

H-15-Z VICINITY MAP NOT TO SCALE

SITE DATA:

ZONE ATLAS INDEX NO:	H-15-Z
GROSS ACREAGE:	44.95 AC.
NO. OF EXISTING LOTS/TRACTS:	6 (ONE UNRECORDED DEED TRANSFER)
NO. OF LOTS/TRACTS CREATED:	4
LINEAR FEET OF CREATED DRIVE AISLES:	5586 L.F.
ACREAGE OF CREATED DRIVES:	3.29 AC.
GARAGE PARKING:	307 SPACES
OFF-STREET PARKING:	311 SPACES
HANDICAP PARKING:	14 SPACES
MAXIMUM BUILDING HEIGHTS:	28.75 FT.
MINIMUM BUILDING SETBACKS:	10 FT. BETWEEN BUILDINGS, GROUND FLOOR 20 FT. ADJACENT TO BROADBENT BUSINESS PARK 20 FT. ADJACENT STREET RIGHT OF WAY 10 FT. FROM ALAMEDA DETENTION FACILITY
PRIOR CURRENT ZONING:	M-1, SU-1 FOR PRIVATE SCHOOL AND INCIDENTAL FACILITIES
NEW ZONING:	SU-1 FOR PRD (E.P.C. 12/15/05)
LAND USE:	213 SINGLE-FAMILY CONDOMINIUMS, CLUBHOUSE AND POOL, PRIVATE DRIVE AISLES, OPEN SPACE COMMON AREAS
APPLICABLE PLANS:	NORTH VALLEY AREA PLAN, 1993 ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN, 2002
NEIGHBORHOOD ASSOCIATIONS:	SANTA BARBARA-MARTINEZ TOWN ASSOC. (SBM) STRONGHURST IMPROVEMENT ASSOC. (SIA)

PROJECT NUMBER: 1004474
 APPLICATION NUMBER: 06-EPD-1568-1569 06-DRB-COZ14 045

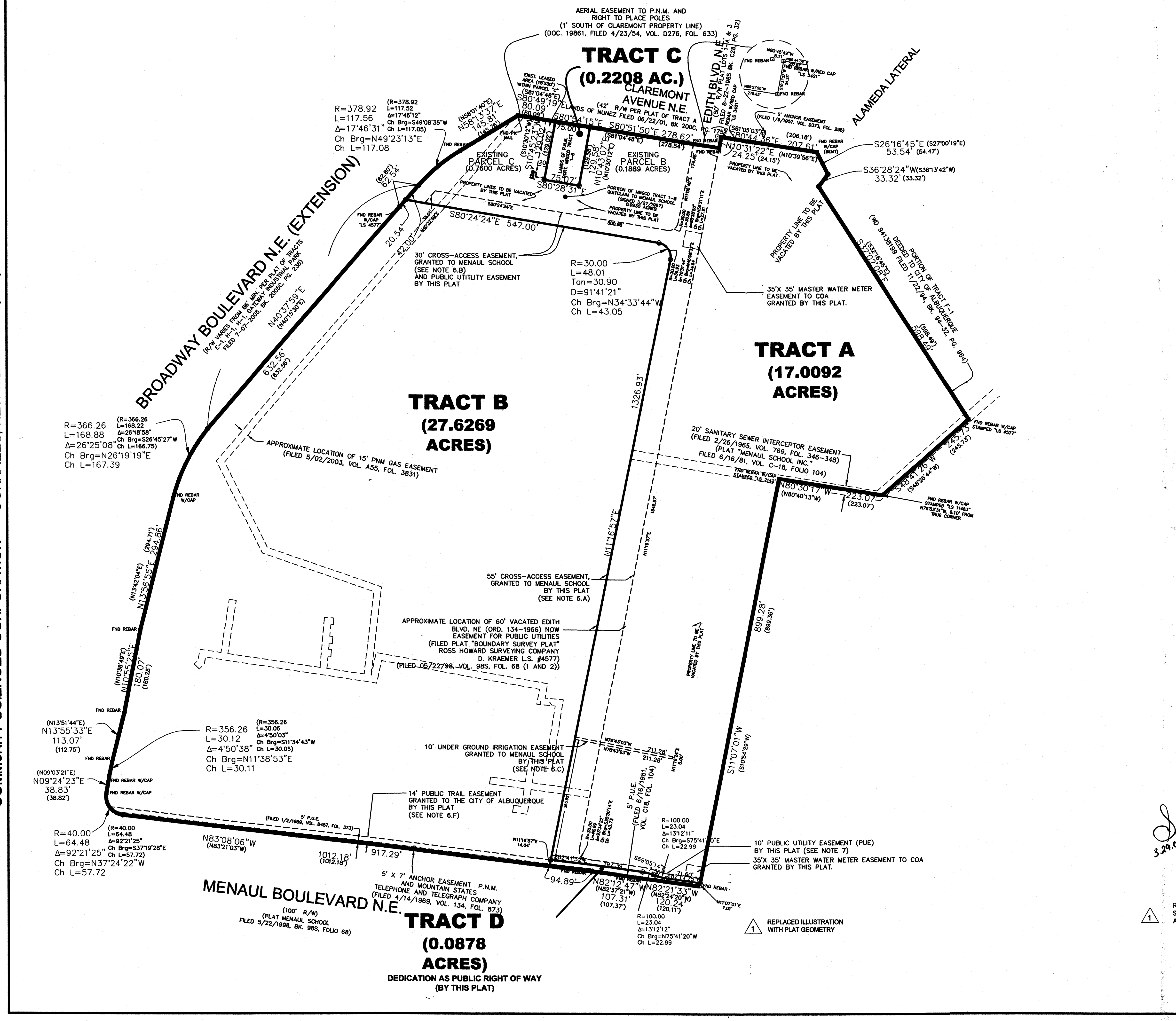
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 15, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () Yes (X) No. If yes, than a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

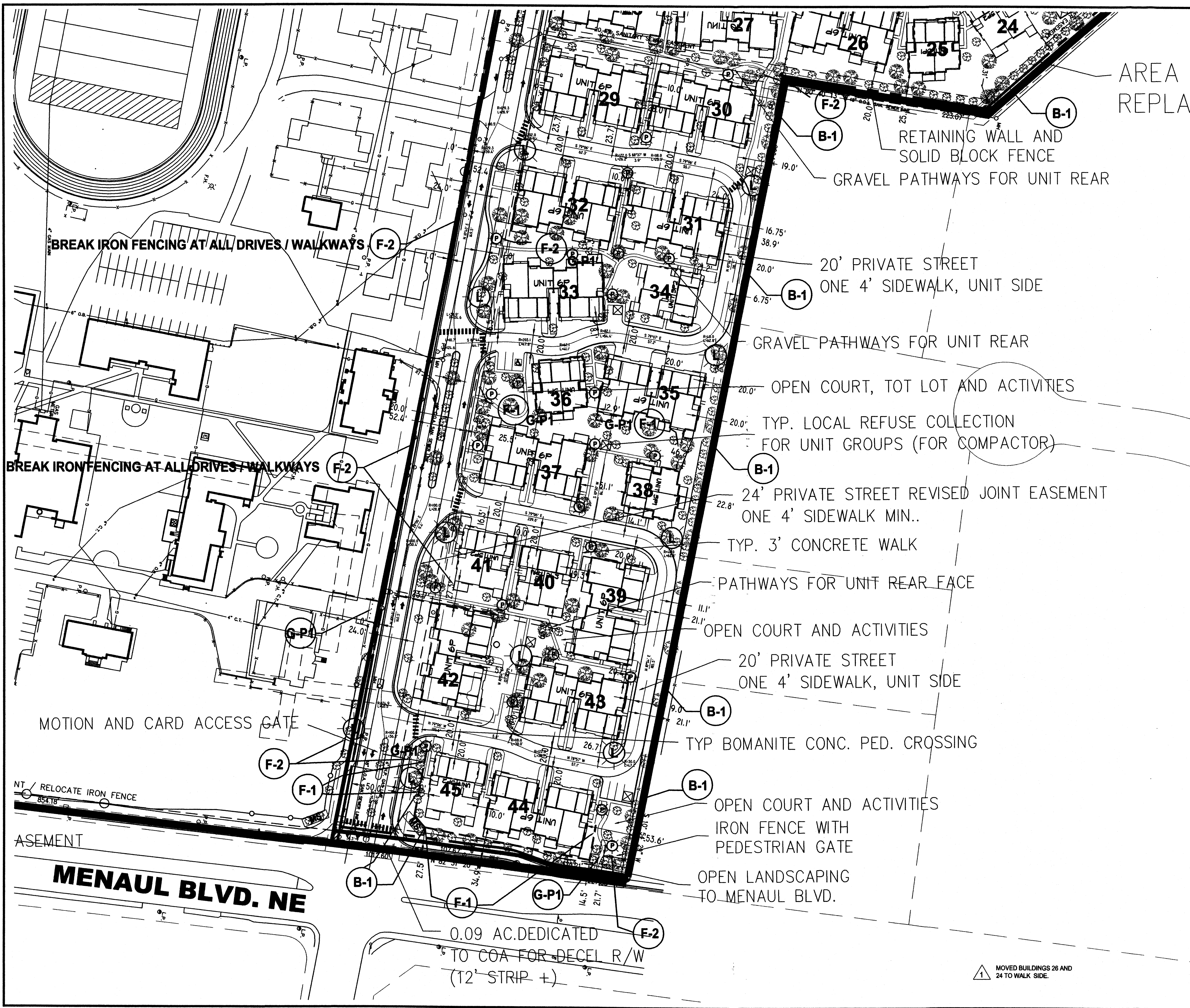
<i>[Signature]</i> TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	3-8-06 DATE
<i>[Signature]</i> WATER UTIL. DEPARTMENT	3/8/06 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	2/2/06 DATE
<i>[Signature]</i> CITY ENGINEER	3/6/06 DATE
<i>[Signature]</i> SOLID WASTE MANAGEMENT	3/24/06 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	3/30/06 DATE

**MENAU SCHOOL CONDOMINIUMS
 SITE PLAN FOR SUBDIVISION**

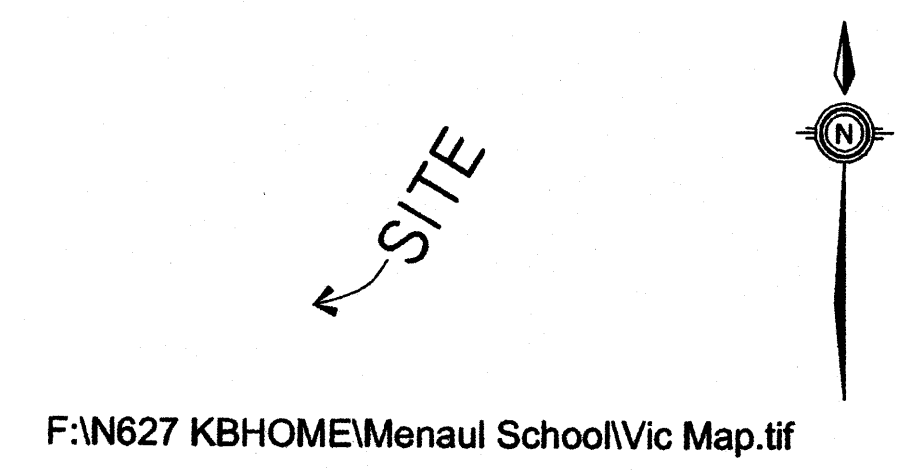
DATE:	01/09/06		SHEET
SCALE:	AS SHOWN		1
CREW:	XX/XX		OF
DRAWN:	CAS/JGG/MVH		11
JOB NO.:	N627-16		



REPLACED ILLUSTRATION WITH PLAT GEOMETRY



AREA REPLA



H-15-Z VICINITY MAP NOT TO SCALE

- DIMENSION NOTES:** (UNLESS OTHERWISE INDICATED):
1. ALL DIMENSIONS ARE CLOSE APPROXIMATIONS, SUBJECT TO FINAL PROPERTY SURVEY AND SITE PLAN FOR BUILDING PERMIT PURPOSES.
 2. DIMENSIONS FOR PAVING ARE TO FACE OF CURB (FLOWLINE)
 3. MEASUREMENTS ARE RADIAL OR PERPENDICULAR TO FEATURES.
 4. SEE ATTACHED PRELIMINARY PLAT FOR PROPERTY AND CURVE DATA.
- LIGHTING, WALL / FENCING PLAN NOTES:** (UNLESS OTHERWISE INDICATED):
1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
 2. LIGHTING PER SHEET 11 STANDARDS:
 - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
 - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
 3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
 4. APPROXIMATE SIGN LOCATION
 5. TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

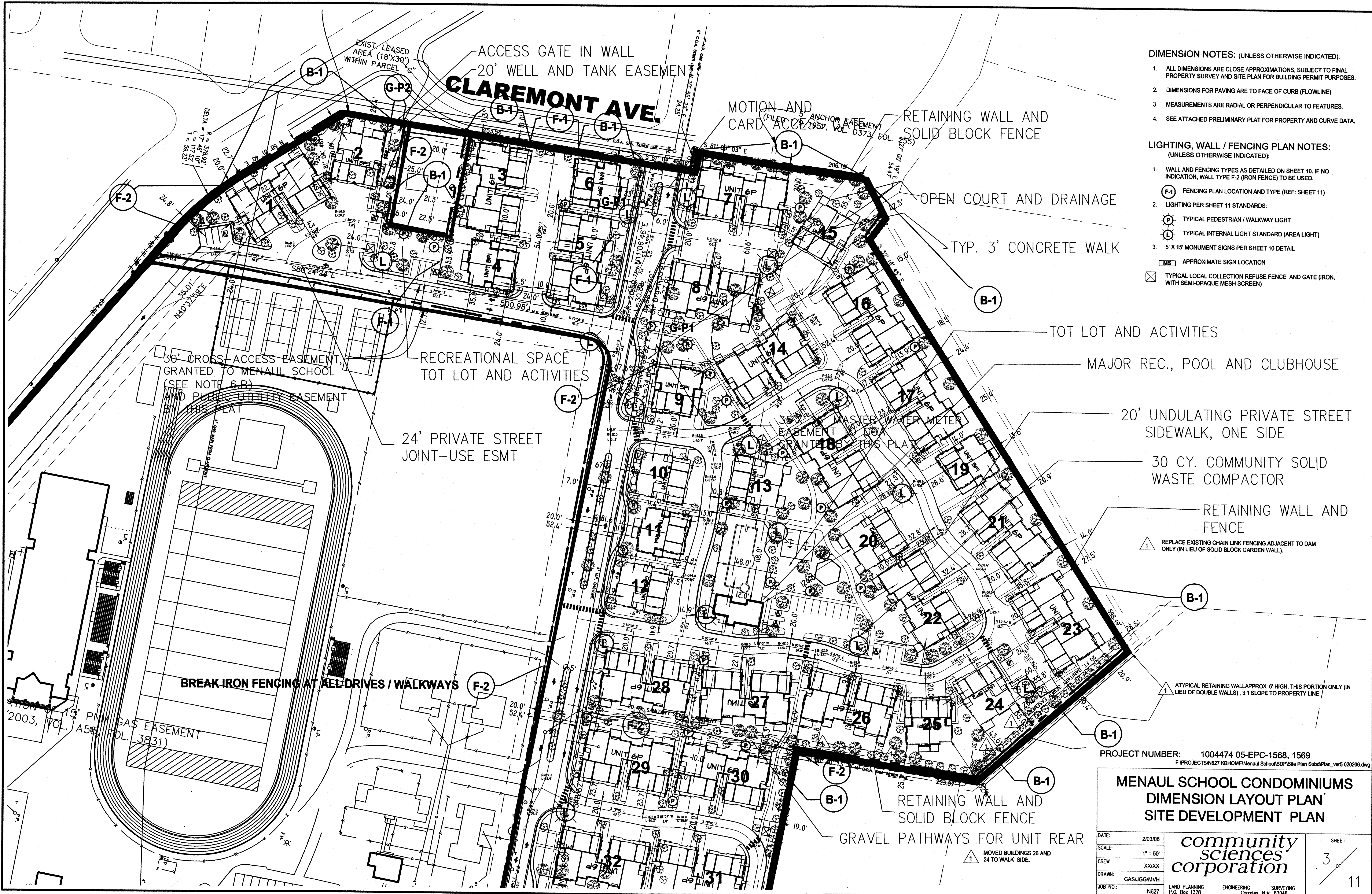
- SHEET INDEX:**
1. COVER SHEET, 2005 ORTHOPHOTO AND DRB APPROVALS
 2. A. SITE DEVELOPMENT PLAN (SOUTH DIMENSION LAYOUT PLAN)
 3. B. SITE DEVELOPMENT PLAN (NORTH DIMENSION LAYOUT PLAN)
 4. PLAT OF SUBDIVISION (PRELIMINARY PLAT)
 5. DESIGN GUIDELINES, E.P.C. CONDITIONS AND EXTERIOR COLORS
 6. LANDSCAPE PLAN (OVERALL SITE) L1 OF 3
 7. LANDSCAPE DETAILS (DETAILS OF SELECT AREAS) L2 OF 3
 8. LANDSCAPE DETAILS (DETAILS OF SITE FURNITURE) L3 OF 3
 9. BUILDING ELEVATIONS AND PALETTE BUILDINGS SP1 AND SP2
 10. BUILDING ELEVATIONS AND PALETTE BUILDING SP6 AND CLUBHOUSE
 11. WALLS, PAVING, MONUMENT SIGNS, FENCE ELEVATIONS AND DETAILS

PROJECT NUMBER: 1004474 05-EPC-1568, 1569
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**MENAU SCHOOL CONDOMINIUMS
 DIMENSION LAYOUT PLAN
 SITE DEVELOPMENT PLAN**

DATE:	2/03/06	<i>community sciences corporation</i>	SHEET 2A OF 11
SCALE:	1" = 50'		
CREW:	XX/XX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627	LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048

MOVED BUILDINGS 26 AND 24 TO WALK SIDE.



- DIMENSION NOTES: (UNLESS OTHERWISE INDICATED):**
1. ALL DIMENSIONS ARE CLOSE APPROXIMATIONS, SUBJECT TO FINAL PROPERTY SURVEY AND SITE PLAN FOR BUILDING PERMIT PURPOSES.
 2. DIMENSIONS FOR PAVING ARE TO FACE OF CURB (FLOWLINE)
 3. MEASUREMENTS ARE RADIAL OR PERPENDICULAR TO FEATURES.
 4. SEE ATTACHED PRELIMINARY PLAT FOR PROPERTY AND CURVE DATA.

