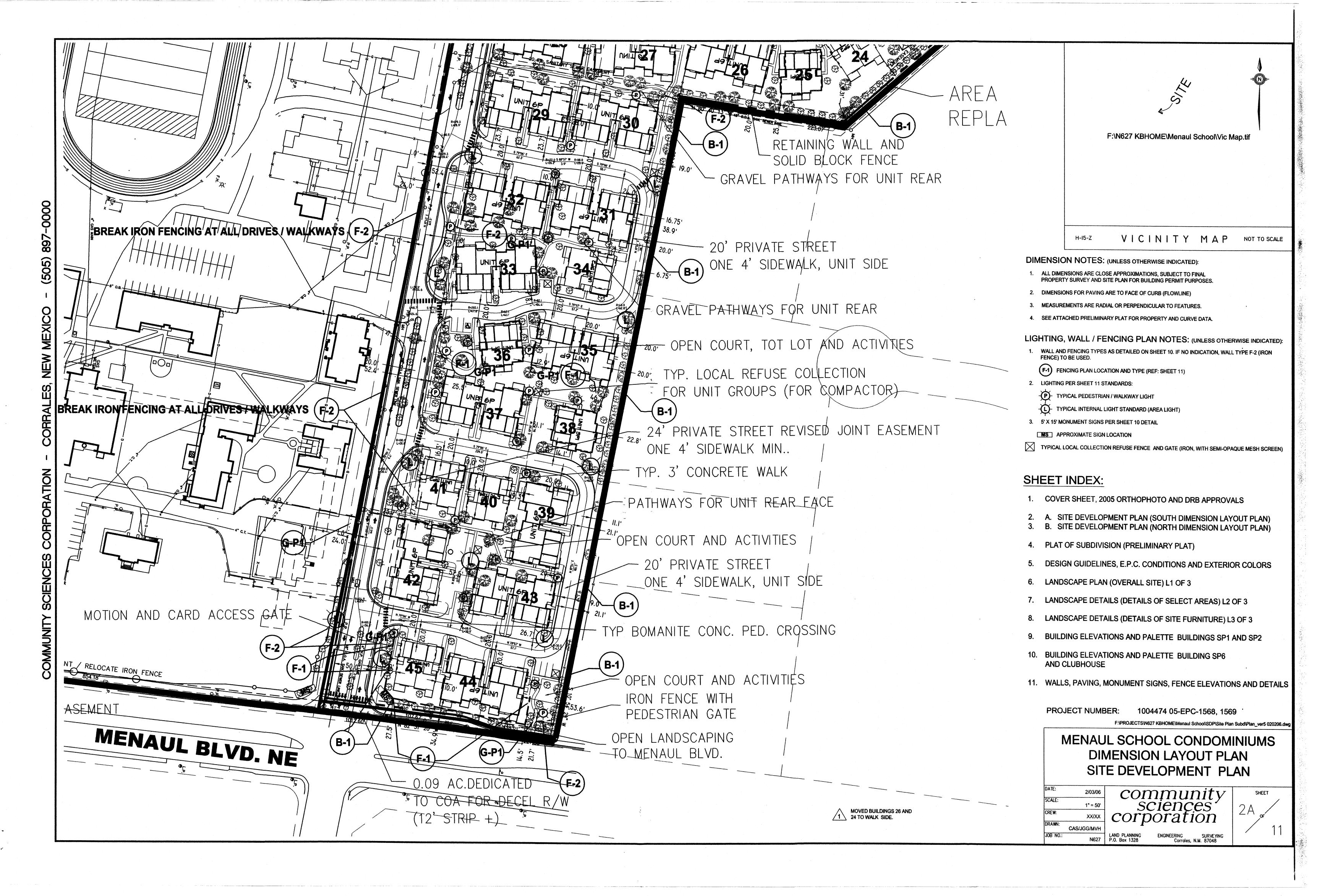
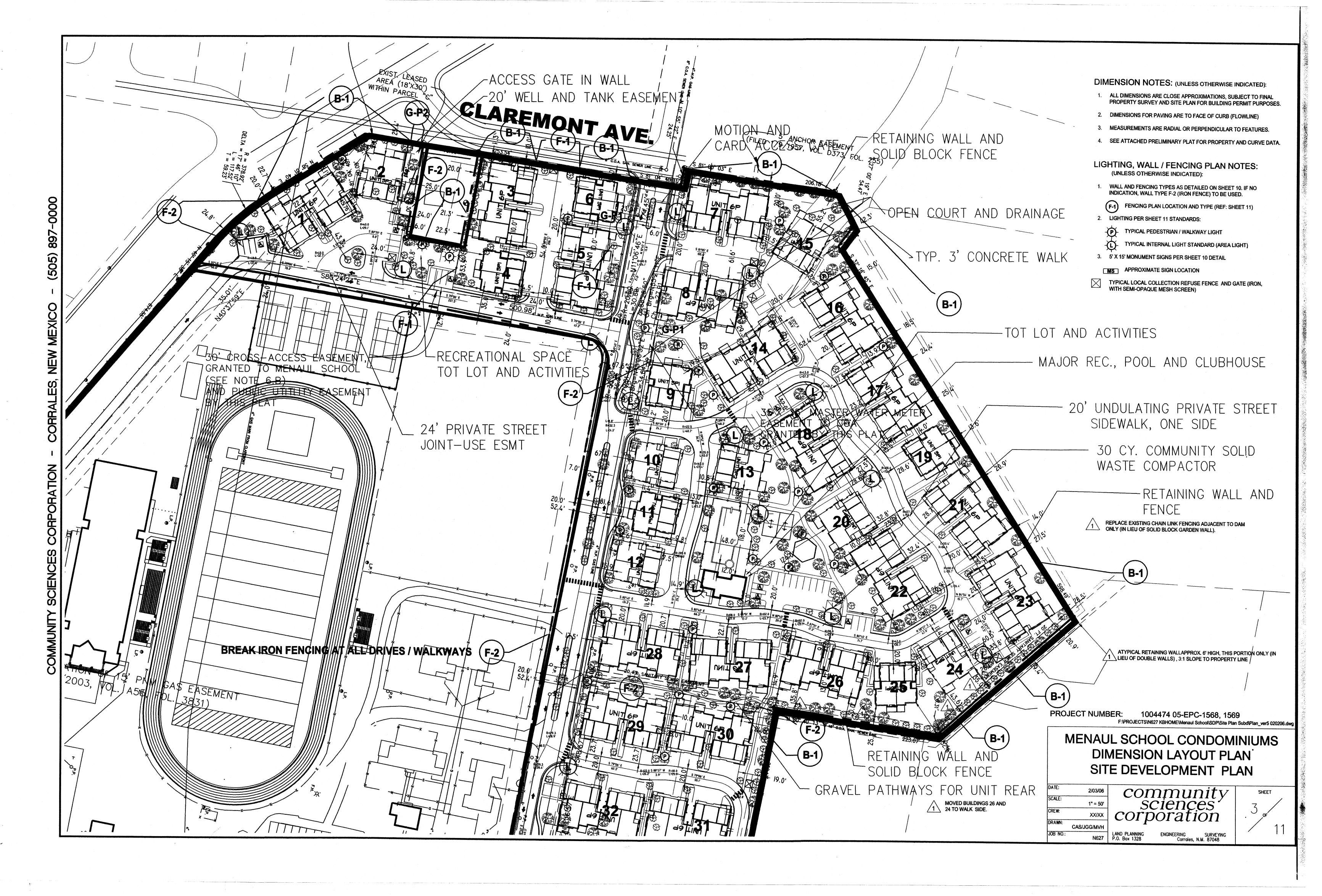


