

**Vicinity Map K-23-Z and L-23-Z n.t.s.**

# Plat of THE BLUFFS AT ENCANTADO

(Lots 1A, 1B, and 1C, Block J Cenaroca and Lot 1, Block K, Cenaroca Except the South 125' and a vacated portion of Huerfano Road NE)

**Section 23 and 26, Township 10 North, Range 4 East, NMPM  
City of Albuquerque, Bernalillo County, New Mexico  
September 2006**

## Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

**Project Number 1004496**

**Application Number 06DRB-01666**

### Plat approvals:

	12-7-06
PNM Electric Services	Date
	12-7-06
PNM Gas Services	Date
	12/8/06
Comcast	Date
	12-7-06
Comcast	Date

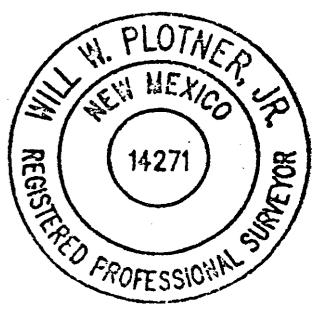
### City approvals:

	9/12/06
City Surveyor	Date
	12-6-06
Traffic Engineer	Date
	12-7-06
Water Utilities Development	Date
	12/6/06
Parks and Recreation Department	Date
	12/6/06
AMAFCA	Date
	12-12-06
City Engineer	Date
	12-08-06
DRB Chairperson, Planning Department	Date
	Date
Real Property Division	Date

## Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS LISTED IN THE TITLE COMMITMENTS PREPARED BY RIO GRANDE TITLE DATED SEPTEMBER 7, 2005 (FILE NUMBER 02506861) AND SEPTEMBER 2, 2005 (FILE NUMBER 02506860) AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

WILL PLOTNER JR. 9/9/06  
N.M.P.S. No. 14271  
DATE



**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

## Notes

1. FIELD SURVEY PERFORMED IN JUNE 2006.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. BENCHMARK-ACS MONUMENT "21-K23" HAVING AN ELEVATION OF 5708.72 (NAVD 29).
4. THE BASIS OF BEARINGS IS N.M.P.S. (NAD 27-GRID) REFERENCING THE ACS MONUMENTS AS SHOWN HEREON.
5. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 23 & 26, TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM.
6. ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THIS . ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
7. LOT LINES ELIMINATED BY THIS PLAT SHOWN AS THUS.....
8. A TEMPORARY EASEMENT EXISTS ACROSS THE SUBJECT PROPERTY BENEFITING THE CITY OF ALBUQUERQUE, TERMINATING UPON APPROVAL OF A SITE DEVELOPMENT PLAN PER DOCUMENT FILED AUGUST 22, 1988, IN BOOK MISC. 656A, PAGE 594. THE DOCUMENT CREATING THE SUBJECT EASEMENT IS ILLEGIBLE AND THEREFORE THE LOCATION CANNOT BE PLACED ON THE DRAWING WITH ANY TYPE OF ACCURACY-VACATED WITH THE FILING OF THIS PLAT.
9. THE SOUTHERLY 125 FEET OF LOT 1, BLOCK K WAS CONVEYED VIA WARRANTY DEED FILED MAY 25, 1957 IN BOOK 479D, PAGE 377.
10. THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED IN BOOK A127, PAGE 6607, ON NOVEMBER 28, 2006.

## Legal

LOTS 1-A, 1-B, AND 1-C, OF PLAT OF DIVISION LOT 1 IN BLOCK J OF CENAROCA, A SUBDIVISION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS SHOWN ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 3, 1978, IN PLAT BOOK B15, PAGE 108.

AND

LOT NUMBERED ONE (1), EXCEPT THE SOUTHERLY ONE HUNDRED TWENTY-FIVE FEET (SLY. 125'), THEREOF, IN BLOCK LETTERED "K", OF CENAROCA, A SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 22, 1954, IN PLAT BOOK D1, FOLIO 131.

AND

A PORTION OF HUERFANO ROAD N.E. AS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, WHENCE A TIE TO ACS MONUMENT "2-J23" BEARS N 06°59'03" W, A DISTANCE OF 4239.26 FEET; THENCE, S 00°16'39" E, A DISTANCE OF 353.01 FEET; THENCE, S 27°41'45" E, A DISTANCE OF 198.95 FEET; THENCE, S 00°03'19" E, A DISTANCE OF 402.06 FEET TO THE SOUTHEAST CORNER; THENCE, S 89°58'49" W, A DISTANCE OF 125.00 FEET TO THE SOUTHWEST CORNER; THENCE, N 00°03'19" W, A DISTANCE OF 77.55 FEET; THENCE, 265.18 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 1145.00 FEET, A DELTA OF 13°16'10" AND A CHORD OF N 6°41'24" W, A DISTANCE OF 264.58 FEET; THENCE, 146.92 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 1046.05 FEET, A DELTA OF 8°02'50" AND A CHORD OF N 16°49'41" W, A DISTANCE OF 146.80 FEET; THENCE, 126.59 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 1145.00 FEET, A DELTA OF 6°20'05" AND A CHORD OF N 23°40'05" W, A DISTANCE OF 126.53 FEET; THENCE, 423.61 FEET ALONG AN ARC TO THE RIGHT, HAVING A RADIUS OF 234.99 FEET, A DELTA OF 103°17'04" AND A CHORD OF N 24°48'25" E, A DISTANCE OF 368.54 FEET TO THE POINT OF BEGINNING, CONTAINING 3.0926 ACRES (134,712 SQ. FT.) MORE OR LESS.

## Subdivision Data

GROSS ACREAGE..... 3.0926 ACRES

ZONE ATLAS PAGE NO..... K-23 and L-23

NUMBER OF EXISTING LOTS..... 4

NUMBER OF LOTS CREATED..... 28

NUMBER OF LOTS ELIMINATED..... 4

MILES OF FULL WIDTH STREETS..... 0.00

MILES OF HALF WIDTH STREETS..... 0.17

STREET AREA DEDICATED TO THE CITY OF ALBUQUERQUE..... 0.5235

DATE OF SURVEY..... SEPTEMBER 2005

UTILITY CONTROL LOCATION SYSTEM LOG NUMBER..... 2006261368

ZONING..... SU-1 R-T USES

## Purpose of Plat

1. ELIMINATE LOT LINE AS SHOWN HEREON.
  2. CREATE 28 LOTS.
  3. DEDICATED PUBLIC RIGHT OF WAY AS SHOWN.
  4. GRANT EASEMENTS AS SHOWN.
  5. VACATE RIGHT OF WAY AS SHOWN.
  6. VACATE EASEMENTS AS SHOWN.
- (Handwritten signatures and stamps: 10230574999420501, Tramway Associates Inc, dated 12/18/10)*

## Free Consent and Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE PUBLIC RIGHT OF WAY AS SHOWN HEREON IN FEE SIMPLE WITH WARRANTY COVENANTS, AND GRANT PUBLIC UTILITY EASEMENT SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

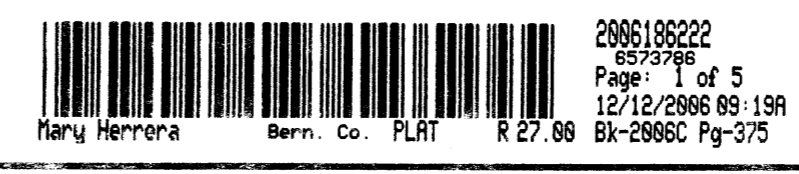
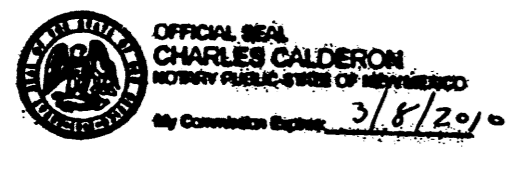
PHIL LINDBORG, DRAGONFLY DEVELOPMENT, INC.

## Acknowledgment

STATE OF NEW MEXICO }  
COUNTY OF BERNALILLO } SS

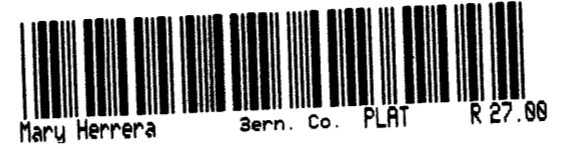
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 9/12/06  
BY PHIL LINDBORG, DRAGONFLY DEVELOPMENT, INC.

NOTARY PUBLIC 3/8/2010 MY COMMISSION EXPIRES



**Legend**

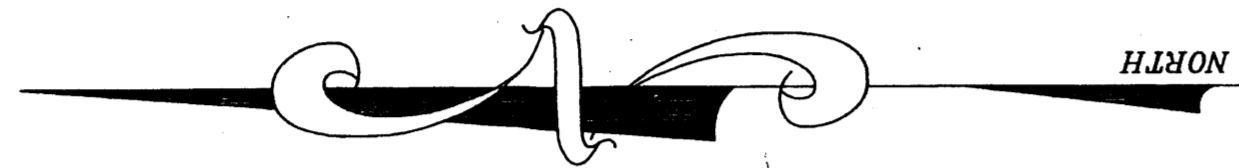
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Plat of  
**THE BLUFFS AT ENCANTADO**

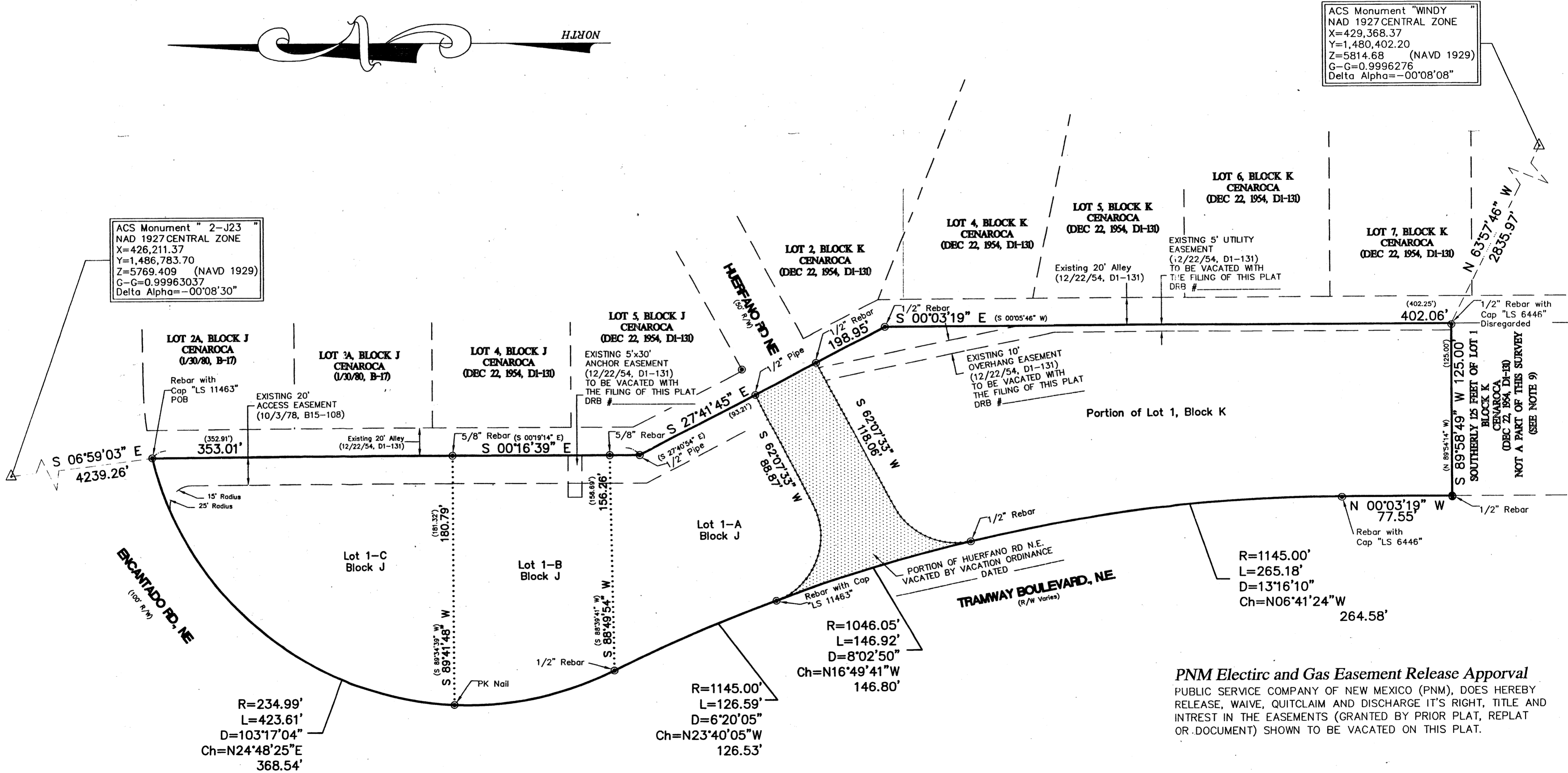
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within  
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City of Albuquerque, Bernalillo County, New Mexico  
September 2006

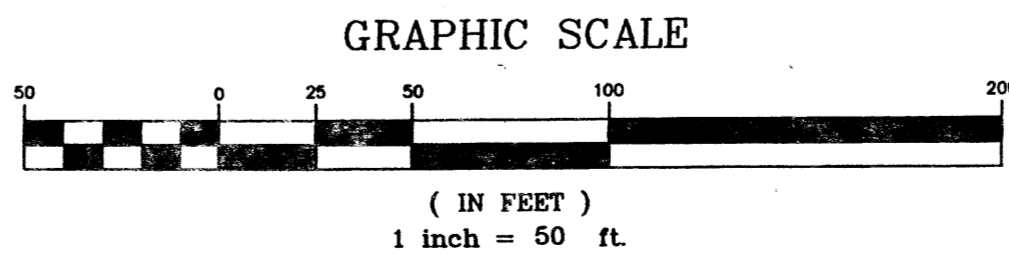


ACS Monument "WINDY"  
NAD 1927 CENTRAL ZONE  
X=429,368.37  
Y=1,480,402.20  
Z=5814.68 (NAVD 1929)  
G-G=0.9996276  
Delta Alpha=-00°08'08"

ACS Monument "2-J23"  
NAD 1927 CENTRAL ZONE  
X=426,211.37  
Y=1,486,783.70  
Z=5769.409 (NAVD 1929)  
G-G=0.99963037  
Delta Alpha=-00°08'30"



**PNM Electric and Gas Easement Release Approval**  
PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), DOES HEREBY RELEASE, WAIVE, QUITCLAIM AND DISCHARGE IT'S RIGHT, TITLE AND INTREST IN THE EASEMENTS (GRANTED BY PRIOR PLAT, REPLAT OR DOCUMENT) SHOWN TO BE VACATED ON THIS PLAT.



**CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244  
Sheet 2 of 5  
052272

# Easement Notes



20 FOOT PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. THE SURFACE AREA TO BE MAINTAINED BY THE OWNER OF LOT 15-P1.

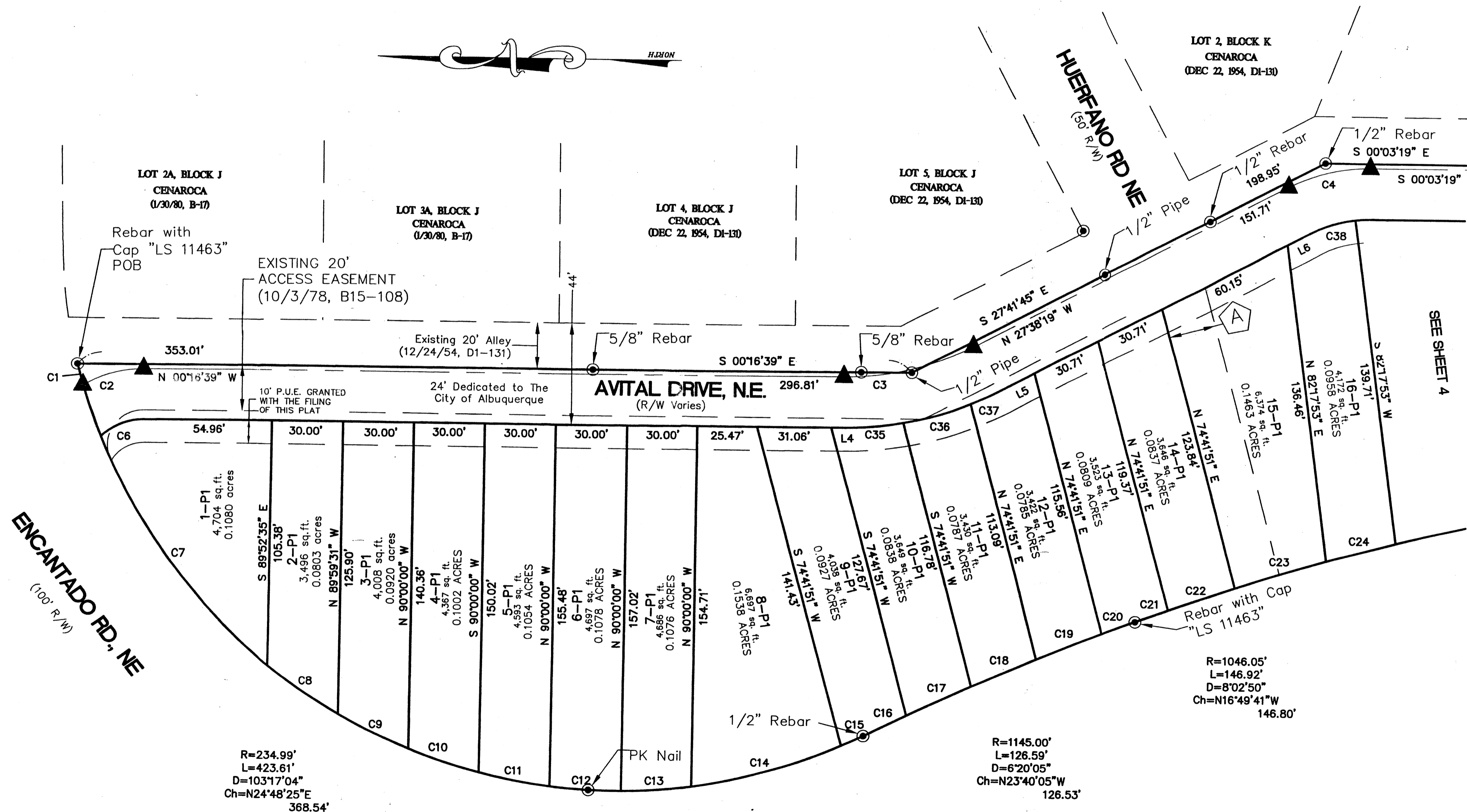
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Bk-2866C Pg-375

Mary Herrera Bern. Co. PLAT R 27.00

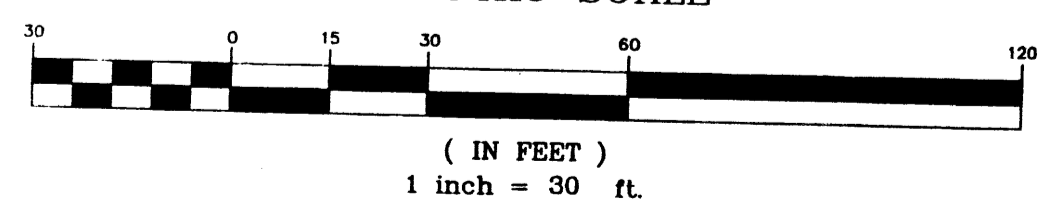
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September 2006