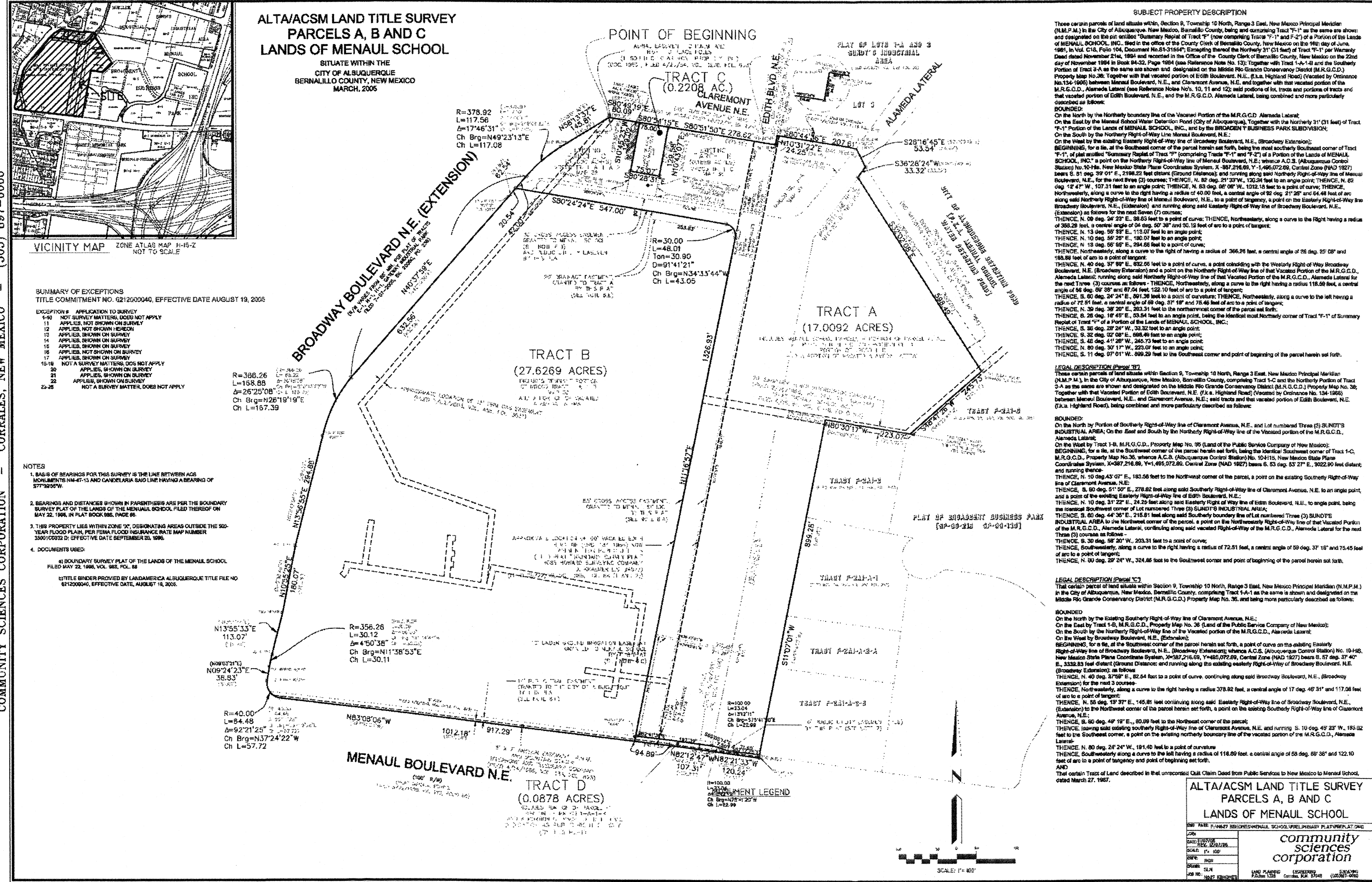
- LIGHTING, WALL / FENCING PLAN NOTES: (UNLESS OTHERWISE INDICATED):**
1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
 2. LIGHTING PER SHEET 11 STANDARDS:
 - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
 - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
 3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
 - (MS) APPROXIMATE SIGN LOCATION
 - (X) TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

- 1 REPLACE EXISTING CHAIN LINK FENCING ADJACENT TO DAM ONLY (IN LIEU OF SOLID BLOCK GARDEN WALL).
- 1 ATYPICAL RETAINING WALL APPROX. 6' HIGH, THIS PORTION ONLY (IN LIEU OF DOUBLE WALLS), 3:1 SLOPE TO PROPERTY LINE

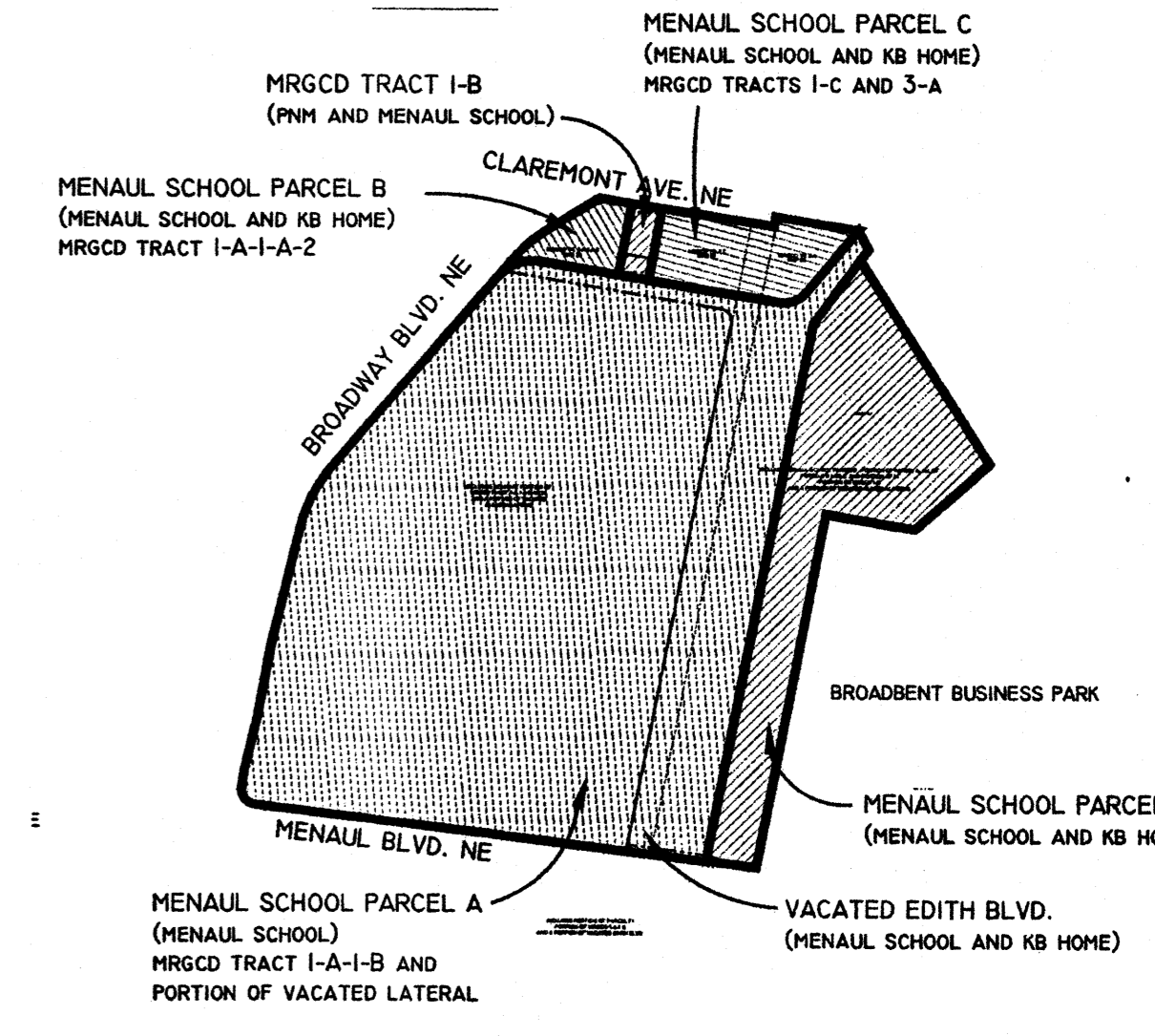
PROJECT NUMBER: 1004474 05-EPC-1568, 1569
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**MENAU SCHOOL CONDOMINIUMS
 DIMENSION LAYOUT PLAN
 SITE DEVELOPMENT PLAN**

DATE:	2/03/06	<i>community sciences corporation</i>	SHEET 3 of 11
SCALE:	1" = 50'		
CREW:	XXXXX	LAND PLANNING P.O. Box 1328 CORRALES, N.M. 87045	
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627		

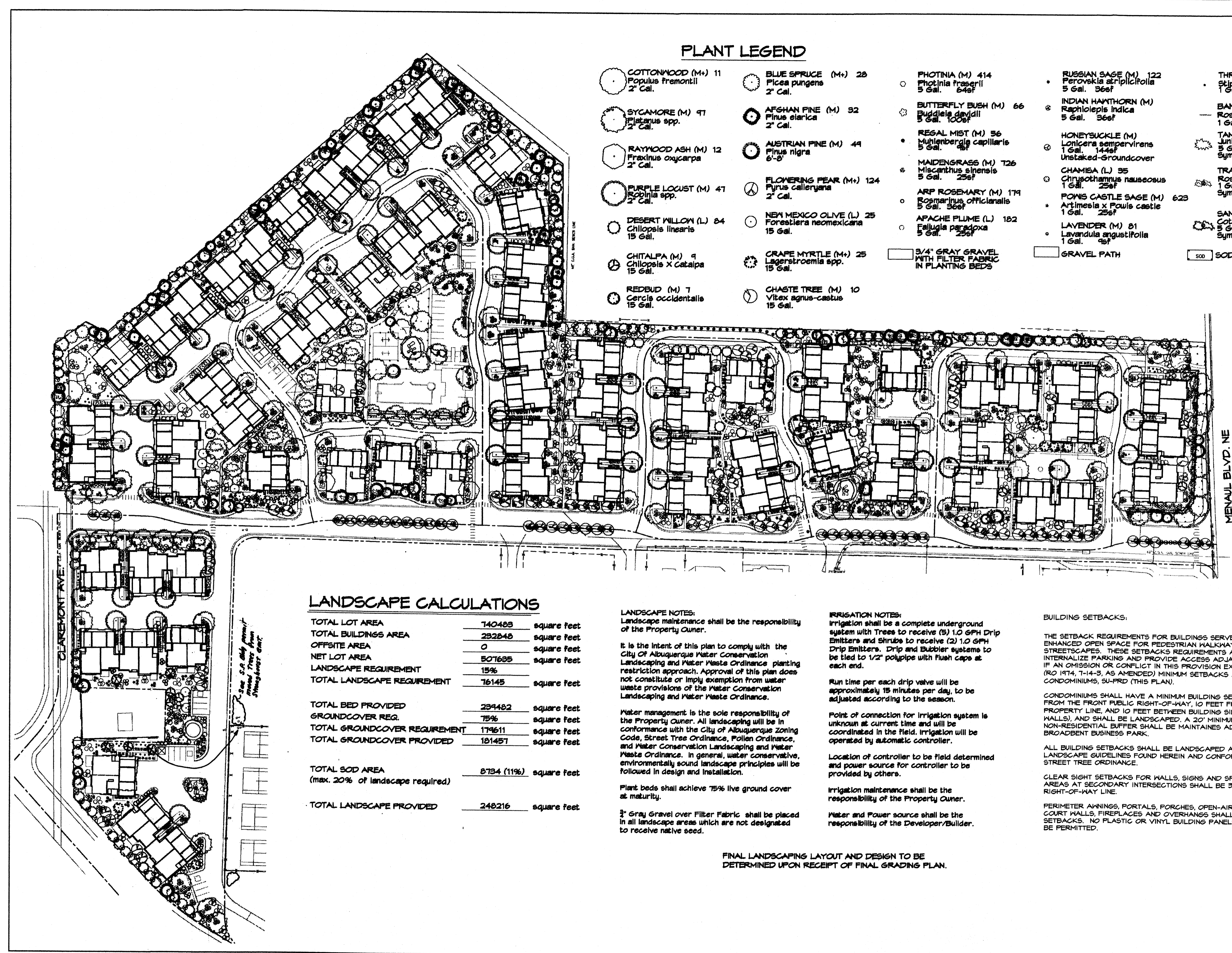


PLAT OF SUBDIVISION GEOMETRY - BASED ON ALTA, PENDING CITY SURVEYOR AND DRB REVIEW



PROJECT NUMBER: 1004474 05-EPC-1568, 1569
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DATE: 3/6/2006		SHEET 4	
SCALE: AS SHOWN		11	
CREW: XXXX		community sciences corporation	
DRAWN: JGGMVH		LAND PLANNING P.O. Box 1328	
JOB NO: N627		ENGINEERING Corrales, N.M. 87048	
		SURVEYING	



PLANT LEGEND

- COTTONWOOD (M+) 11
Populus fremontii
2' Gal.
- SYCAMORE (M) 47
Platanus spp.
2' Gal.
- RAYWOOD ASH (M) 12
Fraxinus oxycarpa
2' Gal.
- PURPLE LOCUST (M) 47
Crotalaria spp.
2' Gal.
- DESERT WILLOW (L) 64
Chilopsis linearis
15 Gal.
- CHITALPA (M) 9
Chilopsis x Catalpa
15 Gal.
- REDBUD (M) 7
Cercis occidentalis
15 Gal.
- BLUE SPRUCE (M+) 28
Picea pungens
2' Gal.
- AFGHAN FINE (M) 32
Pinus eiarica
2' Gal.
- AUSTRIAN PINE (M) 44
Pinus nigra
6'-8'
- FLOWERING PEAR (M+) 124
Pyrus calleryana
2' Gal.
- NEW MEXICO OLIVE (L) 25
Forestiera neomexicana
15 Gal.
- GRAPE MYRTLE (M+) 25
Lagerstroemia spp.
15 Gal.
- CHASTE TREE (M) 10
Vitex agnus-castus
15 Gal.
- PHOTINIA (M) 414
Photinia fraserii
5 Gal. 64sf
- BUTTERFLY BUSH (M) 66
Buddleia davidii
5 Gal. 100sf
- REGAL MIST (M) 56
Muhlenbergia capillaris
5 Gal. 4sf
- MAIDENGRASS (M) 726
Miscanthus sinensis
5 Gal. 25sf
- ARP ROSEMARY (M) 174
Rosmarinus officinalis
5 Gal. 36sf
- APACHE PLUME (L) 182
Falugia paradoxa
5 Gal. 25sf
- RUSSIAN SAGE (M) 122
Perovskia atriplicifolia
5 Gal. 36sf
- INDIAN HAWTHORN (M)
Raphiolepis Indica
5 Gal. 36sf
- HONEYSUCKLE (M)
Lonicera sempervirens
1 Gal. 14-4sf
- CHAMISA (L) 95
Chrysothamnus nauseosus
1 Gal. 25sf
- POWIS CASTLE SAGE (M) 623
Artemisia x Powis castle
1 Gal. 25sf
- LAVENDER (M) 81
Lavandula angustifolia
1 Gal. 4sf
- THREADGRASS (M) 99
Stipa tenuigula
1 Gal. 4sf
- BANKS ROSE (M) 98
Rosa banksiae
1 Gal. 400sf
- TAM JUNIPER (M) 75
Juniperus sabinia
5 Gal. 225sf
Symbol indicates 3 plants
- TRAILING ROSEMARY (M) 81
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- SANTOLINA (M) 21
Cotoneaster buxifolius
5 Gal. 25sf
Symbol indicates 9 plants

- 3/4" GRAY GRAVEL WITH FILTER FABRIC IN PLANTING BEDS
- GRAVEL PATH
- SOD WITH POP UP SPRINKLER

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	740488	square feet
TOTAL BUILDINGS AREA	292848	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	507635	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	76145	square feet
TOTAL BED PROVIDED	294482	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	174611	square feet
TOTAL GROUNDCOVER PROVIDED	181457	square feet
TOTAL SOD AREA (max. 20% of landscape required)	8734 (11%)	square feet
TOTAL LANDSCAPE PROVIDED	248216	square feet

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

BUILDING SETBACKS:

THE SETBACK REQUIREMENTS FOR BUILDINGS SERVE TO CREATE AN ENHANCED OPEN SPACE FOR PEDESTRIAN WALKWAYS AND ATTRACTIVE STREETSAPES. THESE SETBACKS REQUIREMENTS ARE DESIGNED TO INTERNALIZE PARKING AND PROVIDE ACCESS ADJACENT TO THE STREETS. IF AN OMISSION OR CONFLICT IN THIS PROVISION EXISTS, THE ZONING CODE (RO 1974, 7-14-3, AS AMENDED) MINIMUM SETBACKS APPLY AS FOLLOWS: CONDOMINIUMS, SU-PRD (THIS PLAN).

CONDOMINIUMS SHALL HAVE A MINIMUM BUILDING SETBACK OF 15 FEET FROM THE FRONT PUBLIC RIGHT-OF-WAY, 10 FEET FROM THE REAR PROPERTY LINE, AND 10 FEET BETWEEN BUILDING SIDES (GROUND FLOOR WALLS), AND SHALL BE LANDSCAPED. A 20' MINIMUM SETBACK AND NON-RESIDENTIAL BUFFER SHALL BE MAINTAINED ADJACENT TO BROADBENT BUSINESS PARK.

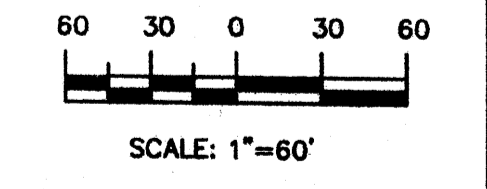
ALL BUILDING SETBACKS SHALL BE LANDSCAPED ACCORDING TO THE LANDSCAPE GUIDELINES FOUND HEREIN AND CONFORMING TO THE CITY'S STREET TREE ORDINANCE.

CLEAR SIGHT SETBACKS FOR WALLS, SIGNS AND SPECIAL TREATMENT AREAS AT SECONDARY INTERSECTIONS SHALL BE 35- FEET FROM THE RIGHT-OF-WAY LINE.

PERIMETER AWNINGS, PORTALS, PORCHES, OPEN-AIR PATIOS, GARDEN COURT WALLS, FIREPLACES AND OVERHANGS SHALL BE ALLOWED WITHIN SETBACKS. NO PLASTIC OR VINYL BUILDING PANELS OR AWNINGS SHALL BE PERMITTED.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

GRAPHIC SCALE



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7809 Fifth Ave. N.E.
Albuquerque, NM 87184
Ph. (505) 898-9890
Fax (505) 898-7737
cmc@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLGN
#0007

