



COMPLETED 08/06/10 *StH*
DRB CASE ACTION LOG

(Amended SDP - Building Permit/Subdivision)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

DRB Application No.: 10DRB-70165

Project # 1004556

Project Name: *Journal Center 2 Unit 2*

Agent: *Bohannon Huston Inc.*

Phone No.:

Your request was approved on 6-30-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED:

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *- Fire Marshall approval, relocate FH on Rutledge, address Planning Comments*

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



DRB CASE ACTION LOG
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TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *- Fire Marshall approval, relocate*
PH on Rutledge, address Planning Comments

Planning must record this plat. Please submit the following items:

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OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 30, 2010

Project# 1004556
10DRB-70165 MAJOR - AMENDED SDP BP/SUBD

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**, zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE containing approximately 4.43 acre(s). (D-17)

At the June 30, 2010 Development Review Board meeting, the site development plan was approved and Final Sign Off was delegated to the Planning department for compliance with written comments, the relocation of the fire hydrant on Rutledge NE, copy of the Fire Marshall's approval, and expiration of the appeal period.

If you wish to appeal this decision, you must do so by July 15, 2010 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

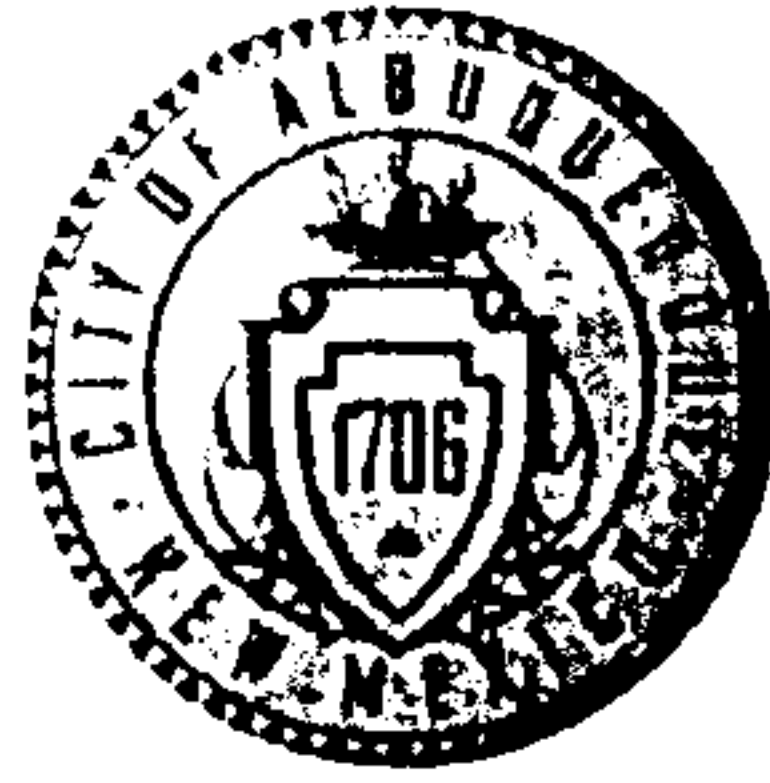

Jack Cloud, AICP, DRB Chair

Cc: Bohannon Huston Inc. – 7500 Jefferson NE Courtyard I – Albuquerque, NM 87109
Masthead road Development II, LLC – 6300 Riverside Plaza Ln NW Ste 200 – Albuquerque, NM 87120
Marilyn Maldonado
File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004456 AGENDA# 3 DATE: 6/30/10

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 30, 2010, beginning at 9:00 a.m.** for the purpose of considering the following:

Project# 1000572

10DRB-70160 MAJOR - PRELIMINARY
PLAT APPROVAL

10DRB-70161 VACATION OF PUBLIC
EASEMENT

10DRB-70163 MINOR - TEMP DEFR SWDK
CONST

10DRB-70164 MAJOR - FINAL PLAT
APPROVAL

ISAACSON AND ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) D & J-2A, E-1, H-1 & R-1, **THE PRESIDIO (TO BE KNOWN AS THE PRESIDIO UNIT 2A) Unit(s) 1 & 2**, zoned SU-1 FOR PRD, located on CHICO RD NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 7.482 acre(s). (K-21)

Project# 1001970

10DRB-70162 VACATION OF PUBLIC
DRAINAGE EASEMENT

THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for VIRGIL GIL, INC request(s) the referenced/ above action(s) for all or a portion of Tract(s) F, **COLEGE PARK WEST** zoned R-LT, located on the south side of ST JOSEPH'S AVE NW between UNSER BLVD NW and 80th ST NW containing approximately 2.7 acre(s). (G-10)

Project# 1004556

10DRB-70165 MAJOR - AMENDED SITE
DEVELOPMENT PLAN FOR BUILDING
PERMIT/SUBDIVISION

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**, zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE containing approximately 4.43 acre(s). (D-17)

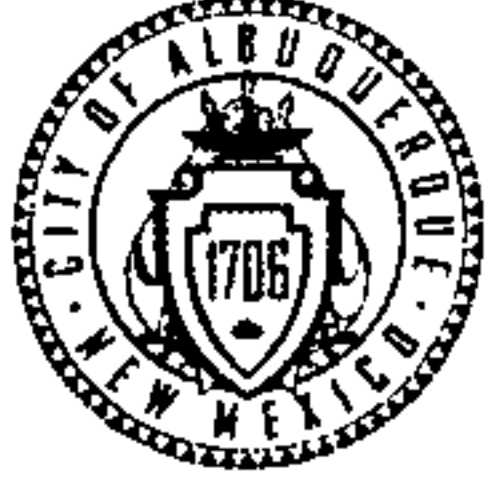
Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 14, 2010.

HEARING DATE 6-30-10 (ASBP)

#4



Complete Aug 8-1-06

DRB CASE ACTION LOG (AMEND SITE PLAN B.P.)

REVISED 9/28/05

Complete 8-1-06

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00708 (ASBPB)

Project # 1004556

Project Name JOURNAL CENTER PH 2, UN 2

Agent: Bohannon Huston Inc.

Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/14/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

Project Number

1004556

TRANSPORTATION: _____

- _____
- _____
- _____

UTILITIES: _____

- _____
- _____

CITY ENGINEER / AMAFCA: _____

- _____
- _____

PARKS / CIP: _____

- _____
- _____

PLANNING (Last to sign): *Private AB*

[Handwritten signature]

15 day appeal
Journal Center ARC approval
3 copies

all letter

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**



June 23, 2006

VIA EMAIL – scott@argusinvestmentrealty.com

Ben F. Spencer
C/o Scott Throckmorton
Masthead Road Development, LLC
630 Riverside Plaza Lane NW, Suite 200
Albuquerque, NM 87120

Re: Lot 11, Unit 2 Journal Center 2 (Building #2 Masthead Office Complex, Plans dated May 2006) Design Review Approval by Journal Center 2 Architectural Review Committee

Dear Ben:

We reviewed the new submittal for the above referenced project and approve plans, colors, materials and specifications, with the following conditions:

1. All roof mounted mechanical equipment must be screened from view.
2. A note should be added to the Landscape Plan: "At the time common area irrigation is connected to Journal Center 2 common area irrigation system you must contact the developer, Tiburon Investment LLC."
3. You must prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under an National Pollutant Discharge Elimination System (NPDES) General Permit.
 - Under the provisions of the Clean Water Act federal law prohibits storm water discharges from certain construction activities to waters of the U.S. unless that discharge is covered under a NPDES Permit.
 - You may obtain additional information regarding NPDES and submit your NOI electronically at: www.epa.gov/npdes/stormwater/cgp, or telephone Storm Water Notice Processing Center at 866-352-7755.

This approval constitutes approval of the above referenced plans, colors, materials and specifications for reliance by the City of Albuquerque Development Review Board.

By copy of this letter we are transmitting the plans, colors/material board and specifications to the Journal Center Architectural Review Committee for their review. We will advise you of their action as soon as they review the plans.

Thank you for the submittal.

Very truly yours,

Douglas H. Collister
Administrative Manager

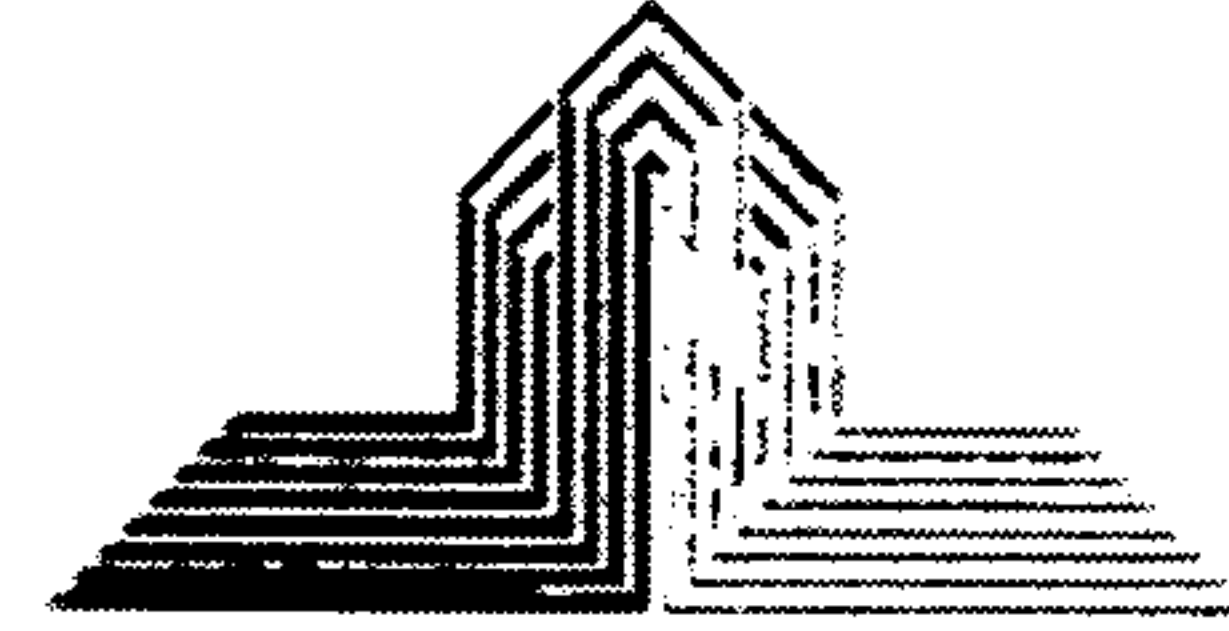
Copy Journal Center Architectural Review Committee – Attention: Mike Callahan
Journal Center 2 Architectural Review Committee

TIBURON INVESTMENT, LLC

3791 Southern Blvd. SE Suite 202 Rio Rancho, NM 87124

JUL 2 1 2006

JOURNAL
CENTER
CORPORATION



June 30, 2006

Douglas H. Collister
Administrative Manager
Tiburon Investment, LLC
13000 Academy Rd. NE
Albuquerque, NM 87111


Re: Lot 11, Unit 2 Journal Center 2 (Building #2 Masthead Office Complex)

~~Dear Mr. Collister:~~

The Journal Center Architectural Review Committee has reviewed and approved the site plan; design/building/landscape plans for the referenced project subject to the conditions mentioned in your letter of June 23, 2006 (attached).

Should you have any questions, please do not hesitate to call me.

Sincerely,


Michael N. Callahan
Vice President
Director of Operations

Enclosure

MNC/jk

P.O. Drawer J 7777 Jefferson Street, N.E. Albuquerque, NM 87103
(505) 823-7000 FAX (505) 823-3413

#4



DRB CASE ACTION LOG (AMEND SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00708 (ASPBP)
Project Name JOURNAL CENTER PH 2, UN 2
Agent: Bohannon Huston Inc.

Project # 1004556
Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/14/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____

PLANNING (Last to sign): Private SA
15 days approval on SP 24
Journal Center ARC approval
BCAPES letter

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
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 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Project Number 1004556



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 14, 2006

4. Project # 1004556

06DRB-00708 Major-Amended SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

At the June 14, 2006, Development Review Board meeting, the amended site plan for building permit was approved with final sign off delegated to Planning for private sanitary sewer easements on site plan and landscape plan, Journal Center Architectural Review Committee approval letter, 15-day appeal period and 3 copies of the site plan.

If you wish to appeal this decision, you must do so by June 29, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

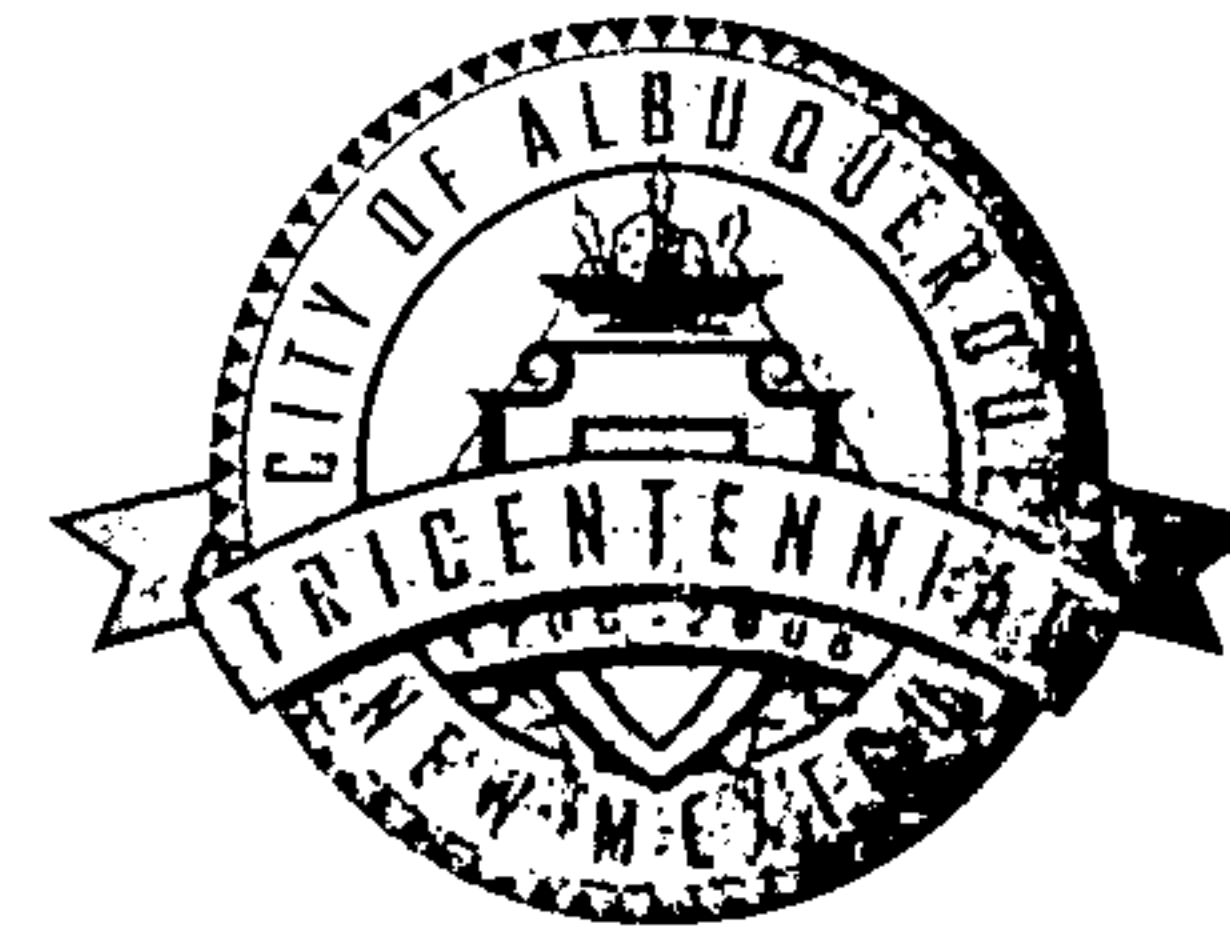
Cc: Bohannan Huston Inc., 7500 Jefferson NE, 87109
Masthead Road Land Partners LLC, 6300 Riverside Plaza Ln NW, Ste 200,
87120
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004556 AGENDA#: 4 DATE: 6.14.06

1. Name: Bruce Stegworthy Address: BHI Zip: _____
2. Name: Justin Smith Address: BHI Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004556

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 14, 2006



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 14, 2006

Project # 1004556

06DRB-00708 Major-Amended SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

AMAFCA

No comment.

COG

No adverse comments.

Transit

The site plan shows no pedestrian connections to the proposed building. Transit suggests providing a pedestrian connection to the building from Washington Street, in the vicinity of the Wolcott intersection.

Zoning Enforcement

Parking spaces on site plan are not added correctly. $310 + 12 = 322$.
Landscaping and setbacks are good.

Neighborhood Coordination Letter sent to Alameda North Valley Assoc. (R).

APS The request for a building permit for a 3-story office building located in the Journal Center will have no adverse impacts to the APS district.

Police Department

No crime prevention or CPTED comments at this time.

Fire Department

All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision. Exact fire hydrant requirements will be figured when permitted plans are submitted for review.

PNM Electric & Gas

Approves.

Comcast

No comments received.

QWEST No comments received.
Environmental Health No comments received.
M.R.G.C.D. No comments received.
Open Space Division No adverse comments.
City Engineer

The Hydrology section has no objection to the site plan amendment.

Transportation Development Does the plat provide for cross-access and parking?

Parks & Recreation No objection.

Utilities Development No objection to Amended Site Plan.

Planning Department

1. The title on the Site Plan Sheet should read "Amended Site Development Plan for Building Permit".
2. Planning will take delegation until the Journal Center ARC approval letter is provided for the project file.
3. The Site Plan shows a Keyed Note 20 but there is no note indicating what the number represents.
4. All existing utility easements, rights of way should be shown on the Site Plan & Landscape Plan Sheets per the SPBP Checklist.

Once these comments are satisfied, Planning will sign the amended site plan.

Impact Fee Administrator

Impact Fees will not be required at this time; however, at the time Building Permits are obtained, Impact Fees will be assessed and collected for Roadway Facilities (\$1,585.00 for a 2,000 sq ft house), Public Safety (\$276.00 per 1000sf of heated area), and Drainage at \$10,208.00 per one impervious acre (Typically .06 impervious acres per lot.). Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:Masthead Road land Partners LLC, 6300 Riverside Plaza Lane NW, Suite #200, 87120

Bohannon Huston Inc., 7500 Jefferson NE, 87109



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 14, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000418

06DRB-00705 Major-Two Year SIA

LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SU-1 for Church and related facilities, located on CENTRAL AVE NW, between AIRPORT RD NW and UNSER BLVD NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10)

Project # 1000945

06DRB-00710 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for SCOTT G. COLE request(s) the above action(s) for all or a portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK NE, between SAN PEDRO NE and LOUISIANA BLVD NW containing approximately 1 acre(s). [REF: DRB-99-75] (C-18)

Project # 1003403

06DRB-00707 Major-Two Year SIA

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and OAKRIDGE ST NW containing approximately 17 acre(s). [REF: O4DDRB01493] (C-9)

Project # 1004556

06DRB-00708 Major-Amended SiteDev Plan
BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 29, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JUNE 14, 2006
Zone Atlas Page: D-17-Z
Notification Radius: 100 Ft.

