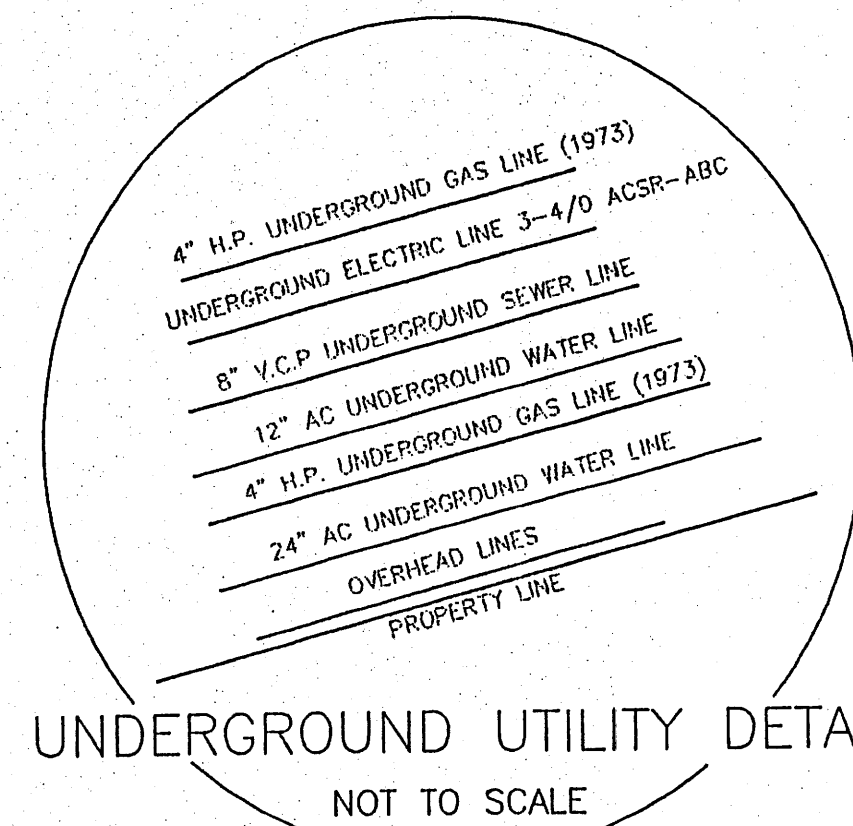


**KEYED NOTES**

- ① CURB AND GUTTER AT PLANTER: SEE DETAIL # 1, SHT C5
- ② CURB AND GUTTER AT SIDEWALK: SEE DETAIL # 2, SHT C5



*Amended  
2/24/98*

**Hold Harmless Agreement**

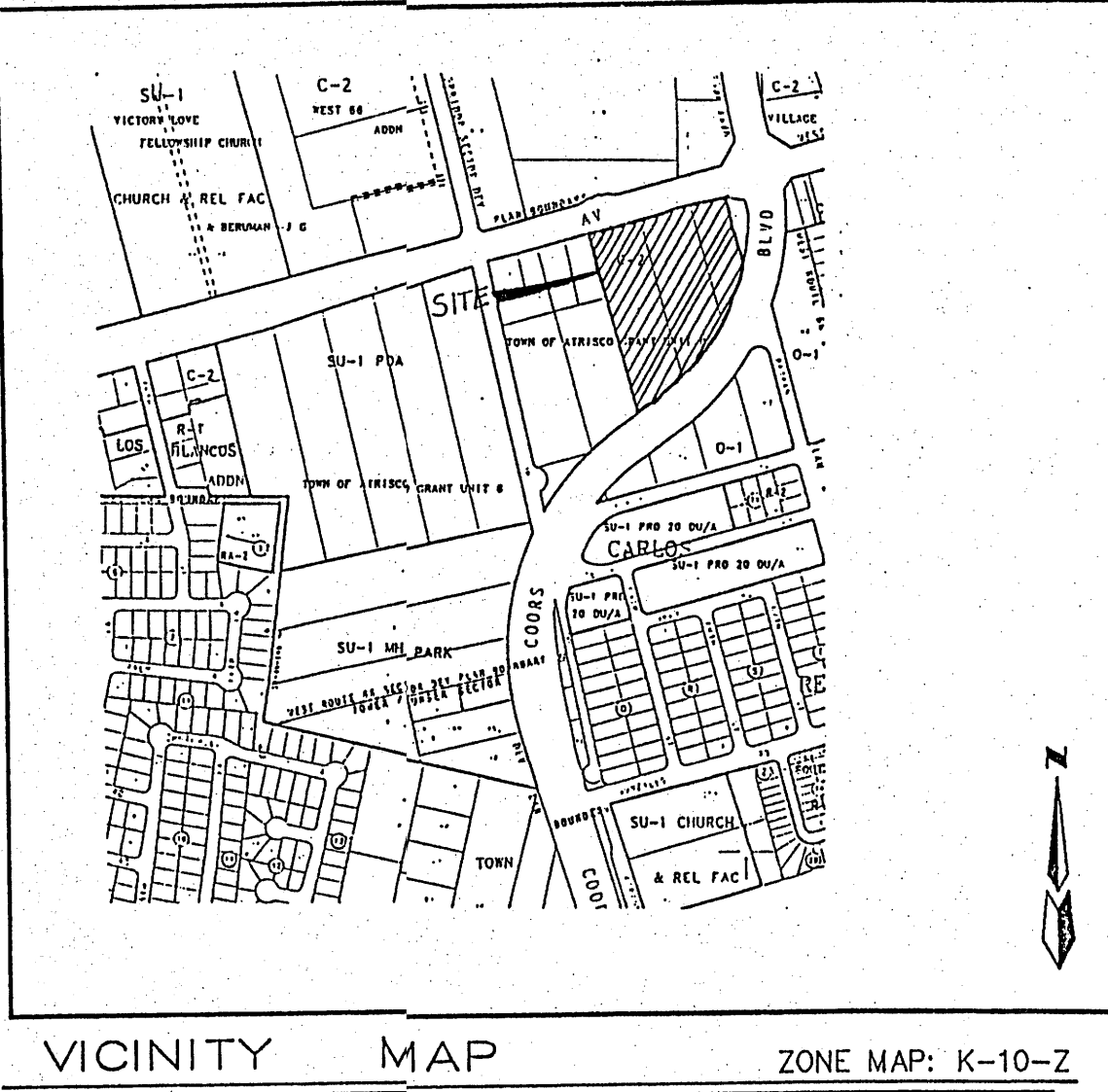
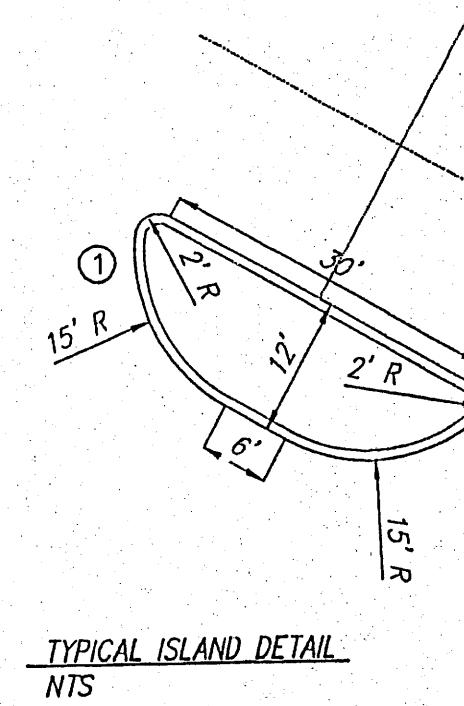
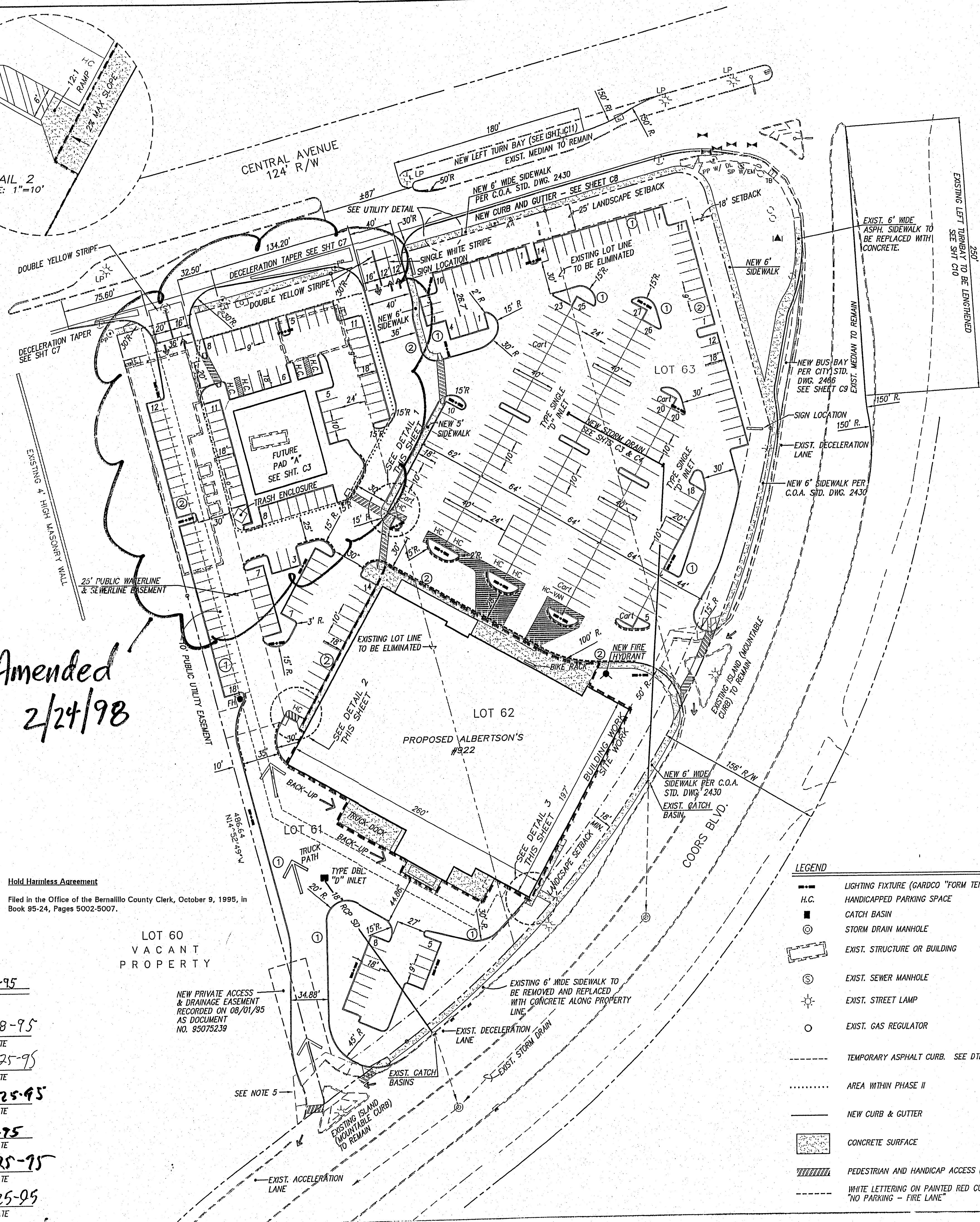
Filed in the Office of the Bernalillo County Clerk, October 9, 1995, in Book 95-24, Pages 5002-5007.

LOT 60  
VACANT  
PROPERTY

NEW PRIVATE ACCESS  
& DRAINAGE EASEMENT  
RECORDED ON 08/01/95  
AS DOCUMENT  
NO. 95075239

APPROVALS: Z-95-23 EPC: 4-20-95

*Jack Cloud* 10-18-95  
PLANNING DEPARTMENT DATE  
*Frank J. Jagan* 9-25-95  
AMAFCA DATE  
*Pat Robert* 7-25-95  
PARKS & GENERAL SERVICES DATE  
*Richard D. Rouse* 8-11-95  
TRAFFIC ENGINEERING DATE  
*Frank J. Jagan* 9-25-95  
CITY ENGINEER DATE  
*Robert W. Kane* 7-25-95  
UTILITY DEVELOPMENT DATE



**TABLATIONS**

SITE	BUILDING AREA	PARKING SPACES		HANDICAP SPACES	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
ALBERTSONS	51,545 SQ.FT.	258	282	8	8
PAD "A"	5,600 SQ. FT.	50	71	3	4
TOTAL	55,245 SQ.FT.	307	353	11	12

**TABLATIONS**

MIN. NO. OF TREES REQUIRED	PAVED AREA	LANDSCAPED AREA EXCLUDING SETBACKS	TOTAL LANDSCAPED AREA
35	188,825 SQ.FT.	28,737 SQ.FT. *	56,555 SQ.FT.

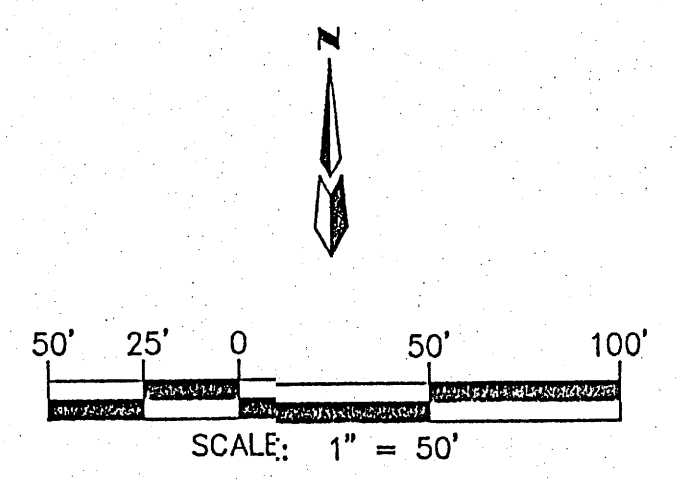
\* 15.2% OF TOTAL PAVED AREA

**GENERAL NOTES**

1. CURRENT ZONING IS C-2 WITH "SC" DESIGNATION SOUGHT WITH THIS REQUEST.
2. THIS SITE LIES WITHIN THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. EXTERIOR APPEARANCE SHALL FOLLOW THE DESIGN OVERLAY GUIDELINES IN THE PLAN.
3. LEGAL DESCRIPTION: A PORTION OF TRACT 61, 62 AND 63, TOWN OF ATRISCO GRANT, UNIT NO. 6. CONSISTING OF 7.4 ACRES.
4. PROPOSED USE: 51,545 SQ. FT. SHOPPING CENTER AND SECONDARY RETAIL BUILDING OF 5,600 SQ. FT. PROPOSED ON 3 LOTS. (LOT 61 ~ 145,900 SF; LOT 62 ~ 119,531 SF; LOT 63 ~ 36,712 SF)
5. ACCESS: SITE ACCESS WILL BE PROVIDED THROUGH TWO EXISTING CURB CUTS ON COORS BLVD. AND TWO NEW DRIVEWAYS ON CENTRAL AVE. ACCESS EASEMENTS ON COORS RECORDED IN BOOK MISC. 750A, PG. 486 & 488
6. OFF-SITE IMPROVEMENTS: FOR WESTBOUND LEFT TURNS INTO SITE FROM CENTRAL AVE. A NEW TURN-BAY WILL BE CONSTRUCTED W/AND THE EXISTING LEFT TURN-BAY ON NORTHBOUND COORS BLVD. WILL BE LENGTHENED. NEW PUBLIC WATER AND SANITARY SEWER LINES TO BE EXTENDED SOUTH FROM CENTRAL AVE. AS NECESSARY.
7. SITE LIGHTING SHALL CONFORM TO THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN WITH TOTAL LUMINESCENCE NOT TO EXCEED 1000 FOOT LAMBERTS.
8. APPROVAL OF PAD "A" BUILDING SHALL BE DELEGATED TO PLANNING DEPARTMENT STAFF.

**LEGEND**

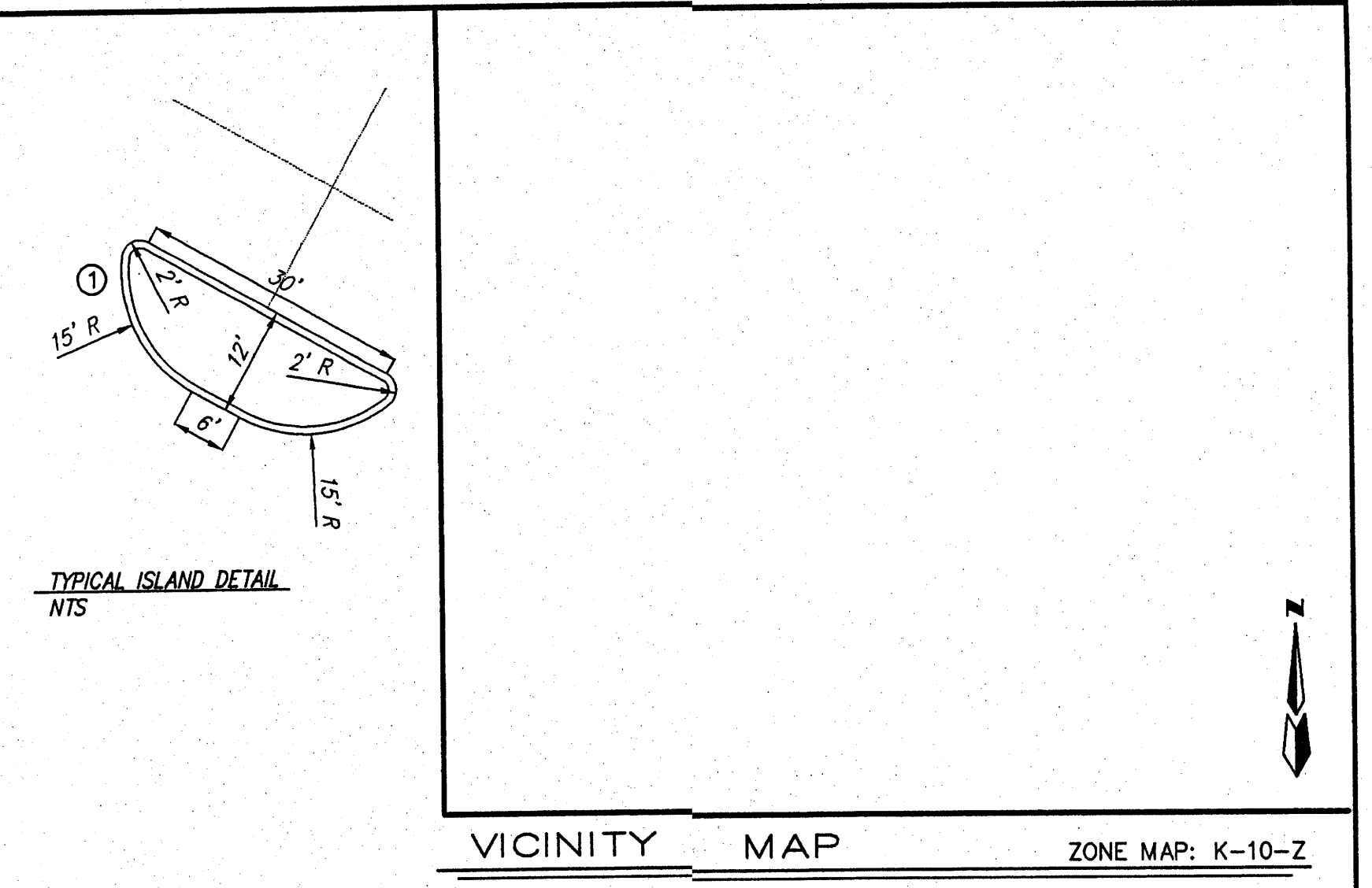
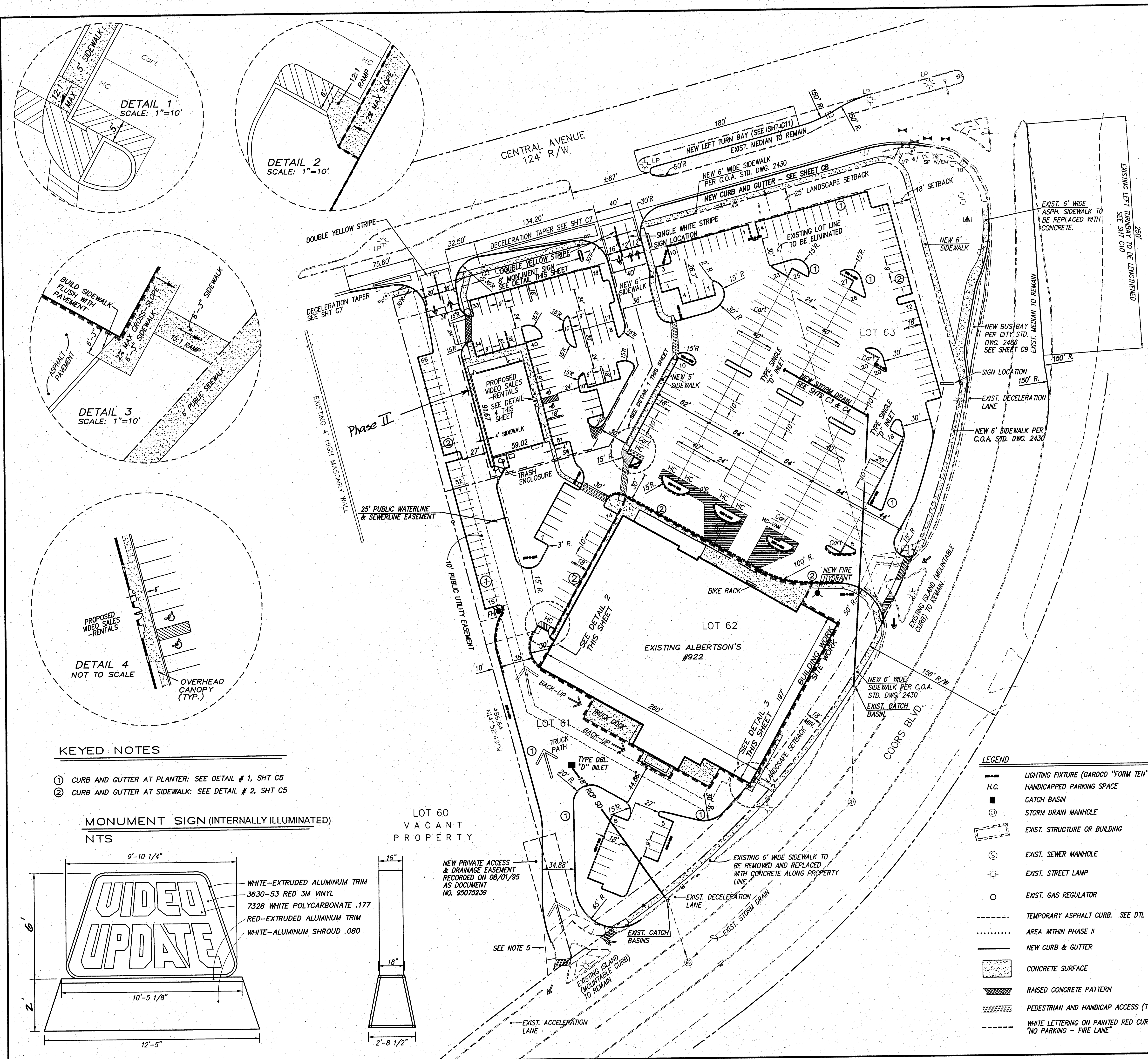
- LIGHTING FIXTURE (GARDOO "FORM TEN" 40' VERTICAL LAMP OR EQUIVALENT)
- H.C. HANDICAPPED PARKING SPACE
- CATCH BASIN
- ⊙ STORM DRAIN MANHOLE
- ▭ EXIST. STRUCTURE OR BUILDING
- ⊙ EXIST. SEWER MANHOLE
- ⊙ EXIST. STREET LAMP
- EXIST. GAS REGULATOR
- - - - - TEMPORARY ASPHALT CURB. SEE DTL #4, SEE SHT C5
- ..... AREA WITHIN PHASE II
- NEW CURB & GUTTER
- ▨ CONCRETE SURFACE
- ▨ PEDESTRIAN AND HANDICAP ACCESS (TO BE STRIPED ON PAVEMENT)
- - - - - WHITE LETTERING ON PAINTED RED CURB: "NO PARKING - FIRE LANE"



**ALBERTSON'S - COORS & CENTRAL**  
SITE DEVELOPMENT PLAN FOR BUILDING

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 345-2010

Designed: JMM Drawn: JMB Checked: DMG Sheet 1 of 12  
Scale: AS SHOWN Date: 7/20/95 Job: 94150



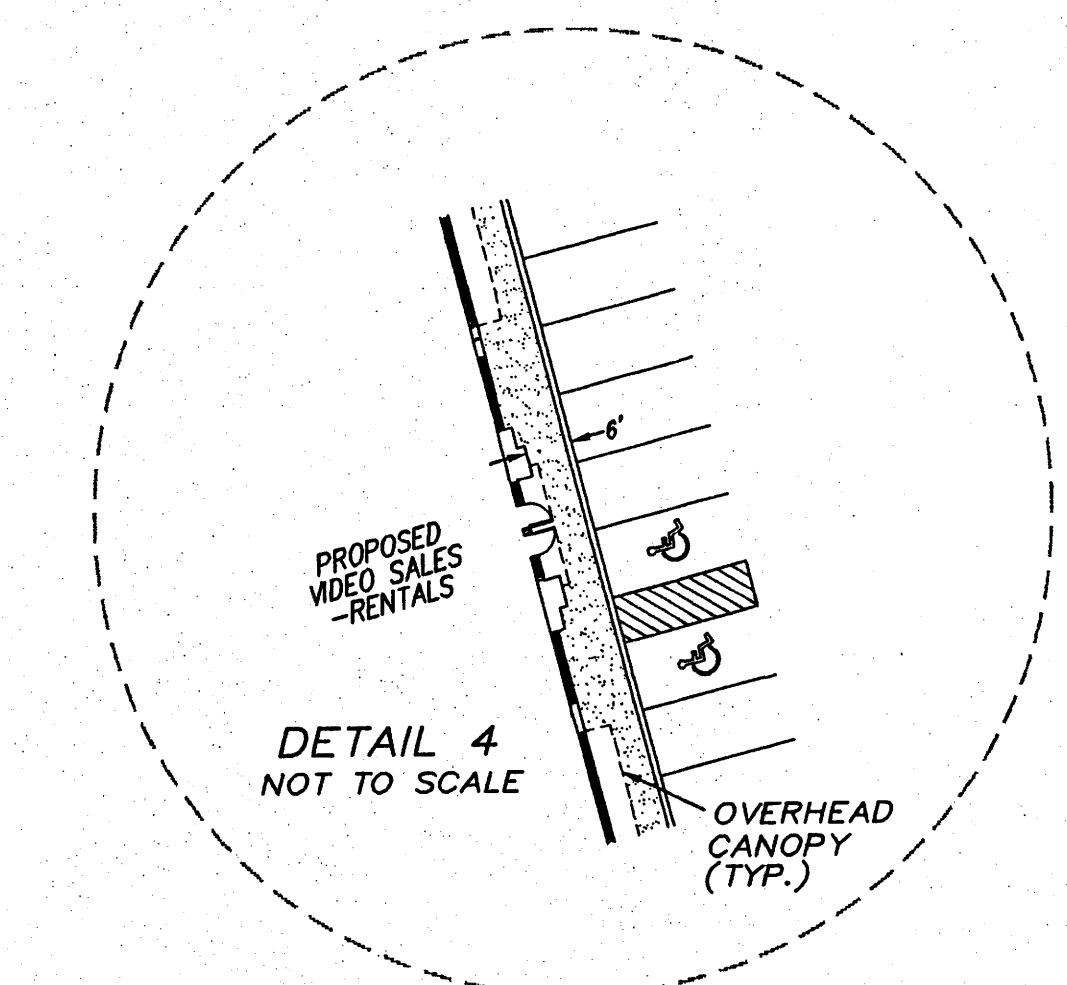
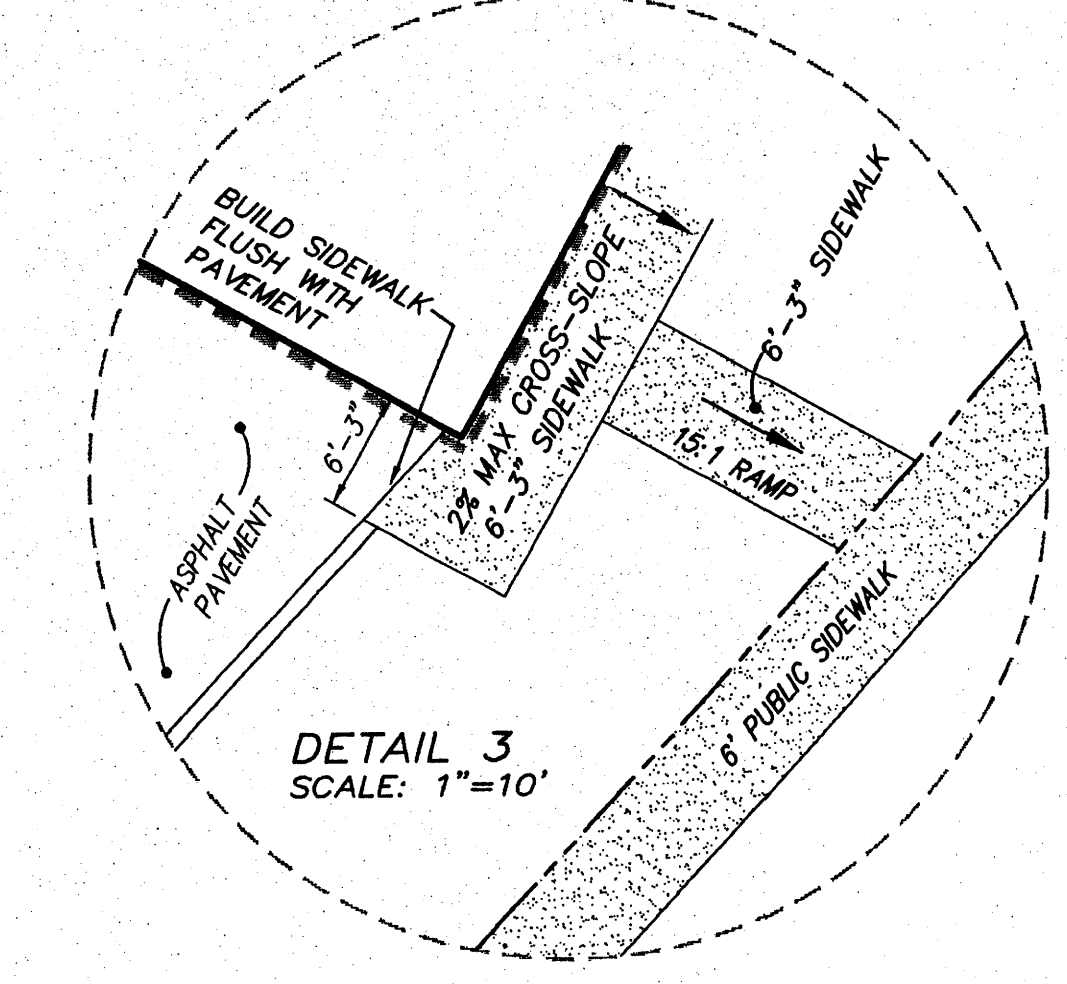
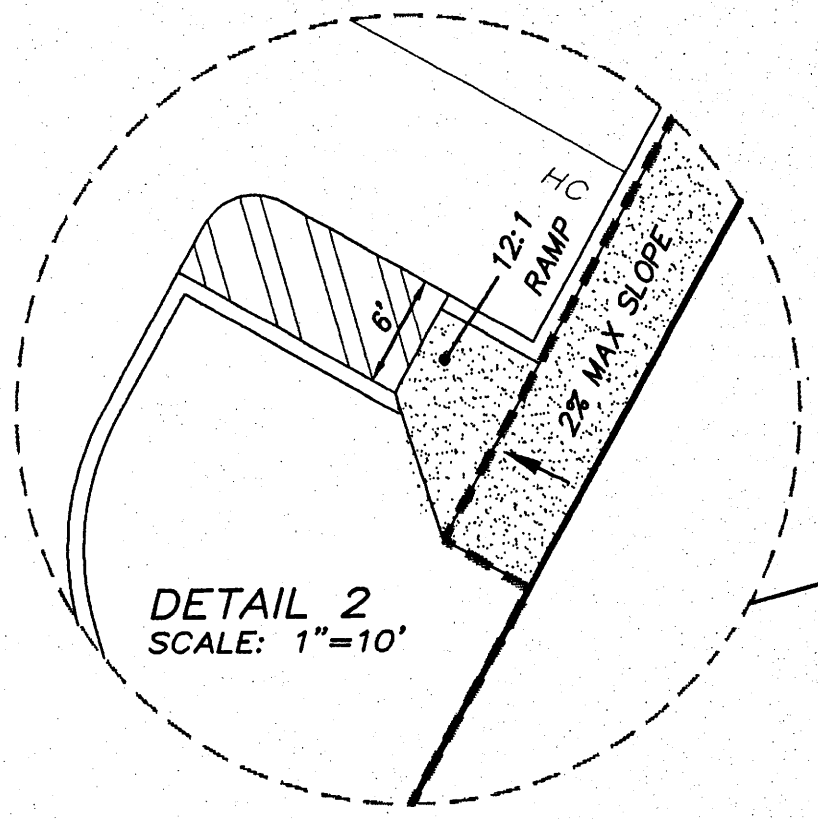
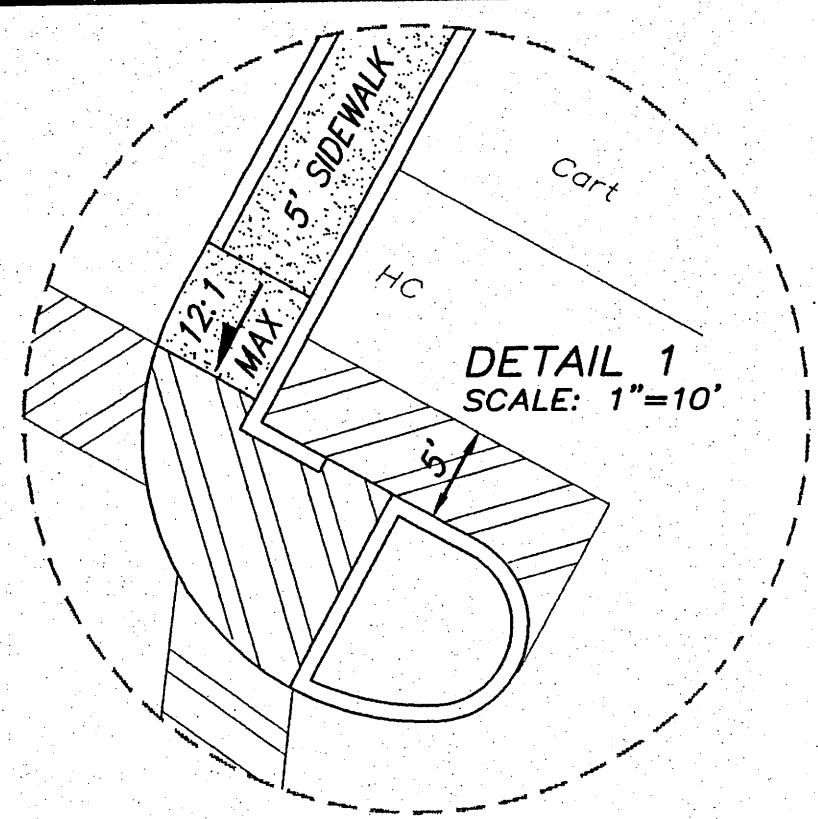
**TABULATIONS**