REVISED 03/01/06 PER DRB COMMENTS

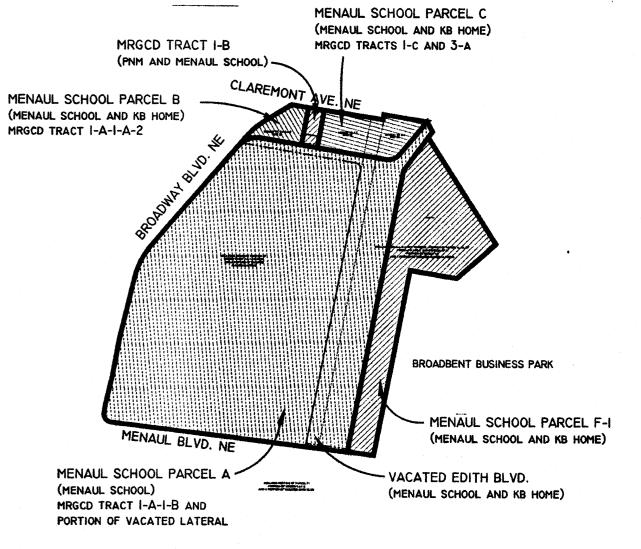




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PLAT OF SUBDIVISION GEOMETRY - BASED ON ALTA, PENDING CITY SURVEYOR AND DRB REVIEW



MAP OF EXISTING LAND PARCELS COMBINED FOR THIS PLAT (N.T.S.)

1004474 05-EPC-1568, 1569 PROJECT NUMBER:

MENAUL SCHOOL CONDOMINIUMS

F:\PROJECTS\N627 KBHOME\Menaul School\SDP\Site Plan Subd\Plan_ver5 020206.dwg

PLAT OF SUBDIVISION

AS SHOWN XX/XX JGG/MVH

community sciences corporation

Corrales, N.M. 87048

SHEET

REVISED 03/01/06 PER DRB COMMENTS

THESE DESIGN GUIDELINES LIST REQUIRED DEVELOPMENT STANDARDS TO ENSURE COMPATIBILITY WITHIN THE SUBDIVISION AND WITH THE SURROUNDING COMMUNITY. THESE STANDARDS, HIGHLIGHTED WITH BULLETS, ARE NOT MEANT TO CURTAIL CREATIVITY, BUT TO CONVEY TO THE DEVELOPMENT A SENSE OF MEANING AND PLACE. WHERE THERE IS A CONFLICT BETWEEN CITY CODES OR ORDINANCES AND THE DESIGN GUIDELINES HEREIN, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.

SITE DESIGN

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THE SITE DESIGN FOR THIS CONDOMINIUM PROJECT IS HEAVILY INFLUENCED BY ITS PROXIMITY TO THE HISTORIC MENAUL SCHOOL DISTRICT AND THE NEIGHBORHOODS SURROUNDING THE SITE. MINDFUL OF THAT, THE PROJECT HAS TRIED TO EMULATE THE BUILDING PLACEMENTS FOUND AT THE CAMPUS, THE OPEN SPACES AND THE VIEW CORRIDORS FOUND THROUGHOUT THE SCHOOL CAMPUS. THE PROJECT HAS PROVIDED PEDESTRIAN COURTYARDS REMINISCENT OF THE SCHOOL GROUNDS. CONNECTIVITY BY WAY OF 3 AND 4 FOOT TRAILS TO SURROUNDING NEIGHBORHOODS WHILE MINIMIZING THE IMPACTS OF THE EXISTING MANUFACTURING LAND USES WITH EXTENSIVE LANDSCAPING AND DRIVE AISLES.

ENTRANCES TO AND FROM MAJOR ARTERIALS, LIKE MENAUL BLVD. PROVIDE AN AREA FOR A STRONG VISUAL IMPACT AND A SENSE OF ARRIVAL, AND PROVIDE AN AREA TO FOSTER PEDESTRIAN CONNECTIVITY AND PROVIDE MULTI-MODAL LINKAGES FOR RESIDENTIAL USE, ARTICULATED BY WALLED ENTRIES AND LANDSCAPING.

- ALL AREAS WITHIN THE DEVELOPMENT DESIGNED FOR PRIVATE AMENITIES SHALL BE PROVIDED ADEQUATE SHADE FROM INTENSE SUNLIGHT BY LANDSCAPING OR ARCHITECTURAL DEVICES.
- COMMON AND RECREATION AREAS SHALL BE PROVIDED THROUGHOUT THE PROJECT AT AREAS DESCRIBED ON THE SITE DEVELOPMENT PLAN.
- PASSAGES INTO THE SITE SHALL BE OPEN AND VISIBLE FROM THE STREET. WITH AMPLE LIGHTING AND WELL-PLACED LANDSCAPING ELEMENTS.
- THE ADOPTED WALL DESIGN GUIDELINES OF THE CITY SHALL APPLY.

THE DRIVE AISLES WITHIN THE INTERIOR COMMON AREAS WILL BE PRIVATE AND WILL BE AT WIDTHS VARYING FROM FORTY EIGHT-FEET(48') TO TWENTY FOUR-FEET (24'), AND

- TWENTY-FEET (20') WITH MEDIANS ALONG THE MAIN DRIVE AISLE. WHERE FIRE HYDRANTS ARE LOCATED ALONG DRIVE AISLES, THE AISLES WILL BE WIDENED SIX-FEET (6') TO ACCOMMODATE VEHICULAR PASSAGE SHOULD AN EMERGENCY VEHICLE BE PARKED.
- THE MAINTENANCE OF DRIVE AISLES WILL BE THE RESPONSIBILITY OF SPECIFIED HOMEOWNERS ASSOCIATIONS.
- BUILDINGS AND STRUCTURES ERECTED WITHIN THE SITE SHALL COMPLY WITH ALL CITY OF ALBUQUERQUE ZONING AND BUILDING CODES, AS WELL AS OTHER STATE AND LOCAL CODES AND ORDINANCES.
- ALL PARKING AREAS WITHIN THE SITE SHALL BE SCREENED BY BUILDINGS OR A COMBINATION OF LANDSCAPING ELEMENTS, AND WALLS OR FENCES.
- INTERNAL STREETS SHALL BE SIGNED "NO PARKING" AND POLICED BY THE ASSOCIATION.

PARKING AND BICYCLES

PARKING IS PROVIDED AT EACH UNIT WITH AN ENCLOSED GARAGE. GARAGES WILL PROVIDE FOR AT LEAST ONE CAR WITH MANY OF THE UNITS PROVIDING PARKING FOR TWO AND IN THE DRIVEWAY. OVERFLOW OR VISITOR PARKING BAYS ARE FOUND ALONG THE DRIVE AISLES THROUGHOUT THE DEVELOPMENT WITH HANDICAPPED PARKING PROVIDED.

- THESE BAYS WILL BE SCREENED FROM SURROUNDING BUILDINGS BY LANDSCAPED. BERMS, PERIMETER, RETAINING, OR GARDEN WALLS AND/OR LANDSCAPING.
- THERE WILL BE BARRIER CURBS AROUND ALL PARKING AREAS IN ORDER TO PROTECT LANDSCAPING FROM VEHICLES.
- BICYCLE PARKING FOR RESIDENTS SHALL BE PROVIDED AT UNIT CLUSTERS TO PROMOTE ALTERNATIVE VEHICLE USE. BICYCLE REQUIREMENTS ARE I SPACE PER 2 DWELLING UNITS FOR RESIDENTIAL LAND USE.
- BICYCLE PARKING (MINIMIM OF 4) AND HANDICAPPED PARKING (MINIMUM OF 2 SPACES) IS REQUIRED FOR THE CLUBHOUSE.
- NO PARKING ALONG THE FORMER EDITH BOULEVARD AND ON VEHICULAR PORTIONS OF INTERNAL STREETS IS ALLOWED, EXCEPT WITHIN PARKING BAYS ALONG THE FORMER EDITH (CURBED INDENTS) AND WITHIN INTERNAL PARKING BAYS.