**Project# 1004556
App#06DRB-00708**

Cross Reference and Location: RUTLEDGE RD NE BETWEEN MASTHEAD ST
NE AND WASHINGTON ST NE

Applicant: MASTHEAD ROAD LAND PARTNERS, LLC
Address: 6300 RIVERSIDE PLAZA LANE NW STE # 200
ALBUQUERQUE, NM 87120

Agent: BOHANNAN HUSTON INC.
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: MAY 26, 2006
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1004556
APPLICATION # _____

PAGE 1 **OF** 2

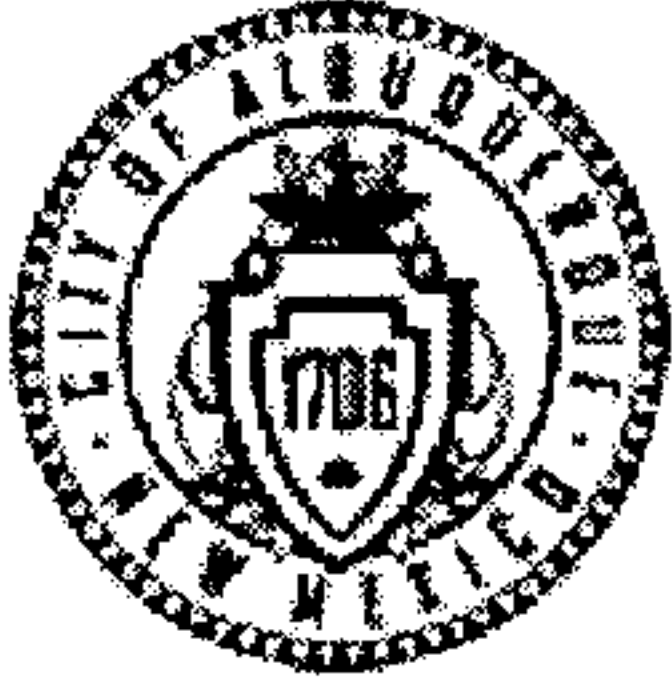
ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
D-17	1017063	164-209	307-06	✓
		122-233	07	✓ Dup
		115-217	02	✓ Dup ²
		108-233	01	✓ Dup ²
		115-202	03	✓ Dup ²
		123-186	05	✓
		108-186	04	✓
		103-157	301-11	✓ Dup
		120-157	10	✓ Dup ²
		137-157	09	✓
		147-160	08	✓
		190-165	306-08	✓
		192-175	07	✓
		195-198	06	✓
		192-125	09	✓
		201-204	305-02	✓

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1004556
APPLICATION # _____

PAGE 2 **OF** 2

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
D-17	1017063	246-209	305-01	✓
		232-253	304-11	✓
		220-266	14	✓
		190-266	15	✓
		165-263	16	✓ Dup
		115-263	17	✓ Dup ²
		101-264	18	✓ Dup ²
		204-190	306-05	✓ Dup ²
		203-172	04	✓
		205-163	03	✓
		087-184	304-24	✓ Dup ²
		080-198	23	✓ Dup
		081-213	22	✓ Dup ²
		081-228	21	✓ Dup
		081-242	20	✓ Dup ²
		086-256	19	✓ Dup ²



mainframe@coa1mp3.ca
bq.gov

05/23/2006 10:50 AM

To
cc
bcc
Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01017063 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101706316420930706 LEGAL: LT 1 1 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: MASTHEAD ROAD DEVELOPMENT LLC
OWNER ADDR: 06300 RIVERSIDE PLAZA LN NW
ALBUQUERQUE NM 87120
0101706312223330707 LEGAL: LT 1 2-B PLAT OF LOTS 12-A & 12-B JOURNAL CENTER
PH LAND USE:
PROPERTY ADDR: 00000 BARTLETT
OWNER NAME: WALTON CHAPMAN BUILDERS CO`
OWNER ADDR: 00404 BRUNN SCHOOL RD
SANTA FE NM 87505
0101706311521730702 LEGAL: LT 1 3 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: WALTON CHAPMAN BUILDERS CO
OWNER ADDR: 00404 BRUNN SCHOOL RD
SANTA FE NM 87505
0101706310823330701 LEGAL: LT 1 2-A PLAT OF LOTS 12-A & 12-B JOURNAL CENTER
PH LAND USE:
PROPERTY ADDR: 00000 BARTLETT
OWNER NAME: WALTON CHAPMAN BUILDERS CO
OWNER ADDR: 00404 BRUNN SCHOOL RD
SANTA FE NM 87505
0101706311520230703 LEGAL: LT 1 4 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: WALTON CHAPMAN BUILDERS CO
OWNER ADDR: 00404 BRUNN SCHOOL RD
SANTA FE NM 87505
0101706312318630705 LEGAL: LT 1 5-B PLAT OF LOTS 10-A, 10-B, 15-A & 15-B
JOURN LAND USE:
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: IPIOTIS CHRISTOPHER E & AMELIA
OWNER ADDR: 03811 RUTLEDGE RD NE
ALBUQUERQUE NM 87109
0101706310818630704 LEGAL: LT 1 5-A PLAT OF LOTS 10-A, 10-B, 15-A & 15-B
JOURN LAND USE:
PROPERTY ADDR: 00000 BARTLET
OWNER NAME: L & L HOLDING CO LLC
OWNER ADDR: 04415 HAWKINS ST NE
ALBUQUERQUE NM 87109
0101706310315730111 LEGAL: LT 1 8 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363
ALBUQUERQUE NM 87197

PAGE 2

0101706312015730110 REP LAND USE: LEGAL: LT 1 7 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363
ALBUQUERQUE NM 87197
0101706313715730109 REP LAND USE: LEGAL: LT 1 6 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: MLM ENTYERPRISES LLC
OWNER ADDR: 03900 RUTLEDGE RD NE
ALBUQUERQUE NM 87109
0101706314716030108 LAND USE: LEGAL: TRAC T 9A AMENDED PLAT OF LOT 9A & 7A-1A
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: 2005 I LLC
OWNER ADDR: 02635 EAST MILLBROOK RD
RALEIGH NC 27604
0101706319016530608 LAND USE: LEGAL: LOT 1 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
PROPERTY ADDR: 00000 WASHINGTON
OWNER NAME: BLUE HOLE LTD CO
OWNER ADDR: PO BOX 94084
ALBUQUERQUE NM 87199
0101706319217530607 LAND USE: LEGAL: LOT 2 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
PROPERTY ADDR: 00000 WASHINGTON
OWNER NAME: THREE AM LLC
OWNER ADDR: 00049 SANTA MARIA RD
CORRALES NM 87048
0101706319519830606 LAND USE: LEGAL: LOT 3 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
PROPERTY ADDR: 00000 WOLCOTT
OWNER NAME: CHAPMAN GEORGE WALTON & JOAN E
OWNER ADDR: 00404 BRUNN SCHOOL RD
SANTA FE NM 87505
0101706319212530609 LAND USE: LEGAL: LOT 8 I NTERSTATE INDUSTRIAL TRACT UNIT #4
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: SCOTSMAN GROUP INC
OWNER ADDR: PO BOX 986
BALTIMORE MD 21203
0101706320120430502 PHAS LAND USE: LEGAL: LOT 11A PLAT OF LOTS 10A & 11A JOURNAL CENTER
PROPERTY ADDR: 00000 WOLCOTT
OWNER NAME: RNB PROPERTIES LLC
OWNER ADDR: 03803 ATRISCO AV NE
ALBUQUERQUE NM 87120
0101706324620930501 PHAS LAND USE: LEGAL: LOT 10A PLAT OF LOTS 10A & 11A JOURNAL CENTER
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: DI ALBUQUERQUE FUNDING COMPANY
OWNER ADDR: 00001 AMERICAN SQ
INDIANAPOLISIN 46282

PAGE 3

0101706323225330411 LEGAL: LT 1 4-A PLAT FOR LOT 14-A JOURNAL CENTER PHASE
2 U LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: CARNEROS LLC
OWNER ADDR: 01334 WEST LA ENTRADA
CORRALES NM 87048
0101706322026630414 LEGAL: LT 1 5-A PLAT OF LOT 15-A JOURNAL CENTER PHASE 2
UN LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: MASTHEAD CENTER LLC
OWNER ADDR: 4101 MASTHEAD NE
ALBUQUERQUE NM 87109
0101706319026630415 LEGAL: LT 1 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: 2551 COORS LLC
OWNER ADDR: 05400 EAKES RD NW
ALBUQUERQUE NM 87107
0101706316526330416 LEGAL: LT 2 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706311526330417 LEGAL: LT 3 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706310126430418 LEGAL: LT 4 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706320419030605 LEGAL: LOT 4 PL AT OF JOURNAL CENTER PHASE 2 UNIT1
LAND USE:
PROPERTY ADDR: 00000 WOLCOTT
OWNER NAME: WALTON CHAPMAN BUILDERS
OWNER ADDR: 00404 BRUNN SCHOOL RD
SANTA FE NM 87505
0101706320317230604 LEGAL: LOT 5 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:
PROPERTY ADDR: 00000 HANCOCK
OWNER NAME: SPRADLIN JENNIE
OWNER ADDR: PO BOX 20688
ALBUQUERQUE NM 87154
0101706320516330603 LEGAL: LOT 6 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:
PROPERTY ADDR: 00000 HANCOCK
OWNER NAME: PEARSON JOHN DAVID
OWNER ADDR: 11612 PENDFIELD LN NE
ALBUQUERQUE NM 87111

PAGE 4

0101706308718430424 LEGAL: LT 1 0-B PLAT OF LOTS 10-A, 10-B, 15-A & 15-B
JOURN LAND USE:
 PROPERTY ADDR: 00000 RUTLEDGE
 OWNER NAME: TIBURON INVESTMENT CORP
 OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706308019830423 LEGAL: LT 9 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
 PROPERTY ADDR: 00000 BARLETTE
 OWNER NAME: 2551 COORS LLC
 OWNER ADDR: 05400 EAKES RD NW
ALBUQUERQUE NM 87107
0101706308121330422 LEGAL: LT 8 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
 PROPERTY ADDR: 00000 BARTLETTE
 OWNER NAME: 2551 COORS LLC
 OWNER ADDR: 05400 EAKES RD NW
ALBUQUERQUE NM 87107
0101706308122830421 LEGAL: LT 7 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
 PROPERTY ADDR: 00000 BARTLETT
 OWNER NAME: TIBURON INVESTMENT CORP
 OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706308124230420 LEGAL: LT 6 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
 PROPERTY ADDR: 00000 BARTLETT
 OWNER NAME: TIBURON INVESTMENT CORP
 OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111
0101706308625630419 LEGAL: LT 5 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
 PROPERTY ADDR: 00000 MASTHEAD
 OWNER NAME: TIBURON INVESTMENT CORP
 OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111

QUIT

101706310315730111 LEGAL: LT 18 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, ACT 8A-1
JOURNAL CENTER
PROPERTY ADDR: 3800 RUTLEDGE ST NE

OWNERS NAME: BRUNACINI DEVELOPMENT LTD CO
OWNERS ADDR: PO BOX 6363
 ALBUQUERQUE, NM 87197

101706312015730110 LEGAL: LT 17 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2 ACT 8A-1
JOURNAL CENTER
PROPERTY ADDR: 3810 RUTLEDGE ST NE

OWNERS NAME: BRUNACINI DEVELOPMENT LTD CO
OWNERS ADDR: PO BOX 6363
 ALBUQUERQUE, NM 87197

101706319016530608 LEGAL: LOT 1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1
PROPERTY ADDR: 7400 WASHINGTON ST NE

OWNERS NAME: BLUE HOLE LTD CO
OWNERS ADDR: PO BOX 94084
 ALBUQUERQUE, NM 87199

101706319212530609 LEGAL: LOT 8 INTERSTATE IDUSTRIAL TRACT UNIT # 4 C
PROPERTY ADDR: 4015 HAWKINS NE

OWNERS NAME: SCOTSMAN GROUP INC
OWNERS ADDR: PO BOX 986
 BALTIMORE, MD 21203

101706322026630414 LEGAL: LT 15-A PLAT OF LOT 15-A JOURNAL CENTER PHASE 2.0395 AC
PROPERTY ADDR: 4101 MASTHEAD NE

OWNERS NAME: MASTHEAD CENTER LLC
OWNERS ADDR: 4101 MASTHEAD NE
 ALBUQUERQUE, NM 87109

101706316526330416 LEGAL: LT 2 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2 CT 8A-1 JOURNAL
CENTER
PROPERTY ADDR: 3901 MASTHEAD ST NE

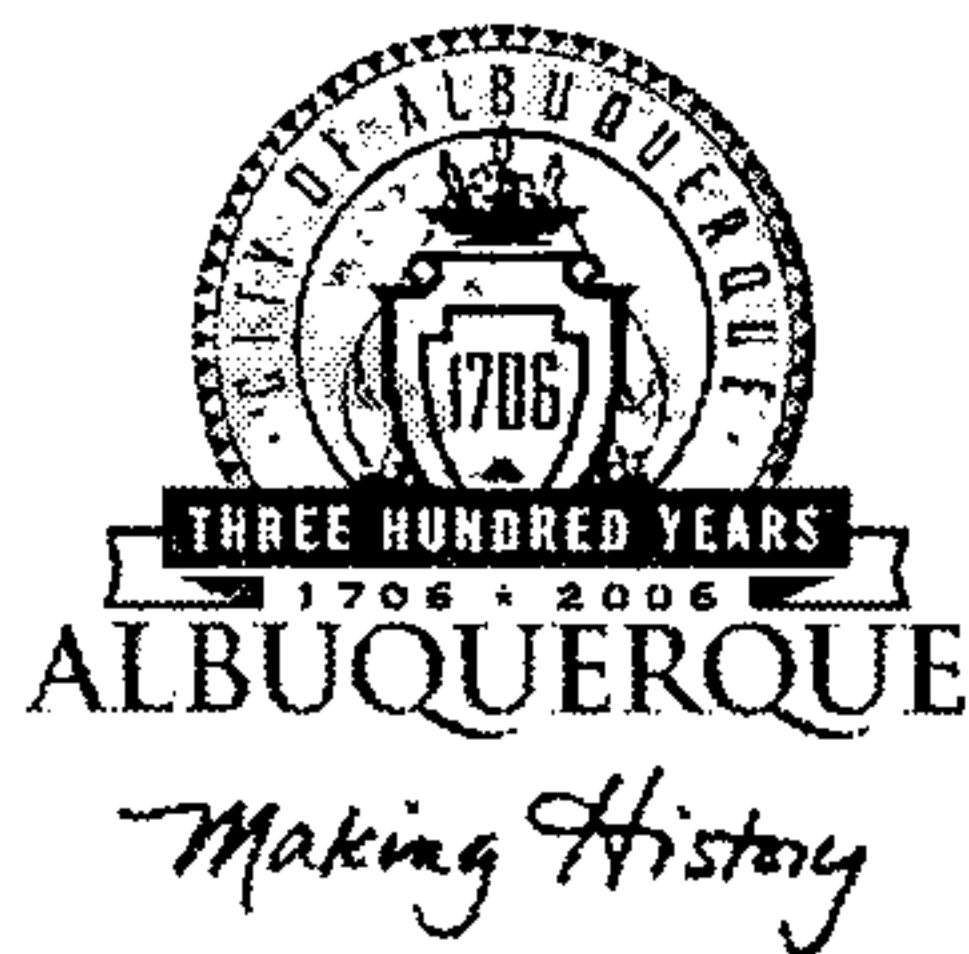
OWNERS NAME: TIBURON INVESTMENT CORP
OWNERS ADDR: 13000 ACADEMY RD NE
 ALBUQUERQUE, NM 87111

101706320317230604 LEGAL: LOT 5 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1
PROPERTY ADDR: 7411 HANCOCK CT NE

OWNERS NAME: SPRADLIN JENNIE
OWNERS ADDR: PO BOX 20688
 ALBUQUERQUE, NM 87154

101706308718430424 LEGAL: LT 10-B PLAT OF LOTS 10-A, 10-B, 15-A & 15-B PHASE 2 UNIT 2 A RE
PROPERTY ADDR: 7411 BARTLETT ST NE

OWNERS NAME: TIBURON INVESTMENT CORP
OWNERS ADDR: 13000 ACADEMY RD NE
 ALBUQUERQUE, NM 87111



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

EASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

May 16, 2006

Stephanie Walton
Bohannon Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988

Dear Stephanie:

Thank you for your inquiry of **May 16, 2006** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 11B, JOURNAL CENTER, PHASE TWO, UNIT TWO** zone map **D-17**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. (ANV) "R"

***Steve Wentworth**

8919 Boe Ln. NE/87113-2328 897-3052 (h)

Leroy Gurule

713 Alameda Blvd. NW, Alameda/87114 890-1845 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

planningrnaform(11/21/05)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

May 17, 2006

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, New Mexico 87113

RE: Journal Center Phase 2 Unit 2 Lot 11-B
Site Plan for Building Permit

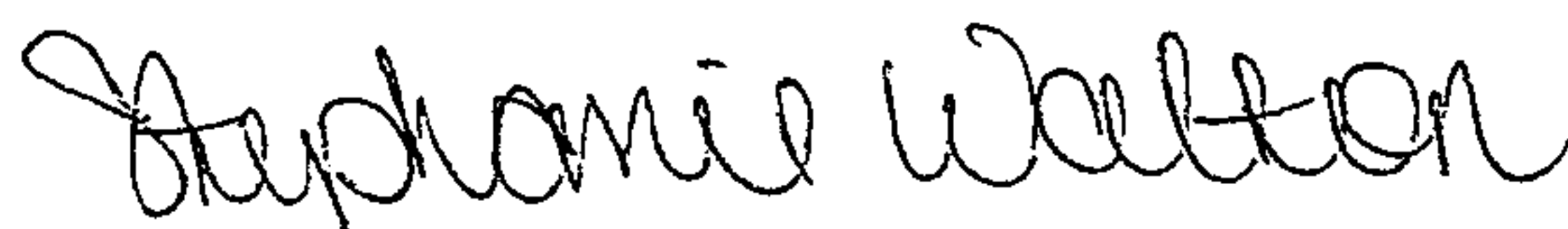
Dear Mr. Wentworth:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Masthead Road Development, LLC., is seeking approval of Site Plan for Building Permit from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce Stidworthy, P.E.
Vice President
Community Development and Planning Group

SW
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Project # 1004556

MASTHEAD RD LAND PARTNERS, LLC
6300 RIVERSIDE PLAZA LN NW ST#200
ALBUQUERQUE, NM 87120

Project # 1004556

LEROY GURULE
Alameda North Valley Assn.
713 ALAMEDA BLVD NW
ALAMEDA, NM 87114

Project # 1004556

BOHANNAN HUSTON INC.
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

101706316420930706

MASTHEAD ROAD DEVELOPMENT LLC
6300 RIVERSIDE PLAZA LN NW
ALBUQUERQUE NM 87120

Project # 1004556

STEVE WENTWORTH
Alameda North Valley Assn.
8919 BOE LANE NE
ALBUQUERQUE, NM 87113

101706312223330707

WALTON CHAPMAN BUILDERS CO'
404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706312318630705

IPIOTIS CHRISTOPHER E & AMELI
3811 RUTLEDGE RD NE
ALBUQUERQUE NM 87109

101706310818630704

L & L HOLDING CO LLC
4415 HAWKINS ST NE
ALBUQUERQUE NM 87109

101706310315730111

BRUNACINI DEVELOPMENT LTD CO
PO BOX 6363
ALBUQUERQUE, NM 87197

101706313715730109

MLM ENTYERPRISES LLC
3900 RUTLEDGE RD NE
ALBUQUERQUE NM 87109

101706314716030108

2005 I LLC
2635 EAST MILLBROOK RD
RALEIGH NC 27604

101706319016530608

BLUE HOLE LTD CO
PO BOX 94084
ALBUQUERQUE, NM 87199

101706319217530607

THREE AM LLC
49 SANTA MARIA RD
CORRALES NM 87048

101706319519830606

CHAPMAN GEORGE WALTON & JOAN
404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706319212530609

SCOTSMAN GROUP INC
PO BOX 986
BALTIMORE, MD 21203

101706320120430502

RNB PROPERTIES LLC
3803 ATRISCO AV NE
ALBUQUERQUE NM 87120

101706324620930501

DI ALBUQUERQUE FUNDING COMPAN
1 AMERICAN SQ
INDIANAPOLISIN 46282

101706323225330411

CARNEROS LLC
1334 WEST LA ENTRADA
CORRALES NM 87048

101706322026630414

MASTHEAD CENTER LLC
4101 MASTHEAD NE
ALBUQUERQUE, NM 87109

101706319026630415

2551 COORS LLC
5400 EAKES RD NW
ALBUQUERQUE NM 87107

101706316526330416

TIBURON INVESTMENT COPR
13000 ACADEMY RD NE
ALBUQUERQUE, NM 87111

101706320419030605

WALTON CHAPMAN BUILDERS
404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706320317230604

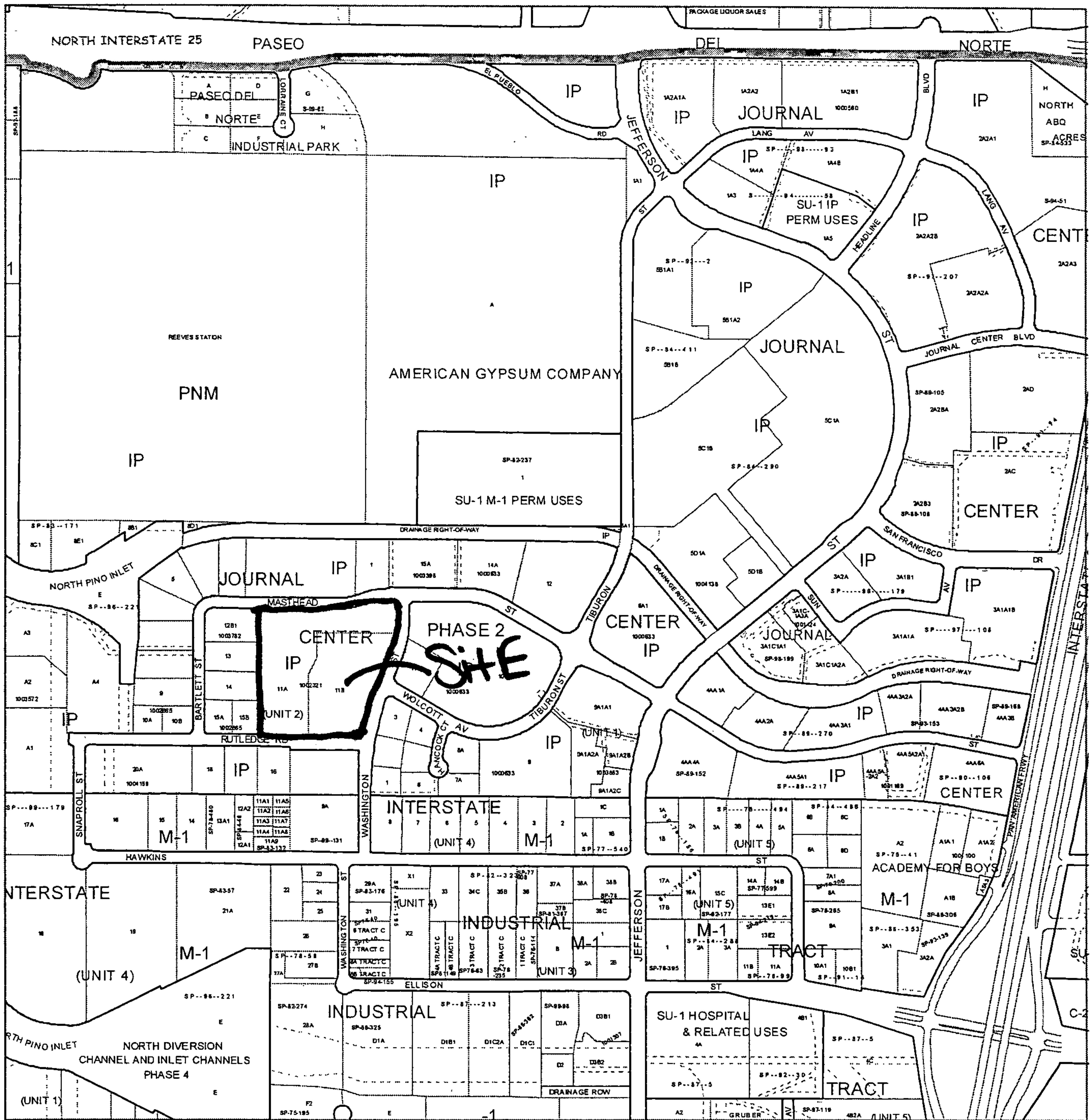
SPRADLIN JENNIE
PO BOX 20688
ALBUQUERQUE, N M 87154

