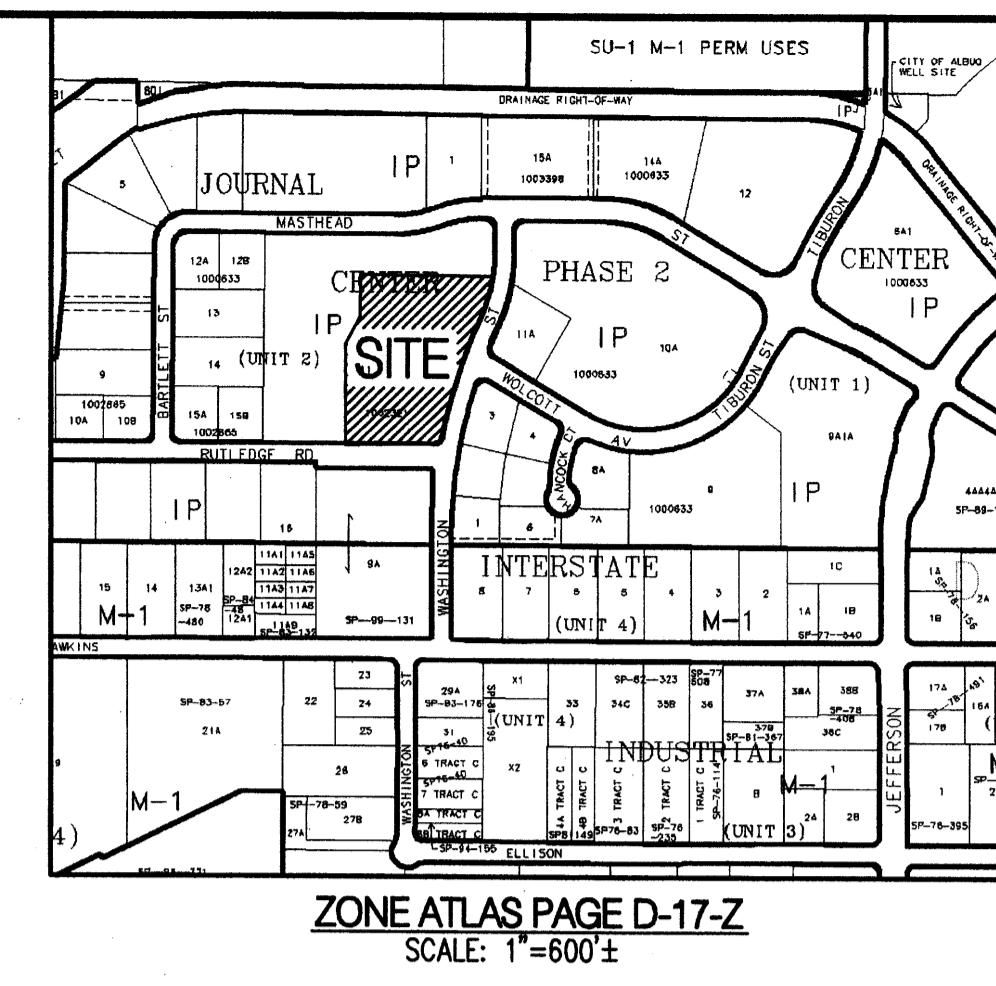


- KEYED NOTES**
- 14' HIGH MASONRY SCREEN WALL/RETAINING WALL TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS. WALL TO SCREEN MECHANICAL EQUIPMENT.
 - MASONRY REFUSE ENCLOSURE TO MATCH BUILDING. MIN 6' HIGH. SEE DETAILS ON SHEET AS-101. INSTALL CONCRETE PAD.
 - NOT USED.
 - BICYCLE PARKING (24 SPACES). SEE DETAIL ON SHEET C1.2.
 - MOTORCYCLE PARKING WITH SIGN. SEE DETAIL ON SHEET C1.2.
 - EXISTING MONUMENT SIGN, INSTALLED WITH PHASE 1.
 - EXISTING 6' WIDE SIDEWALK, INSTALLED WITH PHASE 1.
 - RETAINING WALL, HEIGHT VARIES. SEE SHEET C2.0. COLOR OF WALL TO COMPLEMENT BUILDING.
 - LIMITS OF PARKING DECK ABOVE. SEE SHEET C1.1.
 - LIGHT POLE, SEE DETAIL ON SHEET C1.2.
 - 6" HIGH CURB & GUTTER.
 - CONC VALLEY GUTTER.
 - 4" THICK CONCRETE SIDEWALK.
 - INSTALL PRECAST CONCRETE WHEEL STOP PER MANUFACTURER'S RECOMMENDATIONS.
 - INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.2.
 - INSTALL CURB RAMP.
 - INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
 - INSTALL NEW ASPHALT PAVEMENT.
 - INSTALL 4" BOLLARDS PER DETAILS ON SHEET AS-101.
 - INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
 - BOLLARD LIGHTING.
 - COMPACT PARKING SPACE. PAINT THE WORD "COMPACT" AT EACH SPACE.
 - NEW MONUMENT SIGN, SEE DETAILS ON SHEET AS-101.
 - LOADING DOCK.
 - 6' WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2% MAX. CROSS SLOPE).
 - 10' WIDE BRICK CROSS WALK PER COA STD DWG 2412.
 - STANDARD CURB & GUTTER PER COA STD DWG 2415A.
 - UNIDIRECTIONAL CURB RAMP PER COA STD DWG 2426 & DETAIL 1/C1.2.
 - 6' WIDE (MIN) ACCESSIBLE ROUTE FROM PUBLIC RIGHT OF WAY TO BUILDING ENTRANCE.
 - INSTALL VAN ACCESSIBLE PARKING SPACES, STRIPING AND SIGNAGE PER DETAIL ON SHEET C1.2.
 - PROVIDE 400SF OF PUBLIC SPACE WITH 18" RAISED PLANTER/SEAT WALL.
 - 6' LONG BENCH (3 SEATS).
 - UNIDIRECTIONAL CURB RAMP PER COA STD DWG 2426 & DETAIL 2/C1.2.
 - PUBLIC SPACE WITH SCULPTURE CONSTRUCTED WITH THE DEVELOPMENT OF TRACT 11-A.
- NOTES**
1. ALL WHEEL CHAIR RAMPS WITHIN THE CITY OF ALBUQUERQUE RIGHT OF WAY SHALL HAVE TRUNCATED DOMES.

PROJECT DATA

Zoning (Existing)	= IP
Site Area	= 4,4289 ac.
Building Area (Gross)	= 101,660 sf
Parking Required*	
Phase 2	
1st flr office rentable 33,098sf @ 1/200	= 165.5
2nd flr office rentable 32,929sf @ 1/300	= 109.8
3rd flr office rentable 31,319sf @ 1/300	= 104.4
Total Required	= 380
Motorcycle Stalls Required	= 6
Handicap Accessible Stalls Required	= 12
Parking Provided (Phase 2)	
Standard Spaces	= 391
Compact Spaces	= 60
Handicap Accessible Stalls	= 12
Motorcycle Stalls	= 6
Total Provided	= 469
Bicycle Parking Required (Phase 2)	= 24 (1/20 automobile spaces)
Bicycle Parking Provided (Phase 2)	= 24 (4 rows of 6 each)

* Per note 8 of the plat of lots 11-A and 11-B (recorded 11/03/2005) there is a reciprocal cross parking easement on both tracts.



LEGAL DESCRIPTION
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2
ALBUQUERQUE, NM, NOVEMBER, 2005

PROJECT NUMBER: 1004556
Application Number: 10DRB-70165

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated N/A and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	Date: 6-30-10
<i>[Signature]</i> Water Utility Department	Date: 6-30-10
<i>[Signature]</i> Christina Dandord Parks and Recreation Department	Date: 6/30/10
<i>[Signature]</i> Bradley S. Bingham City Engineer	Date: 6/30/2010
<i>[Signature]</i> Safe Works Management	Date: 8-5-10
<i>[Signature]</i> DRB Chairperson, Planning Department	Date: 8-5-2010

DAX zoning

- GENERAL NOTES**
- SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
 - UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
 - SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24" HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.
 - ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
 - AT THE TIME COMMON AREA IRRIGATION IS CONNECTED TO JOURNAL CENTER 2 COMMON AREA IRRIGATION SYSTEM, THE DEVELOPER "TIBURON INVESTMENT, LLC" MUST BE CONTACTED.
- DRAWING INDEX**
- C1.0 - SITE PLAN
 - C1.1 - SITE PLAN - UPPER PARKING DECK
 - L1.0 - LANDSCAPE PLAN
 - C2.0 - CONCEPTUAL GRADING PLAN
 - A2.1 - BUILDING ELEVATIONS
 - A2.2 - BUILDING ELEVATIONS
 - A2.3 - PARKING STRUCTURE ELEVATIONS
 - A2.4 - PARKING STRUCTURE ELEVATIONS
 - C1.2 - SITE DETAILS
 - AS-101 - SITE DETAILS
 - C3.0 - CONCEPTUAL UTILITY PLAN

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ARCHITECT

CONSULTANT

PROJECT TITLE

**USFS
PHASE II
ALBUQUERQUE
SERVICE CENTER
HUMAN
RESOURCES**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:
BO GSB