PERIMETER WALLS AND SCREENING

A SET OF DESIGN GUIDELINES, "DESIGN MANUAL FOR SUBDIVISION ACCESS AND PERIMETER WALLS", HAVE BEEN ADOPTED BY THE CITY OF ALBUQUERQUE PERTAINING TO ACCESS AND WALLS TO ENHANCE PUBLIC SAFETY AND IMPROVE THE VISUAL QUALITY OF THE STREETSCAPE. THESE GUIDELINES SHALL BE INCORPORATED INTO THIS DEVELOPMENT IN ORDER TO BETTER DEFINE SPACES, BE VISUALLY ATTRACTIVE, AND TO COMPLEMENT THE SITE AND SURROUNDING DEVELOPMENTS. THE INTENT OF THESE GUIDELINES IS TO PROVIDE SUPPLEMENTAL INPUT FOR SCREENING, SERVICE FUNCTIONS, AND SECURITY.

WALL TREATMENTS USED IN THIS DEVELOPMENT WILL CONSIST OF THREE DISTINCT

TYPES, COMPOSED OF VARIOUS DESIGN ELEMENTS: ENTRANCE WALLS WILL PROMOTE AN VISUALLY ATTRACTIVE ENTRY, PROMOTING THE DEVELOPMENT NAME AND INCORPORATING A VARIETY OF MATERIALS, SUCH AS STONE. TILE AND STUCCO, ENHANCED WITH LANDSCAPING:

DECORATIVE PERIMETER WALLS, WITH A MAXIMUM HEIGHT OF 6 FEETAND STUCCO FINISH, WILL MAKE USE OF COLUMNS AND INDENTS TO PROMOTE VISUAL RELIEF ALONG THE EASTERN EDGE OF THE DEVELOPMENT. PERIMETER WALLS ALONG THE SCHOOL SIDE WILL BE VIEW WALLS, MADE WITH IRON FENCING TO PROVIDE VIEWS INTO THE SCHOOL AND TO PROMOTE A SHARED SPACE BETWEEN THE SCHOOL AND RESIDENTS; AND, INTERIOR PRIVACY WALLS, WITH A MAXIMUM HEIGHT OF 4 FEET, TO CREATE INTIMATE, PRIVATE AREAS FOR EATING AND RELAXING, WHILE STILL RETAINING A FEELING OF COMMUNITY.

- ALL EXTERIOR WALLS WILL RESPECT A 35-FOOT CLEAR SIGHT TRIANGLE AT
- MECHANICAL EQUIPMENT AND REFUSE ENCLOSURES, WHETHER ON ROOF AREAS OR AT STREET LEVEL, SHALL BE FULLY SCREENED FROM PEDESTRIANS AND MOTORISTS. THE SCREENING SHALL BE GREATER THAN OR EQUAL TO THE TOP OF ALL HVAC EQUIPMENT, INCLUDING SCREEN WALLS. THE WALLS SHALL BE MADE WITH COMPATIBLE MATERIALS AND DESIGNED TO INTEGRATE ARCHITECTURALLY INTO THE
- ALL COMMON AREA REFUSE BINS SHALL BE ENCLOSED WITHIN A SOLID WALL, WITH GATES AND ORIENTATION ACCEPTABLE TO THE SOLID WASTE MANAGEMENT.
- THE USE OF CHAINLINK, RAZOR WIRE, BARBED WIRE, OR VINYL FENCING SHALL NOT BE PERMITTED

ROAD AND DRIVE AISLE LAYOUT

THE INTELLIGENT LAYOUT OF ROADWAYS IS A PREREQUISITE TO BENEFICIAL USE OF SPACE WITHIN A SITE. A SITE MUST HAVE AN ACCESS SYSTEM CAPABLE OF SAFE AND DIRECT VEHICULAR AND PEDESTRIAN TRAVEL.

ALL DRIVE AISLES LOCATED WITHIN THIS DEVELOPMENT WILL BE PRIVATE. THE DRIVE AISLES WILL BE GATED AT MENAUL BLVD TO THE SOUTH AND AT EDITH BLVD/CLAREMONT AVE TO THE NORTH, WITH POSTED RESTRICTIONS FOR DAILY USE. THE MAIN DRIVE AISLE CONNECTING MENAUL TO EDITH WILL HAVE WIDTHS OF FORTY EIGHT-FEET (48') TO TWENTY FOUR-FEET (24'), WITH MEDIANS IN THE WIDER DRIVE AISLES. ALL INTERSECTING INTERNAL DRIVE AISLES WILL BE TWENTY-FEET (20'). DRIVE AISLES WILL BE WIDENED TO ACCOMMODATE EMERGENCY VEHICLES PARKED AT FIRE HYDRANTS. CURVE RADII ARE THIRTY-FEET (30') TO ACCOMMODATE EMERGENCY VEHICLES.

 CROSSWALK MATERIALS AT INTERSECTIONS SHALL BE DISTINGUISHED FROM THE EXISTING ROADWAY MATERIAL WITH STRIPING OR TEXTURED CONCRETE TO ELIMINATE THE CONCERNS OF UNEVEN SURFACES AND CREVICES AND TO PROVIDE DEFINITION OF THE CROSSING.

SITE/BUILDING LIGHTING

LIGHTING SERVES TO ENHANCE THE SAFETY, SECURITY, AND VISUAL AESTHETICS OF THE PROPERTY. IT IS IMPORTANT TO CONSIDER THE LOCATION OF LIGHTING, THE HEIGHT AND PLACEMENT, AND DESIGN PREREQUISITES FOR ILLUMINATION.

- LIGHTING SHALL BE A MAXIMUM OF 12-FEET HIGH FOR LIGHT STANDARDS FOR WALKWAYS AND 16-FEET FOR ROADWAYS AND PARKING AREAS WITHIN THE DEVELOPMENT.
- SODIUM LIGHTING IS NOT ACCEPTABLE.
- STREET LIGHTING SHALL BE SHEILDED SOURCE, DOWN-DIRECTED, AND THE COLOR. STYLE AND DESIGN OF FIXTURES MUST BE CONSISTENT AND RELATE STYLISTICALLY TO THE ARCHITECTURE OF THE SITE AND SURROUNDING BUILDINGS.

PEDESTRIAN CONNECTIONS AND TRAILS

PEDESTRIAN CONNECTIONS PROVIDE DIRECT ACCESS TO VARIOUS POINTS WITHIN THE DEVELOPMENT, AS WELL AS TO OUTLYING AREAS, INCLUDING MENAUL SCHOOL, TRANSIT LOCATIONS, BIKEWAYS AND THE SURROUNDING NEIGHBORHOODS. THE FOLLOWING CRITERIA SERVES TO CREATE A PEDESTRIAN FRIENDLY ENVIRONMENT AND PROMOTE ALTERNATIVE MODES OF TRAVEL.

- FOUR-FOOT SIDEWALKS WILL BE PROVIDED ALONG THE MAIN DRIVE AISLE BETWEEN THE
- RESIDENTIAL DEVELOPMENT AND THE SCHOOL. THREE-FOOT MEANDERING, PRIVATE WALKWAYS SHALL BE PROVIDED THROUGHOUT THE RESIDENTIAL COMMON AREAS, PROVIDING ACCESS TO THE CLUBHOUSE, POOL AND RECREATIONAL AREAS WITHIN THE DEVELOPMENT.
- A PRIVATE WALKWAY SHALL BE PROVIDED ALONG ONE OR BOTH SIDES OF INTERNAL DRIVE AISLES LOCATED WITHIN THE RESIDENTIAL COMMON AREAS. CONCRETE COLOR = BRICK RED.
- THE MAXIMUM SLOPE OF TRAILS AND WALKWAYS SHALL MEET A.D.A. REQUIREMENTS.
- PRIVATE PEDESTRIAN LINKAGES SHALL ALIGN WITH PUBLIC PATHS TO CONNECT AND INTEGRATE THE SITE.
- PEDESTRIAN STREET CROSSINGS ON INTERNAL STREETS, WHERE SHOWN, SHALL BE BRICK COLORED, IMPRESSED CONCRETE (E.G. "BOMANITE") WITH A COBBLESTONE BRICK FINISH. IMPRESSIONS MUST COMPLY WITH A.D.A. STANDARDS (1/8" MAX.).