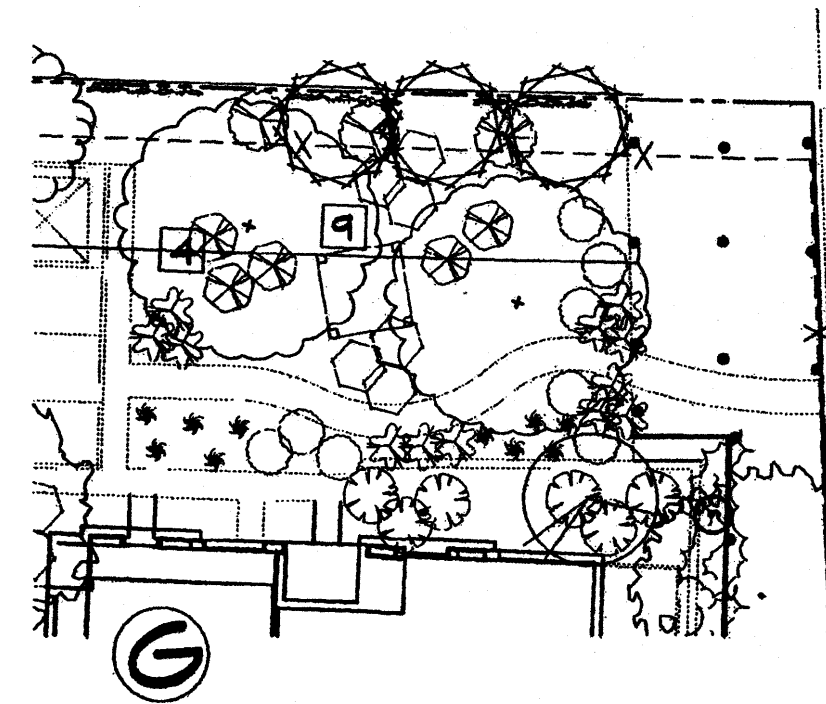
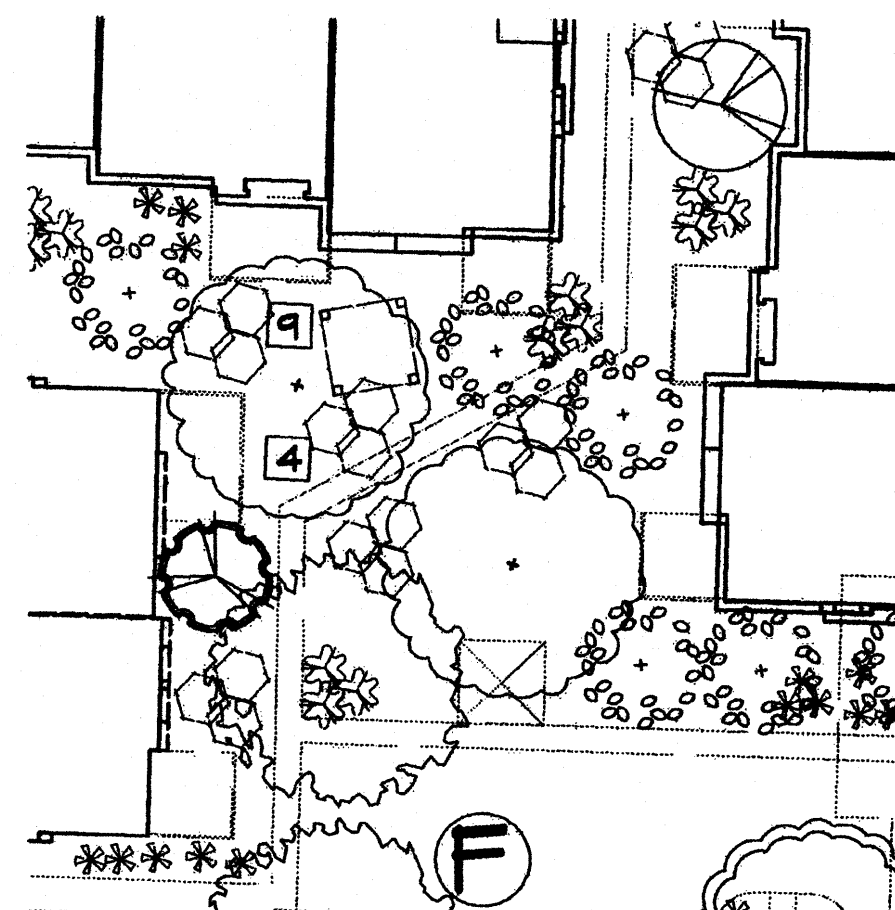
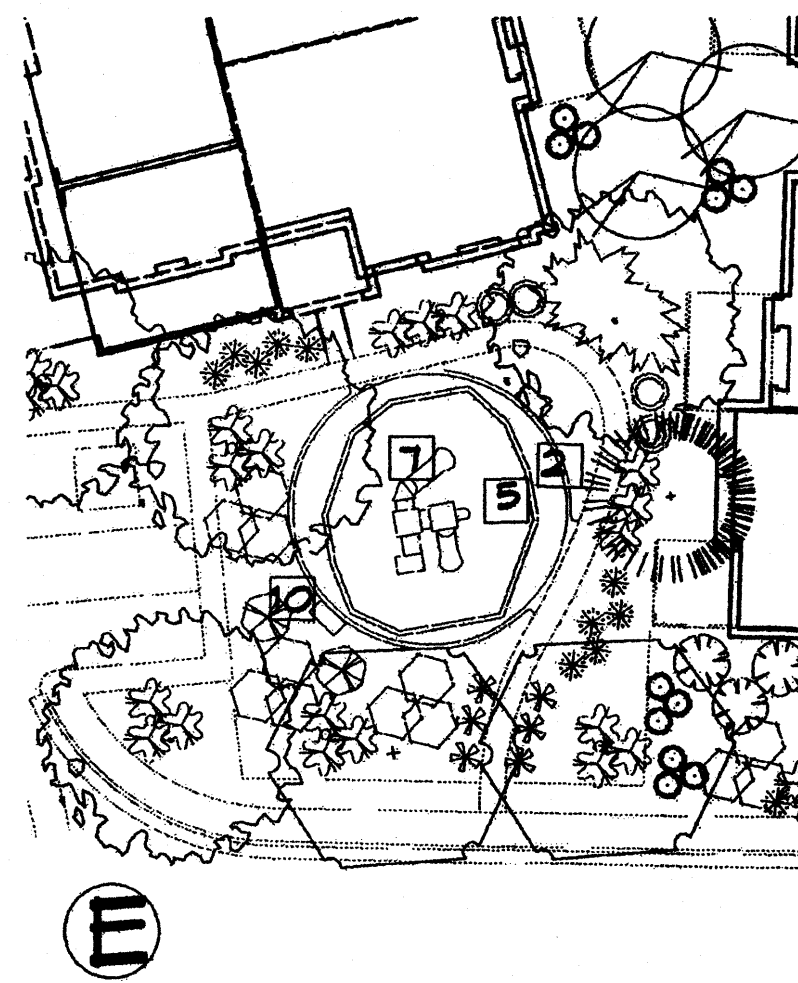
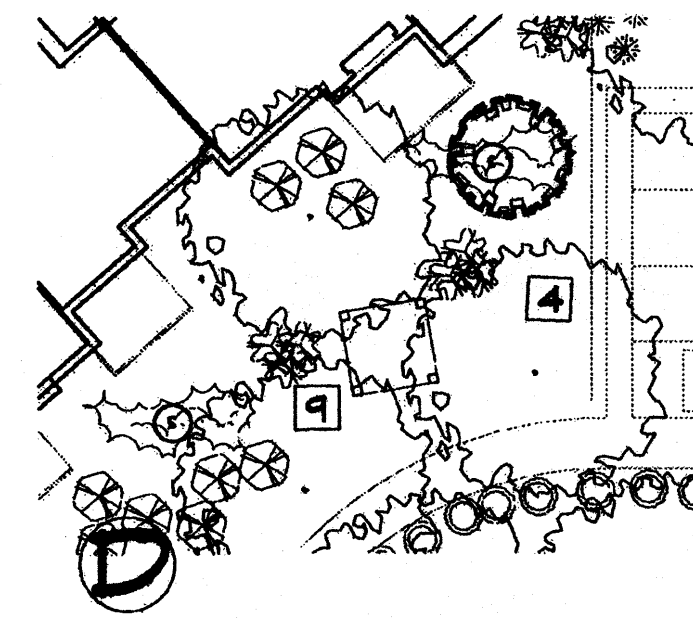
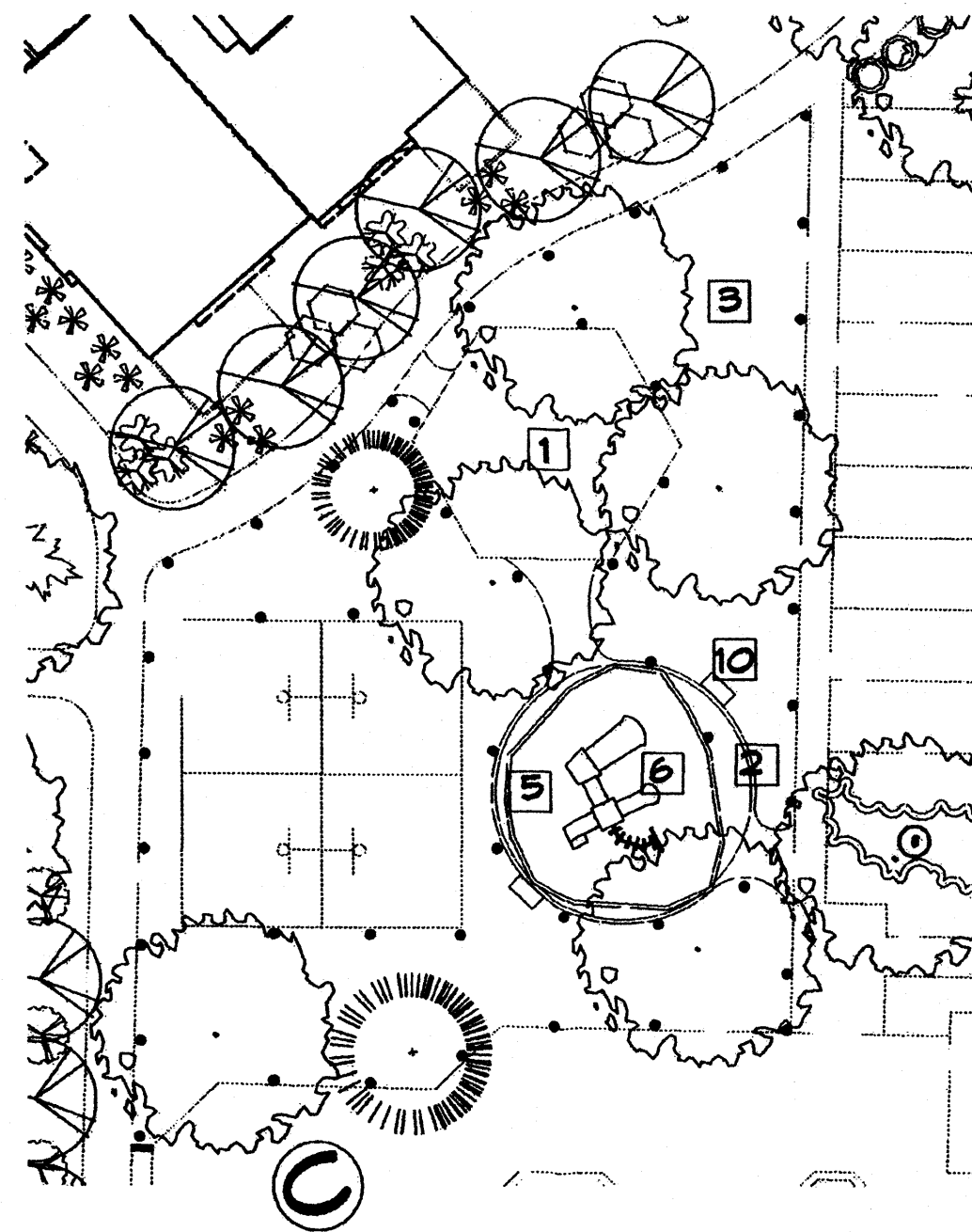
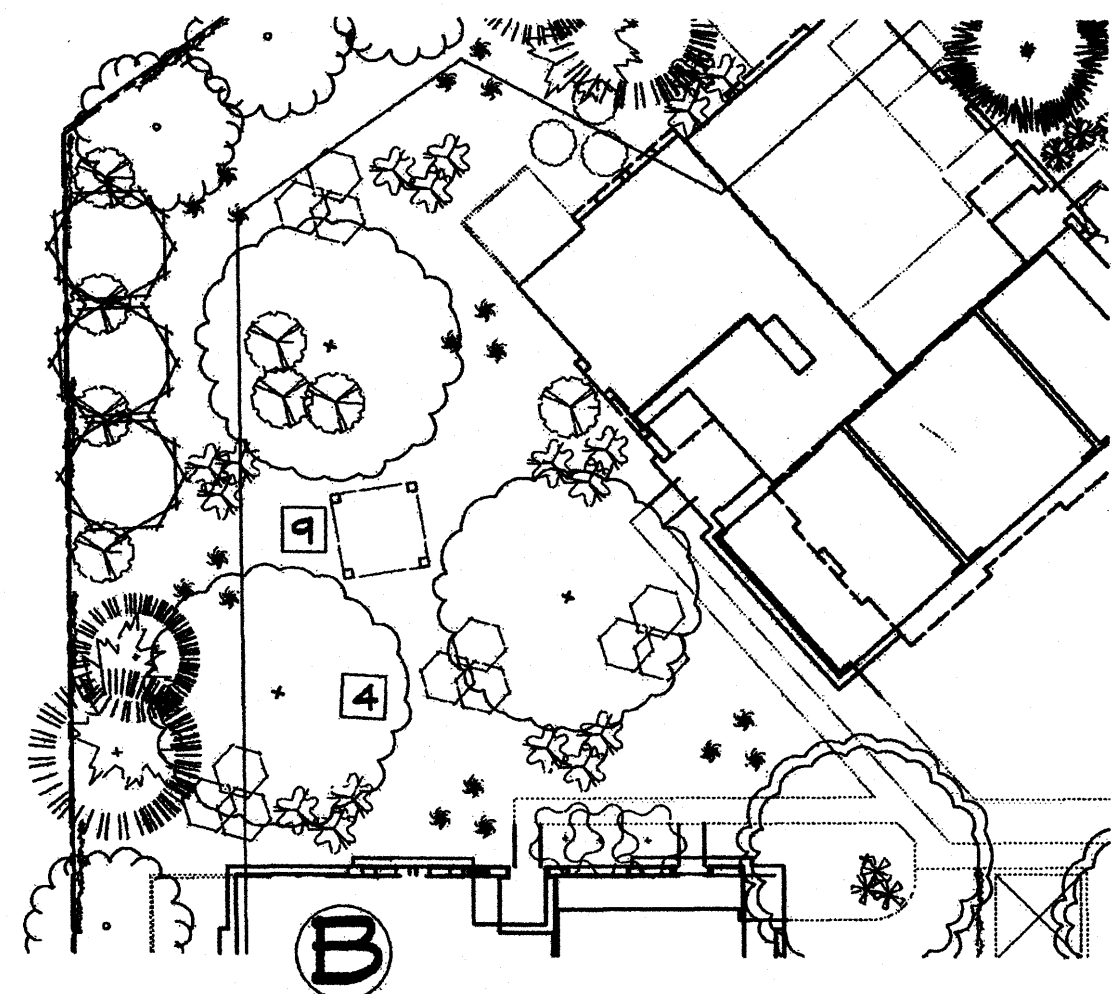
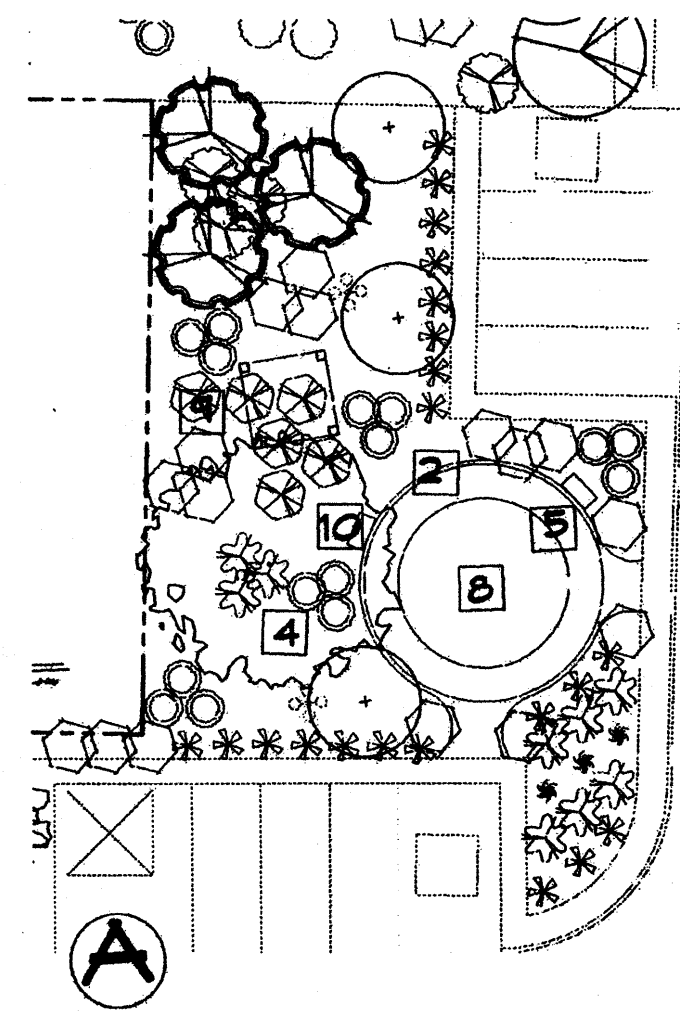
KB HOME, INC. - MENAUL SCHOOL
ALBUQUERQUE, NM

LANDSCAPE P_LAN

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

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REVISION # 4-13
DATE: 2.6.05

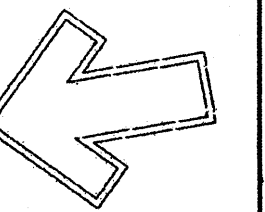
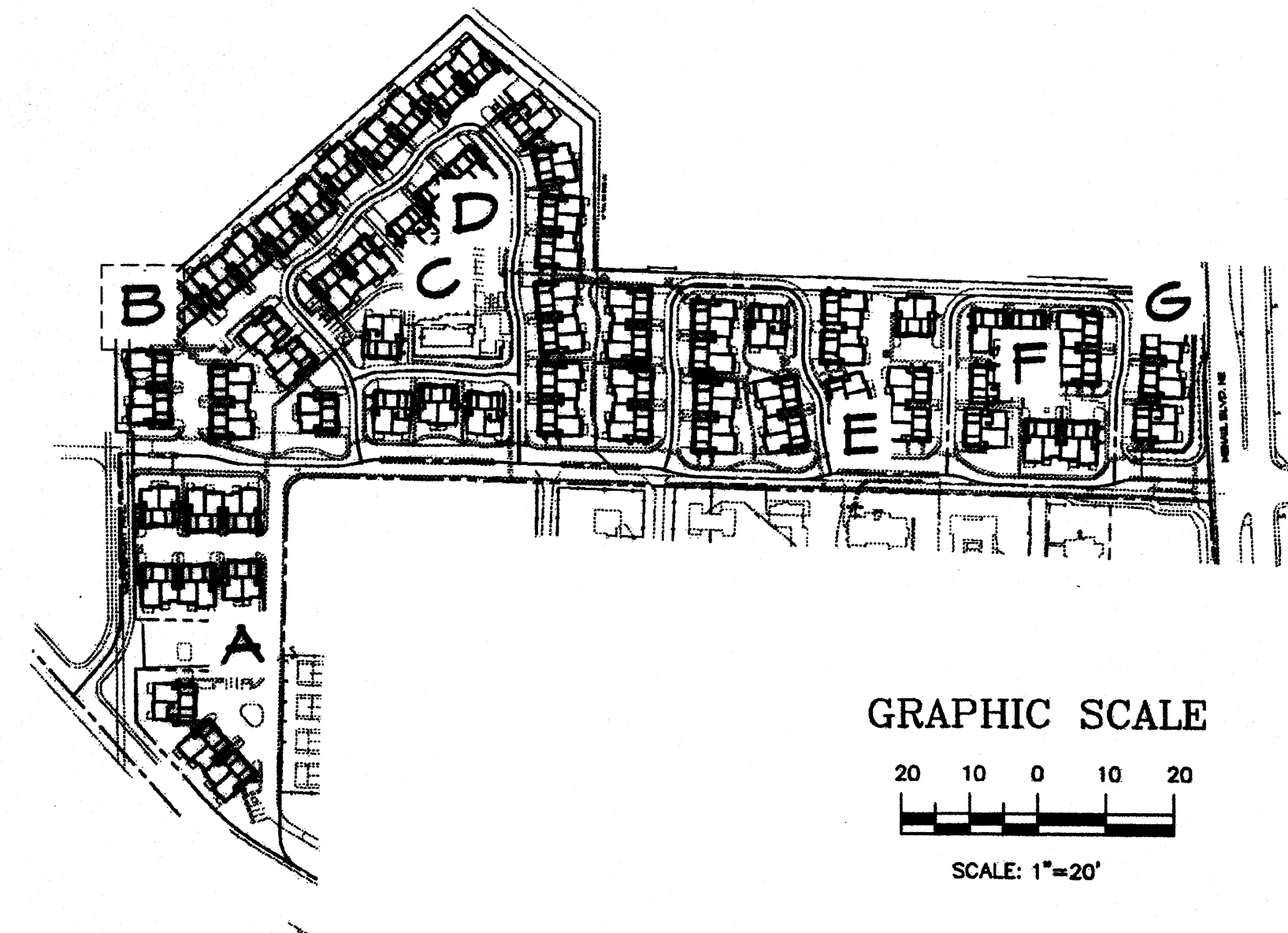
SHEET #
L1 of L3



KEYED NOTES

- 1 POLYGON SHADE STRUCTURE BY OTHERS
- 2 6" x 6" CONCRETE MONCURB
- 3 SOD LAWN
- 4 3/4" GREY GRAVEL 3" DEEP W/ FF
- 5 12" DEEP PLAY SAND
- 6 PLAY STRUCTURE AGES 5-12 PLAYMAKERS MODEL NO. 500-0401 (SEE DETAIL SHEET 2)
- 7 PLAY STRUCTURE AGES 2-5 EXPLORERS MODEL NO. 288-0824 (SEE DETAIL SHEET 2)
- 8 GEODOME CLIMBER BY PLAYWORLD SYSTEMS AGES 5-12 (SEE DETAIL SHEET 2)
- 9 10' x 10' RAMADA WITH 6' PICNIC TABLE-SURFACE MOUNT MODEL AND BBQ GRILL (SEE DETAIL SHEET 2)
- 10 4' BENCH WITH ARM RESTS ON SIDES SURFACE MOUNT (SEE DETAIL SHEET 2)

Product	Manufacturer/Specs	Model No.	Quantity	Location
Playstructure	Playworld Systems Capacity: Up to 20 children ages 9-12 Size: 14'x11'x10' Use Zone: 52'x30' Colors: Forest green posts, red components, beige and green plastics, yellow desks and stairs	500-0401	1	Clubhouse
Playstructure	Playworld Systems Capacity: Up to 25 children ages 2-5 Size: 15'x12'x11' Use Zone: 28'x25' Colors: Forest green posts, red components, beige and green plastics, yellow desks and stairs	288-0824	1	Bldg 38
Playstructure	Playworld Systems Capacity: Up to 7 children ages 5-12 Size: 6' dia x6' Use Zone: 20' dia Colors: Forest green	22PD1851	1	Bldg 4
Ramada	The Hilltop Landscaping Size: 10'x10' Material: Cedar Stain: Olympic 417	N/A	5	Bldg 22 Bldg 39 Bldg 44 Bldg 7 Bldg 4
6' Picnic Table	Playworld Systems Colors: Beige top, Hunter Green Frame	ZED01401	5	Bldg 22 Bldg 39 Bldg 44 Bldg 7 Bldg 4
Dark BBQ Grill	Playworld Systems	ZZ001481	5	Bldg 22 Bldg 39 Bldg 44 Bldg 7 Bldg 4
4' Bench	Playworld Systems Colors: Beige seat, Forest Arm/Legs	ZZ001464B	6	Clubhouse (2) Bldg 38 (2) Bldg 4 (2)



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LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

KB HOME, INC. - MENAUL SCHOOL
ALBUQUERQUE, NM
COMMON ARLAS

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

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REVISED BY
DATE
2-6-06

SHEET #
L2 of L5



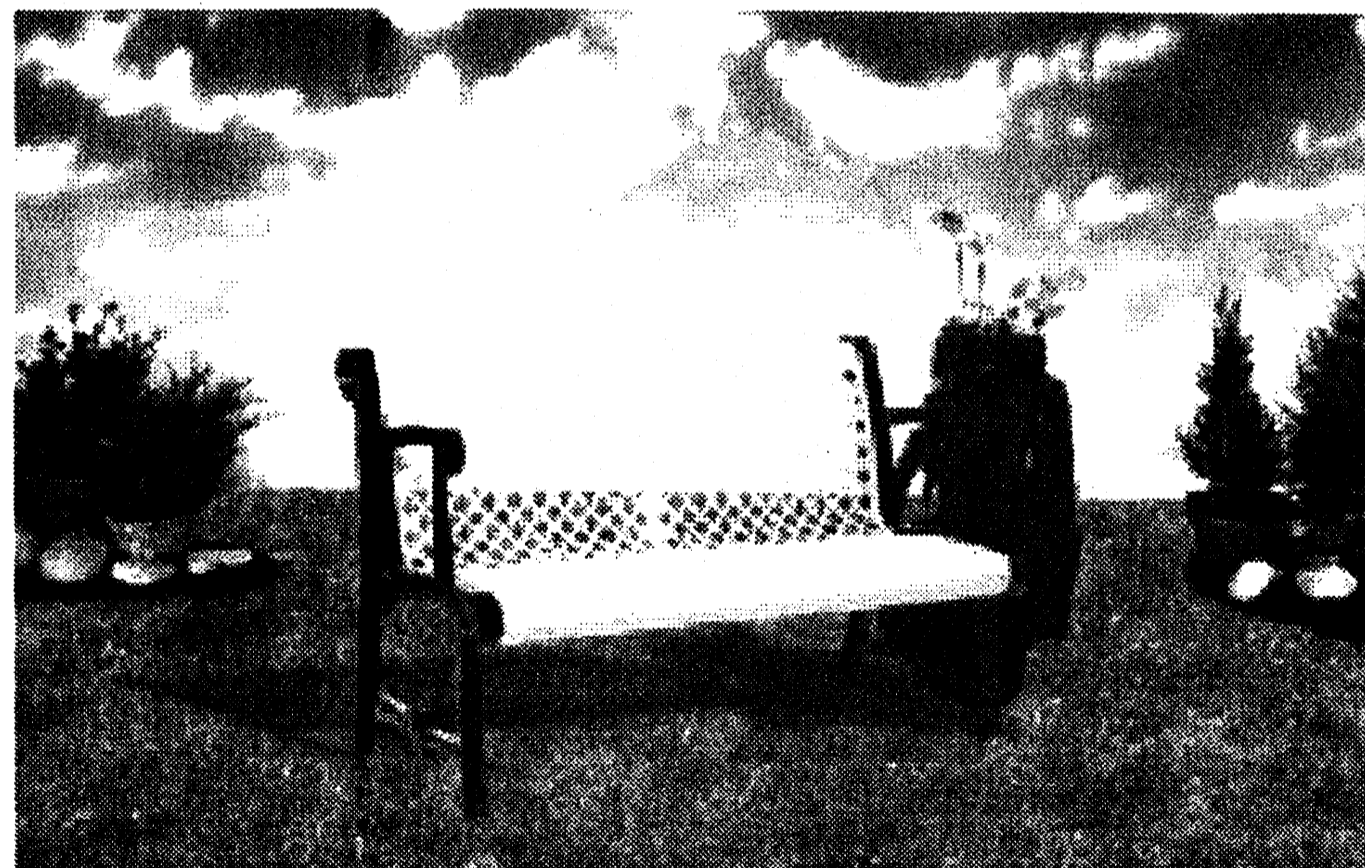
1
12 GEODOME CLIMBER AGES 5-12
not to scale



