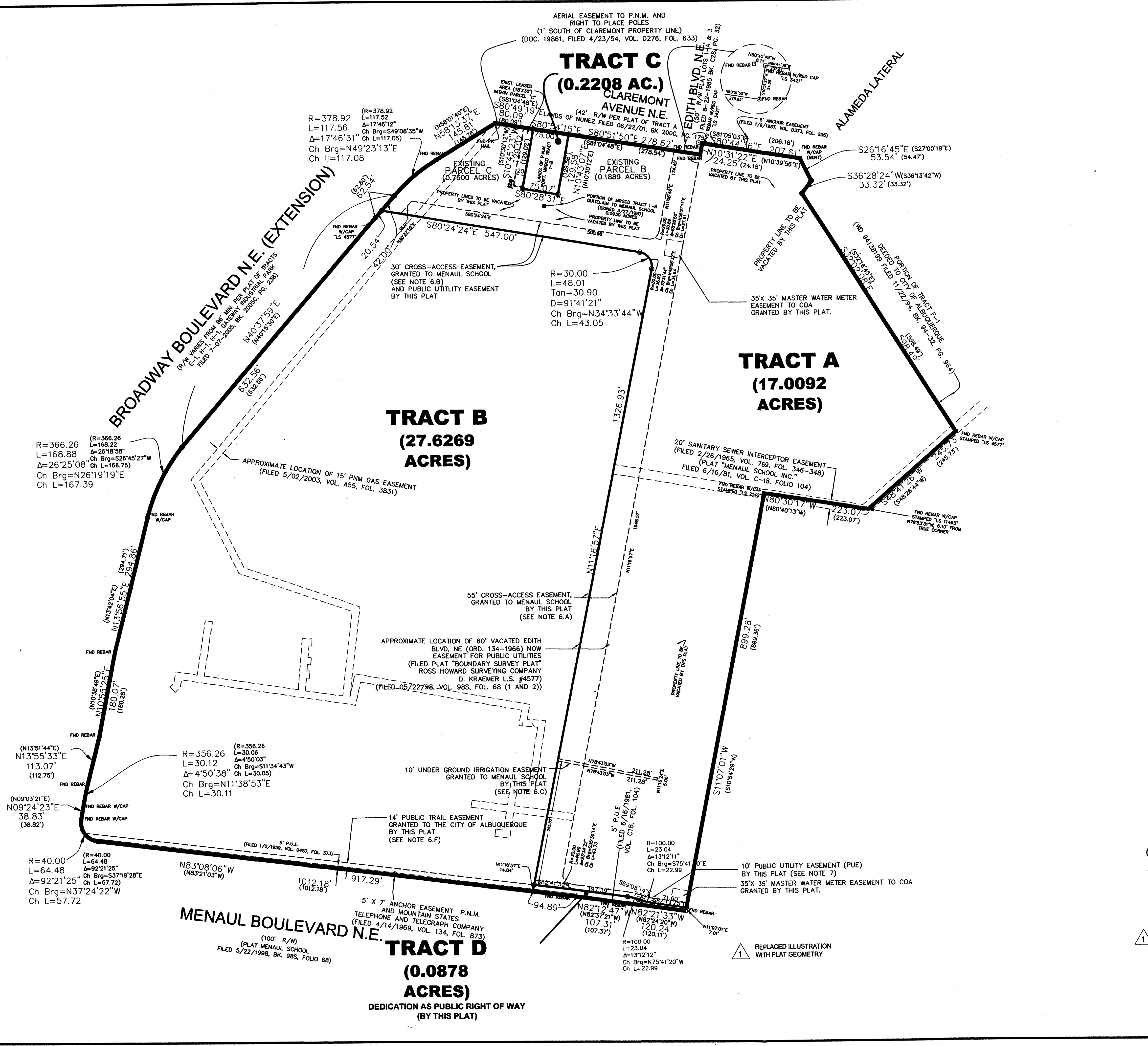


H-15-Z VICINITY MAP NOT TO SCALE



**SITE DATA:**

ZONE ATLAS INDEX NO:	H-15-Z
GROSS ACREAGE:	44.95 AC.
NO. OF EXISTING LOTS/TRACTS:	6 (ONE UNRECORDED DEED TRANSFER)
NO. OF LOTS/TRACTS CREATED:	4
LINEAR FEET OF CREATED DRIVE AISLES:	5596 L.F.
ACREAGE OF CREATED DRIVES:	3.29 AC.
GARAGE PARKING:	307 SPACES
OFF-STREET PARKING:	311 SPACES
HANDICAP PARKING:	14 SPACES
MAXIMUM BUILDING HEIGHTS:	28.75 FT.
MINIMUM BUILDING SETBACKS:	10 FT. BETWEEN BUILDINGS, GROUND FLOOR 20 FT. ADJACENT TO BROADBENT BUSINESS PARK 20 FT. ADJACENT STREET RIGHT OF WAY 10 FT. FROM ALAMEDA DETENTION FACILITY
PRIOR CURRENT ZONING:	M-1, SU-1 FOR PRIVATE SCHOOL AND INCIDENTAL FACILITIES
NEW ZONING:	SU-1 FOR PRD (E.P.C. 12/15/05)
LAND USE:	213 SINGLE-FAMILY CONDOMINIUMS, CLUBHOUSE AND POOL, PRIVATE DRIVE AISLES, OPEN SPACE COMMON AREAS
APPLICABLE PLANS:	NORTH VALLEY AREA PLAN, 1993 ALBUQUERQUE/BERNAILLO COUNTY COMPREHENSIVE PLAN, 2002
NEIGHBORHOOD ASSOCIATIONS:	SANTA BARBARA-MARTINEZTOWN ASSOC. (SBM) STRONGHURST IMPROVEMENT ASSOC. INC. (SIA)

PROJECT NUMBER: 1004474  
 APPLICATION NUMBER: 06-EPC-1568-1569 06-DRB-00214 049  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 15, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) Yes (X) No. If yes, than a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i>	3-9-06
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
<i>[Signature]</i>	3/8/06
WATER UTIL. DEPARTMENT	DATE
<i>[Signature]</i>	3/8/06
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	3/8/06
CITY ENGINEER	DATE
<i>[Signature]</i>	3/20/06
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	3/20/06
CHAIRPERSON, PLANNING DEPARTMENT	DATE

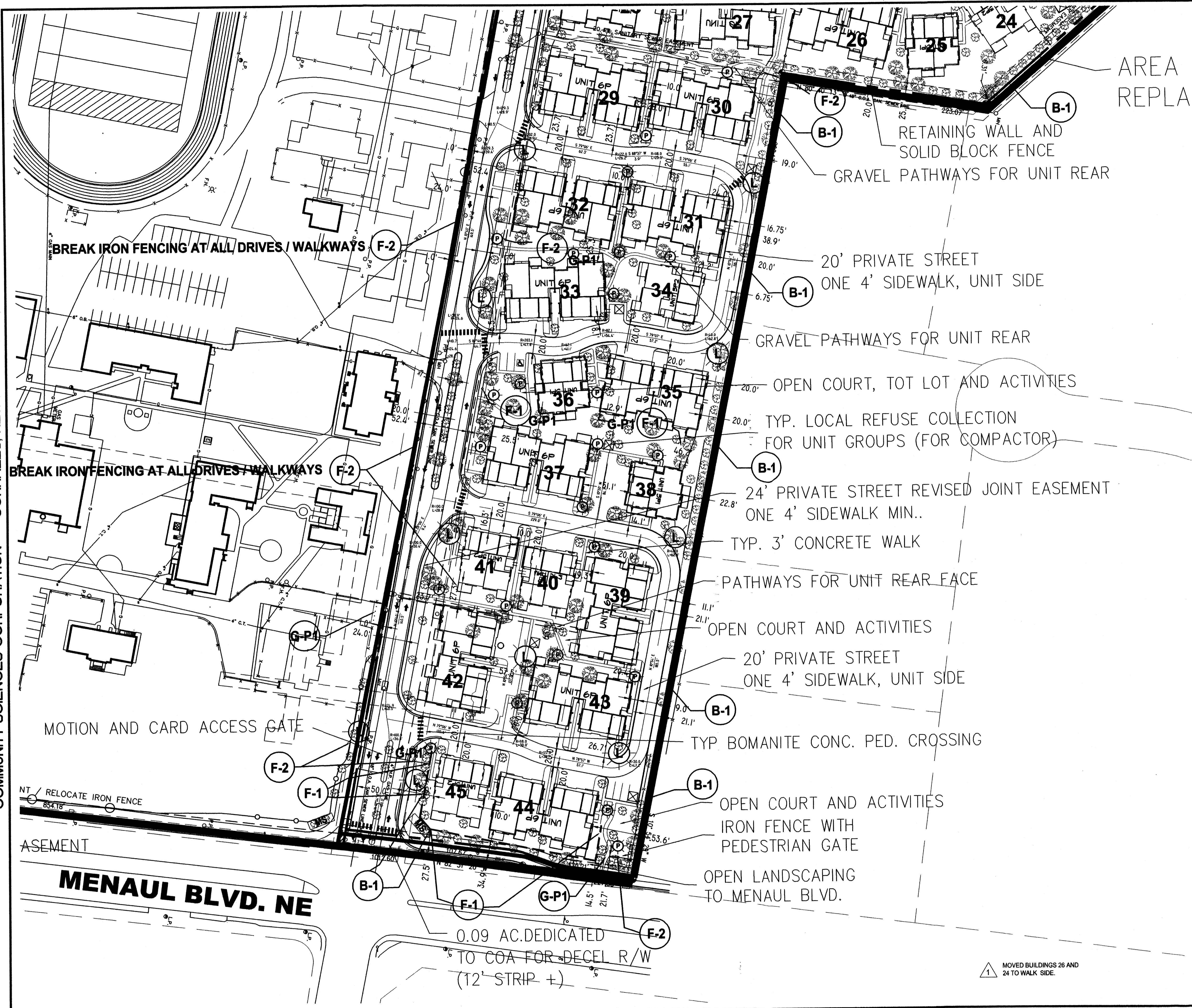
**MENAU SCHOOL CONDOMINIUMS  
SITE PLAN FOR SUBDIVISION**

DATE:	01/09/06		SHEET
SCALE:	AS SHOWN		1
CREW:	XX/XX		OF
DRAWN:	CASJGG/MVH		11
JOB NO.:	N627-16	LAND PLANNING P.O. Box 1328	ENGINEERING, SURVEYING Corrales, NM. 87048

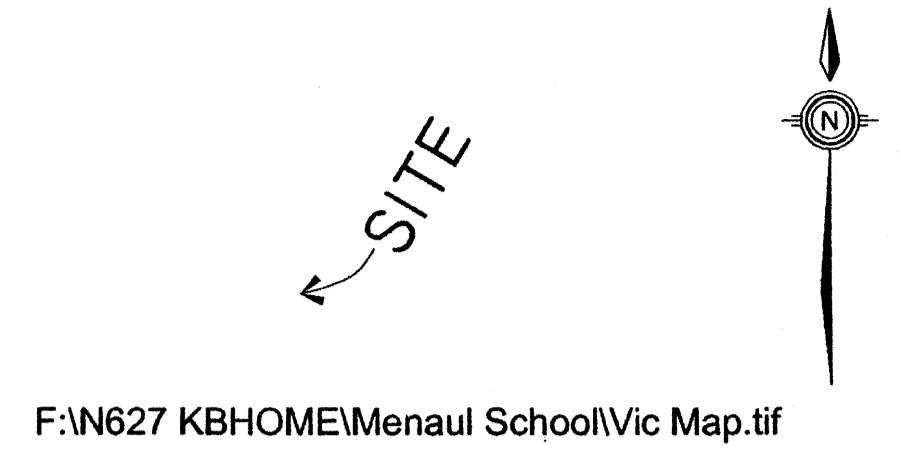
REVISIONS PER DRB AND STAFF REVIEWS 3/1/06 AND 2/22/06 CAS

REVISED 03/01/06 PER DRB COMMENTS

#1004474



AREA REPLA



- DIMENSION NOTES:** (UNLESS OTHERWISE INDICATED):
1. ALL DIMENSIONS ARE CLOSE APPROXIMATIONS, SUBJECT TO FINAL PROPERTY SURVEY AND SITE PLAN FOR BUILDING PERMIT PURPOSES.
  2. DIMENSIONS FOR PAVING ARE TO FACE OF CURB (FLOWLINE)
  3. MEASUREMENTS ARE RADIAL OR PERPENDICULAR TO FEATURES.
  4. SEE ATTACHED PRELIMINARY PLAT FOR PROPERTY AND CURVE DATA.

- LIGHTING, WALL / FENCING PLAN NOTES:** (UNLESS OTHERWISE INDICATED):
1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
  2. LIGHTING PER SHEET 11 STANDARDS:
    - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
    - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
  3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
  - (MS) APPROXIMATE SIGN LOCATION
  - (X) TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

- SHEET INDEX:**
1. COVER SHEET, 2005 ORTHOPHOTO AND DRB APPROVALS
  2. A. SITE DEVELOPMENT PLAN (SOUTH DIMENSION LAYOUT PLAN)
  3. B. SITE DEVELOPMENT PLAN (NORTH DIMENSION LAYOUT PLAN)
  4. PLAT OF SUBDIVISION (PRELIMINARY PLAT)
  5. DESIGN GUIDELINES, E.P.C. CONDITIONS AND EXTERIOR COLORS
  6. LANDSCAPE PLAN (OVERALL SITE) L1 OF 3
  7. LANDSCAPE DETAILS (DETAILS OF SELECT AREAS) L2 OF 3
  8. LANDSCAPE DETAILS (DETAILS OF SITE FURNITURE) L3 OF 3
  9. BUILDING ELEVATIONS AND PALETTE BUILDINGS SP1 AND SP2
  10. BUILDING ELEVATIONS AND PALETTE BUILDING SP6 AND CLUBHOUSE
  11. WALLS, PAVING, MONUMENT SIGNS, FENCE ELEVATIONS AND DETAILS

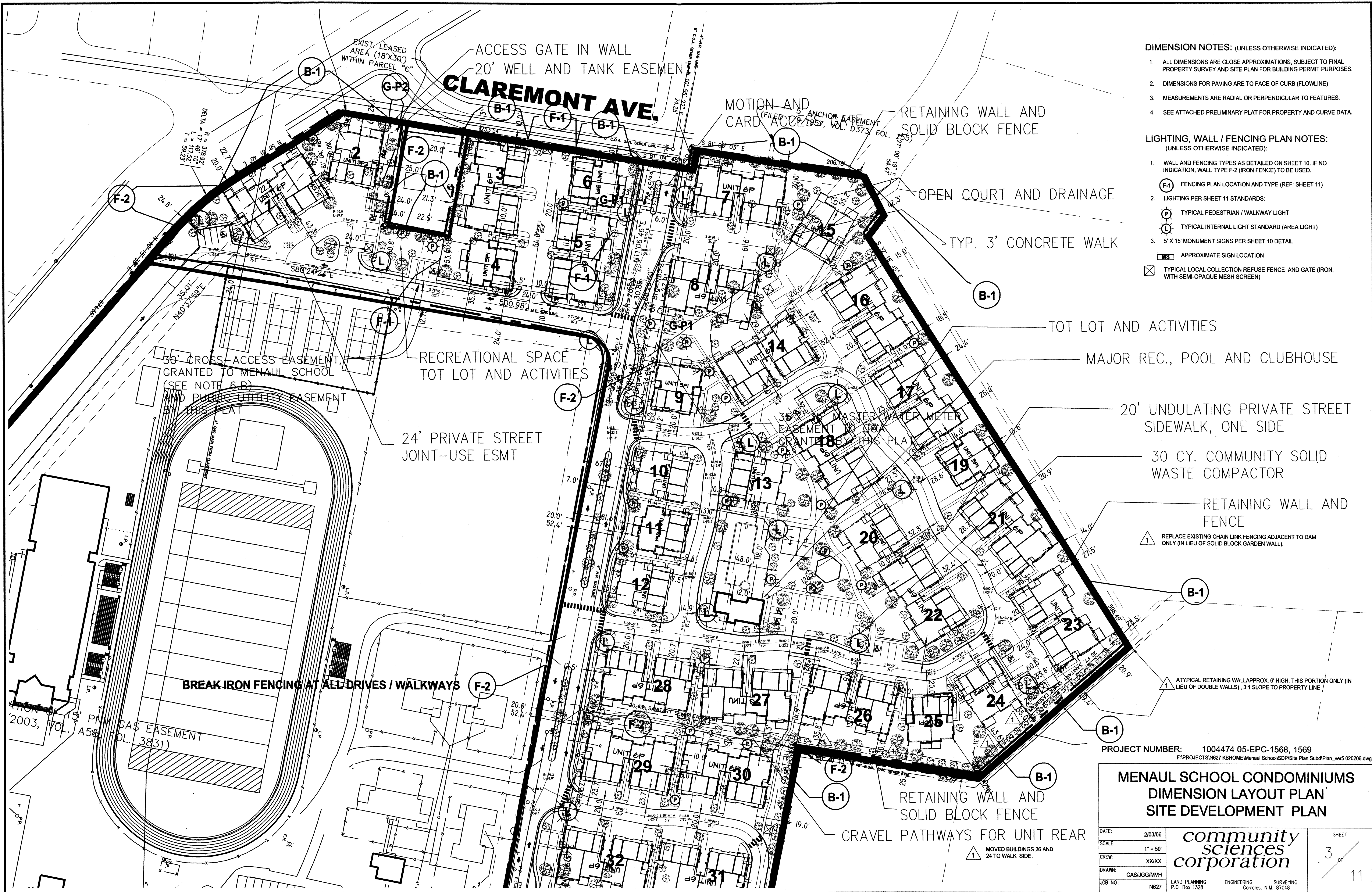
PROJECT NUMBER: 1004474 05-EPC-1568, 1569

F:\PROJECTS\N627 KBHOME\Menaul School\SDPSite Plan Subd\Plan\_ver5 020206.dwg

**MENAU SCHOOL CONDOMINIUMS  
DIMENSION LAYOUT PLAN  
SITE DEVELOPMENT PLAN**

DATE:	2/03/06	<i>community sciences corporation</i>	SHEET 2A OF 11
SCALE:	1" = 50'		
CREW:	XXX/XX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627	LAND PLANNING P.O. Box 1328	ENGINEERING CORRALES, N.M. 87048

1 MOVED BUILDINGS 26 AND 24 TO WALK SIDE.



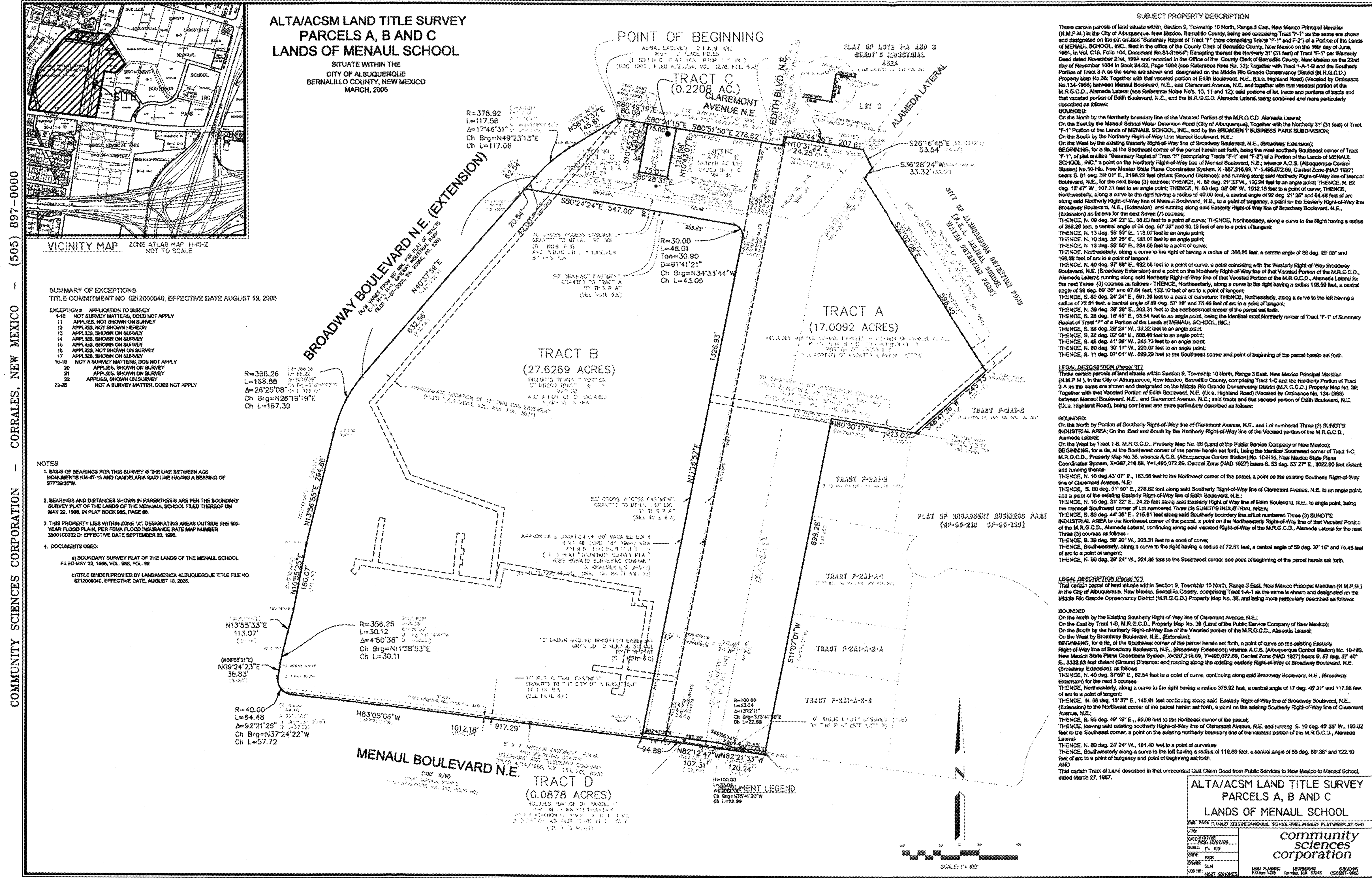
- DIMENSION NOTES:** (UNLESS OTHERWISE INDICATED):
1. ALL DIMENSIONS ARE CLOSE APPROXIMATIONS, SUBJECT TO FINAL PROPERTY SURVEY AND SITE PLAN FOR BUILDING PERMIT PURPOSES.
  2. DIMENSIONS FOR PAVING ARE TO FACE OF CURB (FLOWLINE)
  3. MEASUREMENTS ARE RADIAL OR PERPENDICULAR TO FEATURES.
  4. SEE ATTACHED PRELIMINARY PLAT FOR PROPERTY AND CURVE DATA.