GRAPHIC SCALE



**CARTESIAN SURVEYS INC.**

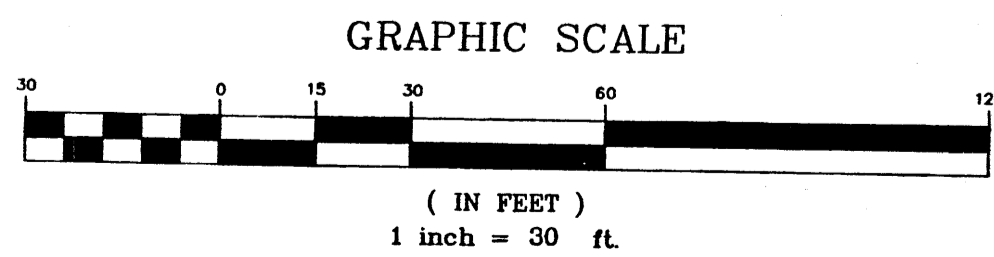
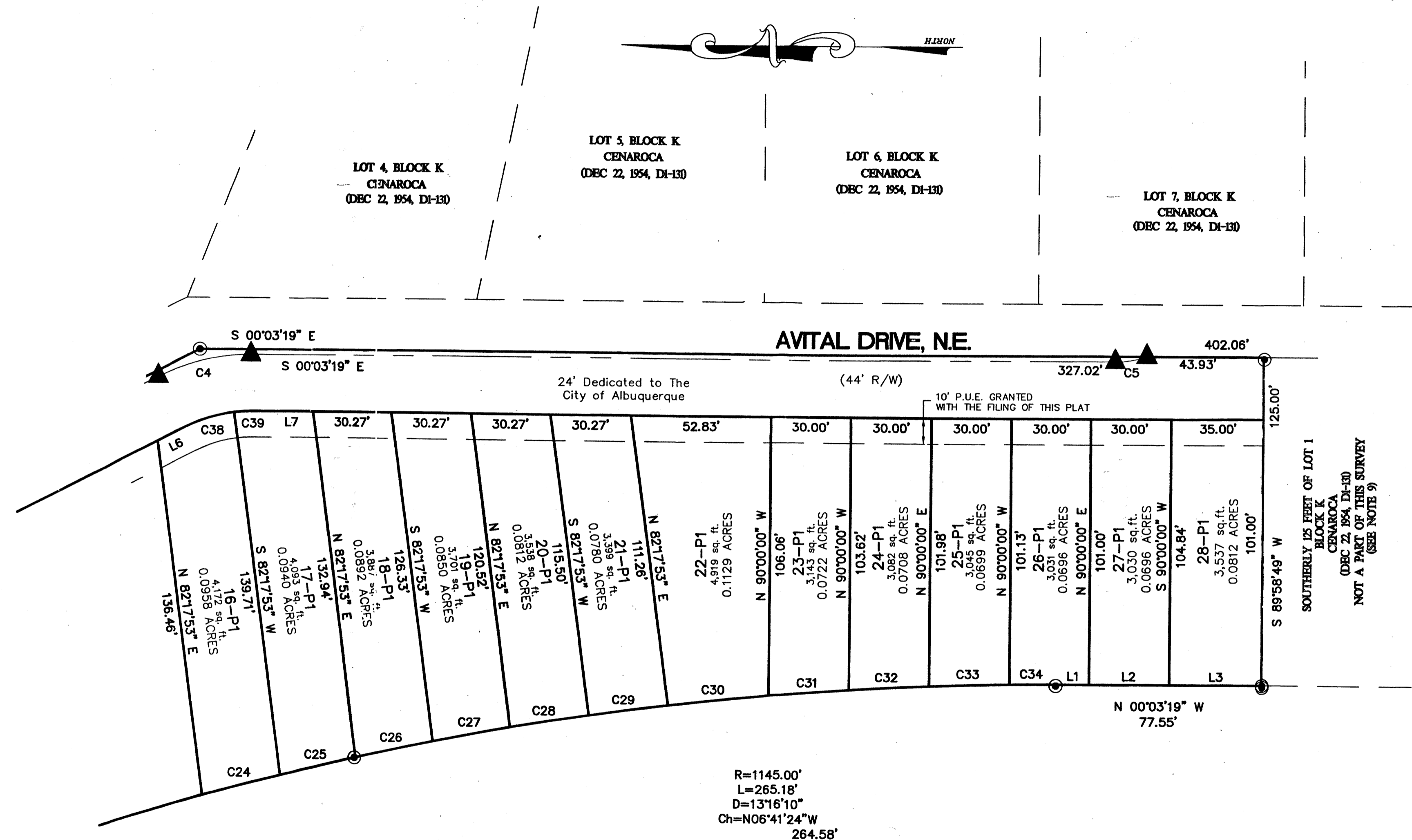
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 Page 4 of 5  
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Page: 5 of 5  
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Bk-2006C Pg-375  
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LINE TABLE		
LINE	LENGTH	BEARING
L1	12.52	N 00°03'19" W
L2	30.00	N 00°03'19" W
L3	35.03	N 00°03'19" W
L4	5.31	S 00°16'39" E
L5	18.14	S 27°38'19" E
L6	12.00	S 27°38'19" E
L7	23.81	S 00°03'19" E
L8	9.30	S 00°03'19" E

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	234.99'	9.56'	2°19'53"	S 75°17'00" W	9.56'
C2	47.00'	26.47'	32°16'12"	N 16°24'45" W	26.12'
C3	120.00'	57.31'	27°21'41"	S 13°57'29" E	56.76'
C4	75.00'	36.11'	27°35'00"	N 13°50'49" W	35.76'
C5	35.71'	12.01'	19°16'04"	S 09°41'21" E	11.95'
C6	25.00'	19.70'	45°08'17"	N 22°50'47" W	19.19'
C7	234.99'	122.98'	29°59'04"	S 53°26'29" W	121.58'
C8	234.99'	36.48'	8°53'38"	S 34°00'08" W	36.44'
C9	234.99'	33.28'	8°06'55"	S 25°29'51" W	33.26'
C10	234.99'	122.98'	29°59'04"	S 53°26'29" W	121.58'
C11	234.99'	30.49'	7°26'01"	S 10°02'37" W	30.47'
C12	234.99'	30.05'	7°19'39"	S 02°39'46" W	30.03'
C13	234.99'	30.12'	7°20'39"	S 04°40'22" E	30.10'
C14	234.99'	65.66'	16°00'31"	S 16°20'57" E	65.44'
C15	234.99'	10.18'	2°28'55"	S 25°35'40" E	10.18'
C16	1145.00'	20.36'	1°01'08"	N 26°19'33" W	20.36'
C17	1145.00'	30.44'	1°31'24"	N 25°03'18" W	30.44'
C18	1145.00'	30.31'	1°31'01"	N 23°32'05" W	30.31'
C19	1145.00'	30.21'	1°30'42"	N 22°01'14" W	30.21'
C20	455.33'	15.32'	1°55'40"	N 20°33'03" W	15.32'
C21	1027.78'	14.81'	0°49'32"	N 20°32'09" W	14.81'
C22	1027.78'	30.07'	1°40'35"	N 19°17'06" W	30.07'
C24	1027.78'	30.27'	1°41'15"	N 15°19'54" W	30.27'
C25	1055.49'	30.16'	1°38'15"	N 13°39'46" W	30.16'
C26	1145.00'	30.11'	1°30'24"	N 12°36'42" W	30.11'
C27	1145.00'	30.05'	1°30'14"	N 11°06'23" W	30.05'
C28	1145.00'	30.02'	1°30'07"	N 09°36'12" W	30.02'
C29	1145.00'	30.00'	1°30'05"	N 08°06'06" W	30.00'
C30	1145.00'	38.16'	1°54'34"	N 06°23'47" W	38.16'
C31	1145.00'	30.10'	1°30'23"	N 04°41'19" W	30.10'
C32	1145.00'	30.05'	1°30'13"	N 03°11'01" W	30.05'
C33	1145.00'	30.01'	1°30'07"	N 01°40'51" W	30.01'
C34	1145.00'	17.48'	0°52'29"	N 00°29'33" W	17.48'
C35	142.00'	25.28'	10°11'59"	S 05°22'39" E	25.25'
C36	142.00'	30.06'	12°07'49"	S 16°32'33" E	30.01'
C37	142.00'	12.47'	5°01'52"	S 25°07'23" E	12.46'
C38	53.00'	19.09'	20°38'20"	N 17°19'09" W	18.99'
C39	53.00'	6.42'	6°56'41"	N 03°31'39" W	6.42'

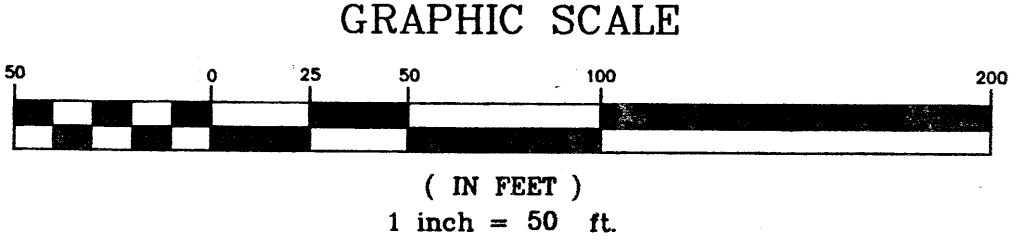
### Public Utility Easements:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF :

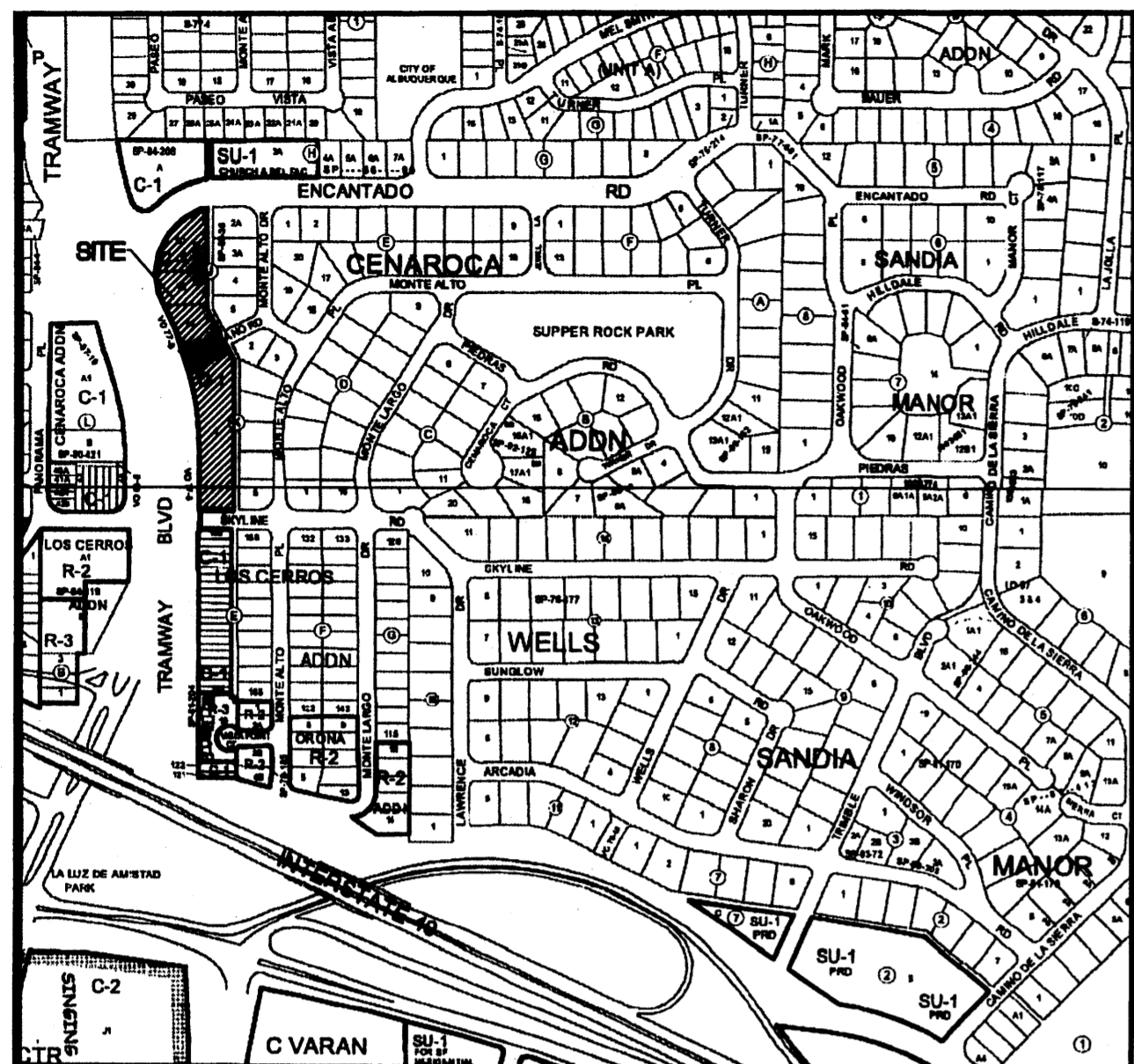
1. THE PNM ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
2. THE PNM GAS SERVICES DIVISION FOR INSTALLATION, MAINTENANCE AND SERVICES OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.



**CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
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Vicinity Map K-23-Z and L-23-Z n.t.s.

**Purpose of Plat**

- 1. ELIMINATE LOT LINE AS SHOWN HEREON.
2. CREATE 28 LOTS.
3. DEDICATED PUBLIC RIGHT OF WAY AS SHOWN.
4. GRANT EASEMENTS AS SHOWN.
5. VACATE RIGHT OF WAY AS SHOWN.
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Signature of Phil Lindborg

PHIL LINDBORG, DRAGONFLY DEVELOPMENT, INC.

**Acknowledgment**

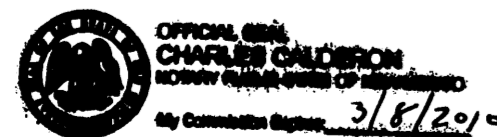
STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 9/12/06 BY PHIL LINDBORG, DRAGONFLY DEVELOPMENT, INC.

Signature of Notary Public

NOTARY PUBLIC

3/8/2010 MY COMMISSION EXPIRES



**Notes**

- 1. FIELD SURVEY PERFORMED IN JUNE 2006.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. BENCHMARK--ACS MONUMENT "21-K23" HAVING AN ELEVATION OF 5708.72 (NAVD 29).
4. THE BASIS OF BEARINGS IS N.M.P.S. (NAD 27--GRID) REFERENCING THE ACS MONUMENTS AS SHOWN HEREON.
5. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 23 & 26, TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM.
6. ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THUS A. ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT-- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
7. LOT LINES ELIMINATED BY THIS PLAT SHOWN AS THUS.....
8. A TEMPORARY EASEMENT EXISTS ACROSS THE SUBJECT PROPERTY BENEFITING THE CITY OF ALBUQUERQUE, TERMINATING UPON APPROVAL OF A SITE DEVELOPMENT PLAN PER DOCUMENT FILED AUGUST 22, 1988, IN BOOK MISC. 656A, PAGE 594. THE DOCUMENT CREATING THE SUBJECT EASEMENT IS ILLEGIBLE AND THEREFORE THE LOCATION CANNOT BE PLACED ON THE DRAWING WITH ANY TYPE OF ACCURACY--VACATED WITH THE FILING OF THIS PLAT.
9. THE SOUTHERLY 125 FEET OF LOT 1, BLOCK K WAS CONVEYED VIA WARRANTY DEED FILED MAY 25, 1957 IN BOOK 479D, PAGE 377.
10. THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED IN BOOK A127, PAGE 6607, ON NOVEMBER 28, 2006.

**Legal**

LOTS 1-A, 1-B, AND 1-C, OF PLAT OF DIVISION LOT 1 IN BLOCK J OF CENAROCA, A SUBDIVISION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS SHOWN ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 3, 1978, IN PLAT BOOK B15, PAGE 108. AND LOT NUMBERED ONE (1), EXCEPT THE SOUTHERLY ONE HUNDRED TWENTY-FIVE FEET (S.L.Y. 125'), THEREOF, IN BLOCK LETTERED "K", OF CENAROCA, A SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 22, 1954, IN PLAT BOOK D1, FOLIO 131. AND A PORTION OF HUERFANO ROAD N.E. AS DESCRIBED BY METES AND BOUNDS AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, WHENCE A TIE TO ACS MONUMENT "2-J23" BEARS N 06°59'03" W, A DISTANCE OF 4239.26 FEET; THENCE, S 00°16'39" E, A DISTANCE OF 353.01 FEET; THENCE, S 27°41'45" E, A DISTANCE OF 198.95 FEET; THENCE, S 00°03'19" E, A DISTANCE OF 402.06 FEET TO THE SOUTHEAST CORNER; THENCE, S 89°58'49" W, A DISTANCE OF 125.00 FEET TO THE SOUTHWEST CORNER; THENCE, N 00°03'19" W, A DISTANCE OF 77.55 FEET; THENCE, 265.18 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 1145.00 FEET, A DELTA OF 13°16'10" AND A CHORD OF N 6°41'24" W, A DISTANCE OF 264.58 FEET; THENCE, 146.92 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 1046.05 FEET, A DELTA OF 8°02'50" AND A CHORD OF N 16°49'41" W, A DISTANCE OF 146.80 FEET; THENCE, 126.59 FEET ALONG AN ARC TO THE LEFT, HAVING A RADIUS OF 1145.00 FEET, A DELTA OF 6°20'05" AND A CHORD OF N 23°40'05" W, A DISTANCE OF 126.53 FEET; THENCE, 423.61 FEET ALONG AN ARC TO THE RIGHT, HAVING A RADIUS OF 234.99 FEET, A DELTA OF 103°17'04" AND A CHORD OF N 24°48'25" E, A DISTANCE OF 368.54 FEET TO THE POINT OF BEGINNING, CONTAINING 3.0926 ACRES (134,712 SQ. FT.) MORE OR LESS.

**Subdivision Data**

GROSS ACREAGE..... 3.0926 ACRES
ZONE ATLAS PAGE NO..... K-23 AND L-23
NUMBER OF EXISTING LOTS..... 4
NUMBER OF LOTS CREATED..... 28
NUMBER OF LOTS ELIMINATED..... 4
MILES OF FULL WIDTH STREETS..... 0.00
MILES OF HALF WIDTH STREETS..... 0.17
STREET AREA DEDICATED TO THE CITY OF ALBUQUERQUE..... 0.5235
DATE OF SURVEY..... SEPTEMBER 2005
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER..... 2006261368
ZONING..... SU-1 R-T USES

**Plat of THE BLUFFS AT ENCANTADO**

(Lots 1A, 1B, and 1C, Block J Cenaroca and Lot 1, Block K, Cenaroca Except the South 125' and a vacated portion of Huerfano Road NE)

Section 23 and 26, Township 10 North, Range 4 East, NMPM City of Albuquerque, Bernalillo County, New Mexico September 2006

**Approved and Accepted by:**

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number

Application Number

Plat approve:

PRELIMINARY PLAT APPROVED BY DRB ON 12/06/06

PNM Electric Services

Date

PNM Gas Services

Date

QWest

Date

Comcast

Date

City approve:

City Surveyor

Date

Traffic Engineer

Date

Water Utilities Development

Date

Parks and Recreation Department

Date

AMAFA

Date

City Engineer

Date

DRB Chairperson, Planning Department

Date

**Surveyor's Certificate**

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS LISTED IN THE TITLE COMMITMENTS PREPARED BY RIO GRANDE TITLE DATED SEPTEMBER 7, 2005 (FILE NUMBER 02506861) AND SEPTEMBER 2, 2005 (FILE NUMBER 02506860) AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Signature of Will Plotner Jr. 9/9/06 DATE

WILL PLOTNER JR. N.M.P.S. No. 14271



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174 Phone (505) 896-3050 Fax (505) 891-0244

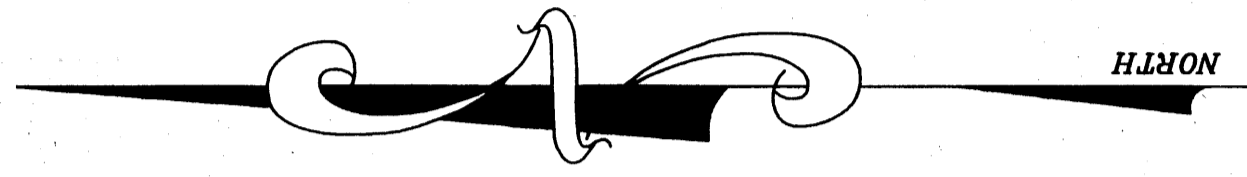
# Legend

● FOUND AS INDICATED

# Plat of THE BLUFFS AT ENCANTADO

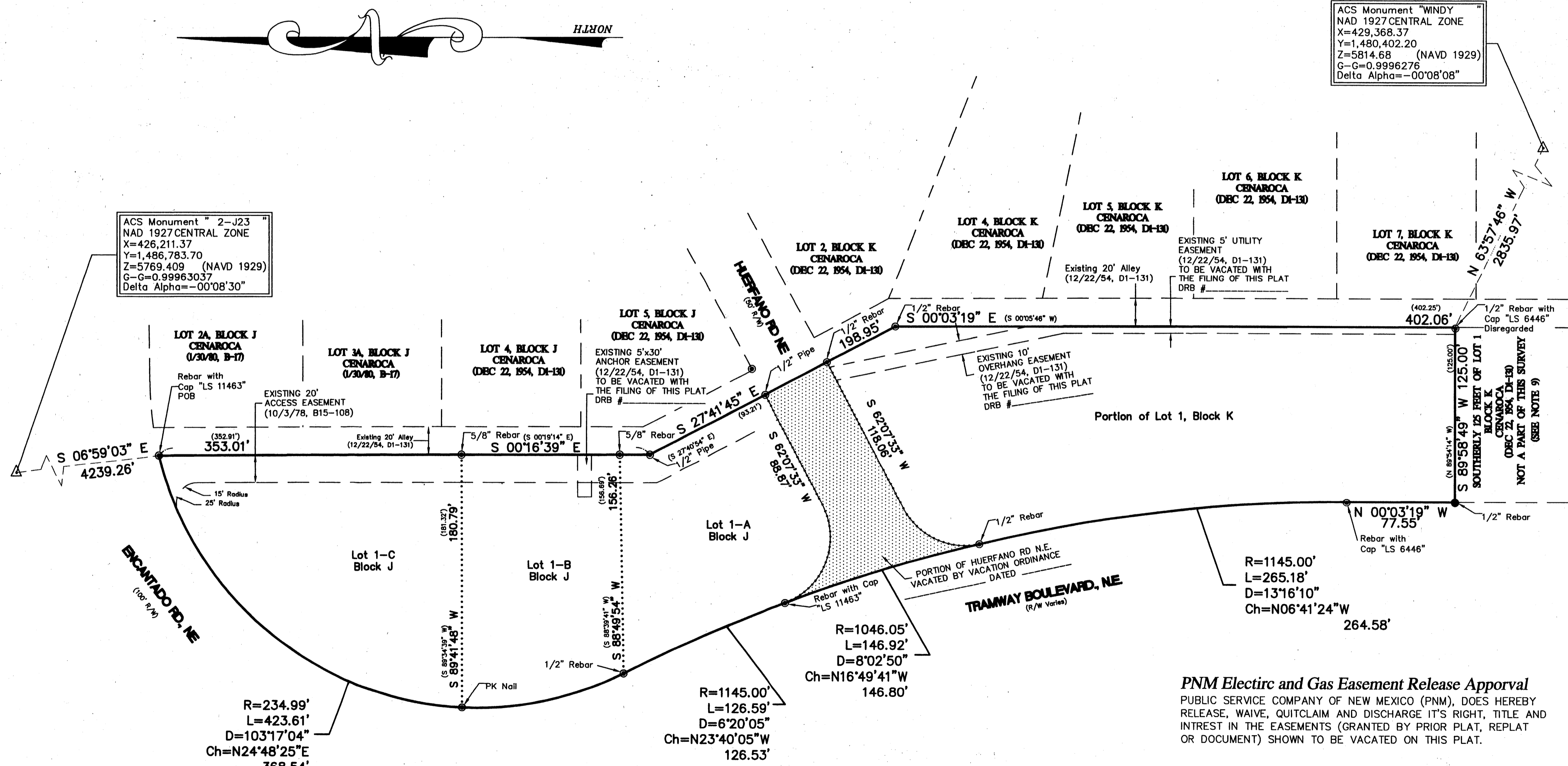
(Lots 1A, 1B, and 1C, Block J Cenaroca and Lot 1, Block K, Cenaroca Except the South 125' and a vacated portion of Herfano Road NE)

within  
Section 23 and 26, Township 10 North, Range 4 East, NMPM  
City of Albuquerque, Bernalillo County, New Mexico  
September 2006

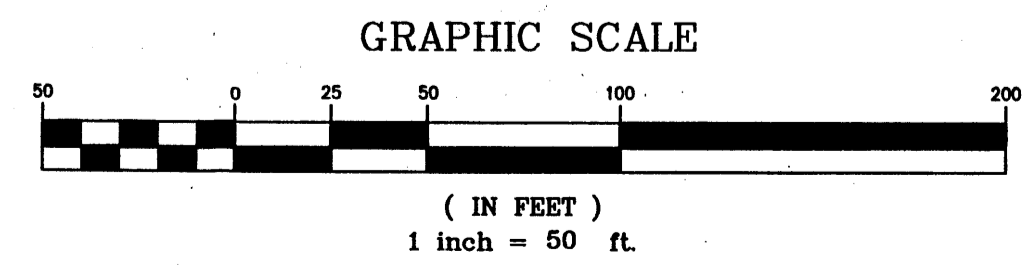


ACS Monument "WINDY"  
NAD 1927 CENTRAL ZONE  
X=429,368.37  
Y=1,480,402.20  
Z=5814.68 (NAVD 1929)  
G-G=0.9996276  
Delta Alpha=-00°08'08"

ACS Monument "2-J23"  
NAD 1927 CENTRAL ZONE  
X=426,211.37  
Y=1,486,783.70  
Z=5769.409 (NAVD 1929)  
G-G=0.99963037  
Delta Alpha=-00°08'30"



**PNM Electric and Gas Easement Release Approval**  
PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), DOES HEREBY RELEASE, WAIVE, QUITCLAIM AND DISCHARGE IT'S RIGHT, TITLE AND INTEREST IN THE EASEMENTS (GRANTED BY PRIOR PLAT, REPLAT OR DOCUMENT) SHOWN TO BE VACATED ON THIS PLAT.



