

#15



COMPLETED 03/06/06 ST DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00096 (P&F)
Project Name: ATLANTIC & PACIFIC ADD.
Agent: Surveys Southwest Ltd.

Project # 1004505
Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2-1-06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Wall design
OK
3/6/06

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK

Project Number 1004505

#15



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

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Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

OK

Project Number

1004505



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 1, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:55 A.M.

B. Changes and/or Additions to the Agenda:

C. New or Old Business:

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002743**
05DRB-01818 Major-Preliminary Plat
Approval

BORDENAVE DESIGNS agent(s) for HARVEST HOMES LLC request(s) the above action(s) for all or a portion of Tract(s) I & J, **LA LUZ DEL OESTE, UNIT 4**, zoned SU-1 FOR PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 4 acre(s). [REF: 03DRB-00989] [*Indefinitely deferred on a no show on 1/4/2006*] [*Deferred from 2/1/06*] (F-11) **DEFERRED AT THE BOARD'S REQUEST FOR INTERPRETATION OF R-2005-177 OF THE WESTSIDE STRATEGIC PLAN TO 2/8/06.**

2. **Project # 1003800**
05DRB-01906 Major-Vacation of Pub
Right-of-Way
05DRB-01908 Minor-Prelim&Final Plat
Approval
05DRB-01907 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for PETE DASKALOS, LLAVE HOMES request(s) the above action(s) for all or a portion of Lot(s) 1-4, Block(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **LA CUEVITA OESTE**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 4 acre(s). [REF: 04DRB01820] *[Deferred from 1/11/06 & 2/1/06]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 2/15/06.**

3. **Project # 1004282**
05DRB-01061 Major-Preliminary Plat
Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for PAT MILLIGAN request(s) the above action(s) for all or a portion of Lots(s) A-1, B-1, C-1, D-1, E-1, F-1, H-1, J-1, K-1, **ALAMOSA ADDITION**, zoned R-T residential zone, located on TRUJILLO RD SW, between 62nd ST SW and BATAAN DR SW containing approximately 2 acre(s). *[Deferred from 7/20/05 & 7/27/05 & 1/11/06 & 1/18/06 & 1/25/06]* (K-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/1/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/31/05 THE PRELIMINARY PLAT WAS APPROVED.**

4. **Project # 1004607**
05DRB-01904 Major-Preliminary Plat
Approval
05DRB-01905 Minor-Temp Defer SDWK

WILSON & COMPANY, INC. agent(s) for VISTA VIEJA INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 3 & 4, **VISTA VIEJA SUBDIVISION**, zoned RD, located on SCENIC NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 78 acre(s). [REF: 04DRB-00825, 04DRB-01460, 05DRB-01235, 05DRB-01236] *[Deferred from 1/11/06 & 1/18/06 & 1/25/06 & 2/1/06]* (D-9) **DEFERRED AT THE BOARD'S REQUEST FOR INTERPRETATION OF R-2005-177 OF THE WESTSIDE STRATEGIC PLAN TO 2/8/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1001176**
06DRB-00103 Minor-SiteDev Plan Subd
06DRB-00107 Minor-Amnd SiteDev Plan
Subd

WILSON & COMPANY agent(s) for KEITH MCDANIEL request(s) the above action(s) for all or a portion of Lot(s) 19A & 17, Block(s) 14, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on CORONA NE, between SAN PEDRO NE and WILSHIRE NE containing approximately 3 acre(s). [REF: DRB-97-516] (C-18) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR LOT LINE ADJUSTMENT AND ADDITION OF PARKING BUMPER AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN AND TO DECIDE IF THERE IS AN AMENDED SITE PLAN FOR SUBDIVISION OR NOT.**

THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR LOT LINE ADJUSTMENT AND ADDITION OF PARKING BUMPER AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN AND TO DECIDE IF THERE IS AN AMENDED SITE PLAN FOR SUBDIVISION OR NOT.

6. **Project # 1004660**
06DRB-00099 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for PREMIER CONCRETE LLC request(s) the above action(s) for all or a portion of Lot(s) 14-A-2-H, **LOOP INDUSTRIAL DISTRICT, UNIT 5**, zoned SU-2 for M-1 Permissive, located on FIRESTONE DR NE, between JEFFERSON ST NE and WILSHIRE AVE NE containing approximately 2 acre(s). [REF: DRB-95-498] (C-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SOLID WASTE APPROVAL, BUILD NOTE AND 3 COPIES OF THE SITE PLAN AND TO UTILITIES DEVELOPMENT FOR FIRE MARSHAL STAMP AND ADEQUATE COVERAGE FOR FIRE.**

7. **Project # 1003445**
06DRB-00075 Minor-SiteDev Plan
BldPermit

JLS ARCHITECTS agent(s) for TERRY CORLIS request(s) the above action(s) for all or a portion of Tract(s) E2 and F, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 PDA to include C-3, located on EDUCATION PLACE NW, between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 5 acre(s). [REF: 05EPC-00022] *[Deferred from 1/25/06]* (C-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PUBLIC ACCESS EASEMENT TO BE RECORDED AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

8. **Project # 1001275**
06DRB-00076 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for TEAM RETAIL COTTONWOOD LTD request(s) the above action(s) for all or a portion of Tract(s) 1, LOWE'S, (to be known as **COTTONWOOD COMMONS**) zoned SU-1 FOR C-1, located on OLD AIRPORT RD NW, between COTTONWOOD NW and COORS NW containing approximately 9 acre(s). [REF: CZ-82-4, CSU-88-45, Z-97-106, SC-78-38, AX-97-17] [**Stephanie Shumsky, EPC Case Planner**] *[Deferred from 1/25/06 & 2/1/06]* (A-14) **DEFERRED AT THE AGENT'S REQUEST TO 2/15/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1002189**
06DRB-00094 Minor-Prelim&Final Plat
Approval

WILKS COMPANY agent(s) for TIM & TRACY JARMILLO request(s) the above action(s) for all or a portion of Lot(s) 1-P1, Block(s) 7, **CRYSTAL RIDGE SUBDIVISION, UNIT 3**, zoned R-1 residential zone, located on MAGIC SKY CT NW, between SEVEN BAR LOOP NW and BARRETT AVE NW containing approximately 1 acre(s). [REF: S-98-66, DRB-97-298,SV-97-55] (B-13) **DEFERRED AT THE BOARD'S REQUEST FOR INTERPRETATION OF R-2005-177 OF THE WESTSIDE STRATEGIC PLAN TO 2/8/06.**

10. **Project # 1001628**
06DRB-00097 Major-Final Plat Approval
- BOHANNAN HUSTON INC agent(s) for JUDE BACA request(s) the above action(s) for EQUESTRIAN CENTER, **MESA RIDGE SUBDIVISION**, zoned SU-1 for PRD, located on MONTANO RD NW, between VISTA MONTANO ST NW and EQUESTRIAN DR NW containing approximately 8 acre(s). [REF: 05DRB-01166, 05DRB-01242, 05DRB-01251] (E-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA SIGNATURE AND PLANNING FOR INTERPRETATION OF R-2005-177 OF THE WESTSIDE STRATEGIC PLAN.**
11. **Project # 1004177**
06DRB-00098 Major-Final Plat Approval
- BOHANNAN HUSTON agent(s) for D. R. HORTON HOMES INC, request(s) the above action(s) for all or a portion of Tract(s) 10, 11, 12 & 13, (to be known as **VENTANA HIGHLANDS UNIT 1 @ VENTANA RANCH WEST**) zoned R-LT, located on IRVING BLVD NW and VENTANA RIDGE RD NW and containing approximately 74 acre(s). (B-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR INTERPRETATION OF R-2005-177 OF THE WESTSIDE STRATEGIC PLAN.**
12. **Project # 1002254**
06DRB-00084 Minor-Prelim&Final Plat Approval
- JEFF MORTENSEN & ASSOCIATES agent(s) for FREDERICK & ROSEMARY PALMER request(s) the above action(s) for all or a portion of Tract(s) 2A, BUENA VISTA ESTATES, UNIT 1 (to be known as **BEEHIVE VILLAGE**) zoned SU-2 IP, located on SAN PEDRO NE, between WILSHIRE AVE NE and CORONA AVE NE containing approximately 3 acre(s). [REF: 02DRB-01502, 02DRB-01503, 05AA-01702, 05DRB-01643, 05AA-01850] (C-18) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1002176**
06DRB-00092 Major-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a PORTION OF LAND IN SW 1/4 - NW 1/4 SECTION R4E TOGETHER W/ TRACT E-1, **NORTH FOUR HILLS**, zoned SU-1, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). (L-23) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