PROJECT NUMBER:
A10.08

DATE:
JUNE 17, 2010

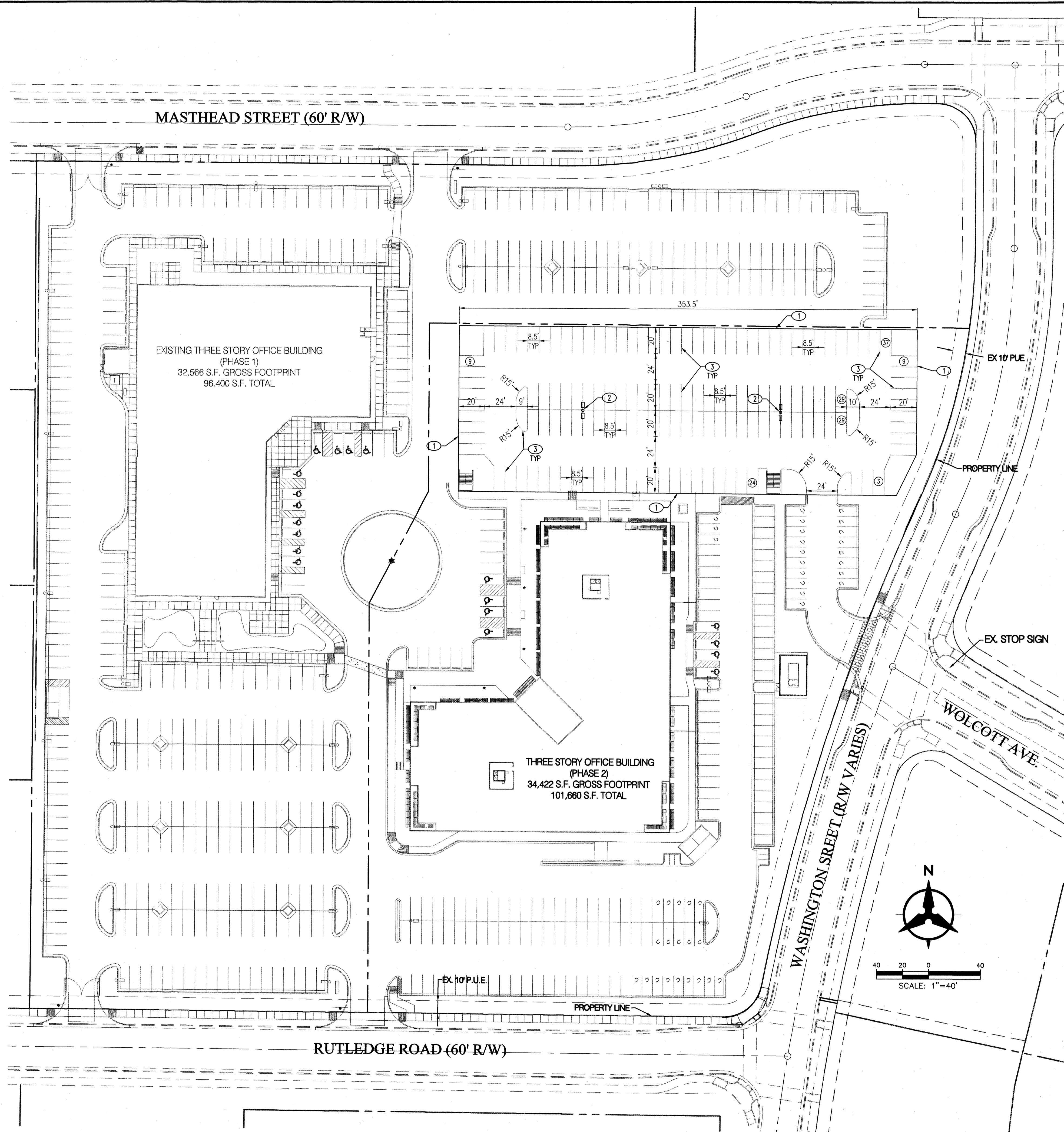
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SITE PLAN

SHEET NO.:
C1.0

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

P:\20110606\CDP\Plans\General\Site Plan For BP\20110606op1.dwg, Layout
June 30, 2010 - 7:40am
Plotted by: BORTEGA

PROJECT # 1004556



- KEYED NOTES**
1. LIMITS OF UPPER PARKING DECK.
 2. LIGHT POLE.
 3. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).



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PROJECT NUMBER:

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DATE:

JUNE 17, 2010

SHEET TITLE:

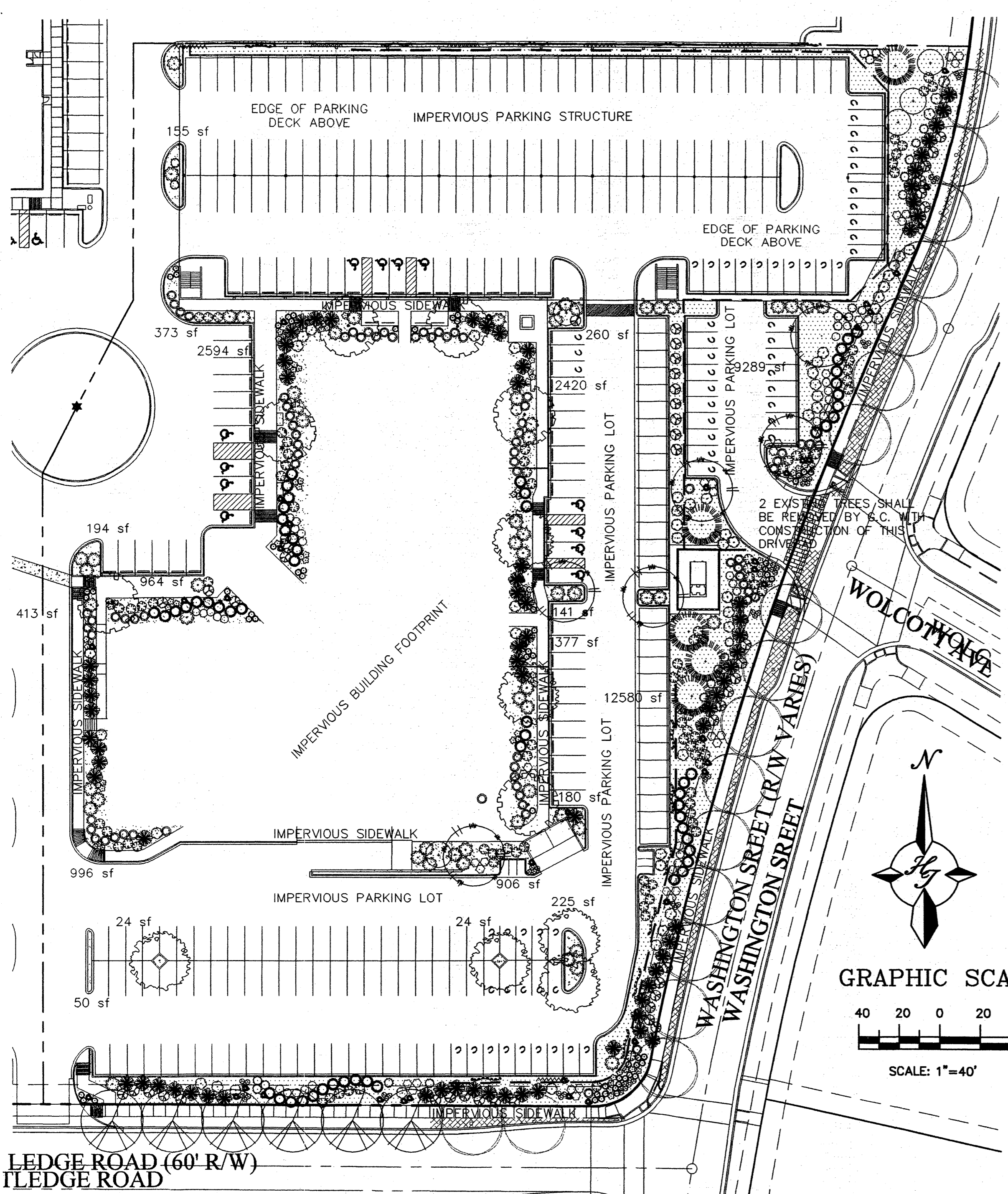
**SITE PLAN
UPPER
PARKING DECK**

SHEET NO:

C1.1

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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June 30, 2010 - 7:41am
Plotted by: BORTEGA



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds (pervious area) shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all Pervious landscape areas which are not designated to receive native seed.

IRRIGATION NOTES FOR PHASE 2:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 9 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Common area irrigation shall be tied to the Master Journal Center 2 common area irrigation system.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

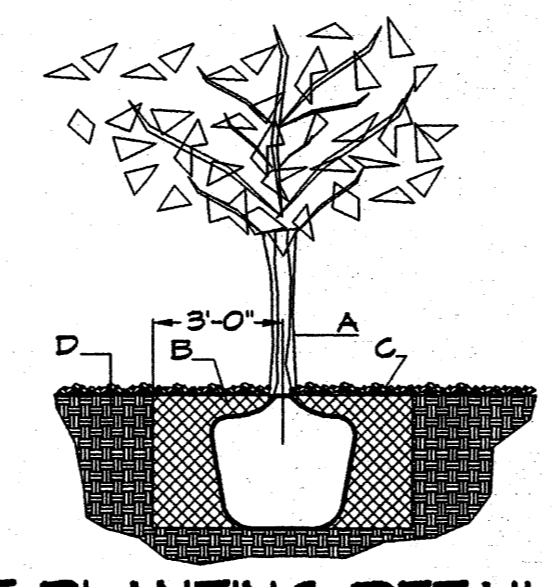
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

PHASE ONE IRRIGATION NOTES:
Irrigation is a complete underground system with Trees supplied with (5) 1.0 GPH Drip Emitters and Shrubs supplied with (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems tied to 1/2" poly pipe with flush caps at each end.

PLAN LEGEND

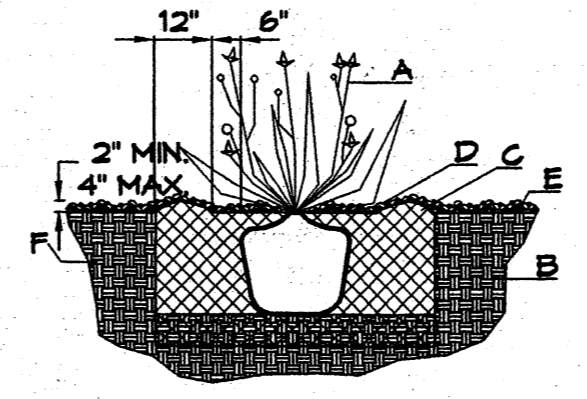
- EXISTING BERINDA ASH
- BERINDA ASH (H) 6
Fraxinus spp.
2" Cal.
(PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
- CHINESE PISTACHE (M) 6
Pistachia chinensis
2" Cal.
- OAK (M) 6
Quercus spp.
2" Cal.
- REDBUD (M) 6
Cercis reniformis
2" Cal.
- AUSTRIAN PINE (M) 5
Pinus nigra
- THORNLESS HAWTHORN (M+) 5
Crataegus crus-galli inermis
15 Gal. 225sf
- SOTOL 75
Dasylirion wheeleri
5 Gal. 36sf
- MUGO PINE (M) 57
Pinus mugo
5 Gal. 36sf
- WINTER JASMINE (L+) 40
Jasminum nudiflorum
5 Gal. 144sf
- CURLLEAF MTN MAHOGANY (L) 53
Carpocarpus ledifolius
5 Gal. 100sf
- GREYLEAF COTONEASTER 60
Cotoneaster buxifolius
5 Gal. 81sf
- APACHE PLUME (L) 31
Falugia paradoxa
5 Gal. 42sf
- THREE-LEAF SUMAC (L) 25
Rhus trilobata
5 Gal. 36sf
- ARP ROSEMARY (M) 75
Rosmarinus officianalis
5 Gal. 36sf
- POWIS CASTLE SAGE (L) 45
Artemisia x powis castle
5 Gal. 25sf
- AUTUMN SAGE (M) 33
Salvia greggii
5 Gal. 4sf
- LAVENDER (M) 57
Lavandula angustifolia
1 Gal. 4sf
- THREADGRASS (M) 64
Stipa tenuisima
1 Gal. 4sf
- MILDFLOWER 52
1 Gal. 4sf
- ENGLISH IVY (M) 6
Hedera helix
1 Gal.
- CORAL HONEYSUCKLE (M) 6
Lonicera sempervirens
1 Gal.
- LADY BANKS ROSE (M) 6
Rosa banksiae
1 Gal.