- LIGHTING, WALL / FENCING PLAN NOTES:** (UNLESS OTHERWISE INDICATED):
1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
  2. LIGHTING PER SHEET 11 STANDARDS:
    - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
    - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
  3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
    - (MS) APPROXIMATE SIGN LOCATION
    - (X) TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON WITH SEMI-OPAQUE MESH SCREEN)

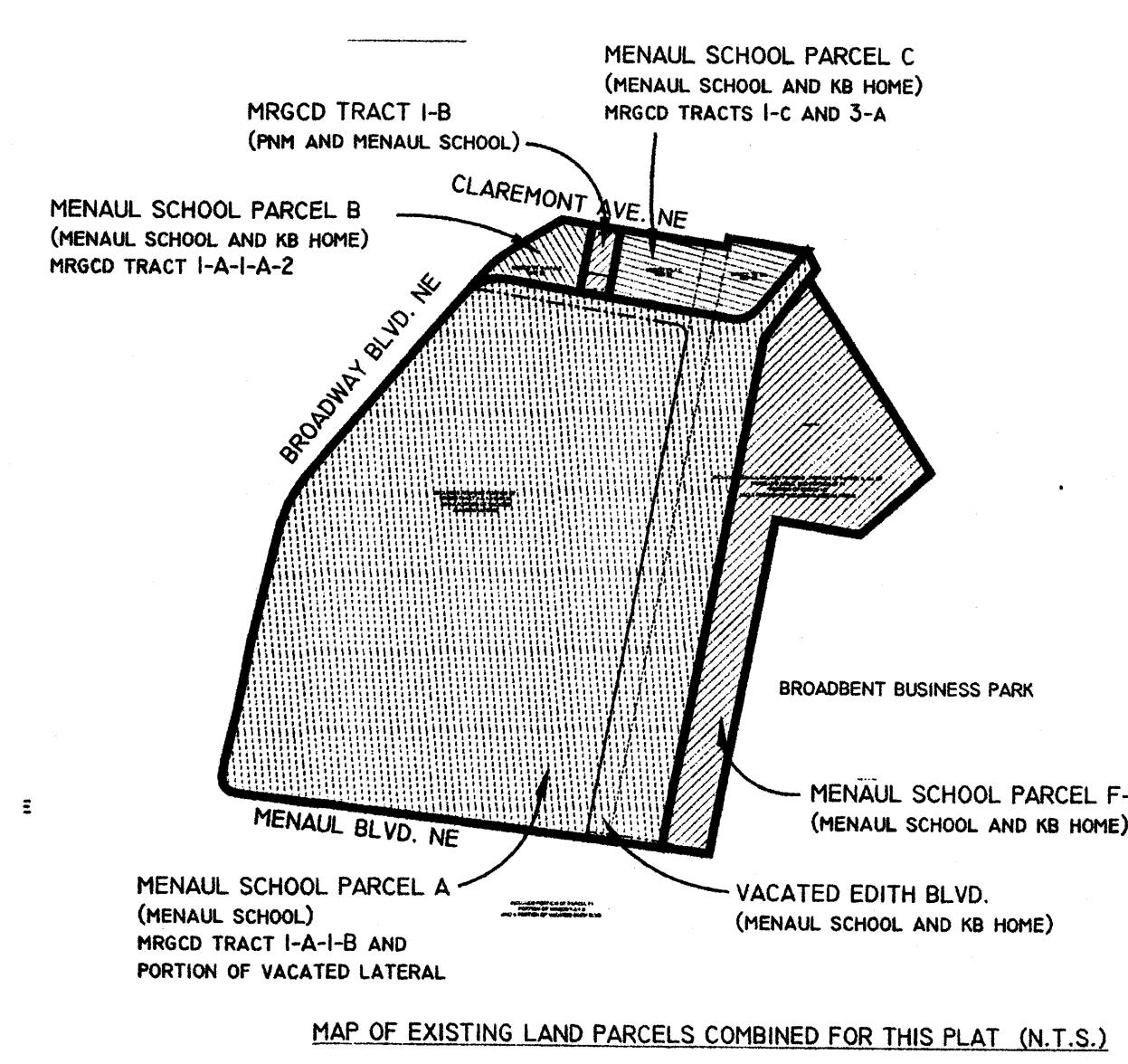
PROJECT NUMBER: 1004474 05-EPC-1568, 1569  
 F:\PROJECTS\N627 KBHOME\Menaul School\SDP\Site Plan Subd\Plan\_ver5 020206.dwg

**MENAU SCHOOL CONDOMINIUMS  
 DIMENSION LAYOUT PLAN  
 SITE DEVELOPMENT PLAN**

DATE:	2/03/06		SHEET 3 OF 11
SCALE:	1" = 50'		
CREW:	XX/XX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627		
LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING			



PLAT OF SUBDIVISION GEOMETRY - BASED ON ALTA, PENDING CITY SURVEYOR AND DRB REVIEW



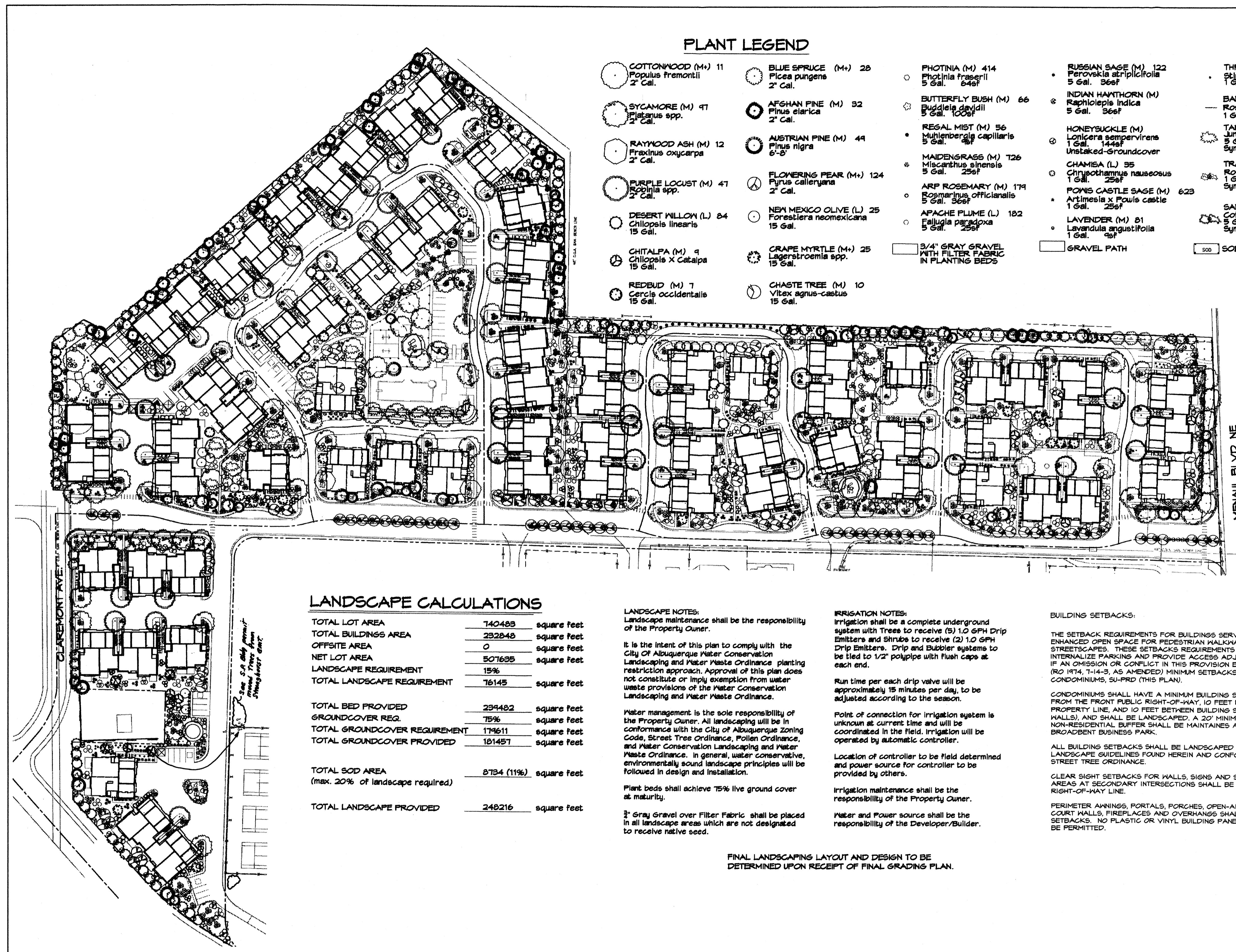
PROJECT NUMBER: 1004474 05-EPC-1568, 1569  
F:\PROJECTS\N627 KBHOME\Menual School\SP\Site Plan Subd\Plan\_ver5 020206.dwg

**MENAUL SCHOOL CONDOMINIUMS  
PLAT OF SUBDIVISION**

DATE:	3/6/2006		SHEET 4 OF 11
SCALE:	AS SHOWN		
CREW:	XX/XX		
DRAWN:	JGG/MVH		
JOB NO.:	N627		
LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048	SURVEYING Corrales, N.M. 87048	

REVISED 03/01/06 PER DRB COMMENTS





**PLANT LEGEND**

- COTTONWOOD (M+) 11  
Populus fremontii  
2" Gal.
- SYCAMORE (M) 47  
Platanus spp.  
2" Gal.
- RAYWOOD ASH (M) 12  
Fraxinus oxycarpa  
2" Gal.
- PURPLE LOCUST (M) 47  
Robinia spp.  
2" Gal.
- DESERT MALLOW (L) 84  
Chilopsis linearis  
15 Gal.
- CHITALPA (M) 9  
Chilopsis x Catalpa  
15 Gal.
- REDBUD (M) 7  
Cercis occidentalis  
15 Gal.
- BLUE SPRUCE (M+) 28  
Picea pungens  
2" Gal.
- AFGHAN PINE (M) 32  
Pinus eilarica  
2" Gal.
- AUSTRIAN PINE (M) 49  
Pinus nigra  
6"-8"
- FLOWERING PEAR (M+) 124  
Pyrus calleryana  
2" Gal.
- NEW MEXICO OLIVE (L) 25  
Forestiera neomexicana  
15 Gal.
- GRAPE MYRTLE (M+) 25  
Lagerstroemia spp.  
15 Gal.
- CHASTE TREE (M) 10  
Vitex agnus-castus  
15 Gal.
- PHOTINIA (M) 414  
Photinia fraserii  
5 Gal. 64sf
- BUTTERFLY BUSH (M) 66  
Buddleia davidii  
5 Gal. 100sf
- REGAL MIST (M) 56  
Muhlenbergia capillaris  
5 Gal. 98sf
- MAIDENGRASS (M) 126  
Miscanthus sinensis  
5 Gal. 25sf
- ARP ROSEMARY (M) 179  
Rosmarinus officinalis  
5 Gal. 36sf
- APACHE PLUME (L) 182  
Falugia paradoxa  
5 Gal. 25sf
- 3/4" GRAY GRAVEL WITH FILTER FABRIC IN PLANTING BEDS
- RUSKIAN SAGE (M) 122  
Perovskia atriplicifolia  
5 Gal. 36sf
- INDIAN HAWTHORN (M) 6  
Raphiolepis indica  
5 Gal. 36sf
- HONEYBUCKLE (M) 1  
Lonicera sempervirens  
1 Gal. 144sf
- CHAMISA (L) 35  
Chrysothamnus nauseosus  
1 Gal. 25sf
- POWIS CASTLE SAGE (M) 623  
Artemisia x Fowis castle  
1 Gal. 25sf
- LAVENDER (M) 81  
Lavandula angustifolia  
1 Gal. 45sf
- GRVEL PATH
- THREADGRASS (M) 99  
Stipa tenuissima  
1 Gal. 45sf
- BANK'S ROSE (M) 98  
Rosa banksiae  
1 Gal. 400sf
- TAM JUNIPER (M) 75  
Juniperus sabina  
5 Gal. 36sf  
Symbol indicates 3 plants
- TRAILING ROSEMARY (M) 81  
Rosmarinus officinalis Prostrata  
1 Gal. 36sf  
Symbol indicates 3 plants
- SANTOLINA (M) 27  
Cotoneaster buxifolius  
15 Gal. 25sf  
Symbol indicates 9 plants
- SOD WITH POP UP SPRINKLER

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	740495	square feet
TOTAL BUILDINGS AREA	232848	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	507635	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	76145	square feet
TOTAL BED PROVIDED	239482	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	179611	square feet
TOTAL GROUND COVER PROVIDED	181457	square feet
TOTAL SOD AREA (max. 20% of landscape required)	8794 (11%)	square feet
TOTAL LANDSCAPE PROVIDED	248216	square feet

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (3) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**BUILDING SETBACKS:**

THE SETBACK REQUIREMENTS FOR BUILDINGS SERVE TO CREATE AN ENHANCED OPEN SPACE FOR PEDESTRIAN WALKWAYS AND ATTRACTIVE STREETSAPES. THESE SETBACKS REQUIREMENTS ARE DESIGNED TO INTERNALIZE PARKING AND PROVIDE ACCESS ADJACENT TO THE STREETS. IF AN OMISSION OR CONFLICT IN THIS PROVISION EXISTS, THE ZONING CODE (RO 1974, T-14-3, AS AMENDED) MINIMUM SETBACKS APPLY AS FOLLOWS: CONDOMINIUMS, SU-FRD (THIS PLAN).

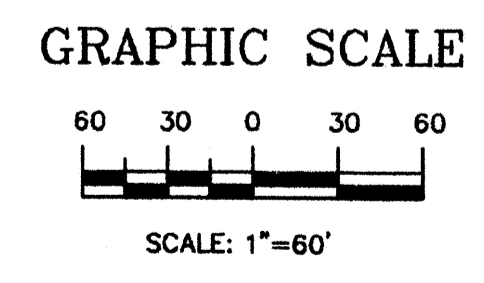
CONDOMINIUMS SHALL HAVE A MINIMUM BUILDING SETBACK OF 15 FEET FROM THE FRONT PUBLIC RIGHT-OF-WAY, 10 FEET FROM THE REAR PROPERTY LINE, AND 10 FEET BETWEEN BUILDING SIDES (GROUND FLOOR WALLS), AND SHALL BE LANDSCAPED. A 20' MINIMUM SETBACK AND NON-RESIDENTIAL BUFFER SHALL BE MAINTAINED ADJACENT TO BROADBENT BUSINESS PARK.

ALL BUILDING SETBACKS SHALL BE LANDSCAPED ACCORDING TO THE LANDSCAPE GUIDELINES FOUND HEREIN AND CONFORMING TO THE CITY'S STREET TREE ORDINANCE.

CLEAR SIGHT SETBACKS FOR WALLS, SIGNS AND SPECIAL TREATMENT AREAS AT SECONDARY INTERSECTIONS SHALL BE 35- FEET FROM THE RIGHT-OF-WAY LINE.

PERIMETER AWNINGS, PORTALS, PORCHES, OPEN-AIR PATIOS, GARDEN COURT WALLS, FIREPLACES AND OVERHANGS SHALL BE ALLOWED WITHIN SETBACKS. NO PLASTIC OR VINYL BUILDING PANELS OR AWNINGS SHALL BE PERMITTED.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



Cont. Lic. #26458  
7509 Edith N.E. #7184  
Albuquerque, NM 87109  
Phone: (505) 898-9620  
Fax: (505) 898-7737  
email: hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

