

H-15-Z VICINITY MAP NOT TO SCALE

**SITE DATA:**

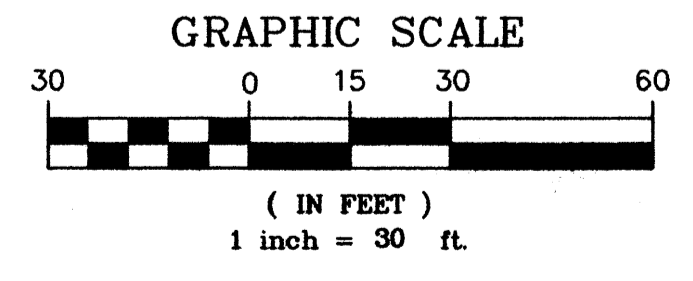
ZONE ATLAS INDEX NO:	H-15-Z
GROSS ACREAGE:	44.95 AC.
NO. OF EXISTING LOTS/TRACTS:	6 (ONE ONRECORDED DEED TRANSFER)
NO. OF LOTS/TRACTS CREATED:	4
LINEAR FEET OF CREATED DRIVE AISLES:	5596 L.F.
ACREAGE OF CREATED DRIVES:	3.29 AC.
GARAGE PARKING:	307 SPACES
OFF-STREET PARKING:	311 SPACES
HANDICAP PARKING:	14 SPACES
MAXIMUM BUILDING HEIGHTS:	28.75 FT.
MINIMUM BUILDING SETBACKS:	10 FT. BETWEEN BUILDINGS, GROUND FLOOR 20 FT. ADJACENT TO BROADBENT BUSINESS PARK 20 FT. ADJACENT STREET RIGHT OF WAY 10 FT. FROM ALAMEDA DETENTION FACILITY
PRIOR CURRENT ZONING:	M-1, SU-1 FOR PRIVATE SCHOOL AND INCIDENTAL FACILITIES
NEW ZONING:	SU-1 FOR PRD (E.P.C. 12/15/05)
LAND USE:	213 SINGLE-FAMILY CONDOMINIUMS, CLUBHOUSE AND POOL, PRIVATE DRIVE AISLES, OPEN SPACE COMMON AREAS
APPLICABLE PLANS:	NORTH VALLEY AREA PLAN, 1993 ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN, 2002
NEIGHBORHOOD ASSOCIATIONS:	SANTA BARBARA-MARTINEZTOWN ASSOC. (SBM) STRONGHURST IMPROVEMENT ASSOC. INC. (SIA)

PROJECT NUMBER: 1004474  
 APPLICATION NUMBER: 05-EPC-1568, 1569  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 15, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? (X) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB BUILDING PERMIT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i>	5/31/06
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
<i>William G. Walker</i>	5/31/06
WATER UTILITY DEPARTMENT	DATE
<i>Christina Sandoval</i>	5/31/06
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley S. Bingham</i>	7/29/06
CITY ENGINEER	DATE
<i>Michael Holton (adjutant)</i>	6/1/06
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	7/21/06
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

- SHEET INDEX (CIVIL AND LANDSCAPING):**
- C1 - C4 DIMENSION SITE PLAN
  - C5 - C6 SUBDIVISION SITE PLAN (INFORMATION REFERENCE)
  - C7 - C9 LANDSCAPE PLAN (HILLTOP)
  - C10 - C11 UTILITY PLAN
  - C12 CIVIL AND SITE DETAILS
- ATTACHMENT - ARCHITECTURAL PLANS (KB ARCHITECTURE)
- A1 - A8 ARCHITECTURAL PLANS (EXCERPTED REMOVED 2ND FLOOR INTERIOR OPTIONS, SLAB AND ROOF LAYOUT, ROOFING, PLUMBING AND INSULATION DETAILS)
- ATTACHMENT - ARCHITECTURAL PLANS (CLUBHOUSE ARCHITECTURE)
- A9 - A-10 EDI-ARCHITECTURE (NM)
- ATTACHMENT - APPROVED GRADING PLAN AND PAVING PLAN (CSC)



R=30.00  
 L=48.01  
 Tan=30.90  
 D=91°41'21"  
 Ch Brg=N34°33'44"W  
 Ch L=43.05

REVISIONS PER DRB REVIEW AND APPROVAL 05/31/06 C.A.S.  
 REVISIONS PER C.O.A. SOLID WASTE DEPT. REVIEW AND APPROVAL 6-01-2006 C.A.S.

**VILLAS AT MANUAL**  
**SITE PLAN FOR BUILDING PERMIT**

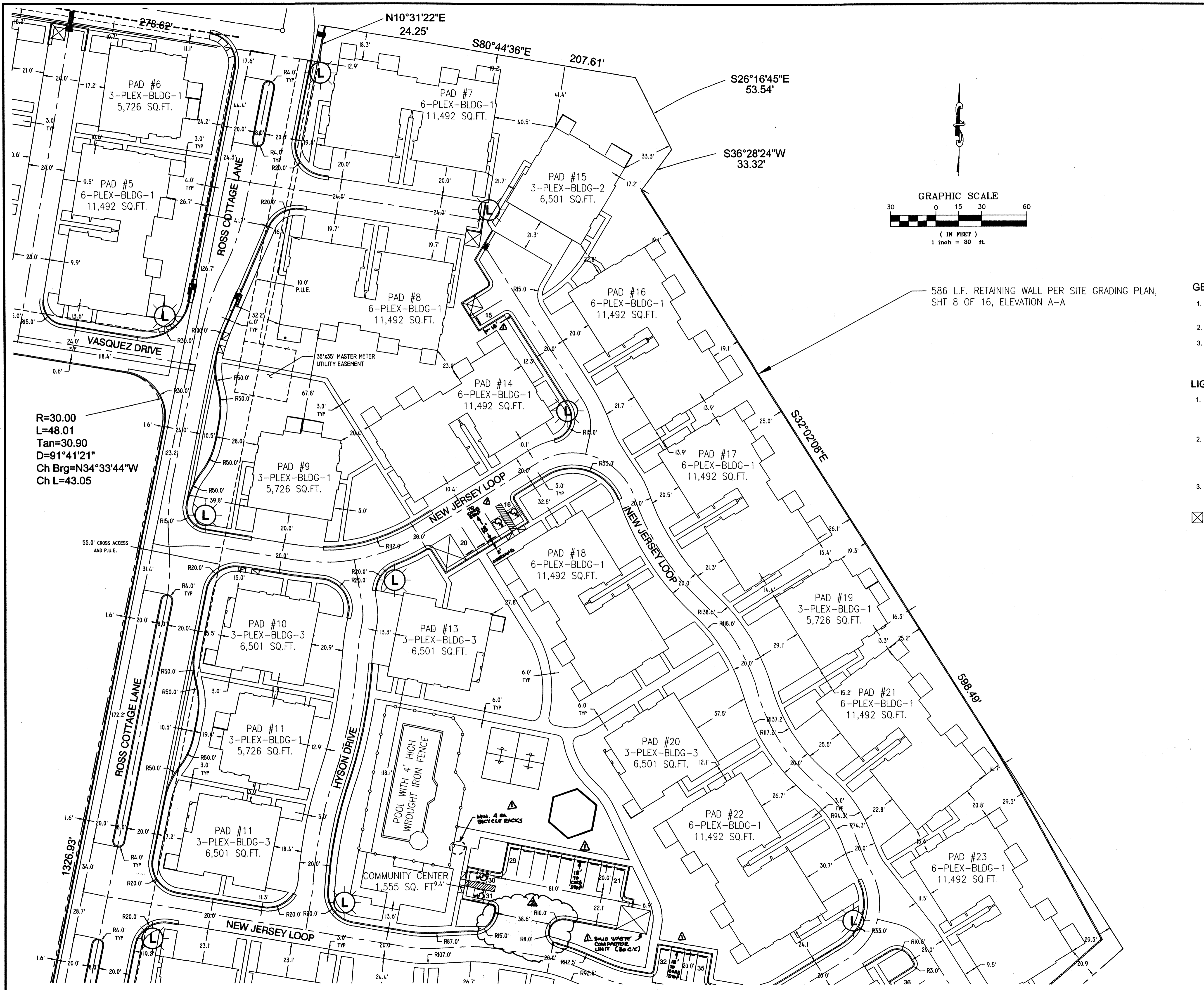
DATE:	5/12/2006
SCALE:	AS SHOWN
CREW:	XXXX
DRAWN:	CAS/JGG/MVH
JOB NO.:	N627-16

community sciences corporation

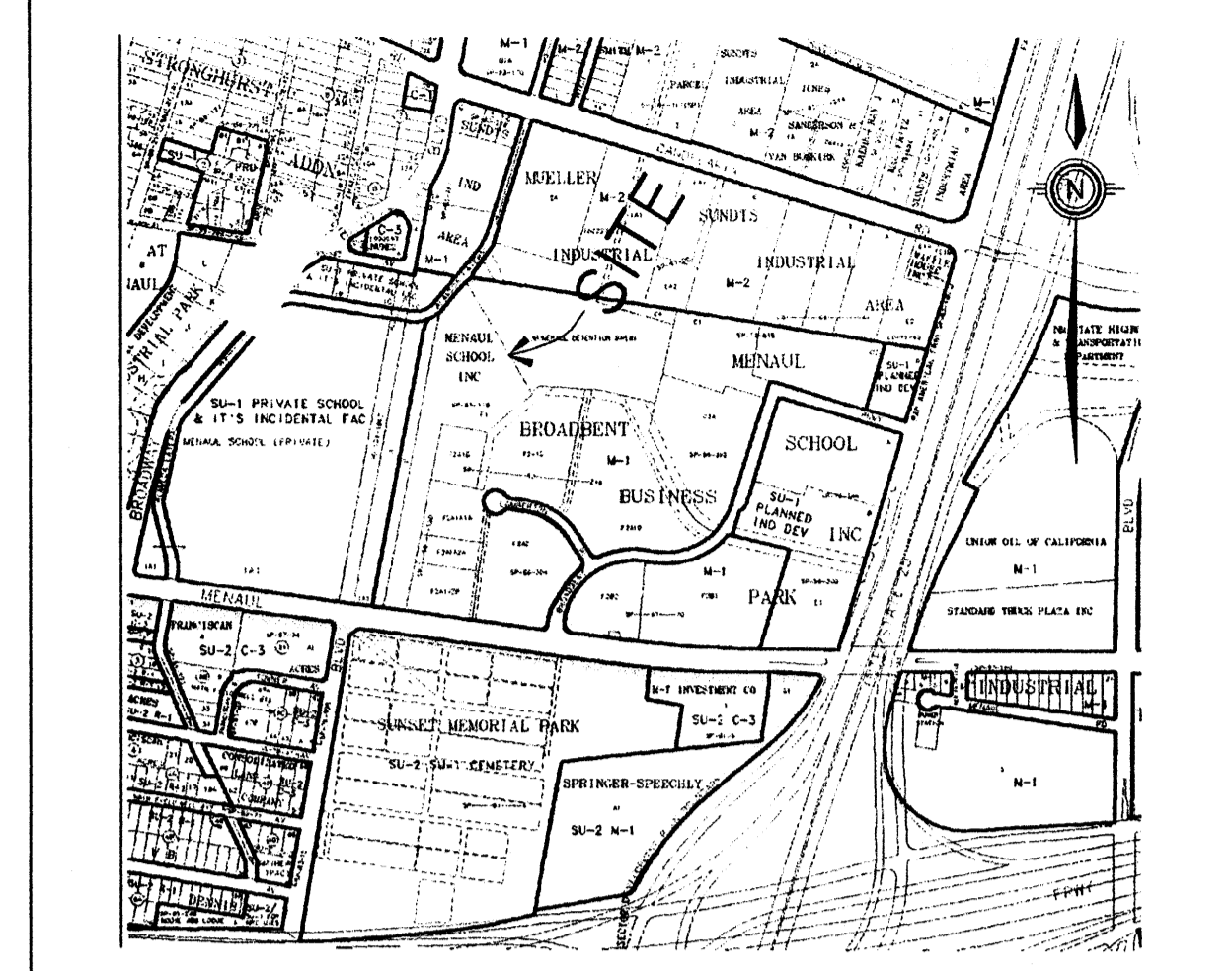
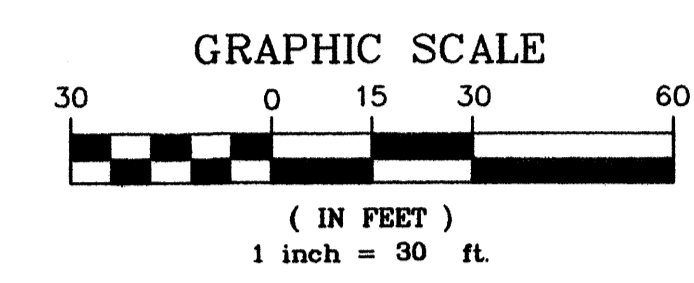
LAND PLANNING P.O. Box 1328  
 ENGINEERING Corrales, N.M. 87048  
 SURVEYING

SHEET C1 OF 12

1004474



R=30.00  
L=48.01  
Tan=30.90  
D=91°41'21"  
Ch Brg=N34°33'44"W  
Ch L=43.05



H-15-Z VICINITY MAP NOT TO SCALE

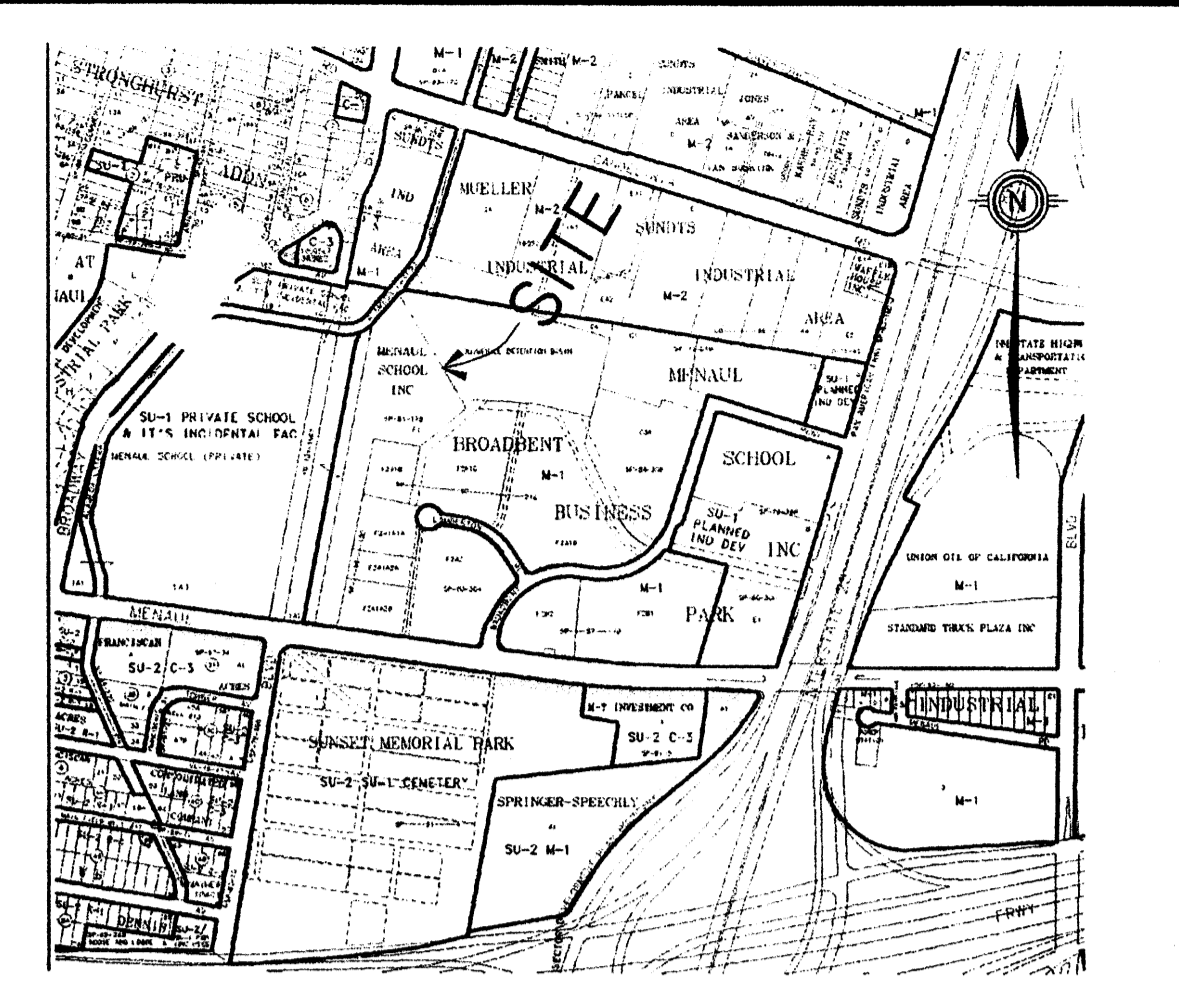
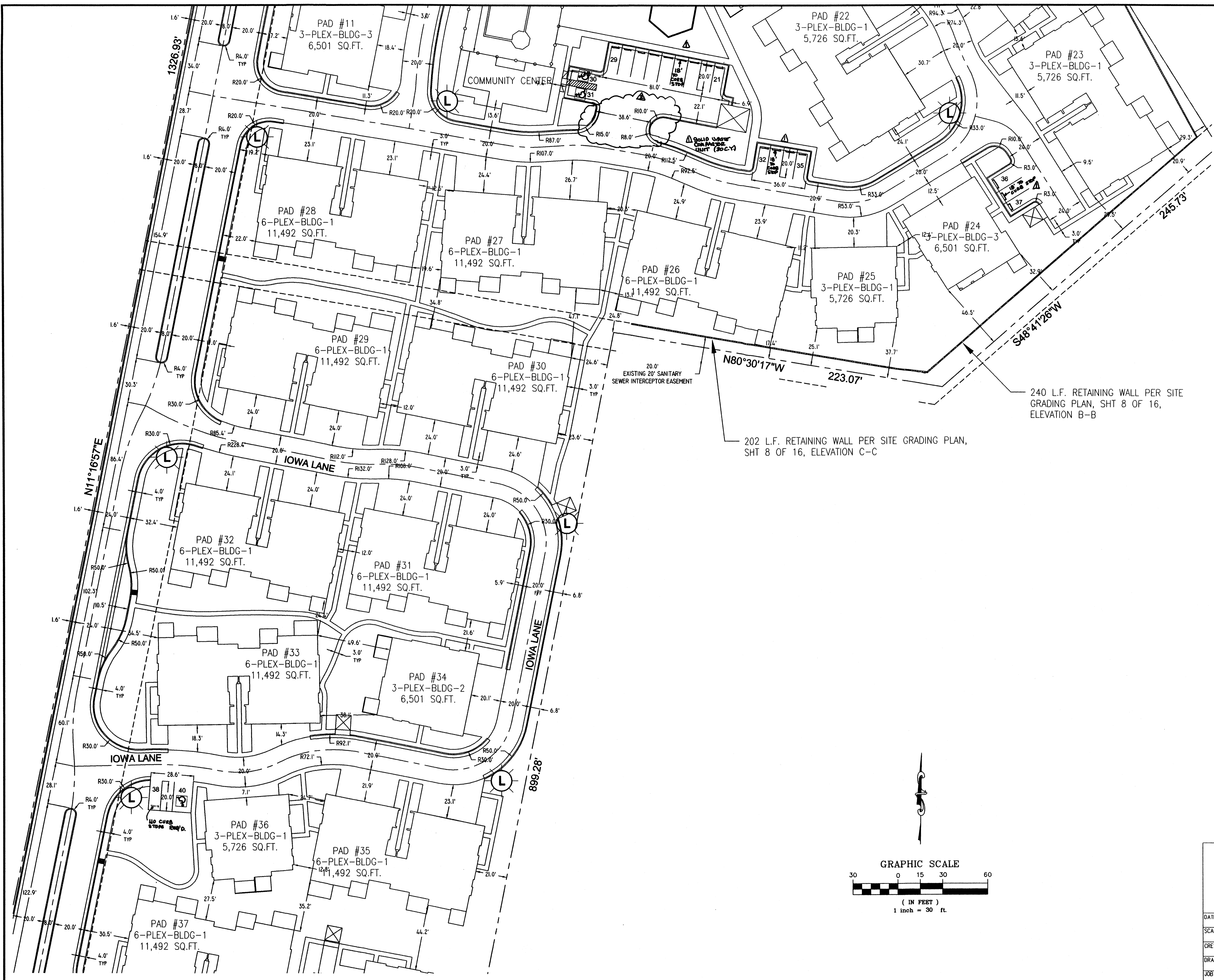
- GENERAL NOTES: (UNLESS OTHERWISE INDICATED):**
1. REFERENCE ARCHITECTURAL SHEET CA FOR TYPICAL FLOORPLAN LAYOUTS.
  2. DIMENSIONS FOR PAVING ARE TO FACE OF CURB (FLOWLINE)
  3. MEASUREMENTS ARE RADIAL OR PERPENDICULAR TO FEATURES.
- LIGHTING, WALL / FENCING PLAN NOTES: (UNLESS OTHERWISE INDICATED):**
1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
  2. LIGHTING PER SHEET 11 STANDARDS:
    - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
    - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
  3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
- MS APPROXIMATE SIGN LOCATION  
 TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

586 L.F. RETAINING WALL PER SITE GRADING PLAN, SHT 8 OF 16, ELEVATION A-A

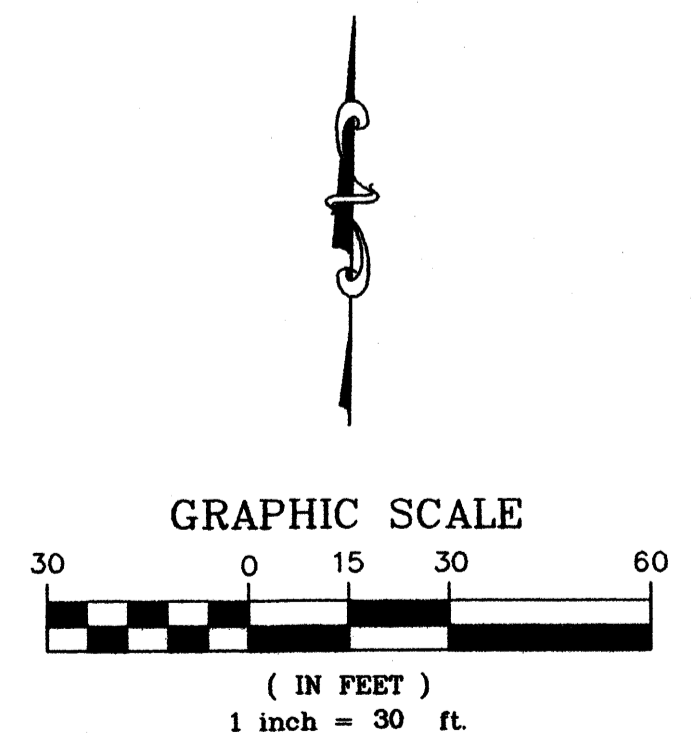
### VILLAS AT MANUAL

#### SITE PLAN FOR BUILDING PERMIT

DATE:	5/12/2008		SHEET
SCALE:	AS SHOWN		C2 OF 12
CREW:	XX/XX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627-16		
LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048	SURVEYING Corrales, N.M. 87048	



H-15-Z VICINITY MAP NOT TO SCALE

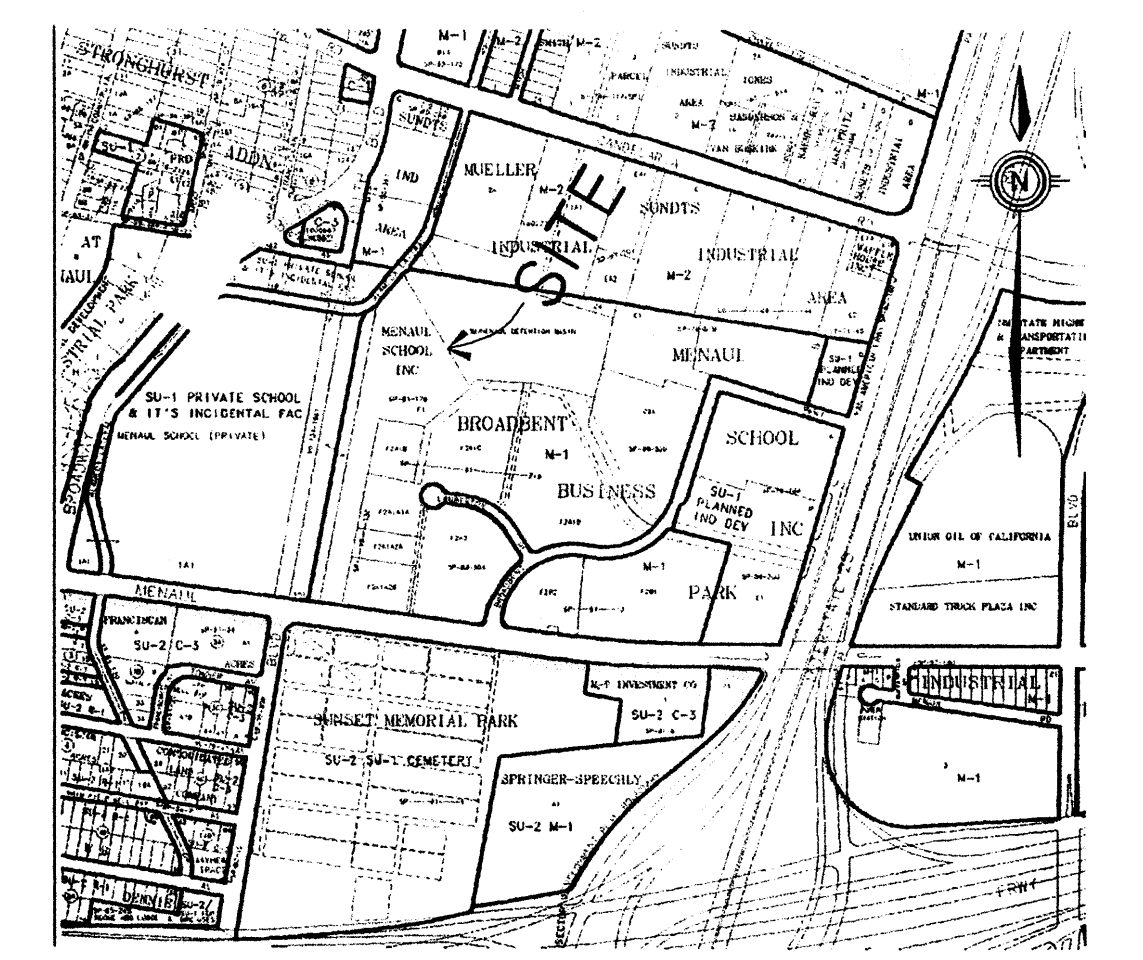


VILLAS AT MANUAL  
 SITE PLAN FOR BUILDING PERMIT

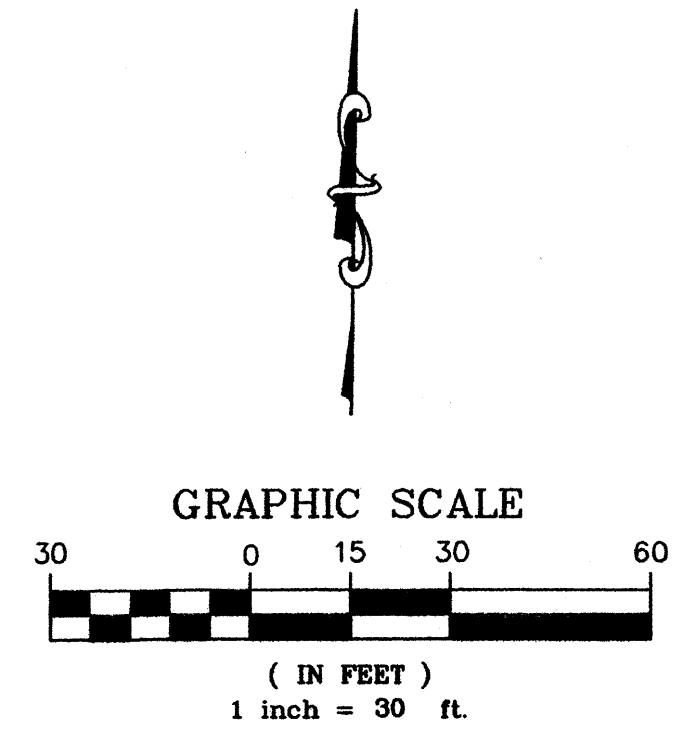
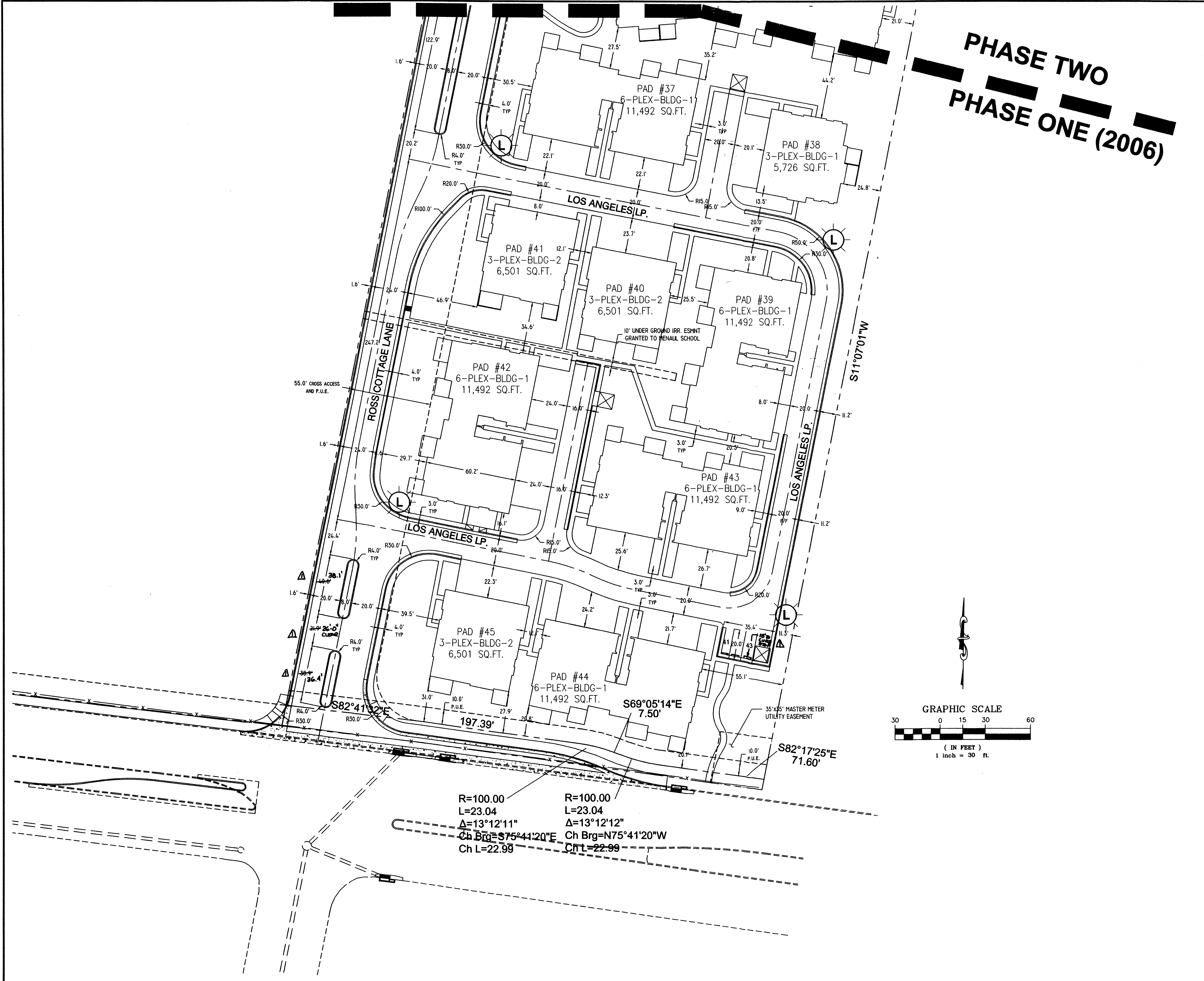
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SCALE:	AS SHOWN		C3 OF 12
CREW:	XX/XX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627-16		LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING Corrales, N.M. 87048

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

# PHASE TWO PHASE ONE (2006)



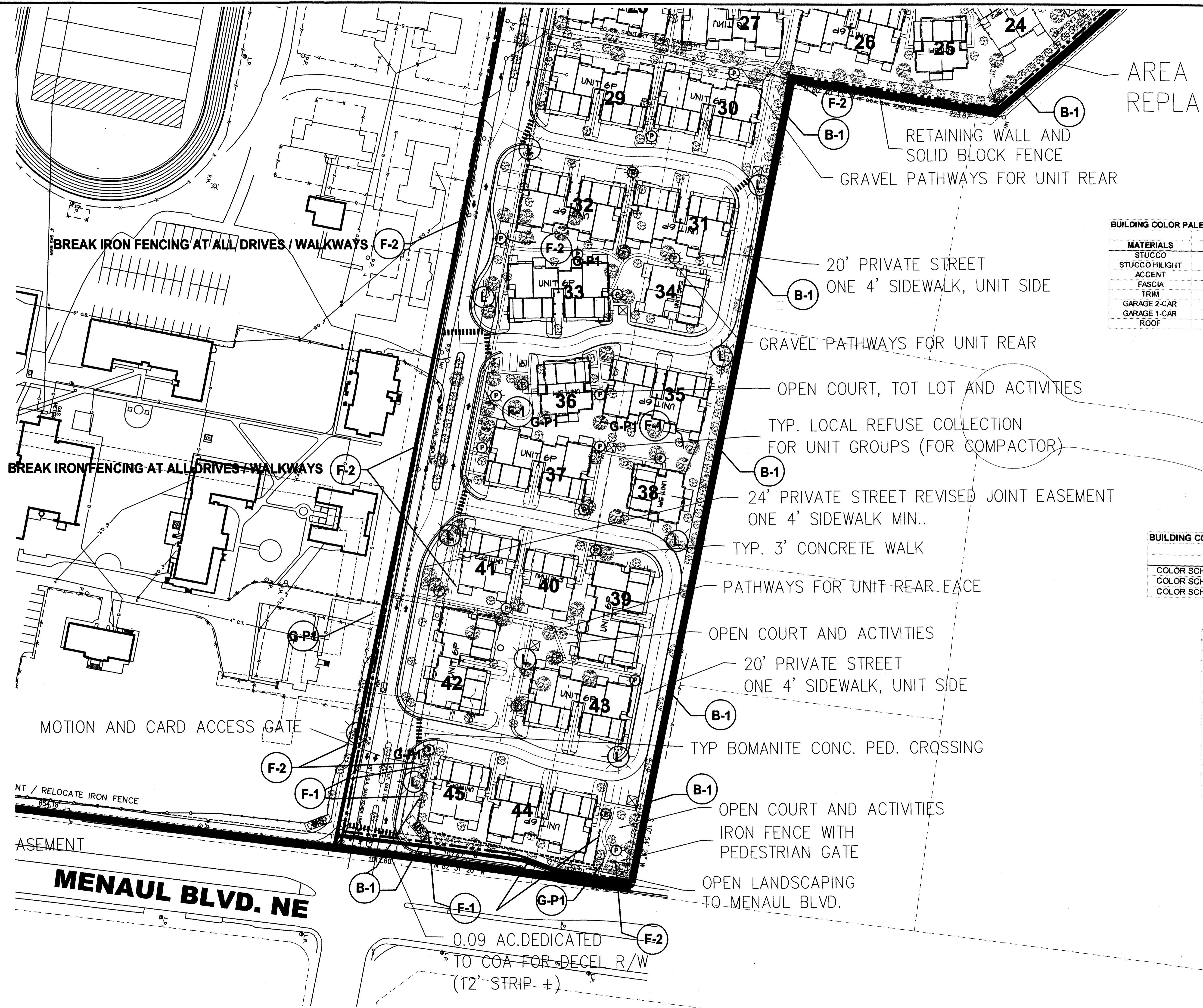
H-15-Z VICINITY MAP NOT TO SCALE



R=100.00 L=23.04 Δ=13°12'11" Ch Brg=S75°41'20"E Ch L=22.99  
R=100.00 L=23.04 Δ=13°12'12" Ch Brg=N75°41'20"W Ch L=22.99

