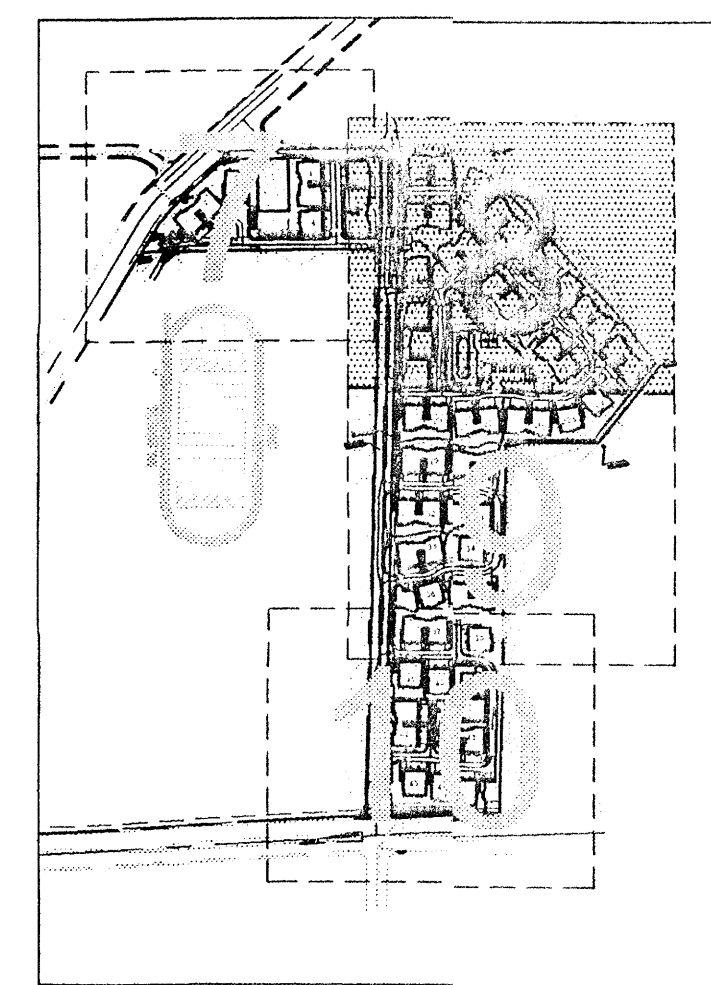
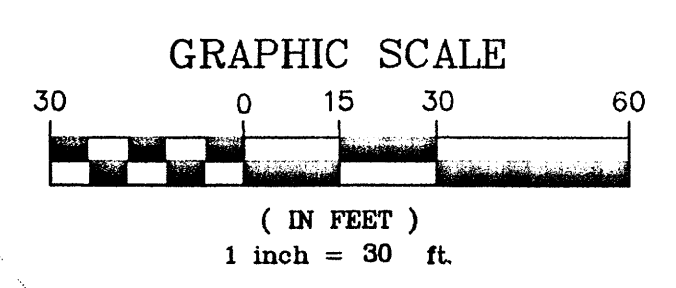


WALL ELEVATION 'A-A'
N.T.S.

- LEGEND**
- ▲ 5295.96 PROPOSED SPOT ELEVATION
 - 09.0 EXISTING SPOT ELEVATION (GRND & TC)
 - ▬ PROPOSED CONCRETE VALLEY GUTTER
 - ▬ PROPOSED CURB & GUTTER
 - EXISTING CONTOUR W/ INDEX ELEVATION
 - PROPOSED MANHOLE
 - EXISTING STORM DRAIN
 - ▬ 30" SD PROPOSED STORM DRAIN
 - ▬ PROPOSED STORM SEWER CATCH BASIN
 - BOUNDARY LINE
 - ▬ SIDEWALK
 - CENTERLINE
- ABBREVIATIONS**
- EX GRD = EXISTING GROUND
 - TOC = TOP OF CURB
 - TC = TOP OF CONCRETE
 - CL = CENTERLINE
 - FP = FINISHED PAD
 - FL = FLOWLINE



DRB No. 1004474

FINAL GRADING APPROVAL

DWG PATH: F:\IN27\KHOR\Hinterland School\CIVIL\GIS\G & D\Streets\Building Permit\G&D.dwg

Community Sciences Corporation
LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, New Mexico 87048

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **VILLAS AT MENAUL
SITE GRADING PLAN**

DESIGNED BY: REH	DATE: 05/2006	REVISIONS	NO.	DATE
DRAWN BY: MVH	DATE: 05/2006	DESIGN		
CHECKED BY: BLS	DATE: 05/2006			
City Project No. 781681	Zone Map No. H-15-Z	Sheet 8	of 16	

AS-BUILT INFORMATION

CONTRACTOR	DATE

BENCH MARKS

CONTRACTOR	DATE

SURVEY INFORMATION

FIELD NOTES	DATE

ENGINEER'S SEAL

NO.	DATE

REVISIONS

NO.	DATE	BY

DESIGN APPROVALS

Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr



H-15-Z VICINITY MAP NOT TO SCALE

SPCS
PRELIMINARY PLAT
APPROVED BY DRB
ON 3-8-06

SITE DATA:

ZONE ATLAS INDEX NO:

GROSS ACREAGE: 44.95 AC.

NO. OF EXISTING LOTS/TRACTS: 6 (ONE OF WHICH IS BEING TRANSFERRED)

NO. OF LOTS/TRACTS CREATED: 4

LINEAR FEET OF CREATED DRIVE AISLES: 5596 LF.

ACREAGE OF CREATED DRIVES: 3.28 AC.

GARAGE PARKING: 307 SPACES

OFF-STREET PARKING: 311 SPACES

HANDICAP PARKING: 14 SPACES

MAXIMUM BUILDING HEIGHTS: 28.75 FT.

MINIMUM BUILDING SETBACKS: 10 FT. BETWEEN BUILDINGS, GROUND FLOOR
 20 FT. ADJACENT TO BROADBENT BUSINESS PARK
 20 FT. ADJACENT STREET RIGHT OF WAY
 10 FT. FROM ALAMEDA DETENTION FACILITY

PRIOR CURRENT ZONING: M-1, SU-1 FOR PRIVATE SCHOOL AND INCIDENTAL FACILITIES

NEW ZONING: SU-1 FOR PRD (E.P.C. 12/15/05)

LAND USE: 213 SINGLE-FAMILY CONDOMINIUMS, CLUBHOUSE AND POOL, PRIVATE DRIVE AISLES, OPEN SPACE COMMON AREAS

APPLICABLE PLANS: NORTH VALLEY AREA PLAN, 1993
 ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN, 2002

NEIGHBORHOOD ASSOCIATIONS: SANTA BARBARA-MARTINEZTOWN ASSOC. (SBM)
 STRONGHURST IMPROVEMENT ASSOC. INC. (SIA)

PROJECT NUMBER: 1004474

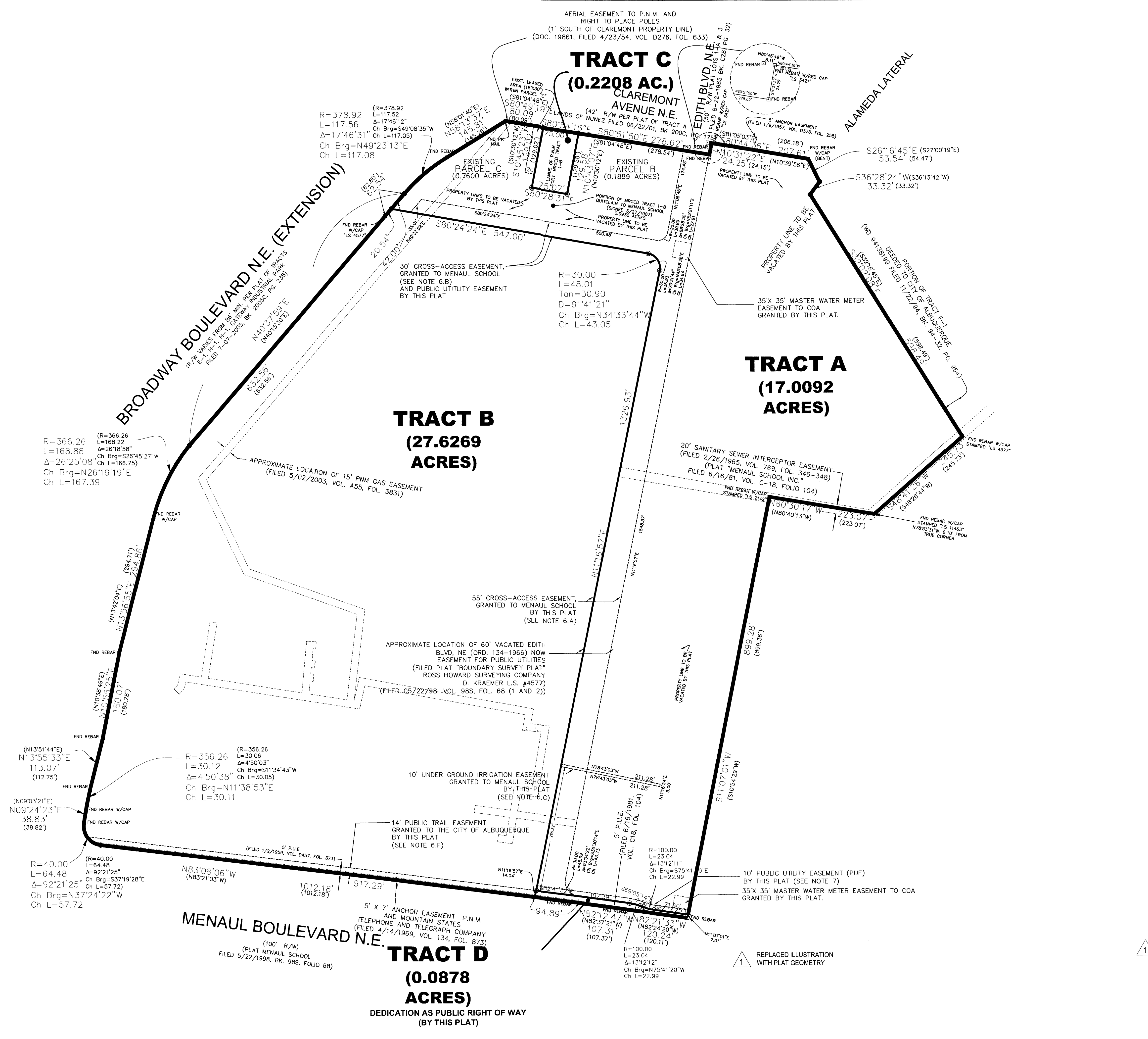
APPLICATION NUMBER: 05-EPC-1568, 1569

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 15, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



MENAU SCHOOL CONDOMINIUMS
SITE PLAN FOR SUBDIVISION

DATE: 01/09/06

SCALE: AS SHOWN

CREW: XXXX

DRAWN: CAS/JGG/IMVH

JOB NO.: N627-16

LAND PLANNING P.O. Box 1326

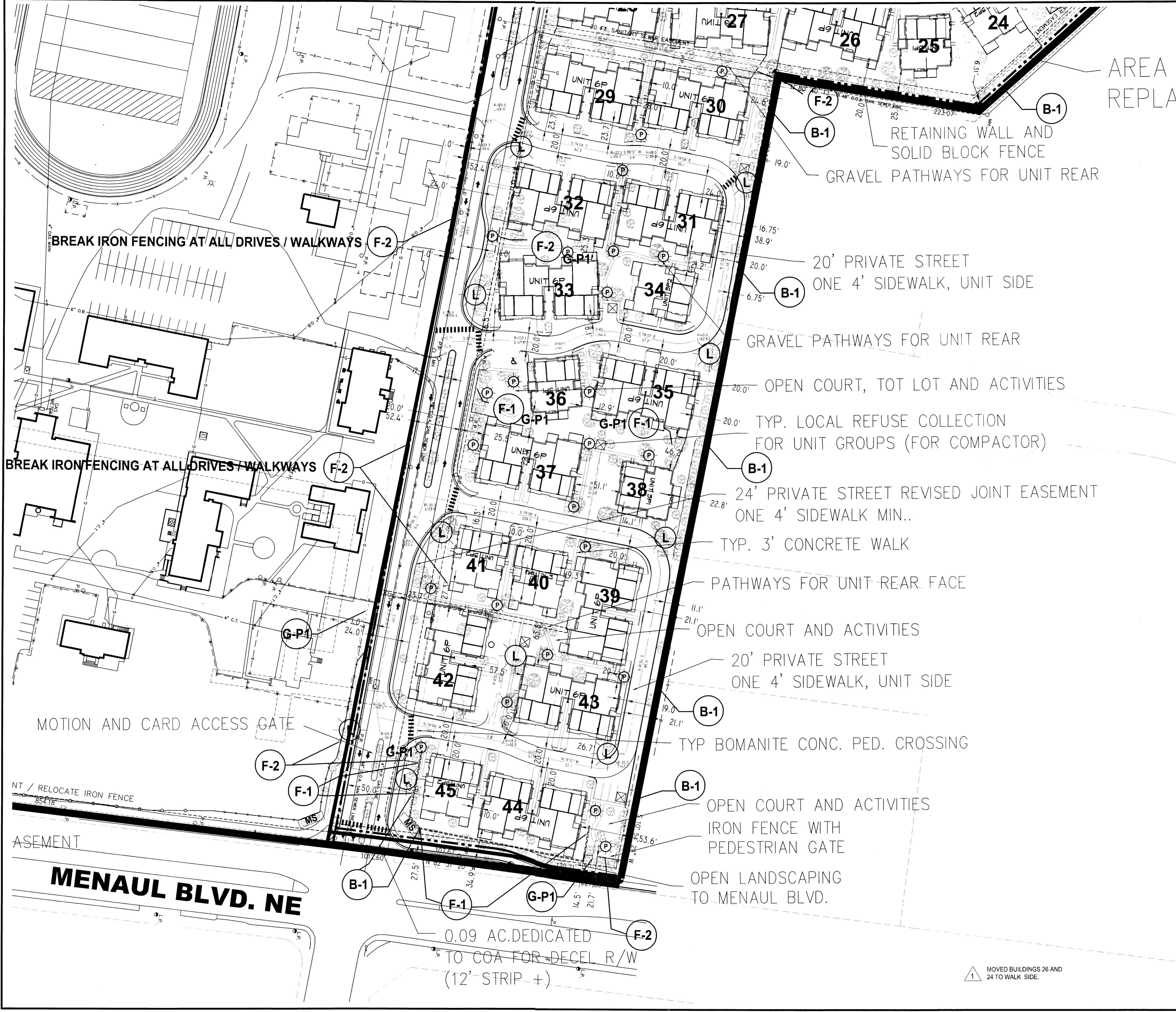
ENGINEERING Corrales, N.M. 87046

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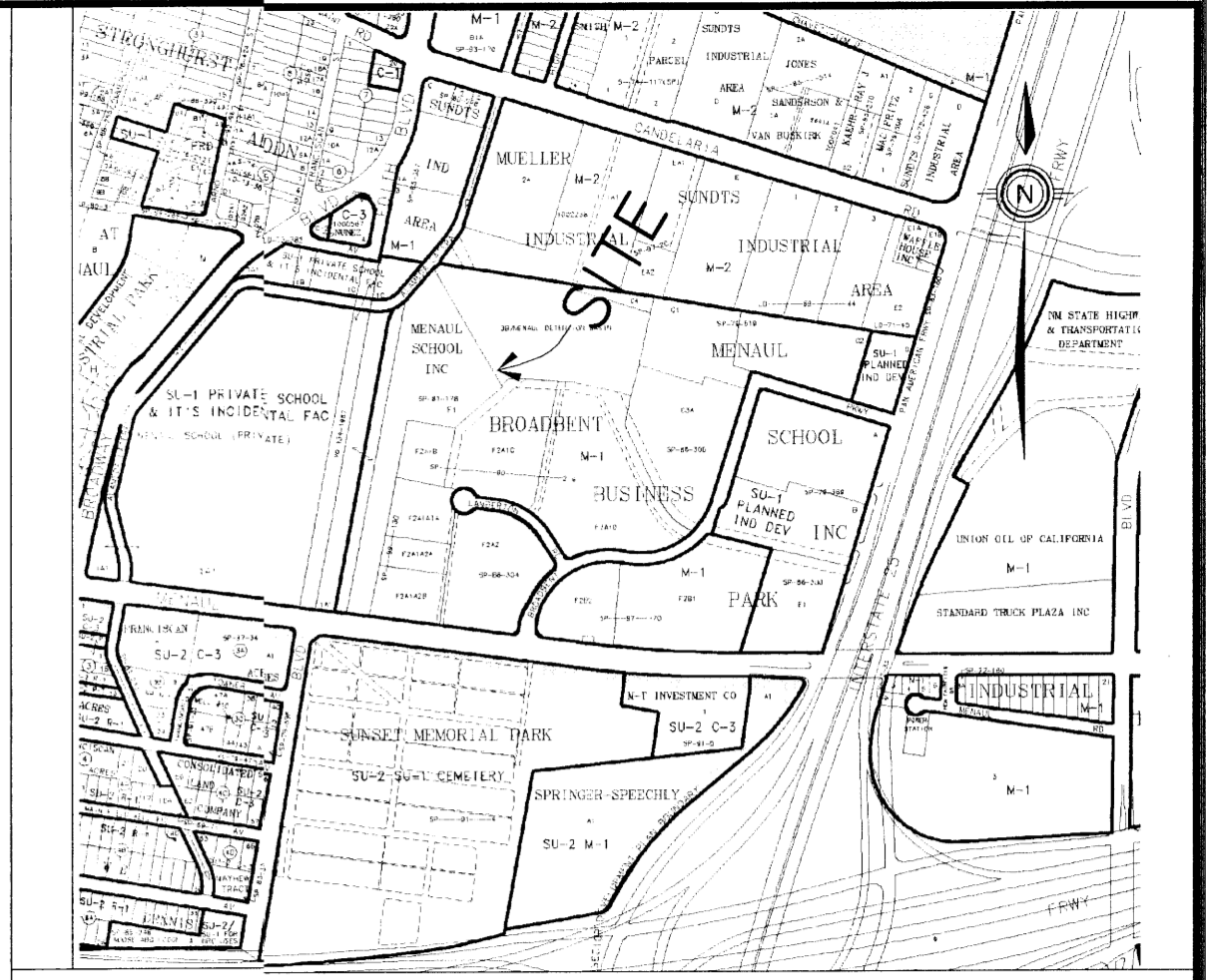
community sciences corporation

SHEET 1 OF 11

REVISED 03/01/06 PER DRB COMMENTS



AREA REPLA



H-15-Z VICINITY MAP NOT TO SCALE

- DIMENSION NOTES: (UNLESS OTHERWISE INDICATED):**
1. ALL DIMENSIONS ARE CLOSE APPROXIMATIONS, SUBJECT TO FINAL PROPERTY SURVEY AND SITE PLAN FOR BUILDING PERMIT PURPOSES.
 2. DIMENSIONS FOR PAVING ARE TO FACE OF CURB (FLOWLINE)
 3. MEASUREMENTS ARE RADIAL OR PERPENDICULAR TO FEATURES.
 4. SEE ATTACHED PRELIMINARY PLAT FOR PROPERTY AND CURVE DATA.

- LIGHTING, WALL / FENCING PLAN NOTES: (UNLESS OTHERWISE INDICATED):**
1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
 - (F-1) FENCING PLAN LOCATION AND TYPE (REF: SHEET 11)
 - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
 - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
 3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
 - (MS) APPROXIMATE SIGN LOCATION
 - (X) TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

- SHEET INDEX:**
1. COVER SHEET, 2005 ORTHOPHOTO AND DRB APPROVALS
 2. A. SITE DEVELOPMENT PLAN (SOUTH DIMENSION LAYOUT PLAN)
 3. B. SITE DEVELOPMENT PLAN (NORTH DIMENSION LAYOUT PLAN)
 4. PLAT OF SUBDIVISION (PRELIMINARY PLAT)
 5. DESIGN GUIDELINES, E.P.C. CONDITIONS AND EXTERIOR COLORS
 6. LANDSCAPE PLAN (OVERALL SITE) L1 OF 3
 7. LANDSCAPE DETAILS (DETAILS OF SELECT AREAS) L2 OF 3
 8. LANDSCAPE DETAILS (DETAILS OF SITE FURNITURE) L3 OF 3
 9. BUILDING ELEVATIONS AND PALETTE BUILDINGS SP1 AND SP2
 10. BUILDING ELEVATIONS AND PALETTE BUILDING SP6 AND CLUBHOUSE
 11. WALLS, PAVING, MONUMENT SIGNS, FENCE ELEVATIONS AND DETAILS

PROJECT NUMBER: 1004474 05-EPC-1568, 1569

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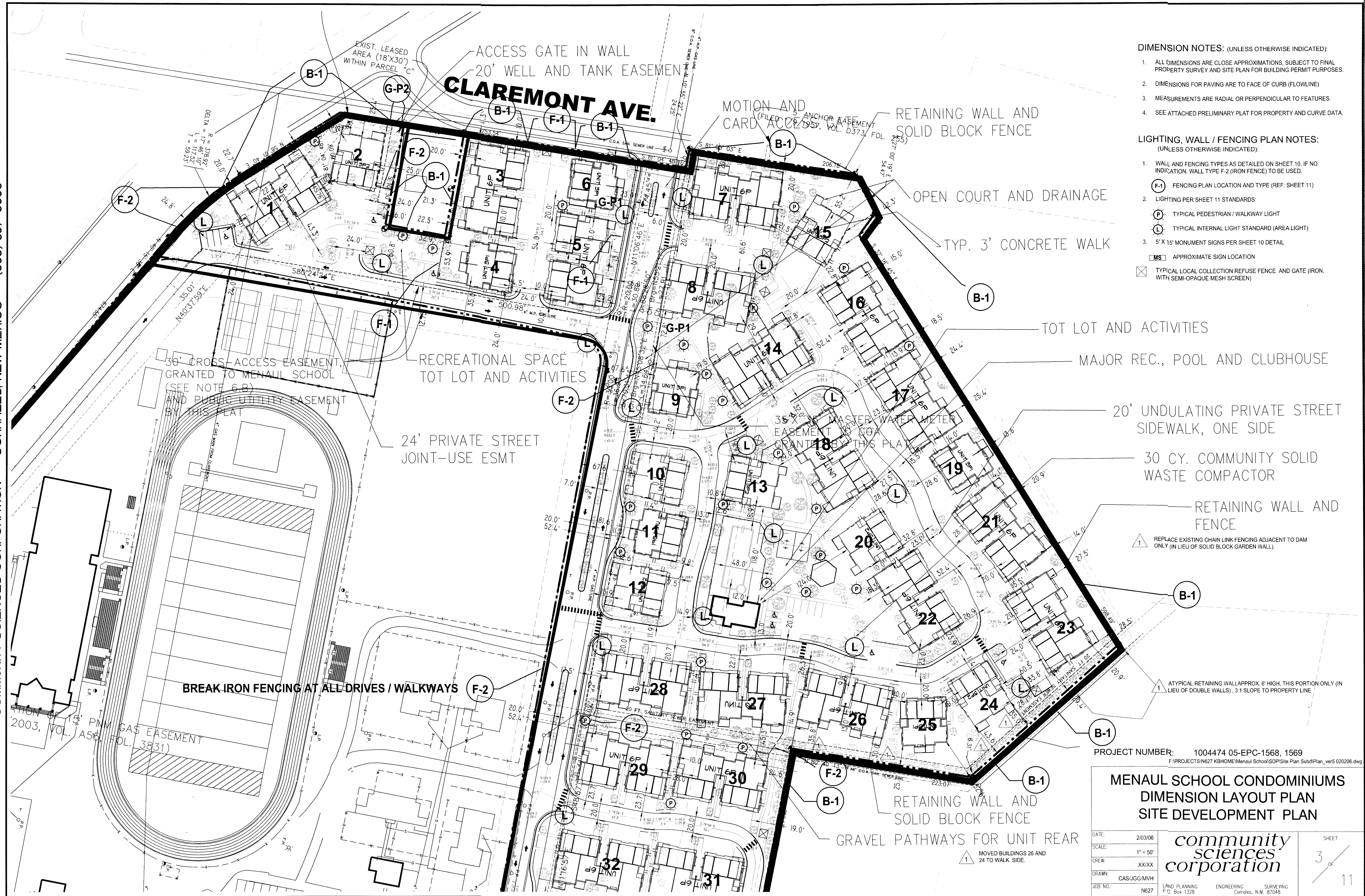
**MENAU SCHOOL CONDOMINIUMS
DIMENSION LAYOUT PLAN
SITE DEVELOPMENT PLAN**

DATE:	2/03/06		SHEET 2A OF 11
SCALE:	1" = 50'		
CREW:	XX/XX	community sciences corporation LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING	
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627		

1 MOVED BUILDINGS 26 AND 24 TO WALK SIDE.

MENAU BLVD. NE

0.09 AC. DEDICATED TO COA FOR DECEL R/W (12' STRIP +)



DIMENSION NOTES: (UNLESS OTHERWISE INDICATED):

1. ALL DIMENSIONS ARE CLOSE APPROXIMATIONS, SUBJECT TO FINAL PROPERTY SURVEY AND SITE PLAN FOR BUILDING PERMIT PURPOSES.
2. DIMENSIONS FOR PAVING ARE TO FACE OF CURB (FLOWLINE)
3. MEASUREMENTS ARE RADIAL OR PERPENDICULAR TO FEATURES.
4. SEE ATTACHED PRELIMINARY PLAT FOR PROPERTY AND CURVE DATA.

LIGHTING, WALL / FENCING PLAN NOTES: (UNLESS OTHERWISE INDICATED):

1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
2. LIGHTING PER SHEET 11 STANDARDS:
3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL

F-1 FENCING PLAN LOCATION AND TYPE (REF. SHEET 11)
P TYPICAL PEDESTRIAN / WALKWAY LIGHT
L TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
MS APPROXIMATE SIGN LOCATION
X TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

PROJECT NUMBER: 1004474 05-EPC-1568, 1569
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**MENAU SCHOOL CONDOMINIUMS
 DIMENSION LAYOUT PLAN
 SITE DEVELOPMENT PLAN**

DATE:	2/03/06		SHEET 3 OF 11
SCALE:	1" = 50'		
CREW:	XX/XX		
DRAWN:	CAS/JGG/MMH		
JOB NO.:	N627		
LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING			

DESIGN GUIDELINES

THE PURPOSE OF THESE DESIGN GUIDELINES IS TO PROVIDE A FRAMEWORK FOR THE COMPATIBILITY WITHIN THE SUBDIVISION AND WITH THE SURROUNDING COMMUNITY. THESE STANDARDS, HIGHLIGHTED WITH BULLETS, ARE NOT MEANT TO CURTAIL CREATIVITY, BUT TO CONVEY TO THE DEVELOPER A SENSE OF MEANING AND PLACE, WHERE THERE IS A CONFLICT BETWEEN CITY CODES OR ORDINANCES AND THE DESIGN GUIDELINES HEREIN, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.

THESE DESIGN GUIDELINES LIST REQUIRED DEVELOPMENT STANDARDS TO ENSURE COMPATIBILITY WITHIN THE SUBDIVISION AND WITH THE SURROUNDING COMMUNITY. THESE STANDARDS, HIGHLIGHTED WITH BULLETS, ARE NOT MEANT TO CURTAIL CREATIVITY, BUT TO CONVEY TO THE DEVELOPER A SENSE OF MEANING AND PLACE, WHERE THERE IS A CONFLICT BETWEEN CITY CODES OR ORDINANCES AND THE DESIGN GUIDELINES HEREIN, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.

SITE DESIGN

THE SITE DESIGN FOR THIS CONDOMINIUM PROJECT IS HEAVILY INFLUENCED BY ITS PROXIMITY TO THE HISTORIC MENAUL SCHOOL DISTRICT AND THE NEIGHBORHOODS SURROUNDING THE SITE. MINDFUL OF THAT, THE PROJECT HAS TRIED TO EMULATE THE BUILDING PLACEMENTS FOUND AT THE CAMPUS. THE OPEN SPACES AND THE VIEW CORRIDORS FOUND THROUGHOUT THE SCHOOL CAMPU. THE PROJECT HAS PROVIDED PEDESTRIAN COURTYARDS REMINISCENT OF THE SCHOOL GROUNDS, CONNECTIVITY BY WAY OF 3 AND 4 FOOT TRAILS TO SURROUNDING NEIGHBORHOODS WHILE MINIMIZING THE IMPACTS OF THE EXISTING MANUFACTURING LAND USES WITH EXTENSIVE LANDSCAPING AND DRIVE AISLES.

ENTRANCES TO AND FROM MAJOR ARTERIALS, LIKE MENAUL BLVD, PROVIDE AN AREA FOR A STRONG VISUAL IMPACT AND A SENSE OF ARRIVAL, AND PROVIDE AN AREA TO FOSTER PEDESTRIAN CONNECTIVITY AND PROVIDE MULTI-MODAL LINKAGES FOR RESIDENTIAL USE, ARTICULATED BY WALLED ENTRIES AND LANDSCAPING.

- ALL AREAS WITHIN THE DEVELOPMENT DESIGNED FOR PRIVATE AMENITIES SHALL BE PROVIDED ADEQUATE SHADE FROM INTENSE SUNLIGHT BY LANDSCAPING OR ARCHITECTURAL DEVICES.
- COMMON AND RECREATION AREAS SHALL BE PROVIDED THROUGHOUT THE PROJECT AT AREAS DESCRIBED ON THE SITE DEVELOPMENT PLAN.
- PASSAGES INTO THE SITE SHALL BE OPEN AND VISIBLE FROM THE STREET, WITH AMPLE LIGHTING AND WELL-PLACED LANDSCAPING ELEMENTS.
- THE ADOPTED WALL DESIGN GUIDELINES OF THE CITY SHALL APPLY.

THE DRIVE AISLES WITHIN THE INTERIOR COMMON AREAS WILL BE PRIVATE AND WILL BE AT WIDTHS VARYING FROM FORTY EIGHT- FEET (48') TO TWENTY FOUR- FEET (24'), AND TWENTY- FEET (20') WITH MEDIANS ALONG THE MAIN DRIVE AISLE.

- WHERE FIRE HYDRANTS ARE LOCATED ALONG DRIVE AISLES, THE AISLES WILL BE WIDENED SIX- FEET (6') TO ACCOMMODATE VEHICULAR PASSAGE SHOULD AN EMERGENCY VEHICLE BE PARKED.
- THE MAINTENANCE OF DRIVE AISLES WILL BE THE RESPONSIBILITY OF SPECIFIED HOMEOWNERS ASSOCIATIONS.
- BUILDINGS AND STRUCTURES ERRECTED WITHIN THE SITE SHALL COMPLY WITH ALL CITY OF ALBUQUERQUE ZONING AND BUILDING CODES, AS WELL AS OTHER STATE AND LOCAL CODES AND ORDINANCES.
- ALL PARKING AREAS WITHIN THE SITE SHALL BE SCREENED BY BUILDINGS OR A COMBINATION OF LANDSCAPING ELEMENTS, AND WALLS OR FENCES.
- INTERNAL STREETS SHALL BE SIGNED "NO PARKING" AND POLICED BY THE ASSOCIATION.

PARKING AND BICYCLES

PARKING IS PROVIDED AT EACH UNIT WITH AN ENCLOSED GARAGE. GARAGES WILL PROVIDE FOR AT LEAST ONE CAR WITH MANY OF THE UNITS PROVIDING PARKING FOR TWO AND IN THE DRIVEWAY. OVERFLOW OR VISITOR PARKING BAYS ARE FOUND ALONG THE DRIVE AISLES THROUGHOUT THE DEVELOPMENT WITH HANDICAPPED PARKING PROVIDED.

- THESE BAYS WILL BE SCREENED FROM SURROUNDING BUILDINGS BY LANDSCAPED BERMS, PERIMETER, RETAINING, OR GARDEN WALLS AND/OR LANDSCAPING.
- THERE WILL BE BARRIER CURBS AROUND ALL PARKING AREAS IN ORDER TO PROTECT LANDSCAPING FROM VEHICLES.
- BICYCLE PARKING FOR RESIDENTS SHALL BE PROVIDED AT UNIT CLUSTERS TO PROMOTE ALTERNATIVE VEHICLE USE. BICYCLE REQUIREMENTS ARE 1 SPACE PER 2 DWELLING UNITS FOR RESIDENTIAL LAND USE.
- BICYCLE PARKING (MINIMUM OF 4) AND HANDICAPPED PARKING (MINIMUM OF 2 SPACES) IS REQUIRED FOR THE CLUBHOUSE.

NO PARKING ALONG THE FORMER EDITH BOULEVARD AND ON VEHICULAR PORTIONS OF INTERNAL STREETS IS ALLOWED, EXCEPT WITHIN PARKING BAYS ALONG THE FORMER EDITH (CURBED INDENTS) AND WITHIN INTERNAL PARKING BAYS.

PERIMETER WALLS AND SCREENING

A SET OF DESIGN GUIDELINES, DESIGN MANUAL FOR SUBDIVISION ACCESS AND PERIMETER WALLS, HAVE BEEN ADOPTED BY THE CITY OF ALBUQUERQUE PERTAINING TO ACCESS AND WALLS TO ENHANCE PUBLIC SAFETY AND IMPROVE THE VISUAL QUALITY OF THE STREETScape. THESE GUIDELINES SHALL BE INCORPORATED INTO THIS DEVELOPMENT IN ORDER TO BETTER DEFINE SPACES, BE VISUALLY ATTRACTIVE, AND TO COMPLEMENT THE SITE AND SURROUNDING DEVELOPMENTS. THE INTENT OF THESE GUIDELINES IS TO PROVIDE SUPPLEMENTAL INPUT FOR SCREENING, SERVICE FUNCTIONS, AND SECURITY.

WALL TREATMENTS USED IN THIS DEVELOPMENT WILL CONSIST OF THREE DISTINCT TYPES, COMPOSED OF VARIOUS DESIGN ELEMENTS. ENTRANCE WALLS WILL PROMOTE AN VISUALLY ATTRACTIVE ENTRY, PROMOTING THE DEVELOPMENT NAME AND INCORPORATING A VARIETY OF MATERIALS, SUCH AS STONE, TILE AND STUCCO, ENHANCED WITH LANDSCAPING. DECORATIVE PERIMETER WALLS, WITH A MAXIMUM HEIGHT OF 6 FEET AND STUCCO FINISH, WILL MAKE USE OF COLUMNS AND INDENTS TO PROMOTE VISUAL RELIEF ALONG THE EASTERN EDGE OF THE DEVELOPMENT. PERIMETER WALLS ALONG THE SCHOOL SIDE WILL BE VIEW WALLS, MADE WITH IRON FENCING TO PROVIDE VIEWS INTO THE SCHOOL AND TO PROMOTE A SHARED SPACE BETWEEN THE SCHOOL AND RESIDENTS; AND, INTERIOR PRIVACY WALLS, WITH A MAXIMUM HEIGHT OF 4 FEET, TO CREATE INTIMATE, PRIVATE AREAS FOR EATING AND RELAXING, WHILE STILL RETAINING A FEELING OF COMMUNITY.

- ALL EXTERIOR WALLS WILL RESPECT A 35-FOOT CLEAR SIGHT TRIANGLE AT INTERSECTIONS.
- MECHANICAL EQUIPMENT AND REFUSE ENCLOSURES, WHETHER ON ROOF AREAS OR AT STREET LEVEL, SHALL BE FULLY SCREENED FROM PEDESTRIANS AND MOTORISTS. THE SCREENING SHALL BE GREATER THAN OR EQUAL TO THE TOP OF ALL HVAC EQUIPMENT, INCLUDING SCREEN WALLS. THE WALLS SHALL BE MADE WITH COMPATIBLE MATERIALS AND DESIGNED TO INTEGRATE ARCHITECTURALLY INTO THE BUILDING.
- ALL COMMON AREA REFUSE BINS SHALL BE ENCLOSED WITHIN A SOLID WALL, WITH GATES AND ORIENTATION ACCEPTABLE TO THE SOLID WASTE MANAGEMENT.
- THE USE OF CHAINLINK, RAZOR WIRE, BARBED WIRE, OR VINYL FENCING SHALL NOT BE PERMITTED.

ROAD AND DRIVE AISLE LAYOUT

THE INTELLIGENT LAYOUT OF ROADWAYS IS A PREREQUISITE TO BENEFICIAL USE OF SPACE WITHIN A SITE. A SITE MUST HAVE AN ACCESS SYSTEM CAPABLE OF SAFE AND DIRECT VEHICULAR AND PEDESTRIAN TRAVEL.

ALL DRIVE AISLES LOCATED WITHIN THIS DEVELOPMENT WILL BE PRIVATE. THE DRIVE AISLES WILL BE GATED AT MENAUL BLVD TO THE SOUTH AND AT EDITH BLVD/CLAREMONT AVE TO THE NORTH, WITH POSTED RESTRICTIONS FOR DAILY USE. THE MAIN DRIVE AISLE CONNECTING MENAUL TO EDITH WILL HAVE WIDTHS OF FORTY EIGHT- FEET (48') TO TWENTY FOUR- FEET (24'), WITH MEDIANS IN THE WIDER DRIVE AISLES. ALL INTERSECTING INTERNAL DRIVE AISLES WILL BE TWENTY- FEET (20'). DRIVE AISLES WILL BE WIDENED TO ACCOMMODATE EMERGENCY VEHICLES PARKED AT FIRE HYDRANTS. CURVE RADII ARE THIRTY- FEET (30') TO ACCOMMODATE EMERGENCY VEHICLES.

- CROSSWALK MATERIALS AT INTERSECTIONS SHALL BE DISTINGUISHED FROM THE EXISTING ROADWAY MATERIAL WITH STRIPING OR TEXTURED CONCRETE TO ELIMINATE THE CONCERNS OF UNEVEN SURFACES AND CREVICES AND TO PROVIDE DEFINITION OF THE CROSSING.

SITE/BUILDING LIGHTING

LIGHTING SERVES TO ENHANCE THE SAFETY, SECURITY, AND VISUAL AESTHETICS OF THE PROPERTY. IT IS IMPORTANT TO CONSIDER THE LOCATION OF LIGHTING, THE HEIGHT AND PLACEMENT, AND DESIGN PREREQUISITES FOR ILLUMINATION.

- LIGHTING SHALL BE A MAXIMUM OF 12- FEET HIGH FOR LIGHT STANDARDS FOR WALKWAYS AND 16- FEET FOR ROADWAYS AND PARKING AREAS WITHIN THE DEVELOPMENT.
- SODIUM LIGHTING IS NOT ACCEPTABLE.

- STREET LIGHTING SHALL BE SHIELDED SOURCE, DOWN-DIRECTED, AND THE COLOR, STYLE AND DESIGN OF FIXTURES MUST BE CONSISTENT AND RELATE STYLISTICALLY TO THE ARCHITECTURE OF THE SITE AND SURROUNDING BUILDINGS.

PEDESTRIAN CONNECTIONS AND TRAILS

PEDESTRIAN CONNECTIONS PROVIDE DIRECT ACCESS TO VARIOUS POINTS WITHIN THE DEVELOPMENT, AS WELL AS TO OUTLYING AREAS, INCLUDING MENAUL SCHOOL, TRANSIT LOCATIONS, BIKEWAYS AND THE SURROUNDING NEIGHBORHOODS. THE FOLLOWING CRITERIA SERVES TO CREATE A PEDESTRIAN FRIENDLY ENVIRONMENT AND PROMOTE ALTERNATIVE MODES OF TRAVEL.

- FOUR- FOOT SIDEWALKS WILL BE PROVIDED ALONG THE MAIN DRIVE AISLE BETWEEN THE RESIDENTIAL DEVELOPMENT AND THE SCHOOL.
- THREE- FOOT MEANDERING, PRIVATE WALKWAYS SHALL BE PROVIDED THROUGHOUT THE RESIDENTIAL COMMON AREAS, PROVIDING ACCESS TO THE CLUBHOUSE, POOL AND RECREATIONAL AREAS WITHIN THE DEVELOPMENT.
- A PRIVATE WALKWAY SHALL BE PROVIDED ALONG ONE OR BOTH SIDES OF INTERNAL DRIVE AISLES LOCATED WITHIN THE RESIDENTIAL COMMON AREAS. CONCRETE COLOR = BRICK RED.
- THE MAXIMUM SLOPE OF TRAILS AND WALKWAYS SHALL MEET A.D.A. REQUIREMENTS.
- PRIVATE PEDESTRIAN LINKAGES SHALL ALIGN WITH PUBLIC PATHS TO CONNECT AND INTEGRATE THE SITE.
- PEDESTRIAN STREET CROSSINGS ON INTERNAL STREETS, WHERE SHOWN, SHALL BE BRICK COLORED, IMPRESSED CONCRETE (E.G. "BOMANITE") WITH A COBBLESTONE OR BRICK FINISH. IMPRESSIONS MUST COMPLY WITH A.D.A. STANDARDS (1/8" MAX.).

LANDSCAPE

THE OVERALL LANDSCAPE CONCEPT WILL UNIFY THE SITE INTO A SERIES OF OUTDOOR LIVING PLACES WHERE PEOPLE CAN WORK, PLAY, AND RELAX. LANDSCAPING INCLUDES AN UNDERSTANDING OF THE SITE LOCALE, EXISTING SITE CONDITIONS, THE DESIRED USES, AND THE RELATIONSHIP OF LOCAL MUNICIPAL POLICIES GOVERNING BUILDINGS AND LANDSCAPE. THESE GUIDELINES SUPPLEMENT THE CITY'S REQUIREMENTS FOUND IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, THE POLLEN ORDINANCE, AND OTHER LANDSCAPE REGULATIONS INCLUDED IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE.

- LANDSCAPE MATERIALS SHALL BE USED TO TRANSITION BETWEEN DIFFERING LAND USES. A MINIMUM OF TWENTY- FEET (20'), INCLUDING DRIVE AISLES, SHALL BE PROVIDED TO BUFFER UNLIKE LAND USES. EVERGREEN AND/OR CONIFER TREES SHALL BE USED WITHIN SUCH AREAS.
- LANDSCAPE DESIGN ALONG THE DRIVE AISLES, ESPECIALLY ALONG THE SHARED DRIVE AISLE WITH THE SCHOOL, SHALL PRESENT A COMPLEMENTARY LANDSCAPE PALETTE AND SHALL BE CONSISTENT THROUGHOUT THE DEVELOPMENT.
- LANDSCAPE ELEMENTS SHALL BE USED TO REINFORCE THE STREETScape.
- SITE AMENITIES, SUCH AS RAMADAS, COURTYARDS, LIGHTING, RECREATIONAL FACILITIES, BOLLARDS, AND OUTDOOR FURNITURE SHALL BE PART OF THE DEVELOPMENT PLAN AND BE COMPATIBLE WITH THE ARCHITECTURAL AND LANDSCAPE TREATMENT OF THE SITE.
- A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE DESIGNED AS PART OF THE LANDSCAPING PLAN. THE SYSTEM SHALL BE DESIGNED TO AVOID OVERSPRAYING WALKS, BUILDINGS, WALLS, ETC.
- HOMEOWNERS ASSOCIATIONS SHALL MAINTAIN ALL COMMON AREA LANDSCAPING, AMENITIES, AND INTERIOR TRAILS.
- THE CITY'S WATER CONSERVATION ORDINANCE APPLIES TO ALL LANDSCAPING.

REFUSE

- A COMMON REFUSE CONTAINER WILL BE PROVIDED BY THE CLUBHOUSE FOR PICKUP BY THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT (30 C.Y. SUGGESTED).
- INDIVIDUAL AND COMMON-UNIT COLLECTION AREAS (ENCLOSED 3'- HIGH IRON FENCING WITH OPAQUE SCREENING) ARE DESIGNATED FOR PERIODIC PICKUP BY INDEPENDENT CARRIER OR THE ASSOCIATION. THE LOCATIONS SHALL BE DISCREET, LANDSCAPED (WHERE POSSIBLE) AND SHALL NOT BE PREDOMINATE IN THE VIEWS OF THE FRONT OF THE UNITS.
- IN THE ALTERNATIVE, THE ASSOCIATION MAY REQUIRE INDIVIDUAL UNIT CANNISTERS FOR PERIODIC COLLECTION AND TRANSPORT (CITY OF ALBUQUERQUE OR BY INDEPENDENT CONTRACT WITH THE ASSOCIATION).

SIDEWALK AND PAVEMENT COLORATION FOR PEDESTRIAN TRAFFIC:

WALKWAYS CROSSING PAVEMENT (SHEETS 2 AND 3 LOCATIONS): IMPRESSED CONCRETE (E.G. BOMANITE O.A.E.) PATTERN "COBBLESTONE", COLOR = BRICK RED/BROWN.

3' INTERNAL WALKS ADJACENT TO PRIVATE STREETS: P.C.C. CONCRETE, SAND FINISH, APPLIED FINISH COLOR = BRICK RED/BROWN.

4' STANDARD SIDEWALKS AND VEHICULAR DRIVEPADS: SAND OR BROOM FINISH, COLOR = NATURAL.

E.P.C. CONDITIONS OF SITE PLAN APPROVAL:

FILE: Project # 1004474
05EPC-01568 Zone Map Amendment
05EPC-01569 EPC Site Development Plan Subdivision

On December 15, 2005 the Environmental Planning Commission voted to approve Project 1004474/05EPC 01568, a zone map amendment from SU-1/Private School with Incidental Facilities and M-1 to SU-1 PRD, for a +/-17-acre portion of Tracts F1, 3, 1A1B, BA, 1C, 1B and 1A1A2, MRGD Map 36, to include abandoned portions of the Alameda Lateral and Edith Boulevard street right-of-way.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that any conditions of approval are adequately addressed.

3. All format-related deficiencies that are brought to the applicant's attention shall be satisfactorily addressed on the final site plan for subdivision. Correct legal descriptions for all new divisions of land within the project area shall be reflected on the final site plan for subdivision. All design guidelines relative to this site plan shall be assembled onto one sheet, two sheets if necessary, and must be clearly discernable. Only one version of a landscape plan shall be submitted with the final site plan.

4. For the purposes of clarity, the final site plan for subdivision shall include original survey information as derived from the relative previous plats for all relative tracts, a title caption such as "Area Being Replatted," a spatial diagram of the existing platted area that is affected under the proposed replat, and a reason for the replat.

5. With respect to engineering considerations, the following conditions shall apply:

a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalks and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

b. Rename "Traffic Impact Study" to "Queuing Analysis."

c. Per Transportation Development Staff, completion of required improvements as identified in the queuing analysis is required (i.e. 100' right and/or 100' left turn lanes and gate placements).

d. Provide site distance analysis (per AASHTO requirements) at the intersections of Menaul and Edith and Claremont and Broadway.

e. Platting must be a concurrent DRB action.

f. Site plan shall comply and be designed per DPM Standards.

g. Construction of a 10-foot wide multi-purpose trail along the north side of Menaul Boulevard between Edith Boulevard (referenced on the site plan as an unnamed public street) and Broadway Boulevard as designated on Long Range Bikeways System.

6. With respect to site plan layout and configuration, the following conditions shall apply:

a. The final site plan shall include more staggering of front building setbacks for buildings 15 through 17, 19, 21 and 23.

b. The final site plan shall provide for additional driveway lengths for buildings 35 and 44.

c. The applicant shall reorient buildings 35 through 38 in order to provide more common recreational space on the final site plan. The applicant shall also develop the identified landscape area south of the PNM property and west of building four (4) for small-scale recreational space.

d. The final site plan shall call out all areas designated for common open and recreational space. The applicant shall provide, at a minimum, tables, benches, barbecue pits and at least one "hot lot," details on these amenities shall be provided on the final site plan.

e. To preserve the established irrigation rights of the Stronghurst Neighborhood Association, the applicant shall either impose a 20' by 100' "no-build area" and access easement between building 2, the west right-of-way line of Claremont Avenue and the west boundary of the adjacent PNM property for the benefit of the Association or provide for reasonable and suitable alternative accommodations for said Association. Either a signature on the site plan by an authorized agent of the Association or a written endorsement from the Association accompanying the final site plan submittal shall constitute fulfillment of this condition.

f. On-street parking accommodations shall be provided along the former Edith Boulevard, where practical.

g. A minimum 20-foot landscape buffer shall be maintained along the portion of the eastern project boundary that abuts the Broadbent Business Park. Landscaping shall include a 60-40 mix of coniferous to deciduous trees that will achieve a minimum height of 25 feet. Groundcover shall be predominantly all-seasonal.

h. Prior to final site plan submittal, the applicant shall furnish a feasibility study, with executive summary, on the adaptive reuse of the Ross Cottage. This report is to be certified by an architect experienced in historic preservation that is registered by the State of New Mexico.

i. If determined to be salvageable, the Ross Cottage shall be relocated to a suitable alternative location within the Menaul School campus, preferably the west side of the former Edith Boulevard in a position that reinforces the edge of the school campus along this street.

j. The applicant shall make provisions for the recording and archiving of the remaining contributing cottages to mitigate their demolition.

k. Any on-site excavations shall be monitored or pre-tested for any possible discovery of significant archeological resources.

7. With respect to considerations regarding vehicular access, parking and circulation, the following conditions shall apply:

a. The applicant shall install reasonable measures prohibiting on-street parking outside of the former Edith Boulevard subject to Fire Department approval.

b. The final site plan shall include minimum guidelines on pedestrian crossings. Pedestrian walkways through vehicular areas shall be clearly demarcated through such paving materials as colored concrete, brick or concrete pavers. Clear and distinct separation between pedestrian walkways and vehicular travel or parking areas shall be maintained. Strong pedestrian connections between the school and residential components shall be encouraged.

c. Potential vehicular cut-through access in front of buildings 15 and 16 shall be eliminated.

d. A minimum of two (2) disability parking spaces and parking accommodations for four (4) bicycles shall be provided for the clubhouse.

8. With respect to considerations regarding lighting, security, walls and fences, the following conditions shall apply:

a. The applicant shall ensure that any on-site lighting throughout the overall development is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution.

b. All pedestrian walkways and common areas shall be adequately illuminated. Light standards for street illumination shall not exceed sixteen feet (16') in height, and walkway illumination shall not exceed twelve feet (12') in height. The final site plan shall clearly demonstrate the type and placement of adequate site lighting within the development.

c. The final site plan shall include additional language prohibiting common refuse enclosures from being prominently placed between any public or private street and any building facade. Details on refuse accommodations shall be provided on the final site plan.

d. Any proposed perimeter wall or fence along the former Edith Boulevard or along an abutting major thoroughfare shall contain full wrought-iron view fencing with masonry pilasters. No solid walls along the private Edith Street shall be permitted. Standards, materials and diagrams for all development-related walls shall be demonstrated on the final site plan.

