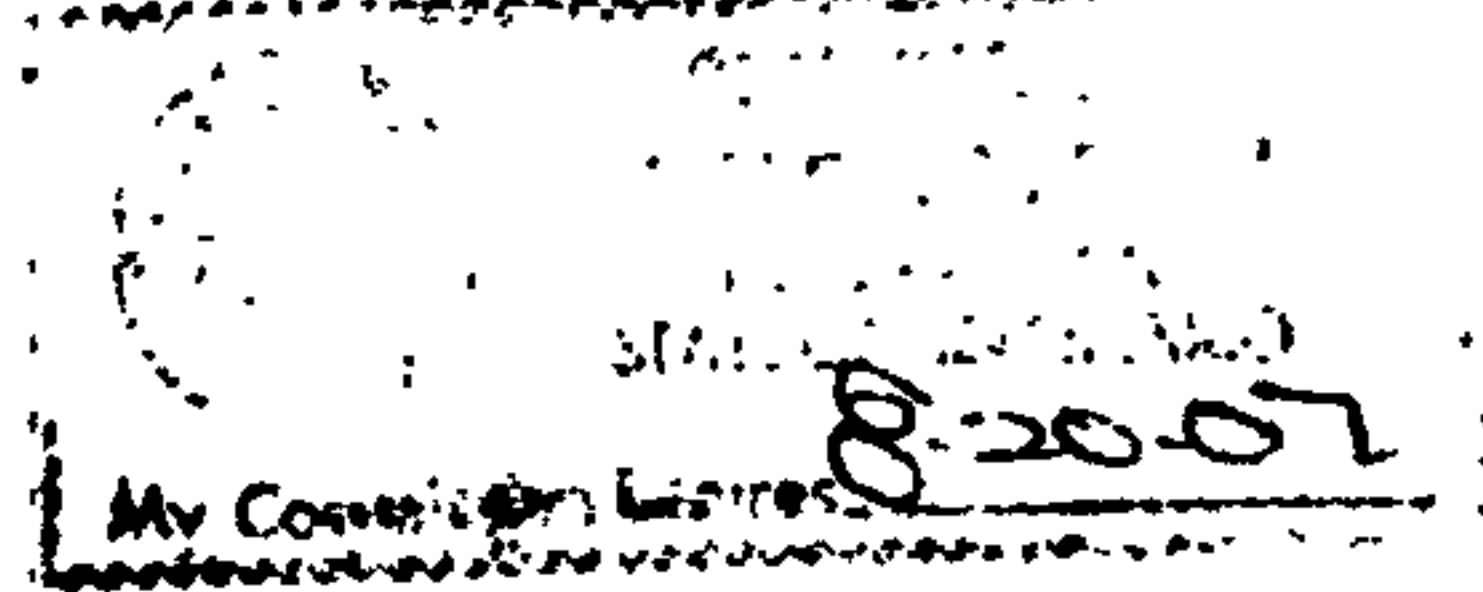
Charles Wilkinson, Trustee, Co-Managing Partner
Charles Wilkinson, Trustee, Co-Managing Partner

V. Taylor Floyd, Co-Managing Partner
V. Taylor Floyd, Co-Managing Partner

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on December 22, 2005, by Charlie Wilkinson, Trustee, Co-Managing Partner of Lomas Medical Building Joint Venture.



Subramanian
Notary Public
My Commission Expires: _____

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on December 22, 2005, by V. Taylor Floyd, Co-Managing Partner of Lomas Medical Building Joint Venture.

Sharon Gonzalez
Notary Public
My Commission Expires: 1-21-2008



2005180237
6304291
Page: 1 of 1
12/27/2005 03:38P
Bk-A100 Pg-7725

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME Spruce Park LLC
 AGENT Mark Hasenberg
 ADDRESS _____
 PROJECT & APP # 1004387
 PROJECT NAME Country Club Addition

- \$ _____ 441032/3424000 Conflict Management Fee
- \$ 220.00 441006/4983000 DRB Actions depositional fee
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ _____ 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 220.00 TOTAL AMOUNT DUE

95-145/1070 1005 with you to avoid an

SPRUCE PARK LLC
P.O. BOX 20953
ALBUQUERQUE, NM 87154

DATE 11/8/05

Pay to the order of city of Albuquerque \$ 110.00

One hundred ten dollars & 00/100

FIRST STATE

95-145/1070 1006 ***DUPLICATE***

SPRUCE PARK LLC
P.O. BOX 20953
ALBUQUERQUE, NM 87154

DATE 11/8/05

Pay to the order of City of Albuquerque \$ 110.00

One hundred ten dollars & 00/100

FIRST STATE BANK
www.fsbnm.com

11/8/2005 3:47PM
RECEIPT# 00074321 CASH-008 LOC: ANNX TRANSH 0035
Account 441006 Fund 0110
Activity 4983000 TRSCCS
Trans. Amt \$220.00
124 Misc \$220.00

CK \$110.00
CK \$110.00

1070014521 1006 002464314

1/18/05

TO: DRB

SUBJECT: DEFERRAL OF PROJECT
1004387

I WISH TO DEFER THE ABOVE PROJECT
TO 12.14.05 TO CONTINUE DISCUSSION
WITH NEIGHBORHOOD ASSN.

SPRUCE PARIL LLC
Wm J. Beaulieu, AGENT
(505) 892-8396

fees
paid to date
C.S.

William and Sharon Gross
1401 Las Lomas Rd., NE
Albuquerque, NM 87106-41529
September 9, 2005

Development Review Board
Plaza del Sol
600 Second Street NW
Albuquerque, NM 87102

Attn: Claire Senova

Re: Project # 1004387 – Vacation of City Right of Way in Country Club Addition, Zone Atlas page J-15-Z

Dear Development Review Board:

We ask you to defer consideration of vacation of Las Lomas Rd. NE between Cedar and Encino Place until you can consider the application in the context of the proposed zone change to SU-1 for PRD or R-3 or similar as the Applicant says it intends. The Applicant does not provide sufficient information to assess whether the vacation would detrimentally affect this neighborhood.

We live on Las Lomas Rd. NE two blocks East of the proposed vacation. We have lived here since 1978, long enough to remember what Las Lomas Rd. was like before the City closed it to two way traffic in the area proposed to be vacated. Before the City made Las Lomas between Cedar and Encino Place one way for vehicular traffic, we had very heavy cruising on Las Lomas in the evenings and a lot of day time traffic as well. The noise from the many cars and the steady stream of vehicles were really detrimental to the character of the neighborhood.

For those of you unfamiliar with this neighborhood, let me say that it is a very special and unique place. It is a historic neighborhood. Many of the homes in the neighborhood were built in the 1920's and '30's, as was ours. Each home here has delightful design features; many, like ours, which is on the State Historic Register, reflect the Mediterranean style. Arching elm trees planted as part of depression relief under Mayor Clyde Tingley shade Las Lomas Rd. and other streets in the neighborhood. One frequently sees people of various ages walking, running and cycling through the neighborhood. Commonly neighbors greet each other as they pass by. We want to preserve this neighborhood's special architectural and landscape features and its neighborly environment.