TREE PLANTING DETAIL

NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

NTS
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:
A. SHRUB
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

LANDSCAPE CALCULATIONS

TOTAL PHASE 2 AREA	190310	square feet
TOTAL PHASE 2 BUILDING AREA	34422	square feet
NET LOT AREA	155948	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	23392	square feet
TOTAL BED PROVIDED	33165 (21%)	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	24873	square feet
TOTAL GROUND COVER PROVIDED	25972 (78%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED IN PHASE 2	33165 (21%)	square feet

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: RUTLEDGE
Required 8 Provided 8 (6 NEW/2 EXISTING)

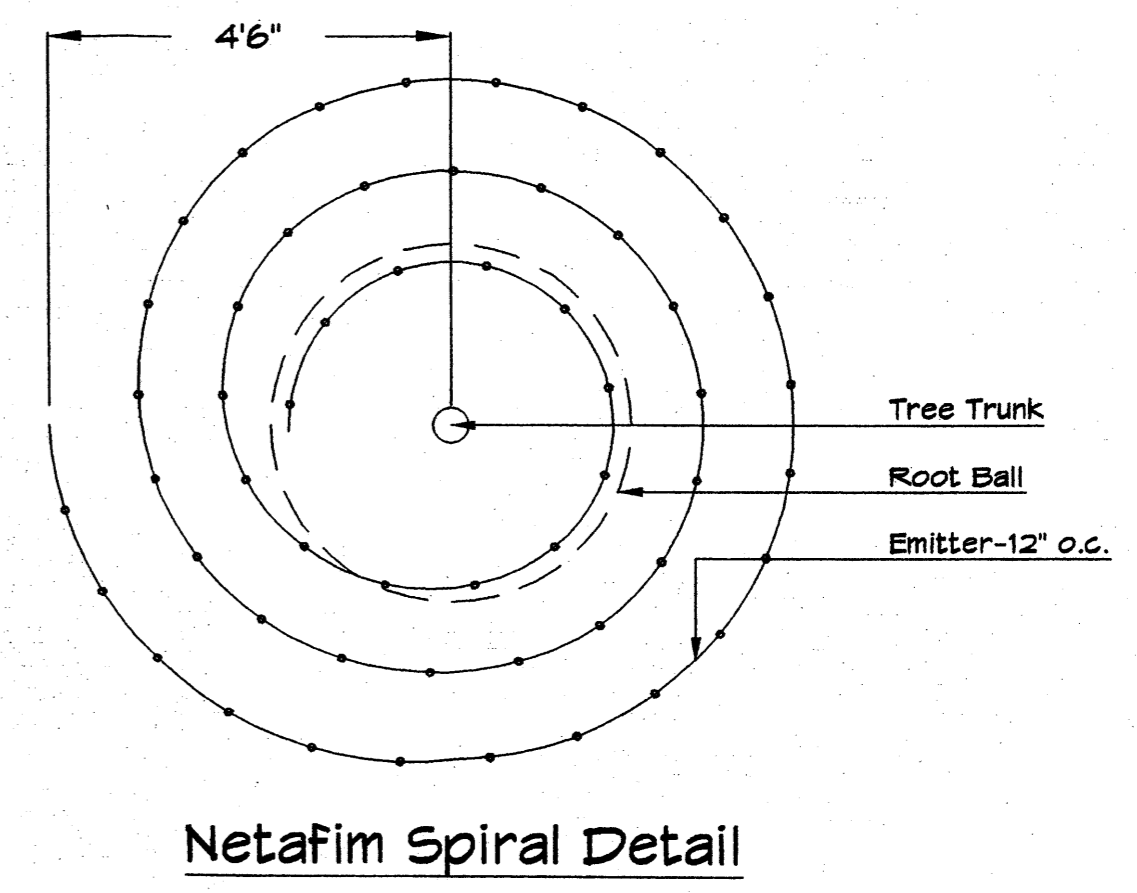
Name of Street: WASHINGTON

Required 16 Provided 16 EXISTING

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

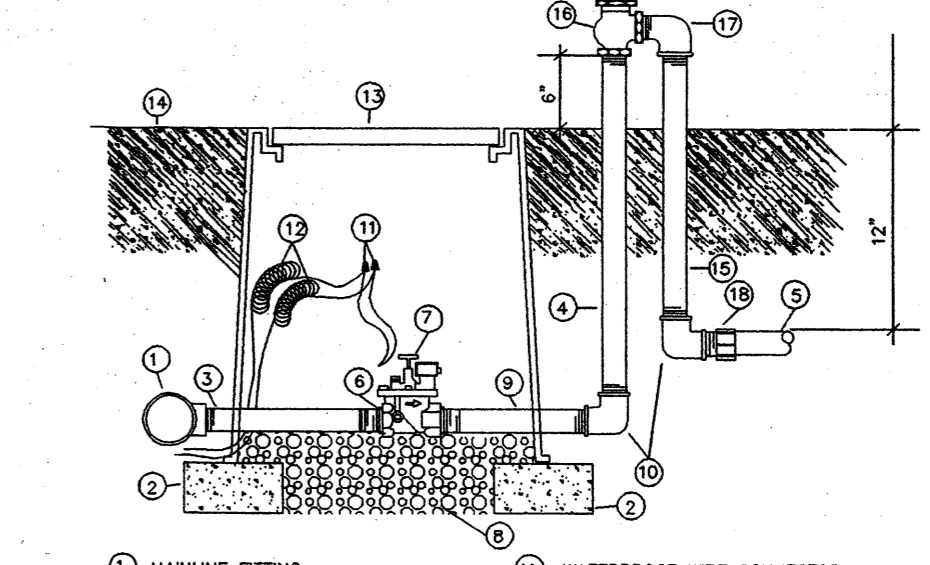
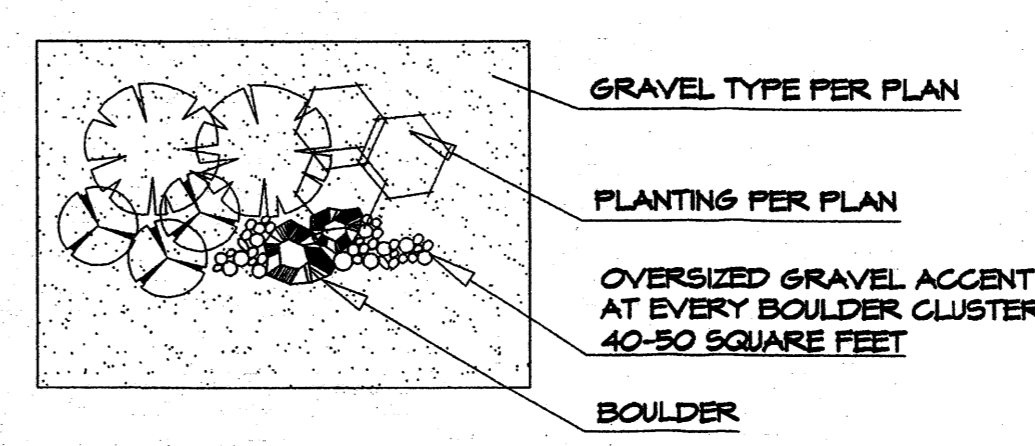
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required * Provided #



Netafim Spiral Detail

GRAVEL ACCENT DETAIL



- 1 MAINLINE FITTING
- 2 3/4" BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BODY
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

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CONSULTANT
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87104
Ph. (505) 898-9590
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All work is done under license from the State of New Mexico. The Contractor and/or professional is responsible for the work. The contractor shall be responsible for the work. The contractor shall be responsible for the work.

PROJECT TITLE
USFS PHASE II ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES
ALBUQUERQUE NEW MEXICO

7/2/10

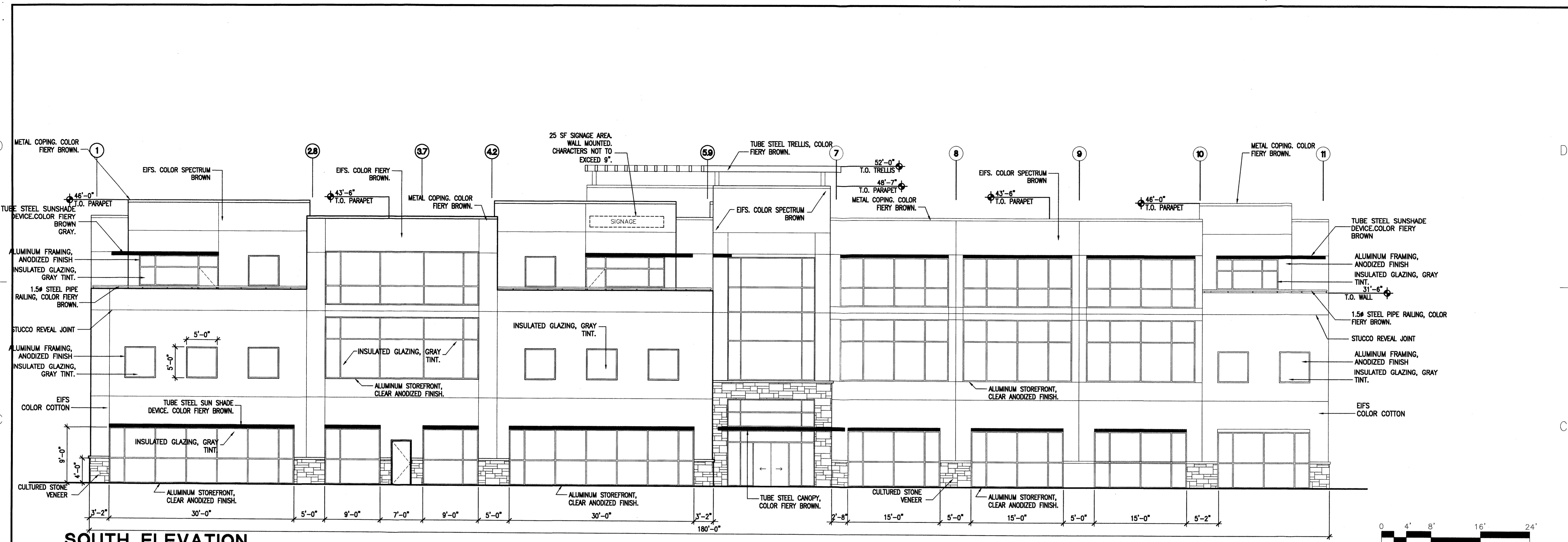
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3	6-17-10	site revision -cmj
2	6-4-10	site revision -cmj
1	5-17-06	site revision -adf