1. With respect to considerations regarding architecture and signage, the following conditions shall apply:

a. The site plan shall impose a maximum building height not to exceed 28.75 feet.

b. Garage door design or any alternate design or building orientation that relegates garage door opening to a less predominant feature is required. -Overhead garage doors with architectural windows coupled with carriage doors with windows as shown in the colored presentation is acceptable.

c. All roofing shall consist of concrete tiles. No asphalt shingle roofing shall be allowed.

d. The buildings shall employ exterior color schemes that are complementary to, and do not dominate, the older primary buildings within the Menaul School campus. The use of pastels, contrasting tints, two-tone exteriors, lightened recesses and/or alternating building colors shall be encouraged. Overall color schemes solely reliant upon earth tones, a single color or a variation of a single color shall not be allowed. A color palette shall be provided on the final site plan.

e. The final site plan shall include details on sign design and illumination for all entrance signs pertaining to the residential development. Entrance signs shall be limited to monument signs only. Such signage shall be consistent with, or complementary to, any signage that is used by the Menaul School.

10. With respect to considerations regarding landscaping, the following conditions shall apply:

a. The final landscape plan shall include associative icons with the proposed plant palette. The final landscape plan shall also be formatted in accordance with section 14.16.3.10.C of the Zoning Code.

b. The final landscape plan shall include revised language requiring all street tree plantings to be in accordance with Article Six of the Municipal Code. Random or clustered streetscape shall not be permitted.

c. The final landscape plan shall provide for substantial vegetative shading of all common areas and open spaces. A minimum basis shall be one (1) shade tree per 400 square feet of open area and one (1) shade tree per every thirty (30) linear feet of pedestrian walkway.

d. Proposed landscaping that is visible from any vantage and point along Menaul shoul, at a minimum, contain a similar amount of lush vegetation that is found at the front of the Menaul School campus. Proposed streetscape and median landscaping shall not compromise clear sight distance for traffic emerging from the development onto Menaul.

e. The applicant shall reduce the amounts of impervious cover near buildings 23 and 24 and near buildings 1 and 2 through the use of landscape islands, roundabouts or other similar treatments.

11. The project will comply with all SWMD ordinances and requirements.

BUILDING COLOR PALETTE:

BUILDING COLOR PALETTE:

MATERIALS	MFG.	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO	SHERWIN WILLIAMS	SW2813	SW6116	SW2329
STUCCO HIGHLIGHT	SHERWIN WILLIAMS	SW2814	SW0045	SW1350
ACCENT	SHERWIN WILLIAMS	SW7062	SW6187	SW2731
FASCIA	SHERWIN WILLIAMS	SW6146	SW6068	SW2069
TRIM	SHERWIN WILLIAMS	SW6119	SW6119	SW2059
GARAGE 2-CAR	SHERWIN WILLIAMS	SW2813	SW6116	SW2329
GARAGE 1-CAR	SHERWIN WILLIAMS	SW2813	SW6116	SW2329
ROOF	MONIER LIFETILE	1 BCCS 6464	1 BCCS 6464	1 BCCS 6464

BUILDING COLOR UNIT / APPLICATION:

BUILDING LOCATION CODE (SEE SITE PLAN)	
COLOR SCHEME 1	1, 4, 6, 8, 10, 16, 18, 21, 24, 26, 28, 30, 33, 35, 40, 42, 44
COLOR SCHEME 2	2, 5, 9, 12, 13, 15, 17, 20, 23, 25, 27, 32, 34, 36, 38, 41, 43
COLOR SCHEME 3	3, 7, 11, 14, 19, 22, 29, 31, 37, 39, 45, CLUBHOUSE

GENERIC NAMES (SHERWIN WILLIAMS):

SW0045	ANTIQUARIAN BROWN
SW1350	MEDIUM BROWN
SW2059	SAND
SW2069	FALCON BROWN
SW2329	BRANDYWINE
SW2731	OLIVE BROWN
SW2813	DOWNING STRAW
SW2814	ROOKWOOD ANTIQUE GOLD
SW6068	BREVITY BROWN
SW6116	TATAMI TAN
SW6119	ANTIQUE WHITE
SW6146	UMBER
SW6187	ROSEMARY
SW7062	ROCKBOTTOM (SLATE)

PROJECT NUMBER: 1004474 05-EPC-1568, 1569

F:\PROJECTS\N627 KBHOME\Menuaul School\SDP\Site Plan Subd\Plan_ver5 020206.dwg

MENAU SCHOOL CONDOMINIUMS DESIGN GUIDELINES

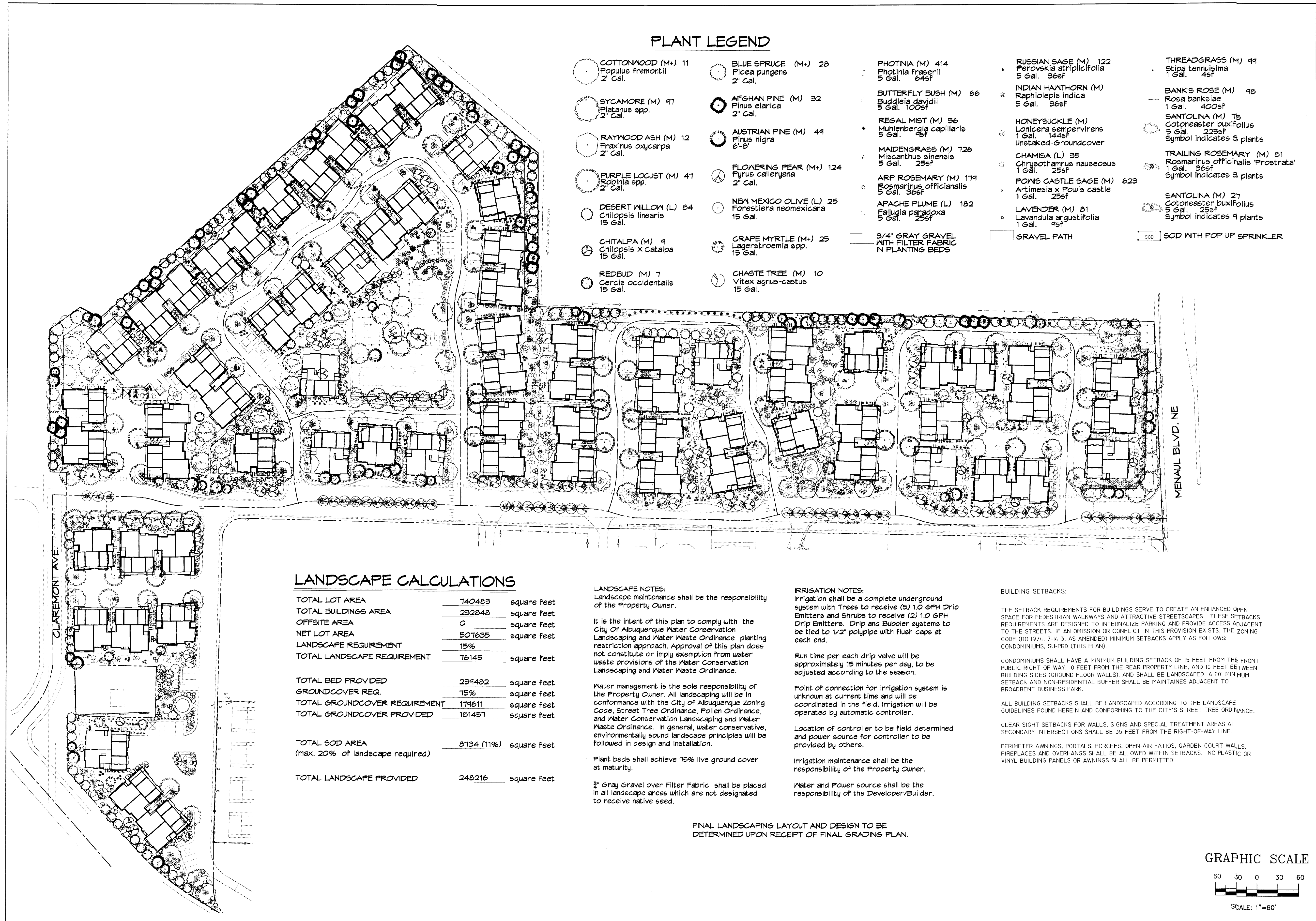
DATE: 3/6/2006
SCALE: AS SHOWN
DRAWN: XX/XX
JOB NO.: N627

community sciences corporation

LAND PLANNING P.O. Box 1328
ENGINEERING Corrales, N.M. 87048
SURVEYING

SHEET

5 OF 11



PLANT LEGEND

- COTTONWOOD (M+) 11
Populus fremontii
2" Gal.
- SYCAMORE (M) 97
Platanus spp.
2" Gal.
- RAYWOOD ASH (M) 12
Fraxinus oxycarpa
2" Gal.
- PURPLE LOCUST (M) 47
Robinia spp.
2" Gal.
- DESERT WILLOW (L) 84
Chilopsis linearis
15 Gal.
- CHITALPA (M) 9
Chilopsis x Cataiba
15 Gal.
- REDBUD (M) 7
Cercis occidentalis
15 Gal.
- BLUE SPRUCE (M+) 28
Picea pungens
2" Cal.
- AFSHAN PINE (M) 32
Pinus elarica
2" Cal.
- AUSTRIAN PINE (M) 49
Pinus nigra
6"-8"
- FLOWERING PEAR (M+) 124
Pyrus calleryana
2" Cal.
- NEW MEXICO OLIVE (L) 25
Forestiera neomexicana
15 Gal.
- GRAPE MYRTLE (M+) 25
Ligustrum spp.
15 Gal.
- CHASTE TREE (M) 10
Vitex agnus-castus
15 Gal.
- PHOTINIA (M) 414
Photinia fraserii
5 Gal. 64sf
- BUTTERFLY BUSH (M) 66
Buddleia davidii
5 Gal. 100sf
- REGAL MIST (M) 56
Muhlenbergia capillaris
5 Gal. 49sf
- MAIDENGRASS (M) 126
Miscanthus sinensis
5 Gal. 25sf
- ARP ROSEMARY (M) 174
Rosmarinus officianalis
5 Gal. 36sf
- APACHE PLUME (L) 182
Falugia paradoxa
5 Gal. 25sf
- 3/4" GRAY GRAVEL WITH FILTER FABRIC IN PLANTING BEDS
- GRVEL PATH
- SOD WITH POP UP SPRINKLER
- RUSSIAN SAGE (M) 122
Perovskia atriplicifolia
5 Gal. 36sf
- INDIAN HANTHORN (M) 5 Gal. 36sf
Raphiolepis Indica
- HONEYSUCKLE (M) 1 Gal. 144sf
Lonicera sempervirens
- CHAMISA (L) 35
Chrysothamnus nauseosus
1 Gal. 25sf
- POINIS CASTLE SAGE (M) 623
Artemisia x Powis castle
1 Gal. 25sf
- LAVENDER (M) 81
Lavandula angustifolia
1 Gal. 49sf
- THREADGRASS (M) 99
Stipa tenuisima
1 Gal. 49sf
- BANKS ROSE (M) 98
Rosa banksiae
1 Gal. 420sf
- SANTOLINA (M) 75
Cotoneaster buxifolius
5 Gal. 225sf
Symbol indicates 3 plants
- TRAILING ROSEMARY (M) 81
Rosmarinus officianalis Prostrata
1 Gal. 36sf
Symbol indicates 3 plants
- SANTOLINA (M) 27
Cotoneaster buxifolius
5 Gal. 25sf
Symbol indicates 9 plants

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	740483	square feet
TOTAL BUILDINGS AREA	232848	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	507635	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	76145	square feet
TOTAL BED PROVIDED	239492	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	179611	square feet
TOTAL GROUNDCOVER PROVIDED	181457	square feet
TOTAL SOD AREA (max. 20% of landscape required)	8734 (11%)	square feet
TOTAL LANDSCAPE PROVIDED	248216	square feet

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

BUILDING SETBACKS:

THE SETBACK REQUIREMENTS FOR BUILDINGS SERVE TO CREATE AN ENHANCED OPEN SPACE FOR PEDESTRIAN WALKWAYS AND ATTRACTIVE STREETSCAPES. THESE SETBACKS REQUIREMENTS ARE DESIGNED TO INTERNALIZE PARKING AND PROVIDE ACCESS ADJACENT TO THE STREETS. IF AN OMISSION OR CONFLICT IN THIS PROVISION EXISTS, THE ZONING CODE (RO 1974, 7-14-3, AS AMENDED) MINIMUM SETBACKS APPLY AS FOLLOWS: CONDOMINIUMS, SU-PRD (THIS PLAN).

CONDOMINIUMS SHALL HAVE A MINIMUM BUILDING SETBACK OF 15 FEET FROM THE FRONT PUBLIC RIGHT-OF-WAY, 10 FEET FROM THE REAR PROPERTY LINE, AND 10 FEET BETWEEN BUILDING SIDES (GROUND FLOOR WALLS), AND SHALL BE LANDSCAPED. A 20' MINIMUM SETBACK AND NON-RESIDENTIAL BUFFER SHALL BE MAINTAINED ADJACENT TO BROADBENT BUSINESS PARK.

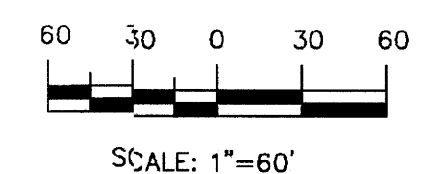
ALL BUILDING SETBACKS SHALL BE LANDSCAPED ACCORDING TO THE LANDSCAPE GUIDELINES FOUND HEREIN AND CONFORMING TO THE CITY'S STREET TREE ORDINANCE.

CLEAR SIGHT SETBACKS FOR WALLS, SIGNS AND SPECIAL TREATMENT AREAS AT SECONDARY INTERSECTIONS SHALL BE 35- FEET FROM THE RIGHT-OF-WAY LINE.

PERIMETER AWNINGS, PORTALS, PORCHES, OPEN-AIR PATIOS, GARDEN COURT WALLS, FIREPLACES AND OVERHANGS SHALL BE ALLOWED WITHIN SETBACKS. NO PLASTIC OR VINYL BUILDING PANELS OR AWNINGS SHALL BE PERMITTED.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

GRAPHIC SCALE



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7909 Edith N.E.
Albuquerque, NM 87184
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email@hillslope.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLOIN #0007

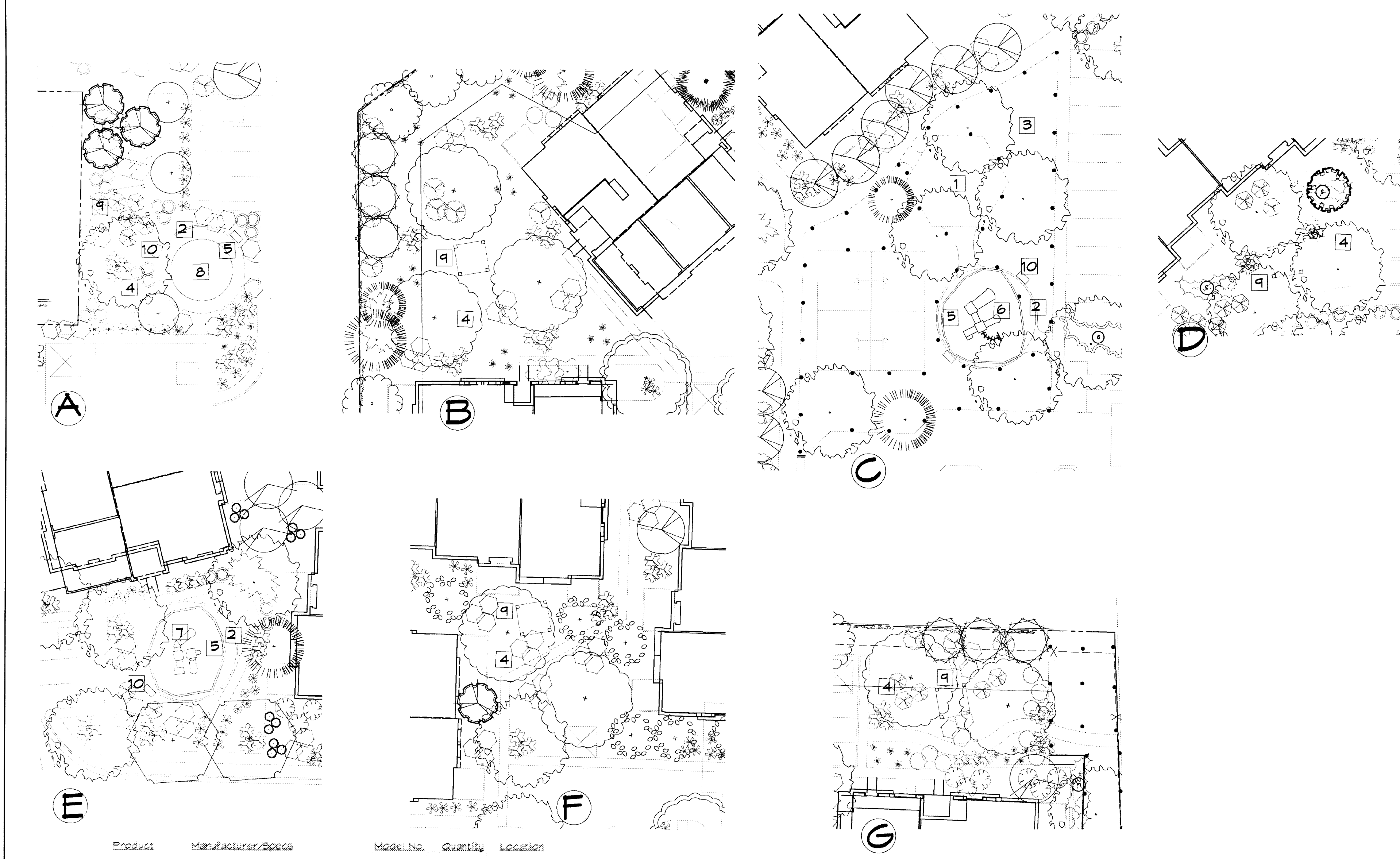
KB HOME, INC. - MENAUL SCHOOL ALBUQUERQUE, NV LANDSCAPE PLAN

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The Hillslope
LANDSCAPE ARCHITECTS & CONTRACTORS

DESIGN BY	DATE
REVISION #	DATE
4	7.6.05

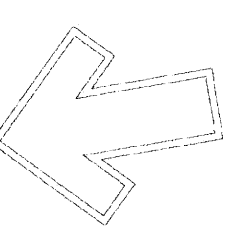
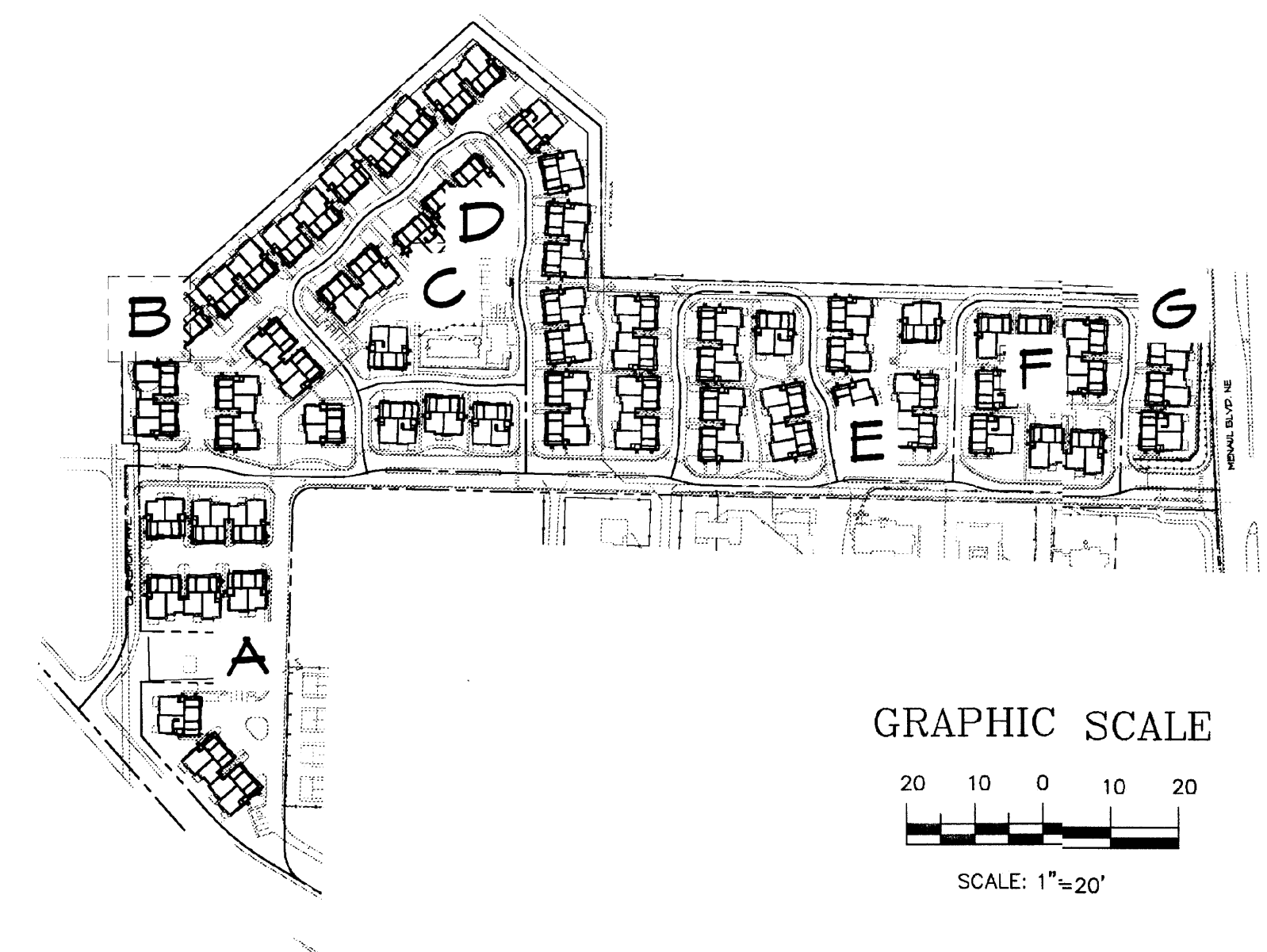
SHEET #
L1 of L3



KEYED NOTES

- 1 POLYGON SHADE STRUCTURE BY OTHERS
- 2 6" x 6" CONCRETE MONOCURB
- 3 SOD LAWN
- 4 3/4" GREY GRAVEL 3" DEEP W/ FF
- 5 12" DEEP PLAY SAND
- 6 PLAY STRUCTURE AGES 5-12 PLAYMAKERS MODEL NO. 500-0401 (SEE DETAIL SHEET 2)
- 7 PLAY STRUCTURE AGES 2-5 EXPLORERS MODEL NO. 238-0324 (SEE DETAIL SHEET 2)
- 8 GEODOME CLIMBER BY PLAYWORLD SYSTEMS AGES 5-12 (SEE DETAIL SHEET 2)
- 9 10' x 10' RAMADA WITH 6' PICNIC TABLE-SURFACE MOUNT MODEL AND BBQ GRILL (SEE DETAIL SHEET 2)
- 10 4' BENCH WITH ARM RESTS ON SIDES SURFACE MOUNT (SEE DETAIL SHEET 2)

Product	Manufacturer/Specs	Model No.	Quantity	Location
Playstructure	Playworld Systems Capacity: up to 20 children ages 5-12 Size: 18'x17'x10' Use Zone: 32x30 Colors: Forest green posts, red components, beige and green plastics, yellow desks and stairs	500-0401	1	Cubhouse
Playstructure	Playworld Systems Capacity: up to 23 children ages 2-5 Size: 15'x12'x11' Use Zone: 28x25 Colors: Forest green posts, red components, beige and green plastics, yellow desks and stairs	238-0324	1	Blgd 9e
Playstructure	Playworld Systems Capacity: up to 7 children ages 5-12 Size: 8' dia x4' Use Zone: 20' dia Colors: Forest green	ZZPD1051	1	Blgd 4
Ramada	The Milltop Landscaping Size: 10'x10' Material: Cedar Stair: Olympic 411	N/A	5	Blgd 22 Blgd 34 Blgd 44 Blgd 7 Blgd 4
6' Picnic Table	Playworld Systems Colors: Beige top, Hunter Green Frame	ZZXX1401	5	Blgd 22 Blgd 34 Blgd 44 Blgd 7 Blgd 4
Park BBQ Grill	Playworld Systems	ZZXX1491	5	Blgd 22 Blgd 34 Blgd 44 Blgd 7 Blgd 4
4' Bench	Playworld Systems Colors: Beige seat, Forest Arm/Legs	ZZXX14845	6	Cubhouse (2) Blgd 9e (2) Blgd 4 (2)



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cma@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON
RUPDT

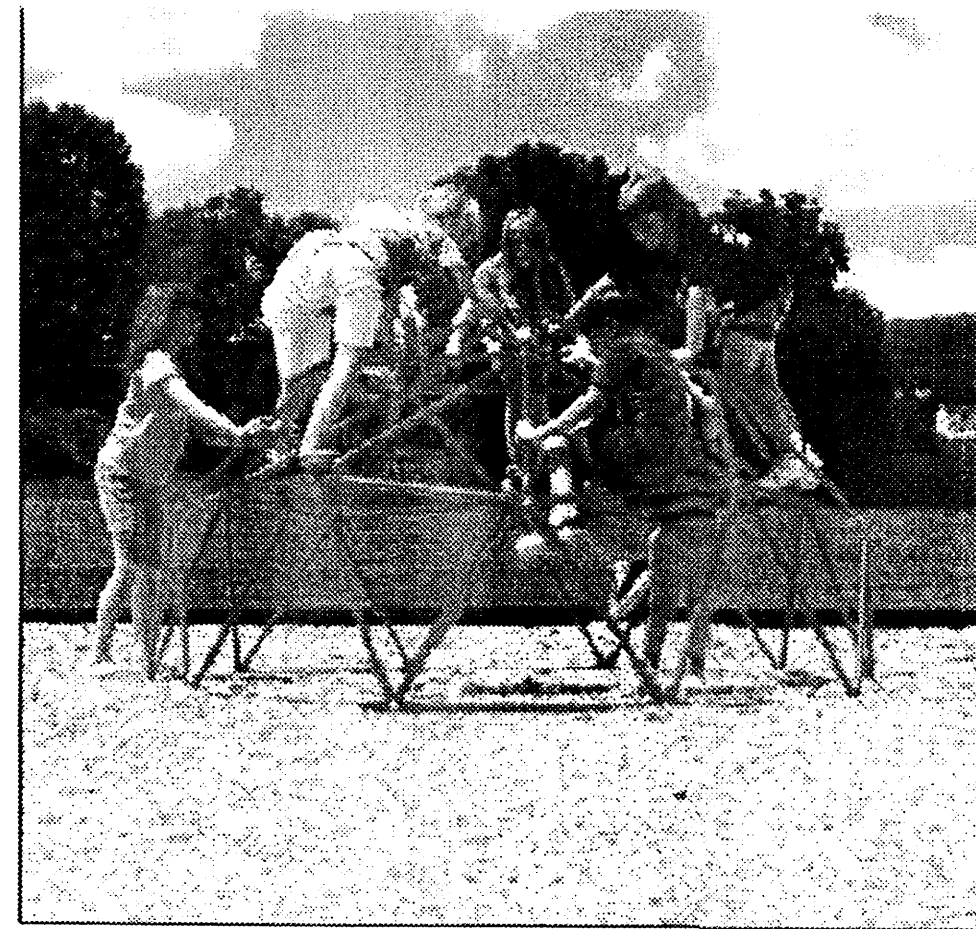
KB HOME, INC. - MENAUL SCHOOL
ALBUQUERQUE, NM
COMMON ARLAS

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DRAWN BY: JDF
REVISION # 4-CJ
DATE: 2-15-06

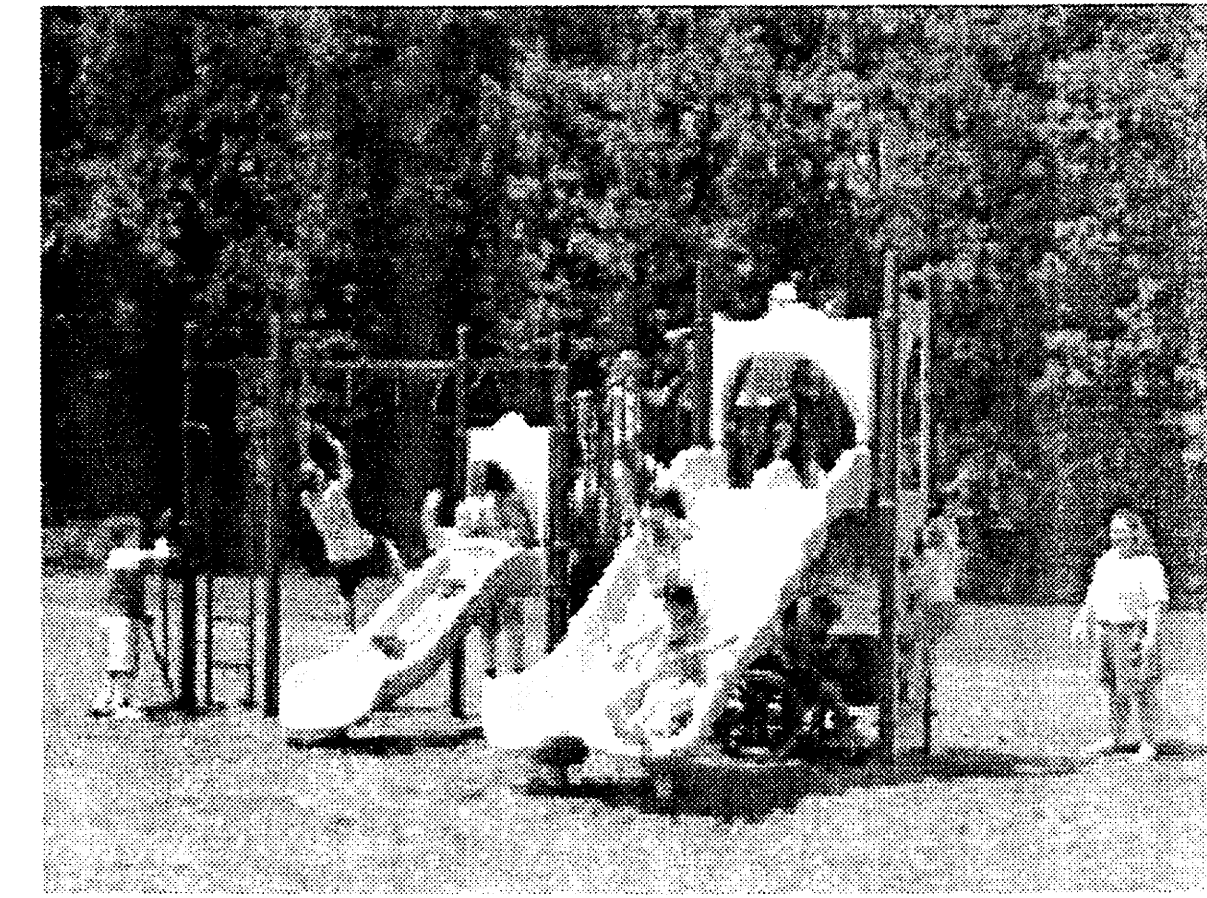
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L2 or L3



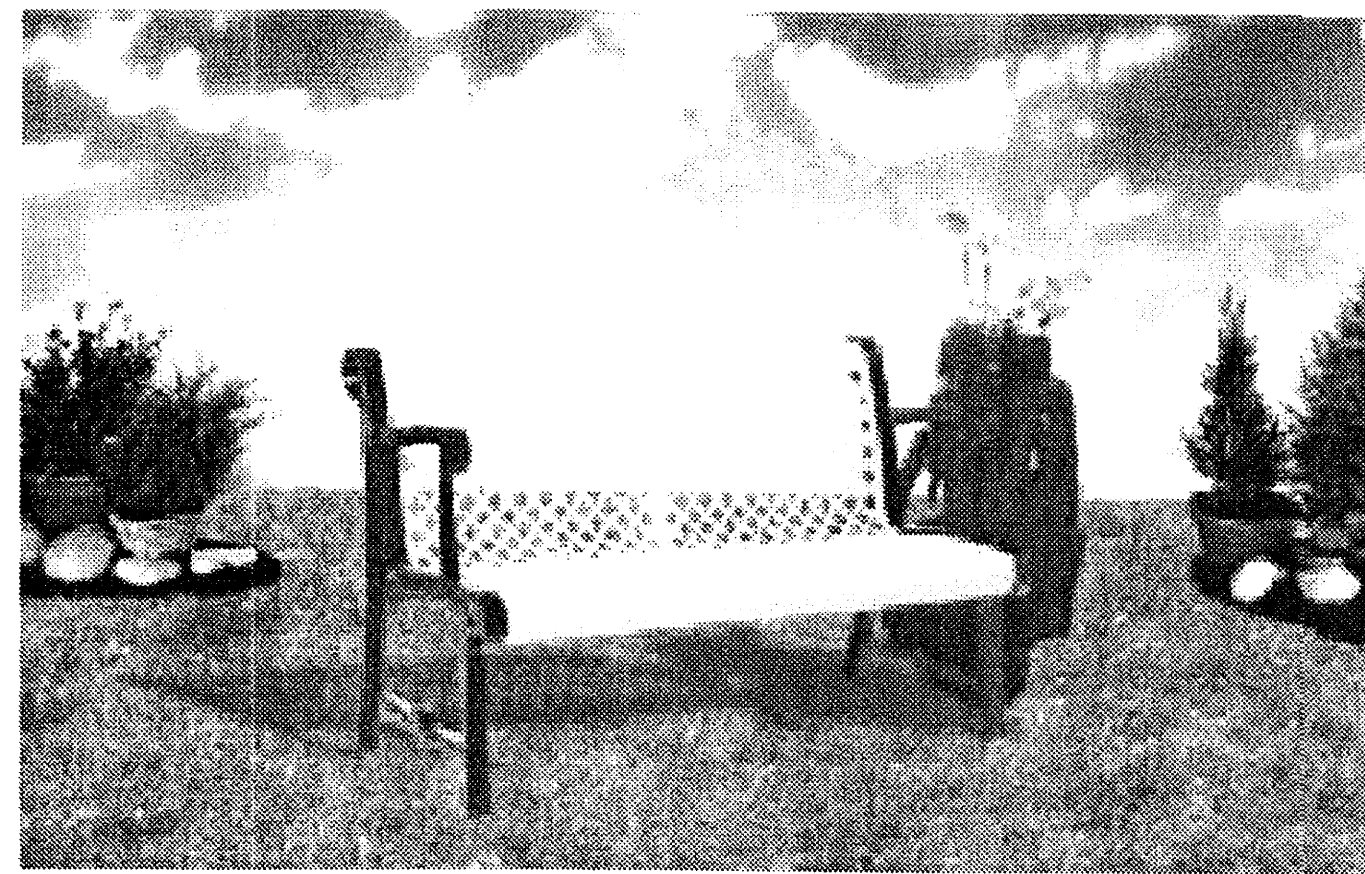
1 GEODOME CLIMBER AGES 5-12
not to scale



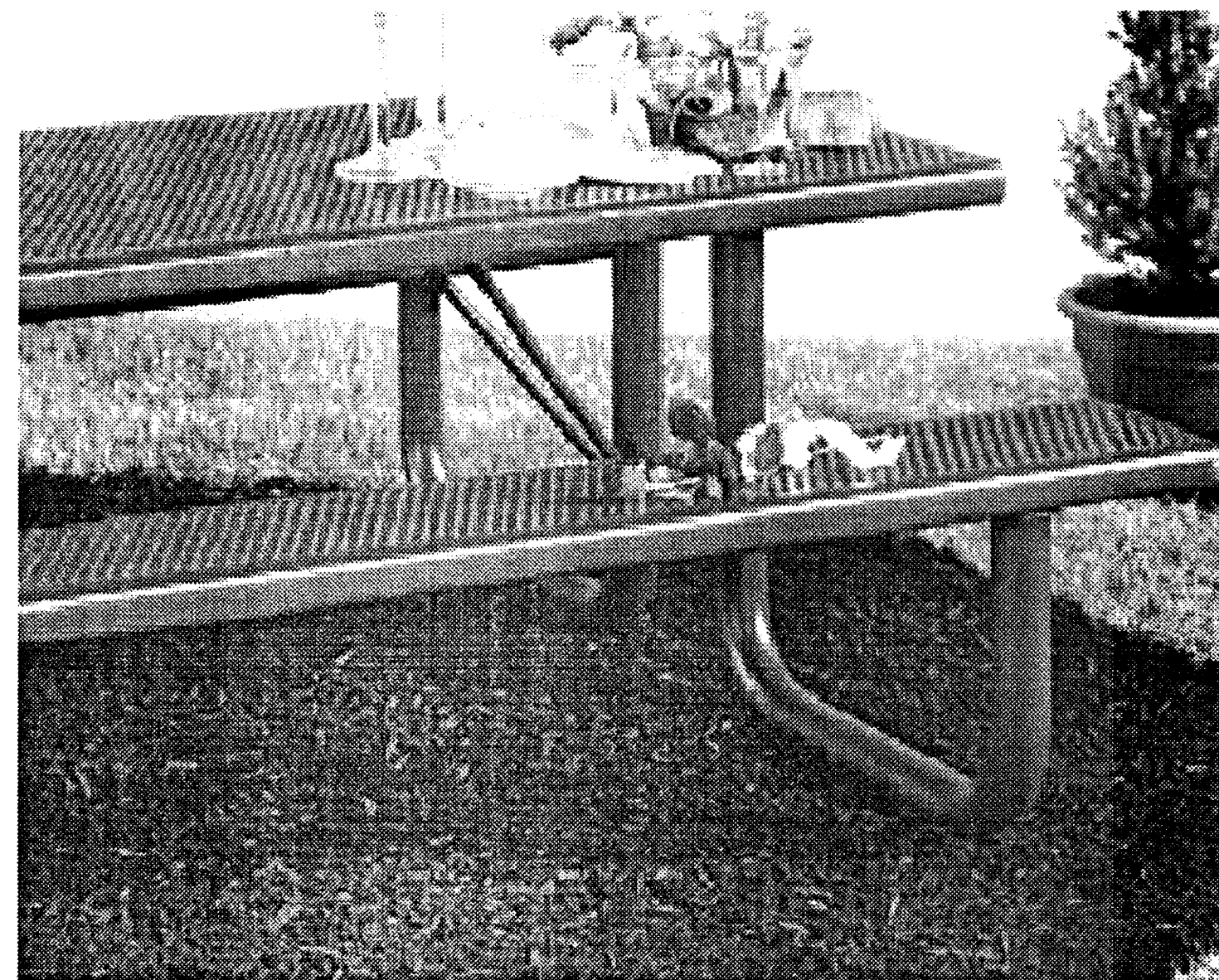
2 PLAYSTRUCTURE AGES 2-5
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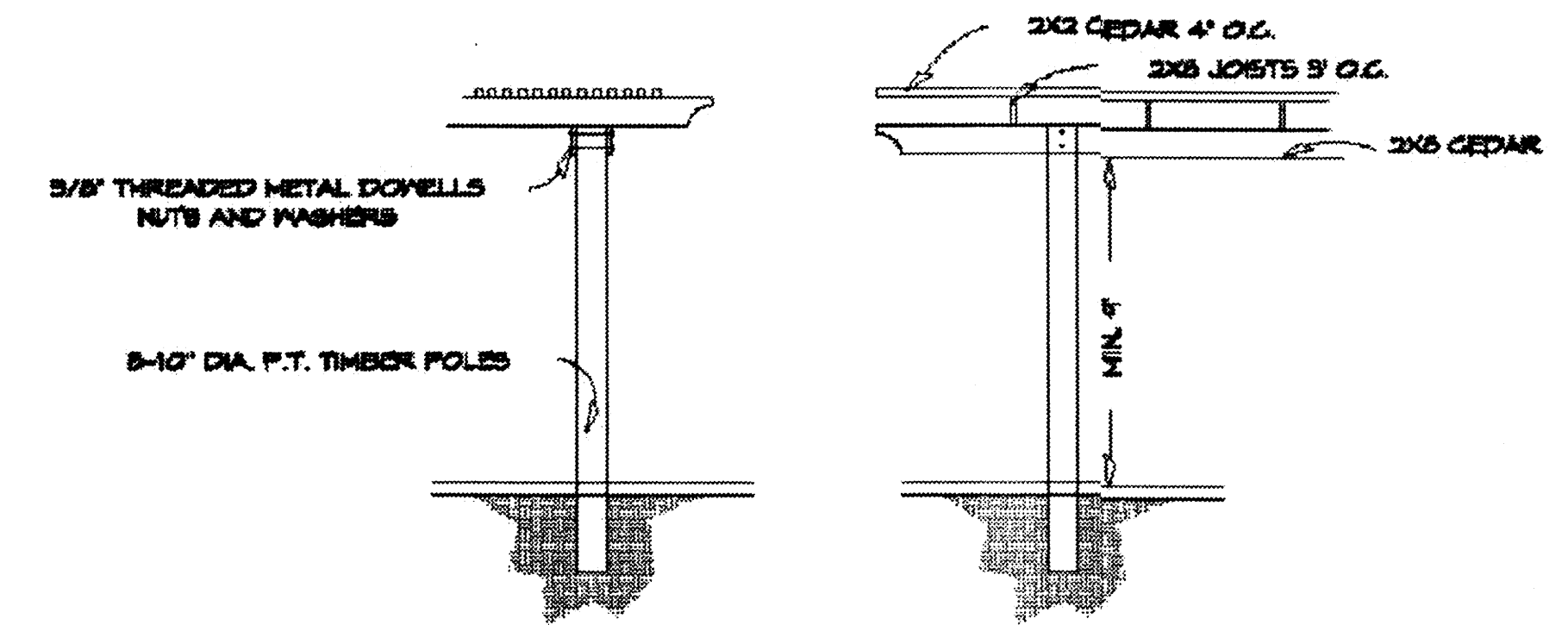
3 PLAYSTRUCTURE AGES 5-12
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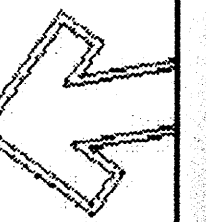
4 4' BENCH - SURFACE MOUNT
not to scale



5 6' PICNIC TABLE - SURFACE MOUNT
not to scale



6 RAMADA DETAIL TYP.
not to scale



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LANDSCAPE
ARCHITECT
SEAL

JAMES DE
#0002

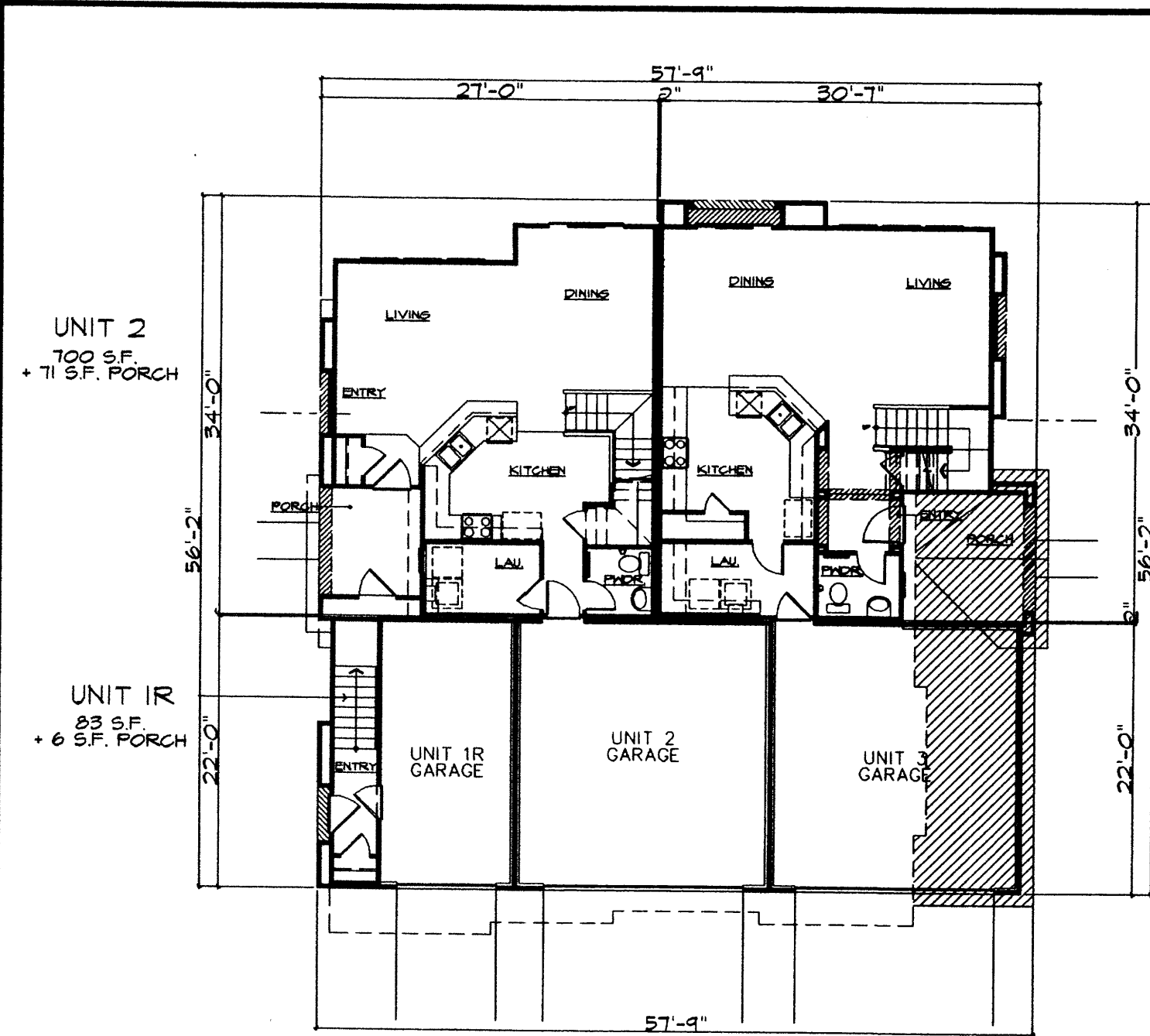
KB HOME, INC. - MENAUL SCHOOL
ALBUQUERQUE, NM

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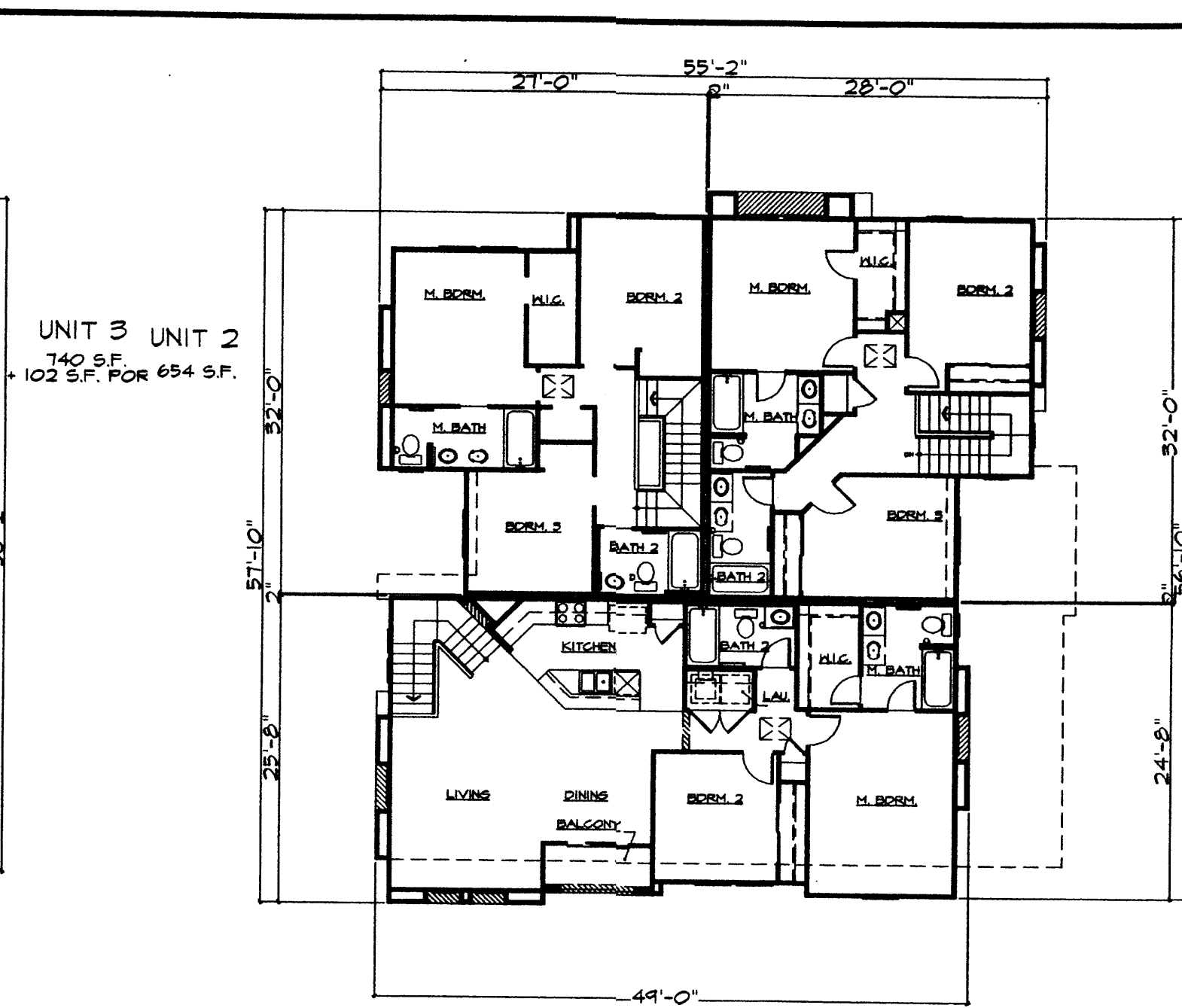
The Hilltop