**VILLAS AT MANUAL  
SITE PLAN FOR BUILDING PERMIT**

DATE:	5/12/2006	<i>community sciences corporation</i>	SHEET C4 OF 12
SCALE:	AS SHOWN		
CREW:	XXXX		
DRAWN:	CASJGGMVH		
JOB NO.:	N627-16		
LAND PLANNING P.O. Box 1328		ENGINEERING Corrales, N.M. 87048	SURVEYING



- LIGHTING, WALL / FENCING PLAN NOTES:** (UNLESS OTHERWISE INDICATED):
- WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
  - LIGHTING PER SHEET 11 STANDARDS:
    - (F-1) FENCING PLAN LOCATION AND TYPE (REF: DETAIL SHEET)
    - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
    - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
  - 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
    - (MS) APPROXIMATE SIGN LOCATION
    - (X) TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

**BUILDING COLOR PALETTE:**

MATERIALS	MFG.	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO	SHERWIN WILLIAMS	SW2813	SW6116	SW2329
STUCCO HIGHLIGHT	SHERWIN WILLIAMS	SW2814	SW0045	SW1350
ACCENT	SHERWIN WILLIAMS	SW7062	SW6187	SW2731
FASCIA	SHERWIN WILLIAMS	SW6146	SW6068	SW2069
TRIM	SHERWIN WILLIAMS	SW6119	SW6119	SW2059
GARAGE 2-CAR	SHERWIN WILLIAMS	SW2813	SW6116	SW2329
GARAGE 1-CAR	SHERWIN WILLIAMS	SW2813	SW6116	SW2329
ROOF	MONIER LIFETILE	1 BCCS 6464	1 BCCS 6464	1 BCCS 6464

**BUILDING COLOR UNIT / APPLICATION:**

BUILDING LOCATION CODE (SEE SITE PLAN)	
COLOR SCHEME 1	1, 4, 6, 8, 10, 16, 18, 21, 24, 26, 28, 30, 33, 35, 40, 42, 44
COLOR SCHEME 2	2, 5, 9, 12, 13, 15, 17, 20, 23, 25, 27, 32, 34, 36, 38, 41, 43
COLOR SCHEME 3	3, 7, 11, 14, 19, 22, 29, 31, 37, 39, 45, CLUBHOUSE

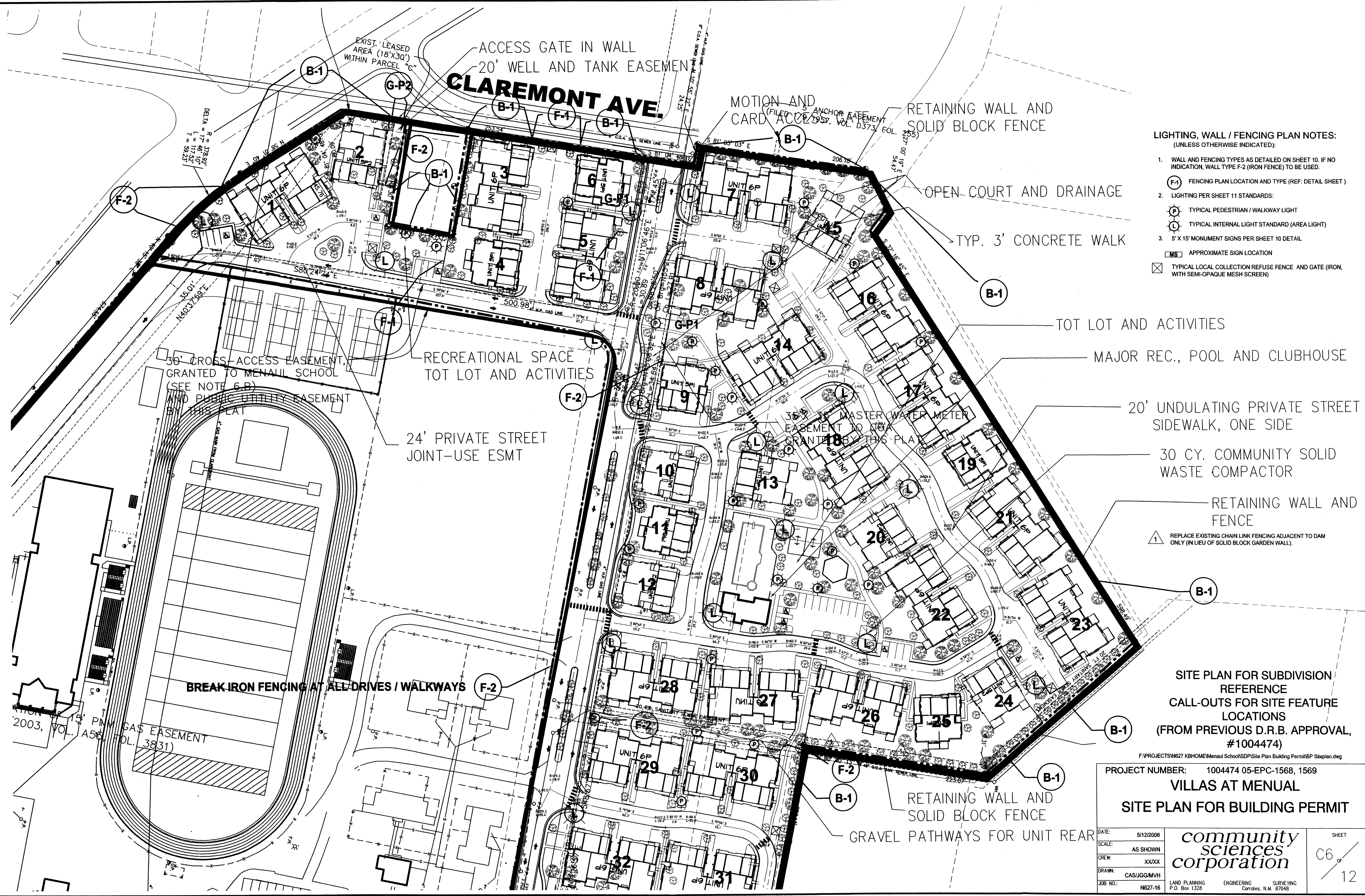
**GENERIC NAMES (SHERWIN WILLIAMS):**

SW0045	ANTIQUARIAN BROWN
SW1350	MEDIUM BROWN
SW2059	SAND
SW2069	FALCON BROWN
SW2329	BRANDYWINE
SW2731	OLIVE BROWN
SW2813	DOWNING STRAW
SW2814	ROOKWOOD ANTIQUE GOLD
SW6068	BREVITY BROWN
SW6116	TATAMI TAN
SW6119	ANTIQUE WHITE
SW6146	UMBER
SW6187	ROSEMARY
SW7062	ROCKBOTTOM (SLATE)

**SITE PLAN FOR SUBDIVISION REFERENCE  
CALL-OUTS FOR SITE FEATURE LOCATIONS  
(FROM PREVIOUS D.R.B. APPROVAL, #1004474)**

F:\PROJECTS\N627\KBHOME\Menaul School\SDP\Site Plan Building Permit\BP\_Siteplan.dwg  
**PROJECT NUMBER:** 1004474 05-EPC-1568, 1569  
**VILLAS AT MENAUL**  
**SITE PLAN FOR BUILDING PERMIT**

DATE:	5/12/2006		SHEET C5 OF 12
SCALE:	AS SHOWN		
CREW:	XX/XX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627-16		
LAND PLANNING	ENGINEERING	SURVEYING	
P.O. Box 1328	Corrales, N.M. 87048		



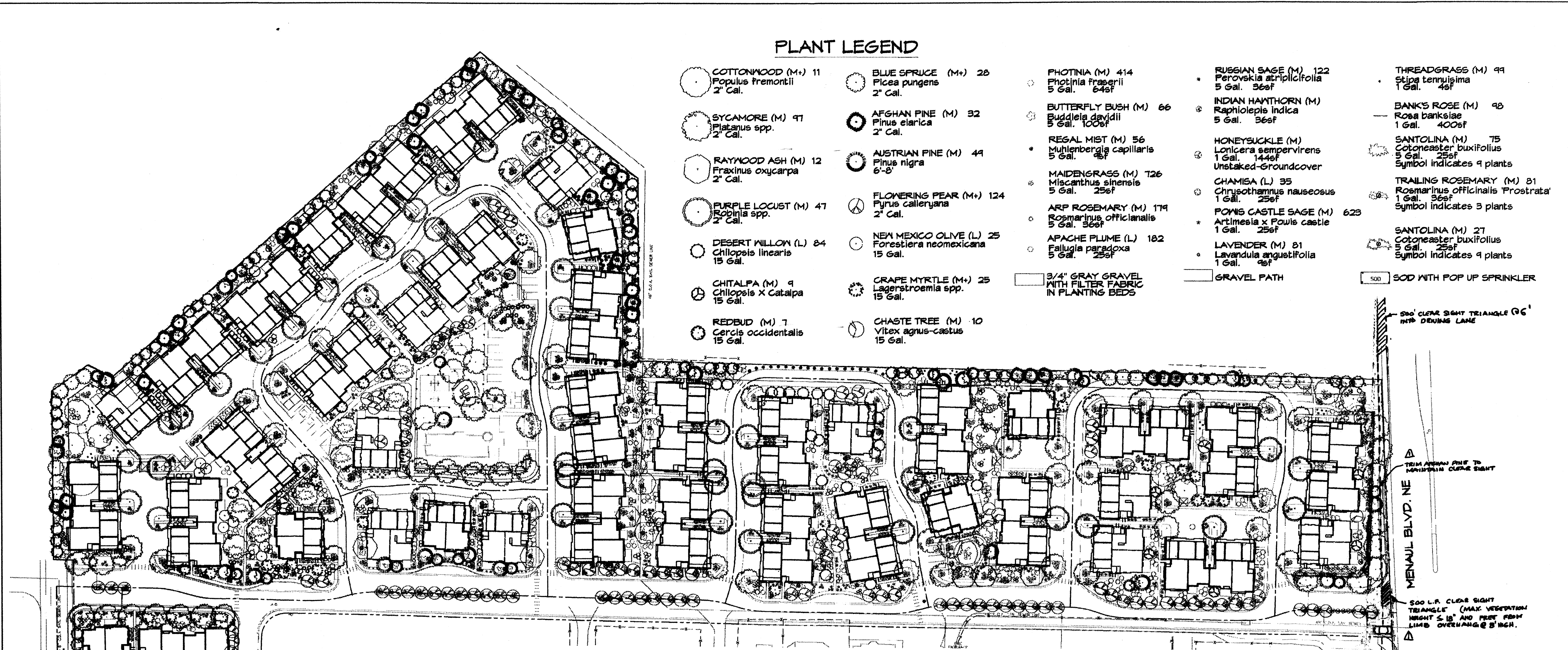
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  2. LIGHTING PER SHEET 11 STANDARDS:
    - (F-1) FENCING PLAN LOCATION AND TYPE (REF: DETAIL SHEET)
    - (L) TYPICAL PEDESTRIAN / WALKWAY LIGHT
    - (P) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
    - (I) TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON WITH SEMI-OPAQUE MESH SCREEN)
  3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
- MS - APPROXIMATE SIGN LOCATION

SITE PLAN FOR SUBDIVISION REFERENCE CALL-OUTS FOR SITE FEATURE LOCATIONS (FROM PREVIOUS D.R.B. APPROVAL, #1004474)

PROJECT NUMBER: 1004474 05-EPC-1568, 1569  
**VILLAS AT MANUAL**  
 SITE PLAN FOR BUILDING PERMIT

DATE: 5/12/2006		SHEET C6 of 12
SCALE: AS SHOWN		
CREW: XXXXX		
DRAWN: CAS/JGG/MVH		
JOB NO.: N627-16		
LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048	SURVEYING

COMMUNITY SERVICES CORPORATION - CORRALES, NEW MEXICO - (505) 697-3000



**PLANT LEGEND**

- COTTONWOOD (M+) 11  
Populus fremontii  
2" Cal.
- SYCAMORE (M) 47  
Platanus spp.  
2" Cal.
- RAYMOOD ASH (M) 12  
Fraxinus oxycarpa  
2" Cal.
- PURPLE LOCUST (M) 47  
Robinia spp.  
2" Cal.
- DESERT WILLOW (L) 84  
Chilopsis linearis  
15 Gal.
- CHITALPA (M) 9  
Chilopsis x Catalpa  
15 Gal.
- REDBUD (M) 7  
Cercis occidentalis  
15 Gal.
- BLUE SPRUCE (M+) 28  
Picea pungens  
2" Cal.
- AFGHAN PINE (M) 32  
Pinus elarica  
2" Cal.
- AUSTRIAN PINE (M) 49  
Pinus nigra  
6"-8"
- FLOWERING PEAR (M+) 124  
Pyrus calleryana  
2" Cal.
- NEW MEXICO OLIVE (L) 25  
Forestiera neomexicana  
15 Gal.
- GRAPE MYRTLE (M+) 25  
Lagerstroemia spp.  
15 Gal.
- CHASTE TREE (M) 10  
Vitex agnus-castus  
15 Gal.
- PHOTINIA (M) 414  
Photinia fraserii  
5 Gal. 64sf
- BUTTERFLY BUSH (M) 66  
Buddleia davidii  
5 Gal. 100sf
- REGAL MIST (M) 56  
Muhlenbergia capillaris  
5 Gal. 9sf
- MAIDENGRASS (M) 726  
Miscanthus sinensis  
5 Gal. 25sf
- ARP ROSEMARY (M) 174  
Rosmarinus officinalis  
5 Gal. 36sf
- APACHE PLUME (L) 182  
Fallugia paradoxa  
5 Gal. 25sf
- RUSSIAN SAGE (M) 122  
Perovskia atriplicifolia  
5 Gal. 36sf
- INDIAN HAWTHORN (M)  
Raphiolepis indica  
5 Gal. 36sf
- HONEYSUCKLE (M)  
Lonicera sempervirens  
1 Gal. 144sf  
Unstaked-Groundcover
- CHAMISA (L) 35  
Chrysothamnus nauseosus  
1 Gal. 25sf
- POMS CASTLE SAGE (M) 623  
Artemisia x Fowis castle  
1 Gal. 25sf
- LAVENDER (M) 81  
Lavandula angustifolia  
1 Gal. 4sf
- GRAY GRAVEL WITH FILTER FABRIC IN PLANTING BEDS
- GRAVEL PATH
- SOD WITH POP UP SPRINKLER
- THREADGRASS (M) 99  
Stipa tenuissima  
1 Gal. 4sf
- BANK'S ROSE (M) 98  
Rosa banksiae  
1 Gal. 400sf
- SANTOLINA (M) 75  
Cotoneaster buxifolius  
1 Gal. 25sf  
Symbol indicates 9 plants
- TRAILING ROSEMARY (M) 81  
Rosmarinus officinalis 'Prostrata'  
1 Gal. 36sf  
Symbol indicates 3 plants
- SANTOLINA (M) 27  
Cotoneaster buxifolius  
1 Gal. 25sf  
Symbol indicates 9 plants

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	740485	square feet
TOTAL BUILDINGS AREA	232849	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	507635	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	76145	square feet
TOTAL BED PROVIDED	294482	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	174611	square feet
TOTAL GROUND COVER PROVIDED	181457	square feet
TOTAL SOD AREA (max. 20% of landscape required)	8734 (11%)	square feet
TOTAL LANDSCAPE PROVIDED	248216	square feet

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**BUILDING SETBACKS:**

THE SETBACK REQUIREMENTS FOR BUILDINGS SERVE TO CREATE AN ENHANCED OPEN SPACE FOR PEDESTRIAN WALKWAYS AND ATTRACTIVE STREETS CAPES. THESE SETBACKS REQUIREMENTS ARE DESIGNED TO INTERNALIZE PARKING AND PROVIDE ACCESS ADJACENT TO THE STREETS. IF AN OMISSION OR CONFLICT IN THIS PROVISION EXISTS, THE ZONING CODE (RO 1974, 7-14-3, AS AMENDED) MINIMUM SETBACKS APPLY AS FOLLOWS: CONDOMINIUMS, SU-PRD (THIS PLAN).

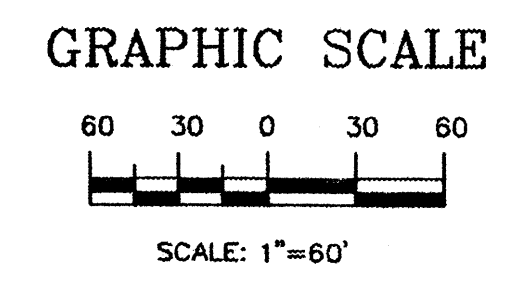
CONDOMINIUMS SHALL HAVE A MINIMUM BUILDING SETBACK OF 15 FEET FROM THE FRONT PUBLIC RIGHT-OF-WAY, 10 FEET FROM THE REAR PROPERTY LINE, AND 10 FEET BETWEEN BUILDING SIDES (GROUND FLOOR WALLS), AND SHALL BE LANDSCAPED. A 20' MINIMUM SETBACK AND NON-RESIDENTIAL BUFFER SHALL BE MAINTAINED ADJACENT TO BROADBENT BUSINESS PARK.

ALL BUILDING SETBACKS SHALL BE LANDSCAPED ACCORDING TO THE LANDSCAPE GUIDELINES FOUND HEREIN AND CONFORMING TO THE CITY'S STREET TREE ORDINANCE.

CLEAR SIGHT SETBACKS FOR WALLS, SIGNS AND SPECIAL TREATMENT AREAS AT SECONDARY INTERSECTIONS SHALL BE 35- FEET FROM THE RIGHT-OF-WAY LINE.

PERIMETER AWNINGS, PORTALS, PORCHES, OPEN-AIR PATIOS, GARDEN COURT WALLS, FIREPLACES AND OVERHANGS SHALL BE ALLOWED WITHIN SETBACKS. NO PLASTIC OR VINYL BUILDING PANELS OR AWNINGS SHALL BE PERMITTED.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



Cont. Lic. #26488  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph: (505) 898-5660  
Fax: (505) 898-7737  
em@hiltop.com

LANDSCAPE ARCHITECT'S SEAL

JAMES EE. FLOIN  
#2727

KR HOME, INC. - MENAUL SCHOOL  
ALBUQUERQUE, NM

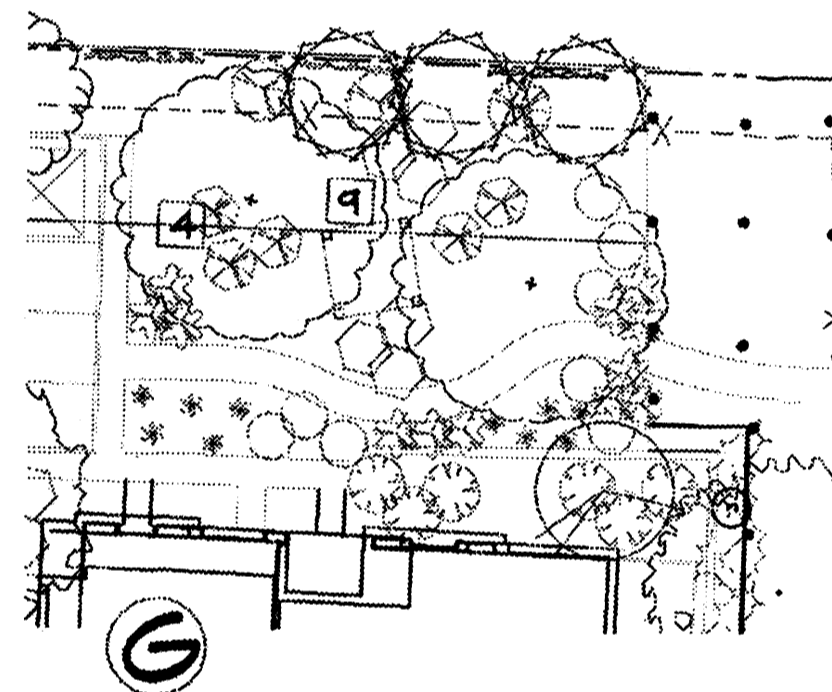
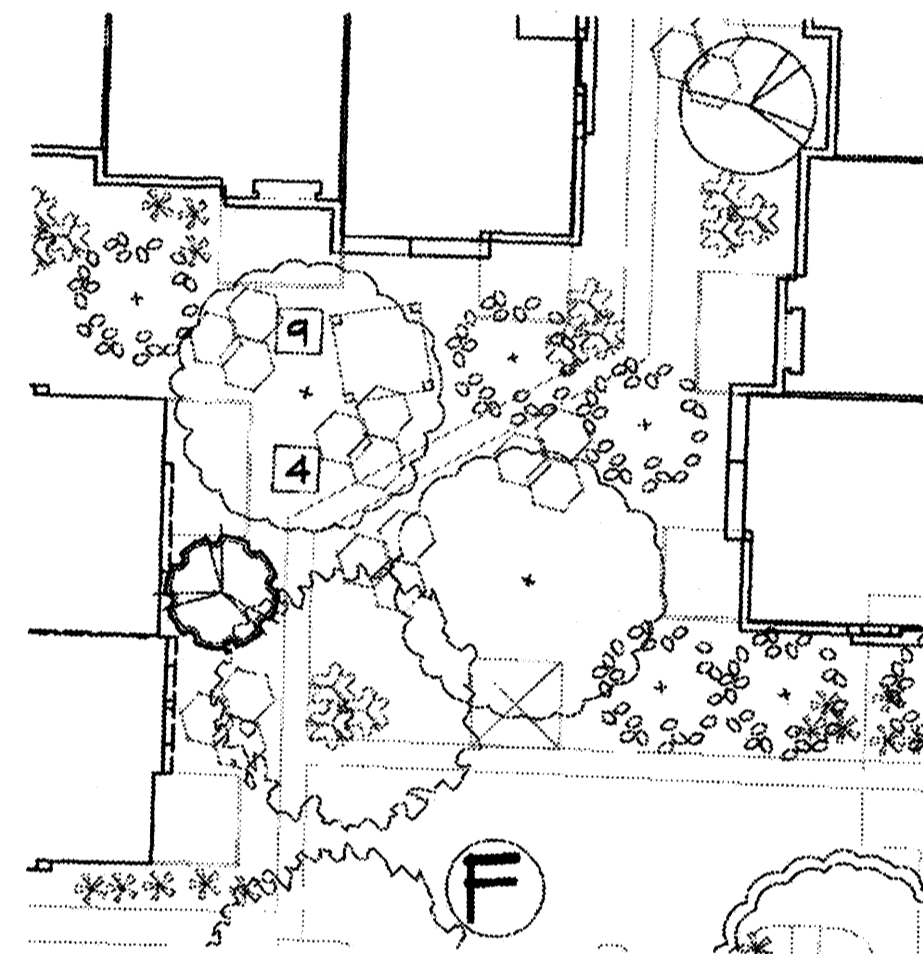
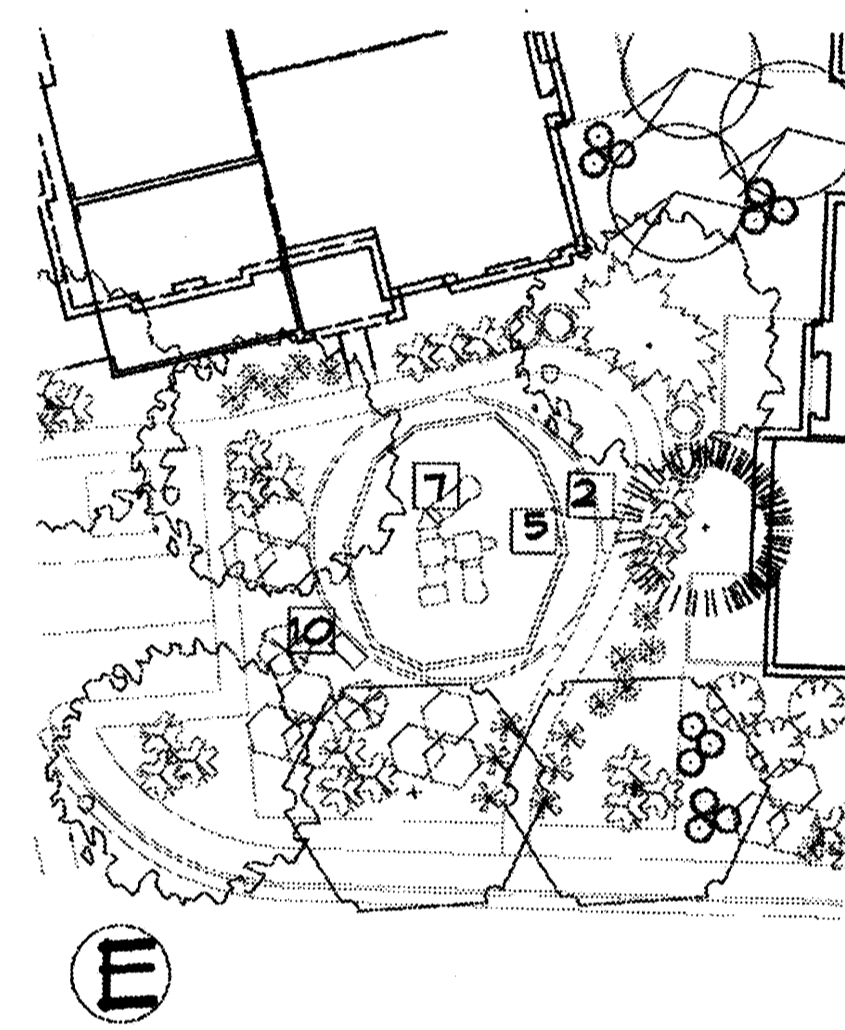
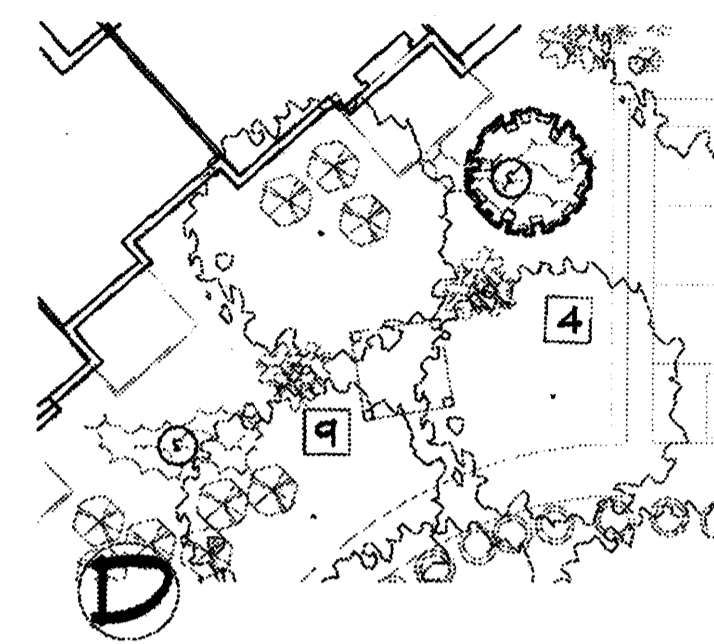
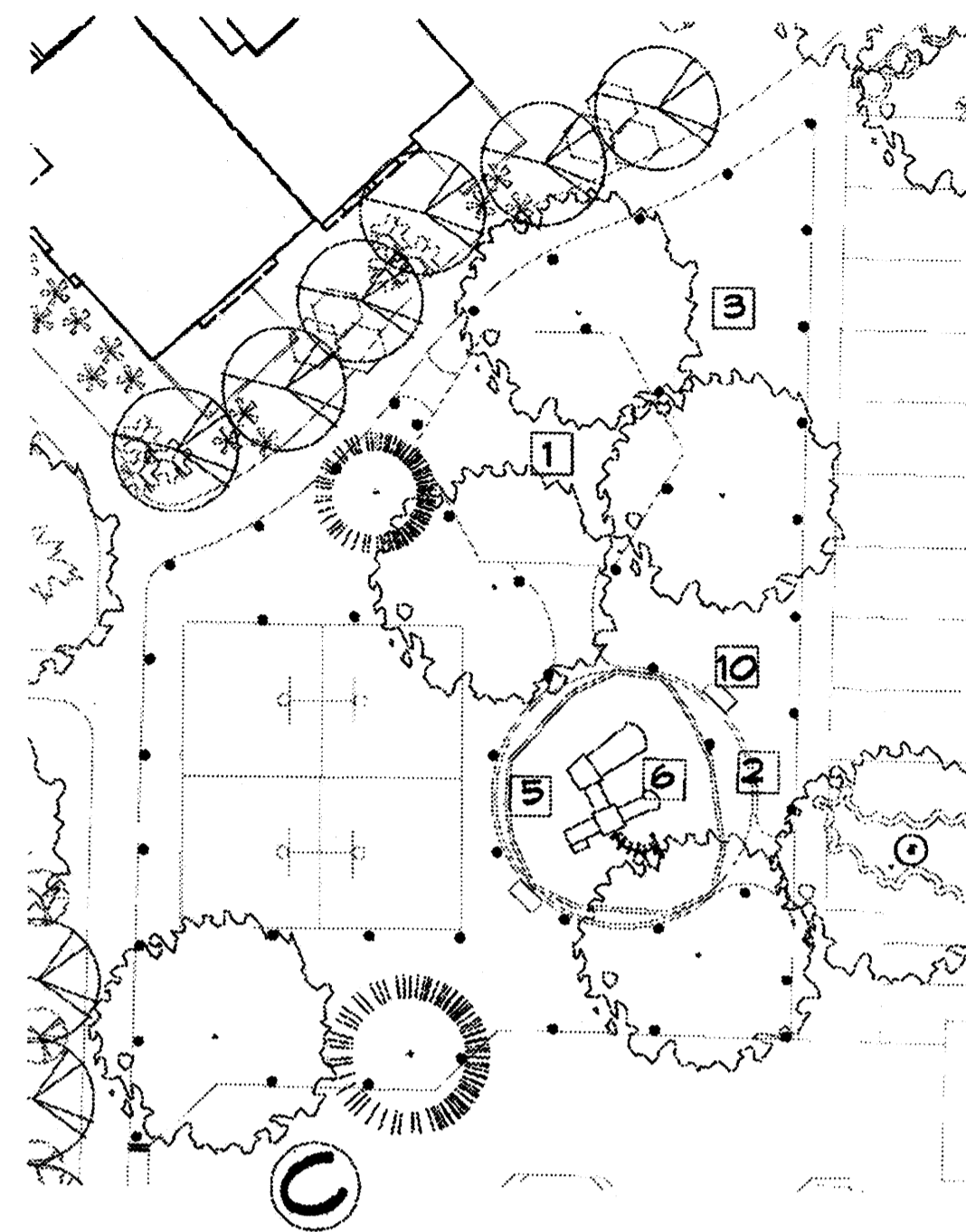
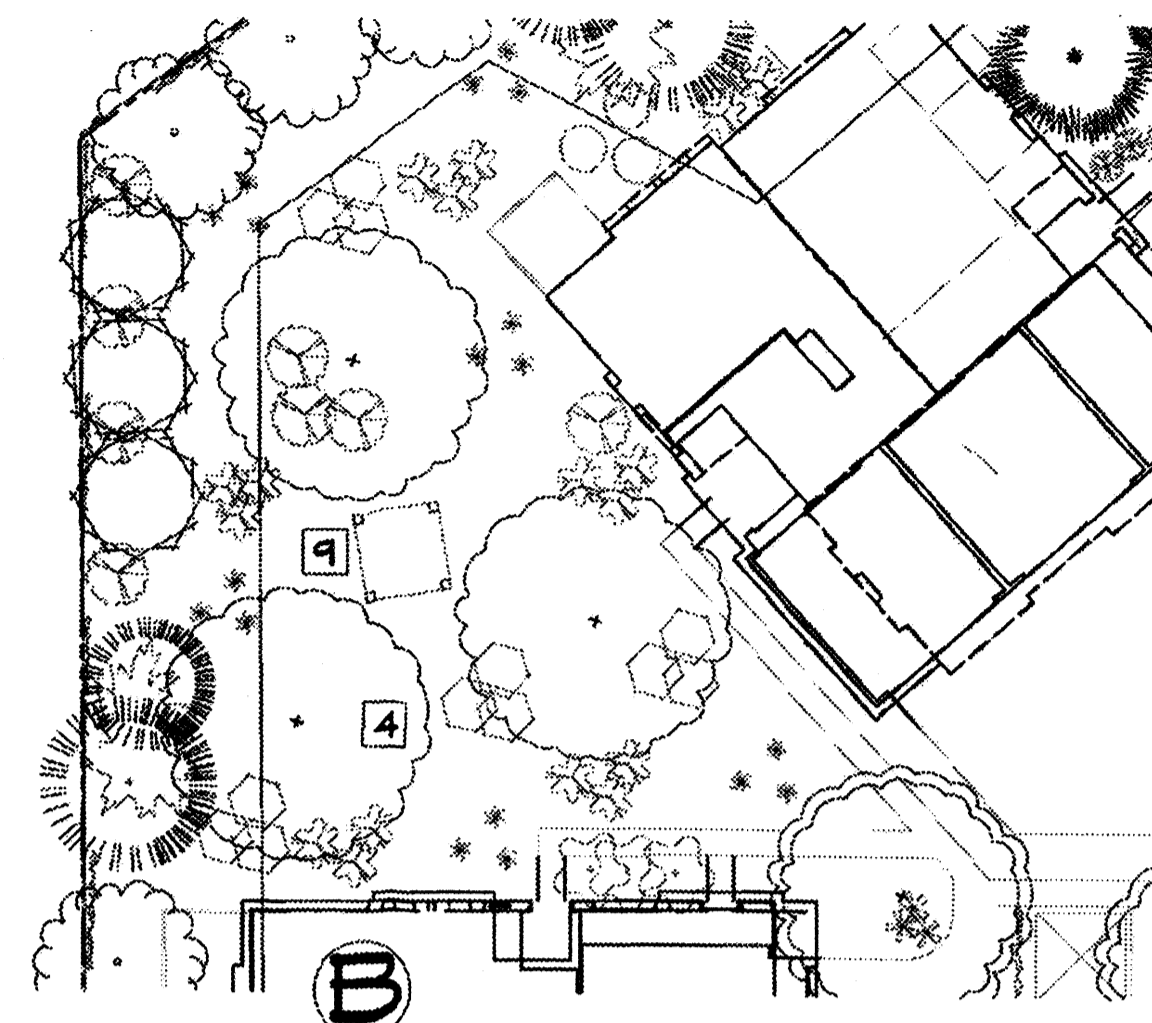
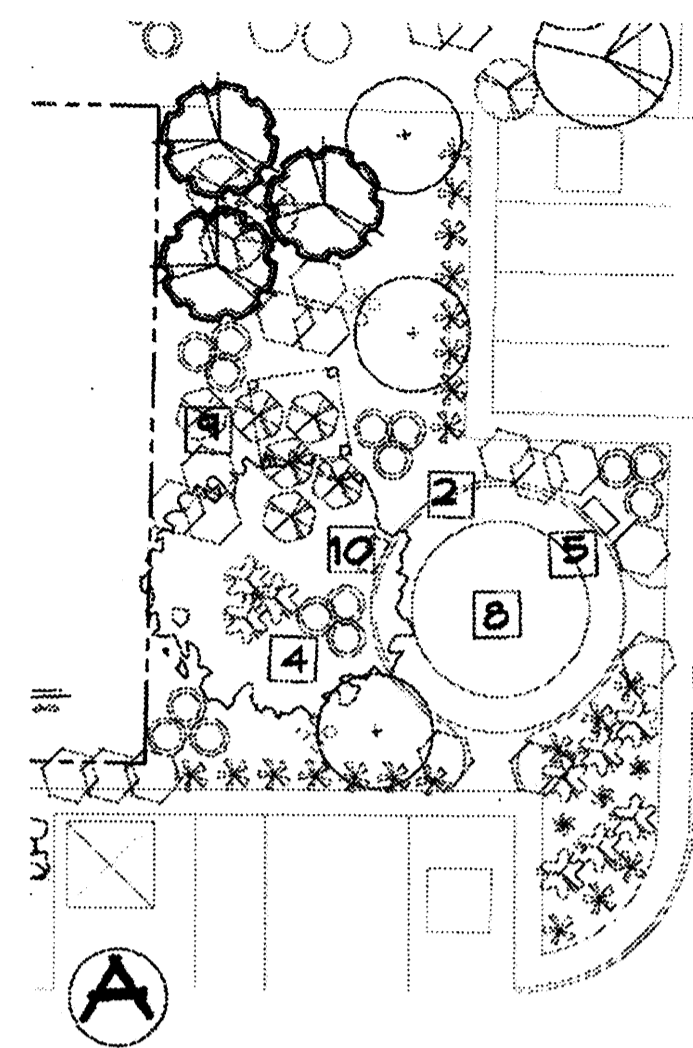
LANDSCAPE PLAN

All owners, contractors, and subcontractors are notified that this is an original design and must not be reproduced or copied without written permission.