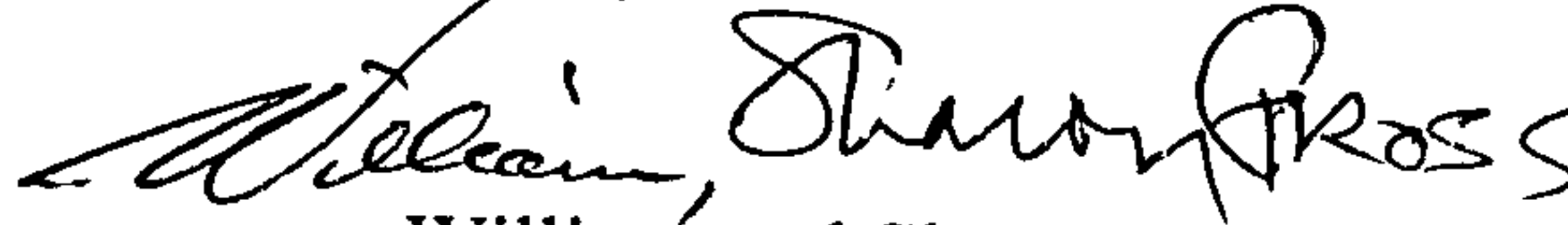
The Application does not provide any information to show that the character of the neighborhood will be preserved. The Application contains hints of a possible

development that might substantially affect the neighborhood, as follows: 1) it proposes SU-1 for PRD or similar or R-3 for the tract, 2) it includes a copy of Zone Atlas Page J-15-Z with one-half of the East side of Encino Place marked with cross hatching (thus suggesting that that a substantial area is proposed to be developed) and 3) paragraph 1 of the Applicant's letter seems to state that 718 Encino Pl NE "can't be developed without the adjacent [i.e. the vacated tract] being included". We are very concerned about traffic, noise and uses that are inconsistent with the existing neighborhood and with preserving its historic features.

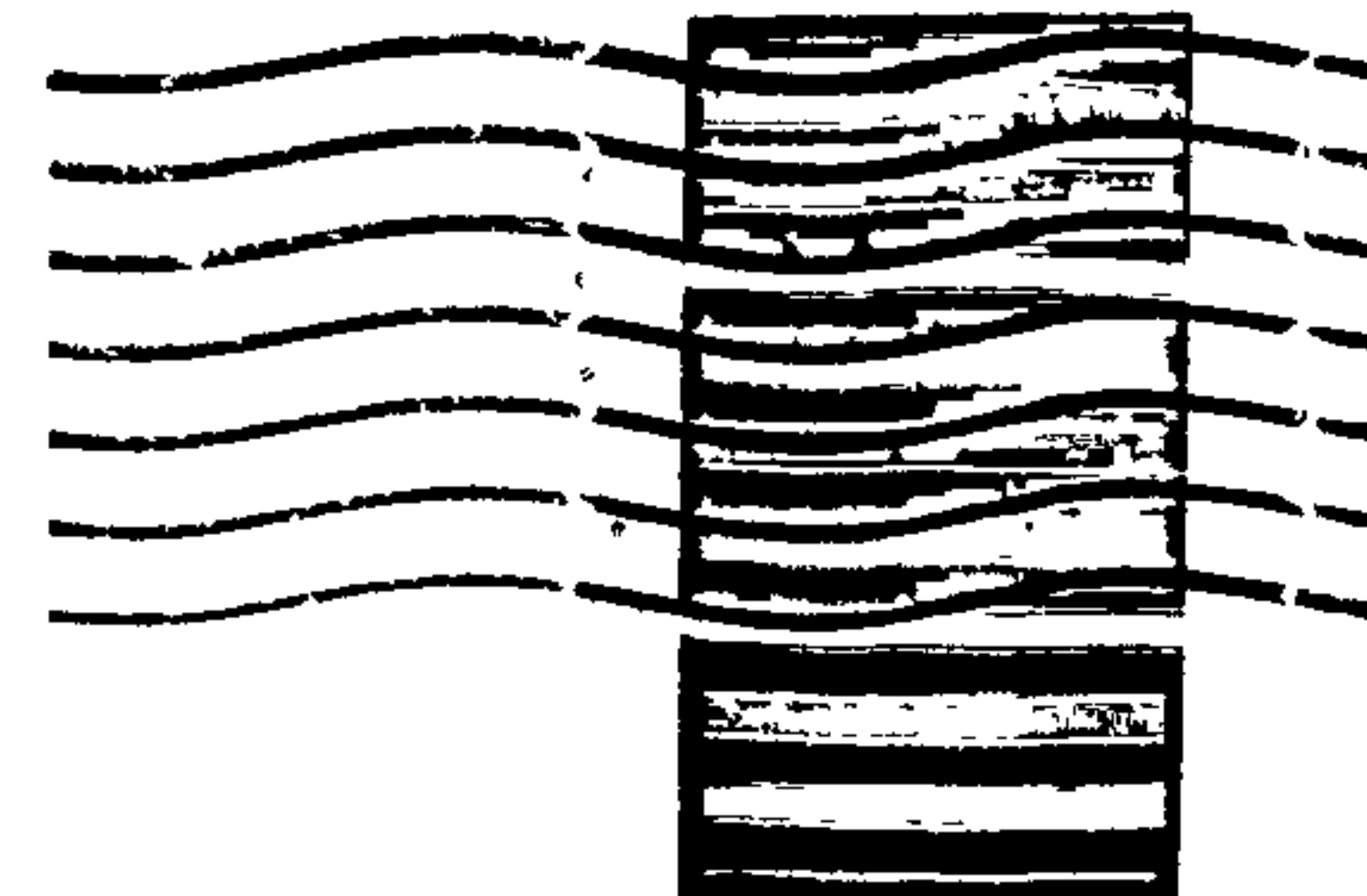
We ask you to defer this matter and consider vacation in its proper context when you consider a zone change, but if you are unable to defer vacation for that long, to deny the Application since the Applicant has not provided sufficient information and opportunity for neighborhood review and has not shown that the proposed development is not detrimental to our neighborhood.

Unfortunately, we are unable to attend the September hearing and thus ask you to consider this letter as our presentation to the hearing.

Sincerely,


William and Sharon Gross

WILLIAM & SHARON GROSS
1401 LAS LOMAS RD., NE
ALBUQUERQUE, NEW MEXICO 87106-4525



RIO GRANDE USA 37
2006

D R D

Development Review Board
Plaza del Sol
600 Second St NW
Albuquerque NM

8710242265

87102
|||||

SPRUCE PARK LLC
1536 Archuleta Drive NE
Albuquerque, NM 87112
(505) 293-8841

September 13, 2005

Ms Shcran Matson, Chairperson
Development Review Board (DRB)
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

#4

Re: Application to Vacate City Right-of-Way
DRB No. 1004387 →

Dear Ms Matson:

Spruce Park LLC (SPLLC) is the purchaser of a tract of land in Albuquerque with address of 718 Encino Dr. NE. It is the intent of SPLLC to develop said tract into residential townhouses. Application for this purpose is now being prepared for submittal to the appropriate City Departments and to all other persons, agencies or organizations entitled to notice.

In the meantime SPLLC has filed the above referenced Application to Vacate City Right-of-Way on a tract located immediately north of the tract being purchased by SPLLC. The Application is currently set for review at the DRB's monthly meeting on Wednesday, September, 14, 2005 at 9:00 am.

The Spruce Park Neighborhood Association (SPNA) is the recognized neighborhood association affected by this application. SPNA has been timely notified of the application. SPNA has requested additional information from SPLLC in order to determine the response, if any, by the association to the application of SPLCC and SPLLC has agreed to provide that information. The information cannot be provided and reviewed until after the hearing date current hearing date.

Accordingly, SPLLC hereby requests that this matter be set over until the October hearing to enable the applicant, SPLLC, to provide the requested information to SPNA and to allow a reasonable time for review of that information. If this request needs to be made in any other form please advise the undersigned at 228-8968. Otherwise SPLLC will assume that the hearing on the application has been set over until the October meeting. Thank you for your help in this request.