DESIGNED BY
REVISED BY

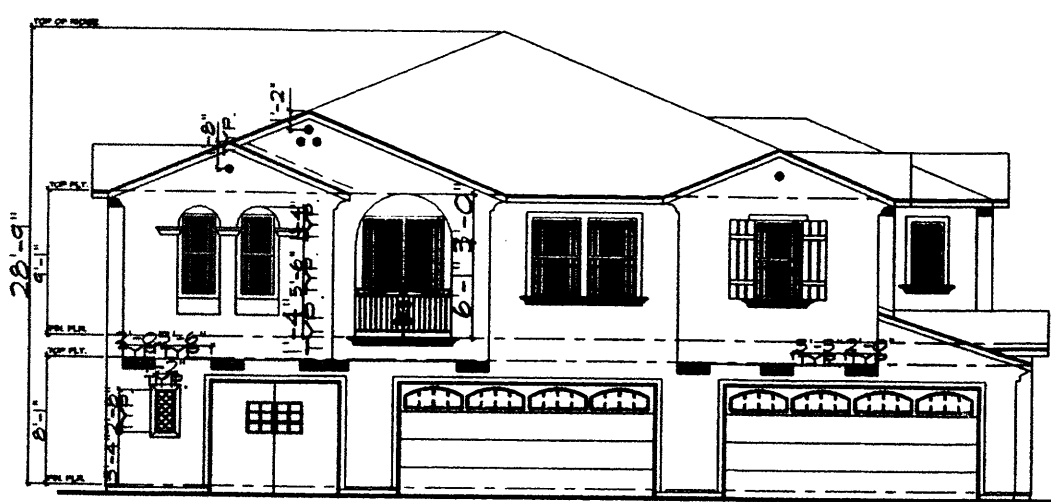
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L3 of L



PLAN - GROUND FLOOR
SCALE: 1" = 12'-0"



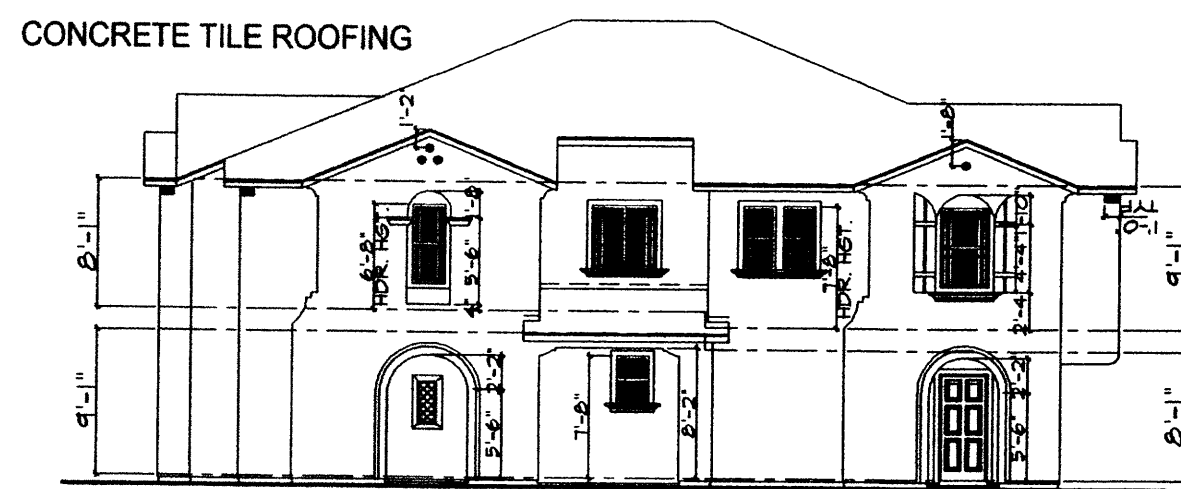
PLAN - UPPER FLOOR
SCALE: 1" = 12'-0"



FRONT ELEVATION
SCALE: 1" = 12'-0"



REAR ELEVATION
SCALE: 1" = 12'-0"



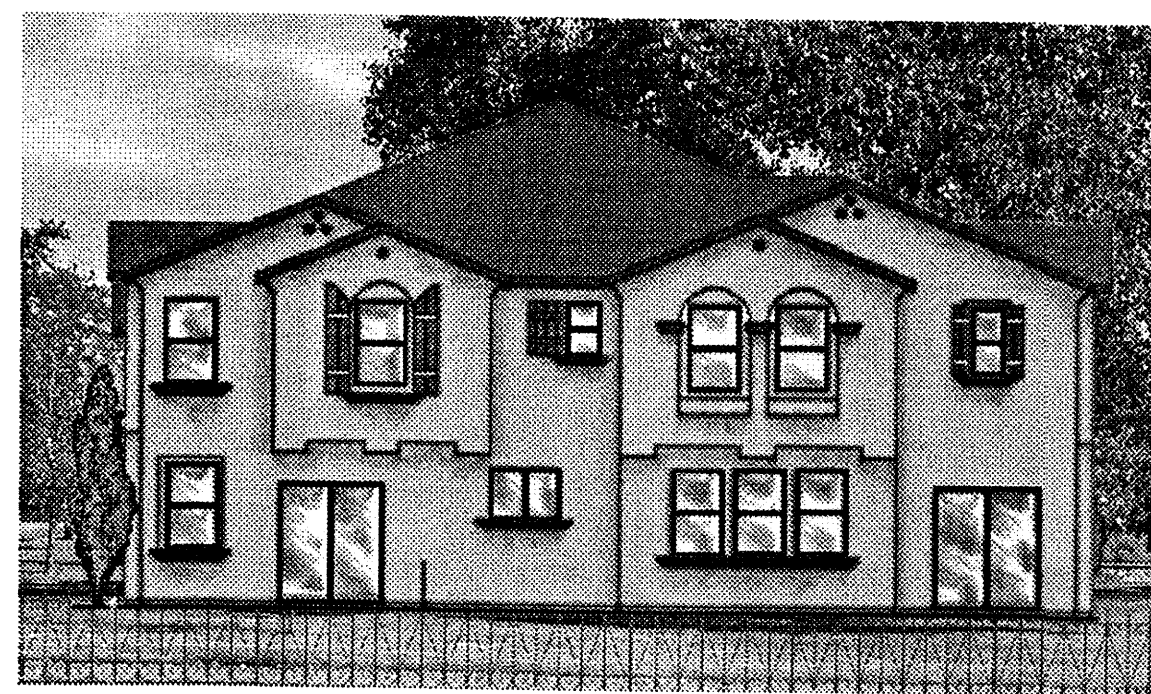
LEFT ELEVATION
SCALE: 1" = 12'-0"



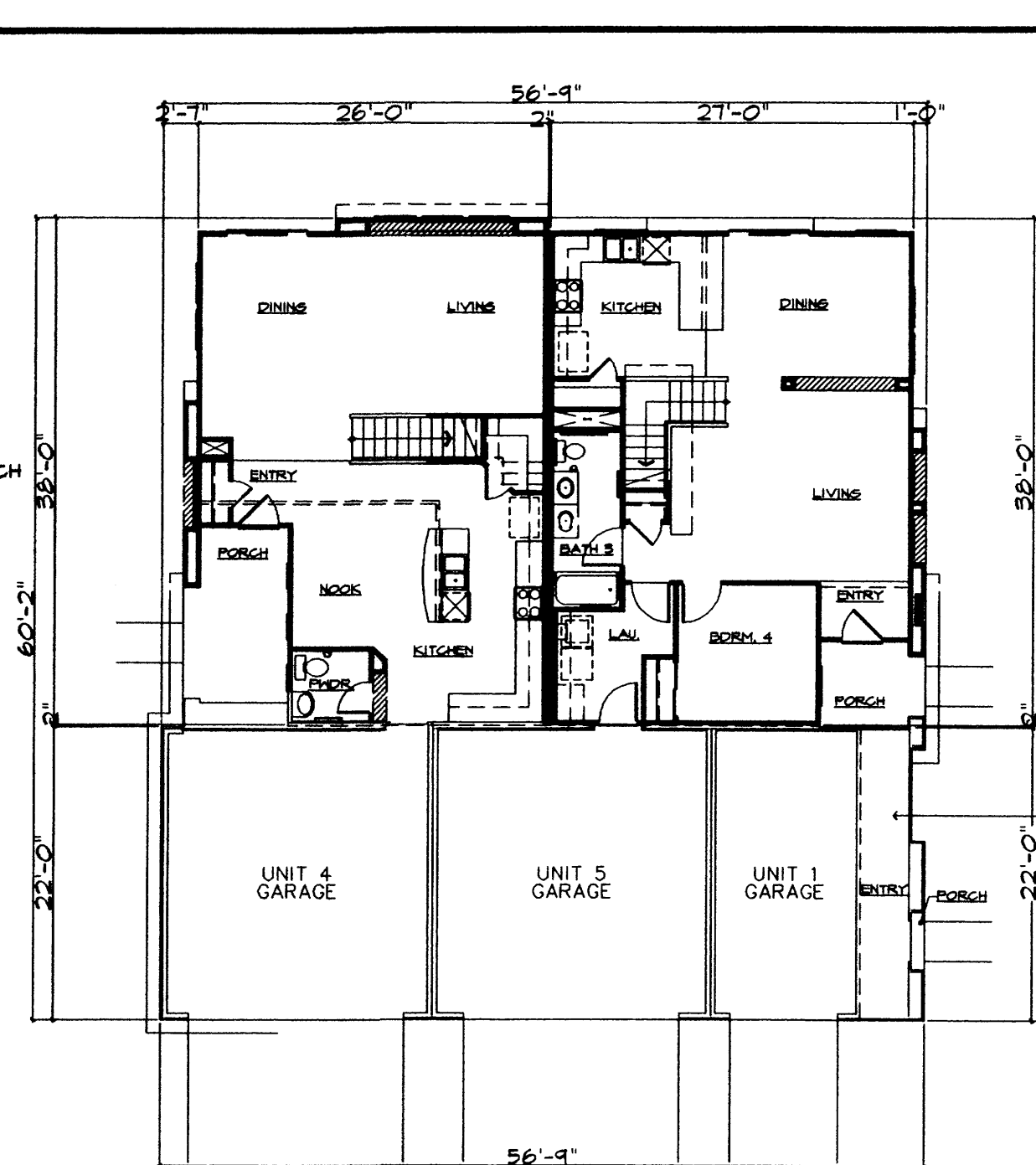
RIGHT ELEVATION
SCALE: 1" = 12'-0"

BUILDING 3P-1

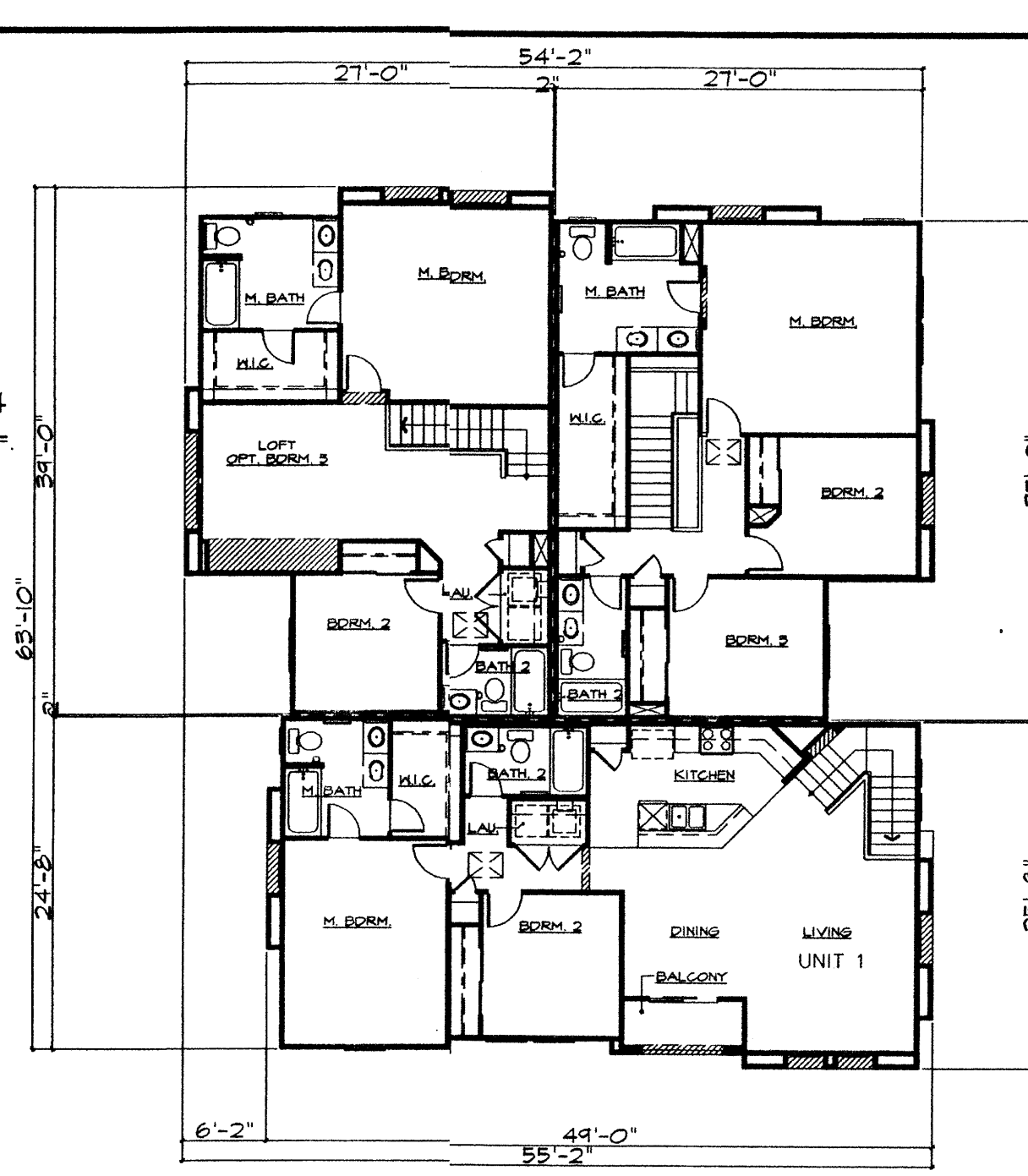
OVERALL BUILDING DIMENSION:
57.75' x 56.2' 3245.5 S.F.
BUILDING HEIGHT:
28.75'
SINGLE FAMILY UNITS PER BLDG:
3
UNIT FOOTAGE:
UNIT 1R - 1153 S.F. + 6/36 S.F. PORCH/BALCONY
UNIT 2 - 1354 S.F. + 71 S.F. PORCH
UNIT 3 - 1481 S.F. + 102 S.F. PORCH



RIGHT ILLUSTRATION



PLAN - GROUND FLOOR
SCALE: 1" = 12'-0"



PLAN - UPPER FLOOR
SCALE: 1" = 12'-0"



FRONT ELEVATION
SCALE: 1" = 12'-0"



REAR ELEVATION
SCALE: 1" = 12'-0"



LEFT ELEVATION
SCALE: 1" = 12'-0"



RIGHT ELEVATION
SCALE: 1" = 12'-0"

BUILDING 3P-2

OVERALL BUILDING DIMENSION: 56.75' x 60.2' 3416.35 S.F.
BUILDING HEIGHT: 28.75'
SINGLE FAMILY UNITS PER BLDG: 3
UNIT FOOTAGE:
UNIT 1 - 1153 S.F. + 6/29 S.F. PORCH/BALCONY
UNIT 4 - 1745 S.F. + 86 S.F. PORCH
UNIT 5 - 1821 S.F. + 42 S.F. PORCH



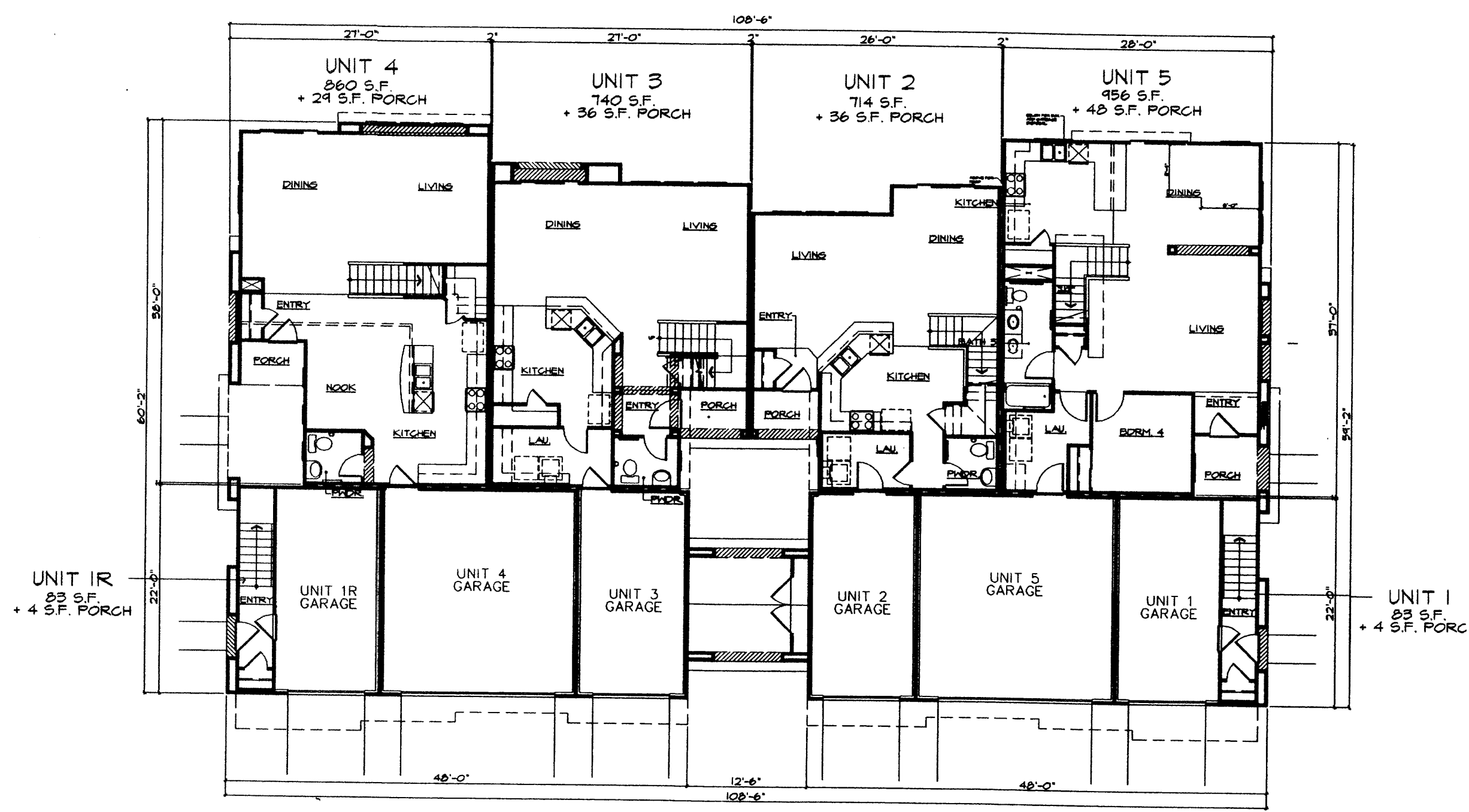
OVERHEAD GARAGE DOOR WITH ARCH WINDOWS
STUCCO EXTERIOR FINISH
"CARRIAGE" GARAGE DOOR WITH WINDOW
FRONT ILLUSTRATION

**MENAU SCHOOL CONDOMINIUMS
BUILDING ELEVATIONS
3P-1 AND 3P-2**

DATE:	02/02/06		SHEET
SCALE:	AS SHOWN		9
CREW:	XXX/XX		OF
DRAWN:	CAS		11
JOB NO.:	NE27		

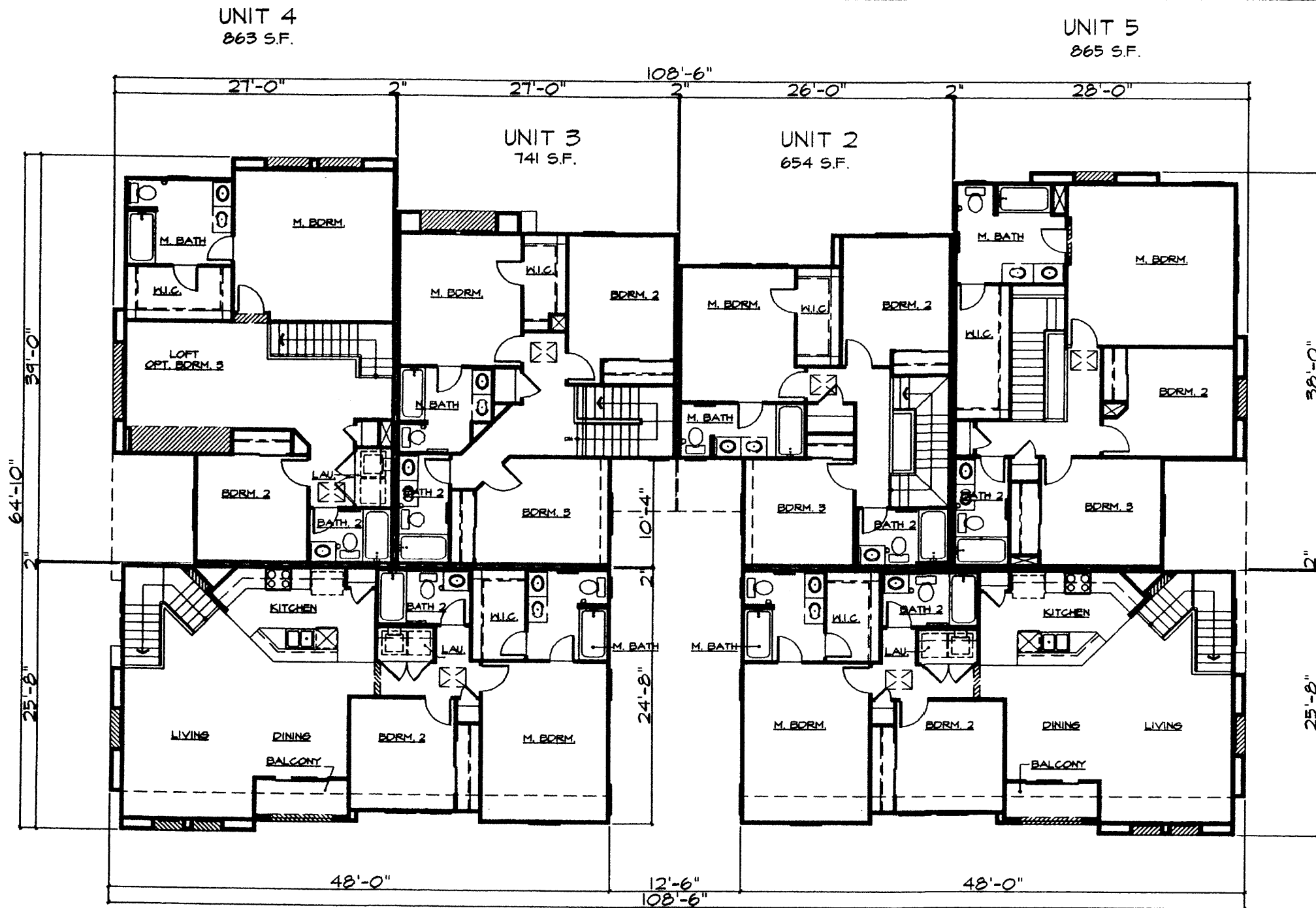
LAND PLANNING P.O. Box 1328
ENGINEERING Corrales, N.M. 87048
SURVEYING

F:\PROJECTS\627 KBHOME\Menual School\SDP\Site Plan Subd\Plan_ver5 020206.dwg

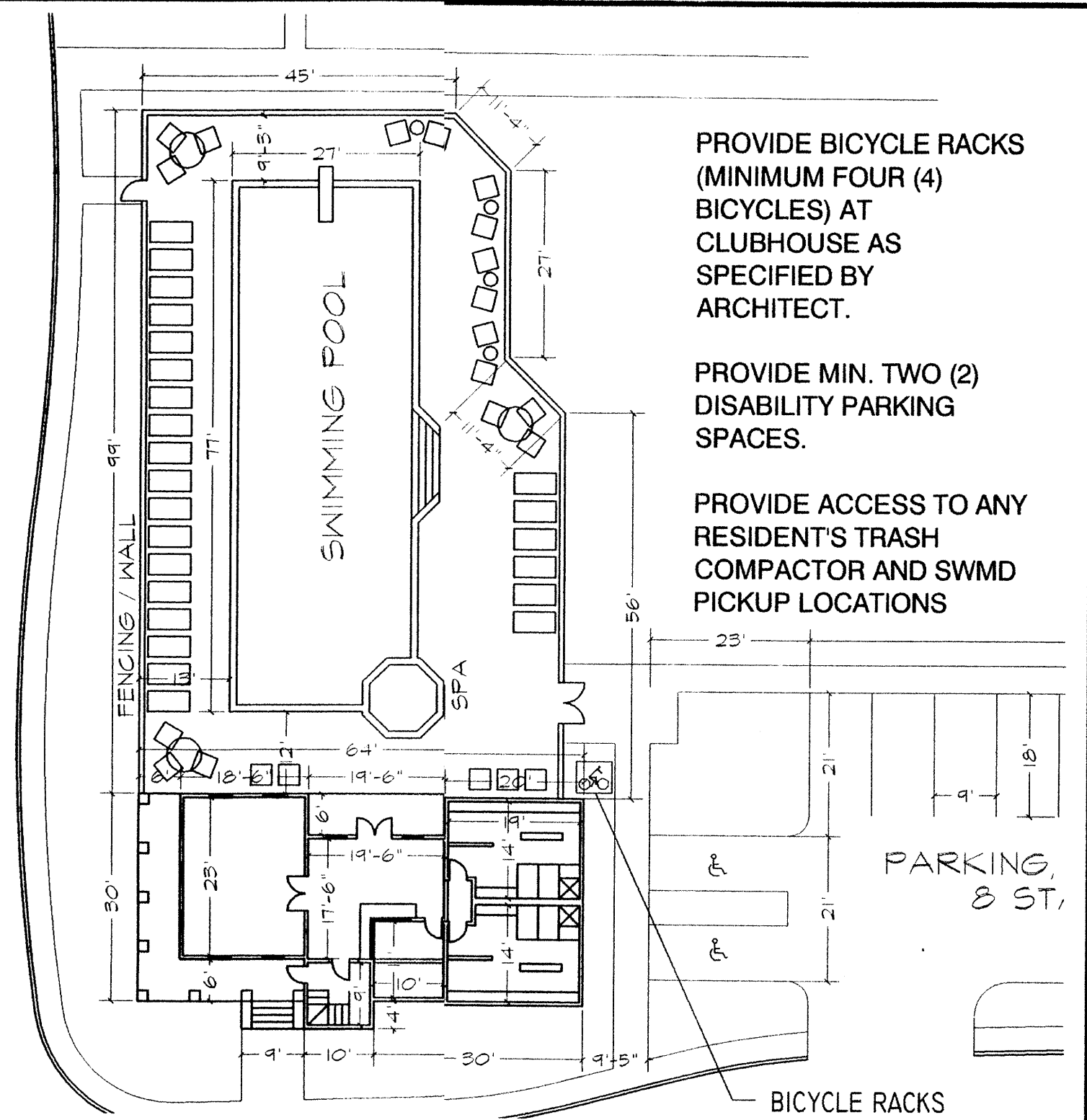


PLAN - GROUND FLOOR
SCALE: 1" = 12'-0"

BUILDING 6P



PLAN - UPPER FLOOR
SCALE: 1" = 12'-0"



PLAN - GROUND FLOOR
SCALE: 1" = 20"

PROVIDE BICYCLE RACKS (MINIMUM FOUR (4) BICYCLES) AT CLUBHOUSE AS SPECIFIED BY ARCHITECT.

PROVIDE MIN. TWO (2) DISABILITY PARKING SPACES.

PROVIDE ACCESS TO ANY RESIDENT'S TRASH COMPACTOR AND SWMD PICKUP LOCATIONS

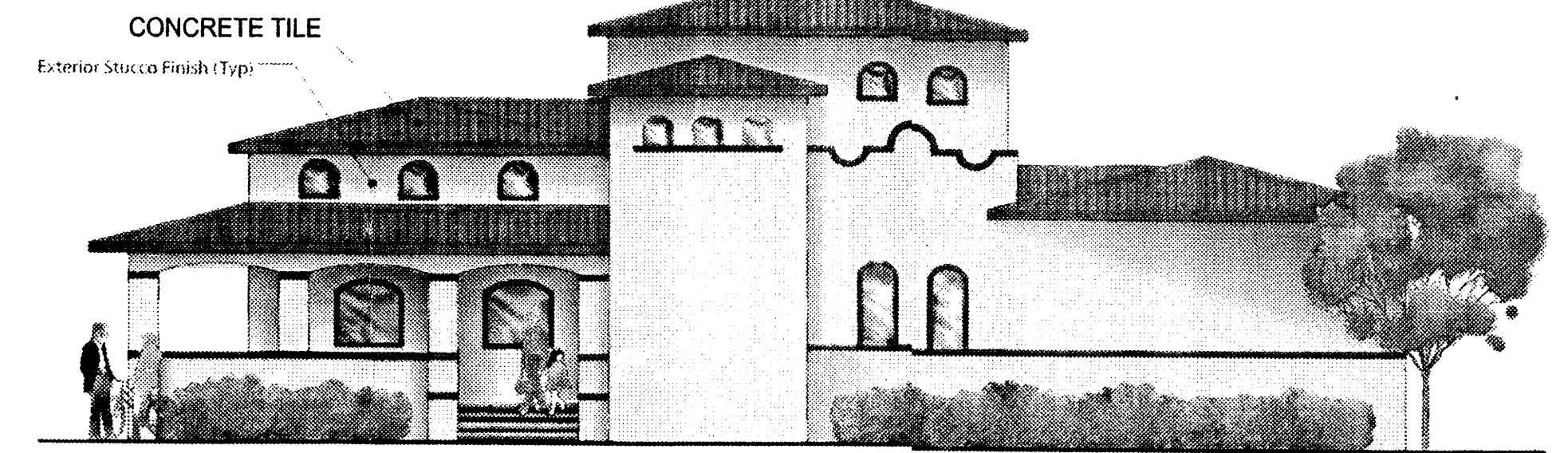


FRONT ELEVATION
SCALE: 1" = 12'-0"

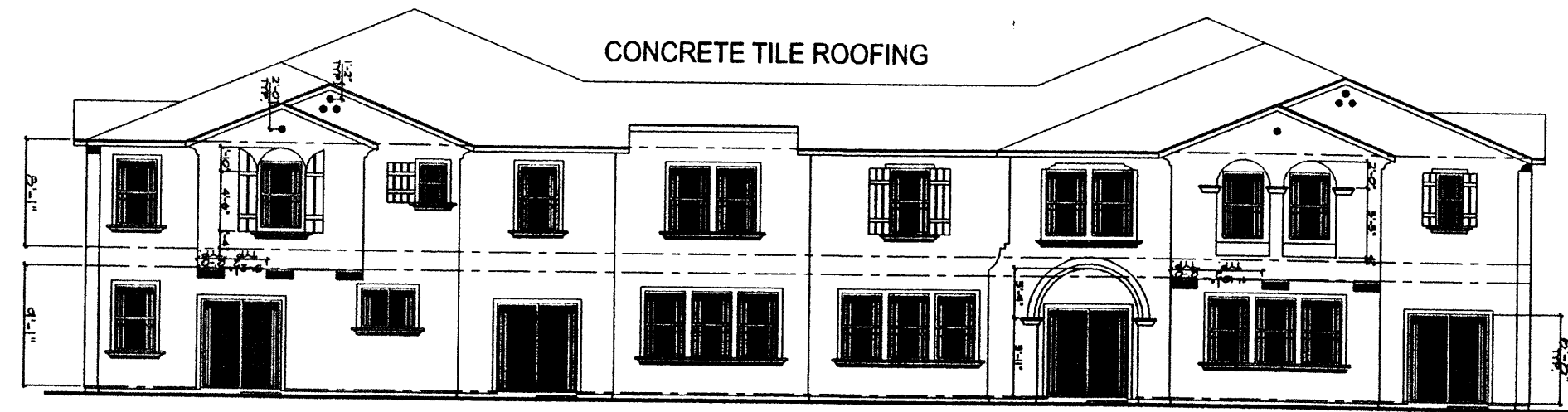


LEFT ELEVATION
SCALE: 1" = 12'-0"

OVERALL BUILDING DIMENSIONS:
108.5' x 60.2' 6531.7 SQ. FT.
BUILDING HEIGHT:
28.75'
SINGLE FAMILY UNITS PER BLDG:
6
SINGLE FAMILY UNIT AREAS:
UNIT 1 - 1153 S.F. + 40 S.F. PORCH
UNIT 2 - 1368 S.F. + 36 S.F. PORCH
UNIT 3 - 1481 S.F. + 36 S.F. PORCH
UNIT 4 - 1723 S.F. + 29 S.F. PORCH
UNIT 5 - 1821 S.F. + 48 S.F. PORCH
UNIT 1R - 1153 S.F. + 40 S.F. PORCH



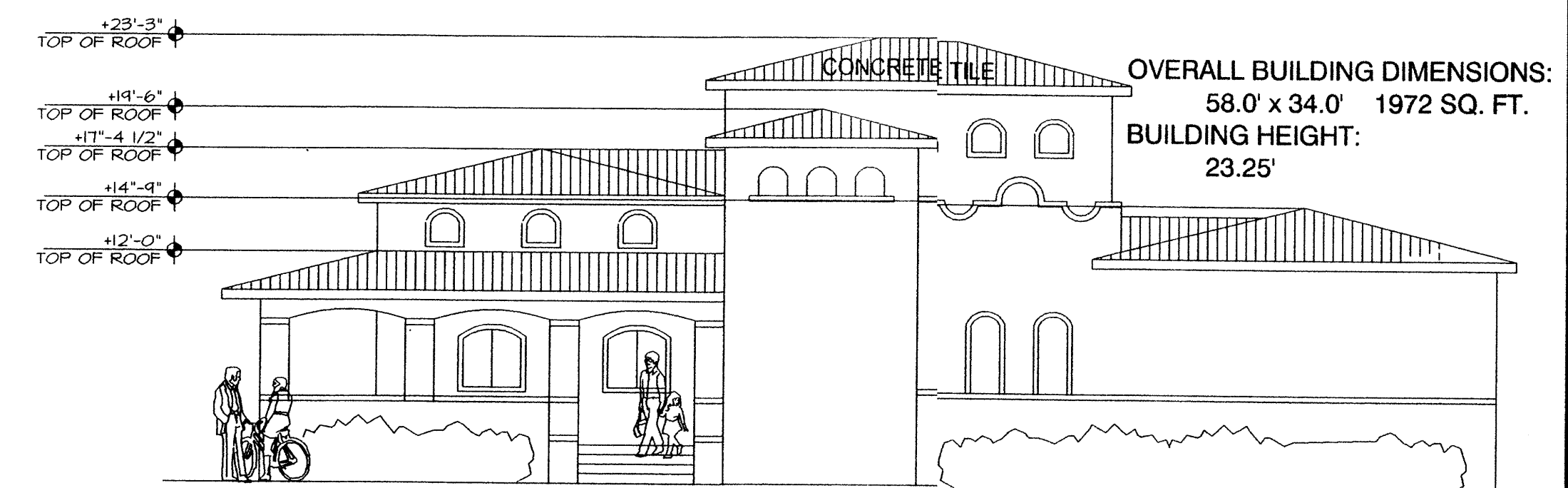
FRONT ILLUSTRATION



REAR ELEVATION
SCALE: 1" = 12'-0"



RIGHT ELEVATION
SCALE: 1" = 12'-0"

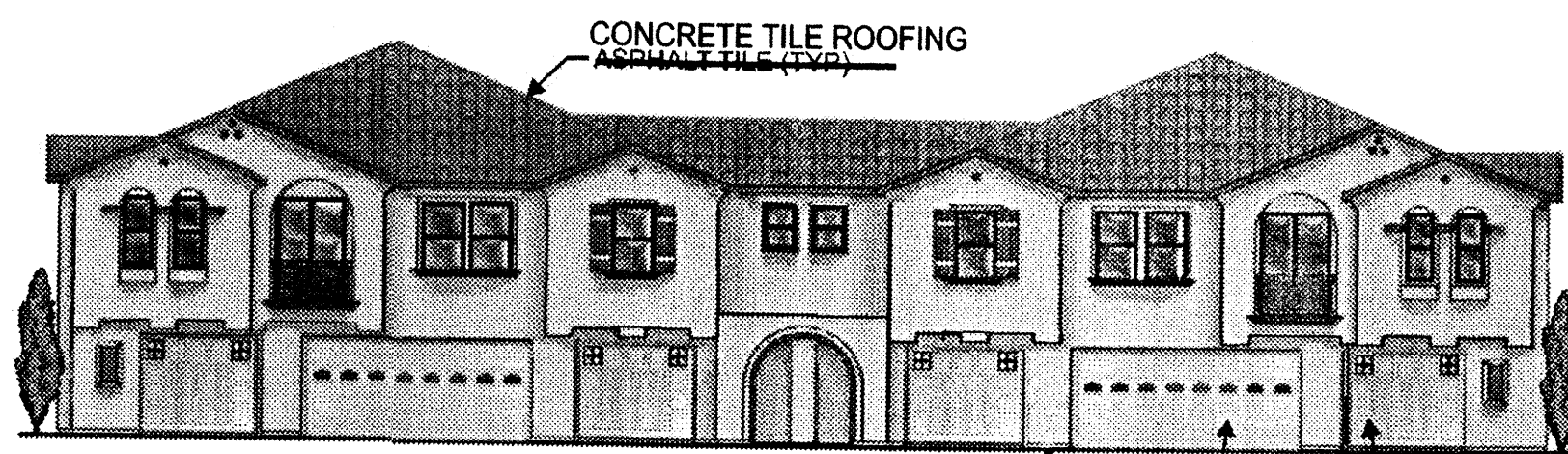


OVERALL BUILDING DIMENSIONS:
58.0' x 34.0' 1972 SQ. FT.
BUILDING HEIGHT:
23.25'

CLUBHOUSE FRONT ELEVATION
CLUBHOUSE BUILDING



REAR ILLUSTRATION



FRONT ILLUSTRATION
STUCCO EXTERIOR FINISH
OVERHEAD GARAGE DOOR WITH ARCH WINDOWS
GARAGE ELEVATION
"CARRIAGE" GARAGE DOOR WITH WINDOW

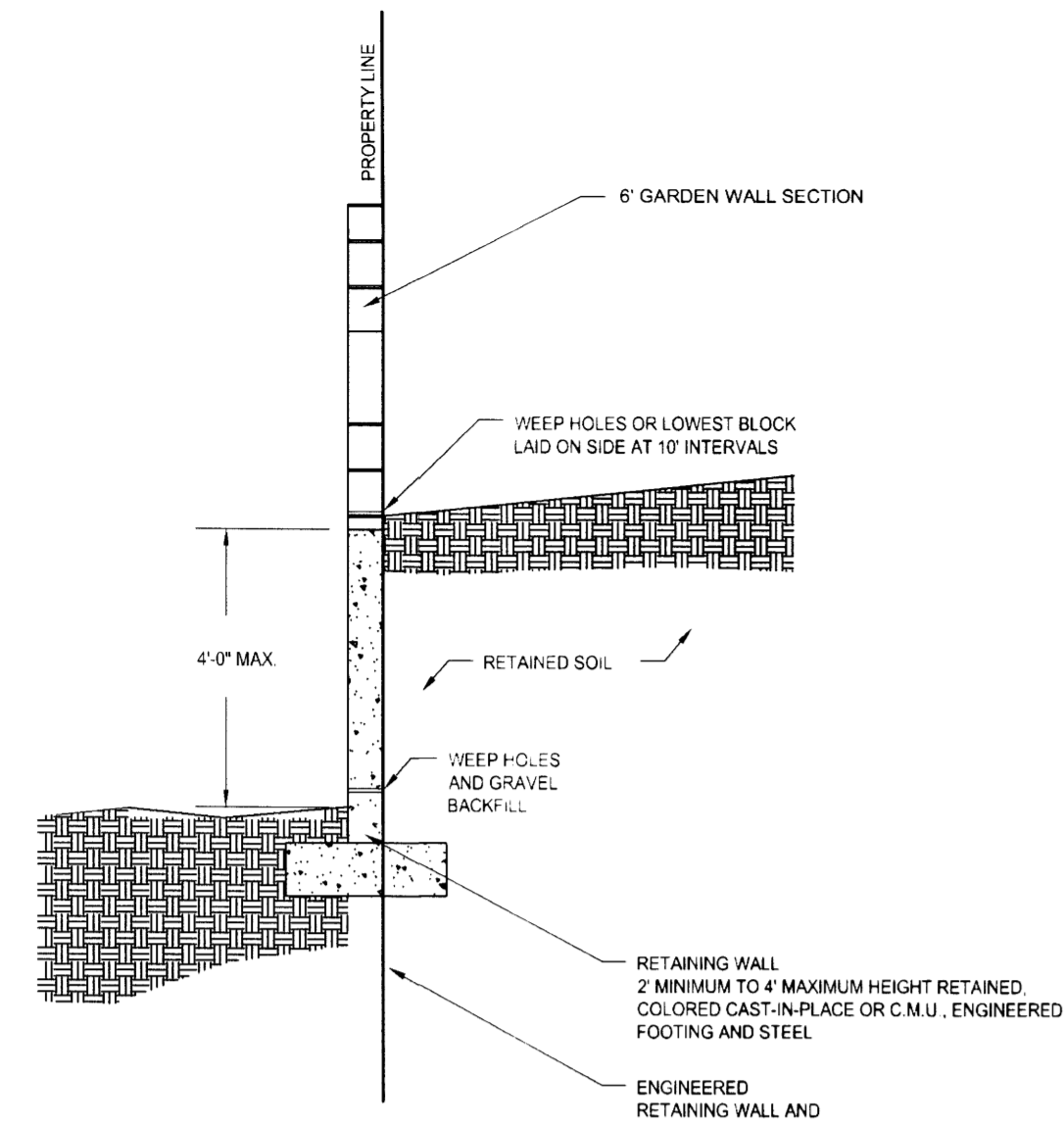


RIGHT ILLUSTRATION

F:\PROJECTS\N627 KB\HOME\Menaul School\SDP\Site Plan Subd\Plan_ver5 020206.dwg

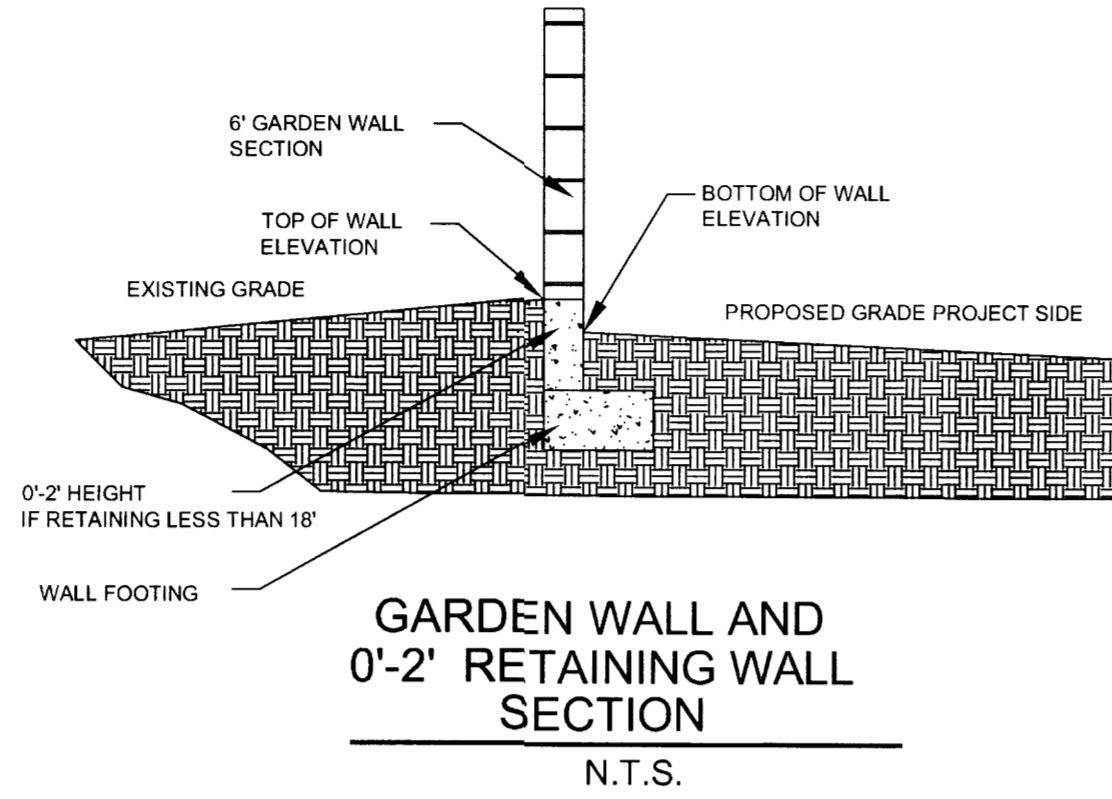
**MENAU SCHOOL CONDOMINIUMS
BUILDING ELEVATIONS
6P AND CLUBHOUSE**

DATE:	2/9/2006	community sciences corporation	SHEET
SCALE:	AS SHOWN		10 OF 11
CREW:	XXXX		
DRAWN:	JGGMVH		
JOB NO.:	N627		
LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING			

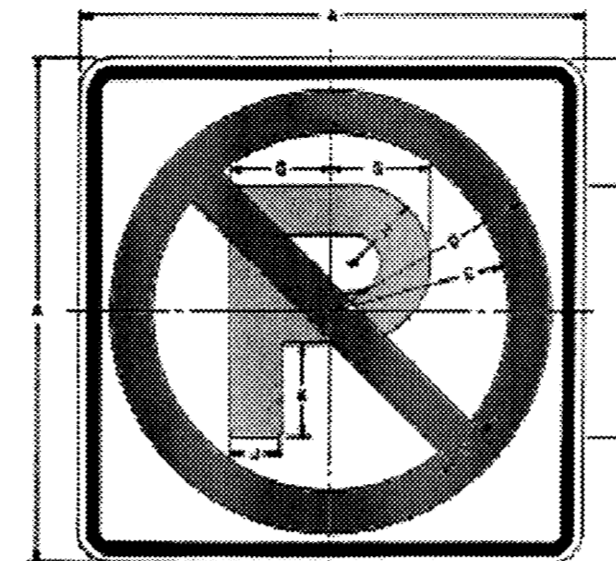


GARDEN WALL AND 4' RETAINING WALL SECTION C-C
N.T.S.

SIDEWALK AND PAVEMENT COLORATION FOR PEDESTRIAN TRAFFIC:
 WALKWAYS CROSSING PAVEMENT (SHEETS 2 AND 3 LOCATIONS): IMPRESSED CONCRETE (E.G. BOMANITE O.A.E.) PATTERN "COBBLESTONE", COLOR = BRICK RED.
 3' INTERNAL WALKS ADJACENT TO PRIVATE STREETS: P.C.C. CONCRETE, SAND FINISH, APPLIED FINISH COLOR = BRICK RED.
 4' STANDARD SIDEWALKS AND VEHICULAR DRIVEPADS: SAND OR BROOM FINISH, COLOR = NATURAL.



GARDEN WALL AND 0'-2' RETAINING WALL SECTION
N.T.S.