**The Hiltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DESIGNED BY: JEF  
REVISED BY: JEF  
DATE: 7-6-15

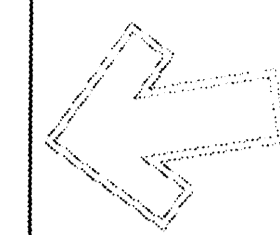
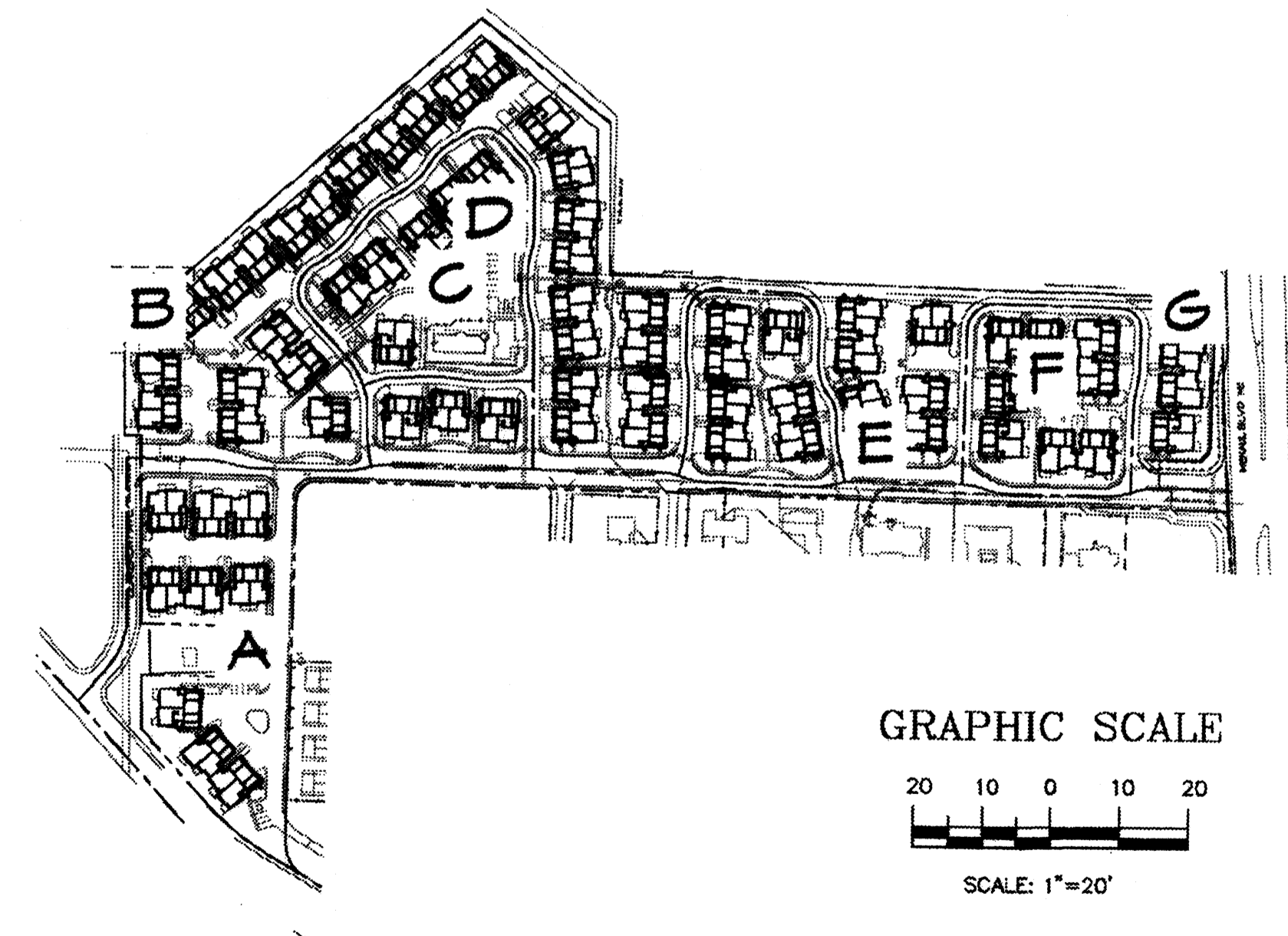
SHEET #  
L19L3



### KEYED NOTES

- 1 POLYGON SHADE STRUCTURE BY OTHERS
- 2 6" x 6" CONCRETE MONCURB
- 3 SOD LAWN
- 4 3" GREY GRAVEL 3" DEEP W/ FF
- 5 12" DEEP PLAY SAND
- 6 PLAY STRUCTURE AGES 5-12 PLAYMAKERS MODEL NO. 500-0401 (SEE DETAIL SHEET 2)
- 7 PLAY STRUCTURE AGES 2-5 EXPLORERS MODEL NO. 238-0324 (SEE DETAIL SHEET 2)
- 8 GEODOME CLIMBER BY PLAYWORLD SYSTEMS AGES 5-12 (SEE DETAIL SHEET 2)
- 9 10' x 10' RAMADA WITH 6' PICNIC TABLE-SURFACE MOUNT MODEL AND BBQ GRILL (SEE DETAIL SHEET 2)
- 10 4' BENCH WITH ARM RESTS ON SIDES SURFACE MOUNT (SEE DETAIL SHEET 2)

Product	Manufacturer/Specs	Model No.	Quantity	Location
Playstructure	Playworld Systems Capacity: Up to 20 children ages 5-12 Size: 14'x17'x10' Use Zone: 82'x80' Colors: Forest green posts, red components, beige and green plastics, yellow desks and stairs	500-0401	1	Cubhouse
Playstructure	Playworld Systems Capacity: Up to 20 children ages 2-5 Size: 15'x12'x11' Use Zone: 28'x25' Colors: Forest green posts, red components, beige and green plastics, yellow desks and stairs	238-0324	1	Blgd 36
Playstructure	Playworld Systems Capacity: Up to 7 children ages 5-12 Size: 5' dia x4' Use Zone: 20' dia Colors: Forest green	22PD1051	1	Blgd 4
Ramada	The Hilltop Landscaping Size: 10'x10' Material: Cedar Stain: Olympic 917	N/A	5	Blgd 22 Blgd 34 Blgd 44 Blgd 7 Blgd 4
6' Picnic Table	Playworld Systems Colors: Beige top, Hunter Green Frame	22X11401	5	Blgd 22 Blgd 34 Blgd 44 Blgd 7 Blgd 4
6'x6' BBQ grill	Playworld Systems	22X11451	5	Blgd 22 Blgd 34 Blgd 44 Blgd 7 Blgd 4
4' Bench	Playworld Systems Colors: Beige seat, Forest Arm/Legs	22X114645	6	Cubhouse (2) Blgd 36 (2) Blgd 4 (2)



Cont. Lic. #26458  
7909 Edin NE  
Albuquerque, NM 87184  
Ph: (505) 898-9690  
Fax: (505) 898-7737  
cmr@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLOON  
20027

KB HOME, INC. - MENAUL SCHOOL  
ALBUQUERQUE, NM  
COMMON AREAS

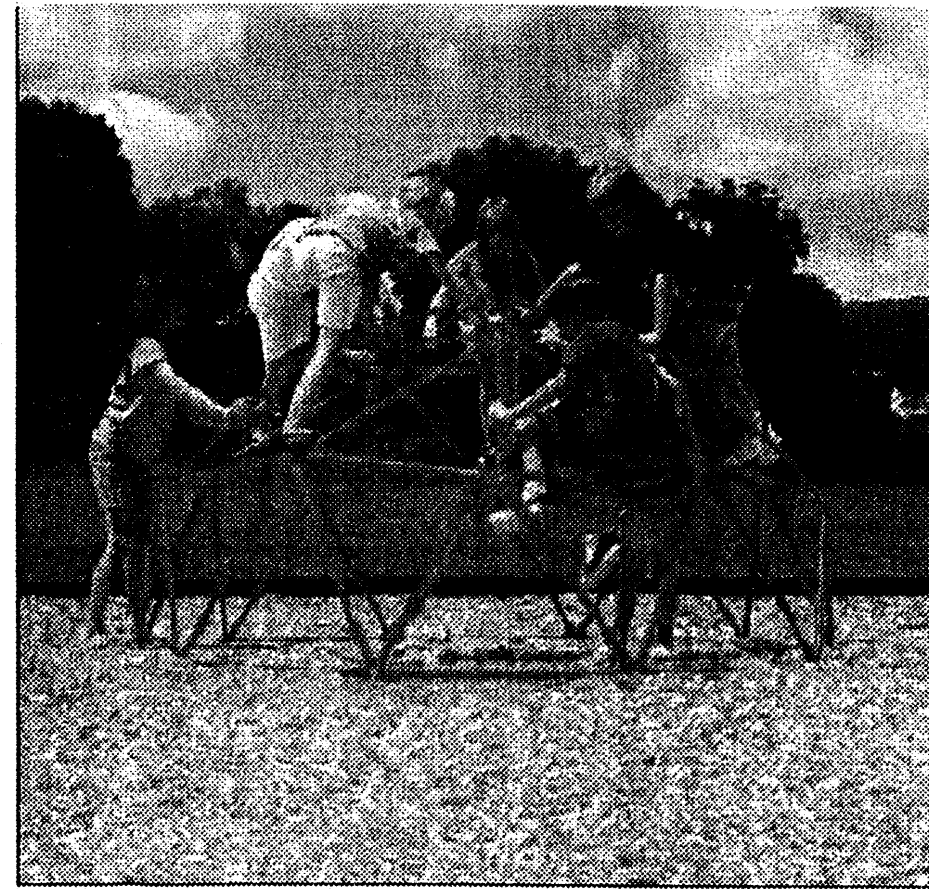
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**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DESIGNED BY  
REVISED BY  
DATE:  
3-6-06

SHEET #  
12 of 13





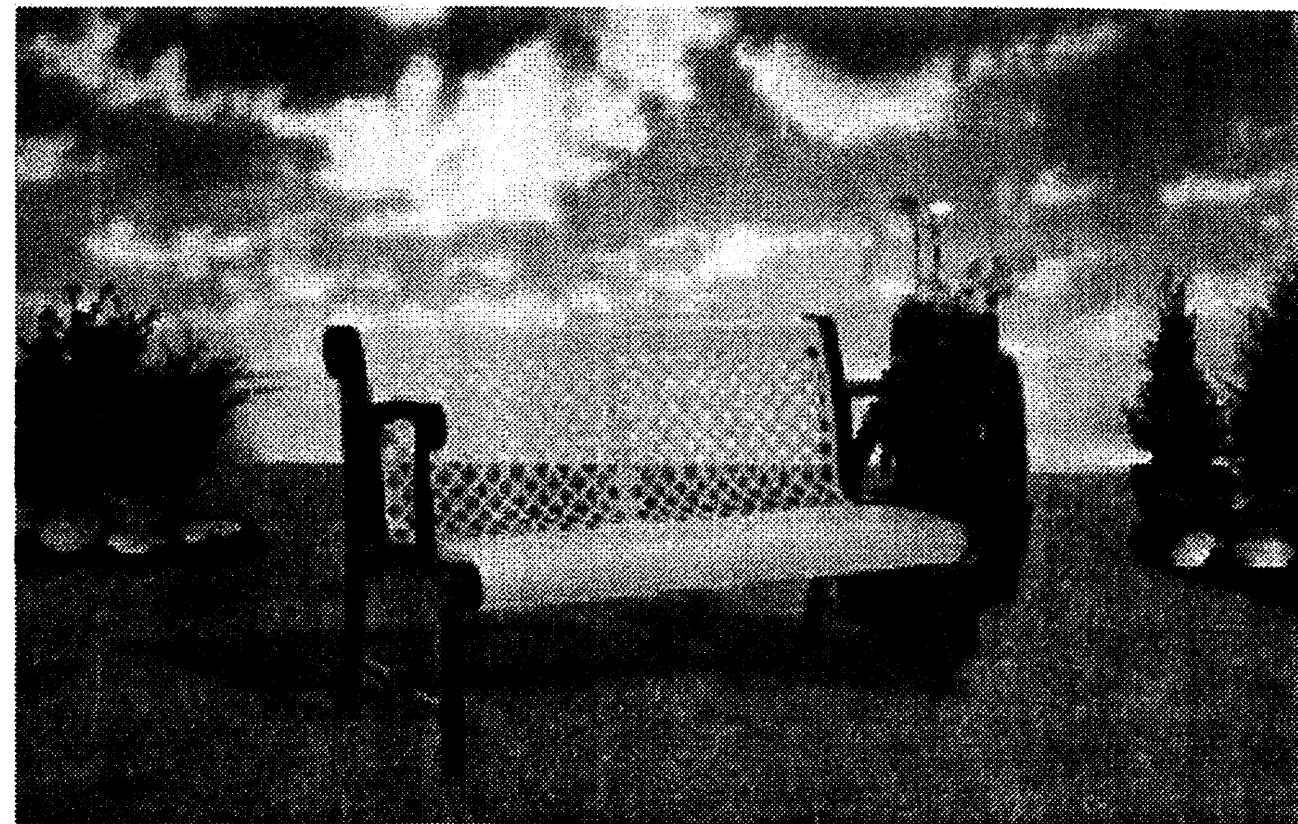
1 GEODOME CLIMBER AGES 5-12  
not to scale



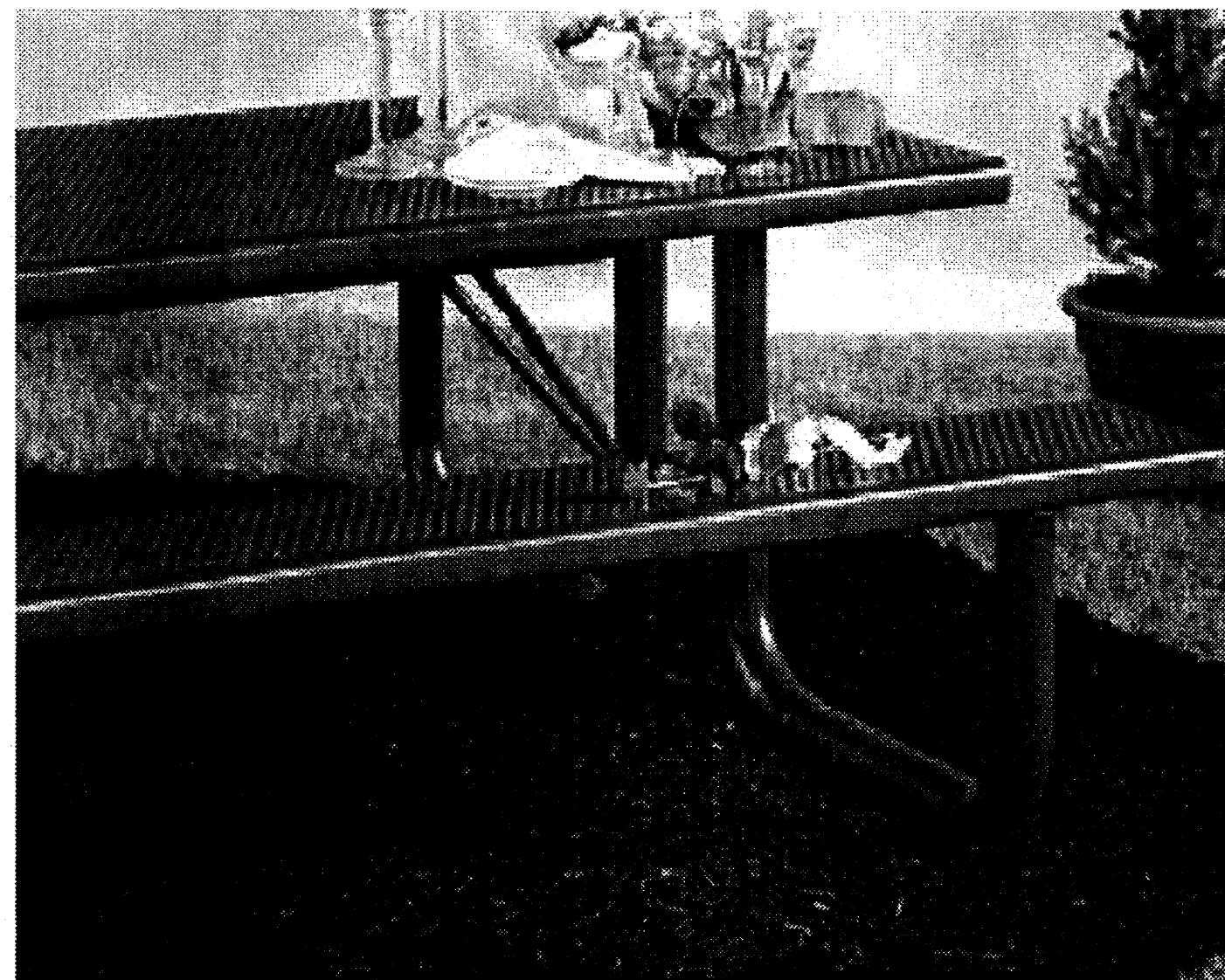
2 PLAYSTRUCTURE AGES 2-5  
not to scale



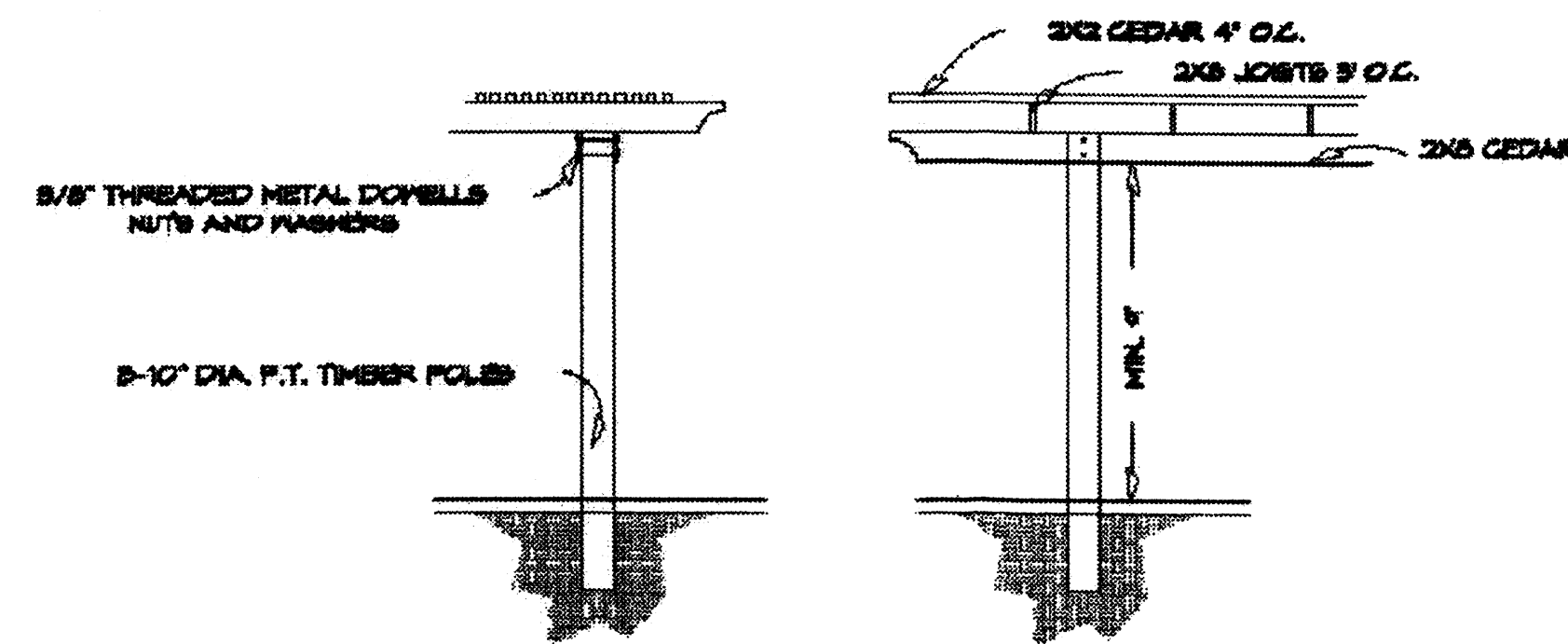
3 PLAYDSTRUCTURE AGES 5-12  
not to scale



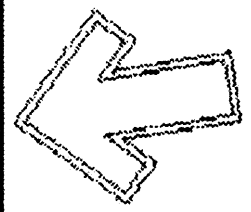
4 4' BENCH - SURFACE MOUNT  
not to scale



5 6' PICNIC TABLE - SURFACE MOUNT  
not to scale



6 RAMADA DETAIL TYP.  
not to scale



Cont. to: 871830  
7909 Edin.  
Albuquerque, NM 87184  
Ph: (505) 899-8690  
Fax: (505) 898-7737  
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON  
8000?

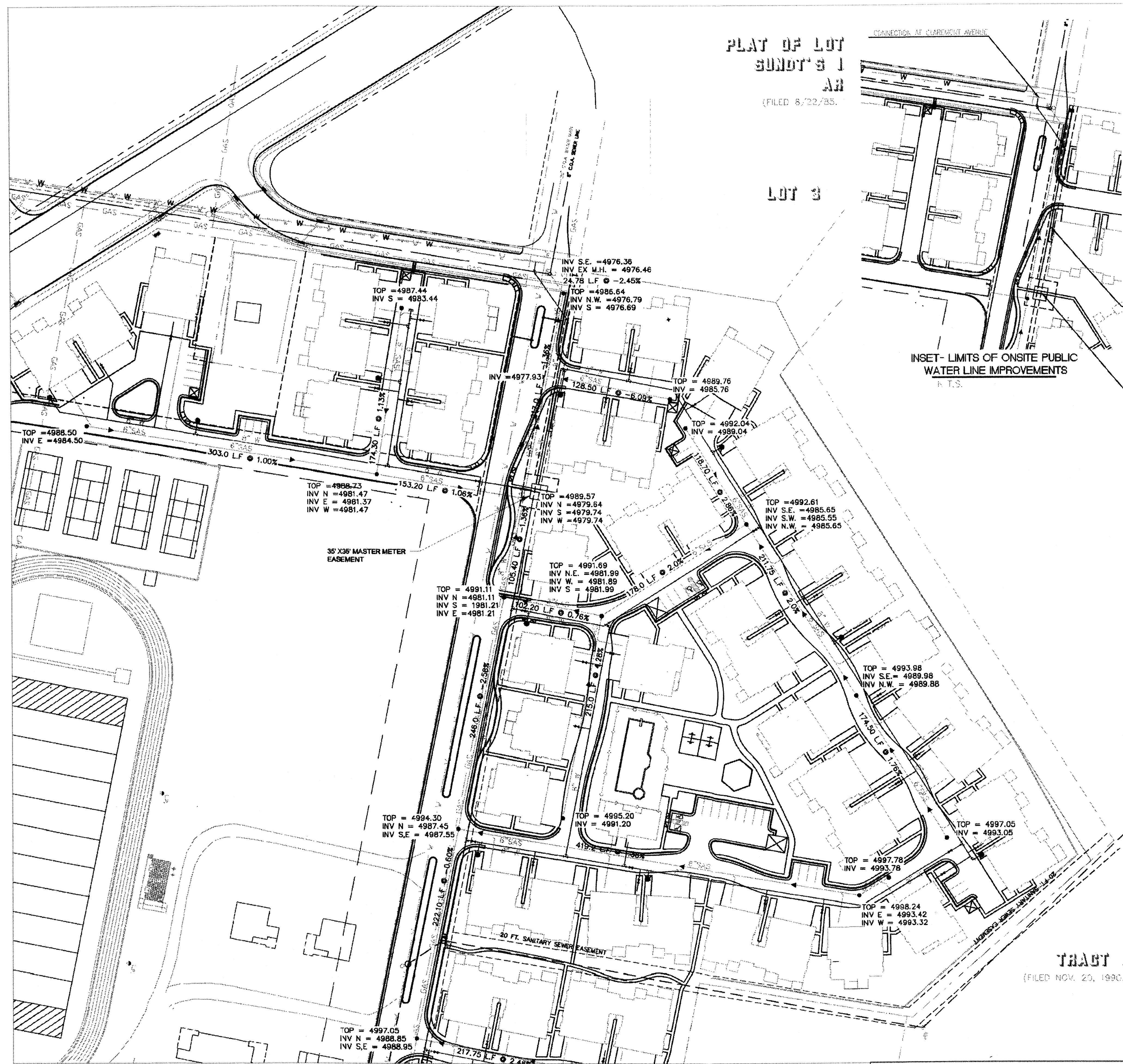
KB HOME, INC. - MENAUL SCHOOL  
ALBUQUERQUE, NM  
LANDSCAPE DETAILS

All work shall conform to the latest editions of the International Building Code and the International Residential Code. Check with local authorities for any amendments to these codes. The contractor shall be responsible for obtaining all necessary permits.



DRAWN BY: [blank]  
REVISION # [blank]  
DATE: 1-20-06

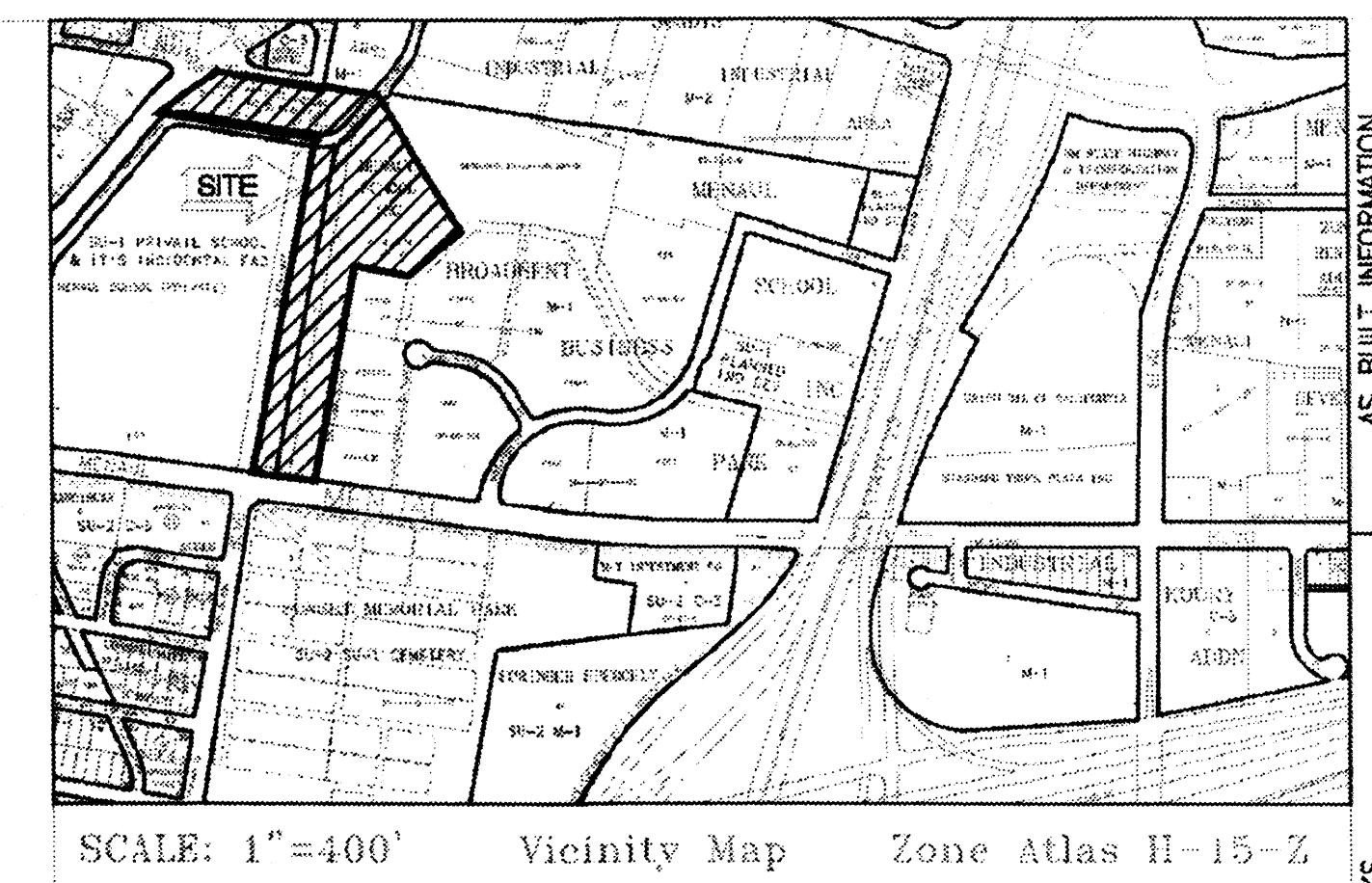
SHEET #  
L3 OF L3



PLAT OF LOT  
SUNDT'S 1  
AR  
(FILED 8/22/85.)

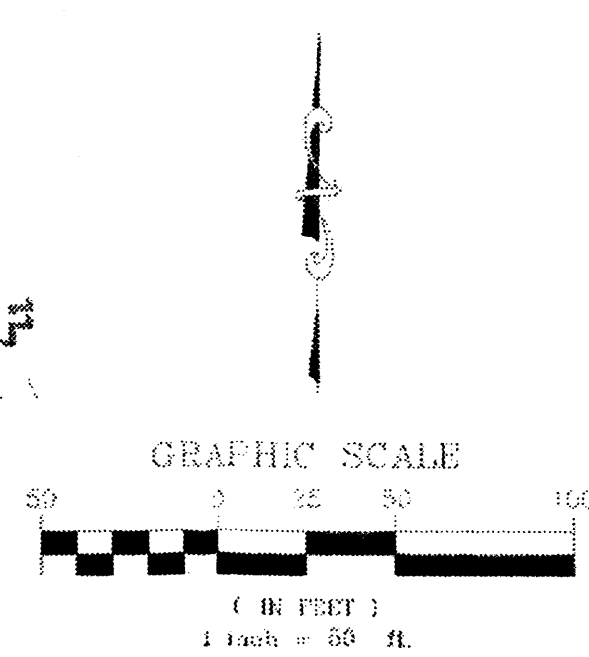
LOT 3

INSET- LIMITS OF ONSITE PUBLIC  
WATER LINE IMPROVEMENTS  
N.T.S.



LEGEND:

---	ROW LINE
---	LOT LINE
---	EDGE OF PAVEMENT
---	PROPOSED ASPHALT
---	PROPOSED ASPHALT
---	ROW CENTER LINE
---	EDGE OF PAVEMENT
---	SUBSTATION BOUNDARY
○	GAS L.V. & WATER L.V.
○	WATER L.V.
○	PIPE (FRANK)
○	GATE VALVE
○	WATER L.V. TEE
○	WATER METER'S
○	GAS SERVICE
○	STORM DRAIN
○	GAS CLEANOUT
○	CAP OR FLEC



TRACT F  
(FILED NOV. 23, 1990.)