5

OCT 5th DATE ACCEPTABLE TO
APPLICANT'S AGENT
w/ [signature]
SPLLC 9.22.05

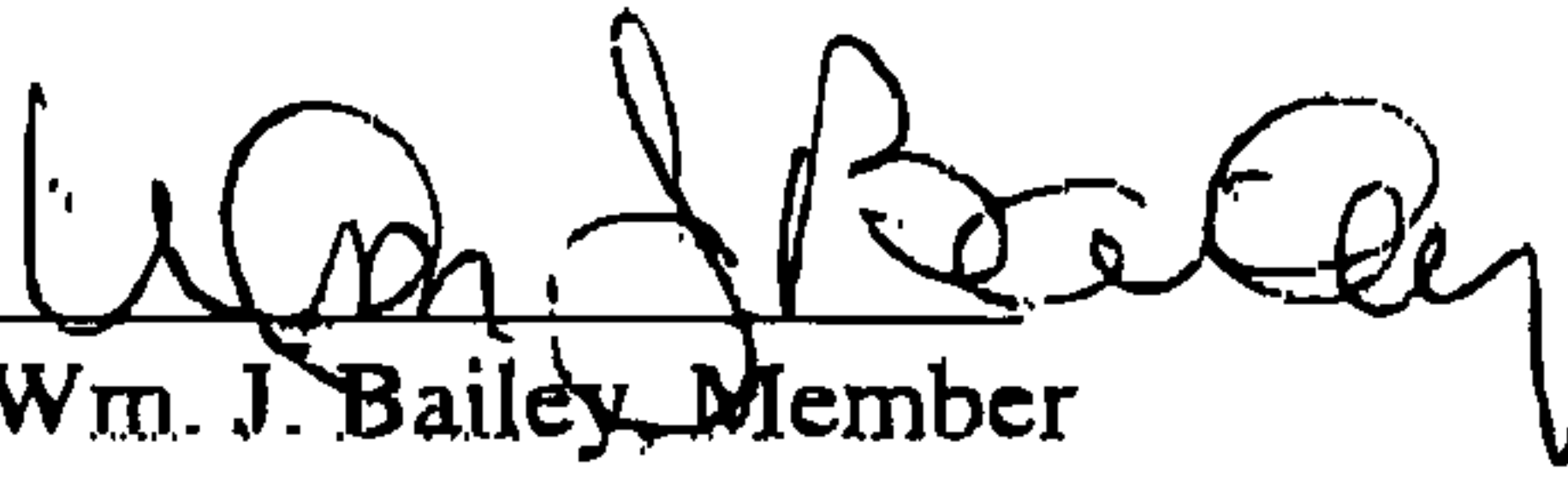
Updated letter to follow

Notified
Agent who agreed

Board
referred to
10-5-05

Sincerely

SPUCE PARK LLC

By 
Wm. J. Bailey, Member

Cc: Mr. Luis Robles
Spruce Park Neighborhood Assn.
1211 Roma Ave. NZE
Albuquerque, NM 87106
(505) 764-8519

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME MARK HARENBERG HOMES
AGENT _____
ADDRESS P.O. Box 20953
PROJECT & APP # 100438T
PROJECT NAME COUNTRY CLUB ADDITION

\$ _____ 441032/3424000 Conflict Management Fee
\$ 110.00 441006/4983000 DRB Actions DEFERRAL
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

1st fee

\$ 110.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

95-145/1070 1319

MARK HARENBERG HOMES INC.
P.O. BOX 20953 505-263-7506
ALBUQUERQUE, NM 87154

DATE 9/22/05

PAY TO THE ORDER OF City of Albuquerque \$ 110.00

One hundred ten dollars & 00/100 DOLLARS

1ST FIRST STATE BANK
www.fsbnm.com

MEMO 718 Ene no vacacion Haring

1070014521 1319 001896857

CK CHANGE \$110.00 \$0.00



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: SPRUCE PARK LLC Cell 505-263-7506
 ADDRESS: P.O. BOX 20953 PHONE: (505) 293-8841
 CITY: ALBUQUERQUE STATE NM ZIP 87154 FAX: (505) 299-6327
 E-MAIL: harenbergm@aol.com
 Proprietary interest in site: ADJACENT OWNER List all owners: SPRUCE PARK LLC Cell 505-263-7506
 AGENT (if any): MARK HARENBERG PHONE: (505) 293-8841
 ADDRESS: P.O. BOX 20953 FAX: (505) 299-6327
 CITY: ALBUQUERQUE STATE NM ZIP 87154 E-MAIL: harenbergm@aol.com

DESCRIPTION OF REQUEST: VACATION OF AN ADJACENT TRACT OF LAND OWNED BY THE CITY OF ALBUQUERQUE FOR RIGHT-OF-WAY

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. SMALL TRACT NE OF LOT 35 Block: 12 Unit: _____
 Subdiv. / Addn. COUNTRY CLUB ADDITION
 Current Zoning: CITY RIGHT-OF-WAY Proposed zoning: SU-1 FOR PRD OR R-3
 Zone Atlas page(s): J-15-Z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 0.1054 (EST) (4,593.75 SQ FT) Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. _____ MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: NORTHEAST CORNER OF ENCINO PLACE NE AND LOS LOMAS NE
 Between: ENCINO PL NE and LOS LOMAS ROAD NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): NONE TO APPLICANTS KNOWLEDGE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8/16/05
 (Print) MARK HARENBERG Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - 01332</u>	<u>JRW</u>	<u>V</u>	<u>\$ 300.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV.</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	<u>\$ _____</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ _____</u>
				Total
				<u>\$ 395.00</u>

Hearing date 9/14/05

KLS25

8/19/05
Planner signature / date

Project # 1004387

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- N/A* The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)

N/A Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SPRUCE PARK, LLC
Applicant name (print)
[Signature] 8/16/05 AGENT
Applicant signature / date