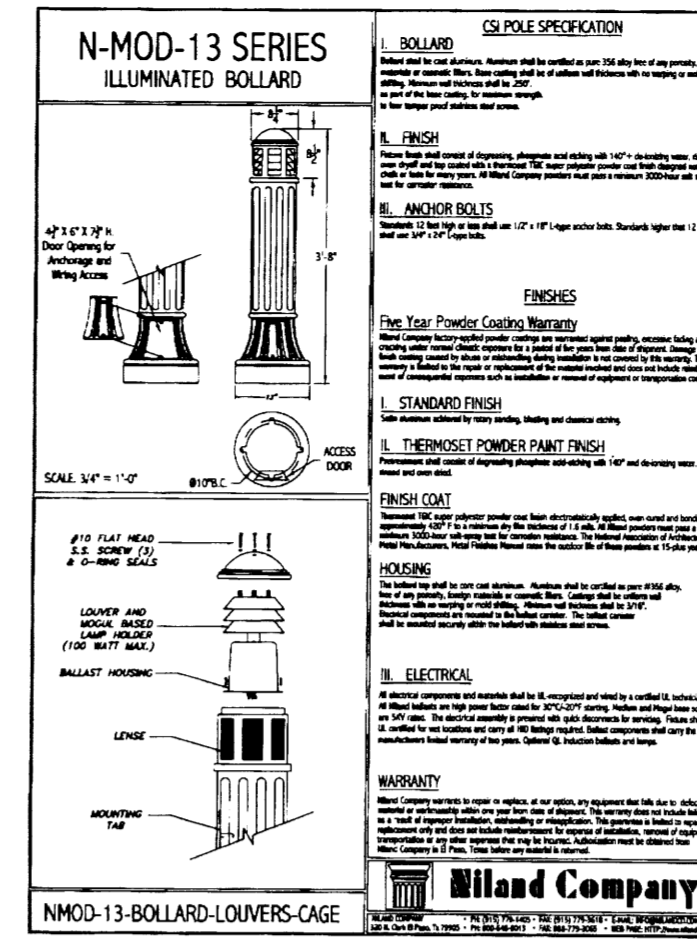


COLOR SYMBOL AND BORDER BACKGROUND

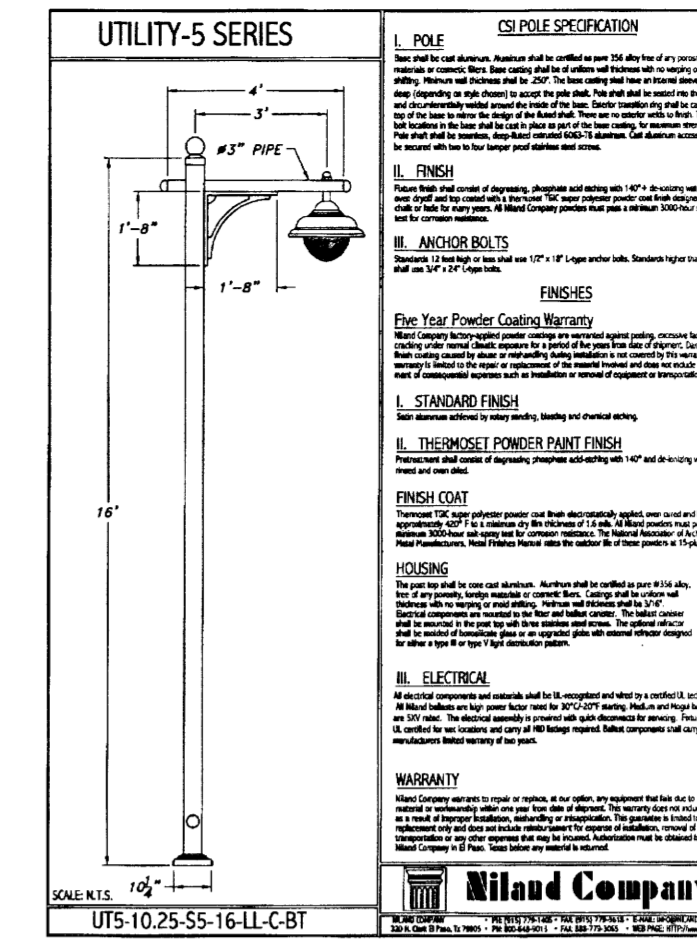
SIZE	A	B	C	D	E	F	G	H
18-12	12	2	2	2	2	2	2	2
24-24	24	4	4	4	4	4	4	4
36-36	36	6	6	6	6	6	6	6

SEE 1241.23(100)

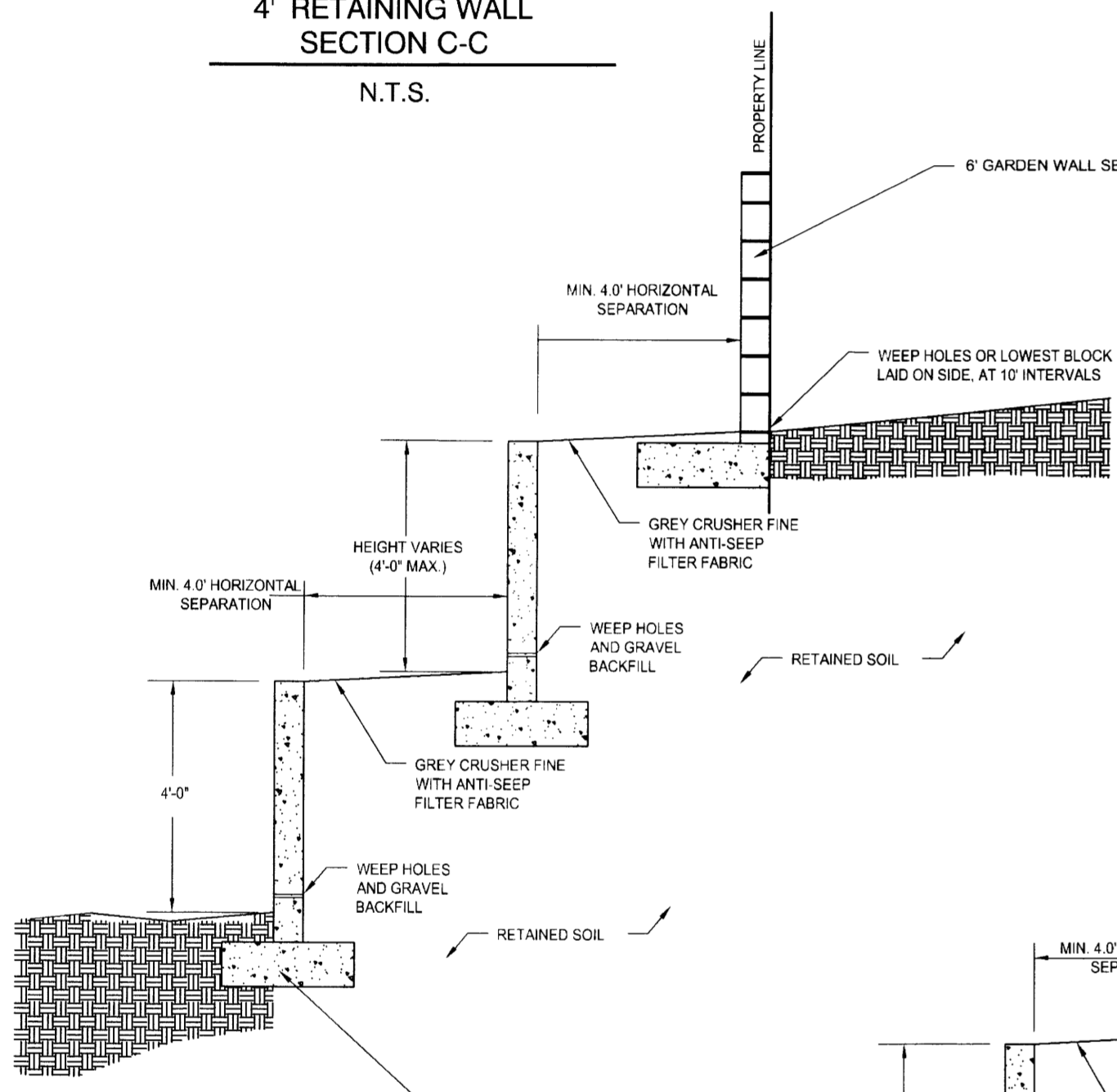
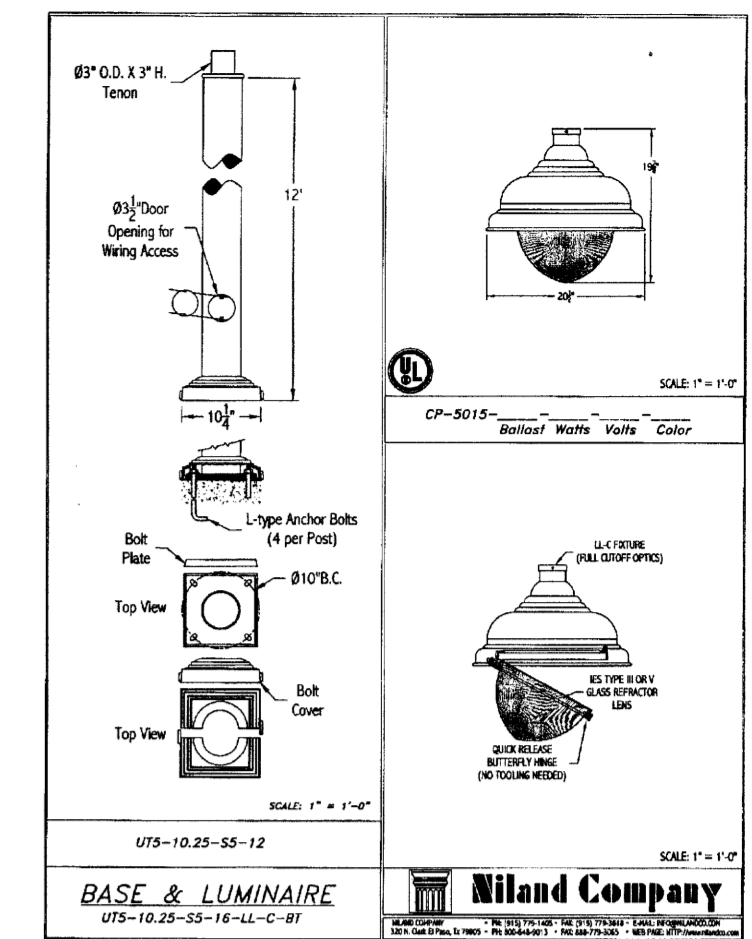
INTERNAL STREET SIGNAGE
 POST ON ALL INTERNAL TRAFFICWAYS EXCEPT WHERE PARKING BAYS ARE PROVIDED.



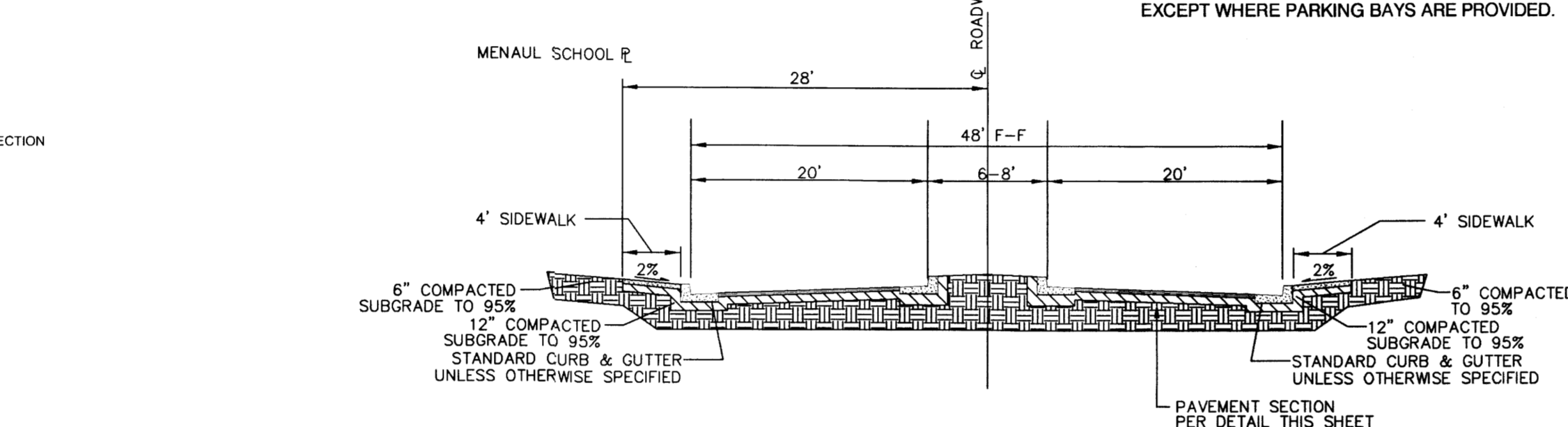
PEDESTRIAN WALKWAY LIGHT



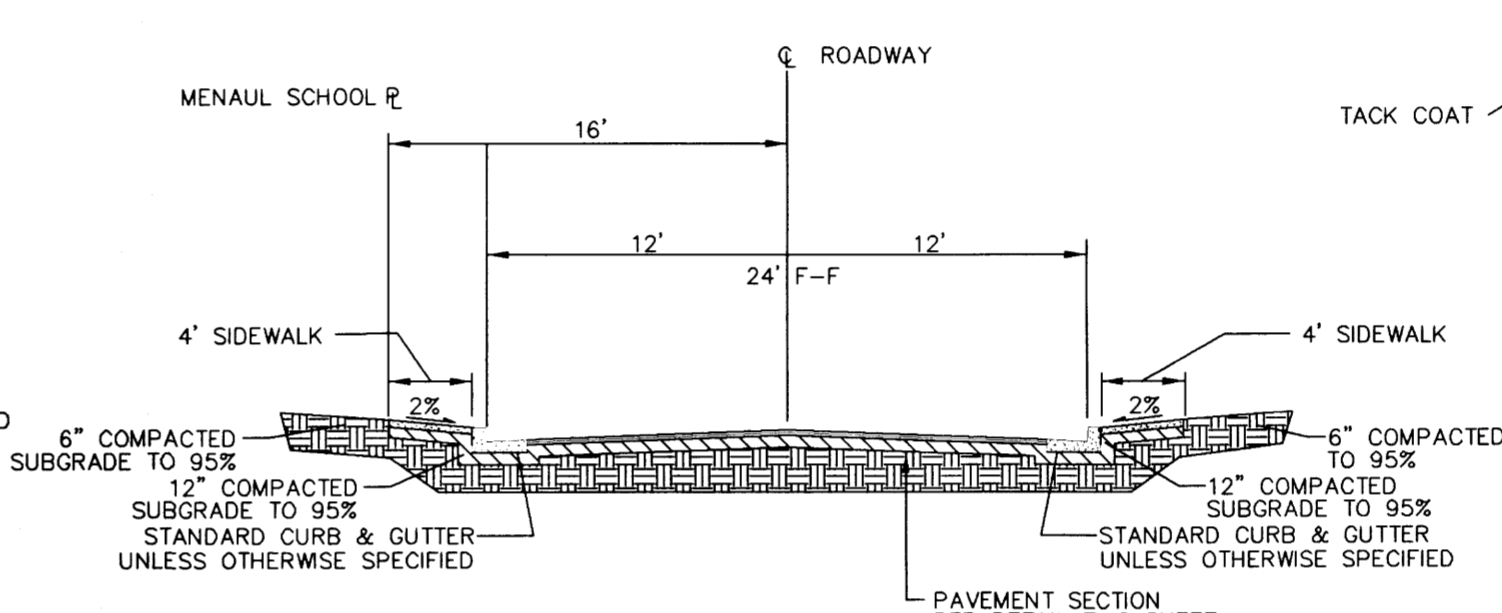
INTERNAL STREET LIGHT STANDARD



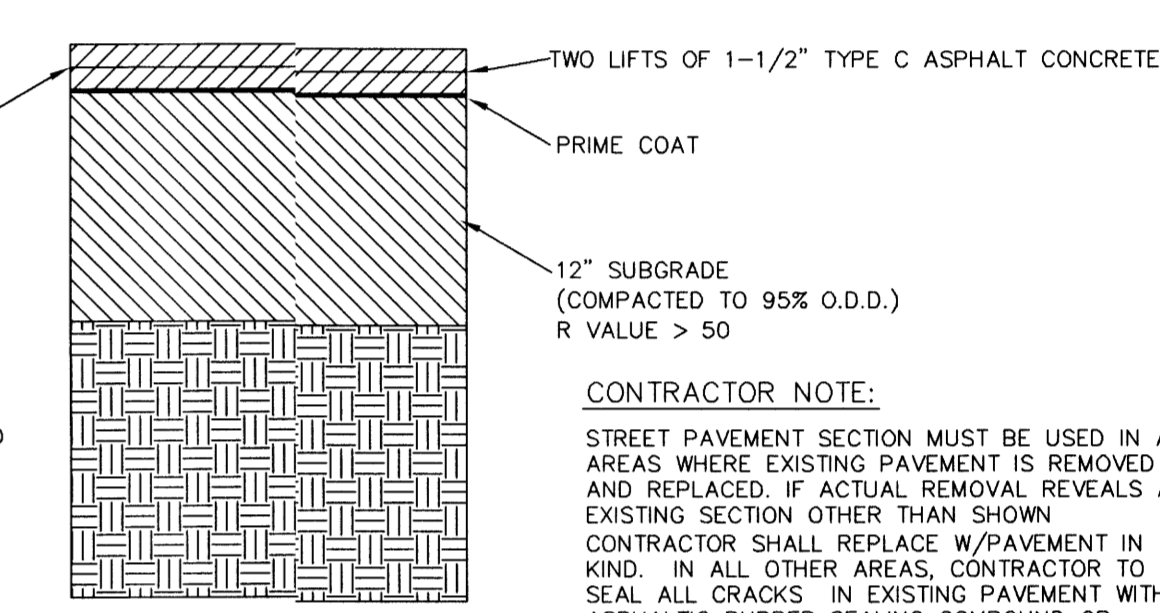
GARDEN WALL AND 2-4' RETAINING WALLS SECTION B-B
N.T.S.



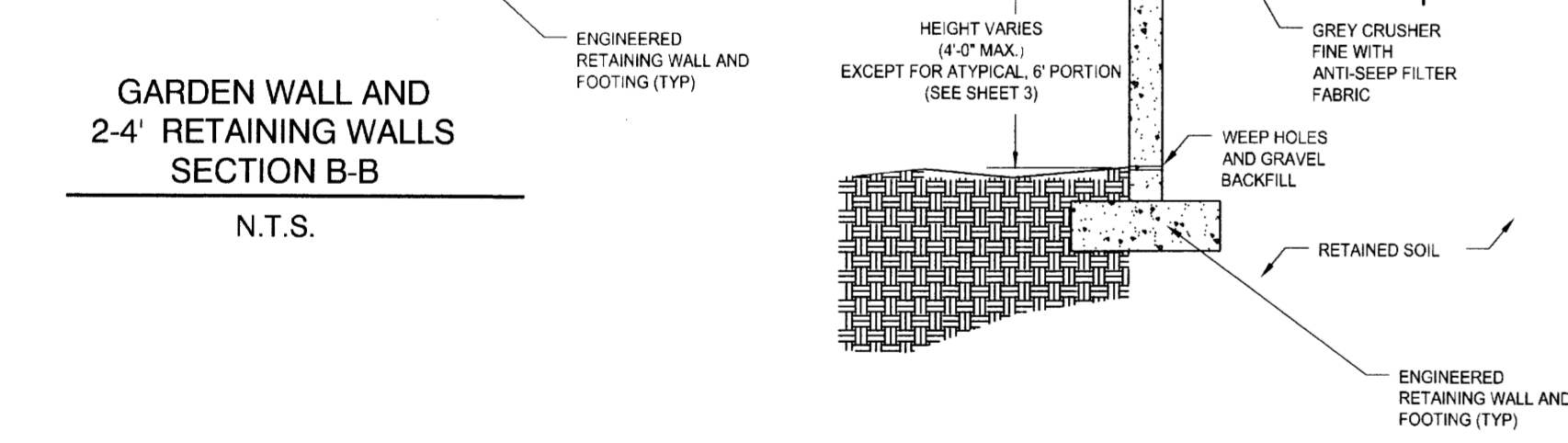
MAIN DRIVE AISLE SECTION W/MEDIAN (48' TYP.)
N.T.S.



MAIN DRIVE AISLE SECTION (24' TYP.)
N.T.S.



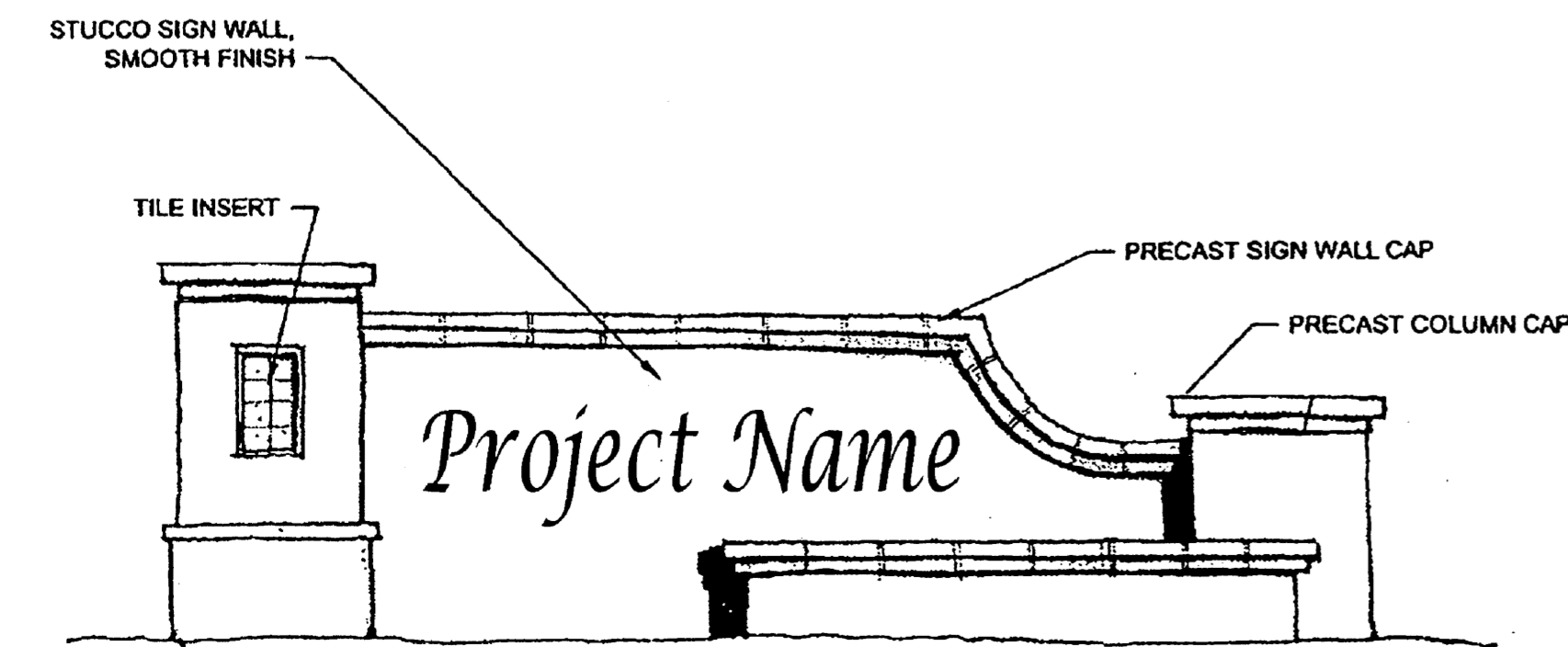
TYPICAL PAVEMENT SECTION
N.T.S.



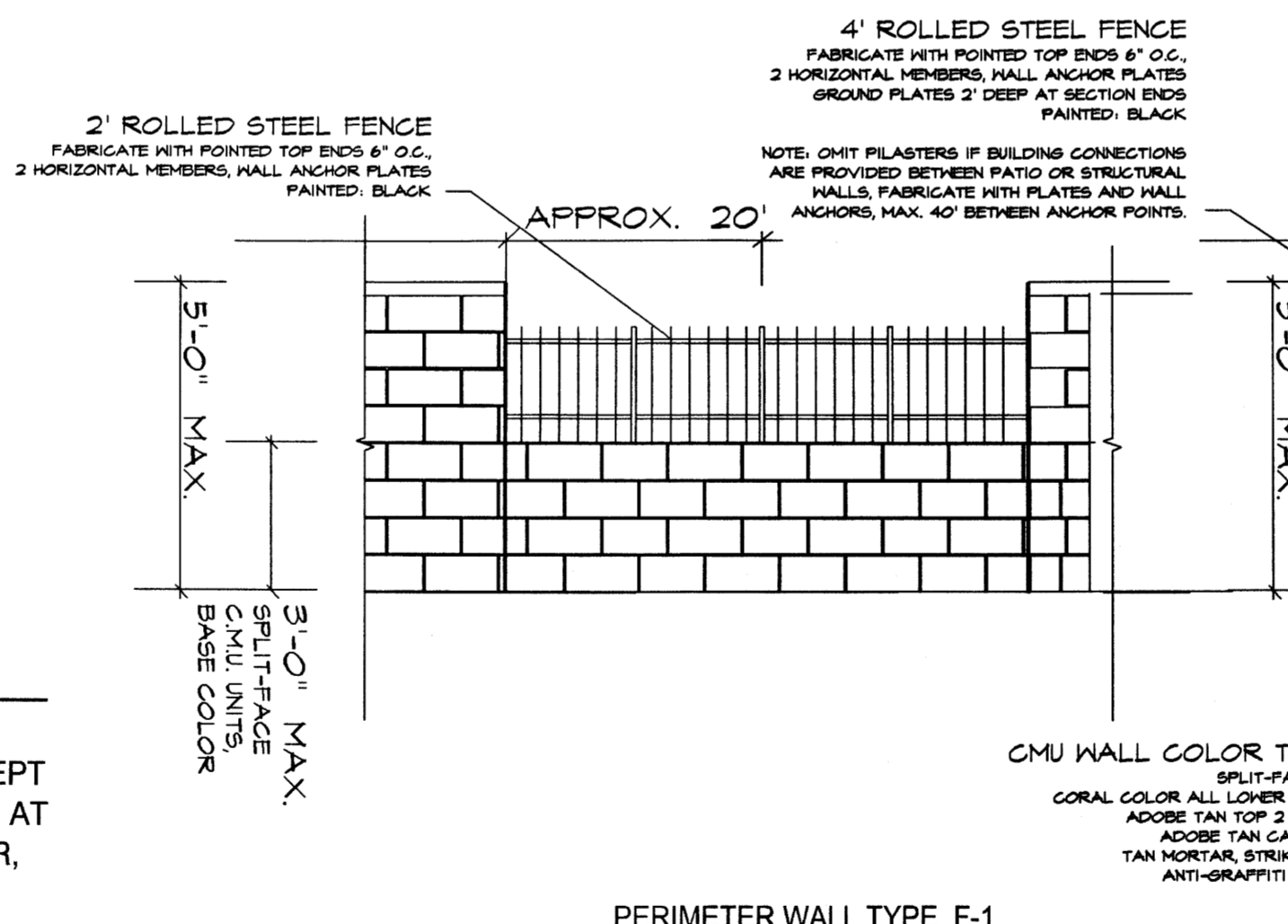
GARDEN WALL AND 4' RETAINING WALL SECTION A-A
 (4' RETAINING WALL EXCEPT FOR 6' ATYPICAL SECTION AT EASTERMOST CORNER, SEE SHEET 2)
 N.T.S.

REVISIONS PER DRB AND STAFF REVIEWS 3/1/06 AND 2/22/06 CAS

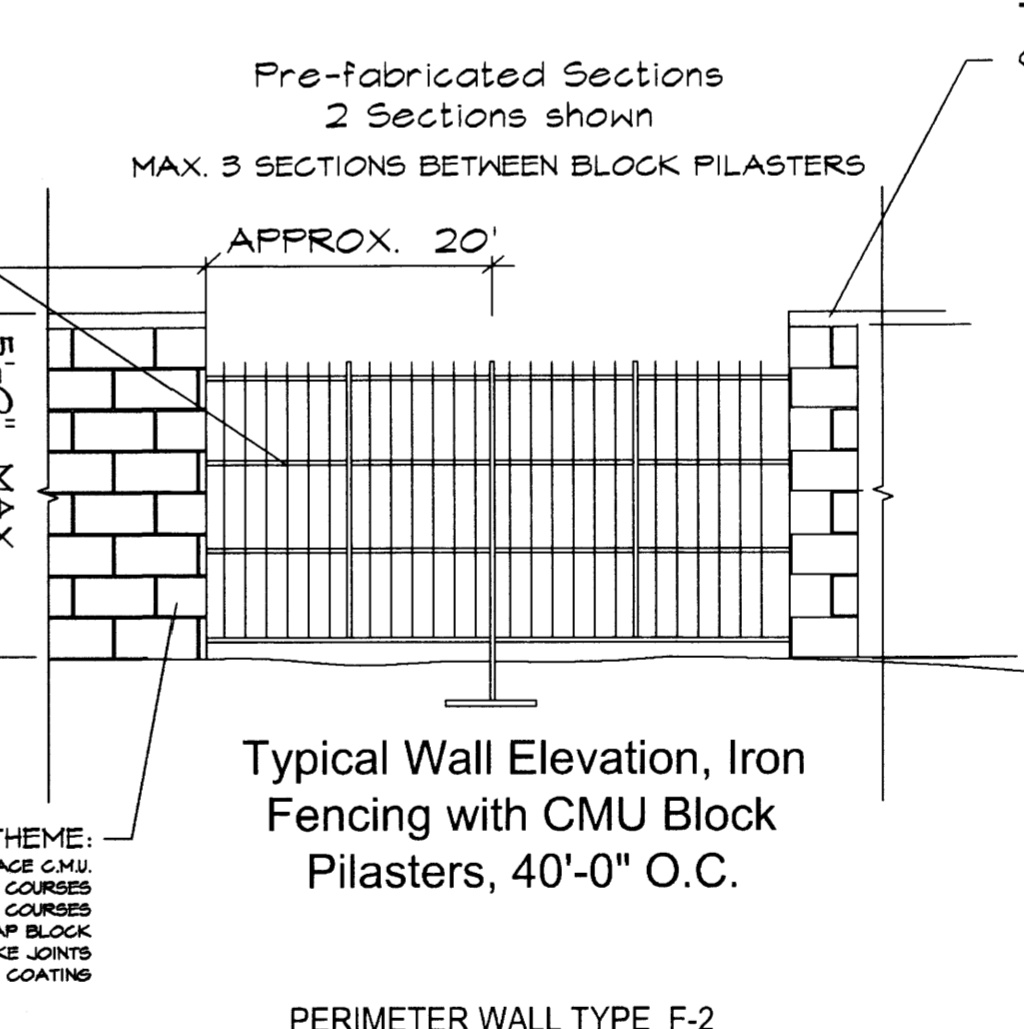
REQUIRED = 4 EACH
 5'-0" MAX. HEIGHT
 18'-0" MAX. LENGTH
 AVOID CLEAR SIGHT TRIANGLES AT INTERSECTIONS
 STUCCO COLOR: CREAM
 SIGN: PRECUT BROWN ANODIZED LETTERS O.A.E. ATTACHED TO STUCCO FACE NON-ILLUMINATED.
 CAP BLOCK TO MATCH CONCRETE ROOF COLOR



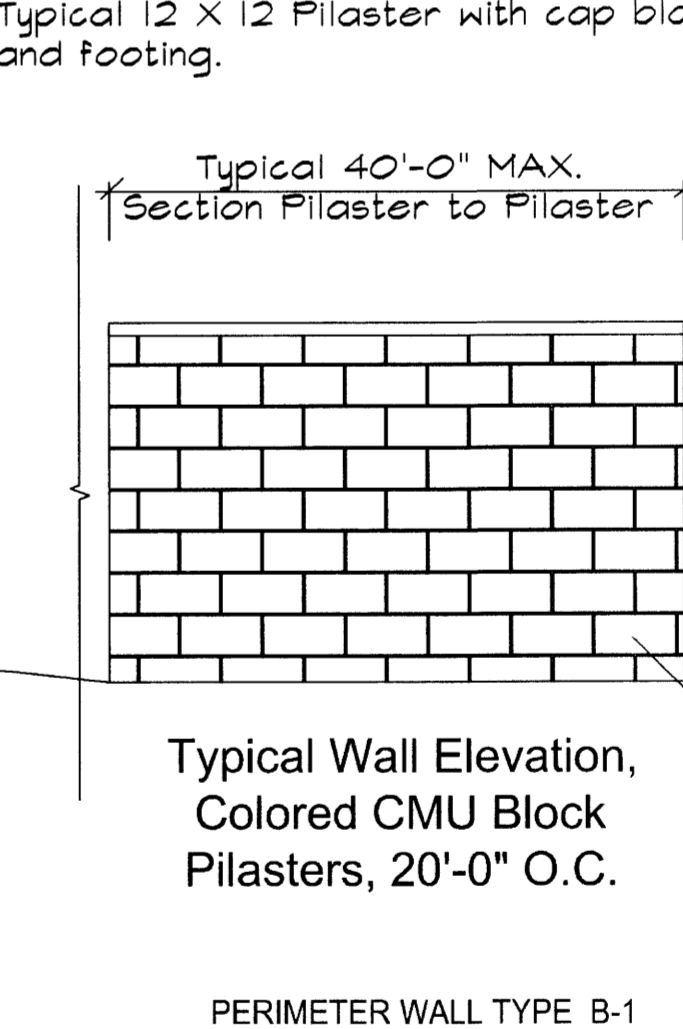
MONUMENT ENTRY SIGN



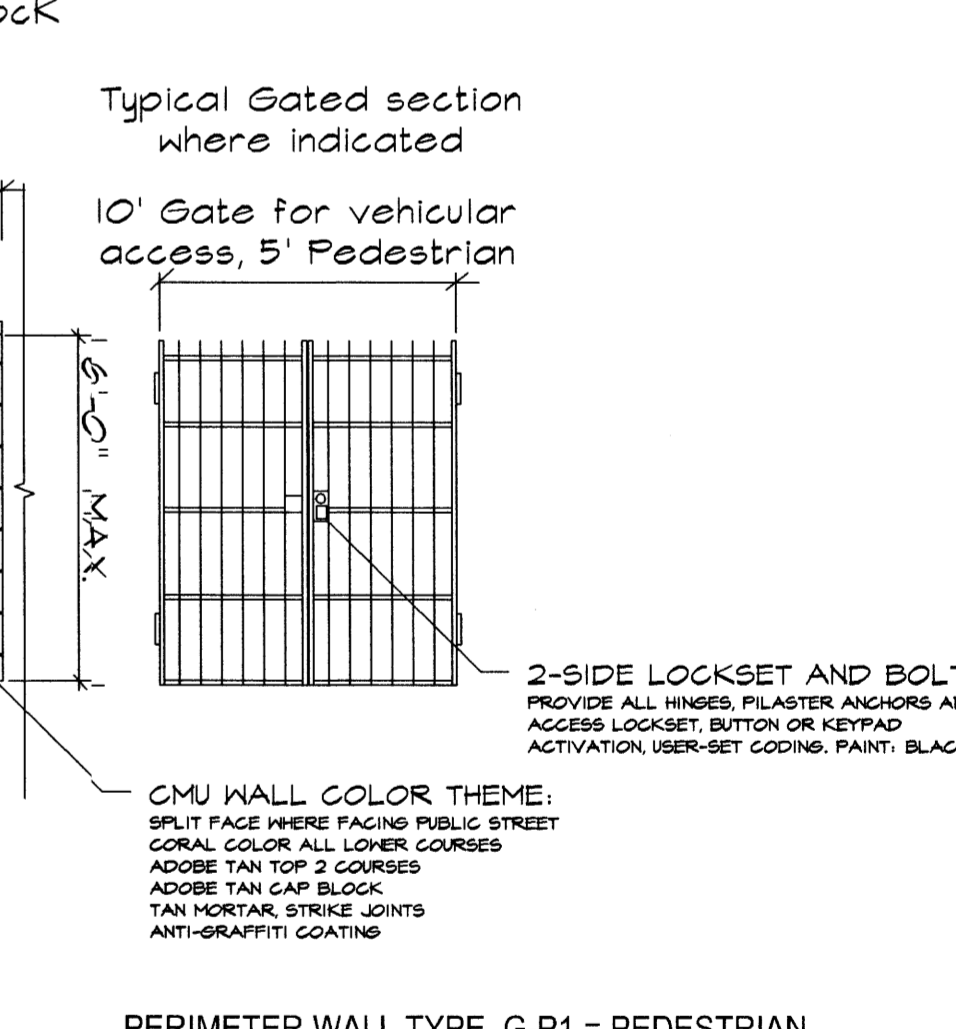
PERIMETER WALL TYPE F-1



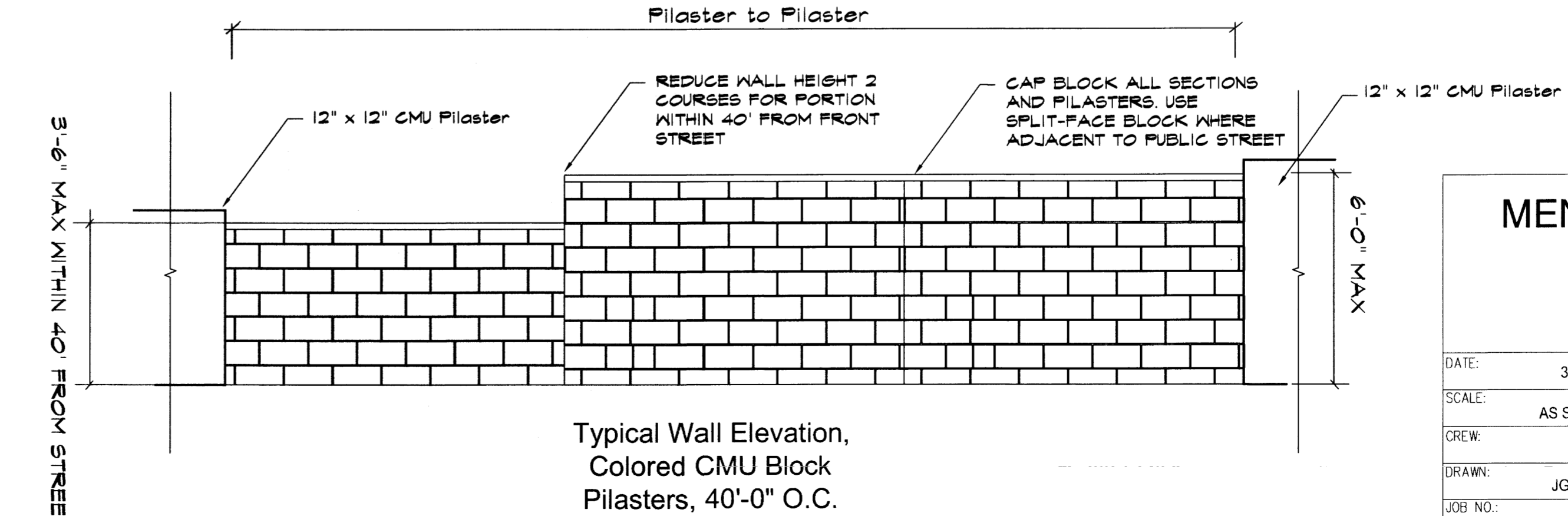
PERIMETER WALL TYPE F-2



PERIMETER WALL TYPE B-1
 SEE RETAINING WALL DETAILS WHERE EARTH DIFFERENTIAL OVER 18\"/>



PERIMETER WALL TYPE G-P1 = PEDESTRIAN
 PERIMETER WALL TYPE G-P2 = VEHICULAR



Typical Wall Elevation, Colored CMU Block Pilasters, 40'-0" O.C.

WALLS AND FENCING

MENAUL SCHOOL CONDOMINIUMS WALL, FENCE, SIGNAGE AND DETAILS

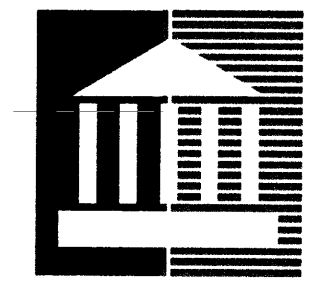
DATE: 3/6/2006
 SCALE: AS SHOWN
 CREW: XX/XX
 DRAWN: JGG/MVH
 JOB NO.: N627

LAND PLANNING P.O. Box 1326
 ENGINEERING Corrales, N.M. 87049
 SURVEYING

SHEET 11 OF 11

community sciences corporation

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GERARD R. BROWN
ARCHITECT

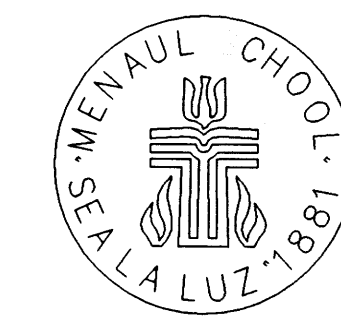
"Designed for the user
to inspire the human spirit"

P.O. BOX 12904
ALBUQUERQUE, NEW MEXICO 87195
PHONE OR FAX
(505) 877-2838
E-Mail: GerardRBrown@aol.com

BUILDING NAME :	GROSS S.F. :	PRACTICAL STUDENT CAPACITY :
ALLISON HALL :	6,349 S.F.	46
BARBER HALL :	6,349 S.F.	N.A.
BENNETT HALL : - GROUND	9,113 S.F.	24
BENNETT HALL : - UPPER	8,261 S.F.	N.A.
BENNETT HALL : - BASEMENT	8,261 S.F.	N.A.
DAVIDSON HALL :	9,866 S.F.	N.A.
DONALDSON HALL : - GROUND	11,009 S.F.	N.A.
DONALDSON HALL : - UPPER	6,604 S.F.	92
DONALDSON HALL : - BASEMENT	1,333 S.F.	N.A.
GYMNASIUM :	21,626 S.F.	25
HEALTH CENTER :	1,048 S.F.	N.A.
HELEN PORTER CHILDS : - GROUND	3,117 S.F.	37
HELEN PORTER CHILDS : - BASEMENT	137 S.F.	N.A.
MEDIA CENTER :	7,483 S.F.	5
OLD BRICK : - GROUND	6,101 S.F.	30
OLD BRICK : - UPPER	6,101 S.F.	53
OLD BRICK : - BASEMENT	369 S.F.	N.A.
RENDON HALL :	15,238 S.F.	136
STUDENT CENTER : - GROUND	2,171 S.F.	10
STUDENT CENTER : - BASEMENT	2,171 S.F.	17
TEACHERS HALL : - GROUND	3,740 S.F.	N.A.
TEACHERS HALL : - UPPER	3,812 S.F.	N.A.
TEACHERS HALL : - BASEMENT	900 S.F.	N.A.
WEIGHT ROOM :	1,032 S.F.	N.A.
COTTAGES AND RESIDENCES :	19,311 S.F.	N.A.
TOTAL CAMPUS BUILDING AREA :	154,507 S.F.	
EXISTING PRACTICAL STUDENT CAPACITY :		476
AVERAGE AGE OF BUILDINGS :	1940 (62 YEARS W.O. / AUX. G.W.)	
	1944 (58 YEARS W. / AUX. G.W.)	

GENERAL NOTES

PROJECT



THE MENAUL SCHOOL
RECORD DRAWINGS

CAMPUS PLAN

301 MENAUL BLVD. N.E.
ALBUQUERQUE, N.M.

REVISIONS

NO.	DATE	DESCRIPTION

DATE: JULY 08, 2003

JOB NO. 9904

PLAN NO.

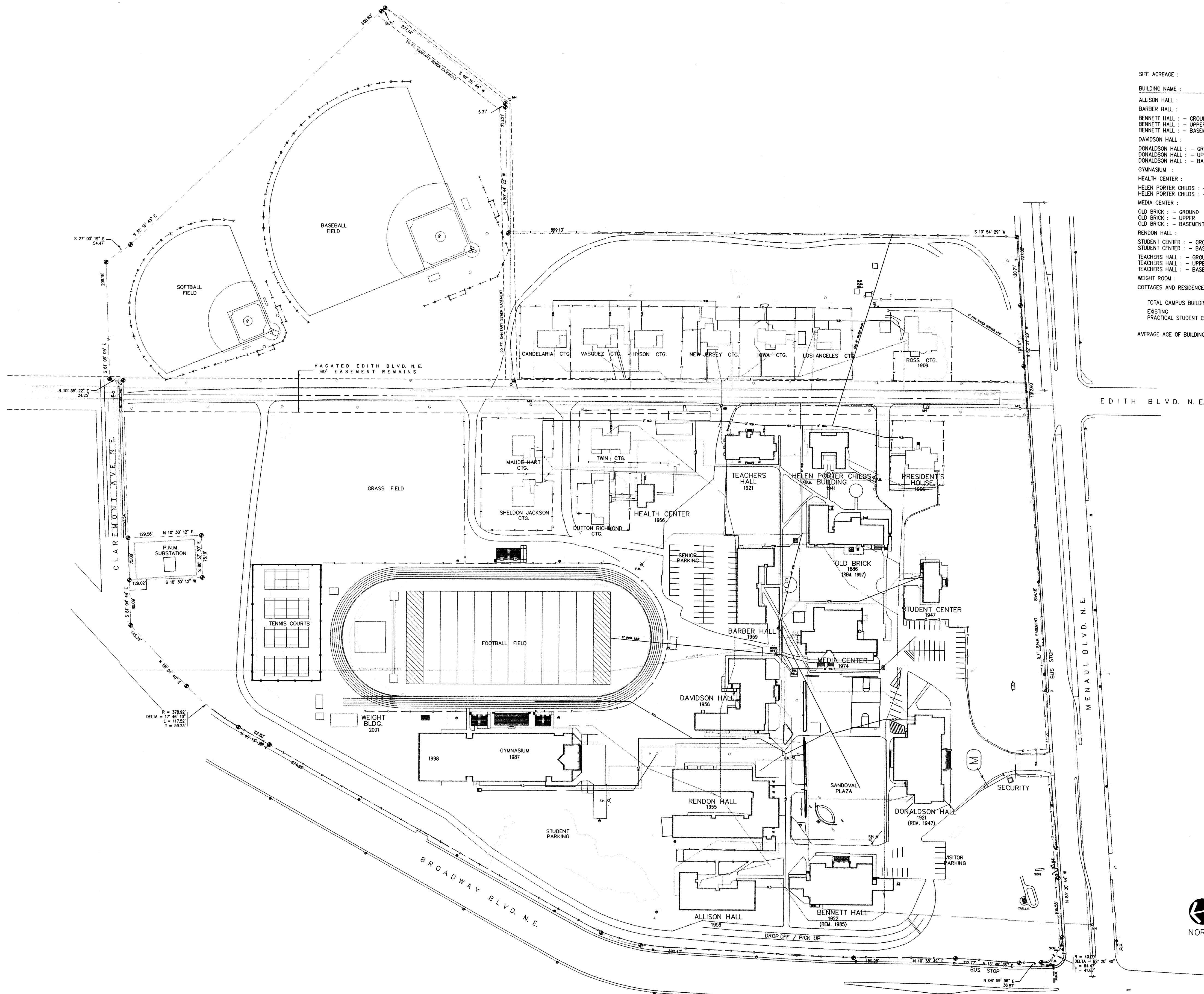
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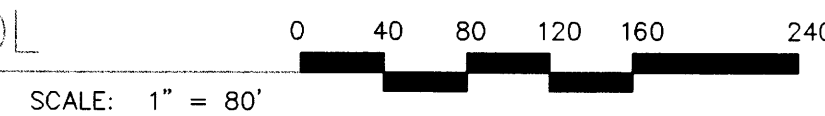
SHEET

CAMPUS PLAN

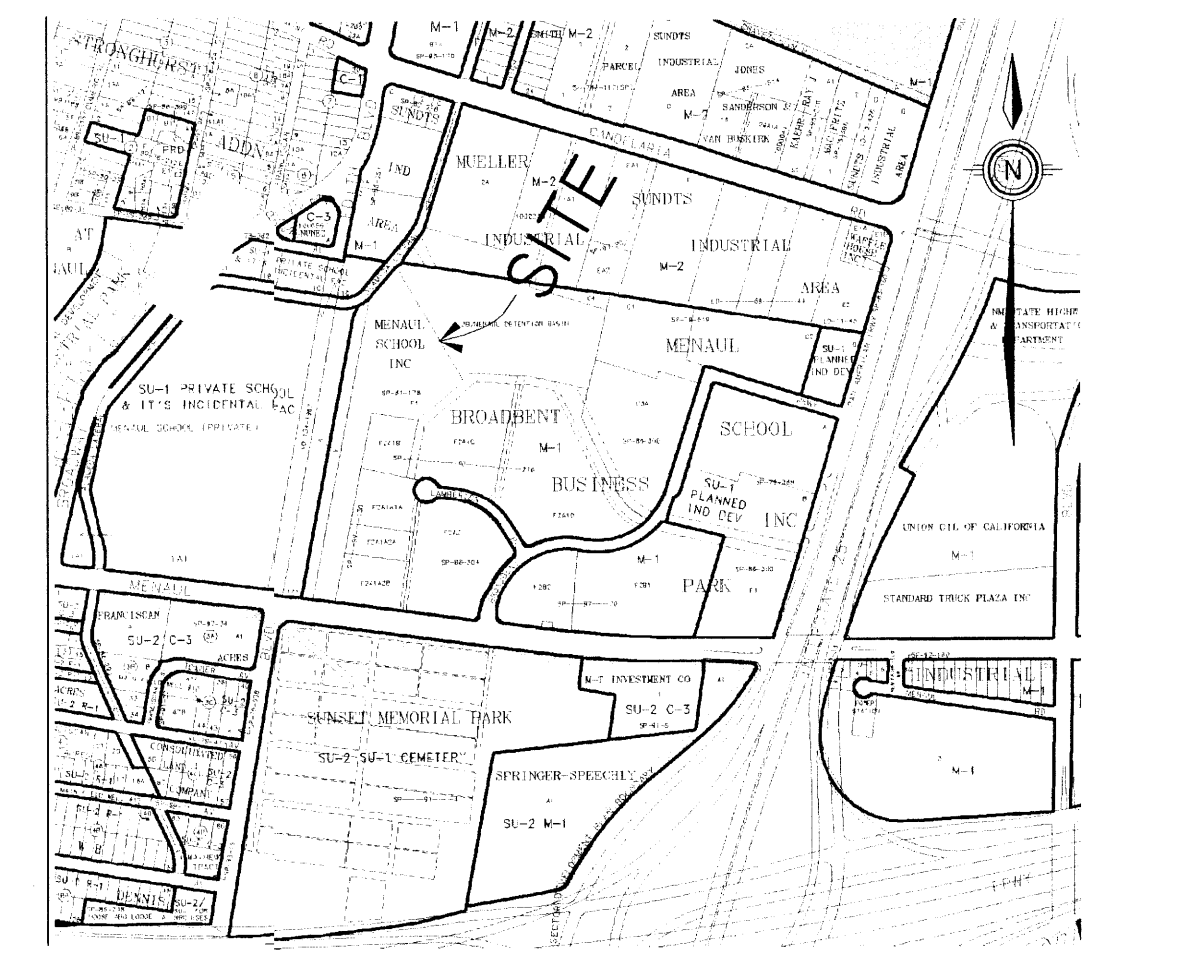
1 OF 1



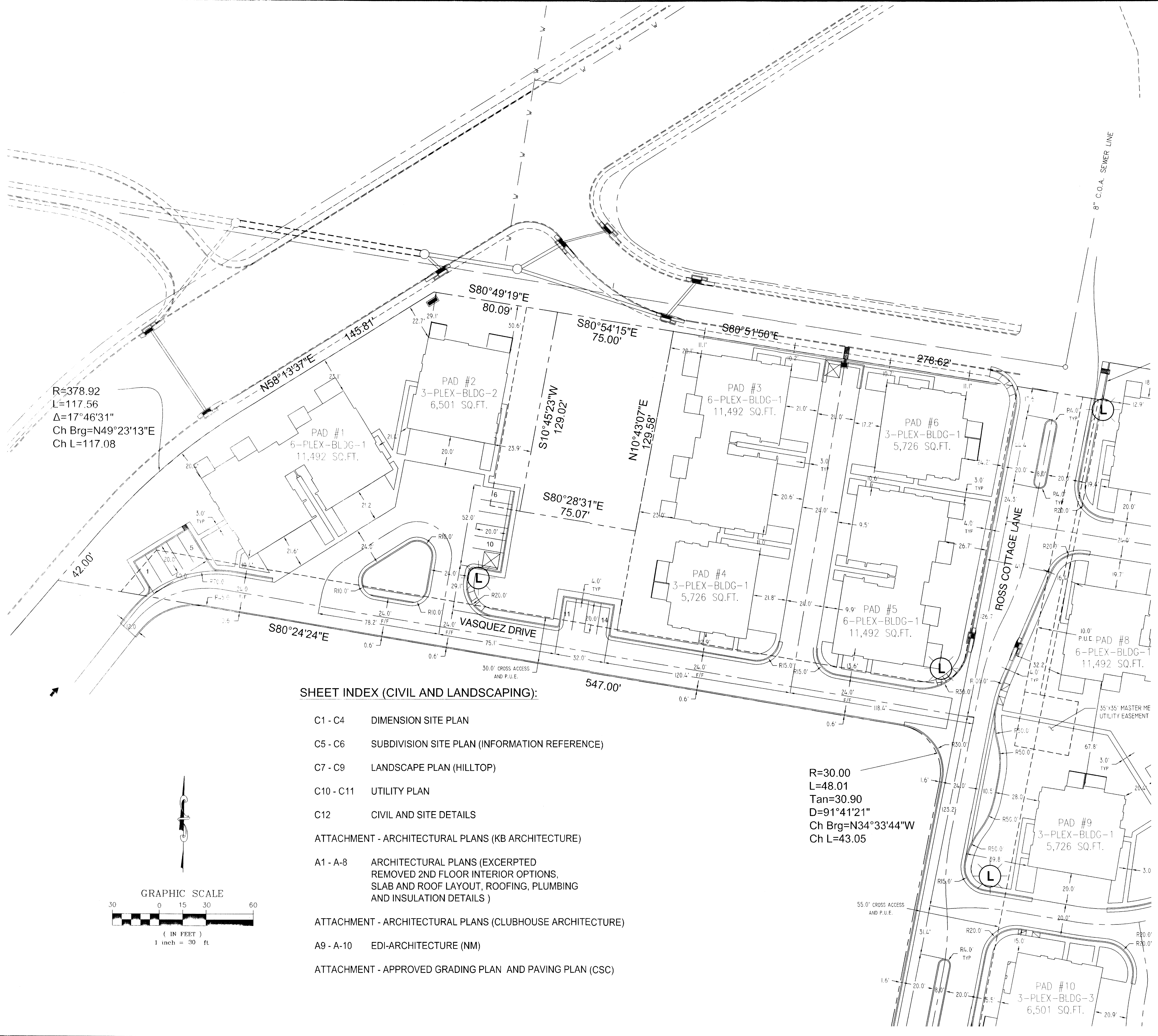
CAMPUS PLAN
THE MENAUL SCHOOL



This drawing has been revised to RECORD including information shown on previous surveys, miscellaneous building drawings and field conditions as documented by THE MENAUL SCHOOL Staff to the Architect. Not all existing field conditions and utilities are shown and field verification is still required. The architect accepts no responsibility for the accuracy or completeness of the Owner's documentation of field conditions.