101706320516330603

PEARSON JOHN DAVID
11612 PENDIELD LN NE
ALBUQUERQUE NM 87111

101706308019830423

2551 COORS LLC
5400 EAKES RD NW
ALBUQUERQUE NM 87107



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

May 16, 2006

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Masthead Office Complex at Journal Center 2, Site Plan for Building Permit Amendment
Journal Center, Phase 2, Unit 2, Lot 11-B, Approximately 4.4 acres DRB# 1002321

Dear Sheran:

Enclosed for approval of a Site Development Plan for Building Permit for the referenced project are copies of the following information:

- Completed Application to the Development Review Board
- Completed Checklist
- Submittal Fee in the amount of \$350.00
- Twenty Four (24) copies of the Site Plan for Building Permit
- Zone Atlas showing location of subject property

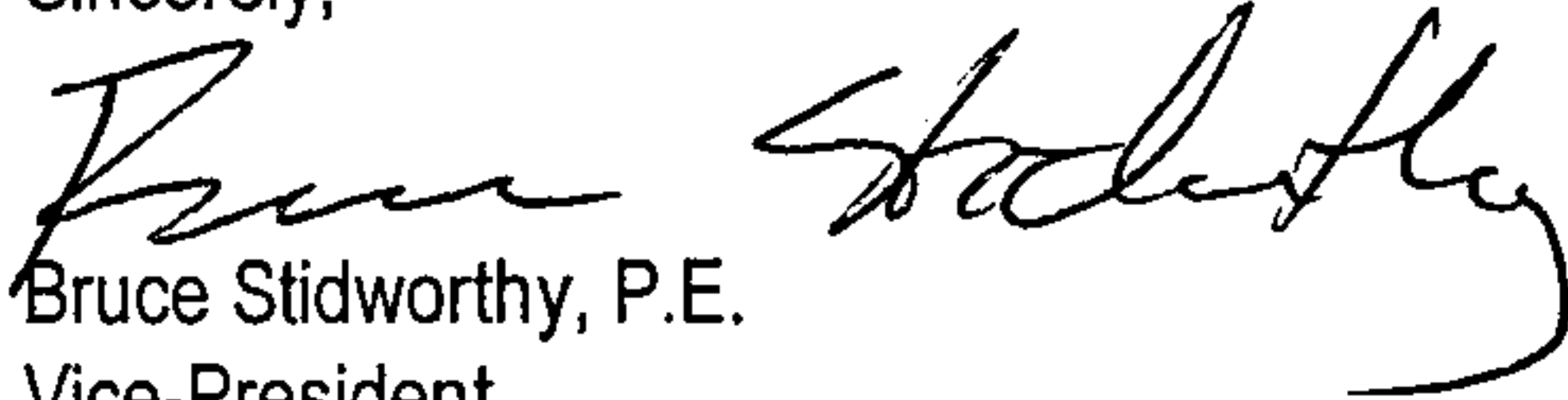
This site is currently undeveloped and is located at the southwest corner of Masthead and Washington in the Journal Center. This site plan represents the second phase of development on Tract 11. Construction of the first phase was recently completed.

The project consists of a 3-story office building of approximately 96,000 square feet. A site plan for building permit for this site was previously approved by the DRB for a very similar project except that the previous building was 2 story and about 61,000 square feet. The building is being constructed by Reid & Associates, a design-build contractor. The site includes a sculpture of an Elk located within a large landscaped island near the main entrance to the building. Also shown on the site plan is a cooling tower to be located on the east side of the building. The cooling tower will be screened by a solid wall which is architecturally compatible with the building.

This Site Development Plan has been prepared in accordance with City Ordinances and Journal Center guidelines. The previous site plan was approved by both of the Journal Center ARC's, and the modifications proposed with this submittal have been discussed and preliminarily agreed to. The site plan has been submitted to both of the Journal Center ARCs and we are expecting their final approval any day – we will forward their approval letter as soon as we receive it.

Please place this item on the next available agenda. If you have any questions or require further information, please contact me.

Sincerely,



Bruce Stidworthy, P.E.
Vice-President
Community Development and Planning Group

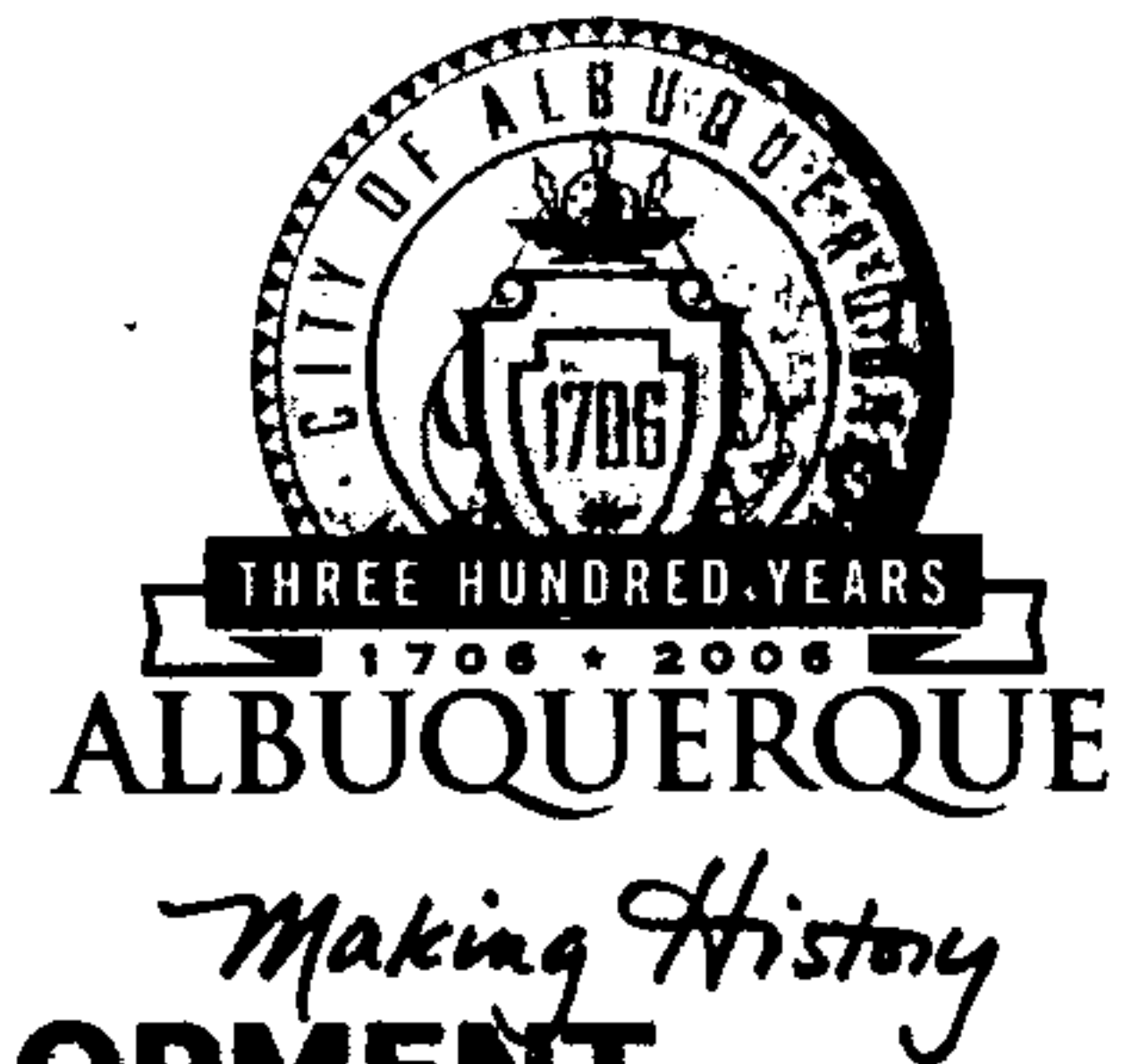
ENCLOSURE

cc Mike Case, Reid & Associates

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

May 25, 2006

TO: Steve Wentworth and Leroy Gurule, Alameda North Valley Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately ten (10) acre(s) - Major Two Year Subdivision Improvement Agreement for a three (3) story office building of approximately 96,000 square feet..

Proposed by: Bohannan Huston Inc. at 823-1000

Agent for: Masthead Road Land Partners LLC

P.O. Box 1293

For property located: On or near Rutledge Road NE between Bartlett Street NE and Washington Street NE.

The case number(s) assigned is: 06DRB- 00708, Project # 1004556

Albuquerque

City Planning accepted application for this request on May 19, 2006.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, June 14, 2006 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 14, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000418

06DRB-00705 Major-Two Year SIA

LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SU-1 for Church and related facilities, located on CENTRAL AVE NW, between AIRPORT RD NW and UNSER BLVD NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10)

Project # 1000945

06DRB-00710 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for SCOTT G. COLE request(s) the above action(s) for all or a portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK NE, between SAN PEDRO NE and LOUISIANA BLVD NW containing approximately 1 acre(s). [REF: DRB-99-75] (C-18)

Project # 1003403

06DRB-00707 Major-Two Year SIA

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and OAKRIDGE ST NW containing approximately 17 acre(s). [REF: 04DDRB01493] (C-9)

Project # 1004556

06DRB-00708 Major-Amended SiteDev Plan
BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 29, 2006.

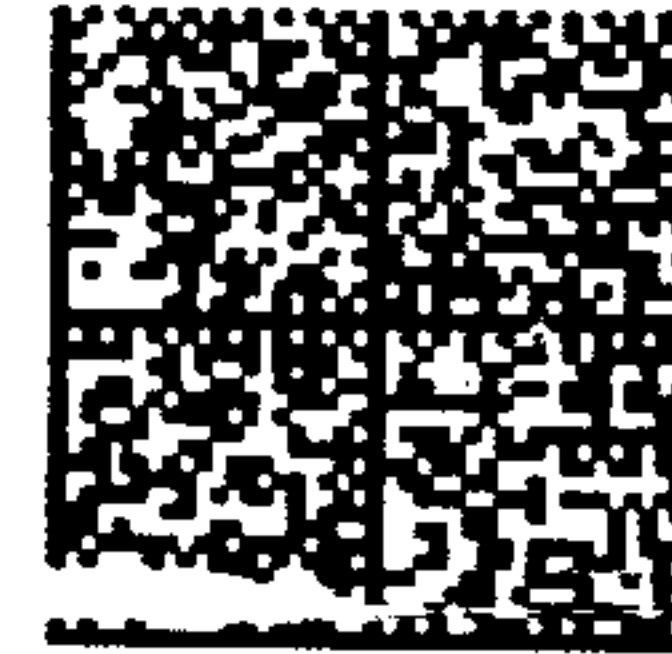
CITY OF ALBUQUERQUE



● Planning Department

101706320120430502

RNB PROPERTIES LLC
3803 ATRISCO AV NE
ALBUQUERQUE NM 87120



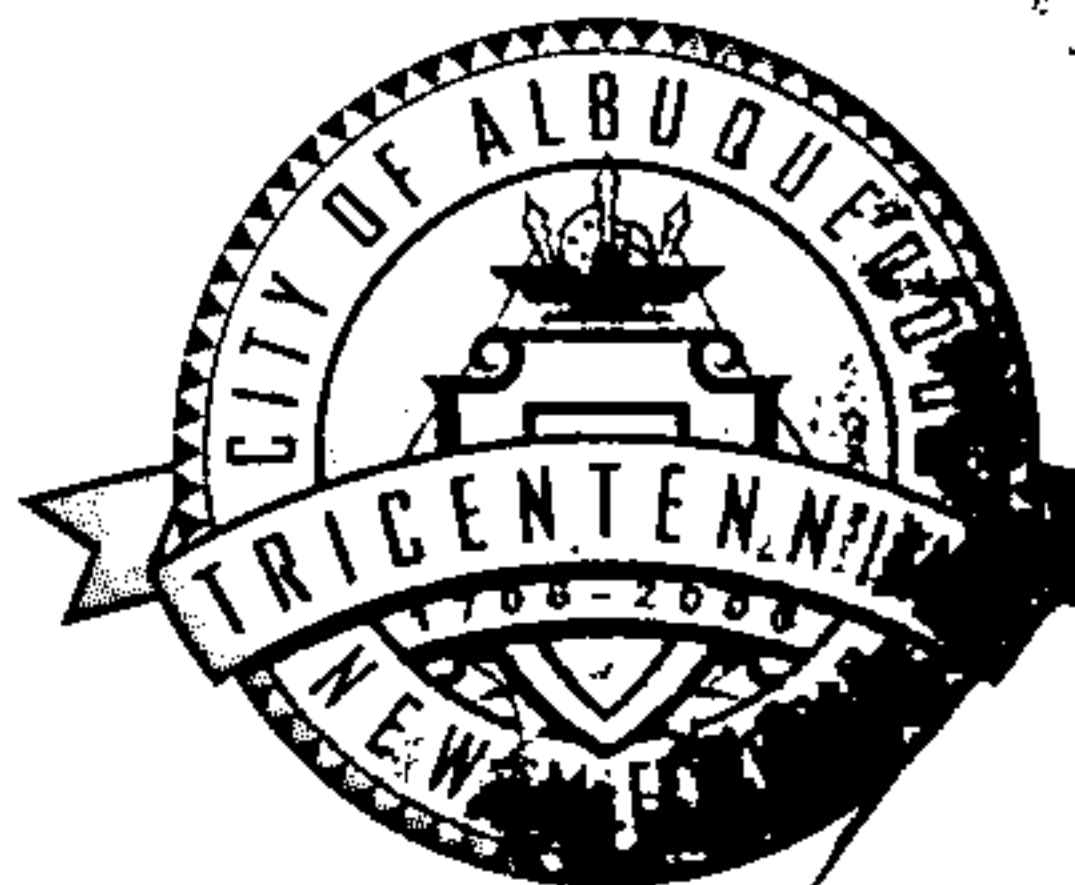
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DRB

CITY OF ALBUQUERQUE

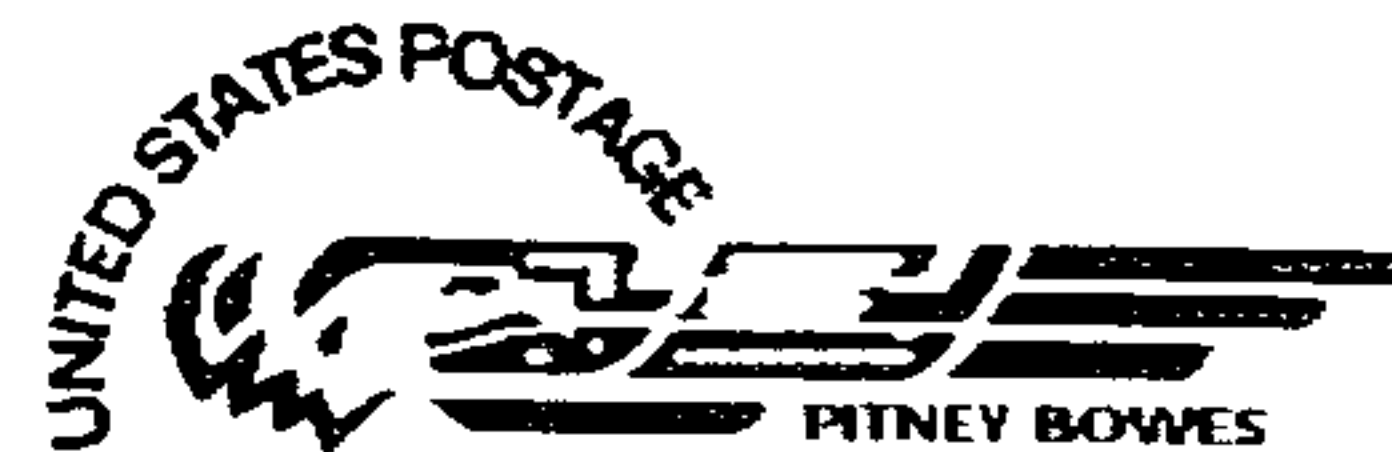
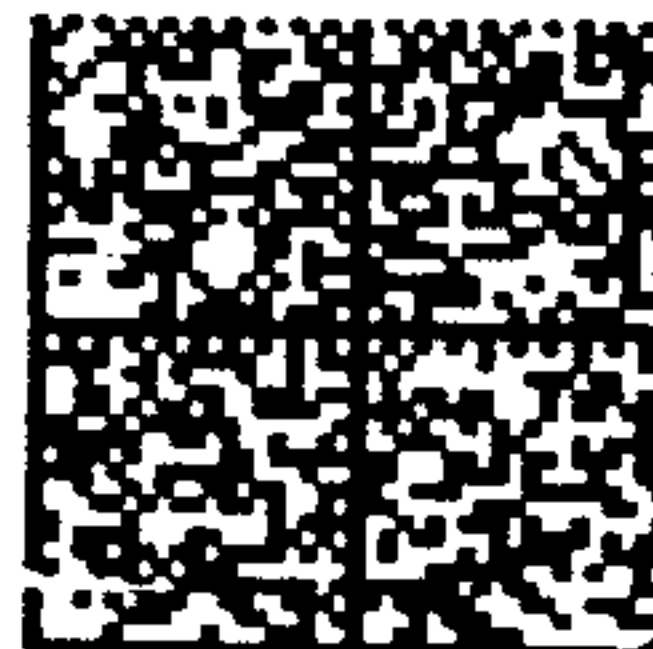


Planning Department

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Sender*

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L & L HOLDING CO LLC
~~4415 HAWKINS ST NE~~
~~ALBUQUERQUE NM 87109~~



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*Not at this
Address*

87109+4333-99 C047



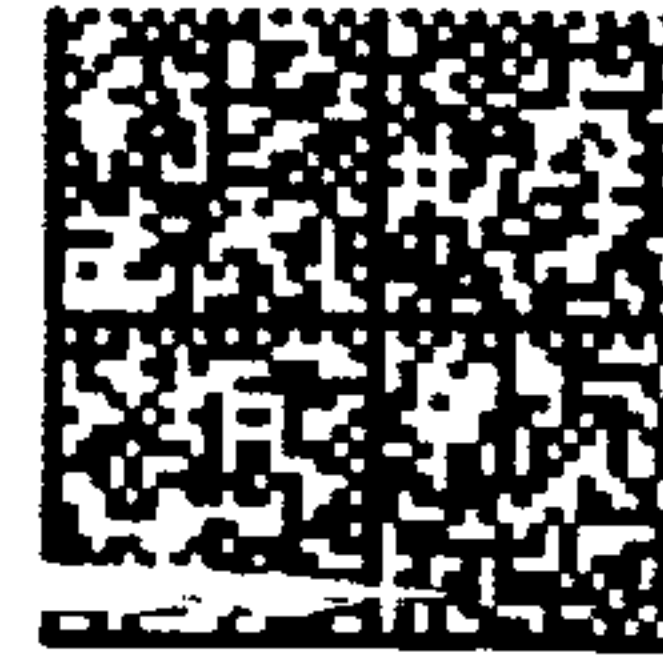
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CITY OF ALBUQUERQUE



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MAY 24 2006

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**ADDRESSEE UNKNOWN
INDIANAPOLIS, IN 46204**

101706324620930501

DI ALBUQUERQUE FUNDING COMPANY
1 AMERICAN SQ
INDIANAPOLIS IN 46282

46282+0020-99 C001



DRB



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 14, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000418

06DRB-00705 Major-Two Year SIA

LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SU-1 for Church and related facilities, located on CENTRAL AVE NW, between AIRPORT RD NW and UNSER BLVD NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10)

Project # 1000945

06DRB-00710 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for SCOTT G. COLE request(s) the above action(s) for all or a portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK NE, between SAN PEDRO NE and LOUISIANA BLVD NW containing approximately 1 acre(s). [REF: DRB-99-75] (C-18)

Project # 1003403

06DRB-00707 Major-Two Year SIA

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and OAKRIDGE ST NW containing approximately 17 acre(s). [REF: O4DDRB01493] (C-9)

Project # 1004556

06DRB-00708 Major-Amended SiteDev Plan
BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

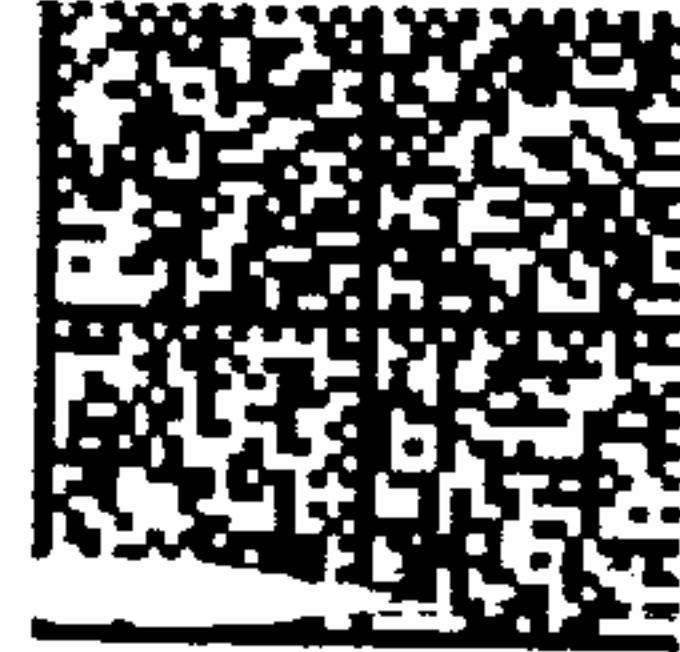
Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 29, 2006.