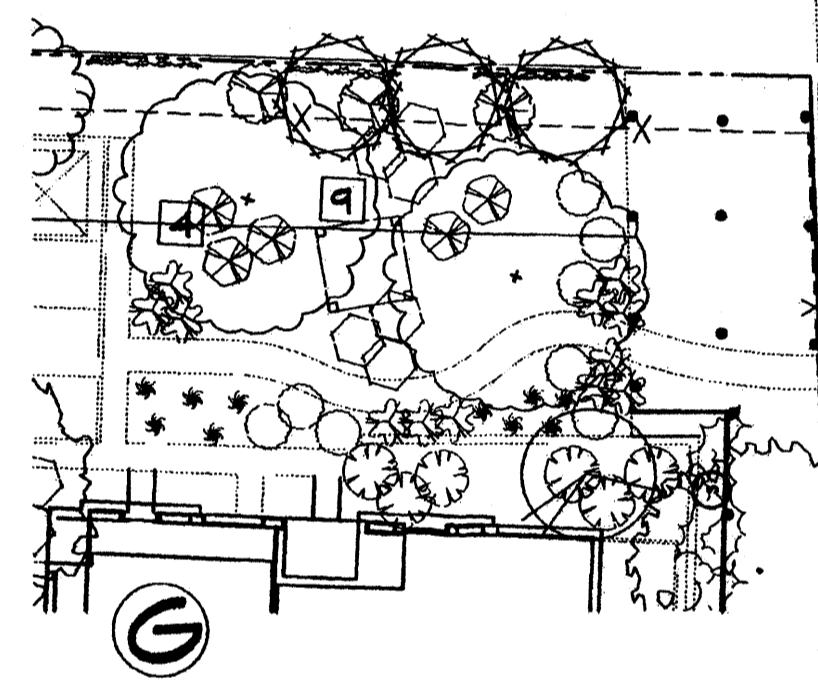
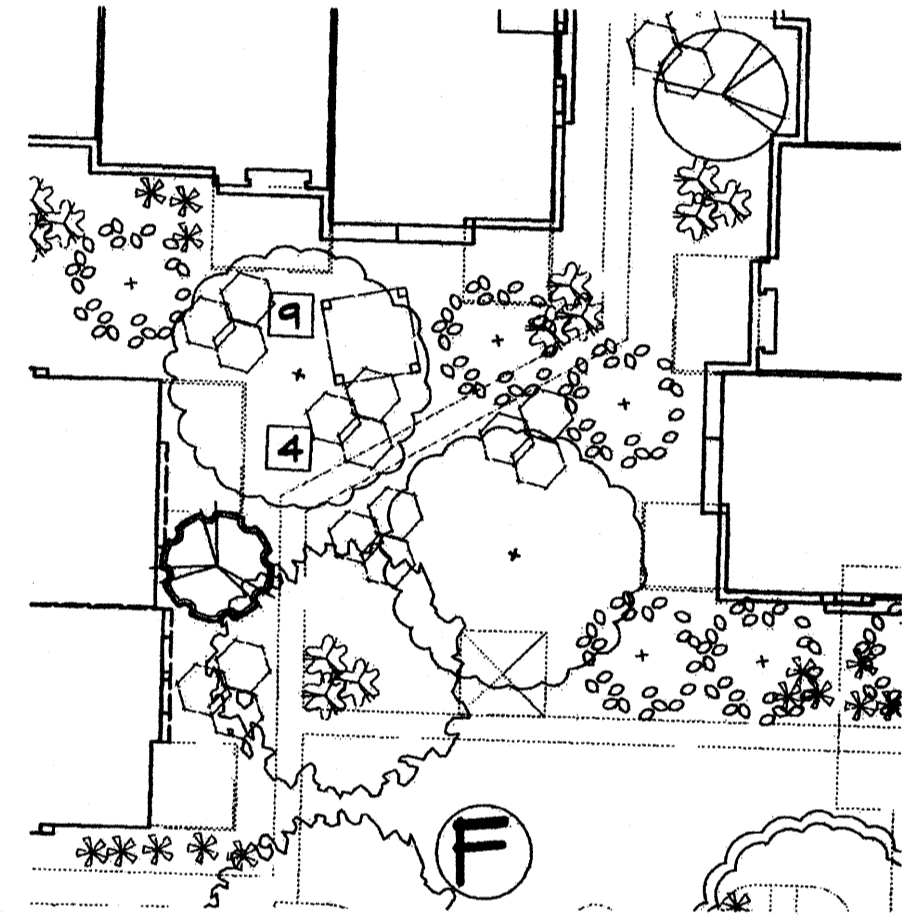
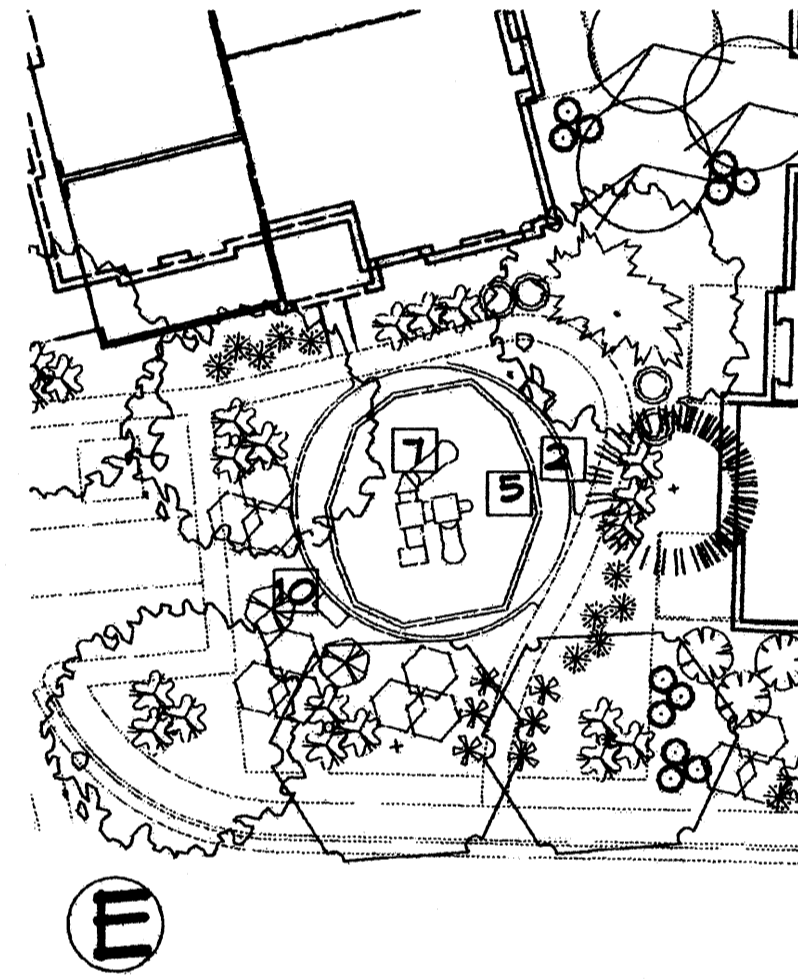
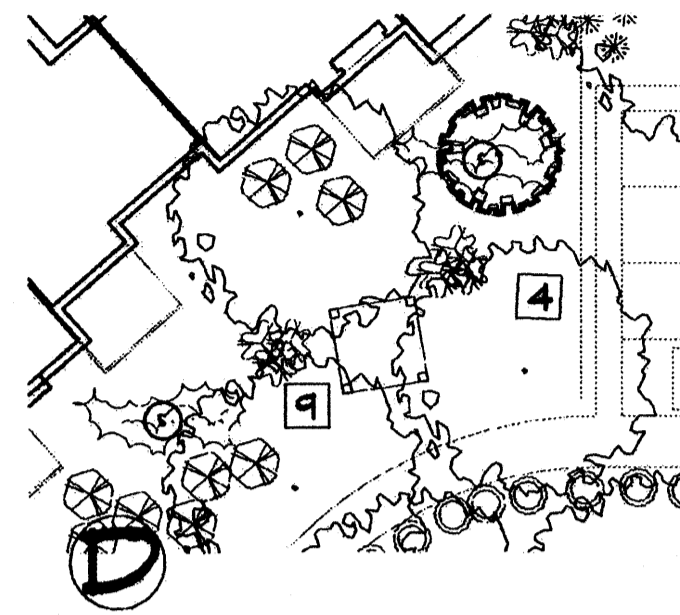
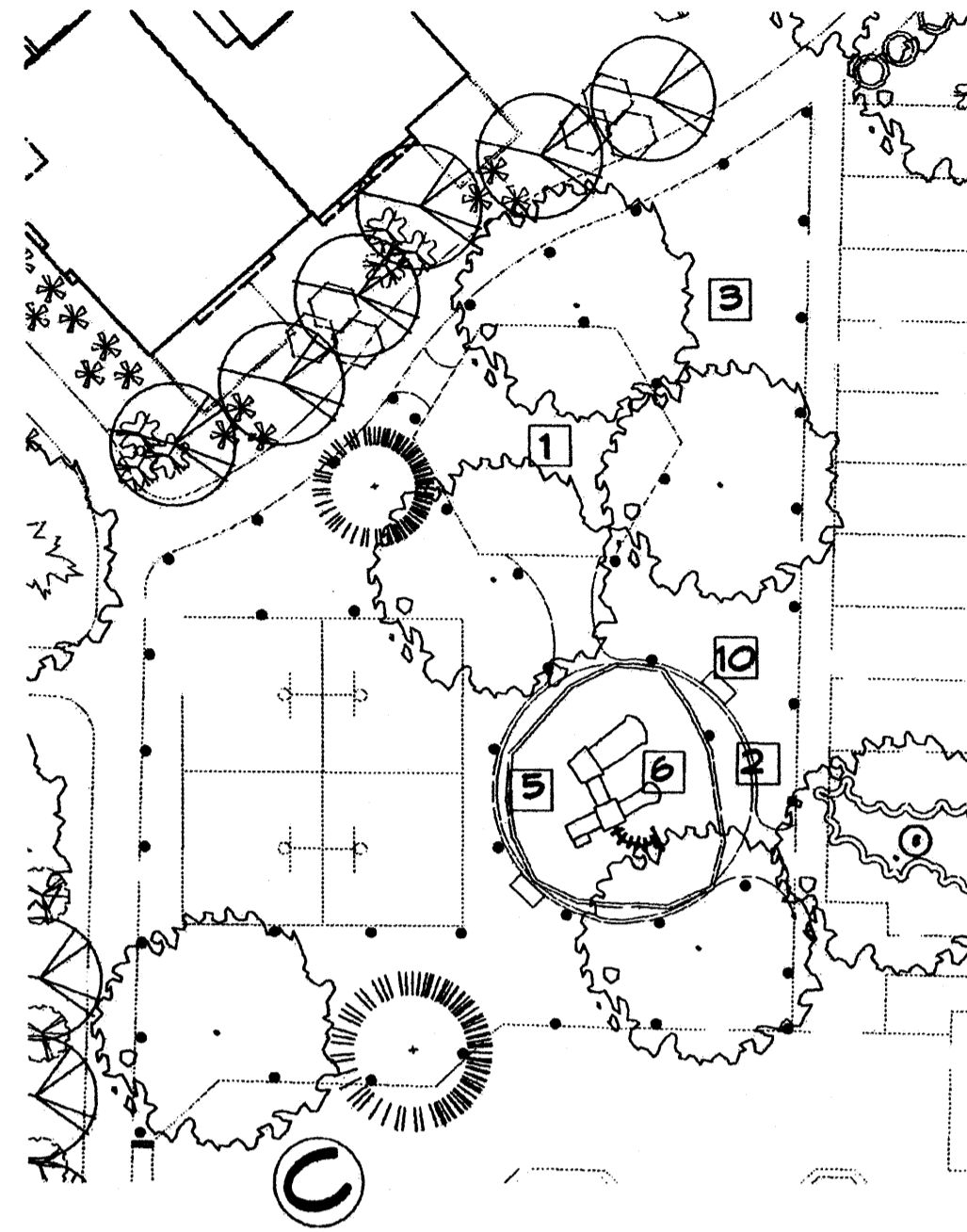
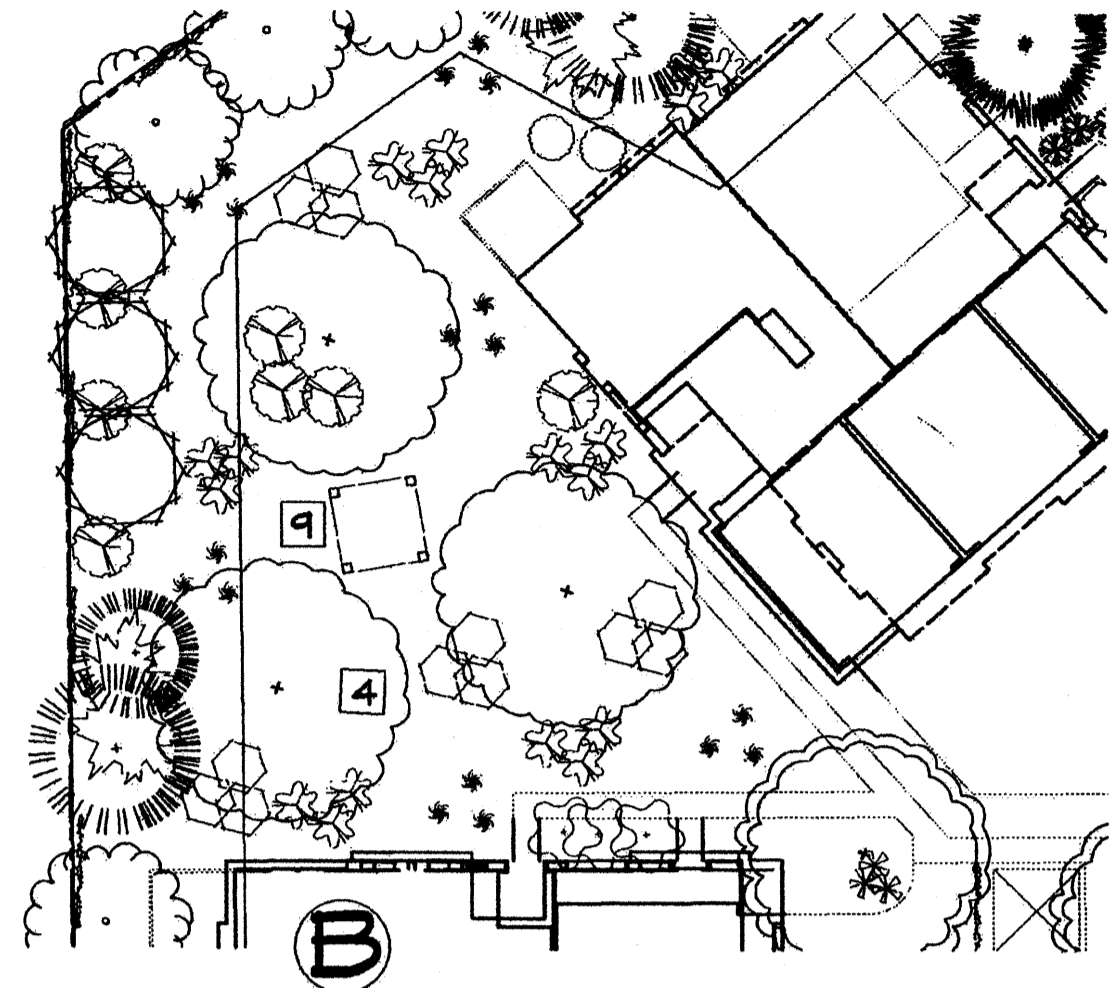
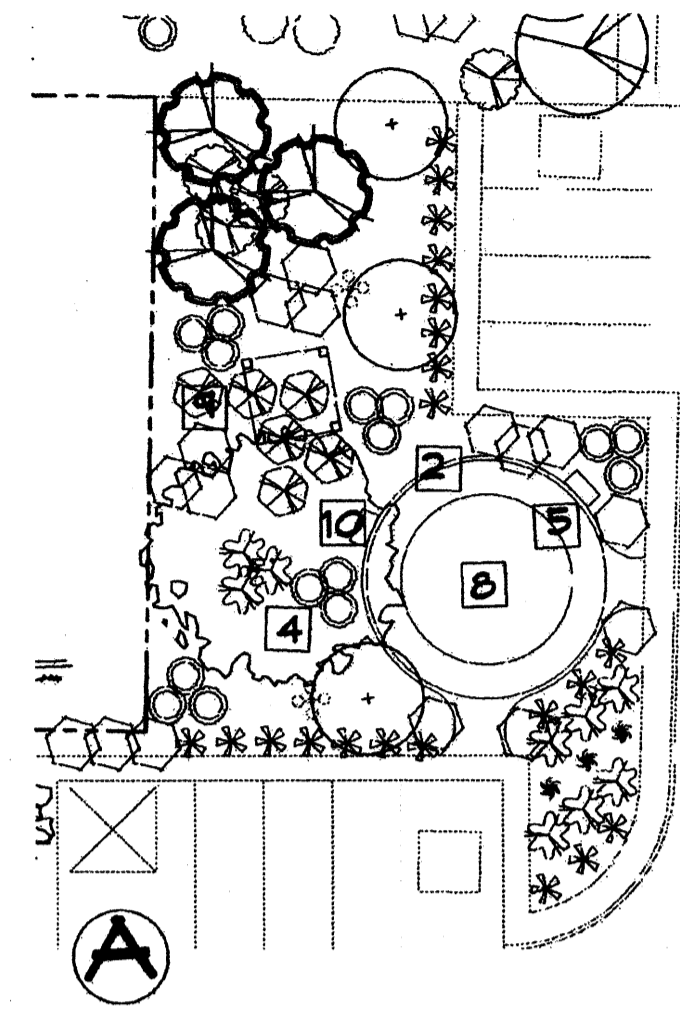
JAMES DE FLON #0067

KB HOME, INC. - MENAUL SCHOOL  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are not to be used for any other project without the written consent of The Hilltop Landscape Architects. This is an original design and may not be reproduced or copied without appropriate fees have been paid or job order placed.

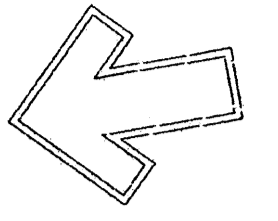
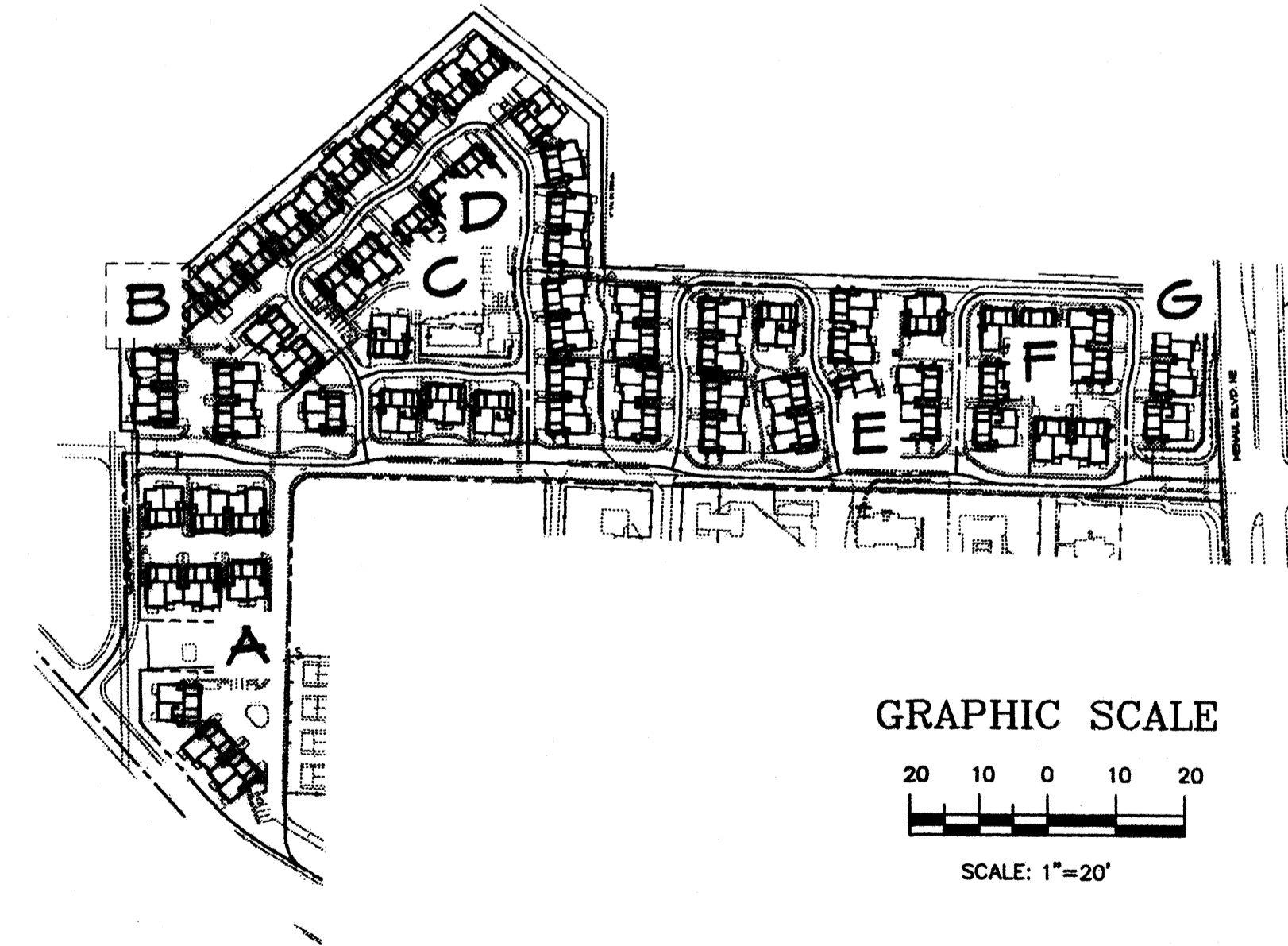
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY arr	REVISION # 4-11	DATE 2 6 06
SHEET #		L1 of L3



- ### KEYED NOTES
- 1 POLYGON SHADE STRUCTURE BY OTHERS
  - 2 6" x 6" CONCRETE MONCURB
  - 3 SOD LAWN
  - 4 3/4" GREY GRAVEL 3" DEEP W/ FF
  - 5 12" DEEP PLAY SAND
  - 6 PLAY STRUCTURE AGES 5-12 PLAYMAKERS MODEL NO. 500-0401 (SEE DETAIL SHEET 2)
  - 7 PLAY STRUCTURE AGES 2-5 EXPLORERS MODEL NO. 238-0324 (SEE DETAIL SHEET 2)
  - 8 GEODOME CLIMBER BY PLAYWORLD SYSTEMS AGES 5-12 (SEE DETAIL SHEET 2)
  - 9 10' x 10' RAMADA WITH 6' PICNIC TABLE-SURFACE MOUNT MODEL AND BBQ GRILL (SEE DETAIL SHEET 2)
  - 10 4' BENCH WITH ARM RESTS ON SIDES SURFACE MOUNT (SEE DETAIL SHEET 2)

Product	Manufacturer/Species	Model No.	Quantity	Location
Playstructure	Playworld Systems Capacity: Up to 20 children ages 5-12 Size: 14'x17'x10' Use Zone: 320x30' Colors: Forest green posts, red components, beige and green plastics, yellow decks and stairs	500-0401	1	Cubhouse
Playstructure	Playworld Systems Capacity: Up to 25 children ages 2-5 Size: 15'x12'x11' Use Zone: 25x25' Colors: Forest green posts, red components, beige and green plastics, yellow decks and stairs	238-0324	1	Blgd 36
Playstructure	Playworld Systems Capacity: Up to 7 children ages 5-12 Size: 6' dia x4' Use Zone: 20' dia Colors: Forest green	22FD1551	1	Blgd 4
Ramada	The Hilltop Landscaping Size: 10'x10' Material: Cedar Stain: Olympic 417	N/A	5	Blgd 22 Blgd 34 Blgd 44 Blgd 1 Blgd 4
6' Picnic Table	Playworld Systems Colors: Beige top, Hunter Green Frame	22XX1401	5	Blgd 22 Blgd 34 Blgd 44 Blgd 1 Blgd 4
Dark BBQ Grill	Playworld Systems	22XX1451	5	Blgd 22 Blgd 34 Blgd 44 Blgd 1 Blgd 4
4' Bench	Playworld Systems Colors: Beige seat, Forest Arm/Legs	22XX146-45	6	Cubhouse (2) Blgd 36 (2) Blgd 4 (2)



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cnd@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #0007

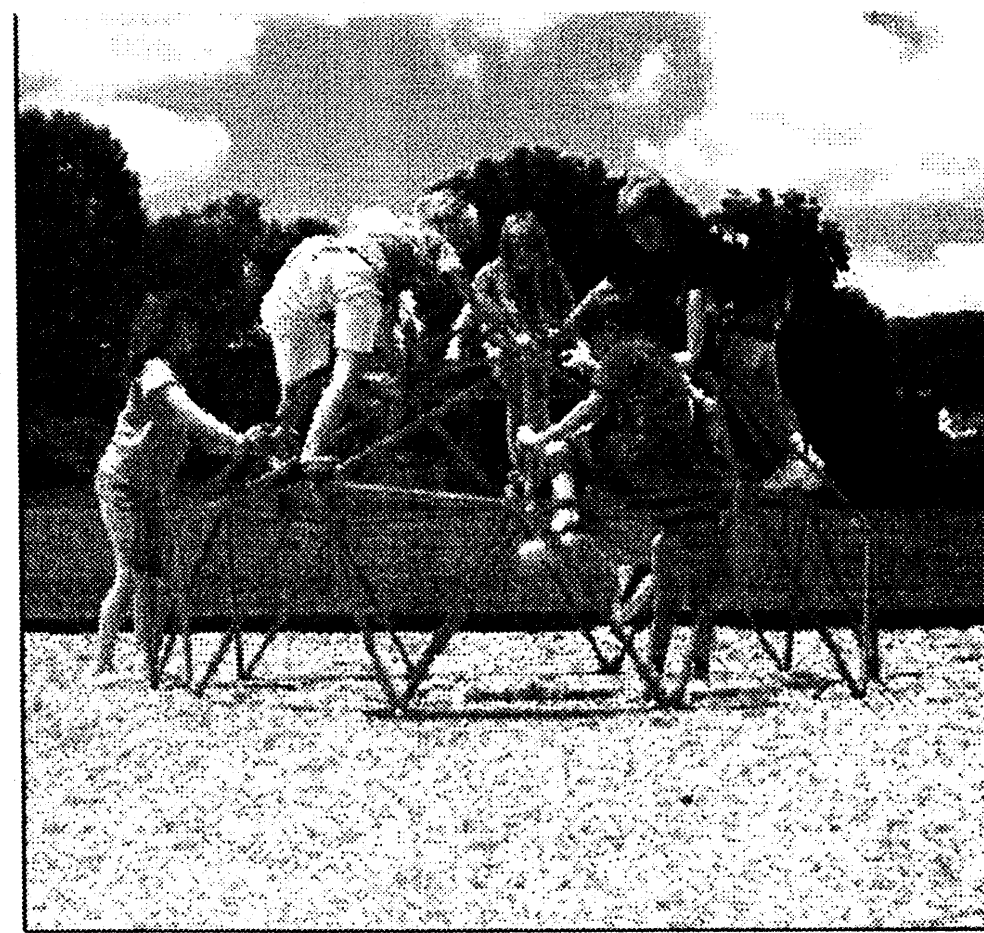
KB HOME, INC. - MENAUL SCHOOL  
ALBUQUERQUE, NM  
COMMON AIRLAs

All materials and equipment listed herein are the property of The Hilltop Landscaping Architects and Contractors and are protected by copyright laws. The use of these materials and equipment without the prior written approval of the contractor is prohibited.