H-15-Z VICINITY MAP NOT TO SCALE



SITE DATA:

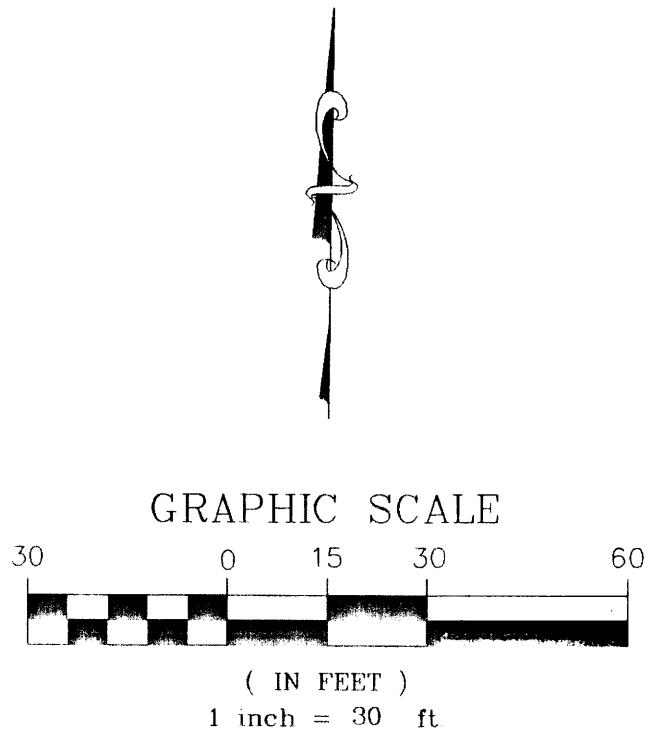
ZONE ATLAS INDEX NO:	H-15-Z
GROSS ACREAGE:	44.95 AC.
NO. OF EXISTING LOTS/TRACTS:	6 (ONE UNRECORDED DEED TRANSFER)
NO. OF LOTS/TRACTS CREATED:	4
LINEAR FEET OF CREATED DRIVE AISLES:	5996 L.F.
ACREAGE OF CREATED DRIVES:	3.29 AC.
GARAGE PARKING:	307 SPACES
OFF-STREET PARKING:	311 SPACES
HANDICAP PARKING:	14 SPACES
MAXIMUM BUILDING HEIGHTS:	28.75 FT.
MINIMUM BUILDING SETBACKS:	10 FT. BETWEEN BUILDINGS, GROUND FLOOR 20 FT. ADJACENT TO BROADBENT BUSINESS PARK 20 FT. ADJACENT STREET RIGHT OF WAY 10 FT. FROM ALAMEDA DETENTION FACILITY
PRIOR CURRENT ZONING:	M-1, SU-1 FOR PRIVATE SCHOOL AND INCIDENTAL FACILITIES
NEW ZONING:	SU-1 FOR PRD (E.P.C. 12/15/05)
LAND USE:	213 SINGLE-FAMILY CONDOMINIUMS, CLUBHOUSE AND POOL, PRIVATE DRIVE AISLES, OPEN SPACE COMMON AREAS
APPLICABLE PLANS:	NORTH VALLEY AREA PLAN, 1993 ALBUQUERQUE BERNALILLO COUNTY COMPREHENSIVE PLAN, 2002
NEIGHBORHOOD ASSOCIATIONS:	SANTA BARBARA-MARTINEZTOWN ASSOC. (SBM) STRONGHURST IMPROVEMENT ASSOC. INC. (SIA)

PROJECT NUMBER: 1004474
 APPLICATION NUMBER: 05-EPC-1568, 1569
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 15, 2005 and the Findings and Conditions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB BUILDING PERMIT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

- SHEET INDEX (CIVIL AND LANDSCAPING):**
- C1 - C4 DIMENSION SITE PLAN
 - C5 - C6 SUBDIVISION SITE PLAN (INFORMATION REFERENCE)
 - C7 - C9 LANDSCAPE PLAN (HILLTOP)
 - C10 - C11 UTILITY PLAN
 - C12 CIVIL AND SITE DETAILS
- ATTACHMENT - ARCHITECTURAL PLANS (KB ARCHITECTURE)
- A1 - A-8 ARCHITECTURAL PLANS (EXCERPTED REMOVED 2ND FLOOR INTERIOR OPTIONS, SLAB AND ROOF LAYOUT, ROOFING, PLUMBING AND INSULATION DETAILS)
- ATTACHMENT - ARCHITECTURAL PLANS (CLUBHOUSE ARCHITECTURE)
- A9 - A-10 EDI-ARCHITECTURE (NM)
- ATTACHMENT - APPROVED GRADING PLAN AND PAVING PLAN (CSC)



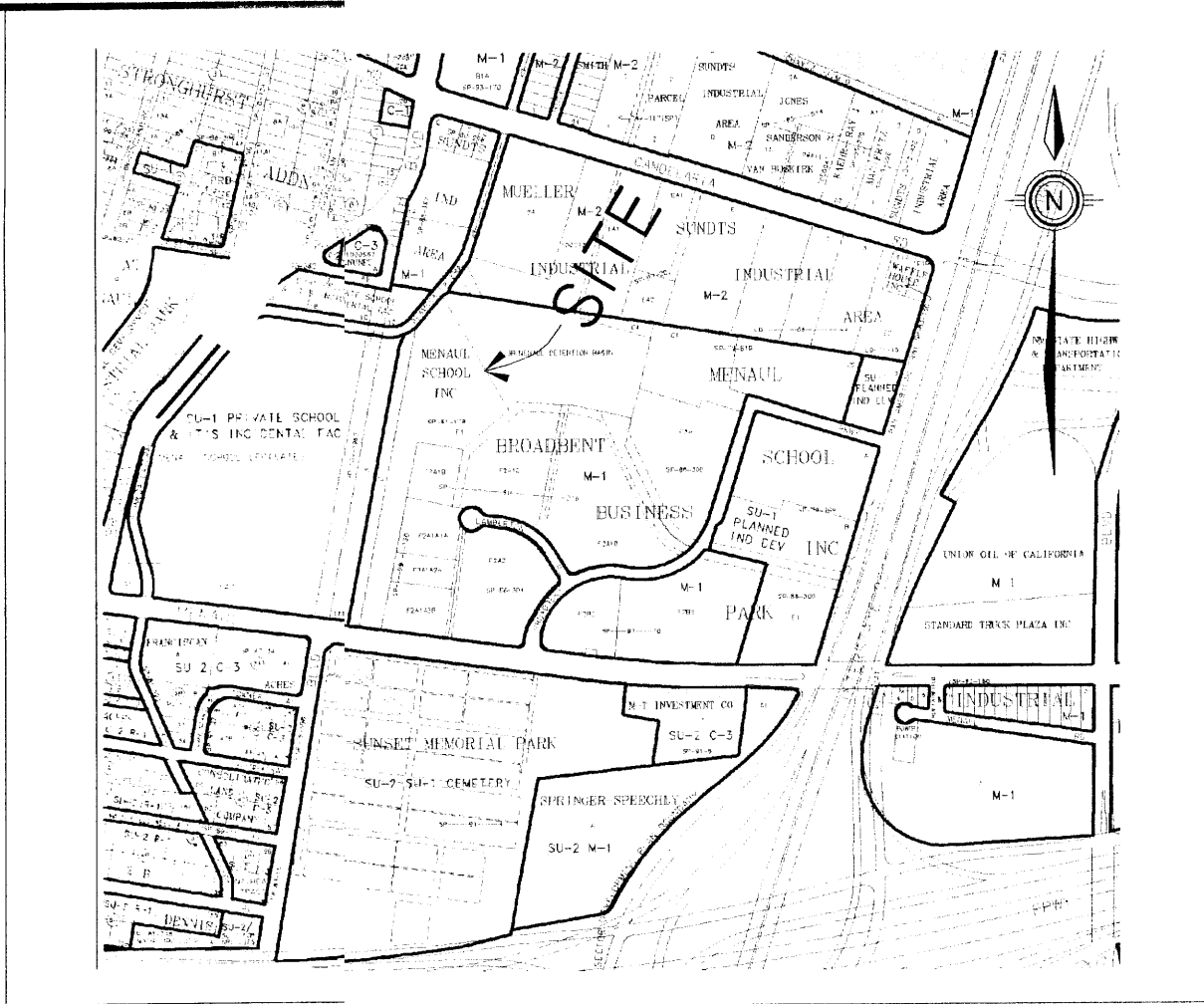
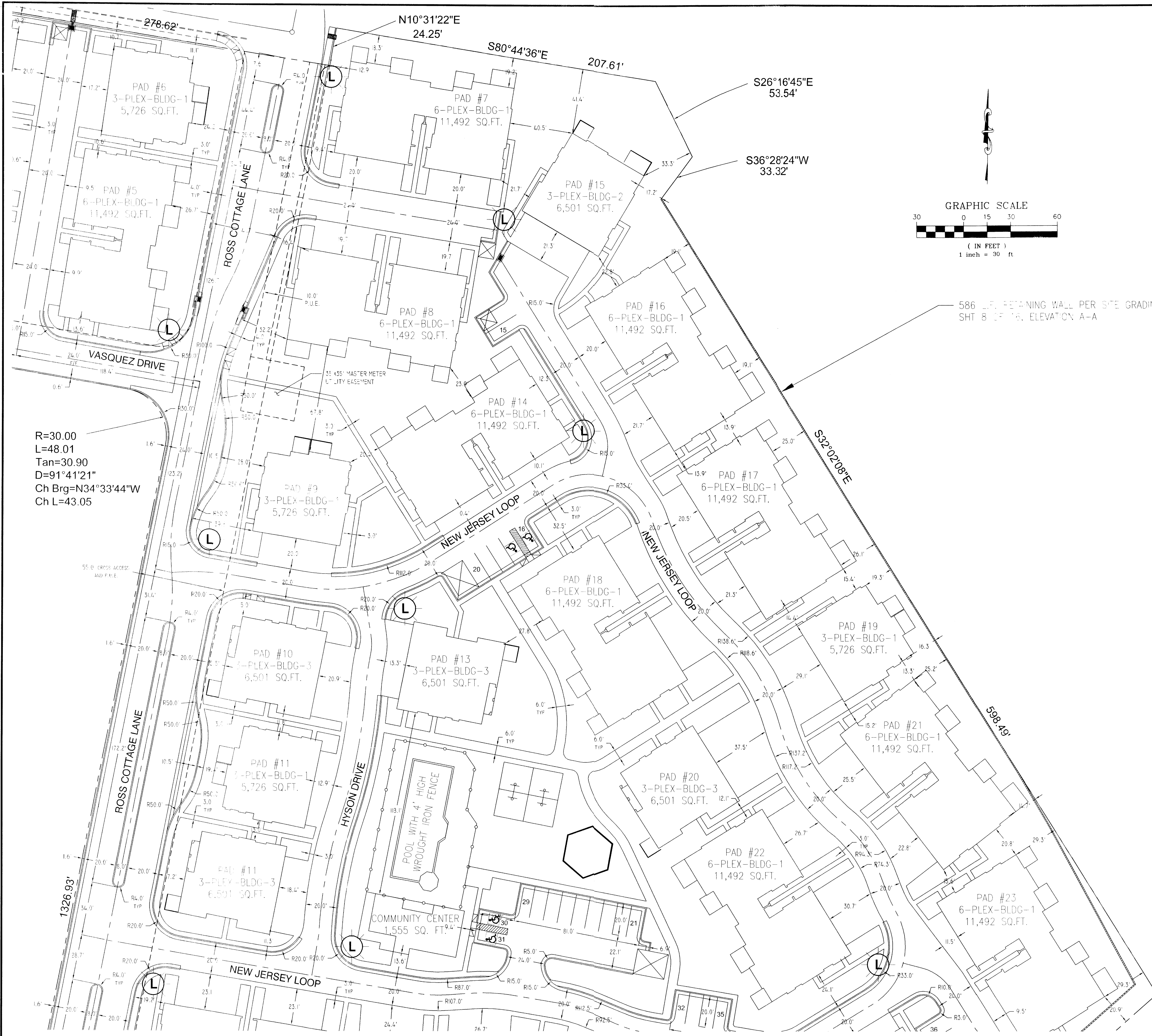
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F:\PROJECTS\IN\27 KBHOME\Manual School\SDP\Site Plan Building Permit\BP Siteplan.dwg

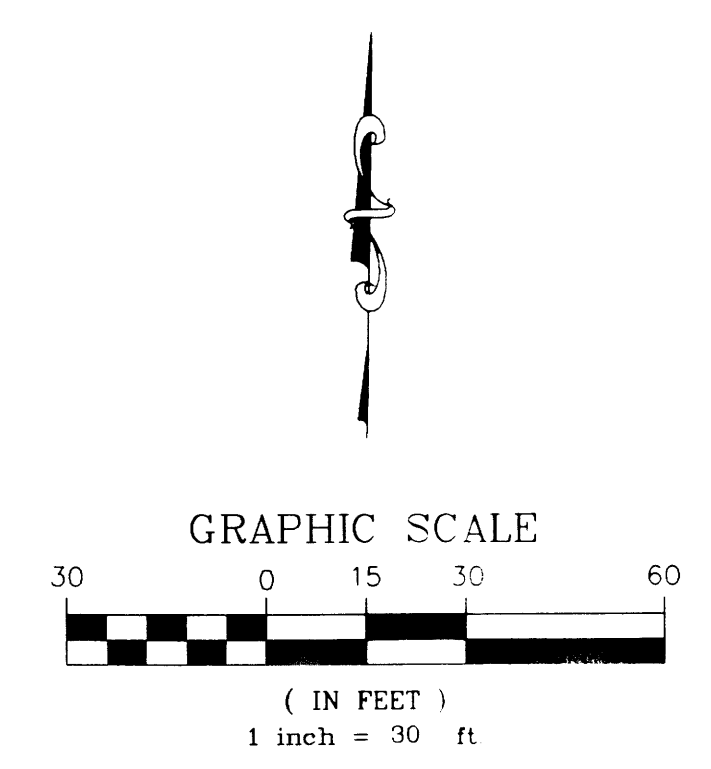
**VILLAS AT MANUAL
 SITE PLAN FOR BUILDING PERMIT**

DATE:	5/12/2006		SHEET C1 OF 12
SCALE:	AS SHOWN		
CREW:	XXXX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627-16		

LAND PLANNING P.O. Box 1328
 ENGINEERING Corrales, N.M. 87048
 SURVEYING



H-15-Z VICINITY MAP NOT TO SCALE

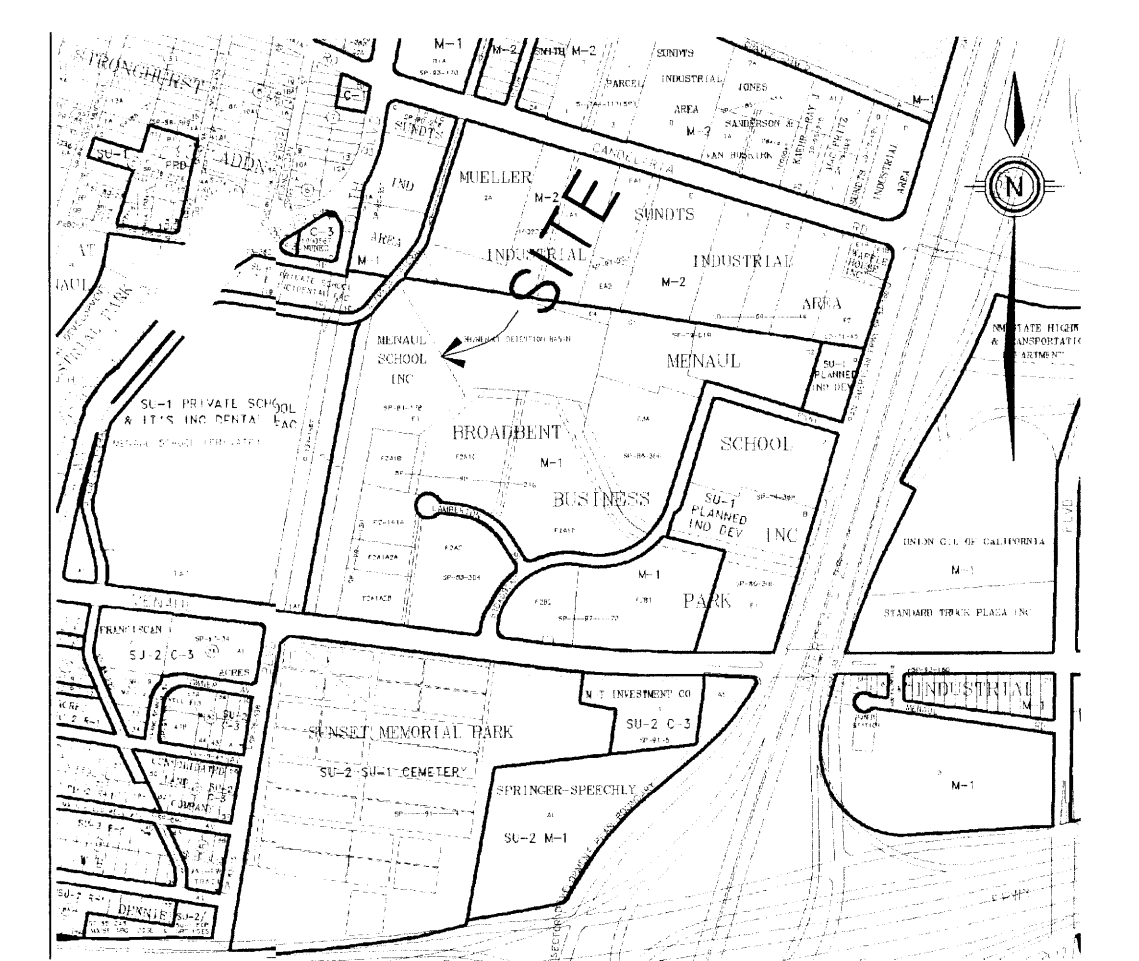
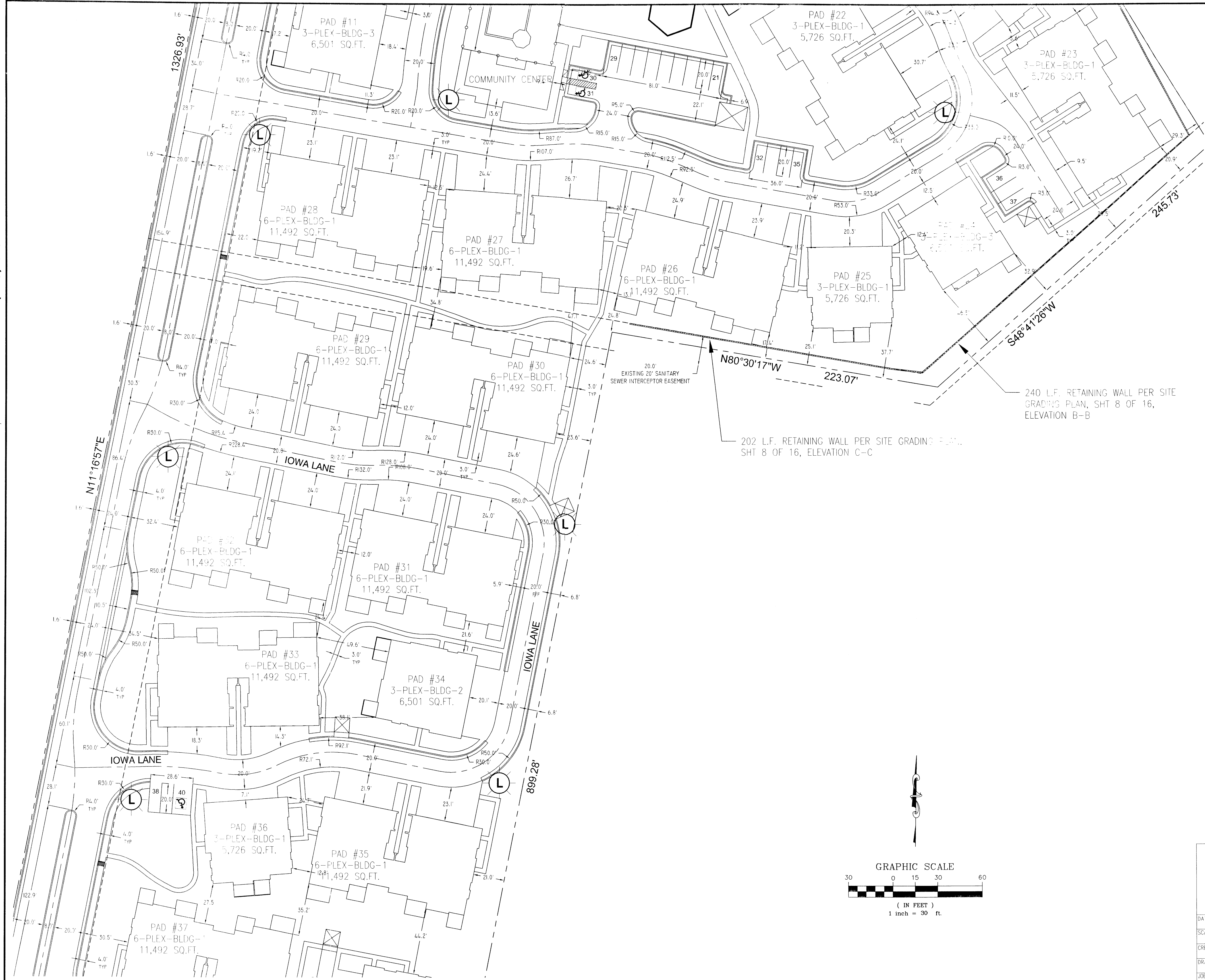


- GENERAL NOTES: (UNLESS OTHERWISE INDICATED):**
1. REFERENCE ARCHITECTURAL SHEET CA FOR TYPICAL FLOORPLAN LAYOUTS.
 2. DIMENSIONS FOR PAVING ARE TO FACE OF CURB (FLOWLINE)
 3. MEASUREMENTS ARE RADIAL OR PERPENDICULAR TO FEATURES.

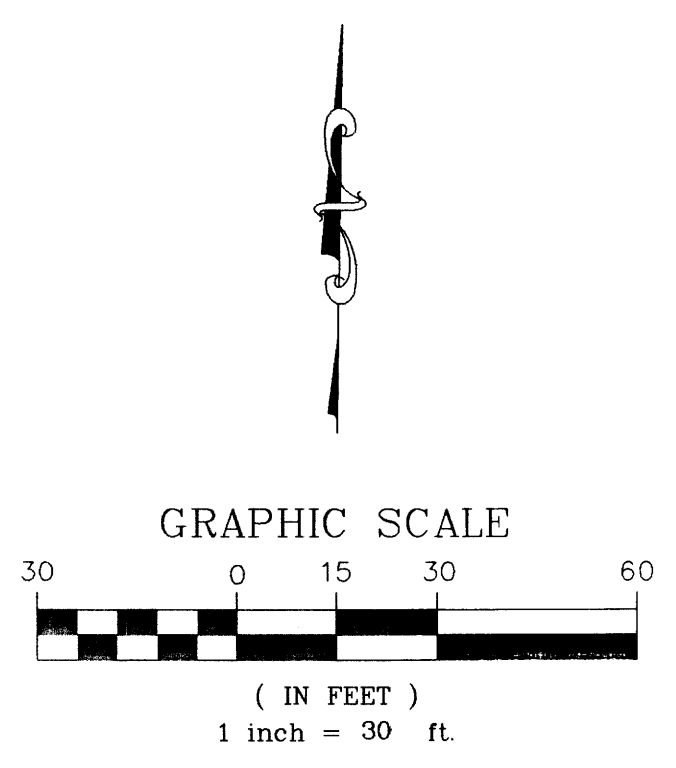
- LIGHTING, WALL / FENCING PLAN NOTES: (UNLESS OTHERWISE INDICATED):**
1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
 - (F-1) FENCING PLAN LOCATION AND TYPE (REF: SHEET 11)
 - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
 - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
 3. 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
- APPROXIMATE SIGN LOCATION
 TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

VILLAS AT MANUAL
SITE PLAN FOR BUILDING PERMIT

DATE:	5/12/2006		SHEET
SCALE:	AS SHOWN		C2 OF 12
CREW:	XX/XX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627-16		
LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING		REVISED 03/11/06 PER DRR COMMENTS	



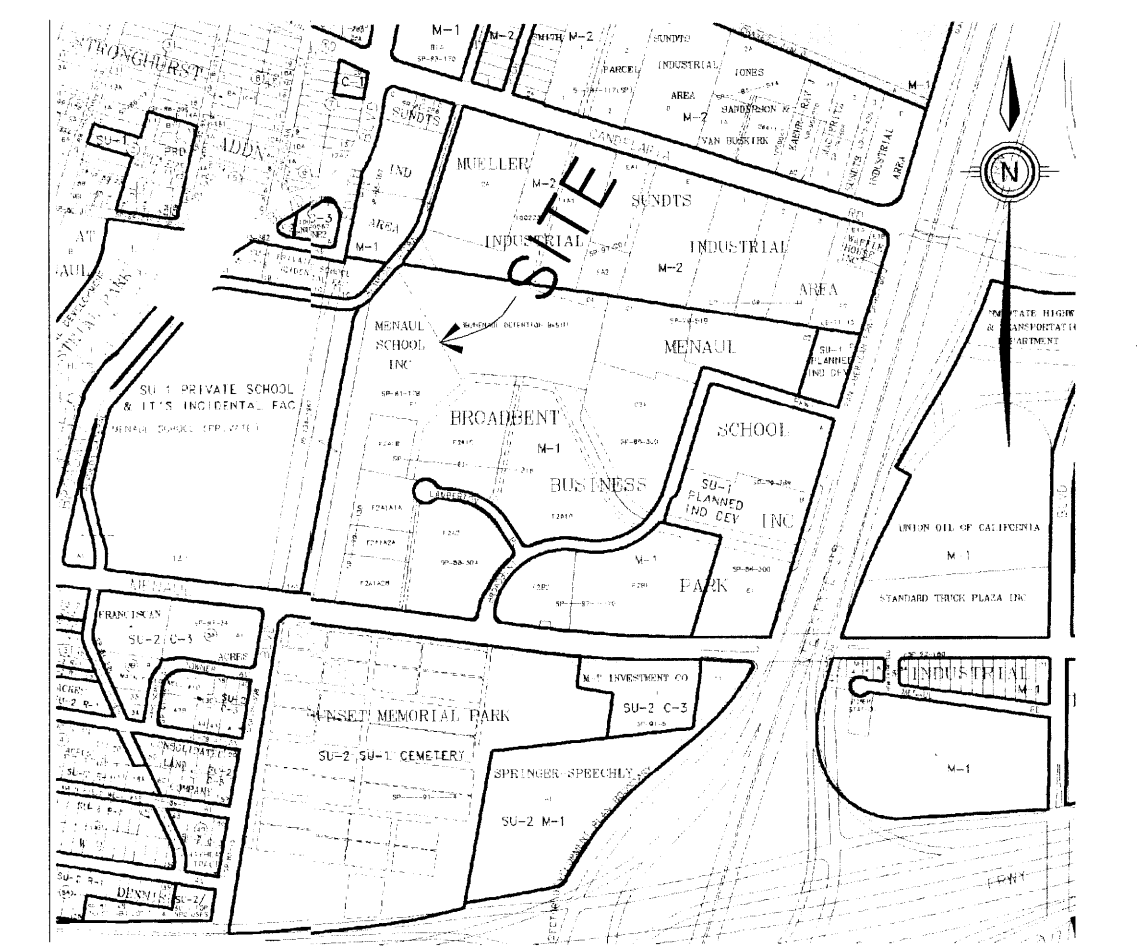
H-15-Z VICINITY MAP NOT TO SCALE



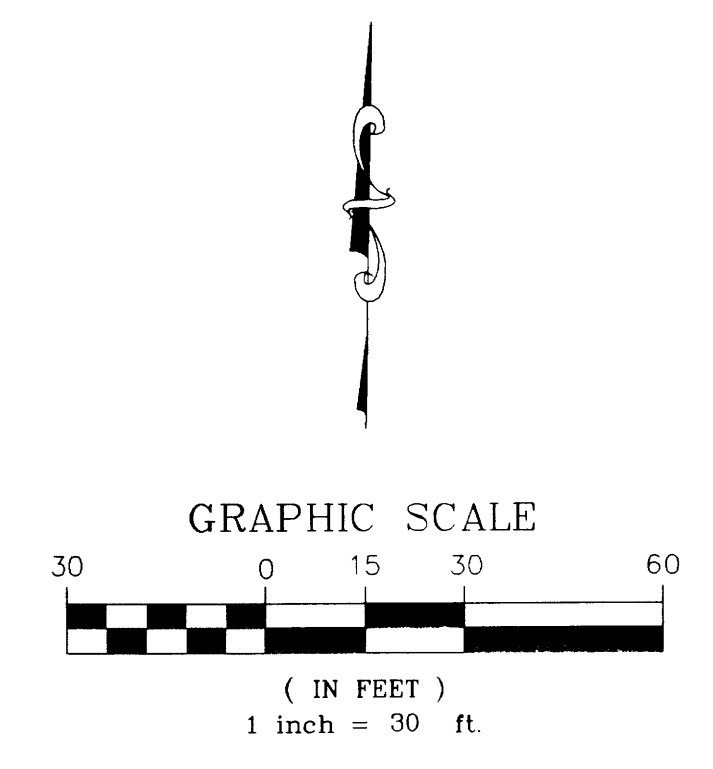
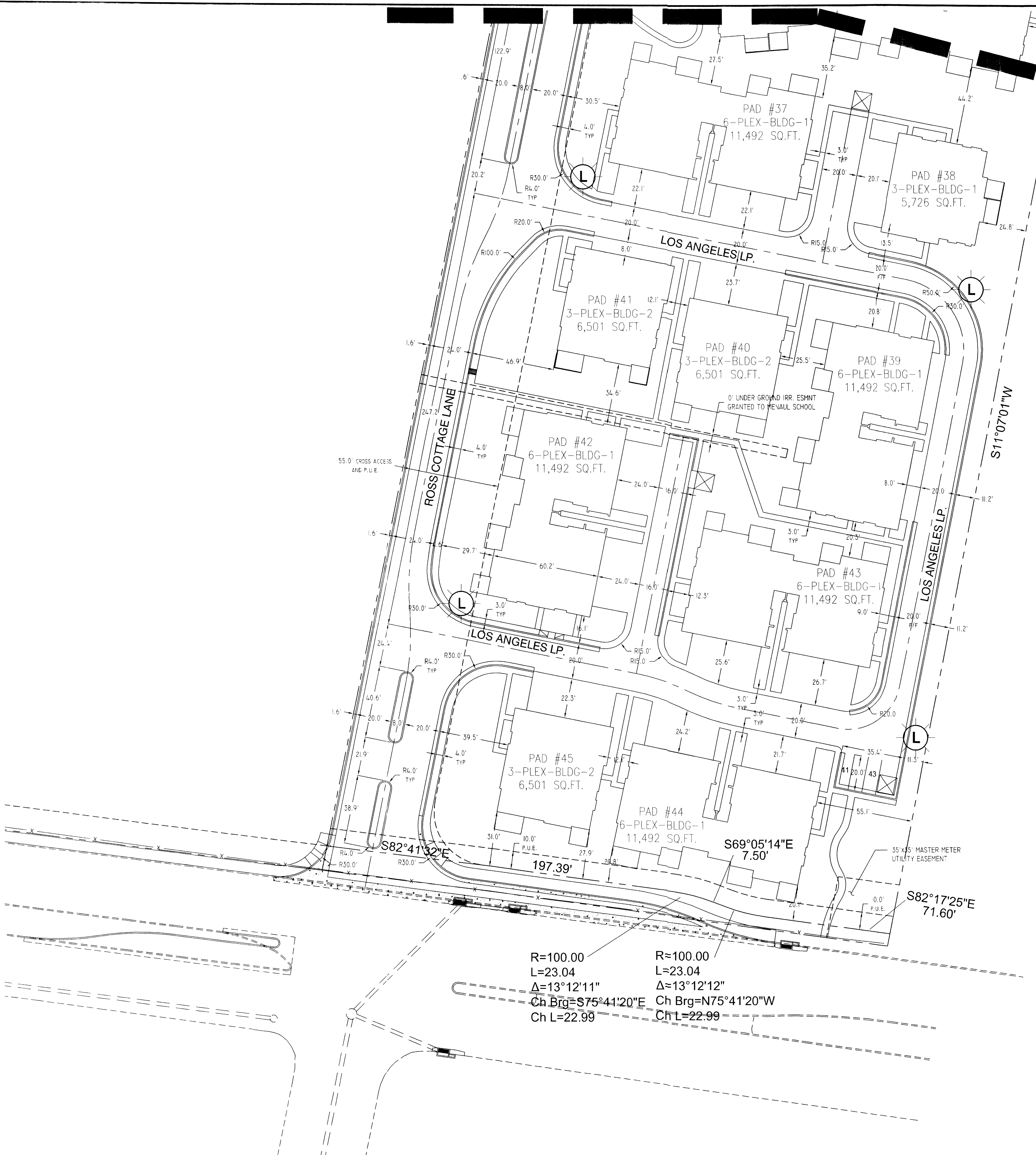
VILLAS AT MANUAL
 SITE PLAN FOR BUILDING PERMIT

DATE:	5/12/2006		SHEET
SCALE:	AS SHOWN		C3 of 12
CREW:	XX/XX		
DRAWN:	CAS/JGG/MVH		
JOB NO.:	N627-16		
LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING			

PHASE TWO
PHASE ONE (2006)



H-15-Z VICINITY MAP NOT TO SCALE

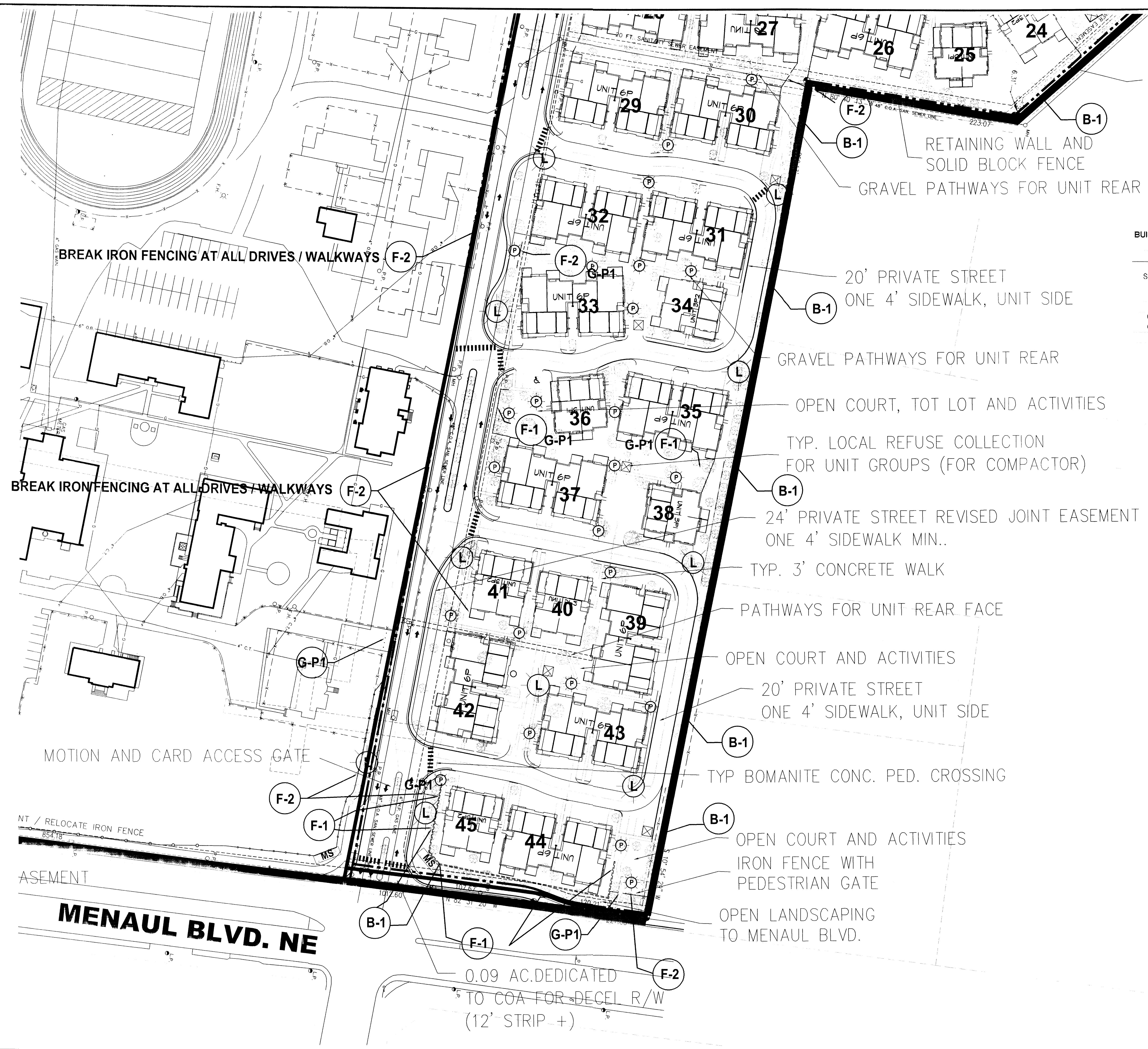


R=100.00
L=23.04
Δ=13°12'11"
Ch Brg=S75°41'20"E
Ch L=22.99

R=100.00
L=23.04
Δ=13°12'12"
Ch Brg=N75°41'20"W
Ch L=22.99

VILLAS AT MENAUL
SITE PLAN FOR BUILDING PERMIT

DATE:	5/12/2006		SHEET C4 OF 12
SCALE:	AS SHOWN		
CREW:	XX/XX		
DRAWN:	CAS/JGG/MMH		
JOB NO.:	N627-16		
LAND PLANNING P.O. Box 1328 CORRALES, N.M. 87048		ENGINEERING CORRALES, N.M. 87048	



LIGHTING, WALL / FENCING PLAN NOTES: (UNLESS OTHERWISE INDICATED):

- WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
 - (F-1) FENCING PLAN LOCATION AND TYPE (REF. DETAIL SHEET)
- LIGHTING PER SHEET 11 STANDARDS:
 - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
 - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
- 5' X 15' MONUMENT SIGNS PER SHEET 10 DETAIL
 - (MS) APPROXIMATE SIGN LOCATION
 - (X) TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON, WITH SEMI-OPAQUE MESH SCREEN)

BUILDING COLOR PALETTE:

MATERIALS	MFG.	SCHEME 1	SCHEME 2	SCHEME 3
STUCCO	SHERWIN WILLIAMS	SW 2813	SW 6116	SW 2329
STUCCO HIGHLIGHT	SHERWIN WILLIAMS	SW 2814	SW 0045	SW 1350
ACCENT	SHERWIN WILLIAMS	SW 7062	SW 6187	SW 2731
FASCIA	SHERWIN WILLIAMS	SW 6146	SW 6068	SW 2069
TRIM	SHERWIN WILLIAMS	SW 6119	SW 6119	SW 2059
GARAGE 2-CAR	SHERWIN WILLIAMS	SW 2813	SW 6116	SW 2329
GARAGE 1-CAR	SHERWIN WILLIAMS	SW 2813	SW 6116	SW 2329
ROOF	MONIER LIFETILE	1 BCCS 6464	1 BCCS 6464	1 BCCS 6464

BUILDING COLOR UNIT / APPLICATION:

BUILDING LOCATION CODE (SEE SITE PLAN)	
COLOR SCHEME 1	1, 4, 6, 8, 10, 16, 18, 21, 24, 26, 28, 30, 33, 35, 40, 42, 44
COLOR SCHEME 2	2, 5, 9, 12, 13, 15, 17, 20, 23, 25, 27, 32, 34, 36, 38, 41, 43
COLOR SCHEME 3	3, 7, 11, 14, 19, 22, 29, 31, 37, 39, 45, CLUBHOUSE

GENERIC NAMES (SHERWIN WILLIAMS):

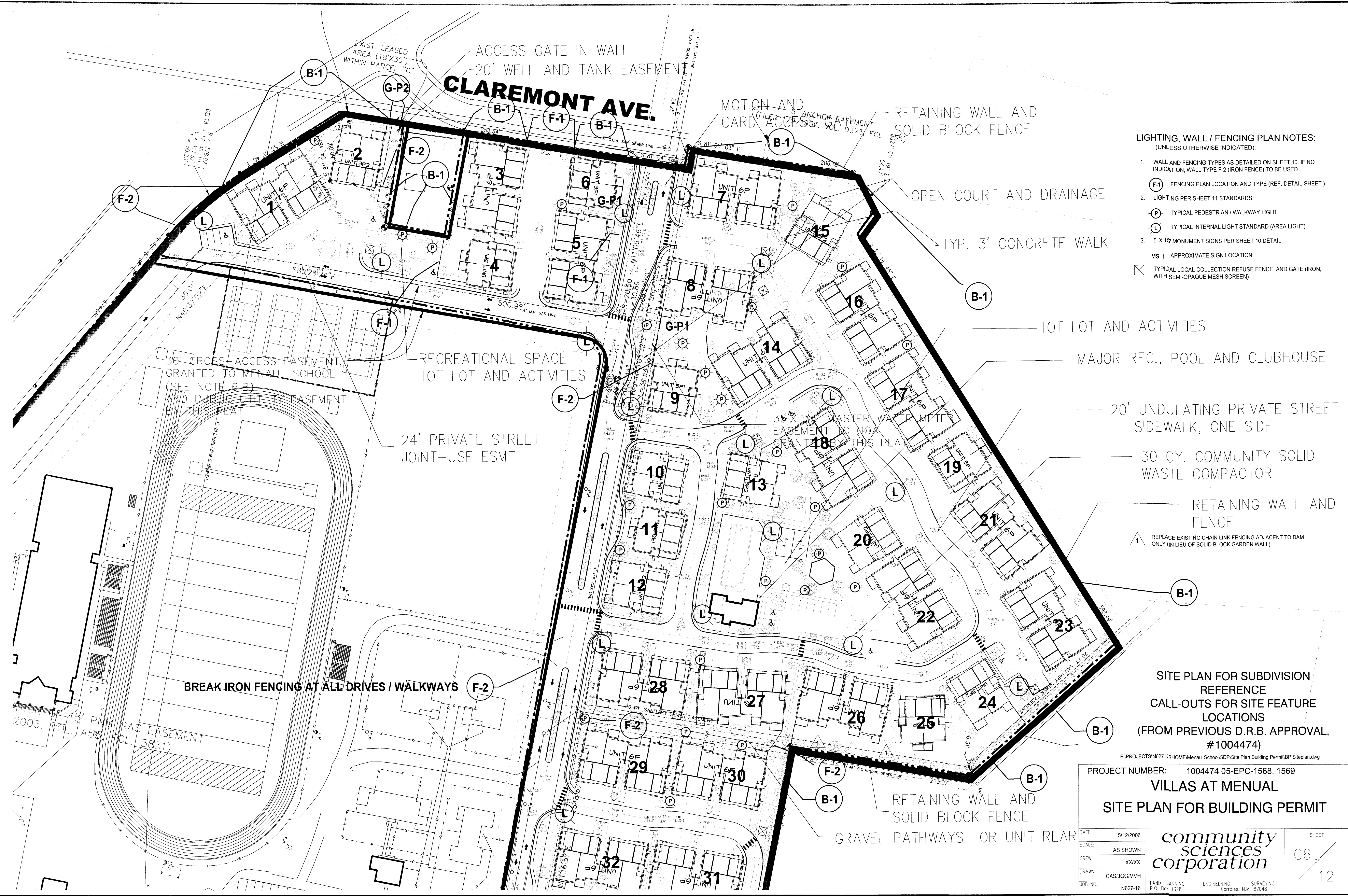
SW 0045	ANTIQUARIAN BROWN
SW 1350	MEDIUM BROWN
SW 2059	SAND
SW 2069	FALCON BROWN
SW 2329	BRANDYWINE
SW 2731	OLIVE BROWN
SW 2813	DOWNING STRAW
SW 2814	ROCKWOOD ANTIQUE GOLD
SW 6068	BREVITY BROWN
SW 6116	TATAMI TAN
SW 6119	ANTIQUE WHITE
SW 6146	UMBER
SW 6187	ROSEMARY
SW 7062	ROCKBOTTOM (SLATE)

**SITE PLAN FOR SUBDIVISION REFERENCE
CALL-OUTS FOR SITE FEATURE LOCATIONS
(FROM PREVIOUS D.R.B. APPROVAL, #1004474)**

F:\PROJECTS\IN627\BHOME\Manual Schools\Site Plan Building Permit\BP Siteplan.dwg

PROJECT NUMBER: 1004474 05-EPC-1568, 1569
VILLAS AT MANUAL
SITE PLAN FOR BUILDING PERMIT

DATE: 5/12/2006		SHEET
SCALE: AS SHOWN		C5 of 12
CREW: XXXX		
DRAWN: CAS/JG/MVH		
JOB NO.: N627-16		
LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048	SURVEYING



LIGHTING, WALL / FENCING PLAN NOTES:
(UNLESS OTHERWISE INDICATED):

1. WALL AND FENCING TYPES AS DETAILED ON SHEET 10. IF NO INDICATION, WALL TYPE F-2 (IRON FENCE) TO BE USED.
2. LIGHTING PER SHEET 11 STANDARDS:
 - (P) TYPICAL PEDESTRIAN / WALKWAY LIGHT
 - (L) TYPICAL INTERNAL LIGHT STANDARD (AREA LIGHT)
3. 5' X 1 1/2' MONUMENT SIGNS PER SHEET 10 DETAIL
 - (MS) APPROXIMATE SIGN LOCATION
 - (X) TYPICAL LOCAL COLLECTION REFUSE FENCE AND GATE (IRON WITH SEMI-OPAQUE MESH SCREEN)

1 REPLACE EXISTING CHAIN LINK FENCING ADJACENT TO DAM ONLY (IN LIEU OF SOLID BLOCK GARDEN WALL).

SITE PLAN FOR SUBDIVISION REFERENCE
CALL-OUTS FOR SITE FEATURE LOCATIONS
(FROM PREVIOUS D.R.B. APPROVAL, #1004474)

F:\PROJECTS\N627 KH\HOME\Manual School\SDP\Site Plan Building Permit\BP Siteplan.dwg

PROJECT NUMBER: 1004474 05-EPC-1568, 1569

VILLAS AT MANUAL
SITE PLAN FOR BUILDING PERMIT

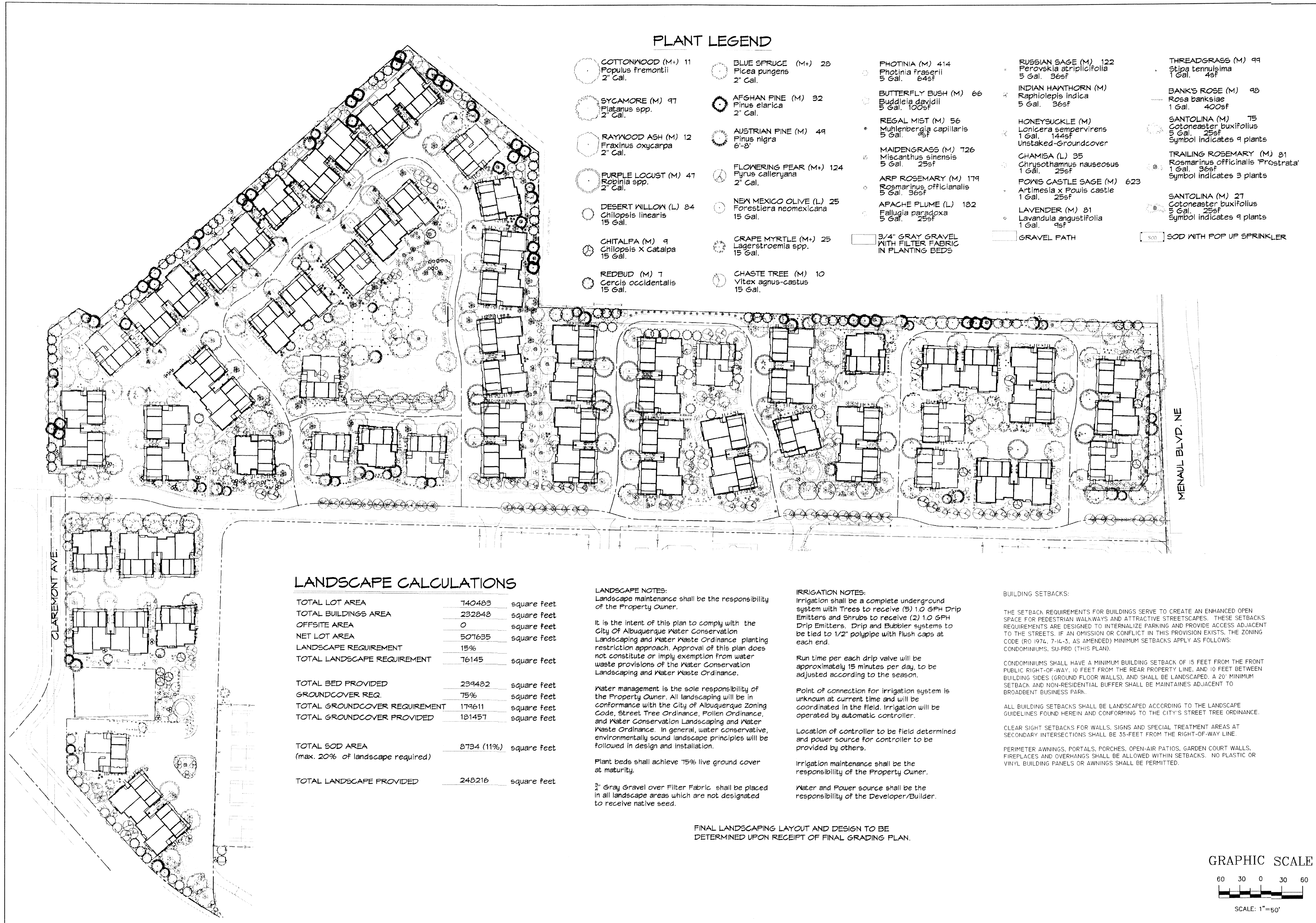
DATE:	5/12/2006
SCALE:	AS SHOWN
CREW:	XXXX
DRAWN:	CAS/JGG/MVH
JOB NO.:	N627-16

community sciences corporation

LAND PLANNING P.O. Box 1328
ENGINEERING Corrales, N.M. 87048
SURVEYING

SHEET
C6 OF 12

CONDOMINIUM ILLUSTRATED CONFIGURATION - CLAREMONT, NEW MEXICO - (505) 837-7000



PLANT LEGEND

- | | | | | |
|---|--|---|--|--|
| ○ COTTONWOOD (M+) 11
Populus fremontii
2" Gal. | ○ BLUE SPRUCE (M+) 28
Picea pungens
2" Gal. | ○ PHOTINIA (M) 414
Photinia fraserii
5 Gal. 64sf | ○ RUSSIAN SAGE (M) 122
Perovskia atriplicifolia
5 Gal. 96sf | ○ THREADGRASS (M) 99
Stipa tenuissima
1 Gal. 4sf |
| ○ SYCAMORE (M) 97
Platanus spp.
2" Gal. | ○ AFGHAN PINE (M) 32
Pinus elarica
2" Gal. | ○ BUTTERFLY BUSH (M) 66
Buddleia davidii
5 Gal. 100sf | ○ INDIAN HANTHORN (M)
Raphiolepis indica
5 Gal. 96sf | ○ BANK'S ROSE (M) 98
Rosa banksiae
1 Gal. 400sf |
| ○ RAYWOOD ASH (M) 12
Fraxinus oxycarpa
2" Gal. | ○ AUSTRIAN PINE (M) 49
Pinus nigra
6'-8' | ○ REGAL MIST (M) 56
Muhlenbergia capillaris
5 Gal. 25sf | ○ HONEYBUCKLE (M)
Lonicera sempervirens
1 Gal. 144sf
Unstaked-Groundcover | ○ SANTOLINA (M) 75
Cotoneaster buxifolius
5 Gal. 25sf
Symbol indicates 9 plants |
| ○ PURPLE LOCUST (M) 47
Robinia spp.
2" Gal. | ○ FLOWERING PEAR (M+) 124
Pyrus calleryana
2" Gal. | ○ MAIDENGRASS (M) 126
Miscanthus sinensis
5 Gal. 25sf | ○ CHAMISA (L) 35
Chrysothamnus nauseosus
1 Gal. 25sf | ○ TRAILING ROSEMARY (M) 81
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants |
| ○ DESERT WILLOW (L) 84
Chilopsis linearis
15 Gal. | ○ NEW MEXICO OLIVE (L) 25
Forestiera neomexicana
15 Gal. | ○ ARP ROSEMARY (M) 179
Rosmarinus officinalis
5 Gal. 36sf | ○ POWIS CASTLE SAGE (M) 623
Artemisia x Powis castle
1 Gal. 25sf | ○ SANTOLINA (M) 27
Cotoneaster buxifolius
5 Gal. 25sf
Symbol indicates 9 plants |
| ○ CHITALPA (M) 9
Chilopsis x Catalpa
15 Gal. | ○ GRAPE MYRTLE (M+) 25
Lagerstroemia spp.
15 Gal. | ○ 3/4" GRAY GRAVEL
WITH FILTER FABRIC
IN PLANTING BEDS | ○ LAVENDER (M) 81
Lavandula angustifolia
1 Gal. 4sf | ○ SOD WITH POP UP SPRINKLER |
| ○ REDBUD (M) 7
Cercis occidentalis
15 Gal. | ○ CHASTE TREE (M) 10
Vitex agnus-castus
15 Gal. | | | |

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	140483	square feet
TOTAL BUILDINGS AREA	232848	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	507635	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	76145	square feet
TOTAL BED PROVIDED	239482	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	179611	square feet
TOTAL GROUNDCOVER PROVIDED	181457	square feet
TOTAL SOD AREA (max. 20% of landscape required)	8734 (11%)	square feet
TOTAL LANDSCAPE PROVIDED	248216	square feet

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with Flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

BUILDING SETBACKS:
THE SETBACK REQUIREMENTS FOR BUILDINGS SERVE TO CREATE AN ENHANCED OPEN SPACE FOR PEDESTRIAN WALKWAYS AND ATTRACTIVE STREETSCAPES. THESE SETBACK REQUIREMENTS ARE DESIGNED TO INTERNALIZE PARKING AND PROVIDE ACCESS ADJACENT TO THE STREETS. IF AN OMISSION OR CONFLICT IN THIS PROVISION EXISTS, THE ZONING CODE (RD 1974, 744-3, AS AMENDED) MINIMUM SETBACKS APPLY AS FOLLOWS:
CONDOMINIUMS: SU-PRO (THIS PLAN).