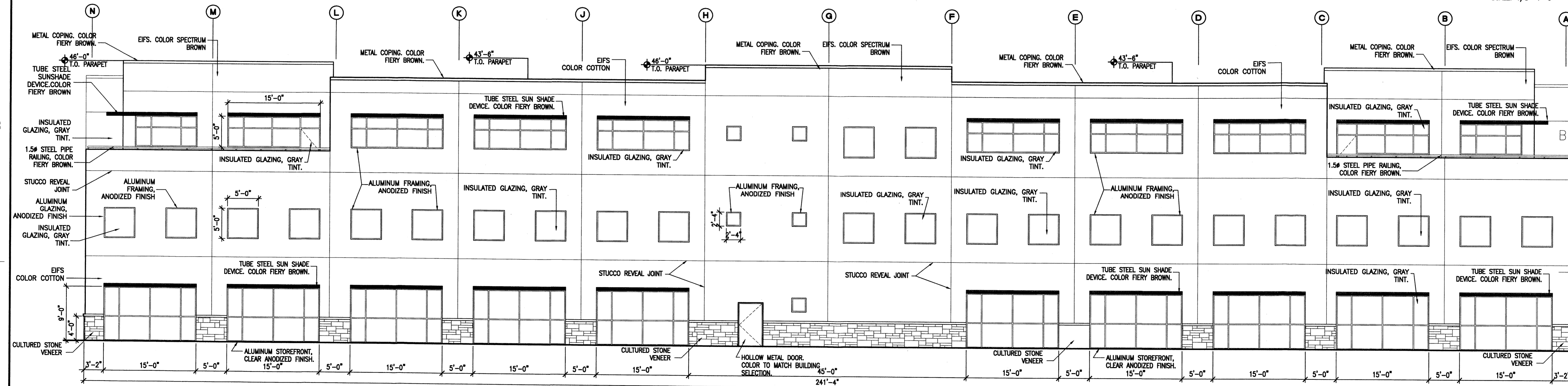
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PROJECT NUMBER:
A10.08
DATE:
JUNE 17 2010
SHEET TITLE:
LANDSCAPING PLAN

SHEET NO:
L1.0



SOUTH ELEVATION



WEST ELEVATION



REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

PROJECT NUMBER:
A10.08

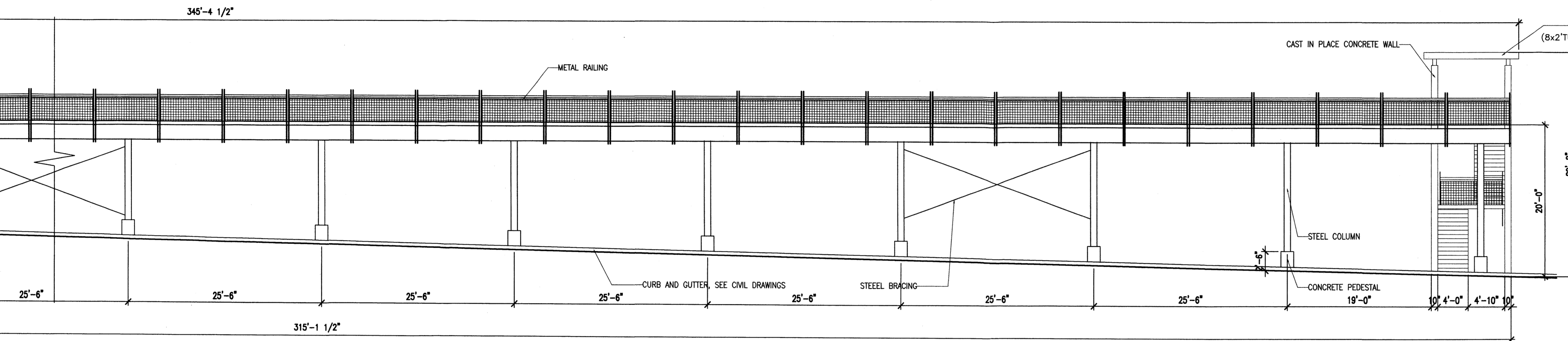
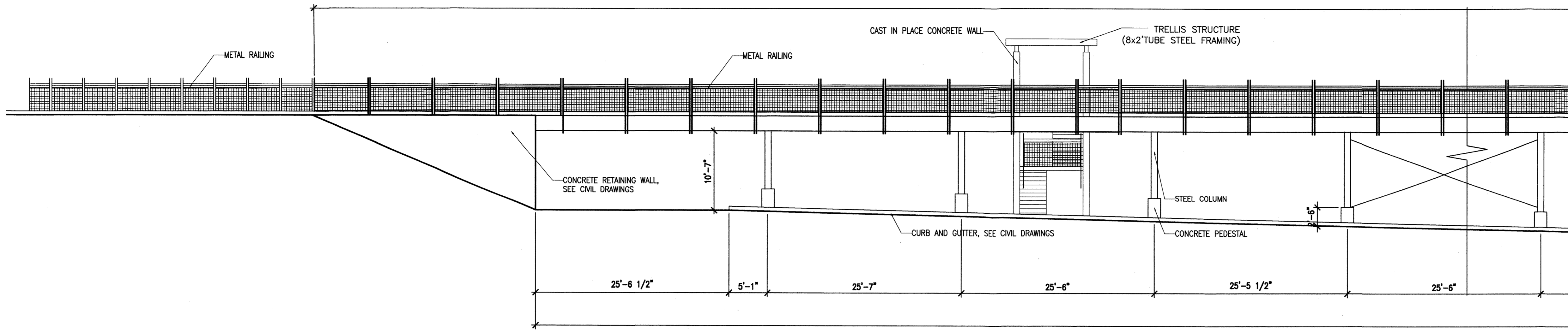
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JUNE 2010

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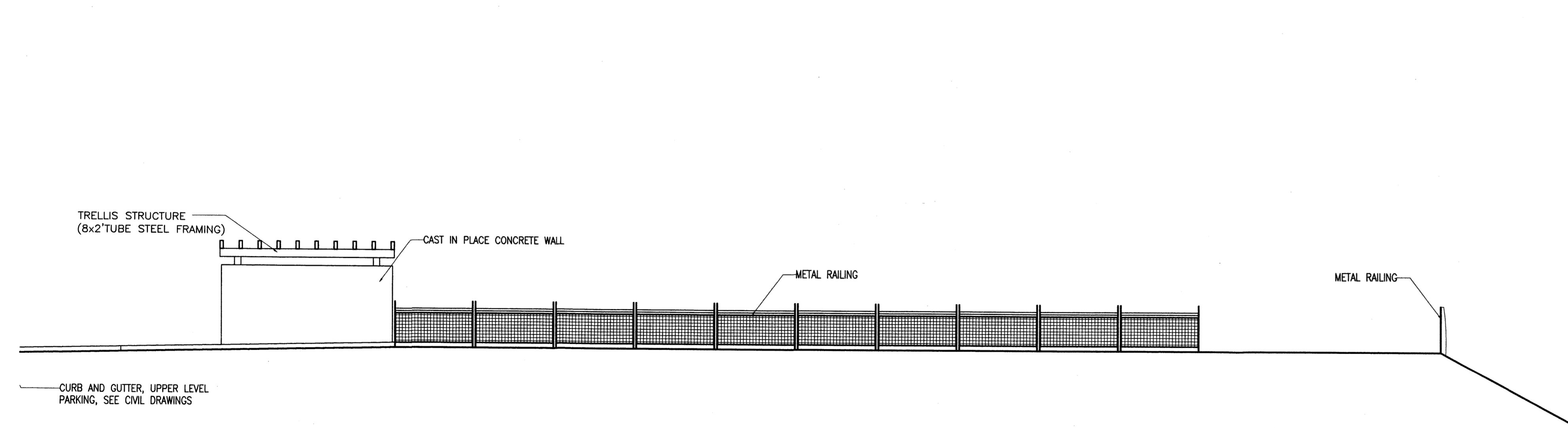
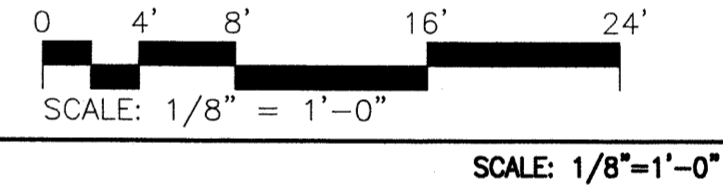
**BUILDING
ELEVATIONS**

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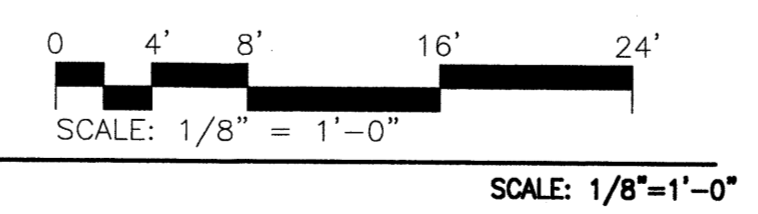
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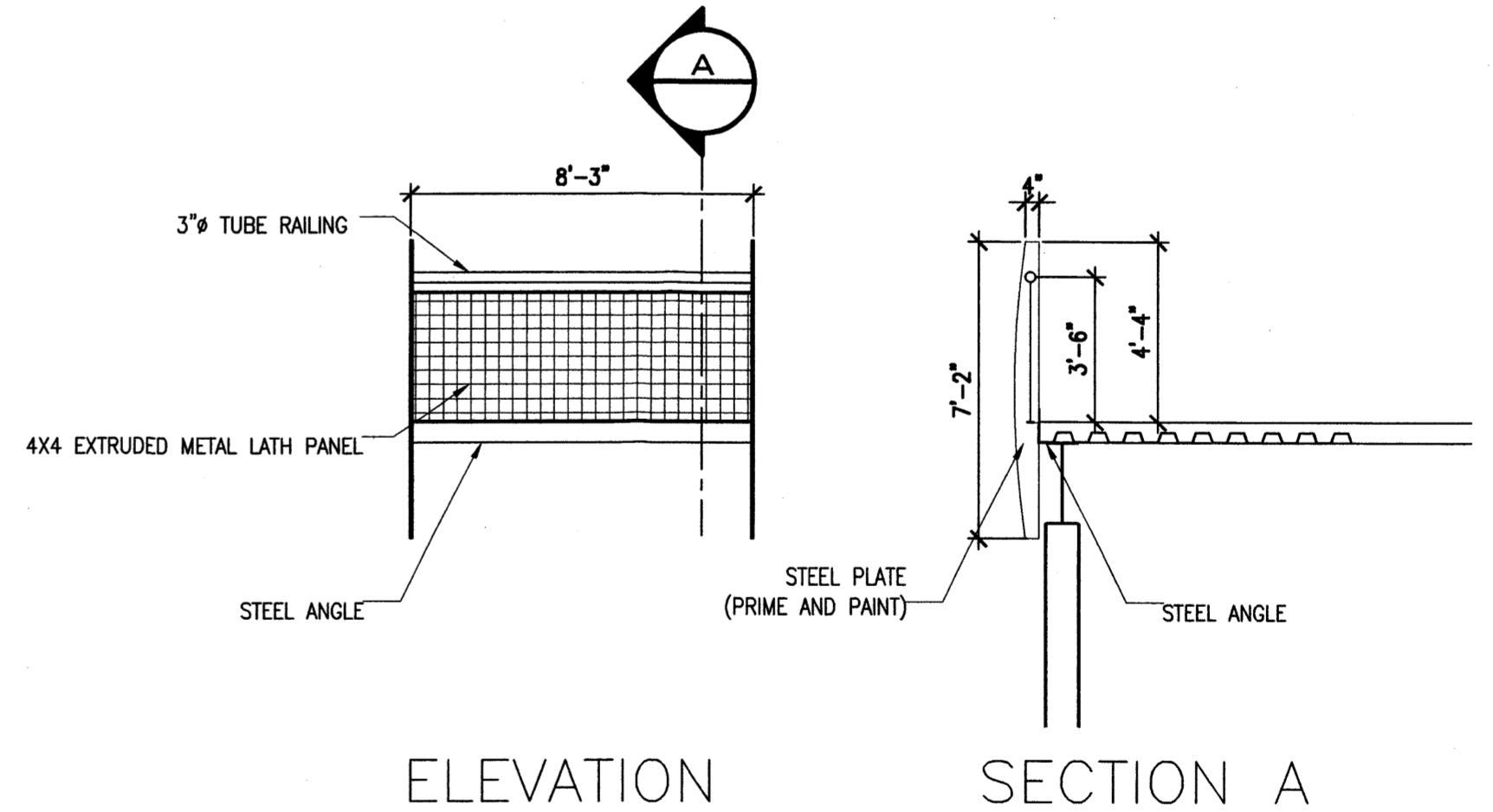
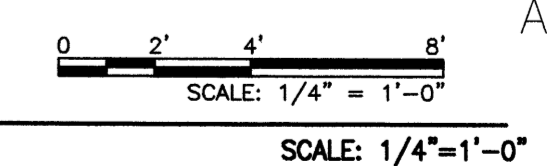
NORTH ELEVATION