Planning Department

CITY OF ALBUQUERQUE



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TIBURON INVESTMENT COPR
13000 ACADEMY RD NE
ALBUQUERQUE, NM 87111

87111+8000-00 C039



D2B



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

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06DRB-00705 Major-Two Year SIA

LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SU-1 for Church and related facilities, located on CENTRAL AVE NW, between AIRPORT RD NW and UNSER BLVD NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10)

Project # 1000945
06DRB-00710 Major-Two Year SIA

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Project # 1003403
06DRB-00707 Major-Two Year SIA

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and OAKRIDGE ST NW containing approximately 17 acre(s). [REF: O4DDRB01493] (C-9)

Project # 1004556
06DRB-00708 Major-Amended SiteDev Plan
BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 29, 2006.



Planning Department

CITY OF ALBUQUERQUE



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NOT DELIVERABLE
AS ADDRESSED
UNABLE TO FORWARD



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0004329277 MAY 24 2006
MAILED FROM ZIP CODE 87102

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101806446246011637

STV INVESTMENTS VII LLC
1015 TIJERAS AVE NW 210
ALBUQUERQUE, NM 87102

STV-015* 871022021 1405 12 05/29/06
FORWARD TIME EXP RTN TO SEND
: STV INVESTMENTS VII LLC
3 WIND RD NW
ALBUQUERQUE NM 87120-1914

RETURN TO SENDER

87102+3994-861009534

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

08/04/2010 Issued By: E08375 78294

Permit Number: 2010 070 165

Category Code 910

Application Number: 10DRB-70165, Major - Amended Sdp Bp/Subd.

Address:

Location Description: NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE

Project Number: 1004558

Applicant

Masthead Road Development Ll Llc

6300 Riverside Plaza Lane Nw Ste 200
Albuquerque NM 87120
998-0183

Agent / Contact

Bohannon Huston Inc.
Glen Broughton
7500 Jefferson Ne
Albuquerque NM 87109

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$255.00

TOTAL: \$350.00

City Of Albuquerque
Treasury Division

6/4/2010 12:14PM LOC: ANHX
WS# 006 TRASH# 0020
RECEIPT# 00121286-00121286
PERMITH 2010070165 TRSLS#
Trans Amt \$350.00
APN Fee \$75.00
Conflict Mngag. Fee \$20.00
DRB Actions \$255.00

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: Wednesday, June 30, 2010
Zone Atlas Page: (D-17)
Notification Radius: 100 Ft.

Project# 1004556
App# 10DRB-70165

Cross Reference and Location: located on NORTHWEST CORNER OF RUTLEDGE
RD NE AND WASHINGTON ST NE

Applicant: MASTHEAD ROAD DEVELOPMENT II LLC
6300 RIVERSIDE PLAZA LANE NW STE 200
ALBUQUERQUE NM 87120

Agent: GLEN BROUGHTON
BOHANNAN HUSTON INC
7500 JEFFERSON NE
ALBUQUERQUE NM 87109

Special Instructions:
Notice must be mailed from the
City's 15 day's prior to the meeting.

Date Mailed: June 4¹¹, 2010
SIGNATURE: Anita Tavasci

OR CURRENT RESIDENT
101706314716030108
2005 I LLC
2635 EAST MILLBROOK RD
RALEIGH NC 27604

OR CURRENT RESIDENT
101706319026630415
2551 COORS LLC
5400 EAKES RD NW
ALBUQUERQUE NM 87107

OR CURRENT RESIDENT
101706316526330416
AZAR JOE & DELORES & ALEZ HUDSON
9516 ADMIRAL DEWEY NE
ALBUQUERQUE NM 87111

OR CURRENT RESIDENT
101706324620930501
DI ALBUQ FNDNG CO INC ATTN: FUND ASS
T MGT % HDG MANSUR CPTAL GRP
10 W MARKET ST SUITE 1200
INDIANAPOLIS IN 46204

OR CURRENT RESIDENT
101706313921030706
MASTHEAD ROAD DEVELOPMENT LLC
6300 RIVERSIDE PLAZA LN NW SUITE 2
00
ALBUQUERQUE NM 87120

OR CURRENT RESIDENT
101706313715730109
MLM ENTYERPRISES LLC
3900 RUTLEDGE RD NE
ALBUQUERQUE NM 87109

OR CURRENT RESIDENT
101706320317230604
PADILLA MATTHEW M & SHIRLEY J
8301 FLORENCE AVE NE
ALBUQUERQUE NM 87122

OR CURRENT RESIDENT
101706320120430502
RNB PROPERTIES LLC
7430 WASHINGTON ST NE
ALBUQUERQUE NM 87109

OR CURRENT RESIDENT
101706319217530607
THREE AM LLC
49 SANTA MARIA RD
CORRALES NM 87048

OR CURRENT RESIDENT
101706319019430901
WALTON CHAPMAN BUILDERS
404 BRUNN SCHOOL RD SUITE A
SANTA FE NM 87505

OR CURRENT RESIDENT
101706319016530608
WESTERN HEMLOCK LTD CO
PO BOX 94084
ALBUQUERQUE NM 87199

BOHANNAN HOUSTON, LLC
7500 JEFFERSON NE, CT YARD I
ALBUQUERQUE, NM 87109
PROJECT #1004556

ALAMEDA NORTH VALLEY ASSN.
STEVE WENTWORTH
8919 BOE LANE NE
ALBQUERQUE, NM 87113
PROJECT #1004556



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 30, 2010, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1000572

10DRB-70160 MAJOR - PRELIMINARY
PLAT APPROVAL

10DRB-70161 VACATION OF PUBLIC
EASEMENT

10DRB-70163 MINOR - TEMP DEFR SWDK
CONST

10DRB-70164 MAJOR - FINAL PLAT
APPROVAL

ISAACSON AND ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) D & J-2A, E-1, H-1 & R-1, **THE PRESIDIO (TO BE KNOWN AS THE PRESIDIO UNIT 2A) Unit(s) 1 & 2**, zoned SU-1 FOR PRD, located on CHICO RD NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 7.482 acre(s). (K-21)

Project# 1001970

10DRB-70162 VACATION OF PUBLIC
DRAINAGE EASEMENT

THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for VIRGIL GIL, INC request(s) the referenced/ above action(s) for all or a portion of Tract(s) F, **COLEGE PARK WEST** zoned R-LT, located on the south side of ST JOSEPH'S AVE NW between UNSER BLVD NW and 80th ST NW containing approximately 2.7 acre(s). (G-10)

Project# 1004556

10DRB-70165 MAJOR - AMENDED SITE
DEVELOPMENT PLAN FOR BUILDING
PERMIT/SUBDIVISION

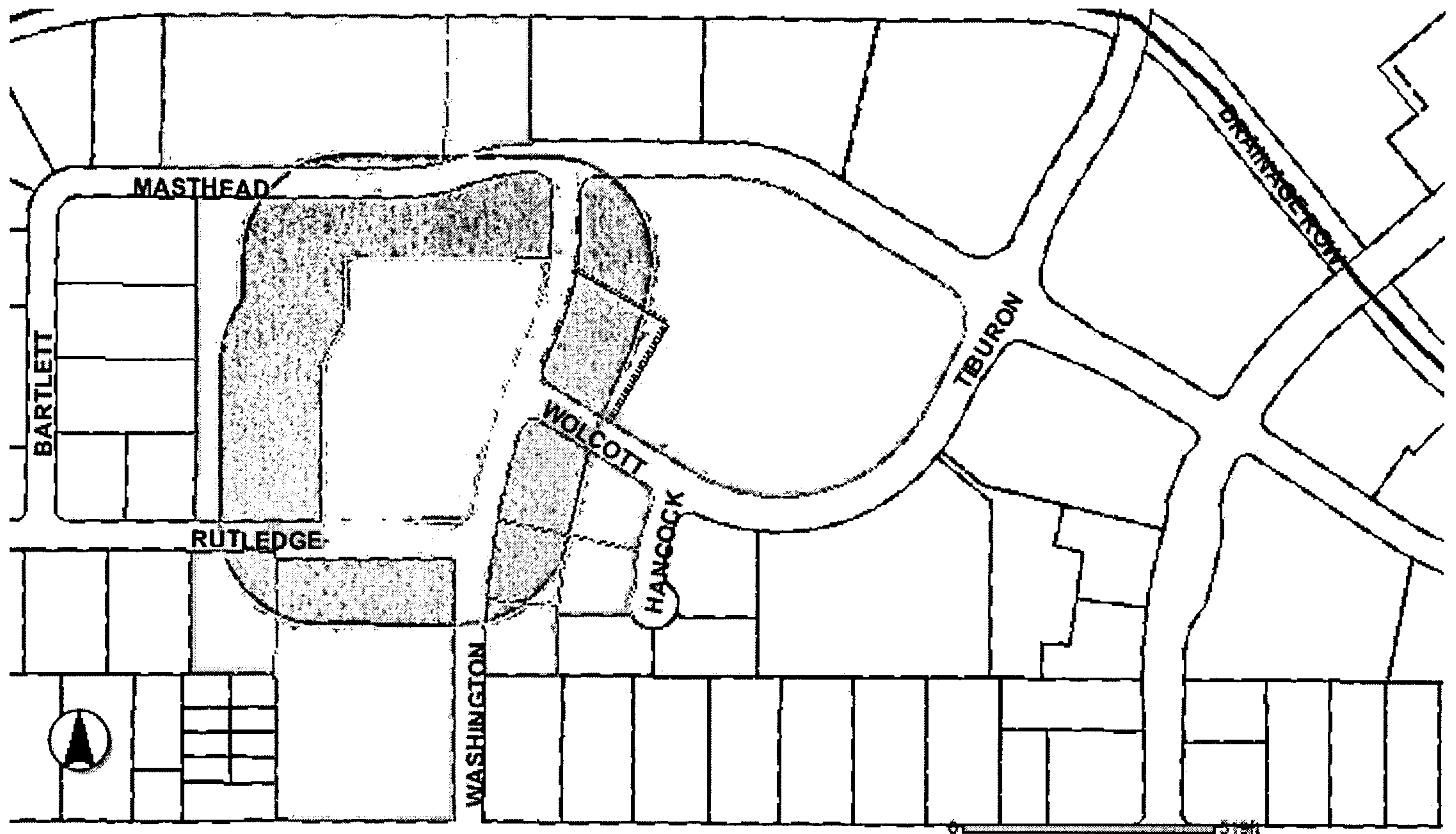
BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**, zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE containing approximately 4.43 acre(s). (D-17)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 14, 2010.

REC	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL	ACRES
1	10170 63139 21030 706	MASTHEAD ROAD DEV ELOPMENT LLC	6300 RIVER SIDE PLAZA LN NW SUITE 200	ALBUQUERQUE	NM	87120	C	A1A	LT 11-A PLAT OF LOTS 11-A & 11-B JOURNAL CENTER PHASE 2 UNIT 2 (A REPLAT OF LOT 11 JOURNAL CENTER PHASE 2 UNIT 2) CONT 5.6207 AC	5.62056834
2	10170 63201 20430 502	RNB PROPERTIES LLC	7430 WASHINGTON ST NE	ALBUQUERQUE	NM	87109	C	A1A	LOT 11A PLAT OF LOTS 10A & 11A JOURNAL CENTER PHASE 2 UNIT 1 A REPLAT OF LOTS 10 & 11 JOURNAL CENTER PHASE 2 UNIT 1 CONT 1.0005 AC	1.02077507
3	10170 63165 26330 416	AZAR JOE & DELORES & ALEZ HUDSON	9516 ADMIRAL DEWEY NE	ALBUQUERQUE	NM	87111	C	A1A	LT 2 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OF TRACT 8A-1 JOURNAL CENTER PHASE 2 UNIT 1 CONT 4.1206 AC	4.11616519
4	10170 63190 26630 415	2551 COORS LLC	5400 EAKES RD NW	ALBUQUERQUE	NM	87107	V	A1A	LT 1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OF TRACT 8A-1 JOURNAL CENTER PHASE 2 UNIT 1 CONT 1.0746 AC	1.08100389
5	10170 63246 20930 501	DI ALBUQ FNDNG CO INC ATTN: FUND ASST MGT % HDG MANSUR CPTAL GRP	10 W MARKET ST SUITE 1200	INDIANAPOLIS	IN	46204	C	A1A	LOT 10A PLAT OF LOTS 10A & 11A JOURNAL CENTER PHASE 2 UNIT 1 A REPLAT OF LOTS 10 & 11 JOURNAL CENTER PHASE 2 UNIT 1 CONT 8.3478 AC	8.36375465
6	10170 63147 16030 108	2005 I LLC	2635 EAST MILLBROOK RD	RALIGH	NC	27604	C	A1A	TRACT 9A AMENDED PLAT OF LOT 9A & 7A-1 JOURNAL CENTER CONT 4.4786 AC	4.48839407
7	10170 63203 17230 604	PADILLA MATTHEW M & SHIRLEY J	8301 FLORENCE AVE NE	ALBUQUERQUE	NM	87122	C	A1A	LOT 5 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT .5016 AC	0.50156578
8	10170 63190 19430 901	WALTON CHAPMAN BUILDERS	404 BRUNN SCHOOL RD SUITE A	SAN TA FE	NM	87505	C	A1A	LT 3 & 4 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 (AKA WOLCOTT OFFICE CONDOMINIUM) CONT 1.1922 AC	1.19197926
9	10170 63155 20530 707	MASTHEAD ROAD LAND PARTNERS LLC	6300 RIVER SIDE PLAZA LN NW SUITE 200	ALBUQUERQUE	NM	87120	V	A1A	LT 11-B PLAT OF LOTS 11-A & 11-B JOURNAL CENTER PHASE 2 UNIT 2 (A REPLAT OF LOT 11 JOURNAL CENTER PHASE 2 UNIT 2) CONT 4.4289 AC	4.43007683
10	10170 63192 17530 607	THREE AM LLC	49 SANTA MARIA RD	CORRALES	NM	87048	V	A1A	LOT 2 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT .5168 AC	0.51659562
11	10170 63137 15730 109	MLM ENTERPRISES LLC	3900 RUTLEDGE RD NE	ALBUQUERQUE	NM	87109	C	A1A	LT 16 PLAT OF JOURNAL CENTER PHASE 2 UNIT 2, A REPLAT OF TRACT 8A-1 JOURNAL CENTER PHASE 2 UNIT 1 CONT 1.0001 AC	1.00024663
12	10170 63190 16530 608	WESTERN HEMLOCK LTD CO	PO BOX 94084	ALBUQUERQUE	NM	87199	C	A1A	LOT 1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT .5211 AC	0.520997



Anita

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Behannon Huston, Inc PHONE: 923-1000
 ADDRESS: 7500 Jefferson NE Courtyard I FAX: 798-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: gbroughton@bhinc.com

APPLICANT: Musthead Road Development II, LLC PHONE: 505-998-0163
 ADDRESS: 6300 Riverside Plaza Lane NW Suite 200 FAX: 505-837-1061
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: mproachle@reidandassociates.com
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: Amended Site Plan For Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 11-B Block: _____ Unit: 2
 Subdiv/Addn/TBKA: Journal Center Phase 2, Unit 2
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No _____
 Zone Atlas page(s): D-17 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

1004556; 06 DRB-00707

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 4.43
 LOCATION OF PROPERTY BY STREETS: On or Near: Northwest corner of Rutledge Rd & Washington St NE
 Between: _____ and _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Glenn Broughton DATE 6-4-10
 (Print) Glenn Broughton Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>10DRB-70165</u>	<u>ASBP (PE)</u>		<u>\$255.00</u>
	<u>ADU</u>		<u>\$75.00</u>
	<u>CME</u>		<u>\$20.00</u>
			\$ _____
			\$ _____
			Total
			<u>\$350.00</u>

Hearing date 06/30/10

Sandy Handley 06/04/10
Planner signature / date

Project # 1004556

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15) Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14) Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10) Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Glenn Broughton Agent
 Applicant name (print)
Glenn Broughton 6/3/10
 Applicant signature / date

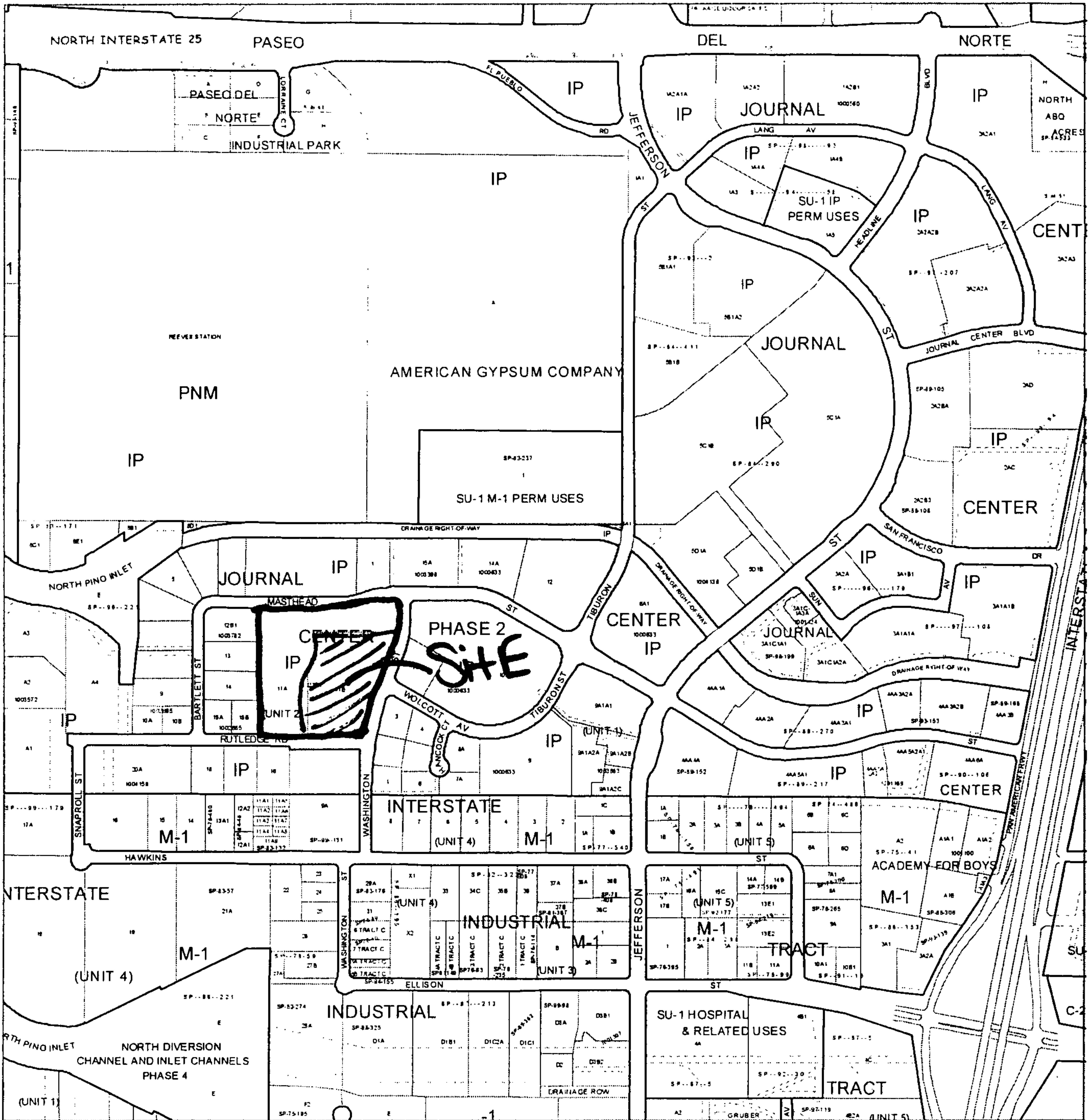


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
10003-70165

Sandy Handley 06/04/10
 Planner signature / date
 Project # 1004556



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

June 4, 2010

Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103Re: Masthead Office Complex at Journal Center 2, Site Plan for Building Permit Amendment
Journal Center, Phase 2, Unit 2, Lot 11-B, Approximately 4.4 acres DRB# 1002321

Dear Jack:

Enclosed for approval of the amended Site Development Plan for Building Permit for the referenced project are copies of the following information:

- Completed Application to the Development Review Board
- Completed Checklist
- Submittal Fee in the amount of \$350.00
- Twenty Four (24) copies of the amended Site Plan for Building Permit
- Twenty Four (24) copies of signed Site Plan being amended
- Zone Atlas showing location of subject property
- Letter of authorization from property owner
- Neighborhood coordination notification letter and certified mail receipts

This site is currently undeveloped and is located at the southwest corner of Masthead and Washington in the Journal Center. This site plan represents the second phase of development on Tract 11-B. Construction of the first phase was completed in 2005.