14. **Project # 1004246**
06DRB-00091 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JASON DASKALOS request(s) the above action(s) for all or a portion of Lot(s) 7-10 & 23-26, Block(s) 35, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 - IP, located on HOLLY AVE NE and PASEO DEL NORTE NE and containing approximately 6 acre(s). [Deferred from 2/1/06] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 2/8/06.**

15. **Project # 1004505**
06DRB-00096 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for JONI MILLER ZYDECO request(s) the above action(s) for all or a portion of Lot(s) 1 THRU 8 and EAST 1/2 OF Lot(s) 9, Block(s) N, **ATLANTIC & PACIFIC ADDITION**, zoned SU-2 special neighborhood zone, located on COAL AVE SW, between 4TH ST SW and 5TH ST SW containing approximately 1 acre(s). [REF: 05DRB-01622] (K-14) **PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR APPROVAL OF DESIGN ELEVATIONS AND CROSS SECTIONS OF PERIMETER WALLS BY THE DRB CHAIR.**

16. **Project # 1003198**
06DRB-00093 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A & B, LANDS OF HECTOR ROJO and Tract(s) 355 & 356, TOWN OF ATRSICO GRANT, (to be known as **AUTUMN VIEW SUBDIVISION**, zoned RD, R-1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). (L-10) **FINAL PLAT WAS DEFERRED AT THE BOARD'S REQUEST FOR INTERPRETATION OF R-2005-177 OF THE WESTSIDE STRATEGIC PLAN TO 2/8/06.**

17. **Project # 1003905**
06DRB-00105 Minor-Prelim&Final Plat Approval

ANTHONY DECK agent(s) for LOUIE CASIAS request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) B, **SANDALWOOD SUBDIVISION, UNIT 1**, zoned R-D residential and related uses zone, developing area, located on ALLWOOD DR NW, between HANOVER DR NW and INTERSTATE 40 – AMAFCA RIGHT-OF-WAY, containing approximately 1 acre(s). [REF: 05DRB-000134] (J-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CORRECTION OF PROJECT NUMBER TO BE CHANGED TO APPLICATION NUMBER.**

18. **Project # 1004359**
06DRB-00100 Minor-Prelim&Final Plat Approval

MARK SNAPP agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 17, **RICE'S DURANES ADDITION, UNIT 1**, zoned R-2 residential zone, located on RIO GRANDE BLVD NW, between INDIAN SCHOOL RD NW and RICE AVE NW containing approximately 1 acre(s). [REF: 05DRB-01244] [*Deferred from 2/1/06*] (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/8/06.**

19. **Project # 1004661**
06DRB-00101 Minor-Prelim&Final Plat
Approval

GARY HUBBARD agent(s) for J & S DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 5A, 5B, 6A, 6B, 7A & 7B, **EMIL MANN ADDITION**, zoned R-2, located on TRUMBELL AVE NE and BELL AVE NE and containing approximately 1 acre(s). (L-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1002730**
06DRB-00095 Minor-Sketch Plat or Plan

BINGHAM ENGINEERING agent(s) for BETTY BLEA, HOMES BY MARIE request(s) the above action(s) for all or a portion of Lot(s) 13A1, Block(s) 6, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on VENTURA ST NE, between CORONA AVE NE and WILSHIRE AVE NE containing approximately 4 acre(s). [REF: DRB-98-123/S-99-40] (C-20) **WITHDRAWN AT THE AGENT'S REQUEST.**

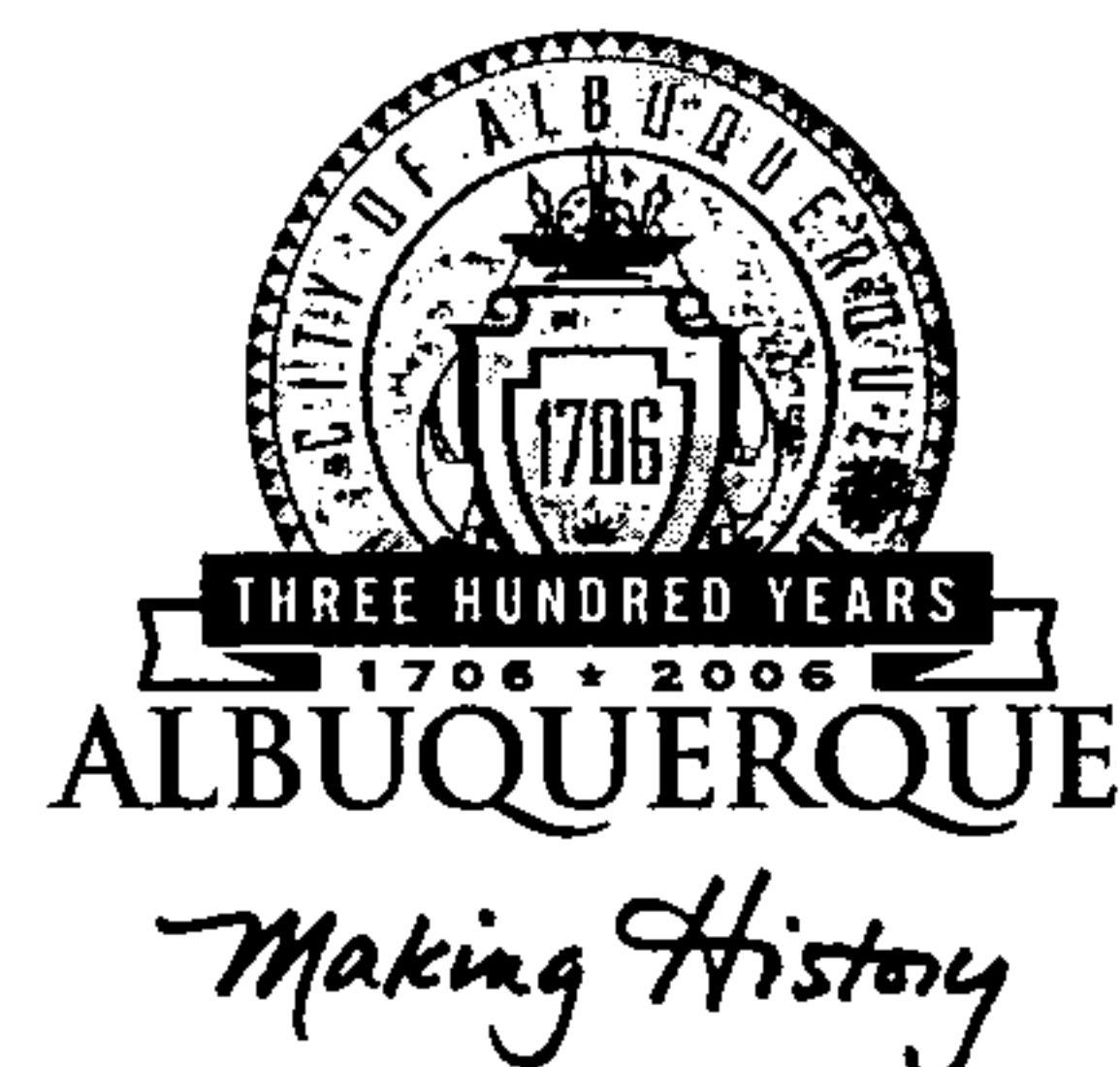
21. **Project # 1004655**
06DRB-00080 Minor-Sketch Plat or Plan

JESUS M. & MARIA D. VIZCAINO request(s) the above action(s) for all or a portion of Lot(s) 8 & 9, Block(s) 10, **LOWER BROADWAY**, zoned SU-2/M-R, located on ALAMO AVE SE, between MECHEM SE and HINKLE SE containing approximately 1 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for January 25, 2006. **THE DRB MINUTES FOR JANUARY 25, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:55 A.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004505