EAST ELEVATION



EAST ELEVATION



ELEVATION SECTION A

NOTE: RAILING AND STRUCTURE TO BE PAINTED FIERY RED



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**USFS
PHASE II
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HUMAN
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**ALBUQUERQUE
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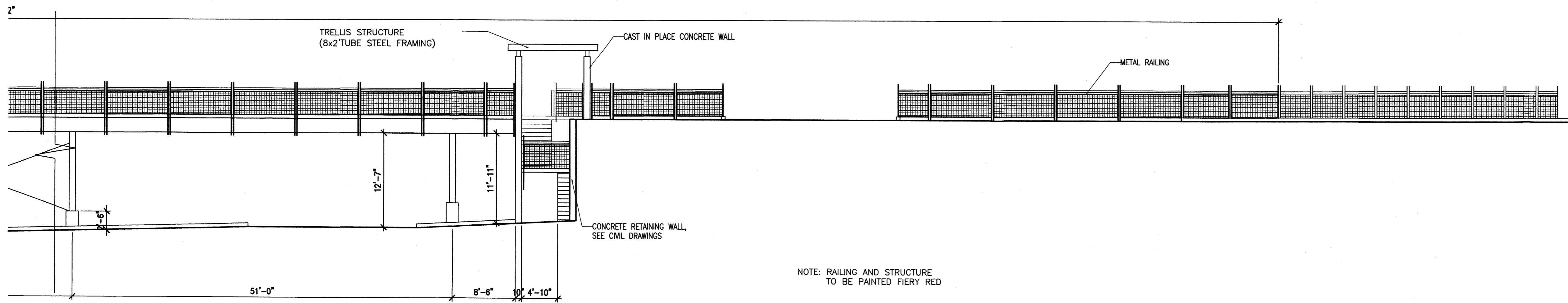
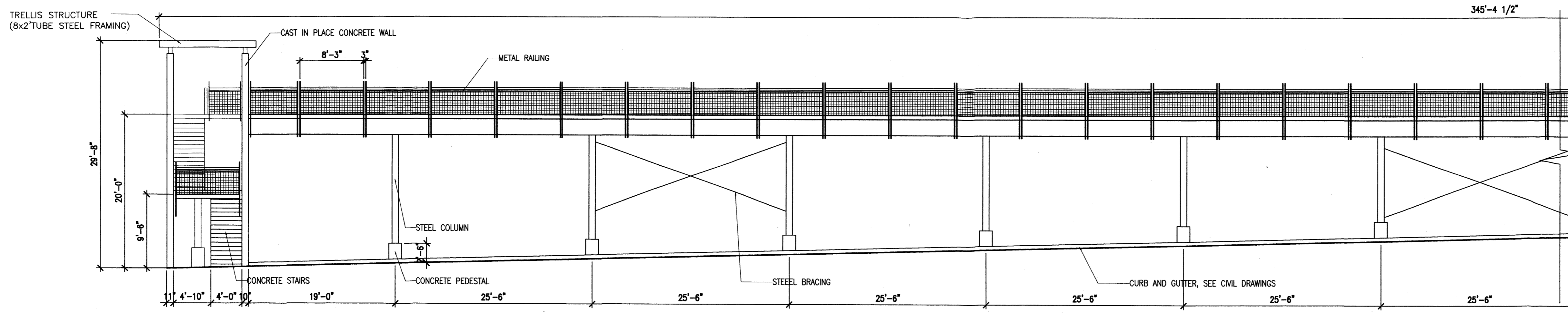
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**PARKING STRUCTURE
ELEVATIONS**

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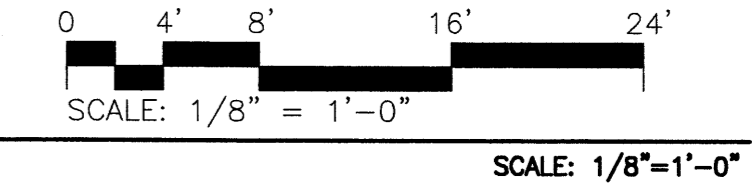
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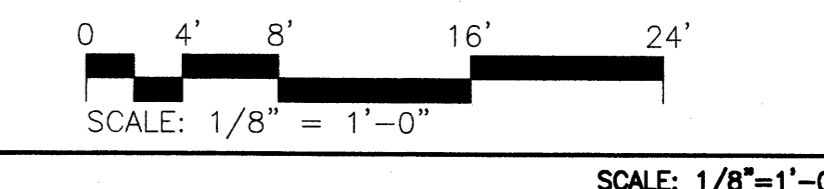