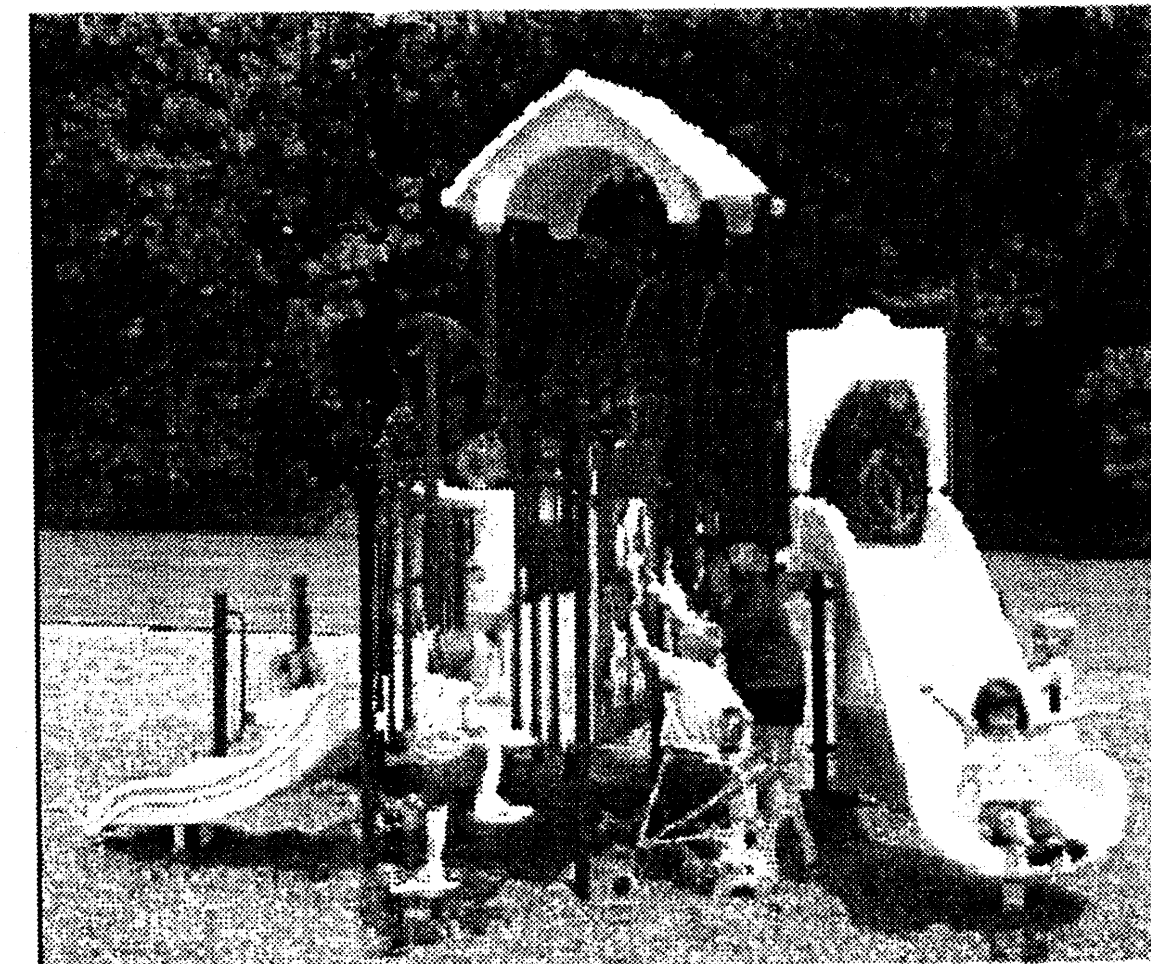
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: [blank]  
REVISION # 4-CJ  
DATE: 2-15-06

SHEET #  
L2 of L3



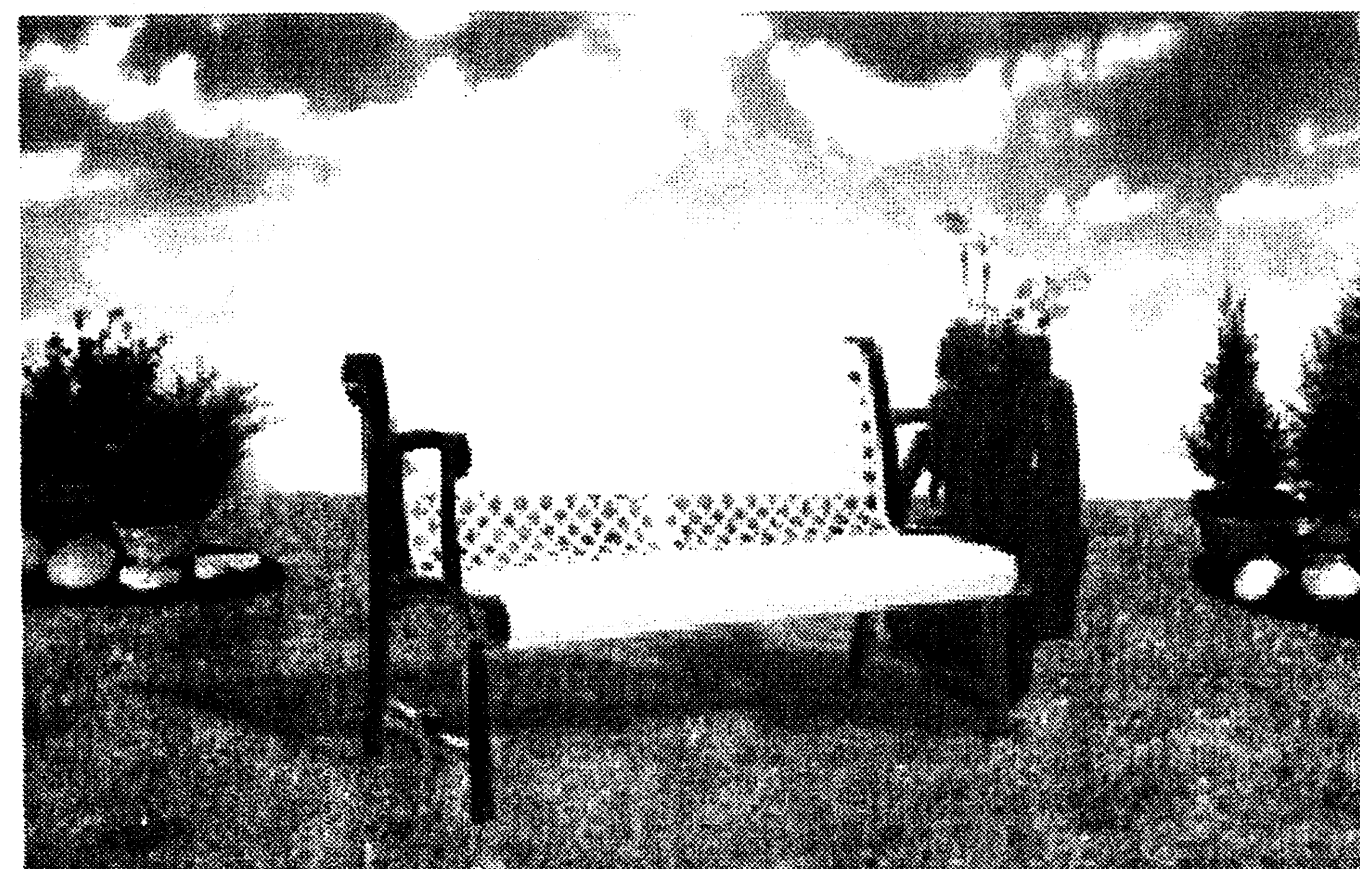
① GEODOME CLIMBER AGES 5-12  
not to scale



② PLAYSTRUCTURE AGES 2-5  
not to scale



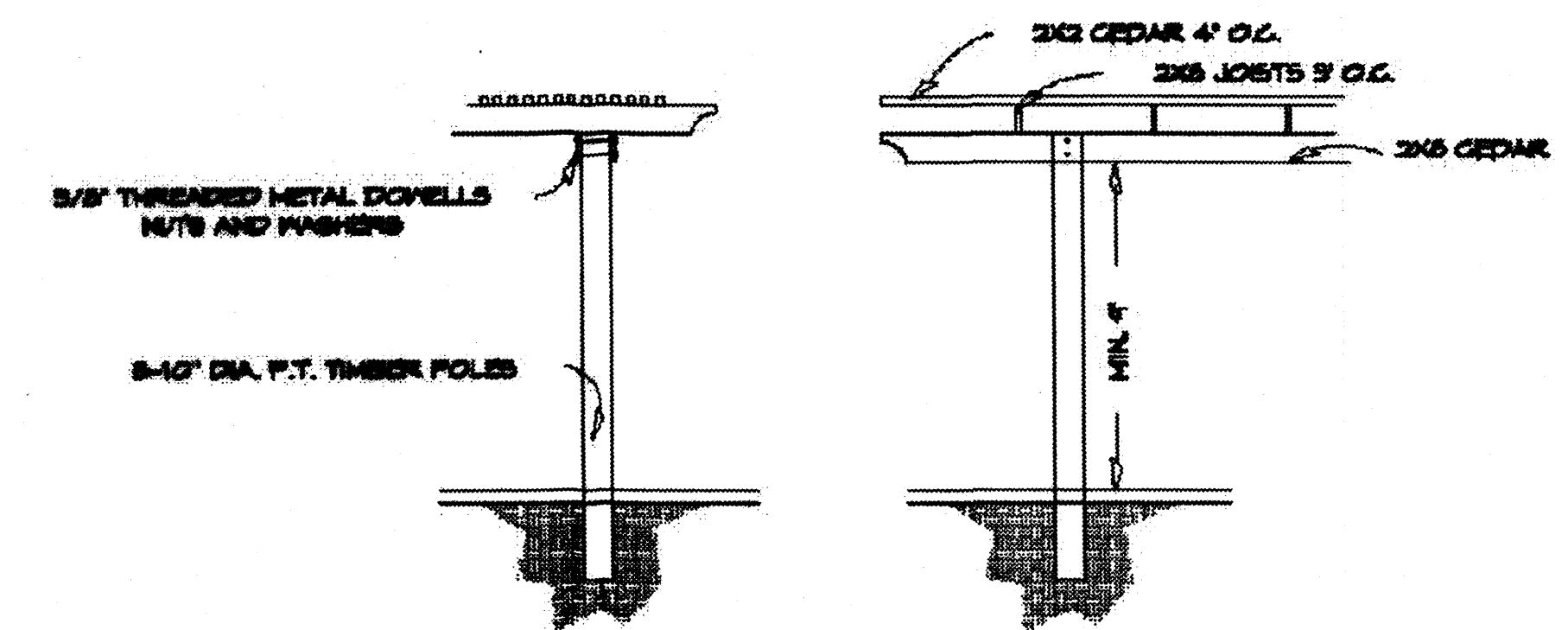
③ PLAYDSTRUCTURE AGES 5-12  
not to scale



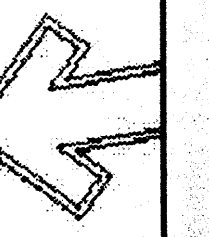
④ 4' BENCH - SURFACE MOUNT  
not to scale



⑤ 6' PICNIC TABLE - SURFACE MOUNT  
not to scale



⑥ RAMADA DETAIL TYP.  
not to scale



Cont. L.L. #8650  
1000 E. 1st St.  
Albuquerque, NM 87104  
Ph: (505) 868-8690  
Fax: (505) 868-7737

LANDSCAPE  
ARCHITECT  
SEAL

JAMES DE  
#0007

KB HOME, INC. - MENAUL SCHOOL  
ALBUQUERQUE, NM

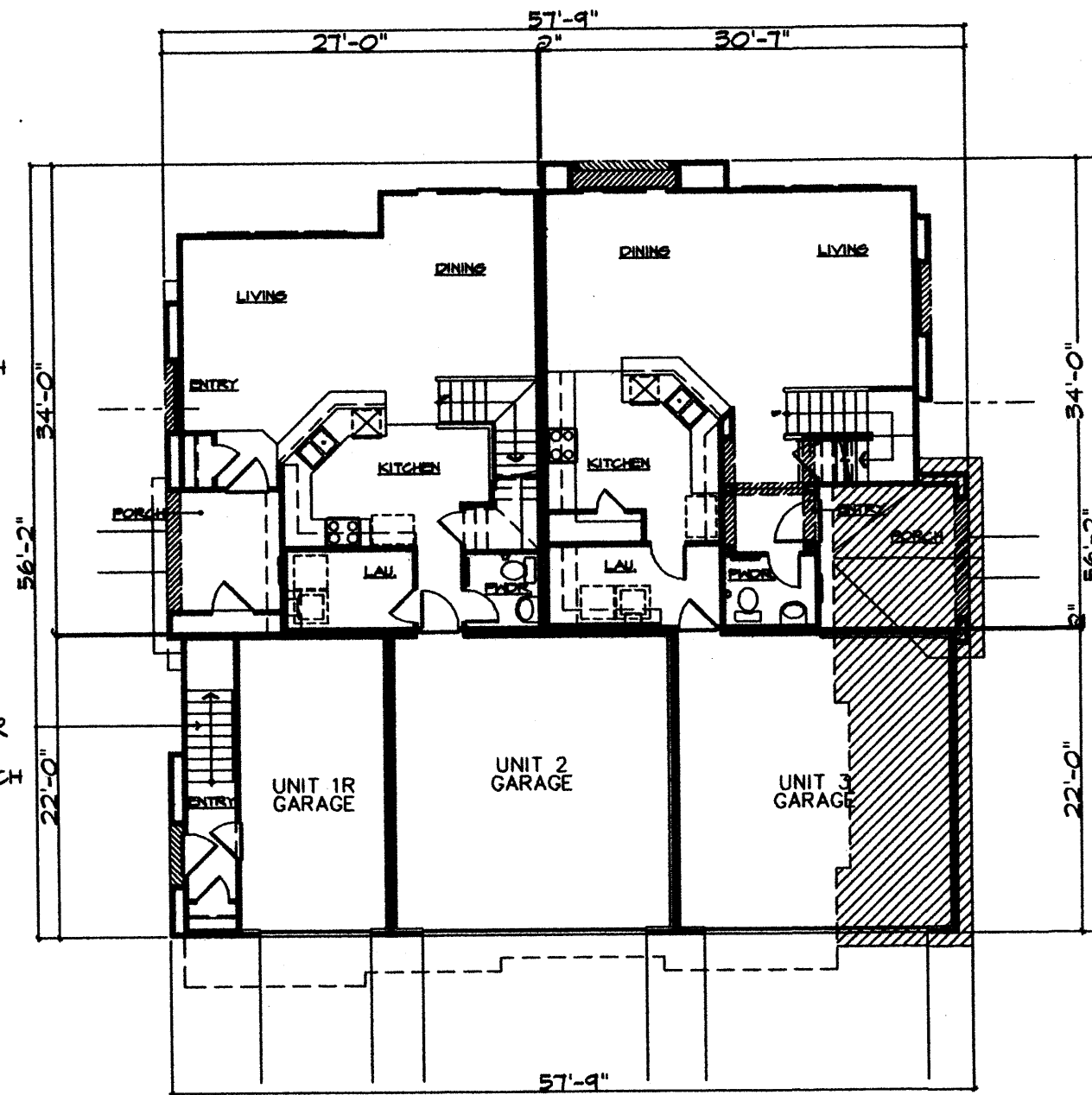
All drawings shall conform to the standards and specifications of the American Institute of Architects and the American Society of Landscape Architects. This is a professional drawing and shall not be used for any other purpose without the written consent of the architect.

The Hilltop

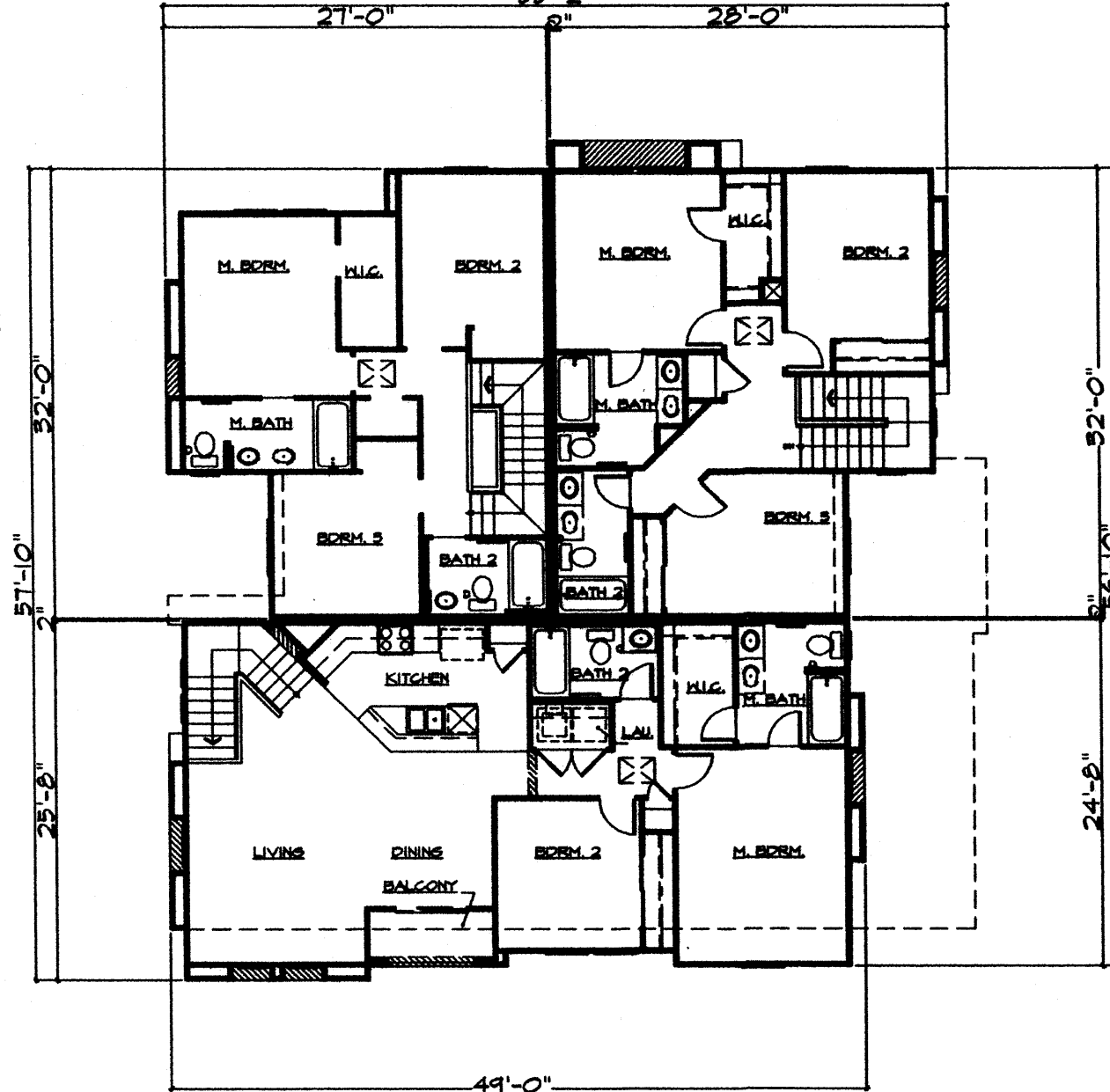
DRAWN BY  
REVISED BY

SHEET #  
L3 of L





PLAN - GROUND FLOOR  
SCALE: 1" = 12'-0"



PLAN - UPPER FLOOR  
SCALE: 1" = 12'-0"



FRONT ELEVATION  
SCALE: 1" = 12'-0"



REAR ELEVATION  
SCALE: 1" = 12'-0"



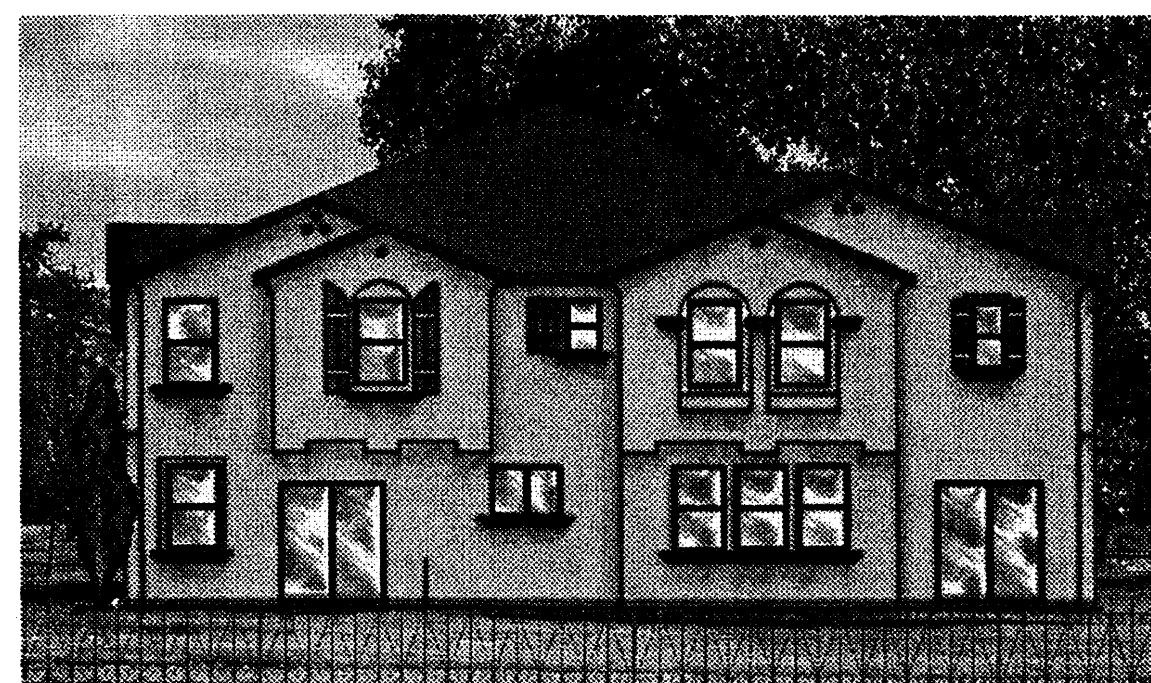
LEFT ELEVATION  
SCALE: 1" = 12'-0"