AGENDA ITEM NO: 15

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

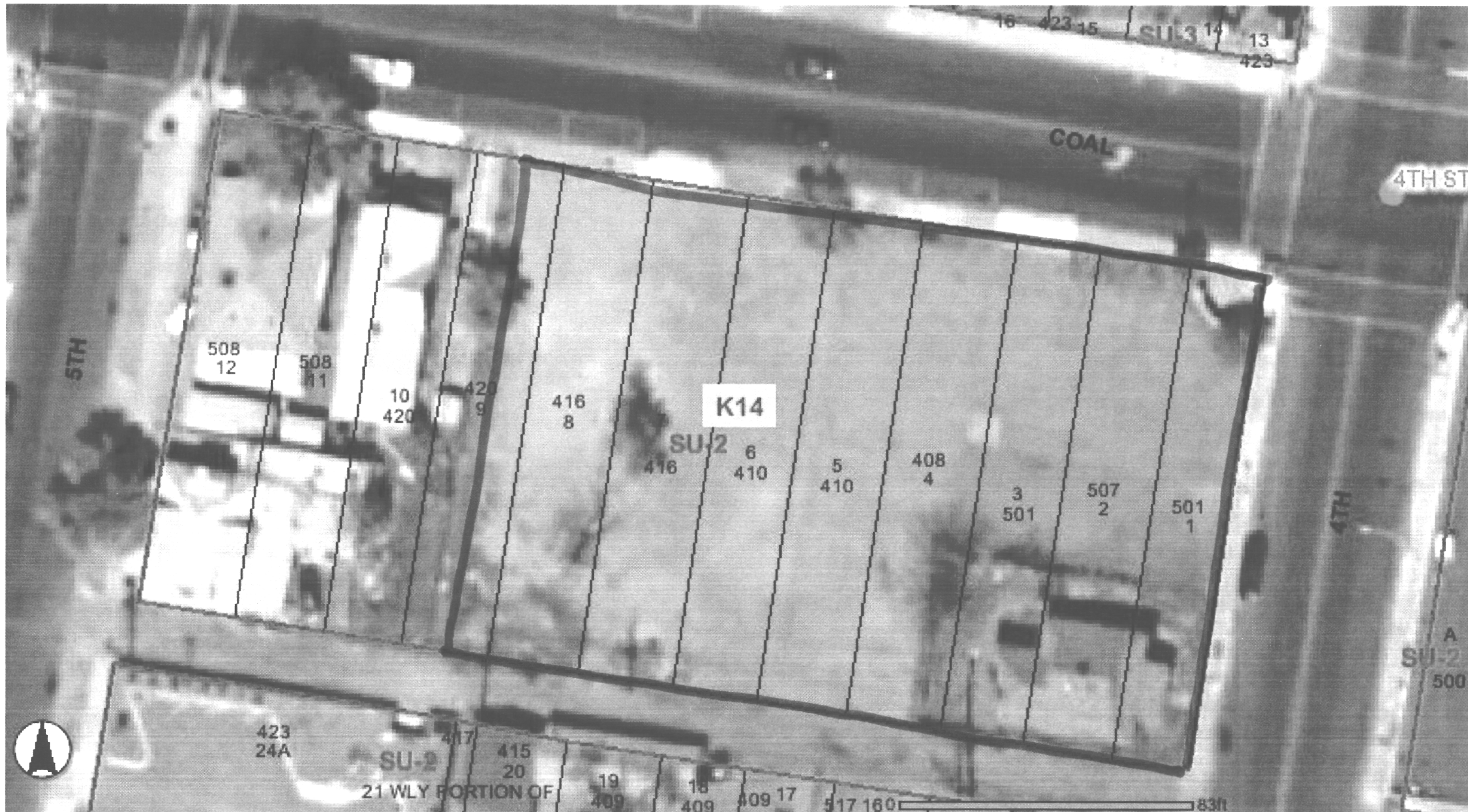
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) TO: (UD) (CE) (TRANS) (PKS)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: February 1, 2006



PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
10/26/05	Atlantic & Pacific Aids	Sketch	Comments given
2/1/06	Same	Pre & Final	approved

#15

4505

DXF Electronic Approval Form

DRB Project Case #: 1004505

Subdivision Name: ATLANTIC & PACIFIC LOTS 1A,5A & 9A

Surveyor: GARY E GRITSKO

Contact Person: SARAH AMATO

Contact Information: 998-0303

DXF Received: 1/25/2006

Hard Copy Received: 1/25/2006

Coordinate System: NMSP Grid (NAD 27)


Approved

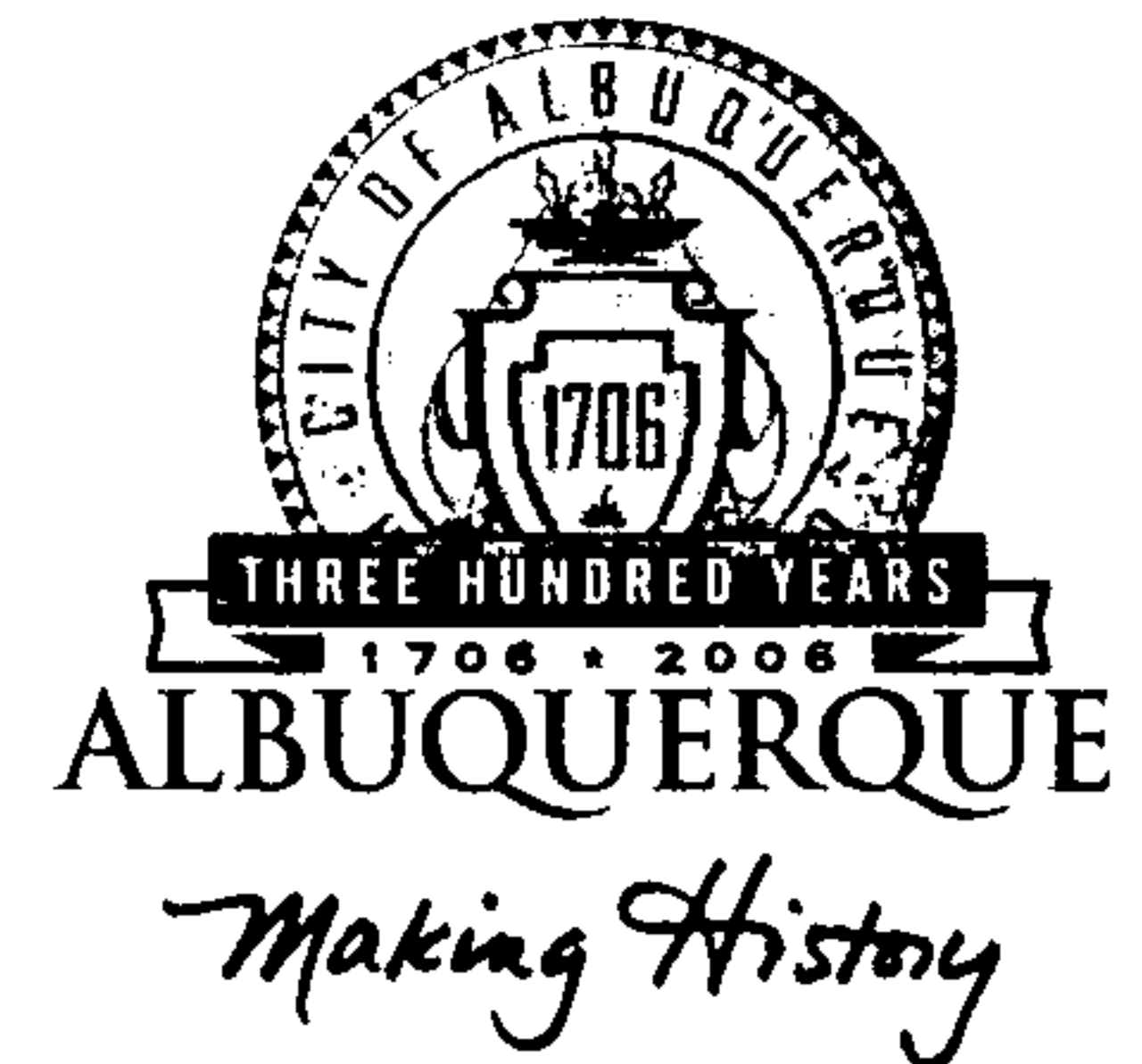
01-25-2006
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **4505** to agiscov on **1/25/2006** Contact person notified on **1/25/2006**