Community  
Sciences  
Corporation  
1400 N. ALBERTA  
P.O. Box 1328 Corrales, New Mexico 87048

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP  
TITLE: VILLAS AT MENAUL  
OVERALL UTILITY PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr
City Project No.	Zone Map No.	Sheet	of
781681	11-15-7	15	19

AS BUILT INFORMATION

NO.	DATE	BY	REVISIONS
			DESIGN

DESIGNED BY: JAVH  
DRAWN BY: JAVH  
CHECKED BY: JAVH

DATE: 07/27/09  
DATE: 05/24/09  
DATE: 05/27/09

ENGINEER'S SEAL

NO. DATE BY

REVISIONS

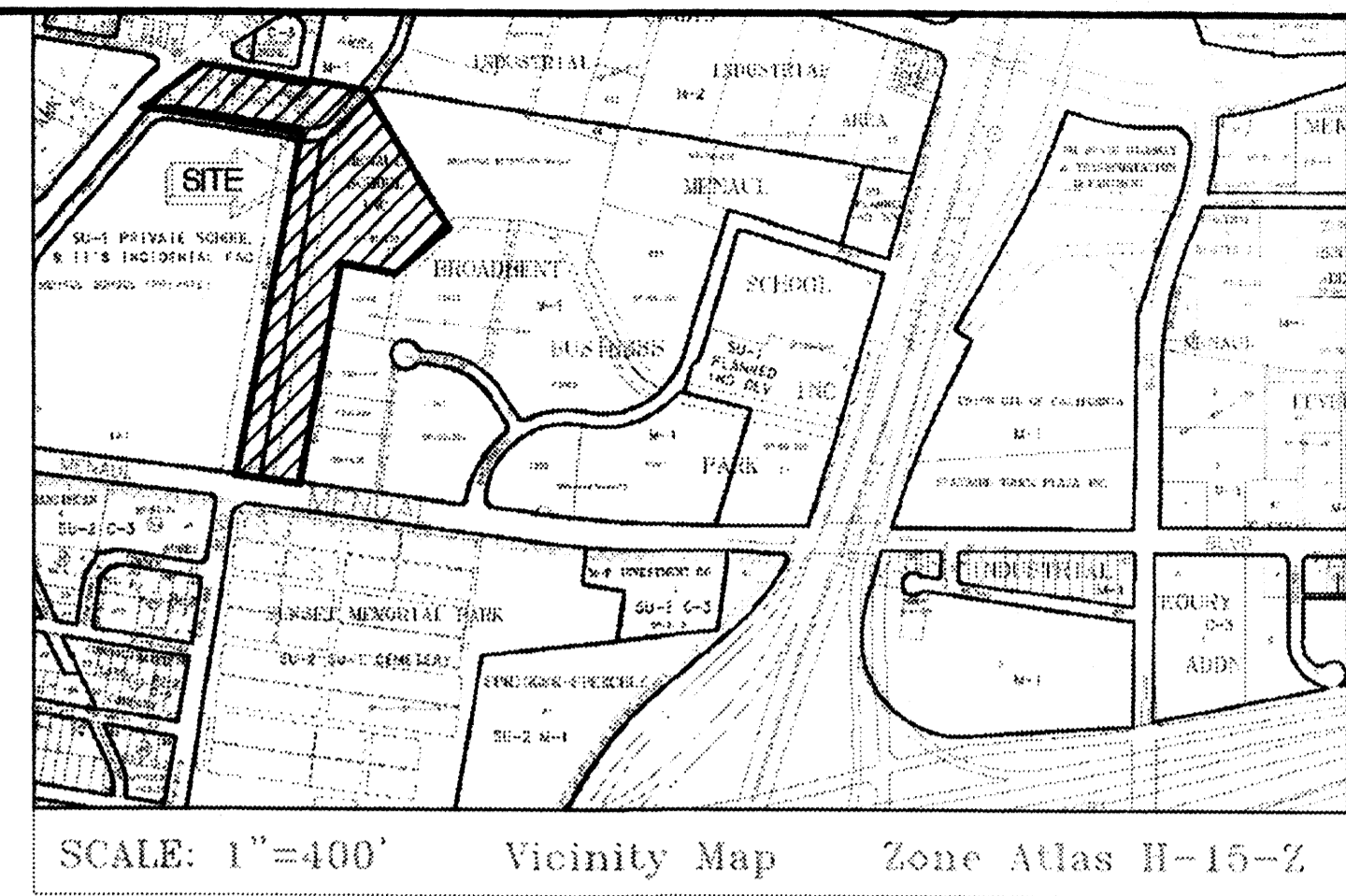
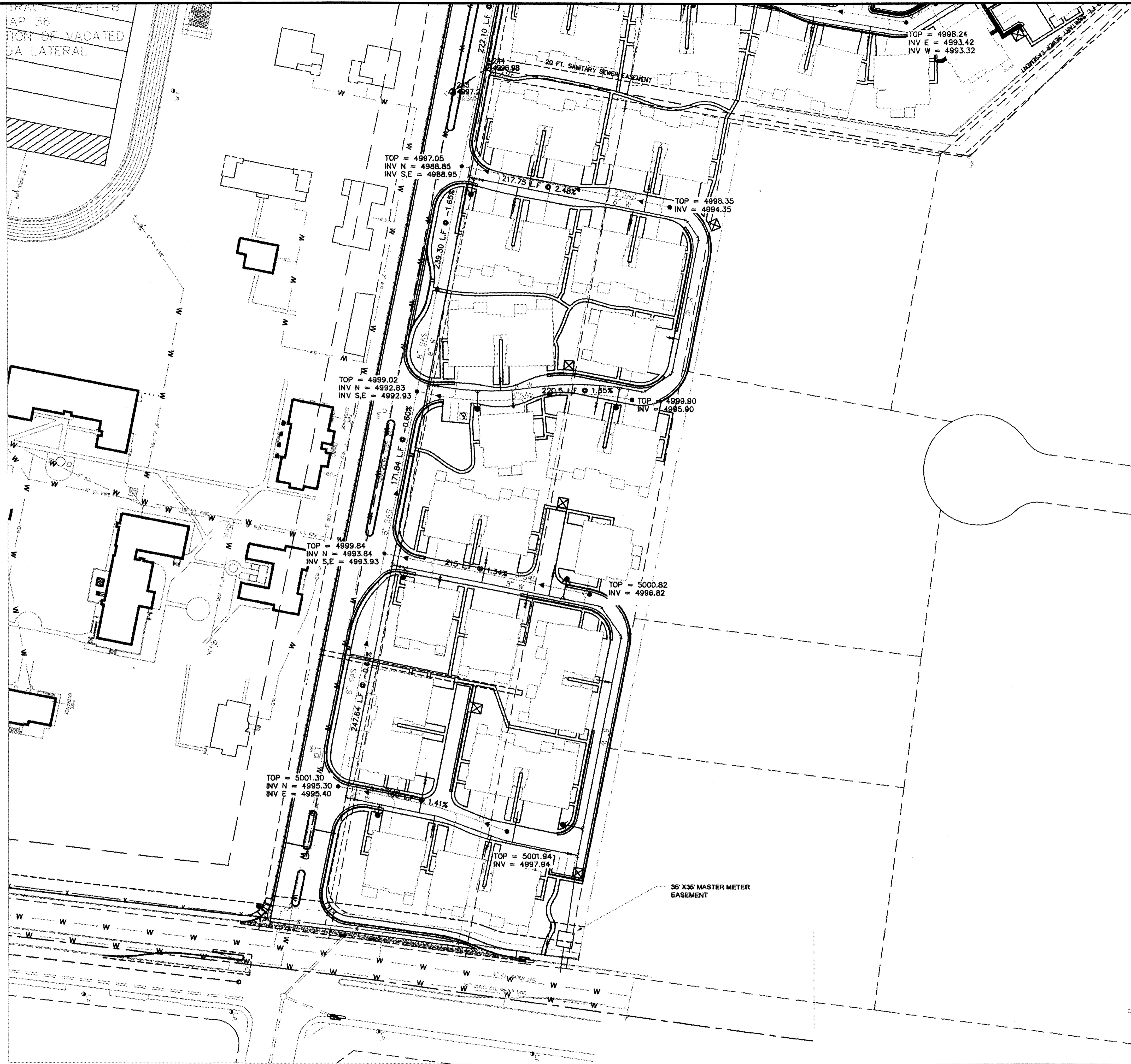
NO. DATE BY

F:\PROJECTS\IN627 KBHOME\Menaul School\SDP\Site Plan Building Permit\BP Siteplan.dwg

PROJECT NUMBER: 1004474 05-EPC-1568, 1569

MENAU SCHOOL CONDOMINIUMS  
UTILITY PLAN (1)

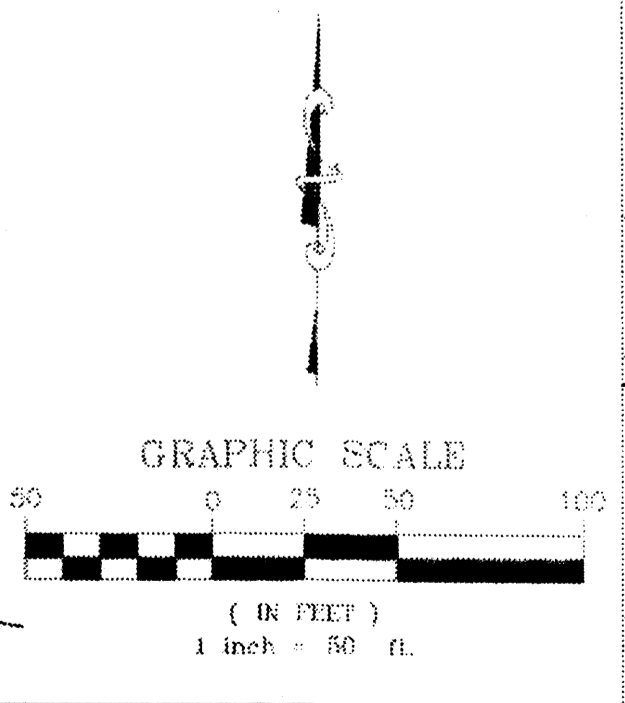
SHEET  
C10  
of  
12



LEGEND:

	ROW LINE
	LOT LINE
	PUBLIC UTILITY EASEMENT
	PROPOSED
	EXISTING
	ROW CENTER LINE
	EDGE OF PAVEMENT
	GRID VS. PL. BOUNDARY
	6" SAS LINE @ 120' MAX. SPACING
	WATER LINE
	PIPE INSULATION
	GATE VALVE
	WATER LINE TEE
	WATER METERS
	SAS SERVICE
	STORM DRAIN
	SAS CLEANOUT
	CAP OR PLUG

**Community Sciences Corporation**  
 LAND PLANNING ENGINEERING SURVEYING  
 P.O. Box 1228 Corrales, New Mexico 87045



CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

TITLE: **VILLAS AT MENAUL OVERALL UTILITY PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **781081** Zone Map No. **H-15-3** Sheet **16** of **16**

AS BUILT INFORMATION	
NO.	DATE
BENCH MARKS	
FIELD NOTES	
NO.	DATE
REVISIONS	
NO.	DATE
MICRO-FILM INFORMATION	
NO.	DATE

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

F:\PROJECTS\IN627 KBHOME\Menaul School\SDP\Site Plan Building Permit\BP Siteplan.dwg

PROJECT NUMBER: 1004474 05-EPC-1568, 1569

**MENAUL SCHOOL CONDOMINIUMS  
 UTILITY PLAN (2)**

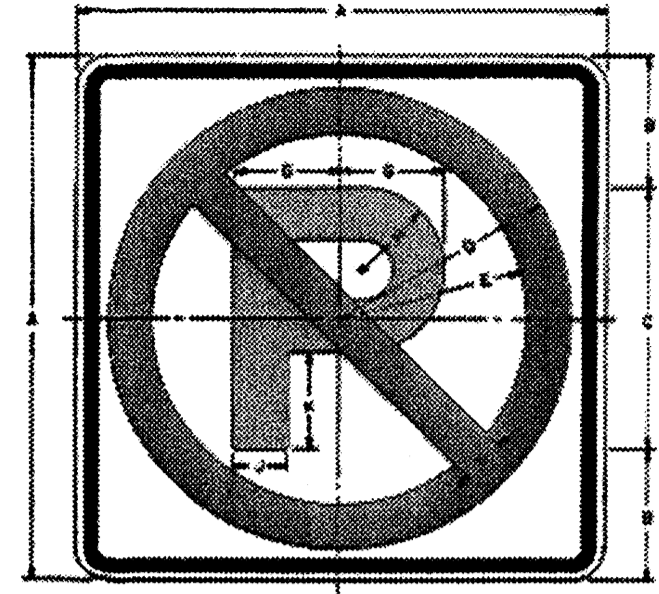
SHEET  
**C11**  
 OF  
**12**

**SIDEWALK AND PAVEMENT COLORATION FOR PEDESTRIAN TRAFFIC:**

WALKWAYS CROSSING PAVEMENT (SHEETS 2 AND 3 LOCATIONS): IMPRESSED CONCRETE (E.G. BOMANITE O.A.E.) PATTERN "COBBLESTONE", COLOR = BRICK RED.

3' INTERNAL WALKS ADJACENT TO PRIVATE STREETS: P.C.C. CONCRETE, SAND FINISH, APPLIED FINISH COLOR = BRICK RED.

4' STANDARD SIDEWALKS AND VEHICULAR DRIVEPADS: SAND OR BROOM FINISH, COLOR = NATURAL.



COLOR: SYMBOL AND BORDER BLACK (HIGH-REFLECTORIZED); DIAMETER AND BACKGROUND WHITE (REFLECTORIZED);

SIGN SIZE	DIMENSIONS											
	A	B	C	D	E	F	G	H	I	J	K	L
12-18	12	3	6	4	3	1	2 1/2	1				
24-36	24	6	12	8	6	2	5	2				
36-54	36	9	18	12	9	3	7 1/2	3				

SEE 1211-1214

**N-MOD-13 SERIES ILLUMINATED BOLLARD**

ILLUMINATION SPECIFICATION

FINISH

STANDARD FINISH

FINISH COAT

PAVING

WARRANTY

ILLUMINATION

**Illand Company**

**UTILITY-5 SERIES**

UTILITY SPECIFICATION

FINISH

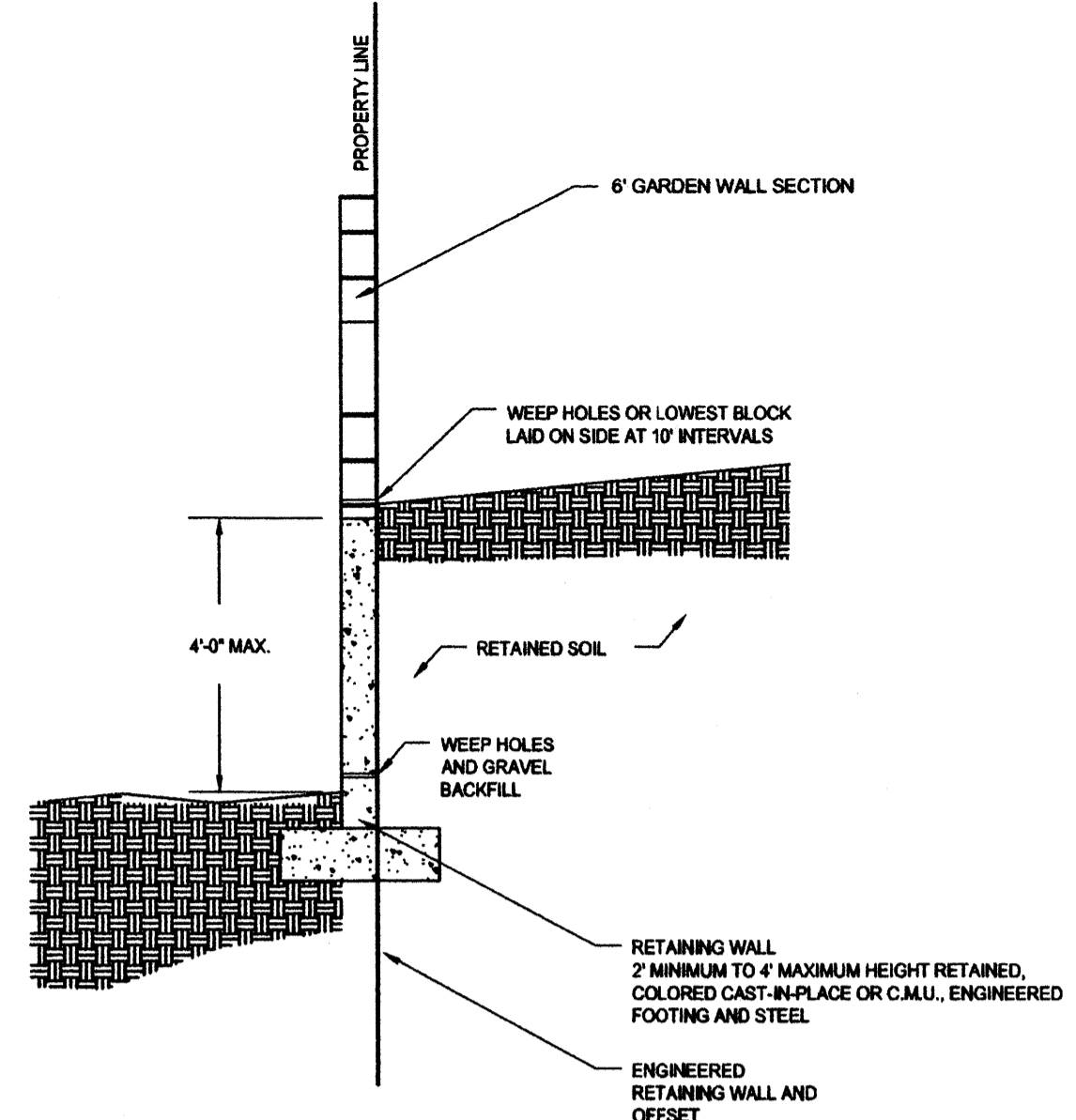
STANDARD FINISH

FINISH COAT

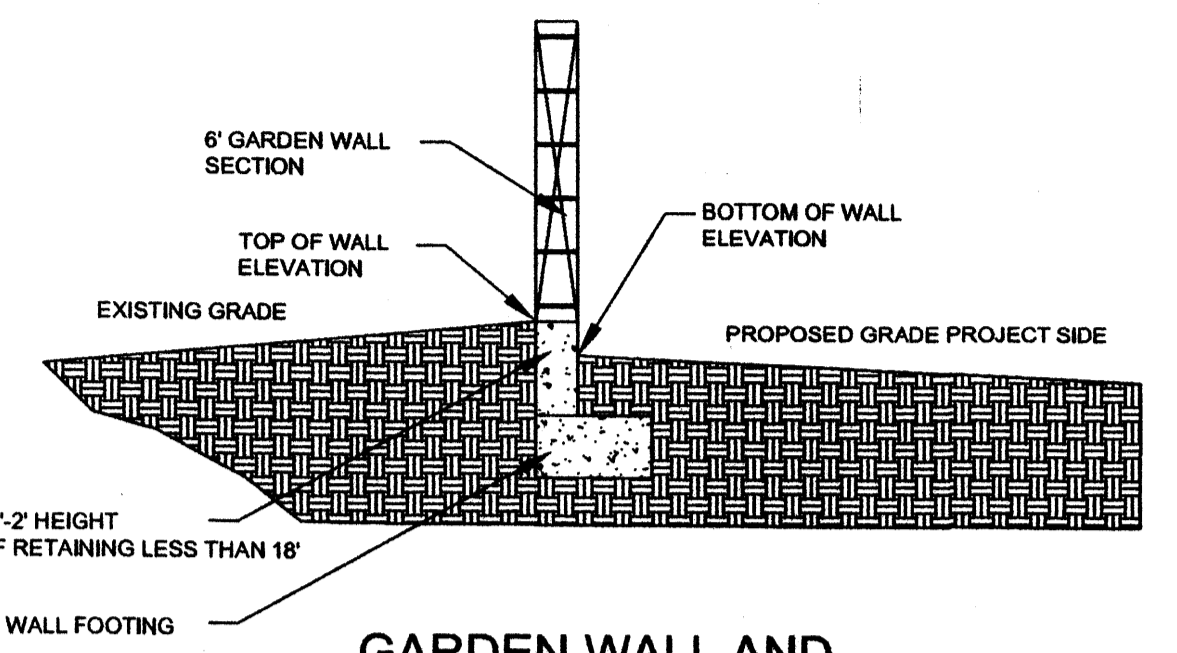
PAVING

WARRANTY

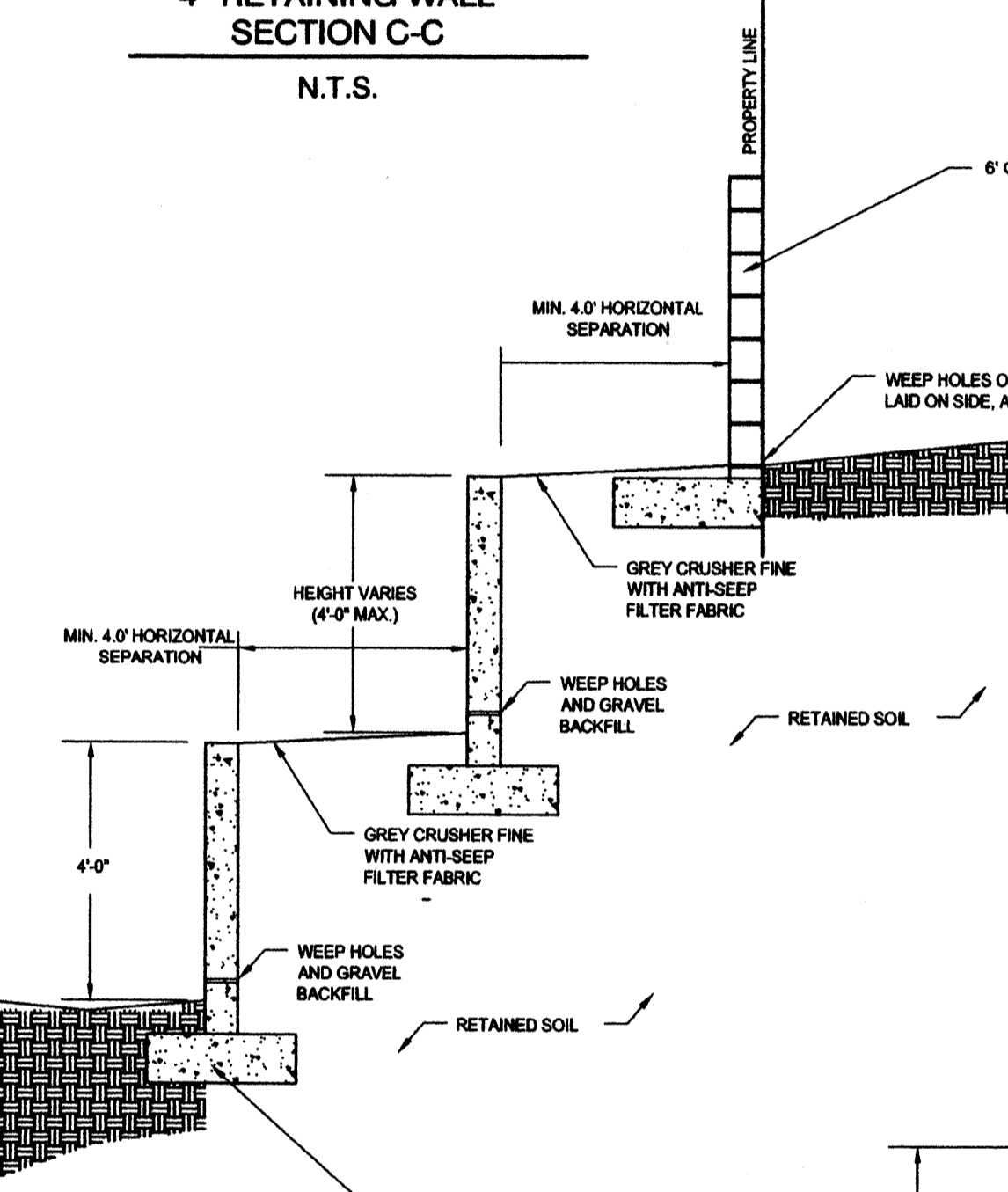
**Illand Company**



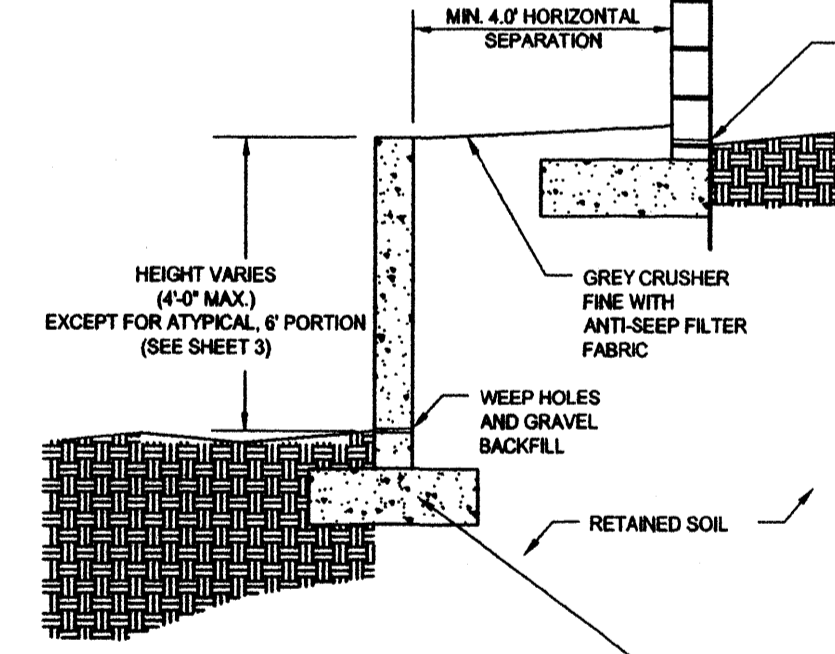
**GARDEN WALL AND 4' RETAINING WALL SECTION C-C**  
N.T.S.



**GARDEN WALL AND 0'-2' RETAINING WALL SECTION**  
N.T.S.



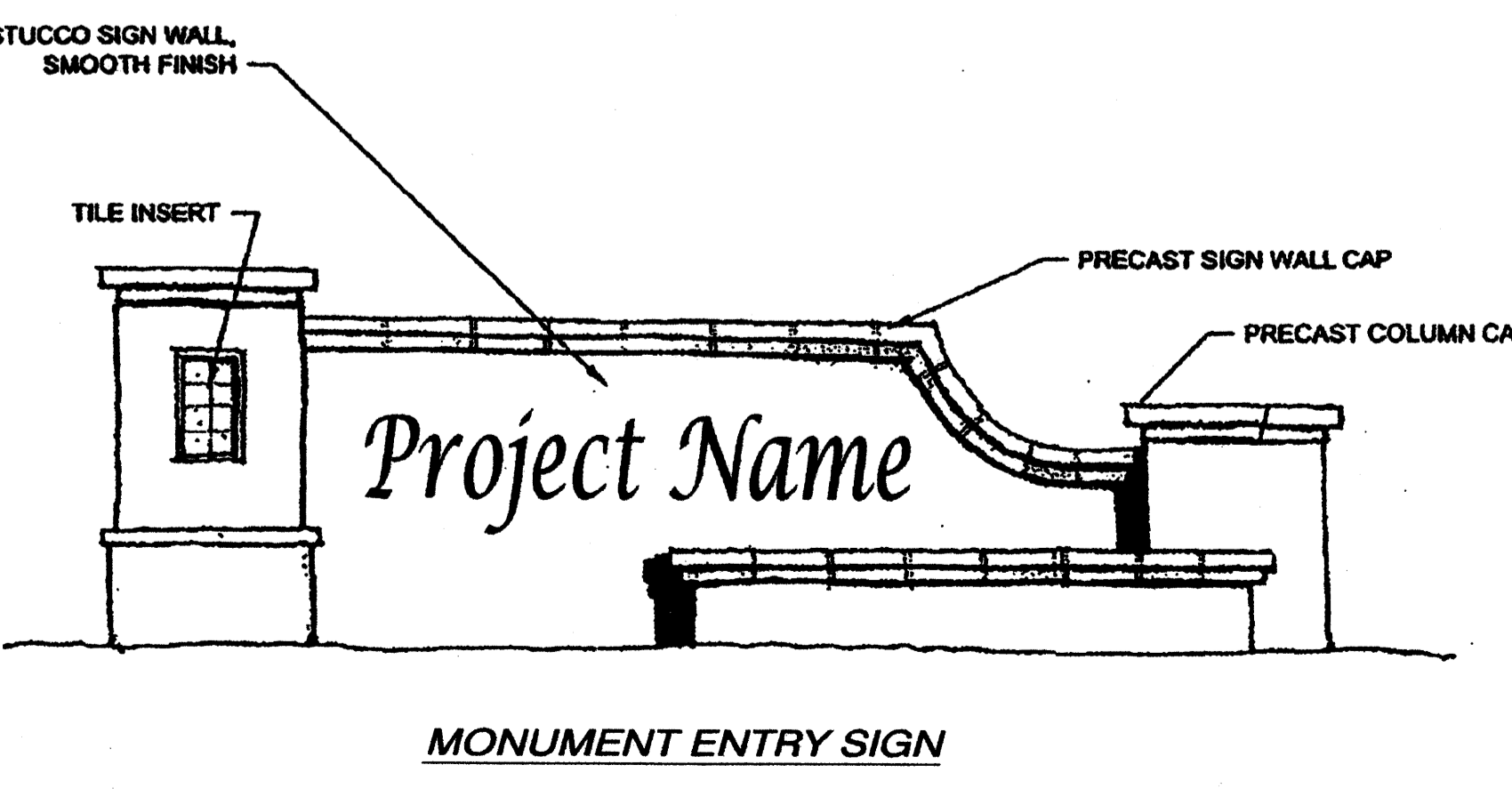
**GARDEN WALL AND 2-4' RETAINING WALLS SECTION B-B**  
N.T.S.



**GARDEN WALL AND 4' RETAINING WALL SECTION A-A**  
N.T.S.  
(4' RETAINING WALL EXCEPT FOR 6' ATYPICAL SECTION AT EASTERNMOST CORNER, SEE SHEET 2)

REVISIONS PER DRB AND STAFF REVIEWS 3/1/06 AND 2/22/06 CAS

REQUIRED = 4 EACH  
5'-0" MAX. HEIGHT  
18'-0" MAX. LENGTH  
AVOID CLEAR SIGHT TRIANGLES AT INTERSECTIONS  
STUCCO COLOR: CREAM  
SIGN: PRECUT BROWN ANODIZED LETTERS O.A.E. ATTACHED TO STUCCO FACE  
NON-ILLUMINATED.  
CAP BLOCK TO MATCH CONCRETE ROOF COLOR

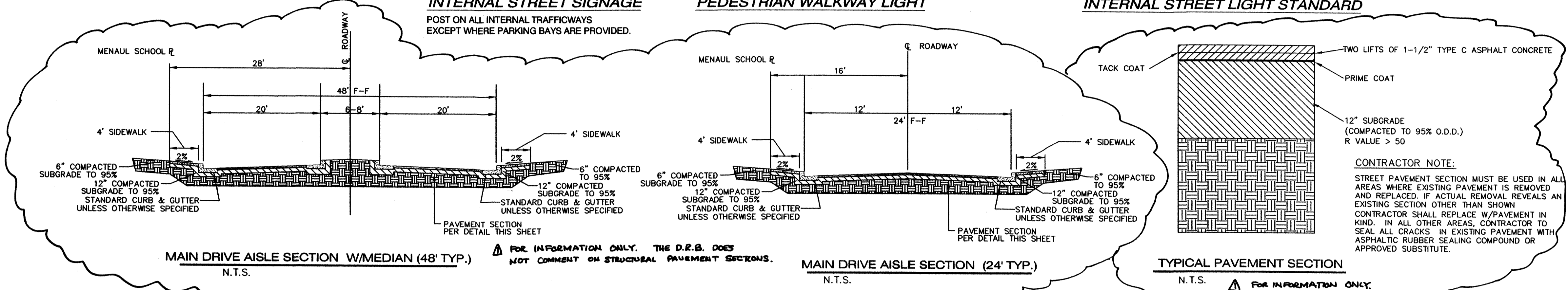


**MONUMENT ENTRY SIGN**

**INTERNAL STREET SIGNAGE**  
POST ON ALL INTERNAL TRAFFICWAYS EXCEPT WHERE PARKING BAYS ARE PROVIDED.

**PEDESTRIAN WALKWAY LIGHT**

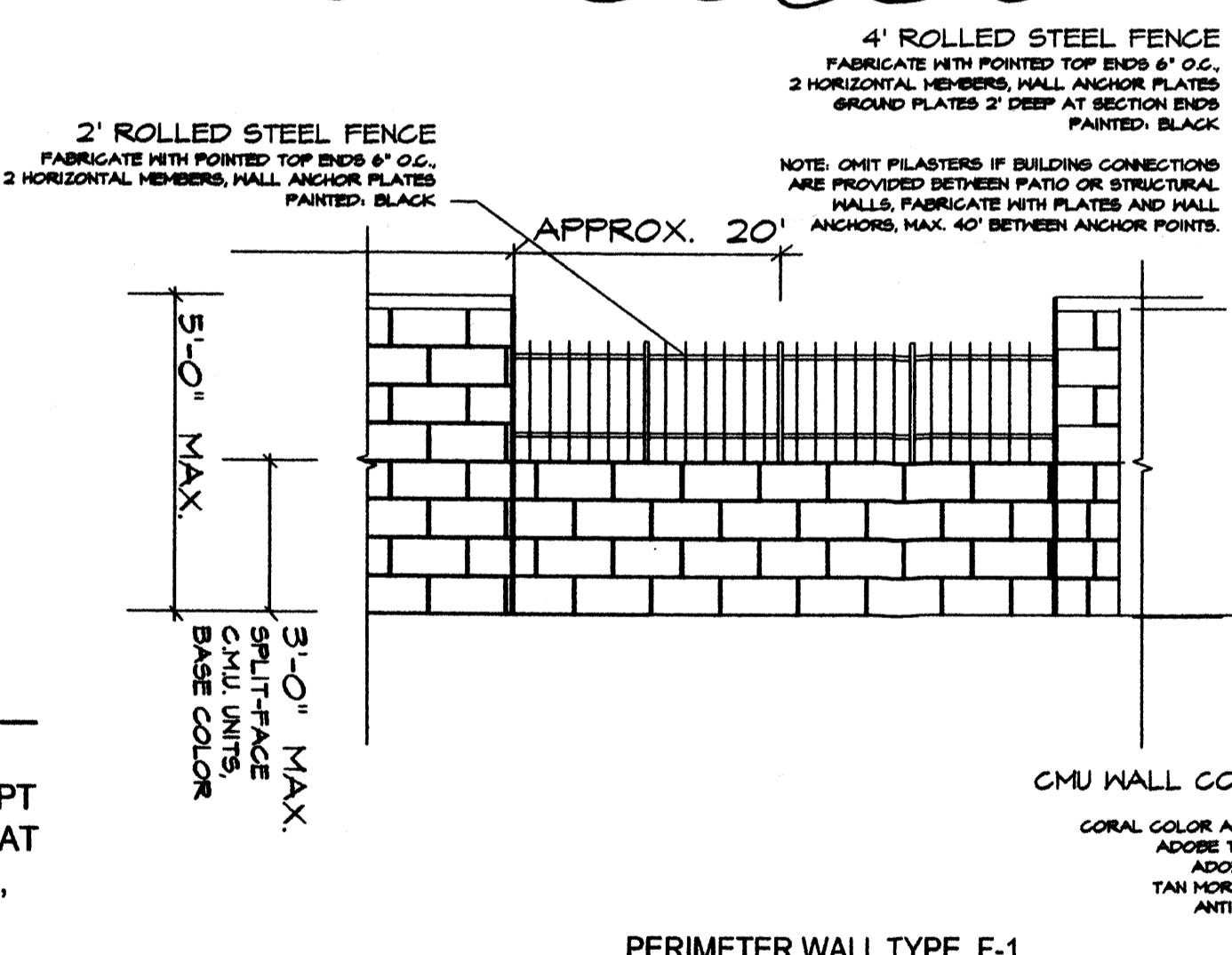
**INTERNAL STREET LIGHT STANDARD**



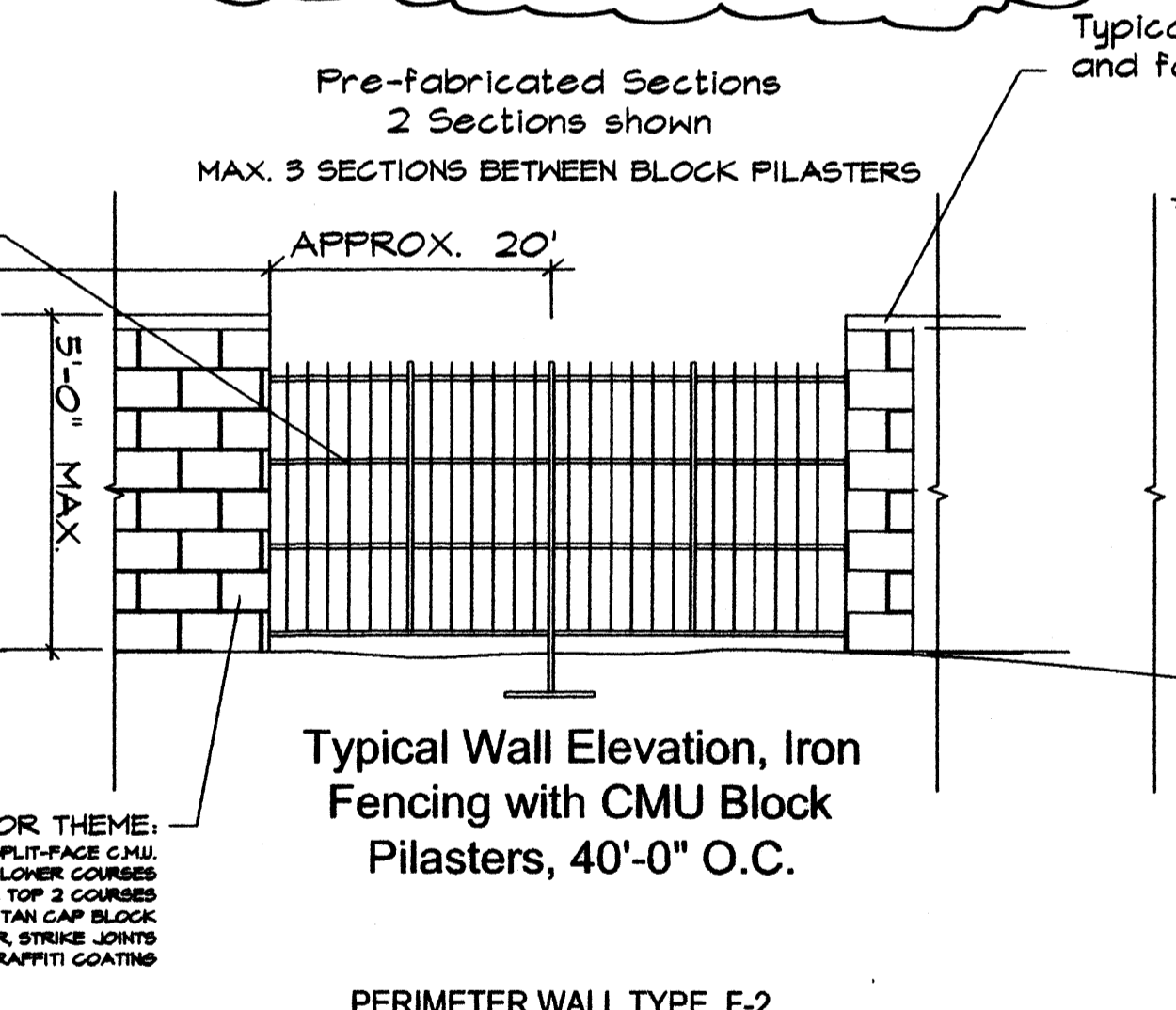
**MAIN DRIVE AISLE SECTION W/MEDIAN (48' TYP.)**  
N.T.S.