**CARTESIAN SURVEYS INC.**

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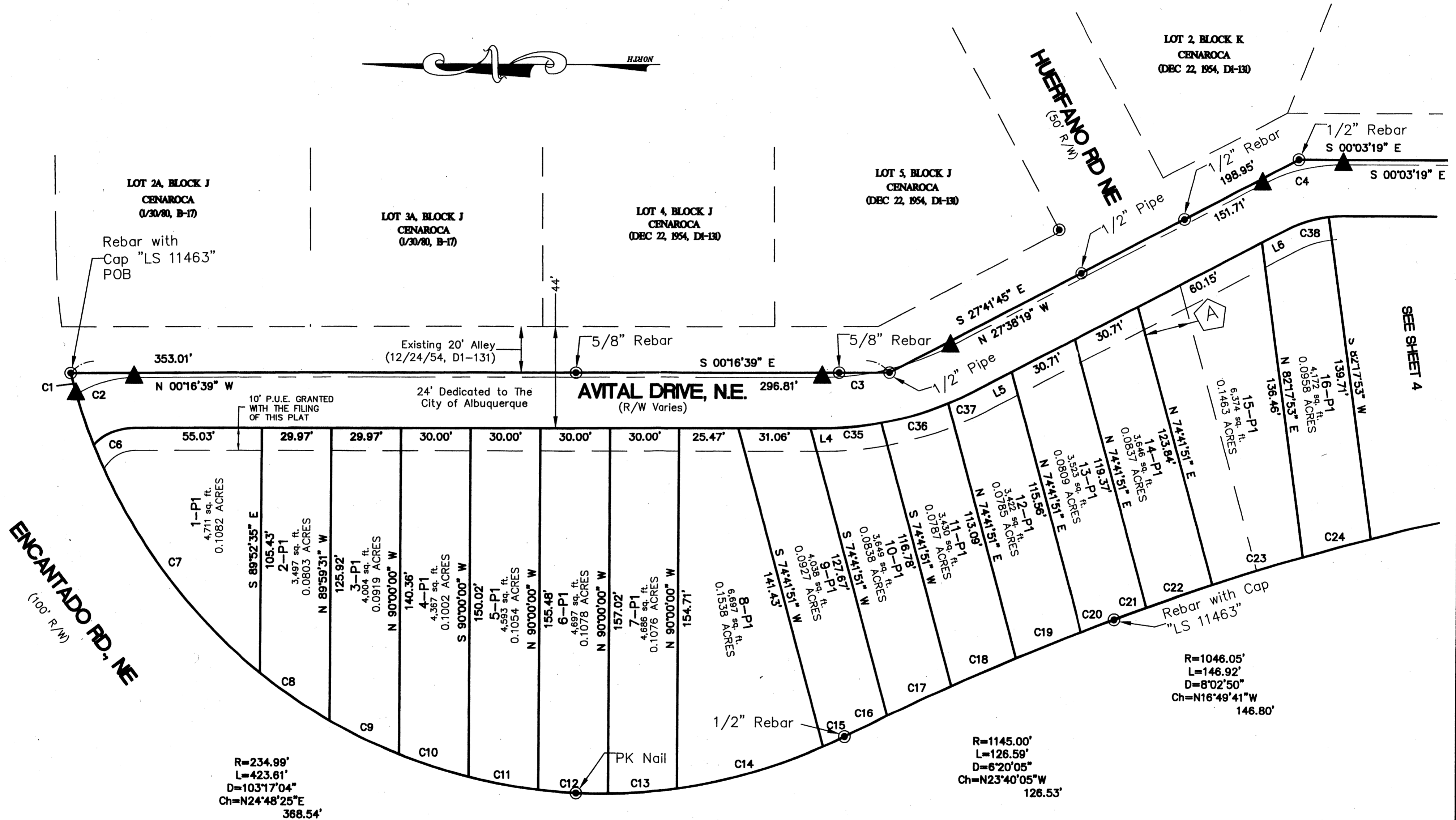
# Easement Notes

**A** 20 FOOT PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. THE SURFACE AREA TO BE MAINTAINED BY THE OWNER OF LOT 15-P1.

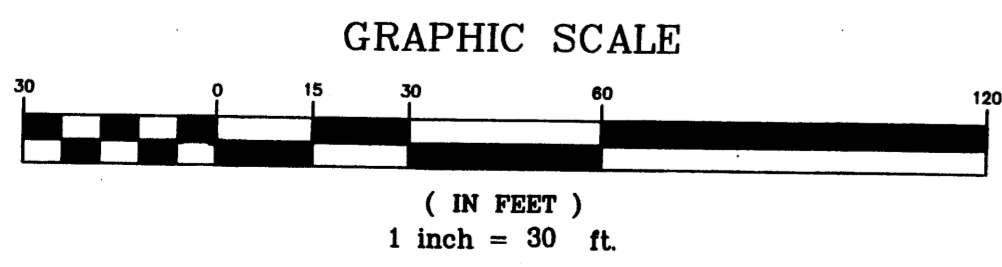
# Plat of THE BLUFFS AT ENCANTADO

(Lots 1A, 1B, and 1C, Block J Cenaroca and Lot 1, Block K, Cenaroca Except the South 125' and a vacated portion of Herfano Road NE)

within Section 23 and 26, Township 10 North, Range 4 East, NMPM City of Albuquerque, Bernalillo County, New Mexico  
September 2006



SEE SHEET 4



TRAMWAY BOULEVARD, N.E.  
(R/W Varies)

**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244



# Plat of THE BLUFFS AT ENCANTADO

(Lots 1A, 1B, and 1C, Block J Cenaroca and  
Lot 1, Block K, Cenaroca Except the South 125'  
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September 2006



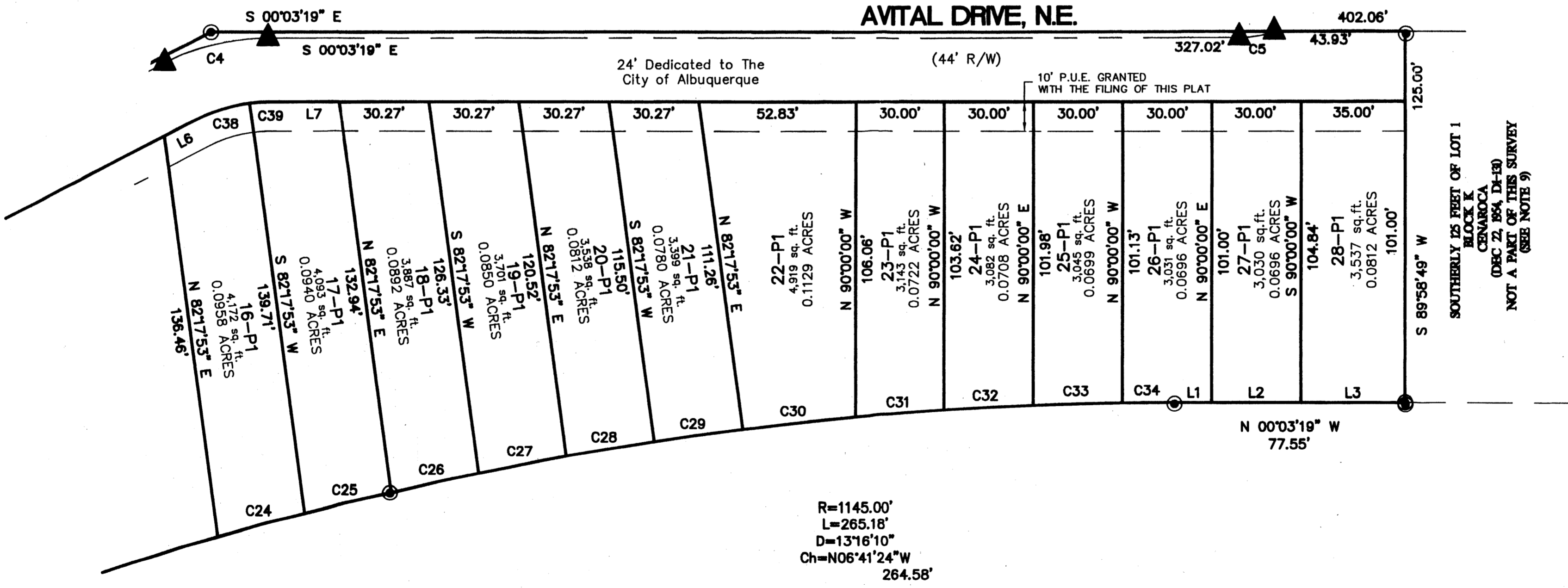
LOT 4, BLOCK K  
CENAROCA  
(DEC 22, 1954, D1-13)

LOT 5, BLOCK K  
CENAROCA  
(DEC 22, 1954, D1-13)

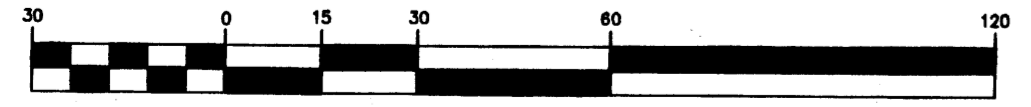
LOT 6, BLOCK K  
CENAROCA  
(DEC 22, 1954, D1-13)

LOT 7, BLOCK K  
CENAROCA  
(DEC 22, 1954, D1-13)

## AVITAL DRIVE, N.E.



GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

### CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

# Plat of THE BLUFFS AT ENCANTADO

(Lots 1A, 1B, and 1C, Block J Cenaroca and  
Lot 1, Block K, Cenaroca Except the South 125'  
and a vacated portion of Herfano Road NE)

within  
Section 23 and 26, Township 10 North, Range 4 East, NMPM  
City of Albuquerque, Bernalillo County, New Mexico  
September 2006

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.52	N 00°03'19" W
L2	30.00	N 00°03'19" W
L3	35.03	N 00°03'19" W
L4	5.31	S 00°16'39" E
L5	18.14	S 27°38'19" E
L6	12.00	S 27°38'19" E
L7	23.81	S 00°03'19" E
L8	9.30	S 00°03'19" E

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	234.99'	9.56'	2°19'53"	S 75°17'00" W	9.56'
C2	47.00'	26.47'	32°16'12"	N 16°24'45" W	26.12'
C3	120.00'	57.31'	27°21'41"	S 13°57'29" E	56.76'
C4	75.00'	36.11'	27°35'00"	N 13°50'49" W	35.76'
C5	35.71'	12.01'	19°16'04"	S 09°41'21" E	11.95'
C6	25.00'	19.70'	45°08'17"	N 22°50'47" W	19.19'
C7	234.99'	123.06'	30°00'17"	S 53°25'53" W	121.66'
C8	234.99'	36.43'	8°53'00"	S 33°59'14" W	36.40'
C9	234.99'	33.24'	8°06'21"	S 25°29'34" W	33.22'
C10	234.99'	31.50'	7°40'47"	S 17°36'01" W	31.47'
C11	234.99'	30.49'	7°26'01"	S 10°02'37" W	30.47'
C12	234.99'	30.05'	7°19'39"	S 02°39'46" W	30.03'
C13	234.99'	30.12'	7°20'39"	S 04°40'22" E	30.10'
C14	234.99'	65.66'	16°00'31"	S 16°20'57" E	65.44'
C15	234.99'	10.18'	2°28'55"	S 25°35'40" E	10.18'
C16	1145.00'	20.36'	1°01'08"	N 26°19'33" W	20.36'
C17	1145.00'	30.44'	1°31'24"	N 25°03'18" W	30.44'
C18	1145.00'	30.31'	1°31'01"	N 23°32'05" W	30.31'
C19	1145.00'	30.21'	1°30'42"	N 22°01'14" W	30.21'
C20	455.33'	15.32'	1°55'40"	N 20°33'03" W	15.32'
C21	1027.78'	14.81'	0°49'32"	N 20°32'09" W	14.81'
C22	1027.78'	30.07'	1°40'35"	N 19°17'06" W	30.07'
C24	1027.78'	30.27'	1°41'15"	N 15°19'54" W	30.27'
C25	1055.49'	30.16'	1°38'15"	N 13°39'46" W	30.16'
C26	1145.00'	30.11'	1°30'24"	N 12°36'42" W	30.11'
C27	1145.00'	30.05'	1°30'14"	N 11°06'23" W	30.05'
C28	1145.00'	30.02'	1°30'07"	N 09°36'12" W	30.02'
C29	1145.00'	30.00'	1°30'05"	N 08°06'06" W	30.00'
C30	1145.00'	38.16'	1°54'34"	N 06°23'47" W	38.16'
C31	1145.00'	30.10'	1°30'23"	N 04°41'19" W	30.10'
C32	1145.00'	30.05'	1°30'13"	N 03°11'01" W	30.05'
C33	1145.00'	30.01'	1°30'07"	N 01°40'51" W	30.01'
C34	1145.00'	17.48'	0°52'29"	N 00°29'33" W	17.48'
C35	142.00'	25.28'	10°11'59"	S 05°22'39" E	25.25'
C36	142.00'	30.06'	12°07'49"	S 16°32'33" E	30.01'
C37	142.00'	12.47'	5°01'52"	S 25°07'23" E	12.46'
C38	53.00'	19.09'	20°38'20"	N 17°19'09" W	18.99'
C39	53.00'	6.42'	6°56'41"	N 03°31'39" W	6.42'
C40	57.71'	21.17'	21°01'13"	S 10°33'55" E	21.05'
C41	57.71'	16.62'	16°30'06"	S 29°19'34" E	16.56'
C42	27.27'	21.82'	45°51'20"	N 14°38'57" W	21.24'

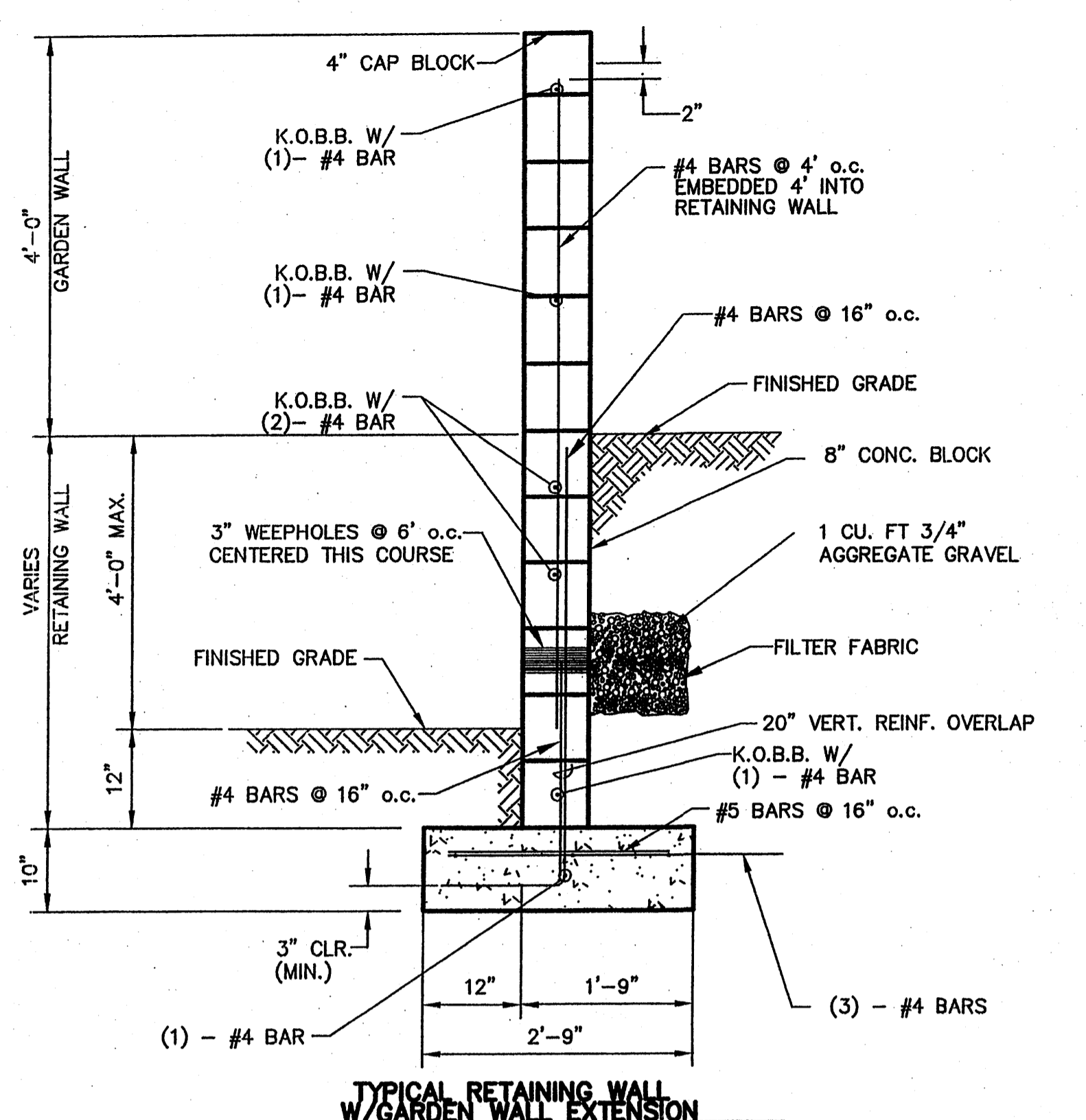
GRAPHIC SCALE



( IN FEET )  
1 inch = 50 ft.