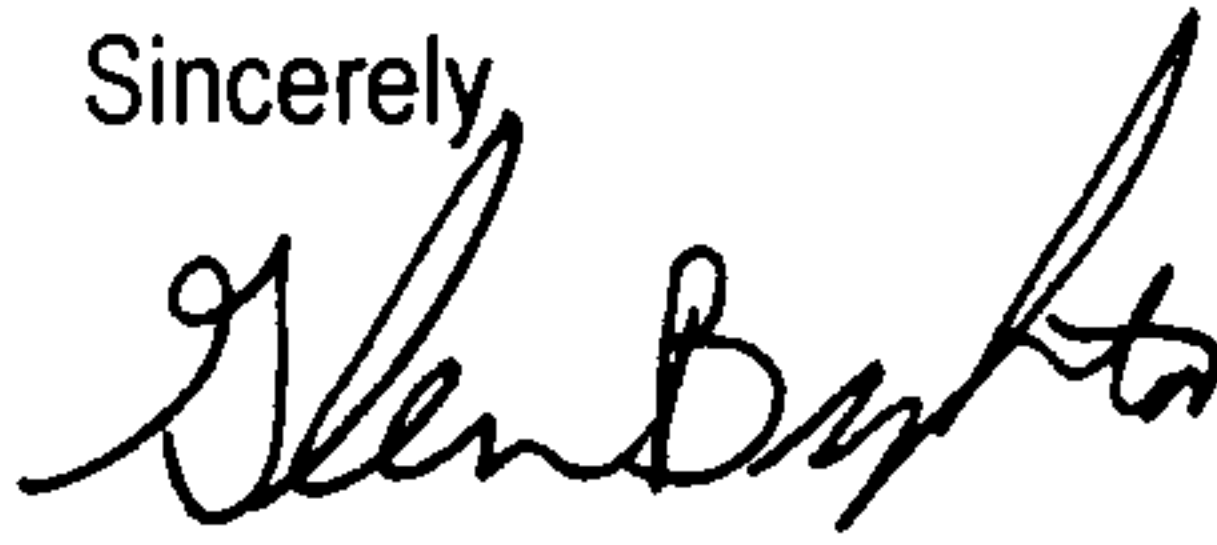
The project consists of a 3-story office building of approximately 101,660 square feet. A site plan for building permit for this site was previously approved by the DRB for a very similar project except that the previous building was 3 story and about 96,400 square feet. The building is being constructed by Reid & Associates, a design-build contractor. The site is adjacent to an existing sculpture of an Elk located within a large landscaped island near the main entrance to the building. Also shown on the site plan is a cooling tower to be located on the east side of the building. The cooling tower will be screened by a solid wall which is architecturally compatible with the building.

This Site Development Plan has been prepared in accordance with City Ordinances and Journal Center guidelines. The previous site plan was approved by both of the Journal Center ARC's. The developer is coordinating submittal of the site plan to both of the Journal Center ARC's. We will forward their approval letter as soon as we receive it.

Jack Cloud, Chair
City of Albuquerque
June 4, 2010
Page 2

Please place this item on the next available agenda. If you have any questions or require further information, please contact me.

Sincerely,



Glenn S. Broughton, P.E.
Senior Project Manger
Community Development and Planning Group

GSB/cc
Enclosure

cc Matthew Proehl, Reid & Associates



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

June 3, 2010

Becky Ganna
Bohannan Huston Inc.
7500 Jefferson NE/87109
Phone: 505-823-1000/Fax: 505-798-7988

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Becky:

Thank you for your inquiry of June 3, 2010 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOT 11B, JOURNAL CENTER, UNIT 2, PHASE 2, LOCATED ON RUTLEDGE ROAD NE BETWEEN MASTHAND STREET NE AND WASHINGTON STREET NE** zone map **D-17**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. "R"
Steve Wentworth
8919 Boe Ln. NE/87113-2328 897-3052 (h)
David Lindner
10407 4th St. NW/87114 898-4465 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningrnaform(12/06/07)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.**
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **06/03/10** Time Entered: **9:45 a.m.** ONC Rep. Initials: **siw**

Bohannon

Huston

ADVANCED TECHNOLOGIES

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

June 3, 2010

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, NM 87113-2328

Re: Journal Center Phase 2 Lot 11-B
Site Plan for Building Permit

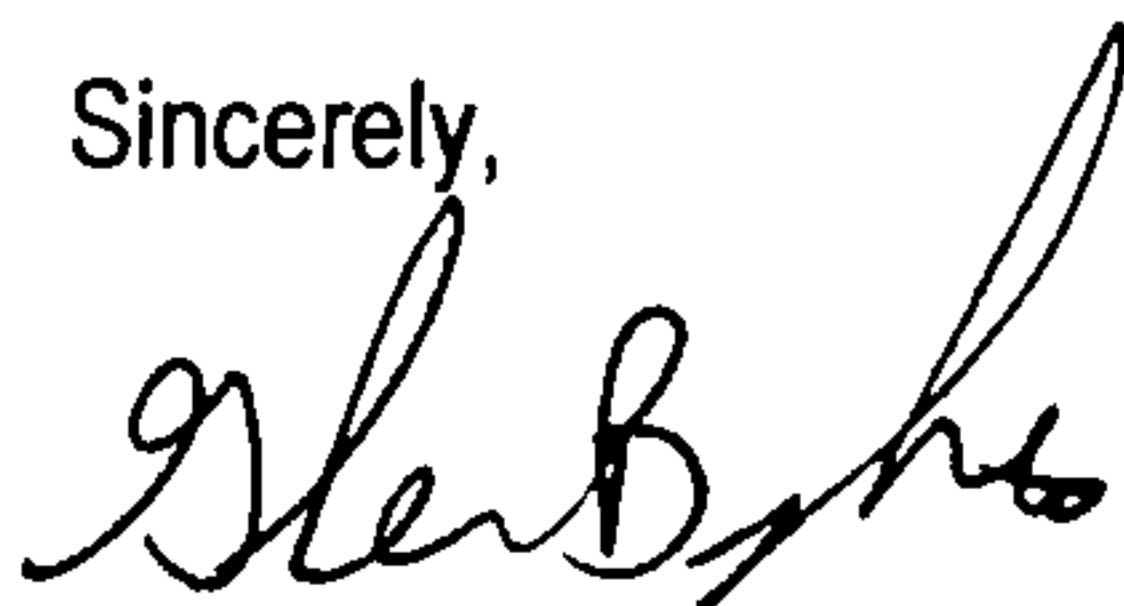
Dear Mr. Wentworth:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Masthead Road Development II, LLC, is seeking approval of Site Plan for Building Permit from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted, that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Glenn S. Broughton, P.E.
Senior Project Manger
Community Development and Planning Group

GSB/cc
Enclosure

ENGINEERING 
SPATIAL DATA 

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

June 3, 2010

Mr. David Lindner
10407 4th St. NW
Albuquerque, NM 87114-4465

Re: Journal Center Phase 2 Lot 11-B
Site Plan for Building Permit

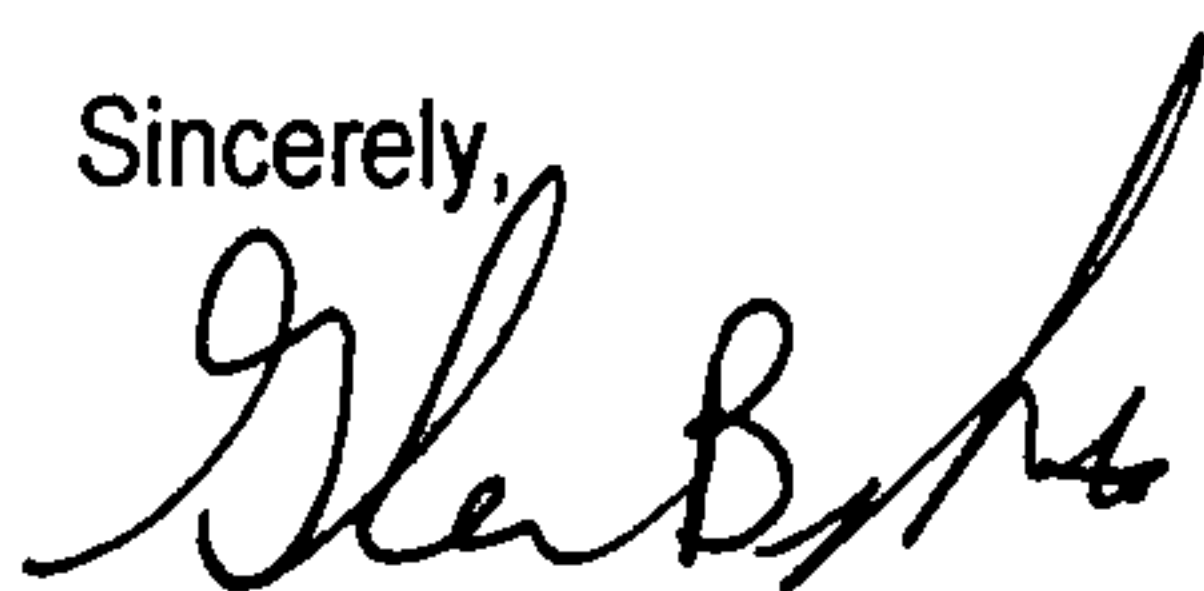
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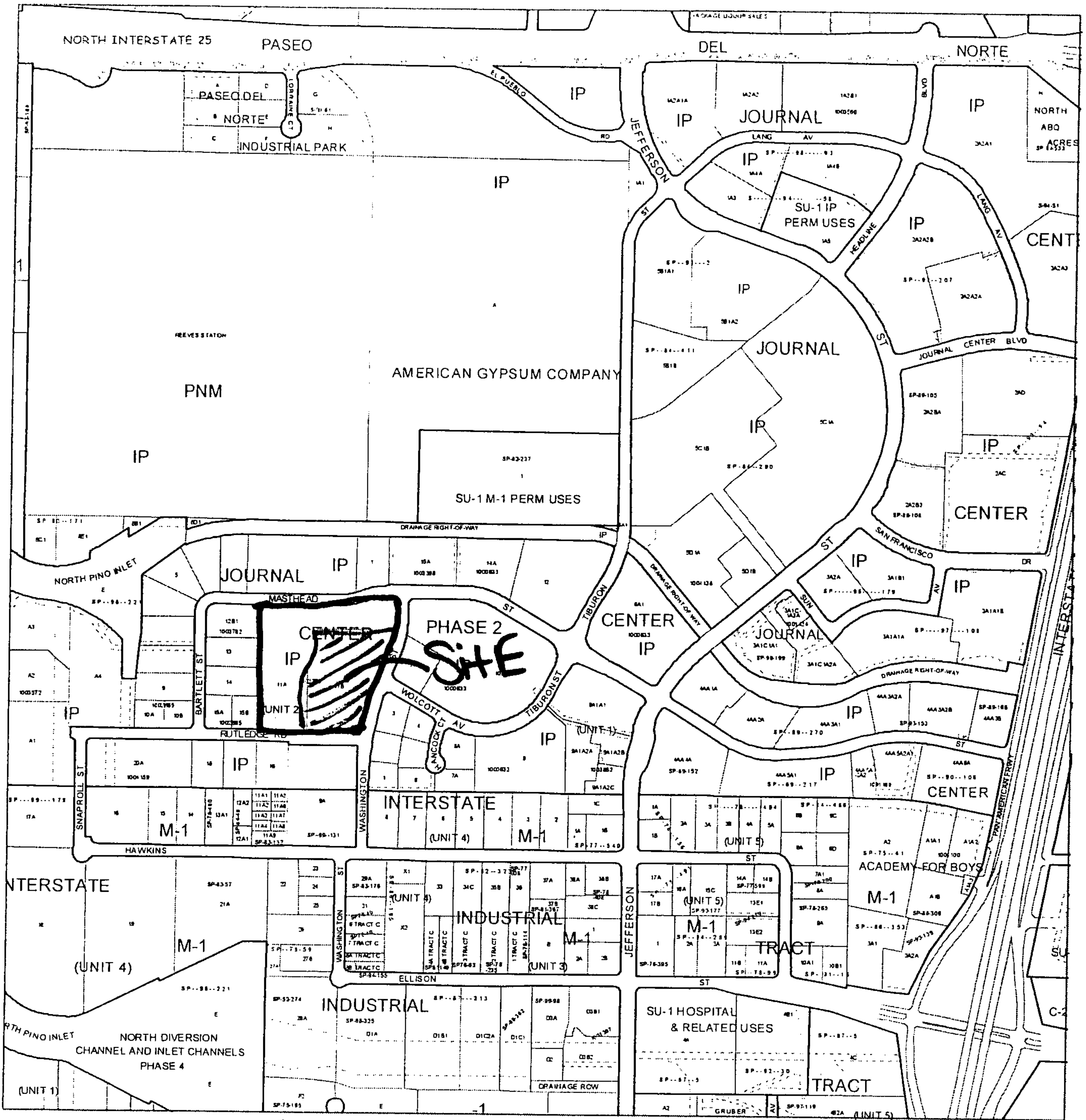
Glenn S. Broughton, P.E.
Senior Project Manger
Community Development and Planning Group

GSB/cc
Enclosure

ENGINEERING

SPATIAL DATA

ADVANCED TECHNOLOGIES



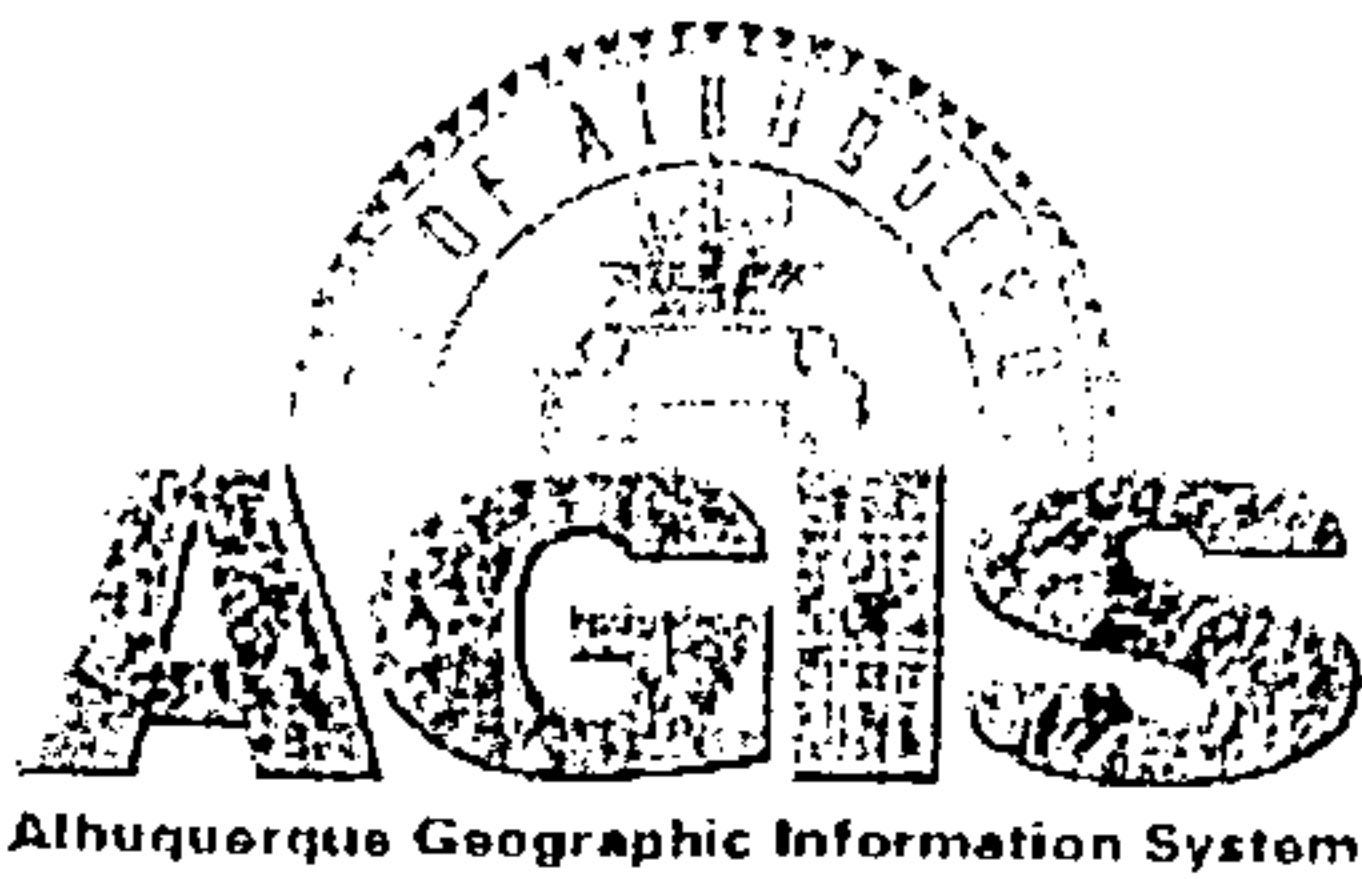
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Zone Atlas Page:

D-17-Z

Selected Symbols

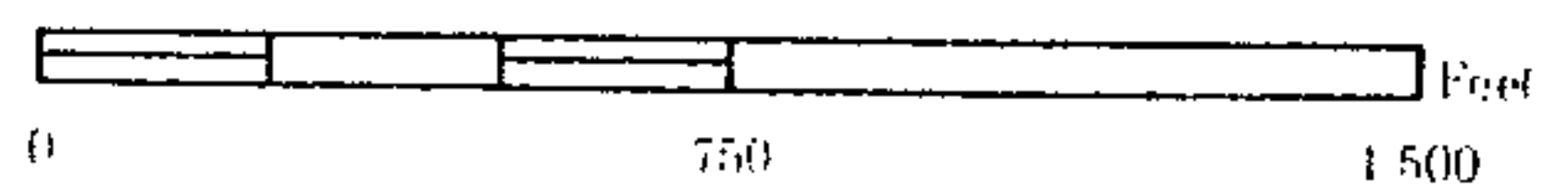
- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Albuquerque Geographic Information System

Map amended through: 5/1/2006

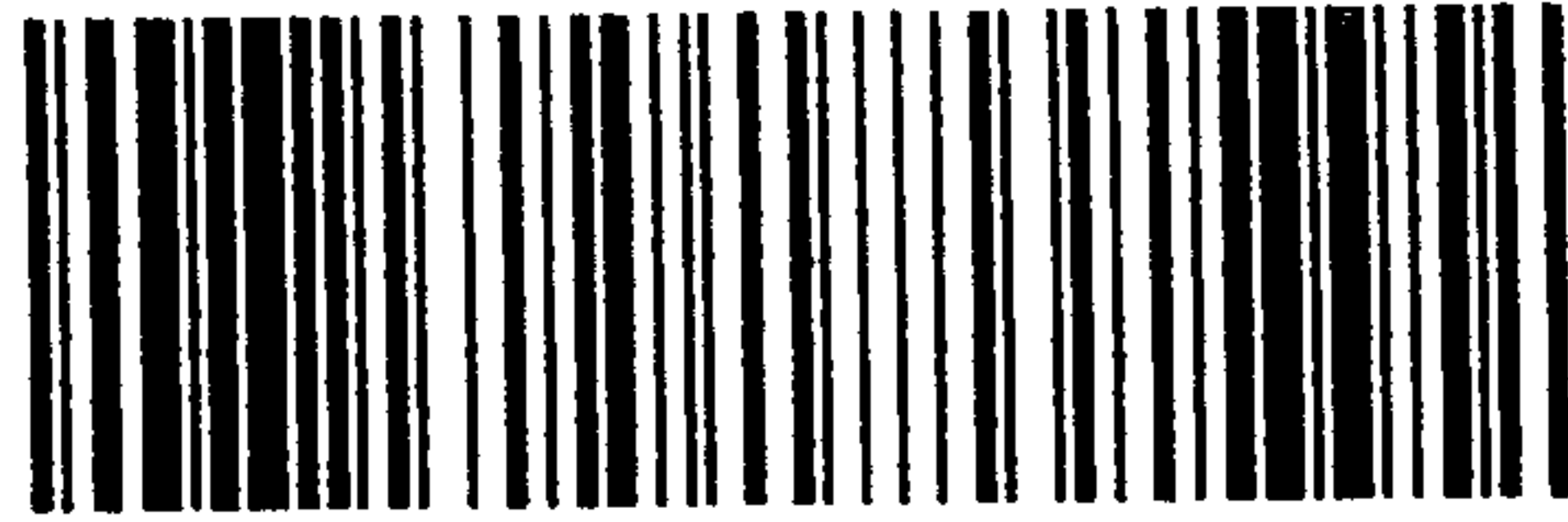
Note: Grey Shading Represents Area Outside of the City Limits



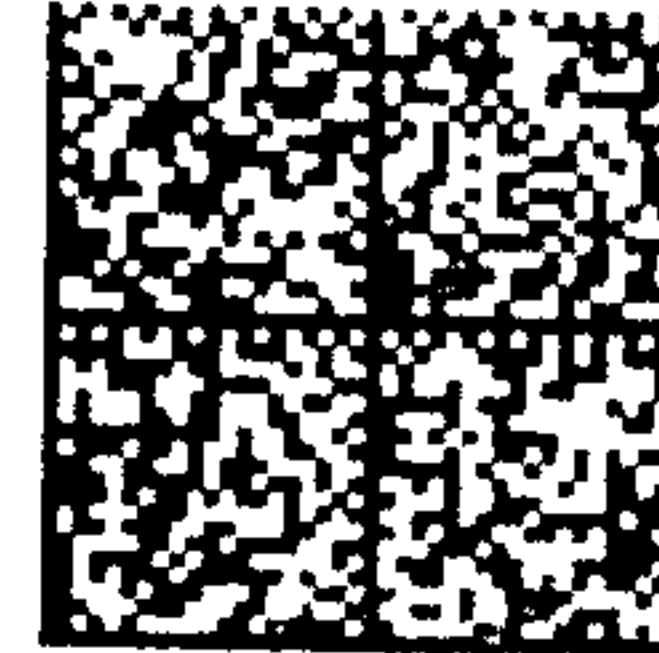
Bohannon Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