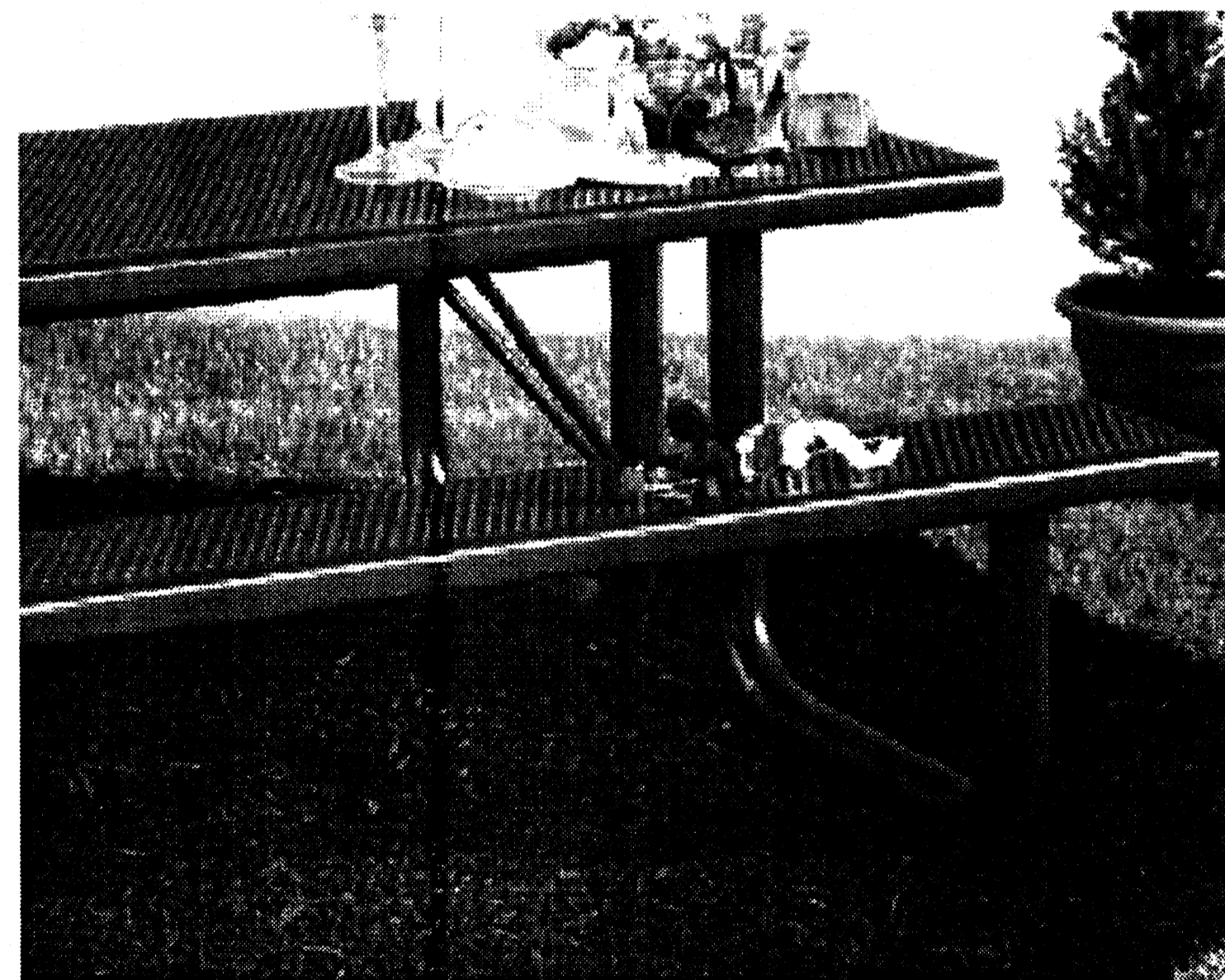
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12 PLAYSTRUCTURE AGES 2-5
not to scale



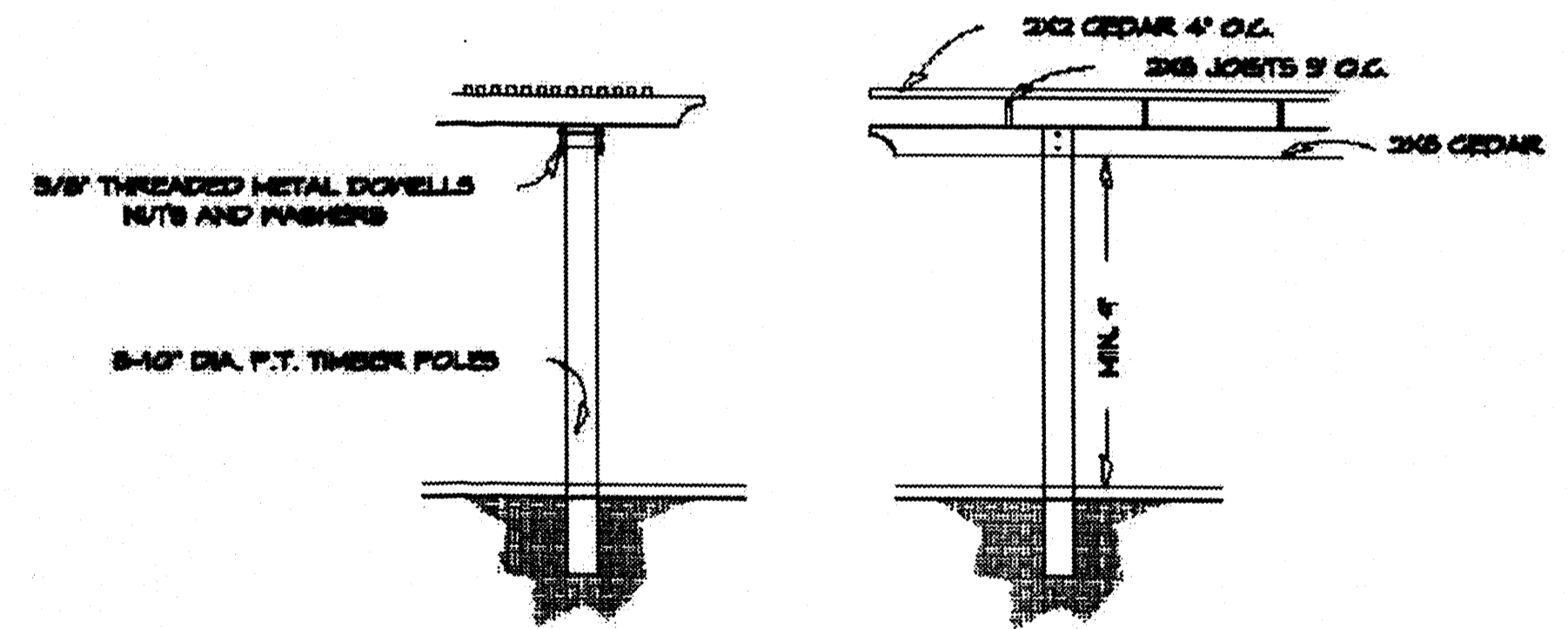
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12 PLAYDSTRUCTURE AGES 5-12
not to scale



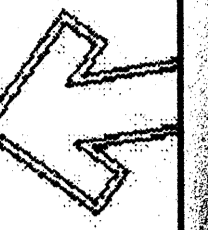
4
12 4' BENCH - SURFACE MOUNT
not to scale



5
12 6' PICNIC TABLE - SURFACE MOUNT
not to scale



6
12 RAMADA DETAIL TYP.
not to scale



Cont. L.S. #89458
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ALBUQUERQUE, NM 87104
Ph. (505) 898-8880
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LANDSCAPE
ARCHITECT
SEAL

JAMES DE F
#2007

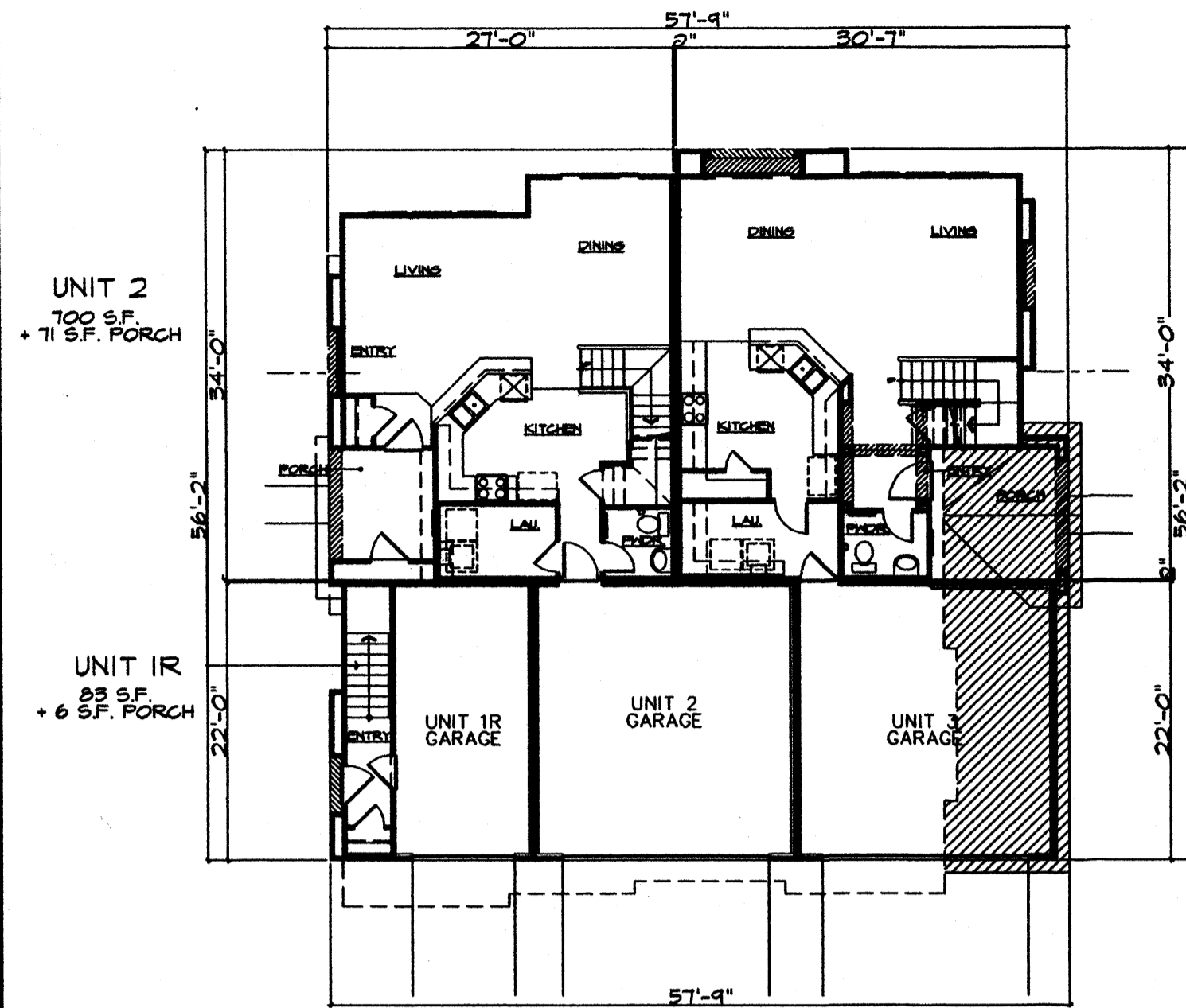
KB HOME, INC. - MENAUL SCHOOL
ALBUQUERQUE, NM

All drawings shall be prepared in accordance with the standards of the American Institute of Architects. The user of these drawings shall be responsible for obtaining all necessary permits and approvals. The user shall indemnify and hold the architect harmless from all claims, damages, and expenses, including reasonable attorneys' fees, arising from the use of these drawings.

The Hilltop

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OR
REVISION #

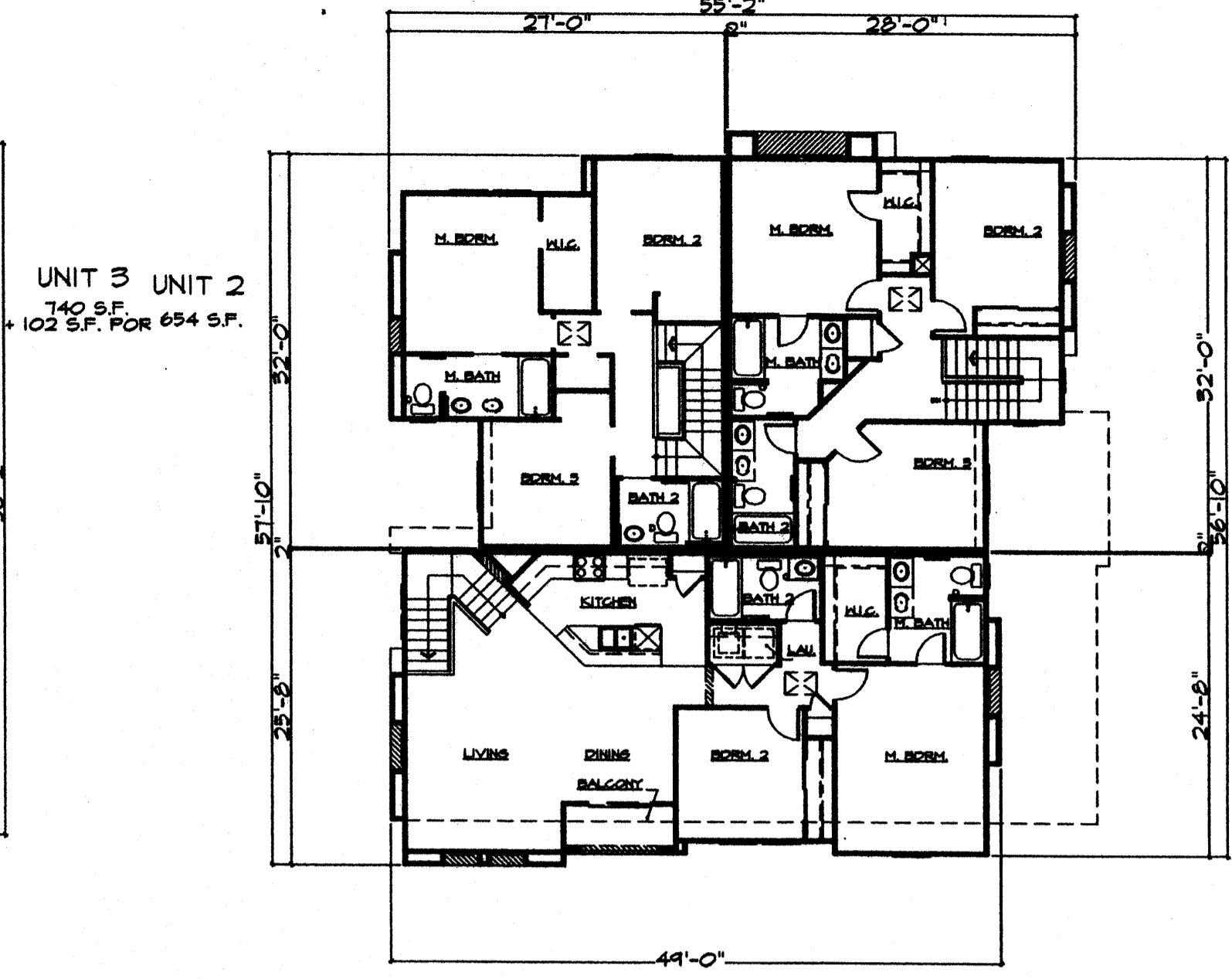
SHEET #
L3 of L



PLAN - GROUND FLOOR
SCALE: 1" = 12'-0"



FRONT ELEVATION
SCALE: 1" = 12'-0"



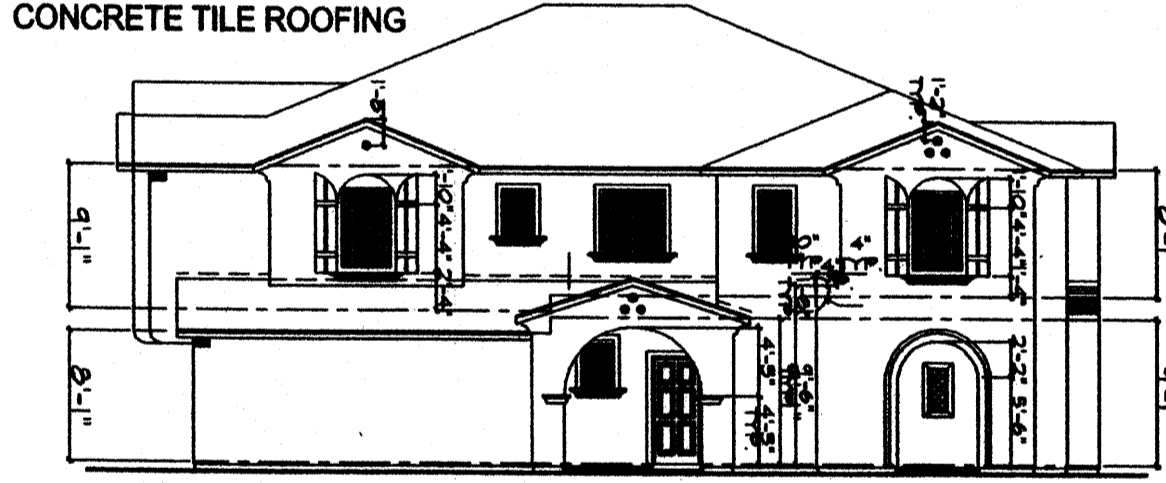
PLAN - UPPER FLOOR
SCALE: 1" = 12'-0"



REAR ELEVATION
SCALE: 1" = 12'-0"



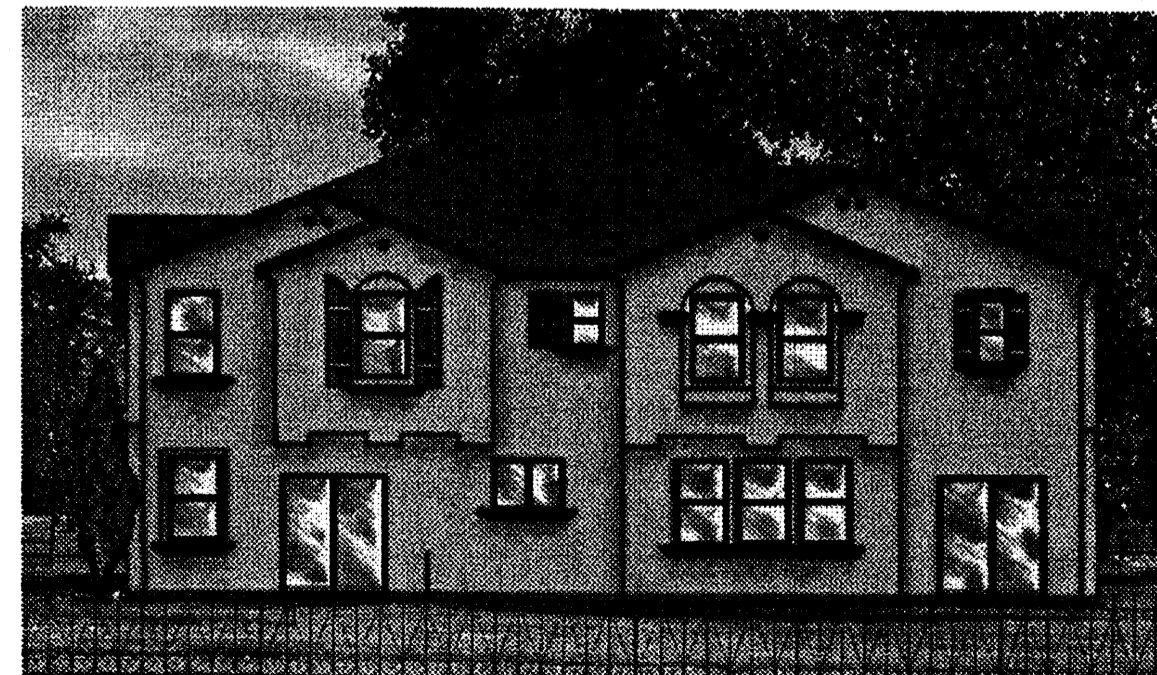
LEFT ELEVATION
SCALE: 1" = 12'-0"