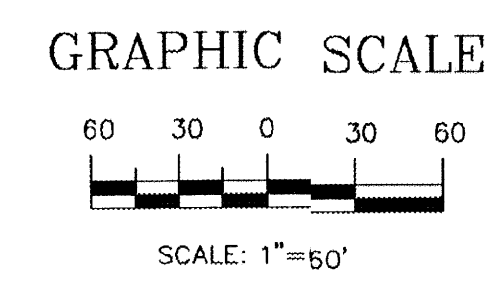
CONDOMINIUMS SHALL HAVE A MINIMUM BUILDING SETBACK OF 15 FEET FROM THE FRONT PUBLIC RIGHT-OF-WAY, 10 FEET FROM THE REAR PROPERTY LINE, AND 10 FEET BETWEEN BUILDING SIDES (GROUND FLOOR WALLS), AND SHALL BE LANDSCAPED. A 20' MINIMUM SETBACK AND NON-RESIDENTIAL BUFFER SHALL BE MAINTAINED ADJACENT TO BROADBENT BUSINESS PARK.

ALL BUILDING SETBACKS SHALL BE LANDSCAPED ACCORDING TO THE LANDSCAPE GUIDELINES FOUND HEREIN AND CONFORMING TO THE CITY'S STREET TREE ORDINANCE.

CLEAR SIGHT SETBACKS FOR WALLS, SIGNS AND SPECIAL TREATMENT AREAS AT SECONDARY INTERSECTIONS SHALL BE 35- FEET FROM THE RIGHT-OF-WAY LINE.

PERIMETER AWNINGS, PORTALS, PORCHES, OPEN-AIR PATIOS, GARDEN COURT WALLS, FIREPLACES AND OVERHANGS SHALL BE ALLOWED WITHIN SETBACKS. NO PLASTIC OR VINYL BUILDING PANELS OR AWNINGS SHALL BE PERMITTED.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



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Albuquerque, NM 87184
Ph. (505) 898-9950
Fax (505) 898-7737
cm@thehilltop.com

LANDSCAPE ARCHITECTS
P.C.

JAMES DE LEON
#20707

KB HOME, INC. - MENAUL SCHOOL
ALBUQUERQUE, NV

LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are provided by copyright release of respect unless applicable fees have been paid or otherwise stated.

The Hilltop

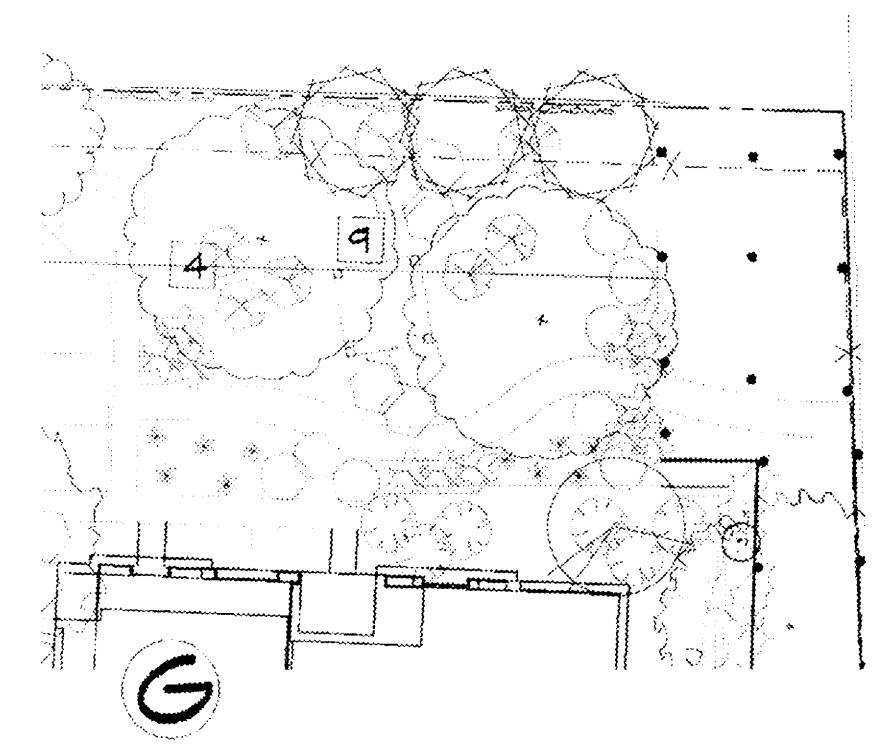
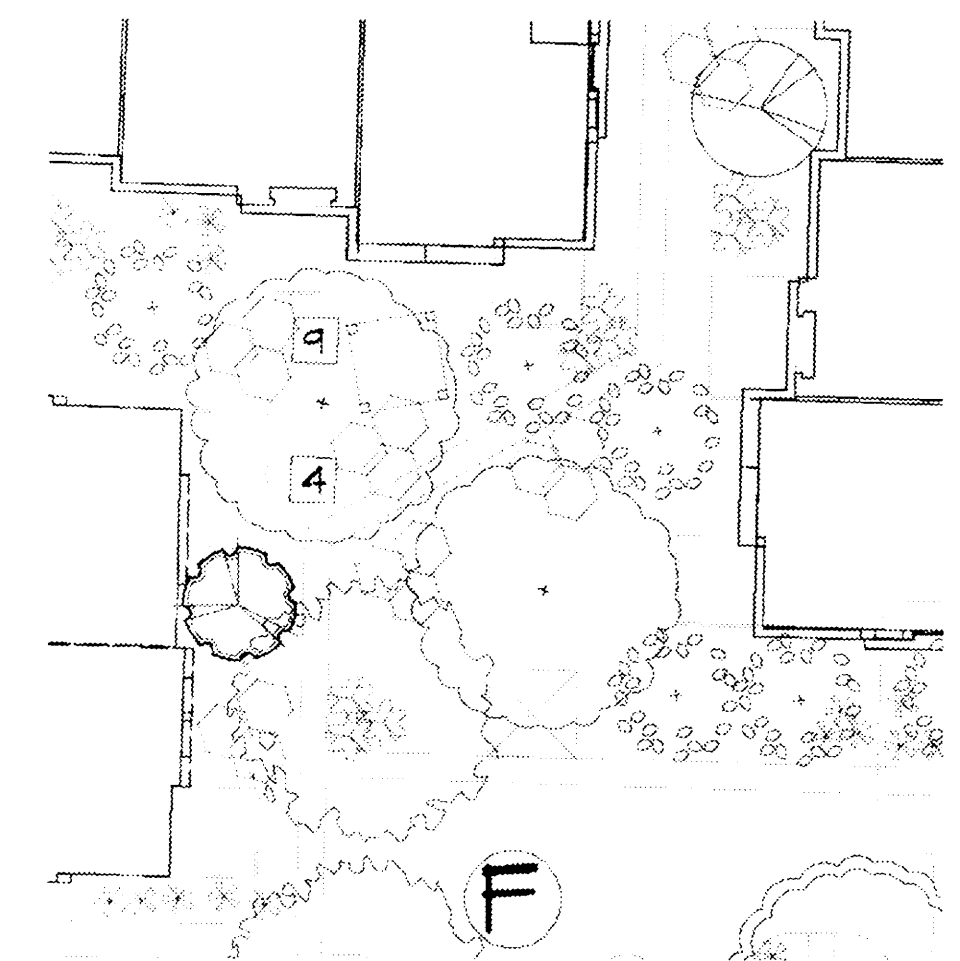
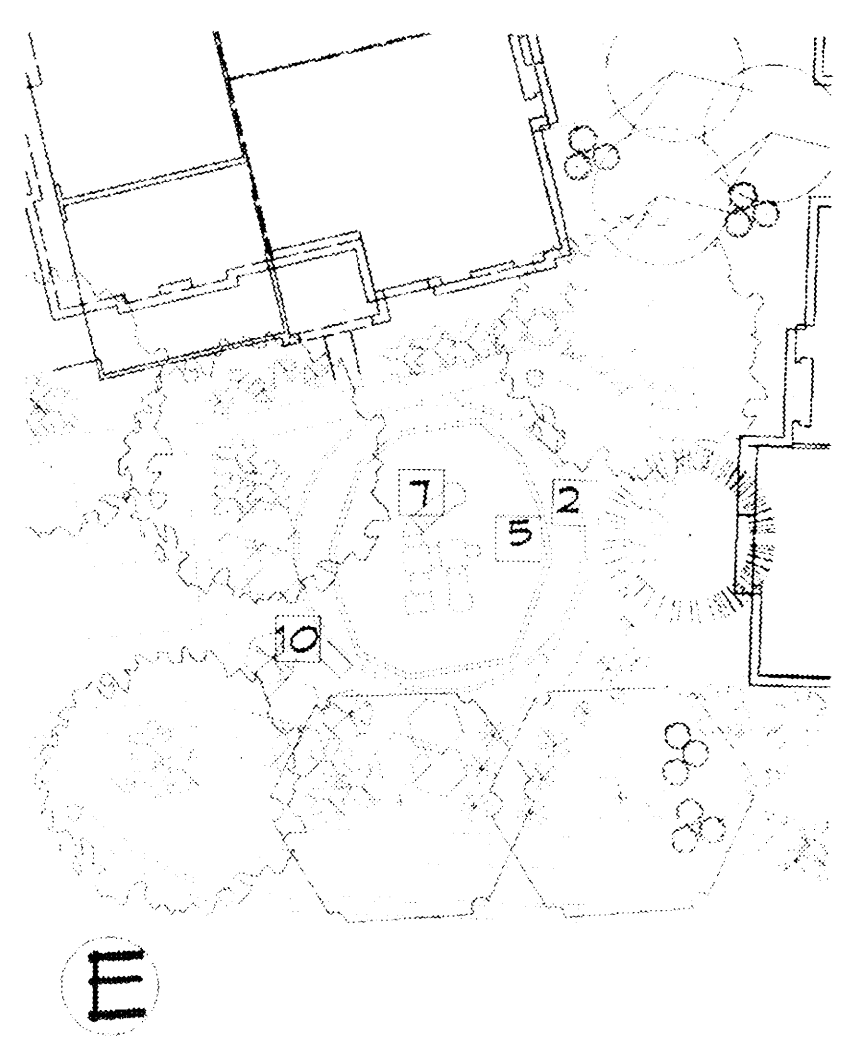
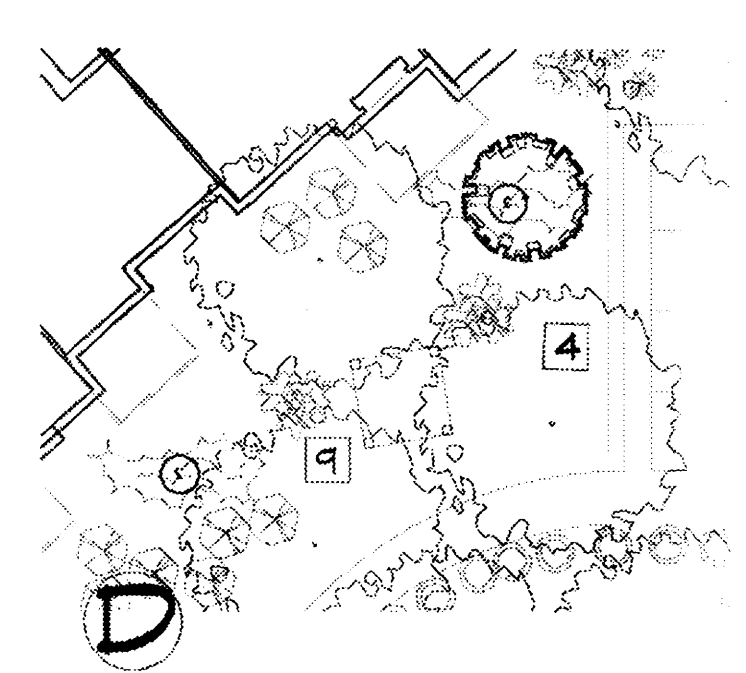
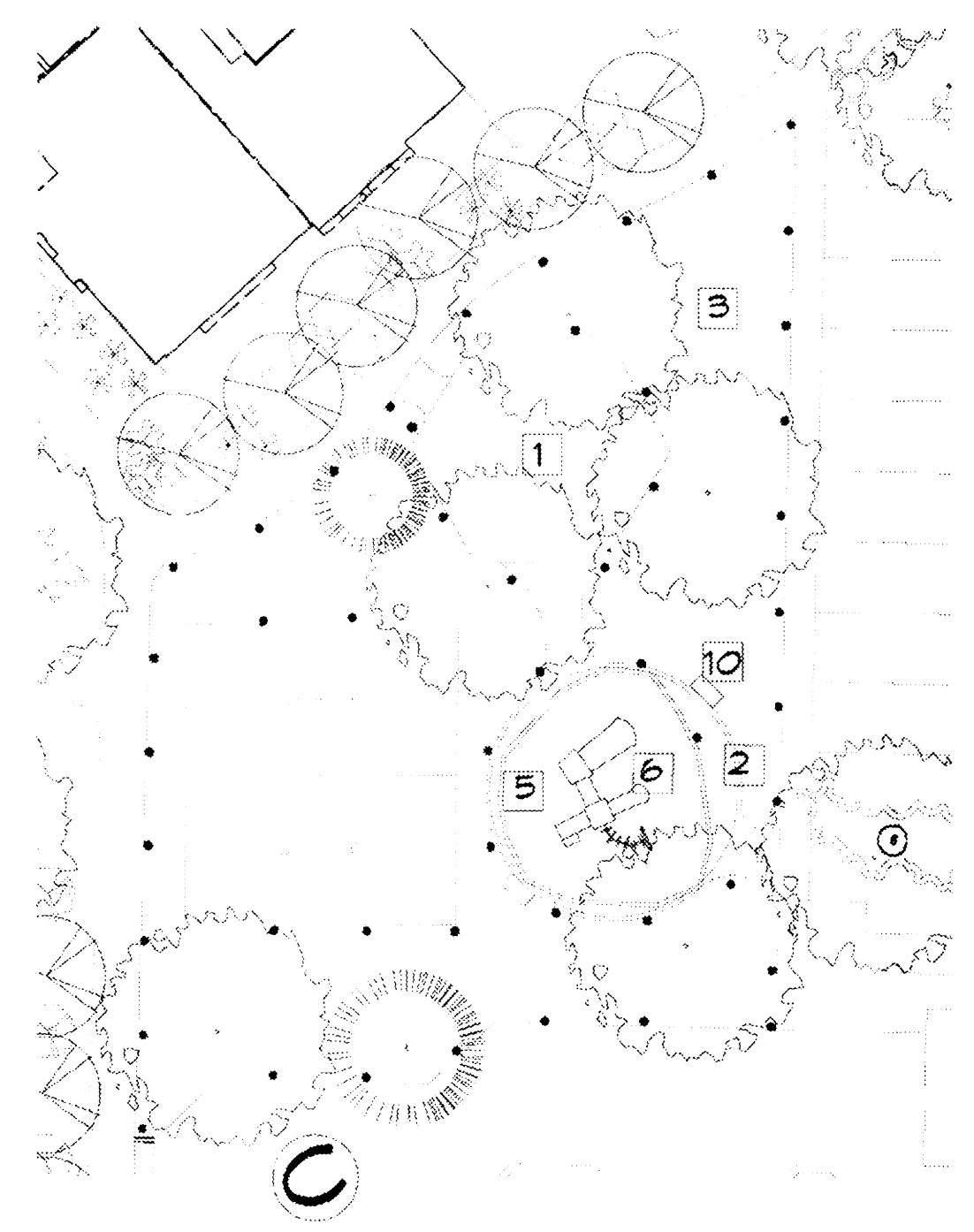
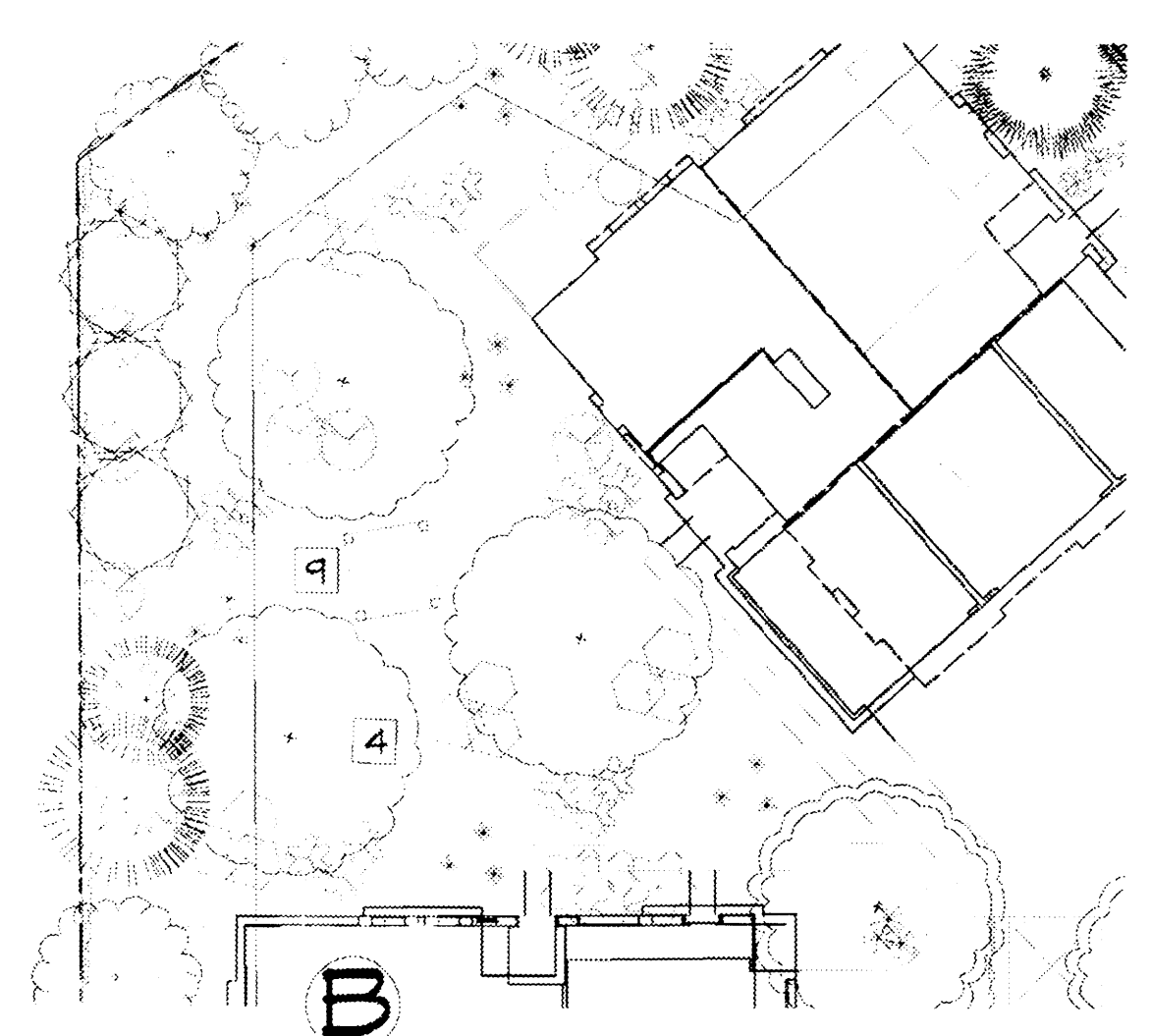
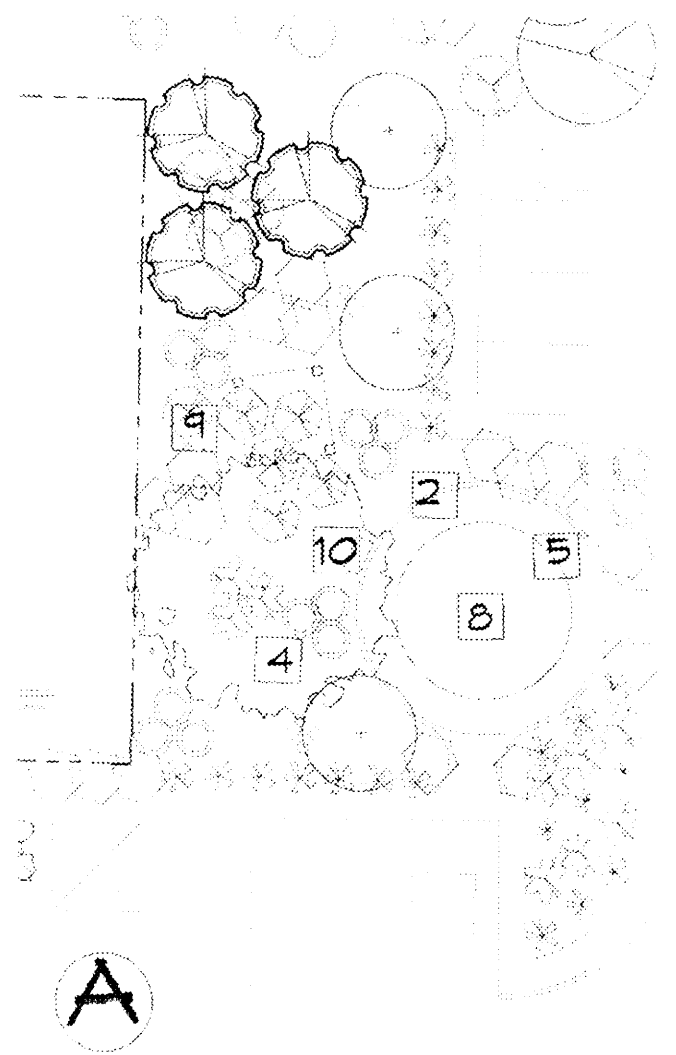
LANDSCAPE ARCHITECTS & CONTRACTORS

PROJ. # 1004474
REV. # 4-1
DATE 3-15-25

SHEET #

L1 of L3

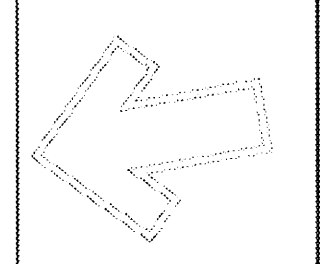
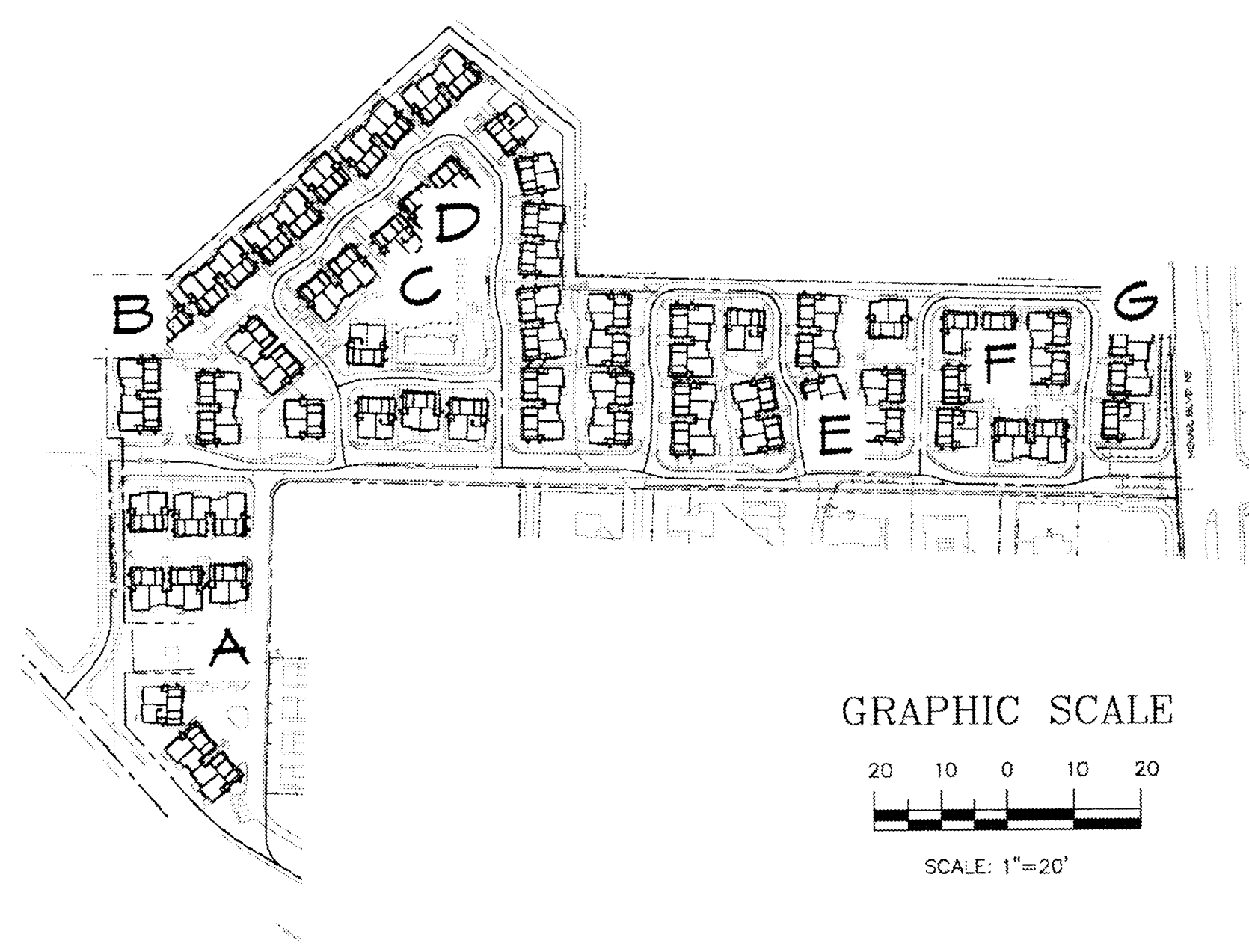
CONDOMINIUM I CONDOMINIUM II CONDOMINIUM III CONDOMINIUM IV CONDOMINIUM V CONDOMINIUM VI CONDOMINIUM VII CONDOMINIUM VIII CONDOMINIUM IX CONDOMINIUM X CONDOMINIUM XI CONDOMINIUM XII CONDOMINIUM XIII CONDOMINIUM XIV CONDOMINIUM XV CONDOMINIUM XVI CONDOMINIUM XVII CONDOMINIUM XVIII CONDOMINIUM XIX CONDOMINIUM XX CONDOMINIUM XXI CONDOMINIUM XXII CONDOMINIUM XXIII CONDOMINIUM XXIV CONDOMINIUM XXV CONDOMINIUM XXVI CONDOMINIUM XXVII CONDOMINIUM XXVIII CONDOMINIUM XXIX CONDOMINIUM XXX



KEYED NOTES

- 1 POLYGON SHADE STRUCTURE BY OTHERS
- 2 6" x 6" CONCRETE MONOCURE
- 3 SOD LAWN
- 4 3" GREY GRAVEL 3" DEEP W/ FF
- 5 12" DEEP PLAY SAND
- 6 PLAY STRUCTURE AGES 5-12 PLAYMAKERS MODEL NO. 500-0401 (SEE DETAIL SHEET 2)
- 7 PLAY STRUCTURE AGES 2-5 EXPLORERS MODEL NO. 238-0324 (SEE DETAIL SHEET 2)
- 8 GEODOME CLIMBER BY PLAYWORLD SYSTEMS AGES 5-12 (SEE DETAIL SHEET 2)
- 9 10' x 10' RAMADA WITH 6' PICNIC TABLE-SURFACE MOUNT MODEL AND BBQ GRILL (SEE DETAIL SHEET 2)
- 10 4' BENCH WITH ARM RESTS ON SIDES SURFACE MOUNT (SEE DETAIL SHEET 2)

Product	Manufacturer/Species	Model No.	Quantity	Location
Playstructure	Playworld Systems Capacity up to 20 children ages 5-12 Size: 18x12x10 Use Zone 20x20 Colors: Forest green posts, red components, beige and green plastic, yellow desks and stairs.	500-0401	1	Clubhouse
Playstructure	Playworld Systems Capacity up to 20 children ages 2-5 Size: 15x12x11 Use Zone 20x20 Colors: Forest green posts, red components, beige and green plastic, yellow desks and stairs.	238-0324	1	Blg 36
Playstructure	Playworld Systems Capacity up to 7 children ages 5-12 Size: 6' dia x 4' Use Zone 20' dia Colors: Forest green	238P1561	1	Blg 4
Ramada	The Hilltop Landscaping Size: 10x10 Material: Galval Stain: Olympic 411	N/A	5	Blg 22 Blg 39 Blg 44 Blg 7 Blg 4
Geodome Climber	Playworld Systems Colors: Beige top, Hunter Green Frame	22XX1401	5	Blg 22 Blg 39 Blg 44 Blg 7 Blg 4
Table, BBQ Grill	Playworld Systems	22XX1451	5	Blg 22 Blg 39 Blg 44 Blg 7 Blg 4
4' Bench	Playworld Systems Colors: Beige top, Forest Green Legs	22XX1465	5	Clubhouse (2) Blg 36 (2) Blg 4 (2)



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ema@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON
80007

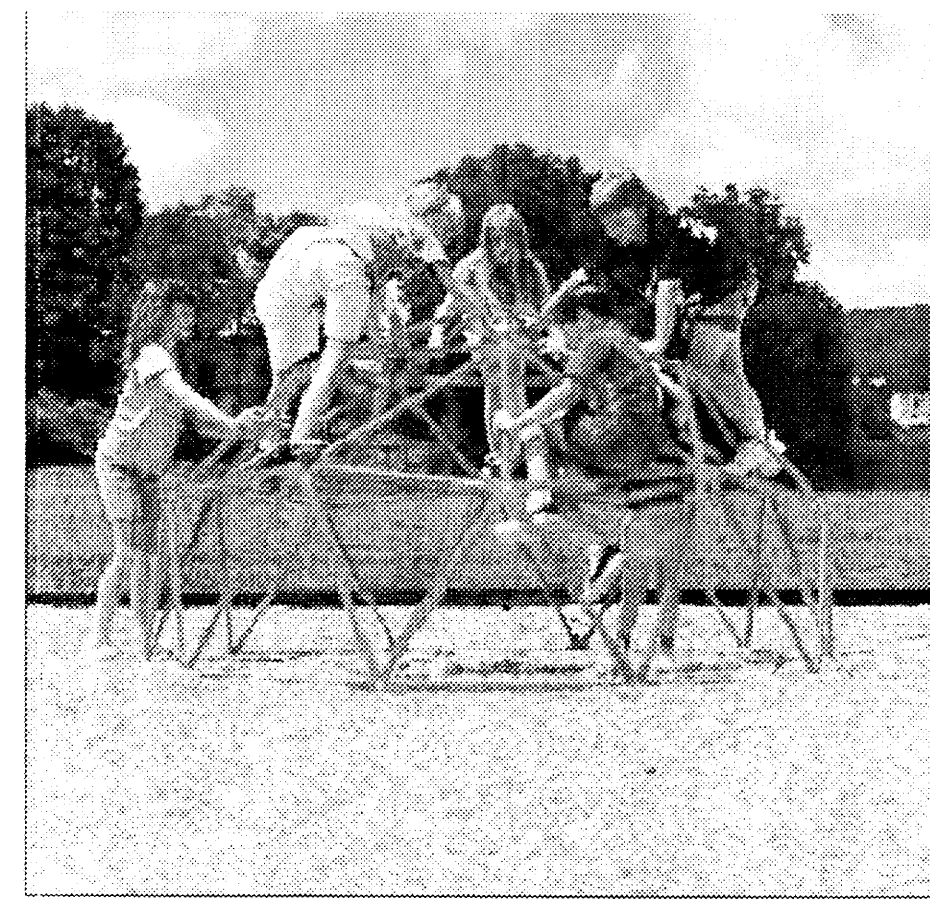
KB HOME, INC. - MENAUL SCHOOL
ALBUQUERQUE, NM
COMMON AREAS

All notes, site conditions, files, materials, quantities and are prepared by thorough laws. Contractors and suppliers are to refer to the contract and specifications for any items not shown or not stated.



REVISION # 1-01
DATE 7-16-10

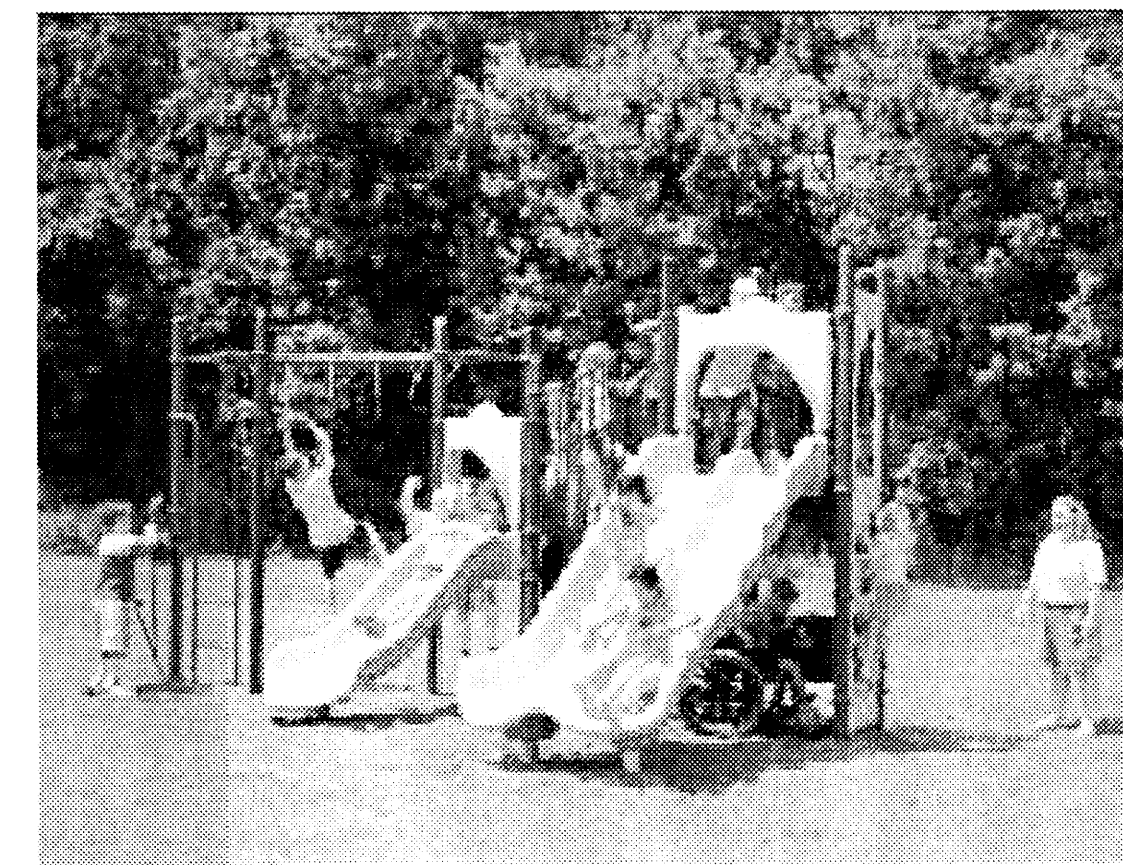
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L2 OF L3



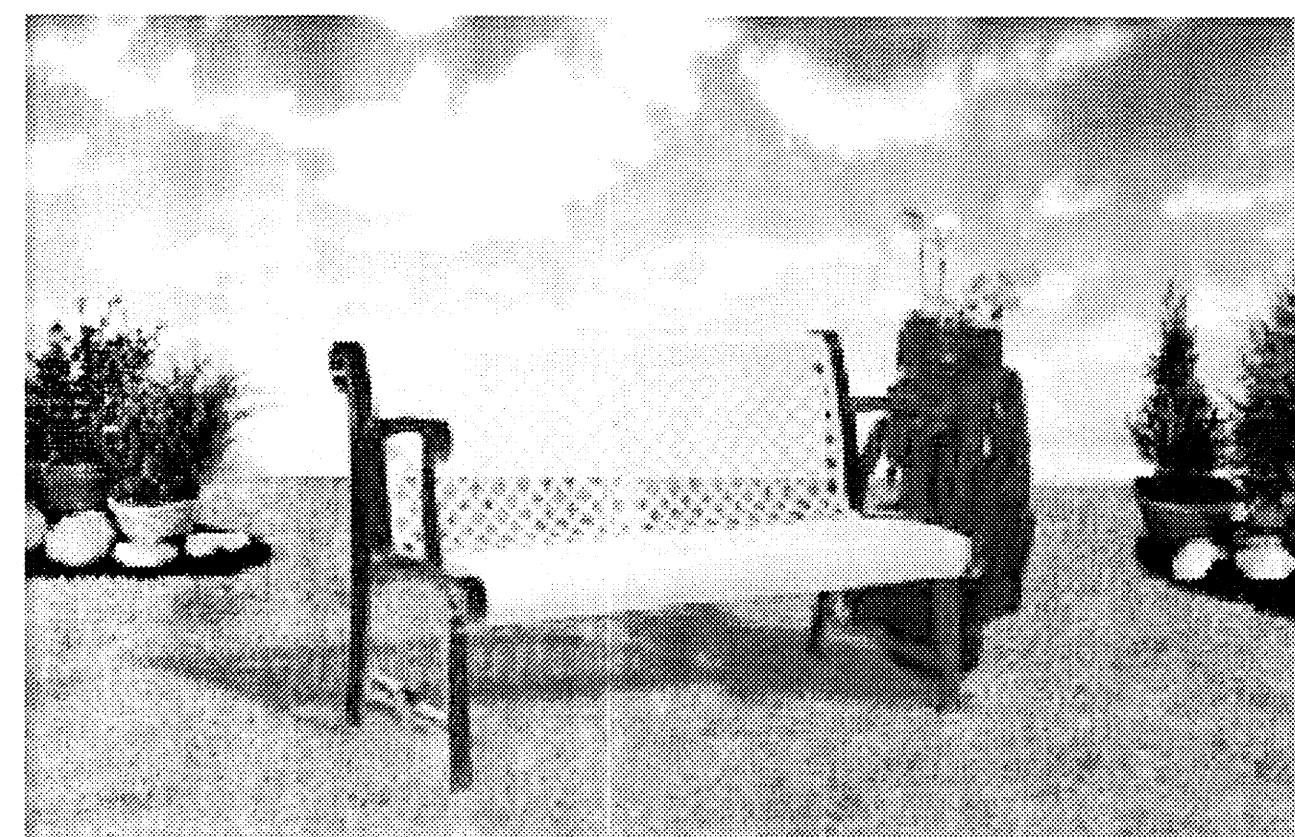
1
2 GEODEMIC CLIMBER AGES 5-12
not to scale



2
2 PLAYSTRUCTURE AGES 2-5
not to scale



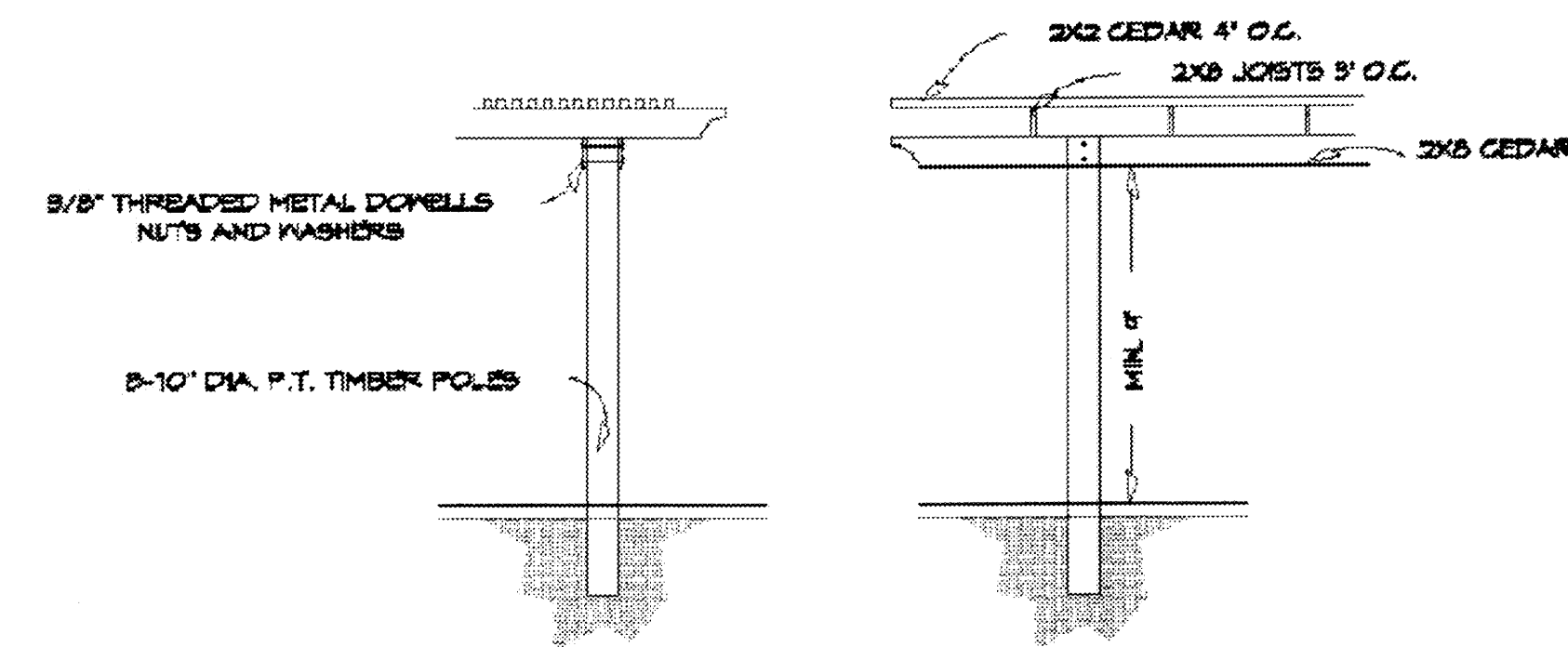
3
2 PLAYDSTRUCTURE AGES 5-12
not to scale



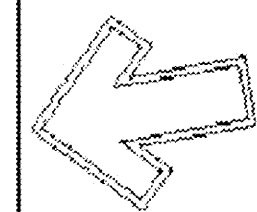
4
2 4' BENCH - SURFACE MOUNT
not to scale



5
2 6' PICNIC TABLE - SURFACE MOUNT
not to scale



6
2 RAMADA DETAIL TYP.
not to scale



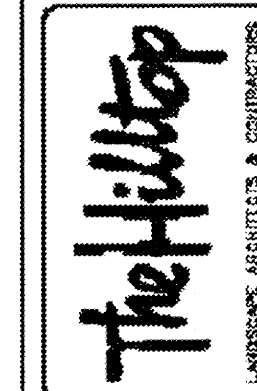
Cont. Lic. #29456
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Portland, OR 97208
Pdx (503) 898-9690
Pdx (503) 898-7337
cm@jhl.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLOM
#0007

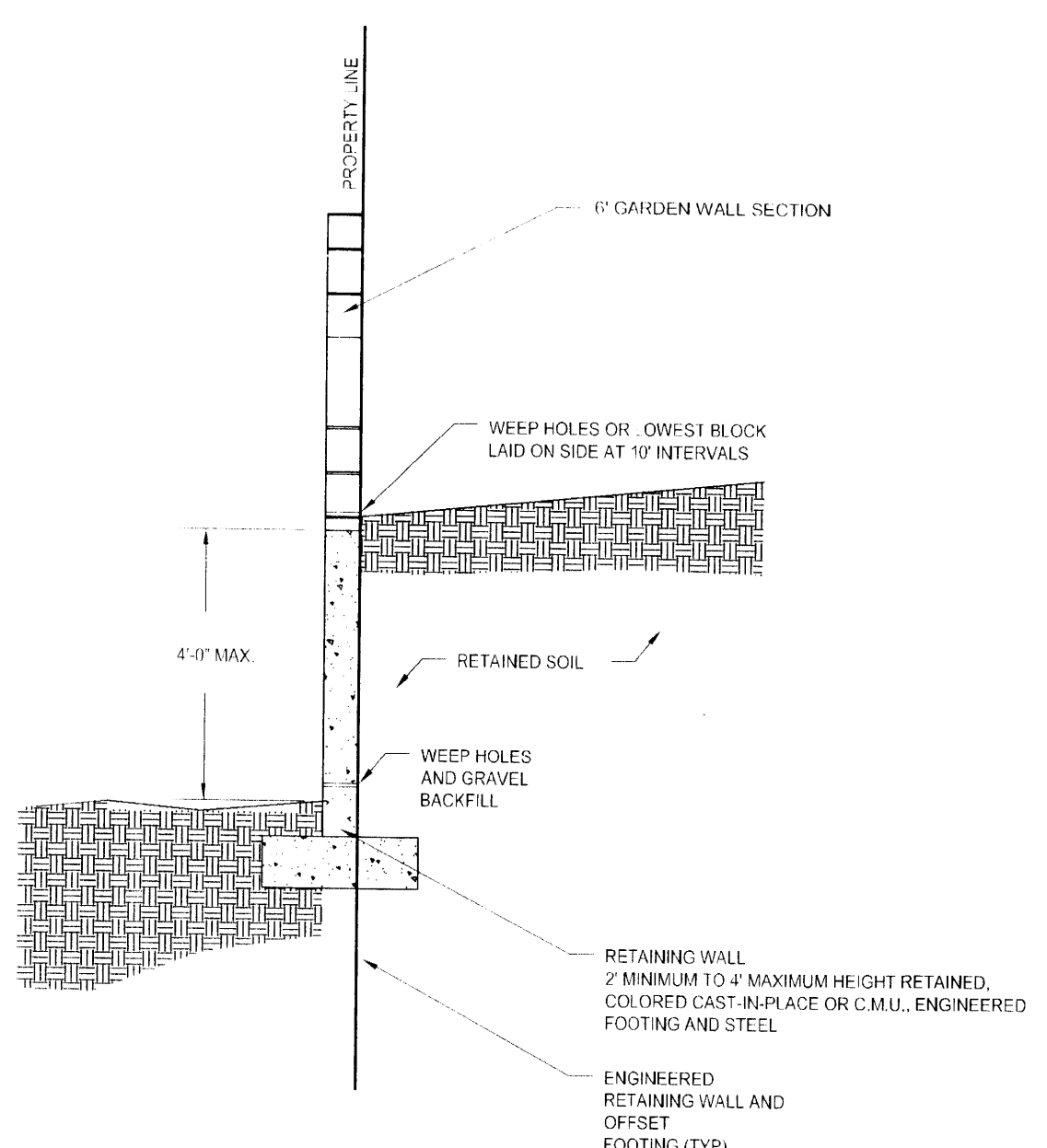
KB HOME, INC. - MENAUL SCHOOL
ALBUQUERQUE, NM
LANDSCAPE DETAILS

All construction materials shall be of the highest quality and shall conform to the specifications of the manufacturer. The contractor shall be responsible for obtaining all necessary permits and for the proper installation of all materials. This is a conceptual design and shall not be used for construction without the approval of the architect.