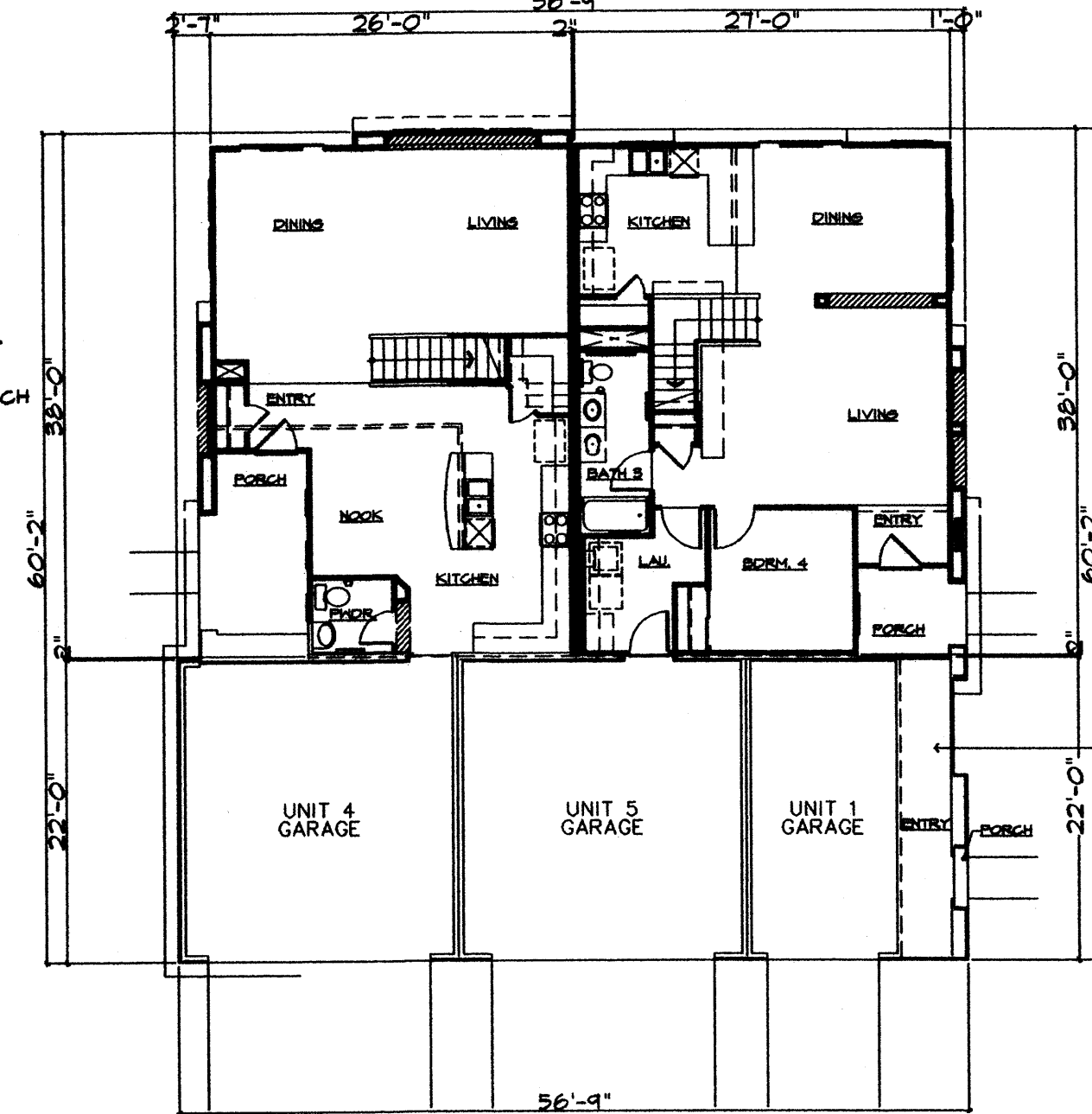
RIGHT ELEVATION  
SCALE: 1" = 12'-0"

**BUILDING 3P-1**

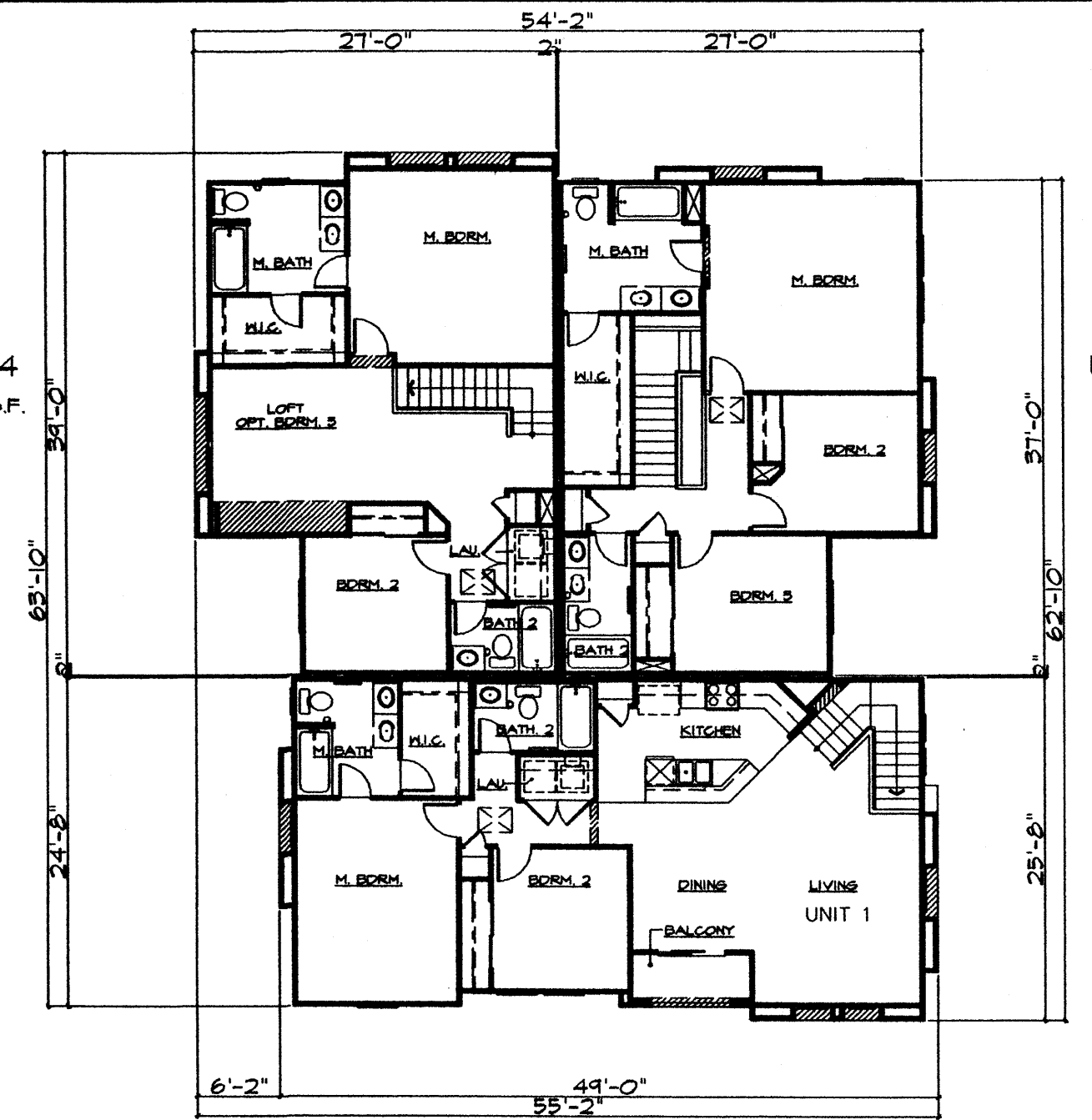
OVERALL BUILDING DIMENSION:  
57.75' x 56.2' 3245.5 S.F.  
BUILDING HEIGHT:  
28.75'  
SINGLE FAMILY UNITS PER BLDG:  
3  
UNIT FOOTAGE:  
UNIT 1R - 1153 S.F. + 6/36 S.F. PORCH/BALCONY  
UNIT 2 - 1354 S.F. + 71 S.F. PORCH  
UNIT 3 - 1481 S.F. + 102 S.F. PORCH



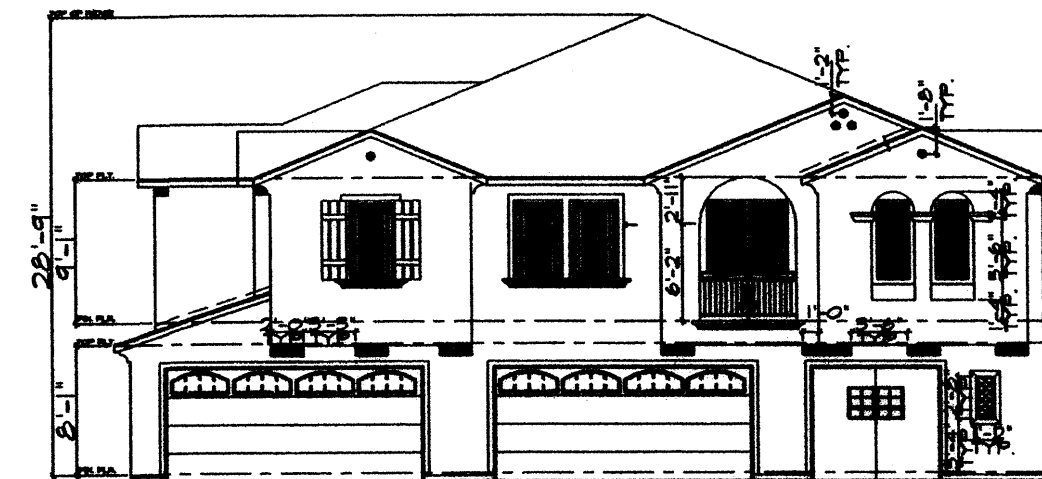
RIGHT ILLUSTRATION



PLAN - GROUND FLOOR  
SCALE: 1" = 12'-0"



PLAN - UPPER FLOOR  
SCALE: 1" = 12'-0"



FRONT ELEVATION  
SCALE: 1" = 12'-0"



REAR ELEVATION  
SCALE: 1" = 12'-0"



LEFT ELEVATION  
SCALE: 1" = 12'-0"



RIGHT ELEVATION  
SCALE: 1" = 12'-0"

**BUILDING 3P-2**

OVERALL BUILDING DIMENSION: 56.75' x 60.2' 3416.35 S.F.  
BUILDING HEIGHT: 28.75'  
SINGLE FAMILY UNITS PER BLDG: 3  
UNIT FOOTAGE:  
UNIT 1 - 1153 S.F. + 6/29 S.F. PORCH/BALCONY  
UNIT 4 - 1745 S.F. + 86 S.F. PORCH  
UNIT 5 - 1821 S.F. + 42 S.F. PORCH



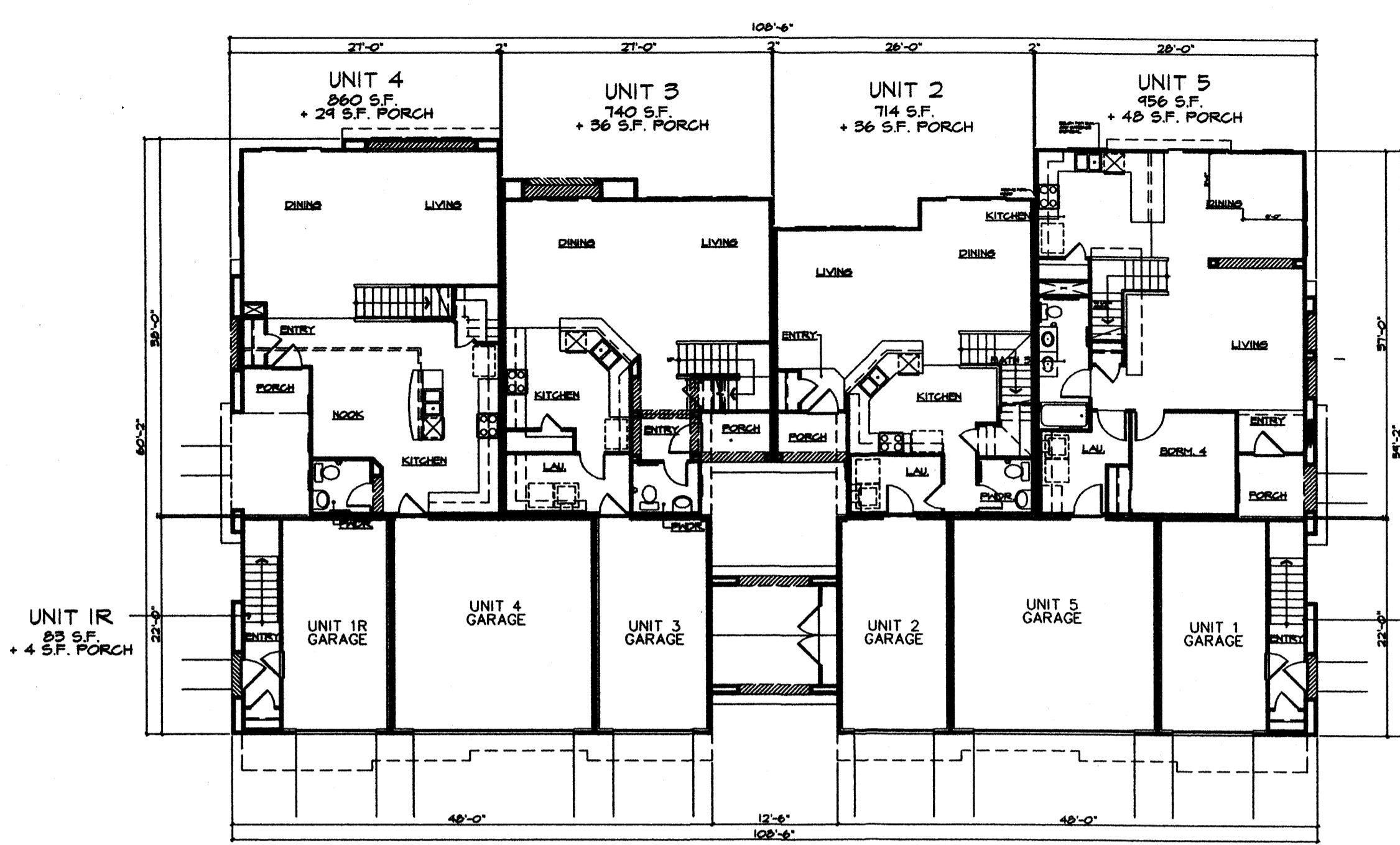
FRONT ILLUSTRATION

OVERHEAD GARAGE DOOR WITH ARCH WINDOWS  
STUCCO EXTERIOR FINISH  
"CARRIAGE" GARAGE DOOR WITH WINDOW

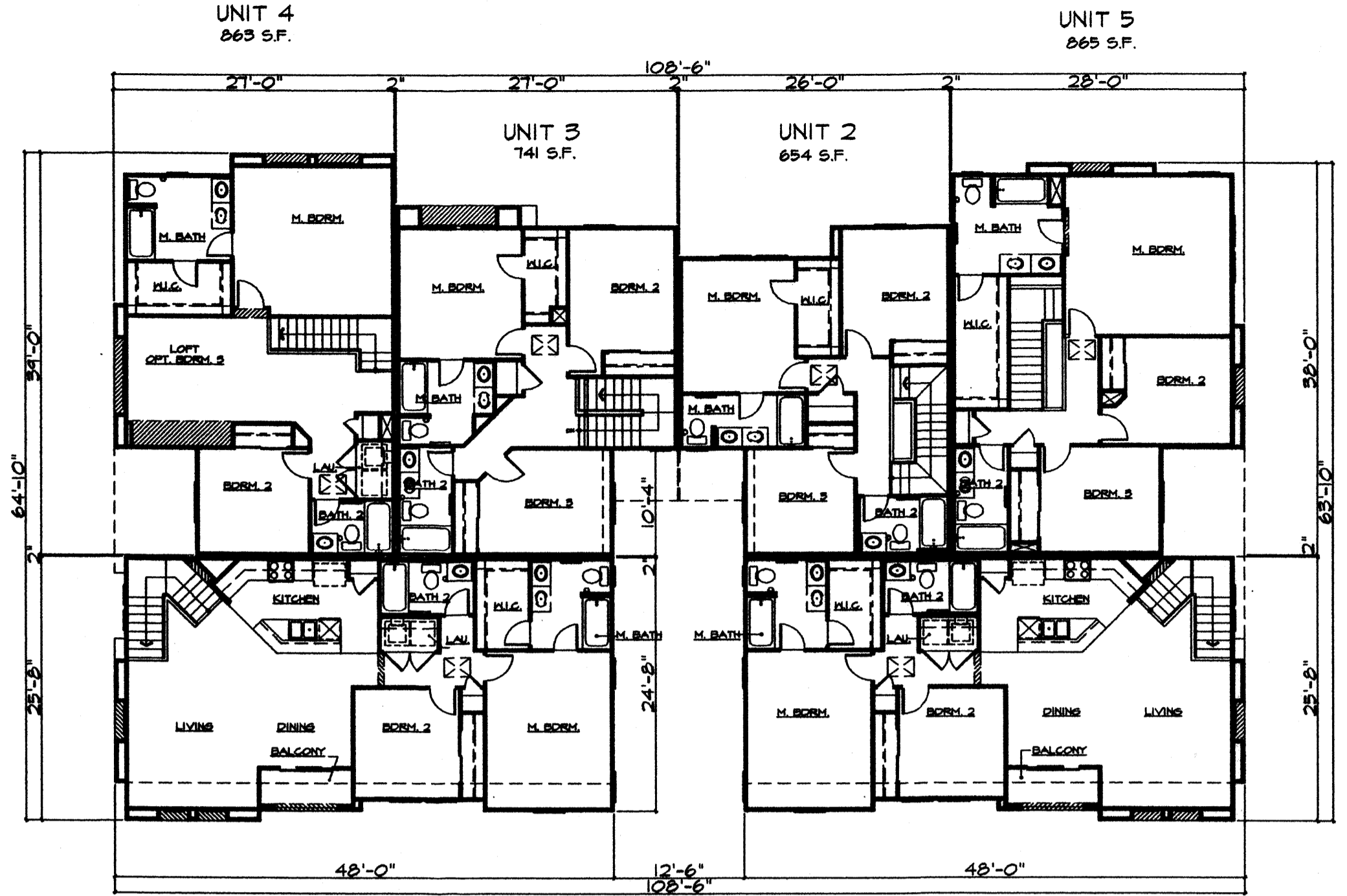
**MENAU SCHOOL CONDOMINIUMS  
BUILDING ELEVATIONS  
3P-1 AND 3P-2**

DATE:	02/02/06		SHEET
SCALE:	AS SHOWN		9
CREW:	XX/XX		OF
DRAWN:	CAS		11
JOB NO.:	N627		
LAND PLANNING P.O. Box 1328		ENGINEERING SURVEYING Corrales, N.M. 87048	

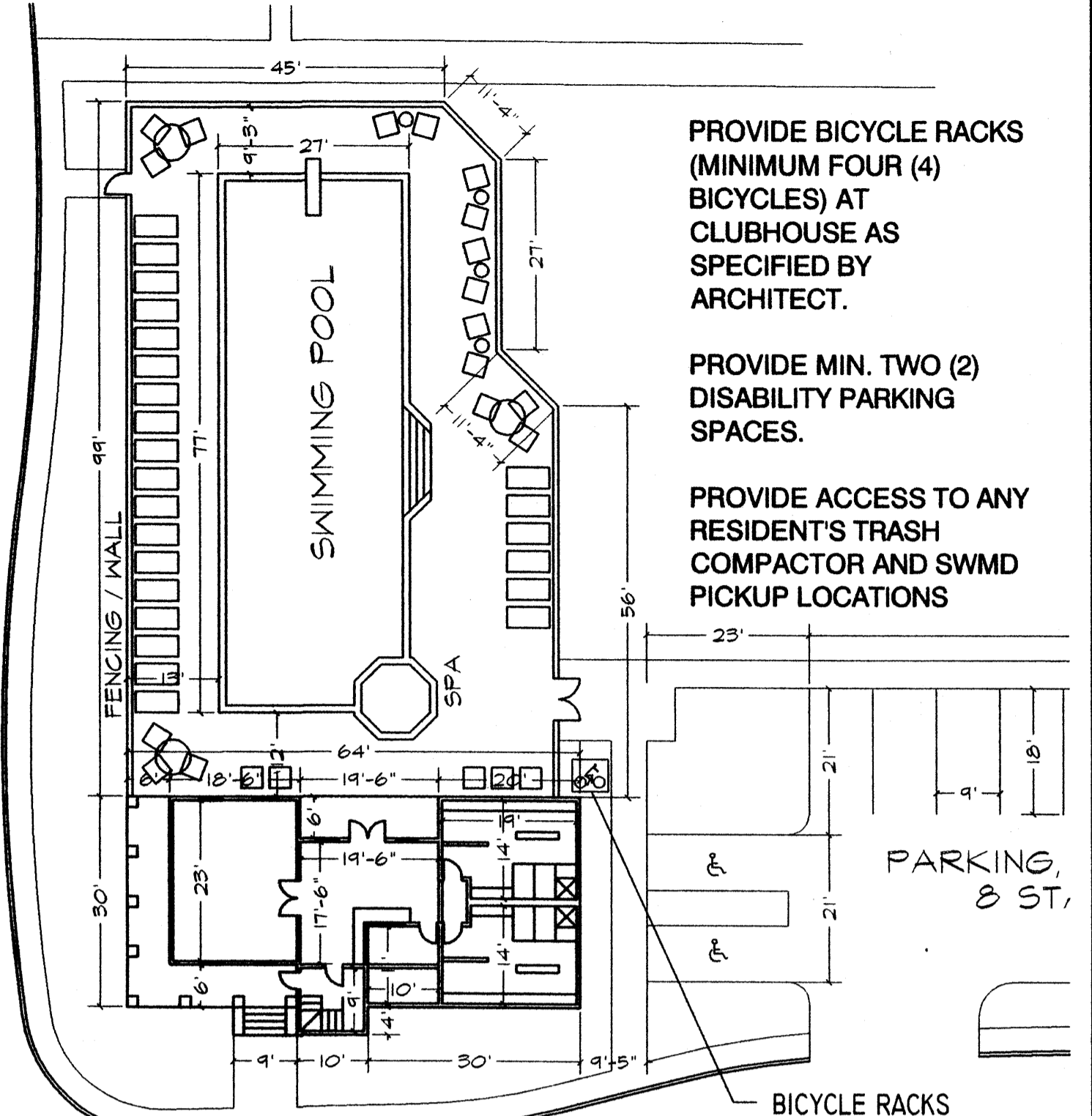
F:\PROJECTS\N627 KBHOME\Menau School\SDP\Site Plan SubdPlan\_ver5 020206.dwg



**PLAN - GROUND FLOOR**  
SCALE: 1" = 12'-0"  
**BUILDING 6P**



**PLAN - UPPER FLOOR**  
SCALE: 1" = 12'-0"

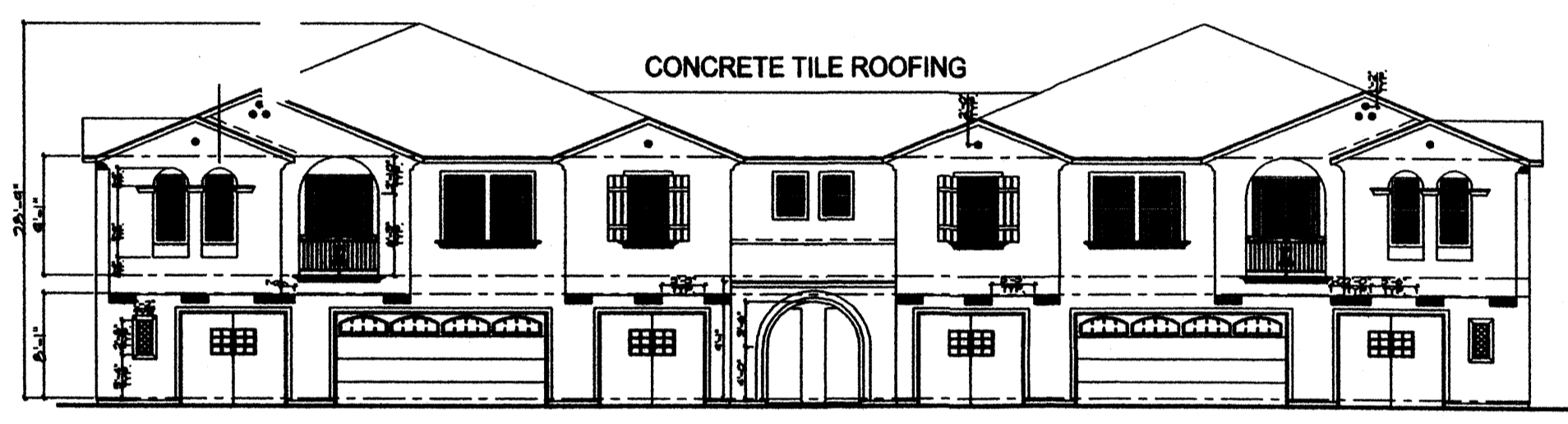


**PLAN - GROUND FLOOR**  
SCALE: 1" = 20'

PROVIDE BICYCLE RACKS (MINIMUM FOUR (4) BICYCLES) AT CLUBHOUSE AS SPECIFIED BY ARCHITECT.