**CARTESIAN SURVEYS INC.**

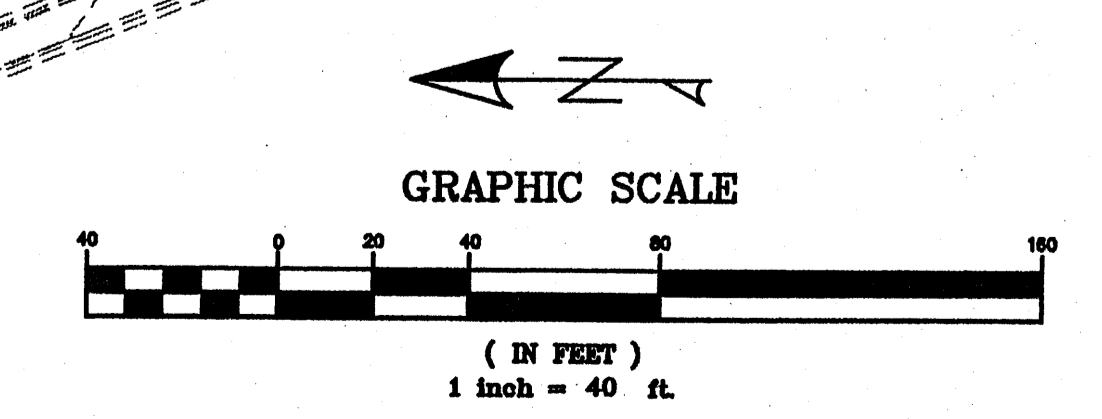
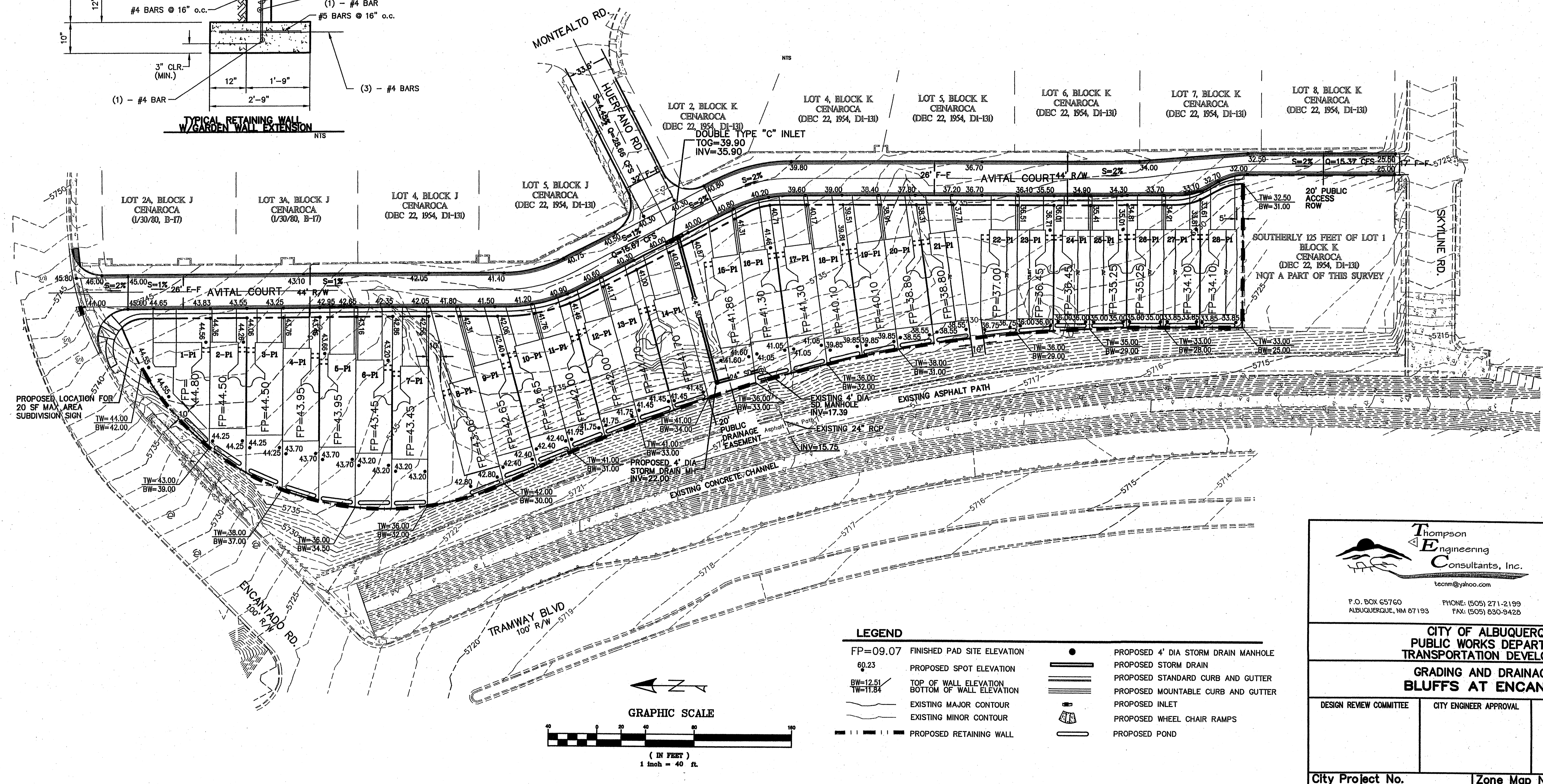
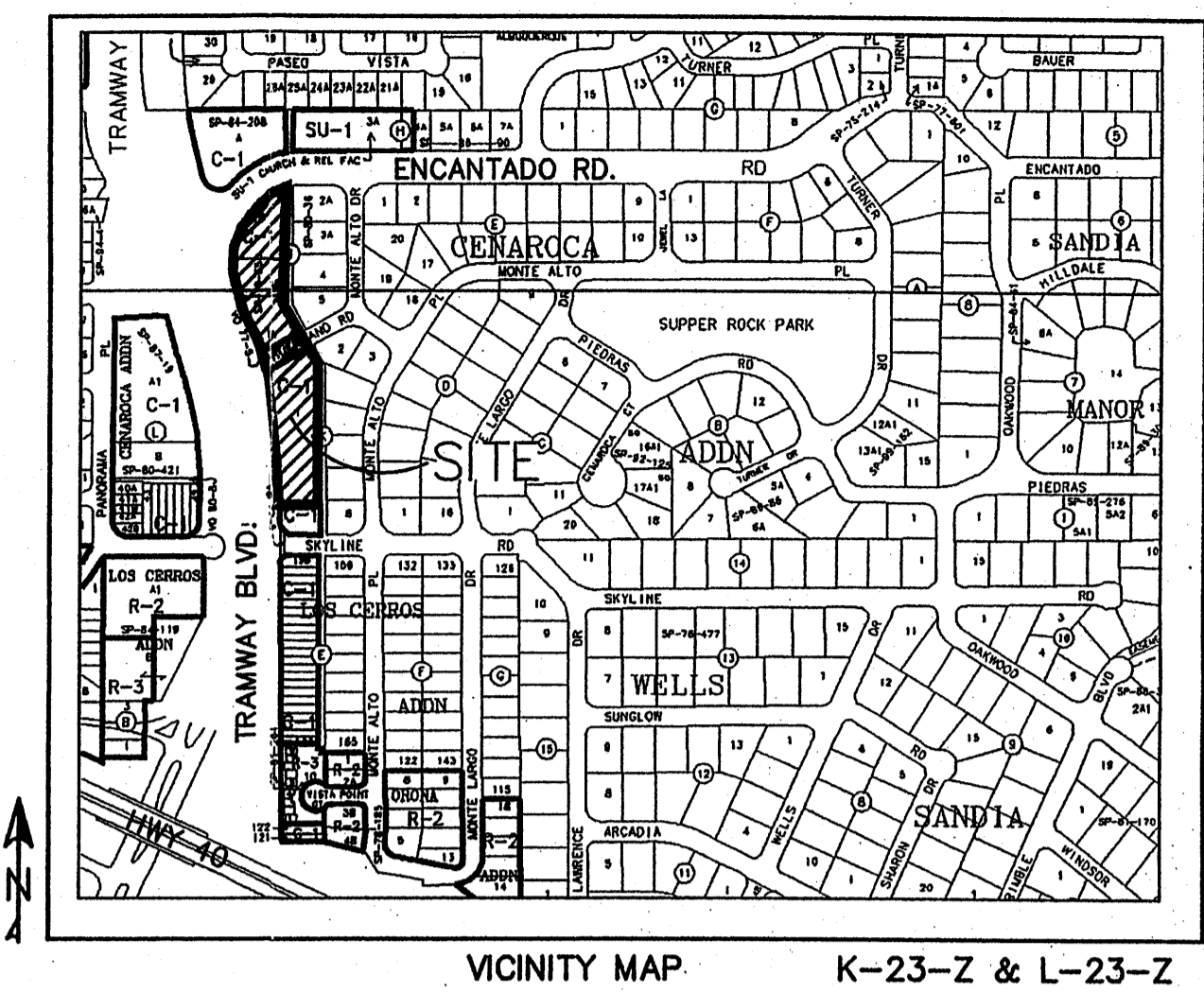
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244



**APPROVED FOR ROUGH GRADING**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**LEGAL DESCRIPTION**  
 LOTS 1A, 1B, & 1C, BLOCK K  
 AND A PROTION OF LOT 1, BLOCK K  
 CENAROCA SUBDIVISION



- LEGEND**
- FP=09.07 FINISHED PAD SITE ELEVATION
  - 60.23 PROPOSED SPOT ELEVATION
  - BW=12.51 TOP OF WALL ELEVATION
  - TW=11.84 BOTTOM OF WALL ELEVATION
  - EXISTING MAJOR CONTOUR
  - - - EXISTING MINOR CONTOUR
  - - - - - PROPOSED RETAINING WALL
  - PROPOSED 4' DIA STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN
  - PROPOSED STANDARD CURB AND GUTTER
  - PROPOSED MOUNTABLE CURB AND GUTTER
  - PROPOSED INLET
  - PROPOSED WHEEL CHAIR RAMPS
  - PROPOSED POND

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY	NO.	DATE
WORK SCHEDULED BY	DATE	NO.	BY	NO.	BY	NO.	DATE
FIELD CHECKED BY	DATE	NO.	BY	NO.	BY	NO.	DATE
DRAWINGS CORRECTED BY	DATE	NO.	BY	NO.	BY	NO.	DATE
MICRO-FILM INFORMATION	DATE	NO.	BY	NO.	BY	NO.	DATE
RECORDED BY	DATE	NO.	BY	NO.	BY	NO.	DATE

DESIGNED BY DBT	DATE	DESIGN	DATE
DRAWN BY DEN	DATE	REMARKS	DATE
CHECKED BY DBT	DATE		

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

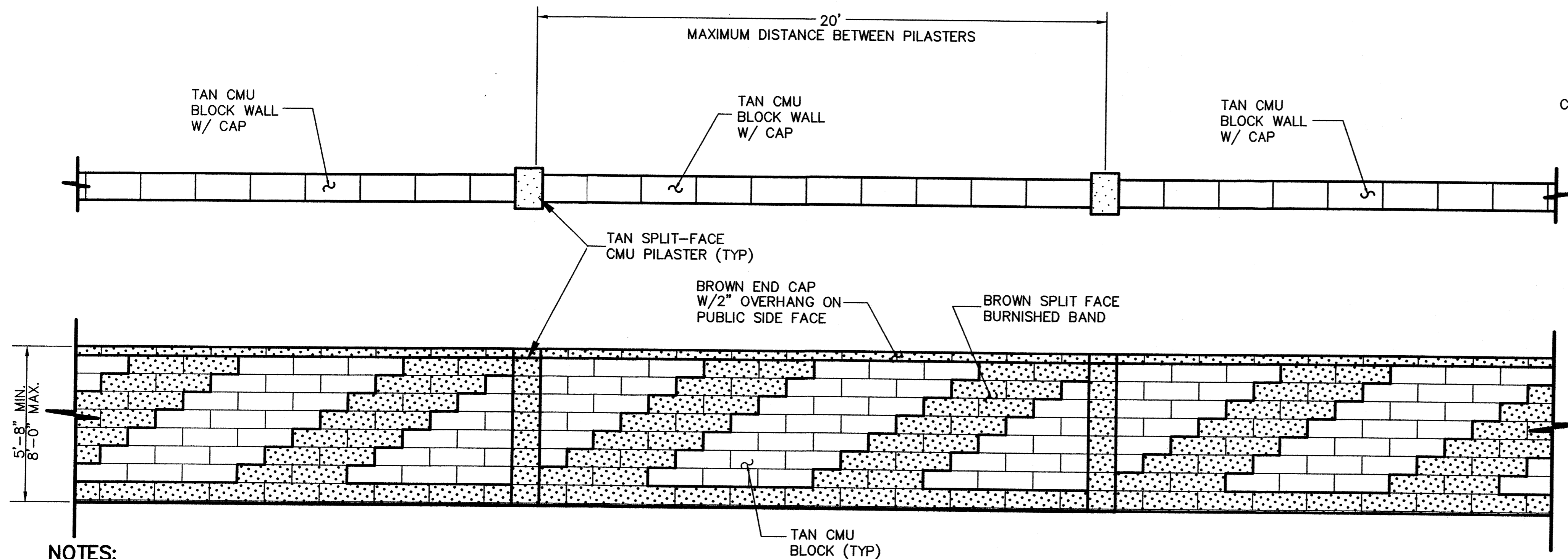
  

City Project No.	Zone Map No.	Sheet	Of
	K & L-23-Z	1	1

**Thompson Engineering Consultants, Inc.**  
 tecm@yahoo.com  
 P.O. BOX 65760 ALBUQUERQUE, NM 87193  
 PHONE: (505) 271-2199 FAX: (505) 830-9428

**CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT**

**GRADING AND DRAINAGE PLAN BLUFFS AT ENCANTADO**



**NOTES:**

- CONTRACTOR TO PROVIDE ENGINEERING DESIGN FOR REINFORCED WALL & WALL FOOTING BASED ON THE SITE GEOTECHNICAL REPORT.
- FOR LOTS 1-7, 14-20, 23-27 MAXIMUM RETAINED HEIGHT FOR PERIMETER DECORATIVE WALL IS 5'-0".
- FOR LOTS 8-13, 21, 22, & 28 PERIMETER DECORATIVE WALL SHALL BE STEPPED. WALL SEGMENT ON PROPERTY LINE SHALL HAVE MAXIMUM RETAINED HEIGHT OF 6'. WALL SEGMENT 5' INSIDE PROPERTY SHALL HAVE MAXIMUM RETAINED HEIGHT OF 4'.

**DECORATIVE WALL DETAIL**  
NTS

**SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN REQUIREMENTS**

This property, four lots consisting of approximately 3 acres was zoned SU-1 for RT uses in Project #1004496, 05EPC-01805. The site plan for subdivision was approved by the EPC 06EPC-00138 on March 16, 2006. Applicants contemporaneously request approvals of vacation of a portion of Huerfano, subdivision into 28 townhouse lots, and site development plan for subdivision.

Maximum and minimum number of dwelling units: there shall be a maximum of 28 townhouse dwelling units for an approximate density of 9 dwelling units per acre. Section 14-16-1-5 defines townhouse as one of two to eight attached dwelling units. This site plan contemplates four groups of seven attached units.

Minimum Dwelling size: The minimum size of dwelling unit shall be 2000 square feet of heated living area.

Maximum and minimum lot sizes: the minimum lot size will be 30' x 100', although many of the lots will be wider and/or deeper, as permissive in the RT zone.

Maximum building height: 26 feet in all locations as controlled by the RT zone.

Minimum building setbacks: Front yard setback shall be 15 feet. Rear yard setback shall be 15 feet. Side yard setbacks shall be 10 feet on the street side of corner lots; otherwise there shall be no required side yard setback. There shall be a distance of not less than 10 feet between residential buildings.

Architectural design standards: The units shall be attached townhouses, designed in the "Tuscan in the Southwest" style. The Tuscan elements include tile roofs, turret entryway, arched windows and stone features. The Southwest elements include the exterior color scheme, archways, Taos style clustering of multiple properties, landscaping and interiors. Each unit shall include an enclosed front courtyard and turreted entry. The exterior wall materials shall include earth tone stucco with stone accents. Each dwelling may have a combination of flat, shed and pitched roofs, with tile roofs, colored to compliment the exterior color of the dwelling.

Garage doors: High quality garage doors shall be used to alleviate the impact of a garage dominated street face. Appropriate garage doors shall include solid wood, wood with windows and/or metal with windows, painted to match the building exterior. A minimum of three (3) separate type of garage door shall be utilized and shall be varied from lot to lot.

Placement of mechanical units: these units shall be located on the ground or, if roof mounted shielded from view from the public right of way.

Grading and drainage: A grading and drainage plan has been prepared and submitted for approval to the City in conjunction with the Subdivision of this property.

Landscape design standards and maintenance: The landscaping in the courtyard, front and street side yards shall be installed by the Builder. Each unit shall have at least one tree and maintenance is the responsibility of the individual homeowner.

Off street parking: 2 standard off street parking spaces will be provided for each dwelling, in addition to garage space.

Solid Waste automated carts: Residential automated solid waste carts shall be stored so that they are not visible from the street or located inside the garage.

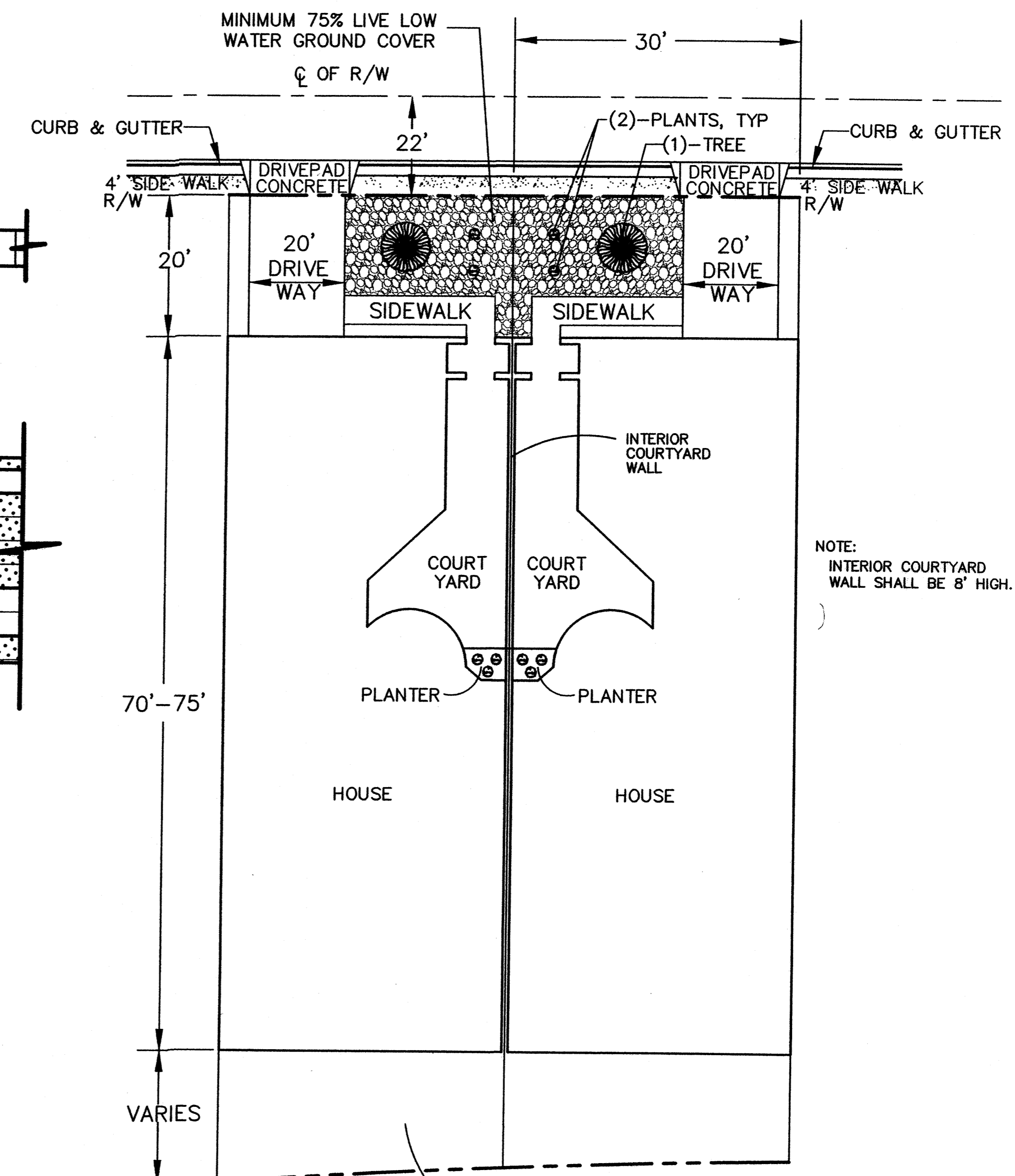
Site lighting and signage: No project site lighting is planned, but streetlights will be allowed if deemed appropriate by PNM. There may be a single project sign at Encantado entrance to the subdivision.

Design of walls and fences visible from public right of way: The perimeter wall design meets the City's newly adopted wall standards and will be approved as a part of the Development Review Board (DRB) signoff.

Pedestrian amenities: Public 4 foot sidewalks shall be provided on all streets within the development.

Accessory buildings: No accessory buildings will be allowed on the lots.

Site Plan(s) for Building Permit: Individual site plans for building permit may be submitted for building permit approval under the Uniform Building Code, without additional review by the EPC or DRB.(section 14-16-2-22 (B) 24)



NOTE: INTERIOR COURTYARD WALL SHALL BE 8' HIGH.