**MAIN DRIVE AISLE SECTION (24' TYP.)**  
N.T.S.

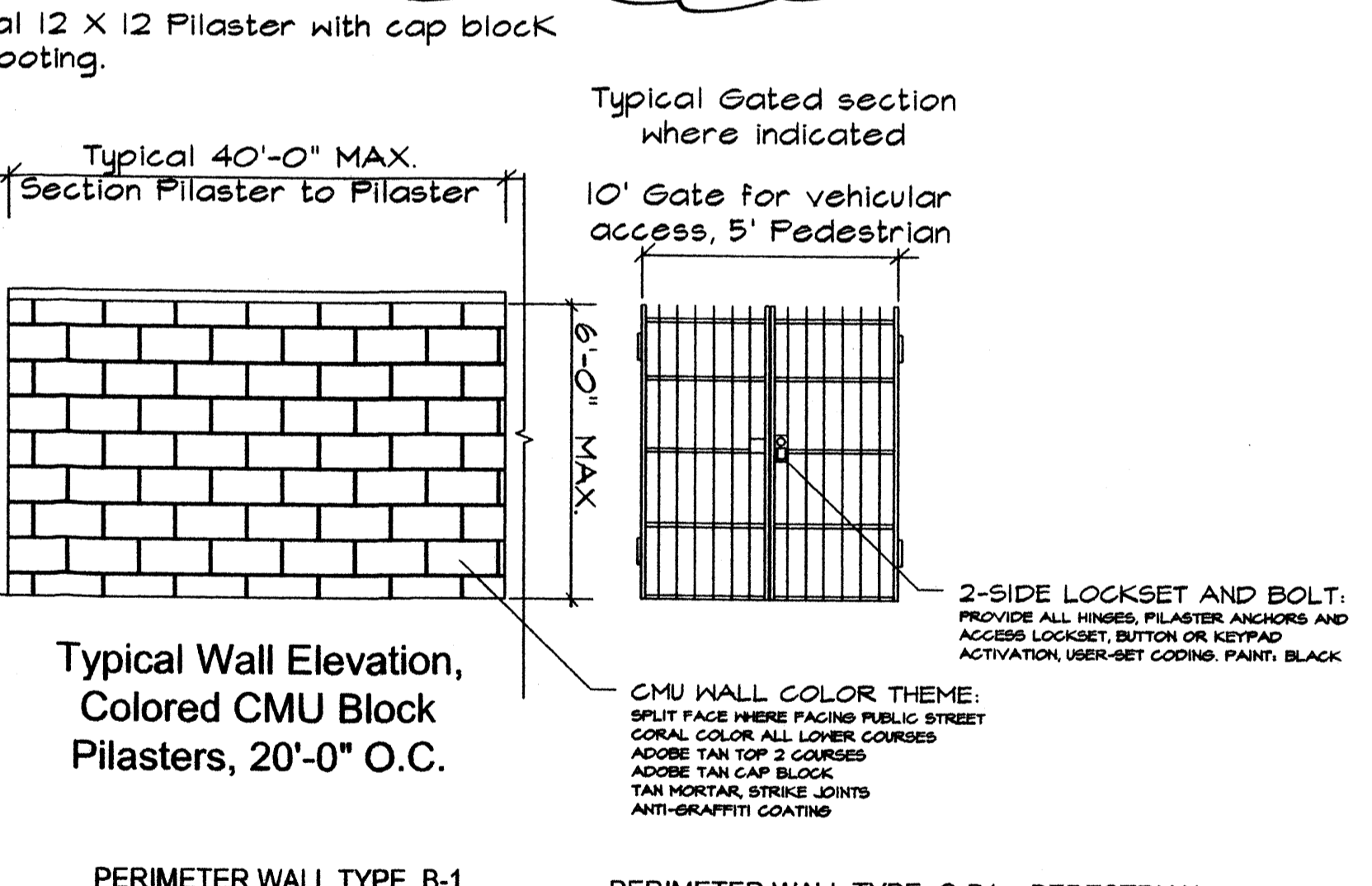
**TYPICAL PAVEMENT SECTION**  
N.T.S.



**PERIMETER WALL TYPE F-1**

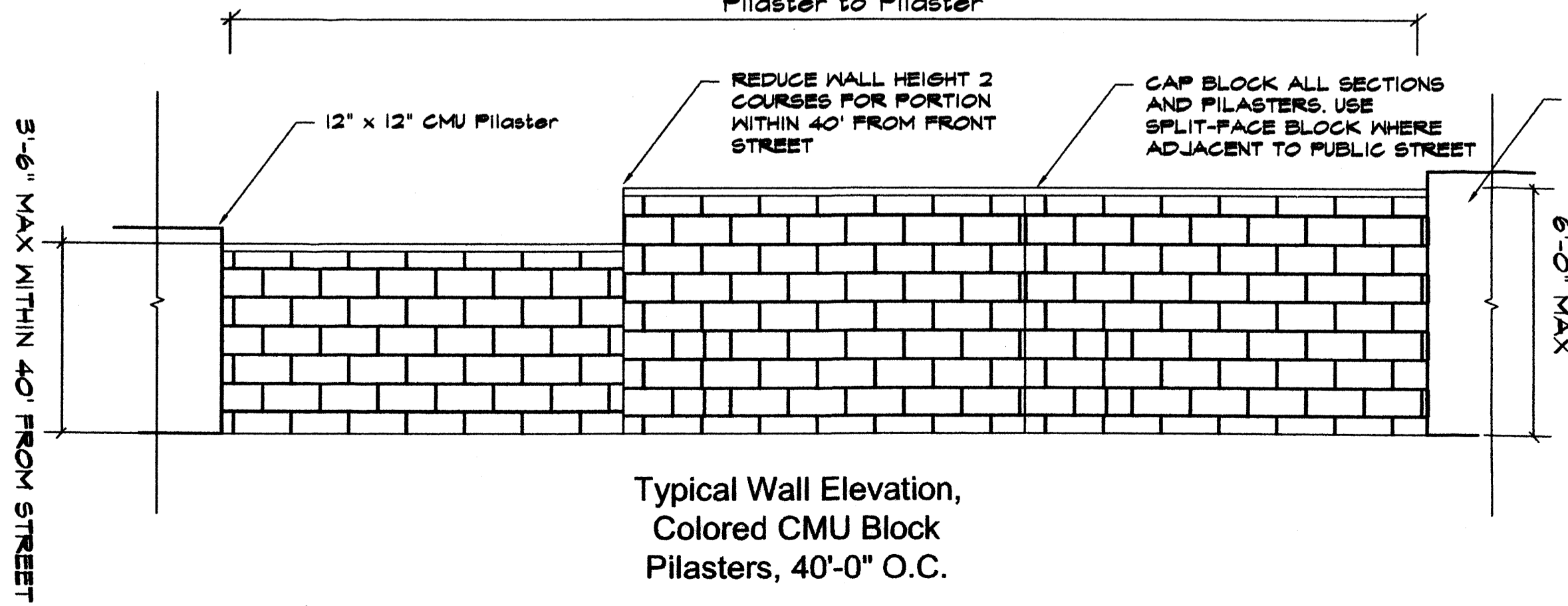


**PERIMETER WALL TYPE F-2**



**PERIMETER WALL TYPE B-1**  
SEE RETAINING WALL DETAILS WHERE EARTH DIFFERENTIAL OVER 18\"/>

**PERIMETER WALL TYPE G-P1 = PEDESTRIAN**  
**PERIMETER WALL TYPE G-P2 = VEHICULAR**



**Typical Wall Elevation, Colored CMU Block Pilasters, 40'-0\"/>**

**WALLS AND FENCING**

F:\PROJECTS\N627 KBHOME\Menaul School\SDP\Site Plan Building Permit\BP Siteplan.dwg

**MENAU SCHOOL CONDOMINIUMS WALL, FENCE, SIGNAGE AND DETAILS**

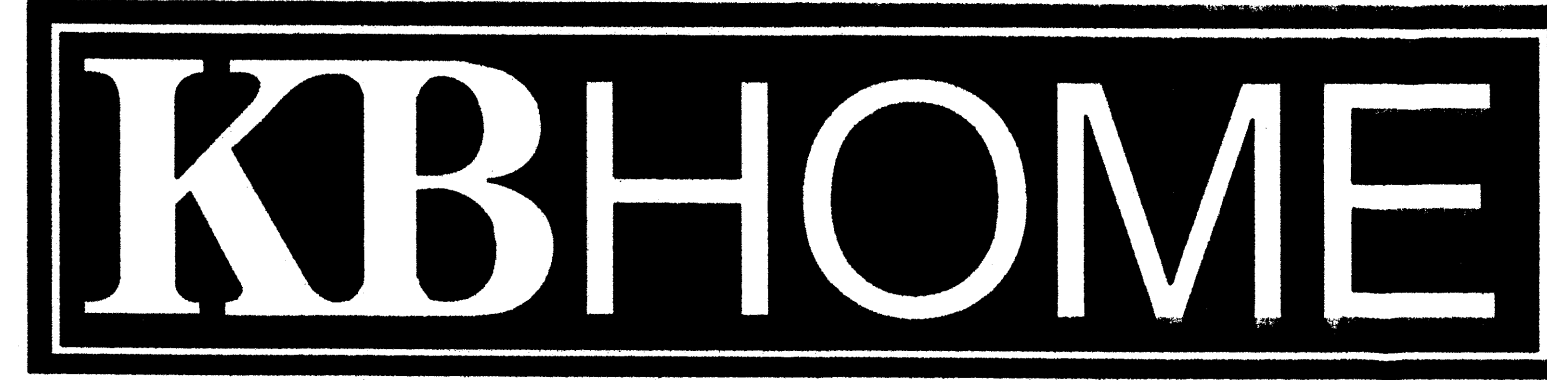
DATE: 5/22/2006  
SCALE: AS SHOWN  
CREW: XXXX  
DRAWN: JGG/MVH  
JOB NO.: N627

**community sciences corporation**

LAND PLANNING P.O. Box 1328  
ENGINEERING Corrales, N.M. 87048  
SURVEYING

SHEET C12 OF 12

PAVEMENT FOR ARCHITECTURAL PURPOSES ONLY - DRB NOT APPROVING. PAVING DETAILS (STRUCTURAL SECTIONS)



# VILLAS AT MENAUL

## 3 PLEX & 6 PLEX

(871094)

### CITY OF ALBUQUERQUE

### SHEET INDEX

**3 PLEX & 6 PLEX**

**GENERAL**

TS TITLE SHEET

1.1 INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '1'

1.2 FIRST & SECOND FLOOR PLAN 'A' UNIT '2'; FIRST & SECOND FLOOR PLAN 'A' UNIT '3' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '2'

1.3 FIRST & SECOND FLOOR PLAN 'A' UNIT '3'; FIRST & SECOND FLOOR PLAN 'A' UNIT '3' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '3'

**BUILDING '1'**

2.1 SLAB INTERFACE PLAN 'A'

2.2 FIRST FLOOR PLAN 'A'

2.3 SECOND FLOOR PLAN 'A'

2.4 ROOF PLAN 'A'

2.5 FRONT & REAR EXTERIOR ELEVATIONS

2.6 LEFT & RIGHT EXTERIOR ELEVATIONS

2.7 SECTIONS 'A', 'B', 'C', 'D' & 'E'

**3 PLEX BLDG. 2**

**GENERAL**

TS TITLE SHEET

**UNIT 1**

1.1R FIRST & SECOND FLOOR PLAN 'A' UNIT '1R'; SECOND FLOOR PLAN 'A' UNIT '1R' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '1'

1.4R FIRST & SECOND FLOOR PLAN 'A' UNIT '4R'; FIRST & SECOND FLOOR PLAN 'A' UNIT '4R' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '4'

1.5R FIRST & SECOND FLOOR PLAN 'A' UNIT '5R'; FIRST & SECOND FLOOR PLAN 'A' UNIT '5R' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '5'

**BUILDING '2'**

2.1R SLAB INTERFACE PLAN 'A'

2.2R FIRST FLOOR PLAN 'A'

2.3R SECOND FLOOR PLAN 'A'

2.4R ROOF PLAN 'A'

2.5R FRONT & REAR EXTERIOR ELEVATIONS

2.6R LEFT & RIGHT EXTERIOR ELEVATIONS

2.7R SECTIONS 'A', 'B', 'C', 'D' & 'E'

**6 PLEX BLDG. 3**

**GENERAL**

TS TITLE SHEET

**UNIT 1**

1.1R FIRST & SECOND FLOOR PLAN 'A' UNIT '1R'; SECOND FLOOR PLAN 'A' UNIT '1R' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '1'

1.4R FLOOR PLAN 'A' UNIT '4'; INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '4'

1.7R FLOOR PLAN 'A' UNIT '7'; FLOOR PLAN 'A' UNIT '7' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '7'

**BUILDING '3'**

2.1R SLAB INTERFACE PLAN 'A'

2.2R FIRST FLOOR PLAN 'A'

2.3R SECOND FLOOR PLAN 'A'

2.4R ROOF PLAN 'A'

2.5R FRONT & REAR EXTERIOR ELEVATIONS

2.6R LEFT & RIGHT EXTERIOR ELEVATIONS

2.7R SECTIONS 'A', 'B', 'C', 'D' & 'E'

**6 PLEX BLDG. 4**

**GENERAL**

TS TITLE SHEET

**UNIT 1**

1.1R FIRST & SECOND FLOOR PLAN 'A' UNIT '1'; SECOND FLOOR PLAN 'A' UNIT '1' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '1'

1.1C FIRST & SECOND FLOOR PLAN 'A' UNIT '1C'; SECOND FLOOR PLAN 'A' UNIT '1C' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '1C'

1.2R FIRST & SECOND FLOOR PLAN 'A' UNIT '2'; FIRST & SECOND FLOOR PLAN 'A' UNIT '2' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '2'

1.3R FIRST & SECOND FLOOR PLAN 'A' UNIT '3'; FIRST & SECOND FLOOR PLAN 'A' UNIT '3' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '3'

1.4R FIRST & SECOND FLOOR PLAN 'A' UNIT '4'; FIRST & SECOND FLOOR PLAN 'A' UNIT '4' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '4'

1.5R FIRST & SECOND FLOOR PLAN 'A' UNIT '5'; FIRST & SECOND FLOOR PLAN 'A' UNIT '5' OPTIONS, INTERIOR ELEVATIONS & OPTIONAL INTERIOR ELEVATIONS UNIT '5'

**BUILDING '4'**

2.1R SLAB INTERFACE PLAN 'A'

2.2R FIRST FLOOR PLAN 'A'

2.3R SECOND FLOOR PLAN 'A'

2.4R ROOF PLAN 'A'

2.5R FRONT & REAR EXTERIOR ELEVATIONS

2.6R LEFT & RIGHT EXTERIOR ELEVATIONS

2.7R SECTIONS 'A', 'B', 'C', 'D' & 'E'

**DETAILS**

AD1 ARCHITECTURAL DETAILS

AD2 ARCHITECTURAL DETAILS

AD3 ARCHITECTURAL DETAILS

AD4 ARCHITECTURAL DETAILS

FD1 FINISH DETAILS

FD2 FINISH DETAILS

FD3 FINISH DETAILS

FD4 FINISH DETAILS

MD1 HANDICAP DETAILS

MD2 HANDICAP DETAILS

MD3 HANDICAP DETAILS



### VILLAS AT MENAUL

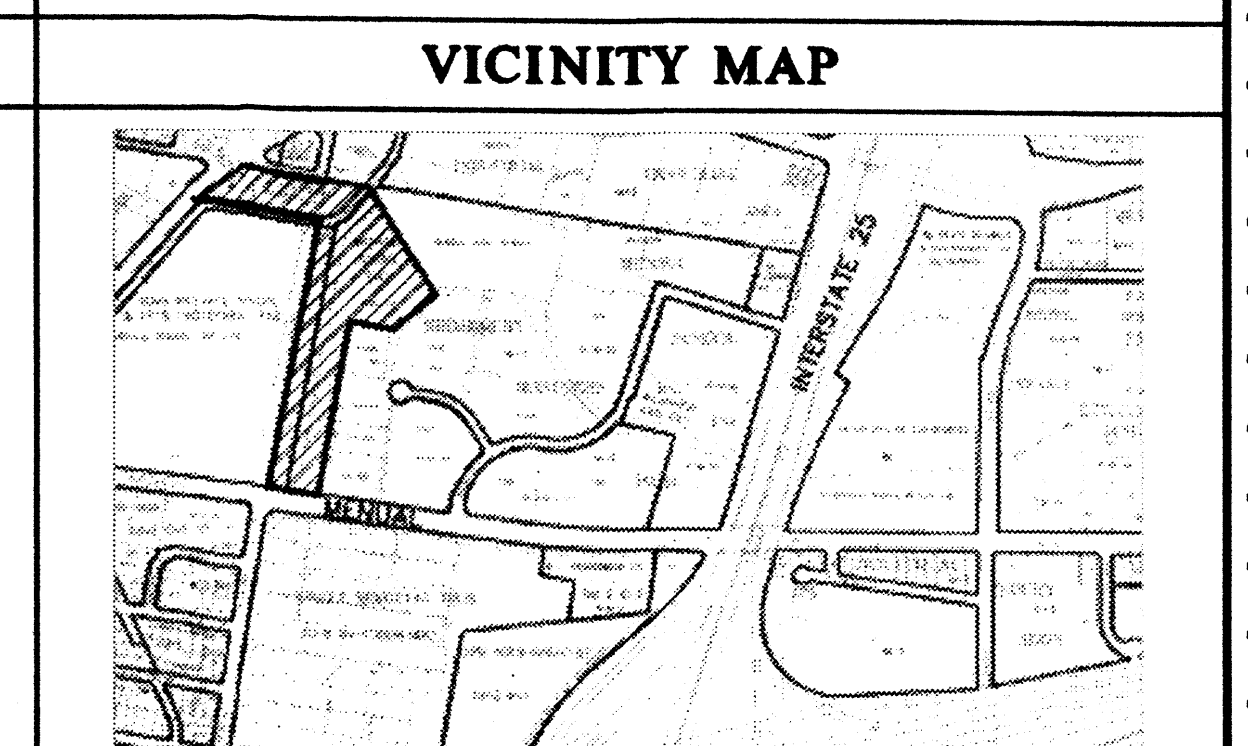
KB HOME  
NEW MEXICO, INC.  
6330 Riverside Plaza Ln. NW  
SUITE 200  
ALBUQUERQUE, NM 87120  
(505) 353-5300  
(505) 897-4478

ABBREVIATIONS			
ABV. ABOVE	FTS. FOOTINGS	REF. REFRIGERATOR	REF. REFERENCE
AC. AIR CONDITIONING	GA. GAUGE	REP. REPAIR	RE-SAWN RE-SAWN
ADJ. ADJUSTABLE	GA.R. DISP. GARBAGE DISPOSAL	REV. REVERSE	REVERSE
ALT. ALTERNATE	GR.D. GROUND-FULLY CIRCUIT INTERRUPTER	REV. REVERSE	REVERSE
AMP. AMPERAGE	GR. GROUND	R.F. ROOF	ROOF
BD. BOARD	GI. GALVANIZED IRON	R.O. ROUGH OPENING	ROUGH OPENING
CL. CENTER LINE	GL. SLAB	S & P SHELF AND POLE	SHELF AND POLE
CAB. CABINET	GYP. BD. GYPSUM BOARD	S.C. SOLID CORE	SOLID CORE
CLB. CEILING	H.C. HOLLOW CORE	S.D. SMOKE DETECTOR	SMOKE DETECTOR
CLR. CLEAR	HOR. HEADER	SEC. SECTION	SECTION
CONC. CONCRETE	HHT. OR HT. HEIGHT	SH. SINGLE HUNG	SINGLE HUNG
CPT. CABINET	HL. HEADER HEIGHT	SHT. SHEET	SHEET
C.T. CERAMIC TILE	IL.O. IN LINE OF	SHNG. SHEATHING	SHEATHING
D. DRYER	INBL. INSULATION	SHWR. SHOWER	SHOWER
DBL. DOUBLE	INT. INTERIOR	SH. SHIMLAR	SHIMLAR
D.S. DUAL GLAZED	LAK. LAMINATED	SL. SLIDING	SLIDING
DIA. DIAPHRAGM	LAV. LAVATORY	SL. GL. SLIDING GLASS	SLIDING GLASS
DM. DIMENSION	LIM. LIMOUS	STD. STANDARD	STANDARD
DISP. DISPOSAL	M.C. MEDICINE CABINET	S.V. SHEET VINYL	SHEET VINYL
D.L. DIVIDED LIGHT	MFR. MANUFACTURER	TEMP. TEMPERED GLASS	TEMPERED GLASS
D.P. DOOR	MIL. MILL	THC. THICK	THICK
D.S. DOWNPOUT	MD. MOUNTED	T.O.G. TOP OF GURS	TOP OF GURS
D.T. DETAIL	M.T. METAL	T.O.P. TOP OF PLATE	TOP OF PLATE
D.N. DIMENSION	N.C. NOT IN CONTRACT	T.O.S. TOP OF SLAB	TOP OF SLAB
D.N. DIMENSION	N.T.S. NOT TO SCALE	TYP. TYPICAL	TYPICAL
E. ELEVATION	O. OVER	UNO. UNLESS NOTED OTHERWISE	UNLESS NOTED OTHERWISE
ELEV. ELEVATION	ON CENTER	V.P. VAPOR PROOF	VAPOR PROOF
EQ. EQUAL	OPT. OPTIONAL	V. VENT	VENT
EXH. EXHAUST	O.S.A. OUTSIDE AIR	W. WITH	WITH
EXT. EXTERIOR	P. PROPERTY LINE	W.D. WOOD	WOOD
FAU. FORCED AIR UNIT	E. PUSH BUTTON	WDL. WOOD	WOOD
F.B./P.F. FIXED GLASS	PH. PHONE	WH. WATER HEATER	WATER HEATER
F.A. FLEX GLASS	PL. PLATE	WR. WROUGHT IRON	WROUGHT IRON
F.F. FINISH	PLYND. PLYWOOD	WR. WROUGHT IRON	WROUGHT IRON
F.L. FLOOR	PL. PAIR	WR. WROUGHT IRON	WROUGHT IRON
F.L.R. LINE	P.T.D.P. PRESSURE TREATED DOUGLAS FIR	WR. WROUGHT IRON	WROUGHT IRON
FLOR. FLOORING	R. RISER	WR. WROUGHT IRON	WROUGHT IRON
F.M.C. FLOOR MATERIAL CHANGE	RAD. RADIUS	WR. WROUGHT IRON	WROUGHT IRON
F.R. DR. FRENCH DOOR	R.A.S. RETURN AIR GRILL	WR. WROUGHT IRON	WROUGHT IRON

CONSULTANTS	
<b>ARCHITECT:</b> KB HOME ARCHITECTURAL DIVISION 601 CORPORATE CENTER DRIVE, SUITE 100 POMONA, CALIFORNIA 91768 TEL. (909) 864-8900 FAX. (909) 828-8751 ERIC R. KOLMAN, AIA	<b>OWNER:</b> KB HOME NEW MEXICO DIVISION 4800 RIVERSIDE PLAZA LL, SUITE 200 ALBUQUERQUE, NEW MEXICO 87120 TEL. (505) 908-9800 FAX. (505) 917-4478
<b>STRUCTURAL ENGINEER:</b> THE PEHRTRAB ORGANIZATION STRUCTURAL CIVIL SURVEYING INC 4408 SOUTH RAGINE CIRCLE CENTENNIAL, COLORADO 80211 TEL. (303) 504-9850 FAX. (303) 823-0864	<b>MECHANICAL ENGINEER:</b>

SYMBOLS	
	<b>BUILDING SECTION</b> SECTION INDICATOR
	<b>DETAIL REFERENCE</b> DETAIL NUMBER
	<b>OFFSET REFERENCE</b> DIFFERENTIAL IN FLOOR LEVEL OR FINISH SURFACE
	<b>REVISION REFERENCE</b> REVISION NUMBER REFER TO TITLE SHEET

CODE INFORMATION	
<b>APPLICABLE CODES:</b> THE PROJECT MUST COMPLY WITH THE FOLLOWING CODES: 2008 INTERNATIONAL BUILDING CODE AND CITY AMENDMENTS 2008 INTERNATIONAL RESIDENTIAL CODE AND CITY AMENDMENTS 2008 INTERNATIONAL MECHANICAL CODE AND CITY AMENDMENTS 2008 INTERNATIONAL FIRE CODE AND CITY AMENDMENTS 2008 INTERNATIONAL ENERGY CONSERVATION CODE AND CITY AMENDMENTS 2002 NATIONAL ELECTRICAL CODE AND CITY AMENDMENTS 1994 U.P.C. 1994 EDITION (UPHS)	<b>OCCUPANCY:</b> R2 / U - RC / RES / RC
<b>CONSTRUCTION TYPE:</b> V - B	<b>EXTERIOR WALL AND OPENING PROTECTION:</b> BASED ON LOCATION ON PROPERTY FOR TYPE V-B NON-RATED * EXTERIOR WALLS (BEARING AND NON-BEARING) ONE-HOUR LESS THAN 10 FEET - NON-RATED ELSEWHERE * OPENINGS NOT PERMITTED LESS THAN 8 FEET



SCALE NOTE	
IF BOX IS 1" SQ. THEN SCALE IS 1/4" = 1'-0"	
IF BOX IS 1/2" SQ. THEN SCALE IS 1/8" = 1'-0"	

UNIT DATA	
<b>UNIT 1:</b>	<b>UNIT 4:</b>
1ST FLR. 109 SQ. FT.	1ST FLR. 840 SQ. FT.
2ND FLR. 1096 SQ. FT.	2ND FLR. 863 SQ. FT.
TOTAL: 1186 SQ. FT.	TOTAL: 1723 SQ. FT.
GARAGE: 242 SQ. FT.	GARAGE: 440 SQ. FT.
PORCH: 6 SQ. FT.	PORCH: 86 SQ. FT.
BALCONY: 25 SQ. FT.	
<b>UNIT 1R:</b>	<b>UNIT 5:</b>
1ST FLR. 109 SQ. FT.	1ST FLR. 456 SQ. FT.
2ND FLR. 1096 SQ. FT.	2ND FLR. 864 SQ. FT.
TOTAL: 1186 SQ. FT.	TOTAL: 1320 SQ. FT.
GARAGE: 242 SQ. FT.	GARAGE: 489 SQ. FT.
PORCH: 6 SQ. FT.	PORCH: 42 SQ. FT.
BALCONY: 25 SQ. FT.	
<b>UNIT 1C:</b>	<b>UNIT 6:</b>
1ST FLR. 109 SQ. FT.	1ST FLR. 1645 SQ. FT.
2ND FLR. 1224 SQ. FT.	2ND FLR. 1645 SQ. FT.
TOTAL: 1332 SQ. FT.	TOTAL: 489 SQ. FT.
GARAGE: 241 SQ. FT.	GARAGE: 100 SQ. FT.
PORCH: 4 SQ. FT.	
BALCONY: 25 SQ. FT.	
<b>UNIT 2:</b>	<b>UNIT 7:</b>
1ST FLR. 74 SQ. FT.	1ST FLR. 84 SQ. FT.
2ND FLR. 694 SQ. FT.	2ND FLR. 845 SQ. FT.
TOTAL: 768 SQ. FT.	TOTAL: 1781 SQ. FT.
GARAGE: 186 SQ. FT.	GARAGE: 440 SQ. FT.
PORCH: 44 SQ. FT.	PORCH: 16 SQ. FT.
BALCONY: 7 SQ. FT.	DECK: 100 SQ. FT.
<b>UNIT 3:</b>	
1ST FLR. 740 SQ. FT.	
2ND FLR. 741 SQ. FT.	
TOTAL: 1481 SQ. FT.	
GARAGE: 444 SQ. FT.	
PORCH: 102 SQ. FT.	

REVISION LIST		
DELTA	DATE	SHEETS REVISED

ISSUE DATE: 05/02/06  
PROJECT No.: 871094  
DIVISION MGR.: J.E.V.  
REVISIONS:

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REVISIONS:

PLAN: ALL

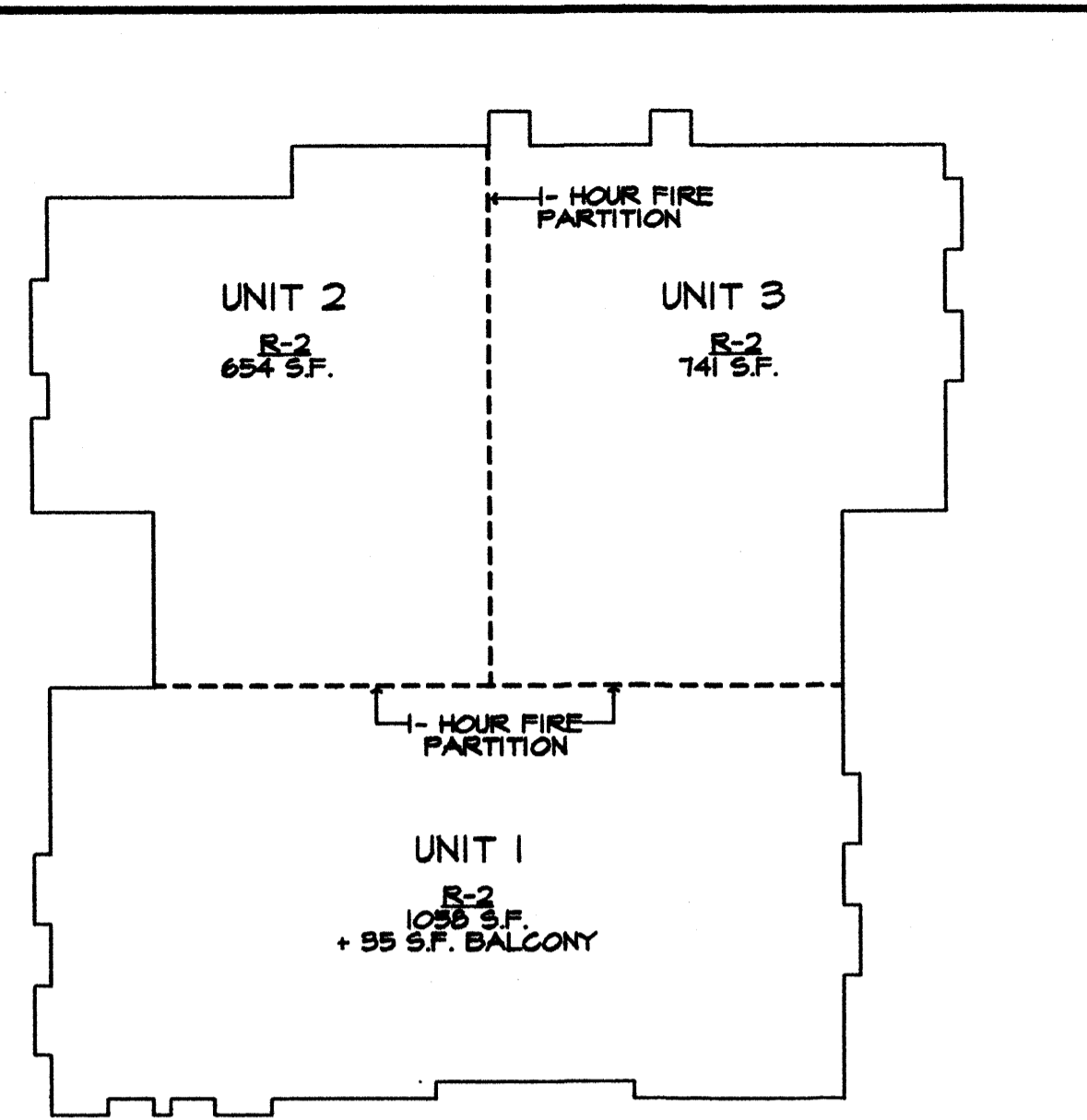
SHEET: 1S

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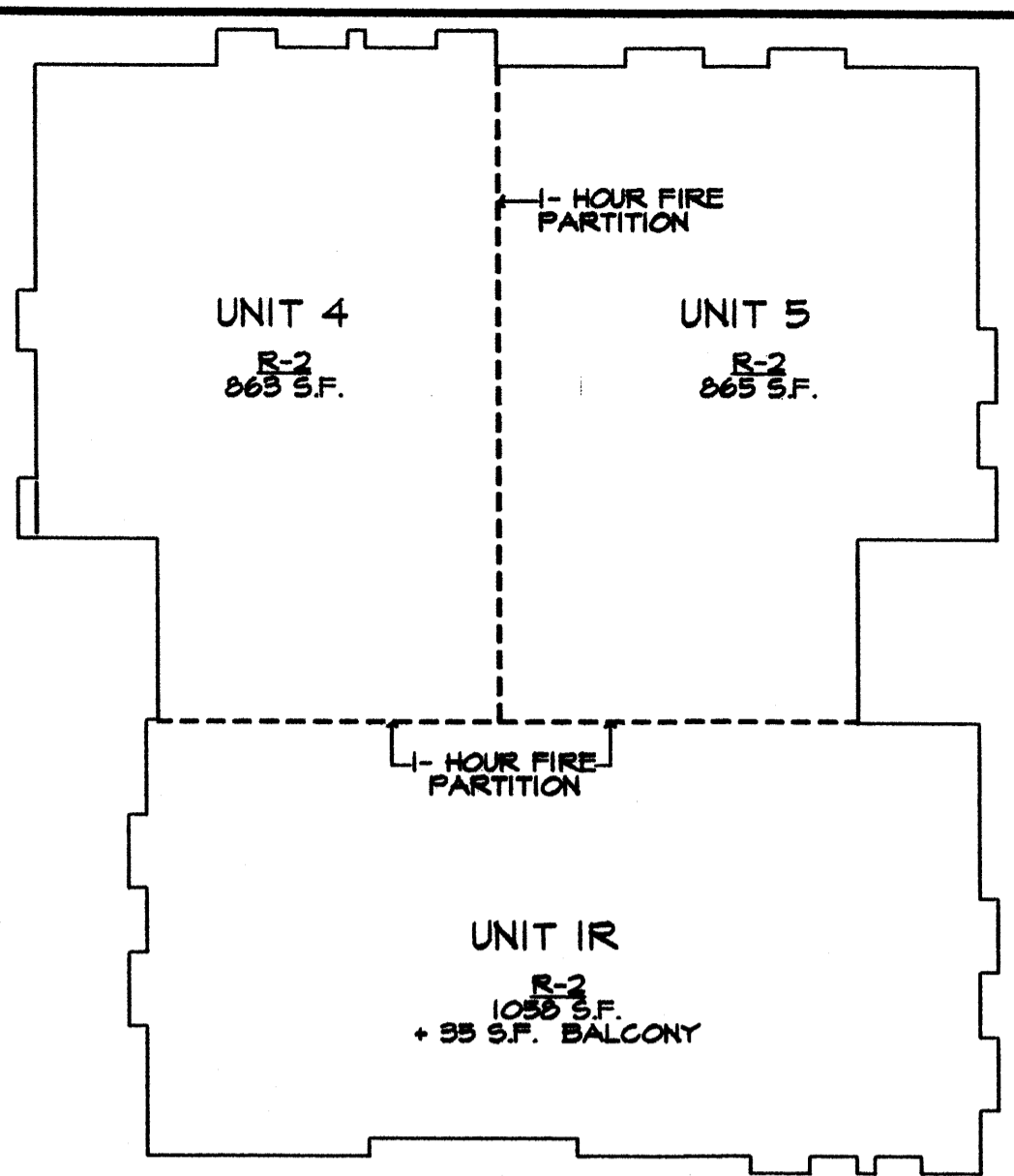