SITE	BUILDING AREA	PARKING SPACES		HANDICAP SPACES	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
ALBERTSONS	51,545 SQ.FT.	258	276	8	8
PAD "A"	5,500 SQ. FT.	34	65	2	2
TOTAL	57,045 SQ.FT.	292	341	10	10

**TABULATIONS**

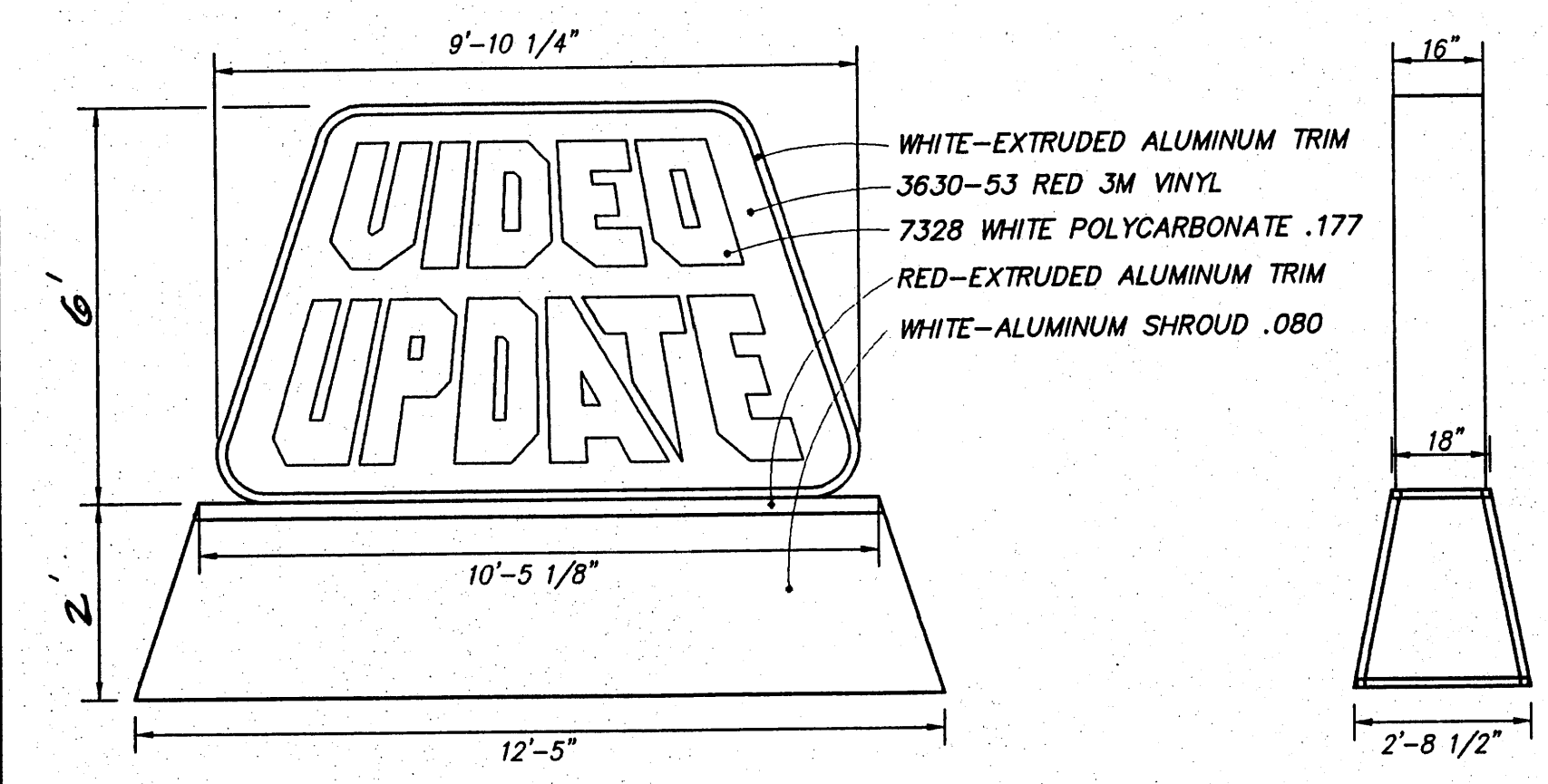
MIN. NO. OF TREES REQUIRED	PAVED AREA	LANDSCAPED AREA EXCLUDING SETBACKS	TOTAL LANDSCAPED AREA
35	188,825 SQ.FT.	28,737 SQ.FT. *	56,555 SQ.FT.

- \* 15.2% OF TOTAL PAVED AREA
- GENERAL NOTES**
- CURRENT ZONING IS C-2 WITH "SC" DESIGNATION SOUGHT WITH THIS REQUEST.
  - THIS SITE LIES WITHIN THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. EXTERIOR APPEARANCE SHALL FOLLOW THE DESIGN OVERLAY GUIDELINES IN THE PLAN.
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  - APPROVAL OF PAD "A" BUILDING SHALL BE DELEGATED TO PLANNING DEPARTMENT STAFF.

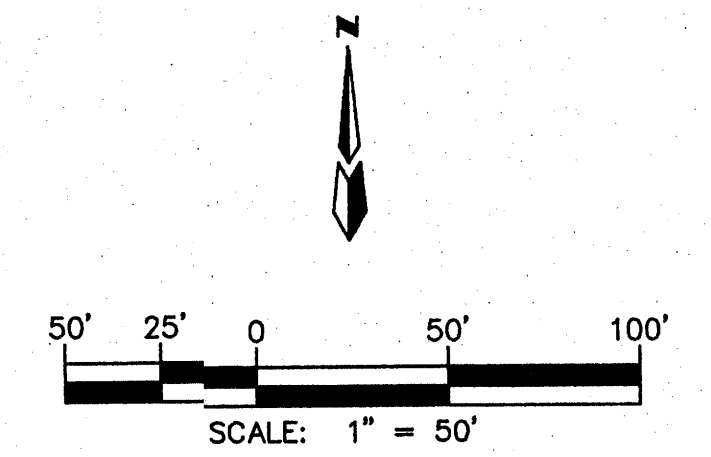


- KEYED NOTES**
- CURB AND GUTTER AT PLANTER: SEE DETAIL # 1, SHT C5
  - CURB AND GUTTER AT SIDEWALK: SEE DETAIL # 2, SHT C5

**MONUMENT SIGN (INTERNALLY ILLUMINATED)**  
NTS



- LEGEND**
- LIGHTING FIXTURE (GARDCO "FORM TEN" 40' VERTICAL LAMP OR EQUIVALENT)
  - H.C. HANDICAPPED PARKING SPACE
  - CATCH BASIN
  - STORM DRAIN MANHOLE
  - ▭ EXIST. STRUCTURE OR BUILDING
  - EXIST. SEWER MANHOLE
  - ☼ EXIST. STREET LAMP
  - EXIST. GAS REGULATOR
  - - - - - TEMPORARY ASPHALT CURB. SEE DTL #4, SEE SHT C5
  - ..... AREA WITHIN PHASE II
  - NEW CURB & GUTTER
  - ▨ CONCRETE SURFACE
  - ▩ RAISED CONCRETE PATTERN
  - ▨ PEDESTRIAN AND HANDICAP ACCESS (TO BE STRIPED ON PAVEMENT)
  - WHITE LETTERING ON PAINTED RED CURB: "NO PARKING - FIRE LANE"

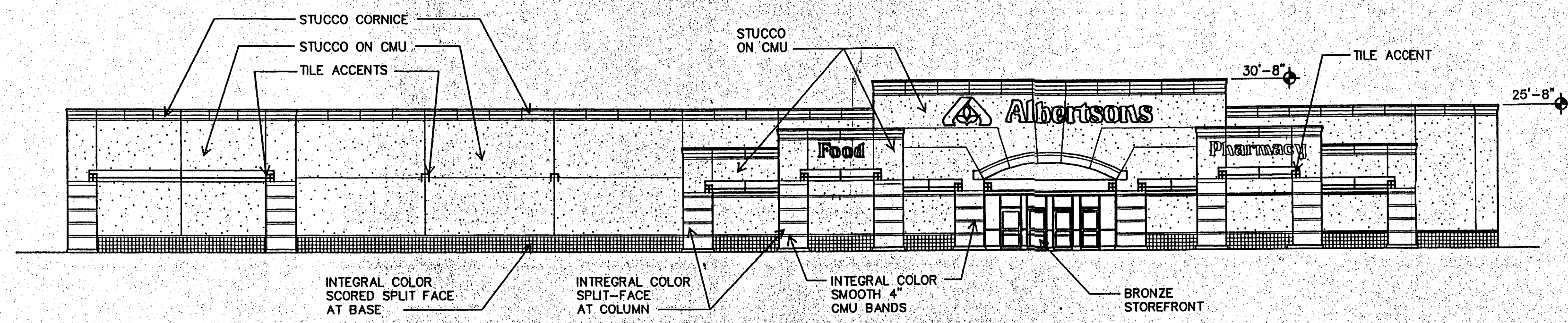


**ALBERTSON'S - VIDEO UPDATE**  
**SITE DEVELOPEMENT PLAN FOR BUILDING**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200

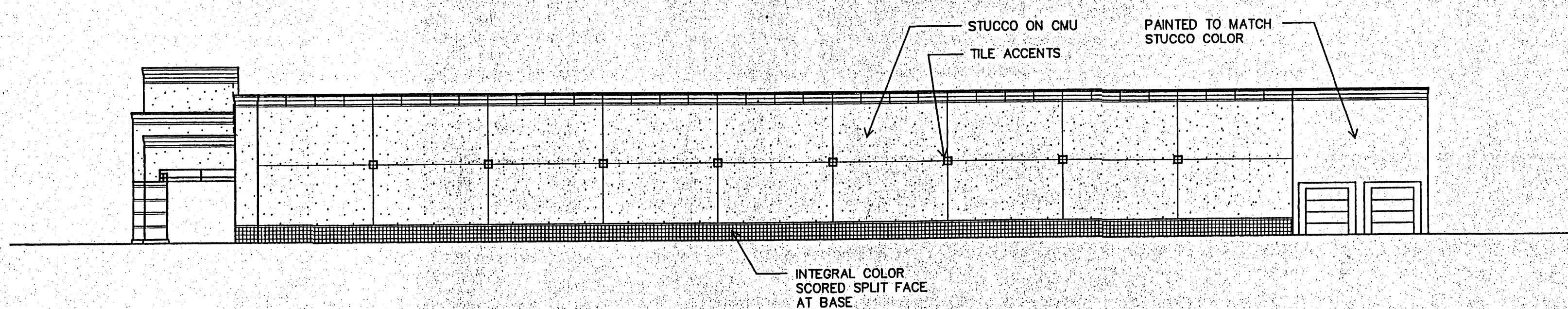
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Scale: AS SHOWN Date: 2/98 Job: 94150

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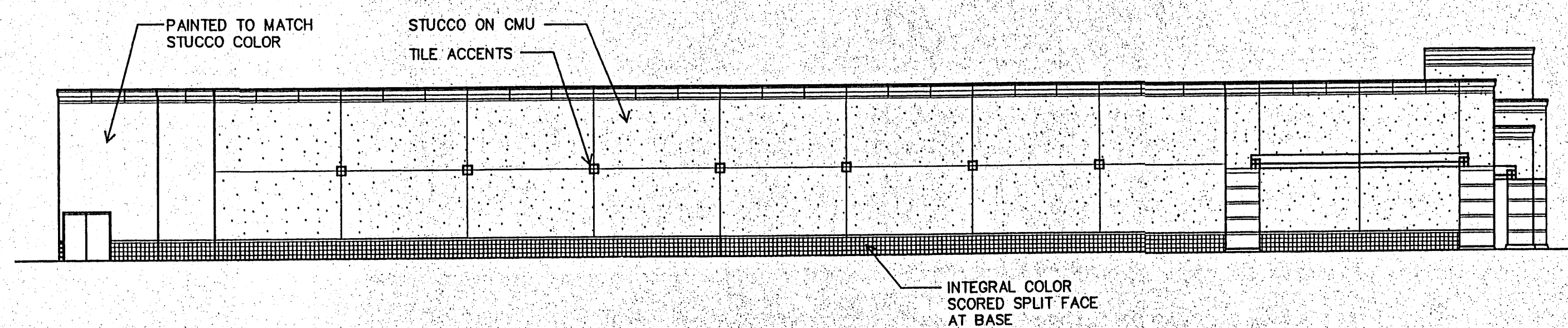
FRONT ELEVATION

SCALE: 1/16" = 1'-0"



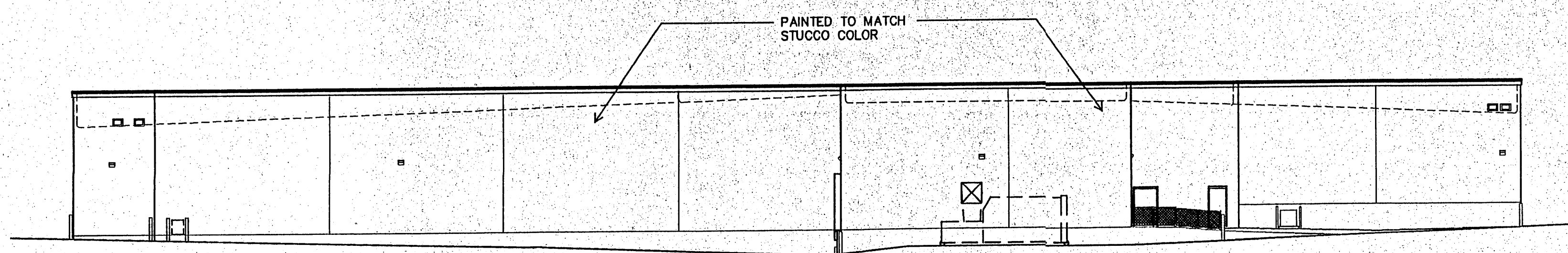
NORTH SIDE ELEVATION

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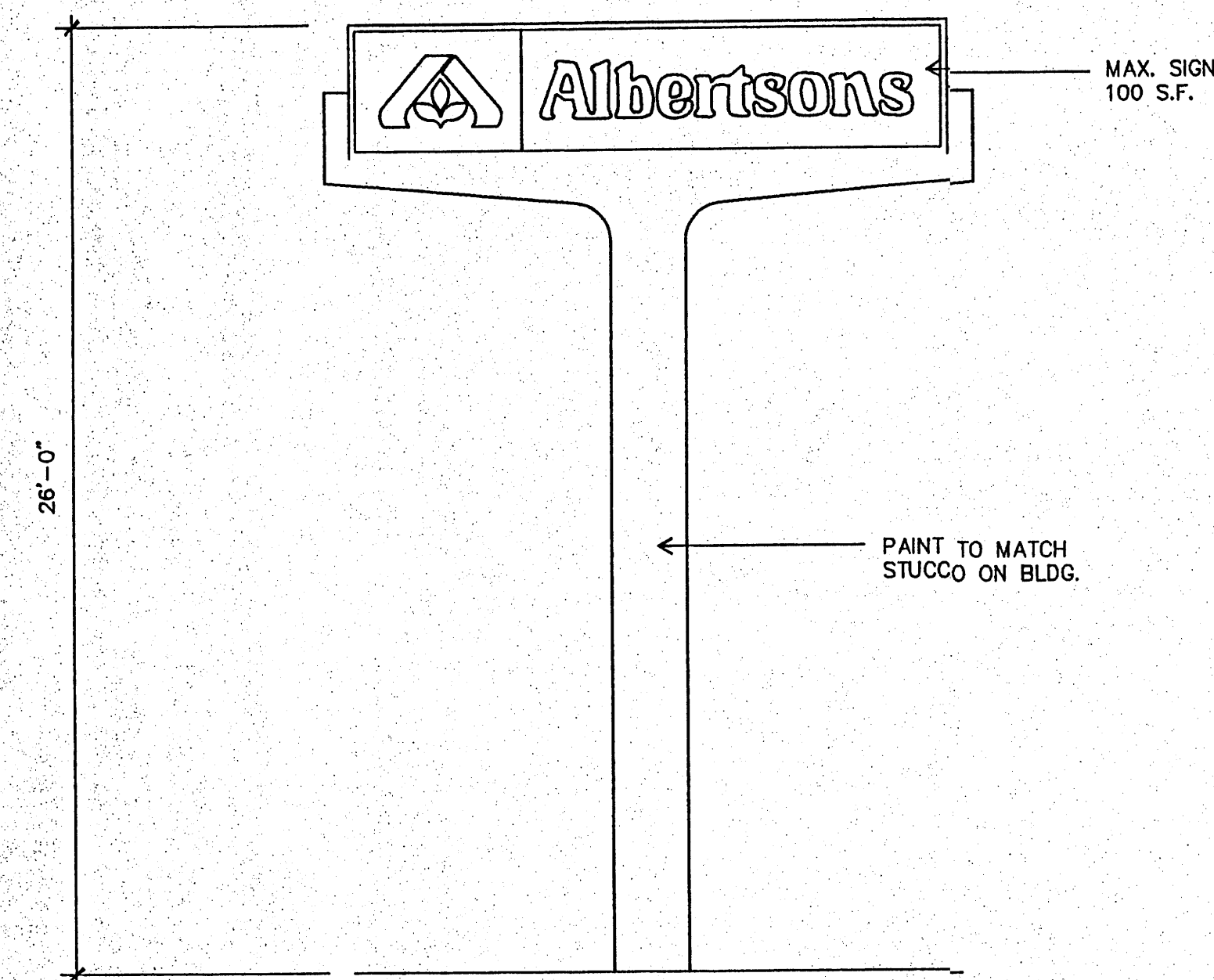
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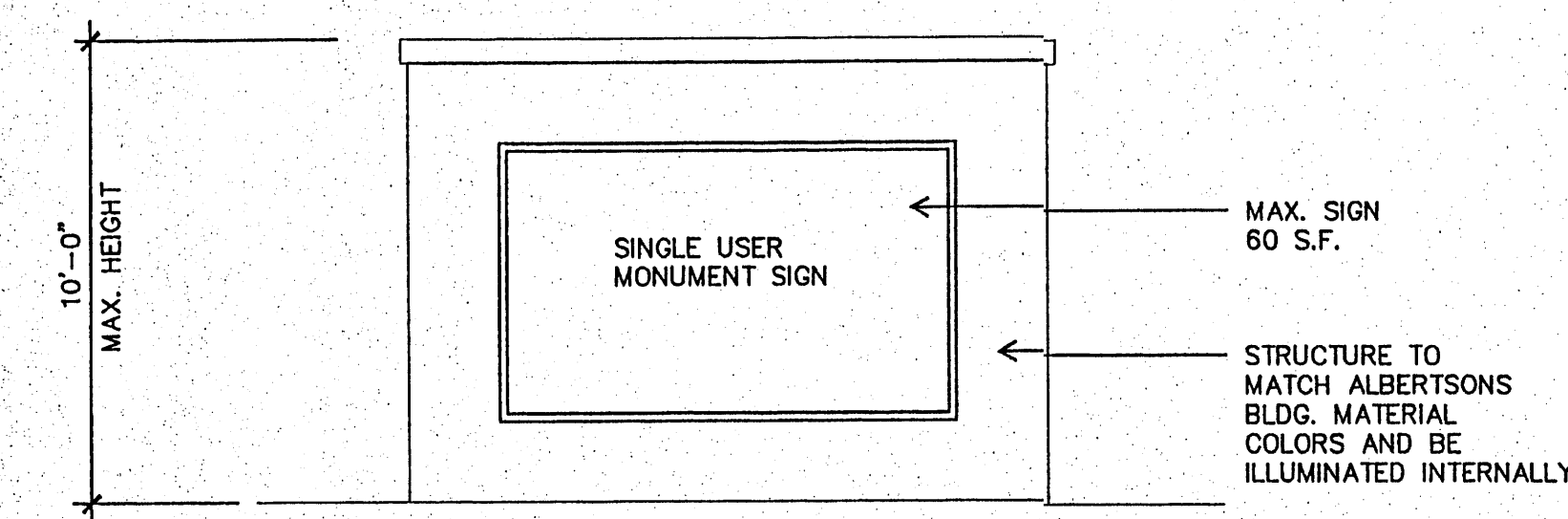
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ALBERTSONS TYPICAL PYLON SIGN

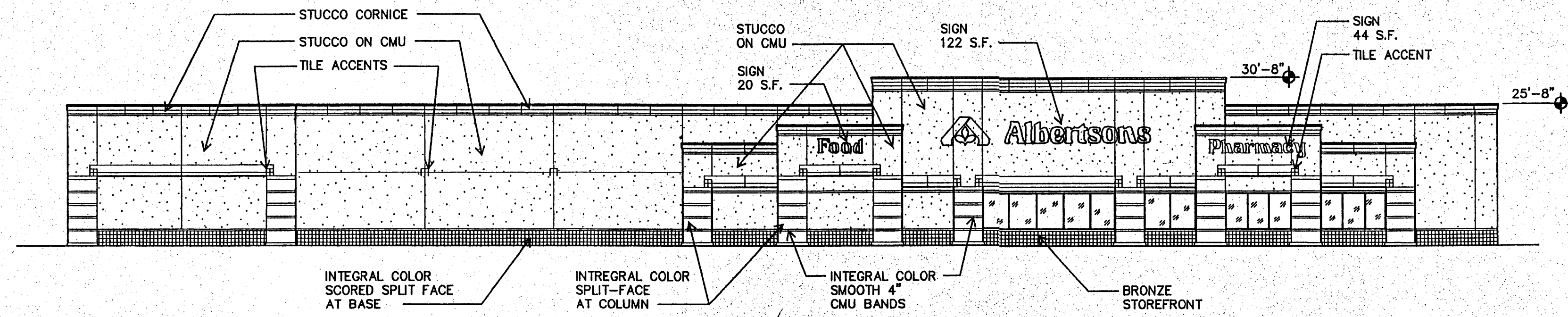
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MONUMENT SIGN FOR PAD "A"

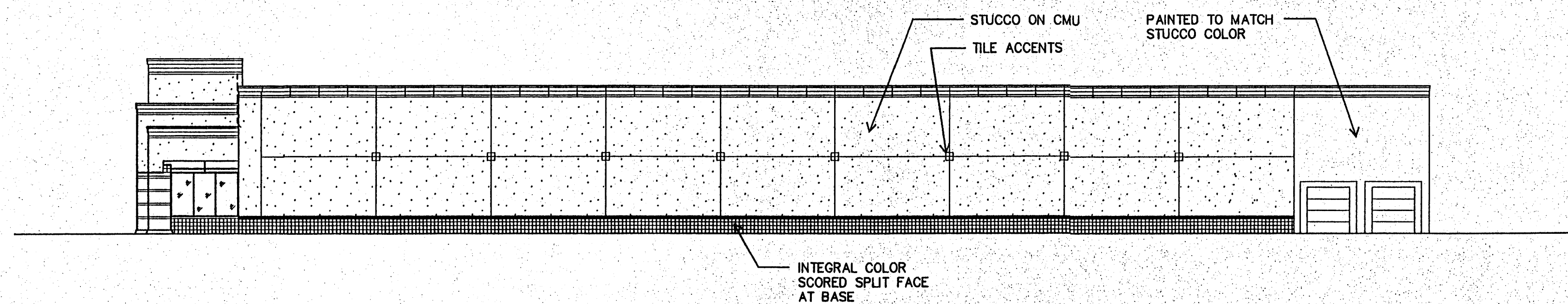
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ALBERTSON'S COORS-CENTRAL			
ELEVATION VIEWS			
 D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS & SURVEYORS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 345-2010			
Designed: JMM	Drawn: JMB	Checked: DMG	Sheet 2 of 4
Scale: AS SHOWN	Date: 01/95	Job: 94150	



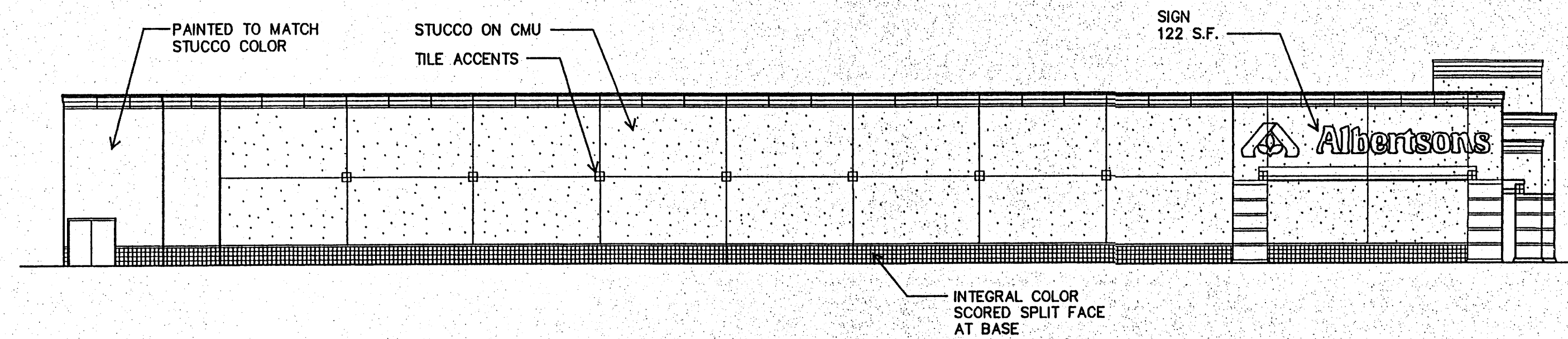
FRONT ELEVATION

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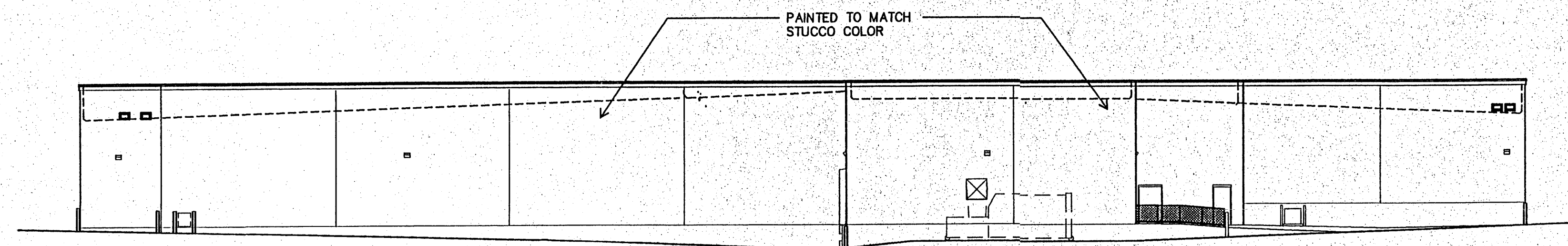
NORTH SIDE ELEVATION