**TYPICAL LOT PLAN**  
NTS

**Thompson Engineering Consultants, Inc.**  
P.O. BOX 65760 ALBUQUERQUE, NM 87193  
PHONE: (505) 271-2199 FAX: (505) 830-9426

AS BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
DRAWN BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
NO.	DATE

BENCH MARK	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL	

REMARKS	

DESIGN	
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
TRANSPORTATION DEVELOPMENT**

**SITE PLAN FOR SUBDIVISION  
BLUFFS AT ENCANTADO**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

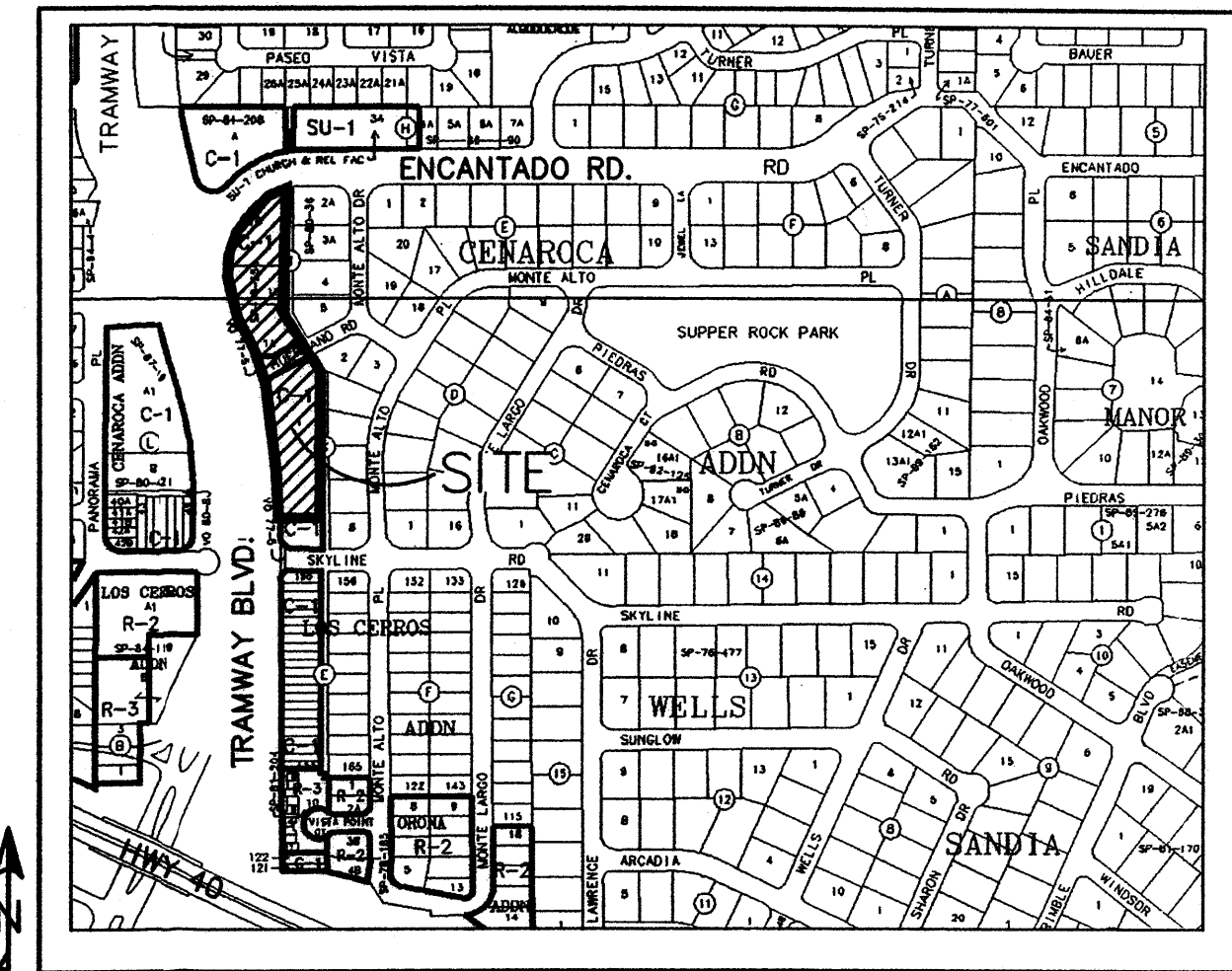
City Project No.	Zone Map No. K & L-23-Z	Sheet 2	Of 2
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PROJECT NUMBER: 1004496  
 APPLICATION NUMBER: 06EPC-00138 / 06DRB-00671

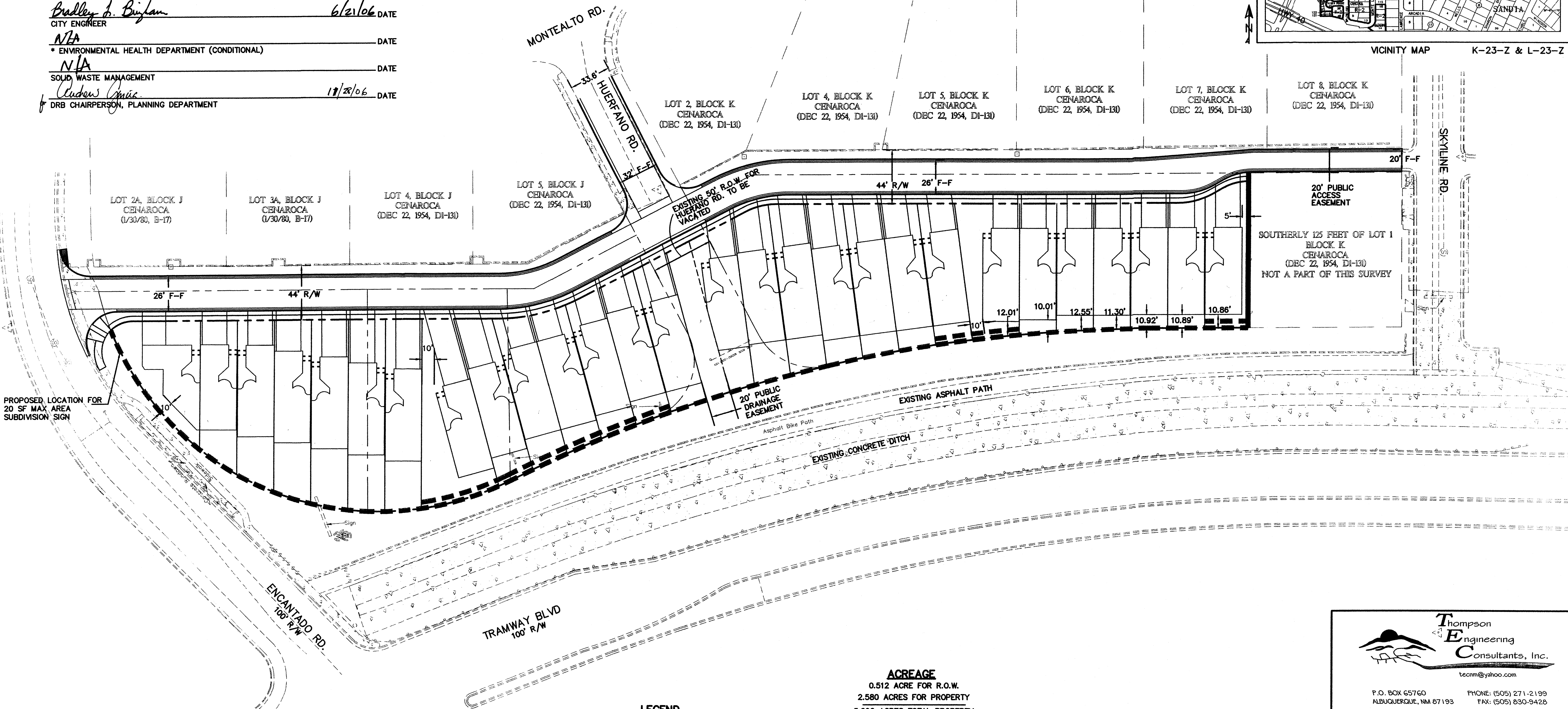
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 3-17-06 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED?  YES  NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 6-21-06 DATE  
Roger J. Dean 6-21-06 DATE  
 WATER UTILITIES DEPARTMENT  
Christine Sandoval 6/21/06 DATE  
 PARKS AND RECREATION DEPARTMENT  
Budley L. Byham 6/21/06 DATE  
 CITY ENGINEER  
N/A DATE  
 \* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)  
N/A DATE  
 SOLID WASTE MANAGEMENT  
Cedric Amis 11/28/06 DATE  
 DRB CHAIRPERSON, PLANNING DEPARTMENT



VICINITY MAP K-23-Z & L-23-Z



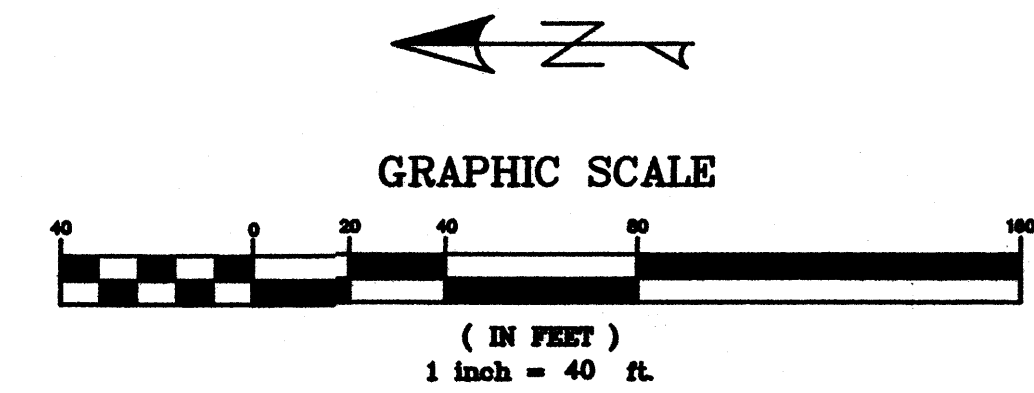
PROPOSED LOCATION FOR 20 SF MAX AREA SUBDIVISION SIGN

**LEGEND**  
 — PERIMETER WALL LOCATION  
 - - - DECORATIVE WALL LOCATION

**NOTE**  
 EXISTING OFF-PREMISE SIGNS MUST BE REMOVED.

**ACREAGE**  
 0.512 ACRE FOR R.O.W.  
 2.580 ACRES FOR PROPERTY  
 3.092 ACRES TOTAL PROPERTY

**USEABLE OPEN SPACE**  
 TOTAL OPEN SPACE 43,669 SF  
 # OF UNITS 28  
 AVERAGE OPEN SPACE PER UNIT 1,560 SF



**Thompson Engineering Consultants, Inc.**  
 tecmm@yahoo.com  
 P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 830-9428

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 TRANSPORTATION DEVELOPMENT

SITE PLAN FOR SUBDIVISION  
 BLUFFS AT ENCANTADO

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

City Project No. \_\_\_\_\_ Zone Map No. K & L-23-Z Sheet 1 Of 2

AS BUILT INFORMATION	
CONTRACTOR	DATE
BENCH MARK	
NO.	DATE
SURVEY INFORMATION	
FIELD NOTES	DATE
ENGINEER'S SEAL	
NO.	DATE
REMARKS	
NO.	DATE
DESIGN	
DESIGNED BY	DATE
DRAWN BY	
DESIGNED BY	DATE
CHECKED BY	
DESIGNED BY	DATE

004790

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE

UTILITIES DEVELOPMENT \_\_\_\_\_ DATE

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE

CITY ENGINEER \_\_\_\_\_ DATE

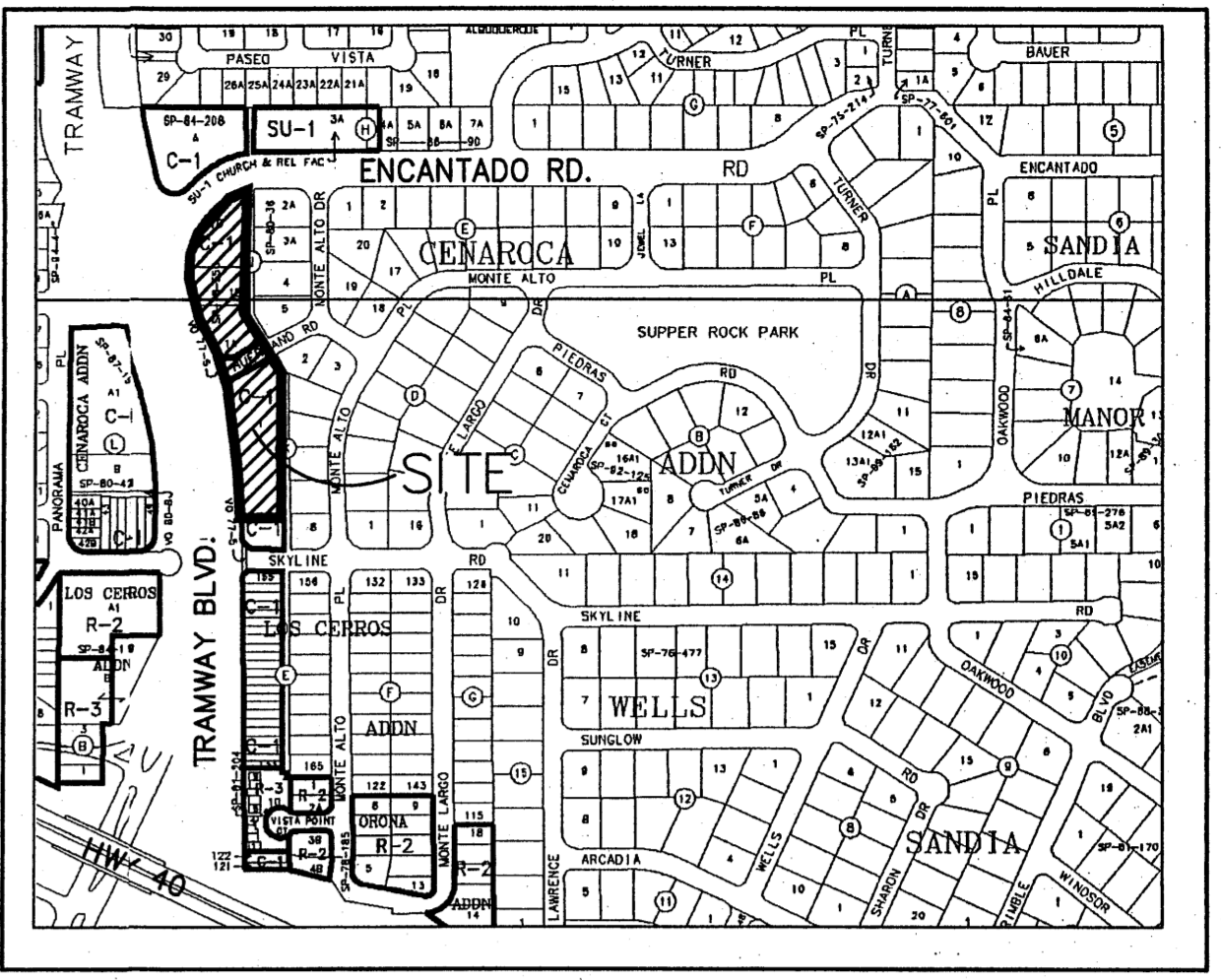
\* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE

SOLID WASTE MANAGEMENT \_\_\_\_\_ DATE

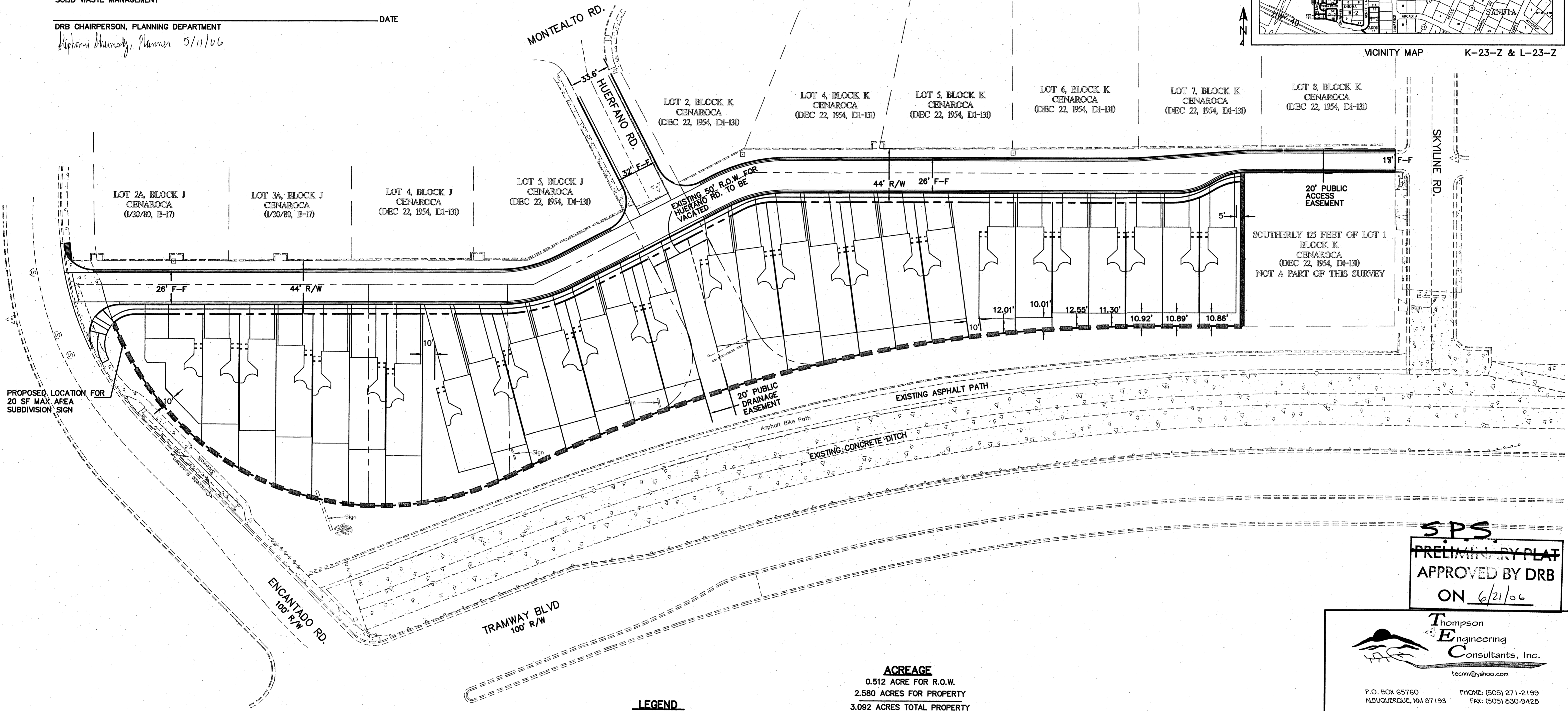
DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE

*Hephemi Muniz, Planner 5/11/06*

PROJECT NUMBER: 1004496  
 APPLICATION NUMBER: 08EPC-00138  
 IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED  
 DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC  
 RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.



VICINITY MAP K-23-Z & L-23-Z

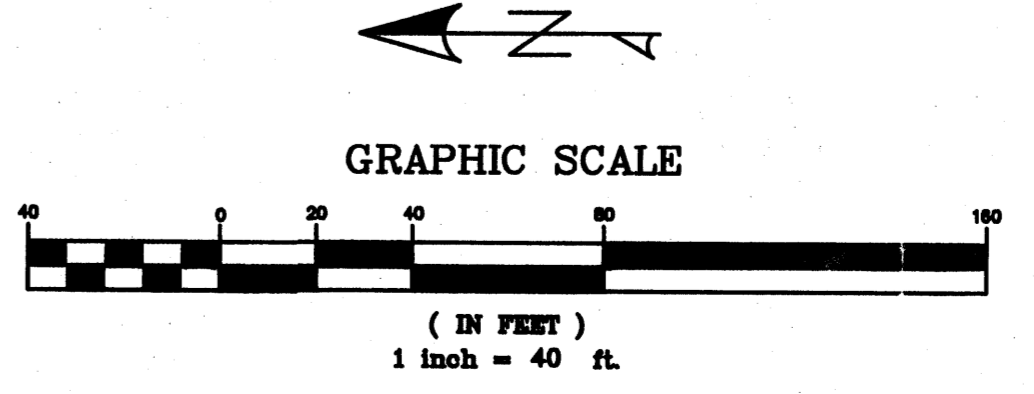


**ACREAGE**  
 0.512 ACRE FOR R.O.W.  
 2.580 ACRES FOR PROPERTY  
 3.092 ACRES TOTAL PROPERTY

**LEGEND**  
 [Solid line with dashes] PERIMETER WALL LOCATION  
 [Dashed line] DECORATIVE WALL LOCATION

**NOTE**  
 EXISTING OFF-PREMISE SIGNS  
 MUST BE REMOVED.

**USEABLE OPEN SPACE**  
 TOTAL OPEN SPACE 43,669 SF  
 # OF UNITS 28  
 AVERAGE OPEN SPACE PER UNIT 1,560 SF



**S.P.S. PRELIMINARY PLAT**  
 APPROVED BY DRB  
 ON 6/21/06

**Thompson Engineering Consultants, Inc.**  
*tec*  
 tecm@yahoo.com  
 P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 830-9428

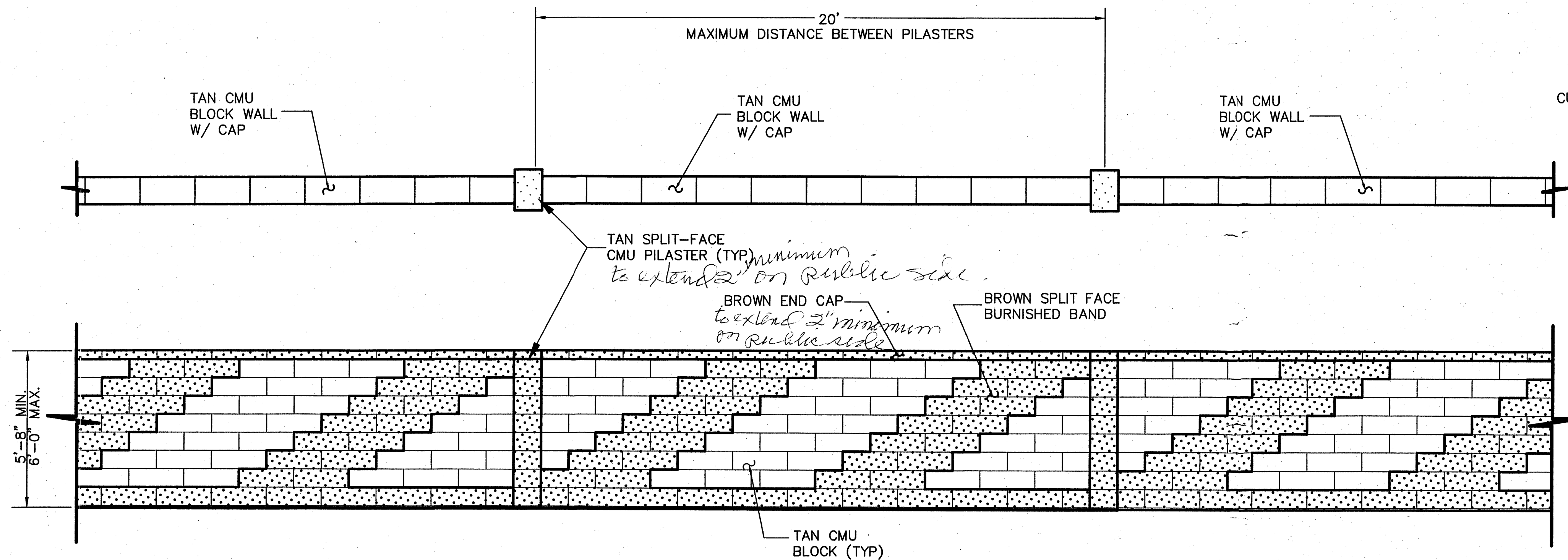
CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 TRANSPORTATION DEVELOPMENT

**CONCEPTUAL LAYOUT**  
**BLUFFS AT ENCANTADO**

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MO./DAY/YR.		MO./DAY/YR.	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

City Project No. \_\_\_\_\_ Zone Map No. **K & L-23-Z** Sheet **1** Of **2**

SURVEY INFORMATION		AS BUILT INFORMATION	
FIELD NOTES	NO.	CONTRACTOR	NO.