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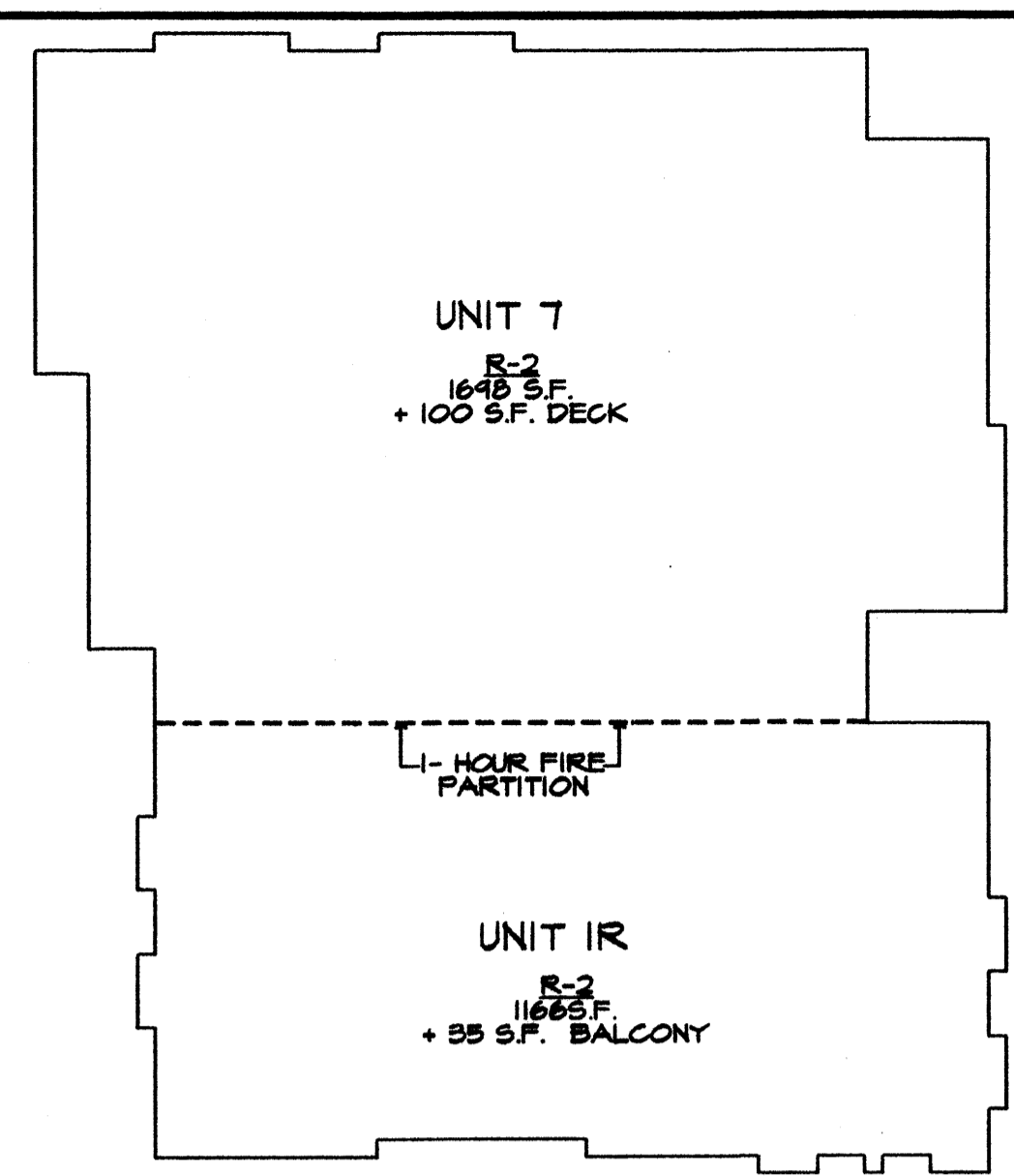
KB HOME NEW MEXICO, INC. 6330 Riverdale Plaza Ln. NW SUITE 200 ALBUQUERQUE, NM 87120 (505) 353-5300 (505) 897-4470



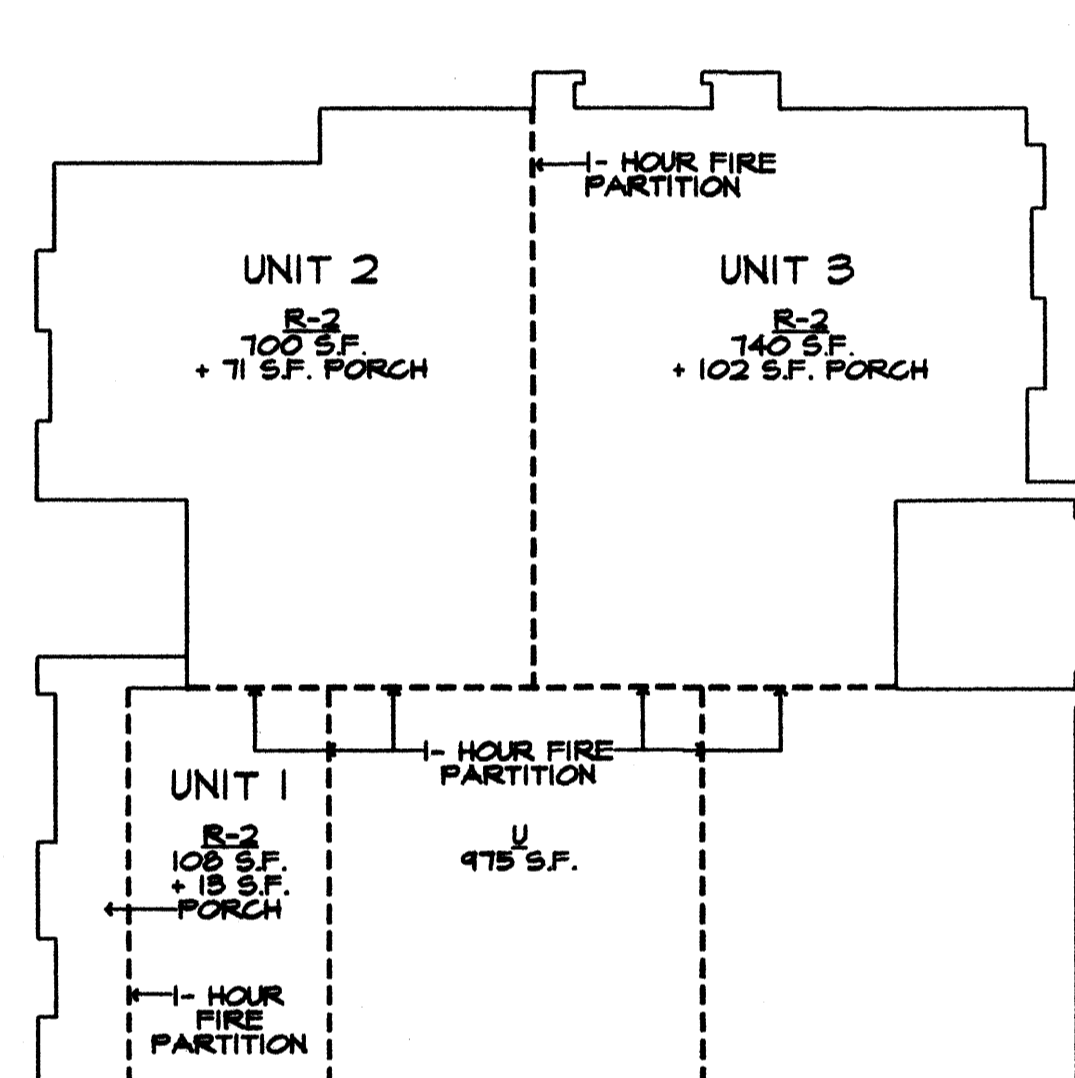
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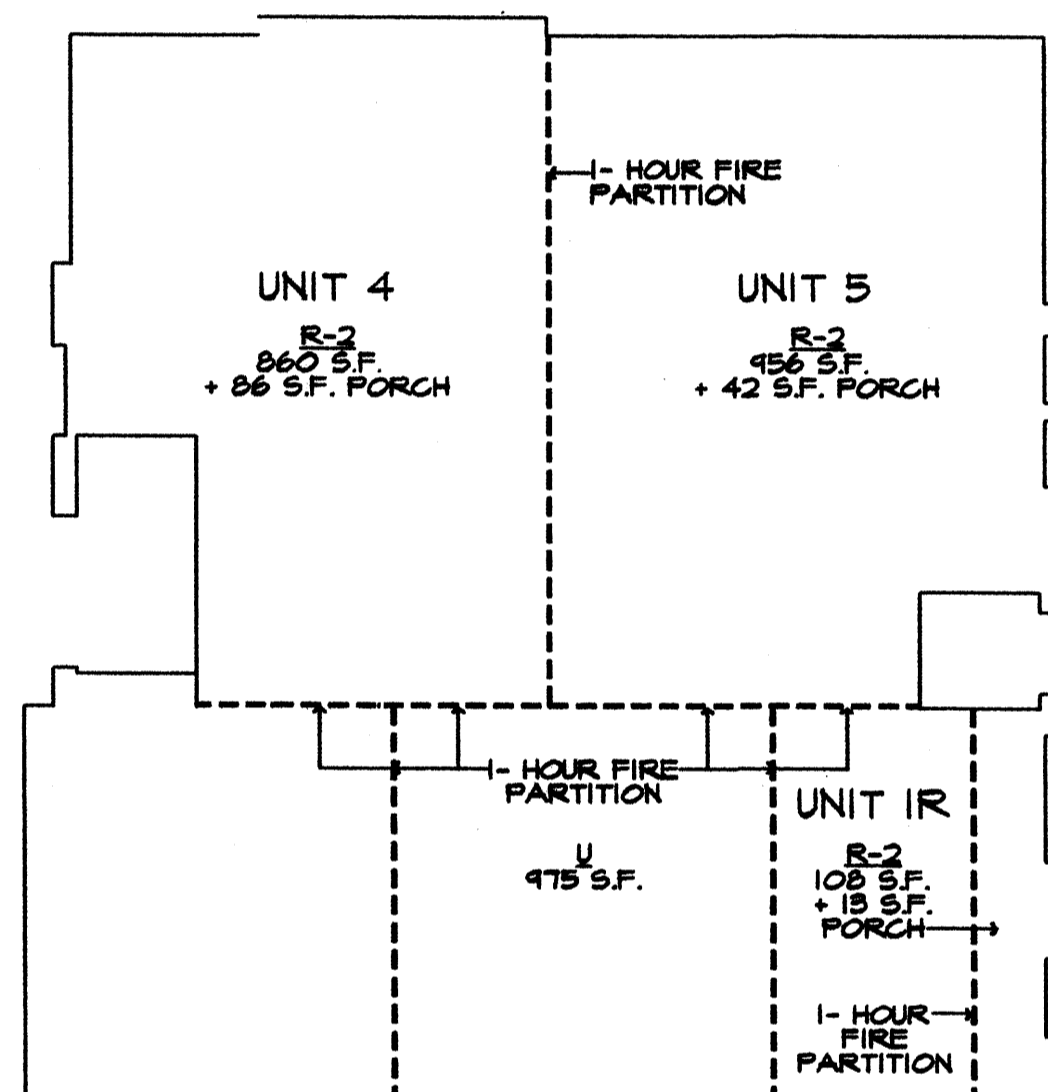
3-PLEX BUILDING 2 SECOND FLOOR PLAN



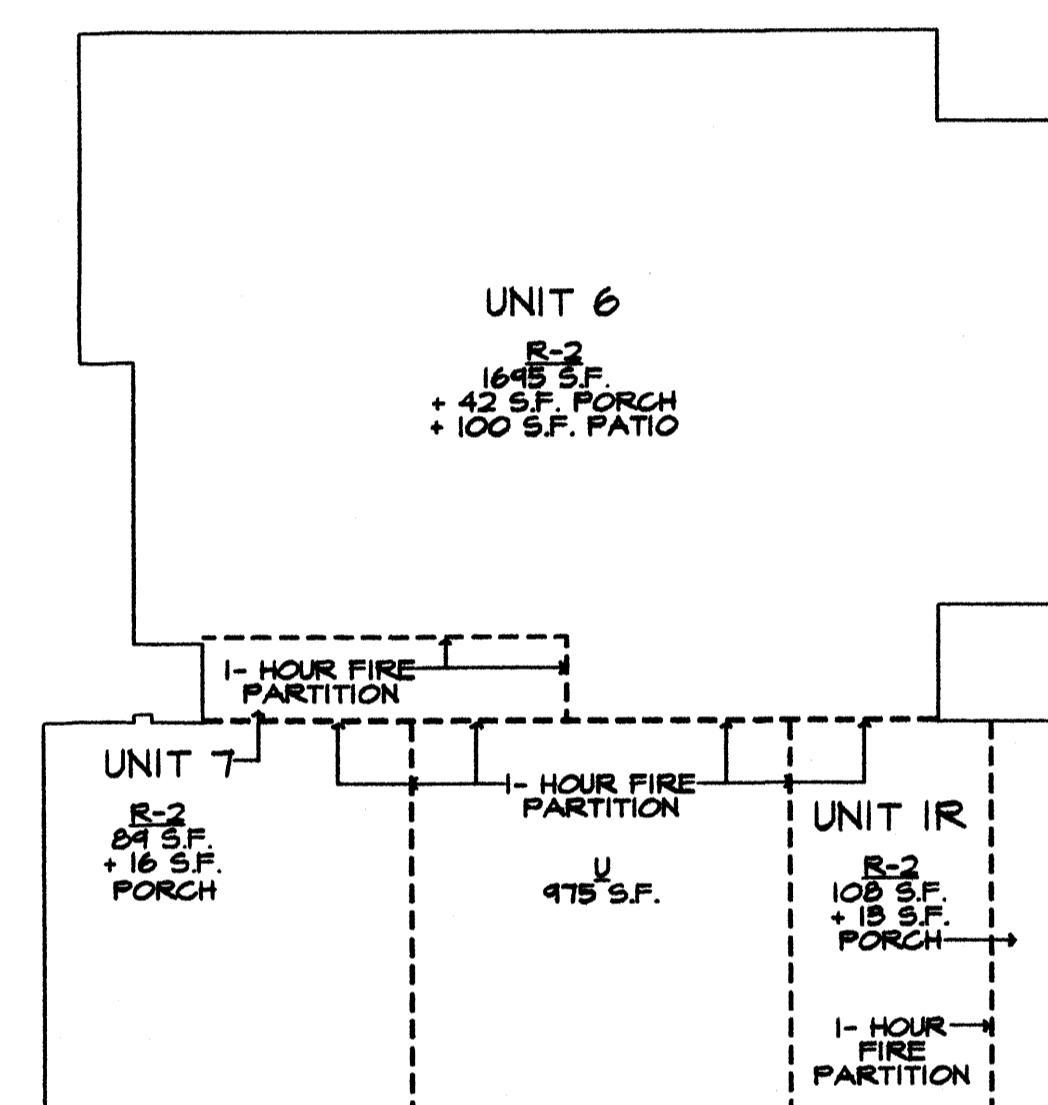
3-PLEX BUILDING 3 SECOND FLOOR PLAN



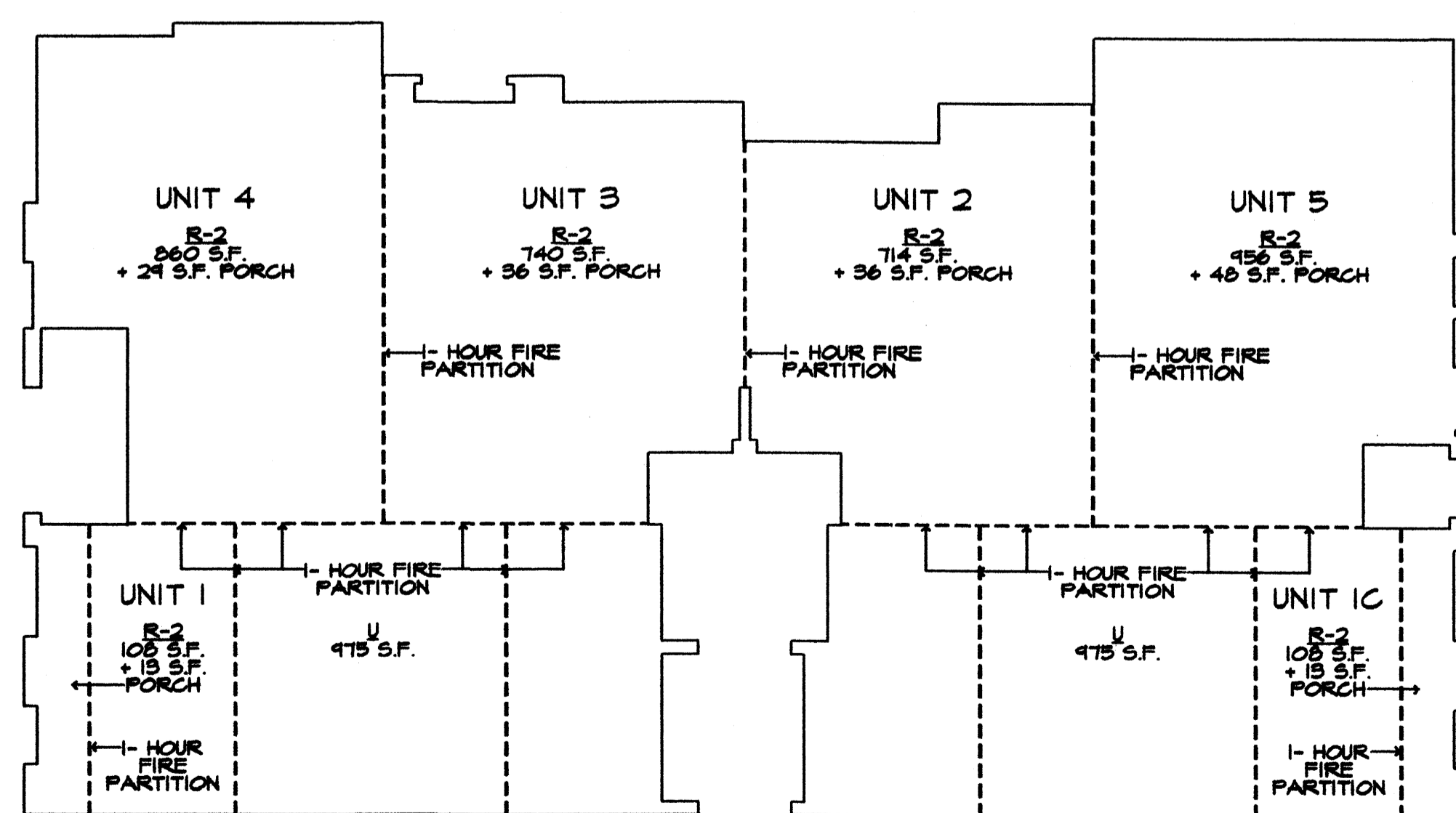
3-PLEX BUILDING 1 FIRST FLOOR PLAN



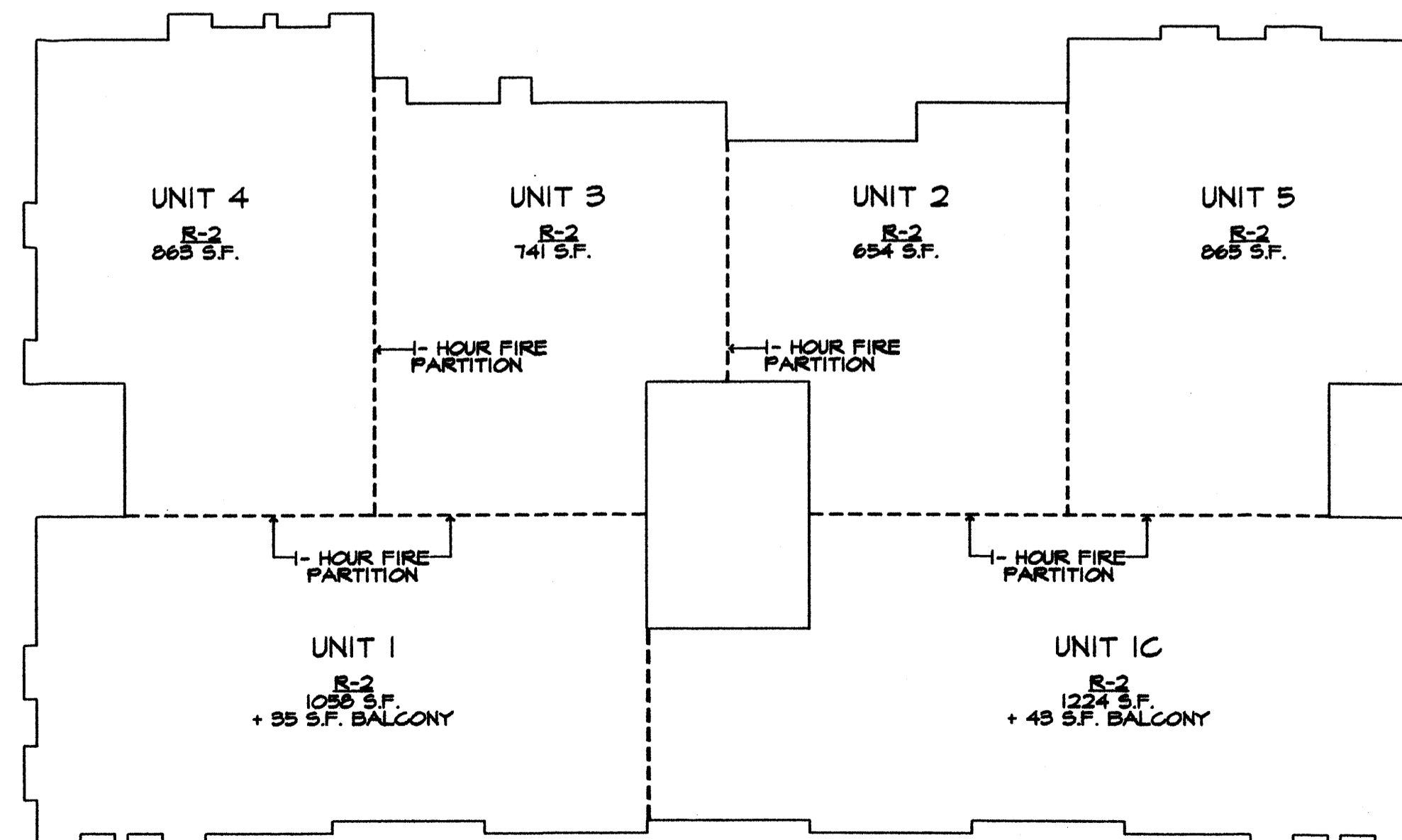
3-PLEX BUILDING 2 FIRST FLOOR PLAN



3-PLEX BUILDING 3 FIRST FLOOR PLAN



6-PLEX BUILDING 1 FIRST FLOOR PLAN



6-PLEX BUILDING 1 SECOND FLOOR PLAN

GENERAL CONSTRUCTION REQUIREMENTS AND LIMITATIONS - 2003 I.B.C. Table with columns for Building Type, Occupancy Group, Dwelling Units, Height, Storages, Area, Occupant Load, Units, Fire Resistance, and Structural Frame.

DWELLING UNIT SUMMARY Table with columns for Unit Type, Units, Bedrooms, Bath, Total Units, Total Bedrooms, Heating/Cooling, Water Heating, Cooking, Electric Meter, Gas Meter, and Water Meter.

ISSUE DATE: 05/02/06 PROJECT No.: 071094 DIVISION MGR.: J.E.V. REVISIONS:

FOR INTERNAL USE ONLY PLAN: ALL SHEET: CA

**GENERAL ACOUSTICAL TREATMENT NOTES**

THE DETAILS & NOTES ON THIS SHEET ARE SHOWN AS A MINIMUM ALLOWED BY THE UNIFORM BUILDING CODES IN CONJUNCTION WITH THE SYSTM. ASB. MANUAL, THE U.S. FIRE RESISTANCE DIRECTORY ETC. THE CONTRACTOR WILL OBTAIN A COPY FOR EACH ASSEMBLY, NOTED AND INSTALL ALL PRODUCTS IN COMPLIANCE WITH THE ASSEMBLY REQUIREMENTS.

**PARTITION NOTES**

PRIOR TO SETTING THE WALL PLATES AT THE CONC. SLAB INTO POSITION - THREE (3) CONTINUOUS BEADS OF SEALANT SHALL BE LAID TO PROVIDE A SEAL BETWEEN THE FLOORING AND THE PLATE.

USE LOWEY'S NO.10 ACOUSTICAL TAPE, U.S.B. ACOUSTICAL SEALANT OR APPROVED EQUAL.

CAULK ALL ELECTRICAL OUTLET BOXES IN THE PARTYWALL SO THAT BOXES ARE AIRTIGHT.

USE LOWEY'S NO.10 ACOUSTICAL SEALANT PADS, U.S.B. ACOUSTICAL SEALANT OR APPROVED EQUAL.

ALL PENETRATIONS TO BE SEALED BY ACOUSTICAL CAULKING AND/OR FIBER PADDING TO MAINTAIN REQUIRED SOUND RATINGS.

NO RIGID CONNECTION SHALL BE MADE BETWEEN GYPSUM BOARD AND FLOOR JOIST.

PLUMBING, CONDUIT OR DUCTWORK SHALL BE HUNG FROM FLOOR JOISTS BY RESILIENT HANGERS AND SHALL NOT BE CONNECTED DIRECTLY TO CEILING IN ANY MANNER.

THE PERIMETER OF HARD SURFACED AREAS AND THEIR SETTING BEDS SHALL BE ISOLATED FROM WALLS BY FIBERGLASS OR NEOPRENE GASKET AND CAULK. THE BOARDING SHALL COVER SPTS BUT WILL NOT TOUCH HARD SURFACE.

WALL JOINT ISOLATION MATERIAL TO BE SPEC. SEAL 100 BY "SPECOFED TECHNOLOGIES" OR EQ. WHEN JOINT EXCEEDS 1/8" AND/OR IS NOT CONTINUOUSLY BAGGED BY 2X FRAMING OR GREATER.

\* REQUIRED PLUMBING ACOUSTIC TREATMENT IN PARTYWALL AND FLOOR/CEILING ASSEMBLIES.

**SUPPLY LINES**

ALL HOT AND COLD WATER PIPES MUST BE ISOLATED FROM THE BUILDING FRAME BY 1/4" THICK COLLARS OF FELT, CARPET, OR EQUIVALENT SOFT MATERIAL. PLASTIC ISOLATORS ARE NOT PERMITTED.

THE CAVITY AROUND THE PIPES SHOULD BE FILLED WITH OPEN-CELL FIBERGLASS OR MINERAL WOOL OR SPRAYED WITH AN ADHESIVE CELLULOSE PRODUCTS (e.g. CERAM, THERMACON, etc.).

WATER PRESSURE SHOULD BE CONTROLLED IN THE RANGE OF 55 TO 59 P.S.I.

WATER VELOCITY SHOULD NOT EXCEED 8 FEET/SEC. IF SINGLE LAYER FAUCET SYSTEMS ARE USED. HOWEVER, THE CODE ALLOWS 12 FEET/SEC. WHICH IS ACCEPTED IF NON-SINGLE FAUCET SYSTEMS ARE USED.

SHOWER HEAD WATER FLOW RESTRICTIONS MUST BE USED TO LIMIT THE FLOW FOR LESS THAN 2 GAL. PER MIN.

**DRAIN LINES**

WASTE LINES SHALL NOT RIGIDLY CONNECT ANY PART OF THE FOOD STRUCTURE.

OPENINGS IN THE GYPSUM WALL BOARD AROUND A PICTURE FEED LINE SHOULD BE GUT OVERSIZED TO ACCOMMODATE A BEAD OF CAULKING AROUND THE FEED LINE. THEREBY ISOLATING THE PIPE FROM THE WALL. CAULKING SHALL BE FIRE RATED.

PACK THE CAVITY VOID BELOW TUBS AND SHOWERS WITH FIBERGLASS OR SPRAYED-ON MATERIAL AND BLOCK THE BOTTOM OF THE TUB.

FLOOR-CEILING ASSEMBLIES AND WASTE LINE PENETRATIONS OF NON-COMMON WALLS, WASTE LINES ABOVE THE SLAB SHALL BE CAST IN. THE ELBOW BELOW THE STOOD, WASTE THE SPOOL. WASTE OUTLET SHOULD BE FROM THE POSITION BLOCKS WITH CARPET PADDING OR A FELT MATERIAL. THE ENTIRE SPACE AROUND THE ELBOW MUST BE FILLED WITH FIBERGLASS OR EQUAL MATERIAL.

\* REQUIRED ELECTRICAL ACOUSTIC TREATMENT IN PARTY WALLS AND FLOOR / CEILING ASSEMBLIES

ALL PENETRATIONS INTO SOUND RATED PARTITIONS WILL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.

OUTLET BOXES MAY BE INSTALLED IN THE SOUND RATED WALLS AS FOLLOWS:

BORES WHICH PENETRATE THE WALL IN ONE AREA OR OCCUPANCY SHALL NOT BE INSTALLED ON THE SAME SIDE OR IN THE SAME SPACE BETWEEN BRICKS CONTAINING A BOX FROM PENETRATING INTO ANOTHER AREA OR OCCUPANCY, ETC., NOT IN THE SAME BAY.

THERE SHALL BE ONE SOLID STUD BETWEEN OUTLET BOXES. A SOLID FIRE BLOCKING SHALL BE CONSIDERED A SOLID STUD IN ORDER TO PLACE ONE BOX ABOVE THE OTHER IN THE SAME BAY.

CONDUITS OR RACEWAYS (BUT-OUTS) MAY PENETRATE THE SOUND RATED WALLS PROVIDED THE CONDUIT IS COVERED AT THE PENETRATION POINT WITH A PERMANENTLY RESILIENT SEALANT.

\* REQUIRED ACOUSTIC TREATMENT IN PARTY WALLS AND FLOOR / CEILING ASSEMBLIES

GYPSUM WALLBOARD SHALL BE COMPLETELY INSTALLED BEHIND ALL BATHROOM AND ALL SHOWERS WALLS FLOOR TO CEILING. THEREBY ISOLATING PARTY WALLS OR TWO-HOUR FIREWALLS AND ANY REQUIRED SOUND RATED PARTITIONS.

EXTERIOR DOORS: UNIT ENTRY DOOR MUST BE 1-3/4" SOLID CORE TYPE WITH FULL LOW, AIRTIGHT PEATHER STRIPPING AND WITH THRESHOLD WHICH PROVIDES A S.T.C. 30 RATING.

NOISE STANDARDS: THE NOISE REDUCTION BETWEEN OUTSIDE AND INSIDE SHALL BE SUCH THAT RESIDUALS OF THE NOISE OUTSIDE OR INSIDE, NOISE SHALL NOT EXCEED 45 DBA (OEL, L20).

USE FOR CAULKING-SEALANT, U.S.B. ACOUSTICAL SEALANT AT SPOKEWALLS (BRICKWORK), LOWEY'S HALL NO. 10A SEALANT PAD FOR ELECTRICAL OUTLETS. ALL CAULKING SHALL BE FIRE RETARDANT.

**GENERAL NOTES**

1. THE COMPOSITE BUILDING PLAN IS PROVIDED FOR PLAN TO PLAN RELATIONS. OVERALL BUILDING DIMENSIONS PARTY WALL AND GENERAL BUILDING DETAILING, REFER TO 1/4" x 1/4" PLANS FOR SET PLAN INFORMATION IN THE PLANS TANK PRECEDENT OVER UNIT PLAN NAME SHOWN HEREIN.
2. FOR TYPICAL PARTY WALL AND AREA SEPARATION WALL CONSTRUCTION REFER SHEET ADT - A05.
3. DRAFT STOPS SHALL EXTEND THRU CONCEALED SPACE, ATTIC OR SOFFIT SPACES PER I.B.C., SEC. 717.4. DRAFT STOP CONSTRUCTION SHALL BE 1/2" GYP. PER I.B.C. SEC. 717.3.
4. FIRE STOPPING SHALL BE PROVIDED AT PLUMBING, ELECTRICAL, AND FLOOR PENETRATIONS THROUGH RATED FLOOR/CEILING ASSEMBLIES PER U.S.B. SECTION 704.6 AND 704.7.
5. DECK TOPPING: "TERRAZO-KOTE" I.C.D.O. REPORT NO. 4229 INITIAL AS INDICATED IN I.C.D.O. REPORT FOR 1 HR. ASSEMBLY.
6. PROVIDE FIRE EXTINGUISHER CABINETS WITH ATTACHED BREAKER. ONE VERIFY LOCATION WITH FIRE DEPT. (CABINET STYLE PORTER NUMBER 7030-25 OR APPROVED EQUAL). INSTALL PER MFR INSTRUCTIONS. VERIFY EXTINGUISHER SIZE & TYPE WITH FIRE DEPT. HANGERS PER I.C.D.O. STANDEARD 10.1 ENTRY DOOR TO EXTINGUISHER SHALL BE 1/2" SPACED AND 1/4" GYP. PROVIDE A MINIMUM OF 1/4" CLEARANCE FROM EXTINGUISHER WITHIN 75 FEET TRAVEL DISTANCE FOR EACH 5000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. (I.C.D.O. ARTICLE 12, DIVISION V, U.P.C. STANDARD 10)

**BUILDING PLAN NOTES**

1. 2' AIRSPACE.
2. LINE OF BUILDING BELOW.
3. LINE OF BUILDING ABOVE.
4. LOW ROOF - REFER TO ROOF PLAN.
5. ELASTOMERIC WATERPROOF DECKING: "TERRAZO-KOTE" I.C.D. REPORT 4229.
6. 42" HIGH GUARDRAIL.
7. ELECTRICAL METER LOCATION INFORMATION NOT SHOWN HERE.
8. 648 METER LOCATION.
9. 1.54" THICK RATED ONE HOUR DOOR ASSEMBLY WITH TIGHT FITTING SELF CLOSING.
10. 1-HOUR SOFFIT (2) LAYERS 5/8" GYP. BD. TYPE 'X'.
11. 1-HOUR HALL (1) LAYER 5/8" GYP. BD. TYPE 'X'.
12. 2-HOUR HALL (2) LAYERS 5/8" GYP. BD. TYPE 'X'.
13. ATTIC ACCESS PER I.B.C. SEC. 1204.2.
14. 2 1/2" GYP. FIRE EXTINGUISHER INITIAL PER PORTABLE FIRE EXTINGUISHER AND REQUIRED DURING CONSTRUCTION. VERIFY EXTINGUISHER SIZE & TYPE WITH FIRE DEPARTMENT REQUIREMENTS. (SIZE, TYPE AND LOCATION) SHALL BE VERIFIED BY THE FIRE DEPARTMENT. FIRE EXTINGUISHERS SHALL BE TESTED BY COMPANY LICENSED BY THE STATE FIRE MARSHAL PRIOR TO INSTALLATION.
15. 8' TALL ILLUMINATED UNIT ADDRESS AT 460'.
16. 8' TALL BUILDING ADDRESS ON EXPOSED FIRE ACCESS. SEE VERIFY WITH SITE PLAN, TOP OF ADDRESS AT 464'.
17. PROVIDE GYP-CRETE BELOW TUB.
18. LINE OF DRAFT/STOP ABOVE.
19. 1-HOUR FIRE-RATED ASSEMBLY, (1) LAYER 5/8" GYP. BD. DRAFT ROUGH OPENING.
20. TEMPERATURE AND PRESSURE RELIEF VALVE - DRAIN TO EXTERIOR.