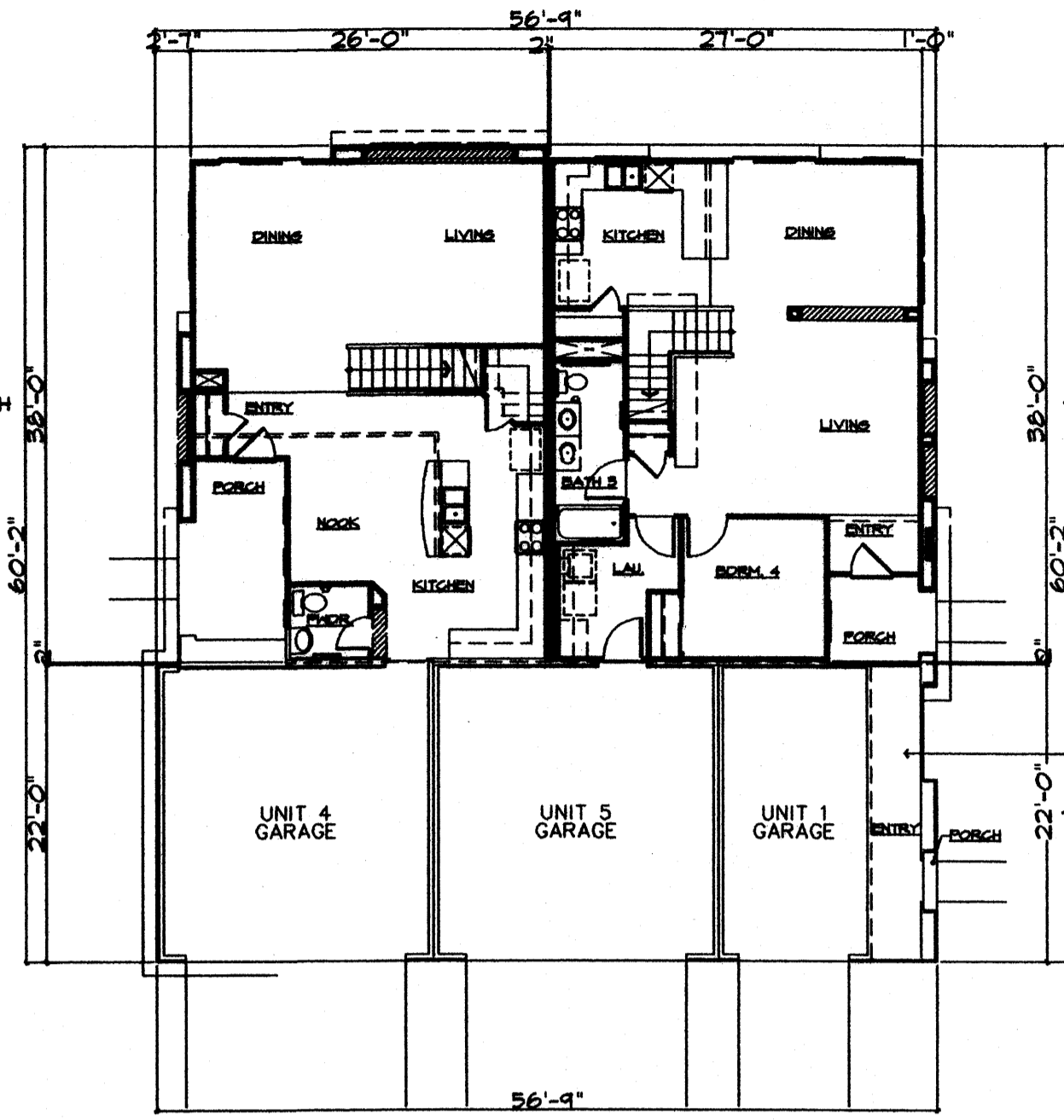
RIGHT ELEVATION
SCALE: 1" = 12'-0"

BUILDING 3P-1

OVERALL BUILDING DIMENSION:
57.75' x 56.2' 3245.5 S.F.
BUILDING HEIGHT:
28.75'
SINGLE FAMILY UNITS PER BLDG:
3
UNIT FOOTAGE:
UNIT 1R - 1153 S.F. + 6/36 S.F. PORCH/BALCONY
UNIT 2 - 1354 S.F. + 71 S.F. PORCH
UNIT 3 - 1481 S.F. + 102 S.F. PORCH



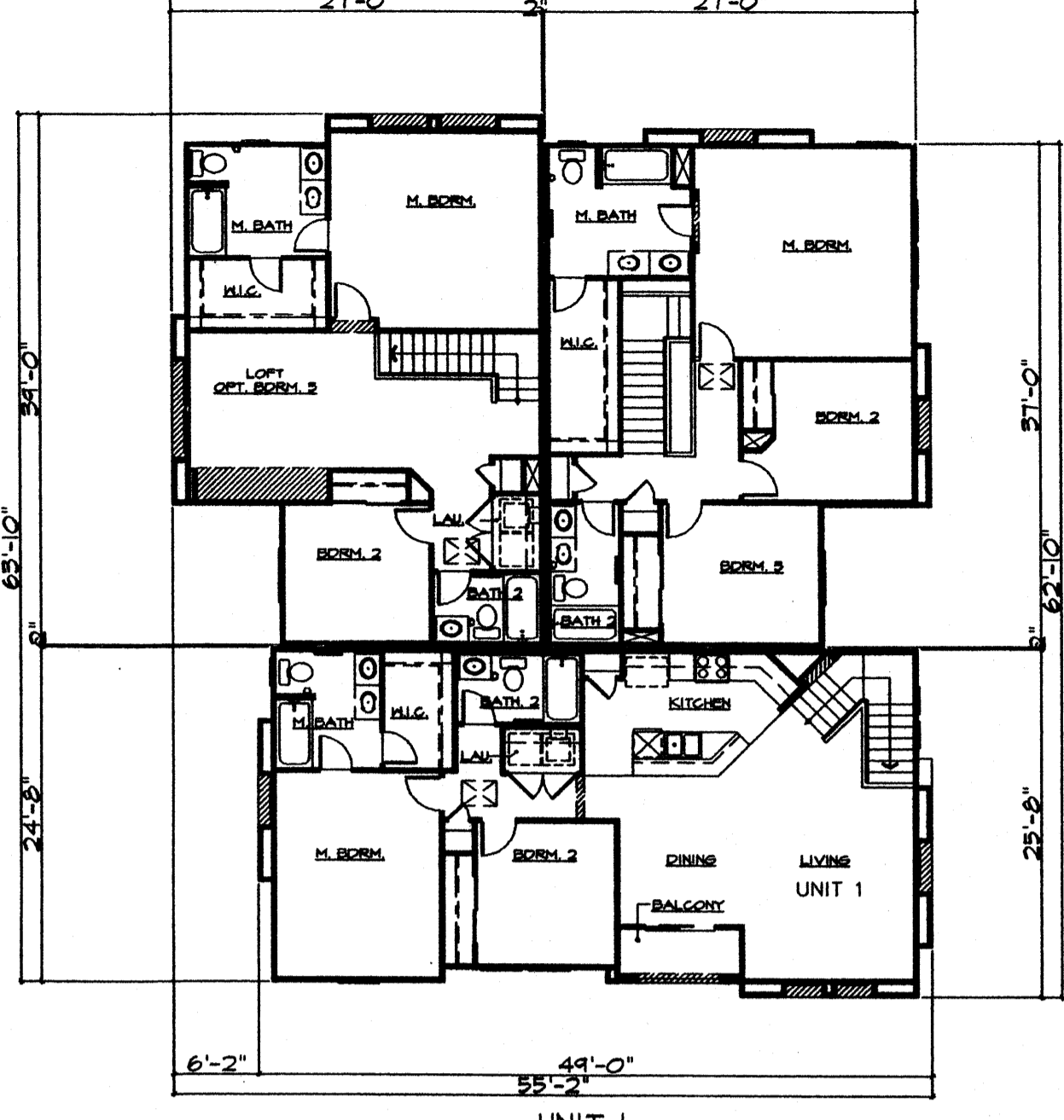
RIGHT ILLUSTRATION



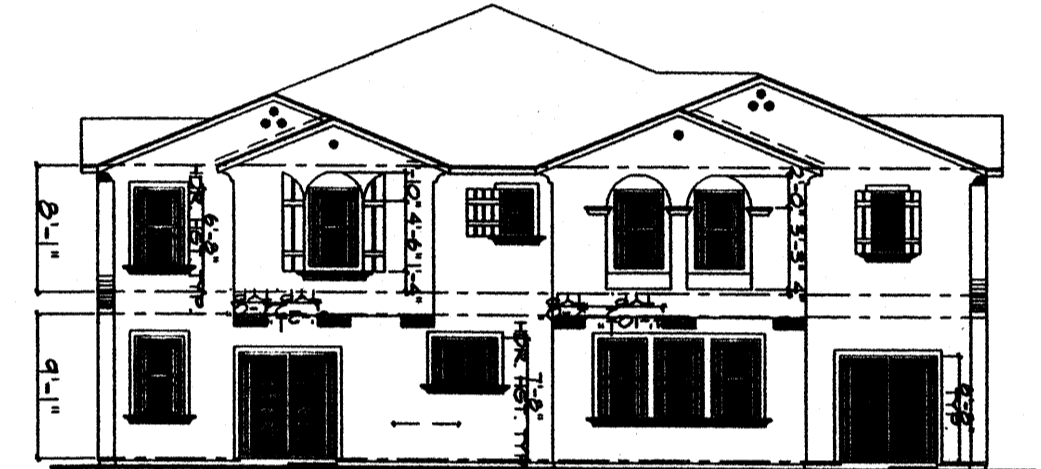
PLAN - GROUND FLOOR
SCALE: 1" = 12'-0"



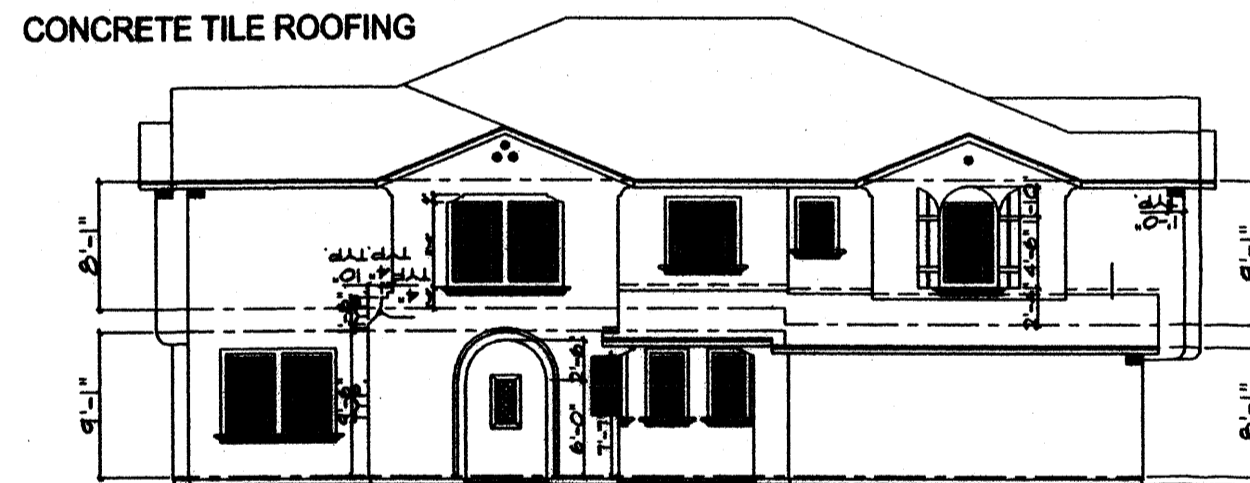
FRONT ELEVATION
SCALE: 1" = 12'-0"



PLAN - UPPER FLOOR
SCALE: 1" = 12'-0"



REAR ELEVATION
SCALE: 1" = 12'-0"



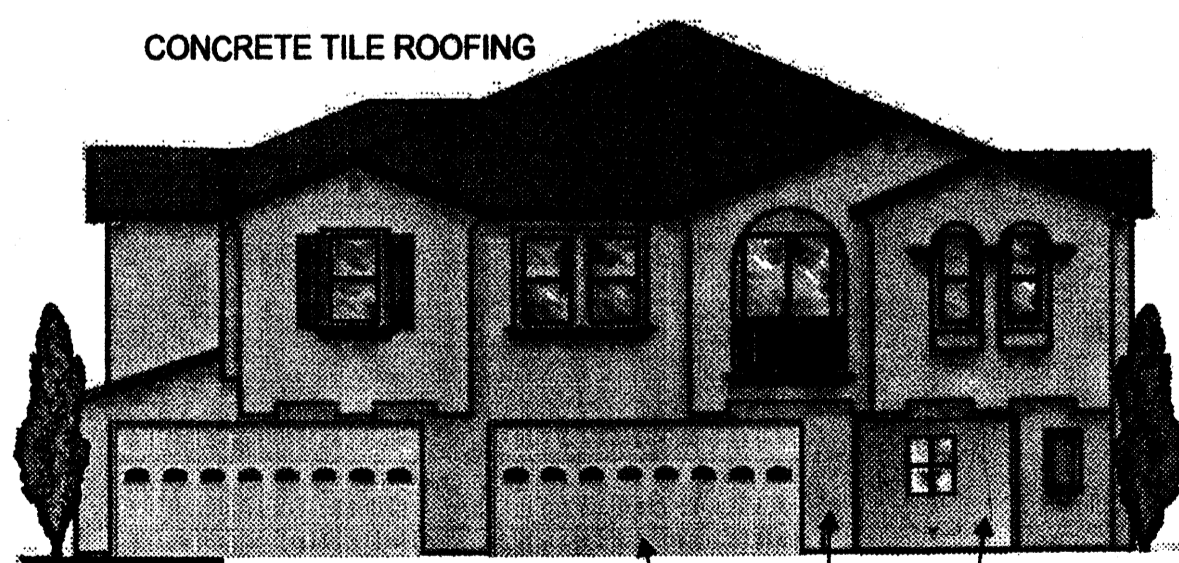
LEFT ELEVATION
SCALE: 1" = 12'-0"



RIGHT ELEVATION
SCALE: 1" = 12'-0"

BUILDING 3P-2

OVERALL BUILDING DIMENSION: 56.75' x 60.2' 3416.35 S.F.
BUILDING HEIGHT: 28.75'
SINGLE FAMILY UNITS PER BLDG: 3
UNIT FOOTAGE:
UNIT 1 - 1153 S.F. + 6/29 S.F. PORCH/BALCONY
UNIT 4 - 1745 S.F. + 86 S.F. PORCH
UNIT 5 - 1821 S.F. + 42 S.F. PORCH

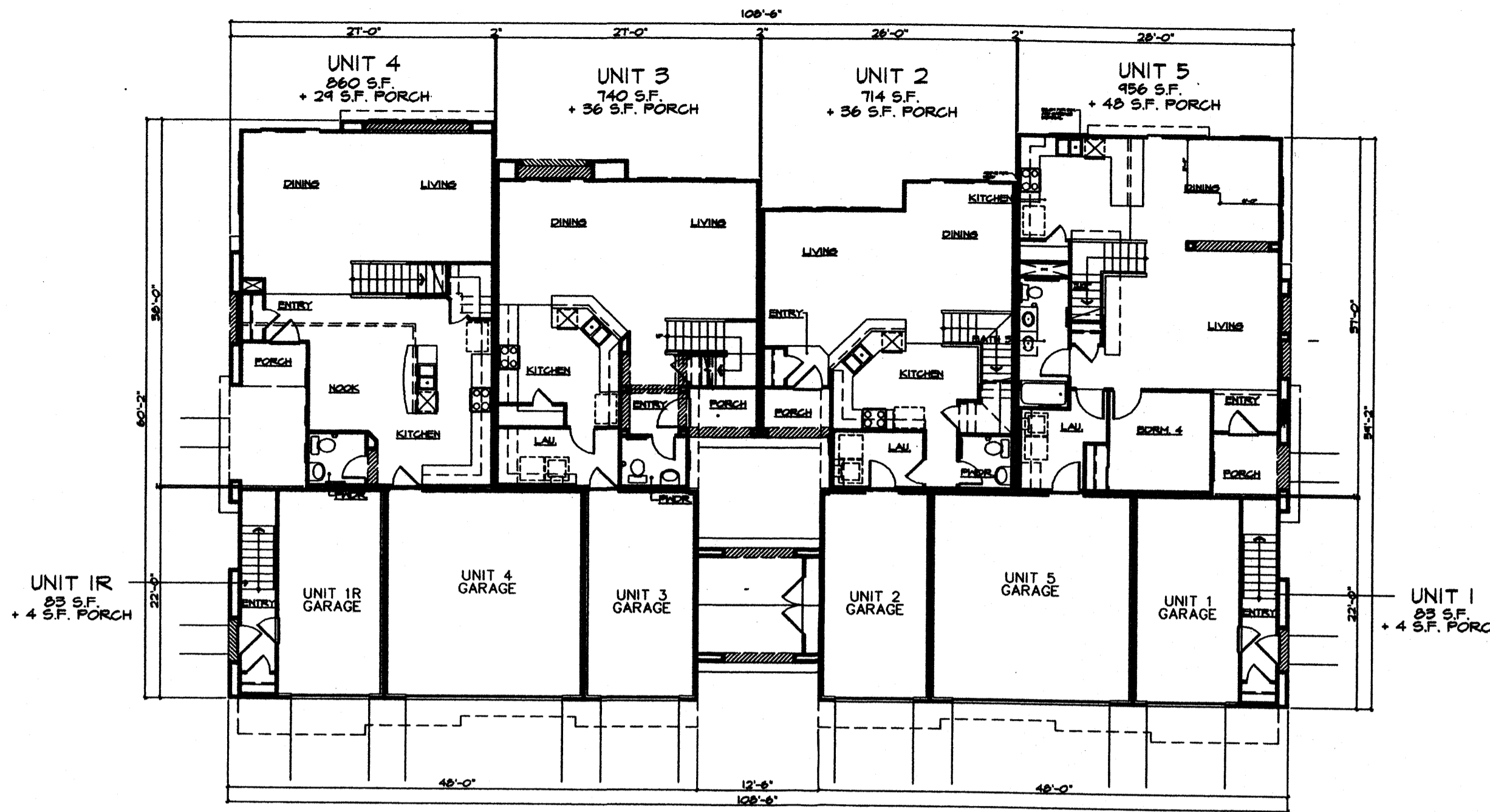


OVERHEAD GARAGE DOOR WITH ARCH WINDOWS
STUCCO EXTERIOR FINISH
"CARRIAGE" GARAGE DOOR WITH WINDOW
FRONT ILLUSTRATION

F:\PROJECTS\N627 KBHOME\Menual School\SDP\Site Plan Subd\Plan_ver5 020206.dwg

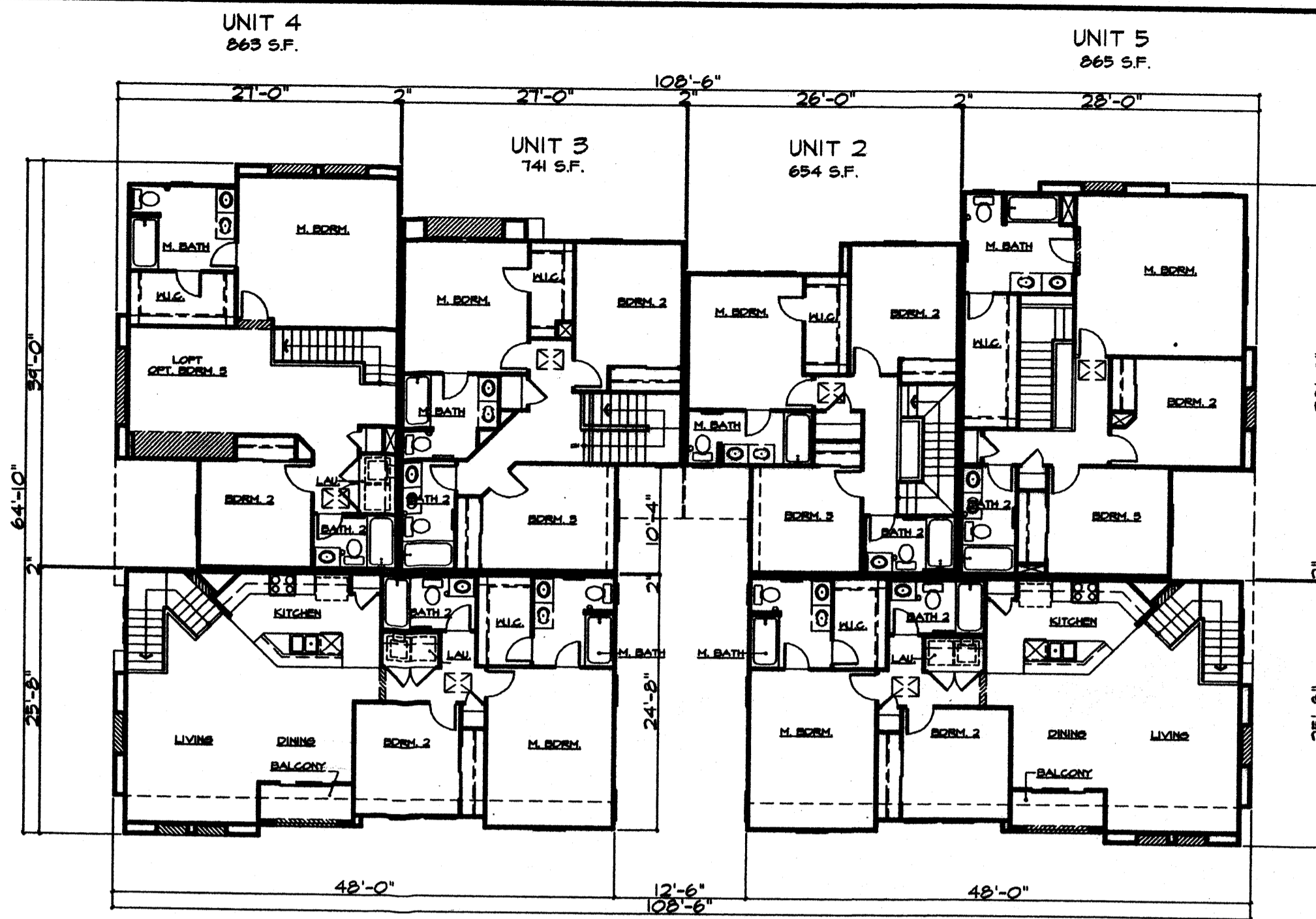
**MENAU SCHOOL CONDOMINIUMS
BUILDING ELEVATIONS
3P-1 AND 3P-2**

DATE:	02/02/06		SHEET
SCALE:	AS SHOWN		9
CREW:	XX/XX		OF
DRAWN:	CAS		11
JOB NO.:	N627		
LAND PLANNING P.O. Box 1328		ENGINEERING Corrales, N.M. 87048	