**NOTES:**

1. CONTRACTOR TO PROVIDE ENGINEERING DESIGN FOR REINFORCED WALL & WALL FOOTING BASED ON THE SITE GEOTECHNICAL REPORT.
2. MAXIMUM RETAINED HEIGHT FOR PERIMETER WALL IS 1'-6".

**DECORATIVE WALL DETAIL**  
NTS

**SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN REQUIREMENTS**

This property, four lots consisting of approximately 3 acres was zoned SU-1 for RT uses in Project #1004496, 05EPC-01805. The site plan for subdivision was approved by the EPC 06EPC-00138 on March 16, 2006. Applicants contemporaneously request approvals of vacation of a portion of Huerfano, subdivision into 28 townhouse lots, and site development plan for subdivision.

Maximum and minimum number of dwelling units: there shall be a maximum of 28 townhouse dwelling units for an approximate density of 9 dwelling units per acre. Section 14-16-1-5 defines townhouse as one of two to eight attached dwelling units. This site plan contemplates four groups of seven attached units.

Minimum Dwelling size: The minimum size of dwelling unit shall be 2000 square feet of heated living area.

Maximum and minimum lot sizes: the minimum lot size will be 30' x 100', although many of the lots will be wider and/or deeper, as permissive in the RT zone.

Maximum building height: 26 feet in all locations as controlled by the RT zone.

Minimum building setbacks: Front yard setback shall be 15 feet. Rear yard setback shall be 15 feet. Side yard setbacks shall be 10 feet on the street side of corner lots; otherwise there shall be no required side yard setback. There shall be a distance of not less than 10 feet between residential buildings.

Architectural design standards: The units shall be attached townhouses, designed in the "Tuscan in the Southwest" style. The Tuscan elements include tile roofs, turret entryway, arched windows and stone features. The Southwest elements include the exterior color scheme, archways, Taos style clustering of multiple properties, landscaping and interiors. Each unit shall include an enclosed front courtyard and turreted entry. The exterior wall materials shall include earth tone stucco with stone accents. Each dwelling may have a combination of flat, shed and pitched roofs, with tile roofs, colored to compliment the exterior color of the dwelling.

Garage doors: High quality garage doors shall be used to alleviate the impact of a garage dominated street face. Appropriate garage doors shall include solid wood, wood with windows and/or metal with windows, painted to match the building exterior. A minimum of three (3) separate type of garage door shall be utilized and shall be varied from lot to lot.

Placement of mechanical units: these units shall be located on the ground or, if roof mounted shielded from view from the public right of way.

Grading and drainage: A grading and drainage plan has been prepared and submitted for approval to the City in conjunction with the Subdivision of this property.

Landscape design standards and maintenance: The landscaping in the courtyard, front and street side yards shall be installed by the Builder. Each unit shall have at least one tree and at least 75% live ground cover using low water use indigenous plants. In the courtyard area flagstone, brick, tile or planted material or a combination thereof may be used. Landscape maintenance is the responsibility of the individual homeowner.

Off street parking: 2 standard off street parking spaces will be provided for each dwelling, in addition to garage space.

Solid Waste automated carts: Residential automated solid waste carts shall be stored so that they are not visible from the street or located inside the garage.

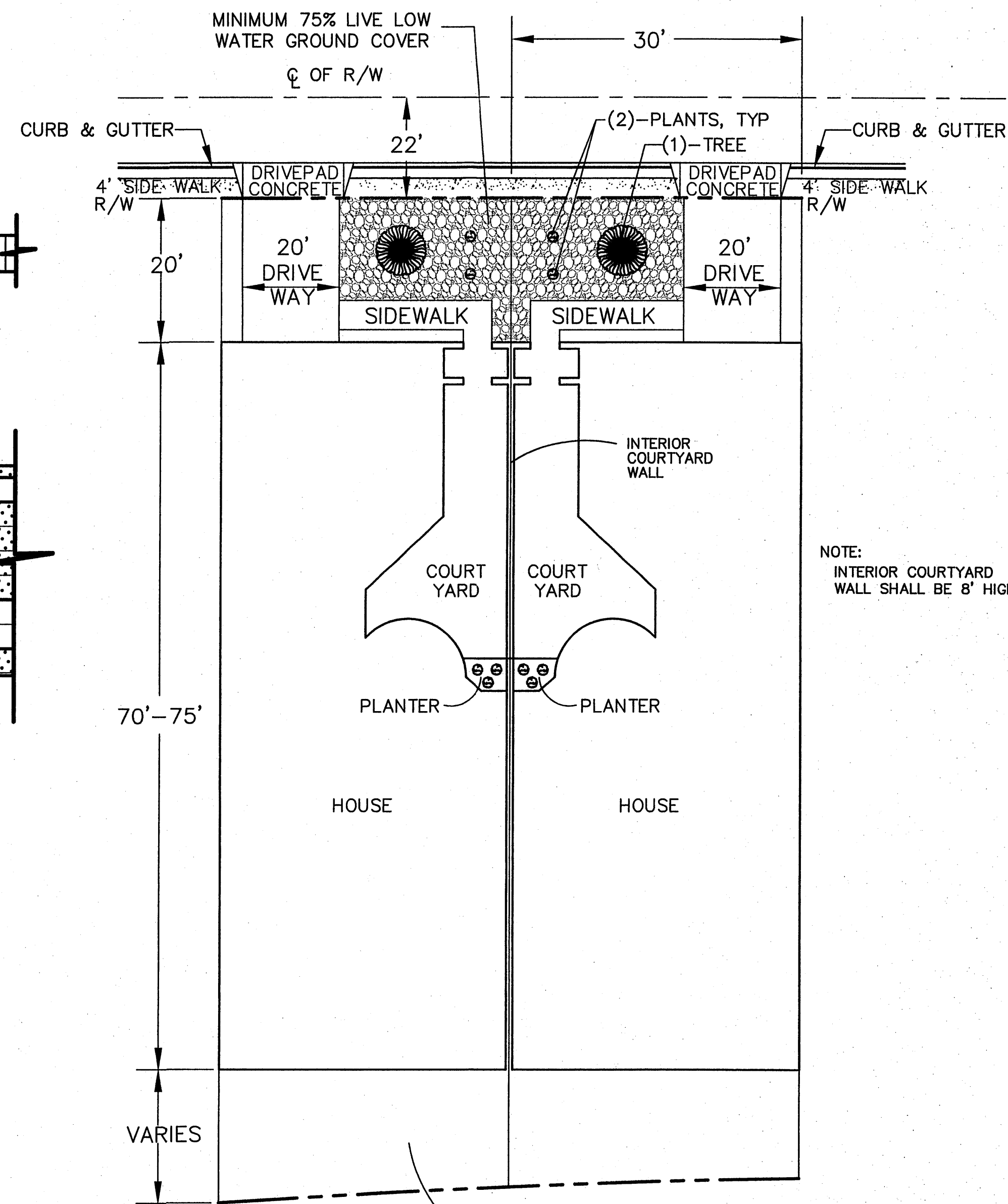
Site lighting and signage: No project site lighting is planned, but streetlights will be allowed if deemed appropriate by PNM. There may be a single project sign at Encantado entrance to the subdivision.

Design of walls and fences visible from public right of way: The perimeter wall design meets the City's newly adopted wall standards and will be approved as a part of the Development Review Board (DRB) signoff.

Pedestrian amenities: Public 4 foot sidewalks shall be provided on all streets within the development.

Accessory buildings: No accessory buildings will be allowed on the lots.

Site Plan(s) for Building Permit: Individual site plans for building permit may be submitted for building permit approval under the Uniform Building Code, without additional review by the EPC or DRB.(section 14-16-2-22 (B) 24)



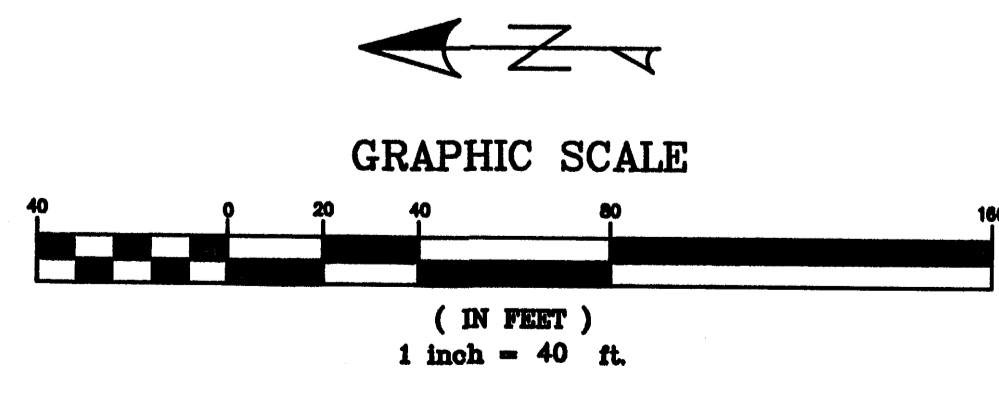
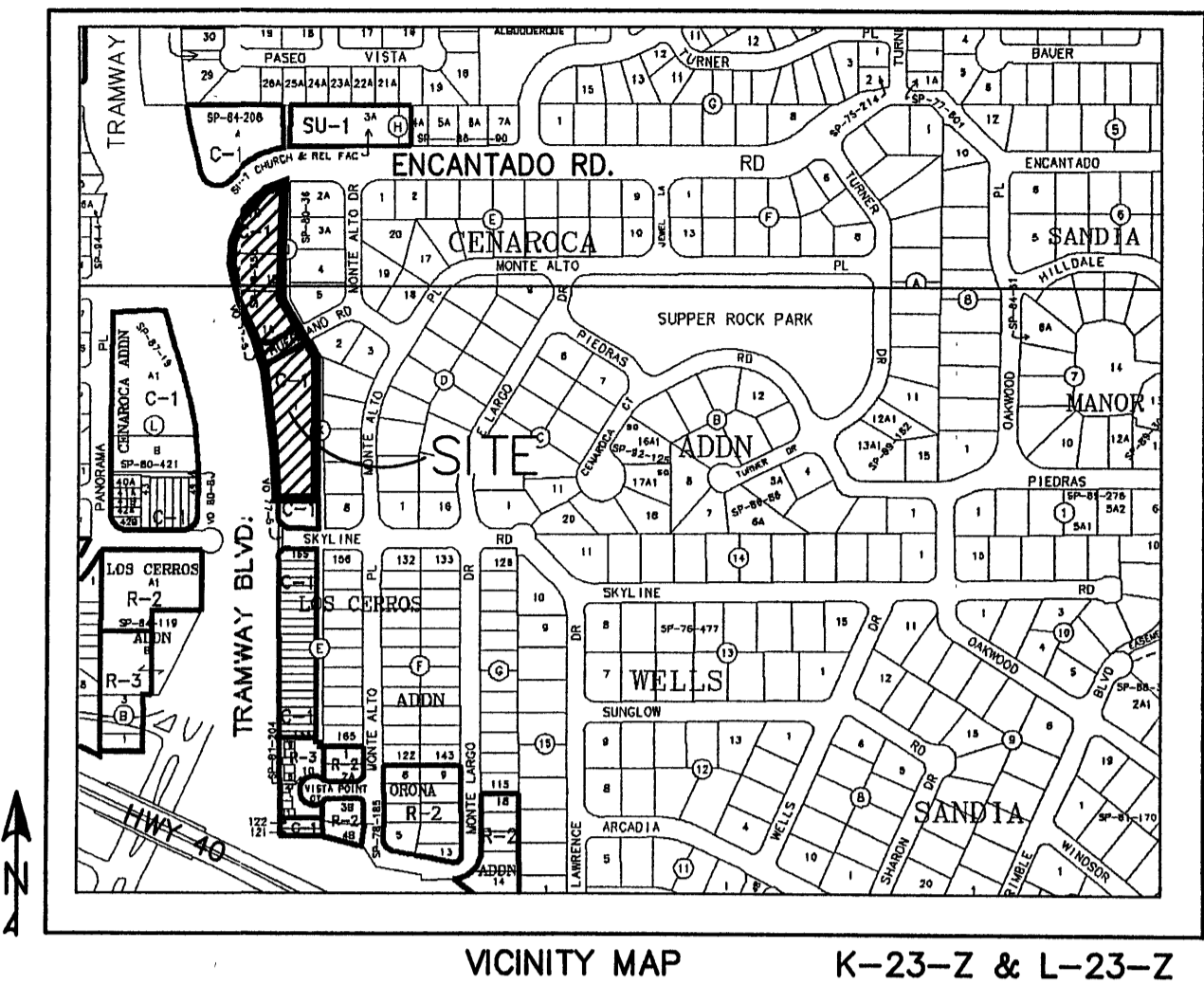
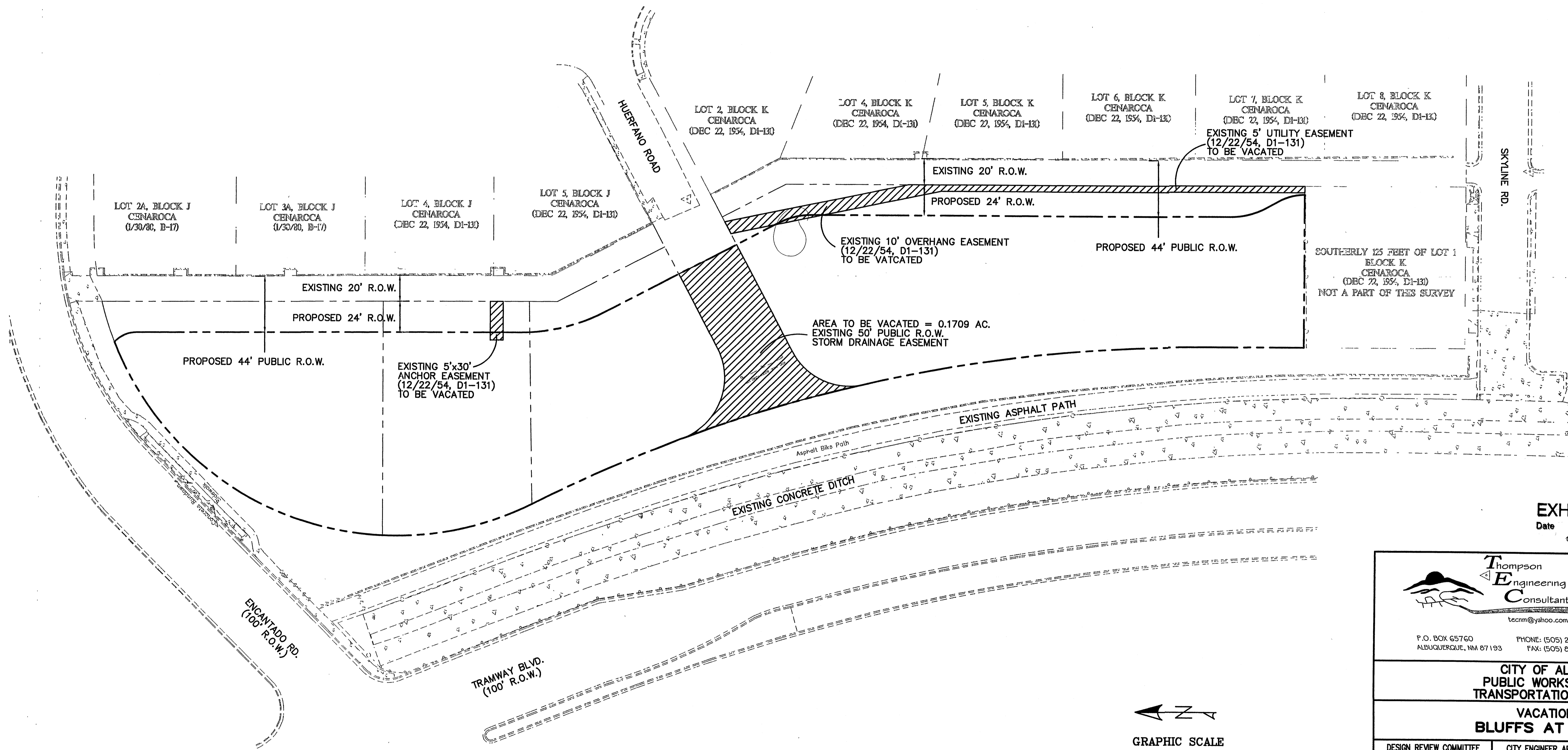
**TYPICAL LOT PLAN**  
NTS

BACKYARD LANDSCAPING BY HOMEOWNER (TURF LIMIT SHALL BE 15% OF TOTAL LANDSCAPE)

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tecmm@yahoo.com  
P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 830-9428

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT			
CONCEPTUAL LAYOUT BLUFFS AT ENCANTADO			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
City Project No.		Zone Map No.	Sheet Of
		K & L-23-Z	2 2

CONTRACTOR	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	DRAWINGS CORRECTED BY	DATE	MICRO-FILM INFORMATION	DATE	
	NO.		NO.		NO.		NO.	
ENGINEER'S SEAL	FIELD NOTES		REMARKS		DESIGN		CHECKED BY	
	NO.	BY	DATE	BY	DATE	BY	DATE	



**EXHIBIT B**  
Date *6/10/06*

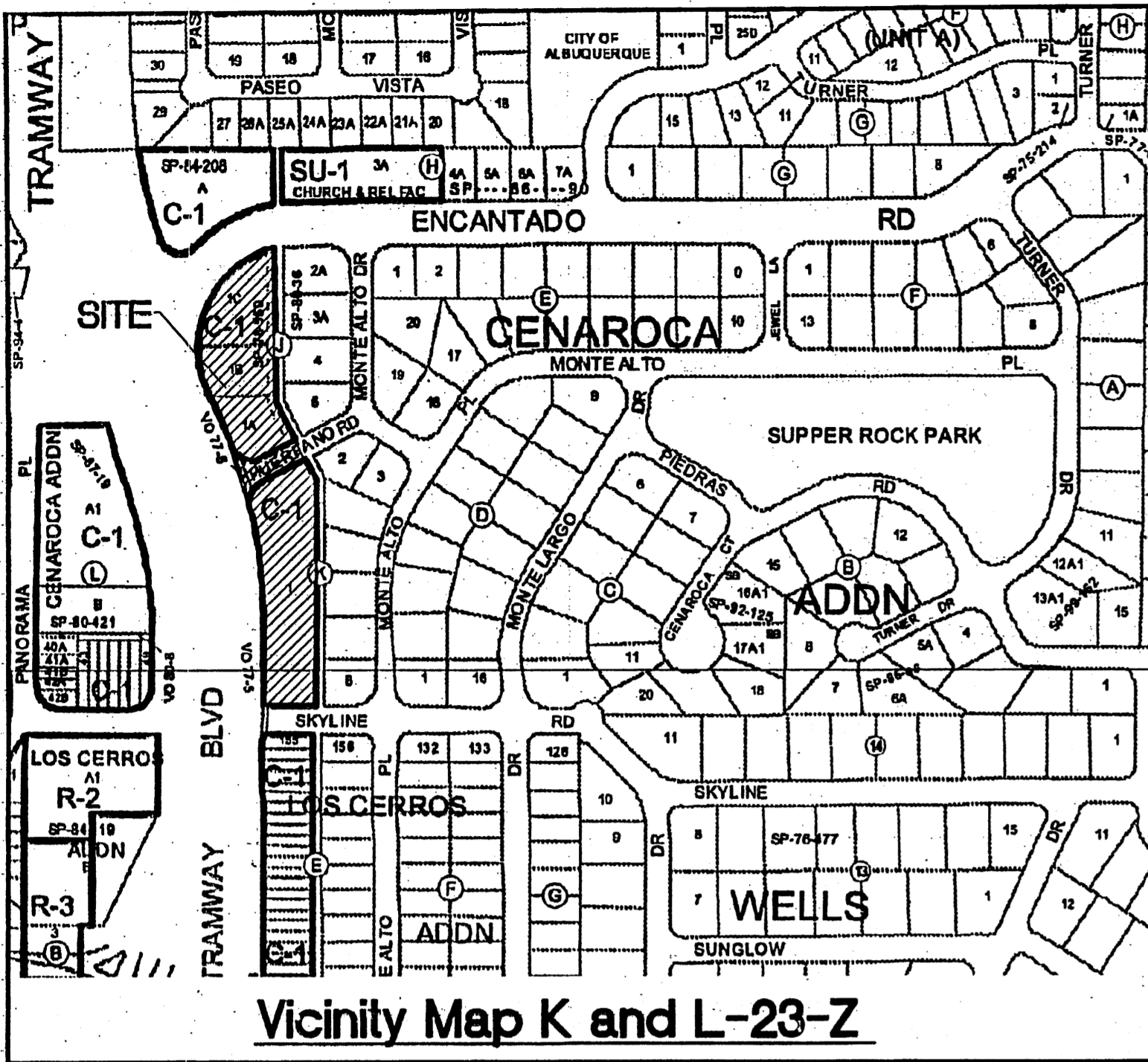
**Tompson Engineering Consultants, Inc.**  
tecnc@yahoo.com

P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 830-9428

<b>CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT</b>			
<b>VACATION EXHIBIT A BLUFFS AT ENCANTADO</b>			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
City Project No.	Zone Map No. K & L-23-Z	Sheet 1	Of 1

<b>AS BUILT INFORMATION</b>		CONTRACTOR	
		WORK BY	
<b>BENCH MARK</b>	INSPECTOR'S ACCEPTANCE BY	DATE	
	FIELD BY	DATE	
<b>SURVEY INFORMATION</b>	FIELD NOTES	BY	
	NO.	DATE	
<b>ENGINEER'S SEAL</b>		NO.	
		DATE	
<b>REMARKS</b>	BY		
	DESIGN	DATE	
<b>DESIGNED BY DBT</b>		DATE	
	<b>DRAWN BY DEM</b>		DATE
<b>CHECKED BY DBT</b>		DATE	
		DATE	
<b>MICRO-FILM INFORMATION</b>		RECORDED BY	
		NO.	