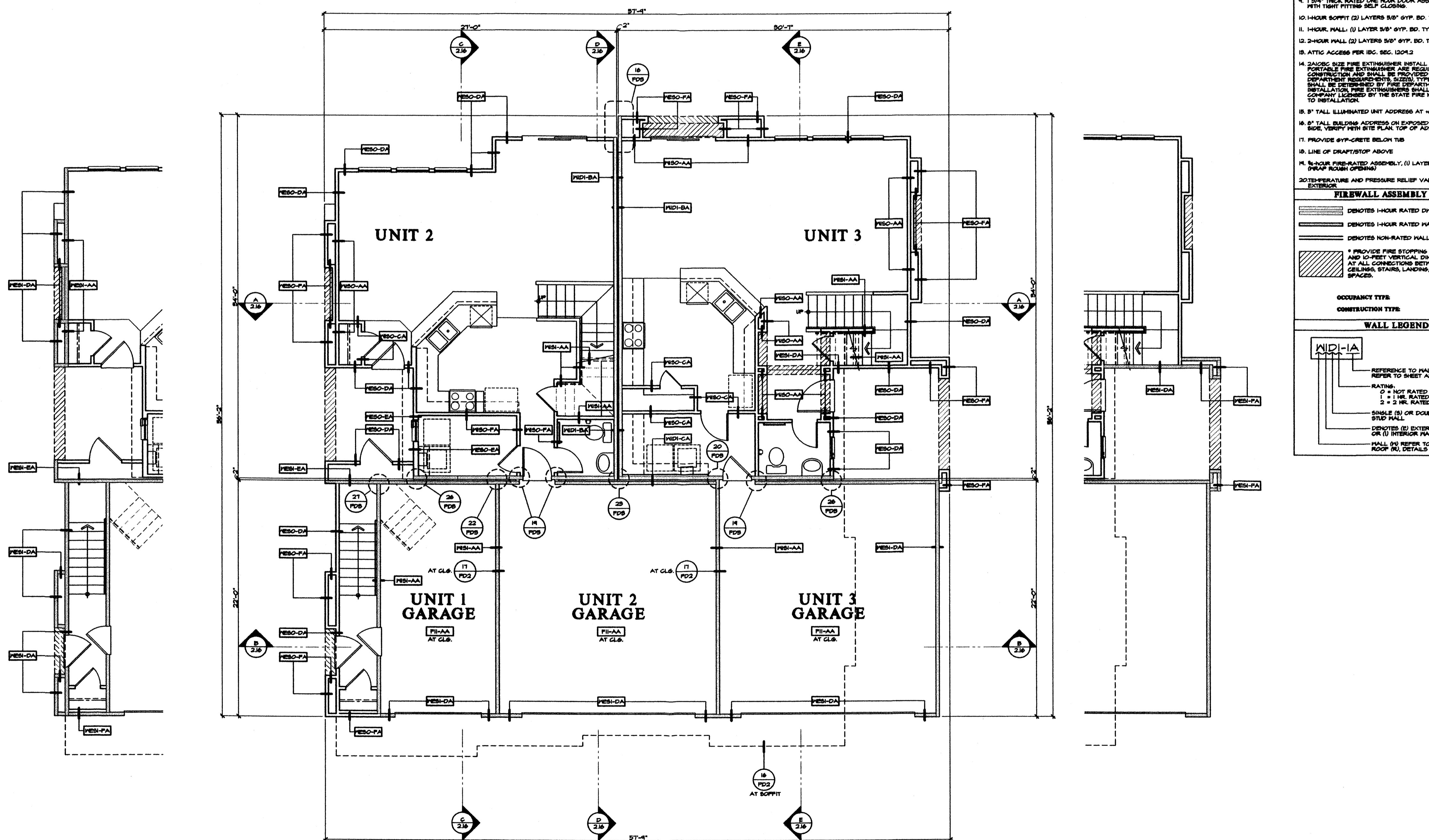
**FIREWALL ASSEMBLY NOTES**

- DENOTES 1-HOUR RATED DWELLING SEPARATION WALL
- DENOTES 1-HOUR RATED HALL
- DENOTES NON-RATED HALL
- PROVIDE FIRE STOPPING 10-FOOT HORIZONTAL AND 10-FOOT VERTICAL DIMENSIONS ON CENTER AT ALL CONNECTIONS BETWEEN WALLS, FLOORS, CEILING, STAIRS, LANDINGS, ATTICS AND CONCEALED SPACES.

**OCCUPANCY TYPE: E & U**  
**CONSTRUCTION TYPE: V-B**

**WALL LEGEND**

**WID-1A**  
REFERENCE TO WALL TYPE REFER TO SHEET ADT  
RATING:  
O = NOT RATED  
1 = 1 HR. RATED ASSEMBLY  
2 = 2 HR. RATED ASSEMBLY  
SINGLE (S) OR DOUBLE (D) FOOD STILED WALL  
--- DENOTES (E) EXTERIOR WALL OR (U) INTERIOR WALL  
WALL (W) REFER TO SHEET FDI, FLOOR (F), ROOF (R), DETAILS REFER TO SHEET PD2



BLDG. TYPE I  
PARTIAL FIRST FLOOR  
PLAN "A" (RATED - LEFT)  
SCALE 1/4"=1'-0"

BLDG. TYPE I  
FIRST FLOOR PLAN - ELEV. "A"  
SCALE 1/4"=1'-0"

BLDG. TYPE I  
PARTIAL FIRST FLOOR  
PLAN "A" (RATED - RIGHT)  
SCALE 1/4"=1'-0"



**VILLAS  
AT MENAUL**

KB HOME  
NEW MEXICO, INC.  
6380 Riverside Plaza Ln. NW  
SUITE 200  
ALBUQUERQUE, NM 87120  
(505) 353-5300  
(505) 897-4479

ISSUE DATE: 05/02/06  
PROJECT No.: 871094  
DIVISION MGR.: J.E.V.  
REVISIONS:

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DESIGNED BY:	
CHECKED BY:	
DATE:	
PLAN:	3-PLEX
SHEET:	212

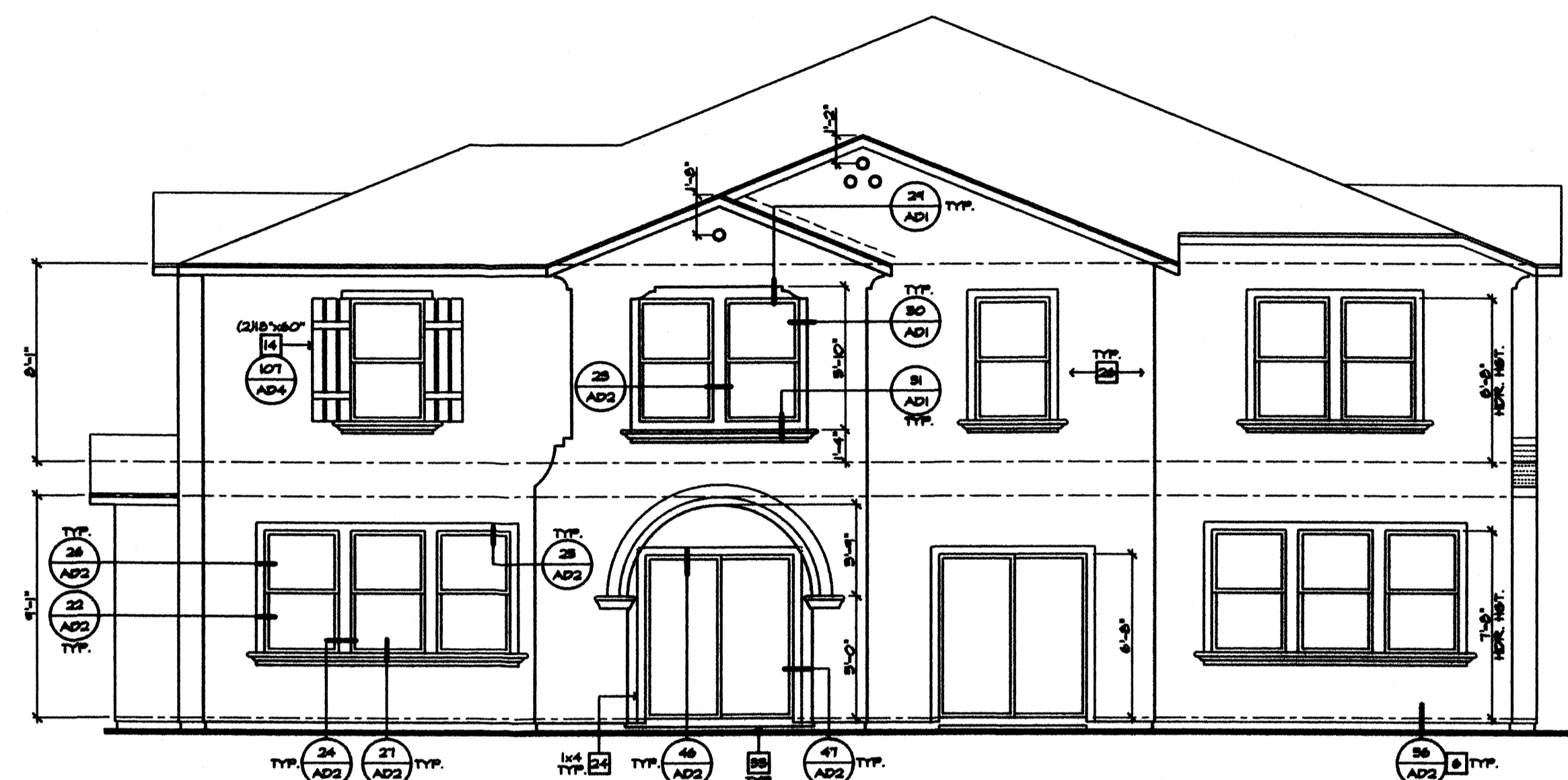
BLDG. 1



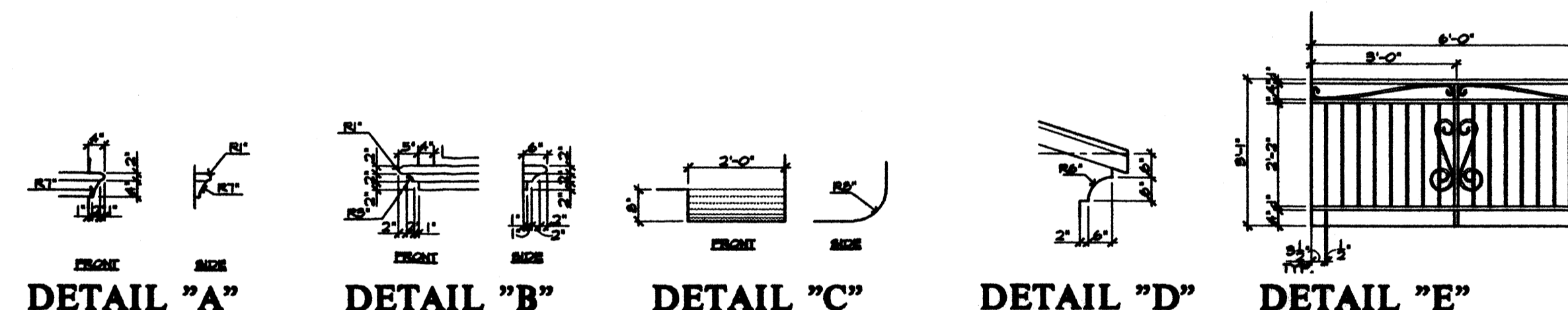
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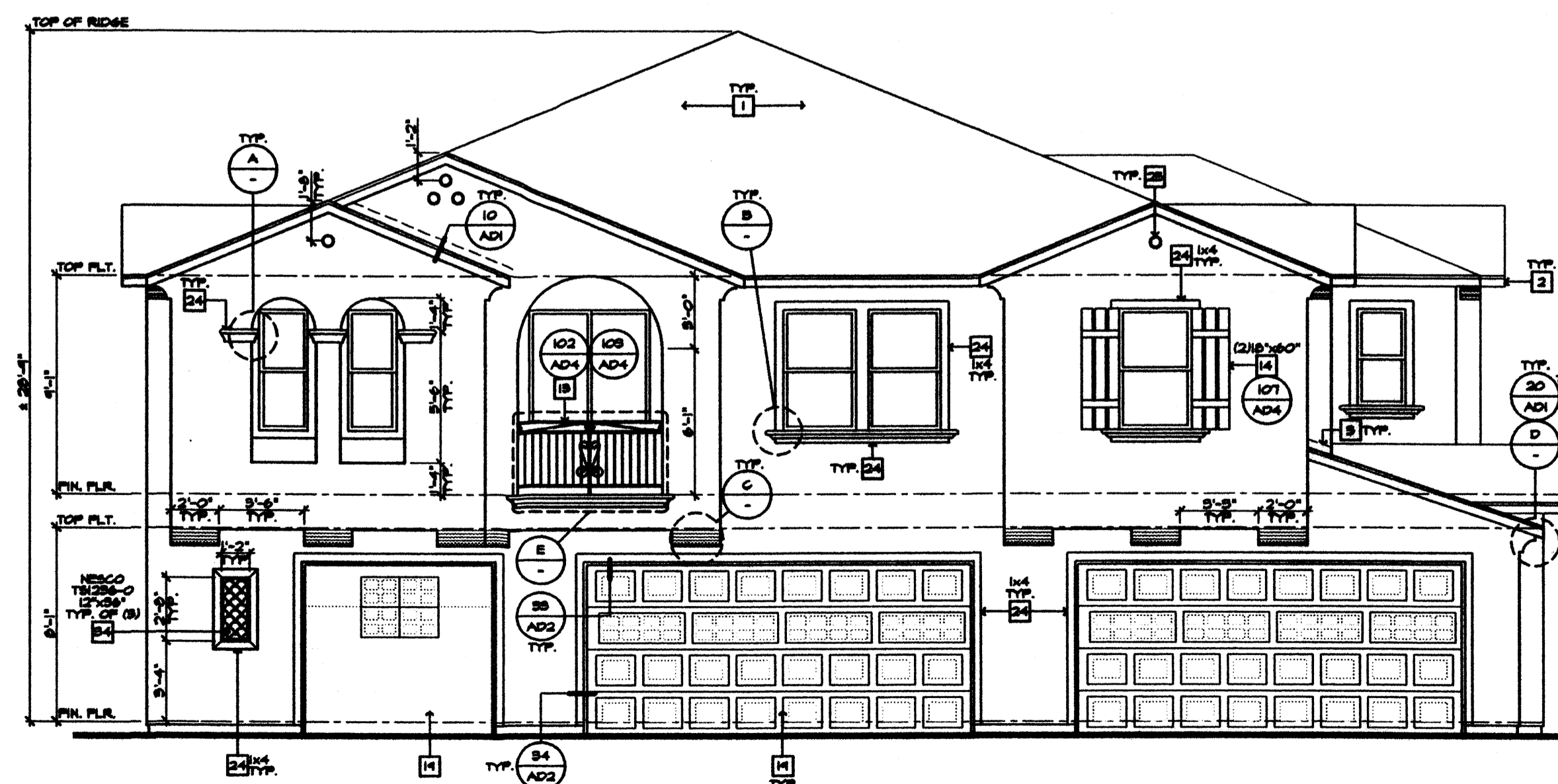
- GENERAL NOTES**
- REFER TO UNIT PLANS FOR ADDITIONAL DIMENSIONS AND INFORMATION NOT SHOWN HERE. UNIT PLANS SHALL TAKE PRECEDENCE OVER BUILDING PLANS.
  - ELEVATION NOTES**
- NOTES:
- NOT ALL KEY NOTES APPLY TO PLAN.
  - ROOF MATERIAL - REFER TO ROOF NOTES
  - 2X PANDA/GARAGE BOARD
  - 6.1 FLASHING
  - 6.1 FLASHING & SADDLE/CRICKET
  - 6.1 DIVERTER
  - 6.1 DWP SCREEN
  - 6.1 BUTTER & DOWNSPOUT
  - 14" X 14" 6.1 SCREENED & LOUVERED VENT  
LOCATE WITHIN 12" OF FLOOR & CEILING
  - 14" X 14" 6.1 SCREENED & LOUVERED COMBUSTION AIR VENT  
LOCATE WITHIN 12" OF FLOOR & CEILING
  - 6.1 SCREENED & LOUVERED ATTIC VENT - REFER TO ELEVATION FOR SIZE - REFER TO ATTIC VENT CALCULATION
  - APPROVED TERMINATION GAP W/SPARK ARRESTER BY FIREPLACE MANUFACTURER
  - DORMER ROOF VENT - REFER TO ATTIC VENT CALCULATION
  - RAILINGS/BARS - FINISH TO ROOF/POOD
  - DECORATIVE SHUTTER - REFER TO ELEVATION FOR SIZE
  - SERVICE PANEL - REFER TO UTILITY PLAN
  - 6.6.6 SERVICE METER - REFER TO UTILITY PLAN
  - A/C CONDENSER - REFER TO UTILITY PLAN
  - ILLUMINATED ADDRESS SIGN - REFER TO UTILITY PLAN
  - OPTIONAL GARAGE DOOR - VERIFY WINDOW OPTION
  - 20.2" THICK SYNTHETIC BRICK/MASONRY VENEER
  - 2" THICK SYNTHETIC STONE VENEER
  - EXTERIOR PLASTER OVER PAERF BACKED WIRE LATH
  - EXTERIOR PLASTER OVER EXPANDED METAL LATH  
REFER TO ELEVATION FOR SIZE
  - 6" DIA. CONC. DECORATIVE PIPES
  - APPROVED 2-COAT STUCCO SYSTEM
  - OPTIONAL DOOR/WINDOW - REFER TO FLOOR PLAN
  - REFER TO ELEVATION FOR SIZE
  - STUCCO COLUMN
  - STUCCO OVER BUILT-UP FOAM TRIM
  - DECORATIVE FROUGHT IRON
  - ENTRY DOOR
  - CORBEL - REFER TO ELEVATION FOR SIZE
  - STUCCO OVER FOAM SHAPED TRIM
  - CONCRETE STUCCO PORCH - REFER TO SLAB INTERFACE PLAN
  - WOOD TRIM - REFER TO ELEVATION FOR SIZE
  - COLOR BREAK
  - CANALE
  - VISA - REFER TO ELEVATION FOR SIZE



**BLDG. TYPE I  
REAR ELEVATION "A"**  
SCALE 1/8"=1'-0"



**ELEVATION "A" DETAILS**  
SCALE 1/4"=1'-0"



**BLDG. TYPE I  
FRONT ELEVATION "A"**  
SCALE 1/8"=1'-0"

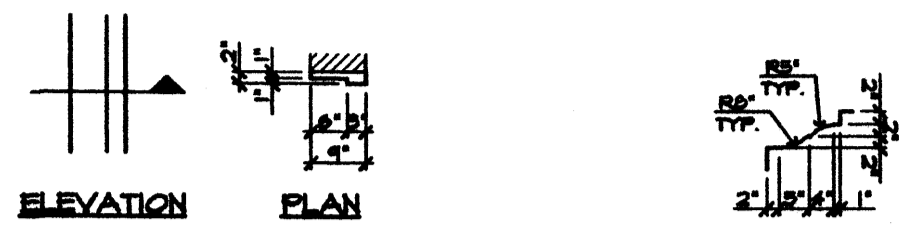
ISSUE DATE: 05/02/06  
PROJECT No.: 871094  
DIVISION MGR.: J.E.V.  
REVISIONS:

NO.	REVISION	DATE
1		
2		
3		
4		
5		

FOR INTERNAL USE ONLY

PLAN: 3-PLEX  
SHEET: 2.15





**DETAIL "E"      DETAIL "F"**  
**ELEVATION "A" DETAILS**  
 SCALE 1/4"=1'-0"



**BLDG. TYPE I**  
**LEFT ELEVATION "A"**  
 SCALE 1/4"=1'-0"



**BLDG. TYPE I**  
**RIGHT ELEVATION "A"**  
 SCALE 1/4"=1'-0"

- GENERAL NOTES**
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- ELEVATION NOTES**
- NOT ALL KEY NOTES APPLY TO PLAN.
  - ROOF MATERIAL - REFER TO ROOF NOTES
  - 2X PLYWOOD/SHEATH BOARD
  - 6:1 FLASHING
  - 6:1 FLASHING & SADDLE/CRACKET
  - 6:1 DIVERTER
  - 6:1 DRIP SCREED
  - 6:1 BUTTER & DOWNPOUT
  - 1/4" X 6:1 SCREENED & LOUVERED VENT LOCATE WITHIN 12" OF FLOOR & CEILING
  - 1/4" X 6:1 SCREENED & LOUVERED CONDENSATION AIR VENT LOCATE WITHIN 12" OF FLOOR & CEILING
  - 6:1 SCREENED & LOUVERED ATTIC VENT - REFER TO ELEVATION FOR SIZE - REFER TO ATTIC VENT CALCULATION
  - APPROVED TERMINATION CAP W/SPARK ARRESTER BY FIREPLACE MANUFACTURE
  - DORMER ROOF VENT - REFER TO ATTIC VENT CALCULATION
  - RAILINGS/BANARDS - FREIGHT IRONWOOD
  - DECORATIVE SHUTTER - REFER TO ELEVATION FOR SIZE
  - SERVICE PANEL - REFER TO UTILITY PLAN
  - GAS SERVICE METER - REFER TO UTILITY PLAN
  - A/C CONDENSER - REFER TO UTILITY PLAN
  - ILLUMINATED ADDRESS SIGN - REFER TO UTILITY PLAN
  - SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION
  - 20:2" THICK SYNTHETIC BRICK/MASONRY VENEER
  - 2" THICK SYNTHETIC STONE VENEER
  - EXTERIOR PLASTER OVER PAPEX BACKED WIRE LATH
  - STUCCO OVER FOAM TRIM - REFER TO ELEVATION FOR SIZE
  - 6" DIA. CONC. DECORATIVE PIPES
  - APPROVED 2-COAT STUCCO SYSTEM
  - OPTIONAL DOOR/WINDOW - REFER TO FLOOR PLAN
  - RESINSED ELEMENT - REFER TO ELEVATION FOR SIZE
  - STUCCO COLUMN
  - STUCCO OVER BUILT OUT FOAM TRIM
  - DECORATIVE WROUGHT IRON
  - ENTRY DOOR
  - CORNICE - REFER TO ELEVATION FOR SIZE
  - STUCCO OVER FOAM SHAPED TRIM
  - CONCRETE STOOP/PORCH - REFER TO SLAB INTERFACE PLAN
  - MOOD TRIM - REFER TO ELEVATION FOR SIZE
  - COLOR BREAK
  - CANAL
  - VISA - REFER TO ELEVATION FOR SIZE



**VILLAS AT MENAUL**

KB HOME  
 NEW MEXICO, INC.  
 8330 Riverside Plaza Ln. NW  
 SUITE 200  
 ALBUQUERQUE, NM 87120  
 (505) 353-5300  
 (505) 897-4479

ISSUE DATE: 05/02/06  
 PROJECT No.: 871094  
 DIVISION MGR.: J.R.V.  
 REVISIONS:

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REVISIONS BY:	
DATE:	
DESCRIPTION:	

PLAN:  
**3-PLEX**

SHEET:  
**216**

**BLDG. 1**

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### GENERAL ACOUSTICAL TREATMENT NOTES

THE DETAILS & NOTES ON THIS SHEET ARE SHOWN AS A MINIMUM ALLOWED BY THE UNIFORM BUILDING CODES IN CONNECTION WITH THE SYSTEM ASSEMBLY MANUAL, THE ILL. FIRE RESISTANCE DIRECTORY ETC. CONTRACTOR SHALL OBTAIN ALL PRODUCTS IN COMPLIANCE WITH THE ASSEMBLY REQUIREMENTS.

**ADDITIONAL NOTES:**  
PRIOR TO SETTING THE WALL PLATES AT THE CONC. SLAB INTO POSITION - THREE (3) CONTINUOUS BEADS OF SEALANT SHALL BE LAID TO PROVIDE A SEAL BETWEEN THE FLOORING AND THE PLATE.  
USE LOWEYS NO.10 ACOUSTICAL TAPE U.S.A. ACOUSTICAL SEALANT OR APPROVED EQUAL.  
CALL ALL ELECTRICAL OUTLET BOXES IN THE PARTYWALL SO THAT BOXES ARE AIRTIGHT.  
USE LOWEYS NO.10 ACOUSTICAL SEALANT PADS U.S.A. ACOUSTICAL SEALANT OR APPROVED EQUAL.  
ALL PENETRATIONS TO BE SEALED W/ ACOUSTICAL CAULKING AND/OR FIBER PADDING TO MAINTAIN REQUIRED SOUND RATING.  
NO RIGID CONNECTION SHALL BE MADE BETWEEN GYPSUM BOARD AND FLOOR JOIST.

PLUMBING, CONDUIT OR DUCTWORK SHALL BE RIGID FROM FLOOR JOISTS W/ RESILIENT HANGERS AND SHALL NOT BE CONNECTED DIRECTLY TO CEILING IN ANY MANNER.  
THE PERIMETER OF HARD SURFACED AREAS AND THEIR SETTING BEDS SHALL BE ISOLATED FROM WALLS W/ FIBERGLASS OR RESILIENT GASKET AND CAULK. THE BASEBOARD SHALL COVER GAPS BUT WILL NOT TOUCH HARD SURFACE.  
WALL JOINT ISOLATION MATERIAL TO BE SPEC. SEAL 100 BY INSULATED TECHNOLOGIES OR EQ. WHEN JOINT EXCEEDS 1/8" AND/OR IS NOT CONTINUOUSLY BAGGED BY 2X FRAMING OR GREATER.  
REQUIRED PLUMBING ACOUSTIC TREATMENT IN PARTYWALL AND FLOOR/CEILING ASSEMBLIES  
**SEALY LINES**  
ALL HOT AND COLD WATER PIPES MUST BE ISOLATED FROM THE BUILDING FRAME BY 1/4" THICK COLLARS OF FELT, GASKET, OR EQUIVALENT SOFT MATERIAL. PLASTIC ISOLATORS ARE NOT PERMITTED.  
THE CAVITY AROUND THE PIPES SHOULD BE FILLED WITH OPEN-FACED FIBERGLASS (OR MINERAL WOOL), OR SPRAYED WITH AN ADHESIVE CELLULOSE PRODUCTS (e.g. CELL-UL, TERMAKOR, ETC.).

WATER PRESSURE SHOULD BE CONTROLLED IN THE RANGE OF 80 TO 90 P.S.I.  
WATER VELOCITY SHOULD NOT EXCEED 5 FEET/SEC. IF SINGLE LAYER FACET SYSTEMS ARE USED. HOWEVER, THE CODE ALLOWS 10 FEET/SEC. WHICH IS ACCEPTED IF NON-SINGLE FACET SYSTEMS ARE USED.  
SHOWER HEAD WATER FLOW RESTRICTIONS MUST BE USED TO LIMIT THE FLOW FOR LESS THAN 3 GAL. PER MIN.  
**WASTE LINES**  
WASTE LINES SHALL NOT RIGIDLY CONNECT ANY PART OF THE HOOD STRUCTURE.  
OPENINGS IN THE GYPSUM WALL BOARD AROUND A PICTURE FEED LINE SHOULD BE CUT OVERSIZED TO ACCOMMODATE A BEAD OF CAULKING AROUND THE FEED LINE. THEREBY ISOLATING THE PIPE FROM THE WALL. CAULKING SHALL BE FIRE RATED.  
PACK THE CAVITY VOID BELOW TUBS AND SINKS WITH FIBERGLASS OR SPENTONON MATERIAL AND BLOCK THE BOTTOM OF THE TUBS.

FLOOR-CEILING ASSEMBLIES AND WASTE LINE PENETRATIONS OF NON-COMMON WALLS, WASTE LINES ABOVE THE SLAB SHALL BE CAST IRON. THE SLOTTED BELLS ON THE SLOTTED WASTE THE STOCK CAST IRON OUTLET SHOULD BE FROM THE POSITION BLOCKS WITH GASKET PADDING OR A FELT MATERIAL. THE ENTIRE SPACE AROUND THE SLOTTED BELLS MUST BE FILLED WITH FIBERGLASS OR EQUAL MATERIAL.  
REQUIRED ELECTRICAL ACOUSTIC TREATMENT IN PARTY WALLS AND FLOOR / CEILING ASSEMBLIES  
ALL PENETRATIONS INTO SOUND RATED PARTITIONS WILL BE SEALED WITH APPROVED PERMANENT RESILIENT SEALANT.  
OUTLET BOXES MAY BE INSTALLED IN THE SOUND RATED WALLS AS FOLLOWS:  
BOXES WHICH PENETRATE THE WALL IN ONE AREA OR OCCUPANCY SHALL NOT BE INSTALLED ON THE SAME SIDED OR IN THE SAME SPACE BETWEEN SIDES CONTAINING A BOX WHICH PENETRATES INTO ANOTHER AREA OR OCCUPANCY ETC., NOT IN THE SAME BAY. THERE SHALL BE ONE SOLID STUD BETWEEN OUTLET BOXES. A SOLID FIRE BLOCKING SHALL BE CONDENSED A SOLID STUD IN ORDER TO PLACE ONE BOX ABOVE THE OTHER IN THE SAME BAY.

CONDUITS OR RACEWAYS (SUB-OUTS) MAY PENETRATE THE SOUND RATED WALLS PROVIDED THE CONDUIT IS COVERED AT THE PENETRATION POINT WITH A PERMANENTLY RESILIENT SEALANT.  
REQUIRED ACOUSTIC TREATMENT IN PARTY WALLS AND FLOOR / CEILING ASSEMBLIES  
GYPSUM HALLOWBOARD SHALL BE COMPLETELY INSTALLED BEHIND ALL BATHROOMS AND ALL SHOWER STALLS (FLOOR TO CEILING) FIBERGLASS PARTY WALLS OR TWO-HOUR FIREWALLS AND ANY REQUIRED SOUND RATED PARTITIONS.  
EXTERIOR DOORS: UNIT ENTRY DOOR MUST BE 1-3/4" SOLID CORE TYPE WITH FULL LENGTH AIRTIGHT WEATHER STRIPPING AND WITH THRESHOLD WHICH PROVIDES A R.T.C. 80 RATING.  
NOISE STANDARD: THE NOISE REDUCTION BETWEEN OUTSIDE AND INSIDE SHALL BE SUCH THAT REGARDLESS OF THE NOISE OUTSIDE OR INSIDE NOISE SHALL NOT EXCEED 48 DPA ONE (1) GAIN.  
USE FOR CAULKING-SEALANT: U.S.A. ACOUSTICAL SEALANT AT SOUNDWALLS (RESILIENT), LOWEYS HALL NO. 10A SEALANT PAD FOR ELECTRICAL OUTLETS. ALL CAULKING SHALL BE FIRE RETARDANT.