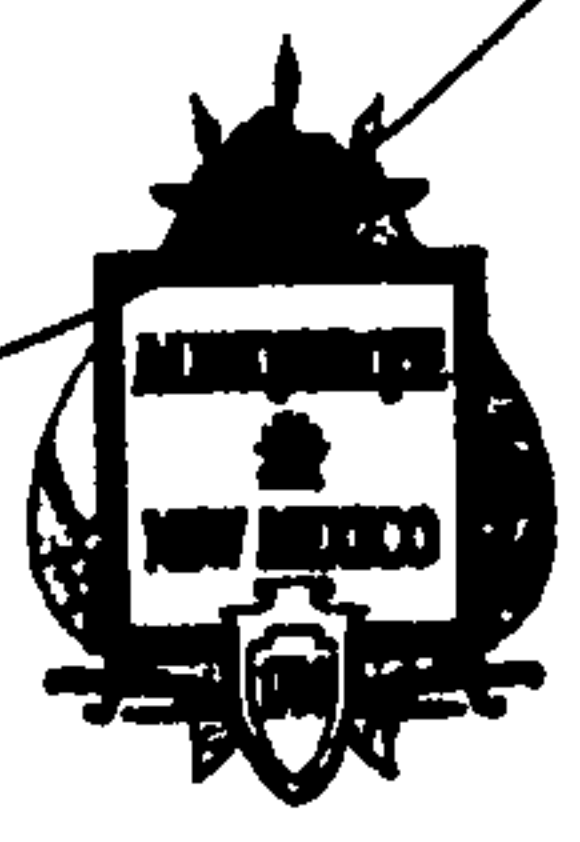
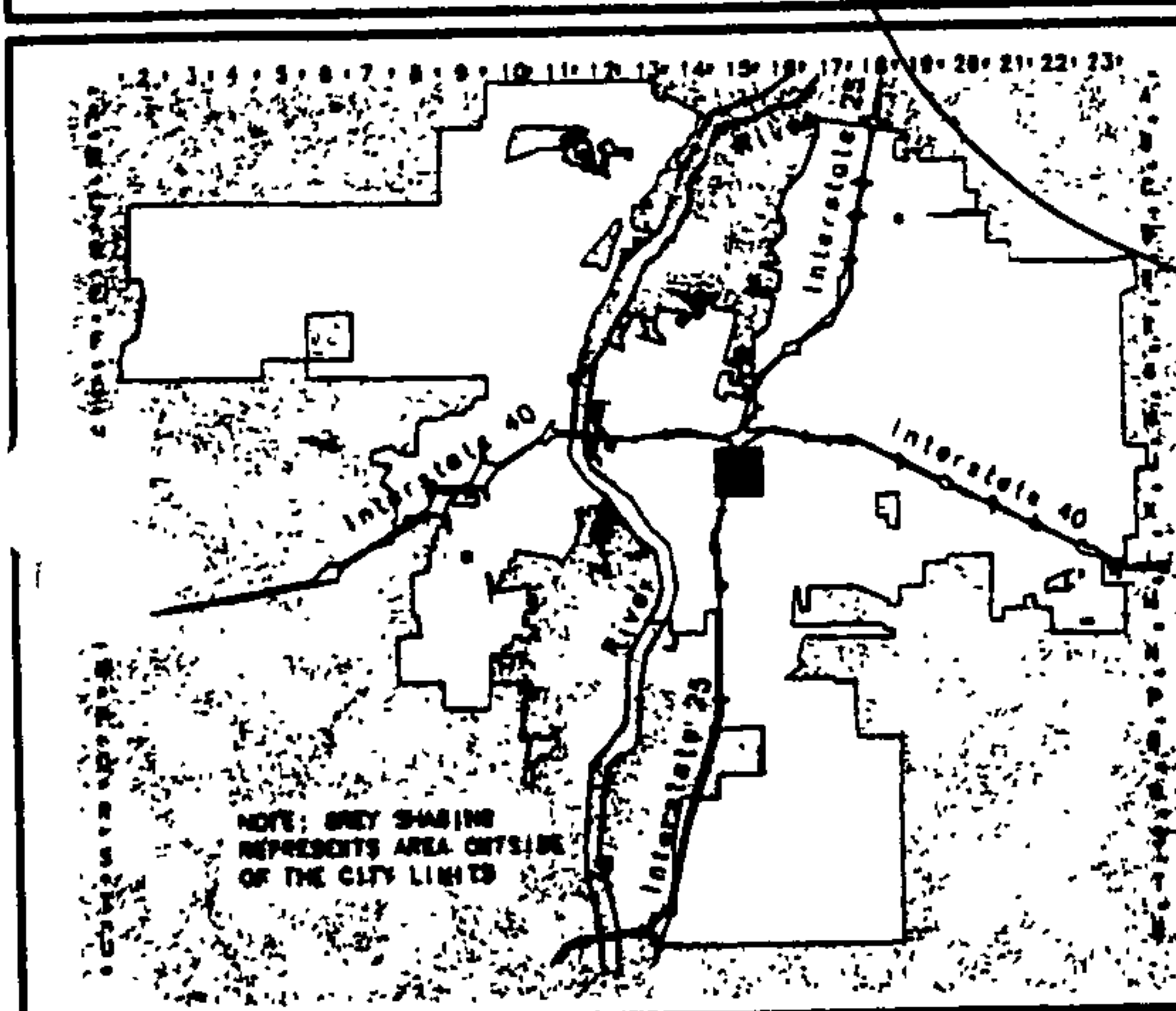
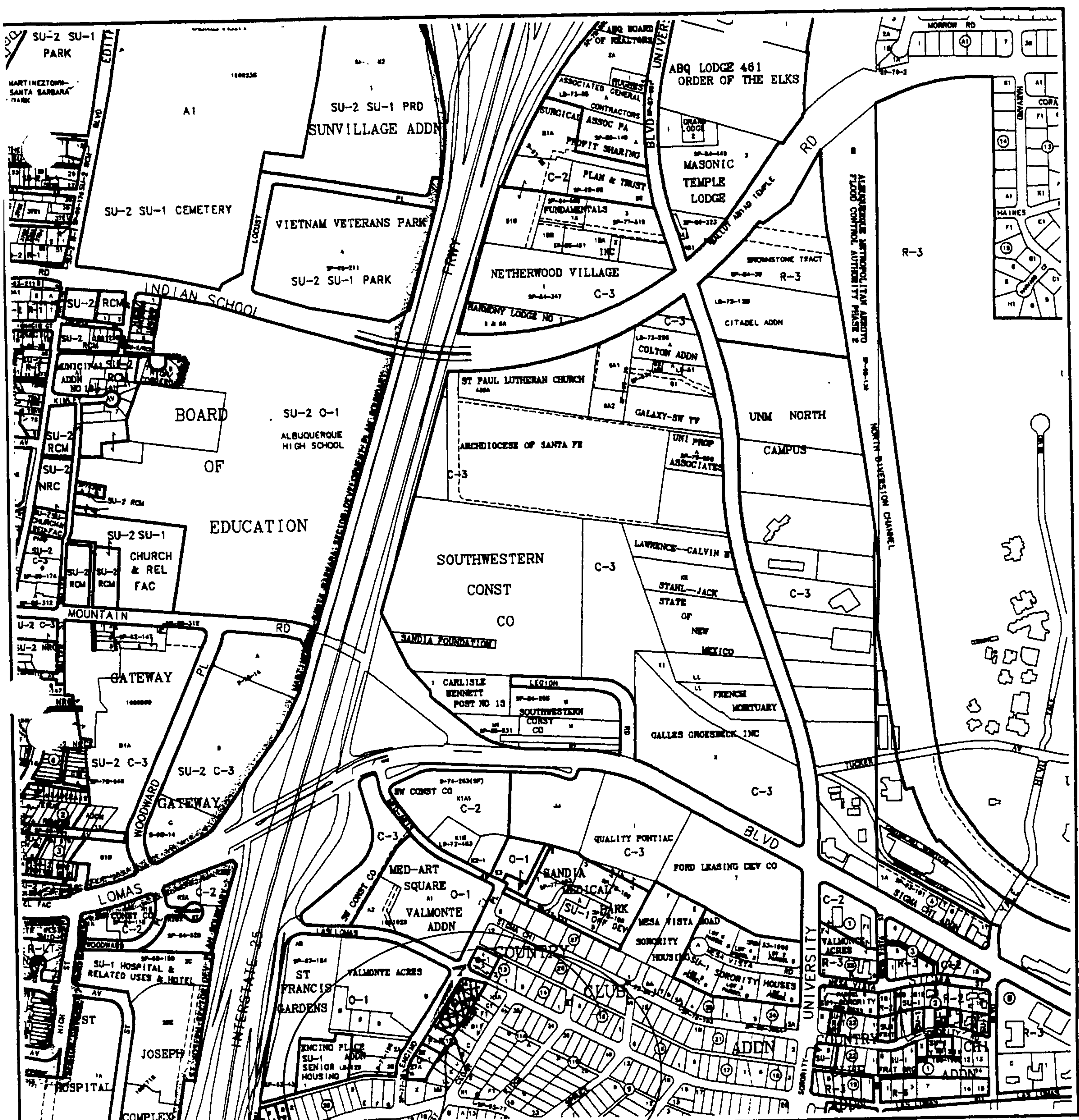
Form revised 4/03, 10/03 and JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