NOTE: RAILING AND STRUCTURE TO BE PAINTED FIERY RED

SOUTH ELEVATION

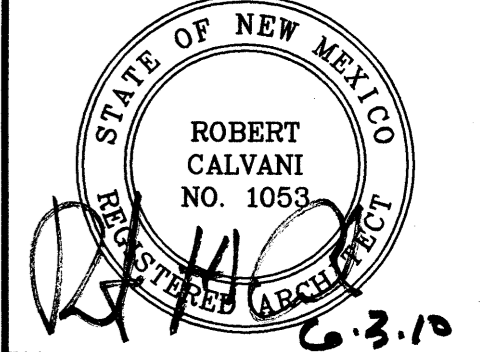


WEST ELEVATION



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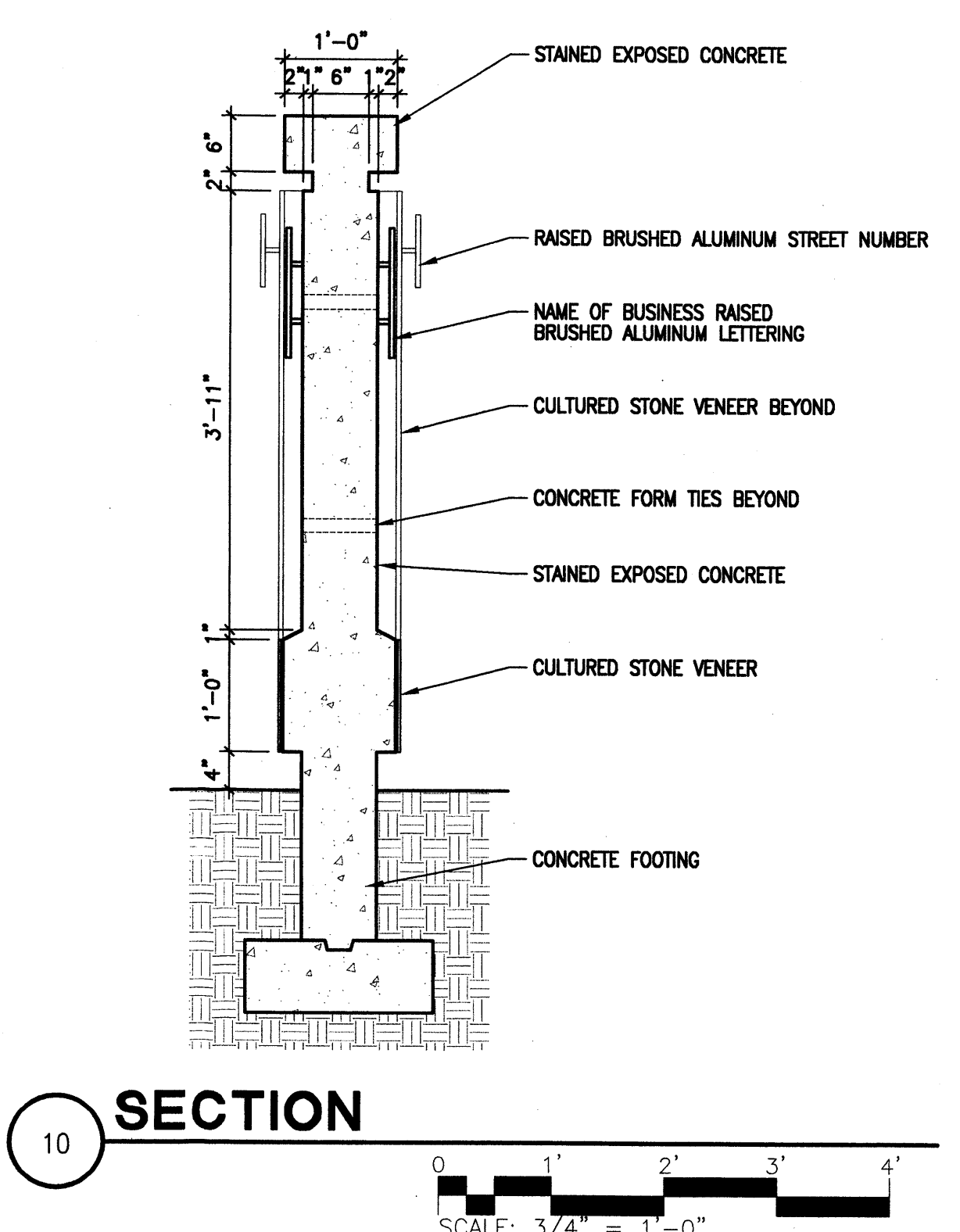
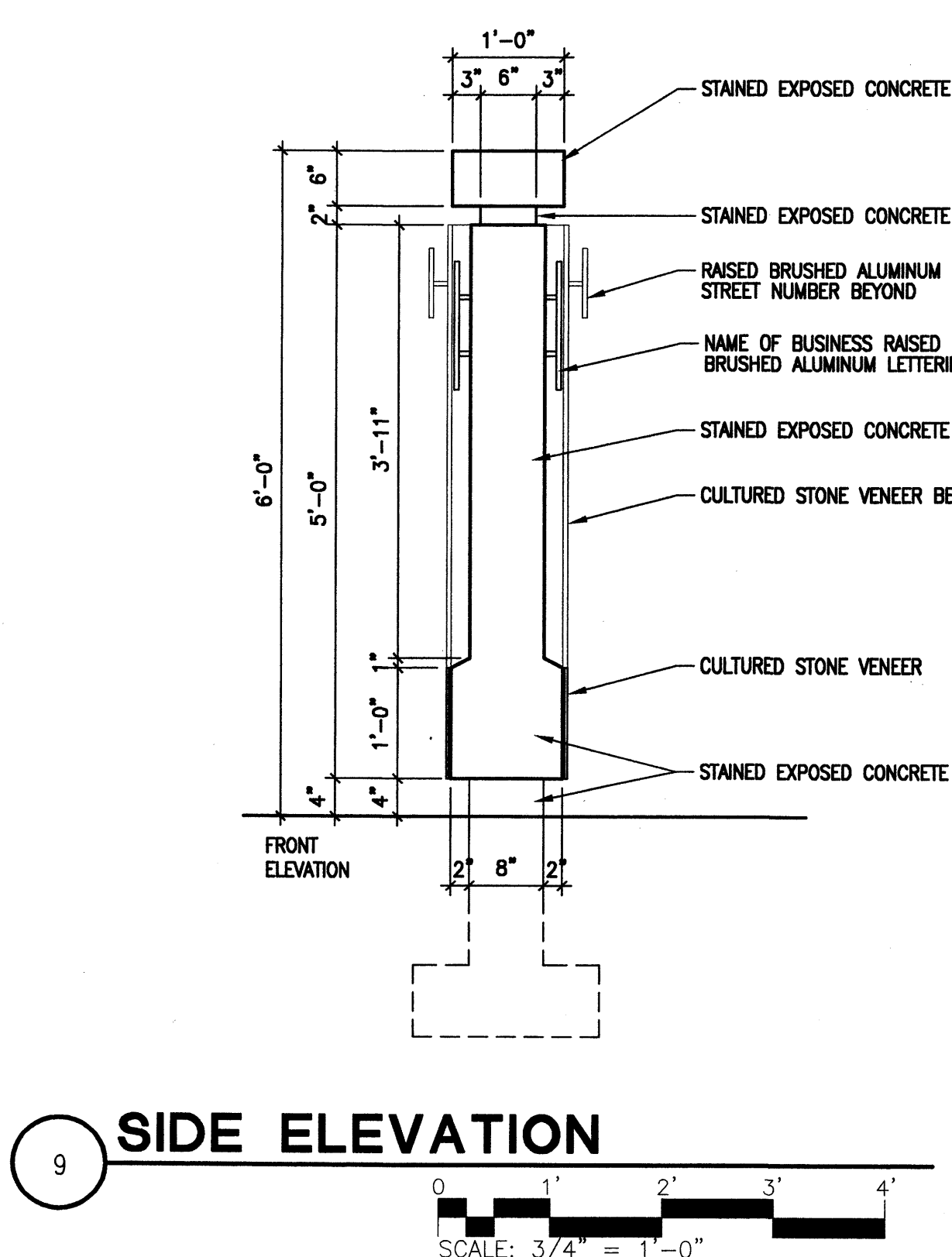
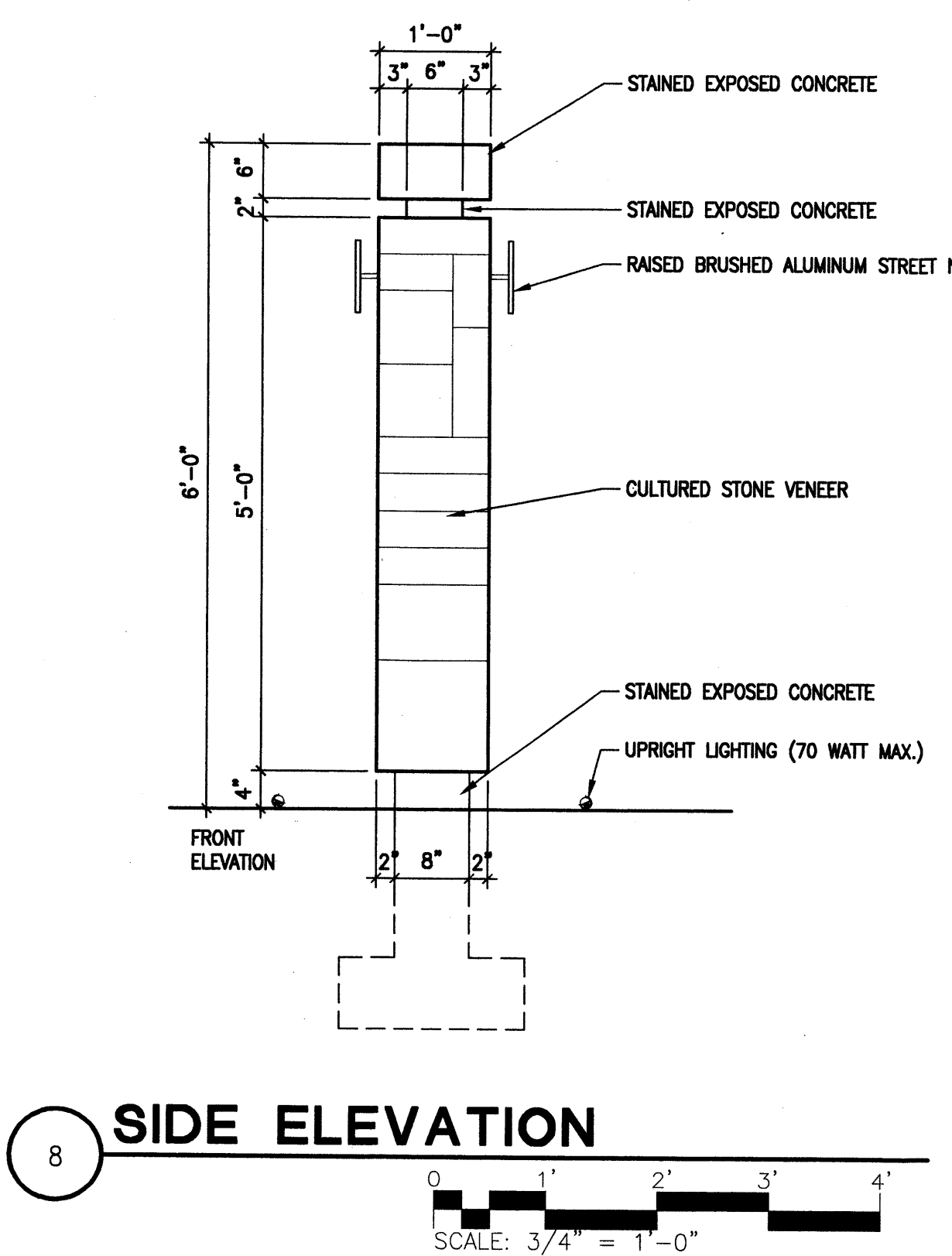
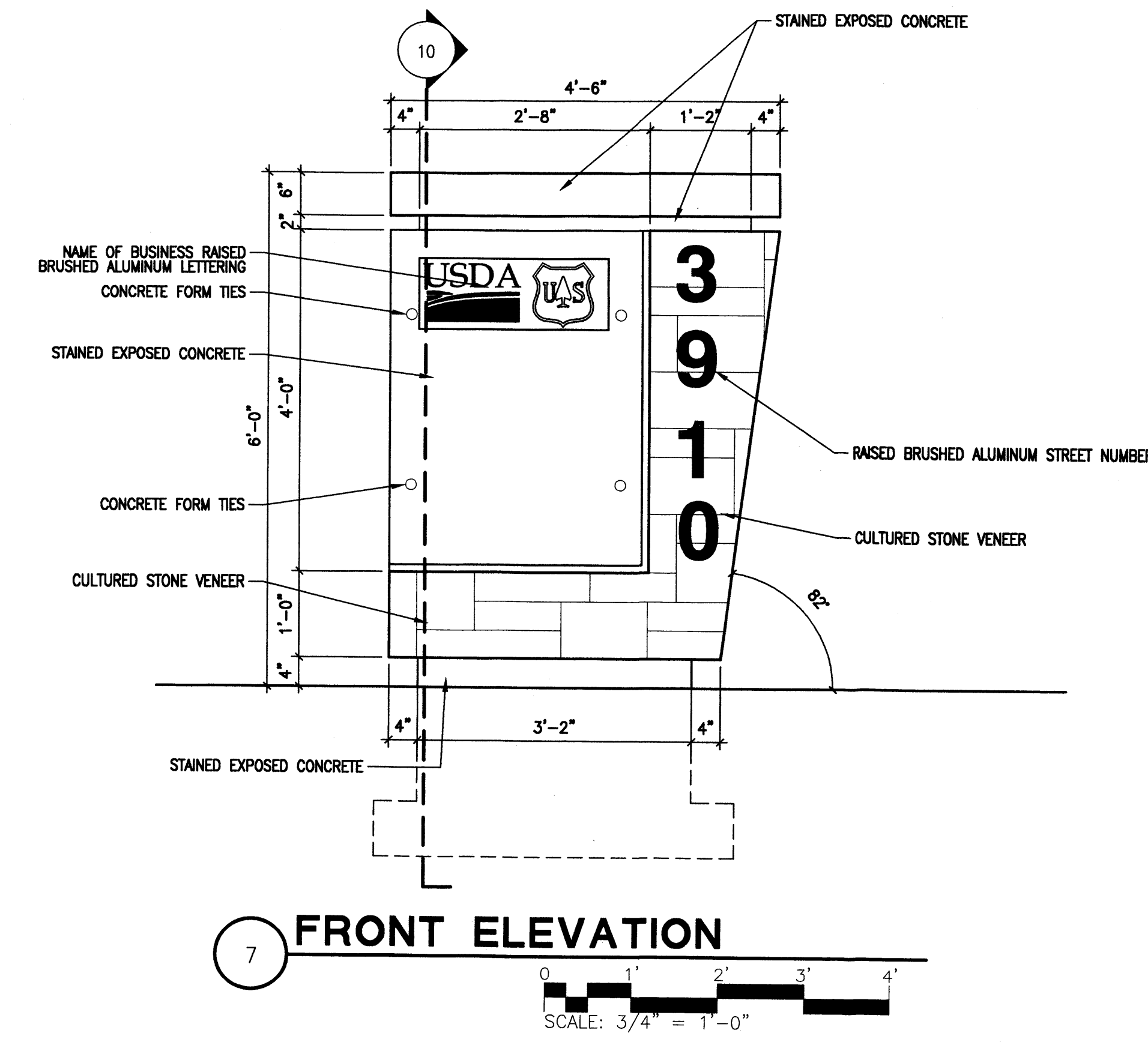