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004505

AGENDA ITEM NO: 20

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

RESOLUTION:

New Mexico 87103

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

discussed

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

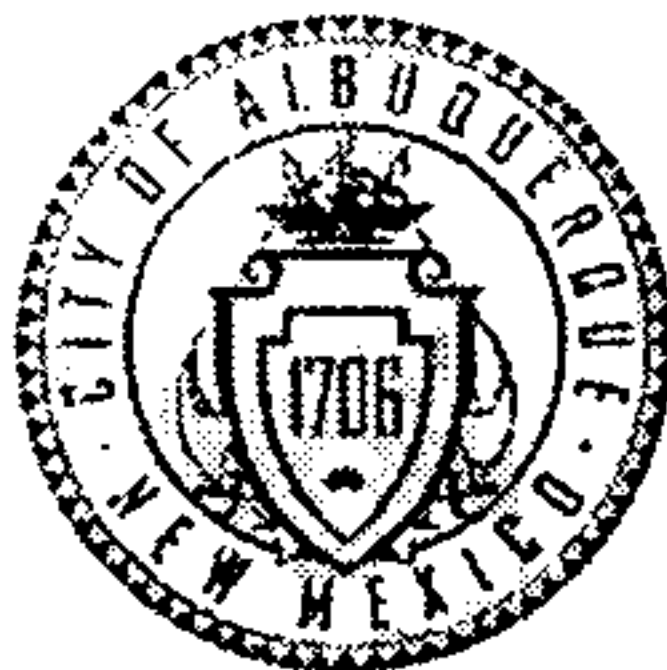
FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 26, 2005



#20



IMPACT FEES – # 1004505

Development Review Board 10/26/05

Agenda Item #20

Sketch Plat: Lots 1-A, 5-A & 9-A of
Atlantic & Pacific Addition

- On lot 1-A impact fees will not be collected.
- On lot 5-A impact fees will be charged according to the types and square footage of the buildings. Since this is commercial, impact fees will be collected for Roadway Facilities only.
- On lot 9-A the construction of a new (Townhome) single family residence within the proposed subdivision will require the payment of Impact Fees. Based on a townhouse size of 1800sf, the estimated impact fees are as follows.
 1. Public Safety Facilities for the Eastside are approximately \$496.80/unit
 2. Parks, Recs., Trails and Open Space for Central University are approximately \$702.00/unit.
 3. There will not be any impact fee for Drainage Facilities or Roadway Facilities.

Impact fees are to be paid at the time of issuance of building permits; However, the total impact fee may be paid at the rate of 34% if building permits are obtained by December 30, 2005 and 67% if permits are obtained by December 29, 2006.

JACK CLOUD
IMPACT FEE ADMINISTRATOR

City Of Albuquerque
PLANNING DEPARTMENT
October 26, 2005
DRB Comments

Item # 20

Project # 1004505

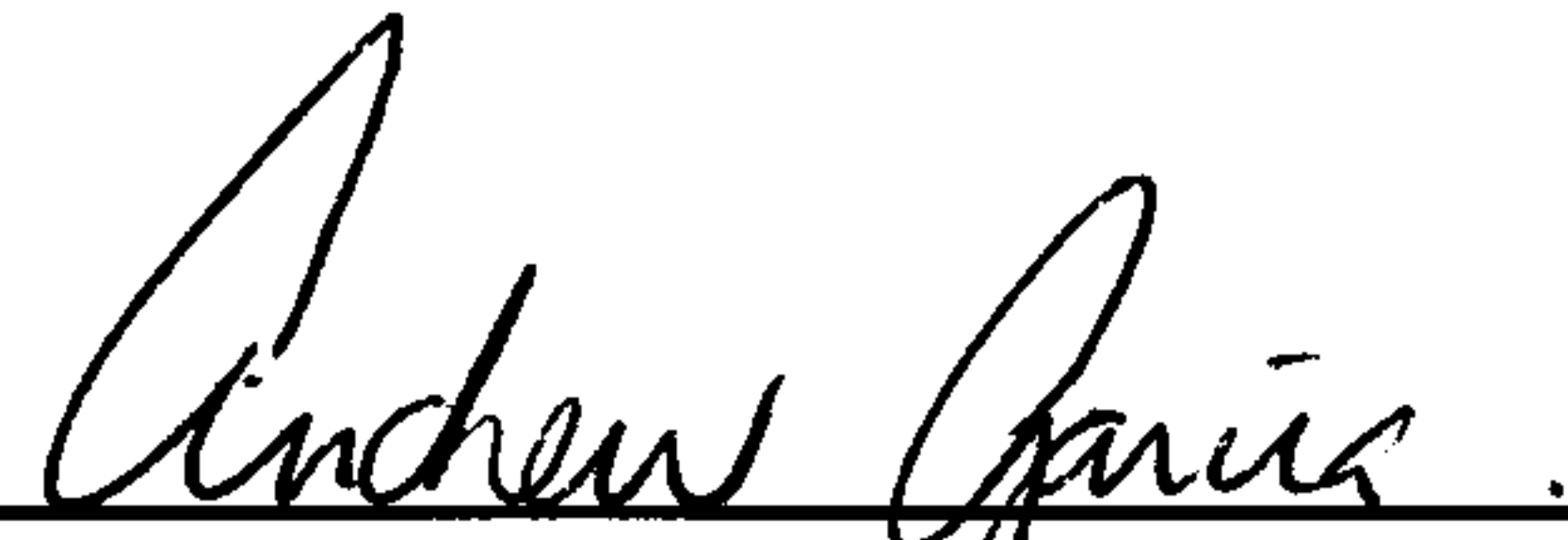
Application # 05-01622

RE: Atlantic & Pacific Addition/ sketch

Make sure that the condominiums meet the usable open space requirements of the ~~South Broadway~~ Sector Plan.

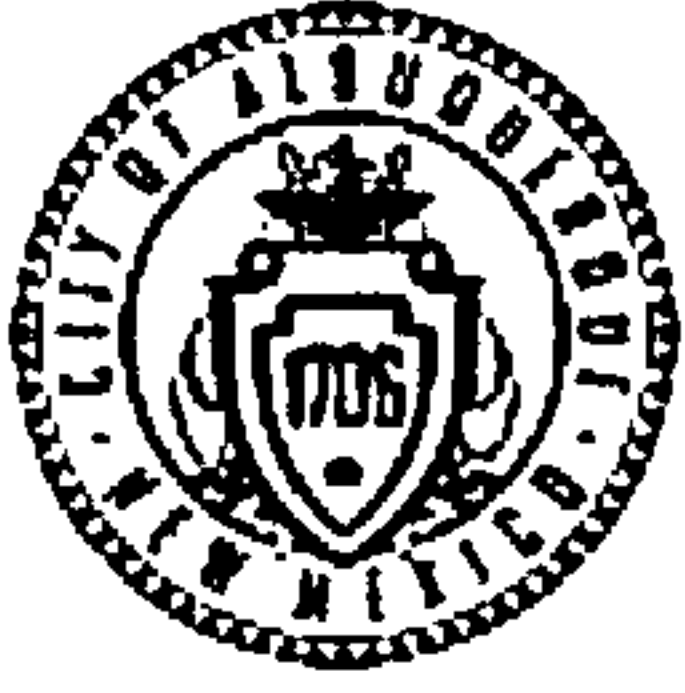
Barelas →

Any perimeter walls facing a street, public trail, open space or park must receive design approval before the preliminary plat is approved