CERTIFIED MAIL



91 7108 2133 3935 6708 61



UNITED STATES POSTAGE
PITNEY BOWES
02 1P \$ 005.54⁰
0003100114 JUN 03 2010
MAILED FROM ZIP CODE 87109

Mr. David Lindner
10407 4th St. NW
Albuquerque, NM 87114-4465

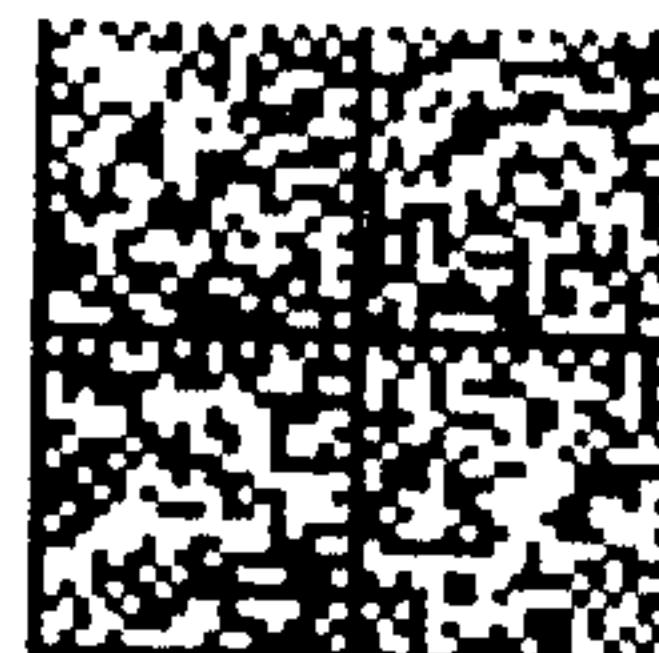
CERTIFIED MAIL

Bohannon Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335



91 7108 2133 3935 6708 6093



UNITED STATES POSTAGE
PITNEY BOWES
02 1P \$ 005.54⁰
0003100114 JUN 03 2010
MAILED FROM ZIP CODE 87109

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, NM 87113-2328

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee X	
1. Article Addressed to:	B. Received by (<i>Printed Name</i>)	C. Date of Delivery
Mr. Steve Wentworth 8919 Boe Lane NE Albuquerque, NM 87113-2328	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
2. Article Number (<i>Transfer from service label</i>)	91 7108 2133 3935 6708 6093	
PS Form 3811, February 2004 Domestic Return Receipt 102595-02-M-1540		

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee X	
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Mr. David Lindner 10407 4 th St. NW Albuquerque, NM 87114-4465	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
2. Article Number (<i>Transfer from service label</i>)	91 7108 2133 3935 6708 6086	
PS Form 3811, February 2004 Domestic Return Receipt 102595-02-M-1540		

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

11/16/2010 Issued By: E08375 93569

Permit Number: 2010 010 138

Category Code 940

Application Number: 10AA-10138, Amndt Site Development Plan - Bld Prmt

Address:

Location Description: 4000 MASTHEAD ST NE

Project Number: 1004556

Applicant

TITAN DEVELOPMENT
KURT BROWNING
6300 RIVERSIDE PLZ
ALBUQUERQUE NM 87120
882-3061

Agent / Contact

Bohannon Huston Inc
Kevin Patton
7500 Jefferson Ne
Albuquerque NM 87109

kpatton@bhinc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4971000	AA Actions	\$45.00
TOTAL:		\$45.00

City Of Albuquerque
Treasury Division

11/16/2010 9:54AM LOC: ANNX
WS# 008 TRANSH 0010
RECEIPT# 00124751-00124751
PERMIT# 2010010138 TRSDMG
Trans Amt \$45.00
AA Actions \$45.00
VI \$45.00
CHANGE \$0.00

Thank You



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 30, 2010

Project# 1004556
10DRB-70165 MAJOR - AMENDED SDP BP/SUBD

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**, zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE containing approximately 4.43 acre(s). (D-17)

At the June 30, 2010 Development Review Board meeting, the site development plan was approved and Final Sign Off was delegated to the Planning department for compliance with written comments, the relocation of the fire hydrant on Rutledge NE, a copy of the Fire Marshall's approval, and expiration of the appeal period.

If you wish to appeal this decision, you must do so by July 15, 2010 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Bohannon Huston Inc. – 7500 Jefferson NE Courtyard I – Albuquerque, NM 87109
Masthead road Development II, LLC – 6300 Riverside Plaza Ln NW Ste 200 – Albuquerque, NM 87120
Marilyn Maldonado
File



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- D L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc PHONE: 923-1000
 ADDRESS: 7500 Jefferson NE Courtyard I FAX: 798-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: gbroughton@bhinc.com

APPLICANT: Musthead Road Development II, LLC PHONE: 505-998-0163
 ADDRESS: 6300 Riverside Plaza Lane NW Suite 200 FAX: 505-937-1061
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: mpraehle@reidandassociates.com
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: Amended Site Plan For Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 11-B Block: _____ Unit: 2
 Subdiv/Addn/TBKA: Journal Center Phase 2, Unit 2
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No _____
 Zone Atlas page(s): D-17 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.):
1004556; 06 DRB-00707

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 4.43
 LOCATION OF PROPERTY BY STREETS: On or Near: Northwest corner of Rutledge Rd & Washington St NE
 Between: _____ and _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Glenn Broughton DATE 6-4-10
 (Print) Glenn Broughton Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>10DRB-70165</u>	<u>ASBP (E)</u>		<u>\$255.00</u>
	<u>ADU</u>		<u>\$75.00</u>
	<u>CMF</u>		<u>\$20.00</u>
			\$
			\$
			\$
			\$
			Total
			<u>\$350.00</u>

Hearing date 06/30/10
Sandy Handley 06/04/10
 Planner signature / date

Project # 1004556

Need Tony's
Signature

11/11/11

11/11/11

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Glenn Broughton Agent
 Applicant name (print)
Glenn Broughton 6/3/10
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
1004556-70165

Form revised October 2007
Sandy Handley 06/04/10
 Planner signature / date
 Project # 1004556

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JUNE 15, 2010 To JUNE 30, 2010

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] (Applicant or Agent) 6/4/10 (Date)

I issued 3 signs for this application, 06/04/10 (Date) [Signature] (Staff Member)

DRB PROJECT NUMBER: 1004556

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

CLIENT/COURIER TRANSMITTAL

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

To: Jack Cloud
City of Albuquerque
600 2nd Street NW - 1st Floor

Requested by: Glenn Broughton/cc

Date: June 17, 2010

Time Due: This A.M.
 This P.M.
 Rush _____
 By Tomorrow

Phone: 924-3880

Job No.: 2011060

Job Name: US Forest Service

PROJECT 1004556

DELIVERY VIA	
<input checked="" type="checkbox"/> Courier	<input type="checkbox"/> Federal Express
<input type="checkbox"/> Mail	<input type="checkbox"/> UPS
<input type="checkbox"/> Other	

PICK UP
Item: _____

ITEM NO.	QUANTITY	DESCRIPTION
1	8	Site Plan
2	8	Grading Plan
3	8	Landscape Plan
4	8	Utility

*REPLACE SHEETS
FOR JUNE 30
ADVERTISED CASE*

COMMENTS / INSTRUCTIONS

These are updated sheets for the DRB set submitted June 4, 2010.

3

REC'D BY: _____ DATE: _____ TIME: _____

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 30, 2010

Project# 1004556

10DRB-70165 MAJOR - AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT/SUBDIVISION

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**, zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE containing approximately 4.43 acre(s). (D-17)

AMAFCA No comment.
COG No comments provided
TRANSIT Reviewed – no comments
ZONING ENFORCEMENT No comments provided
NEIGHBORHOOD COORDINATION Letters sent to: Alameda North Valley Assoc. (R)
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT Please see attachment
FIRE DEPARTMENT No comments provided
PNM ELECTRIC & GAS No comments provided
COMCAST No comments provided
QWEST Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.
ENVIRONMENTAL HEALTH No comments provided
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER No adverse comments.

TRANSPORTATION DEVELOPMENT

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**, zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE containing approximately 4.43 acre(s). (D-17)

Label the compact parking spaces by placing the words "compact" on the pavement of each space.

Compact parking spaces must be a minimum of 8 feet in width.

Provide details for all ramps; define the maximum slope.

All wheelchair ramps located within City of Albuquerque right of way must have truncated domes.

The proposed monument sign (keyed note 23) must maintain proper sight distance at the entrance. Please provide a sight distance exhibit for the entrance (See the *Development Process Manual*, Chapter 23, Section 6, Part B.12).

All items to be built within City right of way (sidewalk, valley gutter, curb cuts, etc.) must have a build note, referring to the specific City Standard.

Provide a copy of the cross access easement between lots 11A and 11B.

Demonstrate the heavy vehicle path to the loading dock.

Call out all aisle widths.

Clearly demonstrate the 6 foot wide, ADA accessible, pedestrian pathway from the roadway to the building.

Handicap Parking Detail Sheet C1.2:

- Sidewalk must be flush with pavement prior to the access aisle; please revise.
- Detail does not match layout as shown on site plan.

PARKS AND RECREATION

No objection.

ABCWUA

No comments provided

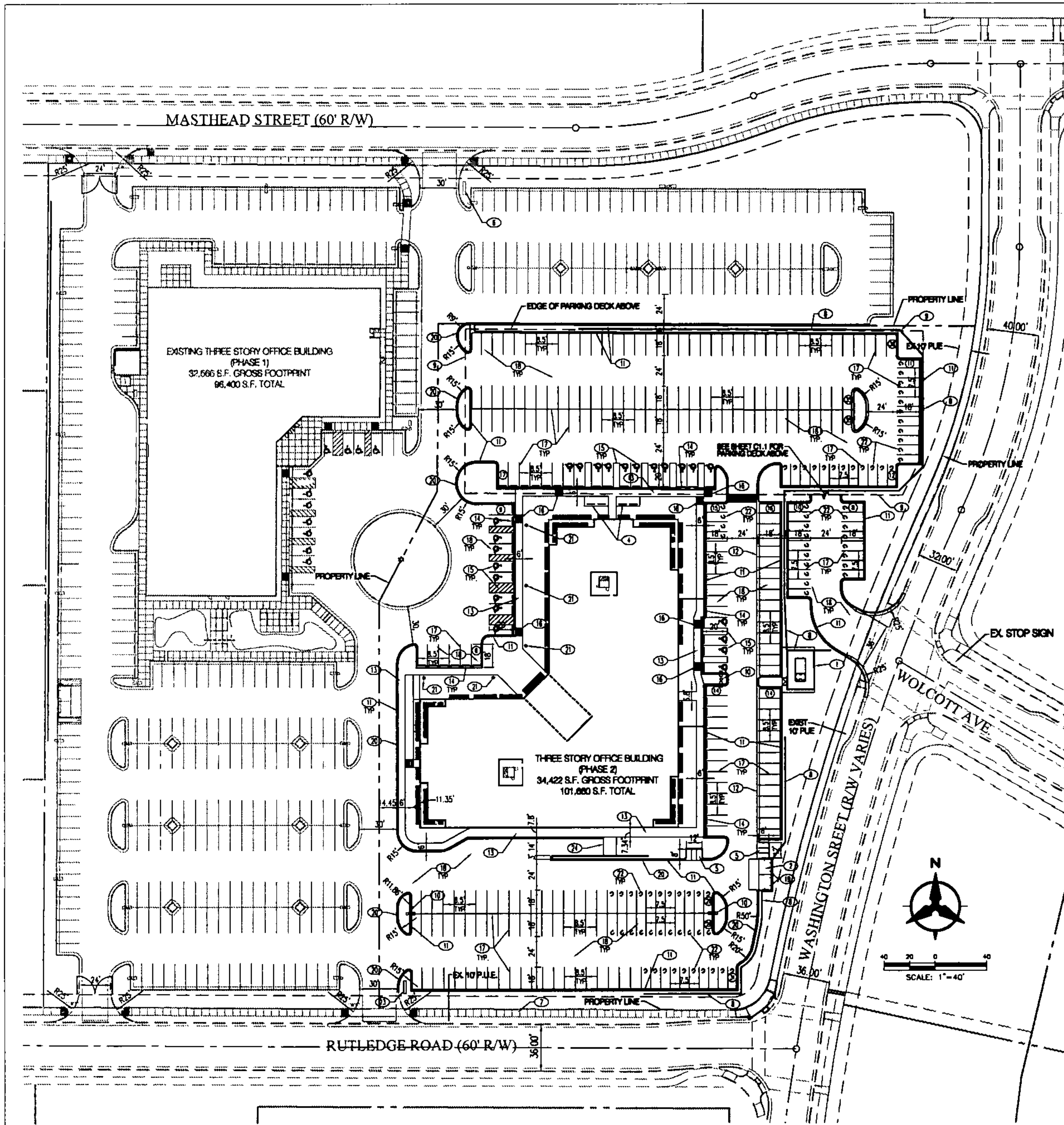
PLANNING DEPARTMENT

Finished floor elevation of upper parking deck, as well as proposed spot elevations for ramp access are needed. Proposed compact parking spaces off of ramp do not appear appropriate for single access to 140 parking spaces; refer to comments from Transportation Development regarding orientation of upper deck access. Pedestrian access from upper deck to second floor of building appears appropriate.

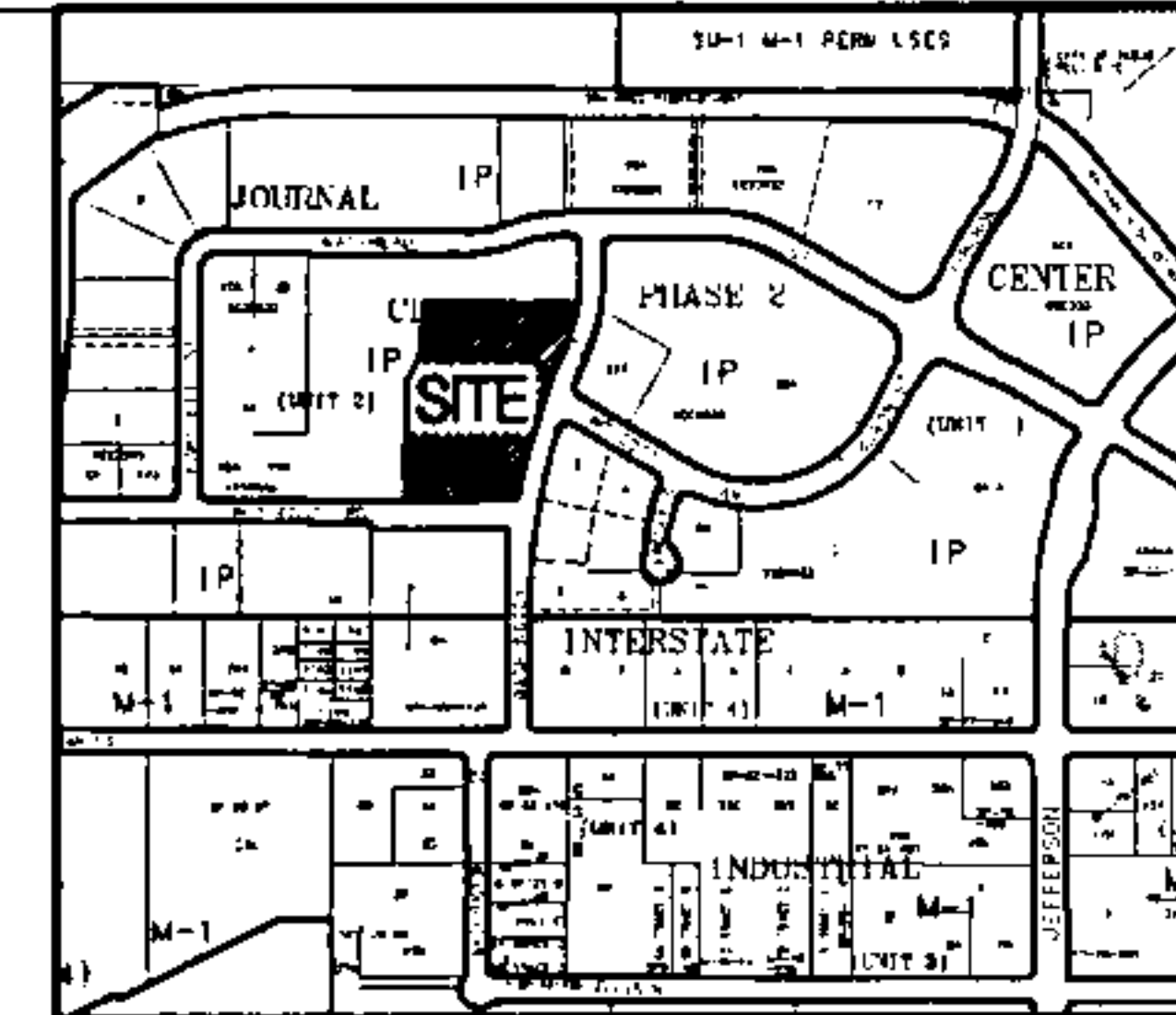
Please refer to Section 14-16-3-18(C) of the Zoning Code. Compliance needs to be addressed for this Zoning section regarding pedestrian features/outdoor seating/ plazas.

Please refer to Section 14-16-3-18(D) of the Zoning Code. Both the north elevation of the parking structure as well as the east and south elevations of the building present lengths of over 100 feet of a continuous architectural feature – compliance with Item (D) 2 needs to be addressed through narrative and calculations. Building mounted signage material and lighting need to be specified.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



- KEYED NOTES**
1. 14" HIGH MASONRY SCREEN WALL/RETAINING WALL TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS. WALL TO SCREEN MECHANICAL EQUIPMENT.
 2. MASONRY REFUSE ENCLOSURE TO MATCH BUILDING. MIN 6" HIGH. SEE DETAILS ON SHEET AS-101. INSTALL CONCRETE PAD.
 3. NOT USED.
 4. BICYCLE PARKING (24 SPACES). SEE DETAIL ON SHEET CL2.
 5. MOTORCYCLE PARKING WITH SIGN. SEE DETAIL ON SHEET CL2.
 6. EXISTING MONUMENT SIGN, INSTALLED WITH PHASE 1.
 7. EXISTING 6" WIDE SIDEWALK, INSTALLED WITH PHASE 1.
 8. RETAINING WALL HEIGHT VARIES. SEE SHEET CL2. COLOR OF WALL TO COMPLEMENT BUILDING.
 9. LIMITS OF PARKING DECK ABOVE. SEE SHEET CL1.
 10. LIGHT POLE. SEE DETAIL ON SHEET CL2.
 11. 6" HIGH CURB & GUTTER.
 12. CONC. VALLEY GUTTER.
 13. 4" THICK CONCRETE SIDEWALK.
 14. INSTALL PRECAST CONCRETE WHEEL STOP PER MANUFACTURER'S RECOMMENDATIONS.
 15. INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET CL2.
 16. INSTALL CURB RAMP.
 17. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
 18. INSTALL NEW ASPHALT PAVEMENT.
 19. INSTALL 4" BOLLARDS PER DETAILS ON SHEET AS-101.
 20. INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
 21. BOLLARD LIGHTING.
 22. COMPACT PARKING SPACE.
 23. NEW MONUMENT SIGN, SEE DETAILS ON SHEET AS-101.
 24. LOADING DOCK.



ZONE ATLAS PAGE D-17-2
SCALE: 1"=600'

LEGAL DESCRIPTION
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2
ALBUQUERQUE, NM, NOVEMBER, 2005

PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DR. SITE DEVELOPMENT PLAN, SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairman, Planning Department	Date

PROJECT DATA	
Zoning (Existing)	= IP
Site Area	= 4,428 sq. ft.
Building Area (Gross)	= 101,680 sq. ft.
Parking Required*	
Phase 1	
1st flr office rentable 30,450sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,380sf @ 1/300	= 97.9
Subtotal Required	= 357
Phase 2	
1st flr office rentable 33,098sf @ 1/200	= 165.5
2nd flr office rentable 32,829sf @ 1/300	= 109.4
3rd flr office rentable 31,319sf @ 1/300	= 104.4
Subtotal Required	= 380
Total Required	= 738
Motorcycle Stalls Required	= 6
Handicap Accessible Stalls Required	= 24
Parking Provided (Phase 1)	
Standard Spaces	= 367
Handicap Accessible Stalls	= 12
Subtotal Provided	= 380
Parking Provided (Phase 2)	
Standard Spaces	= 372
Handicap Accessible Stalls	= 7
Motorcycle Stalls	= 6
Subtotal Provided	= 478
Total Provided	= 858
Bicycle Parking Required (Phase 2)	= 24 (1/20 automobile spaces)
Bicycle Parking Provided (Phase 2)	= 24 (4 rows of 6 each)

* Per code 8 of the plat of lots 11-A and 11-B (recorded 11/03/2005) there is a reciprocal cross parking agreement on both tracts.

- GENERAL NOTES**
1. SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
 2. UTILITY BOXES SHALL BE SCREENED WITH NATIVE LANDSCAPING.
 3. SITE LIGHTING SHALL BE HORIZONTAL CUT-OFF TYPE AND MAXIMUM 24" HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.
 4. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
 5. AT THE TIME COMMON AREA IRRIGATION IS CONNECTED TO JOURNAL CENTER 2 COMMON AREA IRRIGATION SYSTEM, THE DEVELOPER "MILKIN INVESTMENT, LLC" MUST BE CONTACTED.