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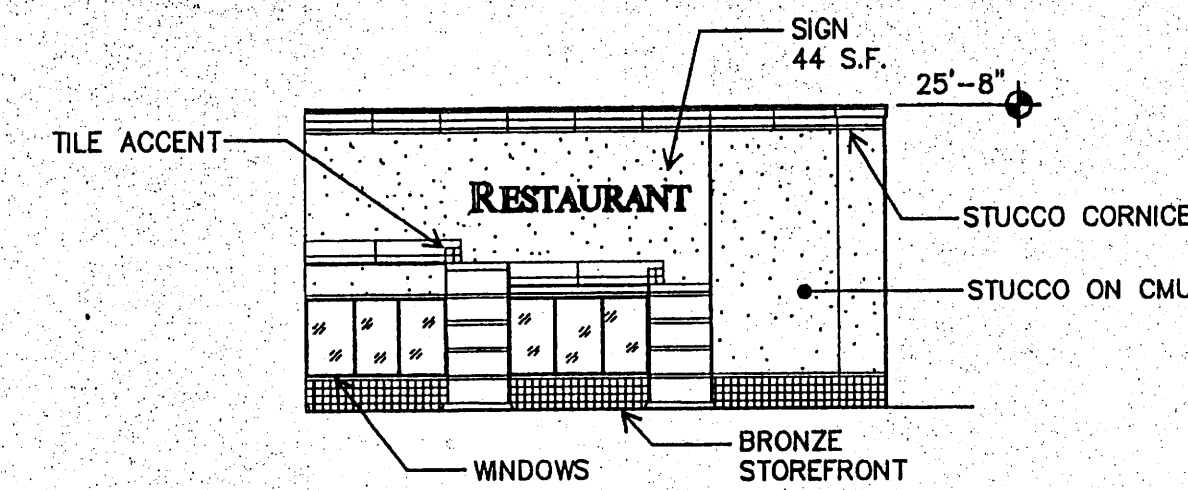
SOUTH SIDE ELEVATION

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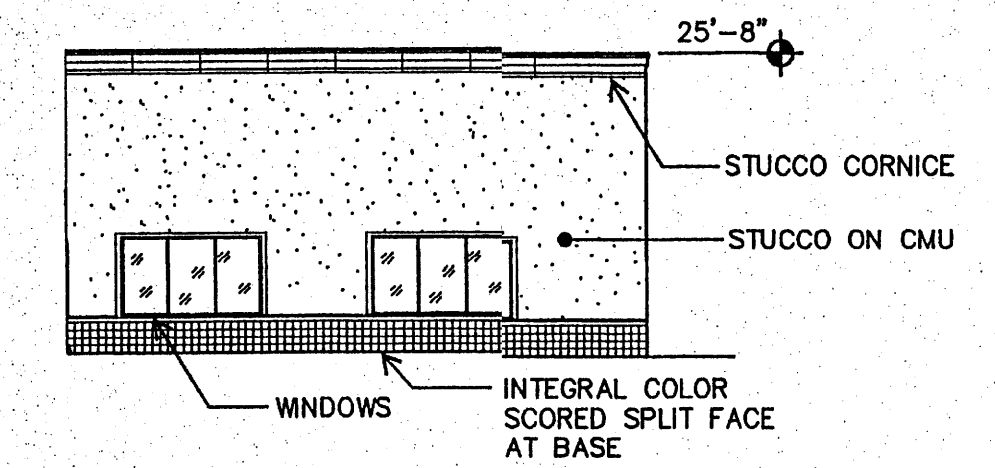


REAR ELEVATION

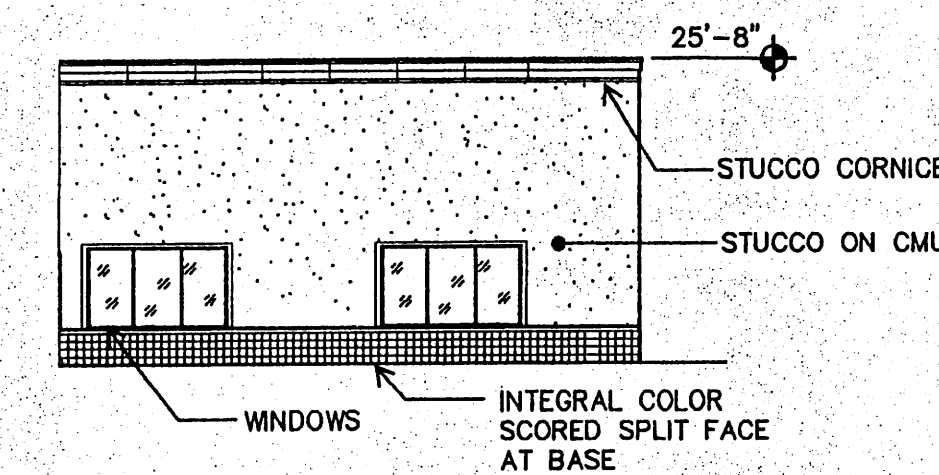
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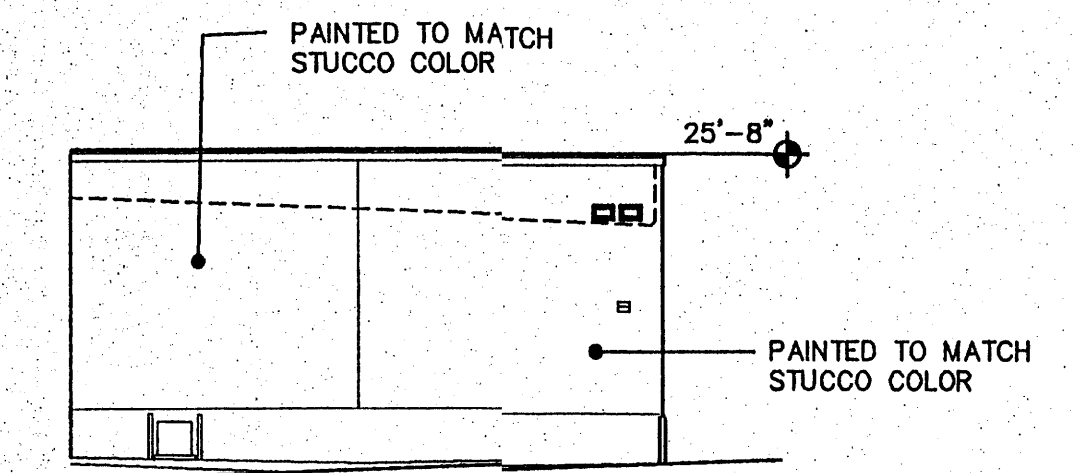
NORTH ELEVATION



WEST ELEVATION



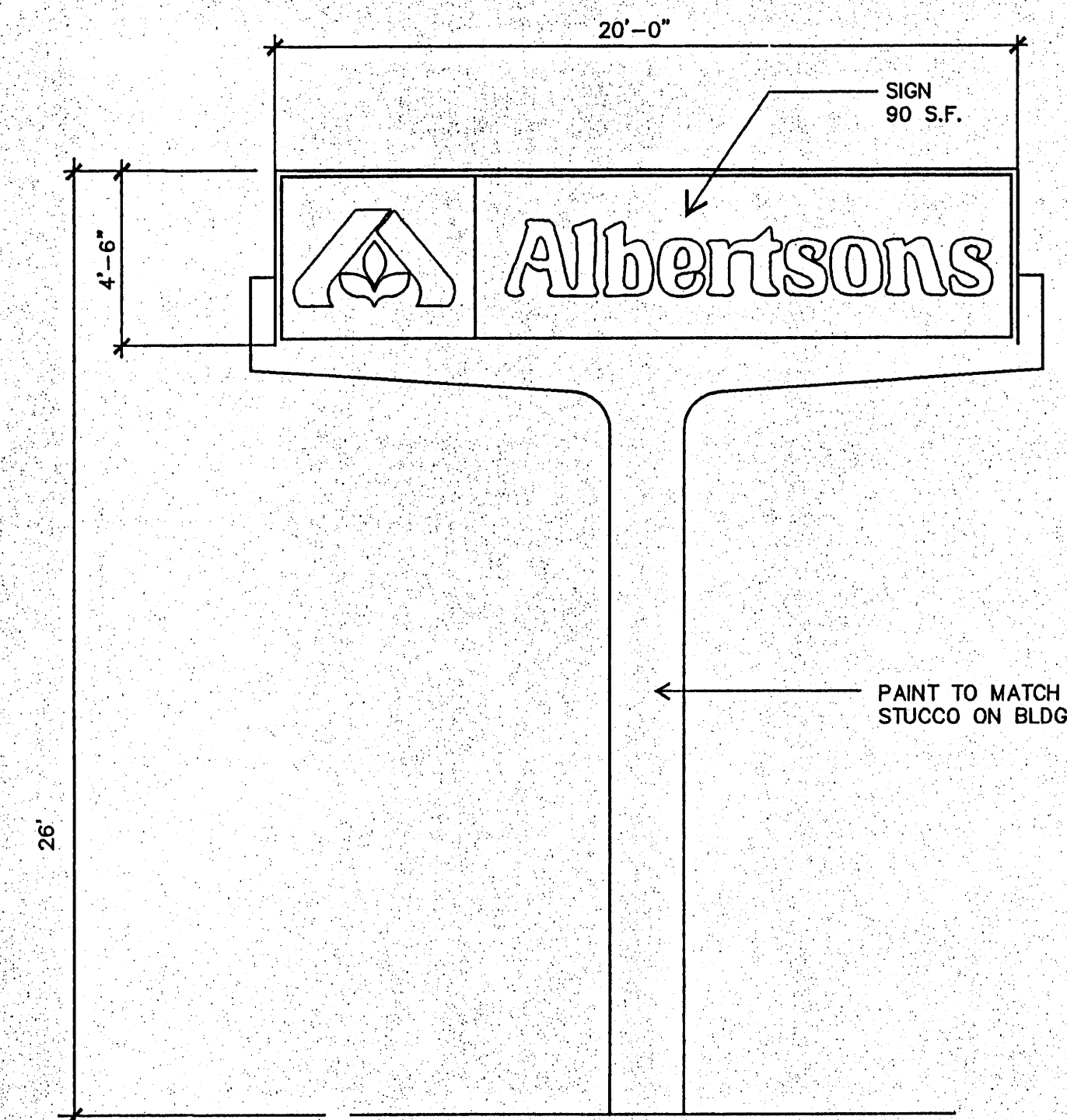
EAST ELEVATION



REAR ELEVATION

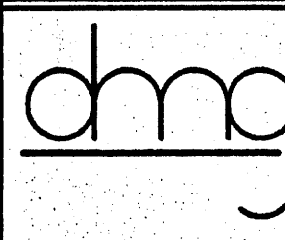
PAD "A" ELEVATIONS

SCALE: 1/16" = 1'-0"



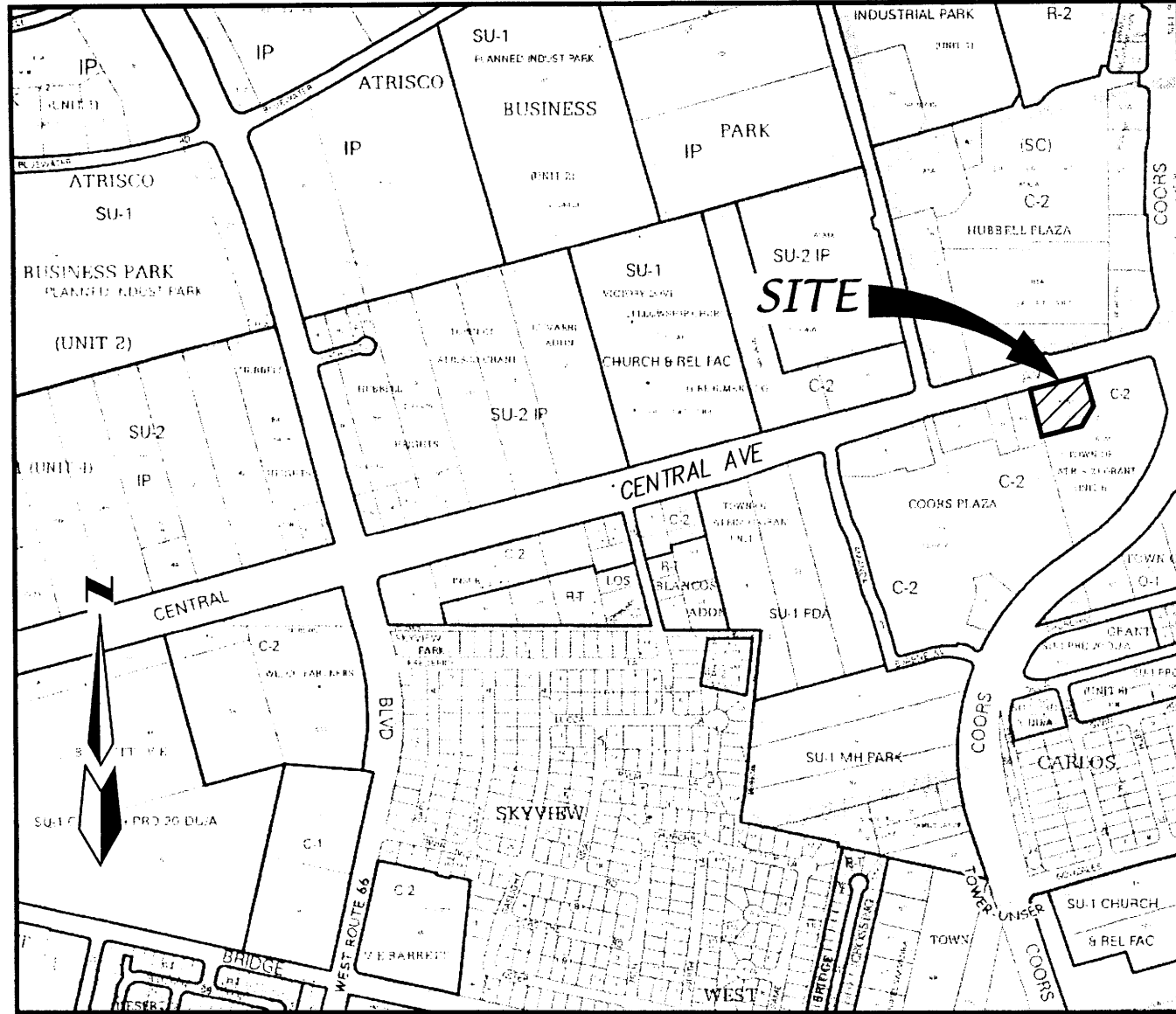
ALBERTSONS TYPICAL PYLON SIGN

SCALE: 1/4" = 1'-0"

ALBERTSON'S COORS-CENTRAL			
ELEVATION VIEWS			
 D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS & SURVEYORS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 345-2010			
Designed: JMM	Drawn: JMB	Checked: DMG	Sheet 2 of 4
Scale: AS SHOWN	Date: 01/95	Job: 94150	

ALBERT\EL40\3-7

EPC 2 of 5



VICINITY MAP 1"=750' ZONE ATLAS: K-10-Z

**SUBDIVISION DATA**

GROSS ACREAGE	1.1968 Acres
ZONE ATLAS NO.	K-10-Z
NO. OF EXISTING TRACTS	1
NO. OF LOTS/TRACTS/PARCELS CREATED	2 Tracts
NO. OF TRACTS ELIMINATED	1
MILES OF FULL WIDTH STREETS CREATED	0.00
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0000 Acres
DATE OF SURVEY	October, 2005
ZONING	C-2
UTILITY COUNCIL LOCATION SYSTEM LOG NO. : 2005430548	

**FREE CONSENT AND DEDICATION**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: Chesapeake Companies NLP Group, LLC  
 BY: Jon McClure  
 TITLE: CEO

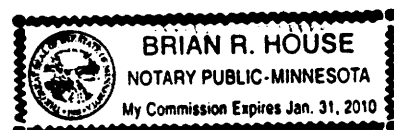
*[Signature]*  
 DATE: 10/13/05

**OWNER'S ACKNOWLEDGMENT**

STATE OF Minnesota  
 COUNTY OF Hennepin SS

This instrument was acknowledged before me on October 13, 2005  
 By, Jon McClure, CEO, Chesapeake Companies NLP Group, LLC on behalf of said corporation

*[Signature]*  
 NOTARY PUBLIC MY COMMISSION EXPIRES 1/31/10



**LEGAL DESCRIPTION**

A tract of land situate within the Town of Atrisco Grant, projected Section 22, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 61A2, TOWN OF ATRISCO GRANT, UNIT 6 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 10, 1998 in Book 98C, Page 236 and being more particularly described as follows:

BEGINNING at the northwest corner of the herein described tract, said point being common with the northeast corner of a portion of TRACT 60, TOWN OF ATRISCO GRANT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 5, 1944 in Volume D, Folio 118 and further being on the southerly right-of-way line of Central Avenue S.W. from whence the Albuquerque Control Survey Monument "5-K10" bears N 65°30'31" E, 685.13 feet;

THENCE along said southerly right-of-way line N 75°07'18" E, 251.23 feet to the northeast corner, said point being on the westerly line of LOT 61A1, TOWN OF ATRISCO GRANT, UNIT 6 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 10, 1998 in Book 98C, Page 236;

THENCE leaving said southerly right-of-way line S 15°13'13" E, 146.74 feet along a line common with the westerly line of said LOT 61A1 to a point;

THENCE continuing S 29°07'19" W, 96.73 feet to a point;

THENCE continuing S 75°07'12" W, 184.30 feet to the southwest corner, said point being on the easterly line of said portion of TRACT 60;

THENCE N 14°52'48" W, 216.32 feet along a line common with said easterly line of said portion of TRACT 60 to the point of beginning and containing 1.1968 acres more or less.

**PURPOSE OF PLAT**

1. SUBDIVIDE TRACT 61A2, TOWN OF ATRISCO GRANT UNIT 6, INTO TWO (2) SEPARATE TRACTS.

**NOTES:**

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS O SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719
2. BOUNDARY IS TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
3. BASIS OF BEARING IS NEW MEXICO STATE PLANE GRID BEARINGS.
4. ALL DISTANCES ARE GROUND DISTANCES.
5. BASIS OF BOUNDARY ARE THE FOLLOWING PLATS OF RECORD ENTITLED:  
 "TRACT 61A2, TOWN OF ATRISCO GRANT, UNIT 6", (08-10-98, 98C-236)  
 "TOWN OF ATRISCO GRANT, UNIT 6, TRACT 61A", (10-08-97, 97C-307)  
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
6. CITY OF ALBUQUERQUE ZONE: C-2
7. FLOOD ZONE DESIGNATION: ZONE X, PANEL 329 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 20, 1996. THIS PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD PLAIN.
8. RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT GRANTED; TO BOTH TRACTS BY THIS PLAT.

**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990

PLAT FOR  
**TRACT 61A2-A AND TRACT 61A2-B**  
**TOWN OF ATRISCO GRANT**  
**UNIT 6**  
 WITHIN THE  
**TOWN OF ATRISCO GRANT**  
**PROJECTED SECTION 22**  
**TOWNSHIP 10 NORTH, RANGE 2 EAST, NMMP**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
**OCTOBER, 2005**

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: \_\_\_\_\_

Application Number: \_\_\_\_\_

PLAT APPROVAL

Utility Approvals:

**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
 ON 10/26/05  
 Date

PNM Electric Services	_____	Date
PNM Gas Services	_____	Date
Qwest Telecommunications	_____	Date
Comcast	_____	Date
City Approvals:	<i>[Signature]</i>	10-18-05 Date
City Surveyor	_____	Date
Real Property Division	_____	Date
Traffic Engineering, Transportation Division	_____	Date
Water Utility Department	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

**SURVEYOR'S CERTIFICATION:**

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*[Signature]*  
 Timothy Aldrich P.S. No. 7719  
 10-17-05  
 Date

Dwg: A05063.FP1.dwg	Drawn: Stephen	Checked: ALS	Sheet 1 of 3
Scale: AS SHOWN	Date: 10/5/2005	Job: A05063	

PLAT FOR  
 TRACT 61A2-A AND TRACT 61A2-B  
 TOWN OF ATRISCO GRANT  
 UNIT 6  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 22  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2005

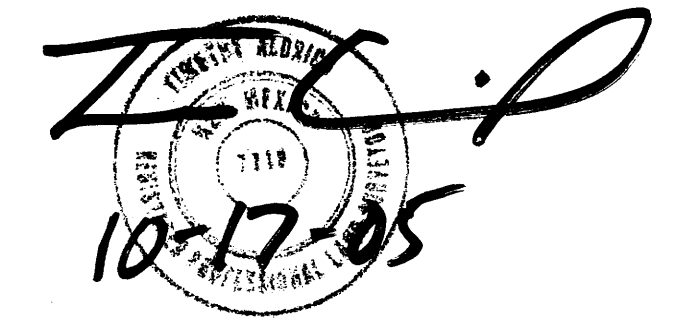
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 CENTRAL ZONE  
 (NAD 1927/SLD 1929)  
 ELEVATION=5093.733

CENTRAL AVENUE S.W. (R/W 124')

TOWN OF ATRISCO GRANT  
 UNIT 6  
 LOT 61A1  
 (08-10-98, 98C-236)

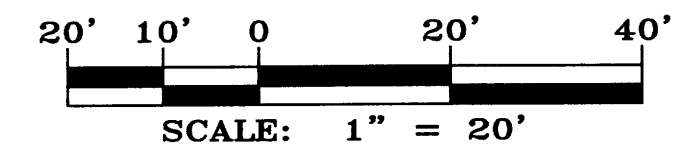
TOWN OF ATRISCO GRANT  
 UNIT 6  
 PORTION OF TRACT 60  
 (12-05-44, D-118)

TRACT 61A2  
 1.1968 ACRES



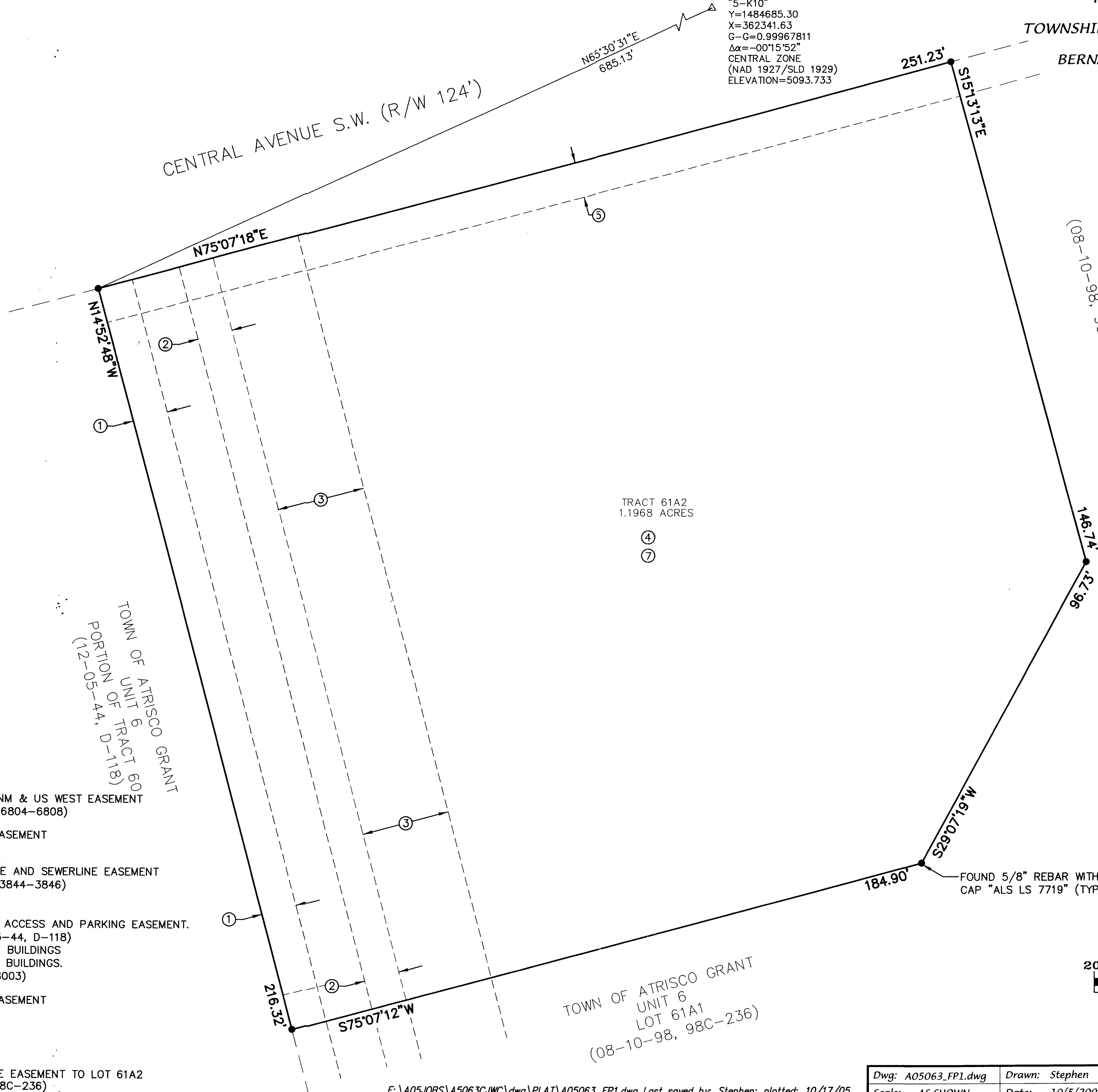
**ALDRICH LAND SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990



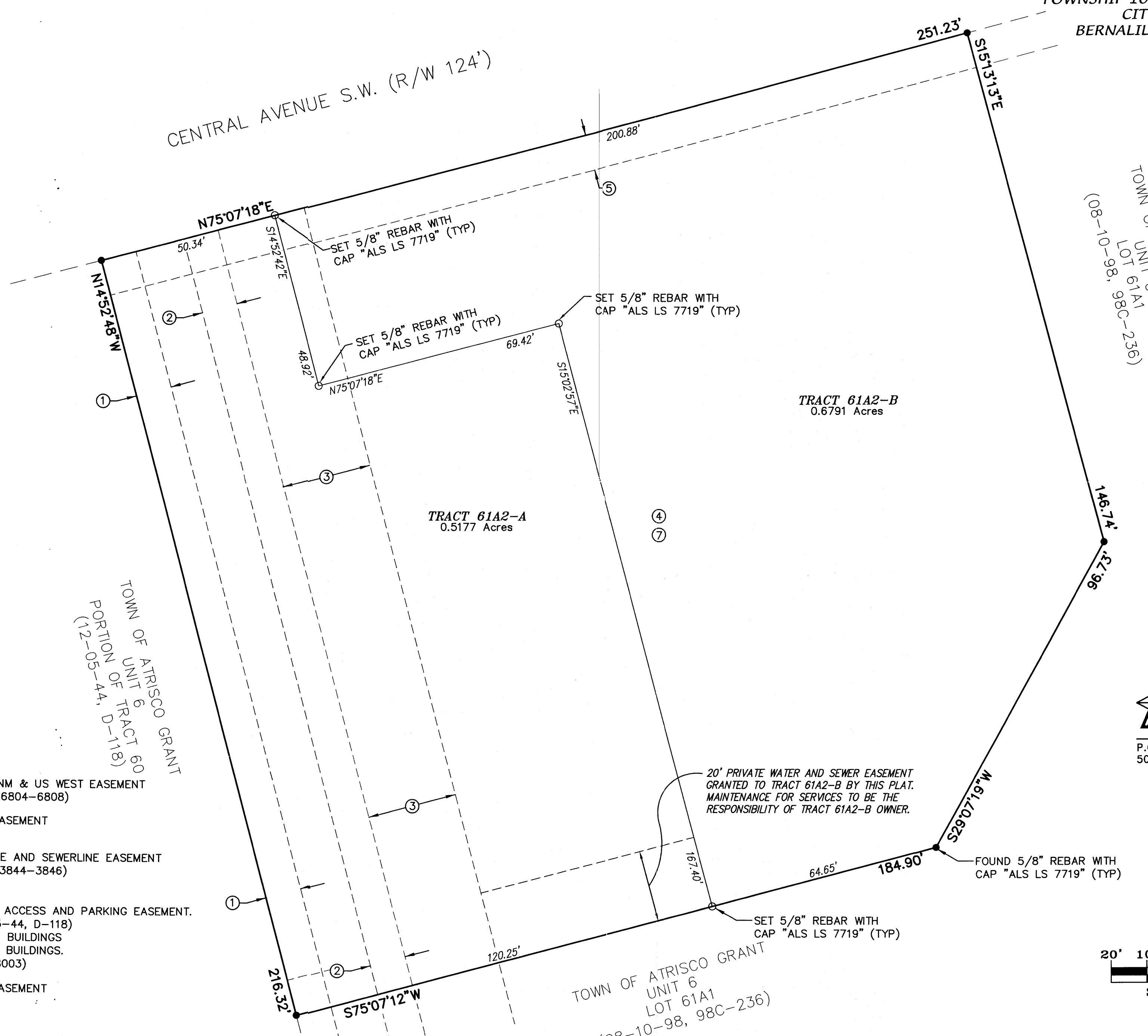
**EASEMENTS**

- ① EXISTING 10' UNDERGROUND PNM & US WEST EASEMENT (12-29-95, BK. 95-31, PGS. 6804-6808)
- ② EXISTING 10' PUBLIC UTILITY EASEMENT (10-08-97, 97C-307)
- ③ EXISTING 25' PUBLIC WATERLINE AND SEWERLINE EASEMENT (12-01-95, BK. 95-21, PGS. 3844-3846) (10-08-97, 97C-307)
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Dwg: A05063_FP1.dwg	Drawn: Stephen	Checked: ALS	Sheet 2 of 3
Scale: AS SHOWN	Date: 10/5/2005	Job: A05063	

PLAT FOR  
**TRACT 61A2-A AND TRACT 61A2-B**  
**TOWN OF ATRISCO GRANT**  
**UNIT 6**  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 22  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2005



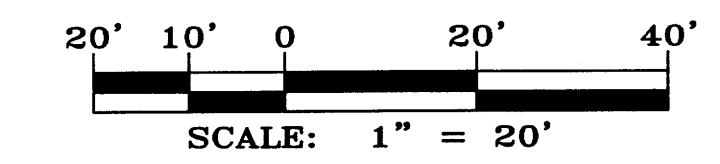
TOWN OF ATRISCO GRANT  
 UNIT 6  
 LOT 61A1  
 (08-10-98, 98C-236)

TOWN OF ATRISCO GRANT  
 UNIT 6  
 PORTION OF TRACT 60  
 (12-05-44, D-118)

TOWN OF ATRISCO GRANT  
 UNIT 6  
 LOT 61A1  
 (08-10-98, 98C-236)



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  - ⑦ EXISTING CROSS-LOT DRAINAGE EASEMENT TO LOT 61A2 FROM LOT 61A1 (08-10-98, 98C-236)

20' PRIVATE WATER AND SEWER EASEMENT GRANTED TO TRACT 61A2-B BY THIS PLAT. MAINTENANCE FOR SERVICES TO BE THE RESPONSIBILITY OF TRACT 61A2-B OWNER.

FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

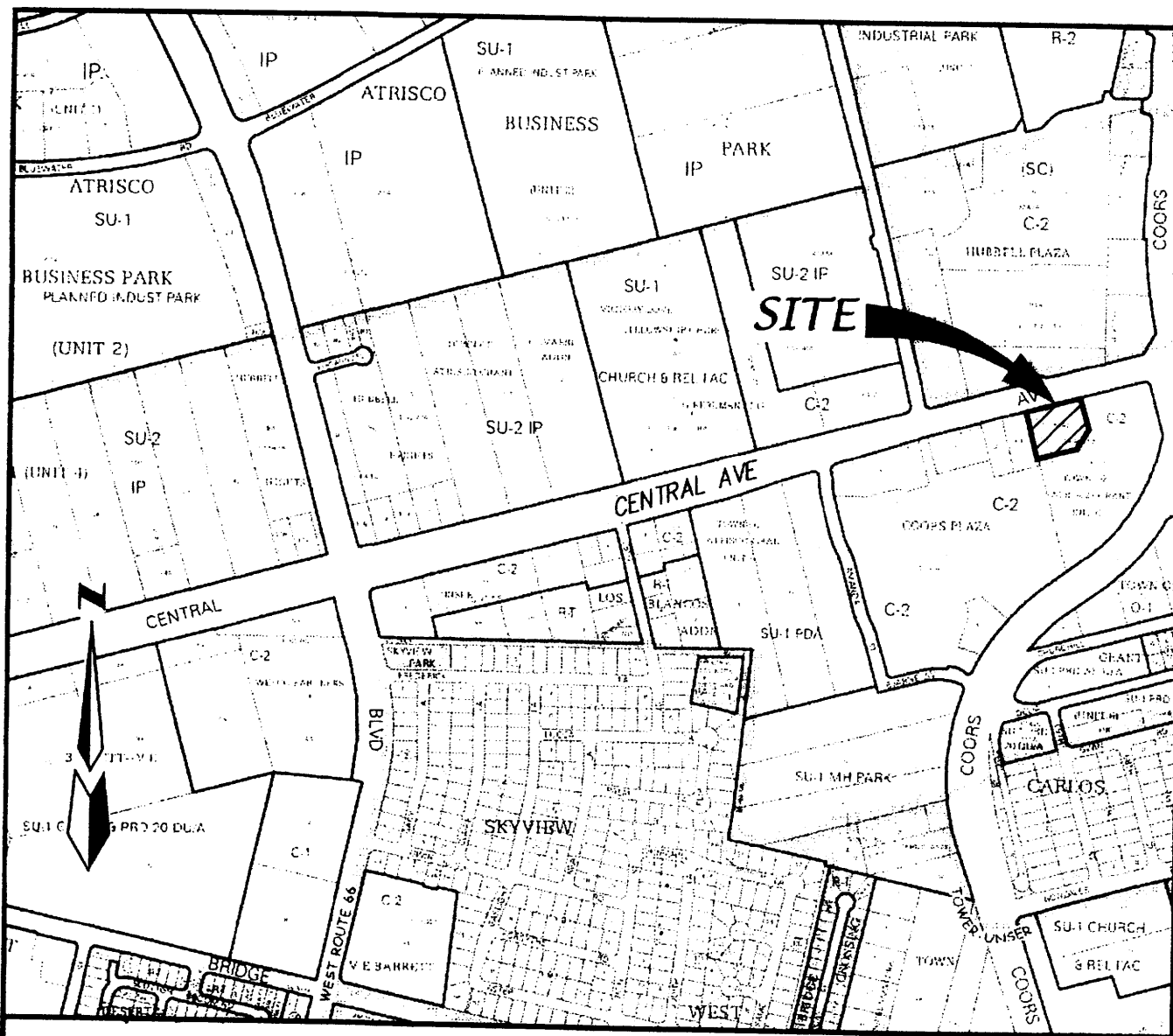
SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

TRACT 61A2-A  
 0.5177 Acres

TRACT 61A2-B  
 0.6791 Acres

CENTRAL AVENUE S.W. (R/W 124')

Dwg: A05063_FP1.dwg	Drawn: Stephen	Checked: ALS	Sheet 3 of 3
Scale: AS SHOWN	Date: 10/5/2005	Job: A05063	



VICINITY MAP 1"=750' ZONE ATLAS: K-10-Z

**SUBDIVISION DATA**

GROSS ACREAGE	1.1968 Acres
ZONE ATLAS NO.	K-10-Z
NO. OF EXISTING TRACTS	1
NO. OF LOTS/TRACTS/PARCELS CREATED	2 Tracts
NO. OF TRACTS ELIMINATED	1
MILES OF FULL WIDTH STREETS CREATED	0.00
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0000 Acres
DATE OF SURVEY	October, 2005
ZONING	C-2
UTILITY COUNCIL LOCATION SYSTEM LOG NO. 2005430548	

**FREE CONSENT AND DEDICATION**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: Chesapeake Companies NLP Group, LLC  
 BY: Jon McClure  
 TITLE: CEO

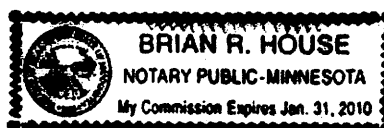
*[Signature]* 10/13/05  
 DATE

**OWNER'S ACKNOWLEDGMENT**

STATE OF Minnesota SS  
 COUNTY OF Henneph

This instrument was acknowledged before me on October 13, 2005  
 By, Jon McClure, CEO, Chesapeake Companies NLP Group, LLC on behalf of said corporation

*[Signature]* 1/3/10  
 NOTARY PUBLIC MY COMMISSION EXPIRES



**LEGAL DESCRIPTION**

A tract of land situate within the Town of Atrisco Grant, projected Section 22, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 61A2, TOWN OF ATRISCO GRANT, UNIT 6 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 10, 1998 in Book 98C, Page 236 and being more particularly described as follows:

BEGINNING at the northwest corner of the herein described tract, said point being common with the northeast corner of a portion of TRACT 60, TOWN OF ATRISCO GRANT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 5, 1944 in Volume D, Folio 118 and further being on the southerly right-of-way line of Central Avenue S.W. from whence the Albuquerque Control Survey Monument "5-K10" bears N 65°30'31" E, 685.13 feet;

THENCE along said southerly right-of-way line N 75°07'18" E, 251.23 feet to the northeast corner, said point being on the westerly line of LOT 61A1, TOWN OF ATRISCO GRANT, UNIT 6 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 10, 1998 in Book 98C, Page 236;

THENCE leaving said southerly right-of-way line S 15°13'13" E, 146.74 feet along a line common with the westerly line of said LOT 61A1 to a point;

THENCE continuing S 29°07'19" W, 96.73 feet to a point;

THENCE continuing S 75°07'12" W, 184.90 feet to the southwest corner, said point being on the easterly line of said portion of TRACT 60;

THENCE N 14°52'48" W, 216.32 feet along a line common with said easterly line of said portion of TRACT 60 to the point of beginning and containing 1.1968 acres more or less.

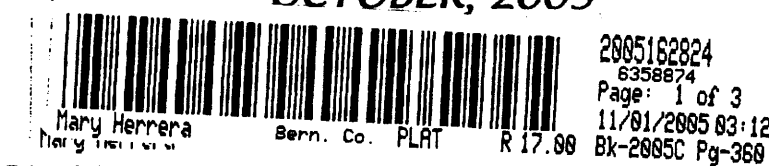
**PURPOSE OF PLAT**

1. SUBDIVIDE TRACT 61A2, TOWN OF ATRISCO GRANT UNIT 6, INTO TWO (2) SEPARATE TRACTS.

**NOTES:**

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS O SHALL BE MARKED BY A #5 REBAR W/ CAP STAMPED PS#7719
2. BOUNDARY IS TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
3. BASIS OF BEARING IS NEW MEXICO STATE PLANE GRID BEARINGS.
4. ALL DISTANCES ARE GROUND DISTANCES.
5. BASIS OF BOUNDARY ARE THE FOLLOWING PLATS OF RECORD ENTITLED:  
 "TRACT 61A2, TOWN OF ATRISCO GRANT, UNIT 6", (08-10-98, 98C-236)  
 "TOWN OF ATRISCO GRANT, UNIT 6, TRACT 61A", (10-08-97, 97C-307)  
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
6. CITY OF ALBUQUERQUE ZONE: C-2
7. FLOOD ZONE DESIGNATION: ZONE X, PANEL 329 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 20, 1996. THIS PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD PLAIN.
8. RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT GRANTED TO BOTH TRACTS BY THIS PLAT.

PLAT FOR  
 TRACT 61A2-A AND TRACT 61A2-B  
 TOWN OF ATRISCO GRANT  
 UNIT 6  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTION 22  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER, 2005



**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1004481

Application Number: 05 DRB-01624

**PLAT APPROVAL**

**Utility Approval:**

<i>[Signature]</i> PNM Electric Services	10-27-05 Date
<i>[Signature]</i> PNM Gas Services	10-27-05 Date
<i>[Signature]</i> Comcast Telecommunications	10/31/05 Date
<i>[Signature]</i> Comcast	10-27-05 Date

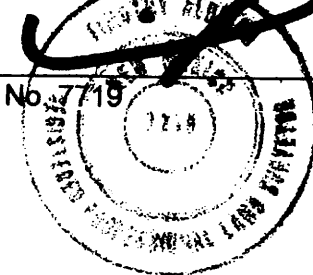
**City Approvals:**

<i>[Signature]</i> City Surveyor	10-18-05 Date
NA Real Property Division	 Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	10-26-05 Date
<i>[Signature]</i> Water Utility Department	10-26-05 Date
<i>[Signature]</i> Parks and Recreation Department	10/26/05 Date
<i>[Signature]</i> AMA/CA	10/26/05 Date
<i>[Signature]</i> City Engineer	10/26/05 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10/26/05 Date

**SURVEYOR'S CERTIFICATION:**

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*[Signature]* 10-17-05  
 Timothy Aldrich P.S. No. 7719 Date



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 101005744821140708 PROPERTY OWNER OF RECORD:

Chesapeake Companies NLP Group LLC  
 BERNALILLO COUNTY TREASURER'S OFFICE  
*[Signature]* 10/31/05

**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990

OFFICE COPY

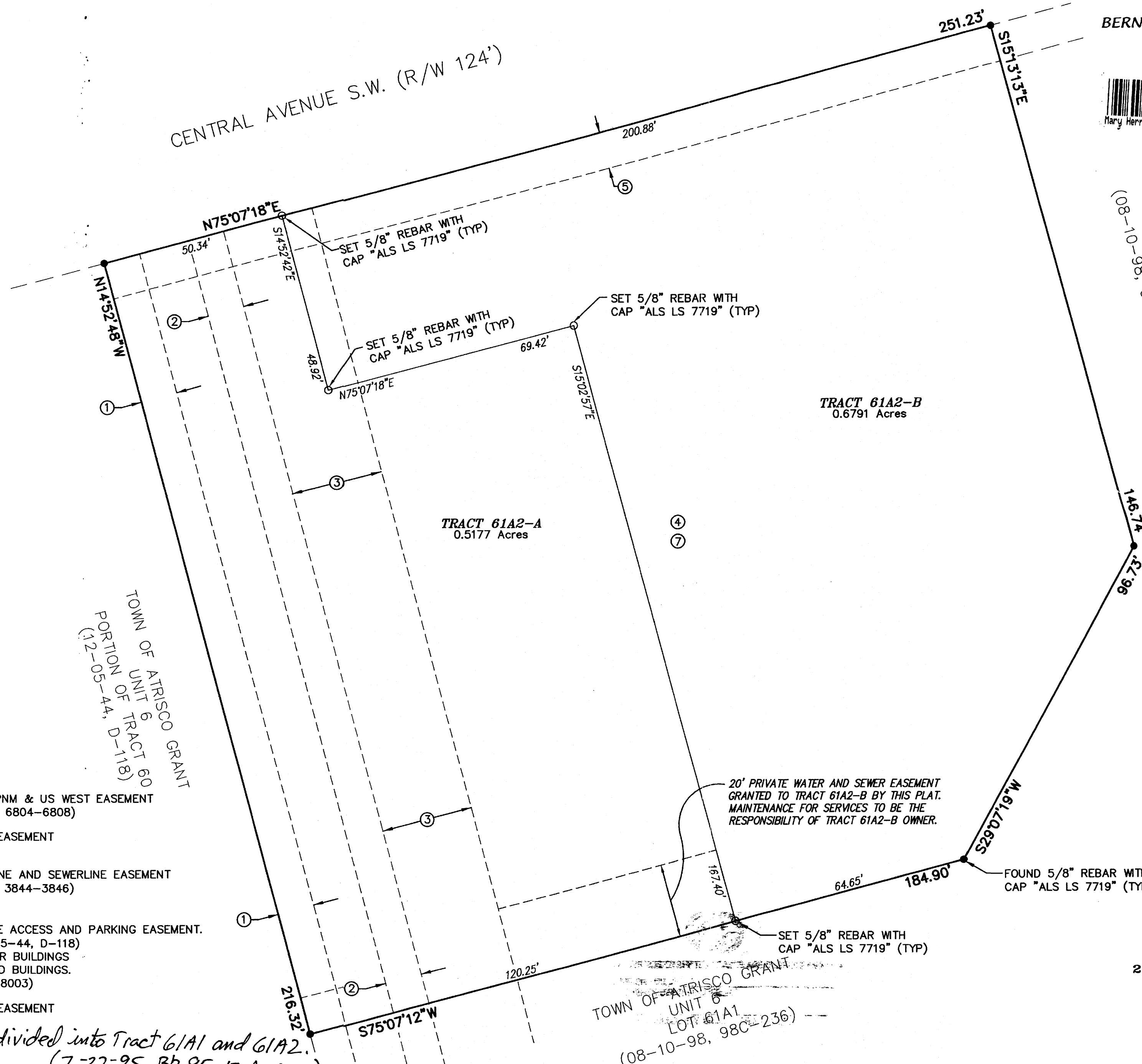


PLAT FOR  
TRACT 61A2-A AND TRACT 61A2-B  
TOWN OF ATRISCO GRANT  
UNIT 6

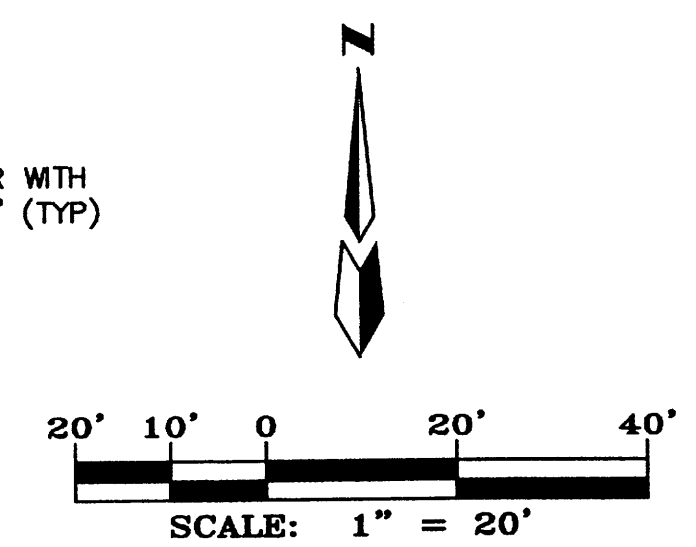
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TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
OCTOBER, 2005



TOWN OF ATRISCO GRANT  
UNIT 6  
LOT 61A1  
(08-10-98, 98C-236)



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P.O. BOX 30701, ALBU., N.M. 87190  
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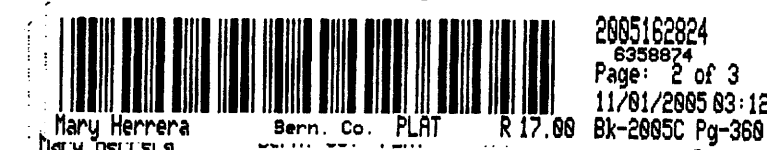


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TOWN OF ATRISCO GRANT  
UNIT 6  
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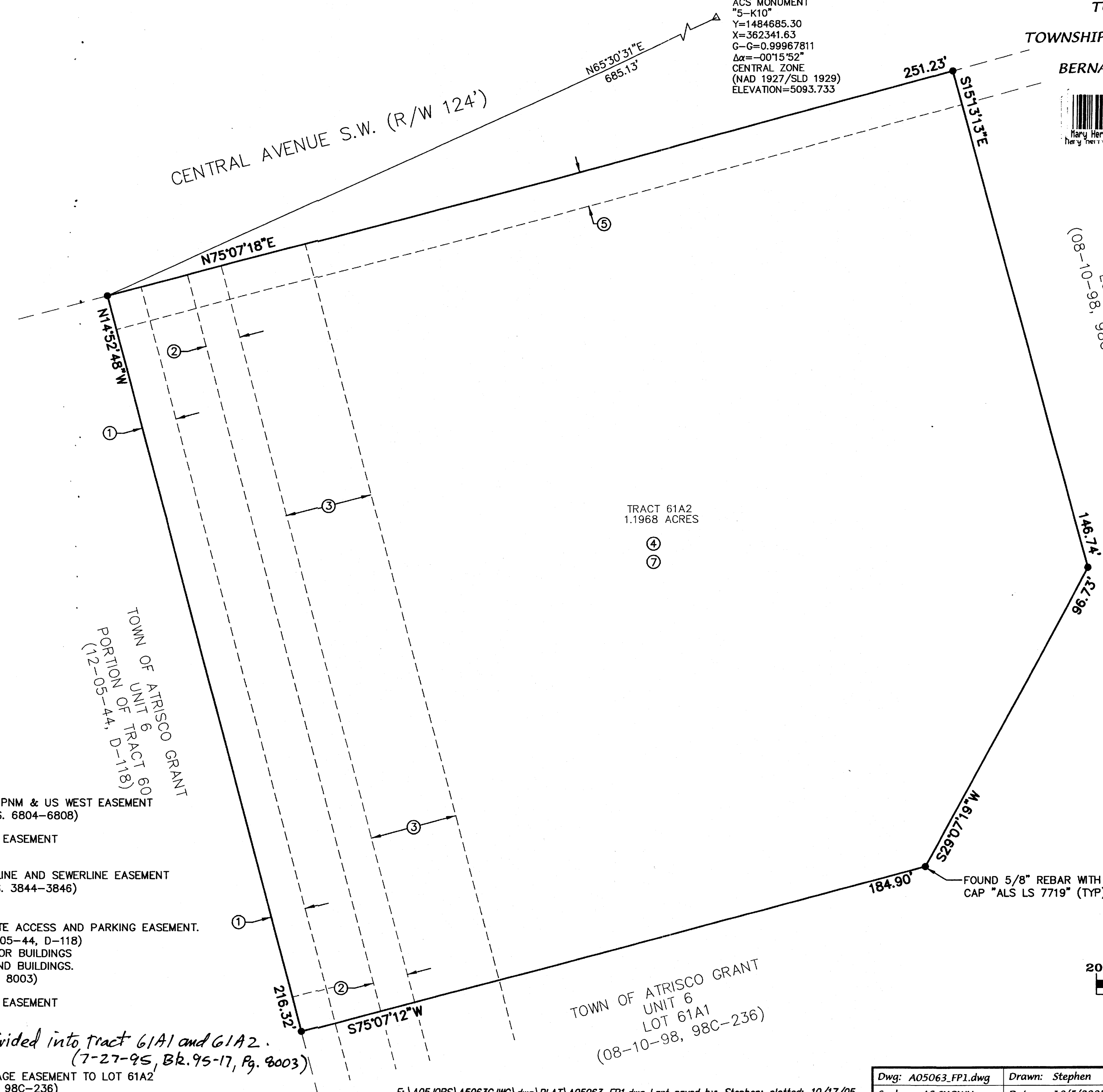
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Scale: AS SHOWN	Date: 10/5/2005	Job: A05063	3 3

PLAT FOR  
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**TOWN OF ATRISCO GRANT**  
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 WITHIN THE  
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**TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM**  
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**OCTOBER, 2005**

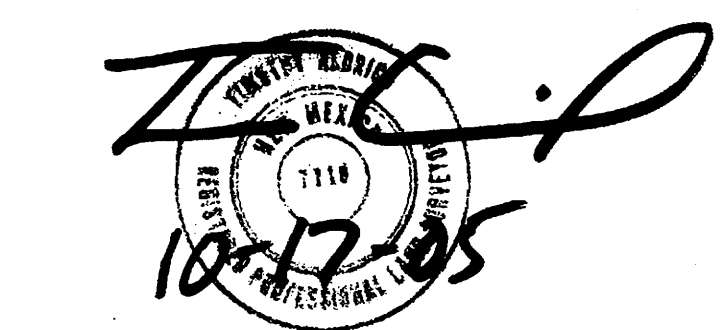


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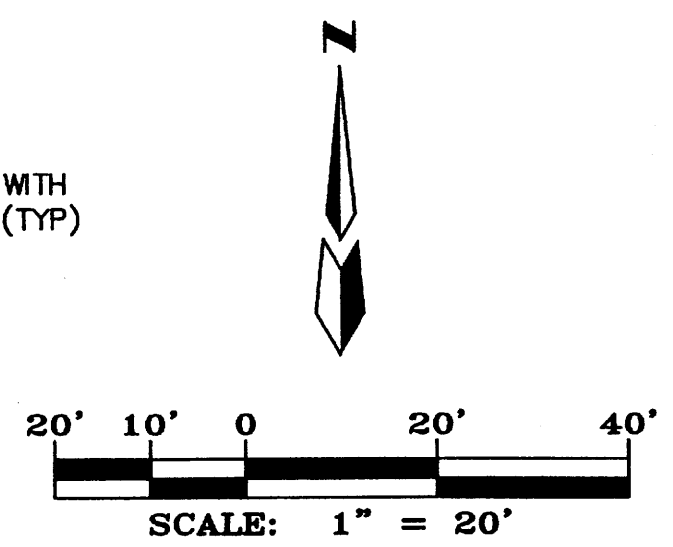
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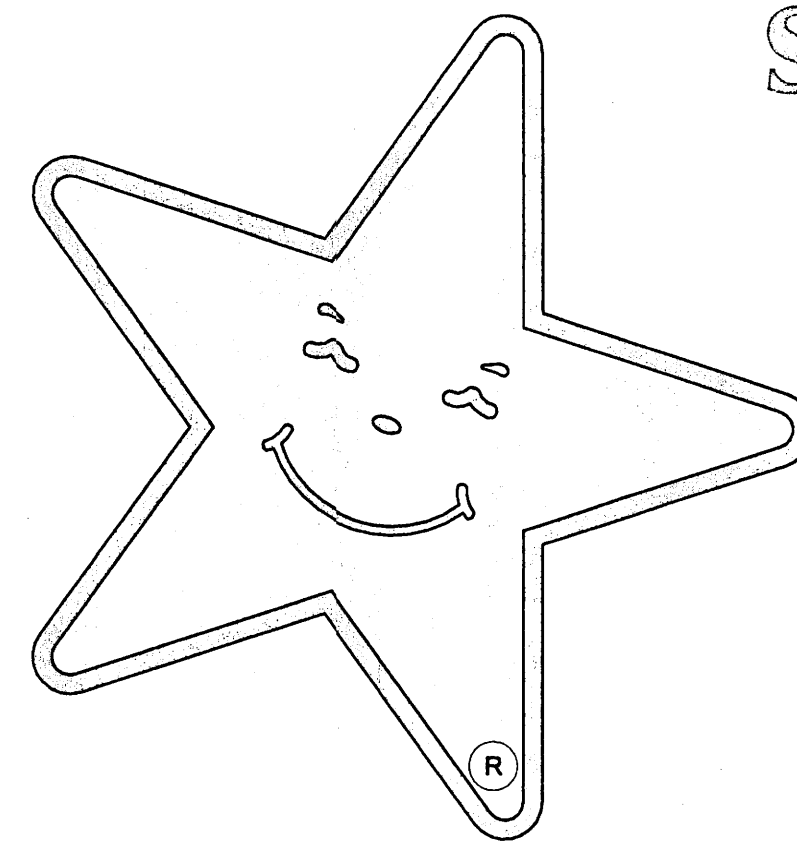


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Scale: AS SHOWN	Date: 10/5/2005	Job: A05063	

**OWNER**  
 Estrella del Rio Grande, Inc.  
 119 MacIver, Suite A  
 Bishop CA 93514  
 (760) 873-7234  
 Fax (760) 873-6664  
 E-mail: bandtwiles@aol.com  
 Contact: Mr. Brett Wiles

**ARCHITECT**  
 Schlegel Lewis Architects  
 1620 Central Ave. SE  
 Albuquerque, NM 87106  
 (505) 247-1529  
 Fax: (505) 243-6701  
 E-mail: gdi@mac.com  
 Contact: James Lewis

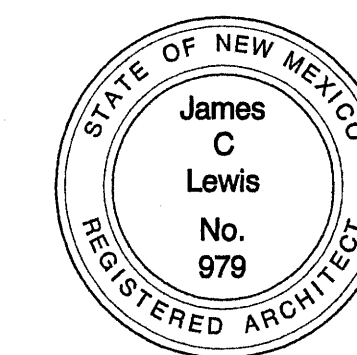
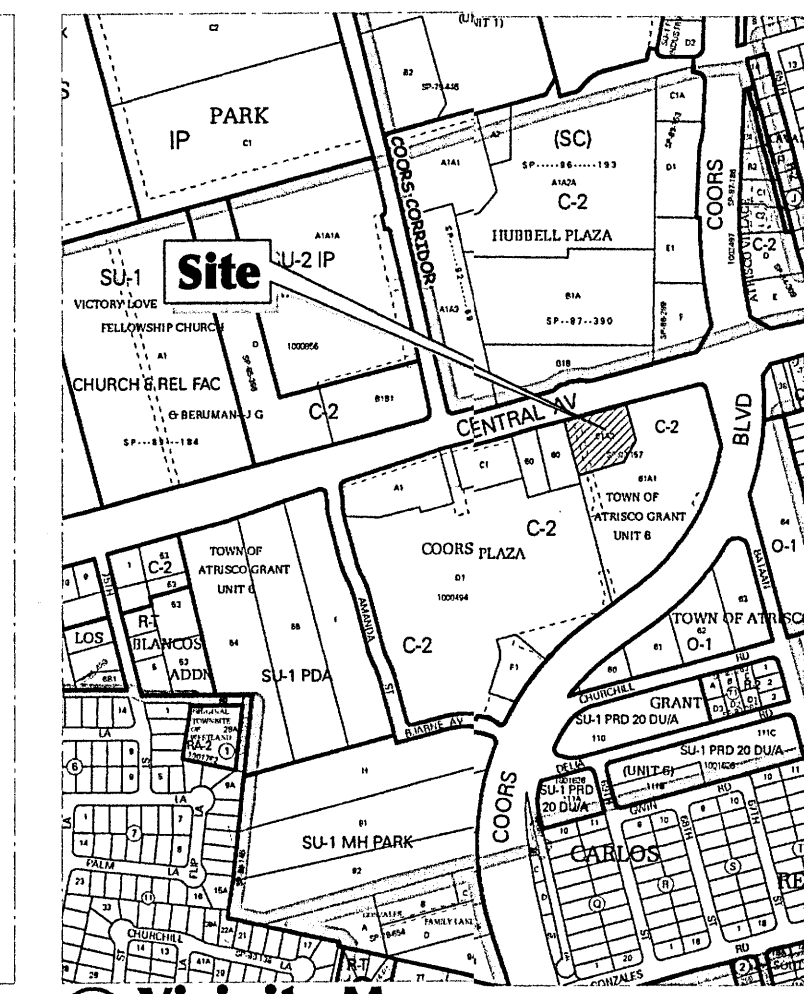
**CIVIL ENGINEER**  
 D. Mark Goodwin and Associates, P.A.  
 P.O. Box 90606  
 Albuquerque, NM 87199  
 (505) 828-2200, Fax: (505) 797-9539  
 E-mail: mark@goodwinengineers.com  
 Contact: Mark Goodwin



# Site Development Plan for Building Permit and Subdivision

# Carl's Jr.

Central Ave and Coors Rd



CONSULTANT

**Project Team**

**Project Title**

**Vicinity Map**

ADDRESS: 6700 Central Ave SW  
 Albuquerque, New Mexico

LEGAL DESCRIPTION  
 PARCELS: Lot 61A2-A, 61A2-B  
 SUBDIVISION: Town of Atrisco Grant, Unit 6  
 UPC#: 101005744821140708

ZONE ATLAS PAGE: K-10

LAND USE ZONING: C-2 SC

PARKING (Restaurant: 1 space per 4 seats)

	Parcel 61A2-B	61A2-A
Required:	92/4=23	88/4=22
10% bus discount = 3.0 Spaces	-2.3	-2.2
<b>Total =</b>	<b>20.7</b>	<b>19.8</b>
Provided:		
Standard Spaces	21	21
Small Car Spaces	2	0
HC Space	1	1
<b>Total</b>	<b>24</b>	<b>22</b>

BICYCLE PARKING (1 space/20 Parking spaces)

Required:	1.2	1.1
Provided:	2	2

**Notes**

**PROJECT SUMMARY**

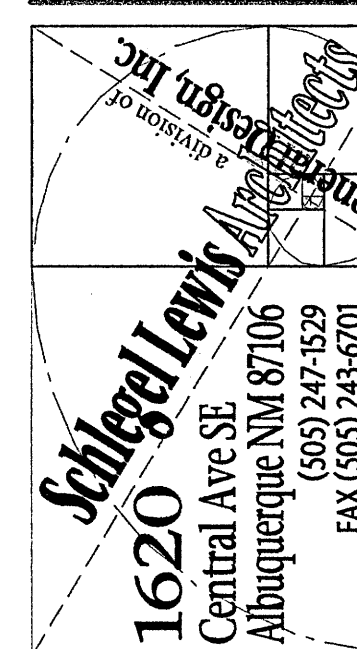
This project incorporates approximately 5,400 square feet of quick serve type restaurant buildings including drive through windows, and will be built in two phases. The first phase is for a Carl's Jr. restaurant of approximately 2,700 square feet. The second phase is for an unknown restaurant of approximately 2,700 square feet.

The project includes towers, tile accents and tile roofs. The site features a large landscape buffer and outdoor patios.

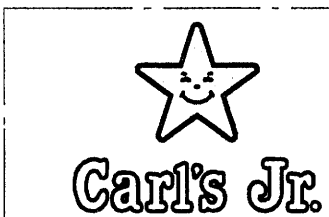
The building style (single story retail) is comparable to the surrounding development. The color scheme, building materials and landscaping is similar to the surrounding development and conforms to the approved site development plan.