LANDSCAPE

THE OVERALL LANDSCAPE CONCEPT WILL UNIFY THE SITE INTO A SERIES OF OUTDOOR LIVING PLACES WHERE PEOPLE CAN WORK, PLAY, AND RELAX. LANDSCAPING INCLUDES AN UNDERSTANDING OF THE SITE LOCALE, EXISTING SITE CONDITIONS, THE DESIRED USES, AND THE RELATIONSHIP OF LOCAL MUNICIPAL POLICIES GOVERNING BUILDINGS AND LANDSCAPE. THESE GUIDELINES SUPPLEMENT THE CITY'S REQUIREMENTS FOUND IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, THE POLLEN ORDINANCE, AND OTHER LANDSCAPE REGULATIONS INCLUDED IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE.

- LANDSCAPE MATERIALS SHALL BE USED TO TRANSITION BETWEEN DIFFERING LAND USES. A MINIMUM OF TWENTY-FEET (20'), INCLUDING DRIVE AISLES, SHALL BE PROVIDED TO BUFFER UNLIKE LAND USES. EVERGREEN AND/OR CONIFER TREES SHALL BE USED WITHIN SUCH AREAS.
- LANDSCAPE DESIGN ALONG THE DRIVE AISLES, ESPECIALLY ALONG THE SHARED DRIVE AISLE WITH THE SCHOOL, SHALL PRESENT A COMPLEMENTARY LANDSCAPE PALETTE AND SHALL BE CONSISTENT THROUGHOUT THE DEVELOPMENT.
- LANDSCAPE ELEMENTS SHALL BE USED TO REINFORCE THE STREETSCAPE. • SITE AMENITIES, SUCH AS RAMADAS, COURTYARDS, LIGHTING, RECREATIONAL FACILITIES, BOLLARDS, AND OUTDOOR FURNITURE SHALL BE PART OF THE DEVELOPMENT PLAN AND BE COMPATIBLE WITH THE ARCHITECTURAL AND LANDSCAPE
- . A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE DESIGNED AS PART OF THE LANDSCAPING PLAN. THE SYSTEM SHALL BE DESIGNED TO AVOID OVERSPRAYING WALKS, BUILDINGS, WALLS, ETC.
- . HOMEOWNERS ASSOCIATIONS SHALL MAINTAIN ALL COMMON AREA LANDSCAPING,
- AMENITIES, AND INTERIOR TRAILS. • THE CITY'S WATER CONSERVATION ORDINANCE APPLIES TO ALL LANDSCAPING.

REFUSE

TREATMENT OF THE SITE

FINISH, COLOR = NATURAL

- A COMMON REFUSE CONTAINER WILL BE PROVIDED BY THE CLUBHOUSE FOR PICKUP BY THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT (30 C.Y. SUGGESTED).
- INDIVIDUAL AND COMMON-UNIT COLLECTION AREAS (ENCLOSED 3' HIGH IRON FENCING WITH OPAQUE SCREENING)) ARE DESIGNATED FOR PERIODIC PICKUP BY INDEPENDENT CARRIER OR THE ASSOCIATION. THE LOCATIONS SHALL BE DISCREET, LANDSCAPED (WHERE POSSIBLE) AND SHALL NOT BE PREDOMINATE IN THE VIEWS OF THE FRONT
- IN THE ALTERNATIVE, THE ASSOCIATION MAY REQUIRE INDIVIDUAL UNIT CANNISTERS FOR PERIODIC COLLECTION AND TRANSPORT (CITY OF ALBUQUERQUE OR BY INDEPENDENT CONTRACT WITH THE ASSOCIATION).

SIDEWALK AND PAVEMENT COLORATION FOR PEDESTRIAN TRAFFIC:

WALKWAYS CROSSING PAVEMENT (SHEETS 2 AND 3 LOCATIONS): IMPRESSED CONCRETE (E.G. BOMANITE O.A.E.) PATTERN "COBBLESTONE", COLOR = BRICK RED/BROWN.

3' INTERNAL WALKS ADJACENT TO PRIVATE STREETS: P.C.C. CONCRETE. SAND FINISH, APPLIED FINISH COLOR = BRICK RED/BROWN.

4' STANDARD SIDEWALKS AND VEHICULAR DRIVEPADS: SAND OR BROOM

05EPC-01569 EPC Site Development Plan Subdivision

On December 15, 2005 the Environmental Planning Commission voted to approve Project 1004474/ 05EPC 01568, a zone map amendment from SU-I/Private School with Incidental Facilities and M-1 to SU-I/PRD, for a +/-17-acre portion of Tracts F1, 3, 1A1B, BA, a. The site plan shall impose a maximum building height not to exceed 28.75 feet. IC, 1B and 1AIA2, MRGCD Map 36, to include abandoned portions of the Alameda Lateral and Edith Boulevard street right-of-way.

CONDITIONS:

FILE: Project # 1004474

05EPC-01568 Zone Map Amendment

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that any conditions of approval are adequately

- 3. All format-related deficiencies that "are brought to the applicant's attention shall be satisfactorily addressed on the final site plan for subdivision. Correct legal descriptions for all new divisions of land within the project area shall be reflected on the final site plan for subdivision. All design guidelines relative to this site plan shall be assembled onto one sheet, two sheets if necessary, and must be clearly discernable. Only one version of a landscape plan shall be submitted with the final site plan.
- 4. For the purposes of clarity, the final site plan for subdivision shall include original survey information as derived from the relative previous plats for all relative tracts, a title caption such as "Area Being Replatted," a spatial diagram of the existing platted area that is affected under the proposed replat, and a reason for the replat.
- With respect to engineering considerations, the following conditions shall apply:
- a. The Developer, is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalks and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

b. Rename "Traffic Impact Study" to "Queuing Analysis."