Andrew Garcia, DRB Planning Alternate
924-3858 Fax 924-3864 agarcia@cabq.gov

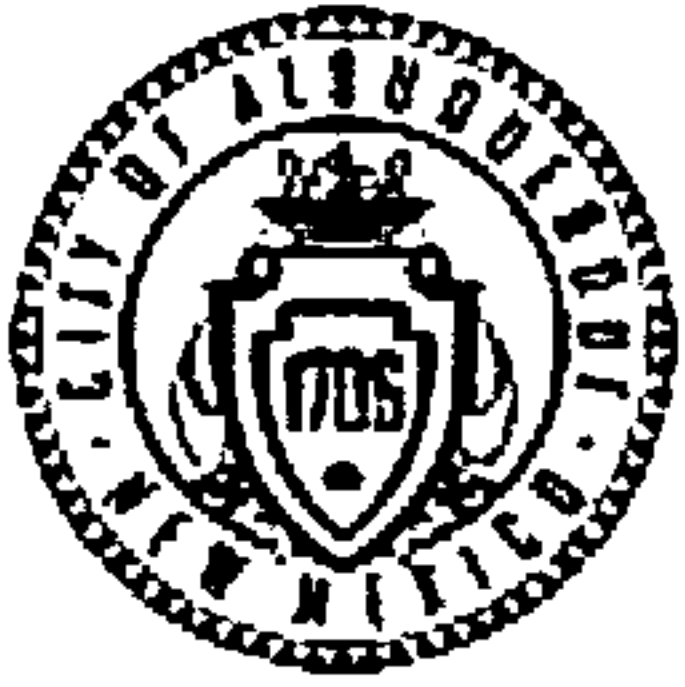
FILE
R-TOP



Sheran A.
Matson/PLN/CABQ
02/21/2006 11:19 AM

To g.s.hartman@att.net@PUBCABQ
cc
bcc
Subject Re: Project# ~~1004505~~

If it's a public alley, yes you do.
g.s.hartman@att.net



g.s.hartman@att.net
02/17/2006 10:37 AM

To smatson@cabq.gov (Sheran Matson)
cc dmgraney@swsurvey.com (Dan Graney)
Subject Re: Project# 1004505

Sheran, I just got off the phone with the project architect who informed me that an open metal fence is planned for the alley. Do we need to submit this for your approval? Thanks...G

----- Original message from g.s.hartman@att.net: -----

To: Sheran Matson, AICP DRB Chair
From: Gerald Hartman, City of Albuquerque MRA
Subject: Project #1004505

DRB heard a request for minor plat approval for Lots 1-8 and the East 1/2 of Lot 9, Block N, Atlantic and Pacific Addition, located on the SW corner of 4th and Coal, at the February 1, 2006 DRB Meeting. DRB delegated to the DRB Chair approval of design, elevation and cross sections of perimeter walls.. As this project does not have walls that face either 4th or Coal I am requesting that the DRB Chair grant approval of this platting action as submitted. If you have any questions I can be reached at 345-3209 or the surveyor, SW Surveys at 998-0303.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

Major Subdivision action
 Minor Subdivision action **PRELIM/FINAL**
 Vacation **V**
 Variance (Non-Zoning)

SITE DEVELOPMENT PLAN Supplemental form **P**

...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

ZONING & PLANNING Supplemental form **Z**

Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (Phase I, II, III)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... Supplemental form **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JONI MILLER, ZUDECO PHONE: 1-505-984-1766
 ADDRESS: 428 SANDOVAL FAX: _____
 CITY: SANTA FE STATE NM ZIP 87501 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: CITY OF ALBU.
 AGENT (if any): SURVEYS SOUTHWEST, LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: DIVIDE EIGHT EXISTING LOTS & PORTION OF LOT CONVEYED BY DEED INTO THREE NEW LOTS & GRANT ADD. EASEMENTS. (PRELIM/FINAL)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 1 THRU 8 & E 1/2 OF LOT 9 Block: N Unit: N/A
 Subdiv. / Addn. ATLANTIC & PACIFIC ADDITION
 Current Zoning: SU-2 Proposed zoning: N/A
 Zone Atlas page(s): K-14-2 No. of existing lots: 9 No. of proposed lots: 3
 Total area of site (acres): 0.6927 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 1-014-057-124-280-20412, 1-014-057-137-2711-20408 MRGCD/Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: LOAL AVE SW
 Between: 4th STREET SW and 5th STREET SW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 05 DRB-01622

Proj # 1004505 (SKETCH PLAT)

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Dan Graney DATE 1.23.06
 (Print) Dan Graney _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB - -00096</u>	<u>P&E</u>	<u>5(3)</u>	<u>\$ 355.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>02/01/06</u>			Total <u>\$ 375.00</u>

Sandy Handley 01/24/06
 Planner signature / date

Project # 1004505

1-014-057-124-280-20412
 1-014-057-137-2711-20408
 1-014-057-138-2714-20410
 1-014-057-132-278-20410

FORM S(3): SUBDIVISION - D.R. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
 Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Design elevations & cross sections of perimeter walls
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - SIA financial guaranty verification
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. (Otherwise, bring Mylar to meeting.)
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

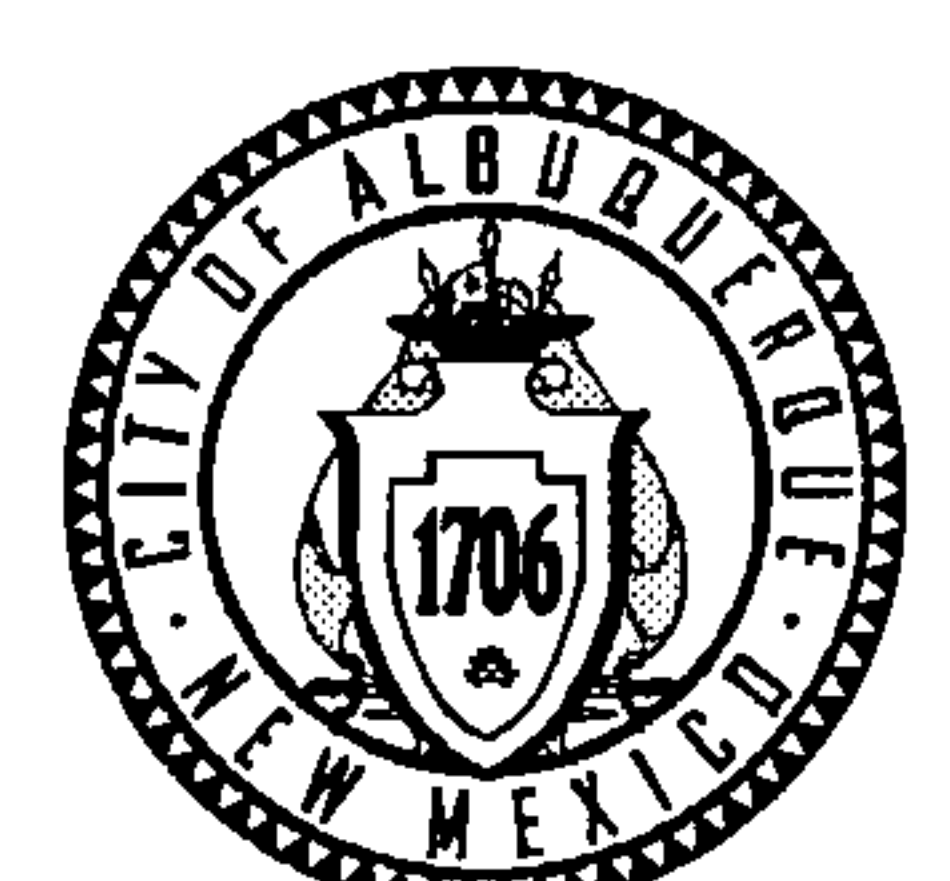
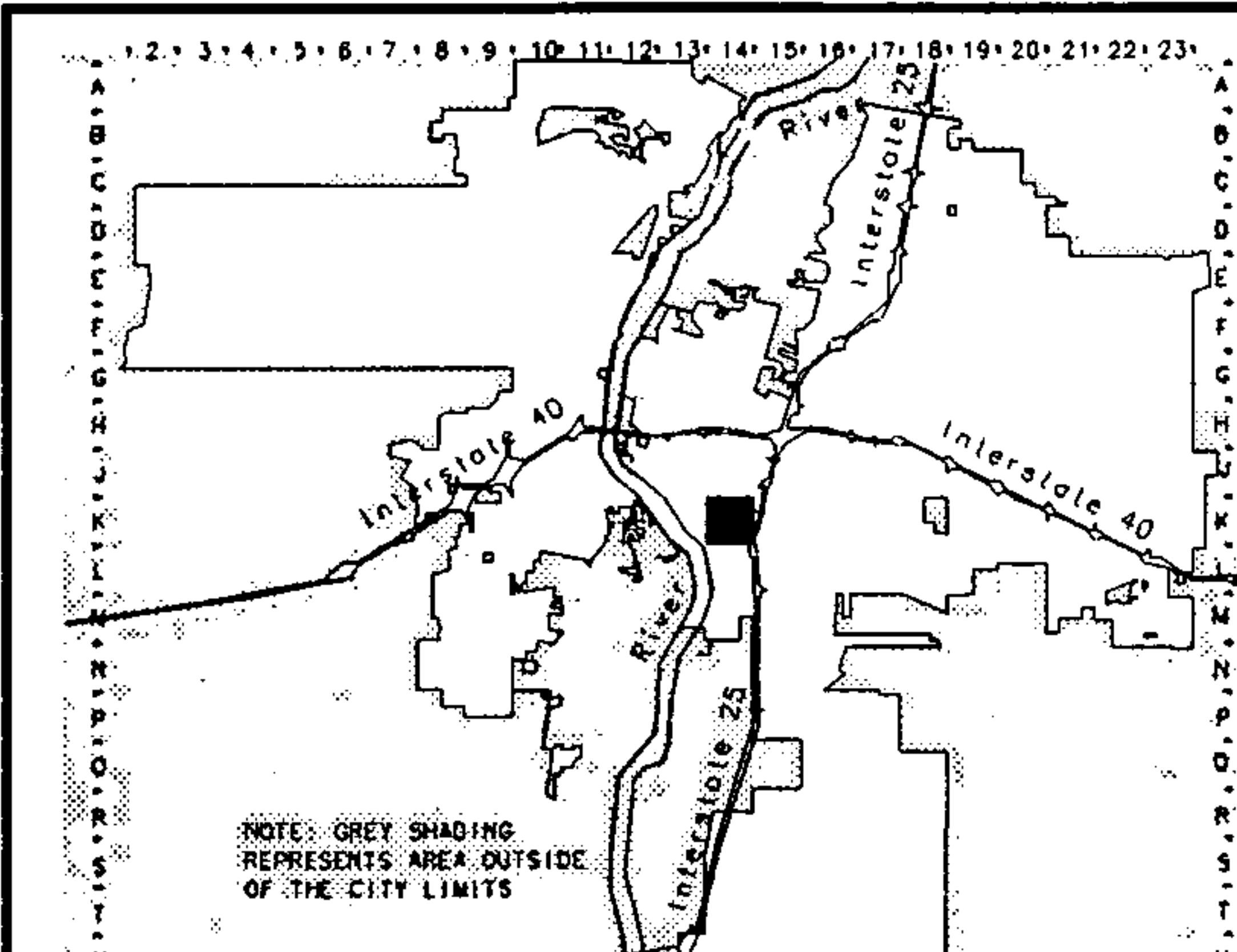
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Graney
 Dan Graney
 Applicant name (print)
 1.23.06
 Applicant signature / date