PROVIDE MIN. TWO (2) DISABILITY PARKING SPACES.

PROVIDE ACCESS TO ANY RESIDENT'S TRASH COMPACTOR AND SWMD PICKUP LOCATIONS

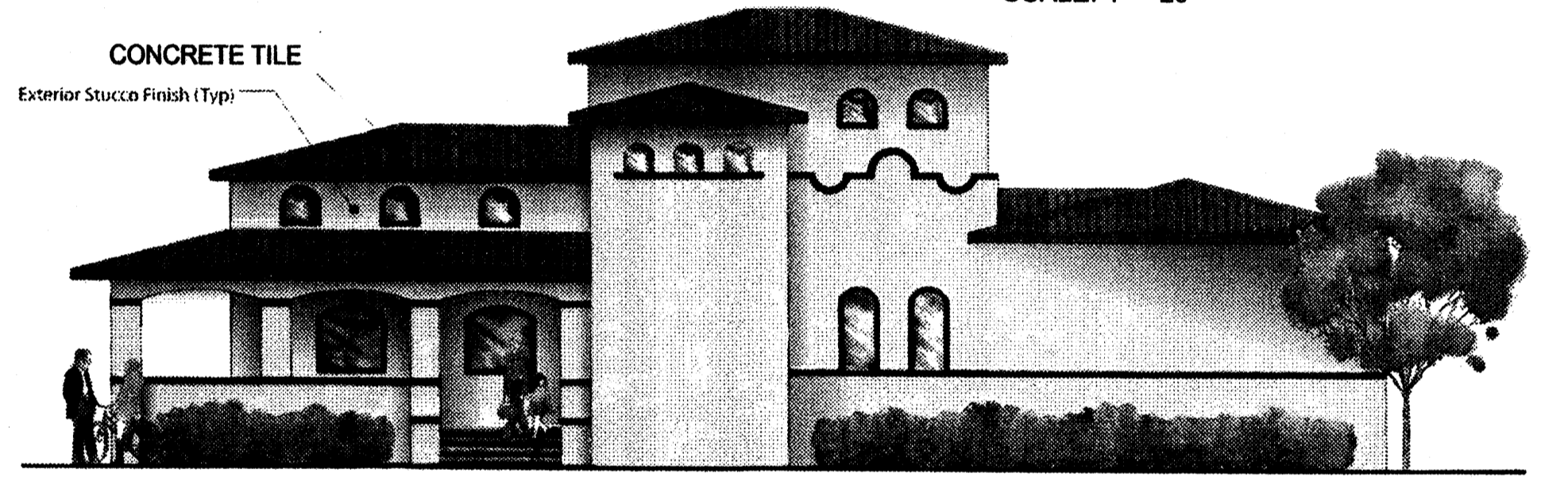


**FRONT ELEVATION**  
SCALE: 1" = 12'-0"

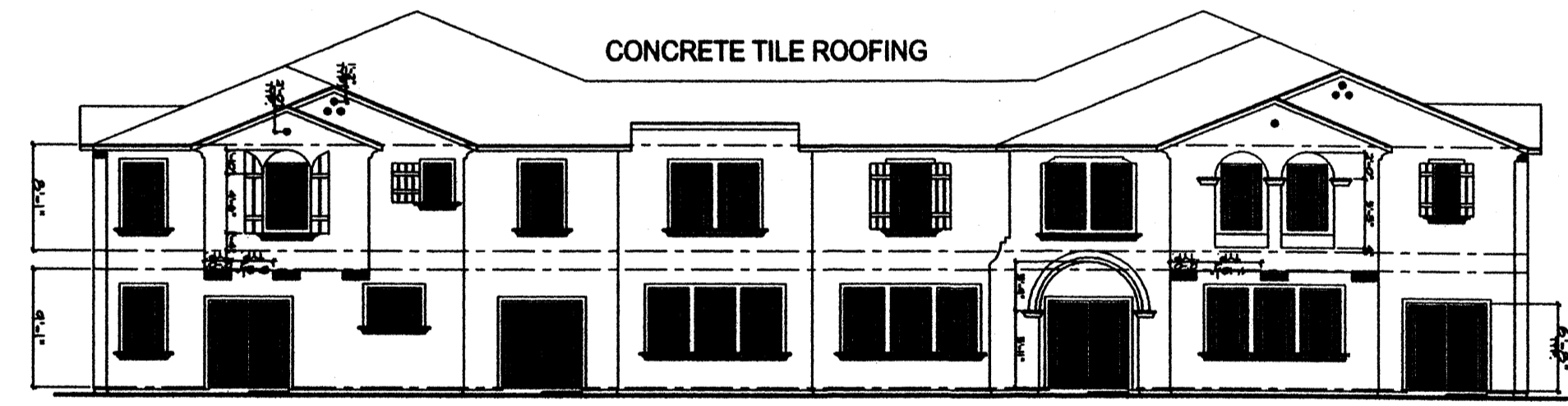


**LEFT ELEVATION**  
SCALE: 1" = 12'-0"

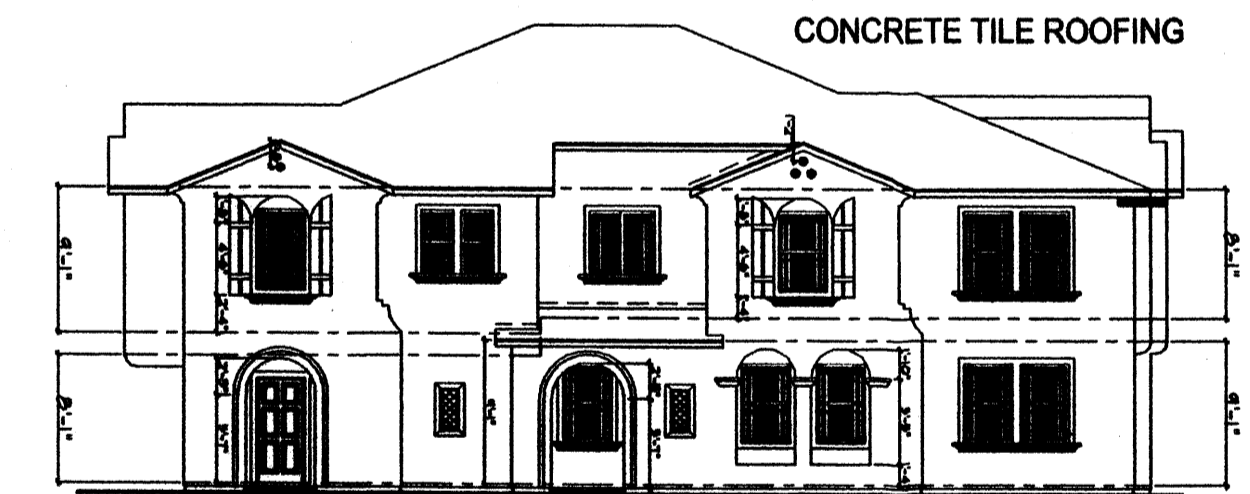
OVERALL BUILDING DIMENSIONS:  
108.5' x 60.2' 6531.7 SQ. FT.  
BUILDING HEIGHT:  
28.75'  
SINGLE FAMILY UNITS PER BLDG:  
6  
SINGLE FAMILY UNIT AREAS:  
UNIT 1 - 1153 S.F. + 40 S.F. PORCH  
UNIT 2 - 1368 S.F. + 36 S.F. PORCH  
UNIT 3 - 1481 S.F. + 36 S.F. PORCH  
UNIT 4 - 1723 S.F. + 29 S.F. PORCH  
UNIT 5 - 1821 S.F. + 48 S.F. PORCH  
UNIT 1R - 1153 S.F. + 40 S.F. PORCH



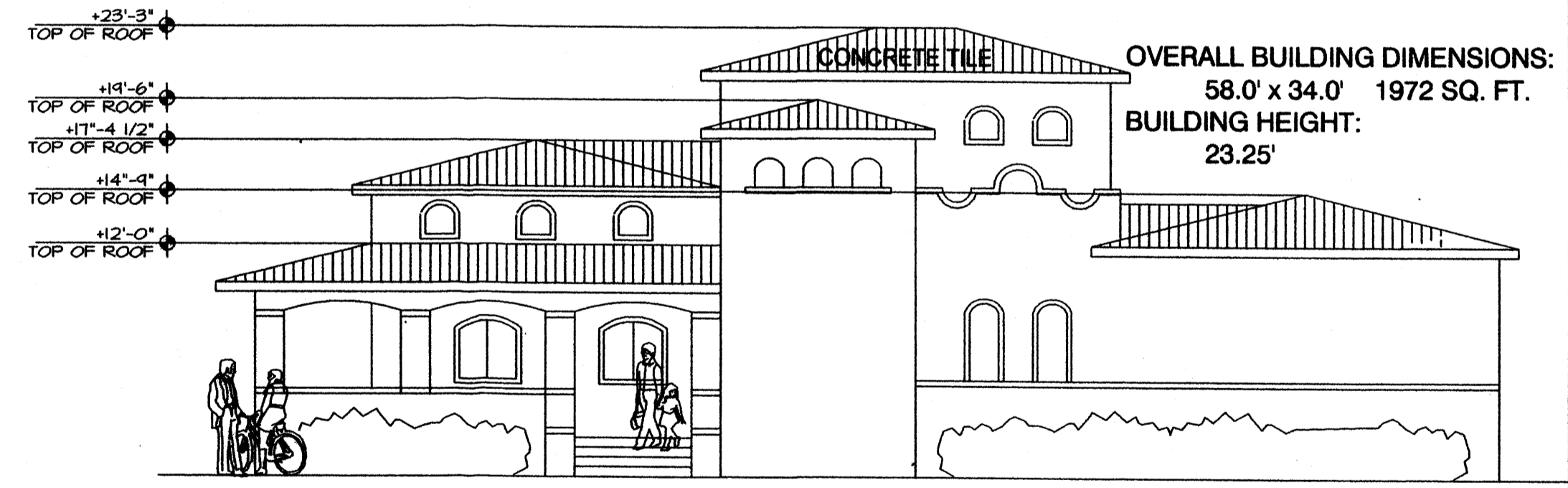
**FRONT ILLUSTRATION**



**REAR ELEVATION**  
SCALE: 1" = 12'-0"



**RIGHT ELEVATION**  
SCALE: 1" = 12'-0"

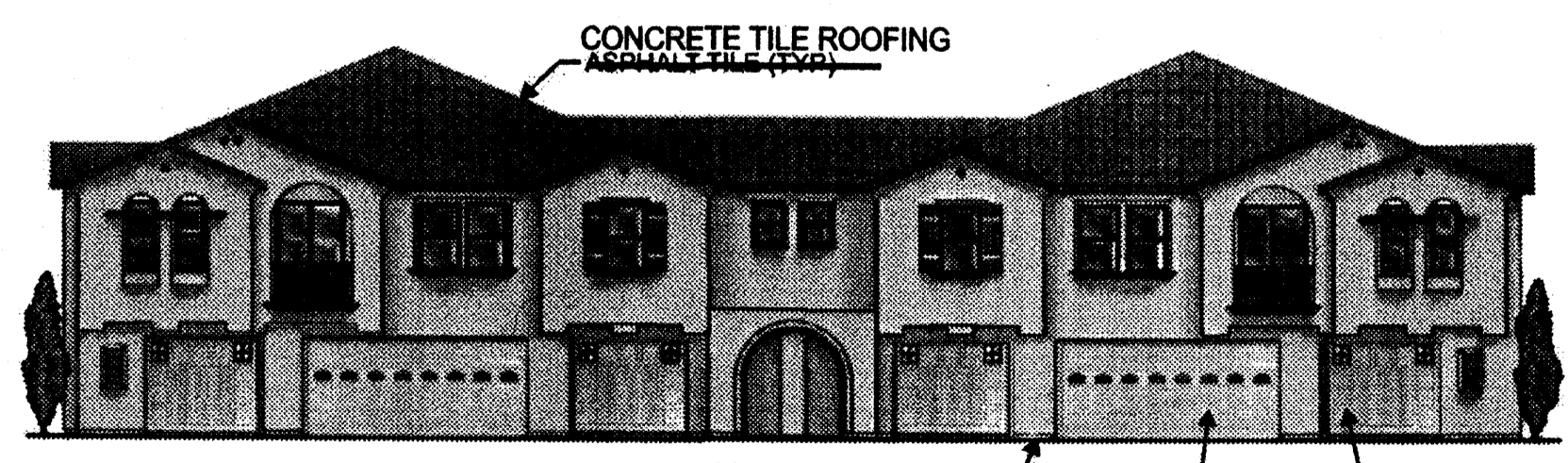


OVERALL BUILDING DIMENSIONS:  
58.0' x 34.0' 1972 SQ. FT.  
BUILDING HEIGHT:  
23.25'

**CLUBHOUSE FRONT ELEVATION**  
**CLUBHOUSE BUILDING**



**REAR ILLUSTRATION**



**FRONT ILLUSTRATION**



**RIGHT ILLUSTRATION**

F:\PROJECTS\N627 KBHOME\Menual School\SDP\Site Plan Subd\Plan\_ver5 020206.dwg

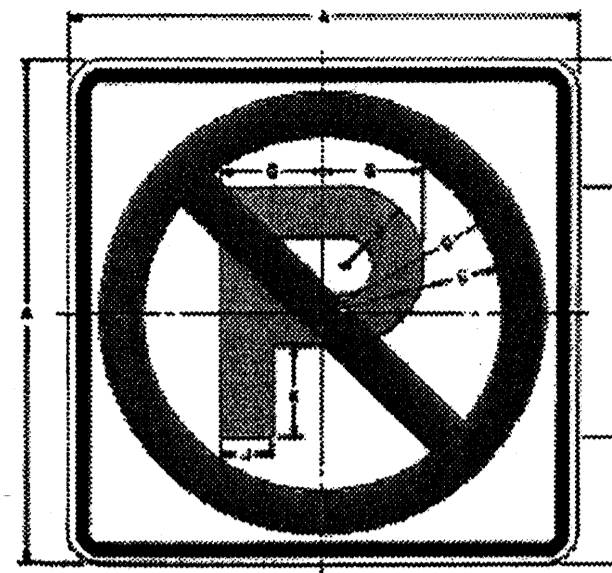
**MENAU SCHOOL CONDOMINIUMS  
BUILDING ELEVATIONS  
6P AND CLUBHOUSE**

DATE:	2/9/2006	<b>community sciences corporation</b>	SHEET
SCALE:	AS SHOWN		10
CREW:	XXXXX		OF
DRAWN:	JGG/MVH		11
JOB NO.:	N627		

LAND PLANNING P.O. Box 1328  
ENGINEERING Corrales, N.M. 87048  
SURVEYING

**SIDEWALK AND PAVEMENT COLORATION FOR PEDESTRIAN TRAFFIC:**

WALKWAYS CROSSING PAVEMENT (SHEETS 2 AND 3 LOCATIONS): IMPRESSED CONCRETE (E.G. BOMANITE O.A.E.) PATTERN "COBBLESTONE", COLOR = BRICK RED.  
 3' INTERNAL WALKS ADJACENT TO PRIVATE STREETS: P.C.C. CONCRETE, SAND FINISH, APPLIED FINISH COLOR = BRICK RED.  
 4' STANDARD SIDEWALKS AND VEHICULAR DRIVEPADS: SAND OR BROOM FINISH, COLOR = NATURAL.



**SIGN SIZE**

SIZE	A	B	C	D	E	F	G	H
10' x 10'	10	10	10	10	10	10	10	10
20' x 20'	20	20	20	20	20	20	20	20
30' x 30'	30	30	30	30	30	30	30	30

**SIGN DIMENSIONS**

SIZE	MIN. CLEARANCE	MIN. CLEARANCE	MIN. CLEARANCE	MIN. CLEARANCE	MIN. CLEARANCE	MIN. CLEARANCE	MIN. CLEARANCE
10' x 10'	10'	10'	10'	10'	10'	10'	10'
20' x 20'	20'	20'	20'	20'	20'	20'	20'
30' x 30'	30'	30'	30'	30'	30'	30'	30'

**N-MOD-13 SERIES ILLUMINATED BOLLARD**

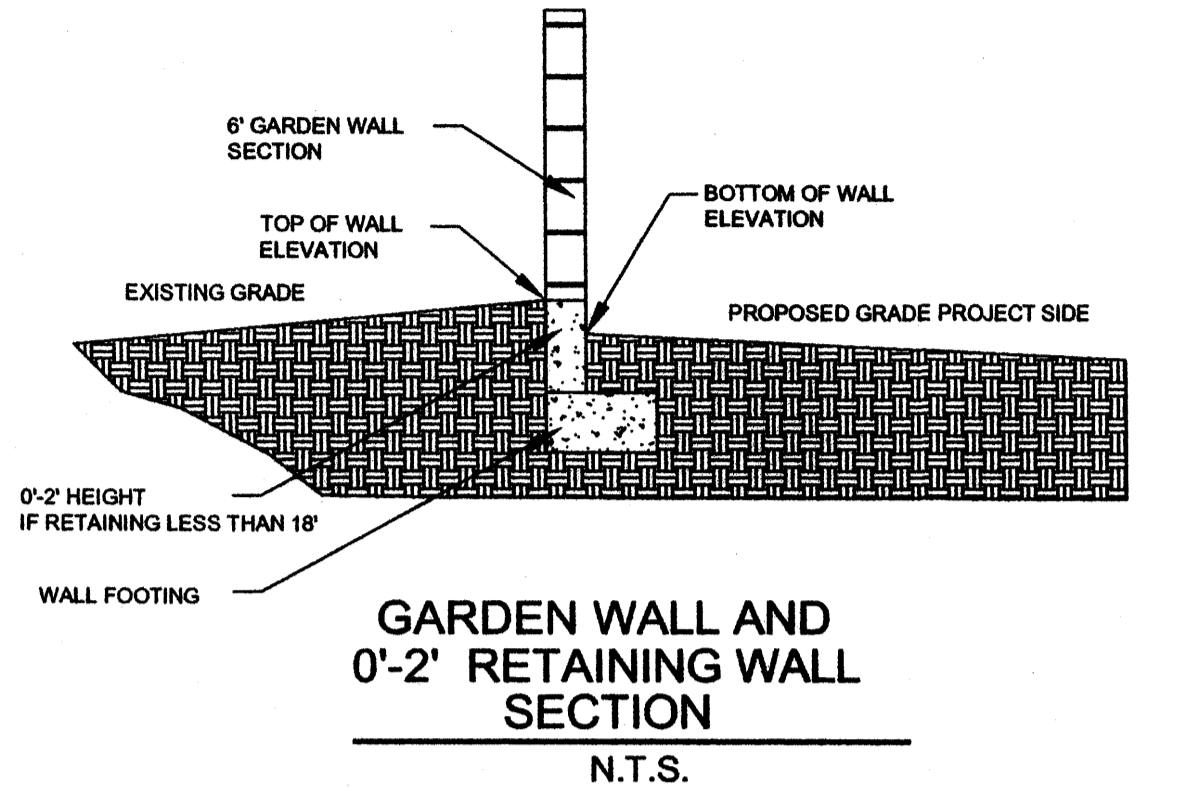
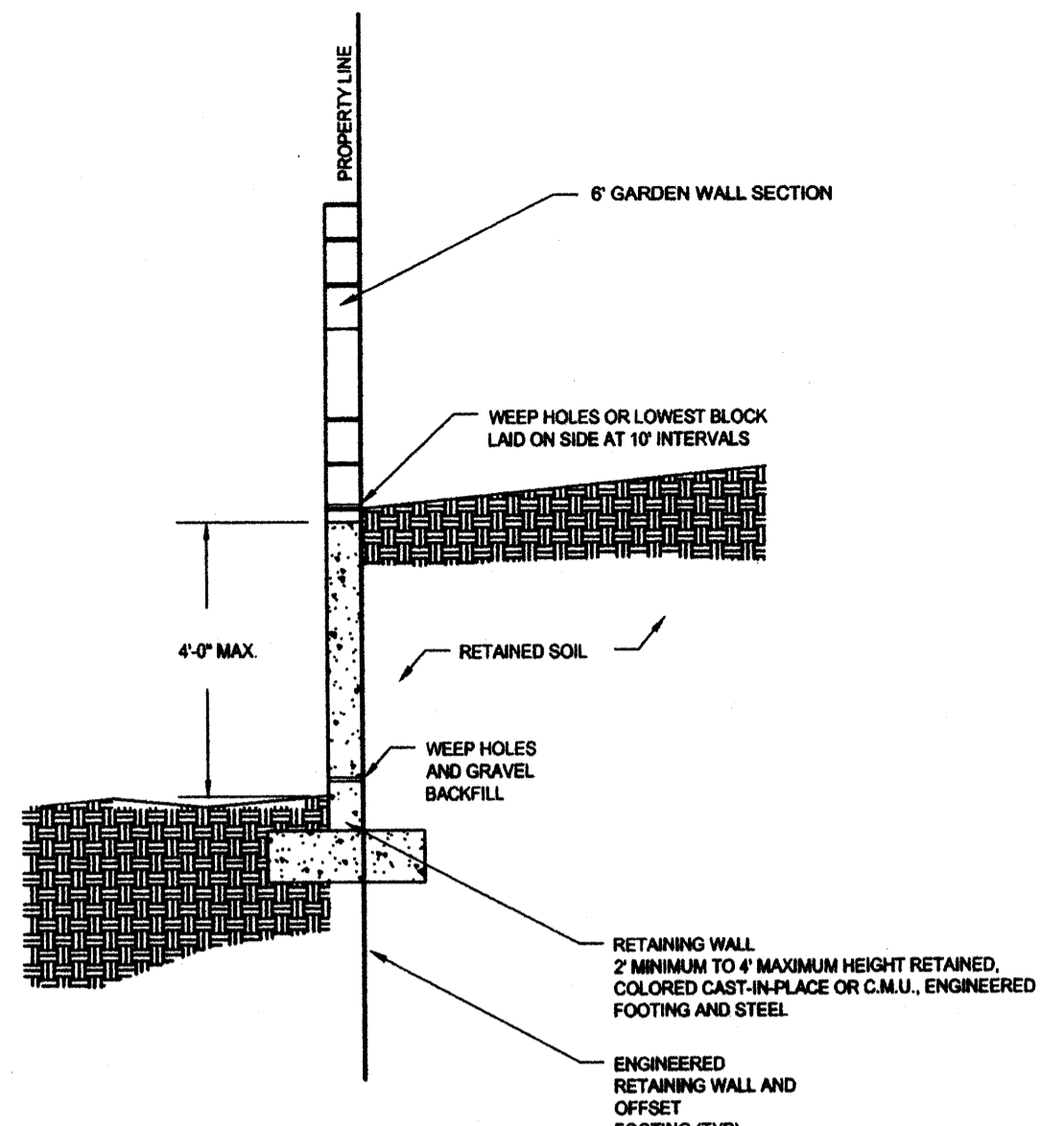
**UTILITY-5 SERIES**