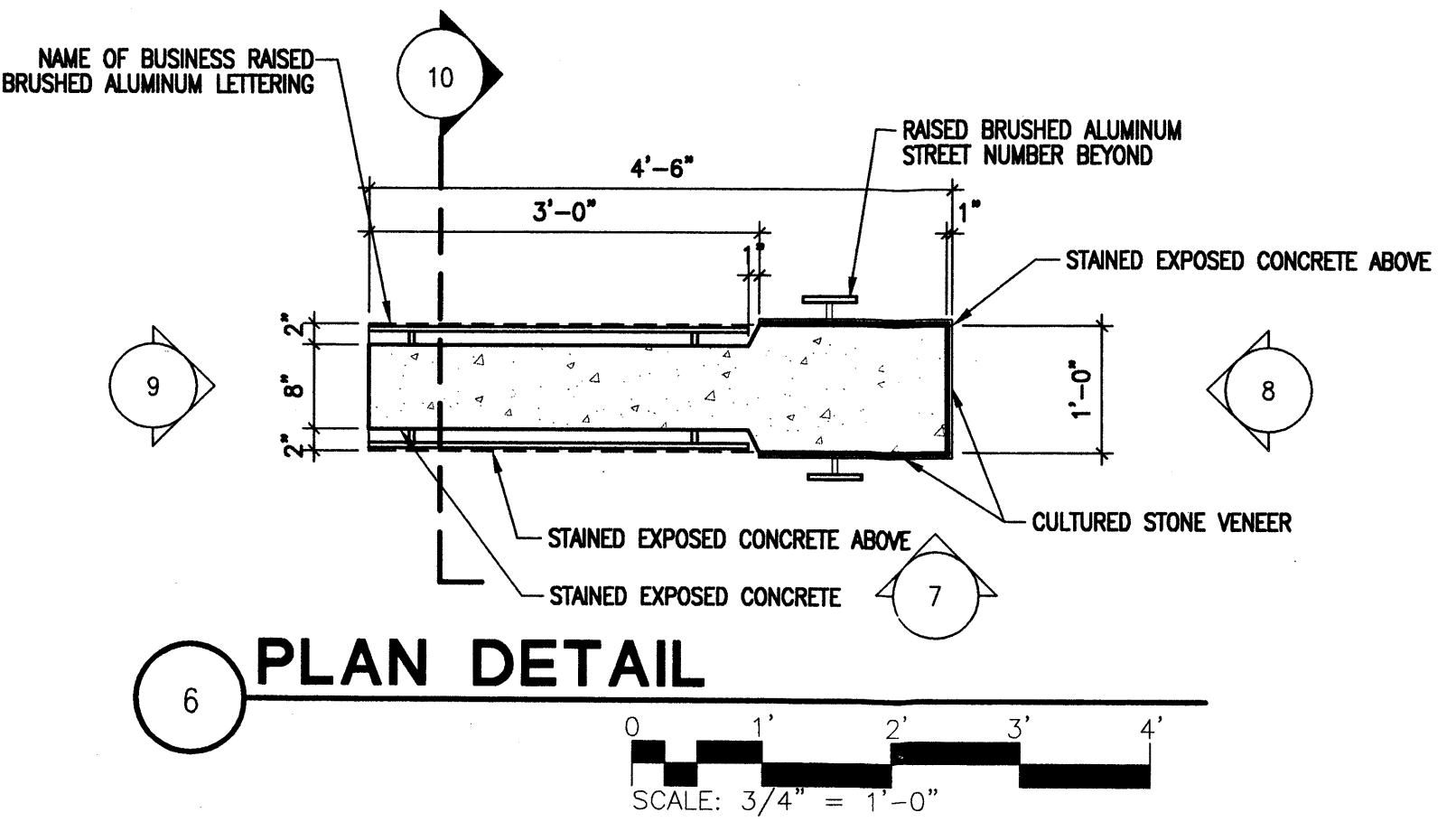
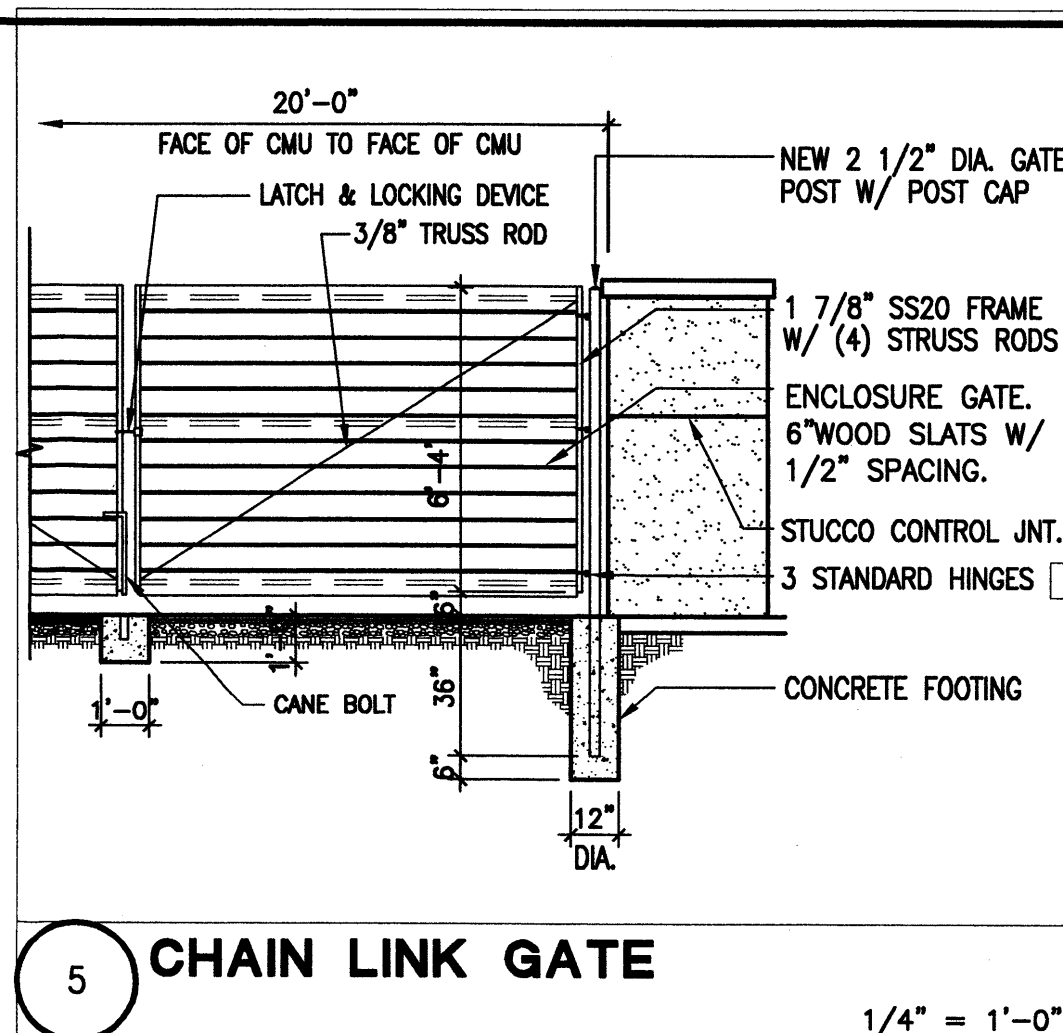
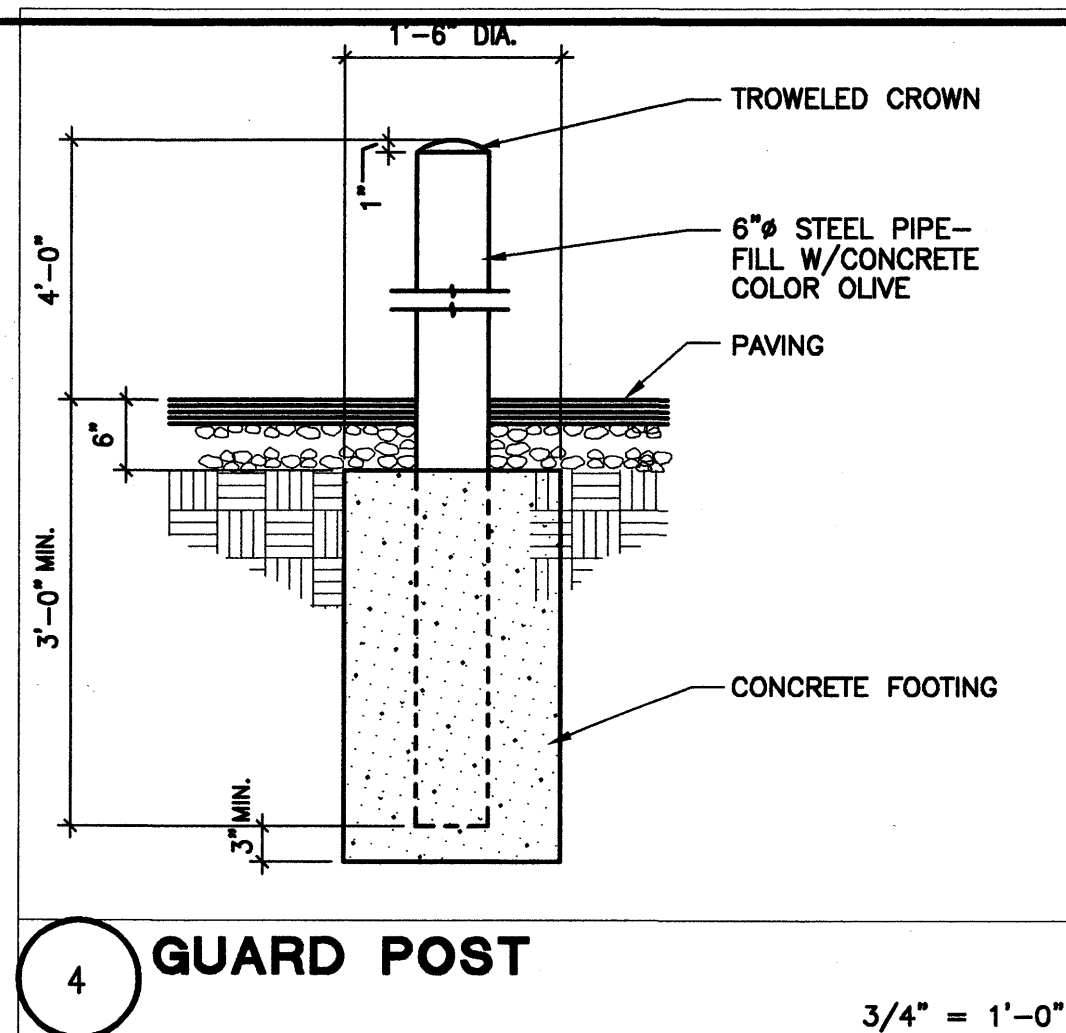
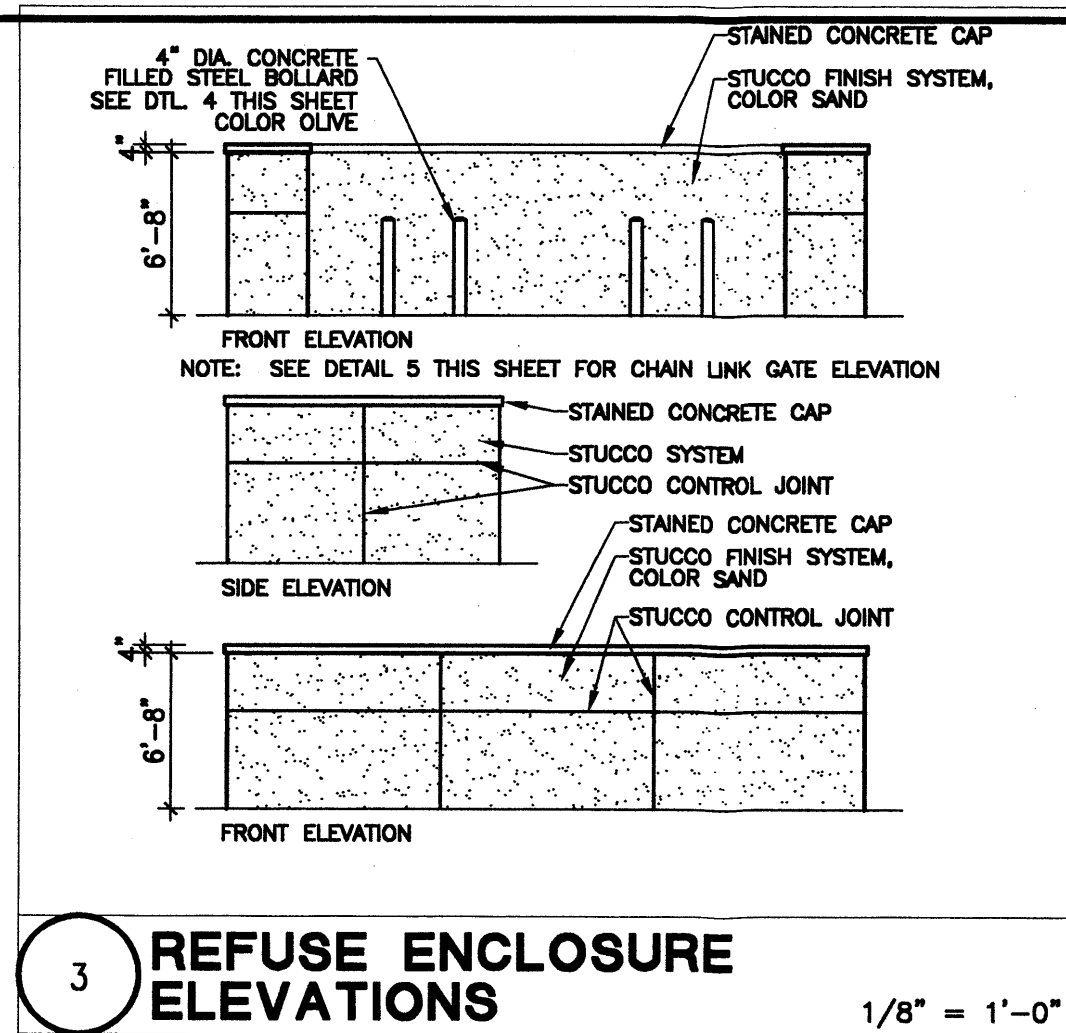
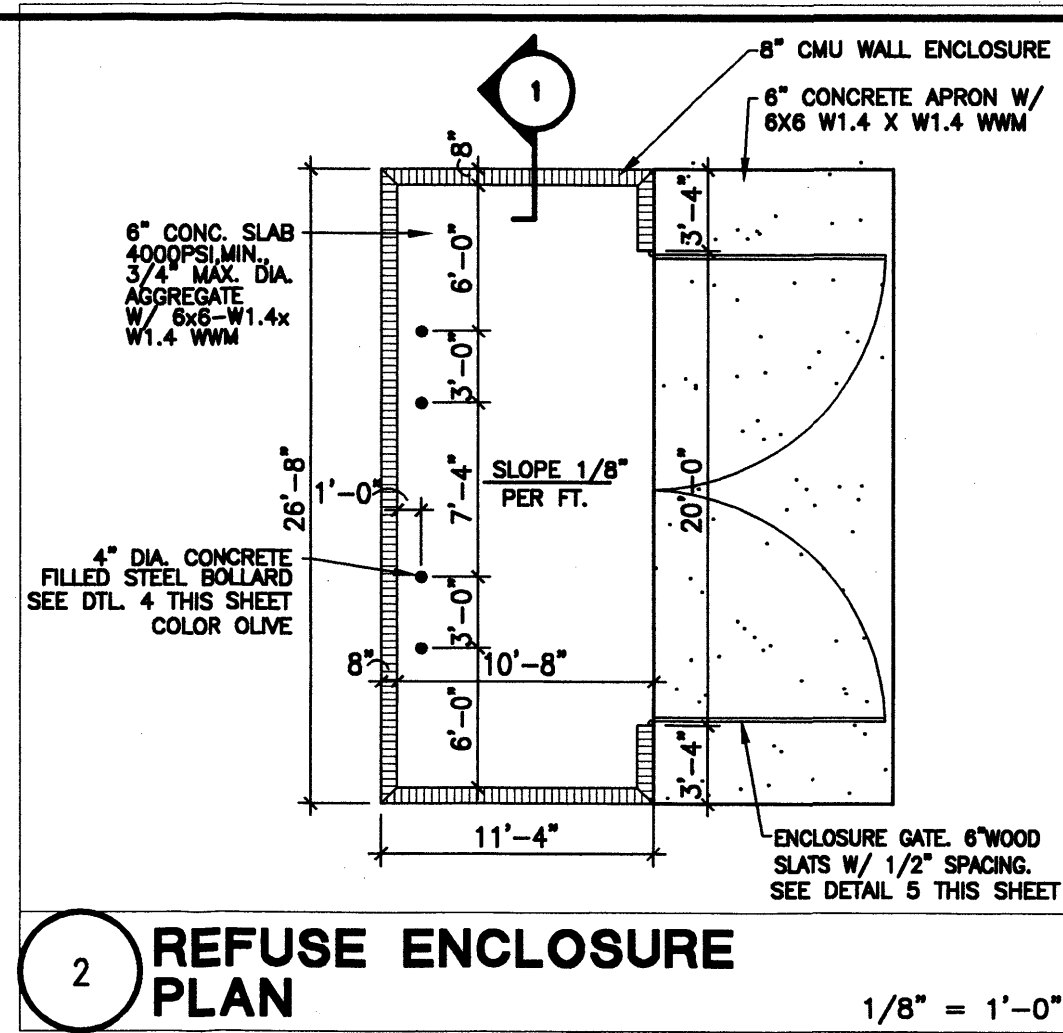
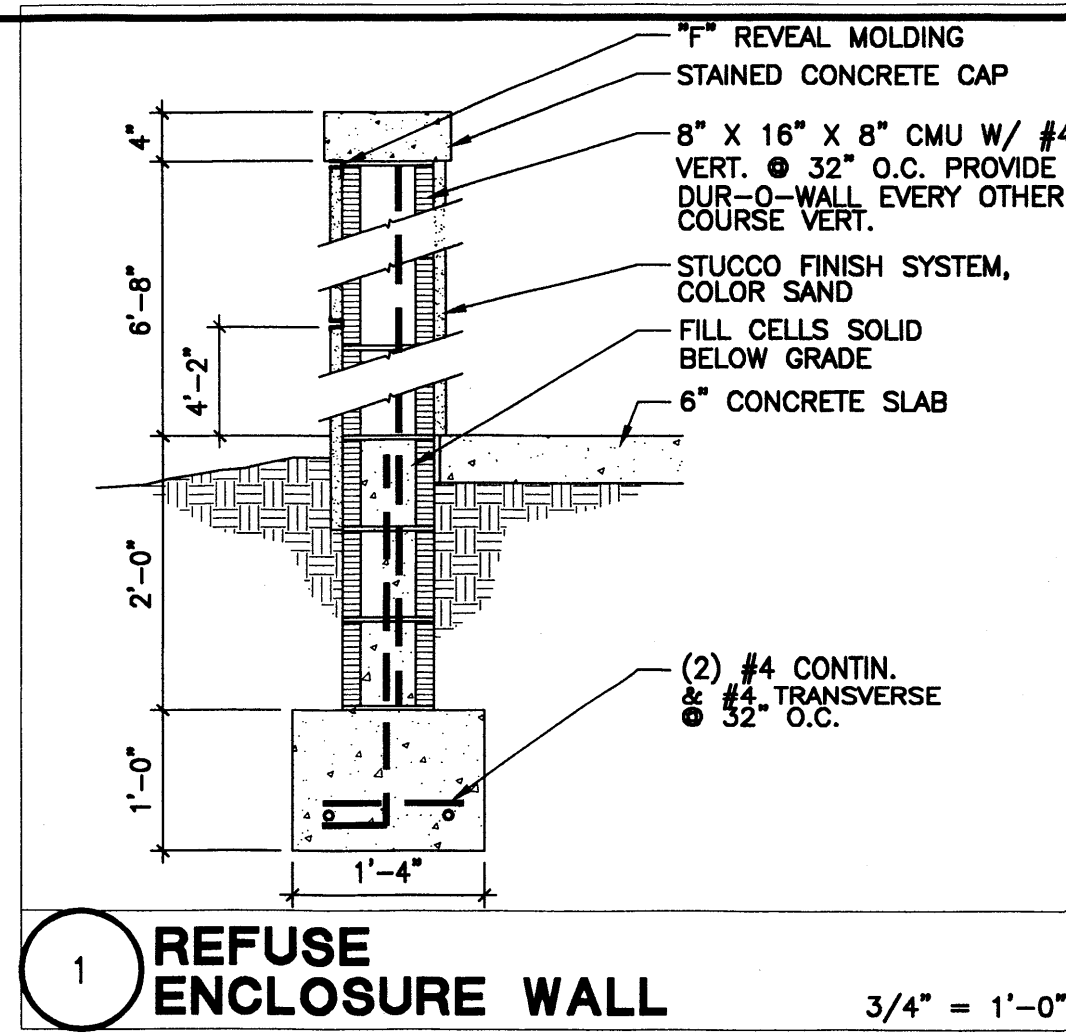
SHEET TITLE:

**PARKING STRUCTURE
ELEVATIONS**

SHEET NO.:

A2.4

1 | 2 | 3 | 4 | 5

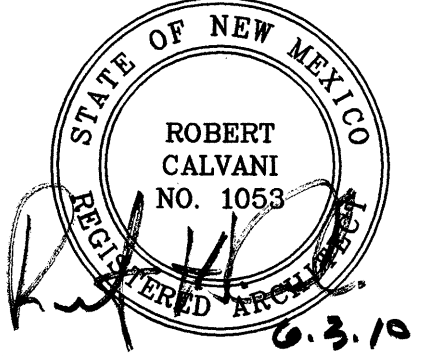


NOTE: ALL STAINED CONCRETE IS TO MATCH BUILDING COLOR SELECTION



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CONSULTANT

PROJECT TITLE

**USFS
PHASE II
ALBUQUERQUE
SERVICE CENTER
HUMAN
RESOURCES**

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

PROJECT NUMBER:

A10.08

DATE:

JUNE 2010

SHEET TITLE:

SITE DETAILS

SHEET NO:

AS-101