- c. Per Transportation Development Staff, completion of required improvements as identified in the queuing analysis is required (i.e. 100' right and/or 100' left turn lanes and gate placements)
- d. Provide site distance analysis (per AASHTO requirements) at the intersections of Menaul and Edith and Claremont and Broadway.
- e. Platting must be a concurrent DRB action.
- f. Site plan shall comply and be designed per DPM Standards.
- g. Construction of a 10-foot wide multi-purpose trail along the north side of Menaul Boulevard between Edith Boulevard (referenced on the site plan as an unnamed public street) and Broadway Boulevard as designated on Long Range Bikeways System.
- With respect to site plan layout and configuration, the following conditions shall apply:
- a. The final site plan shall include more staggering of front building setbacks for buildings 15 through 17, 19, 21 and 23.
- b. The final site plan shall provide for additional driveway lengths for buildings 35 and 44.
- c. The applicant shall recrient buildings 35 through 38 in order to provide more common recreational space on the final site plan. The applicant shall also develop the identified landscape area south of the PNM property and west of building four (4) for small-scale recreational space.
- d. The Final site plan shall call out all areas designated for common open and recreational space. The applicant shall provide, at a minimum, tables, benches, barbecue pits and at least one "tot lot;" details on these amenities shall be provided on the final site plan.
- e. To preserve the established irrigation rights of the Stronghurst Neighborhood Association, the applicant shall either impose a 20' by 100' "no-build area" and access easement between building 2, the west right-of-way line of Claremont Avenue and the west boundary of the adjacent PNM property for the benefit of the Association or provide for reasonable and suitable alternative accommodations for said Association. Either a signature on the site plan by an authorized agent of the Association or a written endorsement from the Association accompanying the final site plan submittal shall constitute fulfillment of this condition.
- f. On-street parking accommodations shall be provided along the former Edith Boulevard, where practical.
- g. A minimum 20-foot landscape buffer shall be maintained along the portion of the eastern project boundary that abuts the Broadbent Business Park. Landscaping shall include a 60-40 mix of coniferous to deciduous trees that will achieve a minimum height of 25 feet. Groundcover shall be predominantly all-seasonal.
- h. Prior to final site plan submittal, the applicant shall furnish a feasibility study, with executive summary, on the adaptive reuse of the Ross Cottage. This report is to, be certified by an architect experienced in historic preservation that is registered by the State of New
- i. If determined to be salvageable, the Ross Cottage shall be relocated to a suitable alternative location within the Menaul School campus, preferably the west side of the former Edith Boulevard in a position that reinforces the edge of the school campus along this
- j. The applicant shall make provisions for the recording and archiving of the remaining contributing cottages to mitigate their demolition.
- k. Any on-site excavations shall be monitored or pre-tested for any possible discovery of significant archeological resources.
- 7. With respect to considerations regarding vehicular access, parking and circulation, the following conditions shall apply:
- a. The applicant shall install reasonable measures prohibiting on-street parking outside of the former Edith Boulevard subject to Fire Department approval.
- b. The final site plan shall include minimum guidelines on pedestrian crossings. Pedestrian walkways through vehicular areas shall be clearly demarcated through such paving materials as colored concrete, brick or concrete pavers. Clear and distinct separation between pedestrian walkways and vehicular travel or parking areas shall be maintained. Strong pedestrian connections between the school and residential components shall be encouraged.
- c. Potential vehicular cut-through access in font of buildings 15 and 16 shall be eliminated.
- d. A minimum of two (2) disability parking spaces and parking accommodations for four (4) bicycles shall be provided for the clubhouse.
- 8. With respect to considerations regarding lighting, security, walls and fences, the following conditions shall apply:
- a. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution.
- b. All pedestrian walkways and common areas shall be adequately illuminated. Light standards for street illumination shall not exceed sixteen feet (16') in height, and walkway illumination shall not exceed twelve feet (12') in height. The final site plan shall clearly demonstrate the type and placement of adequate site lighting within the development.
- c. The final site plan shall include additional language prohibiting common refuse enclosures from being prominently placed between any public or private street and any building facade. Details on refuse accommodations shall be provided on the final site plan.
- d. Any proposed perimeter wall or fence along the former Edith Boulevard or along an abutting major thoroughfare shall contain full wrought-iron view fencing with masonry pilasters. No solid walls along the private Edith Street shall be permitted. Standards, materials and diagrams for all development-related walls shall be demonstrated on the final site plan.

E.P.C. CONDITIONS OF SITE PLAN APPROVAL:

- With respect to considerations regarding architecture and signage, the following conditions shall
- b. Garage door design or any alternate design or building orientation that relegates garage door opening to a less predominant feature is required. -Overhead garage doors with architectural windows coupled with carriage doors with windows as shown m the colored presentation is acceptable.
- c. All roofing shall consist of concrete tiles. No asphalt shingle roofing shall be allowed.
- d. The buildings shall employ exterior color schemes that are complementary to, and do not dominate, the older primary buildings within the Menaul School campus. The use of pastels, contrasting trims, two-tone exteriors, lightened recesses and/or alternating building colors shall be encouraged. Overall color schemes solely reliant upon earth tones, a single color or a variation of a single color shall not be allowed. A color palette shall be provided on the final site plan.
- e. The final site plan shall include details on sign design and illumination for all entrance signs pertaining to the residential development. Entrance signs shall be limited to monument signs only. Such signage shall be consistent with, or complementary to, any signage that is used by the Menaul School.
- 10. With respect to considerations regarding landscaping, the following conditions shall apply:
- a. The final landscape plan shall include associative icons with the proposed plant palette. The final landscape plan shall also be formatted in accordance with section 14.16.3.10.C of the Zoning Code.
- b. The final landscape plan shall include revised language requiring all street tree plantings to be in accordance with Article Six of the Municipal Code. Random or clustered streetscape shall not be permitted.
- c. The final landscape plan shall provide for substantial vegetative shading of all common areas and open spaces. A minimum basis shall be one (1) shade tree per 400 square feet of open area and one (1) shade tree per every thirty (30) linear feet of pedestrian
- d. Proposed landscaping that is visible from any vantage and point along Menaul should, at a minimum, contain a similar amount of lush vegetation that is found at the front of the Menaul School campus. Proposed streetscape and median landscaping shall not compromise clear sight distance for traffic emerging from the development onto Menaul.
- e. The applicant shall reduce the amounts of impervious cover near buildings 23 and 24 and near buildings 1 and 2 through the use of landscape islands, roundabouts or other similar treatments.
- 11. The project will comply with all SWMD ordinances and requirements.

BUILDING COLOR PALETTE:

BUILDING COLOR PALETTE:				
MATERIALS	MFG.	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO	SHERWIN WILLIAMS	SW 2813	SW6116	SW 2329
STUCCO HILIGHT	SHERWIN WILLIAMS	SW 2814	SW0045	SW 1350
ACCENT	SHERWIN WILLIAMS	SW 7062	SW6187	SW 2731
FASCIA	SHERWIN WILLIAMS	SW 6146	SW6068	SW 2069
TRIM	SHERWIN WILLIAMS	√ \$W6119	SW6119	SW 2059
GARÁGE 2-CAR	SHERWIN WILLIAMS	SW2813	SW6116	SW 2329
GARAGE 1-CAR	SHERWIN WILLIAMS	- SW 2813	SW6116	SW 2329
ROOF	MONIER LIFETILE	1 BCCS 6464	1 BCCS 6464	1 BCCS 6464

BUILDING COLOR UNIT / APPLICATION:

BUILDING LOCATION CODE (SEE SITE PLAN) COLOR SCHEME 1 1, 4, 6, 8, 10,16, 18, 21, 24, 26, 28, 30, 33, 35, 40, 42, 44 COLOR SCHEME 2 2, 5, 9, 12, 13, 15, 17, 20, 23, 25, 27, 32, 34, 36, 38, 41, 43 COLOR SCHEME 3 3, 7, 11, 14, 19, 22, 29, 31, 37, 39, 45, CLUBHOUSE

GENERIC NAMES (SHERWIN WILLIAMS):

	SW 0045	ANTIQUARIAN BROWN
	SW 1350	MEDIUM BROWN
	SW 2059	SAND
	SW 2069	FALCON BROWN
	SW 2329	BRANDYMNE
	SW 2731	OLIVE BROWN
	SW 2813	DOWNING STRAW
	SW2814	ROOKWOOD ANTIQUE GOLD
	SW6068	BREMTY BROWN
	SW6116	TATAMI TAN
	SW6119	ANTIQUE WHITE
	SW6146	UMBER
	SW6187	ROSEMARY
	SW 7062	ROCKBOTTOM (SLATE)