Form revised 3/03, 8/03 and 11/03

- | | | |
|---|--------------------------|--|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers | |
| <input type="checkbox"/> Fees collected | 06DRB - 00096 | Sandy Handley 01/24/06
Planner signature / date |
| <input checked="" type="checkbox"/> Case #s assigned | - | |
| <input type="checkbox"/> Related #s listed | - | Project # 1004505 |



Zone Atlas Page

K-14-Z

Map Amended through August 03, 2004

A G I S
 Albuquerque Geographic Information System
 PLANNING DEPARTMENT
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Surveys Southwest, LTD

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

January 23, 2006

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 1-A, 5-A, & 9-A, ATLANTIC & PACIFIC ADDITION

Dear Board Members:

The purpose of this plat is to develop this site with condominiums and granny flats on Lot 9-A and commercial development on Lot 5-A

If you have any questions please feel free to contact me.

Sincerely,

Dan Graney
President

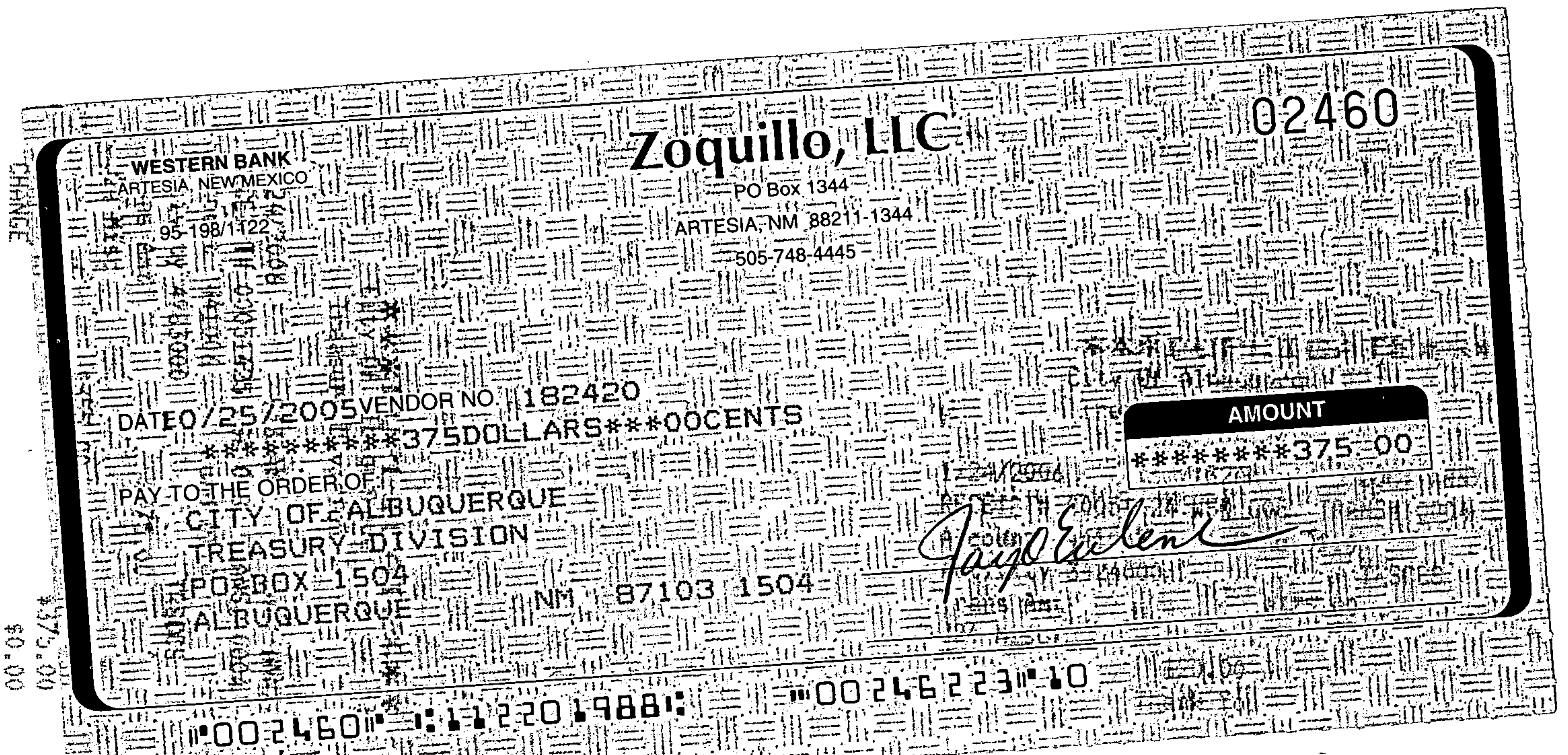
ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME JONI MILLER, ZYDECO
AGENT SURVEYS SOUTHWEST LTD
ADDRESS 333 LOMAS BLVD. NE
PROJECT & APP # 1004505/06DRB00096
PROJECT NAME LT-1-A, SA, & 9-A, ATLANTIC & PACIFIC ADDITION

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 355.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 375.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.