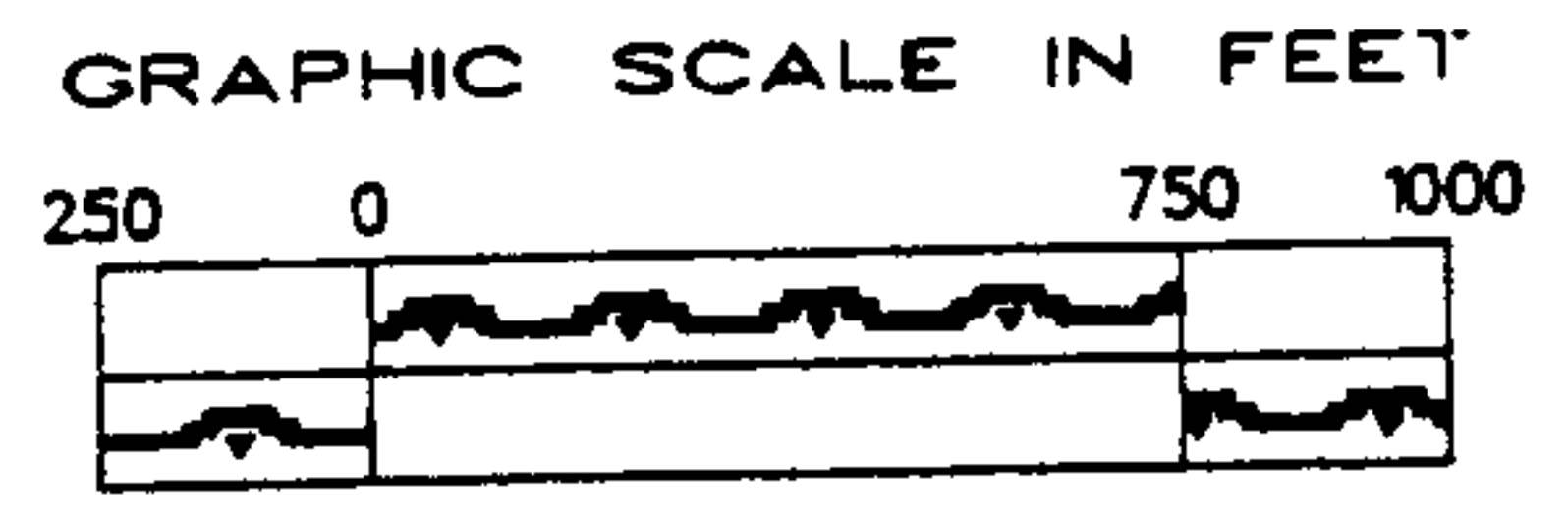
Application case numbers
- - 01332
- -
- -

[Signature]
Planner signature / date

Project # 1004387



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
J-15-Z
Map Amended through January 21, 2003

NOTE: GREY SHADING REPRESENTS AREA OUTSIDE OF THE CITY LIMITS

APPLICATION TO VACATE

TO: City of Albuquerque
Development Review Borad

FROM: Spruce Park LLC, a New Mexico limited liability company
Mark Harenberg, Managing Member

SUBJECT: Application to Vacate City right-of-way
Northeast corner of Encino Place NE & Los Lomas Road NE
(See Application & attachments for location)

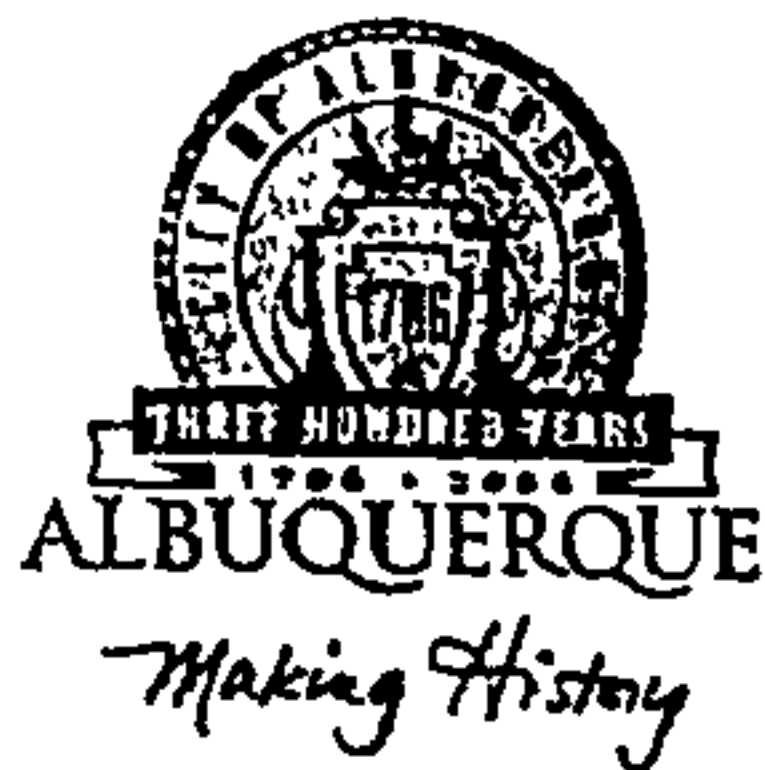
DATE: August 17, 2005

The Applicant, Spruce Park LLC (SPLLC) hereby requests that the City of Albuquerque vacate certain City Owned right-of-way, as described and shown in the application, for the following reasons:

1. The tract is of irregular dimensions but approximately 122.5 ft. by 37.5 ft and located at the northwest corner of Encino Place NE and Los Lomas Road NE, (as shown on the Zone Atlas Map at page J 15 Z) and comprising approximately 4,593.75 sq. ft. of unimproved land. The land is burdened by a gas line easement in favor of PNM but otherwise unencumbered to the best of Applicant's knowledge. On its southern border the tract joins land being purchased by Applicant (718 Encino Place NE). On its northern border is Los Lomas Road NE. There is a City sidewalk and some landscaping but no other improvements. It can't be developed without adjacent being included.
2. Applicant is informed by the City Property Department that the tract is an appropriate subject for this vacation application since it is a right-of-way not needed by the City. Los Lomas is a one way street running east to west and could not be expanded to a two way street without a very expensive acquisition of homeowner property on Los Lomas Road. Moreover, Applicant is informed that it is the intent of both the City and the Spruce Park Neighborhood Association (SPNA) to keep Los Lomas Road as a one way street at this point so commercial traffic from the Medical Arts Center located along Encino Place would not route through the residential neighborhood.
3. By vacating this tract, not needed by the City, the Applicant, as the adjacent property owner could purchase the tract and incorporate it into Applicant's plan to convert 718 Encino Place NE from professional office use (O-1) into a residential town home development use (SU-1 for PRD or similar). The value of the property would be put back on the tax role, the landscape design could be incorporated into Applicant's landscape design and the maintenance cost and obligation would be transferred from the City to the Applicant as the new owner.

SPRUCE PARK LLC

By 
Mark Harenberg, Managing Member



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – (505) 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914. Your request is for the following: Cell Tower []; Private Development []; City Project []; -OR- Other []