**Legal**

LOTS 1-A, 1-B, AND 1-C, OF PLAT OF DIVISION LOT 1 IN BLOCK J OF CENAROCA, A SUBDIVISION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS SHOWN ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 3, 1978, IN PLAT BOOK B15, PAGE 108.  
 AND  
 LOT NUMBERED ONE (1), EXCEPT THE SOUTHERLY ONE HUNDRED TWENTY-FIVE FEET (S 1/2), THEREOF, IN BLOCK LETTERED "K", OF CENAROCA, A SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 22, 1954, IN PLAT BOOK D1, FOLIO 131.  
 AND  
 A PORTION OF HUERFANO ROAD N.E. AS SHOWN HEREON.

**Preliminary Plat**  
**THE BLUFFS AT ENCANTADO**

(Lots 1A, 1B, and 1C, Block J Cenaroca and Lot 1, Block K, Cenaroca Except the South 125')  
 within  
**Section 23 and 26, Township 10 North, Range 4 East, NMPM**  
**City of Albuquerque, Bernalillo County, New Mexico**  
 May 2006

**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
 ON 6/21/06

**Disclosure Statement**

- THE PURPOSE OF THIS PLAT IS TO:
1. CREATE 28 NEW LOTS.
  2. GRANT NEW UTILITY EASEMENTS.
  3. DEDICATE RIGHT OF WAY.

**Benchmark**

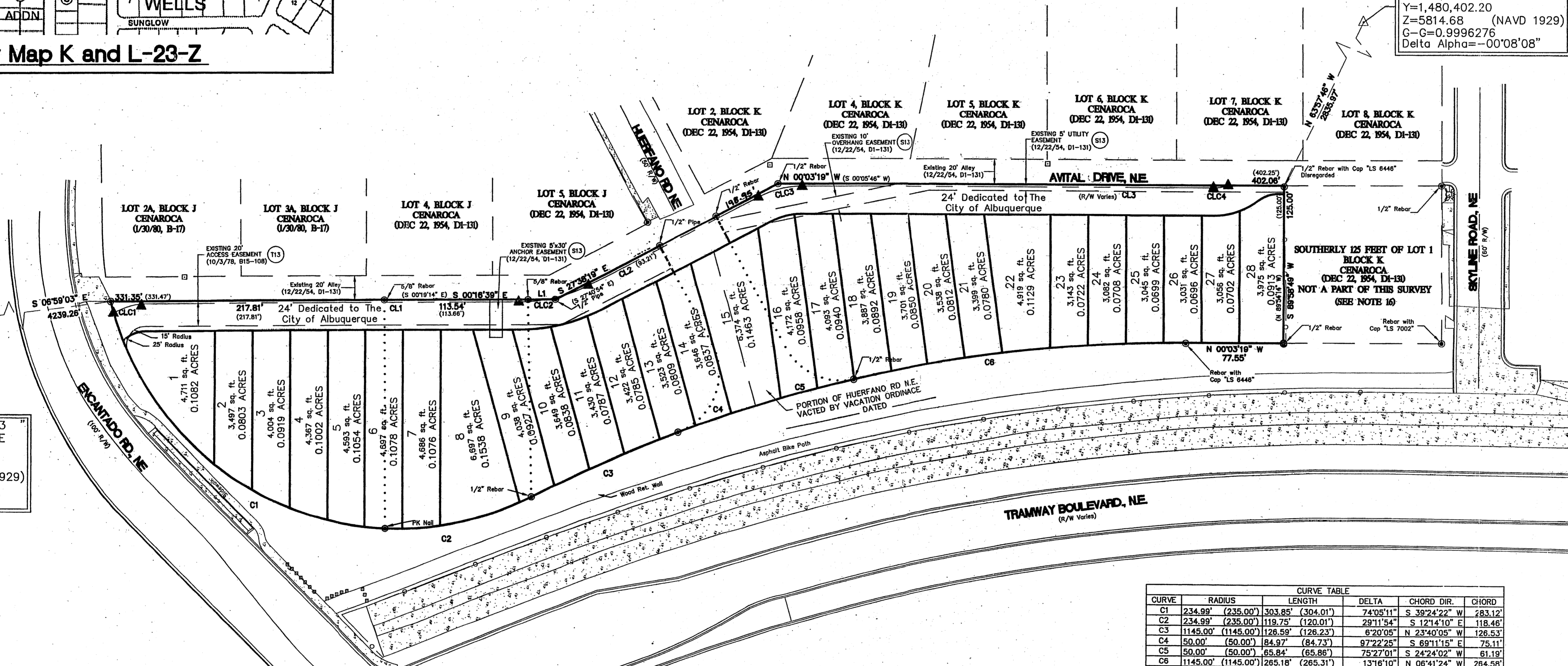
ACS MONUMENT "21-K23" HAVING AN ELEVATION OF 5708.72 (NAVD 27).

**Notes**

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE-NA D 1927), REFERENCING STATIONS "2-J23" AND "WINDY".
2. DISTANCES SHOWN HEREON ARE GROUND.
3. ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THIS  $\blacktriangle$ . ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
4. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
5. TOTAL NUMBER OF EXISTING LOTS: 4
6. TOTAL NUMBER OF LOTS CREATED: 28
7. TOTAL NUMBER OF TRACTS CREATED: 0
8. TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.17
9. CITY OF ALBUQUERQUE ZONE ATLAS PAGE: L-23 & K-23
10. NO LOT LINES BEING ELIMINATED 4
11. TOTAL AREA 2.8935
12. PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
13. THE ZONING FOR THE LOT IS CURRENTLY: SU-1 R-T USES
14. ALL SET EXTERIOR PROPERTY CORNERS ARE A BATHEY MARKER WITH CAP "LS 14271" UNLESS INDICATED OTHERWISE.
15. LOT LINES ELIMINATED BY THIS PLAT SHOWN AS THIS .....
16. THE SOUTHERLY 125 FEET OF LOT 1, BLOCK K WAS CONVEYED VIA WARRANTY DEED FILED MAY 25, 1957 IN BOOK 479D, PAGE 377.

ACS Monument "2-J23"  
 NAD 1927 CENTRAL ZONE  
 X=426,211.37  
 Y=1,486,783.70  
 Z=5769.409 (NAVD 1929)  
 C-G=0.99963037  
 Delta Alpha=-00'08"30"

ACS Monument "WINDY"  
 NAD 1927 CENTRAL ZONE  
 X=429,368.37  
 Y=1,480,402.20  
 Z=5814.68 (NAVD 1929)  
 C-G=0.9996276  
 Delta Alpha=-00'08"08"

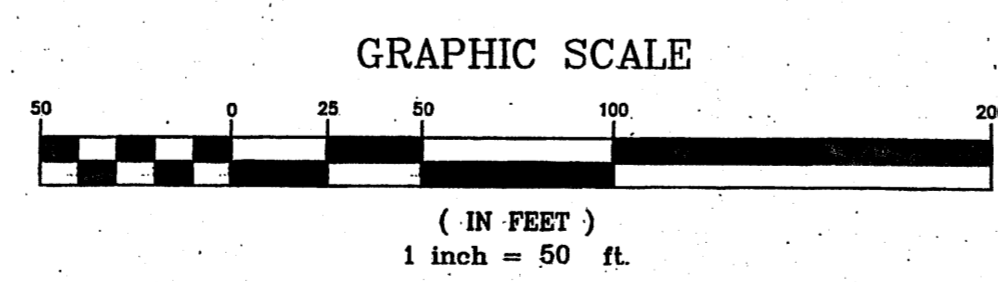


CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	234.99' (235.00')	303.85' (304.01')	74°05'11"	S 39°24'22" W	283.12'
C2	234.99' (235.00')	119.75' (120.01')	29°11'54"	S 12°14'10" E	118.46'
C3	1145.00' (1145.00')	126.59' (126.23')	6°20'05"	N 23°40'05" W	126.53'
C4	50.00' (50.00')	84.97' (84.73')	87°22'25"	S 69°11'15" E	75.11'
C5	50.00' (50.00')	65.84' (65.86')	75°27'01"	S 24°24'02" W	61.19'
C6	1145.00' (1145.00')	265.18' (265.31')	13°16'10"	N 06°41'24" W	204.58'

LINE	LENGTH	BEARING
L1	21.66' (21.65')	S 00°16'39" E (S 00°19'14" E)
L2	56.66' (56.64')	S 27°45'41" E (S 27°40'54" E)

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
CLC1	47.00'	26.47'	32°16'12"	N 16°24'45" W	26.12'
CLC2	120.00'	57.31'	27°21'41"	S 13°57'29" E	56.76'
CLC3	75.00'	36.11'	27°35'00"	N 13°50'49" W	35.76'
CLC4	35.71'	12.01'	19°16'04"	S 09°41'21" E	11.95'

LINE	LENGTH	BEARING
CL1	296.81	N 00°16'39" W
CL2	151.71	N 27°38'19" W
CL3	327.02	S 00°03'19" E



*Phil Lindborg*  
 PHIL LINDBORG, DRAGONFLY DEVELOPMENT, INC. DATE 5/3/06

*Glen Harkin*  
 CITY SURVEYOR, CITY OF ALBUQUERQUE DATE 5/5/06

**CARTESIAN SURVEYS INC.**  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244

Filing Date  
12-22-54

Approved December 6, 1954 No. 5-560  
City Planning Commission  
Albuquerque, New Mexico

*W. Clatrich*  
Chairman

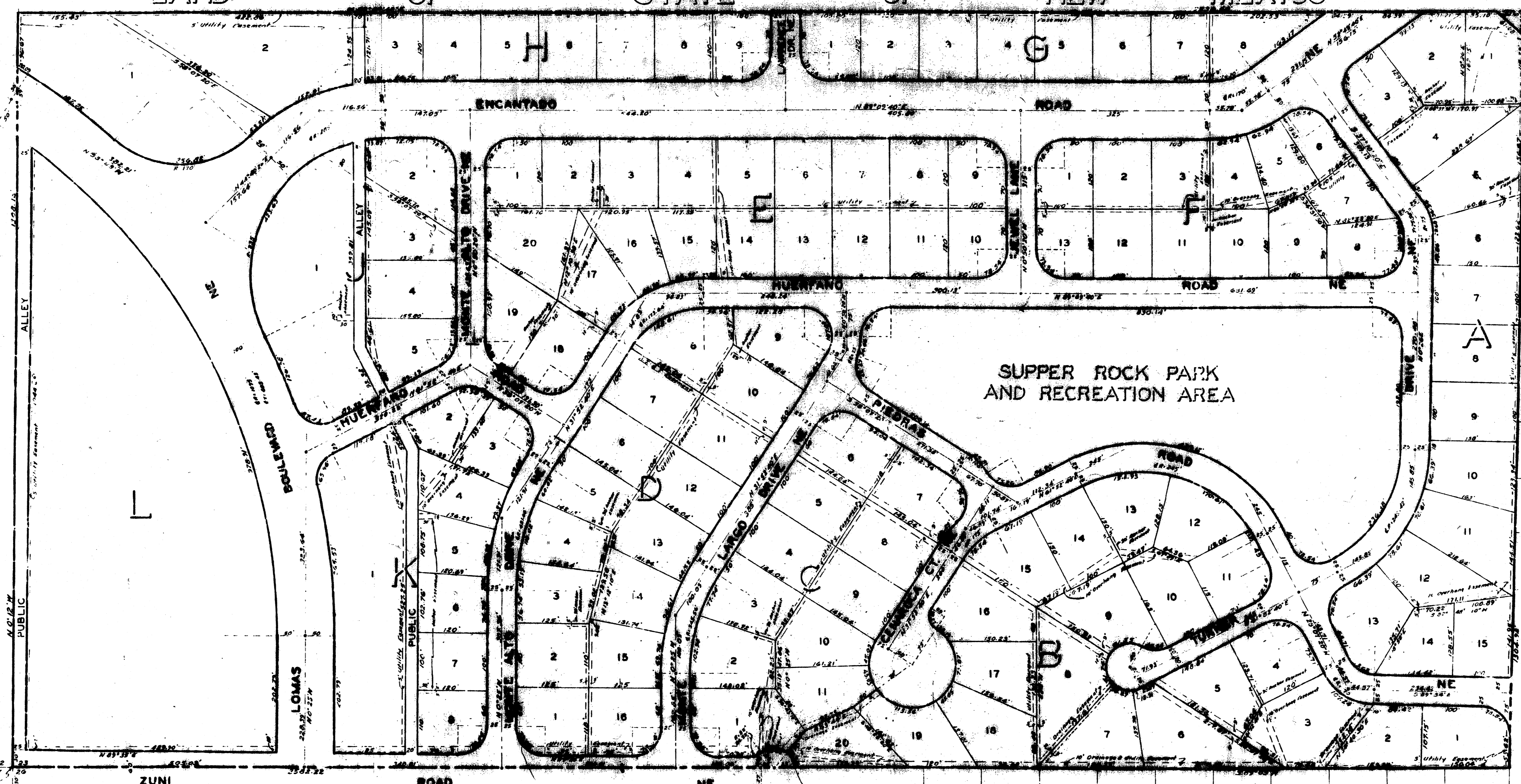
# CENAROCA A SUBDIVISION ALBUQUERQUE, NEW MEXICO

SCALE: 1" = 100 FT.  
ROSS-BEYER ENGINEERING OFFICE  
AUGUST-OCTOBER-1954 EPH-CH-58437R

DEC 22 1954

*See also  
Plan for Subdivision*

LAND OF STATE OF NEW MEXICO



LOS CERROS ADDITION WELLS SANDIA MANOR

NOTE: "A.T. EASEMENT"  
A 20-foot utility easement, hereon marked "A.T. EASEMENT", is reserved 10 feet in width on each side of the center-line of the American Telephone & Telegraph Company's telephone lines. No inflammable structure shall be erected or permitted within the feet of the center of communication-lines owned by the American Telephone & Telegraph Company as shown hereon.

NOTES:  
Unless otherwise indicated:  
Lot lines and/or street lines intersect at right angles.  
Distances shown on curved lines are arc measurements.  
Curves of Block corners, here radii of 50 feet.  
Easements designated "Overhang" exist of heights of not less than 15 feet above ground.

### DEDICATION

The above and foregoing Subdivision of that certain Tract of land in the City of Albuquerque, New Mexico, being the Southern half of the Southwest Quarter (S/2 SW 1/4) of Section 23, Township 10 North, Range 4 East, N.M.P.M. and more particularly described as follows: Beginning at the Southwest corner of said Section 23, and running thence N. 0° 12' W., along the West line of said Section 23, 100.00 feet; Thence N. 89° 05' 40" E., 2582.22 feet; Thence S. 0° 24' W., 100.00 feet; Thence S. 89° 05' W., 2582.22 feet to the place of beginning. Surveyed, Platted and Subdivided as the same appears hereon, comprising Blocks A, B, C, D, E, F, G, H, I, J, K and L of CENAROCA, a Subdivision, Albuquerque, New Mexico, together with a Public Park known as Supper Rock Park which may be used for Park and Playground purposes, and the several Public Townships, including within the Boundary described above, is with the free consent and in accordance with the desire of the undersigned Owner and Proprietor thereof, and said Owner, does hereby dedicate the Easements shown on this Plot, including Easements for Overhang of service wires of pole-type utilities, and including the right of ingress, egress and the right to trim interfering trees, and the right to place poles where necessary at the intersection of lot lines with Overhang Easements. The property comprising Lots 1 & 2 in Block H, Lot 1 in Block J, Lot 1 in Block K, and all of Block L, as herein shown, are reserved for future development subsequent to the vacating of Charlene Street NE; and the property hereon shown to be included in the portion of Charlene Street NE (lying North of Lomas) NE, is specifically excepted from this dedication, pending the vacating of said street by the City, after which said property will be included in a proper dedication.

*J.A. Turner*  
Owner and Proprietor

State of New Mexico ) SS.  
County of Bernalillo )

On this 20th day of December, 1954, before me, a Notary Public in and for said County, Personally appeared J.A. Turner, to me known to be the Person described in and who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed (as his sole and separate estate).  
In Witness Whereof, I have hereunto set my hand and seal, the day and year last above written.

*Edward J. Elden*  
Notary Public

My Commission expires September 7th, 1956.

I, Ida V. Malone, City Clerk of the City of Albuquerque, New Mexico, hereby certify that the Plot upon which this certificate appears was approved and accepted for filing by the City Commission of said City at its meeting held on the 21st day of December, 1954.

*Ida V. Malone*  
City Clerk

DI-131

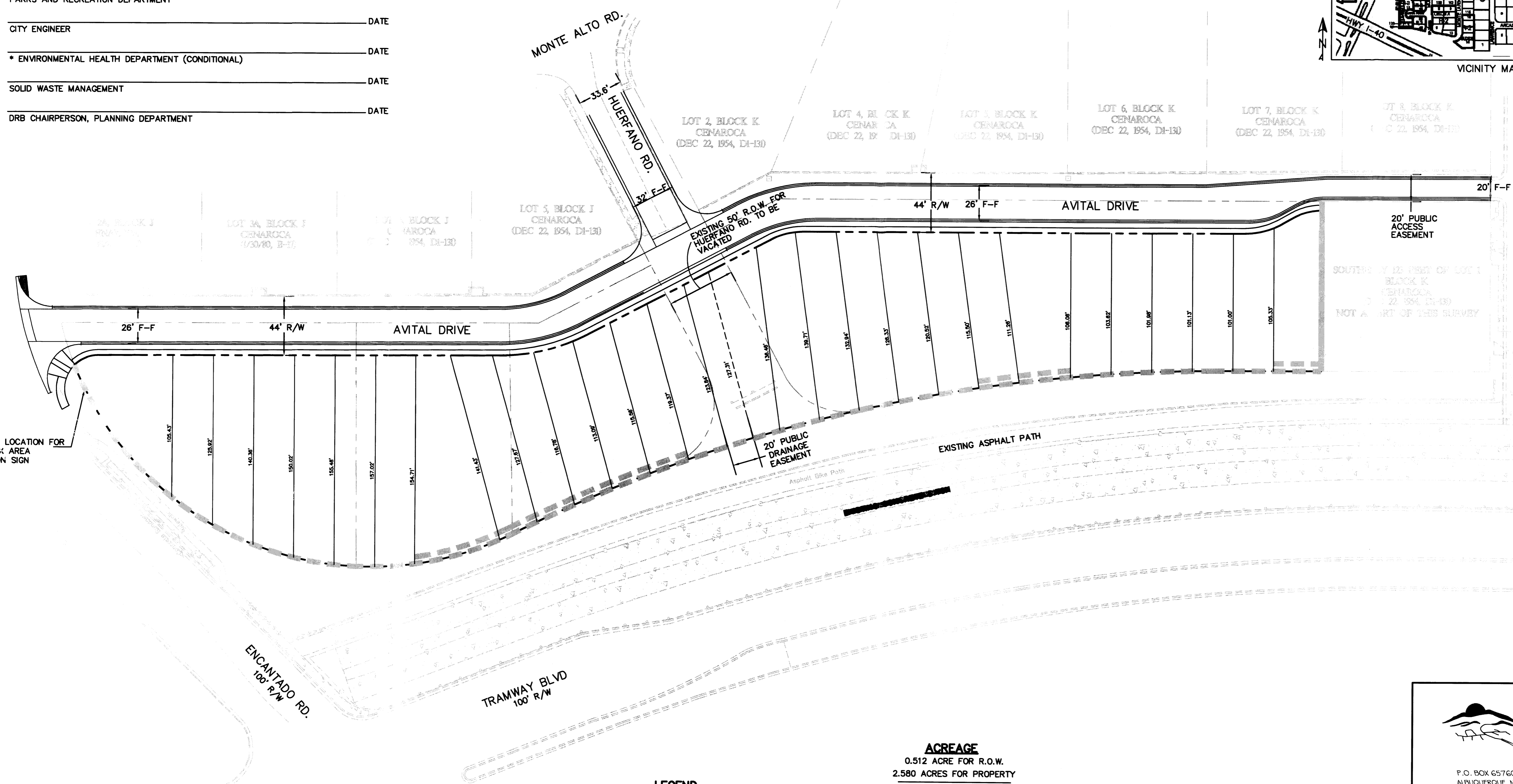
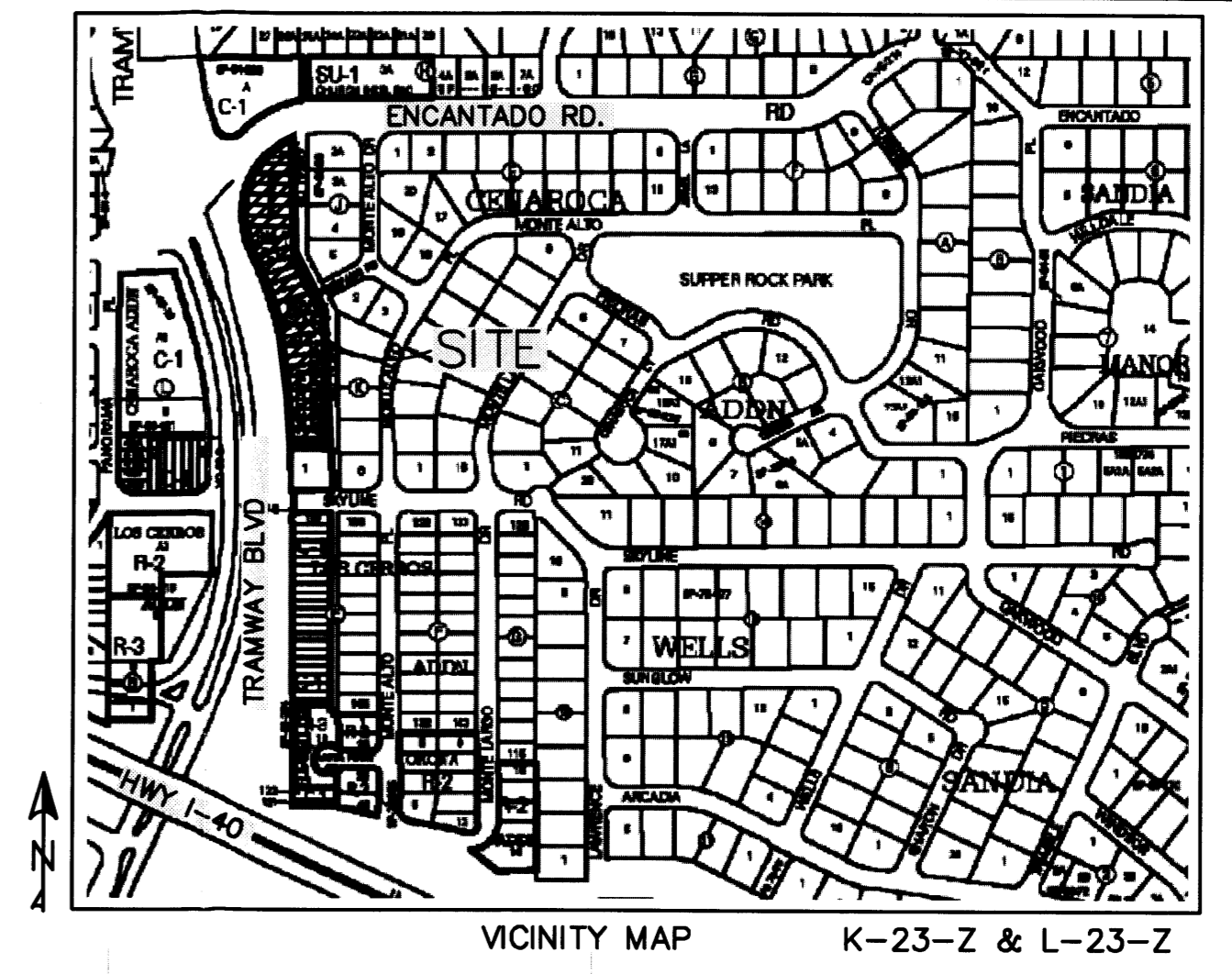
DI-131