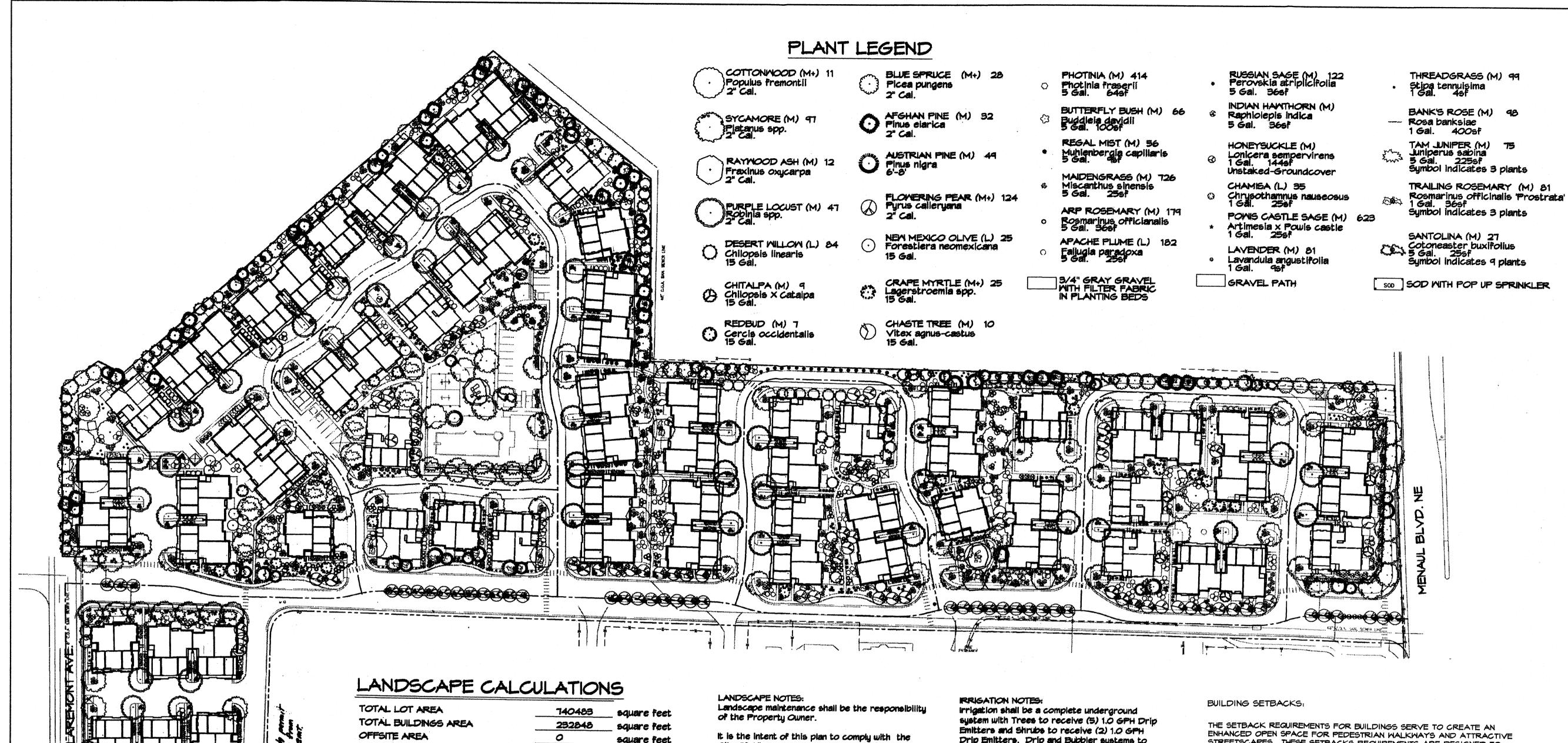
PROJECT NUMBER: 1004474 05-EPC-1568, 1569

MENAUL SCHOOL CONDOMINIUMS **DESIGN GUIDELINES**

		1'	***************************************
DATE:	2/9/2006	COL	nmunity
SCALE:	AS SHOWN	S	ciences
CREW:	XX/XX	corr	oration
DRAWN:	JGG/MVH		01 401011
JOB NO.:	N627	LAND PLANNING P.O. Box 1328	ENGINEERING SURVEYING Corroles, N.M. 87048

F:\PROJECTS\N627 KBHOME\Menaul School\SDP\Site Plan Subd\Plan_ver5 020206.dwg

SHEET



TOTAL LOT AREA	740483	square feet
TOTAL BUILDINGS AREA	232848	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	507635	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	76145	square feet
TOTAL BED PROVIDED	239482	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	179611	square feet
TOTAL GROUNDCOVER PROVIDED	181457	square feet
TOTAL SOD AREA	8734 (11%)	square feet
(max. 20% of landscape required)		•

TOTAL LANDSCAPE PROVIDED

3" Gray Gravel over Filter Fabric shall be placed

It is the intent of this plan to comply with the City Of Albuquerque Mater Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Mater management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover

in all landscape areas which are not designated to receive native seed.

Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

Mater and Power source shall be the responsibility of the Developer/Builder. ENHANCED OPEN SPACE FOR PEDESTRIAN WALKWAYS AND ATTRACTIVE STREETSCAPES. THESE SETBACKS REQUIREMENTS ARE DESIGNED TO INTERNALIZE PARKING AND PROVIDE ACCESS ADJACENT TO THE STREETS.
IF AN OMISSION OR CONFLICT IN THIS PROVISION EXISTS, THE ZONING CODE (RO 1974, 7-14-3, AS AMENDED) MINIMUM SETBACKS APPLY AS FOLLOWS: CONDOMINIUMS, SU-PRD (THIS PLAN)

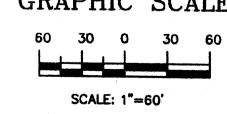
CONDOMINIUMS SHALL HAVE A MINIMUM BUILDING SETBACK OF 15 FEET FROM THE FRONT PUBLIC RIGHT-OF-WAY, IO FEET FROM THE REAR PROPERTY LINE, AND IO FEET BETWEEN BUILDING SIDES (GROUND FLOOR WALLS), AND SHALL BE LANDSCAPED. A 20' MINIMUM SETBACK AND NON-RESIDENTIAL BUFFER SHALL BE MAINTAINES ADJACENT TO BROADBENT BUSINESS PARK.

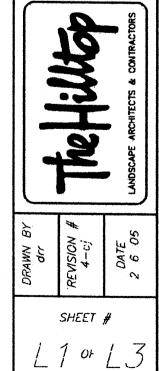
ALL BUILDING SETBACKS SHALL BE LANDSCAPED ACCORDING TO THE LANDSCAPE GUIDELINES FOUND HEREIN AND CONFORMING TO THE CITY'S STREET TREE ORDINANCE.

CLEAR SIGHT SETBACKS FOR WALLS, SIGNS AND SPECIAL TREATMENT AREAS AT SECONDARY INTERSECTIONS SHALL BE 35-FEET FROM THE RIGHT-OF-WAY LINE.

PERIMETER AWNINGS, PORTALS, PORCHES, OPEN-AIR PATIOS, GARDEN COURT WALLS, FIREPLACES AND OVERHANGS SHALL BE ALLOWED WITHIN SETBACKS. NO PLASTIC OR VINYL BUILDING PANELS OR AWNINGS SHALL