DRAWING INDEX

CL0 - SITE PLAN	
CL1 - SITE PLAN - UPPER PARKING DECK	
LL0 - LANDSCAPE PLAN	
CL2 - CONCEPTUAL GRADING PLAN	
A21 - BUILDING ELEVATIONS	
A22 - BUILDING ELEVATIONS	
A23 - PARKING STRUCTURE ELEVATIONS	
A24 - PARKING STRUCTURE ELEVATIONS	
CL2 - SITE DETAILS	
AS-101 - SITE DETAILS	
CL0 - CONCEPTUAL UTILITY PLAN	

Bohannon & Huston
 7800 Jefferson St. NE Albuquerque, NM 87110-4388
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NCA
ARCHITECTS - PLANNERS - AIA

1308 RIO GRANDE BLVD W
ALBUQUERQUE, NM 87102
505-255-8400 505-268-8954
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

**USFS
PHASE II
ALBUQUERQUE
SERVICE CENTER
HUMAN
RESOURCES**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

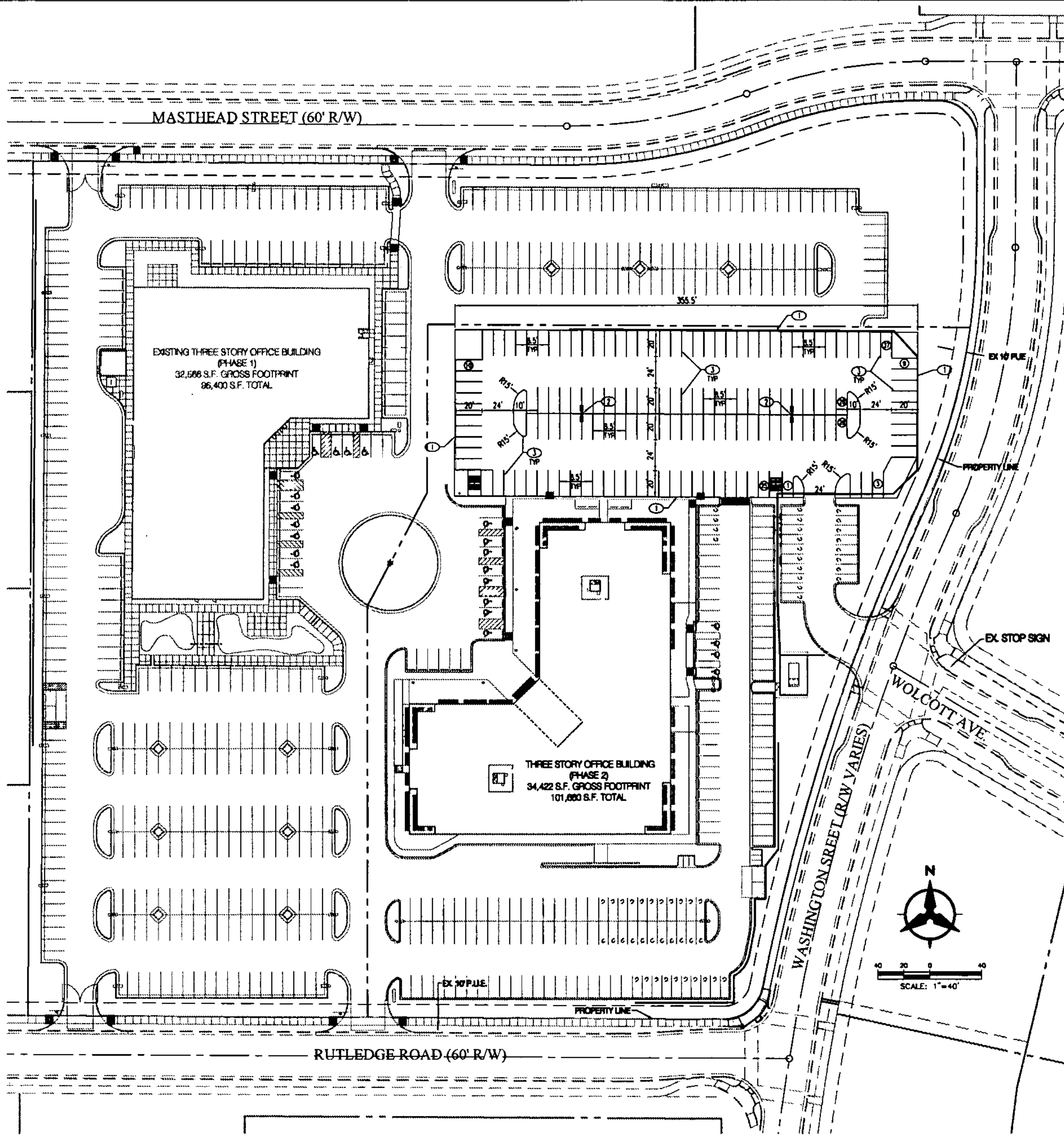
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A10.00

DATE:
JUNE 4, 2010

SHEET TITLE:
SITE PLAN

SHEET NO
C1.0

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June 04, 2010 - 8:45am
Plotted by: BOREDA



- KEYED NOTES**
1. LIMITS OF UPPER PARKING DECK.
 2. LIGHT POLE.
 3. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).

NCA
ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD W
ALBUQUERQUE, NM 87102
505-255-4400 505-268-8664
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

**USFS
PHASE II
ALBUQUERQUE
SERVICE CENTER
HUMAN
RESOURCES**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION
BO	GS	

PROJECT NUMBER:
A10.08

DATE:
JUNE 4, 2010

SHEET TITLE:

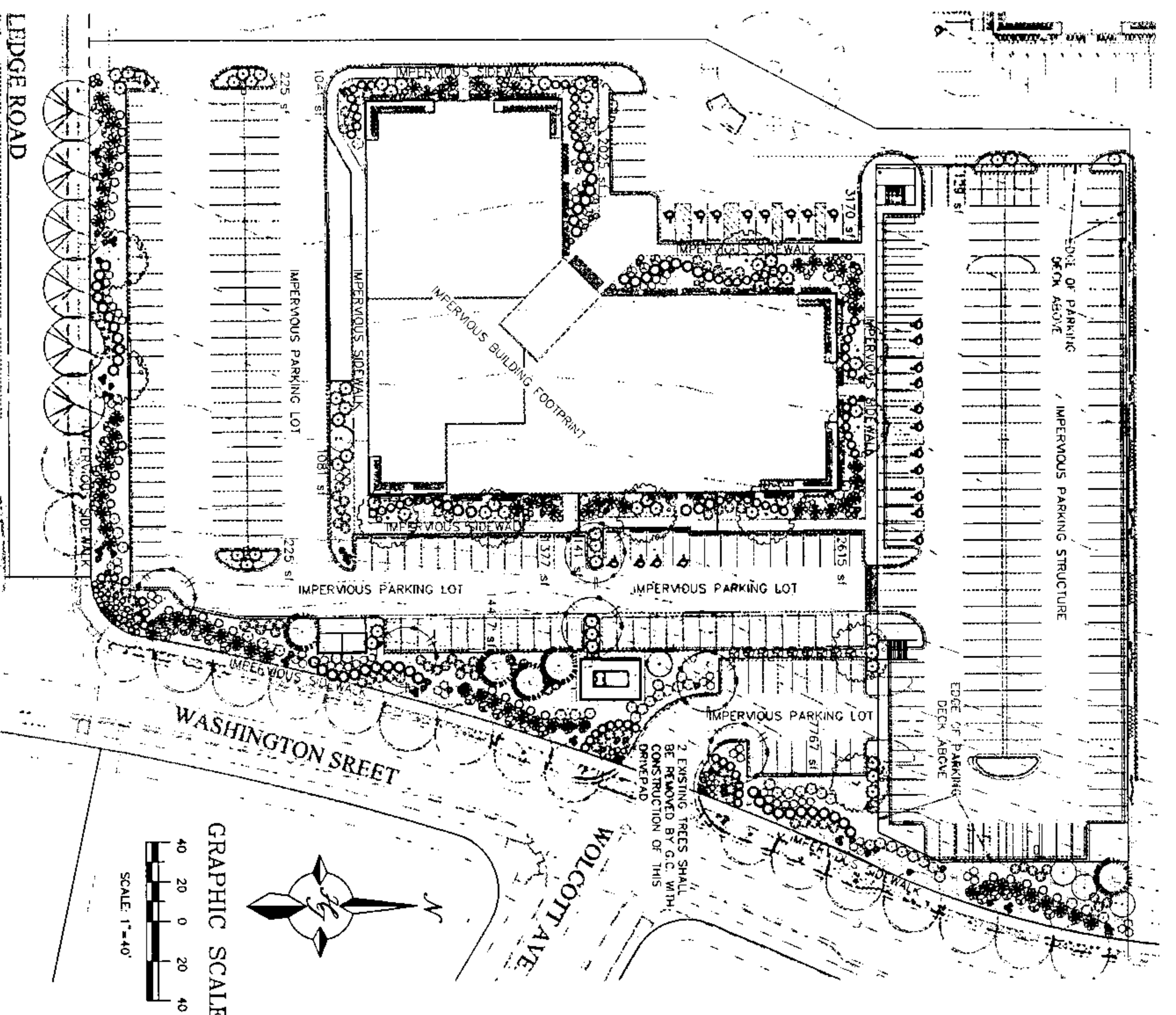
**SITE PLAN
UPPER
PARKING DECK**

SHEET #/0

C1.1

Bohannon & Huston
Consultant | 7000 Jefferson St. NE Albuquerque, NM 87109-4328
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

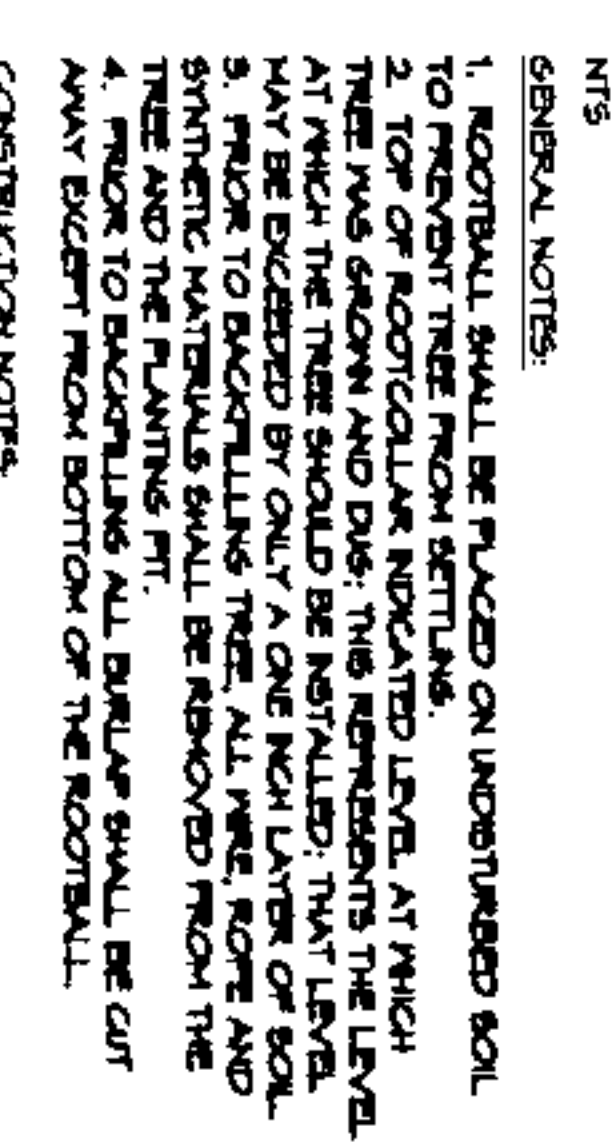
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Plotted by: BOKELA



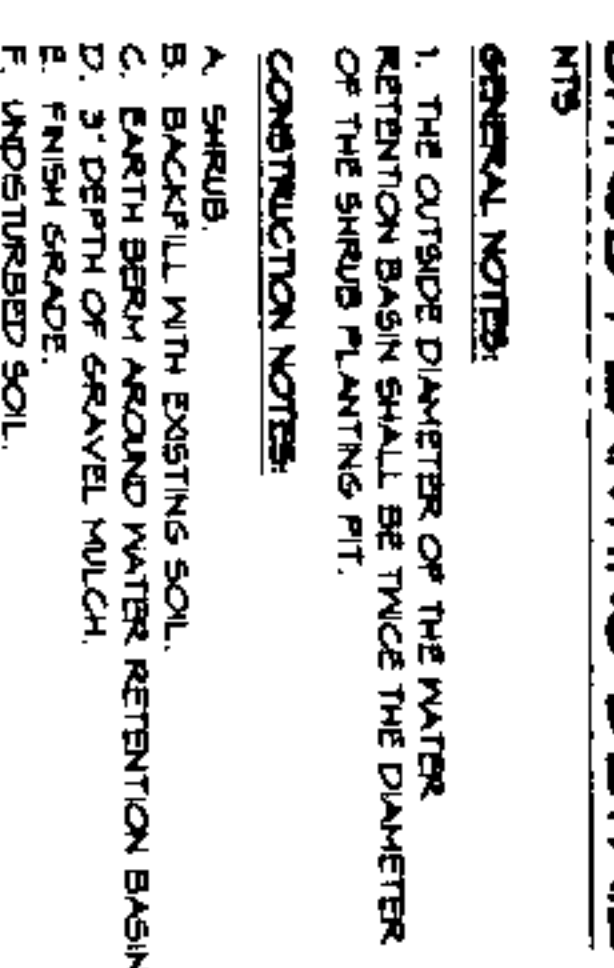
PLANT LEGEND

EXISTING BRUNDA ASH	THORNLESS HAWTHORN (M) 5	ARP ROSEMARY (M) 75	BOLDBERS WITH OVERSIZED GRAVEL ACCENT (41)
BRUNDA ASH (M) 6	SCOTCH BROOM (M) 75	POWIS CASTLE SAGE (L) 45	SANTA FE BROWN GRAVEL WITH FILTER FABRIC
CHINESE PISTACHE (M) 6	MUSGO PINE (M) 51	LAUREL (M) 51	OVERSIZED GRAVEL WITH FILTER FABRIC
QAL (M) 6	WINTER JASMINE (L) 90	THEBADGERSS (M) 64	EXISTING LANDSCAPING
REDBUD (M) 6	AMMIMMUM RADICIFORM	SHIPS LENTISLEMS 1 GAL. 44F	
PISTACHIO PINE (M) 5	CHITRELEAF WITH MAHOSANY (L) 53	WILDFLOWER 52	
	GREENLEAF COTONEASTER 60	ENGLISH IVY (M) 5	
	COTONEASTER BUKHOLZII 5 GAL. 51F	CORAL HONEYBUCKLE (M) 5	
	ARABIDE PLUME (L) 51		
	THREE-LEAF SUMAC (L) 25		

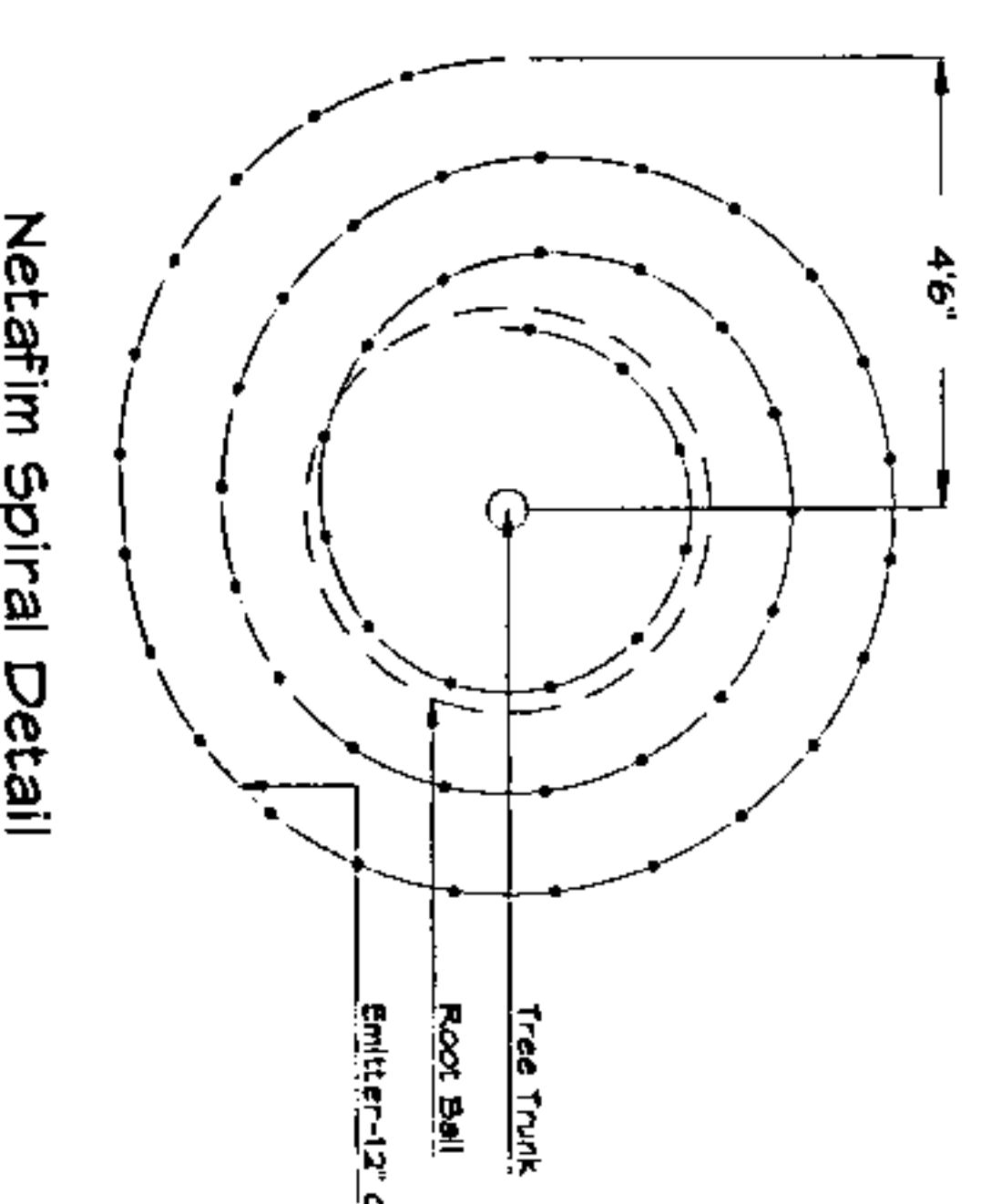
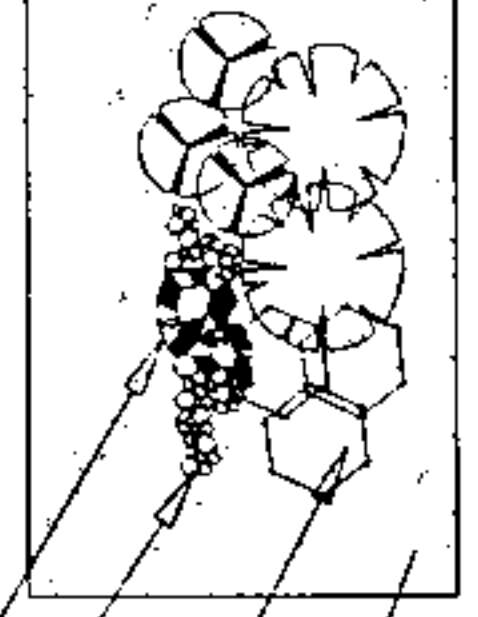
TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



GRAVEL ACCENT DETAIL



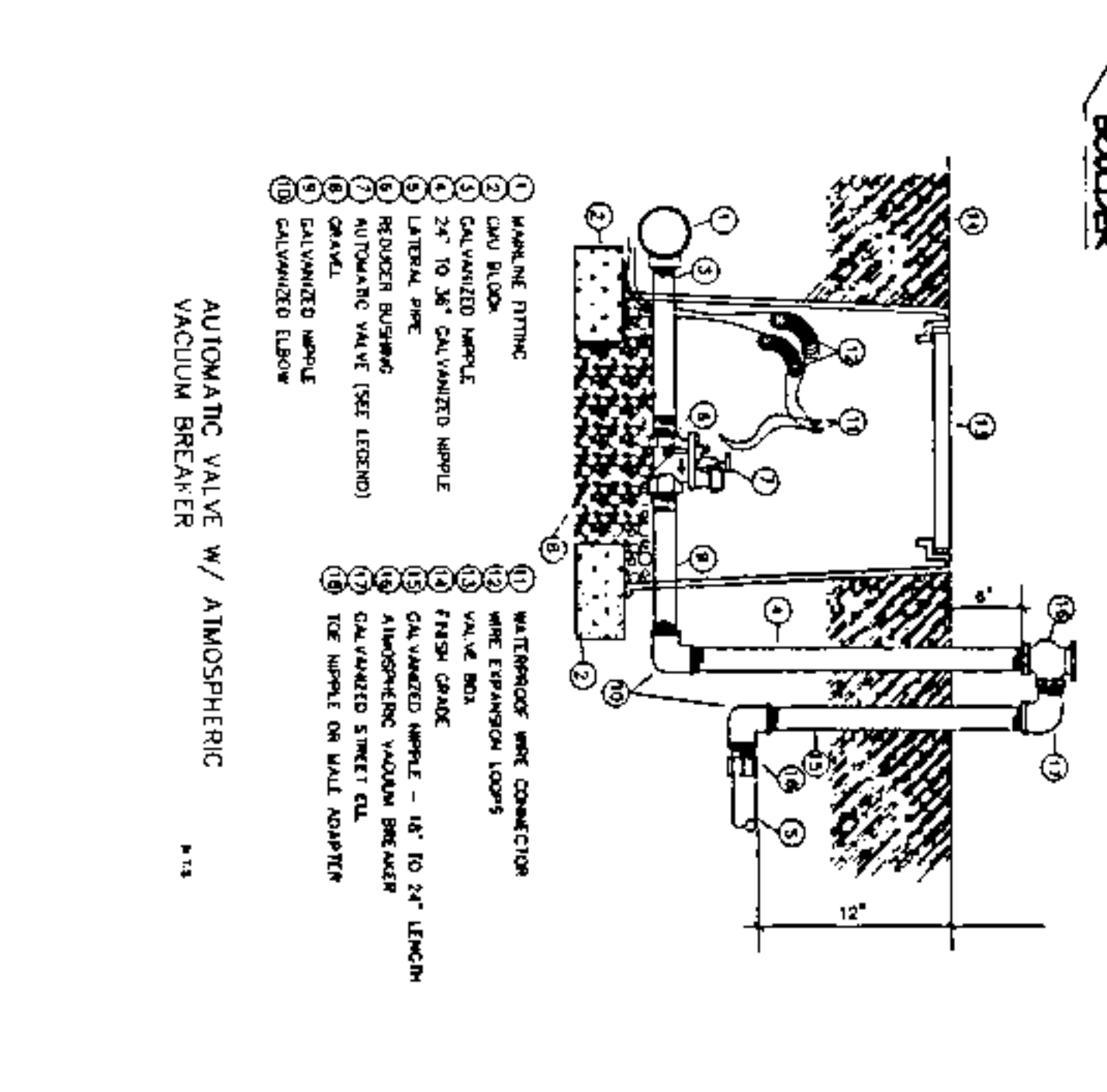
LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Needs Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water usage provisions of the Water Conservation Landscaping and Water Needs Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Needs Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Plant beds (perforated steel) shall achieve 75% the ground cover at maturity.
 Special Area Tree: Gravel over filter fabric to a minimum depth of 3" shall be placed in all Perforated landscape areas which are not designated to receive native seed.
IRIGATION NOTES FOR PHASE 2:
 Irrigation shall be a complete undergroud system with Trees to receive 1. Weathered (60" length) with 3 loops at a final radius of 4.5" from tree trunk, placed in a 12" diameter PVC pipe with a flow of 1.0 GPM. Spacers to receive (2) 1.0 GPM Drip Emitters. Drip and Bubble systems to be tied to 1/2" polypipe with flush caps at each end. Trees and shrubs shall be on separate valves.
 Common area irrigation shall be tied to the Weather Column Center 2 common area irrigation system. Contact the developer, Tourism Investment LLC at 971-2946. Run time per each third drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 5 times per week. Run time will be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and power source shall be the responsibility of the Developer/Builder.
PHASE ONE IRIGATION NOTES:
 Irrigation is a complete undergroud system with Trees supplied with (3) 1.0 GPM Drip Emitters and Shrubs supplied with (2) 1.0 GPM Drip Emitters. Drip and Bubble systems tied to 1/2" polypipe with flush caps at each end.