PROJECT NUMBER: 1004496  
 APPLICATION NUMBER: 08EPC-400B3  
 CITY COUNCIL APPEAL NUMBER: AC-08-24

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 5-27-2012, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



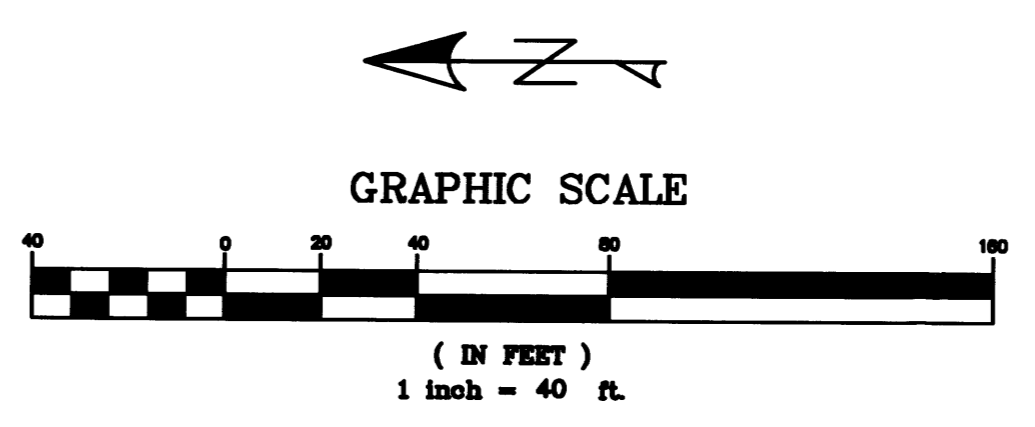
PROPOSED LOCATION FOR 20 SF MAX. AREA SUBDIVISION SIGN

**LEGEND**  
 ——— PERIMETER WALL LOCATION  
 - - - DECORATIVE WALL LOCATION

**NOTE**  
 EXISTING OFF-PREMISE SIGNS MUST BE REMOVED.

**ACREAGE**  
 0.512 ACRE FOR R.O.W.  
 2.580 ACRES FOR PROPERTY  
 3.092 ACRES TOTAL PROPERTY

**USEABLE OPEN SPACE**  
 TOTAL OPEN SPACE 43,669 SF  
 # OF UNITS 28  
 AVERAGE OPEN SPACE PER UNIT 1,560 SF



- RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT AND NMDOT:**
- ALL THE REQUIREMENTS OF PREVIOUS ACTIONS TAKEN BY EPC AND/OR THE DRB MUST BE COMPLETED AND/OR PROVIDED FOR.
  - IF APPLICABLE, THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN. THOSE IMPROVEMENTS WILL INCLUDE ANY ADDITIONAL RIGHT-OF-WAY REQUIREMENTS, PAVING, CURB AND GUTTER, SIDEWALK AND ADA ACCESSIBLE RAMPS THAT HAVE NOT ALREADY BEEN PROVIDED FOR. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS INCLUDE BUT ARE NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).
  - SITE PLAN SHALL COMPLY AND BE DESIGNED PER DPM STANDARDS.

**Thompson Engineering Consultants, Inc.**  
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**CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT**

**SITE PLAN FOR SUBDIVISION BLUFFS AT ENCANTADO**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

City Project No. 1004496	Zone Map No. K & L-23-Z	Sheet 1	Of 2
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AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAKED BY	DATE
INSPECTOR	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

BENCH MARK	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	NO.
BY	DATE

ENGINEER'S SEAL	
NO.	DATE
REMARKS	BY
DESIGN	DATE
DRAWN BY	DATE
CHECKED BY	DATE

**SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN REQUIREMENTS**

This property, four lots consisting of approximately 3 acres was zoned SU-1 for RT uses in Project #1004496, 05EPC-01805. The site plan for subdivision was approved by the EPC 06EPC-00138 on March 16, 2006. This amended Site Plan for Subdivision is based upon 08EPC-40083 approved on September 18, 2008, as modified by the City Council in its acceptance of the recommendation of the Land Use Hearing Officer (LUHO) on January 5, 2009 in AC-08-24. The Applicant secured the Vacation of portions of Huerfano, subdivision of the property into 28 lots and is now seeking final sign of this amended site plan for subdivision.

Maximum and minimum number of dwelling units: there shall be a maximum of 28 townhouse dwelling units for an approximate density of 9 dwelling units per acre. Section 14-16-1-5 defines townhouse as one of two to eight attached dwelling units. The original site plan contemplated four groups of seven attached units. This amended plan allows development of dwelling units on the unbuilt lots as controlled by permissive uses in the R-T zone.

Minimum Dwelling size: As regulated by the R-T zone.

Maximum and minimum lot sizes: the minimum lot size will be 30' x 100', although many of the lots will be wider and/or deeper, as permissive in the RT zone.

Maximum building height: 26 feet in all locations as controlled by the RT zone.

Minimum building setbacks: Front yard setback shall be 15 feet. Rear yard setback shall be 15 feet except for lots 22-P1 through 28-P1 which is <sup>not less than 10 feet</sup> as indicated. Side yard setbacks shall be 10 feet on the street side of corner lots; otherwise there shall be no required side yard setback. There shall be a distance of not less than 10 feet between residential buildings.

Architectural design standards: The units shall be attached townhouses, designed in the "Contemporary Southwest" style. The Southwest elements include the exterior color scheme, archways, Toos style clustering of multiple properties, landscaping and interiors. Each unit shall include an enclosed front courtyard and/or covered porch. The exterior wall materials shall include earth tone stucco with stone accents. Each dwelling may have a flat, shed or pitched roofs colored to compliment the exterior color of the dwelling.

Garage doors: High quality garage doors shall be used to alleviate the impact of a garage dominated street face. Appropriate garage doors shall include solid wood, wood with windows and/or metal with windows, painted to match the building exterior. A minimum of three (3) separate types of garage doors shall be utilized and shall be varied from lot to lot.

Placement of mechanical units: these units shall be located on the ground or, if roof mounted shielded from view from the public right of way.

Grading and drainage: A grading and drainage plan has been prepared and submitted for approval to the City in conjunction with the Subdivision of this property.

Landscape design standards and maintenance: The landscaping in the courtyard, front and street side yards shall be installed by the Builder. Each unit shall have at least one tree and at least 75% live ground cover using low water use indigenous plants. In the courtyard area flagstone, brick, tile or planted material or a combination thereof may be used. Landscape maintenance is the responsibility of the individual homeowner.

Off street parking: 2 standard off street parking spaces will be provided for each dwelling, in addition to garage space.

Solid Waste automated carts: Residential automated solid waste carts shall be stored so that they are not visible from the street or located inside the garage.

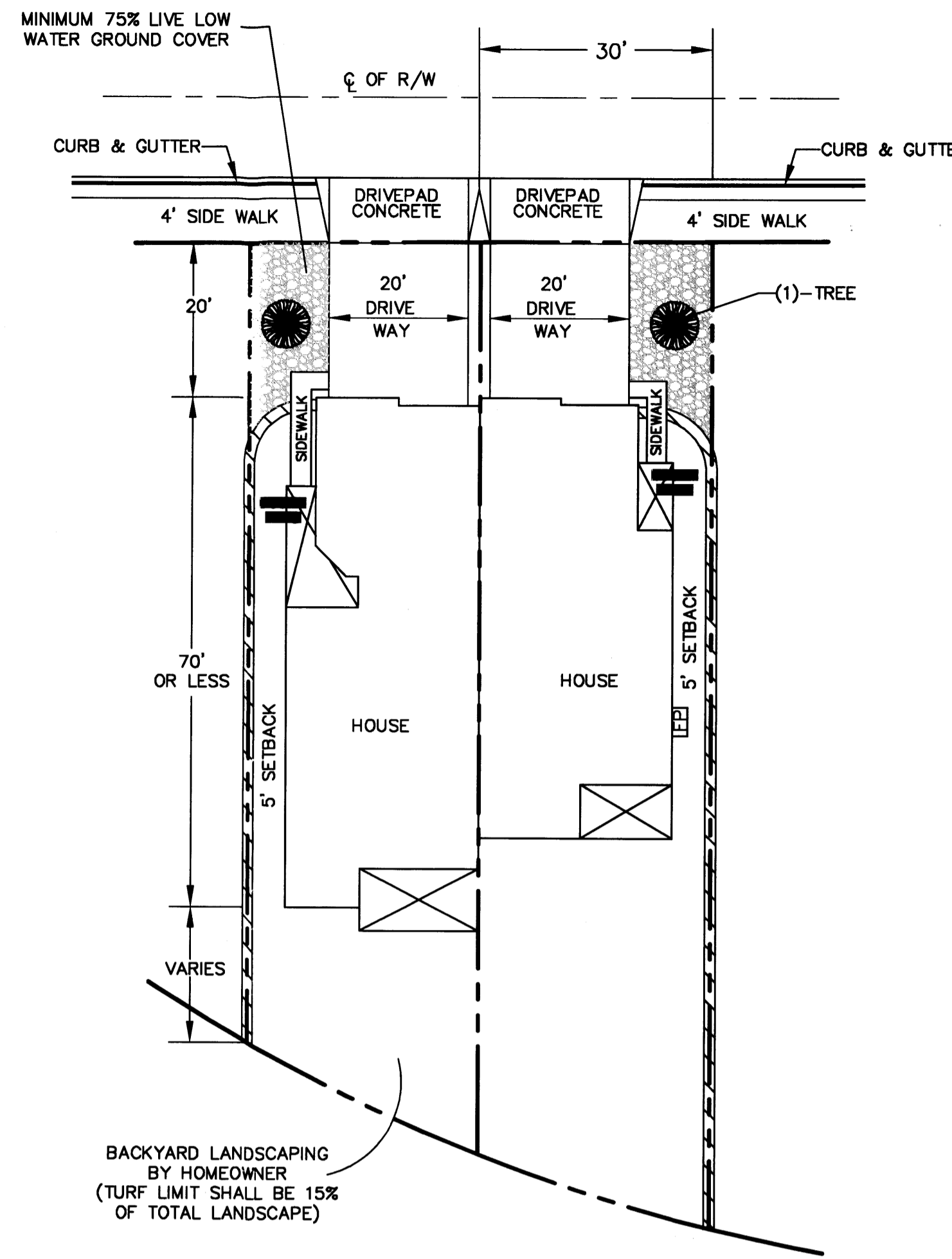
Site lighting and signage: No project site lighting is planned, but streetlights will be allowed if deemed appropriate by PNM. There may be a single project sign at Encantado entrance to the subdivision.

Design of walls and fences visible from public right of way: The perimeter wall design meets the City's newly adopted wall standards and will be approved as a part of the Development Review Board (DRB) signoff.

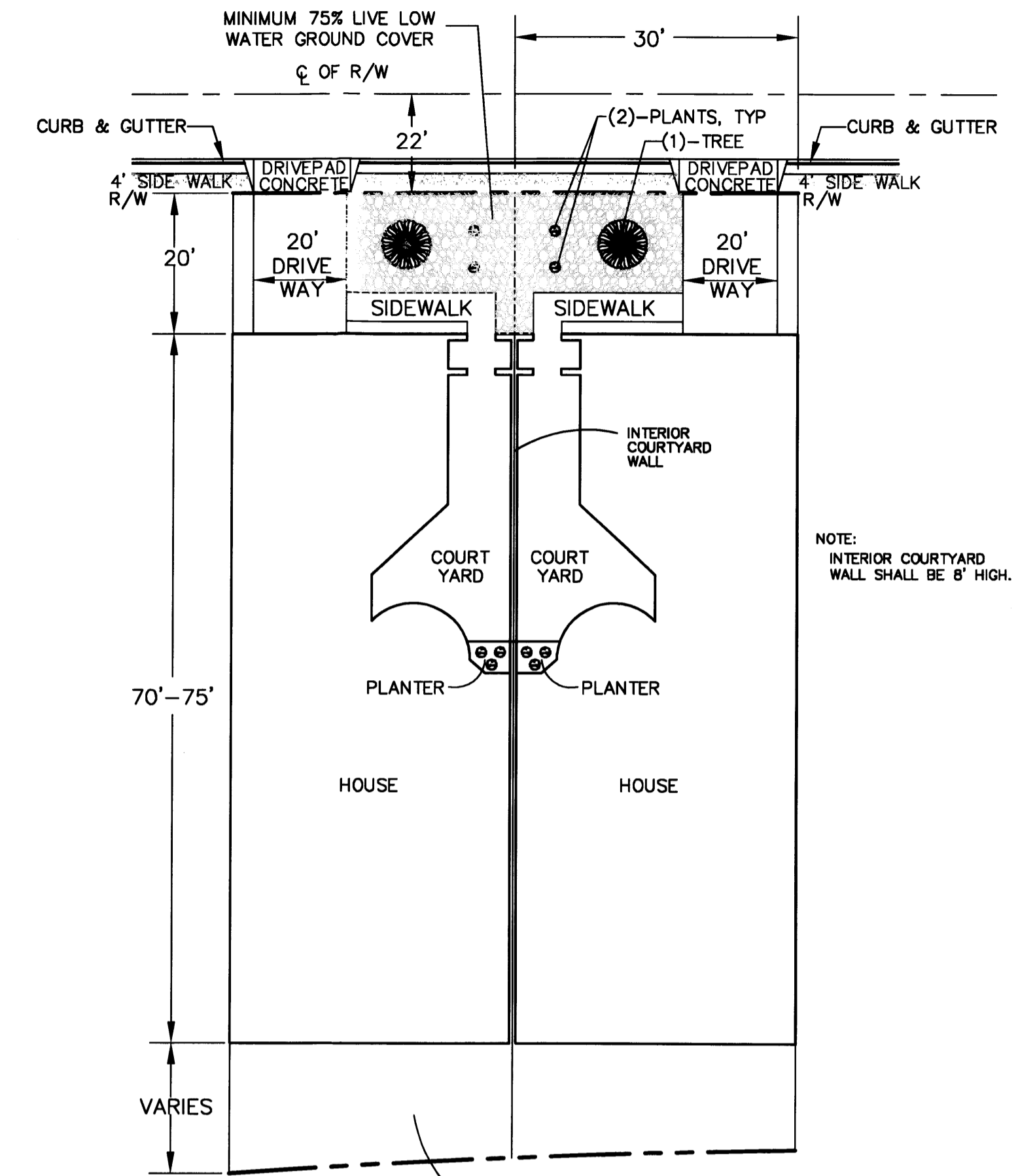
Pedestrian amenities: Public 4 foot sidewalks shall be provided on all streets within the development.

Accessory buildings: No accessory buildings will be allowed on the lots.

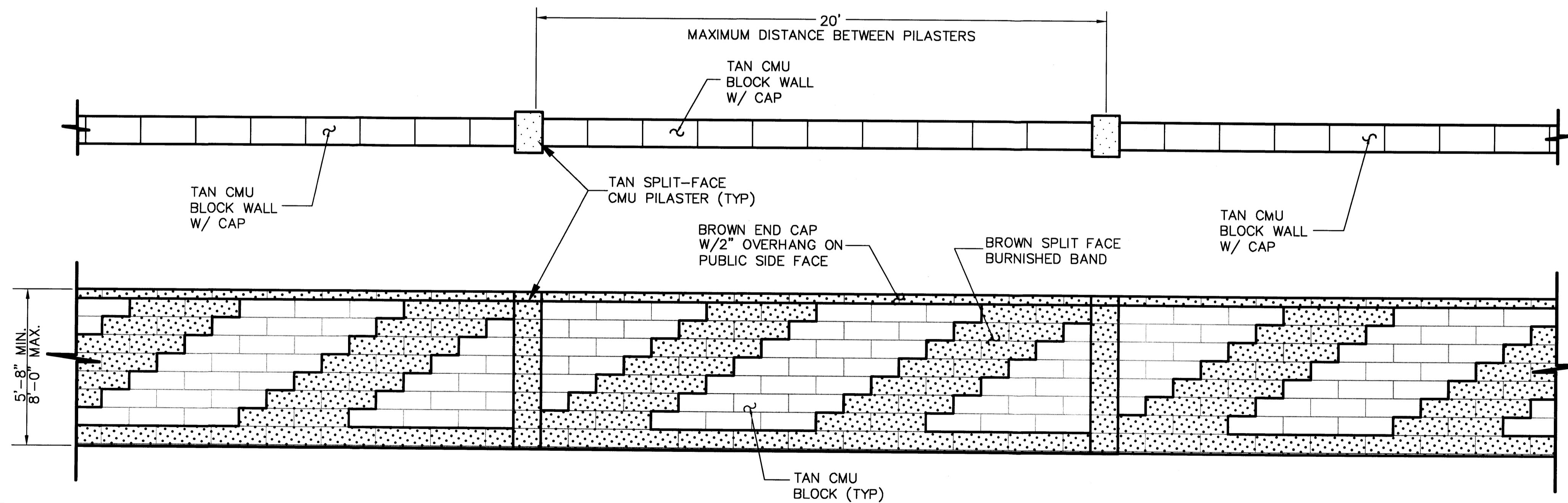
Site Plan(s) for Building Permit: Individual site plans for building permit may be submitted for building permit approval under the Uniform Building Code, without additional review by the EPC or DRB.(section 14-16-2-22 (B) 24)



**TYPICAL LOT PLAN**  
NOT TO SCALE



**TYPICAL LOT PLAN**  
NOT TO SCALE

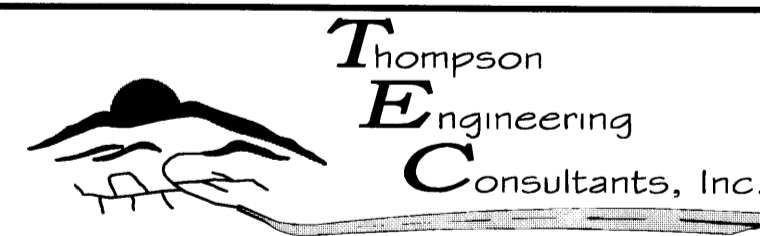


**DECORATIVE WALL DETAIL**  
NTS

**NOTES:**

- CONTRACTOR TO PROVIDE ENGINEERING DESIGN FOR REINFORCED WALL & WALL FOOTING BASED ON THE SITE GEOTECHNICAL REPORT.
- FOR LOTS 1-7, 14-20, 23-27 MAXIMUM RETAINED HEIGHT FOR PERIMETER DECORATIVE WALL IS 5'-0".
- FOR LOTS 8-13, 21, 22, & 28 PERIMETER DECORATIVE WALL SHALL BE STEPPED. WALL SEGMENT ON PROPERTY LINE SHALL HAVE MAXIMUM RETAINED HEIGHT OF 6'. WALL SEGMENT 5' INSIDE PROPERTY SHALL HAVE MAXIMUM RETAINED HEIGHT OF 4'.

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE	NO.	DATE
WORK STAKED BY	DATE	INSPECTOR'S FIELD VERIFICATION BY	DATE	BY	DATE	REMARKS	DESIGN
INSPECTOR'S FIELD VERIFICATION BY	DATE	INSPECTOR'S FIELD VERIFICATION BY	DATE	DESIGNED BY	DATE		
INSPECTOR'S FIELD VERIFICATION BY	DATE	INSPECTOR'S FIELD VERIFICATION BY	DATE	DRAWN BY	DATE		
INSPECTOR'S FIELD VERIFICATION BY	DATE	INSPECTOR'S FIELD VERIFICATION BY	DATE	CHECKED BY	DATE		
MICRO-FILM INFORMATION				MICRO-FILM INFORMATION			
RECORDED BY	DATE	RECORDED BY	DATE				

  
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City Project No. 1004496      Zone Map No. K & L-23-Z      Sheet 2 Of 2