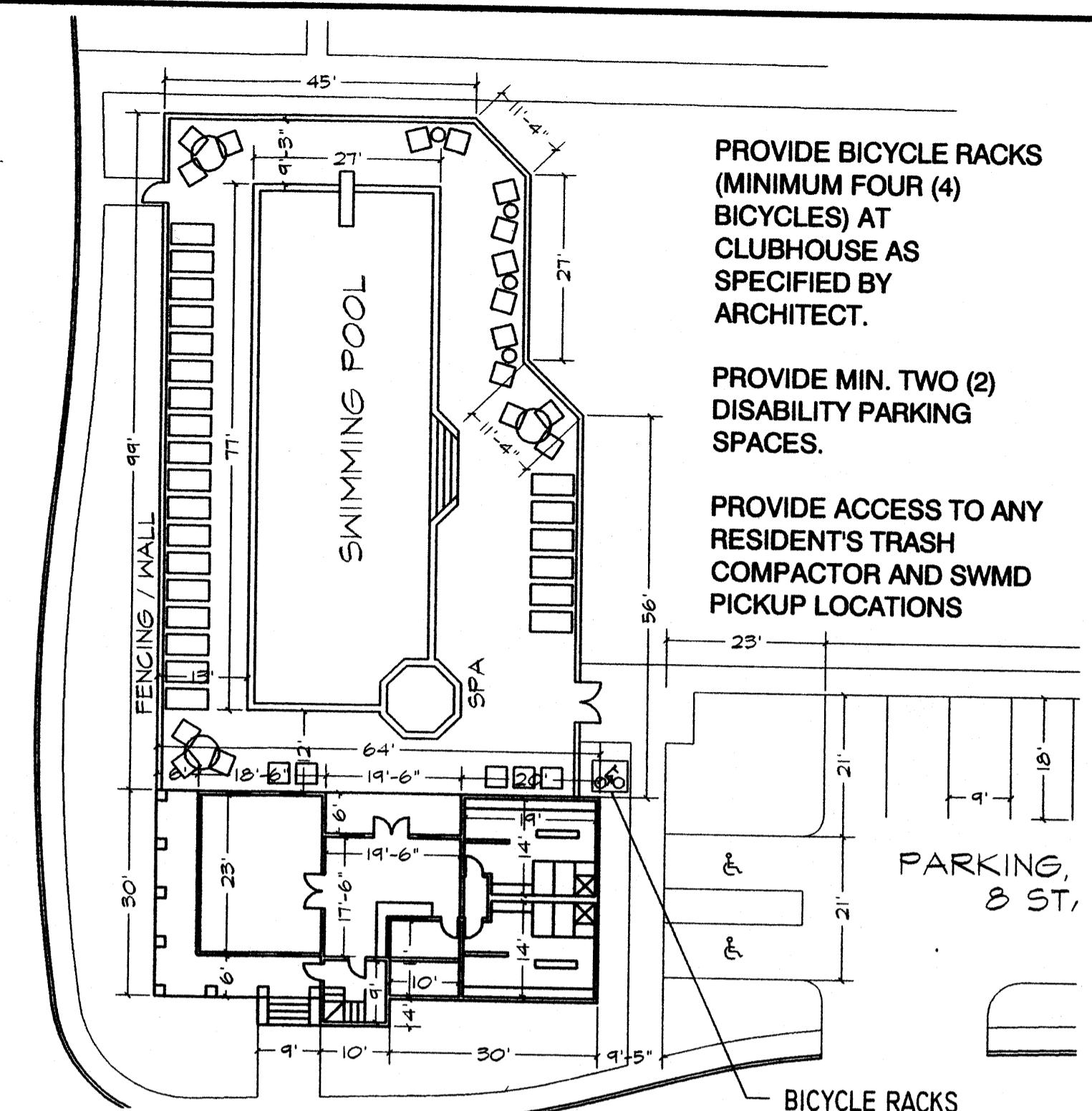


PLAN - GROUND FLOOR
SCALE: 1" = 12'-0"

BUILDING 6P



PLAN - UPPER FLOOR
SCALE: 1" = 12'-0"



PLAN - GROUND FLOOR
SCALE: 1" = 20'

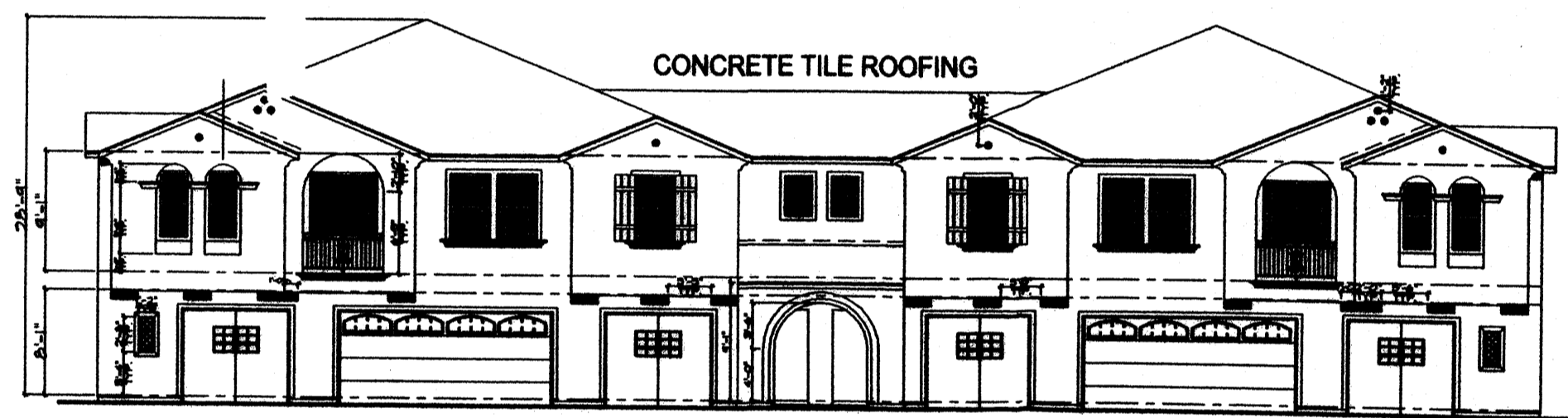
PROVIDE BICYCLE RACKS (MINIMUM FOUR (4) BICYCLES) AT CLUBHOUSE AS SPECIFIED BY ARCHITECT.

PROVIDE MIN. TWO (2) DISABILITY PARKING SPACES.

PROVIDE ACCESS TO ANY RESIDENT'S TRASH COMPACTOR AND SWMD PICKUP LOCATIONS

BICYCLE RACKS

PARKING 8 ST.

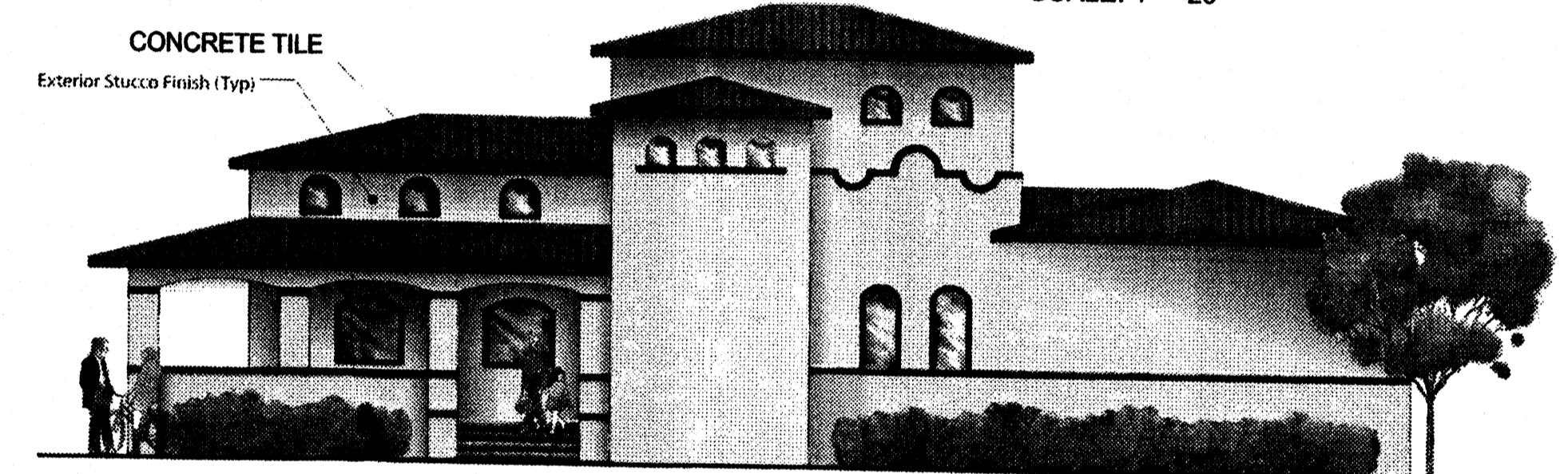


FRONT ELEVATION
SCALE: 1" = 12'-0"

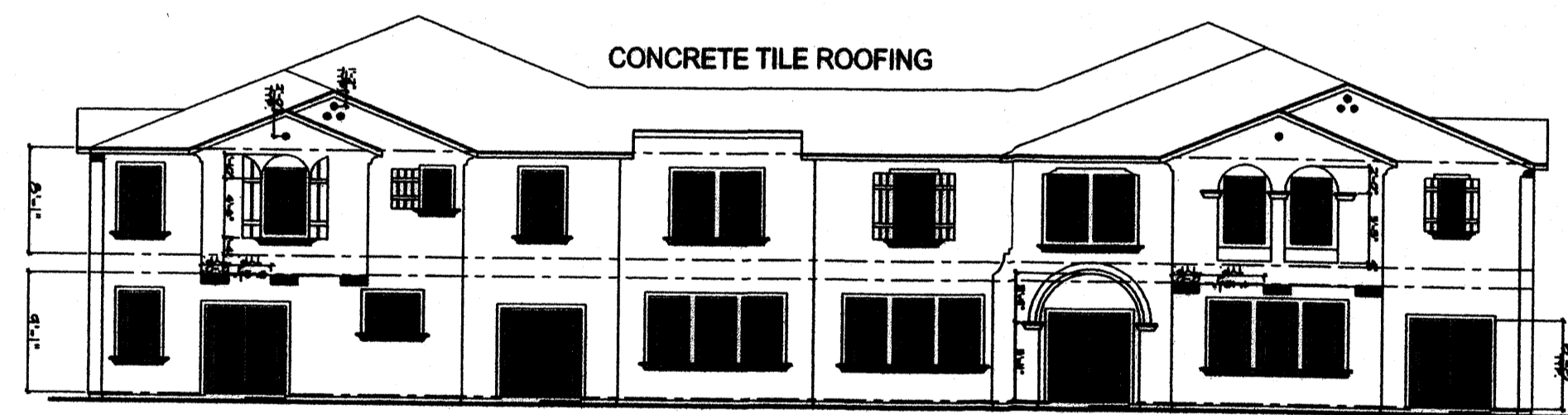


LEFT ELEVATION
SCALE: 1" = 12'-0"

OVERALL BUILDING DIMENSIONS:
108.5' x 60.2' 6531.7 SQ. FT.
BUILDING HEIGHT:
28.75'
SINGLE FAMILY UNITS PER BLDG:
6
SINGLE FAMILY UNIT AREAS:
UNIT 1 - 1153 S.F. + 40 S.F. PORCH
UNIT 2 - 1368 S.F. + 36 S.F. PORCH
UNIT 3 - 1481 S.F. + 36 S.F. PORCH
UNIT 4 - 1723 S.F. + 29 S.F. PORCH
UNIT 5 - 1821 S.F. + 48 S.F. PORCH
UNIT 1R - 1153 S.F. + 40 S.F. PORCH



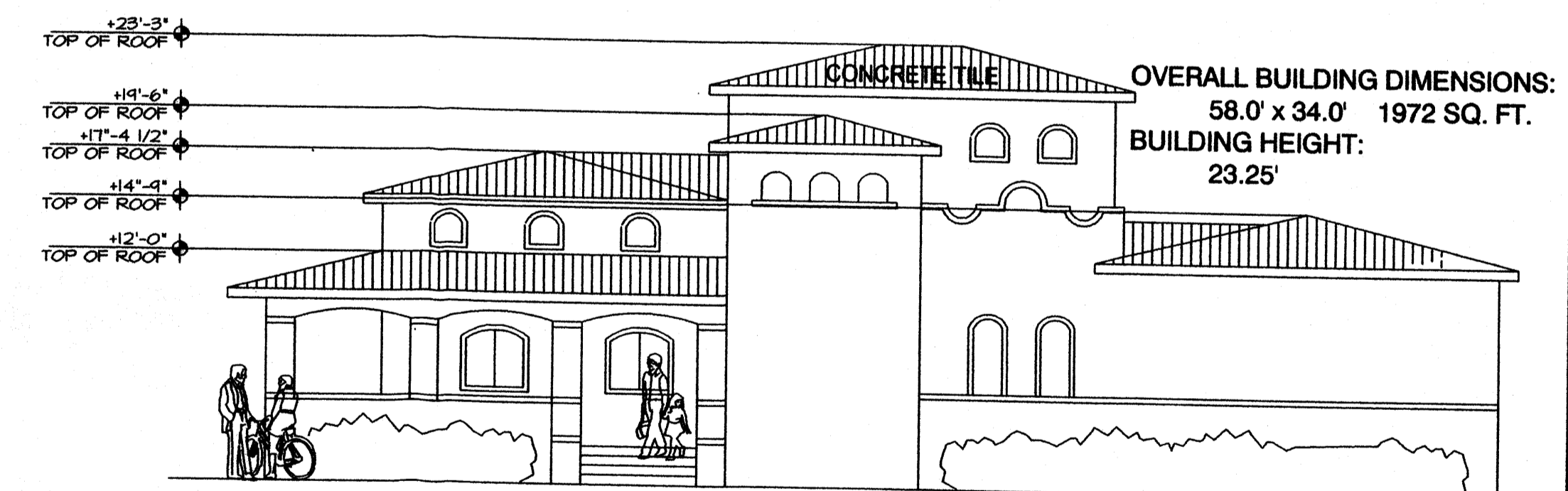
FRONT ILLUSTRATION



REAR ELEVATION
SCALE: 1" = 12'-0"



RIGHT ELEVATION
SCALE: 1" = 12'-0"

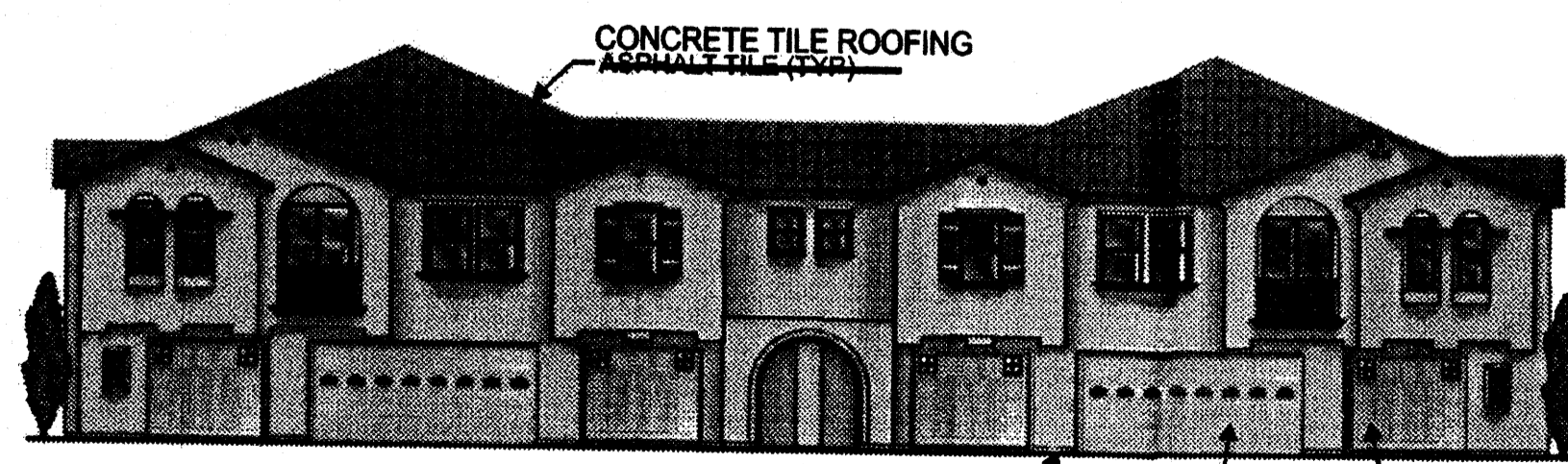


OVERALL BUILDING DIMENSIONS:
58.0' x 34.0' 1972 SQ. FT.
BUILDING HEIGHT:
23.25'

CLUBHOUSE FRONT ELEVATION
CLUBHOUSE BUILDING



REAR ILLUSTRATION



CONCRETE TILE ROOFING
ASPHALT TILE (TYP.)
STUCCO EXTERIOR FINISH
OVERHEAD GARAGE DOOR WITH ARCH WINDOWS
GARAGE ELEVATION
"CARRIAGE" GARAGE DOOR WITH WINDOW

FRONT ILLUSTRATION



RIGHT ILLUSTRATION

F:\PROJECTS\N627 KBHOME\Menu\ School\SDP\Site Plan Subd\Plan_ver5 020206.dwg

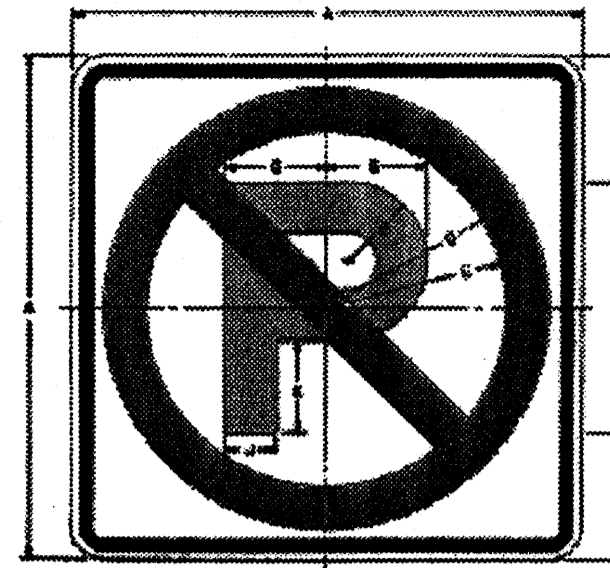
**MENAU SCHOOL CONDOMINIUMS
BUILDING ELEVATIONS
6P AND CLUBHOUSE**

DATE:	2/9/2006	community sciences corporation	SHEET 10 OF 11
SCALE:	AS SHOWN		
CREW:	XXXX		
DRAWN:	JGGMVH		
JOB NO.:	N627		

LAND PLANNING P.O. Box 1328
ENGINEERING Corrales, N.M. 87048
SURVEYING

SIDEWALK AND PAVEMENT COLORATION FOR PEDESTRIAN TRAFFIC:

WALKWAYS CROSSING PAVEMENT (SHEETS 2 AND 3 LOCATIONS): IMPRESSED CONCRETE (E.G. BOMANITE O.A.E.) PATTERN "COBBLESTONE", COLOR = BRICK RED.
 3' INTERNAL WALKS ADJACENT TO PRIVATE STREETS: P.C.C. CONCRETE, SAND FINISH, APPLIED FINISH COLOR = BRICK RED.
 4' STANDARD SIDEWALKS AND VEHICULAR DRIVEPADS: SAND OR BROOM FINISH, COLOR = NATURAL.