CONTACT NAME: WM J. BAILEY or MAIL HARENBERG

COMPANY NAME: SPRUCE PARK LLC

ADDRESS/ZIP: PO BOX 20953

PHONE: (505) 293-8841 FAX: (505) 299-6327

ZONE ATLAS map @ PAGE J-15-Z

NEIGHBORHOOD ASSOCIATION INFORMATION

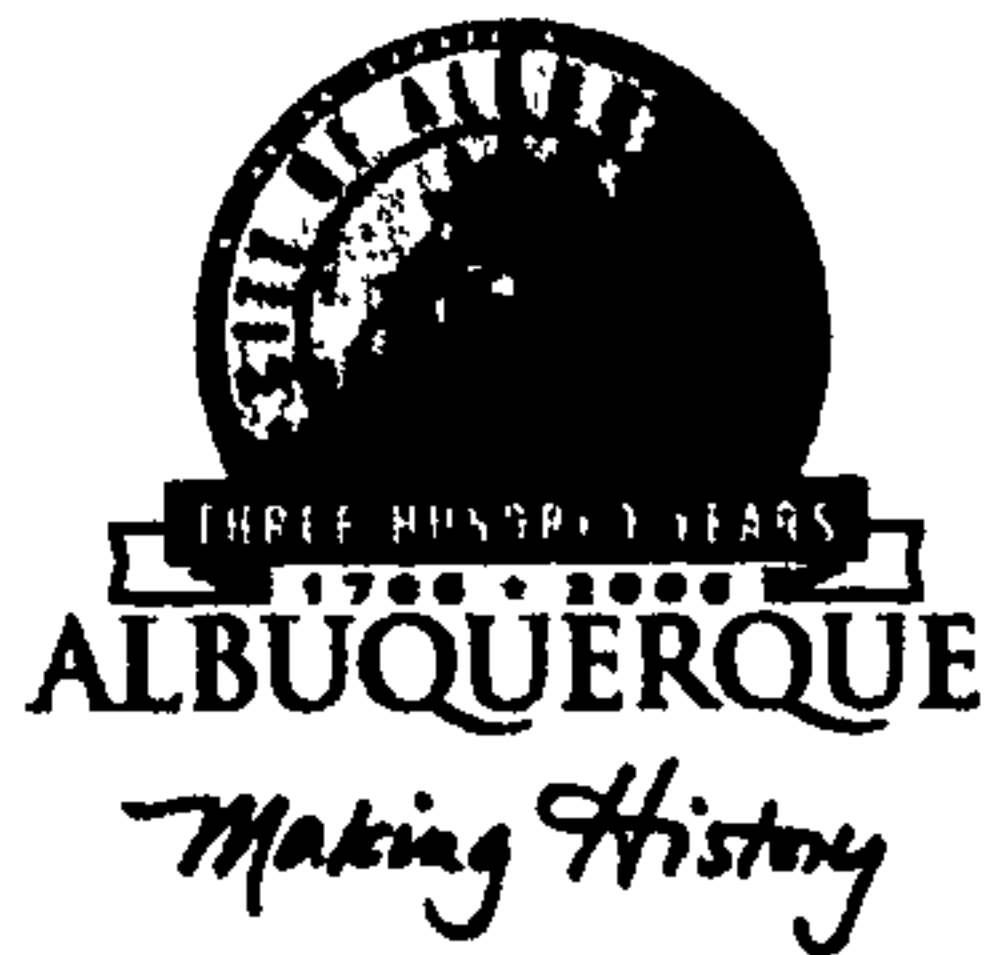
PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS: SOUTH LINE OF LOS LOMAS ROAD (SEE ATTACH!)
~~NORTHWEST CORNER OF~~ NORTH PROPERTY LINE OF LOT 35 BLOCK 12 COUNTRY CLUB ADDITION TO
LEGAL DESCRIPTION

LOCATED ON ENCINO PLACE NE AND LOS LOMAS ROAD NE
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN SEE BELOW AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

IMMEDIATELY NORTH OF 718 ENCINO PLACE NE
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (____).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: 8/17/05

TO CONTACT NAME: WM J. Bailey or Mark Harenberg
COMPANY/AGENCY: Spruce Park LLC
ADDRESS/ZIP: PO BOX 20953 / 87154
PHONE/FAX #: 293-8841 / 299-6327

Thank you for your inquiry of August 17, 2005 requesting the names of **Recognized**
(date)

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at South line of Los Lomas Road, North property line of lot 35, Block 12, Country Club Addition, located on Encino Pl NE of Los Lomas Road NE zone map page(s) J-15 between immediately North of 718 Encino Pl NE

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Spruce Park

Neighborhood Association

Contacts: Rhonda Reynolds
1510 Roma Ave NE / 87106
242-7931 (h)

Luis Robles
1211 Roma Ave. NE / 87106
764-8519 (h)

Neighborhood Association

Contacts: _____

See reverse side for additional Neighborhood Association Information: YES { } NO {}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

OFFICE OF NEIGHBORHOOD COORDINATION

.....
Attention: Both contacts per neighborhood association need to be notified.
.....

**SPRUCE PARK, LLC
1536 Archuleta Drive NE
Albuquerque, NM 87112
(505) 263-7506**

August 18, 2005

CERTIFIED MAIL, RETURN RECEIPT REQUESTED

**Ms. Rhonda Reynolds, SPNA
1510 Roma Avenue NE
Albuquerque, NM 87106**

**Mr. Luis Robles, SPNA
1211 Roma Avenue NE
Albuquerque, NM 87106**

Dear Ms Reynolds and Mr. Robles:

From our previous contacts you know that Spruce Park, LLC (SPLLC) is purchasing the tract known as 718 Encino Place NE and will be submitting a plan to the City to build high end residential town homes on the site. As soon as our proposed Site Plan and Floor Plans are ready I will send them to Mr. Robles for SPNA to review and respond. I hope to have that package to you by the end of next week.

In the meantime SPLLC has filed an application with the City Development Review Board to have the City tract between our north boundary and Los Lomas Road vacated. It is owned by the City as right-of-way but there are no plans to use the tract for any City purpose. Los Lomas Road is now a one-way street running east to west and the City intends that it will remain one-way in order to prevent the commercial traffic in the Medical Arts area from exiting through the residential neighborhood to the east. SPLLC feels that it is in the interests of all to allow this tract to be vacated so that it can be incorporated into our development. Some of the reasons for this belief are set out in our letter to the DRB, a copy of which is attached. I am also attaching copies of the ONC Contact Sheet, the Developer Inquiry Sheet, Zone Atlas Map Page J-15-Z, and a copy of a survey showing the subject tract which SPLLC seeks to vacate.

You will be notified by the City of the date, time and place for the hearing on the application. In the meantime, if you have questions or would like additional information from SPLLC, please contact me or Mark Harenberg, our Managing Member, at the address or telephone number shown above. Thank you.

Sincerely,



**Wm. J. Barley
Member SPLLC
(505) 892-8396**

7005 0390 0006 3699 9000 0690 5002

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

ALBUQUERQUE, NM 87106		UNIT ID: 0110 Postmark Here Clerk: KS4C02 08/18/05
Postage	\$ 0.60	
Certified Fee		
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.90	

Sent To MR LUIS ROBLES, SPNA
 Street, Apt. No., or PO Box No. 1211 ROMA AVE NE
 City, State, ZIP+4 ALBUQUERQUE, NM 87106

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0006 3699 9000 0690 5002

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

ALBUQUERQUE, NM 87106		UNIT ID: 0110 Postmark Here Clerk: KS4C02 08/18/05
Postage	\$ 0.60	
Certified Fee		
Return Receipt Fee (Endorsement Required)	2.30	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.90	

Sent To MS RHONDA REYNOLDS, SPNA
 Street, Apt. No., or PO Box No. 1510 ROMA AVE. NE
 City, State, ZIP+4 ALBUQUERQUE, NM 87106

PS Form 3800, June 2002 See Reverse for Instructions

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME SPRUCE PARK LLC
 AGENT MARK HARENBERG
 ADDRESS P.O. Box 20953
 PROJECT & APP # 1004387 / 01332
 PROJECT NAME COUNTRY Club Addition

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ 300.⁰⁰ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.⁰⁰ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study

\$ 395.⁰⁰ TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

*****DUPLICATE*****
 City Of Albuquerque
 Treasury Division

*****DUPLICATE*****
 City Of Albuquerque
 Treasury Division

8/19/2005 10:16AM LOC: ANNX
 RECEIPT# 00045442 WSH 006 TRANSH 0015
 Counterreceipt.doc 6/21/04
 Account 441006 Fund 0110
 Activity 4983000 TRSCXG
 Trans Amt \$395.00
 J24 Misc

8/19/2005 10:16AM LOC: ANNX
 RECEIPT# 00045443 WSH 006 TRANSH 0015
 Account 441018 Fund 0110
 Activity 4971000 TRSCXG
 Trans Amt \$395.00
 J24 Misc

\$300.00
 Thank You

VI \$395.00
 CHANGE \$0.00

DUPLICATE
City Of Albuquerque
Treasury Division

8/19/2005: 10:16AM LOC: ANN
RECEIPT# 00045441 WSH 006 TRANSH 0015
Account 441032 Fund 0110
Activity 3424000 TRSCXG
Trans Amt \$395.00
J24 Misc

\$20.00
Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 8-30-05 To 9-14-05

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

W. J. Bowen AGENT 8.19.05
(Applicant or Agent) (Date)

I issued 2 signs for this application, 8/19/05, [Signature]
(Date) (Staff Member)

DRB PROJECT NUMBER: 100 4387

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

**LOTS 29-35, BLOCK 12
COUNTRY CLUB ADDITION
SECTION 16, T. 10 N., R. 3 E., N.M.R.M.
ALBUQUERQUE, NEW MEXICO
DECEMBER, 1999**

SUBJECT TRACT FOR VACATIONS

EXHIBIT B

Date ~~9/14/05~~
9/14/05

Legal Description
Lots 29, 30, 31, 32, 33, 34 and 35 of Block 12 of the COUNTRY CLUB ADDITION to the City of Albuquerque, New Mexico, as the same are shown on the Revised Plat of the Extension of said Block 12 of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, March 28, 1941.