**BASE & LUMINAIRE**

**UTILITY-5 SERIES**

**BASE & LUMINAIRE**

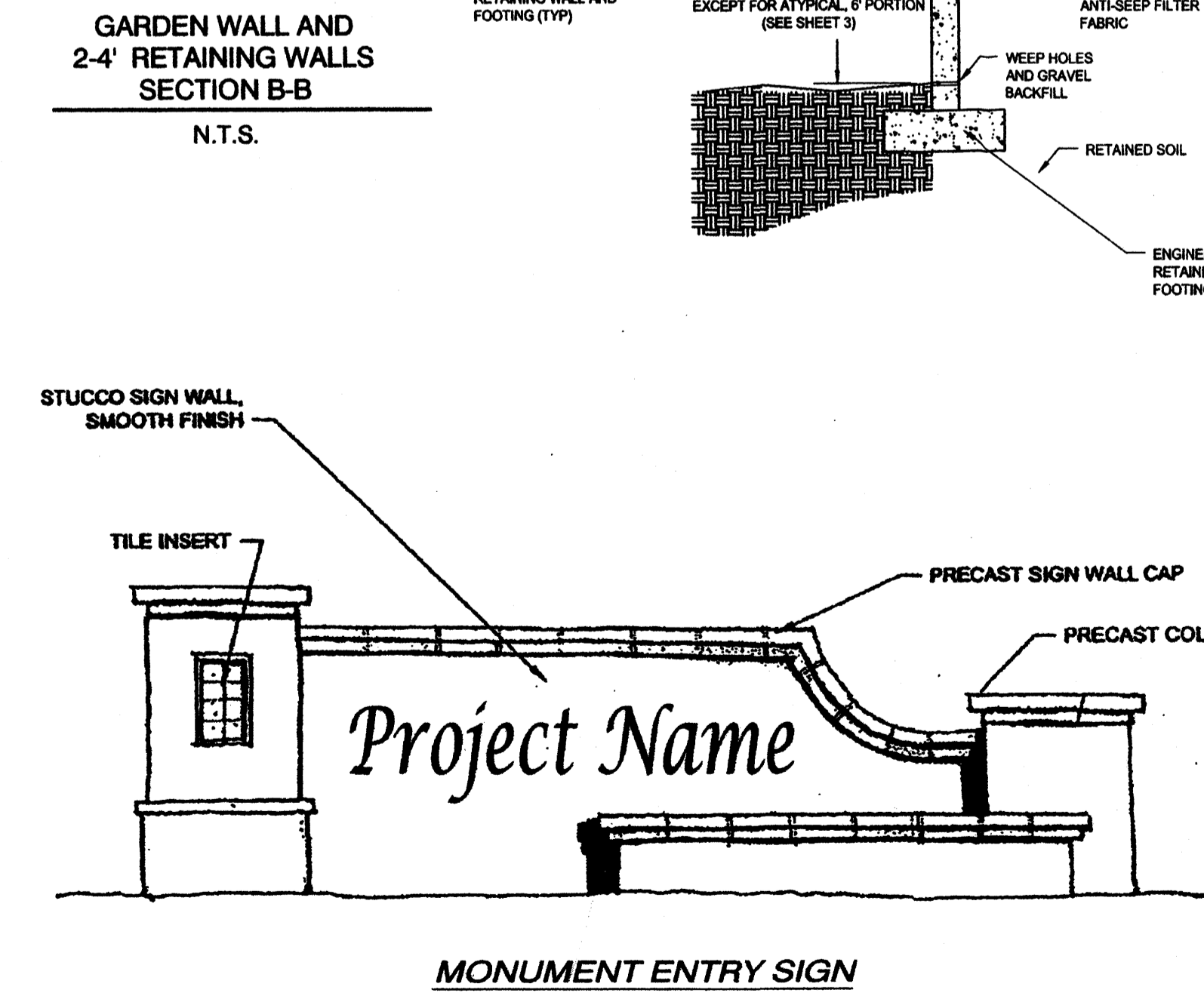
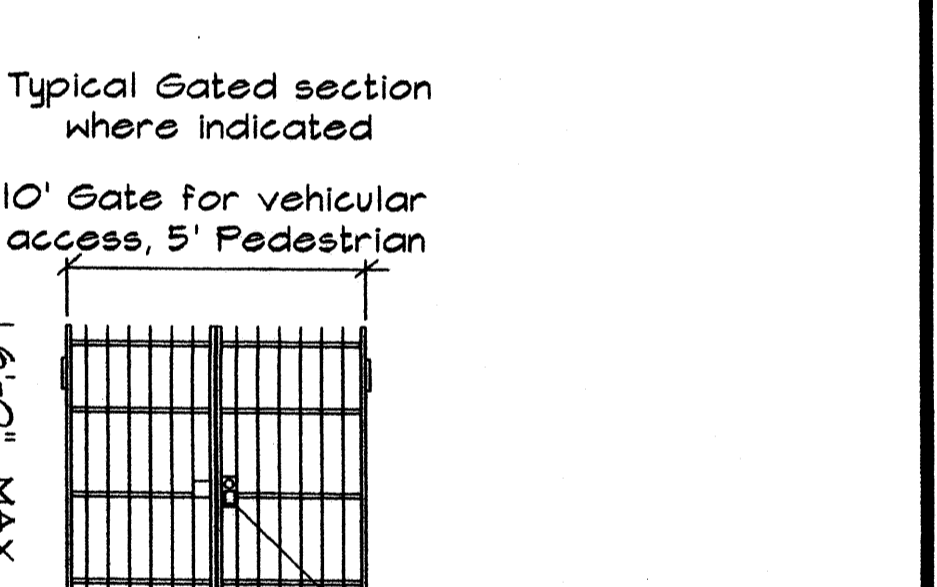
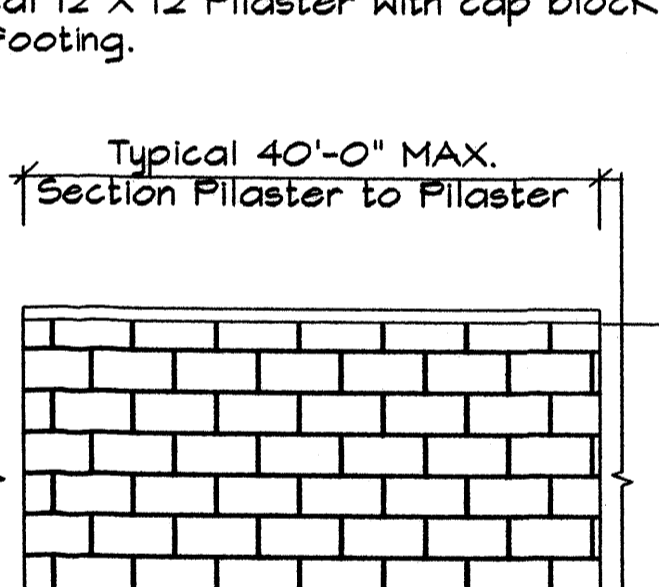
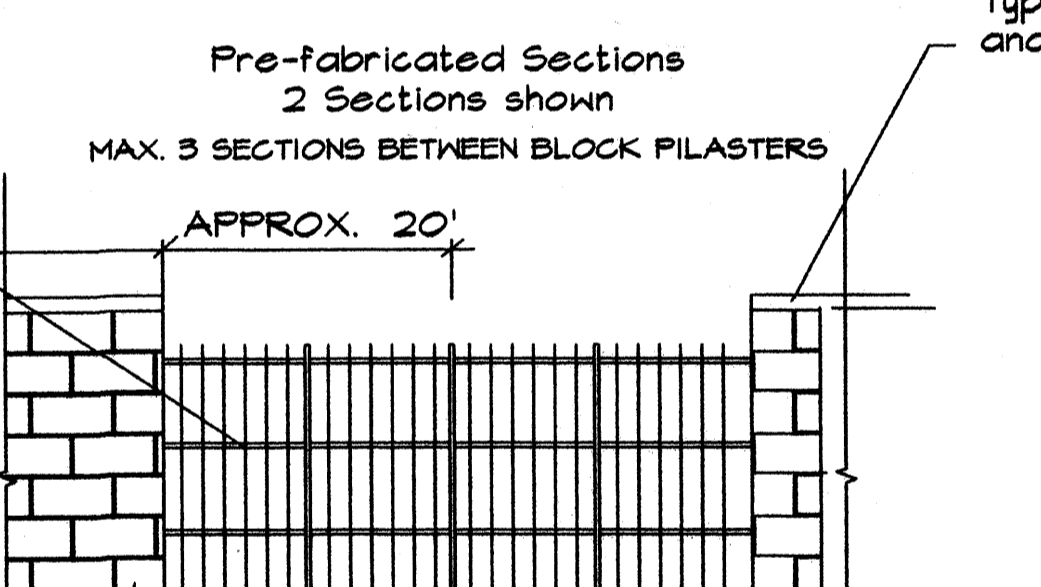
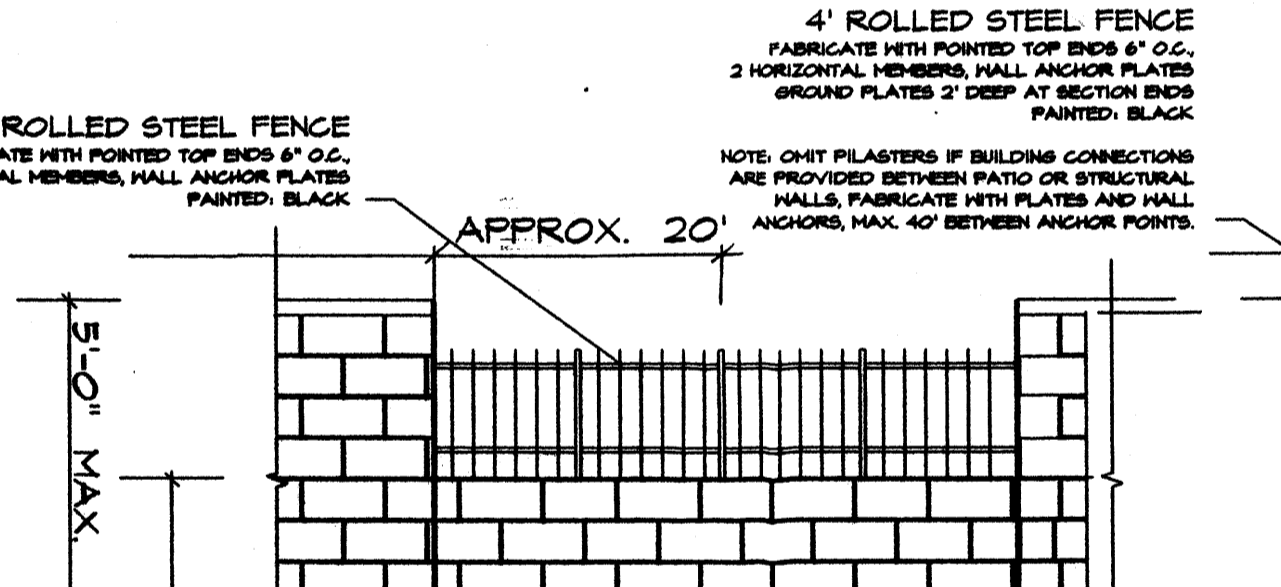
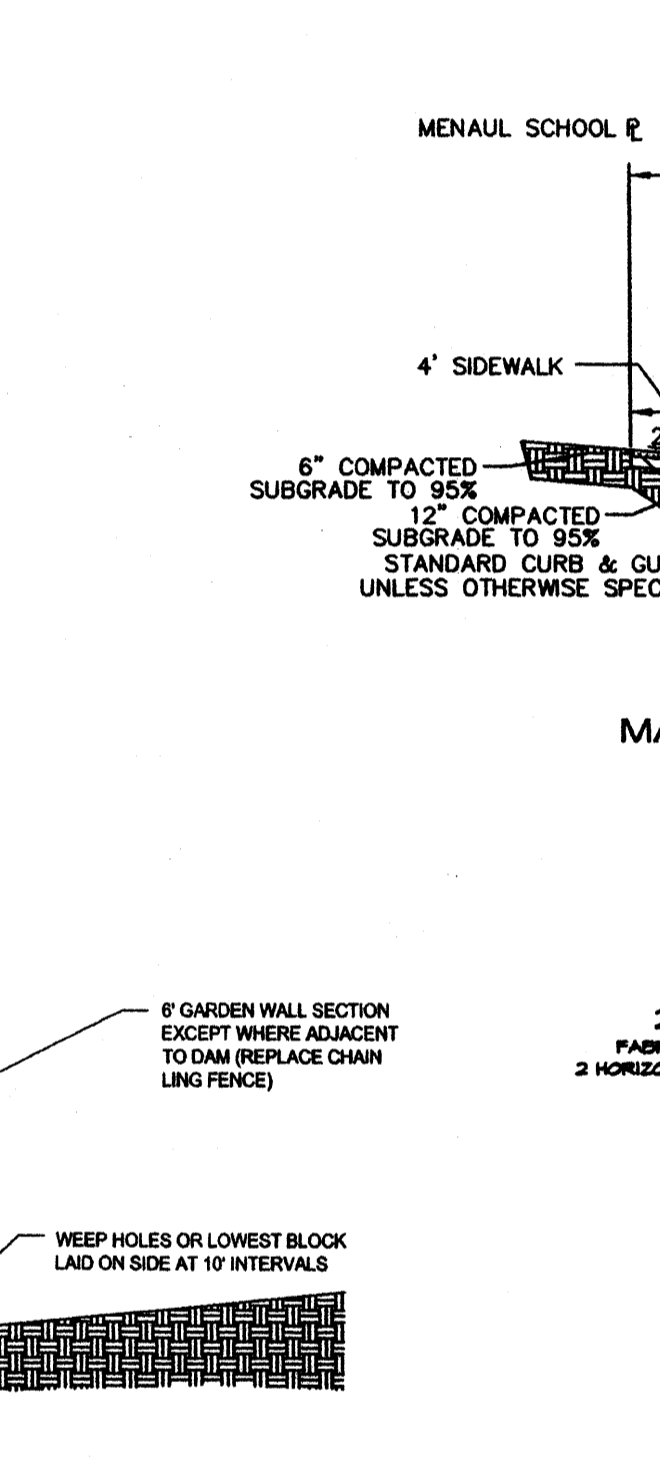
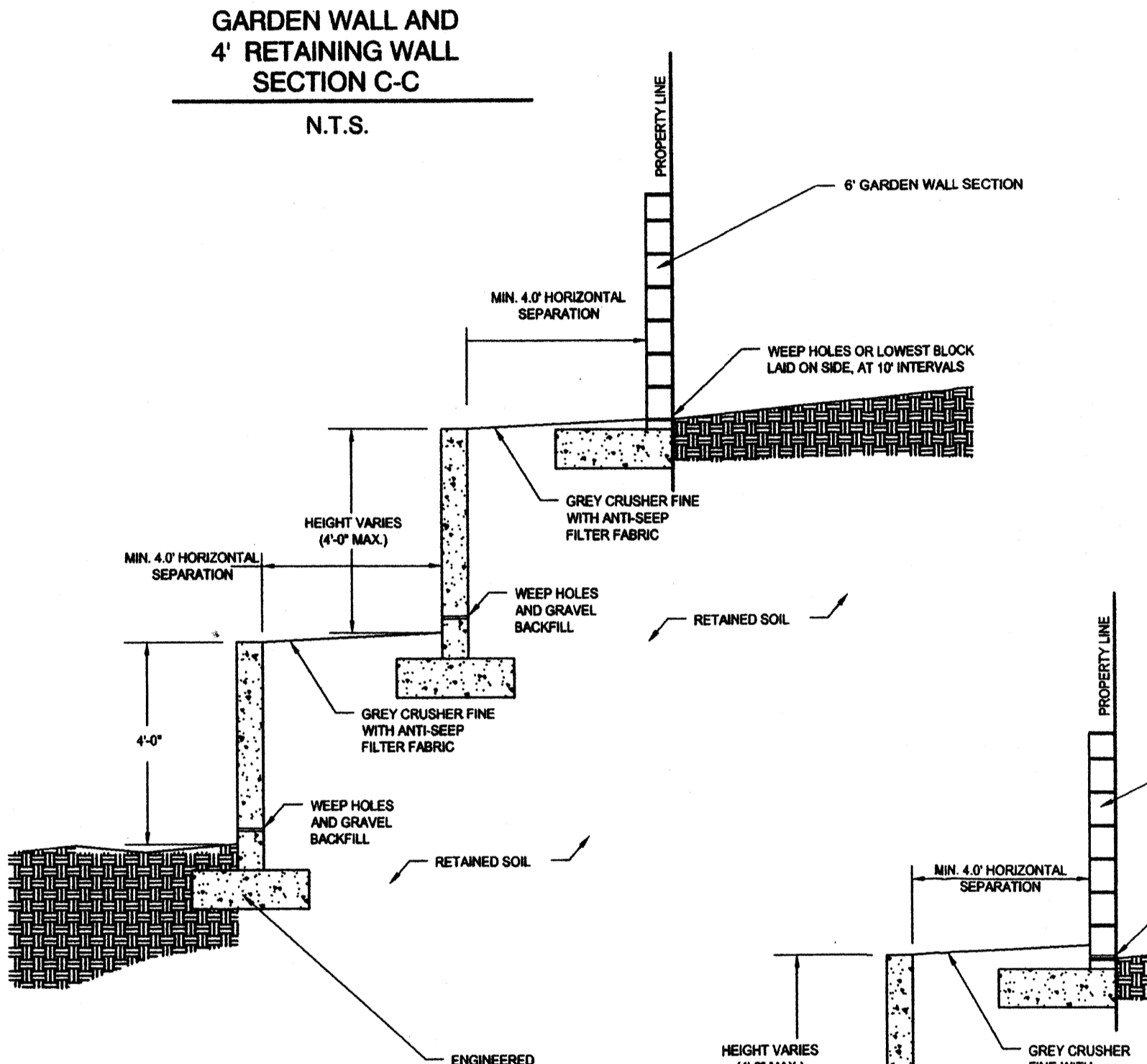
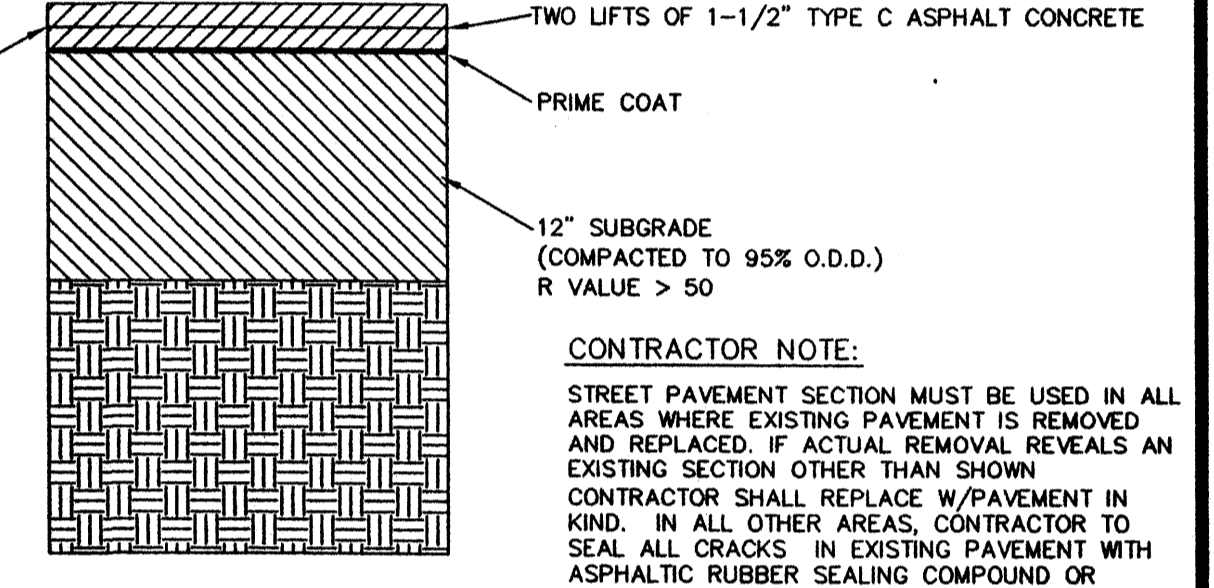
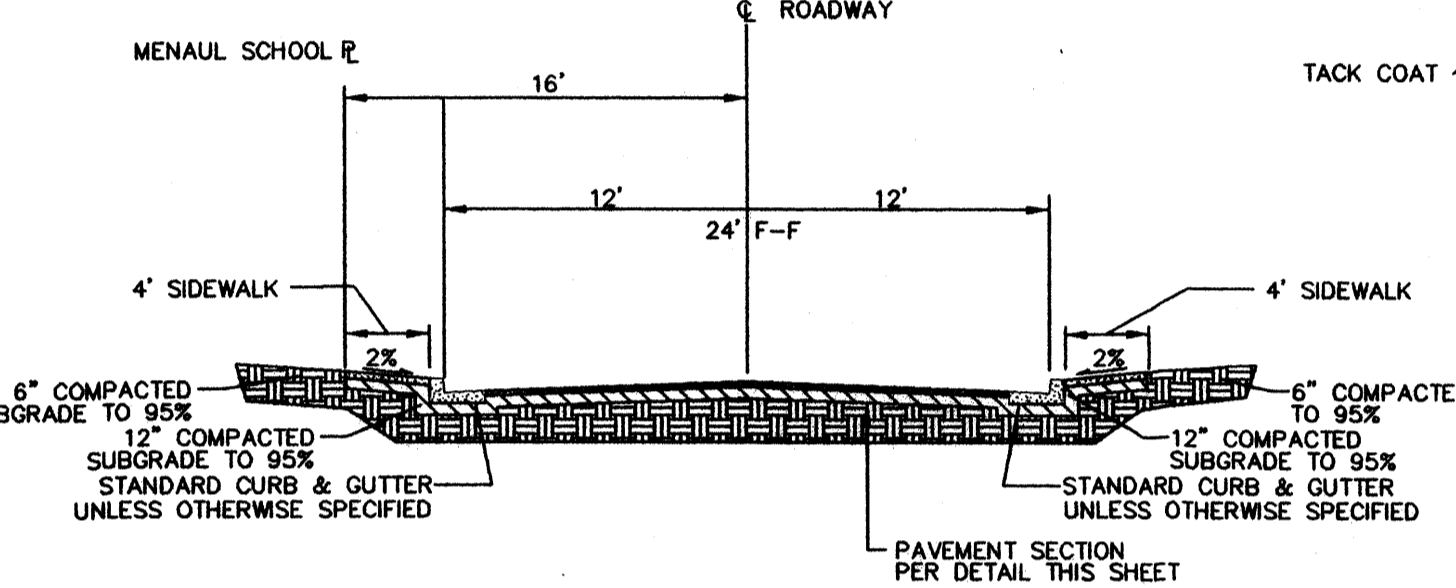
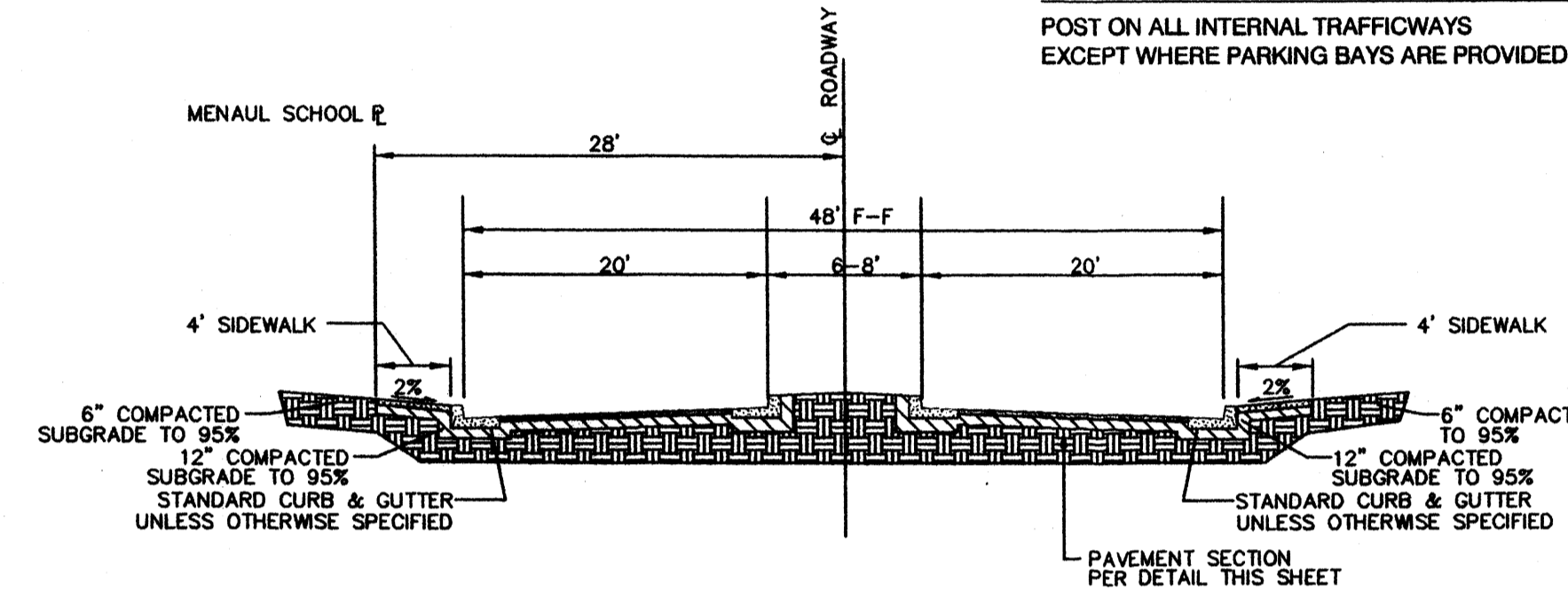
**BASE & LUMINAIRE**