City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

- Major Subdivision action
- Minor Subdivision action **SKETCH**
- Vacation **V**
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN Supplemental form **P**

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC) **L**

ZONING & PLANNING Supplemental form **Z**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... Supplemental form **A**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CITY OF ALBU. PHONE: _____
 ADDRESS: P.O. Box 1293 FAX: _____
 CITY: ALBU STATE: NM ZIP: 87103 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): SURVELL SOUTHWEST, LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306
 CITY: ALBU STATE: NM ZIP: 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: DIVIDE NINE EXISTING LOTS INTO THREE NEW LOTS & GRANT ADDITIONAL EASEMENTS. (SKETCH PLAT)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 1-9 Block: N Unit: N/A
 Subdiv. / Addn. ATLANTIC & PACIFIC ADDITION
 Current Zoning: SU-2 / NCR Proposed zoning: N/A
 Zone Atlas page(s): K-14-Z No. of existing lots: 9 No. of proposed lots: 3
 Total area of site (acres): 0.7335 Density if applicable: dwellings per gross acre: - dwellings per net acre: -
 Within city limits? Yes. No but site is within 5 miles of the city limits. Within 1000FT of a landfill? N/A
 UPC No. 1-014-057-137-271-20408, 1-014-057-138-279-20409 MRGCD Map No. N/A
 LOCATION OF PROPERTY BY STREETS: On or Near: 4th STREET SW and 5th STREET SW
 Between: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Dan Graney DATE 10-18-05
 (Print) Dan Graney _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - 01622</u>	<u>SK</u>	<u>SK</u>	<u>\$ 0.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>10/26/05</u>				Total <u>\$ 0.00</u>

Sandy Handley 10/18/05 **Project #** 1004505
 Planner signature / date

1-014-057-124-280-20412
 1-014-057-124-280-20413
 1-014-057-124-280-20414
 1-014-057-124-280-20415
 1-014-057-124-280-20416
 1-014-057-124-280-20417
 1-014-057-124-280-20418
 1-014-057-124-280-20419
 1-014-057-124-280-20420
 1-014-057-124-280-20421
 1-014-057-124-280-20422
 1-014-057-124-280-20423
 1-014-057-124-280-20424
 1-014-057-124-280-20425
 1-014-057-124-280-20426
 1-014-057-124-280-20427
 1-014-057-124-280-20428
 1-014-057-124-280-20429
 1-014-057-124-280-20430

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

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Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

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 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
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 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

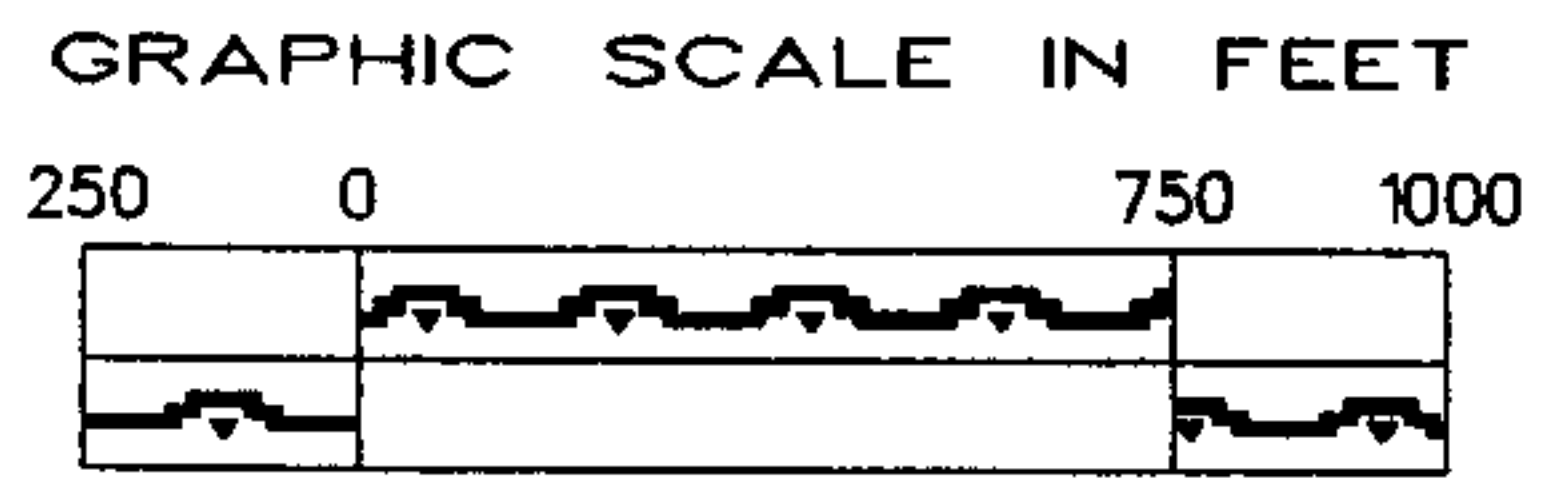
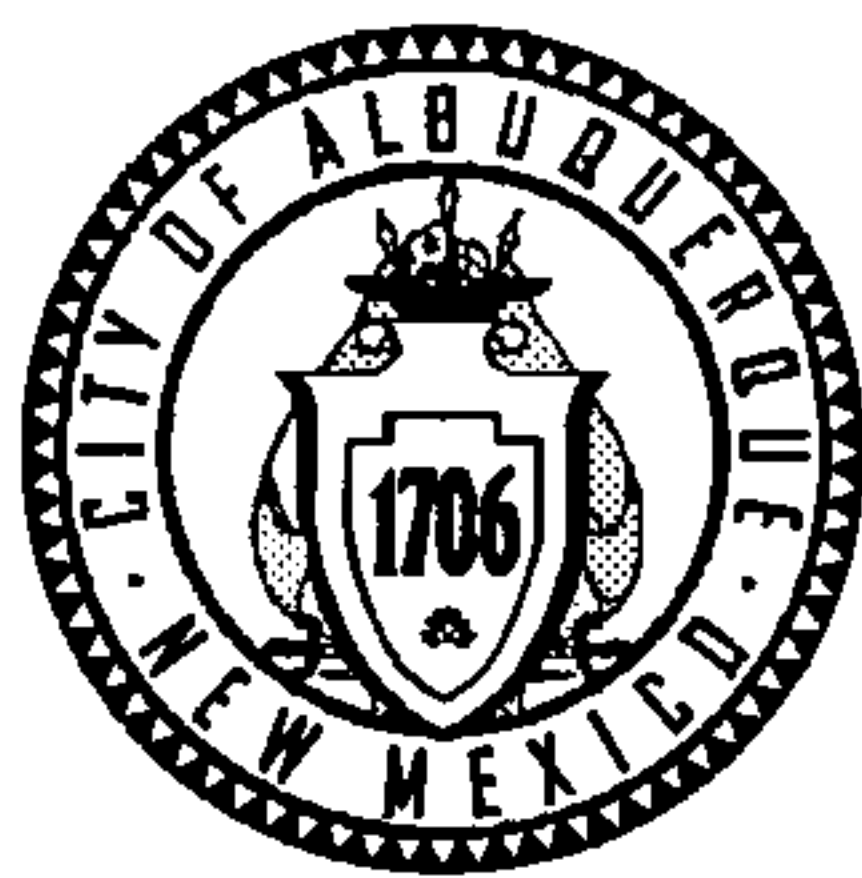
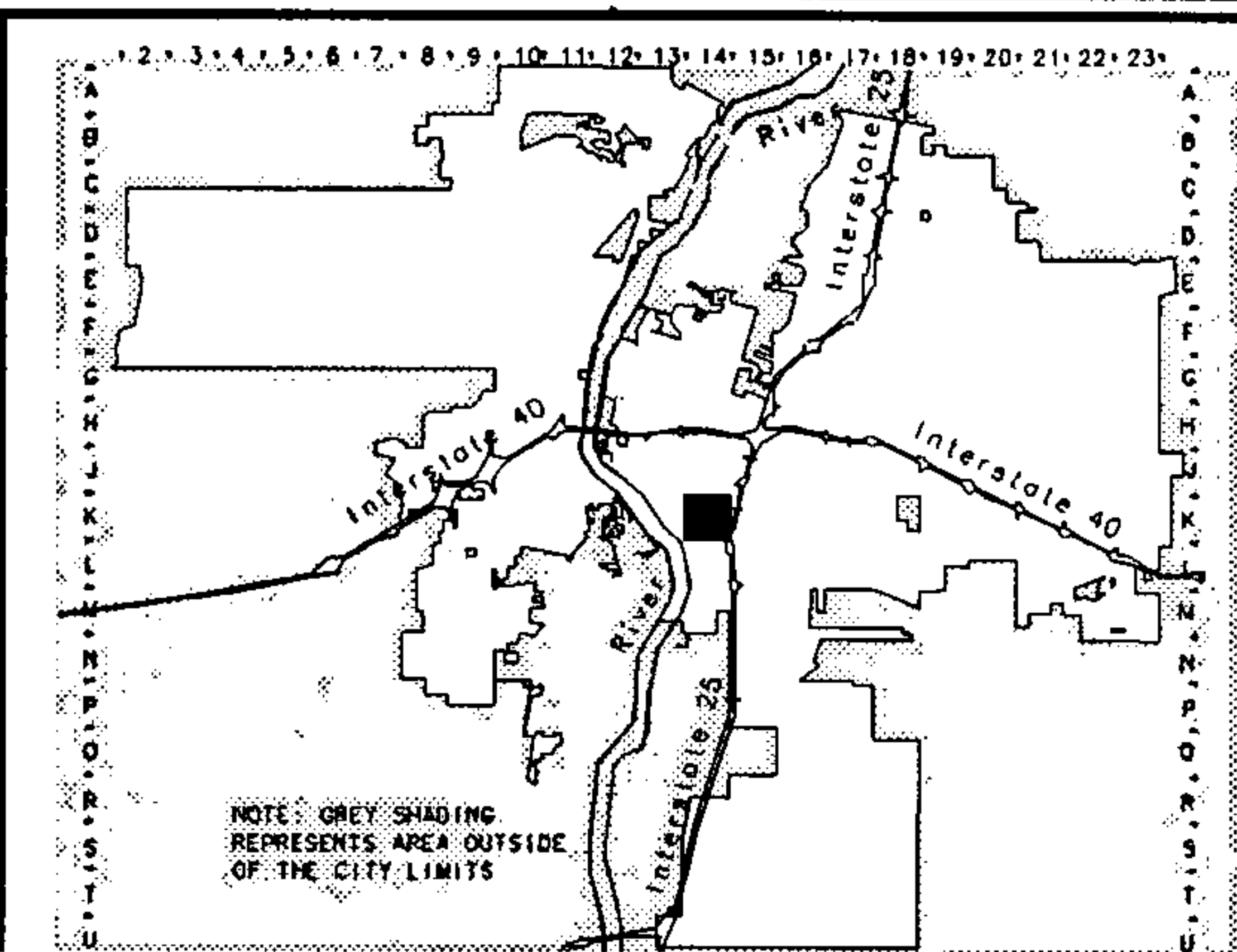
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jan Graney Applicant name (print)
Jan Graney Applicant signature / date
 10-18-05