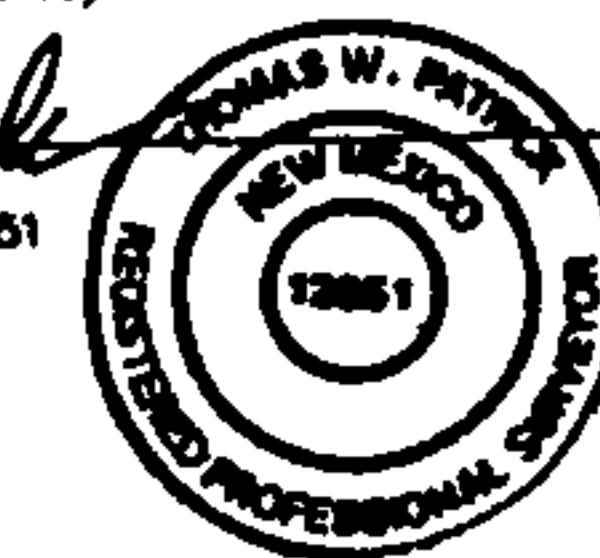
Notes:

1. Bearings based upon plat of COUNTRY CLUB ADDITION as filed March 28, 1941 in Volume A, Folio 135.
2. Bearings and distances in parentheses () per plat of COUNTRY CLUB ADDITION as filed March 28, 1941 in Volume A, Folio 135.
3. Access to subject property via Encino Place, N.E. and Las Lomas Road, N.E., publicly dedicated rights-of-way.
4. Subject property is located within Zone X, designating areas determined to be outside of the 500-year flood plain according to the Flood Insurance Rate Map, Bernalillo County, New Mexico and Incorporated Areas per Map Number 35001C0334 D, dated September 20, 1996.
5. Documents used:
 - a.) said plat of Country Club Addition as filed March 28, 1941 (A-135)
 - b.) Albuquerque Title Company commitment no. 178344SD dated December 6, 1999
 - c.) Warranty Deed dated July 28, 1978 in Book D987, pages 125-130 as document no. 78521

SURVEYORS CERTIFICATE

I, Thomas W. Patrick, licensed under the laws of the State of New Mexico, do hereby certify to, ALBUQUERQUE TITLE COMPANY, COMMONWEALTH LAND TITLE INSURANCE COMPANY, LOMAS MEDICAL BUILDING JOINT VENTURE, A NEW MEXICO PARTNERSHIP and SANDIA FOUNDATION, A NEW MEXICO NON-PROFIT CORPORATION, as provided in the Title Binder No. 178344SD dated December 06, 1999. This is to certify that this map or plat and the survey on which it is based were made (i) in accordance with the Minimum Standards for Surveying in New Mexico and Minimum Standard Detail Requirements for ALTA/ACSM Land Surveys, jointly established and adopted by ALTA and ACSM in 1997, and includes Items 1, 2, 3, 4, 7(a), 7(c), 8, 9, 10, 11 and 3 of Table A thereof, and (ii) pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) for an Urban Survey.

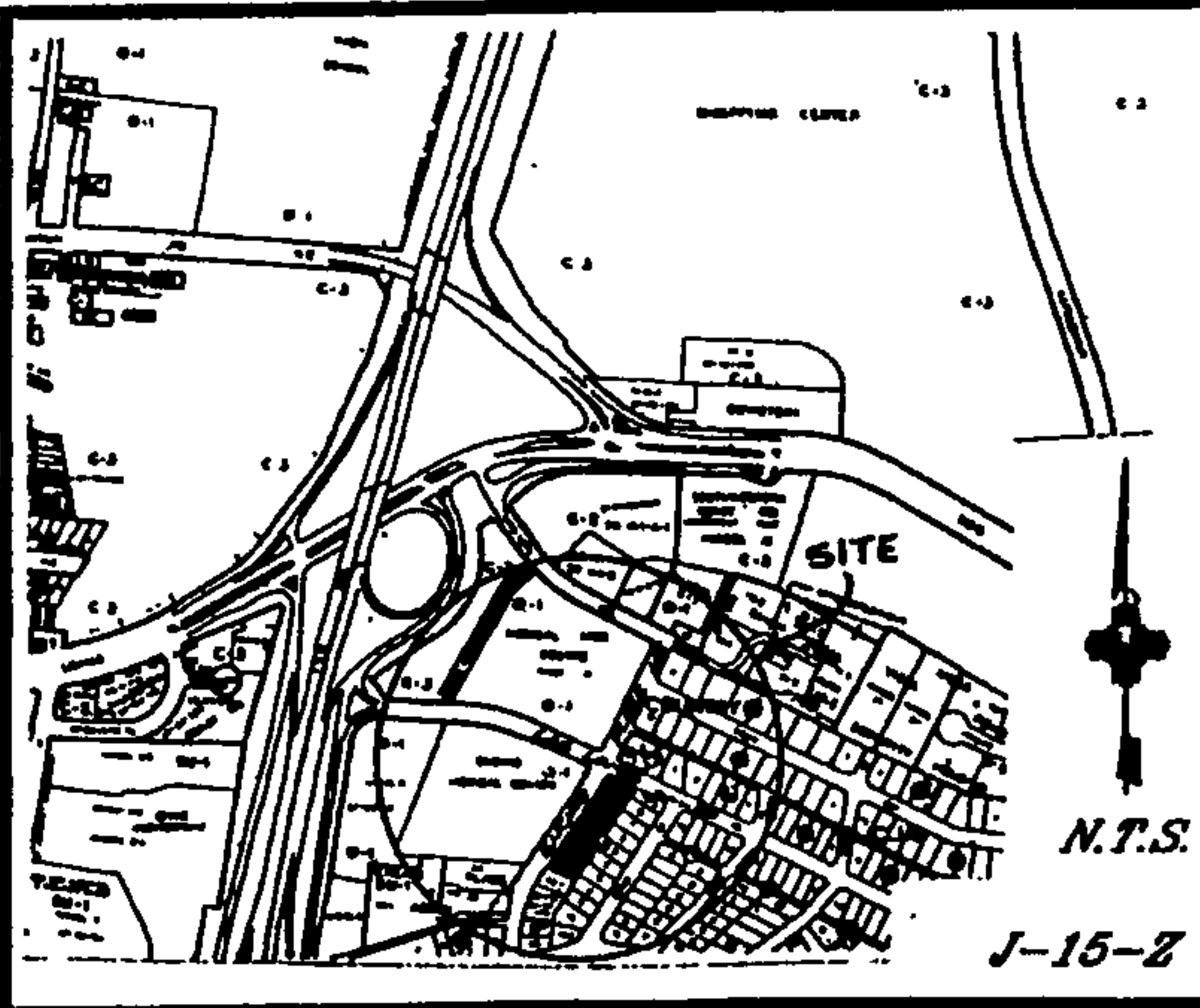
Thomas W. Patrick
Thomas W. Patrick
New Mexico Professional Surveyor No. 12651
Date 12 December 1999



SOUTHWEST SURVEYING CO., INC.