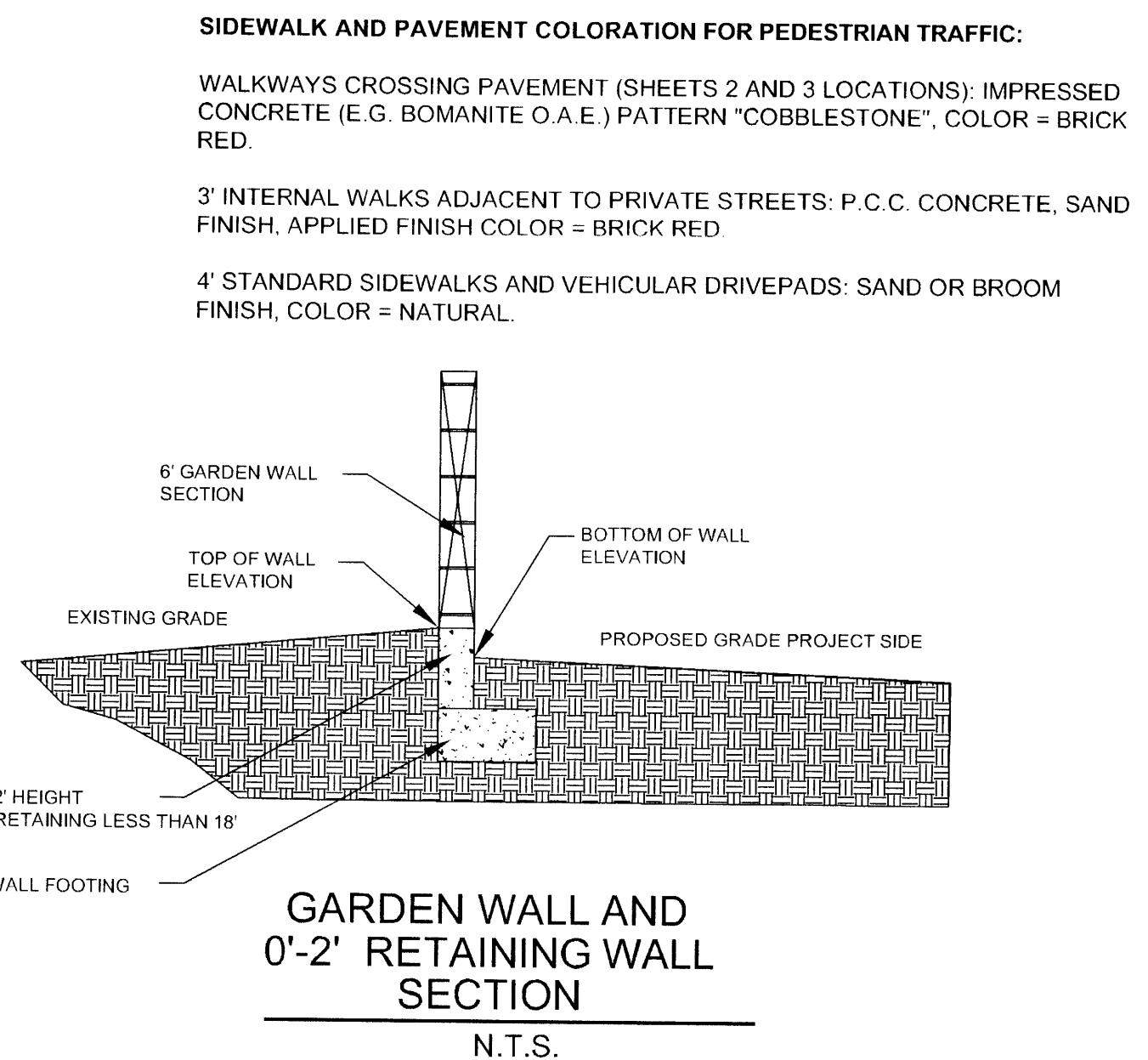


DESIGN BY
REVISION 1
DATE 1-10-08

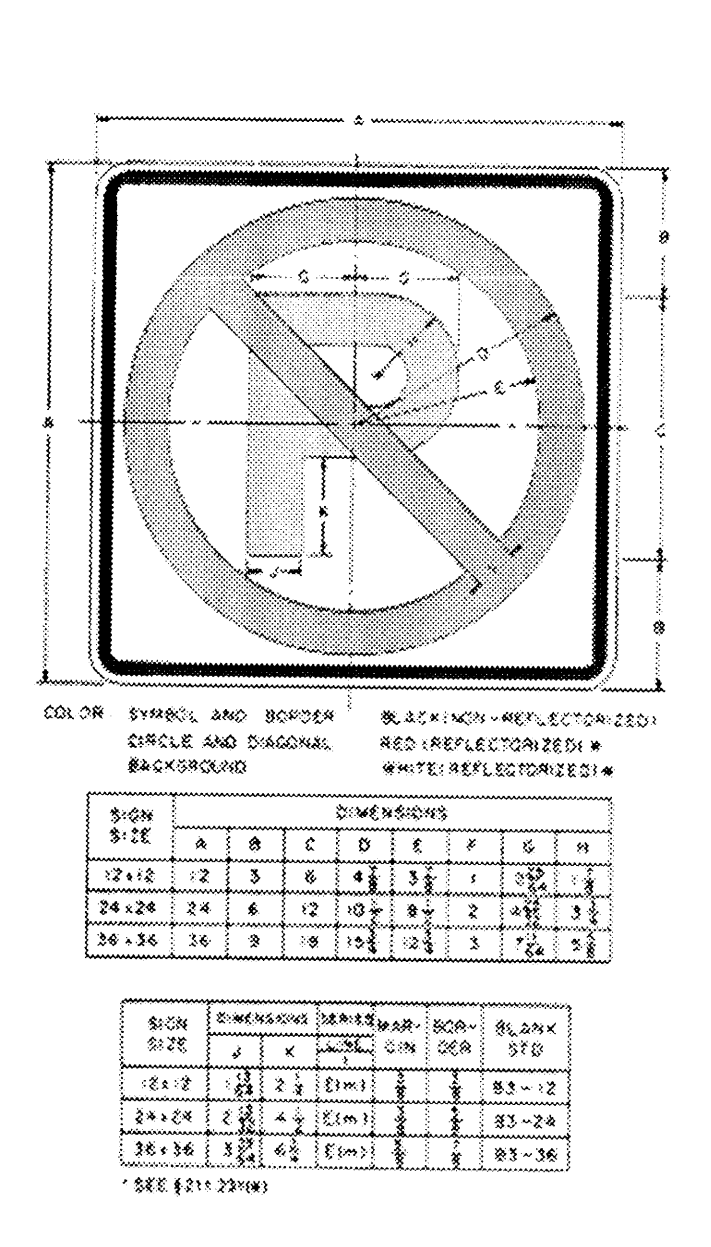
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L3 of L3



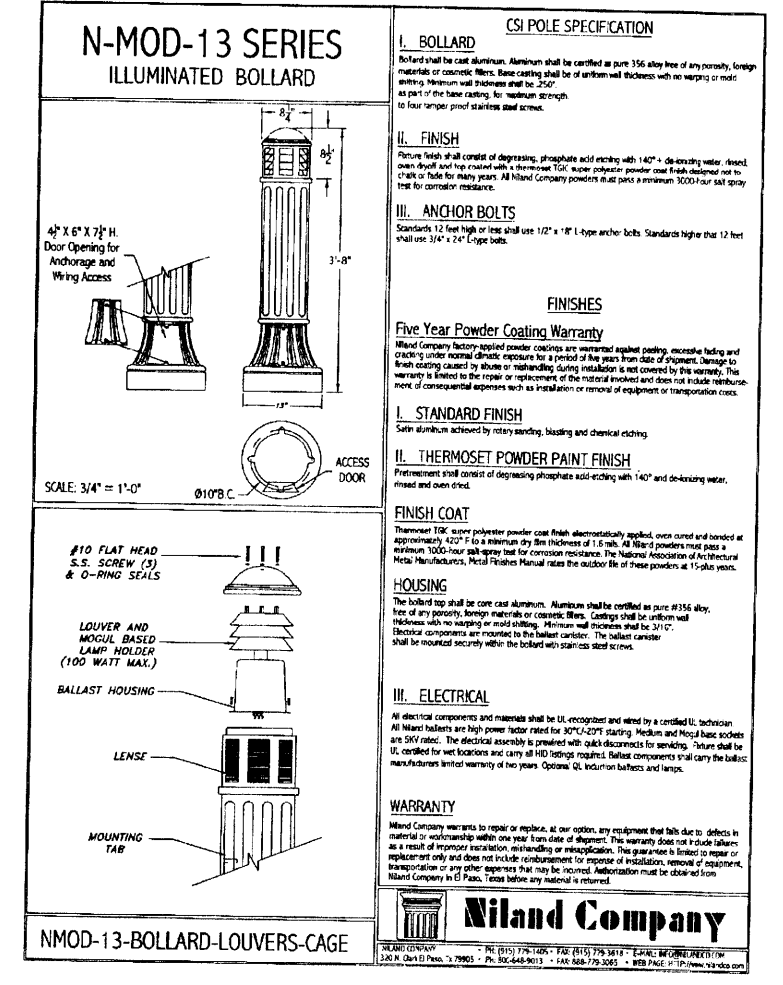
GARDEN WALL AND 4' RETAINING WALL SECTION C-C
N.T.S.



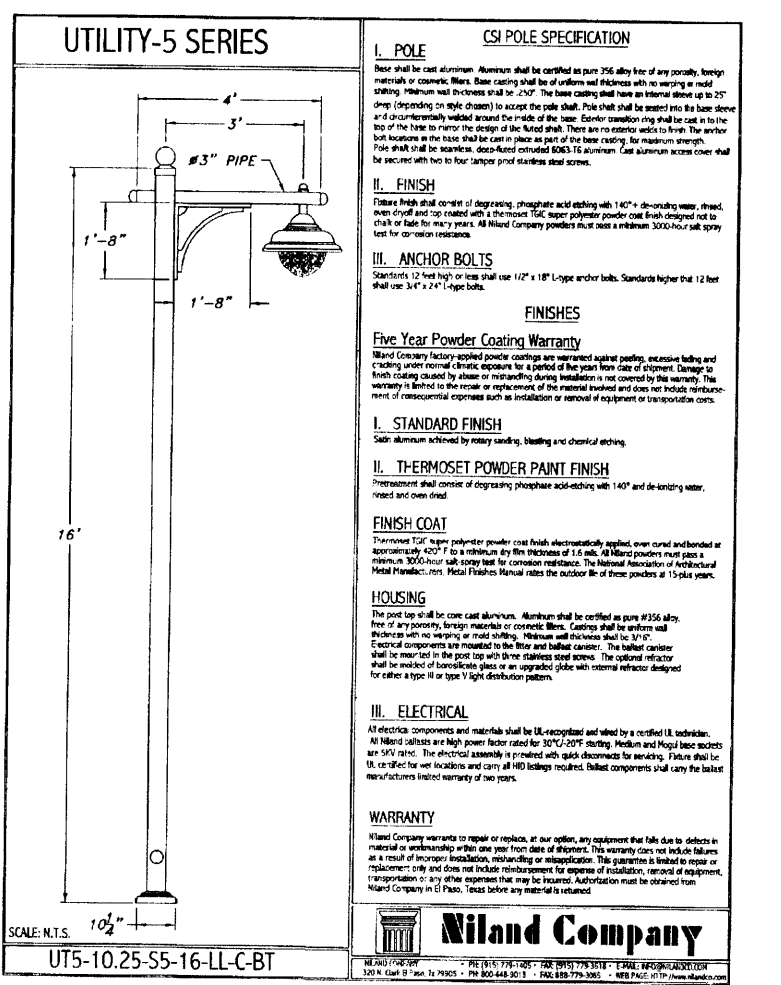
GARDEN WALL AND 0'-2' RETAINING WALL SECTION
N.T.S.



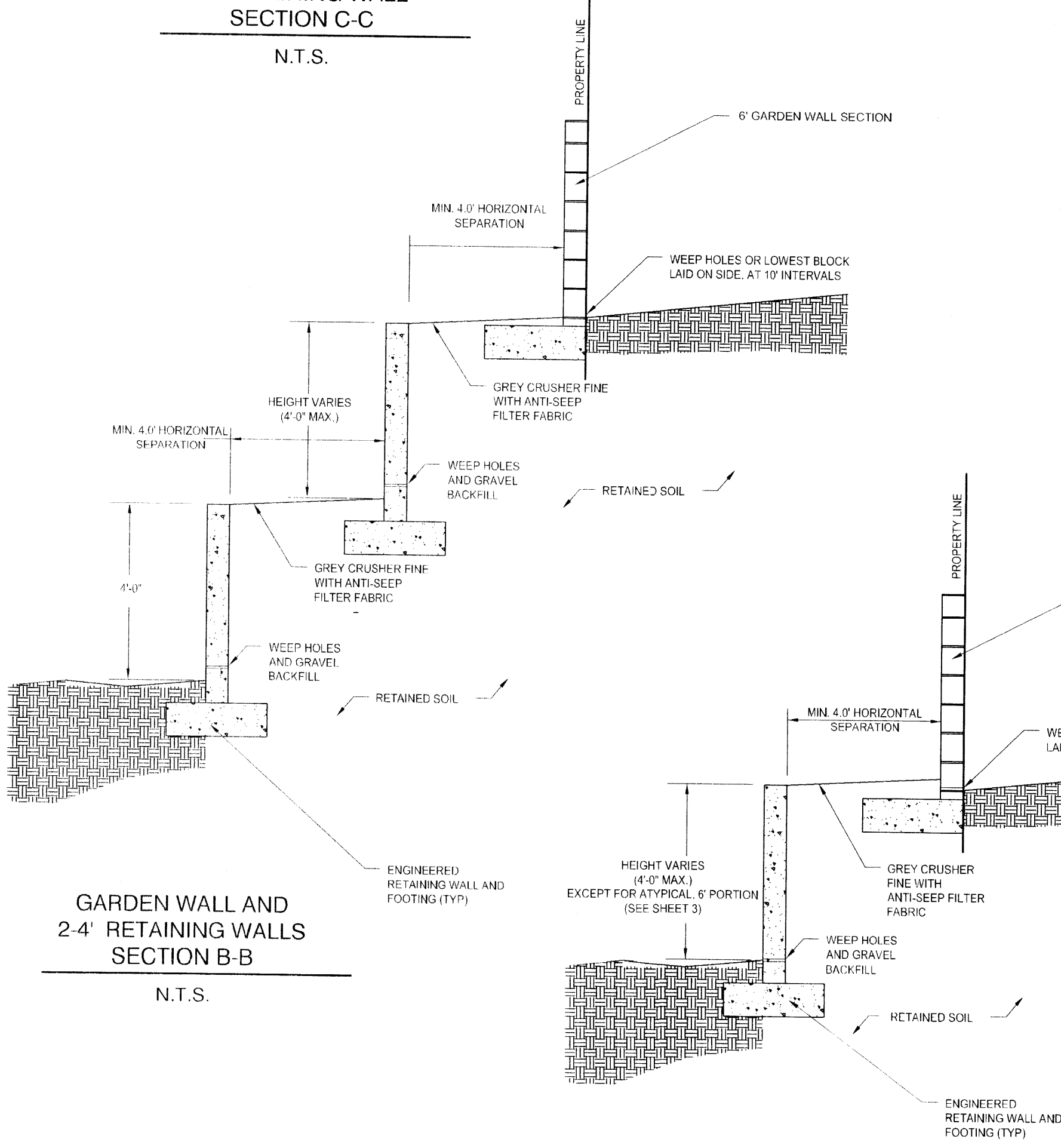
INTERNAL STREET SIGNAGE
POST ON ALL INTERNAL TRAFFICWAYS EXCEPT WHERE PARKING BAYS ARE PROVIDED.



PEDESTRIAN WALKWAY LIGHT

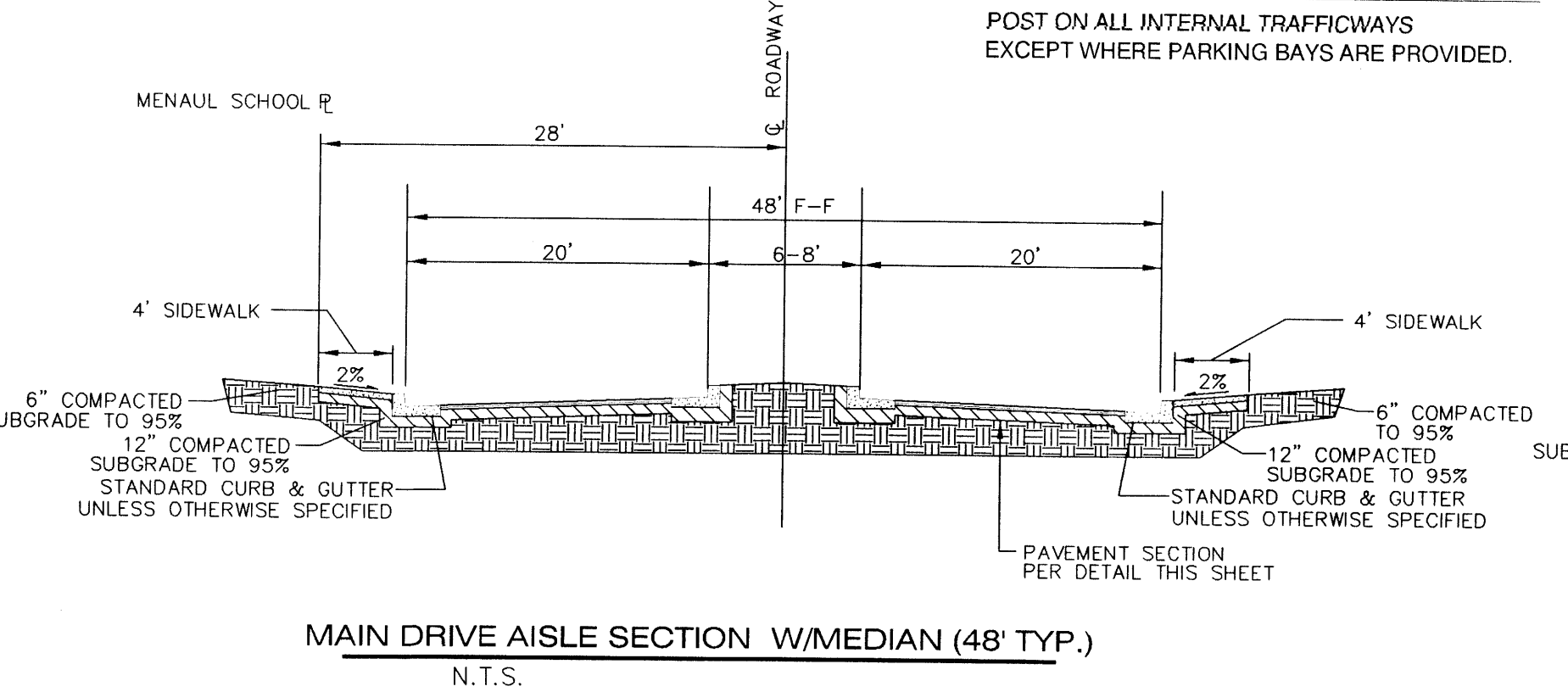


INTERNAL STREET LIGHT STANDARD

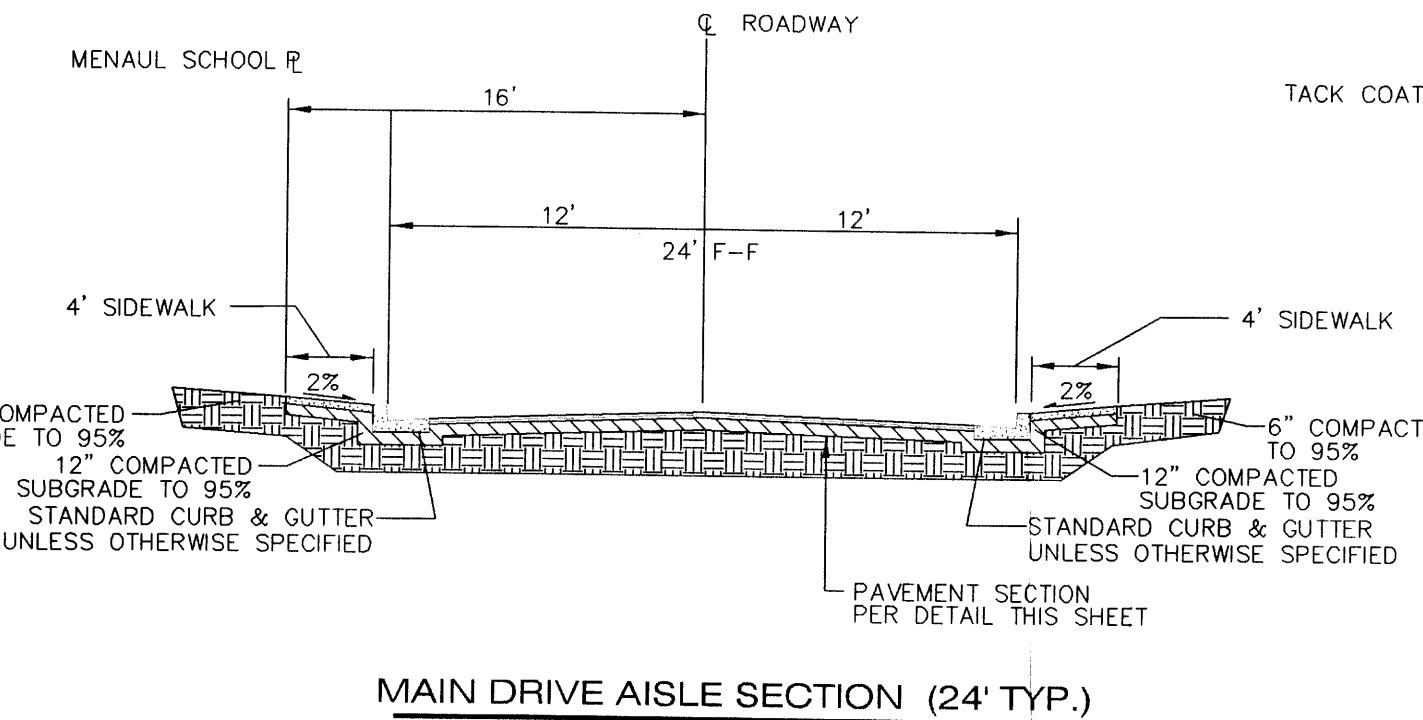


GARDEN WALL AND 2.4' RETAINING WALLS SECTION B-B
N.T.S.

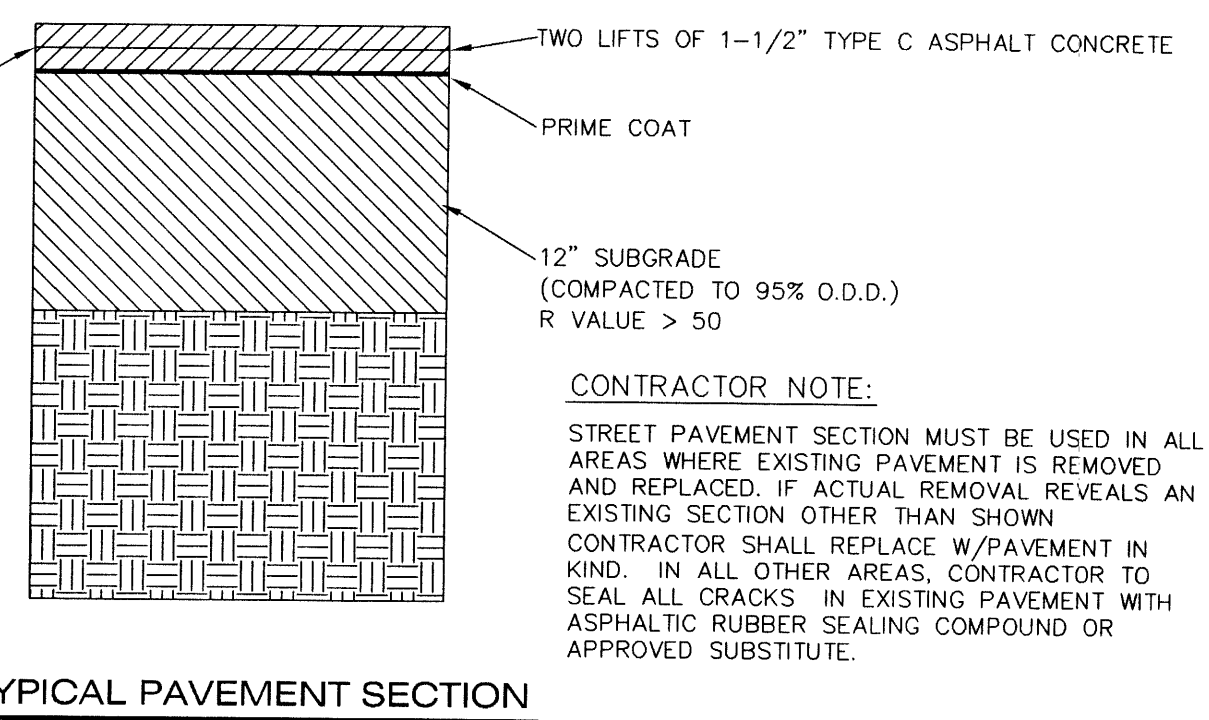
GARDEN WALL AND 4' RETAINING WALL SECTION A-A
N.T.S.
(4' RETAINING WALL EXCEPT FOR 6' ATYPICAL SECTION AT EASTERMOST CORNER, SEE SHEET 2)



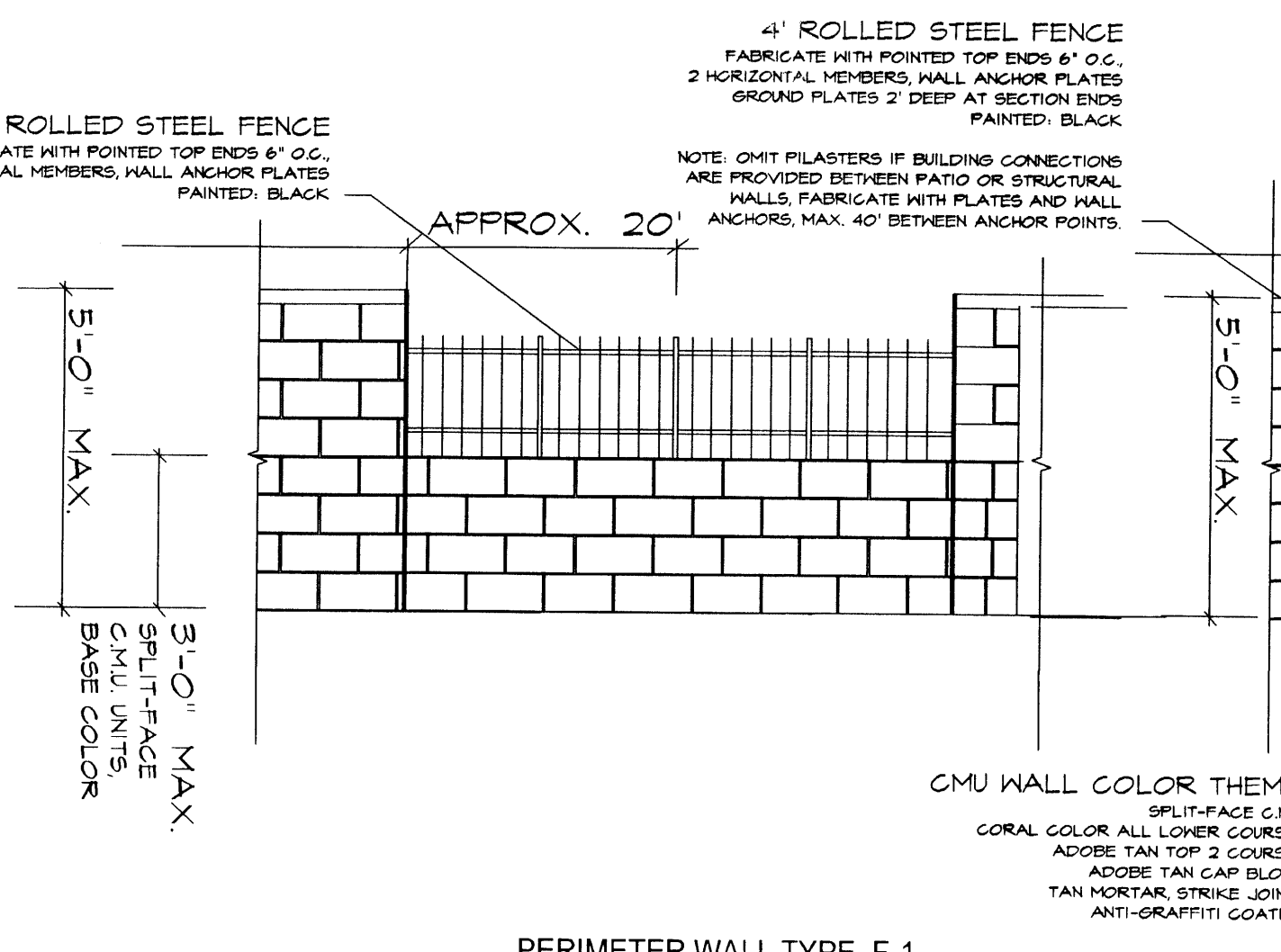
MAIN DRIVE AISLE SECTION W/MEDIAN (48' TYP.)
N.T.S.



MAIN DRIVE AISLE SECTION (24' TYP.)
N.T.S.

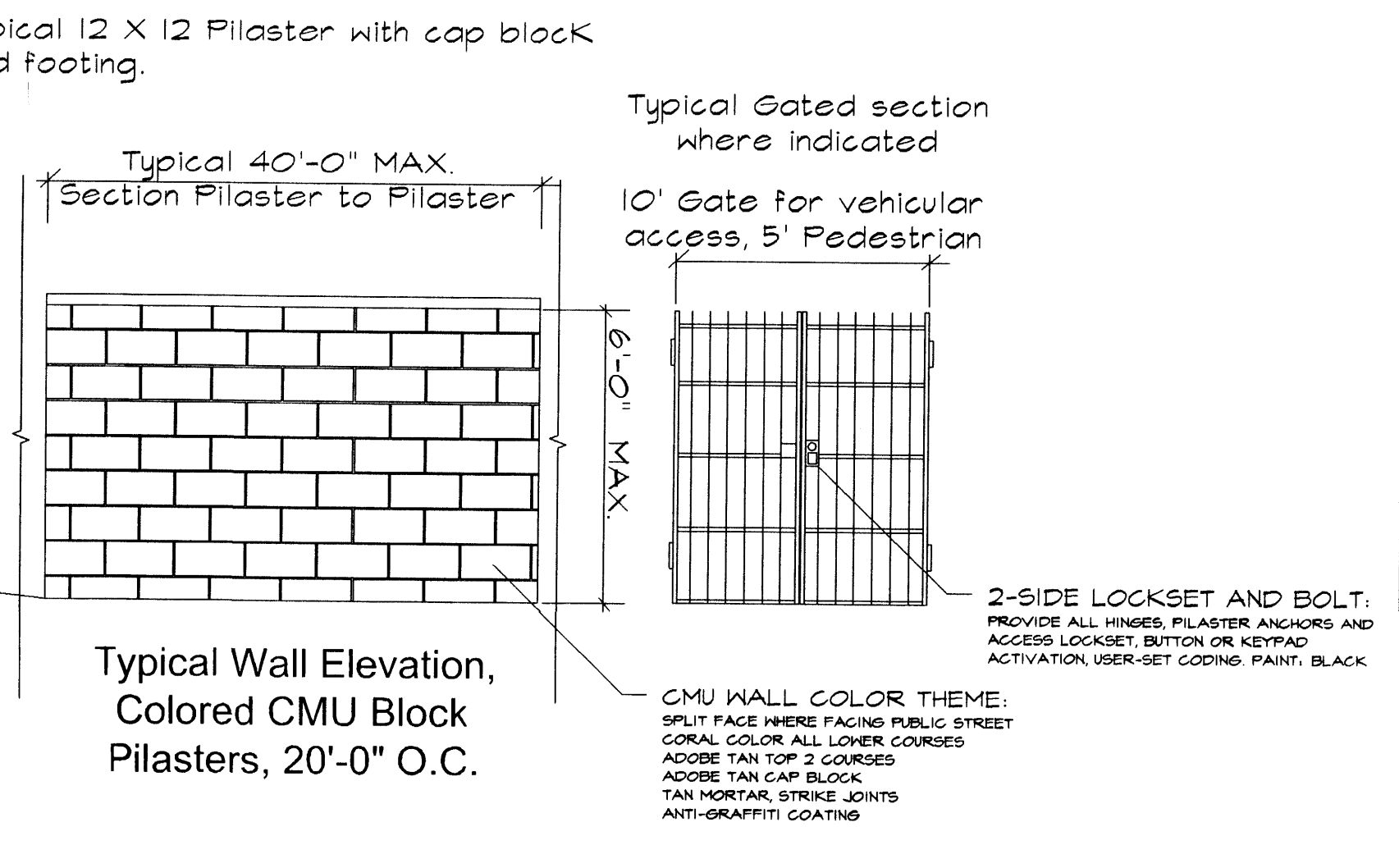


TYPICAL PAVEMENT SECTION
N.T.S.



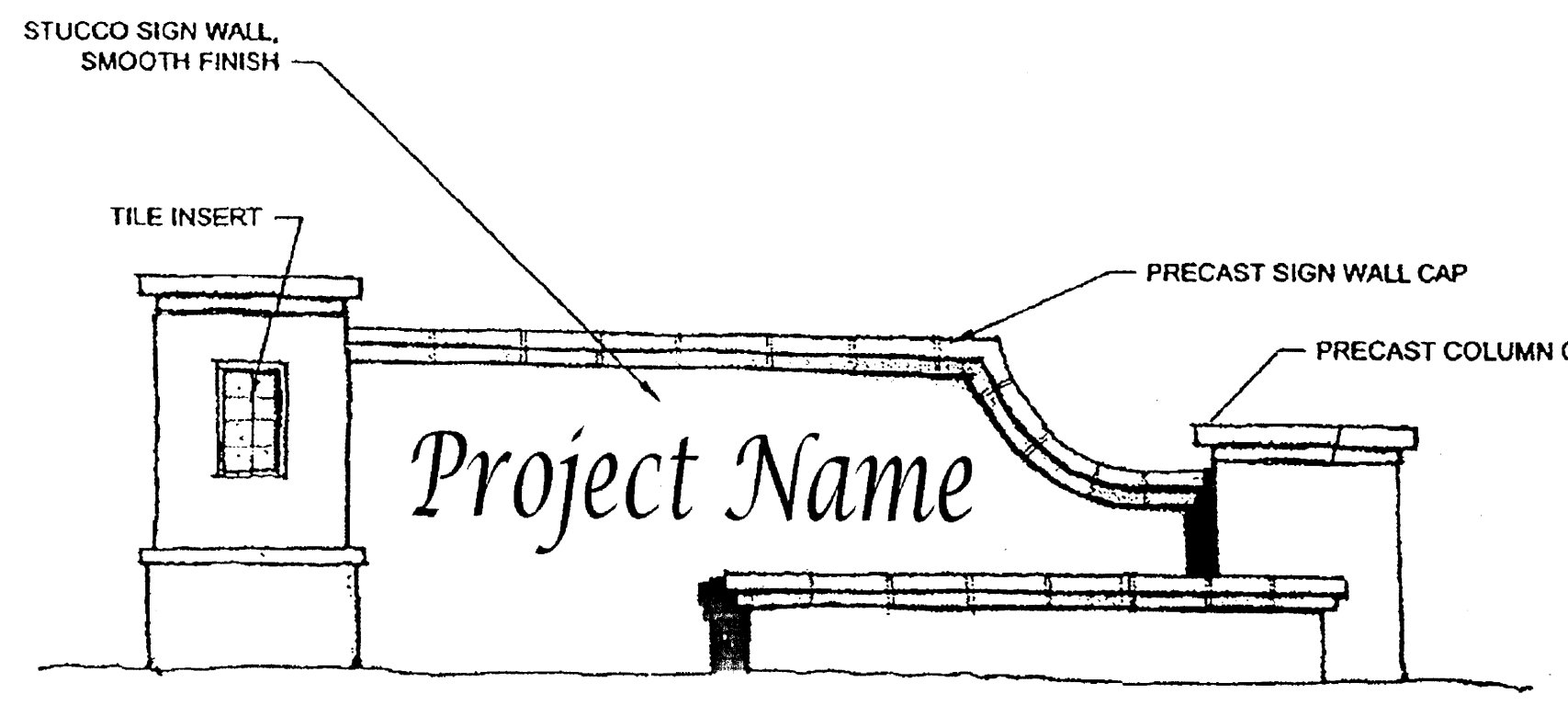
PERIMETER WALL TYPE F-1

PERIMETER WALL TYPE F-2



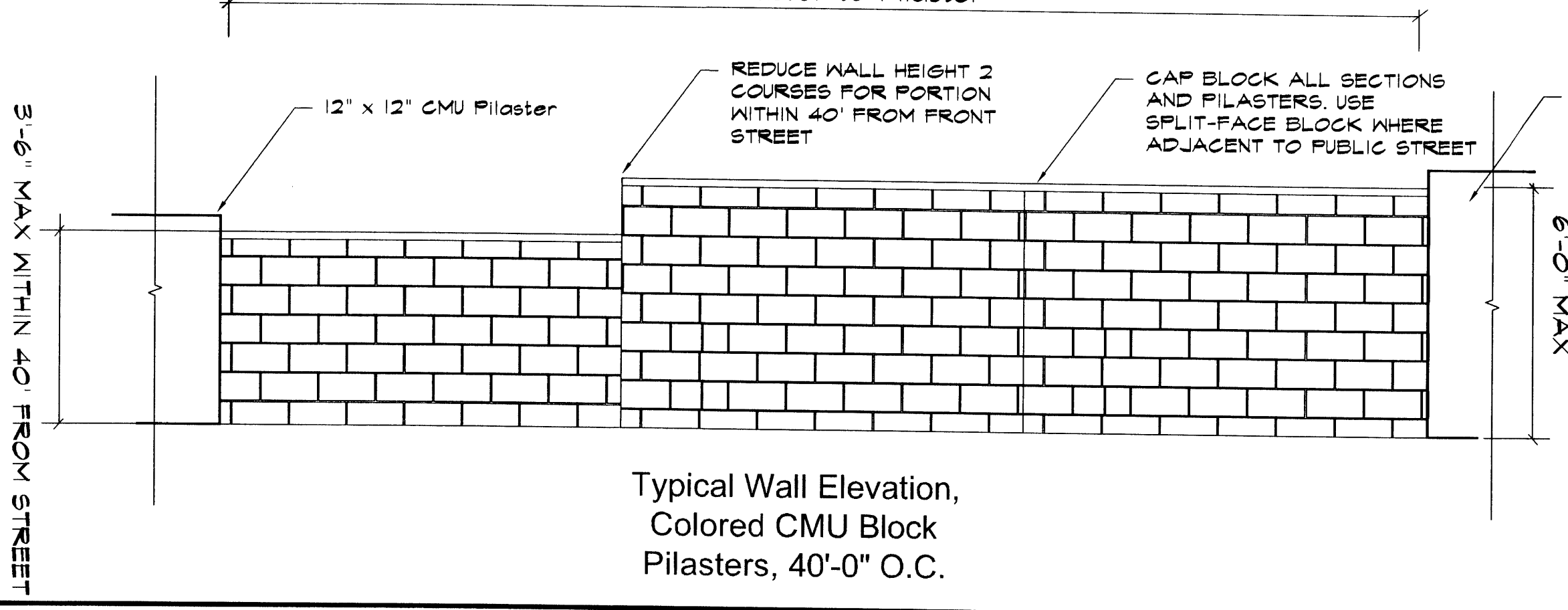
PERIMETER WALL TYPE B-1
SEE RETAINING WALL DETAILS WHERE EARTH DIFFERENTIAL OVER 18" IS CALLED FOR

PERIMETER WALL TYPE G-P1 = PEDESTRIAN
PERIMETER WALL TYPE G-P2 = VEHICULAR



MONUMENT ENTRY SIGN

REQUIRED = 4 EACH
5'-0" MAX. HEIGHT
18'-0" MAX. LENGTH
AVOID CLEAR SIGHT TRIANGLES AT INTERSECTIONS
STUCCO COLOR: CREAM
SIGN: PRECUT BROWN ANODIZED LETTERS O.A.E. ATTACHED TO STUCCO FACE NON-ILLUMINATED.
CAP BLOCK TO MATCH CONCRETE ROOF COLOR



Typical Wall Elevation, Colored CMU Block Pilasters, 40'-0" O.C.

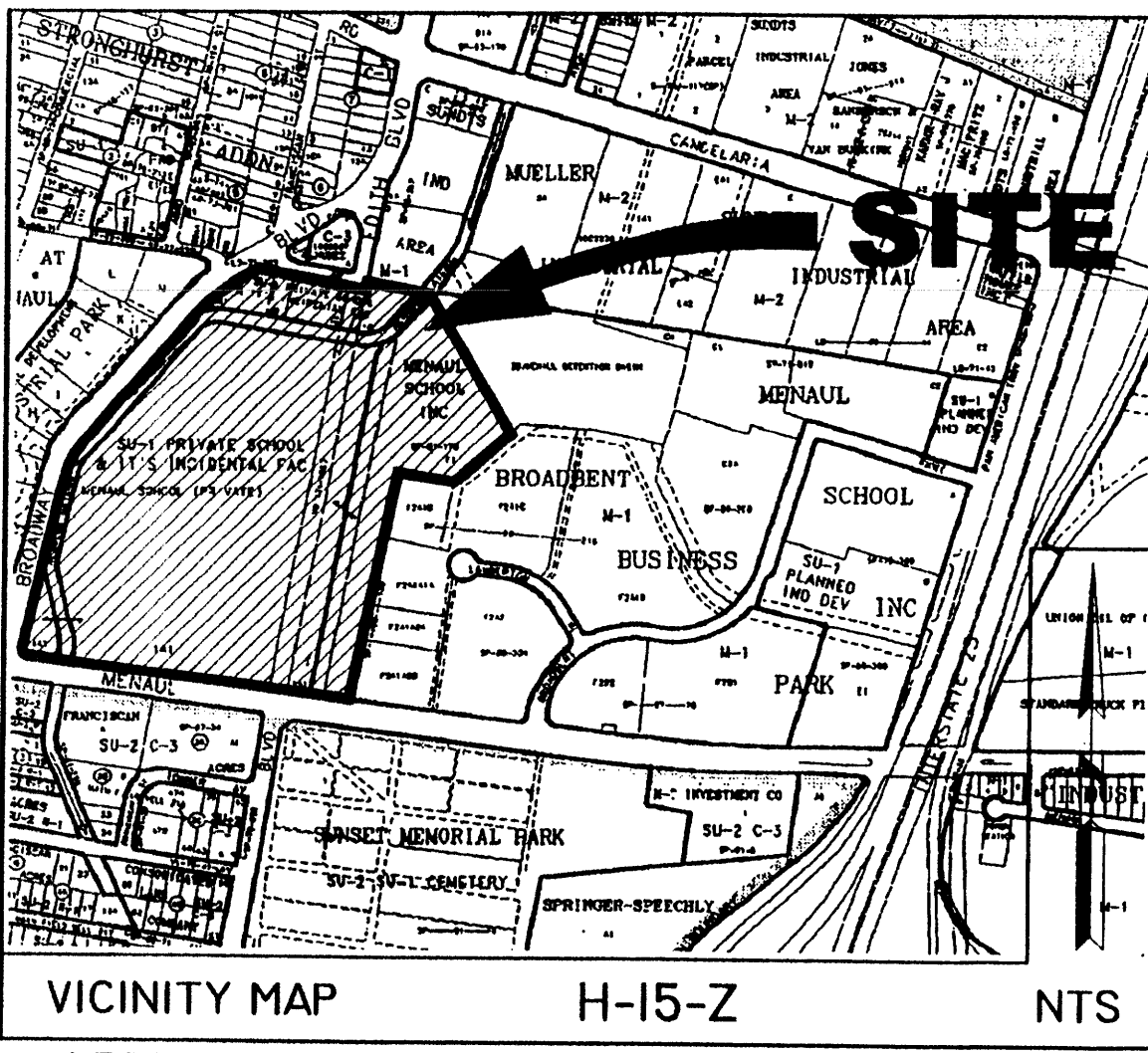
WALLS AND FENCING

MENAUL SCHOOL CONDOMINIUMS
WALL, FENCE, SIGNAGE
AND DETAILS

DATE: 5/22/2006
SCALE: AS SHOWN
CREW: XX/XX
DRAWN: JGG/MVH
JOB NO.: N627
LAND PLANNING P.O. Box 1328
ENGINEERING Corrales, N.M. 87048
SURVEYING
community sciences corporation
SHEET C12 OF 12

F:\PROJECTS\N627 KBHOME\Menaul School\SDP\Plan Building Permit\BP Siteplan.dwg

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO (505) 897-0000



LEGAL DESCRIPTION

LANDS OF MENAUL SCHOOL

Those certain parcels of land situate within Projected Section 9, Township 10 North, Range 3 East, New Mexico Principal Meridian (N.M.P.M.) in the Town of Albuquerque Grant, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract F-1, Lands of Menaul Schools, recorded in the Office of the County Clerk of Bernalillo County, New Mexico on January 16, 1981 in volume C18, folio 104, all of Tract 1-A-1-B, MRGCD Map No. 36, all of Tract 1-A-1-A-2, MRGCD Map No. 36, a portion of Tract 1-B (approximately 0.0935 acres), Tract 1-C, MRGCD Map No. 36, and the northerly portion of Tract 3-A and the southerly portion of Tract 3-A, MRGCD Map No. 36 as the same are shown and designated on the Boundary Plat of the Lands of Menaul School, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 22, 1998, in Book 98S, Page 68, and being more particularly described as follows:

BEGINNING at a point on the easterly right-of-way line of Broadway Boulevard N.E. and the southerly right-of-way line of Claremont Avenue, N.E.; RUNNING THENCE, along the said southerly right-of-way line S80°49'19"E, 80.09 feet; THENCE, continuing along said southerly right-of-way line, S80°54'15"E, 75.00 feet; THENCE, continuing along said southerly right-of-way line, S80°51'50"E, 278.62 feet, to a point on the easterly right-of-way line of Edith Boulevard, N.E.; THENCE, continuing along said easterly right-of-way line N10°31'22"E, 24.25 feet; THENCE, departing from said easterly right-of-way line S80°44'36"E, 207.61 feet; THENCE, S26°16'45"E, 53.54 feet; THENCE, S36°28'24"W, 33.32 feet; THENCE, S32°02'08"E, 598.49 feet; THENCE, S48°41'26"W, 245.73 feet; THENCE, N80°30'17"W, 223.07 feet; THENCE, S11°07'01"W, 899.28 feet, to a point on the northerly right-of-way line of Menaul Boulevard, N.E.; THENCE, along said northerly right-of-way line, N89°21'33"W, 120.24 feet; THENCE, continuing along said northerly right-of-way line, N82°12'47"W, 107.31 feet; THENCE, continuing along said northerly right-of-way line, N83°08'06"W, 1012.18 feet, to a point on the easterly right-of-way line of Broadway Boulevard N.E.; THENCE, along said easterly right-of-way line the next ten courses, 1. 64.48 feet along a curve to the Right, having a Radius of 40.00 feet, a Central Angel of 92°21'25", a chord bearing of N37°24'22"W, 57.72 feet; 2. N09°24'23"E, 38.83, feet; 3. 30.12 feet along a curve to the Right, having a Radius of 356.26 feet, a Central Angel of 04°50'38", a chord bearing N11°38'53"E, 30.11 feet; 4. N13°55'33"E, 113.07, feet; 5. N10°55'25"E, 180.07, feet; 6. N13°56'55"E, 294.86, feet; 7. 168.88 feet along a curve to the Right, having a Radius of 366.26 feet, a Central Angel of 26°25'08", a chord bearing N26°19'19"E, 167.39 feet; 8. THENCE, N40°37'59"E, 695.10, feet; 9. THENCE, 117.56 feet along a curve to the Right, having a Radius of 378.92 feet, a Central Angel of 17°46'31", a chord bearing of N49°23'13"E, 117.08 feet; 10. THENCE, N58°13'37"E, 145.81 feet, to the Point of Beginning.