GRAPHIC SCALE





LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

100H

S

HOME,

X Z

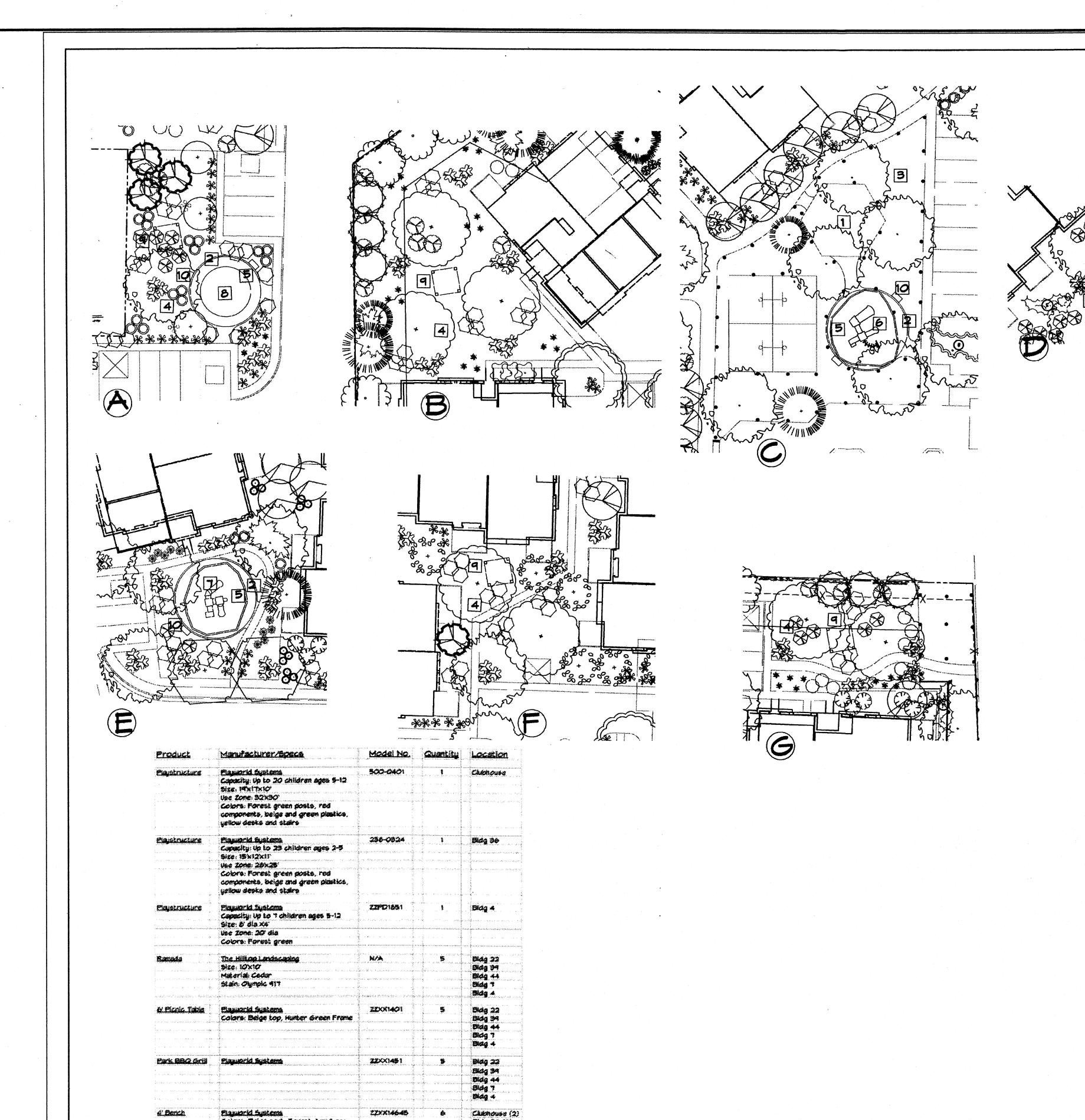
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PROJECT NUMBER:

MENAUL SCHOOL CONDOMINIUMS LANDSCAPE PLAN (1)

SHEET

1004474 05-EPC-1568, 1569





POLYGON SHADE STRUCTURE BY OTHERS

6" x 6" CONCRETE MOWCURB

SOD LAWN

F GREY GRAVEL 3" DEEP W/ FF

12" DEEP PLAY SAND

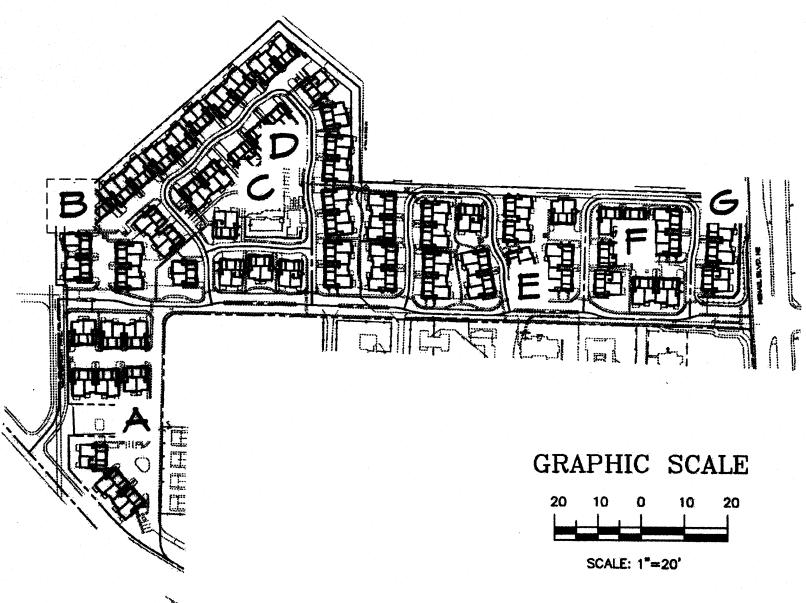
PLAY STRUCTURE AGES 5-12 PLAYMAKERS MODEL NO. 500-0401 (SEE DETAIL SHEET 2)

PLAY STRUCTURE AGES 2-5 EXPLORERS MODEL NO. 238-0324 (SEE DETAIL SHEET 2)

GEODOME CLIMBER BY PLAYWORLD SYSTEMS AGES 5-12 (SEE DETAIL SHEET 2)

> 10' X 10' RAMADA WITH 6' PICNIC TABLE-SURFACE MOUNT MODEL AND BBQ GRILL (SEE DETAIL SHEET 2)

4' BENCH WITH ARM RESTS ON SIDES SURFACE MOUNT (SEE DETAIL SHEET 2)





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PROJECT NUMBER:

1004474 05-EPC-1568, 1569

MENAUL SCHOOL CONDOMINIUMS LANDSCAPE DETAILS (2)