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87108
PHONE: (505) 998-0303
FAX: (505) 998-0300

T10N R3E SEC. 16



Vicinity Map

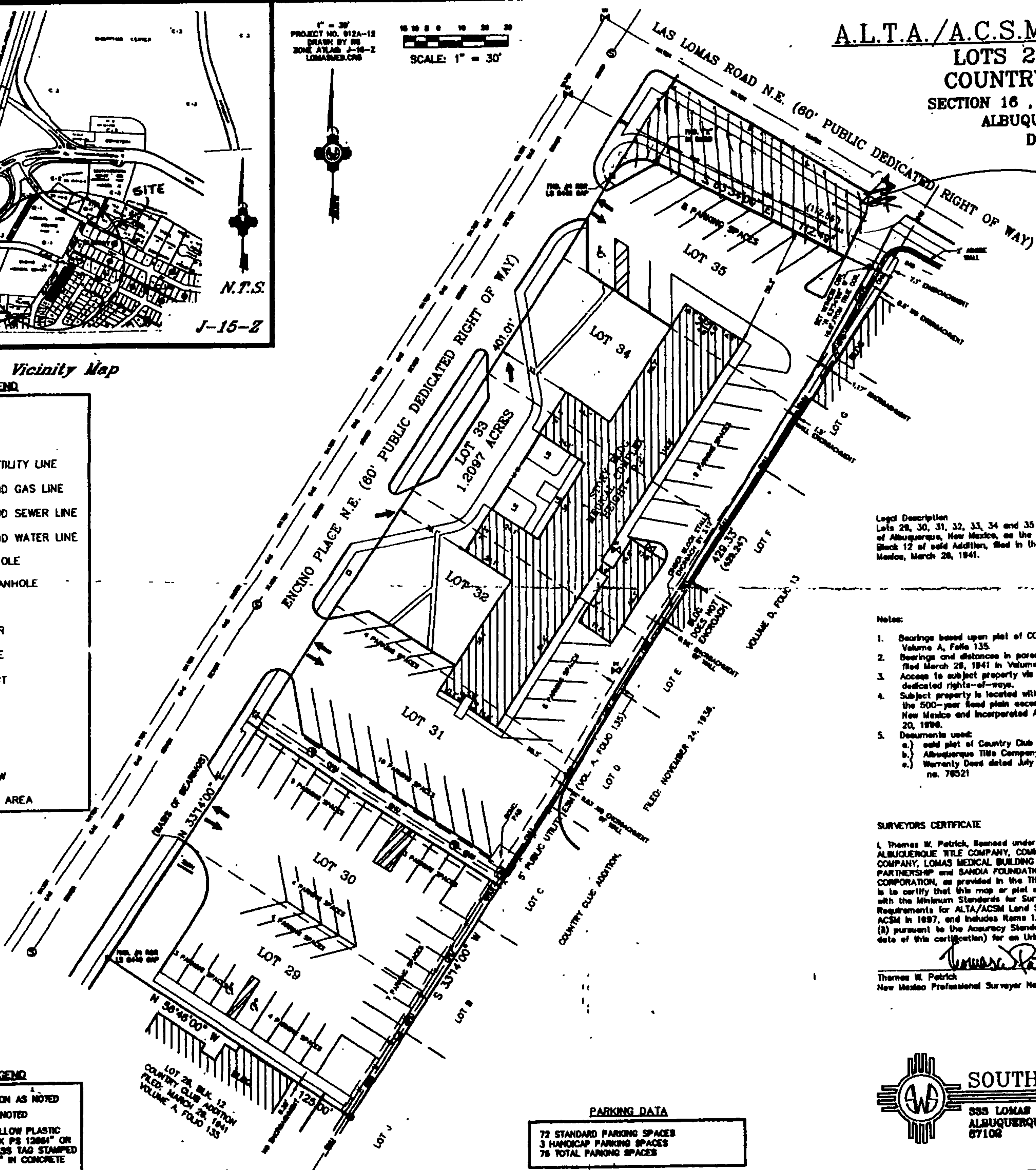
SYMBOLS LEGEND

- ☆ = LIGHT POLE
- ⊙ = POWER POLE
- OH- = OVERHEAD UTILITY LINE
- GAS- = UNDERGROUND GAS LINE
- SEWER- = UNDERGROUND SEWER LINE
- WATER- = UNDERGROUND WATER LINE
- ⊙ = SEWER MANHOLE
- ⊙ = DRAINAGE MANHOLE
- ⊗ = GAS VALVE
- ⊙ = WATER METER
- ⊗ = WATER VALVE
- ⊗ = FIRE HYDRANT
- ⊗ = GAS METER
- = BLOCK WALL
- - - = FENCE
- = TRAFFIC FLOW
- LS = LANDSCAPED AREA

MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "PATRICK PS 12651" OR SET PK NAIL WITH BRASS TAG STAMPED "PS 12651" OR SET "X" IN CONCRETE

1" = 30'
PROJECT NO. 912A-12
DRAWN BY RS
ZONE ATLAS J-15-2
LOMASMED.COM
SCALE: 1" = 30'



PARKING DATA
72 STANDARD PARKING SPACES
3 HANDICAP PARKING SPACES
75 TOTAL PARKING SPACES

\ACAD12\DWG\CURRENT\912A-12 Thu Dec 16 15:35:58 1999 EA
 17' 00" 15' 00" 10' 00" 5' 00" 0' 00"



ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME SPRUCE PARK LLC
AGENT MARK HARENBERG
ADDRESS _____
PROJECT & APP # 1004387/05DRB01332
PROJECT NAME SPRUCE COUNTRY CLUB ADDITION

\$ _____ 441032/3424000 Conflict Management Fee
\$ 110.⁰⁰ 441006/4983000 DRB Actions DEFERRAL
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 110.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

95-145/1070 1351
MARK HARENBERG HOMES INC.
P.O. BOX 20953 505-263-7506
ALBUQUERQUE, NM 87154
DATE 12/20/05
PAY TO THE ORDER OF City of Albuquerque \$ 110.⁰⁰
One hundred ten dollars & ⁰⁰/₁₀₀ DOLLARS
FIRST STATE BANK
www.fsbnm.com
MEMO Dec 21 Vacation Hearing deferral
1070014521 1351 0018968571

CHANGE
Thank You




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: April 9, 2007

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
Jeff Foss
Ray Cravey

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project # 1005473, 07DRB-00411 Minor-Site Development Plan Building Permit,
Lot 40, Alameda Business Park, Located south of Alameda NW [sic] between
Washington NW [sic] and 4th Street NW

The above-named project is within the buffer zone of a former City owned/operated landfill (Los Angeles Landfill). The Albuquerque Environmental Health Department (AEHD) has determined that this property is exempt from complying with the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones”. However, the landfill disclosure statement and AEHD signature will be required on the Site Plan and cover sheets to development plans (building permit, DRC, etc.).




INTEREA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: April 9, 2007

TO: Sheran Matson, Chairperson, Design Review Board, Planning Department

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
Faizel Kassam, Developer

FROM: Jim Joseph P.E., INTERA Inc. 

SUBJECT: Project No. 1003359, 07DRB-00408 Minor Sketch Plat or Plan, Block 26, Tract A, Lots 8-10 & 23-25, North Albuquerque Acres, Unit B, Located on Eagle Rock Avenue NE, between San Pedro Drive NE and Louisiana Boulevard NE

There is the potential for above named project to be impacted by the presence of landfill gas generated by a former private landfill (Oakland Avenue Landfill). It is acknowledged that this agenda item is for a Minor-Sketch Plat or Plan; however, if development/redevelopment does occur, the developer of this site is required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones." A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.