COLOR: SYMBOL AND BORDER: BLACK (REFLECTORIZED) RED (REFLECTORIZED) WHITE (REFLECTORIZED)

SIGN SIZE	DIMENSIONS					
	A	B	C	D	E	F
18" x 18"	18	18	3	6	12	12
24" x 24"	24	24	6	12	18	18
36" x 36"	36	36	9	18	24	24

N-MOD-13 SERIES ILLUMINATED BOLLARD

ILLUMINATION SPECIFICATIONS

- FINISH: Die Cast Aluminum
- ANCHOR BOLTS: 1/2" Dia. x 12" Long
- STANDARD FINISH: Anodized Aluminum
- ALTERNATE FINISHES: Paint, Powder Coat, etc.

ILLUMINATION

- POWER SOURCE: 120V AC
- WATTAGE: 100W
- OPERATING HOURS: 24/7

ILLUMINATION COMPANY

UTILITY-5 SERIES

UTILITY-5 SERIES SPECIFICATIONS

- FINISH: Die Cast Aluminum
- ANCHOR BOLTS: 1/2" Dia. x 12" Long
- STANDARD FINISH: Anodized Aluminum
- ALTERNATE FINISHES: Paint, Powder Coat, etc.

UTILITY-5 SERIES SPECIFICATIONS

- POWER SOURCE: 120V AC
- WATTAGE: 100W
- OPERATING HOURS: 24/7

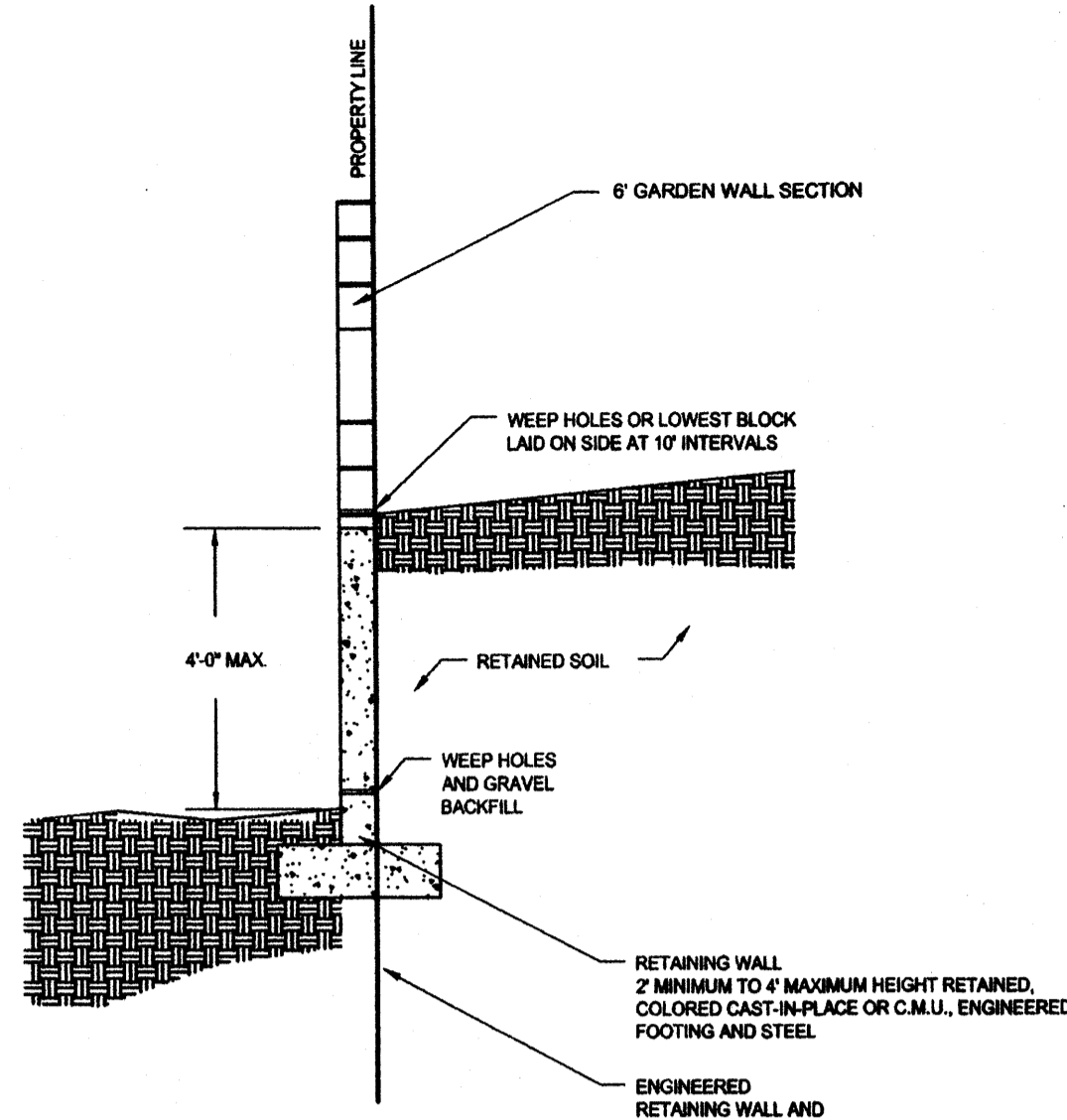
UTILITY-5 SERIES SPECIFICATIONS

BASE & LUMINAIRE

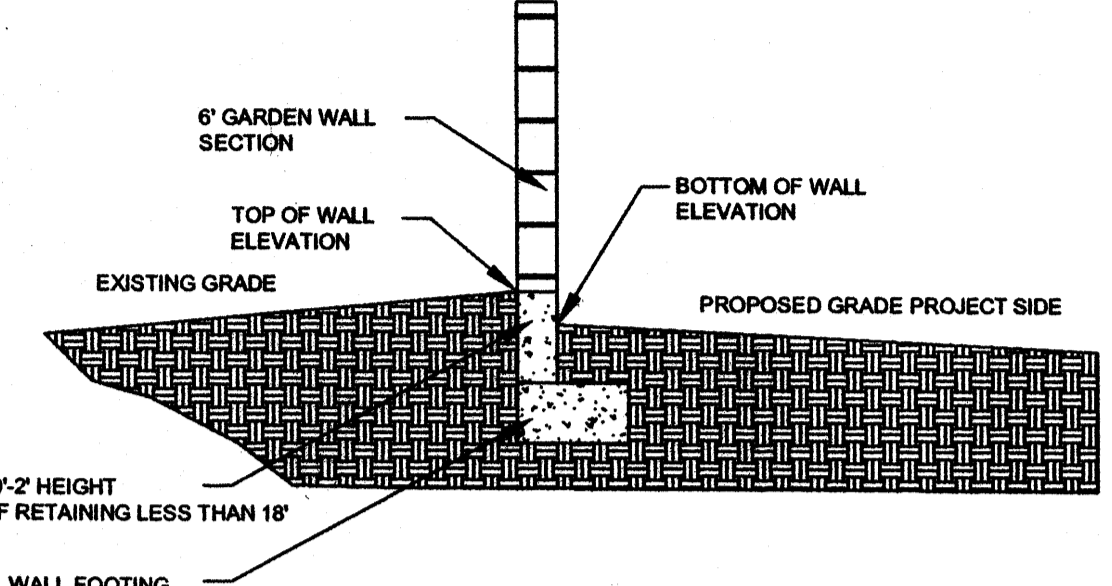
BASE & LUMINAIRE SPECIFICATIONS

- FINISH: Die Cast Aluminum
- ANCHOR BOLTS: 1/2" Dia. x 12" Long
- STANDARD FINISH: Anodized Aluminum
- ALTERNATE FINISHES: Paint, Powder Coat, etc.

BASE & LUMINAIRE SPECIFICATIONS

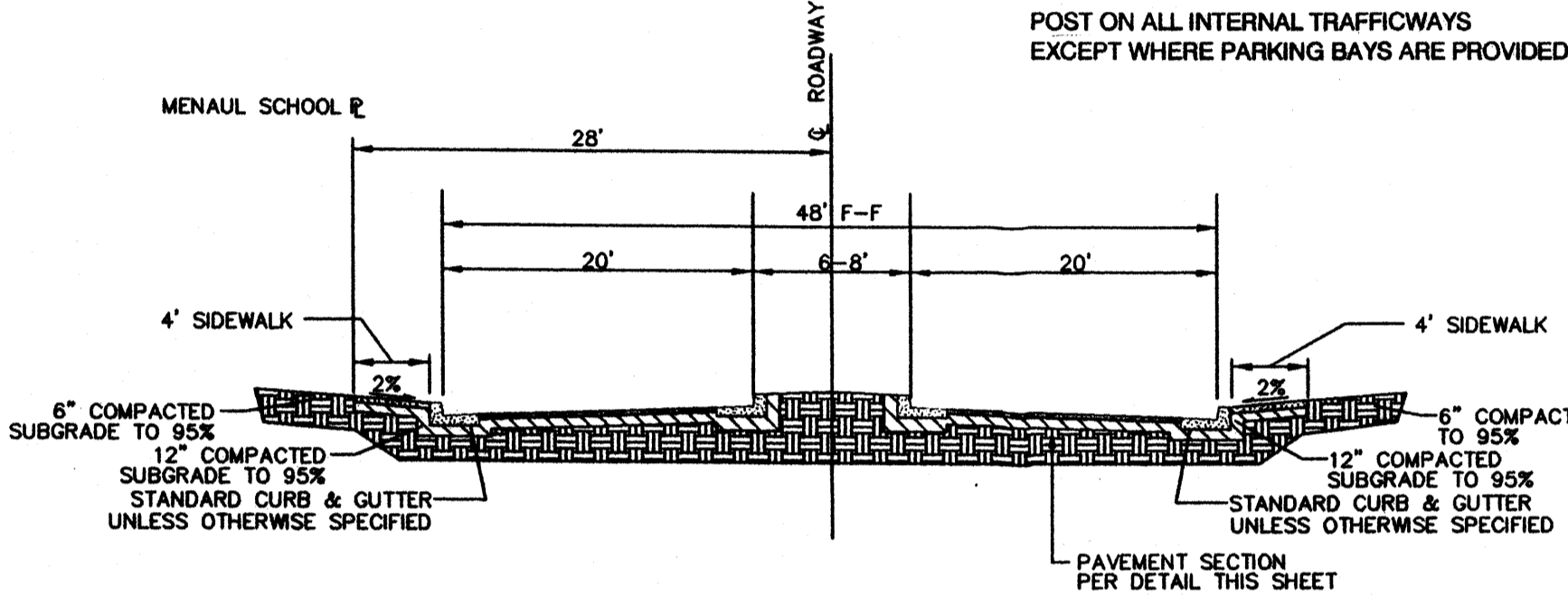


GARDEN WALL AND 4' RETAINING WALL SECTION C-C
N.T.S.



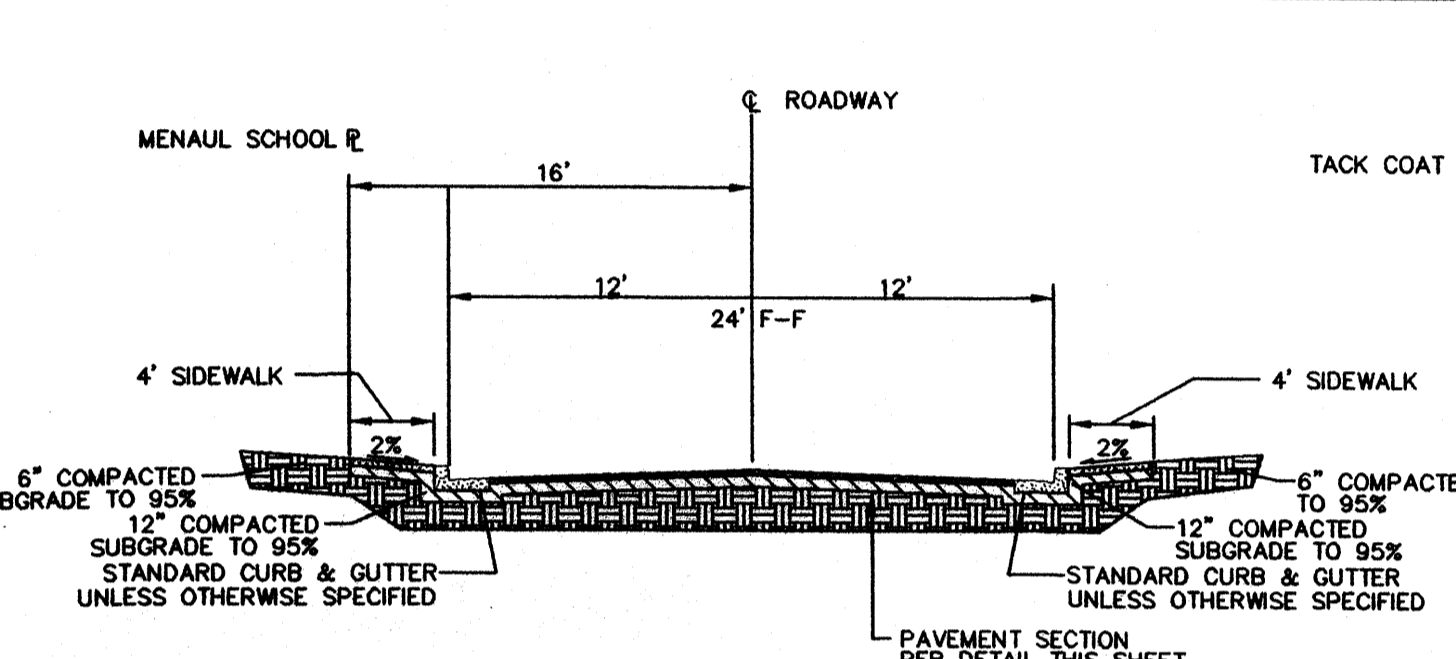
GARDEN WALL AND 0'-2' RETAINING WALL SECTION
N.T.S.

INTERNAL STREET SIGNAGE
POST ON ALL INTERNAL TRAFFICWAYS EXCEPT WHERE PARKING BAYS ARE PROVIDED.



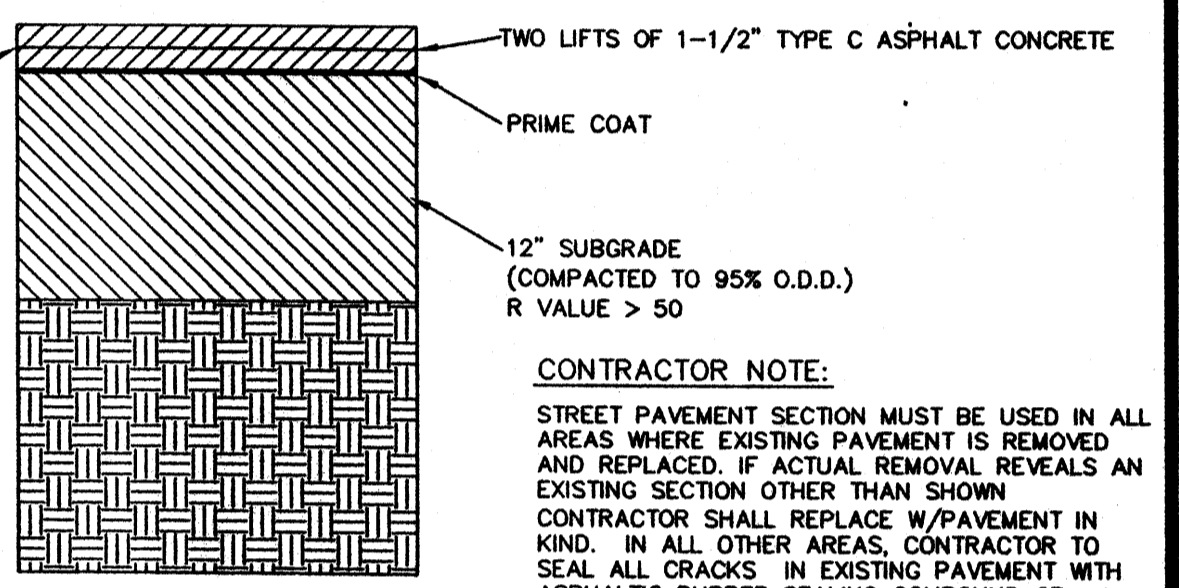
MAIN DRIVE AISLE SECTION W/MEDIAN (48' TYP.)
N.T.S.

PEDESTRIAN WALKWAY LIGHT

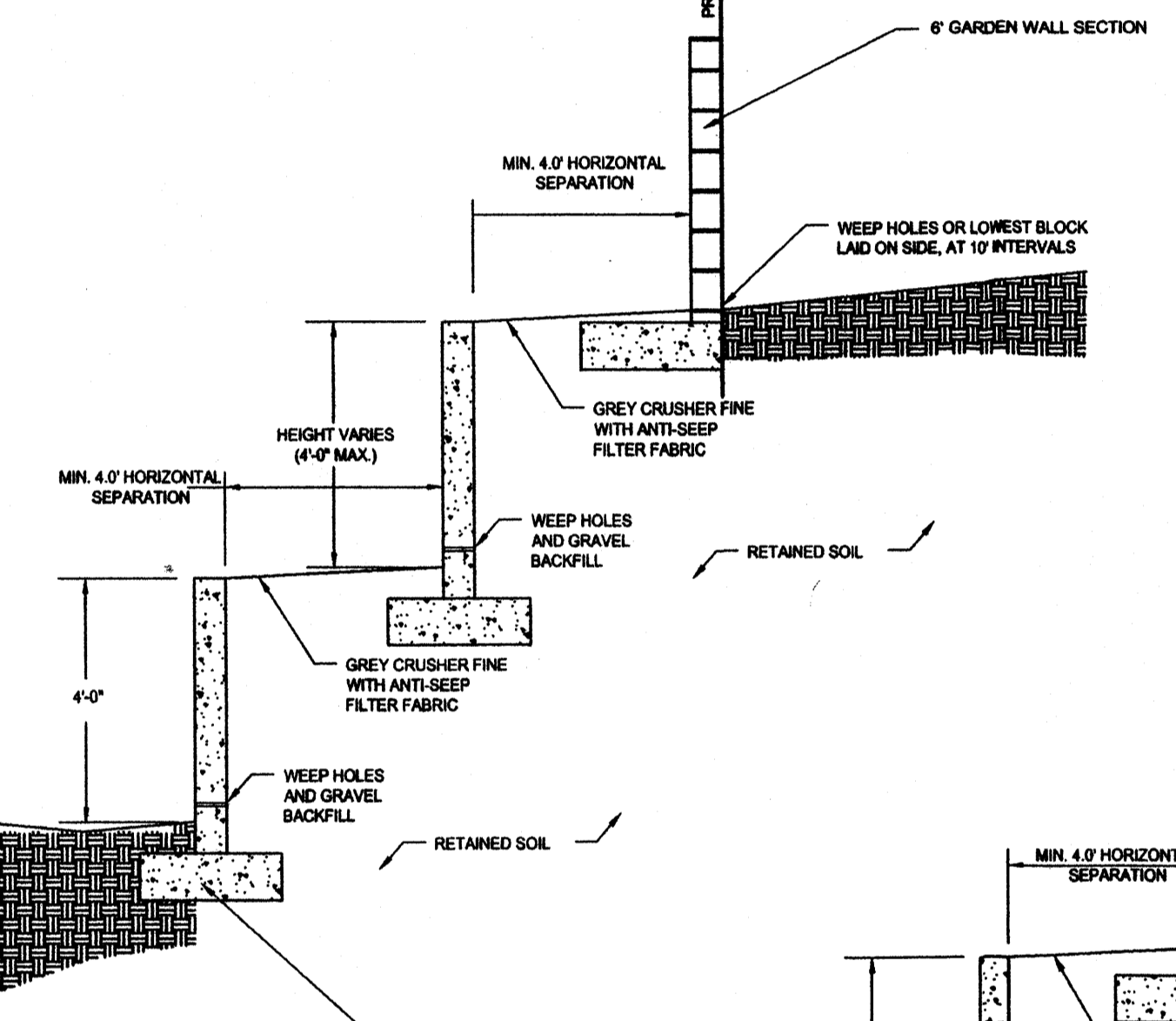


MAIN DRIVE AISLE SECTION (24' TYP.)
N.T.S.