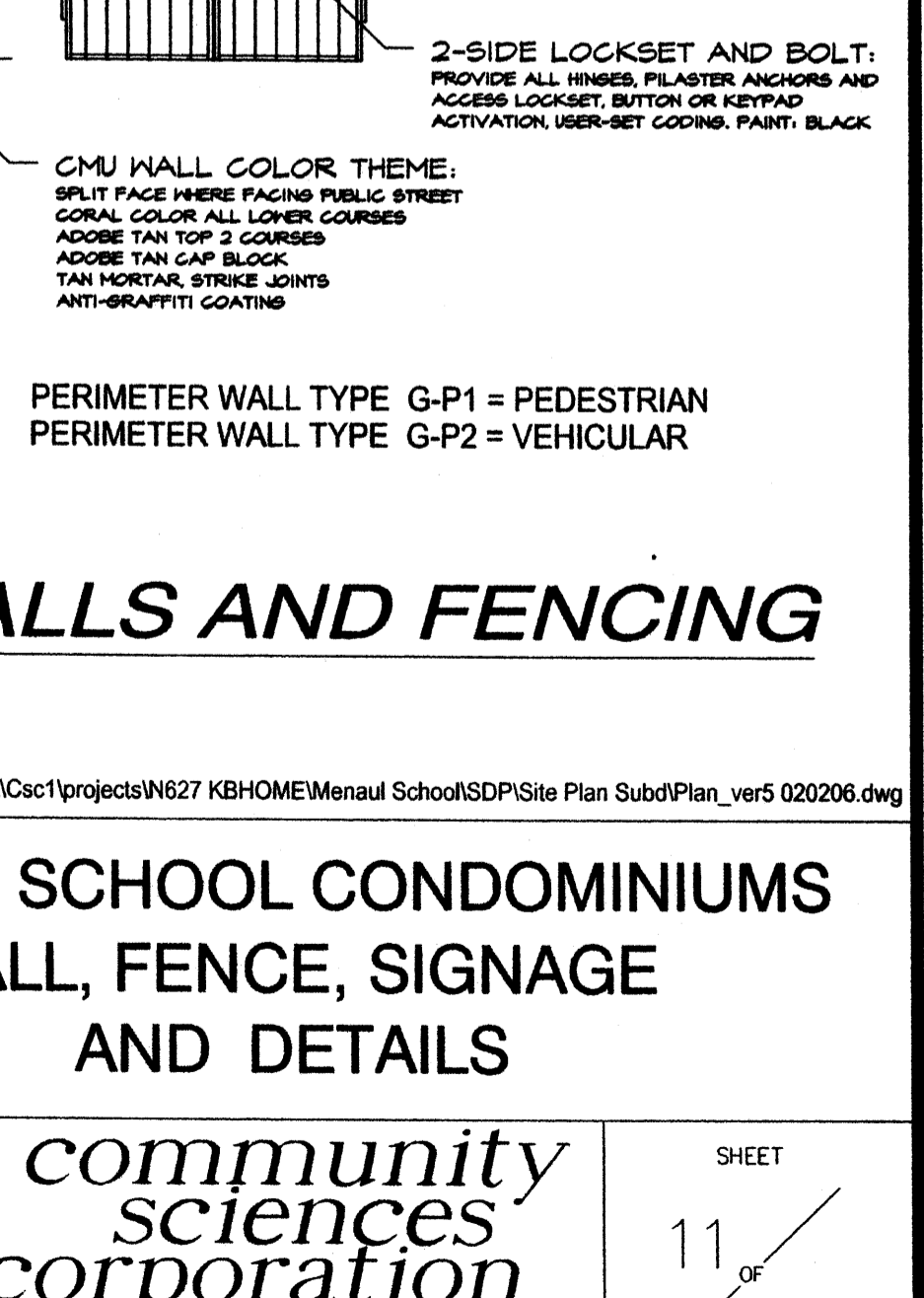
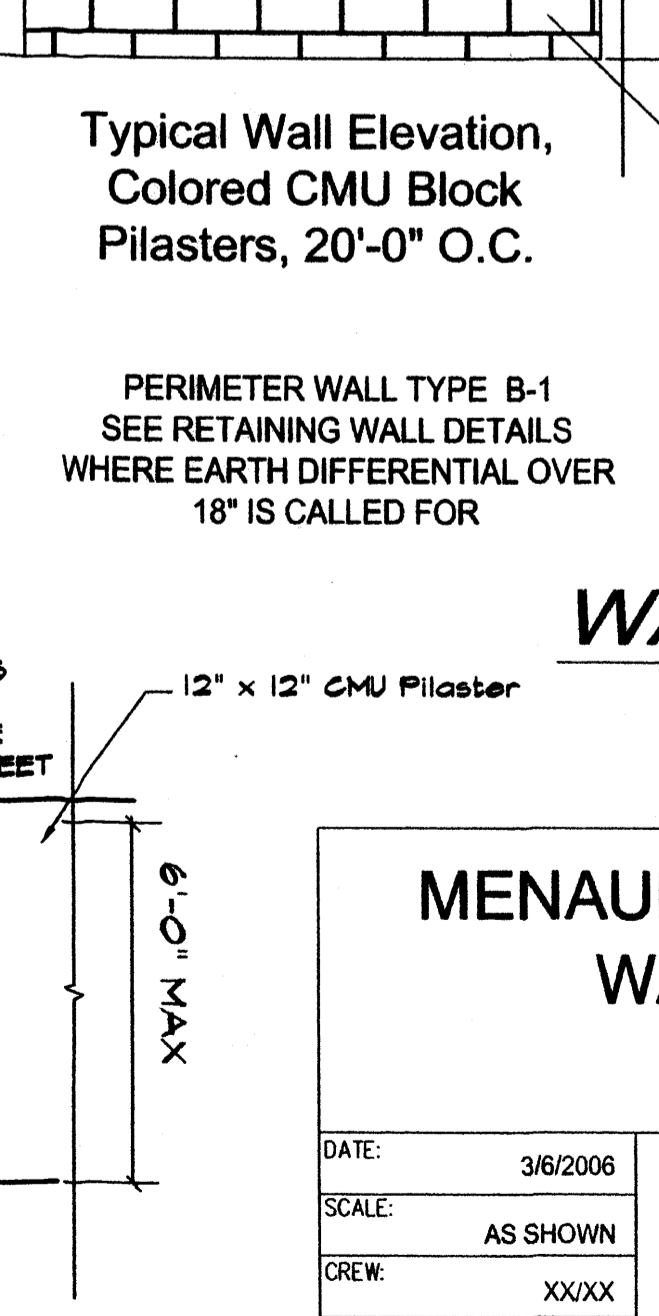
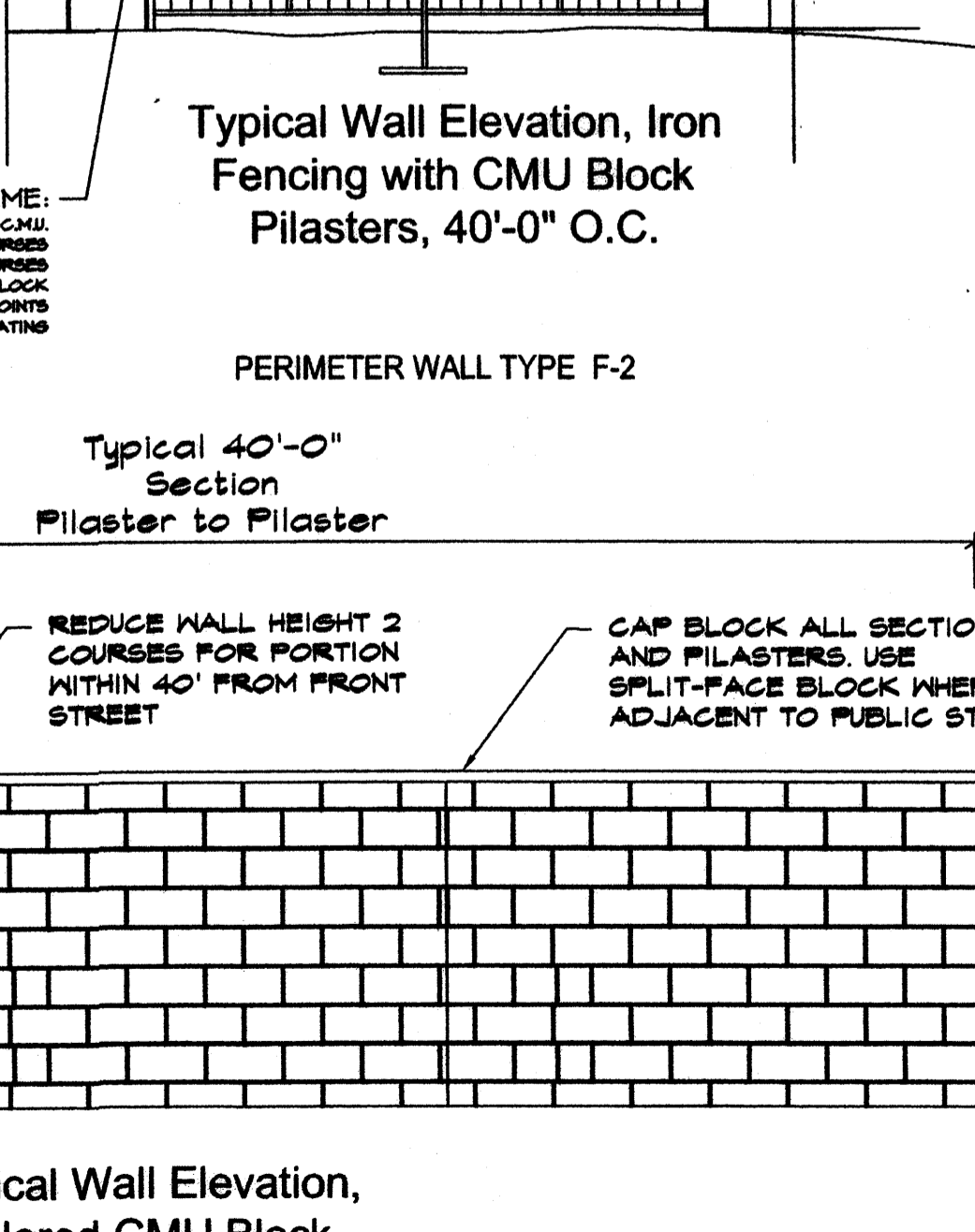
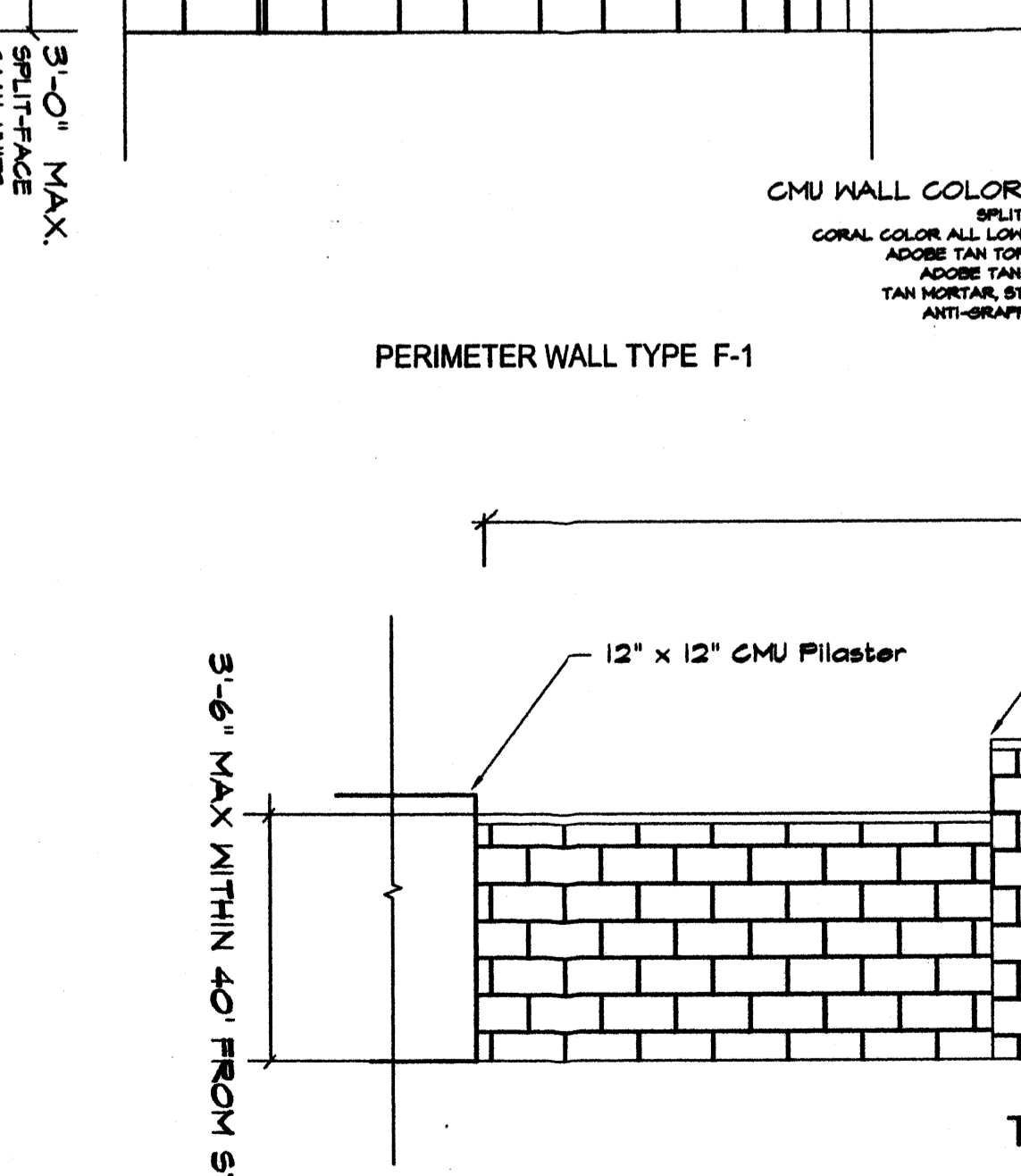
**INTERNAL STREET SIGNAGE**  
POST ON ALL INTERNAL TRAFFICWAYS EXCEPT WHERE PARKING BAYS ARE PROVIDED.

**PEDESTRIAN WALKWAY LIGHT**

**INTERNAL STREET LIGHT STANDARD**



REQUIRED = 4 EACH  
 5'-0" MAX. HEIGHT  
 18'-0" MAX. LENGTH  
 AVOID CLEAR SIGHT TRIANGLES AT INTERSECTIONS  
 STUCCO COLOR: CREAM  
 SIGN: PRECUT BROWN ANODIZED LETTERS O.A.E. ATTACHED TO STUCCO FACE NON-ILLUMINATED.  
 CAP BLOCK TO MATCH CONCRETE ROOF COLOR



**WALLS AND FENCING**

MENAU SCHOOL CONDOMINIUMS WALL, FENCE, SIGNAGE AND DETAILS

community sciences corporation

DATE:	3/6/2006	SHEET 11 OF 11
SCALE:	AS SHOWN	
CREW:	XX/XX	
DRAWN:	JGG/MVH	
JOB NO.:	N627	

LAND PLANNING P.O. Box 1326  
 ENGINEERING Corrales, N.M. 87048  
 SURVEYING