! ANDSCAPF ARCHITECT'S

JAMES DE FLON #0007

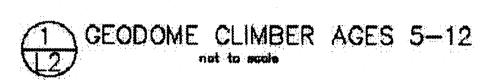
SCHOOL

- MENAUL

KB HOME, ALBUQUEH

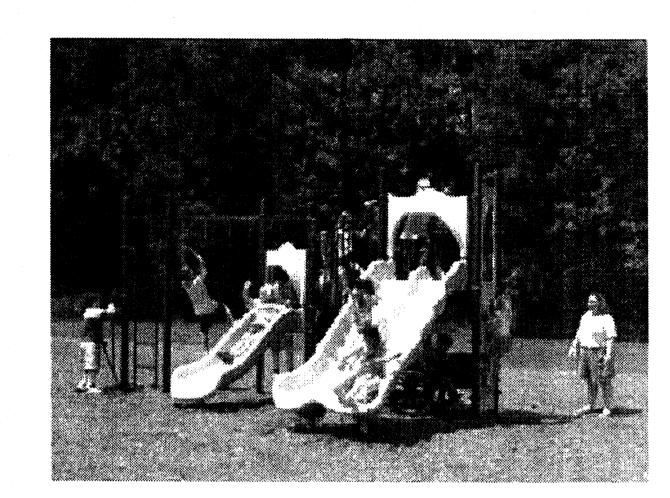
SHEET #

L2 of L3

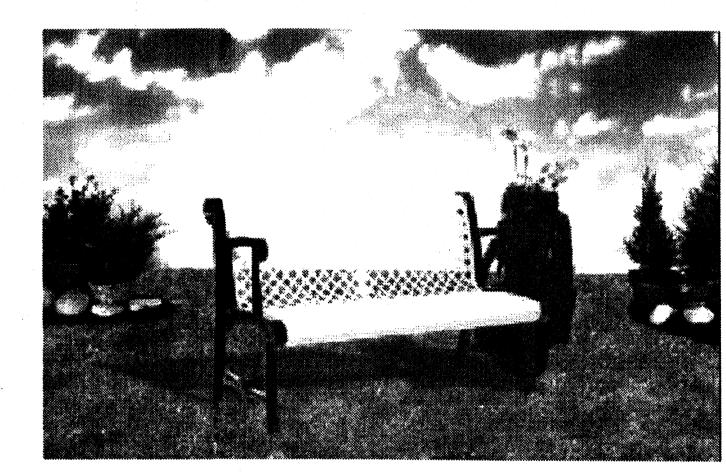




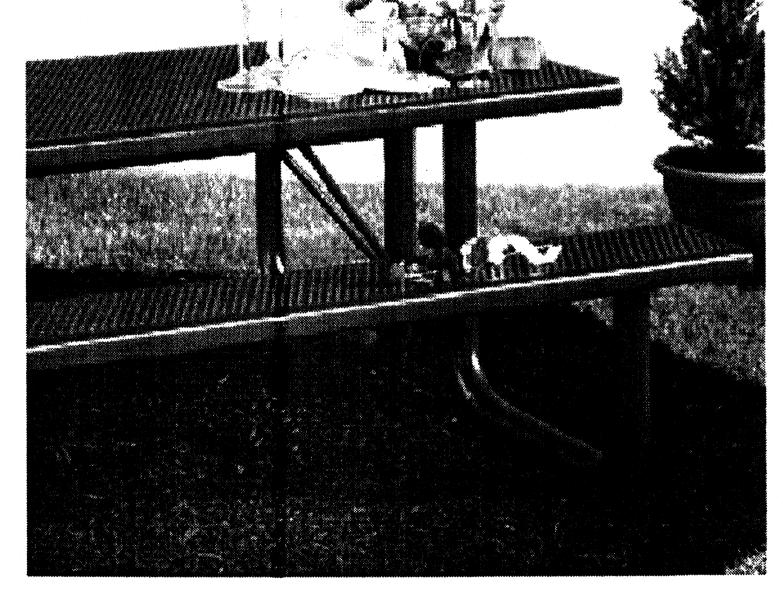
PLAYSTRUCTURE AGES 2-5



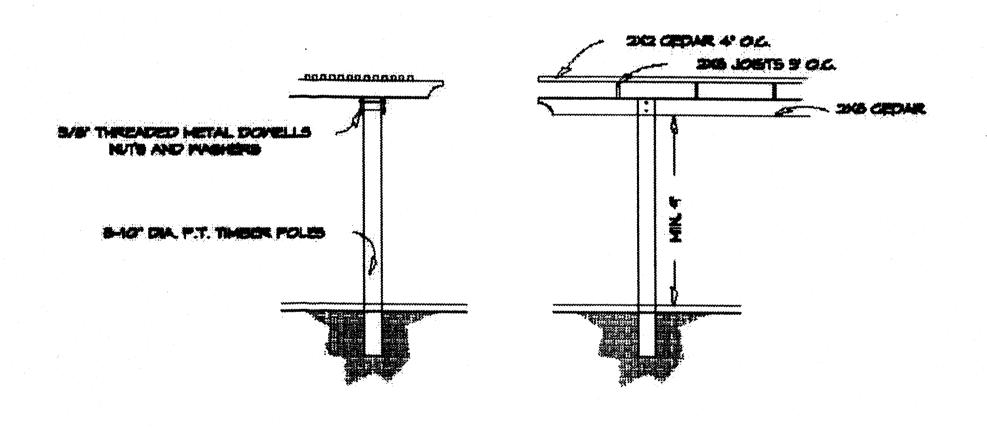
PLAYDSTRUCTURE AGES 5-12



4' BENCH - SURFACE MOUNT



6' PICNIC TABLE - SURFACE MOUNT



RAMADA DETAIL TYP.

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MENAUL SCHOOL CONDOMINIUMS
LANDSCAPE DETAILS (3)

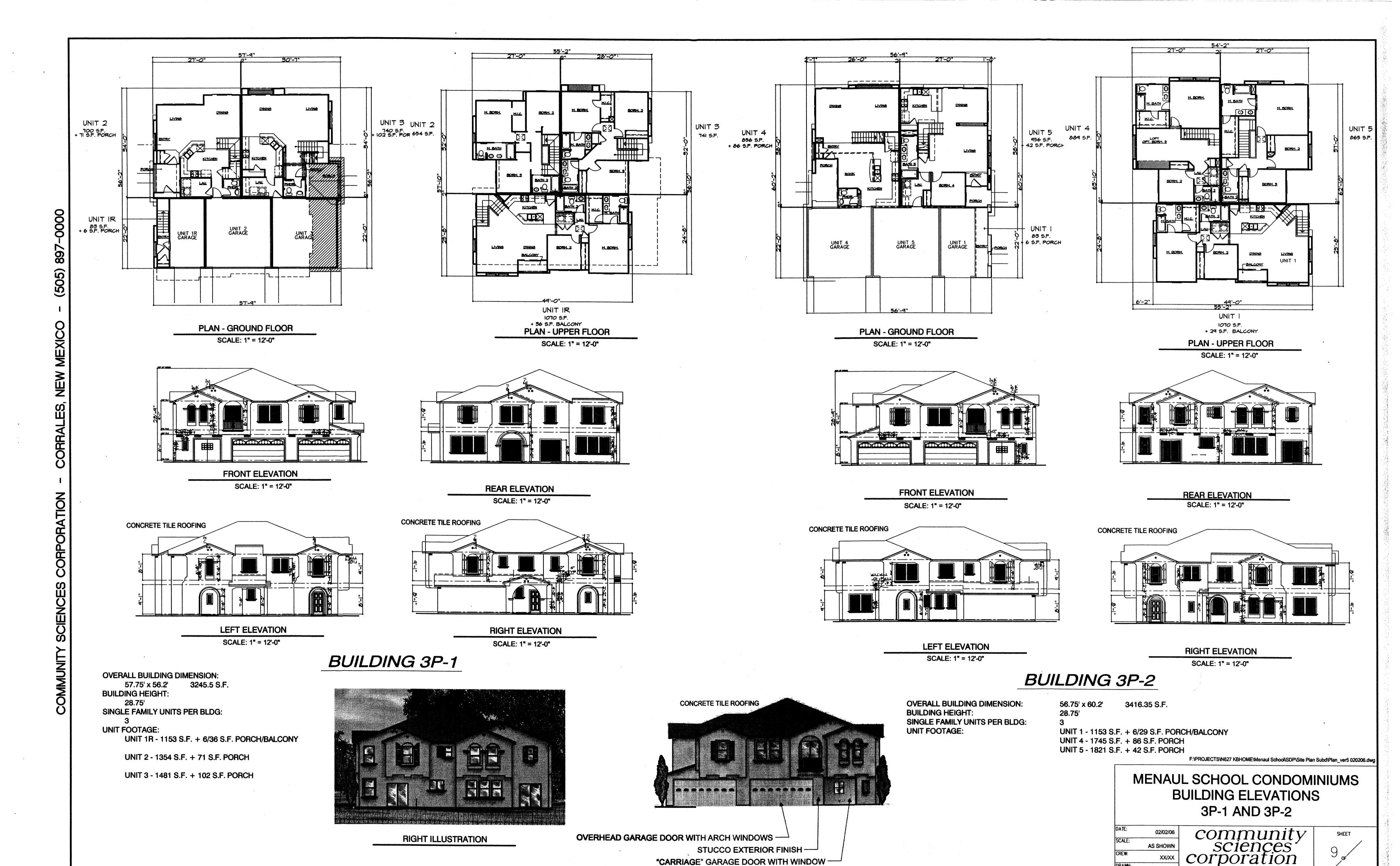
* SHEET

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11

The Hullion



FRONT ILLUSTRATION

CAS

N627 P.O. Box 1328

ENGINEERING SURVEYING Corrales, N.M. 87048