**Project Summary**

- SDP-1 COVER SHEET
- SDP-2 SITE PLAN
- SDP-3 LANDSCAPE PLAN
- SDP-4 BUILDING ELEVATIONS
- SDP-5 CONCEPTUAL UTILITY PLAN



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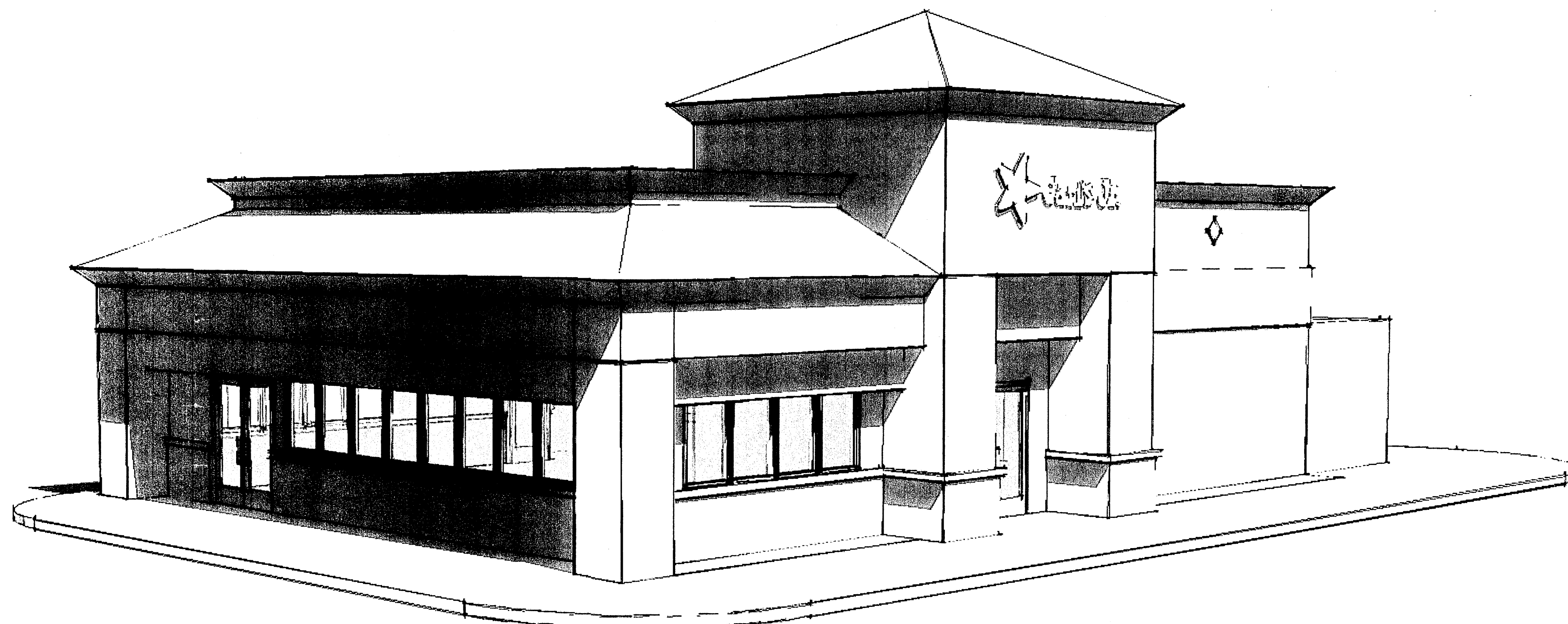


Site Development Plan for Building Permit  
 and Site Development Plan for Subdivision  
**Carl's Jr. Restaurant**  
 Central and Coors  
 Albuquerque, NM 87121

ISSUE DATE:  
 11 October, 2005  
 REVISIONS:  
 18 October, 2005

**Cover Sheet  
 and Notes**

PROJECT 0519 SHEET **SDP-1**  
 OF 5

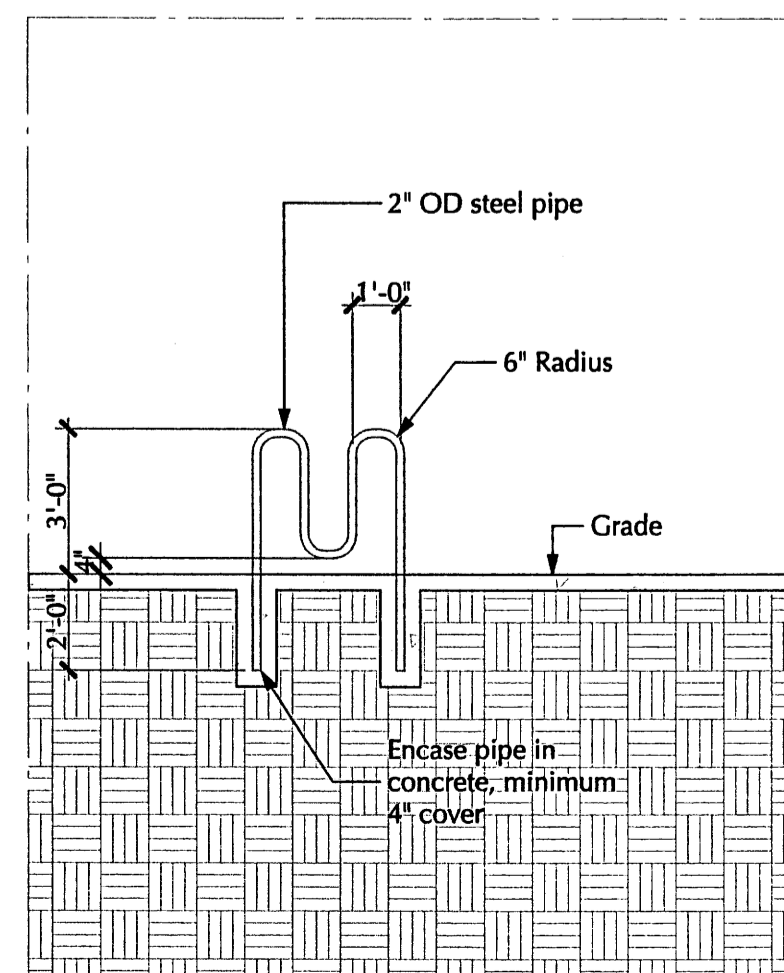


**Perspective**

**Index**

- KEYED NOTES**
- Existing property line (typical).
  - Proposed property line (with this plat)
  - There is a proposed blanket cross access easement for the benefit of these two sites
  - Existing 10' PNM & Qwest easement.
  - Existing 25' public waterline and sewerline easement.
  - Existing 10' public utility easement.
  - Areas enclosed by the heavy dashed line are part of phase II
  - Proposed monument sign (Carl's Jr.) See detail 'T' on sheet SDP-4
  - Proposed monument sign (Phase II restaurant) See detail 'S' on sheet SDP-4
  - Drive through menu sign and order station, -See detail 'Q' on sheet SDP-4
  - Drive through preview menu sign, -See detail 'D' on sheet SDP-4
  - Drive through clearance sign
  - Directional sign, -See detail 'R' on sheet SDP-4
  - 42" high wrought iron fence at drive through side of patio.
  - Proposed screened staging area for trash and deliveries
  - Dumpster enclosure, see elevation detail 'C' on sheet SDP-4
  - Typical parking space 9'-0" wide (8'-6" minimum) x 20' with concrete wheel stop (or 18' + 2' overhang with 8' wide walk)
  - Typical HC parking space 8'-6" x 20' with concrete wheel stop
  - Typical small car parking space 8'-0" x 15'-0". Provide "SMALL CAR" marking on pavement at the front of the space
  - 8' wide handicap aisle for van space
  - Existing common drive pad
  - 36" high x 86' long wall separating the drive through lanes. (Split face block to match building). Part of Phase II.
  - Proposed curb ramp.
  - Existing curb ramp
  - Temporary 6" high asphalt curb at phase II line
  - Existing asphalt paving
  - Proposed asphalt or black concrete paving
  - Bicycle rack (2 spaces minimum). See detail 'Y' sheet SDP-2.
  - Existing 6' wide concrete sidewalk
  - Proposed concrete sidewalk.
  - Proposed colored and textured concrete crosswalk (match existing).
  - Existing colored and textured concrete crosswalk
  - Colored and scored concrete patio
  - Existing deceleration taper.
  - Existing turn lane
  - Existing fire hydrant location
  - Existing manhole
  - Proposed water meters.
  - Proposed lighted flag pole.
  - Concrete curb
  - Existing street median
  - Site light fixture, -See detail 'E' on sheet SDP-2
  - Existing site lighting fixture.
  - Existing grocery store sign.
  - Proposed 20' private water and sewer easement.
  - Existing Curb
  - Existing curb to be removed
  - 4" wide solid white stripe
  - 12" wide solid white stripe
  - Delivery vehicles shall stop and unload in this location

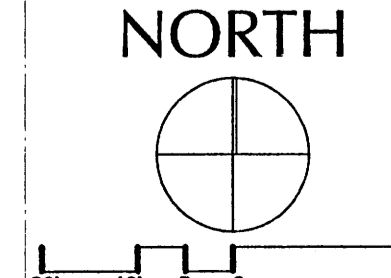
**Z Keyed Notes**



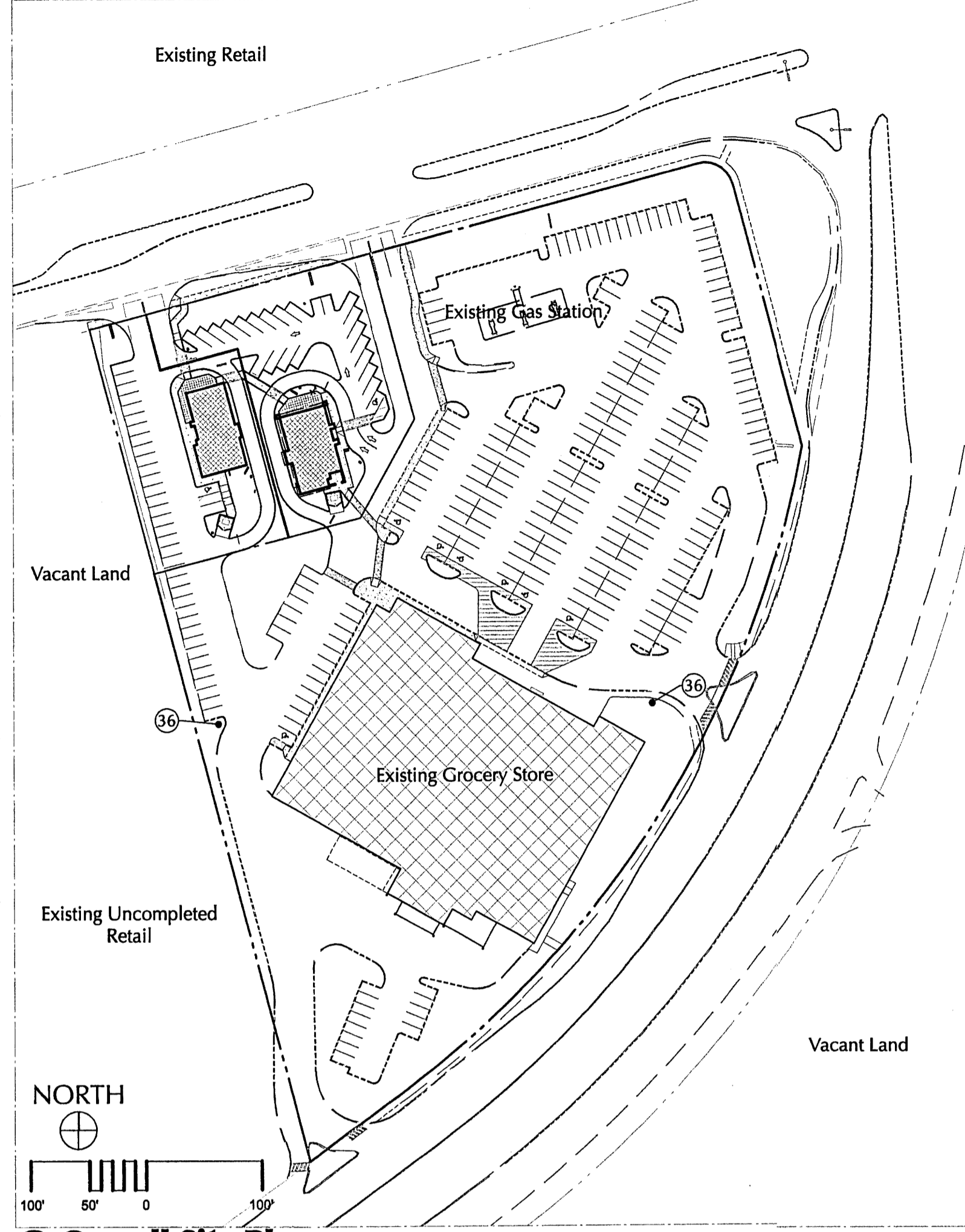
**Y Bike Rack**



APPROVED PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
10.25.05  
SIGNATURE & DATE



**U Site Development Plan**



**G Overall Site Plan**

ADDRESS: 6700 Central Ave SW  
Albuquerque, New Mexico

LEGAL DESCRIPTION  
PARCELS: Lot 61A2-A, 61A2-B  
SUBDIVISION: Town of Atresco Grant, Unit 6  
UPC#: 101005744821140708

ZONE ATLAS PAGE: K-10

LAND USE ZONING: C-2 SC

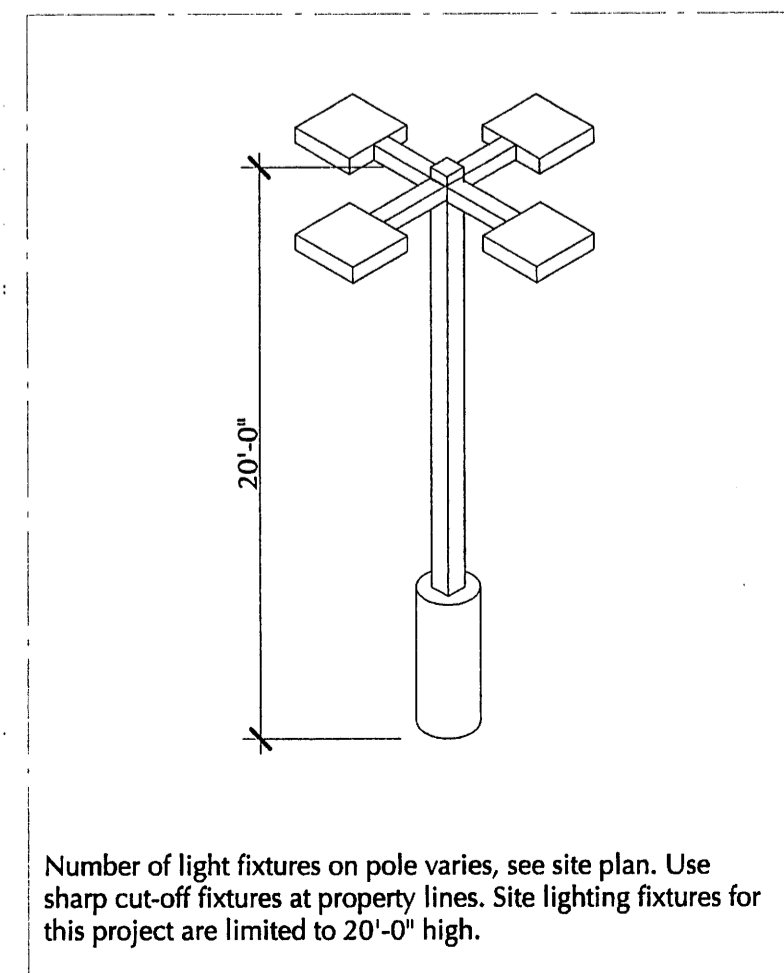
PARKING (Restaurant: 1 space per 4 seats)

Required:	Parcel 61A2-B	61A2-A
10% bus discount = 3.0 Spaces	92/4=23	88/4=22
Total =	-2.3	-2.2
Provided:	20.7	19.8
Standard Spaces	21	21
Small Car Spaces	2	0
HC Space	1	1
Total	24	22

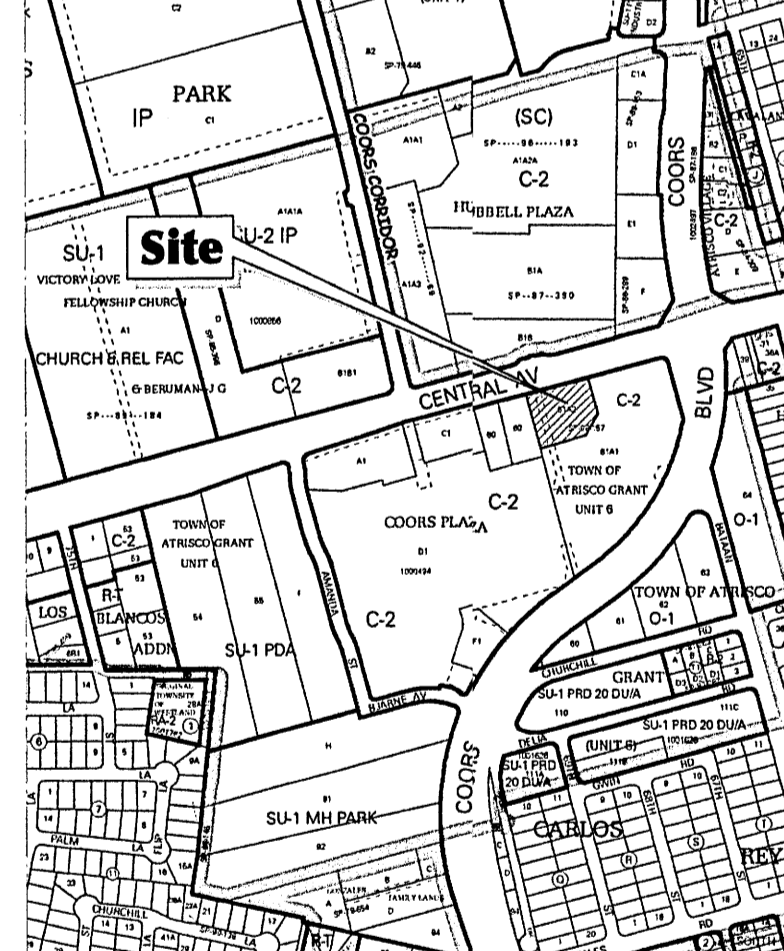
BICYCLE PARKING (1 space/20 parking spaces)

Required:	1.2	1.1
Provided:	2	2

**F Notes**



**E Site Light Detail**



**B Vicinity Map**

PROJECT NUMBER: 1004481  
APPLICATION NUMBERS:

Is an Infrastructure List Required? ( ) Yes (X) No. If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

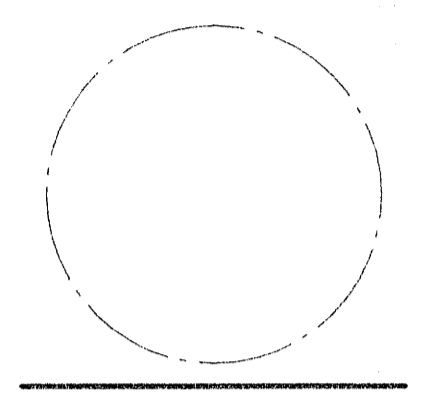
DRB Development Plan Approval

Traffic Engineer, Transportation Department	Date
Water Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	Date

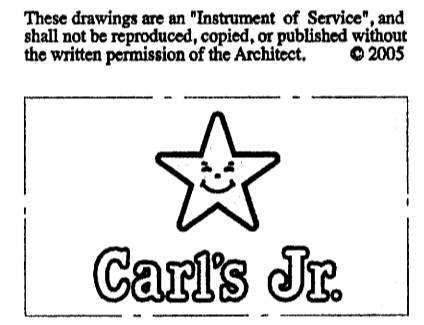
**Signature Block**



CONSULTANT



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gsl@slaw.com



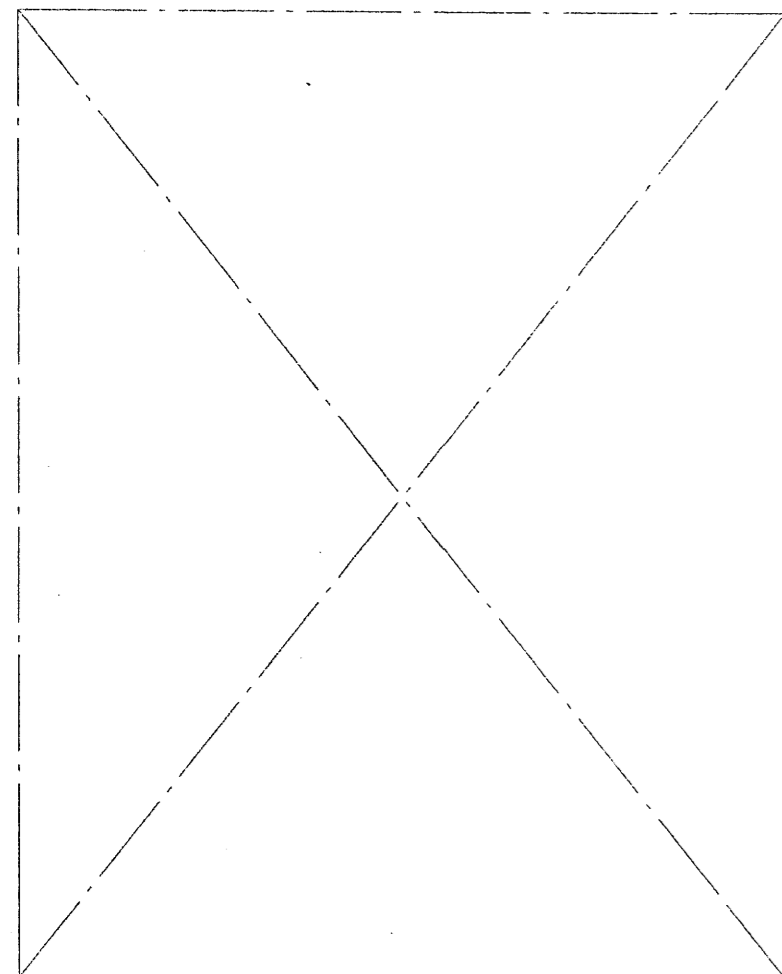
Site Development Plan for Building Permit  
and Site Development Plan for Subdivision

**Carl's Jr. Restaurant**  
Central and Coors  
Albuquerque, NM 87121

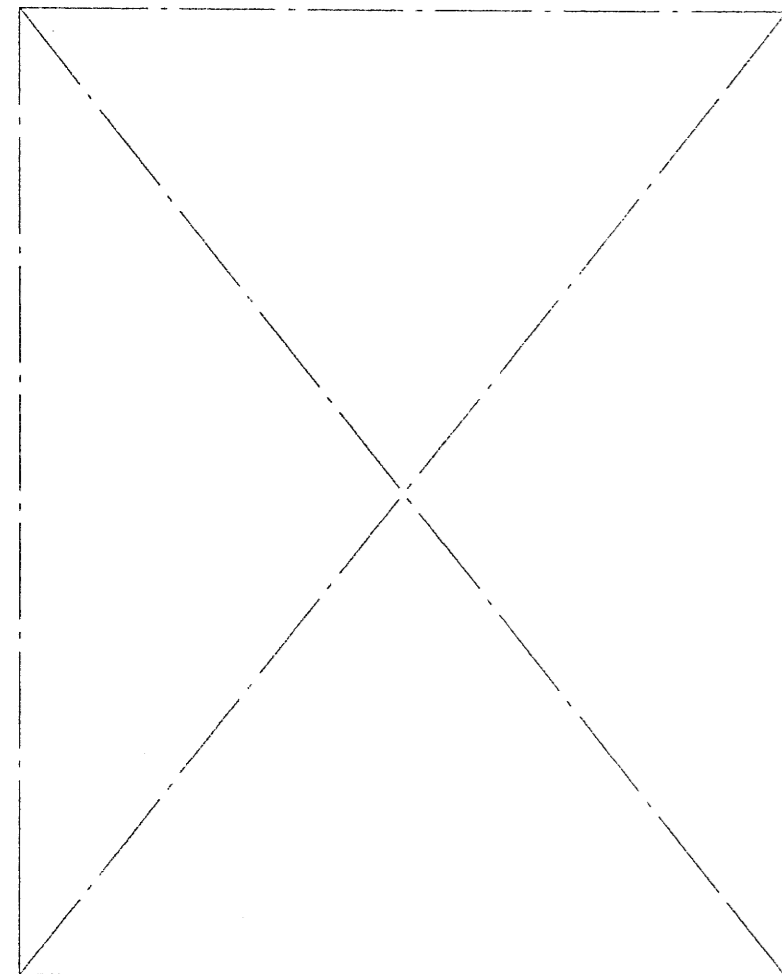
ISSUE DATE:  
11 October, 2005

REVISIONS:  
18 October, 2005

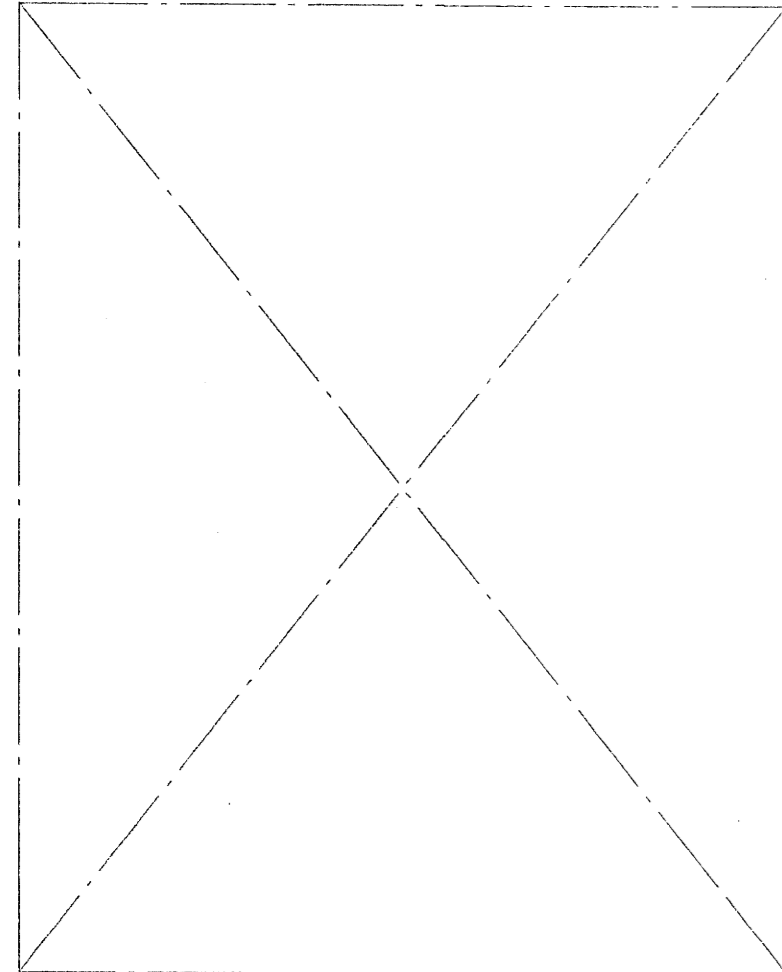
**Site Plan**



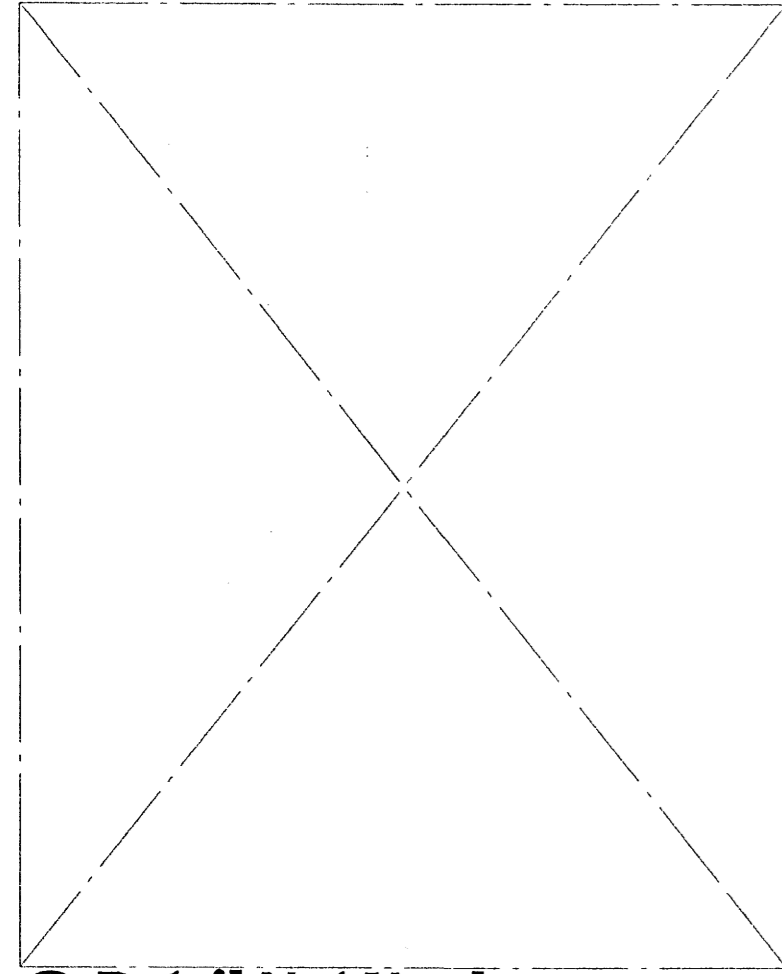
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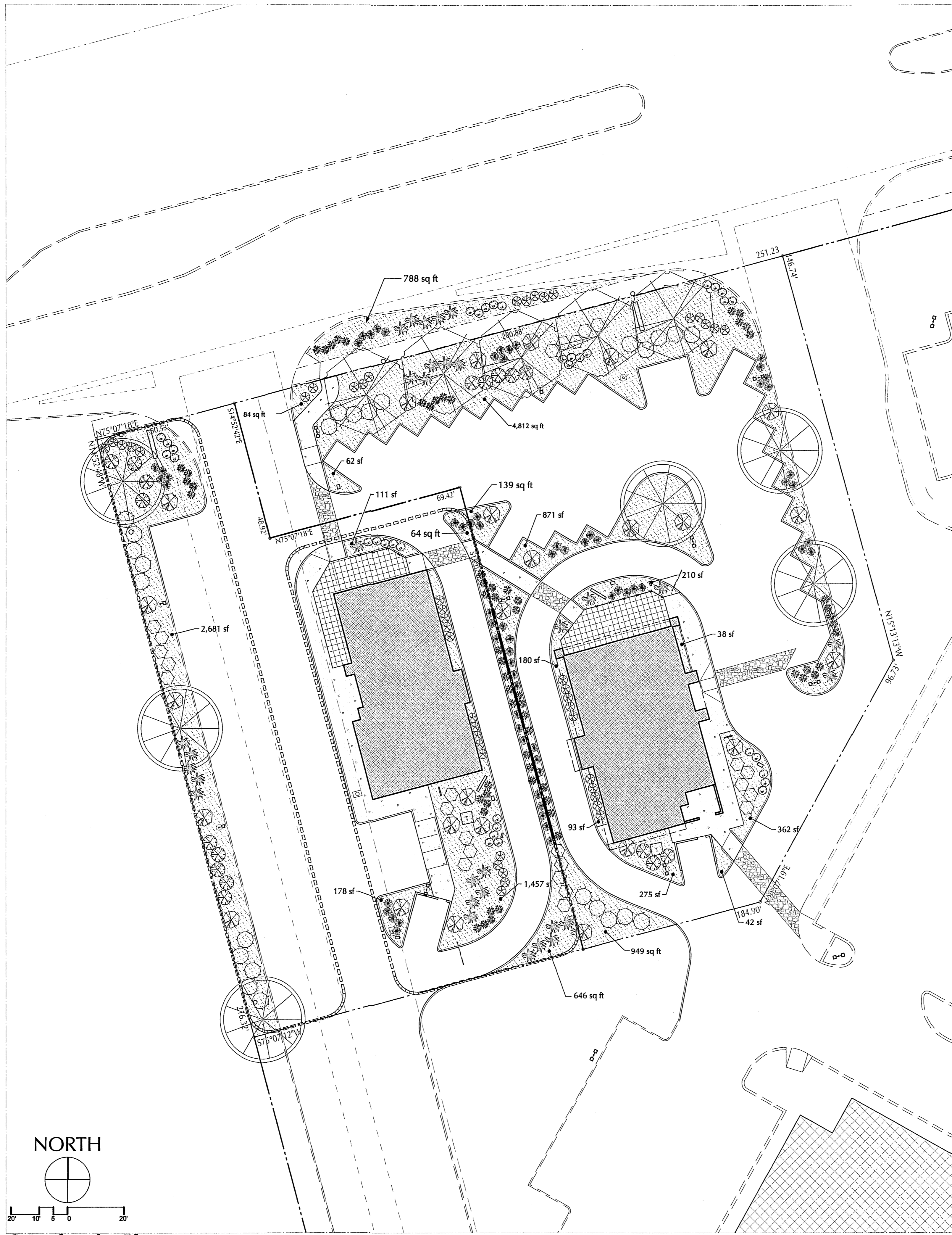
Detail Not Used



Detail Not Used



Detail Not Used



**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
<b>Trees</b>				
5		Quercus buckleyi Texas Red Oak	2" B&B	Medium
6		Zelkova serrata Zelkova	2" B&B	Medium
<b>Shrubs/Groundcovers</b>				
45		Achillea filipendulina Moonshine Yarrow	1g	Medium
26		Cercocarpus ledifolios Curl-leaf Mtn. Mahogany	5-Gal	Low +
45		Ericameria laricifolia 'Aguirre' Turpentine Bush	5g	Low+
25		Ericameria nauseosus Chamisa	1g	Low
25		Fallugia paradoxa Apache Plume	1g	Low
35		Nepeta mussini Giant Catmint	1g	Medium
17		Perovskia atriplicifolia Russian Sage	1g	Medium
50		Rosmarinus officinalis Rosemary	5g	Low +
<b>Ornamental Grasses</b>				
66		Calamagrostis acutiflora Karl Foerster Grass	5g	Medium

**LANDSCAPE CALCULATIONS**

SITE AREAS	West Lot	East Lot
Gross Total:	29,429 SF	29,607 SF
Building Area:	2,700 SF	2,700 SF
Net Lot:	26,729 SF	26,907 SF

LANDSCAPE	West Lot	East Lot
(For proposed building site not less than 15% of net lot area.)		
Required Landscape of Net (15%)	4,009 SF	4,441 SF
Provided Landscape	5,137 SF	7,168 SF
Percentage of Net Lot Area	19.2%	26.6%
High Water use Turf	0 SF	0 SF

Required Street Trees @ 30' oc spacing = 6  
 Required Parking Lot Trees (1 per 10 spaces) (46/10 = 5) Provided: 5

**LANDSCAPING AND IRRIGATION**

All landscape maintenance and waste water responsibilities will be with the Owner's grounds maintenance personnel.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Provide gravel (Santa Ana Brown @ 2" depth over filter fabric shall be placed in all landscape areas which are not designated to receive native seed or other ground cover.