Said Parcel contains 44.9447 acres more or less. BERNALILLO COUNTY TREASURER'S OFFICE. THIS IS TO CERTIFY THAT THE PROPERTY OWNER HAS PAID ALL TAXES CURRENT AND PAID ON UPC # 2000, 1-015-059-083443-20502. PNM City of Albuquerque. BERNALILLO COUNTY TREASURER'S OFFICE. 4/14/2006

FREE CONSENT

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS OF THEIR FREE ACT AND DEED. SAID OWNERS FURTHER WARRANT THAT THEY HAVE COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

BY: [Signature] 2-7-06 THE PUBLIC SERVICE COMPANY OF NEW MEXICO, CORPORATION FOR PARCEL 1-B-1 AS SHOWN HERE ON DATE

STATE OF NEW MEXICO) SS COUNTY OF BERNALILLO)

ACKNOWLEDGED BEFORE ME THIS 7th DAY OF FEBRUARY, 2006, BY: BOB ROBERTS

TITLE: Right of Way Deed, MGR PUBLIC SERVICE COMPANY OF NEW MEXICO

BY: Charles F. Brown NOTARY PUBLIC

MY COMMISSION EXPIRES: 11/2/2007

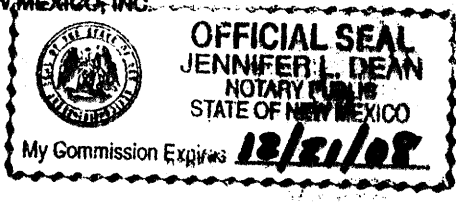
BY: [Signature] 2/7/06 ROBERT COLEMAN DIRECTOR OF LAND FOR PARCELS B-1 AND C-1 AS SHOWN HEREON AS CONTRACT PURCHASER: DATE

STATE OF NEW MEXICO) SS COUNTY OF BERNALILLO)

ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF FEBRUARY, 2006, BY: ROBERT H. COLEMAN

TITLE: DIFFERENCE LAND KB HOME NEW MEXICO, INC.

BY: Jennifer Dean NOTARY PUBLIC



MY COMMISSION EXPIRES: 12-21-08

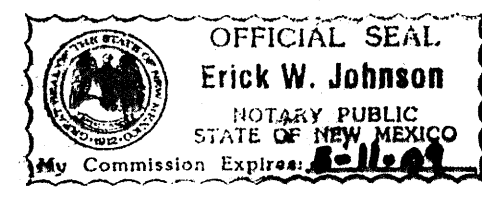
BY: [Signature] 2/8/06 MENAUL SCHOOL, INC. FOR PARCELS A-1, B-1 AND C-1 AS SHOWN HEREON DATE

STATE OF NEW MEXICO) SS COUNTY OF BERNALILLO)

ACKNOWLEDGED BEFORE ME THIS 8th DAY OF February, 2006, BY: Julia W. Gutierrez

TITLE: Chair, Board of Trustees Menaul School, Inc. CWS

BY: [Signature] NOTARY PUBLIC

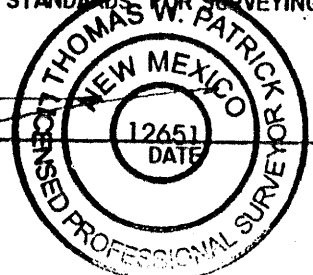


MY COMMISSION EXPIRES: 5-11-09

SURVEYORS CERTIFICATION

I, THOMAS W. PATRICK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND MEETS THE "MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO" AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

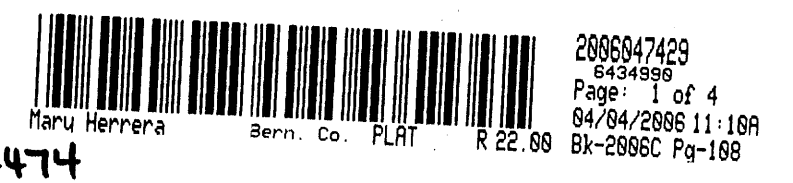
[Signature] 2-07-2006 THOMAS W. PATRICK NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651



SUBDIVISION PLAT TRACTS A, B, C AND D MENAUL SCHOOL PROPERTIES BEING A REPLAT OF TRACT F-1 LANDS OF MENAUL SCHOOL AND TRACT 1-B, TRACT 1-A-1-A-2, TRACT 1-C, NORTHERLY PORTION OF TRACT 3-A, SOUTHERLY PORTION OF TRACT 3-A, TRACT 1-A-1-B, MRGCD MAP NO. 36 SITUATE WITHIN PROJECTED SECTION 9, T10N,R3E, NMPM TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JANUARY, 2006

SITE DATA

CITY PROJECT NUMBERS 1004474 05EPC 01568 / 01569 FEMA MAP NO. 35001C0332 D ZONING SU - PRD (12/15/05) MILES OF FULL WIDTH STREETS CREATED 0 MILES NO. OF EXISTING TRACTS (ONE TRACT CREATED BY QUITCLAIM DEED WITHOUT PLAT) 6 NO. OF LOTS CREATED 4 TOTAL AREA 44.9447 ACRES +/- ACREAGE OF DEDICATED RIGHT-OF-WAY 0.0 ACRES +/-



APPROVALS: Project # 1004474

SUBDIVISION APPLICATION NUMBER: 06 DRB-00214

- Leonard D. Mant 3-16-06 PNM GAS AND ELECTRIC SERVICES DATE
Seri Crabb 2/21/06 QWEST COMMUNICATIONS, INC. DATE
Yvonne Boyton 2-27-06 COMCAST CABLE DATE
[Signature] 2-12-06 CITY SURVEYOR DATE
[Signature] 3-8-06 TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT DATE
Roger A. Green 3/8/06 UTILITY DEVELOPMENT DATE
Christina Dandora 3/8/06 PARKS AND RECREATION DEPARTMENT DATE
Bradley L. Bigham 3/8/06 ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY DATE
Bradley J. Bingham 3/8/06 CITY ENGINEER, ENGINEERING DIVISION DATE
Sheeran Matson 3/31/06 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

PAGE 1 OF 4 SUBDIVISION PLAT LANDS OF MENAUL SCHOOL

community sciences corporation logo and contact information: LAND PLANNING P.O. Box 1328 Cerrillos, N.M. 87048 (505)897-0000

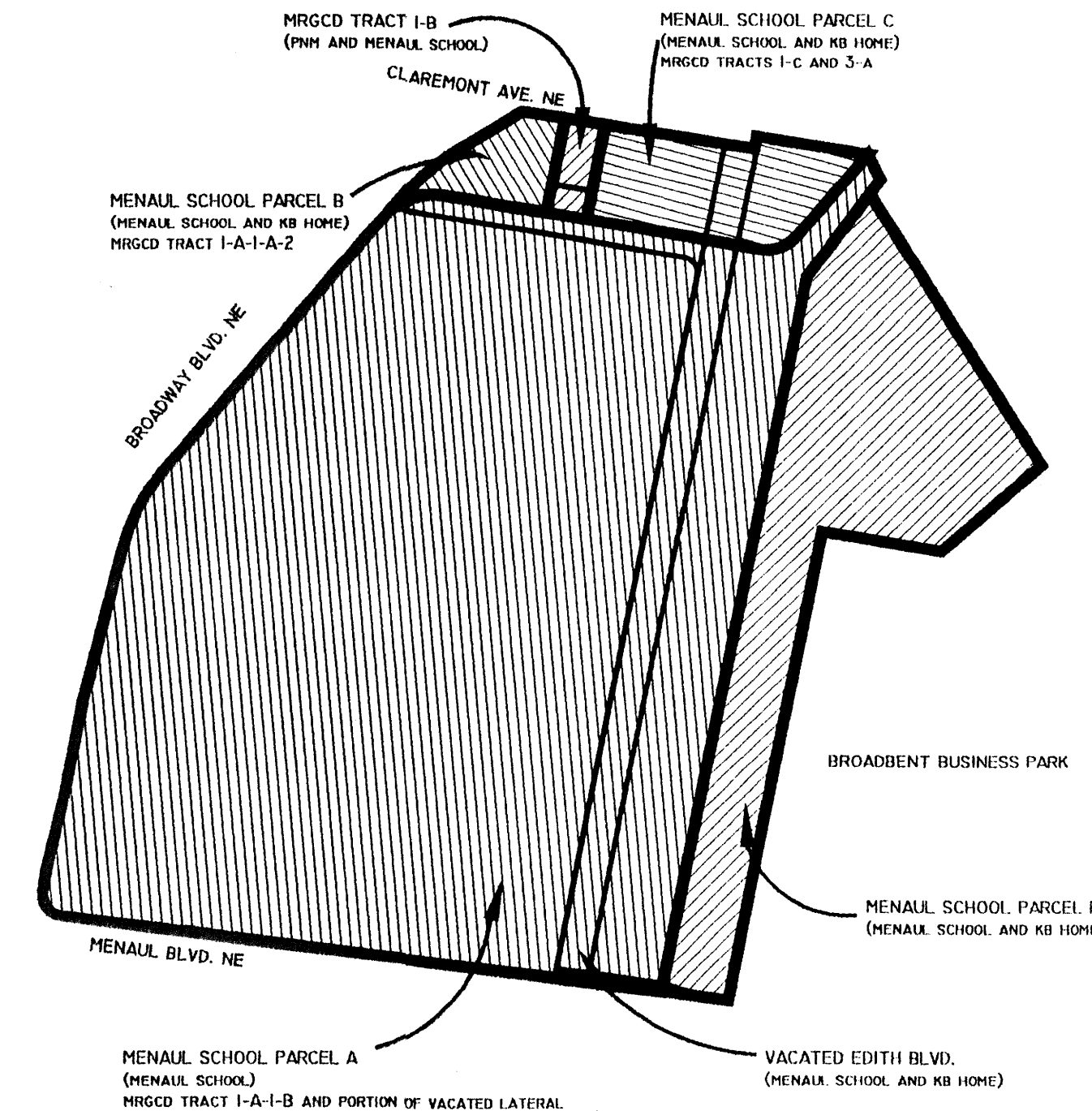
**SUBDIVISION PLAT
TRACTS A, B, C AND D
MENAUL SCHOOL
PROPERTIES**
BEING A REPLAT OF TRACT F-1
LANDS OF MENAUL SCHOOL AND TRACT 1-B, TRACT
1-A-1-A-2, TRACT 1-C, NORTHERLY PORTION OF TRACT
3-A, SOUTHERLY PORTION OF TRACT 3-A, TRACT 1-A-1-B,
MRGCD MAP NO. 36
SITUATE WITHIN PROJECTED
SECTION 9, T10N,R3E, NMPM
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2006



NOTES AND GRANTS OF EASEMENTS:

1. THE PURPOSE OF THIS PLAT IS TO REPLAT 7 LOTS OF PLATTED RECORD OR DEED AND ONE LOT CREATED BY QUITCLAIM DEED (WITHOUT BENEFIT OF A SUBDIVISION PLAT) AND TO CREATE 4 NEW TRACTS WITH NEW DESIGNATIONS AND CONFIGURATIONS. THIS PLAT ALSO CREATES CERTAIN PUBLIC AND PRIVATE EASEMENTS AND RECOGNIZES PUBLIC AND PRIVATE EASEMENTS OF RECORD.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE BOUNDARY SURVEY PLAT OF THE LANDS OF THE MENAUL SCHOOL, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 22, 1998, BOOK 98S, PAGE 68. AND GEODETIC TIES BETWEEN ACS MONUMENT "CANDELARIA" AND NM-47-13. BEARINGS ARE GRID BEARINGS, NEW MEXICO STATE COORDINATE SYSTEM, CENTRAL ZONE NAD 27. DISTANCES ARE GROUND DISTANCES.
3. OTHER DOCUMENTS USED:
 - A. LANDAMERICA / ALBUQUERQUE TITLE FILE 621200040 FOR KB HOME NM INC.
 - B. INFORMATION PROVIDED BY THE MENAUL SCHOOL INC.
 - C. COUNTY OF BERNALILLO PLAT AND DOCUMENT RECORDS AS NOTED.
4. THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X, OUTSIDE THE 500 YEAR FLOOD PLAN (AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP 35001C0332 D, EFFECTIVE DATE SEPTEMBER 20, 1998).
5. BEARINGS AND DISTANCES ARE BOTH RECORD (IN PARENTHESES) AND MEASURED.
6. EASEMENTS GRANTED BY THIS PLAT INCLUDE:
 - A) A 55' WIDE RECIPROCAL ACCESS EASEMENT, IS GRANTED TO THE MENAUL SCHOOL INC. ALL ADDITIONAL RIGHTS, OTHER THAN ALLOWING THE RIGHT OF ACCESS, ARE RESERVED TO THE OWNER OF PARCEL B-1, THEIR SUCCESSORS AND ASSIGNS, AND ARE SUBJECT TO ANY CITY OF ALBUQUERQUE AND FRANCHISED UTILITIES RIGHTS AS CONVEYED BY PREDECESSOR INSTRUMENTS OF RECORD.
 - B) A 30' WIDE RECIPROCAL ACCESS EASEMENT TOGETHER WITH UNDER GROUND RIGHTS FOR IRRIGATION EASEMENT IS GRANTED TO THE MENAUL SCHOOL INC. ANY ADDITIONAL RIGHTS, OTHER THAN ALLOWING THE RIGHT OF ACCESS, ARE RESERVED TO THE OWNER OF PARCEL B-1, THEIR SUCCESSORS AND ASSIGNS.
 - C) A 10' WIDE ACCESS EASEMENT TOGETHER WITH UNDER GROUND RIGHTS FOR PRIVATE UTILITIES AND UNDERGROUND IRRIGATION PIPES AND FACILITIES, INCLUDING WATER WELLS, IS GRANTED TO THE MENAUL SCHOOL INC. ALL ADDITIONAL RIGHTS, OTHER THAN ALLOWING THE RIGHT OF ACCESS, ARE RESERVED TO THE OWNER OF PARCEL B-1, THEIR SUCCESSORS AND ASSIGNS.
 - D) A 20' WIDE BY 125' LONG ACCESS EASEMENT FOR MAINTENANCE TOGETHER WITH A SURFACE EASEMENT FOR EXISTING AND REPLACEMENT WATER STORAGE TANKS TOGETHER WITH UNDER GROUND RIGHTS FOR PRIVATE UTILITIES AND UNDERGROUND IRRIGATION PIPES AND FACILITIES, INCLUDING WATER WELLS IS GRANTED TO THE STRONGHURST IMPROVEMENT ASSOCIATION INC. ALL ADDITIONAL RIGHTS, OTHER THAN ALLOWING THE RIGHT OF ACCESS, ARE RESERVED TO THE OWNER OF PARCEL B-1, THEIR SUCCESSORS AND ASSIGNS. ANY REPLACEMENT FACILITIES (TO TANKS, WELLS, PIPES OR OTHER FACILITIES) MUST BE APPROVED BY GRANTOR PRIOR TO SUCH REPLACEMENT OR CONSTRUCTION.
 - E) TWO 35' x 35' MASTER METER WATER EASEMENTS ARE GRANTED TO ALBUQUERQUE/BERNALILLO COUNTY WATER AUTHORITY.
 - F) A 14' WIDE PUBLIC ACCESS EASEMENT TOGETHER WITH A SURFACE EASEMENT FOR THE CONSTRUCTION OF A 10' PEDESTRIAN AND BICYCLE TRAIL IS GRANTED TO THE CITY OF ALBUQUERQUE, A MUNICIPAL CORPORATION. ALL ADDITIONAL RIGHTS ARE RESERVED TO THE MENAUL SCHOOL INC. SAID EASEMENT IS ALSO FOR THE FUTURE WIDENING OF MENAUL BLVD. R/W IF REQUESTER BY THE CITY OF ALBUQUERQUE.
7. PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE GRANTED AS COMMON USE EASEMENTS:
 - A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - C. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND
 - D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE (5) FEET WIDE ON THE OTHER THREE (3) SIDES OF THE TRANSFORMER/SWITCHGEAR AS INSTALLED.



MAP OF EXISTING LAND PARCELS COMBINED FOR THIS PLAT (N.T.S.)

PAGE 2 OF 4
SUBDIVISION PLAT
LANDS OF MENAUL SCHOOL

DWG PATH: F:\M027 KBHOME\MENAUL SCHOOL\PRELIMINARY PLAT\PREPLAT 010406.DWG	
DATE:	01/03/05
SCALE:	1" = 100'
CREW:	RALPH/JUSTIN
DRAWN:	SLN / CAS
JOB NO.:	11627

community sciences corporation

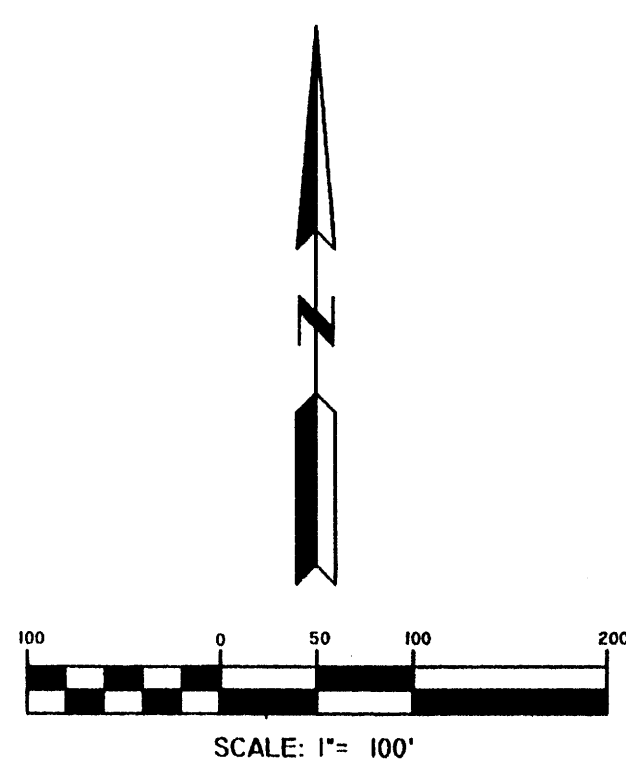
LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1378 Corrales, N.M. 87048 (505) 897-0000

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

**SUBDIVISION PLAT
TRACTS A, B, C AND D
MENAUL SCHOOL
PROPERTIES**
BEING A REPLAT OF TRACT F-1
LANDS OF MENAUL SCHOOL AND TRACT 1-B, TRACT
1-A-1-A-2, TRACT 1-C, NORTHERLY PORTION OF TRACT
3-A, SOUTHERLY PORTION OF TRACT 3-A, TRACT 1-A-1-B,
MRGCD MAP NO. 36
SITUATE WITHIN PROJECTED
SECTION 9, T10N,R3E, NMPM
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2006

LEGEND

- FOUND SURVEY EVIDENCE
- PROPERTY CORNER TO BE SET
- NEW EASEMENT LINE (CREATED BY THIS PLAT)
- - - EXISTING PROPERTY LINE (VACATED BY THIS PLAT)
- ▨ 20' X 100' ACCESS AND UTILITY EASEMENT GRANTED TO THE STRONGHURST IMPROVEMENT ASSOCIATION INC. BY THIS PLAT (SEE NOTE 6.D)



POINT OF BEGINNING

AERIAL EASEMENT TO P.N.M. AND
RIGHT TO PLACE POLES
(1' SOUTH OF CLAREMONT PROPERTY LINE)
(DOC. 19861, FILED 4/23/54, VOL. D276, FOL. 633)

**TRACT C
(0.2208 AC.)
CLAREMONT
AVENUE N.E.**

**PLAT OF LOTS 1-A AND 3
SUNDT'S INDUSTRIAL
AREA**
(FILED 8/22/85, VOL. C28, FOL. 32)

LOT 3

ALAMEDA LATERAL
(FILED 1/9/1957, VOL. D373, FOL. 255)

(R=378.92
L=117.52
Δ=17°46'12" W
Ch Brg=S49°08'35"W
Δ=17°46'31" Ch L=117.05)
Ch Brg=N49°23'13"E
Ch L=117.08

EXISTING
PARCEL C
(0.7600 ACRES)
MRGCD TR. 1-A-1-A-2
MAP 36

EXISTING
PARCEL B
(0.1889 ACRES)
MRGCD TR. 1-C
MAP 36

8' ANCHOR EASEMENT
(FILED 1/9/1957, VOL. D373, FOL. 255)

S26°16'45"E (S27°00'19"W)
53.54' (54.47')

S36°28'24"W (S36°13'42"W)
33.32' (33.32')

20' WATERLINE EASEMENT
(GRANTED BY THIS PLAT)

R=30.00
L=48.01
Tan=30.90
D=91°41'21"
Ch Brg=N34°33'44"W
Ch L=43.05

**TRACT A
(17.0092 ACRES)**

INCLUDES MENAUL SCHOOL PARCELS - PORTION OF PARCEL A, ALL
OF PARCELS B AND C AND PORTION OF F1
PORTION OF MRGCD 1-B
AND A PORTION OF VACATED ALAMEDA LATERAL

**TRACT B
(27.6269 ACRES)**

INCLUDES REMNANT PORTION
OF MRGCD TRACT 1-A-1-B
MAP 36
AND A PORTION OF VACATED
ALAMEDA LATERAL

BROADWAY BOULEVARD N.E. (EXTENSION)
(R/W VARIES FROM 88' MIN. PER PLAT OF TRACTS
E-1, H-1, H-1, H-1, GATEWAY INDUSTRIAL PARK
FILED 7-07-2005, BK. 2085C, PG. 258)

30' CROSS-ACCESS EASEMENT,
GRANTED TO MENAUL SCHOOL
AND PUBLIC UTILITY EASEMENT
BY THIS PLAT

35' X 35' MASTER WATER METER
EASEMENT TO COA GRANTED BY
THIS PLAT. (SEE NOTE 6E)

20' SANITARY SEWER INTERCEPTOR EASEMENT
(FILED 2/26/1965, VOL. 769, FOL. 346-348)
(PLAT "MENAUL SCHOOL INC."
FILED 6/16/81, VOL. C-18, FOLIO 104)

APPROXIMATE LOCATION OF 15' PNM GAS EASEMENT
(FILED 5/02/2003, VOL. A55, FOL. 3831)

55' CROSS-ACCESS EASEMENT,
GRANTED TO MENAUL SCHOOL
BY THIS PLAT
(SEE NOTE 6.A)

APPROXIMATE LOCATION OF 60' VACATED EDITH
BLVD, NE (ORD. 134-1966) NOW
EASEMENT FOR PUBLIC UTILITIES
(FILED PLAT "BOUNDARY SURVEY PLAT"
ROSS HOWARD SURVEYING COMPANY
D. KRAEMER L.S. #4577)
(FILED 05/22/98, VOL. 98S, FOL. 68 (1 AND 2))

(R=356.26
L=30.06
Δ=4°50'03" W
Ch Brg=S11°34'43"W
Δ=4°50'38" Ch L=30.05)
Ch Brg=N11°38'53"E

10' UNDER GROUND IRRIGATION EASEMENT
GRANTED TO MENAUL SCHOOL

PAGE 3 OF 4
SUBDIVISION PLAT
LANDS OF MENAUL SCHOOL

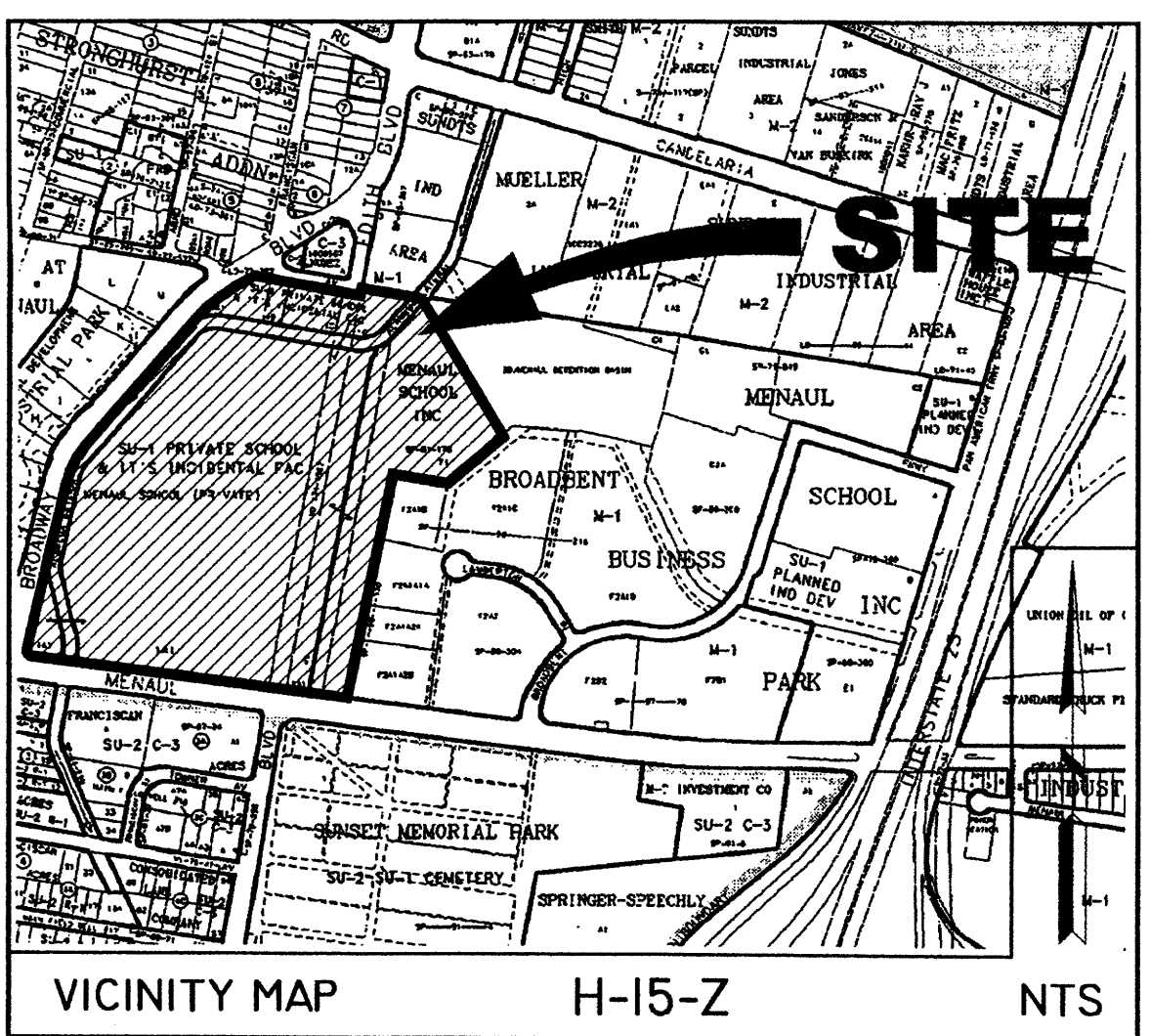
community sciences corporation

LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1378 Corrales, N.M. 87018 (505) 897-0000

DWG PATH:	F:\MS27 KBHOME\MENAUL SCHOOL\PRELIMINARY PLAT\PREPLAT 010406.DWG
CRS:	DATABASE
DATE:	01/03/05
SCALE:	1" = 100'
CREW:	RALPH/JUSTIN
DRAWN:	SLN / CAS
JOB NO:	1107

SUBDIVISION PLAT TRACTS A, B, C AND D MENAUL SCHOOL PROPERTIES

BEING A REPLAT OF TRACT F-1
LANDS OF MENAUL SCHOOL AND TRACT 1-B, TRACT
1-A-1-A-2, TRACT 1-C; NORTHERLY PORTION OF TRACT
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SECTION 9, T10N,R3E, NMPM
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2006



VICINITY MAP H-15-Z NTS

FREE CONSENT

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS OF THEIR FREE ACT AND DEED. SAID OWNERS FURTHER WARRANT THAT THEY HAVE COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

PRELIMINARY PLAT	
SITE DATA	
PROJECT NUMBER	004474 05EPC 01568 / 01569
FEMA MAP NO.	35001C0332 D
ZONING	SU - PRD (12/15/05)
MILES OF FULL WIDTH STREETS CREATED	0 MILES
NO. OF EXISTING TRACTS	6
(ONE TRACT CREATED BY QUITCLAIM DEED WITHOUT PLAT)	
NO. OF LOTS CREATED	4
TOTAL AREA	44.9447 ACRES +/-
ACREAGE OF DEDICATED RIGHT-OF-WAY	0.0 ACRES +/-

LEGAL DESCRIPTION

LANDS OF MENAUL SCHOOL

Those certain parcels of land situate within Projected Section 9, Township 10 North, Range 3 East, New Mexico Principal Meridian (N.M.P.M.) in the Town of Albuquerque Grant, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract F-1, Lands of Menaul Schools, recorded in the Office of the County Clerk of Bernalillo County, New Mexico on January 16, 1981 in volume C18, folio 104, all of Tract 1-A-1-B, MRGCD Map No. 36, , all of Tract 1-A-1-A-2, MRGCD Map No. 36, a portion of Tract 1-B (approximately 0.0935 acres), Tract 1-C, MRGCD Map No. 36, and the northerly portion of Tract 3-A and the southerly portion of Tract 3-A, MRGCD Map No. 36 as the same are shown and designated on the Boundary Plat of the Lands of Menaul School, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 22, 1998, in Book 98S, Page 68, and being more particularly described as follows:

BEGINNING at a point on the easterly right-of-way line of Broadway Boulevard N.E. and the southerly right-of-way line of Claremont Avenue, N.E.;

RUNNING THENCE, along the said southerly right-of-way line S80°49'19"E, 80.09 feet;

THENCE, continuing along said southerly right-of-way line, S80°54'15"E, 75.00 feet;

THENCE, continuing along said southerly right-of-way line, S80°51'50"E, 278.62 feet, to a point on the easterly right-of-way line of Edith Boulevard, N.E.;

THENCE, continuing along said easterly right-of-way line N10°31'22"E, 24.25 feet;

THENCE, departing from said easterly right-of-way line S80°44'36"E, 207.61 feet;

THENCE, S26°16'45"E, 53.54 feet;

THENCE, S36°28'24"W, 33.32 feet;

THENCE, S32°02'08"E, 598.49 feet;

THENCE, S48°41'26"W, 245.73 feet;

THENCE, N80°30'17"W, 223.07 feet;

THENCE, S11°07'01"W, 899.28 feet, to a point on the northerly right-of-way line of Menaul Boulevard, N.E.;

THENCE, along said northerly right-of-way line, N89°21'33"W, 120.24 feet;

THENCE, continuing along said northerly right-of-way line, N82°12'47"W, 107.31 feet;

THENCE, continuing along said northerly right-of-way line, N83°08'06"W, 1012.18 feet, to a point on the easterly right-of-way line of Broadway Boulevard N.E.,

THENCE, along said easterly right-of-way line the next ten courses,

- 64.48 feet along a curve to the Right, having a Radius of 40.00 feet, a Central Angel of 92°21'25", a chord bearing of N37°24'22"W, 57.72 feet;
- N09°24'23"E, 38.83, feet;
- 30.12 feet along a curve to the Right, having a Radius of 356.26 feet, a Central Angel of 04°50'38", a chord bearing N11°38'53"E, 30.11 feet;
- N13°55'33"E, 113.07, feet;
- N10°55'25"E, 180.07, feet;
- N13°56'55"E, 294.86, feet;
- 168.88 feet along a curve to the Right, having a Radius of 366.26 feet, a Central Angel of 26°25'08", a chord bearing N26°19'19"E, 167.39 feet;
- THENCE, N40°37'59"E, 695.10, feet;
- THENCE, 117.56 feet along a curve to the Right, having a Radius of 378.92 feet, a Central Angel of 17°46'31", a chord bearing of N49°23'13"E, 117.08 feet;
- THENCE, N58°13'37"E, 145.81 feet, to the Point of Beginning.

Said Parcel contains 44.9447 acres more or less.

BY: Bob Roberts 2-7-06 DATE
THE PUBLIC SERVICE COMPANY OF NEW MEXICO,
CORPORATION FOR PARCEL 1-B-1 AS SHOWN HERE ON

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)
ACKNOWLEDGED BEFORE ME THIS 7th DAY OF FEBRUARY, 2006.
BY: Bob Roberts
TITLE: Right of Way Deed, MGR PUBLIC SERVICE COMPANY OF NEW MEXICO

BY: Charles F. Brown NOTARY PUBLIC
MY COMMISSION EXPIRES: 11/2/2007
BY: Robert H. Coleman 2/7/06 DATE
KB HOME NEW MEXICO, INC.
ROBERT H. COLEMAN DIRECTOR OF LAND FOR PARCELS B-1 AND C-1 AS SHOWN HEREON
AS CONTRACT PURCHASER:

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)
ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF FEBRUARY, 2006.
BY: Robert H. Coleman
TITLE: DIFFER OF LAND KB HOME NEW MEXICO, INC.

BY: Jennifer Dean NOTARY PUBLIC
MY COMMISSION EXPIRES: 12-21-08
OFFICIAL SEAL
JENNIFER L. DEAN
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 12/21/08

BY: Qui N. Borquez 2/8/06 DATE
MENAUL SCHOOL, INC.
FOR PARCELS A-1, B-1 AND C-1 AS SHOWN HEREON

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)
ACKNOWLEDGED BEFORE ME THIS 8th DAY OF February, 2006.
BY: Julia W. Gutierrez
TITLE: Chair, Board of Trustees Menaul School, Inc. CH

BY: Erick W. Johnson NOTARY PUBLIC
MY COMMISSION EXPIRES: 5-11-09
OFFICIAL SEAL
Erick W. Johnson
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 5/11/09

SURVEYORS CERTIFICATION

I, THOMAS W. PATRICK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND MEETS THE "MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO" AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Thomas W. Patrick
THOMAS W. PATRICK
NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651
DATE: 2-07-2006

APPROVALS:

SUBDIVISION APPLICATION NUMBER:	
PNM GAS AND ELECTRIC SERVICES	DATE
<u>Eric Crabtree</u>	<u>2/21/06</u>
QWEST COMMUNICATIONS, INC.	DATE
<u>Janne Borzak</u>	<u>2-27-06</u>
COMCAST CABLE	DATE
<u>U. B. Fial</u>	<u>2-13-06</u>
CITY SURVEYOR	DATE
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
CITY ENGINEER, ENGINEERING DIVISION	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PAGE 1 OF 4
SUBDIVISION PLAT
LANDS OF MENAUL SCHOOL

community sciences corporation

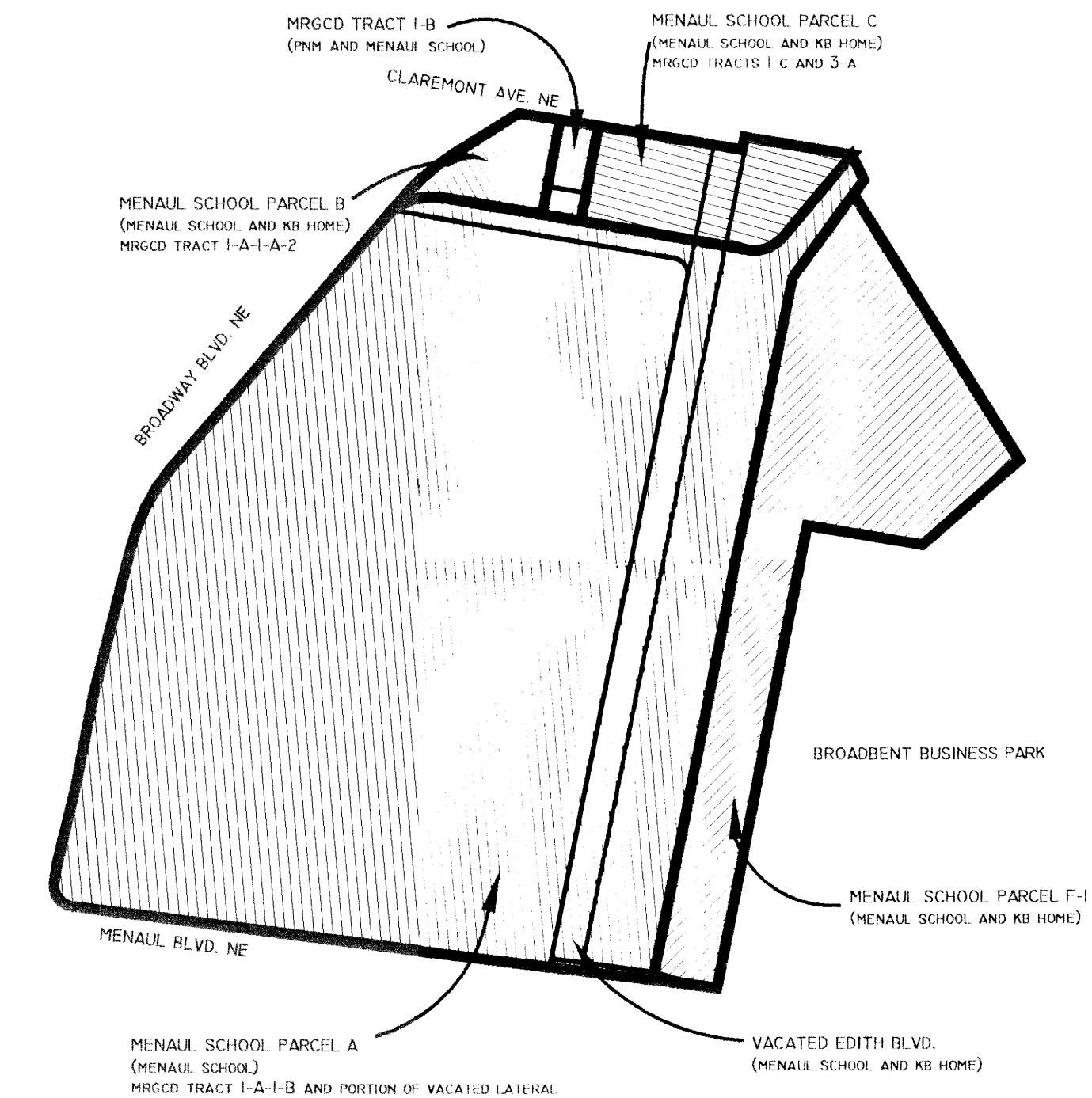
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DATE:	01/03/05
SCALE:	1" = 100'
CREW:	RALPH/JUSTIN
DRAWN:	SLN / CAS
JOB NO.:	N627

LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, N.M. 87048 (505) 897-0000

**SUBDIVISION PLAT
TRACTS A, B, C AND D
MENAUL SCHOOL
PROPERTIES**
BEING A REPLAT OF TRACT F-1
LANDS OF MENAUL SCHOOL AND TRACT 1-B, TRACT
1-A-1-A-2, TRACT 1-C, NORTHERLY PORTION OF TRACT
3-A, SOUTHERLY PORTION OF TRACT 3-A, TRACT 1-A-1-B,
MRGCD MAP NO. 36
SITUATE WITHIN PROJECTED
SECTION 9, T10N,R3E, NMPM
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2006

NOTES AND GRANTS OF EASEMENTS:

1. THE PURPOSE OF THIS PLAT IS TO REPLAT 7 LOTS OF PLATTED RECORD OR DEED AND ONE LOT CREATED BY QUITCLAIM DEED (WITHOUT BENEFIT OF A SUBDIVISION PLAT) AND TO CREATE 4 NEW TRACTS WITH NEW DESIGNATIONS AND CONFIGURATIONS. THIS PLAT ALSO CREATES CERTAIN PUBLIC AND PRIVATE EASEMENTS AND RECOGNIZES PUBLIC AND PRIVATE EASEMENTS OF RECORD.
 2. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE BOUNDARY SURVEY PLAT OF THE LANDS OF THE MENAUL SCHOOL, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 22, 1998, BOOK 98S, PAGE 68, AND GEODETIC TIES BETWEEN ACS MONUMENT "CANDELARIA" AND NM-47-13. BEARINGS ARE GRID BEARINGS, NEW MEXICO STATE COORDINATE SYSTEM, CENTRAL ZONE NAD 27. DISTANCES ARE GROUND DISTANCES.
 3. OTHER DOCUMENTS USED:
 - A. LANDAMERICA / ALBUQUERQUE TITLE FILE 6212000040 FOR KB HOME NM INC.
 - B. INFORMATION PROVIDED BY THE MENAUL SCHOOL INC.
 - C. COUNTY OF BERNALILLO PLAT AND DOCUMENT RECORDS AS NOTED.
 4. THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X, OUTSIDE THE 500 YEAR FLOOD PLAN (AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP 35001C0332 D, EFFECTIVE DATE SEPTEMBER 20, 1996).
 5. BEARINGS AND DISTANCES ARE BOTH RECORD (IN PARENTHESES) AND MEASURED.
 6. EASEMENTS GRANTED BY THIS PLAT INCLUDE:
 - A) A 55' WIDE RECIPROCAL ACCESS EASEMENT, IS GRANTED TO THE MENAUL SCHOOL INC. ALL ADDITIONAL RIGHTS, OTHER THAN ALLOWING THE RIGHT OF ACCESS, ARE RESERVED TO THE OWNER OF PARCEL B-1, THEIR SUCCESSORS AND ASSIGNS, AND ARE SUBJECT TO ANY CITY OF ALBUQUERQUE AND FRANCHISED UTILITIES RIGHTS AS CONVEYED BY PREDECESSOR INSTRUMENTS OF RECORD.
 - B) A 30' WIDE RECIPROCAL ACCESS EASEMENT TOGETHER WITH UNDER GROUND RIGHTS FOR IRRIGATION EASEMENT IS GRANTED TO THE MENAUL SCHOOL INC. ANY ADDITIONAL RIGHTS, OTHER THAN ALLOWING THE RIGHT OF ACCESS, ARE RESERVED TO THE OWNER OF PARCEL B-1, THEIR SUCCESSORS AND ASSIGNS.
 - C) A 10' WIDE ACCESS EASEMENT TOGETHER WITH UNDER GROUND RIGHTS FOR PRIVATE UTILITIES AND UNDERGROUND IRRIGATION PIPES AND FACILITIES, INCLUDING WATER WELLS, IS GRANTED TO THE MENAUL SCHOOL INC. ALL ADDITIONAL RIGHTS, OTHER THAN ALLOWING THE RIGHT OF ACCESS, ARE RESERVED TO THE OWNER OF PARCEL B-1, THEIR SUCCESSORS AND ASSIGNS.
 - D) A 20' WIDE BY 100' LONG ACCESS EASEMENT FOR MAINTENANCE TOGETHER WITH A SURFACE EASEMENT FOR EXISTING AND REPLACEMENT WATER STORAGE TANKS TOGETHER WITH UNDER GROUND RIGHTS FOR PRIVATE UTILITIES AND UNDERGROUND IRRIGATION PIPES AND FACILITIES, INCLUDING WATER WELLS IS GRANTED TO THE STRONGHURST IMPROVEMENT ASSOCIATION INC. ALL ADDITIONAL RIGHTS, OTHER THAN ALLOWING THE RIGHT OF ACCESS, ARE RESERVED TO THE OWNER OF PARCEL B-1, THEIR SUCCESSORS AND ASSIGNS. ANY REPLACEMENT FACILITIES (TO TANKS, WELLS, PIPES OR OTHER FACILITIES) MUST BE APPROVED BY GRANTOR PRIOR TO SUCH REPLACEMENT OR CONSTRUCTION.
 - E) TWO 35' x 35' MASTER METER WATER EASEMENTS ARE GRANTED TO ALBUQUERQUE/BERNALILLO COUNTY WATER AUTHORITY.
 - F) A 14' WIDE PUBLIC ACCESS EASEMENT TOGETHER WITH A SURFACE EASEMENT FOR THE CONSTRUCTION OF A 10' PEDESTRIAN AND BICYCLE TRAIL IS GRANTED TO THE CITY OF ALBUQUERQUE, A MUNICIPAL CORPORATION. ALL ADDITIONAL RIGHTS ARE RESERVED TO THE MENAUL SCHOOL INC. SAID EASEMENT IS ALSO FOR THE FUTURE WIDENING OF MENAUL BLVD. R/W IF REQUESTER BY THE CITY OF ALBUQUERQUE.
 7. PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE GRANTED AS COMMON USE EASEMENTS:
 - A. PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - B. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - C. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND
 - D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV.
- INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE (5) FEET WIDE ON THE OTHER THREE (3) SIDES OF THE TRANSFORMER/SWITCHGEAR AS INSTALLED.



MAP OF EXISTING LAND PARCELS COMBINED FOR THIS PLAT (N.T.S.)

PAGE 2 OF 4
SUBDIVISION PLAT
LANDS OF MENAUL SCHOOL

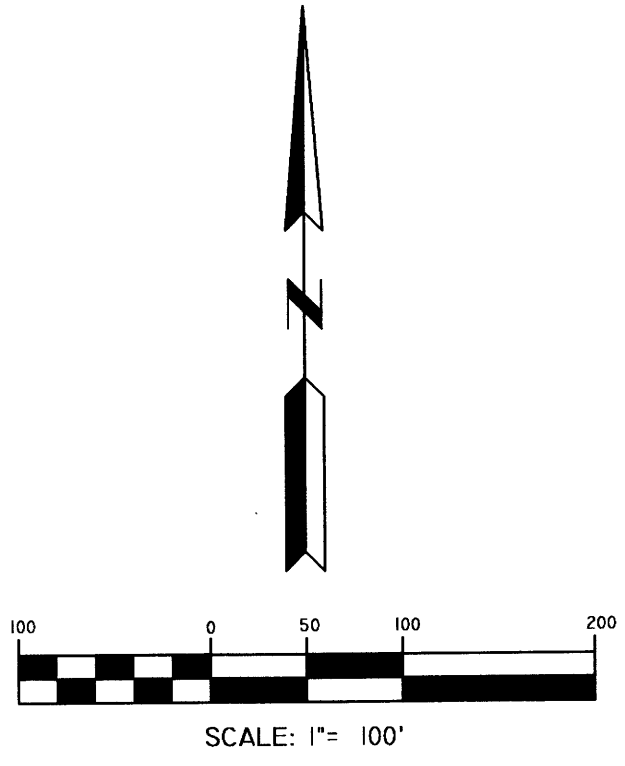
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.CRS:	DATABASE
DATE:	01/03/05
SCALE:	1" = 100'
CREW:	RALPH/JUSTIN
DRAWN:	SLN / CAS
JOB NO.:	N627

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LAND PLANNING ENGINEERING SURVEYING
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COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

SUBDIVISION PLAT
TRACTS A, B, C AND D
MENAUL SCHOOL
PROPERTIES
BEING A REPLAT OF TRACT F-1
LANDS OF MENAUL SCHOOL AND TRACT 1-B, TRACT
1-A-1-A-2, TRACT 1-C, NORTHERLY PORTION OF TRACT
3-A, SOUTHERLY PORTION OF TRACT 3-A, TRACT 1-A-1-B,
MRGCD MAP NO. 36
SITUATE WITHIN PROJECTED
SECTION 9, T10N,R3E, NMPM
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2006



LEGEND

- FOUND SURVEY EVIDENCE
- PROPERTY CORNER TO BE SET
- NEW EASEMENT LINE (CREATED BY THIS PLAT)
- EXISTING PROPERTY LINE (VACATED BY THIS PLAT)
- 20' X 100' ACCESS AND UTILITY EASEMENT GRANTED TO THE STRONGHURST IMPROVEMENT ASSOCIATION INC. BY THIS PLAT (SEE NOTE 6.D)

POINT OF BEGINNING

AERIAL EASEMENT TO P.N.M. AND RIGHT TO PLACE POLES (1' SOUTH OF CLAREMONT PROPERTY LINE) (DOC. 19861, FILED 4/23/54, VOL. D276, FOL. 633)

TRACT C (0.2208 AC.)
CLAREMONT AVENUE N.E.

PLAT OF LOTS 1-A AND 3 SUNDT'S INDUSTRIAL AREA

BROADWAY BOULEVARD N.E. (EXTENSION)
(R/W VARIES FROM 80' MIN PER PLAT OF TRACTS E-1, H-1, I-1, J-1, GATEWAY INDUSTRIAL PARK FILED 7-07-2005, BK. 2005C, PG. 238)

(R=378.92
L=117.52
Δ=17°46'31"
Ch Brg=549°08'35"W
Ch L=117.05)
(R=378.92
L=117.52
Δ=17°46'31"
Ch Brg=N49°23'13"E
Ch L=117.08)

EXISTING PARCEL C (0.7600 ACRES)
MRGCD TR. 1-A-1-A-2
MAP 36
PROPERTY LINES TO BE VACATED BY THIS PLAT

EXISTING PARCEL B (0.1889 ACRES)
MRGCD TR. 1-C
MAP 36
PORTION OF MRGCD TRACT 1-B QUITCLAIM TO MENAUL SCHOOL (SIGNED 3/27/1987) (0.0830 ACRES)
PROPERTY LINES TO BE VACATED BY THIS PLAT

35' X 35' WATERLINE EASEMENT (GRANTED BY THIS PLAT)
PROPERTY LINE TO BE VACATED BY THIS PLAT

R=30.00
L=48.01
Tan=30.90
D=91°41'21"
Ch Brg=N34°33'44"W
Ch L=43.05

TRACT A (17.0092 ACRES)

INCLUDES MENAUL SCHOOL PARCELS - PORTION OF PARCEL A, ALL OF PARCELS B AND C AND PORTION OF F1 PORTION OF MRGCD 1-B AND A PORTION OF VACATED ALAMEDA LATERAL

TRACT B (27.6269 ACRES)

INCLUDES REMAINDER PORTION OF MRGCD TRACT 1-A-1-B AND A PORTION OF VACATED ALAMEDA LATERAL

APPROXIMATE LOCATION OF 15' PNM GAS EASEMENT (FILED 5/02/2003, VOL. A55, FOL. 3831)

55' CROSS-ACCESS EASEMENT, GRANTED TO MENAUL SCHOOL BY THIS PLAT (SEE NOTE 6.A)

APPROXIMATE LOCATION OF 60' VACATED EDITH BLVD, NE (ORD. 134-1966) NOW EASEMENT FOR PUBLIC UTILITIES (FILED PLAT "BOUNDARY SURVEY PLAT" ROSS HOWARD SURVEYING COMPANY D. KRAEMER L.S. #4577) (FILED 05/27/98, VOL. 98S, FOL. 68 (1 AND 2))

(R=356.26
L=30.06
Δ=4°50'03"
Ch Brg=S11°34'43"W
Ch L=30.05)
R=356.26
L=30.12
Δ=4°50'38"
Ch Brg=N11°38'53"E

10' UNDER GROUND IRRIGATION EASEMENT GRANTED TO MENAUL SCHOOL BY THIS PLAT

PLAT OF BROADBENT BUSINESS PARK (SP-90-215 SP-99-130)

PAGE 3 OF 4
SUBDIVISION PLAT
LANDS OF MENAUL SCHOOL

DWG PATH: F:\N627\KHOME\MENAUL SCHOOL\PRELIMINARY PLAT\PREPLAT 010606.DWG	
CRS:	DATABASE
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