### GENERAL NOTES

1. THE COMPOSITE BUILDING PLAN IS PROVIDED FOR PLAN TO PLAN RELATIONSHIP. OVERALL BUILDING DIMENSIONS AND TO BE USED FOR UNIT PLAN INFORMATION. IF SCALE PLANS TAKE PRECEDENCE OVER UNIT PLAN INFORMATION REFER TO SHEET 211.
2. FOR TYPICAL PARTY WALL AND AREA SEPARATION WALL CONSTRUCTION, REFER TO SHEET 211 - A25.
3. DRAFT STOPS SHALL EXTEND THRU CONCEALED SPACE. DRAFT STOP CONSTRUCTION SHALL BE 1/2" GYP. PER E.C. SEC. 1113.
4. FIRE STOPPING SHALL BE PROVIDED AT PLUMBING, ELECTRICAL, REFRIGERANT AND FLEX PENETRATIONS THROUGH RATED FLOOR/CEILING ASSEMBLIES PER U.S.C. SECTION 1016 AND 104.1.
5. DECK TOPPING: "RESILIO-KOTE" (E.S.O. REPORT NO. 4222) SHALL BE INSTALLED AS INDICATED IN I.G.S.O. REPORT FOR 1 HR. ASSEMBLY.
6. PROVIDE FIRE EXTINGUISHER CABINETS WITH ATTACHED BREAKER WITH VISIBLE LOCATION WITH FIRE EXTINGUISHER LABEL. INSTALL BREAKER ROCKER SWITCHES ON APPROVED EQUAL. INSTALL BREAKER SWITCHES WITH VISIBLE LOCATION WITH FIRE EXTINGUISHER LABEL. WITH THE DEPT. MAXIMUM TRAVEL DISTANCES FROM UNIT ENTRY DOOR TO EXTINGUISHER CABINETS. PROVIDE A MINIMUM OF ONE SAVING CLASSIFICATION FIRE EXTINGUISHER PER 1000 SQUARE FEET OF FLOOR AREA ON EACH FLOOR. (E.C. ARTICLE 10, DIVISION V, U.P.C. STANDARD 10)

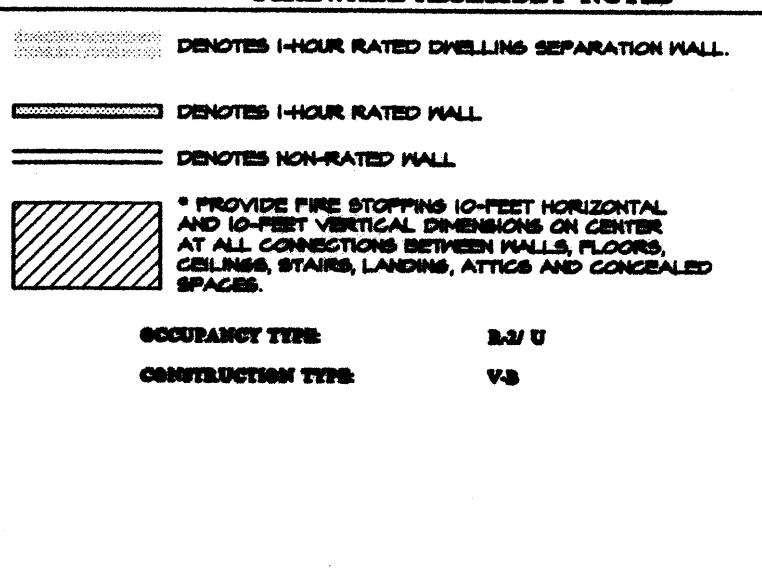
### BUILDING PLAN NOTES

1. 2" AIRSPACE
2. LINE OF BUILDING BELOW
3. LINE OF BUILDING ABOVE
4. LOW ROOF - REFER TO ROOF PLAN
5. ELASTOMERIC WATERPROOF DECKING, "RESILIO-KOTE" 100 REPORT 88-1028
6. 42" HIGH GUARDRAIL
7. ELECTRICAL METER LOCATION INFORMATION NOT SHOWN HERE
8. GAS METER LOCATION
9. 1 1/4" THICK RATED ONE HOUR DOOR ASSEMBLY WITH TIGHT FITTING SELF-CLOSING
10. 1-HOUR ROOF (1) LAYERS 5/8" GYP. BD. TYPE 'X'
11. 1-HOUR WALL (1) LAYERS 5/8" GYP. BD. TYPE 'X'
12. 2-HOUR WALL (2) LAYERS 5/8" GYP. BD. TYPE 'X'
13. ATTIC ACCESS PER E.C. SEC. 1204.2

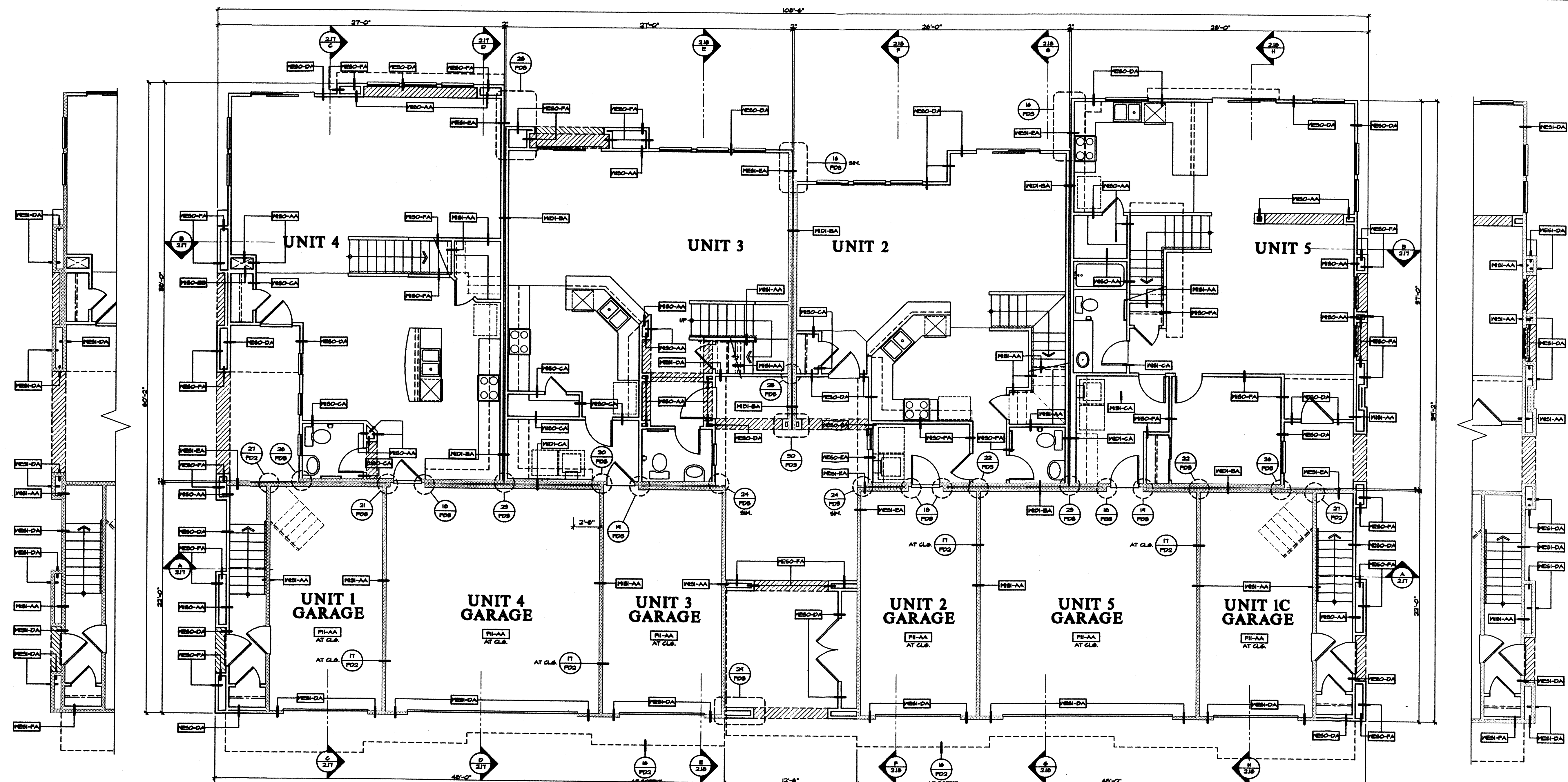
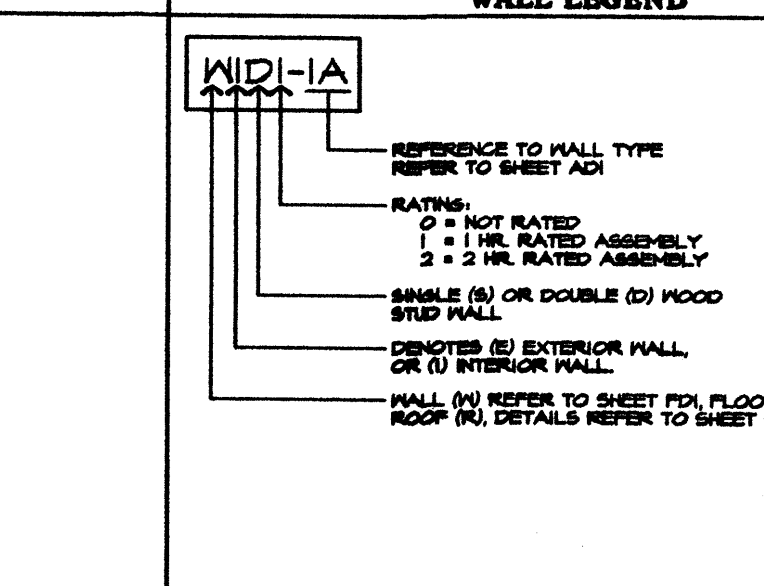
### FIREWALL ASSEMBLY NOTES

14. 2A/IBC SIZE FIRE EXTINGUISHER INSTALL PER PORTABLE FIRE EXTINGUISHER ARE REQUIRED DURING CONSTRUCTION AND SHALL BE PROVIDED ACCORDING TO THE DEPARTMENT REQUIREMENTS. SIZES, TYPES AND LOCATIONS SHALL BE DETERMINED BY FIRE DEPARTMENT PRIOR TO INSTALLATION. FIRE EXTINGUISHERS SHALL BE TABBED BY COMPANY LOGS BY THE STATION NUMBER PRIOR TO INSTALLATION.
15. 8" TALL ILLUMINATED UNIT EXPOSED AT 160°
16. 8" TALL BUILDING ACCESS OR EXPOSED FIRE ACCESS. SIGNIFY WITH SITE PLAN, TOP OF ADDRESS AT 160°
17. PROVIDE GYP-CRETE BELOW TUB
18. LINE OF DRAFT/STOP ABOVE
19. 1/2-HOUR FIRE-RATED ASSEMBLY (1) LAYER 5/8" TYPE 'X' GYP. BOARD (DRAFT ROUGH OPENING)
20. OPERATING AND PRESSURE RELIEF VALVE - DRAIN TO EXTERIOR

### WALL LEGEND



### WALL LEGEND



BLDG. TYPE I  
PARTIAL FIRST FLOOR  
PLAN "A" (RATED - LEFT)  
SCALE 1/4"=1'-0"

BLDG. TYPE I  
FIRST FLOOR PLAN "A"  
SCALE 1/4"=1'-0"

BLDG. TYPE I  
PARTIAL FIRST FLOOR  
PLAN "A" (RATED - RIGHT)  
SCALE 1/4"=1'-0"

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PLAN: 6-PLEX  
SHEET: 2.12

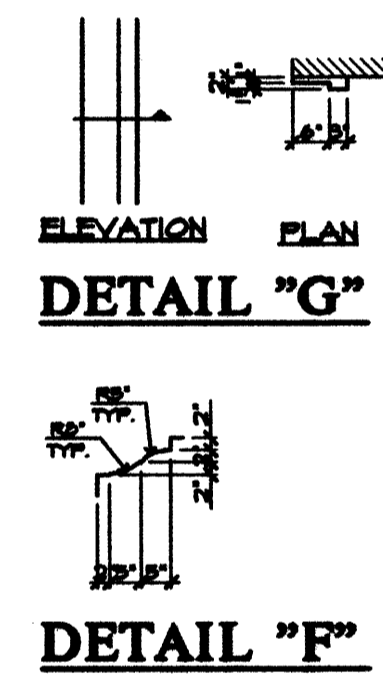
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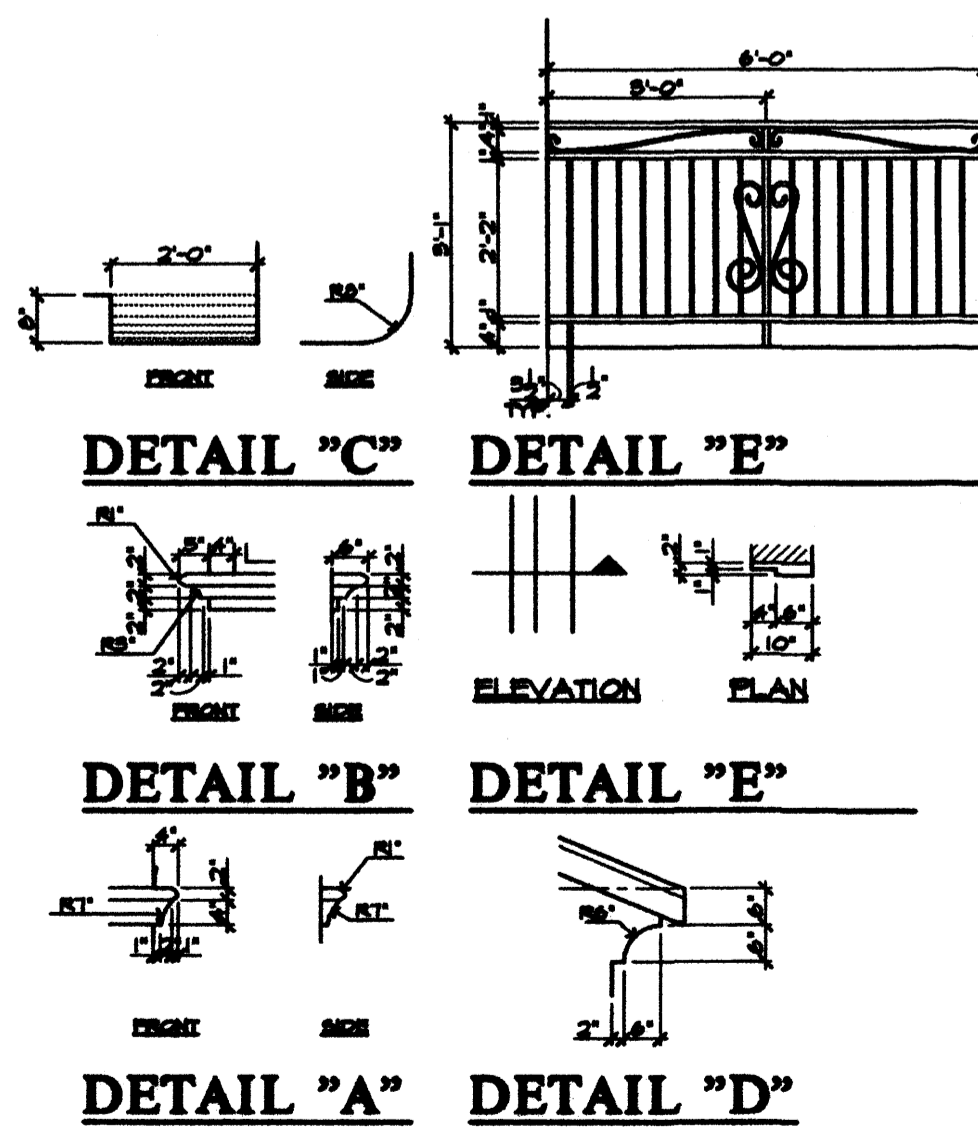
BLDG. TYPE I  
REAR ELEVATION "A"  
SCALE 1/4"=1'-0"



BLDG. TYPE I  
LEFT ELEVATION "A"  
SCALE 1/4"=1'-0"



ELEVATION "A" DETAILS  
SCALE 1/4"=1'-0"



ELEVATION "A" DETAILS  
SCALE 1/4"=1'-0"



BLDG. TYPE I  
FRONT ELEVATION "A"  
SCALE 1/4"=1'-0"

- GENERAL NOTES**
- REFER TO UNIT PLANS FOR ADDITIONAL DIMENSIONS AND INFORMATION NOT SHOWN HERE. UNIT PLANS SHALL TAKE PRECEDENCE OVER BUILDING PLANS.
- ELEVATION NOTES**
- NOTES
- NOT ALL KEY NOTES APPLY TO PLAN.
  - ROOF MATERIAL - REFER TO ROOF NOTES
  - 2X FASCIA/BARGE BOARD
  - 6:1 FLASHING
  - 6:1 FLASHING & SADDLE/CRICKET
  - 6:1 DIVERTER
  - 6:1 DREP SCREEN
  - 6:1 BUTTER & DOWNSPOUT
  - 1/4" X 1/4" 6:1 SCREENED & LOUVERED VENT LOCATE WITHIN 12" OF FLOOR & CEILING
  - 1/4" X 1/4" 6:1 SCREENED & LOUVERED COMBUSTION AIR VENT LOCATE WITHIN 12" OF FLOOR & CEILING
  - 6:1 SCREENED & LOUVERED ATTIC VENT - REFER TO ELEVATION FOR SIZE - REFER TO ATTIC VENT CALCULATION
  - APPROVED TERMINATION GAP W/SPARK ARRESTER BY FURFLAGE MANUFACTURE
  - DORMER ROOF VENT - REFER TO ATTIC VENT CALCULATION
  - KALIBREWARDS - FINISH IRON/WOOD
  - DECORATIVE SHUTTER - REFER TO ELEVATION FOR SIZE
  - SERVICE PANEL - REFER TO UTILITY PLAN
  - 6:6 SERVICE METER - REFER TO UTILITY PLAN
  - AVC CONDENSER - REFER TO UTILITY PLAN
  - ILLUMINATED ADDRESS SIGN - REFER TO UTILITY PLAN
  - OPTIONAL GARAGE DOOR - VERIFY FINISH OPTION
  - 2" THICK SYNTHETIC BRICK/MASONRY VENEER
  - EXTERIOR PLASTER OVER PAPEP BACKED PURE LATH
  - STUCCO OVER FOAM TRIM - REFER TO ELEVATION FOR SIZE
  - 6" DIA. CONC. DECORATIVE PIPES
  - APPROVED 2-COAT STUCCO SYSTEM
  - OPTIONAL DOOR/HINGION - REFER TO FLOOR PLAN
  - RECORDED ELEMENT - REFER TO ELEVATION FOR SIZE
  - STUCCO COLUMN
  - STUCCO OVER BUILT OUT FOAM TRIM
  - DECORATIVE FROUGHT IRON
  - ENTRY DOOR
  - CORNEL - REFER TO ELEVATION FOR SIZE
  - STUCCO OVER FOAM SHAPED TRIM
  - CONCRETE STOOPY FURCH - REFER TO SLAB INTERFACE PLAN
  - WOOD TRIM - REFER TO ELEVATION FOR SIZE
  - COLOR BREAK
  - CANALS
  - VISA - REFER TO ELEVATION FOR SIZE



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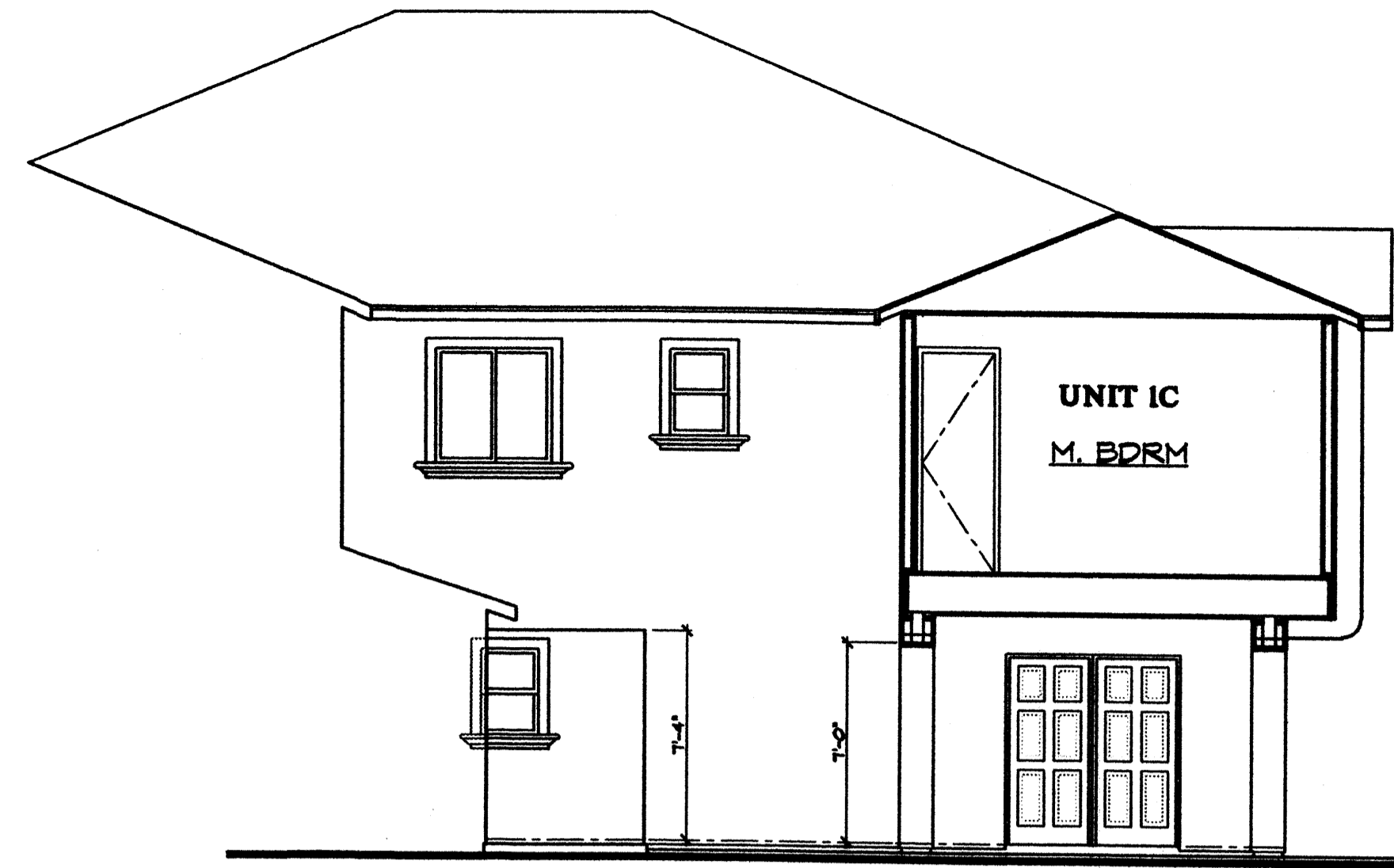
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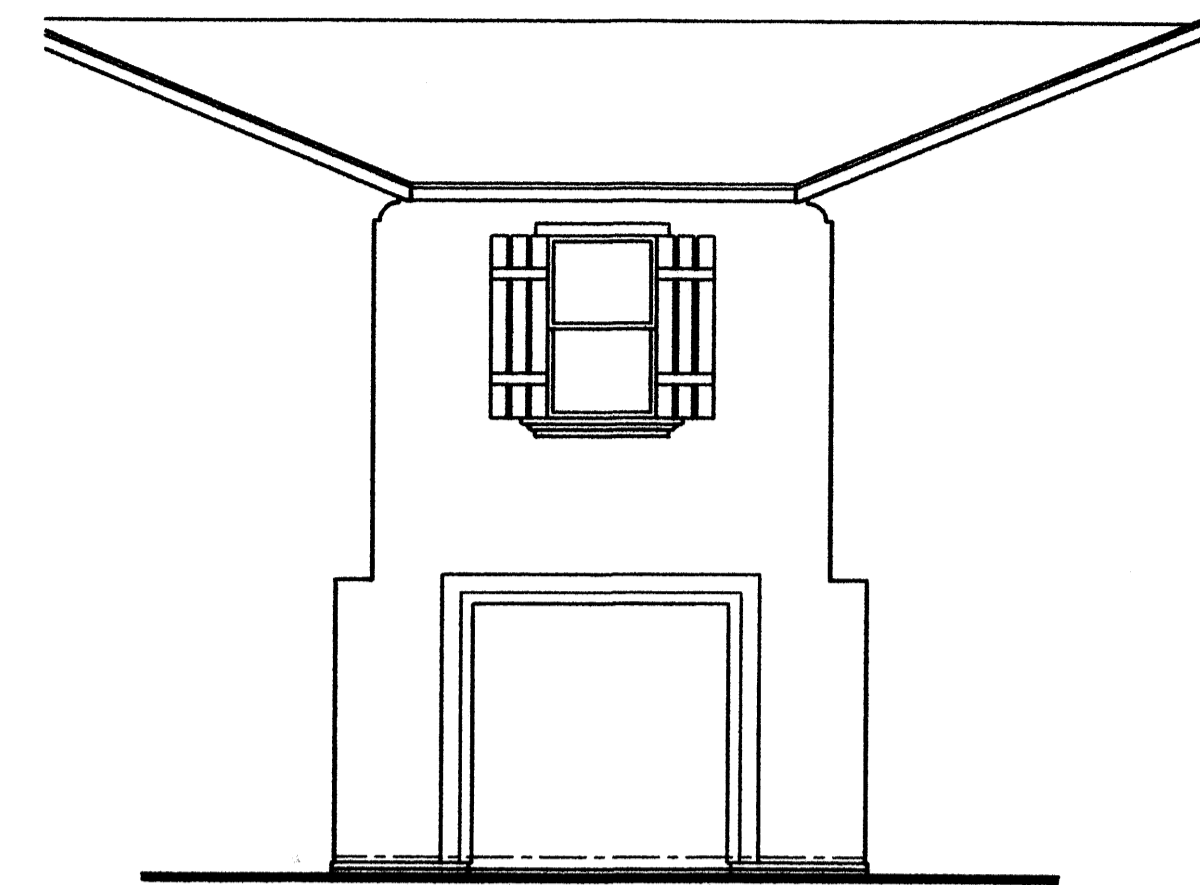
PLAN:  
**6-PLEX**

SHEET:  
**215**

BLDG. 1



BLDG. TYPE I COURTYARD VIEW "A"  
LEFT ELEVATION "A"  
SCALE 1/4"=1'-0"



BLDG. TYPE I COURTYARD VIEW "A"  
REAR ELEVATION "A"  
SCALE 1/4"=1'-0"



BLDG. TYPE I COURTYARD VIEW "A"  
RIGHT ELEVATION "A"  
SCALE 1/4"=1'-0"



BLDG. TYPE I COURTYARD VIEW "A"  
FRONT ELEVATION "A"  
SCALE 1/4"=1'-0"



BLDG. TYPE I  
RIGHT ELEVATION "A"  
SCALE 1/4"=1'-0"

GENERAL NOTES	
1.	REFER TO UNIT PLANS FOR ADDITIONAL DIMENSIONS AND INFORMATION NOT SHOWN HERE. UNIT PLANS SHALL TAKE PRECEDENCE OVER BUILDING PLANS.
ELEVATION NOTES	
NOT ALL KEY NOTES APPLY TO PLAN.	
1.	ROOF MATERIAL - REFER TO ROOF NOTES
2.	2X PLYGLASS/BIRGE BOARD
3.	6.1. FLASHING
4.	6.1. FLASHING & SADDLE/CRICKET
5.	6.1. DIVERTER
6.	6.1. DRIP SCREED
7.	6.1. BUTTER & DOWNSPOUT
8.	14" X 6" 6.1. SCREENED & LOUVERED VENT LOCATE WITHIN 12" OF FLOOR & CEILING
9.	14" X 6" 6.1. SCREENED & LOUVERED COMBUSTION AIR VENT LOCATE WITHIN 12" OF FLOOR & CEILING
10.	6.1. SCREENED & LOUVERED ATTIC VENT - REFER TO ELEVATION FOR SIZE - REFER TO ATTIC VENT CALCULATION
11.	APPROVED TERMINATION CAP W/SPARK ARRESTER BY FIREPLACE MANUFACTURER
12.	DORMER ROOF VENT - REFER TO ATTIC VENT CALCULATION
13.	PAINT/STAIN/SEAL - FREIGHT BROWNWOOD
14.	DECORATIVE SHUTTER - REFER TO ELEVATION FOR SIZE
15.	SERVICE PANEL - REFER TO UTILITY PLAN
16.	GAS SERVICE METER - REFER TO UTILITY PLAN
17.	A/C CONDENSER - REFER TO UTILITY PLAN
18.	ILLUMINATED ADDRESS SIGN - REFER TO UTILITY PLAN
19.	SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION
20.	2" THICK SYNTHETIC BRICK/MASONRY VENEER
21.	2" THICK SYNTHETIC STONE VENEER
22.	EXTERIOR PLASTER OVER FABRIC BACKED MESH LATH
23.	EXTERIOR PLASTER OVER EXPANDED METAL LATH
24.	STUCCO OVER FOAM TRIM
25.	REFER TO ELEVATION FOR SIZE
26.	6" DIA. CONC. DECORATIVE PIPES
27.	APPROVED 2-COAT STUCCO SYSTEM
28.	ORIGINAL DOOR WINDOW - REFER TO FLOOR PLAN
29.	RECESSED ELEMENT - REFER TO ELEVATION FOR SIZE
30.	STUCCO COLUMN
31.	STUCCO OVER BUILT OUT FOAM TRIM
32.	DECORATIVE THROUGH IRON
33.	ENTRY DOOR
34.	CORBEL - REFER TO ELEVATION FOR SIZE
35.	STUCCO OVER FOAM SHAPED TRIM
36.	CONCRETE STUCCO/POUCH - REFER TO SLAB INTERFERENCE PLAN
37.	WOOD TRIM - REFER TO ELEVATION FOR SIZE
38.	COLOR BREAK
39.	CANALE
40.	REFER TO ELEVATION FOR SIZE



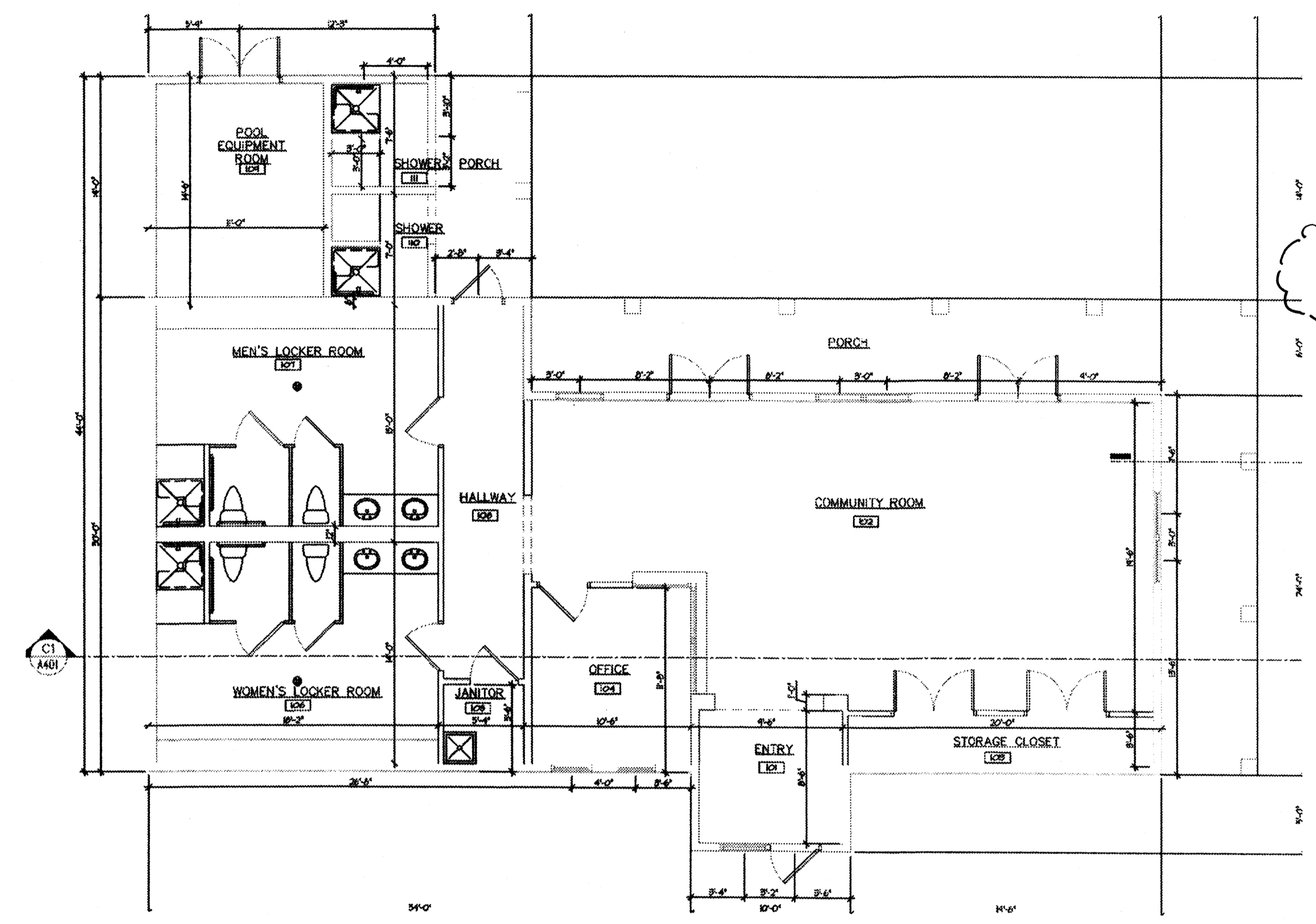
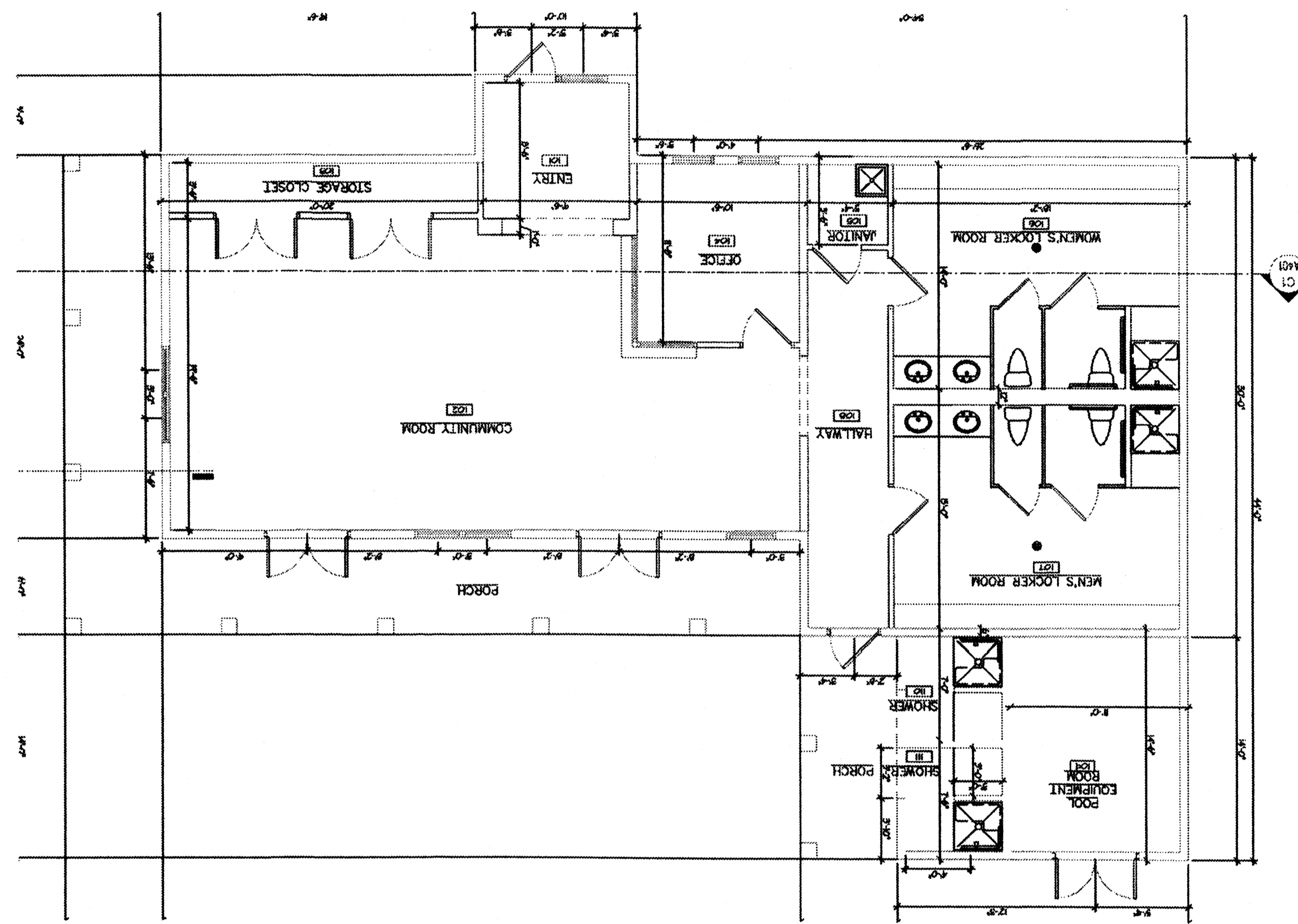
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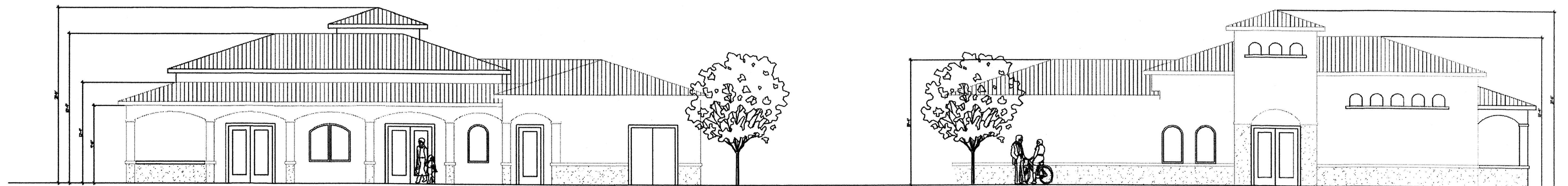
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SHEET:	216

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MIN. 4 EA. BICYCLE RACKS. SPEC. AND LOCATE PER CLUBHOUSE ARCHITECT



COURTESY KHRIS CALORI, EDI-ARCHITECTURE

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PROJECT NUMBER: 1004474 05-EPC-1568, 1569

MENAU SCHOOL CONDOMINIUMS  
CLUBHOUSE ARCHITECTURE (1)

SHEET

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