**PLANT MATERIALS**  
As indicated on landscape schedule

**PLANT GUARANTEE AND REPLACEMENT**  
All plants and sod areas shall be guaranteed for one year from date of installation. Any plants with not satisfactory vigor shall be replaced at no additional expense to the Owner.

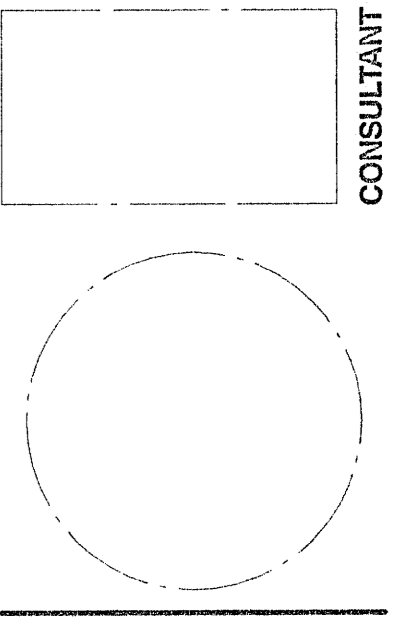
**LANDSCAPE IRRIGATION**  
 1-1/4" (minimum) main water line  
 Control Valves: Weathermatic  
 Laterals: Schedule 40 PVC  
 Spray Heads: Rainbird 1800  
 Bubblers: Rainbird 1300  
 Timers: Toro IC Series  
 Depth: 18" mains, 12" laterals  
 Pressure: 50 PSI (minimum)  
 Coverage: 100% of planted areas  
 Hose Bibs: See plumbing plans for sizes and locations.

An automatic underground irrigation system will be designed and installed (by irrigation subcontractor) to serve all plan materials, according to current City of Albuquerque ordinances and standards. Trees shall receive 5-1.0 gallons per minute drip emitters shrubs shall receive 2-1.0 gallons per minute drip emitters drip and bubbler system to be tied to 1/2" poly pipe with flue caps at each end.

Run time per each drip valve shall be approximately 15 minutes per day, to be adjusted according to the season.

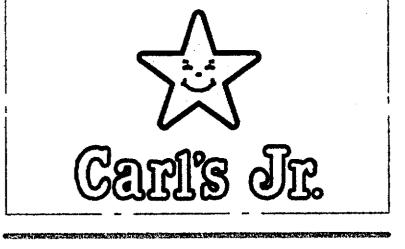
Location of controller to be field determined and power source for controller to be provided by others. Point of connection for irrigation system is unknown at this time and will be coordinated in the field.

**E Landscaping Schedule**



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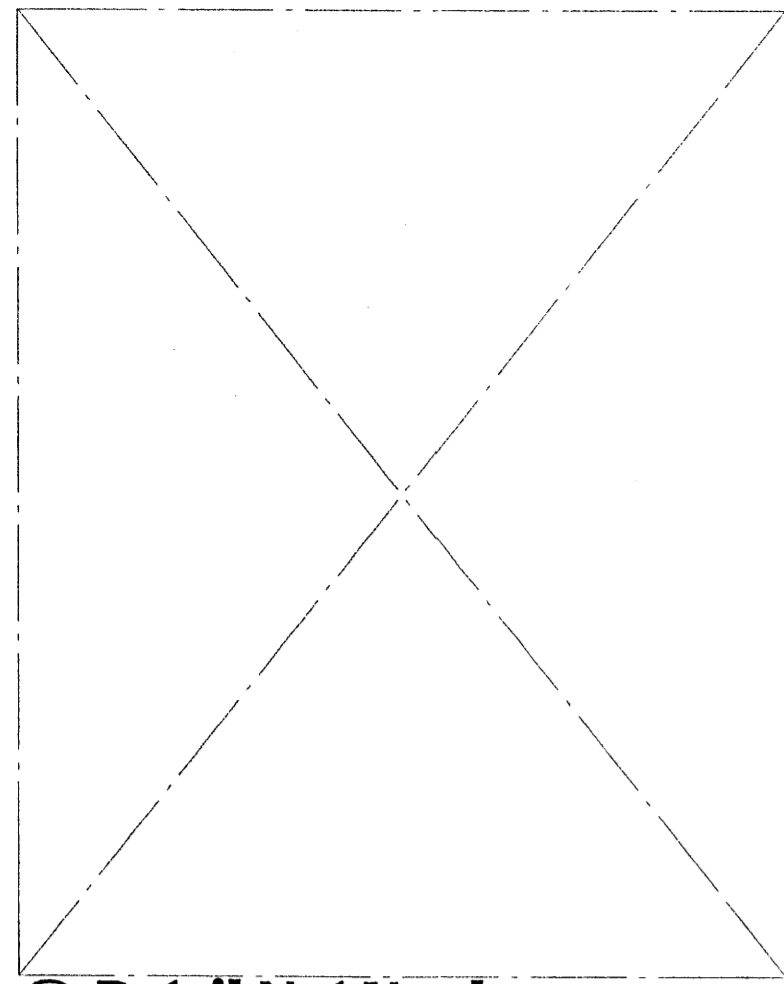


Site Development Plan for Building Permit  
 and Site Development Plan for Subdivision  
**Carl's Jr. Restaurant**  
 Central and Coors  
 Albuquerque, NM 87121

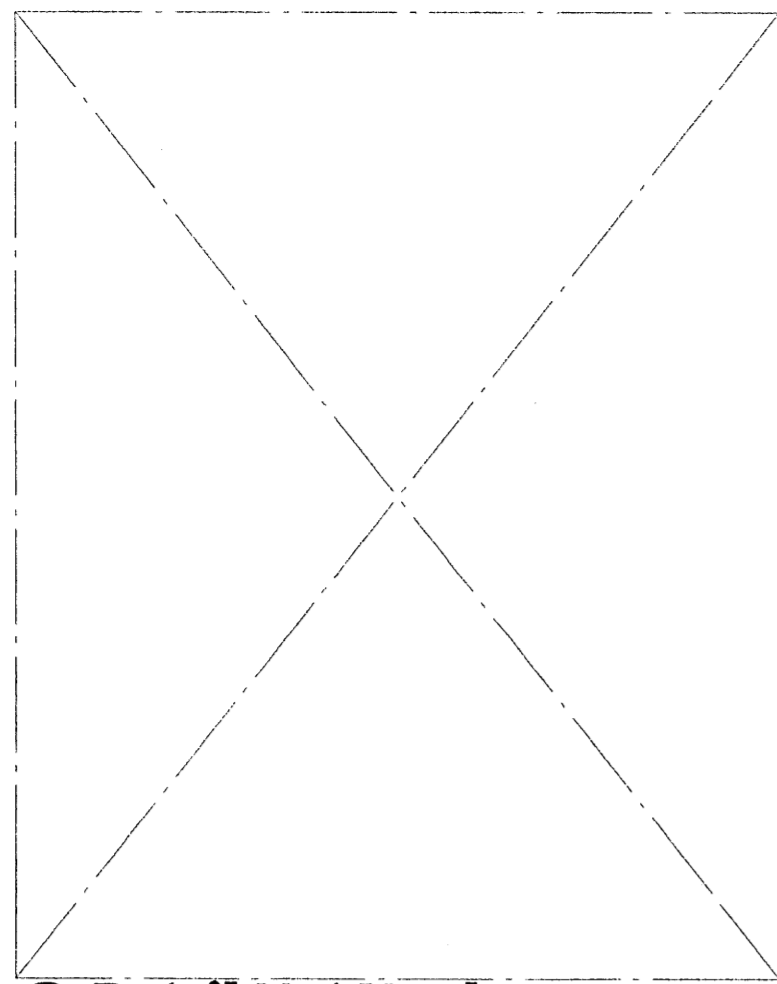
**ISSUE DATE:**  
11 October, 2005

**REVISIONS:**  
18 October, 2005

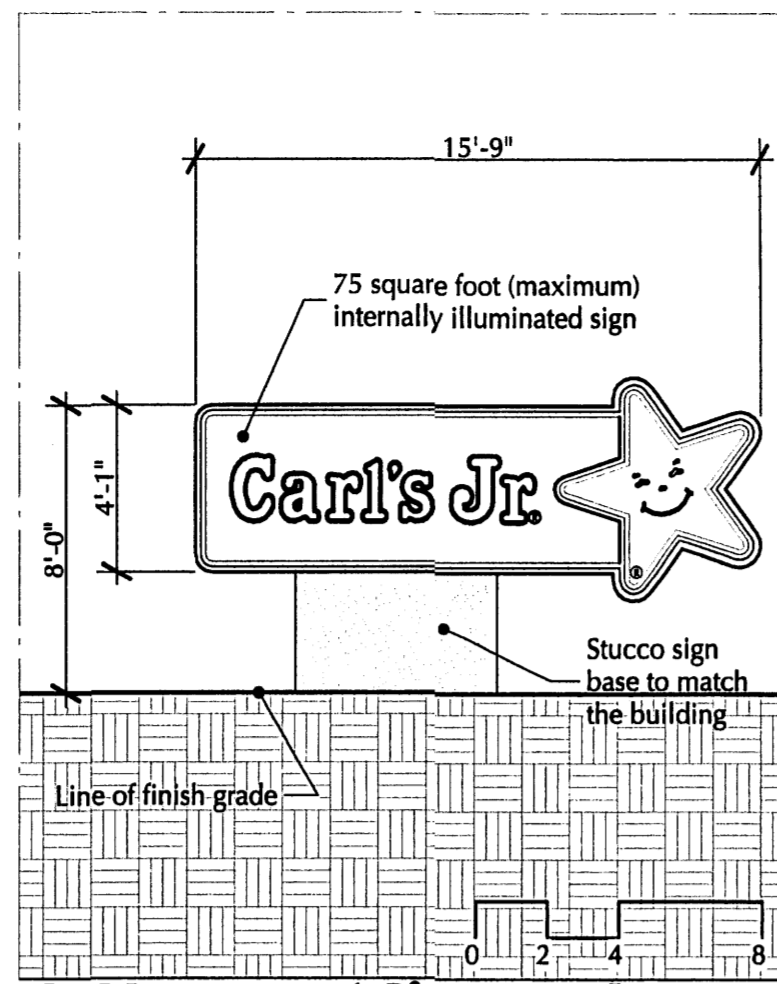
**Landscape Plan**



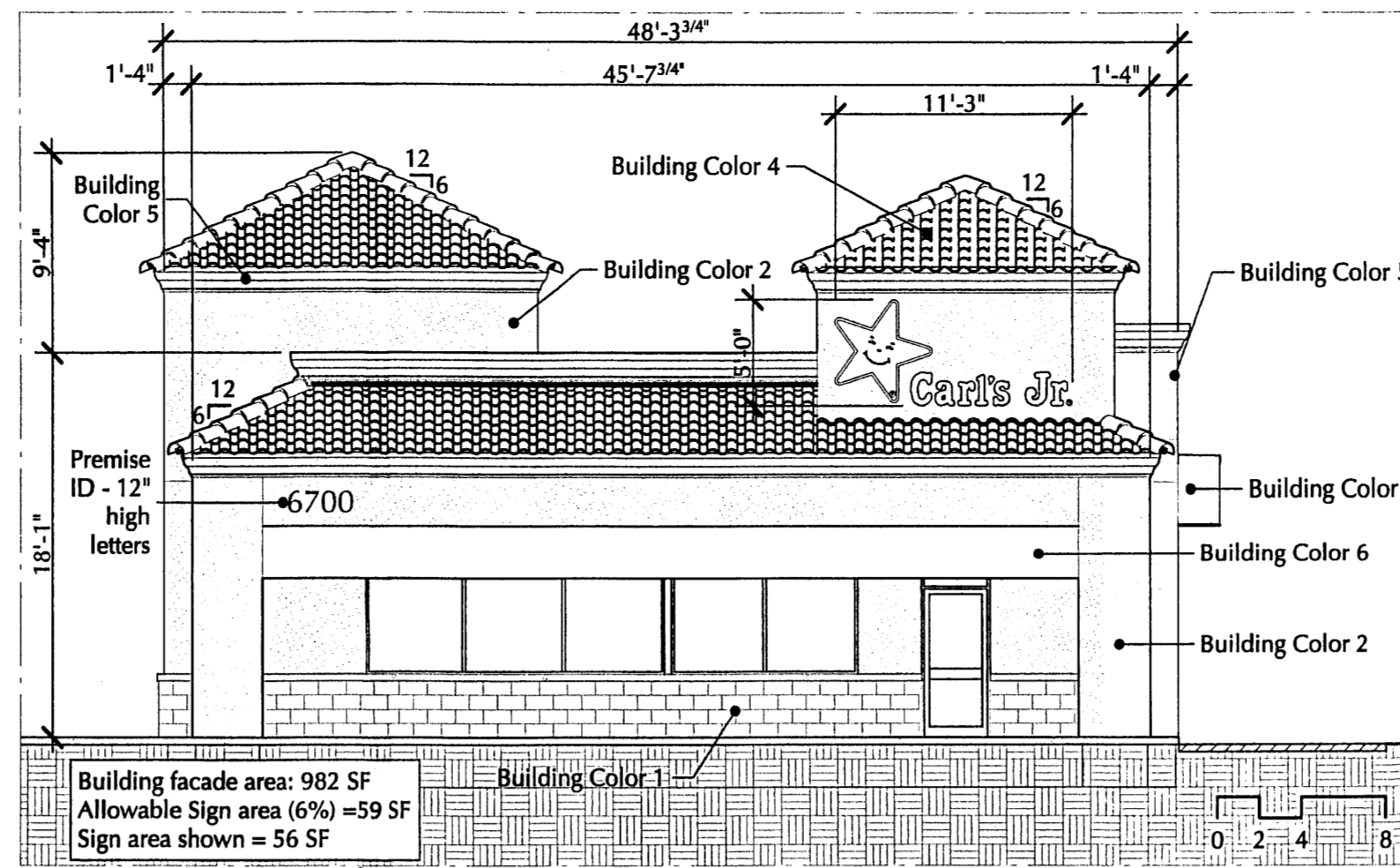
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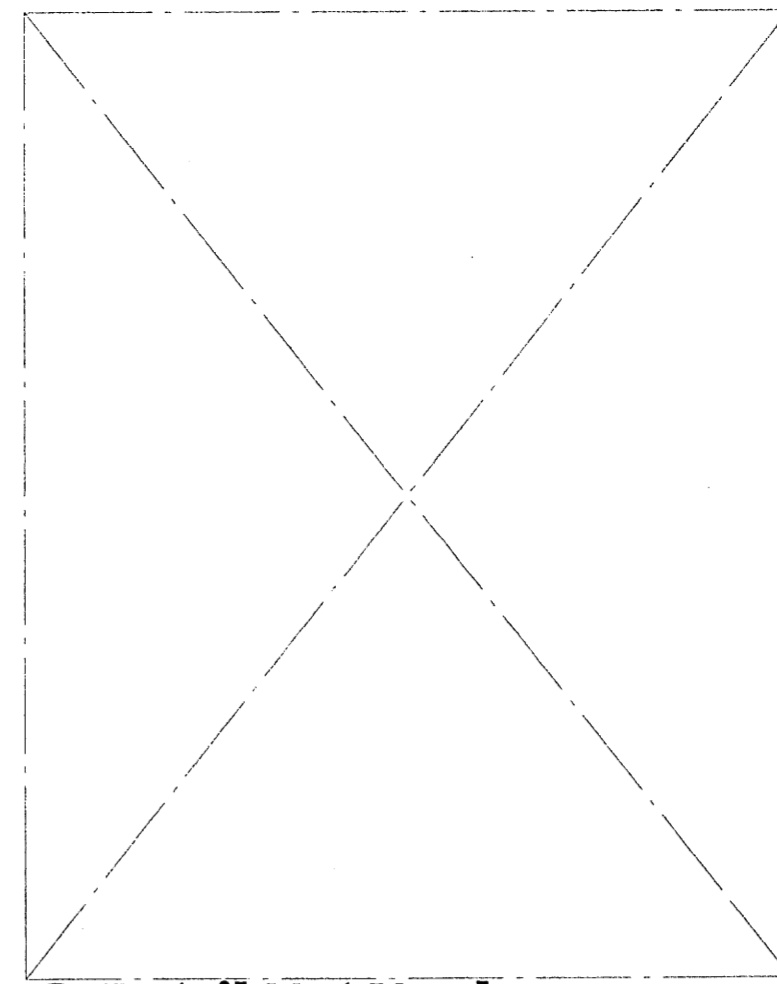
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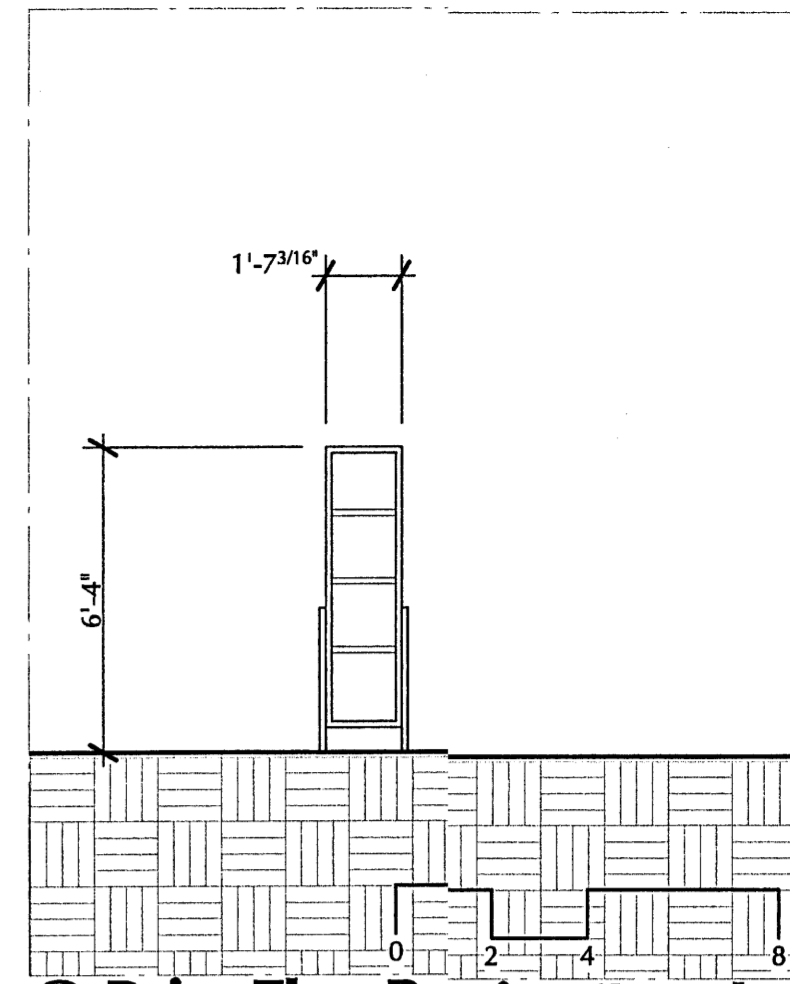
T Monument Sign- Carl's Jr. Scale: 3/16" = 1'-0"



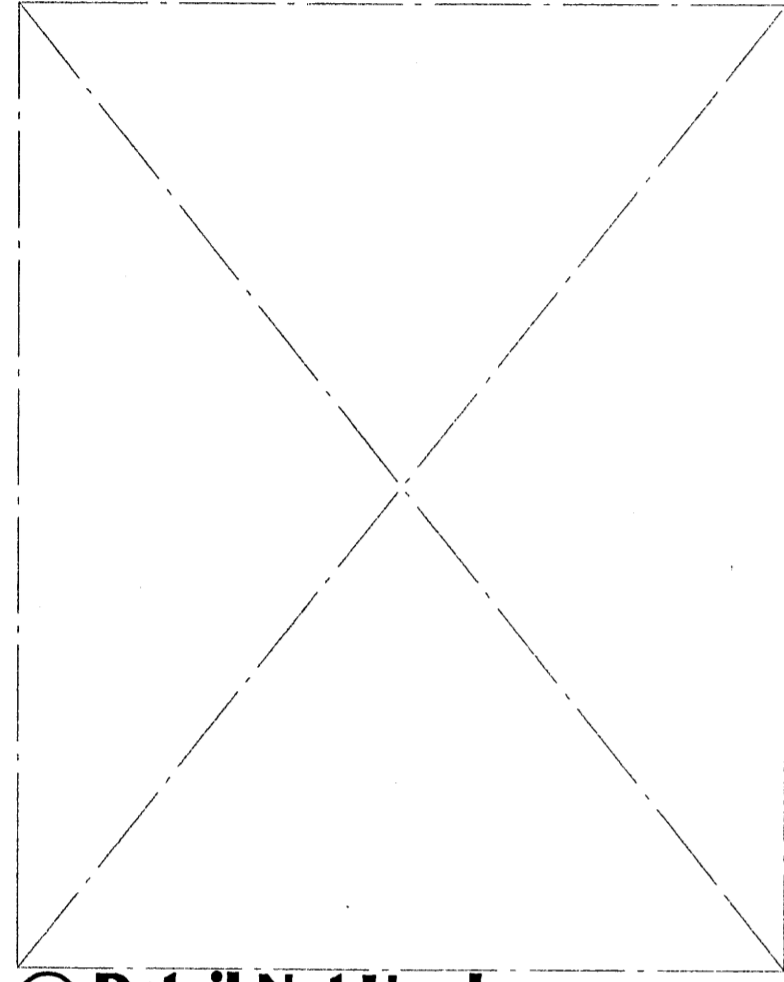
P South Elevation Scale: 1/8" = 1'-0"



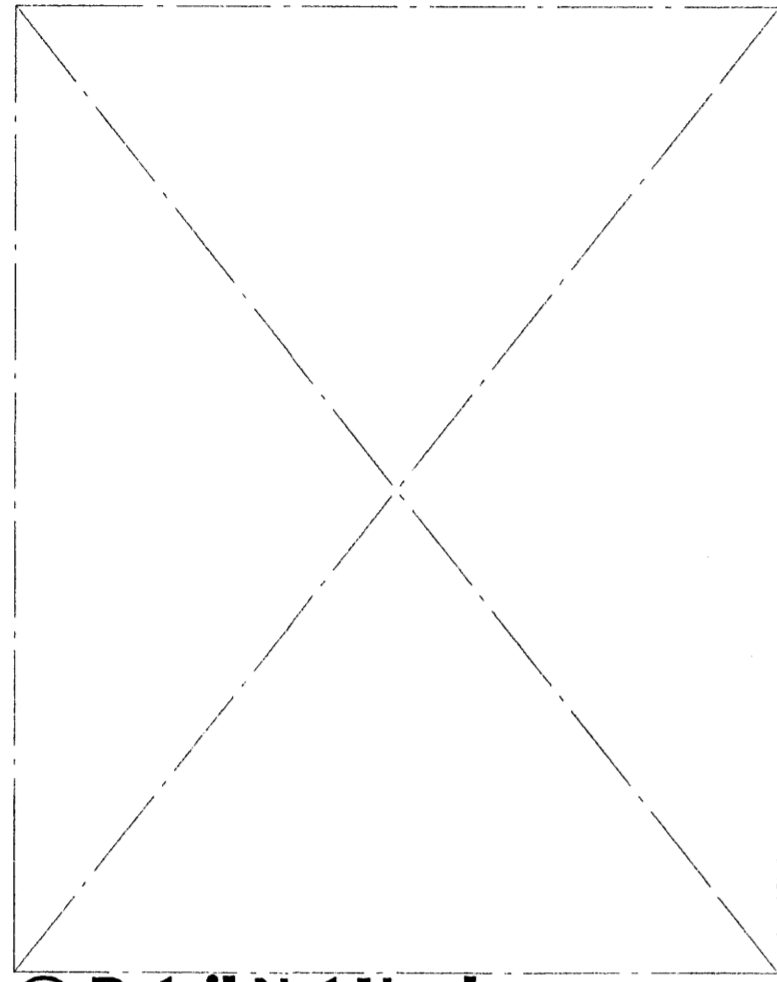
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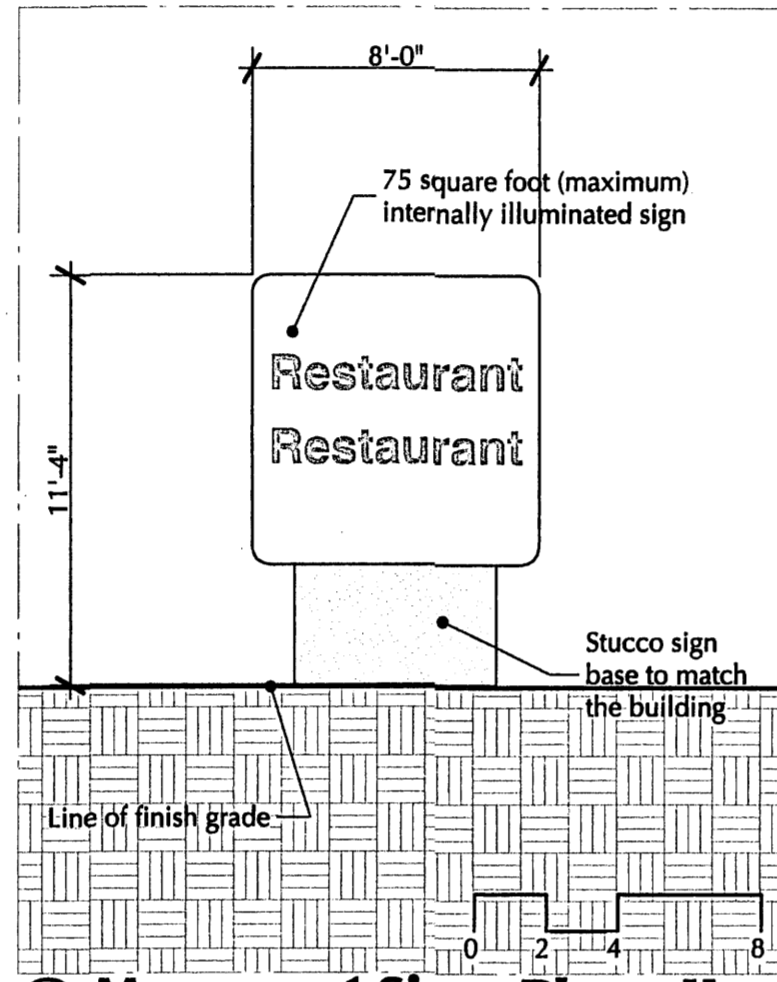
D Drive-Thru Preview Board Scale: 1/4" = 1'-0"