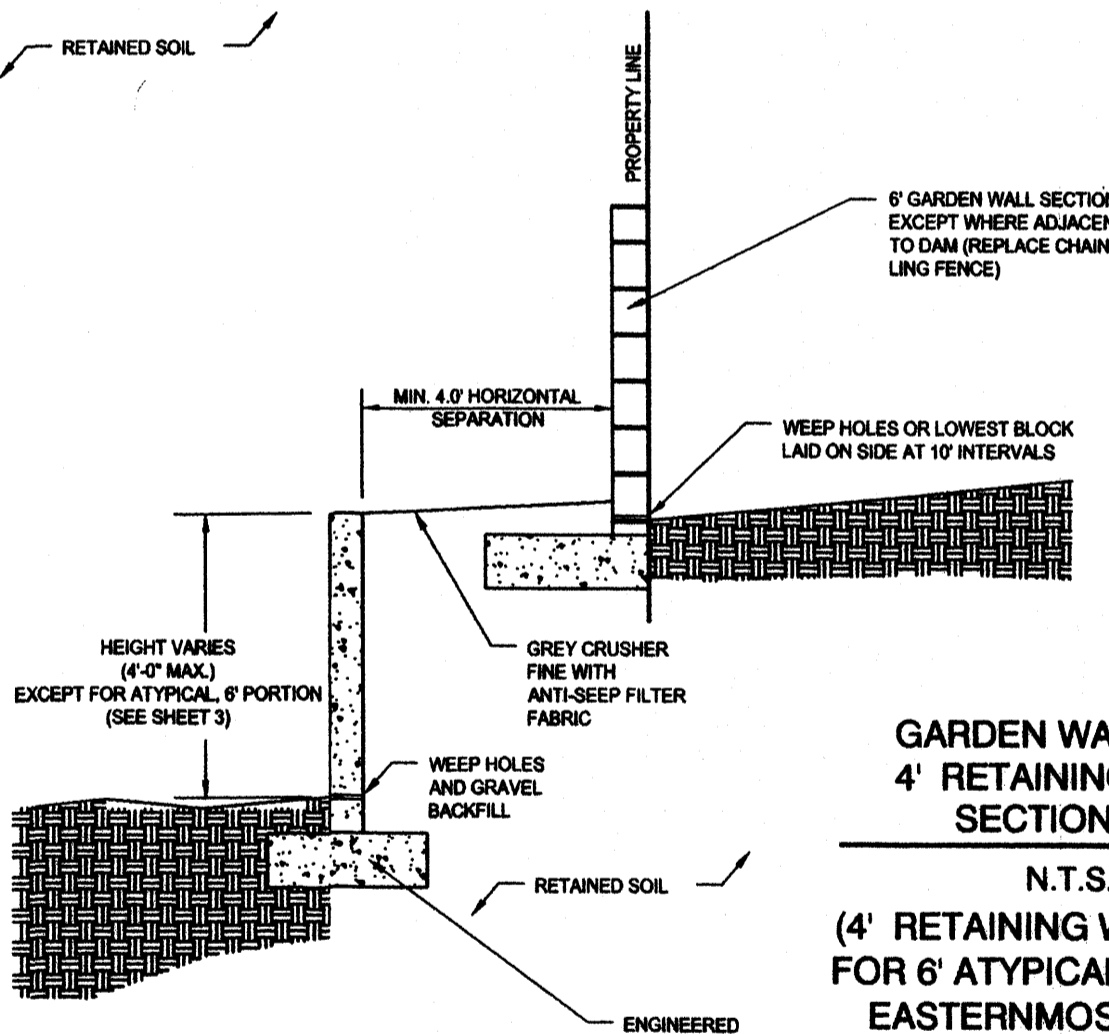
INTERNAL STREET LIGHT STANDARD



TYPICAL PAVEMENT SECTION
N.T.S.



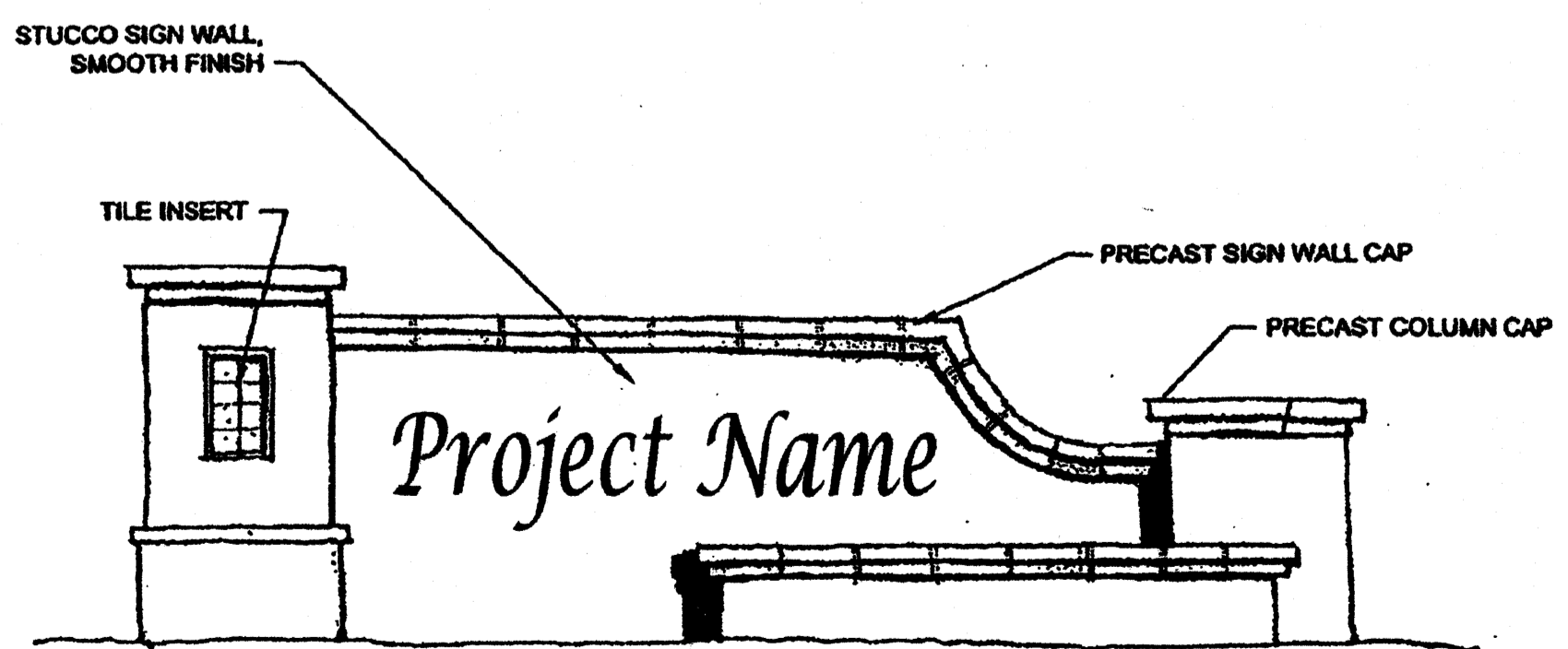
GARDEN WALL AND 2-4' RETAINING WALLS SECTION B-B
N.T.S.



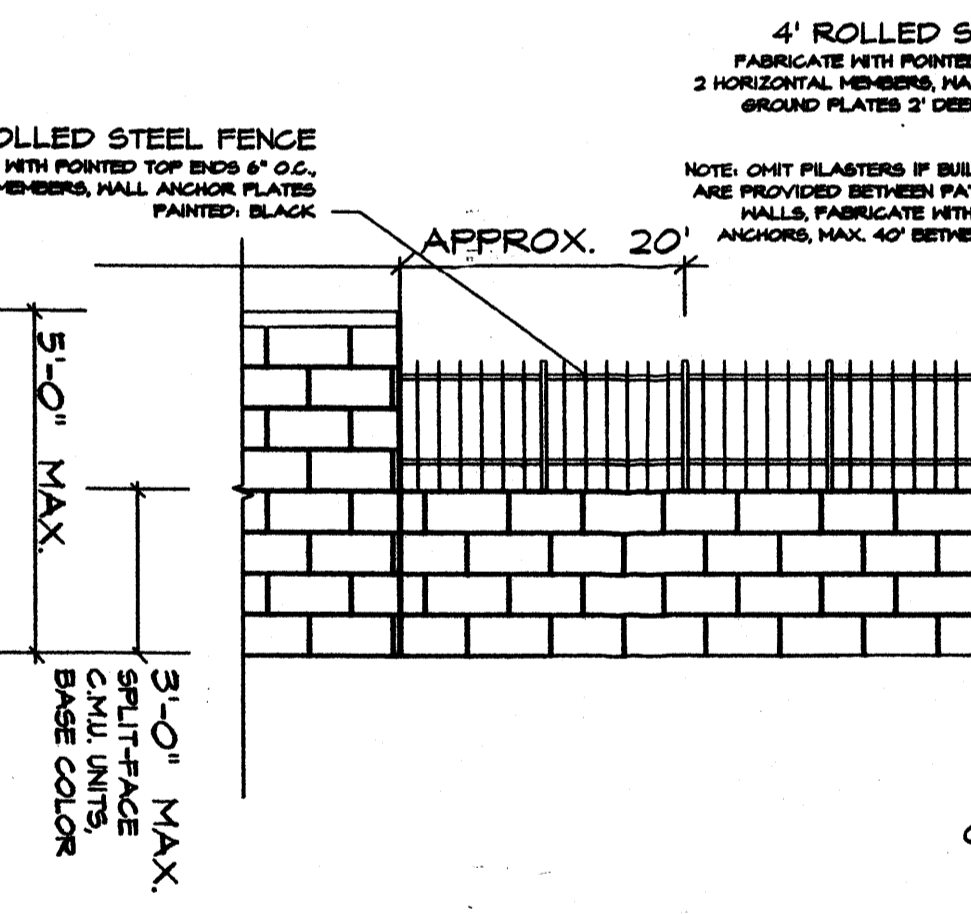
GARDEN WALL AND 4' RETAINING WALL SECTION A-A
N.T.S.
(4' RETAINING WALL EXCEPT FOR 6' ATYPICAL SECTION AT EASTERMOST CORNER, SEE SHEET 2)

REVISIONS PER DRB AND STAFF REVIEWS 3/1/06 AND 2/22/06 CAS

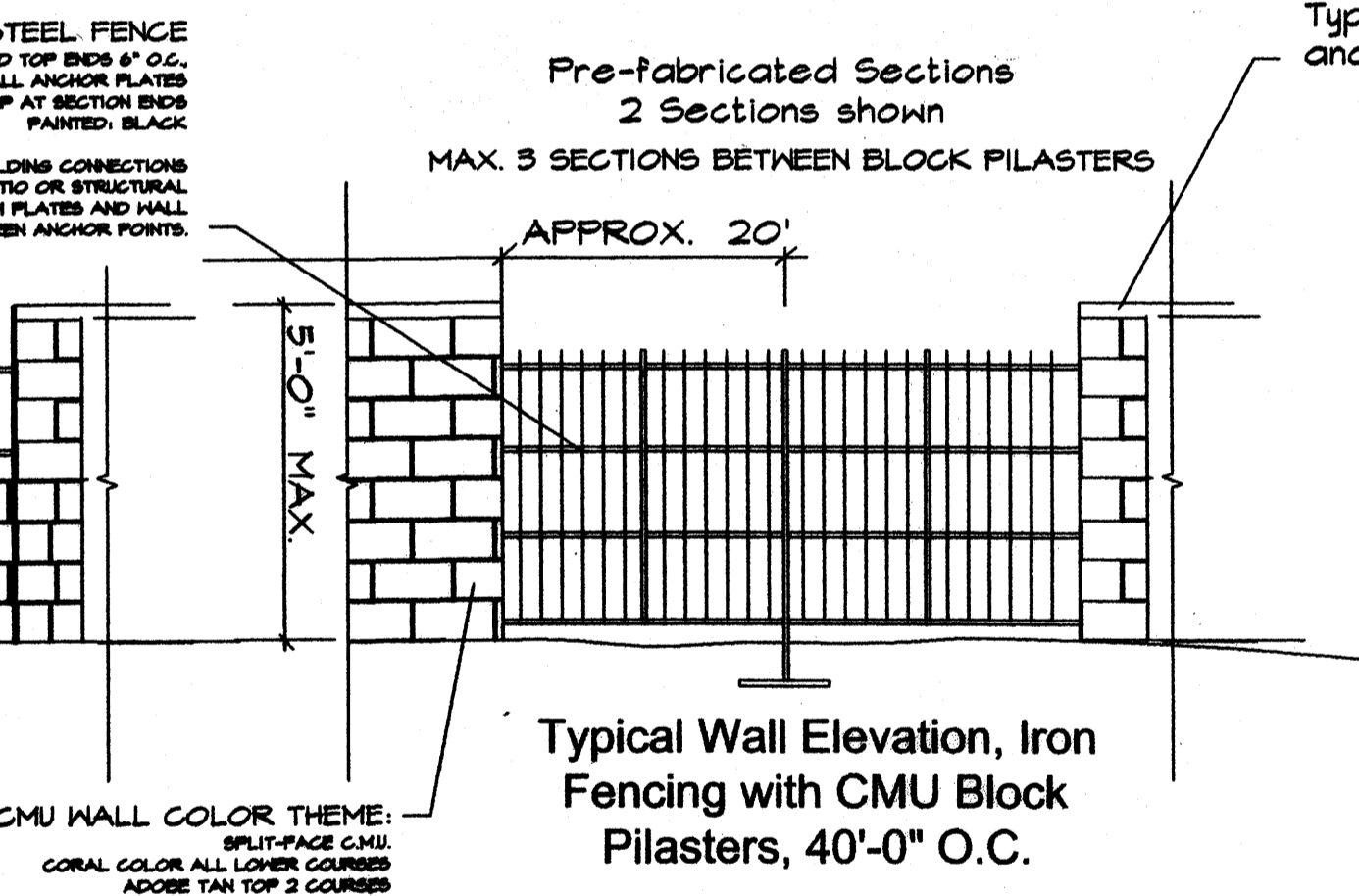
REQUIRED = 4 EACH 5'-0" MAX. HEIGHT 18'-0" MAX. LENGTH AVOID CLEAR SIGHT TRIANGLES AT INTERSECTIONS STUCCO COLOR: CREAM SIGN: PRECUT BROWN ANODIZED LETTERS O.A.E. ATTACHED TO STUCCO FACE NON-ILLUMINATED. CAP BLOCK TO MATCH CONCRETE ROOF COLOR



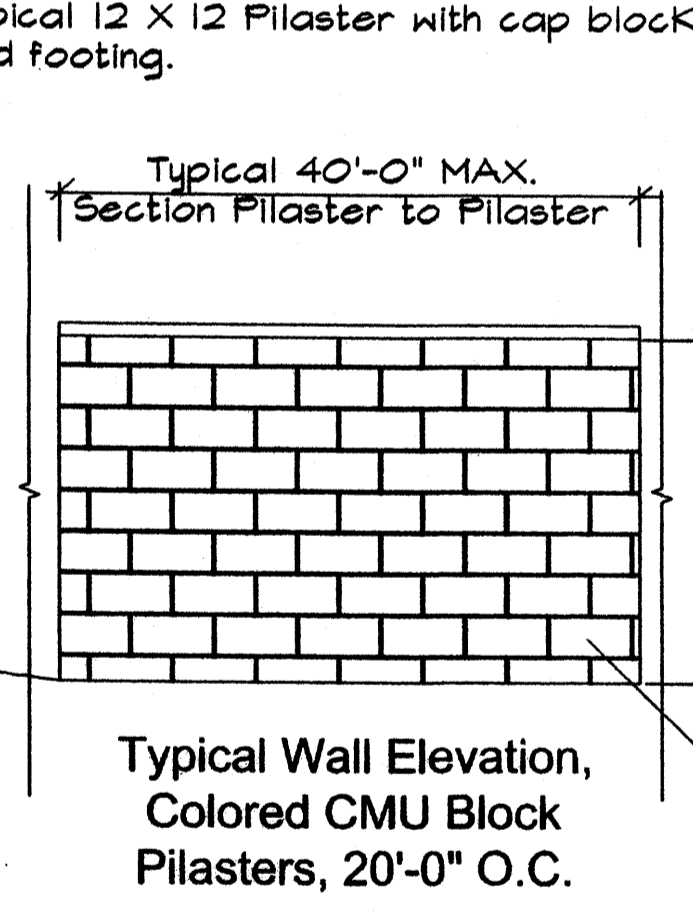
MONUMENT ENTRY SIGN



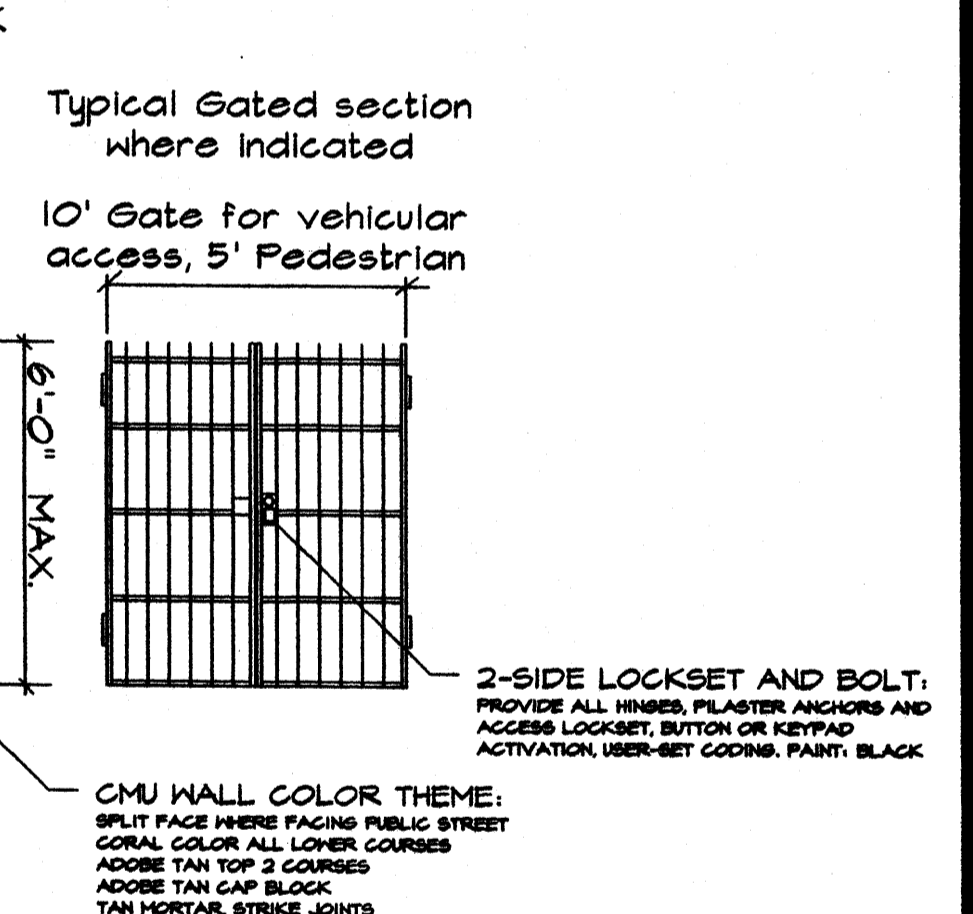
PERIMETER WALL TYPE F-1



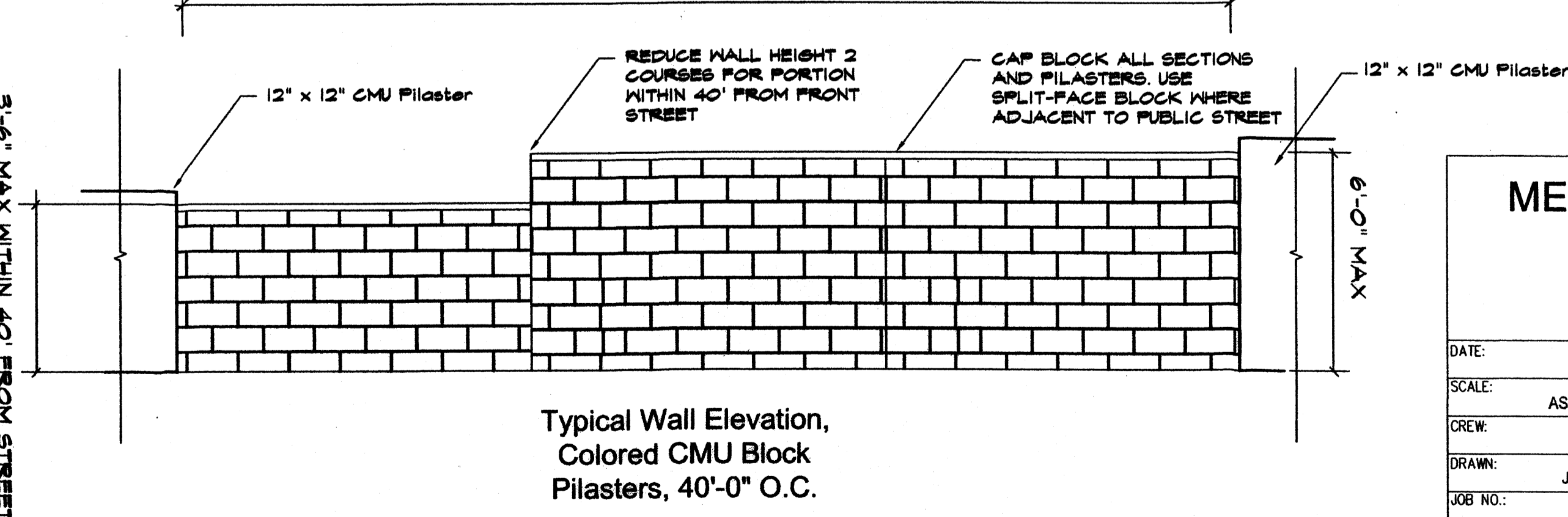
PERIMETER WALL TYPE F-2



PERIMETER WALL TYPE B-1
SEE RETAINING WALL DETAILS WHERE EARTH DIFFERENTIAL OVER 18\"/>



PERIMETER WALL TYPE G-P1 = PEDESTRIAN PERIMETER WALL TYPE G-P2 = VEHICULAR



PERIMETER WALL TYPE B-2

WALLS AND FENCING

\\Csc\projects\N627 KBHOME\Menual School\SDP\Site Plan Subd\Plan_ver5 020206.dwg

MENAUL SCHOOL CONDOMINIUMS WALL, FENCE, SIGNAGE AND DETAILS

DATE:	3/6/2006		SHEET 11 OF 11
SCALE:	AS SHOWN		
CREW:	XX/XX		
DRAWN:	JGG/MVH		
JOB NO.:	N627		
LAND PLANNING	ENGINEERING	SURVEYING	
P.O. Box 1328	Corrales, N.M. 87048		