Form revised 3/03, 8/03 and 11/03

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	
<input checked="" type="checkbox"/> Fees collected	05 DRB -	01622 <u>Sandy Hardley</u> 10/18/05
<input checked="" type="checkbox"/> Case #s assigned	-	Planner signature / date
<input type="checkbox"/> Related #s listed	-	Project # 1004505



Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

© Copyright 2004

Zone Atlas Page

K-14-Z

Map Amended through August 03, 2004

Surveys Southwest, LTD

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

October 17, 2005

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: LOTS 1-A, 5-A & 9-A, ATLANTIC & PACIFIC ADDITION

Dear Board Members:

The purpose of this sketch plat is to determine any requirements of the City of Albuquerque prior to submittal for Preliminary / Final Plat.

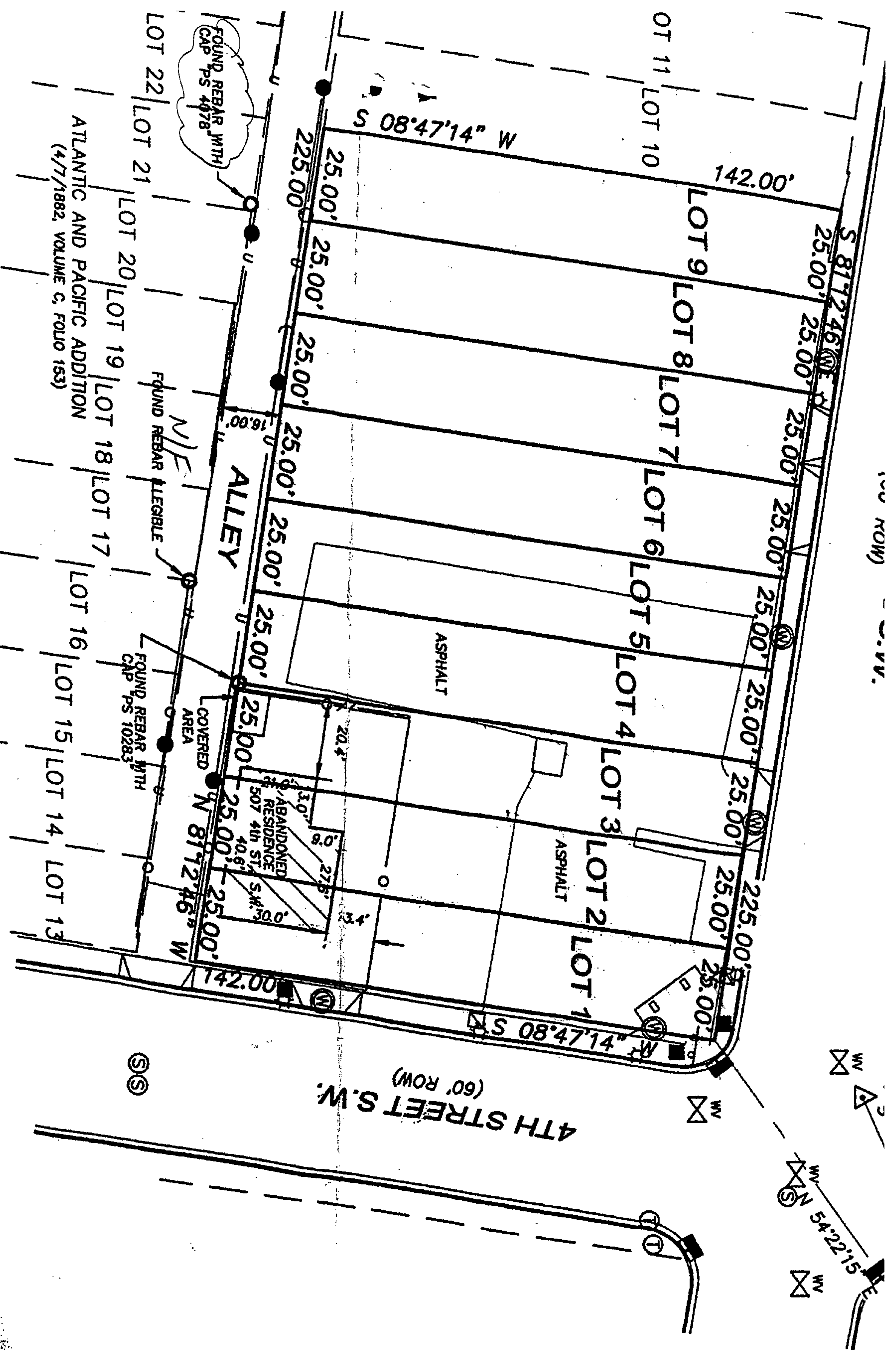
Lot 1-A has an existing residence and Lot 9-A is to be developed with Four-two story condominiums with Granny Flats and lot 5-A to be developed with commercial buildings.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR, HEREBY CERTIFY THAT A BOUNDARY SURVEY OF THE REAL PROPERTY SHOWN HEREIN HAS BEEN SURVEYED, MONUMENTED AND PLATED IN ACCORDANCE WITH THE STATUTES OF THE STATE OF NEW MEXICO, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY AND CORRECTED PLAT IS THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ACT AND IS NOT INTENDED TO SUBDIVIDE AND EXISTING PARCEL. THIS IS A BOUNDARY PLAT OF AN EXISTING TRACT AND IS NOT A LAND DIVISION OR SUBDIVISION UNDER THE NEW MEXICO SUBDIVISION ACT. NO ENCROACHMENTS EXIST EXCEPT AS SHOWN ON THIS SURVEY. NO ENCROACHMENTS EXIST EXCEPT AS SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORDS LOCATED BY THIS SURVEY.



LARRY W. MEDRANO