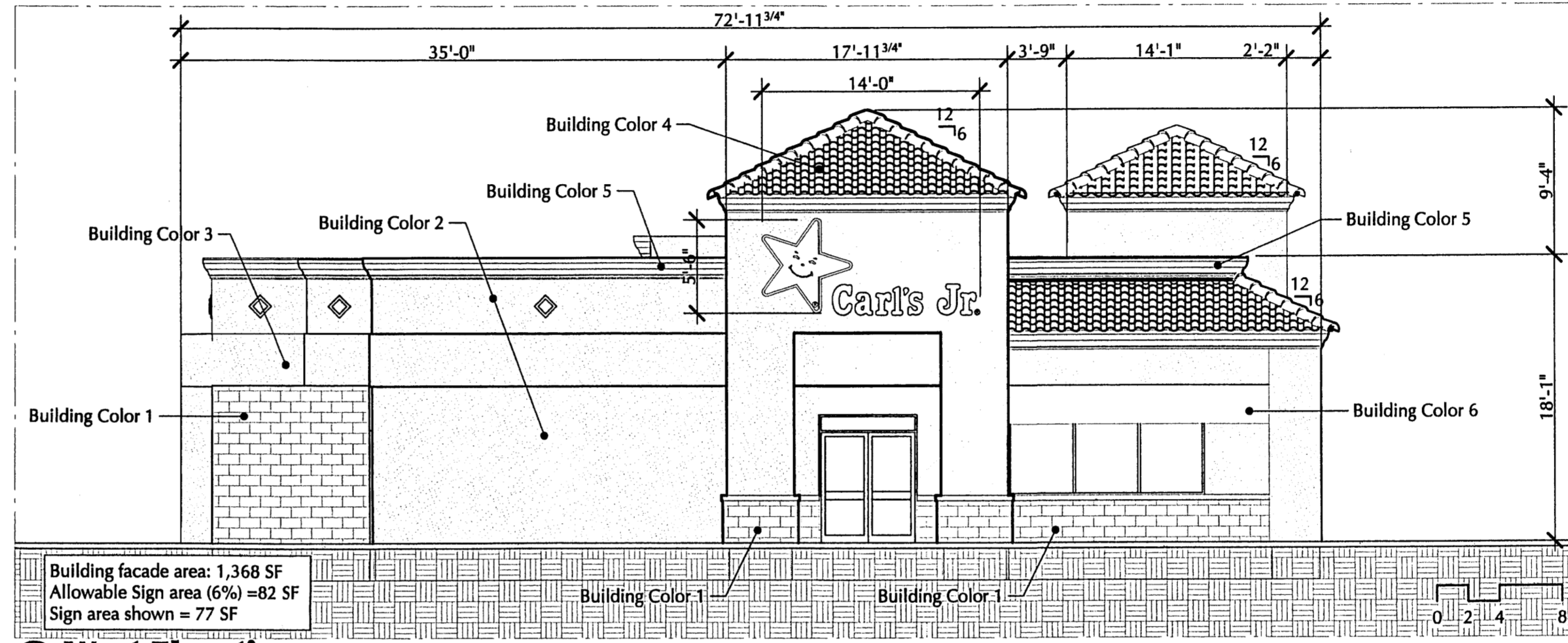
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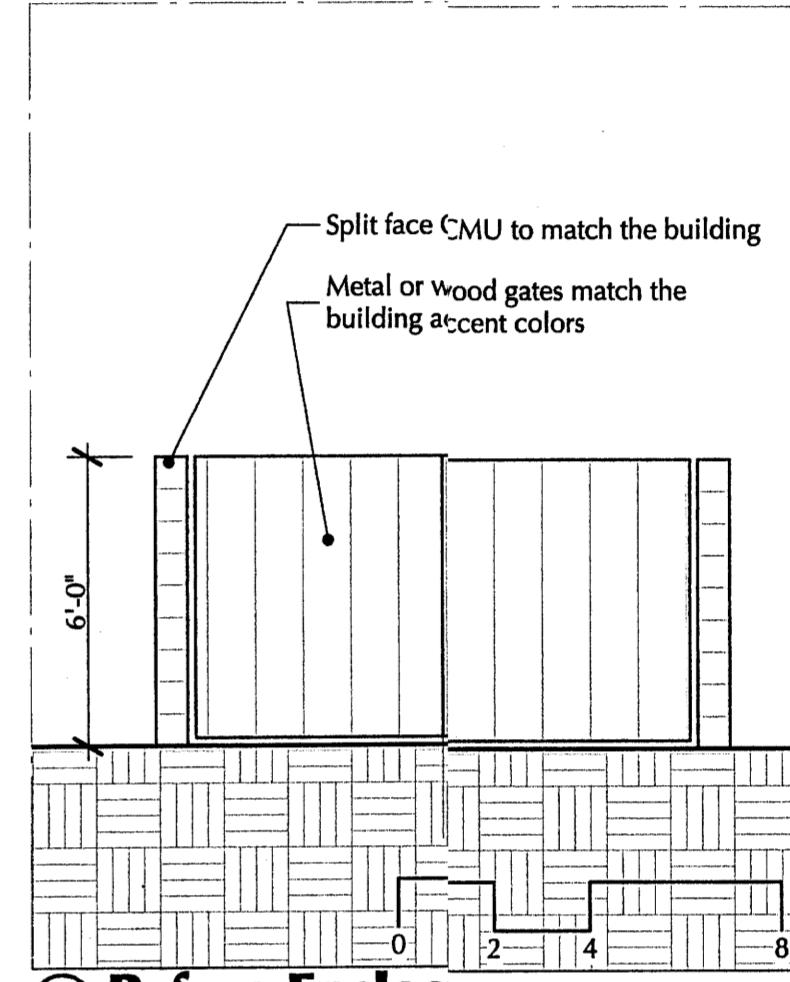
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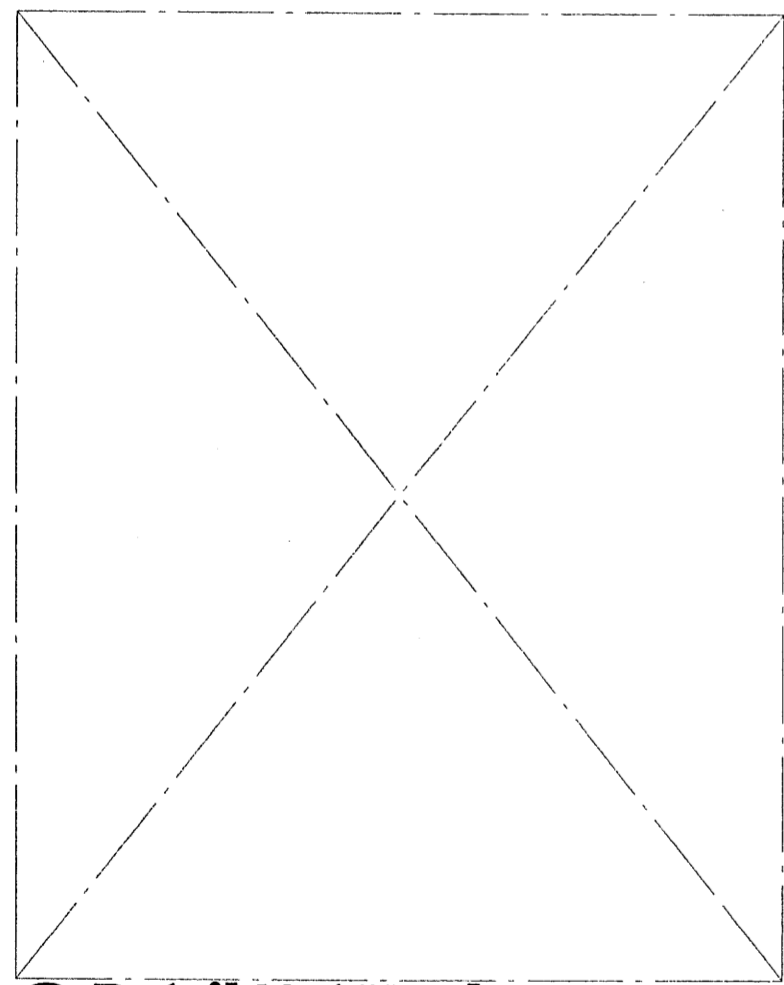
S Monument Sign- Phase II Scale: 3/16" = 1'-0"



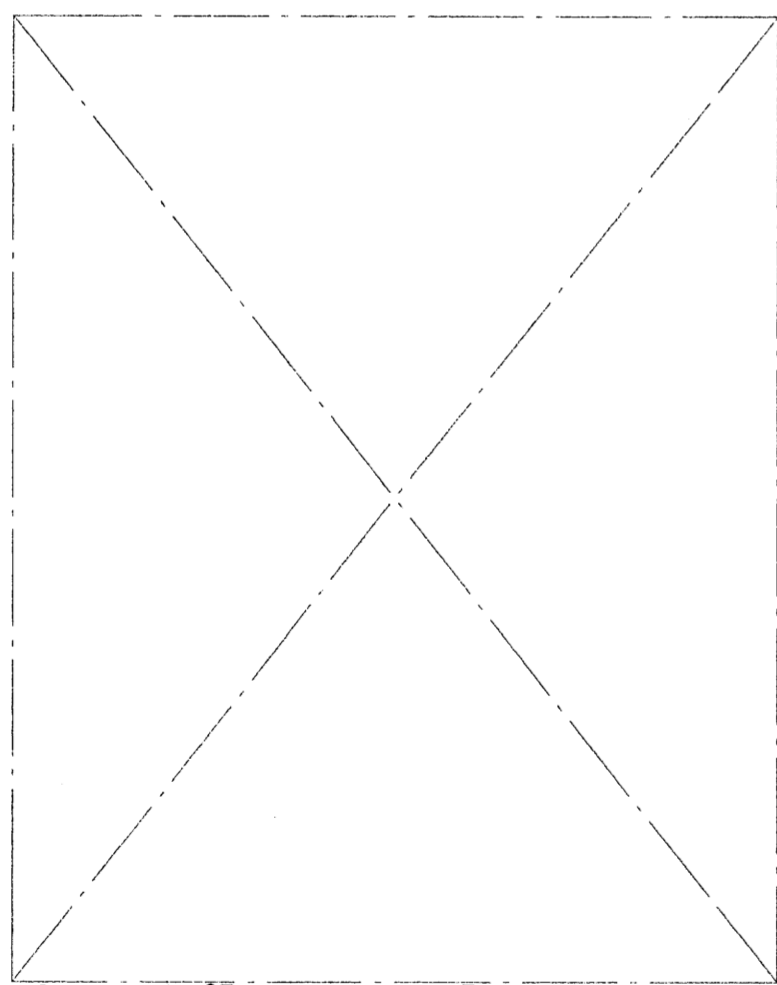
C West Elevation Scale: 1/8" = 1'-0"



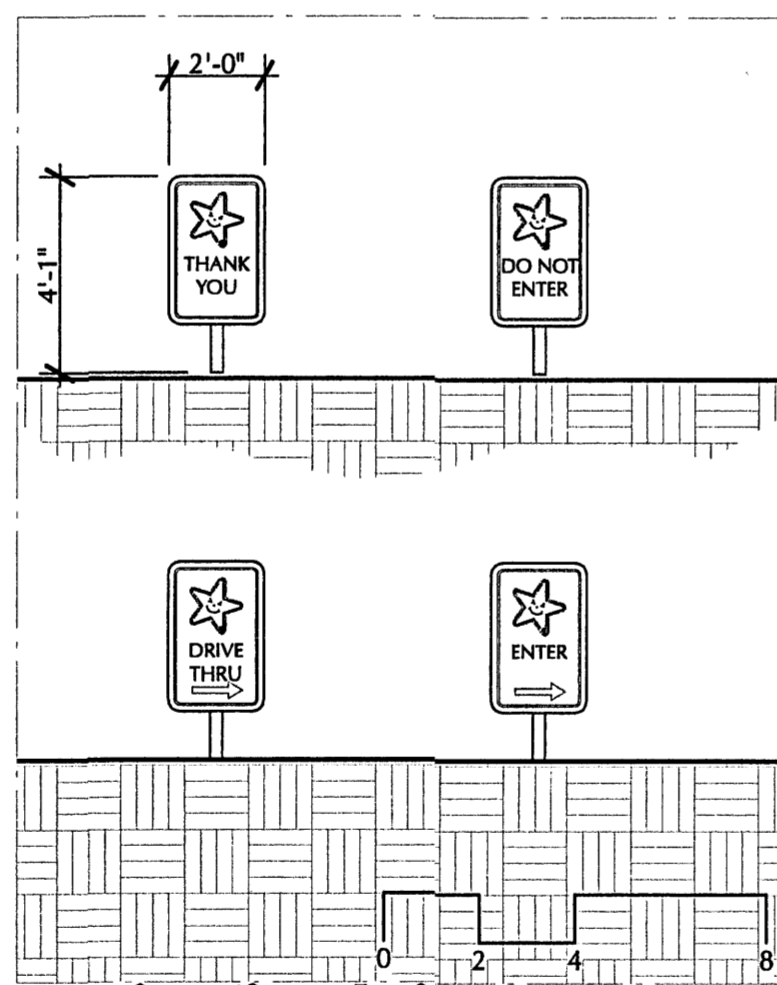
C Refuse Enclosure Scale: 1/4" = 1'-0"



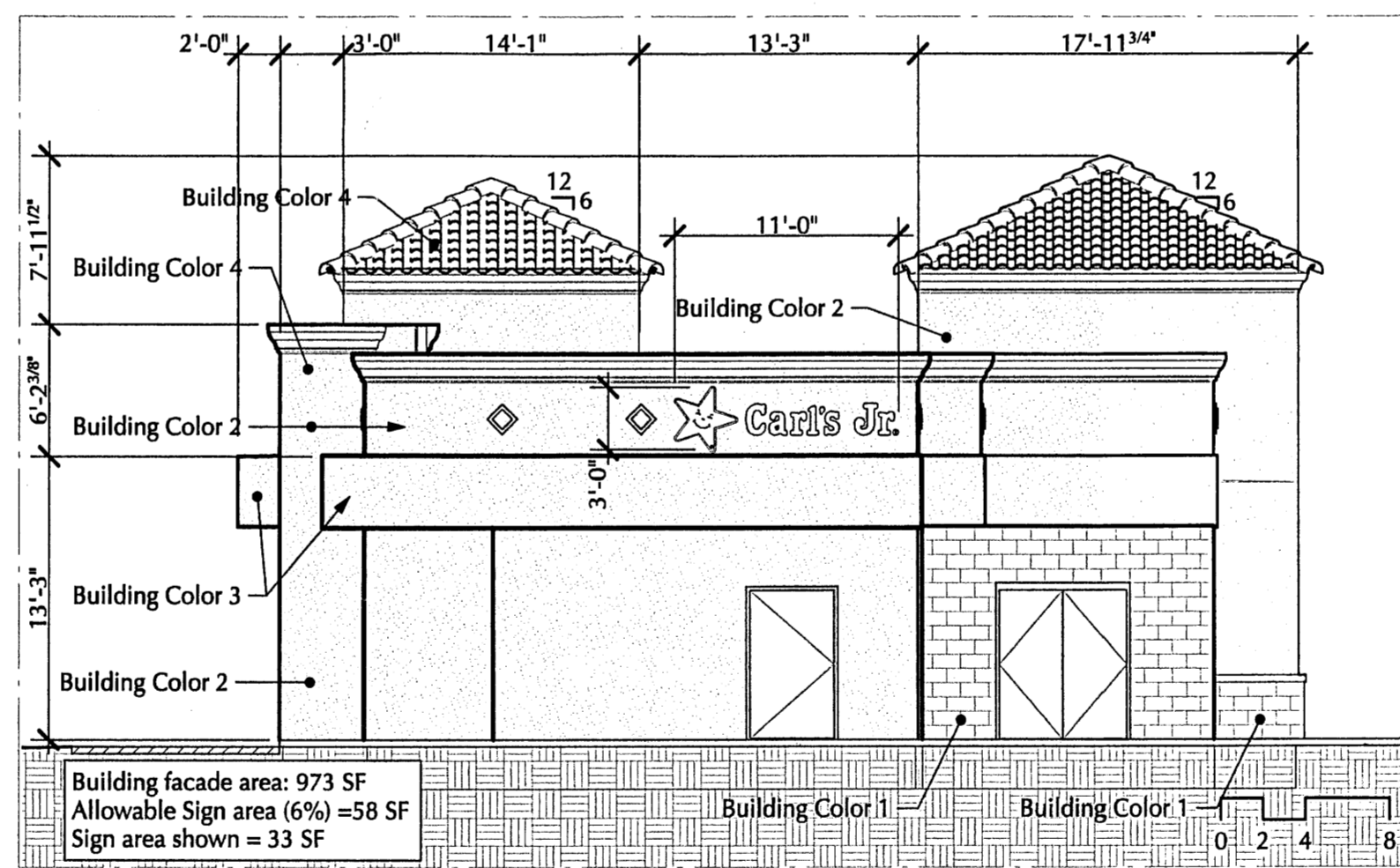
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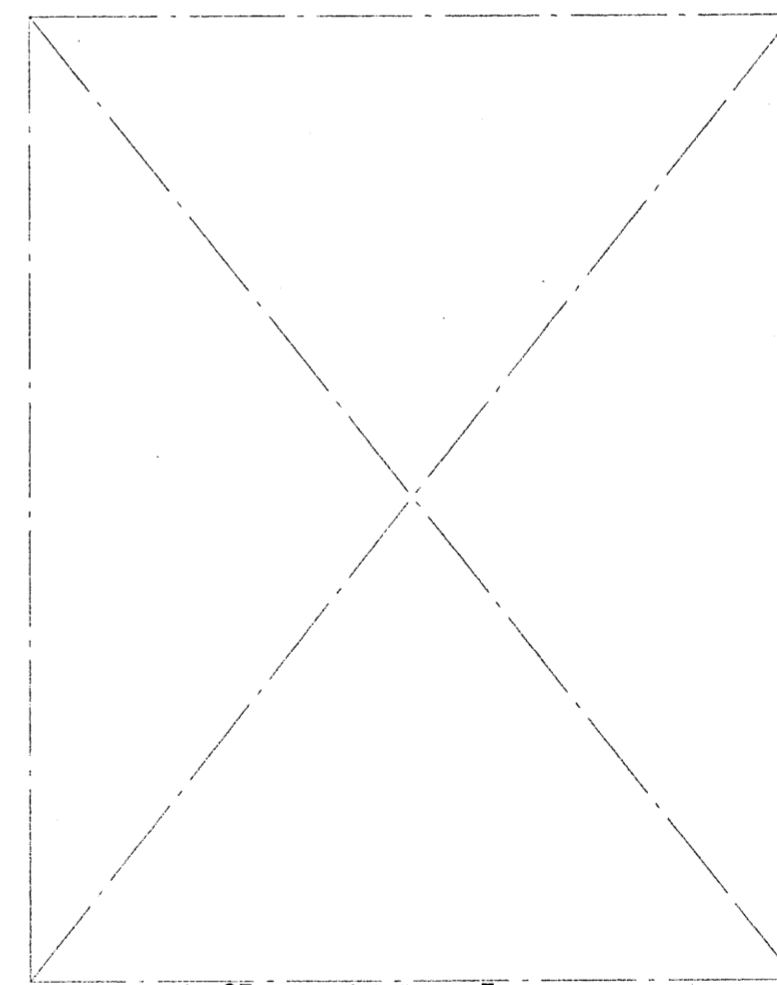
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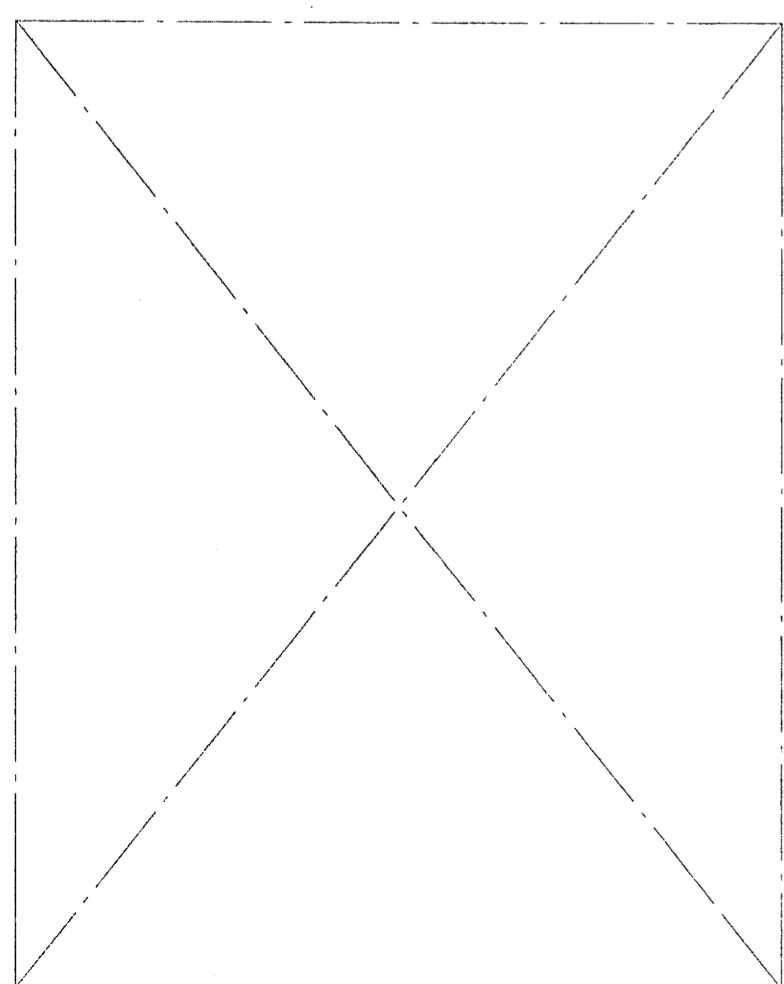
R Directional Sign Scale: 1/4" = 1'-0"



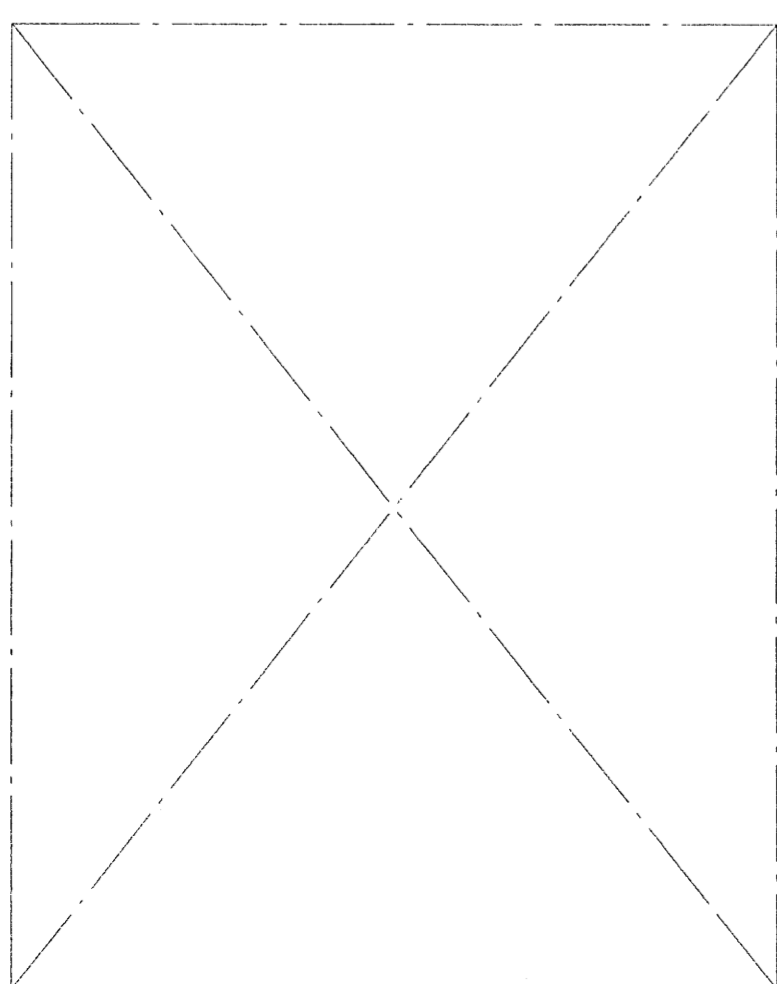
N North Elevation Scale: 1/8" = 1'-0"



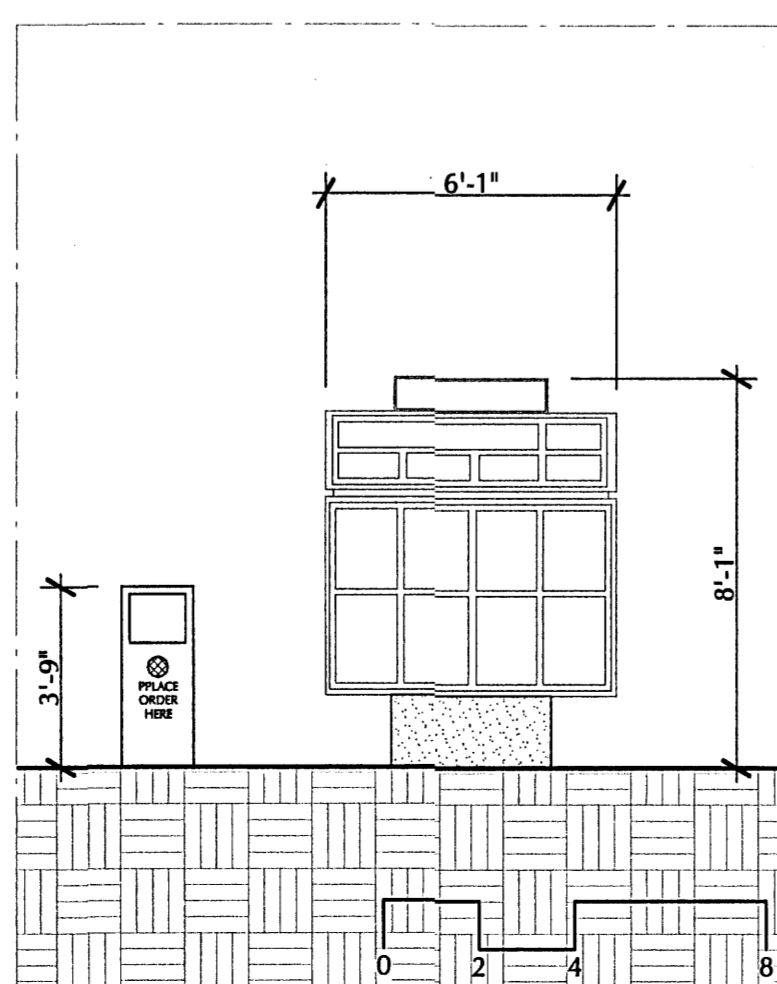
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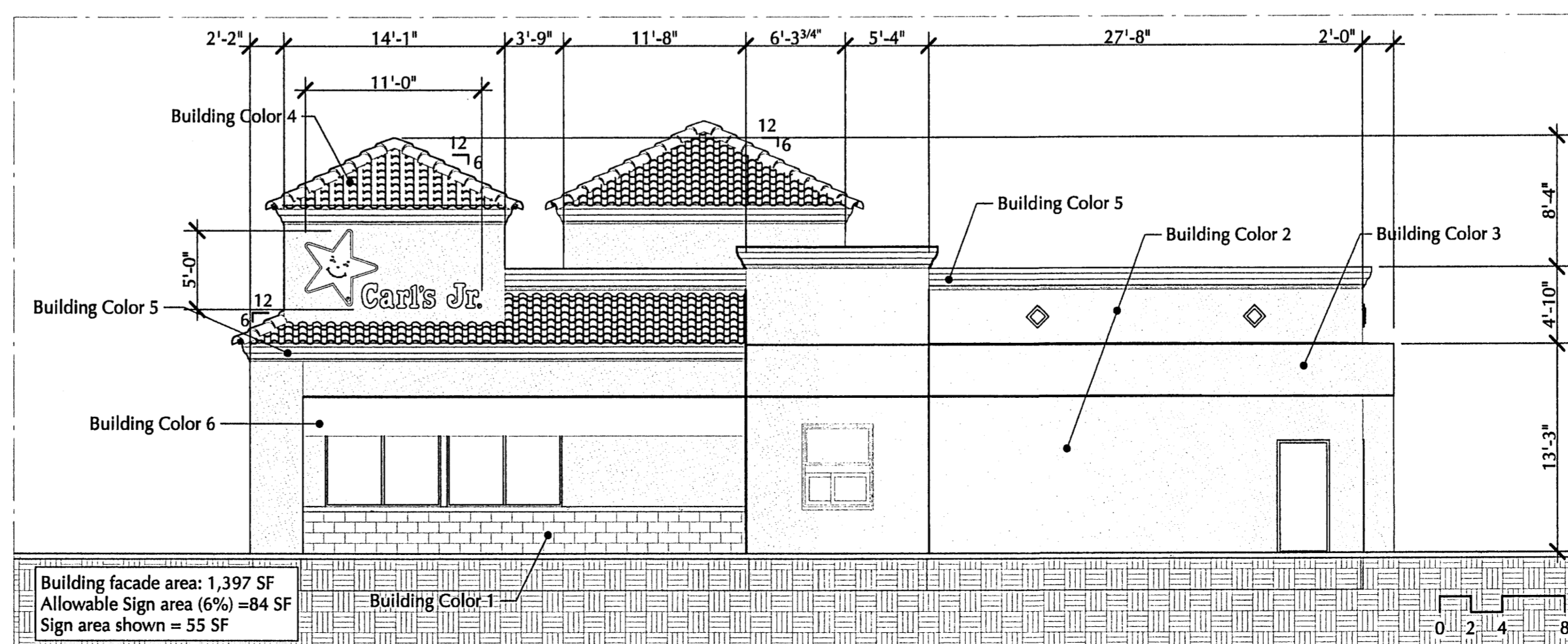
Y Detail Not Used



U Detail Not Used



Q Drive-Thru Menu Board Scale: 1/4" = 1'-0"



M East Elevation Scale: 1/8" = 1'-0"

**BUILDING COLORS:**

Building color 1	Dark Tan	Split face block
Building color 2	Light Tan	Stucco
Building color 3	Dark Tan	Stucco accents
Building color 4	Red	Tile roof
Building color 5	White	Stucco cornice
Building color 6	Red	Fabric or metal awning

**STOREFRONT FRAME and GLAZING:**  
Door and window frames shall be clear or bronze aluminum or painted metal. Glazing shall be clear or tinted. Glazing shall not be mirrored finished. (Non-reflective)

**ROOFING:**  
All flat roofing is not visible from public view and will be gravel or white membrane type.

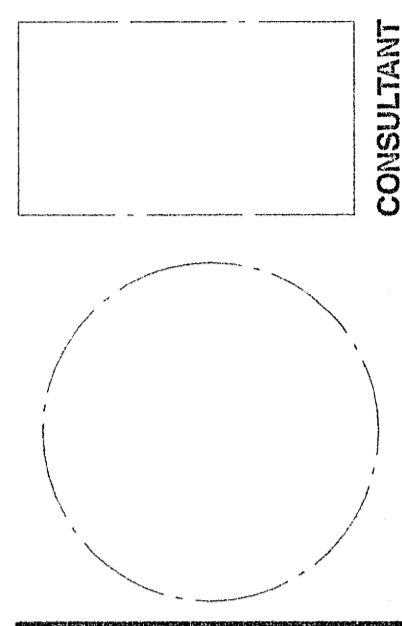
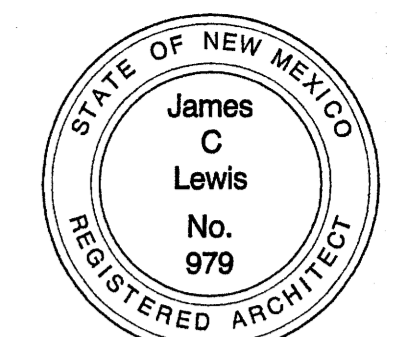
**SIGNAGE:**  
All building mounted signs shall be internally illuminated channel letters. The total building mounted sign area shall not exceed 6% of the total building facade.

**SIGNAGE COLOR:**  
Signs faces shall be red and yellow.

Note: All mechanical equipment will be screened from view of the adjacent parking area and public right of way.

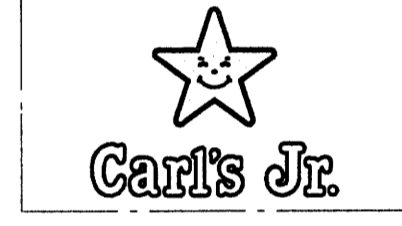
**Colors and Materials**

Elevations for Phase II shall be done under Administrative Amendment.



Schlegel Lewis Architects  
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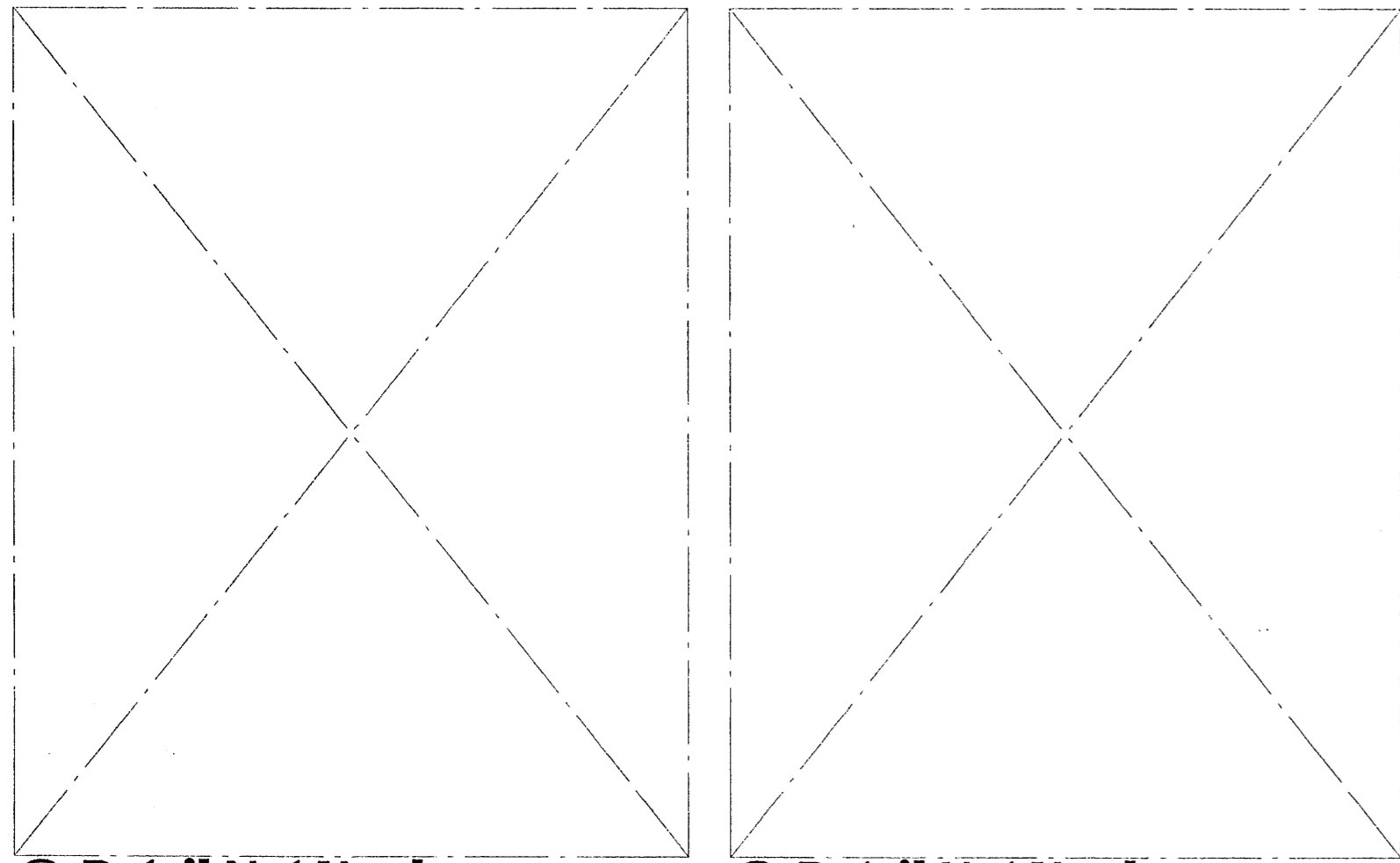
Site Development Plan for Building Permit and Site Development Plan for Subdivision  
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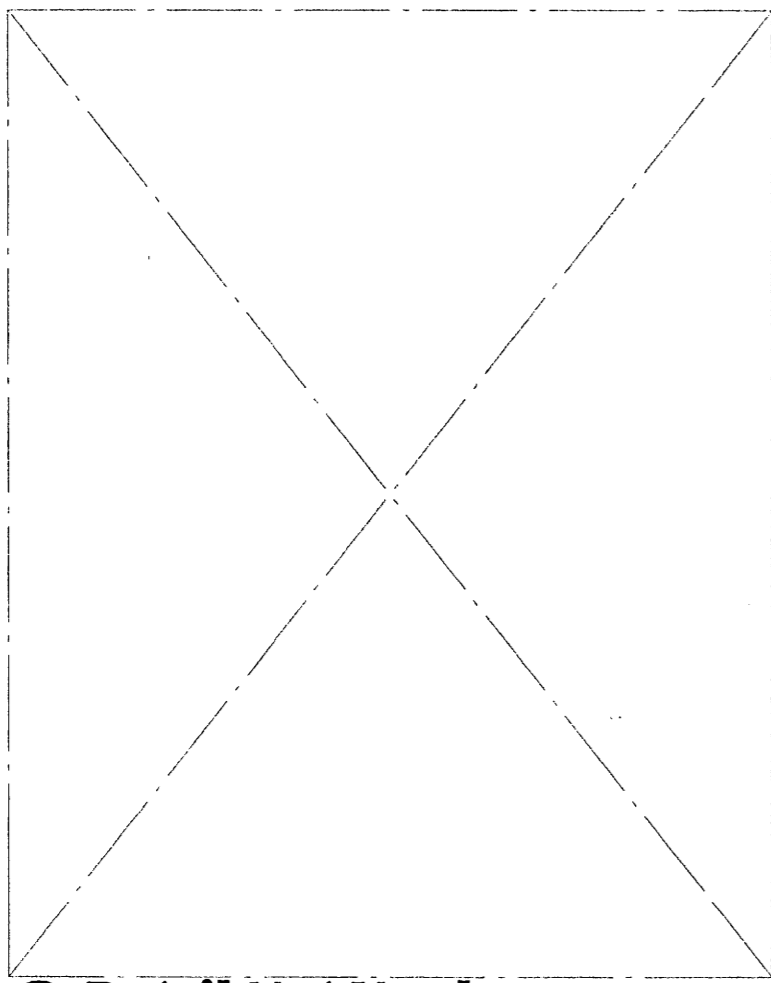
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**Elevations**

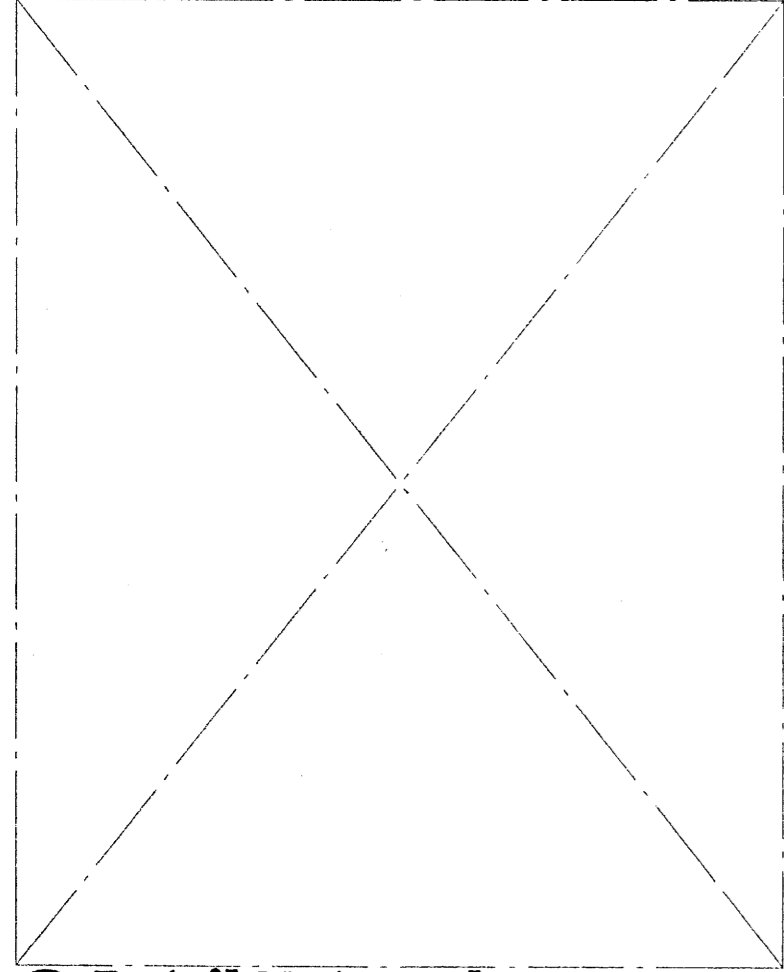
PROJECT 0519 SHEET **SDP-4** OF 5



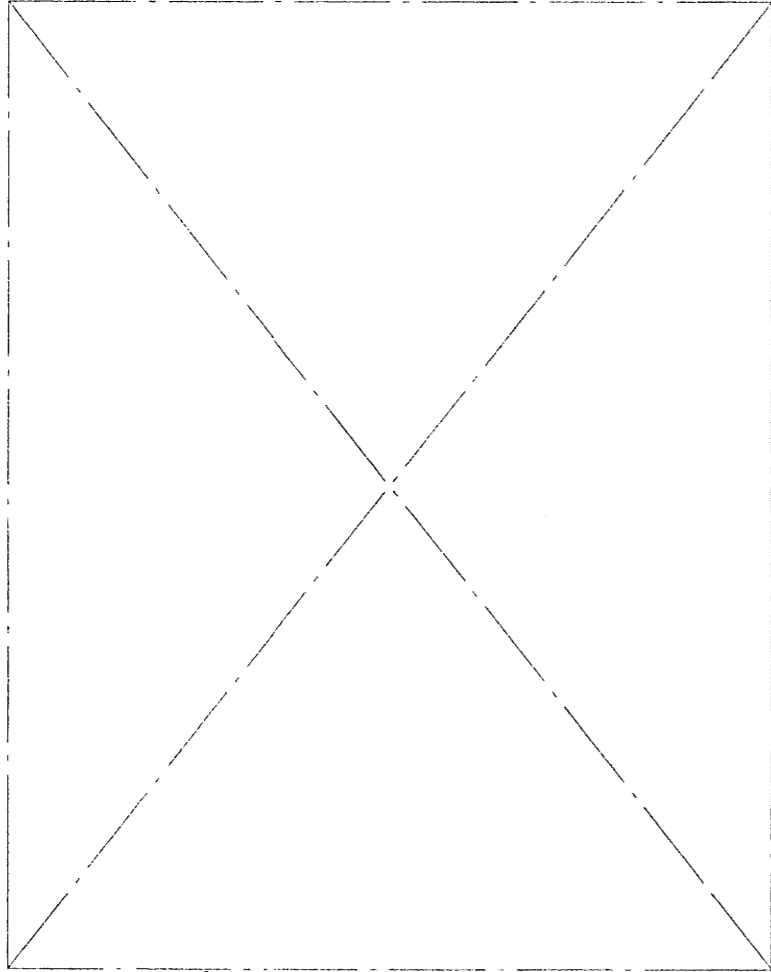
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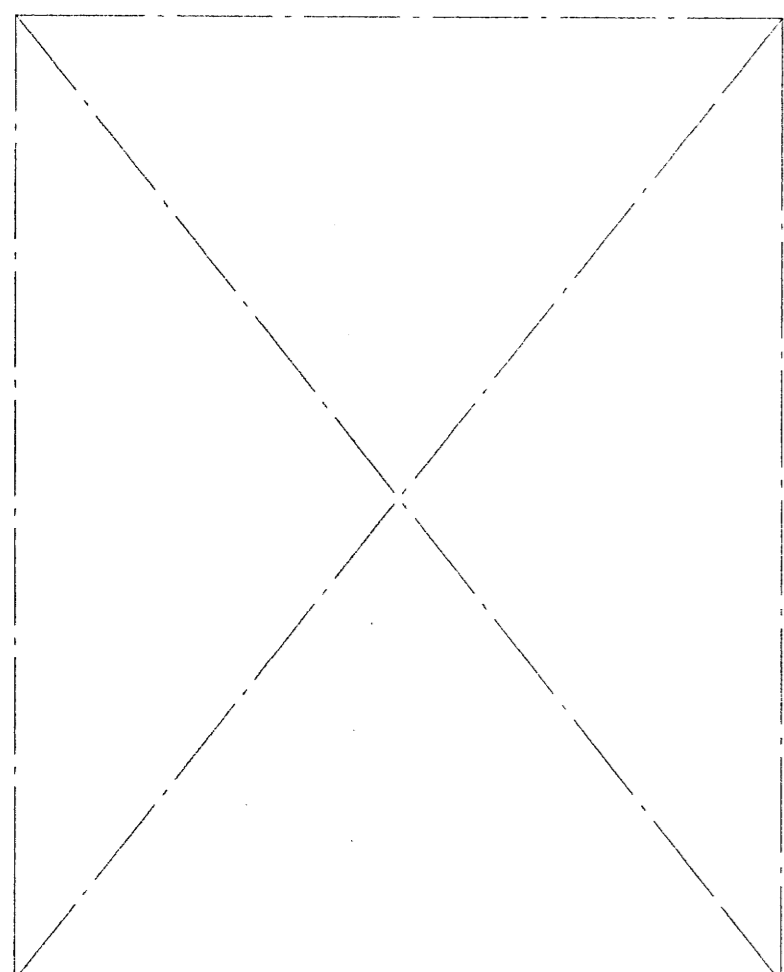
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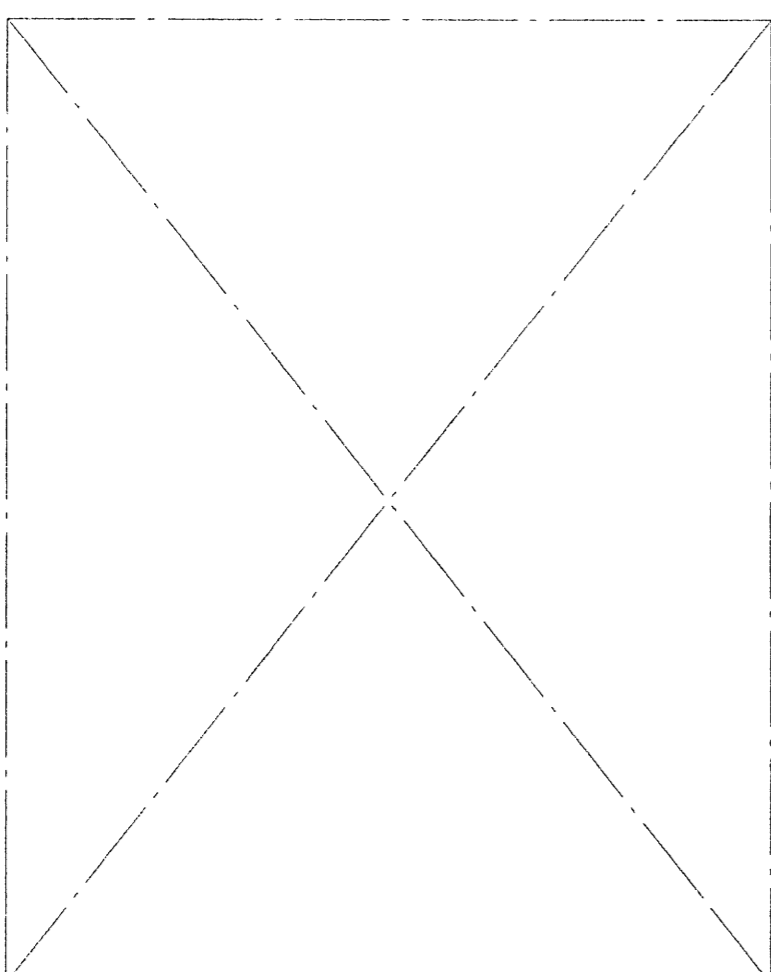
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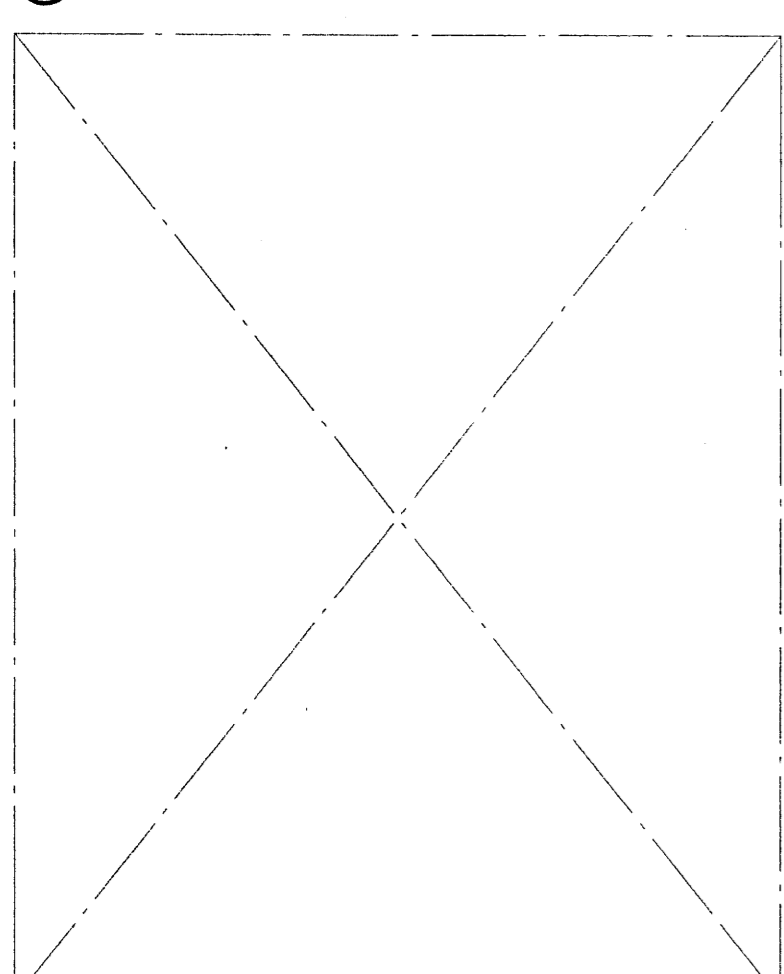
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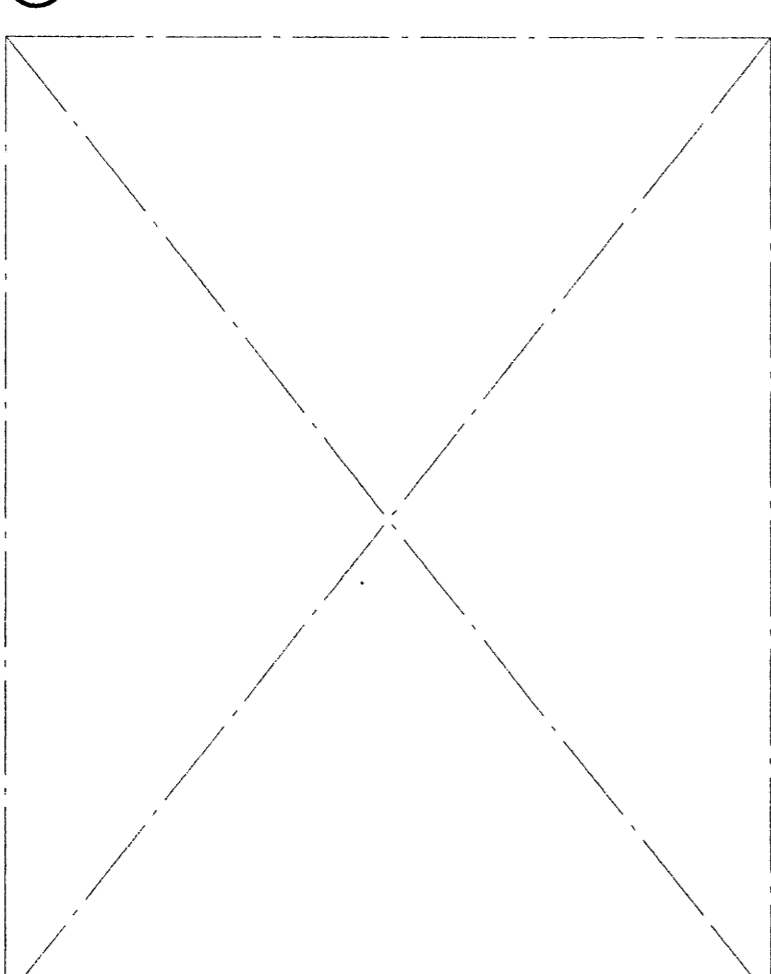
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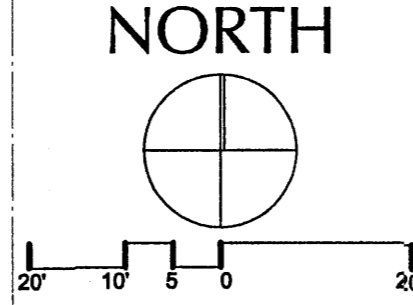
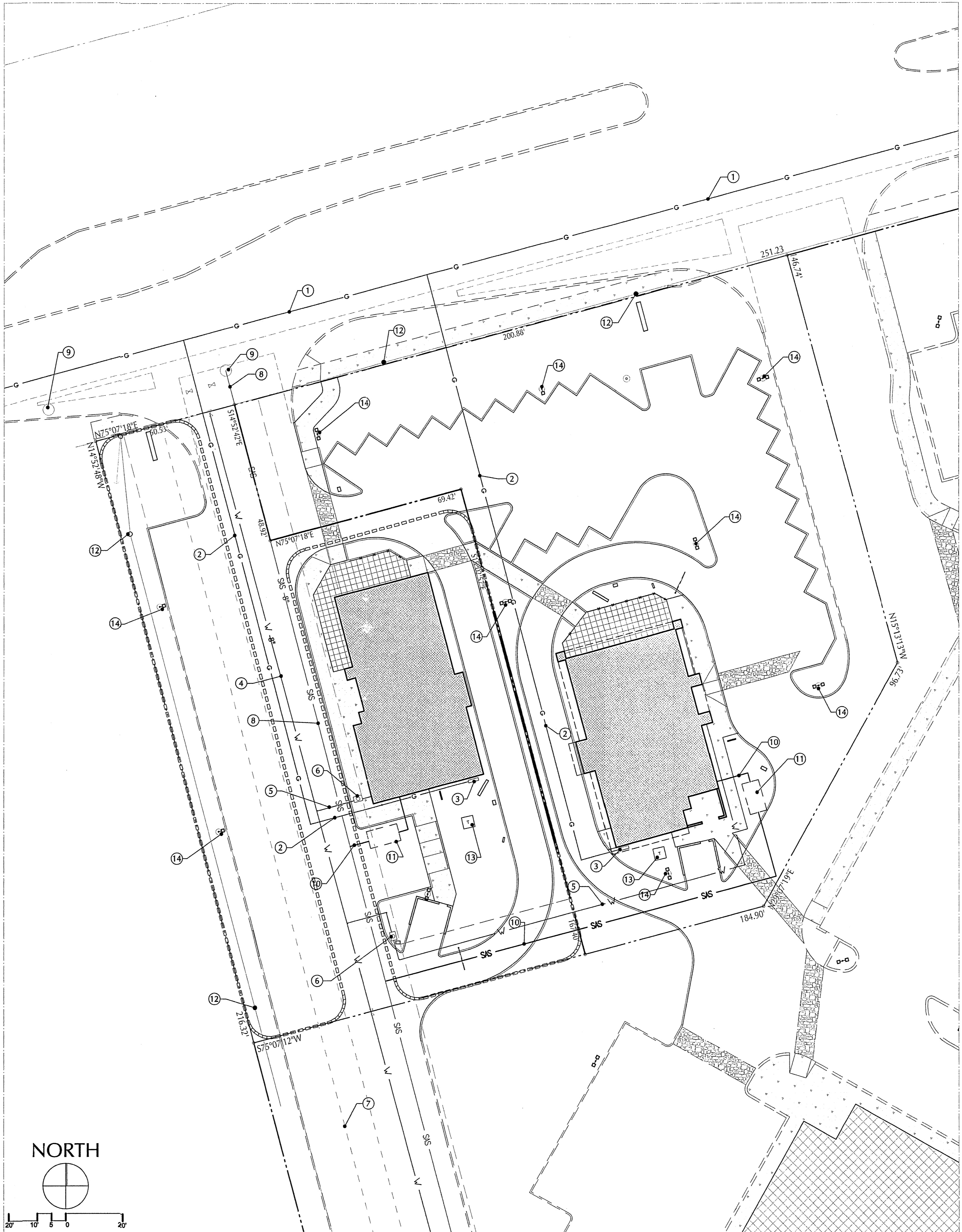
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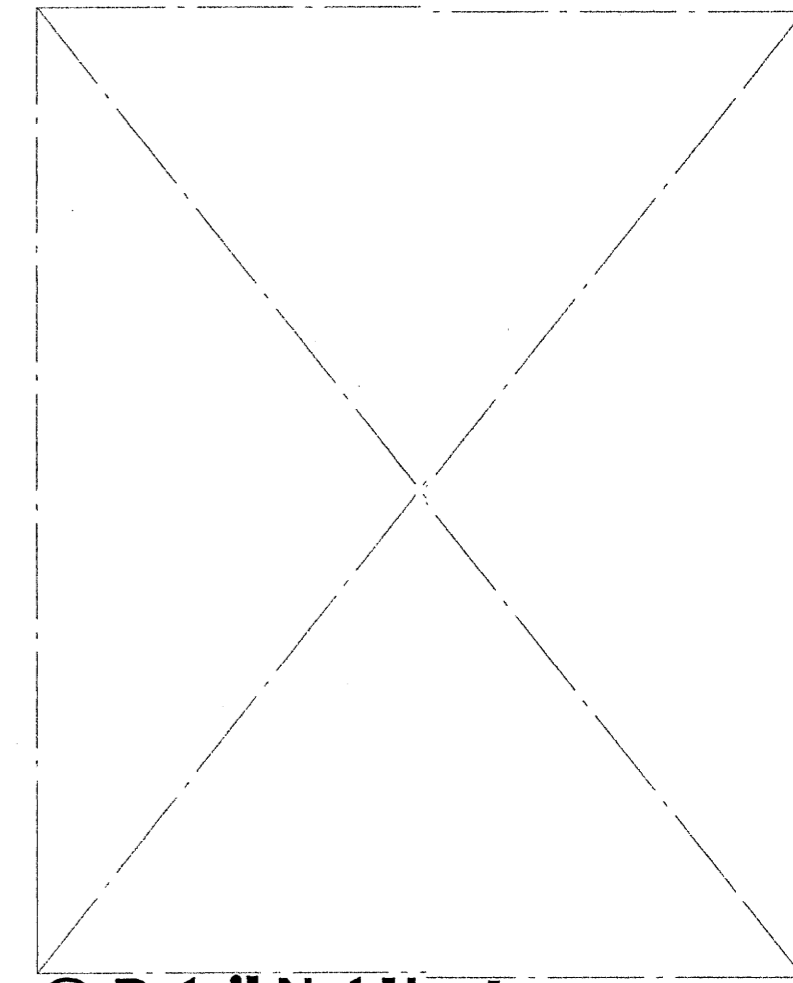
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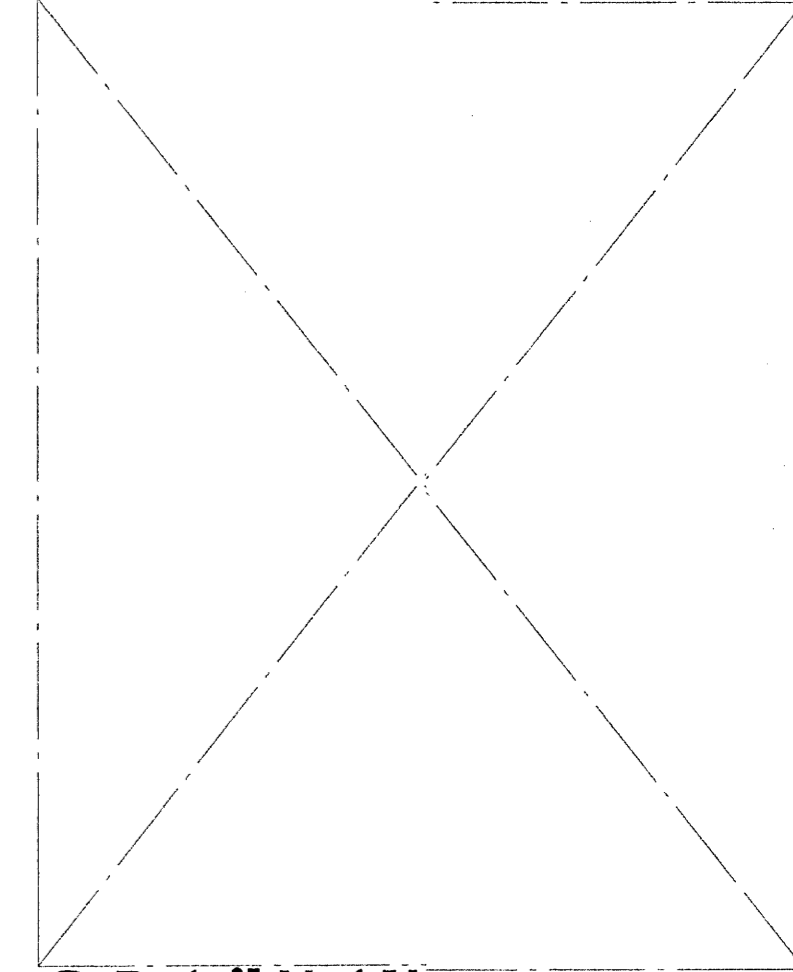
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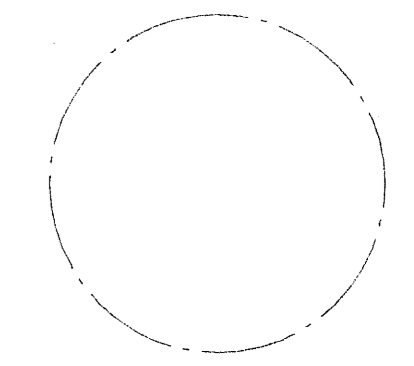
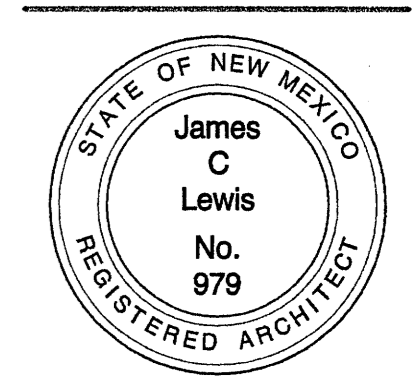
Q Site Development Plan



D Detail Not Used

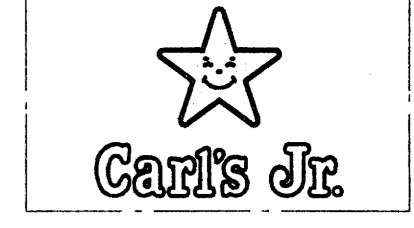


C Detail Not Used



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 (505) 247-1529  
 FAX (505) 243-6701  
 gl@slmac.com

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1. Existing gas line.
2. Proposed gas line.
3. Proposed gas meter.
4. Existing water line.
5. Proposed water line.
6. Proposed water meter
7. Existing fire hydrant (100'-0" South of this point on this line). See Overall plan on sheet SDP-2 for exact location.
8. Existing Sanitary Sewer main,
9. Existing sanitary sewer manhole.
10. Proposed sanitary sewer line
11. Proposed grease interceptor.
12. Existing overhead electrical line and pole.
13. Proposed electrical transformer.
14. Proposed parking lot light.

Site Development Plan for Building Permit  
 and Site Development Plan for Subdivision  
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 Central and Coors  
 Albuquerque, NM 87121

ISSUE DATE:  
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REVISIONS:  
 18 October, 2005

Utility Plan

PROJECT 0519 SHEET  
**SDP-5**  
 OF 5

A Keyed Notes

Scale: 1" = 20'-0"