LANDSCAPE CALCULATIONS

TOTAL PHASE 2 AREA	14070	Square feet
TOTAL PHASE 2 BUILDING AREA	34630	Square feet
NET LOT AREA	185732	Square feet
LANDSCAPE REPAIRMENT	1878	Square feet
TOTAL LANDSCAPE REPAIRMENT	23354	Square feet
TOTAL BED PROVIDED	34313 (22%)	Square feet
SHRUBCOVER REPAIRMENT	7398	Square feet
TOTAL GRASSCOVER PROVIDED	25854	Square feet
TOTAL GRASSCOVER PROVIDED	25873 (13%)	Square feet
TOTAL PONDING AREA	0	Square feet
TOTAL SOG AREA	0	Square feet
(max. 20% of landscape required)		
TOTAL NATIVE SEED AREA	0	Square feet
TOTAL LANDSCAPE PROVIDED N PHASE 2	34313 (22%)	Square feet

Should The Hilltop not receive a Grading and Drainage Plan during the design process or the on site grades differ from the design process and Drainage Plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. This will be addressed as an in-field-change order.

STREET TREE REQUIREMENTS - Minimum 2" Caliper:
 Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
 Name of Street: **WOLCOTT**
 Required 16
 Provided 16 (MEETS DISTANCE)
STREET TREE REQUIREMENTS - Minimum 2" Caliper:
 Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
 Name of Street: **LEDGE**
 Required 16
 Provided 16 (MEETS DISTANCE)



CONSULTANT
The Hilltop
 1306 SO GRAND BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-6400 505-282-8894 FAX
 WWW.NCMA-ARCHITECTS.COM

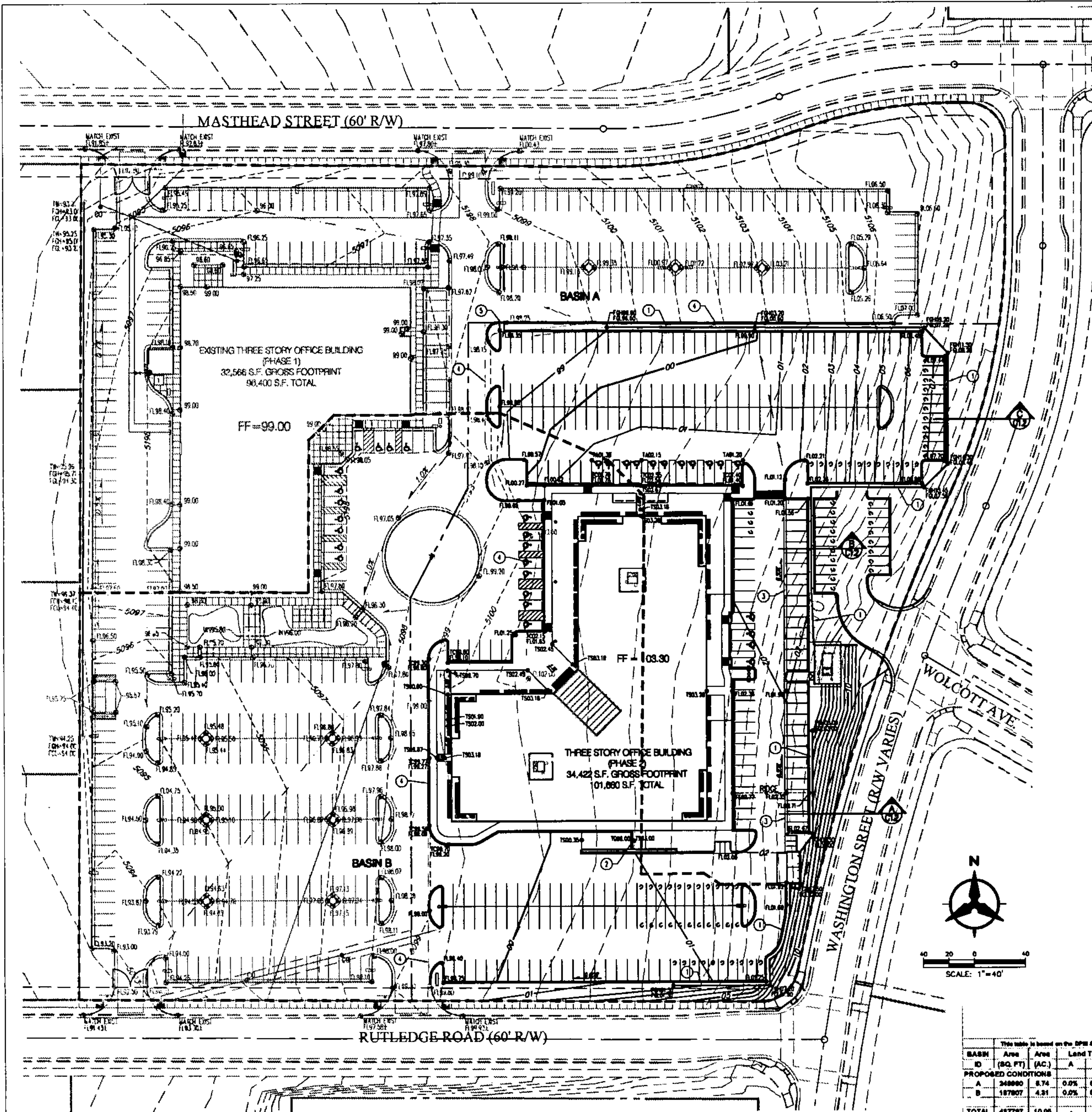
ARCHITECT
NCMA
 ARCHITECTS - PLANNERS - IAA

PROJECT TITLE
USFS PHASE II ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES
 ALBUQUERQUE NEW MEXICO

REVISIONS:

NO. 1	DATE	DESCRIPTION
1	5-17-08	site revision - add
2	6-4-10	site revision - add

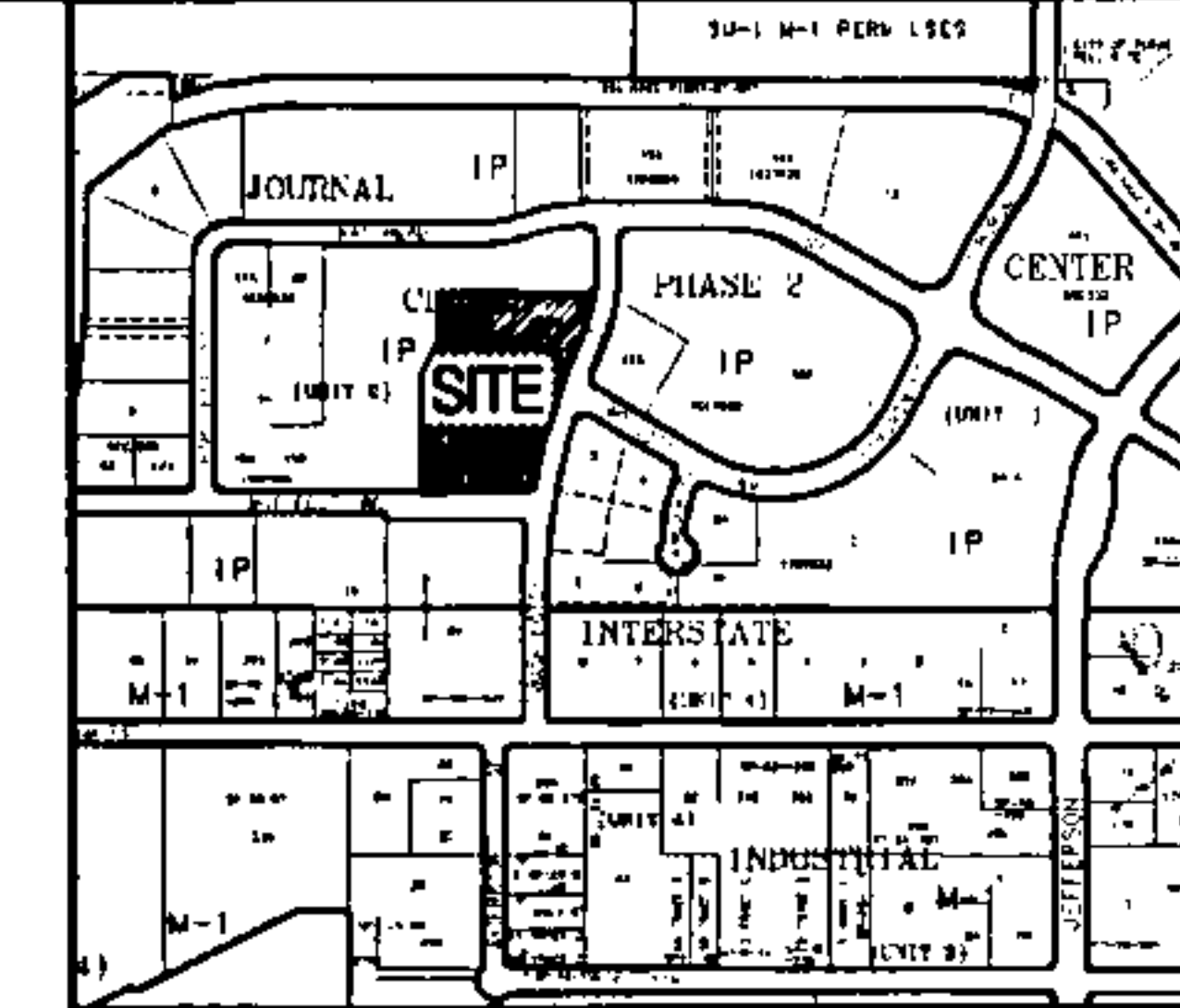
DRAWN BY: CHECKED BY:
 PROJECT NUMBER: A1008
 DATE: JUNE 2010
 SHEET TITLE: **LANDSCAPING PLAN**
 SHEET NO.: **L1.0**



LEGEND

- PROPERTY LINE
- - - - EXISTING CONTOUR
- - - - 50:40
- - - - 35
- - - - 32
- 32.40
- 32.40
- DIRECTION OF FLOW

PROPOSED REEF CONTOUR
 PROPOSED INTERMEDIATE CONTOUR
 EXISTING SPOT ELEVATION
 PROPOSED SPOT ELEVATION
 FL = FINISH
 TO = TOP OF STRUCTURE
 FIM = FINISHED GRADE WITH SIDE
 FID = FINISHED GRADE WITH SIDE
 TO = TOP OF HILL



GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (CQA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL EXCEEDS FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND RETAINING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PAVING AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASES OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this submittal is to provide a conceptual Drainage Management Plan and rough grading plan for development of the Masthead Office Complex at Journal Center 2 - Phase 2, located in the Journal Center, Phase 2, Unit 2, Lot 11-B in NE Albuquerque.

II. SITE LOCATION
 The site is currently legally described as Journal Center, Phase 2, Unit 2, Lot 11-B (+/- 4.4 acres). The site is located within zone atlas map D-17, and is in hydrologic zone 2. The site is located at the southeast corner of Masthead and Washington, just west of Jefferson.

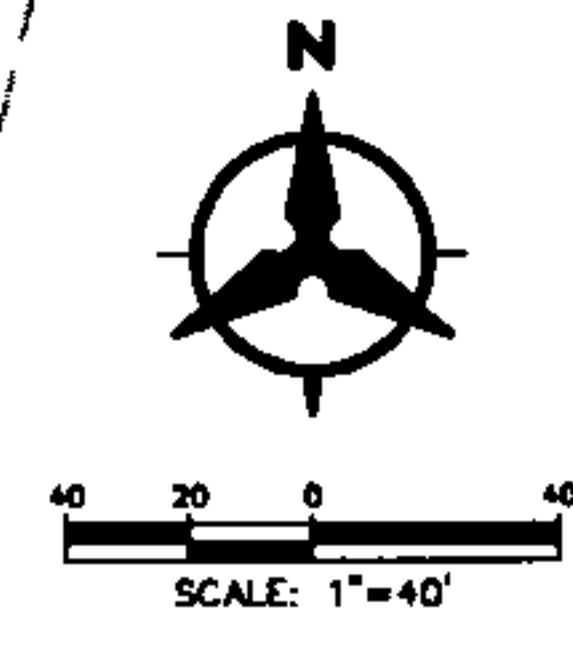
III. EXISTING HYDROLOGIC CONDITIONS
 Currently the site (+/- 4.4 ac) is undeveloped land. The surrounding streets and infrastructure are in place and Phase 1 of the development has been completed. The site drains from east to west in a sheet flow condition. Per the approved Drainage Plan of Journal Center - Phase 2 located in the number D17D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via surface flow out of the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system.

IV. PROPOSED HYDROLOGIC CONDITIONS
 The proposed conditions for the Masthead Office Complex at Journal Center 2 are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 2-hr storm event. The total site (+/- 10.0 acres) will generate a total of 44.45 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and curb and gutter. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North First Arroyo, and then in the AMAFCA North Diversion Channel. Approximately 19.07 cfs drains to Rutledge, the other 25.38 cfs drains to Masthead.

V. CONCLUSION
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting conceptual grading and drainage plan approval for building permit and rough grading approval.

KEYED NOTES

- RETAINING WALL HEIGHT MARKS.
- TRENCH DRAIN & LOADING DOCK SUMP PUMP.
- CONCRETE VALLEY GUTTER, REFER TO SITE PLAN.
- MATCH EXISTING PAVEMENT.
- INSTALL 36" WIDE CONCRETE REBORN CHANNEL.

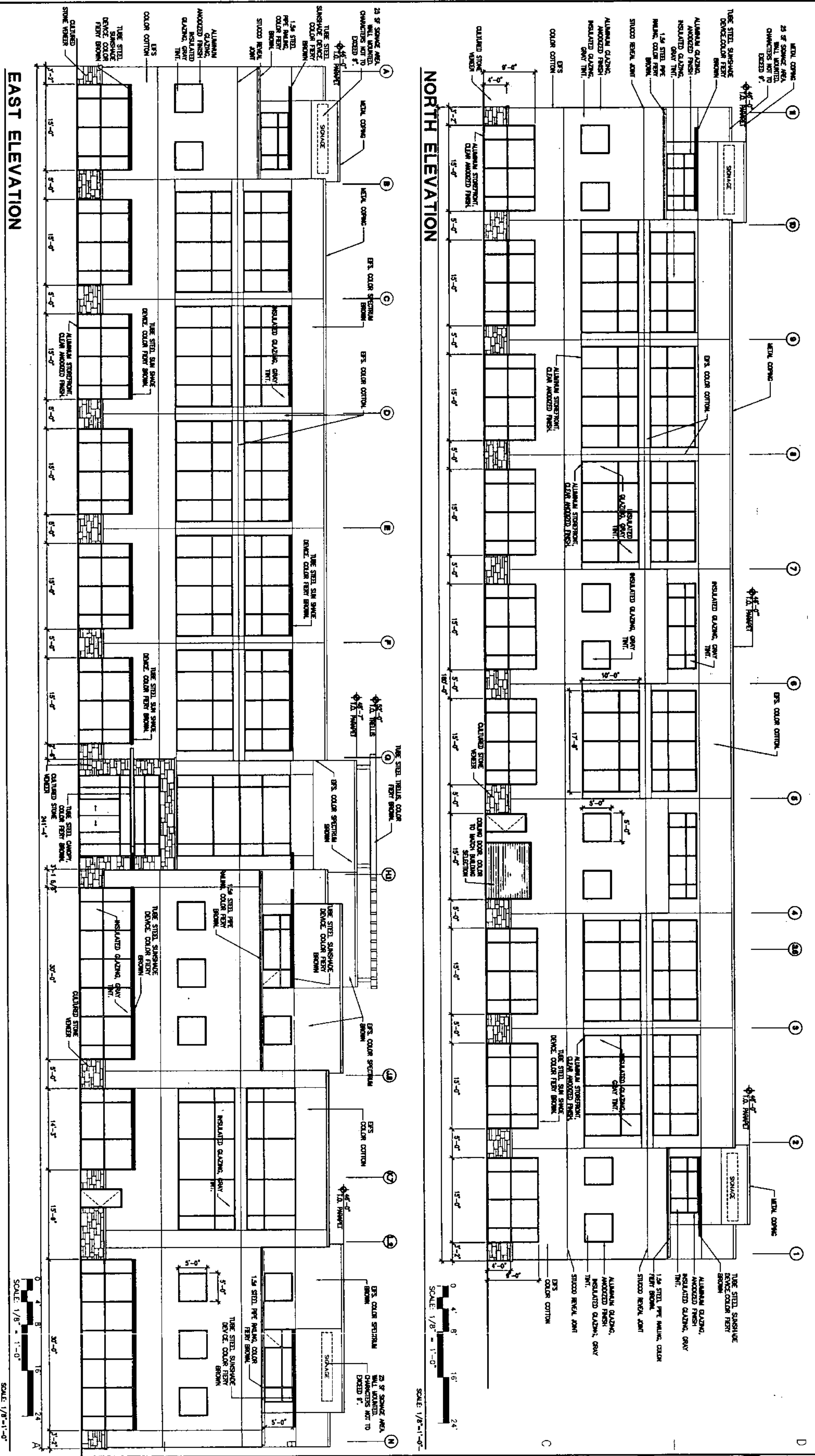


US FOREST SERVICE BUILDING
 Proposed Conditions Best Data Table

BASIN ID	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac)	Q(100) (cfs)	WT E (inches)	V(100) (CF)	V(100) (CF)
			A	B	C	D					
PROPOSED CONDITIONS											
A	348880	8.74	0.0%	0.0%	10.0%	90.0%	4.42	36.38	1.96	47707	48882
B	187807	4.31	0.0%	0.0%	10.0%	90.0%	4.42	19.07	1.96	30881	39701
TOTAL	457787	10.00					4.42	44.45	3.91	71227.94	71289

Bohannon & Huston
 ARCHITECTS - PLANNERS - AIA
 1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87110
 505-255-8400 505-288-8954
 WWW.NCA-ARCHITECTS.COM
 ARCHITECT
 CONSULTANT
 PROJECT TITLE
USFS PHASE II ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES
 ALBUQUERQUE NEW MEXICO
 REVISIONS:
 MK DATE DESCRIPTION
 BO GS
 PROJECT NUMBER:
A10.08
 DATE:
JUNE 4, 2010
 SHEET TITLE:
CONCEPTUAL GRADING PLAN
 SHEET NO
C2.0

P:\101008\CDM\Plan\Grading\Site Plan For SF\101008.dwg, User: j...
 June 04, 2010 - 4:15pm
 Printed by: BDFE/CA



136 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87102
505-255-4400 505-285-8844 FAX
WWW.NCAARCHITECTS.COM

ARCHITECT
ROBERT CALVANI
P.L.L.C.
NO. 1005
S.W. 31st Ave.
ALBUQUERQUE, NM 87105
C. 3.10

CONSULTANT

PROJECT TITLE
USFS
PHASE II
ALBUQUERQUE
SERVICE CENTER
HUMAN
RESOURCES
ALBUQUERQUE
NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION

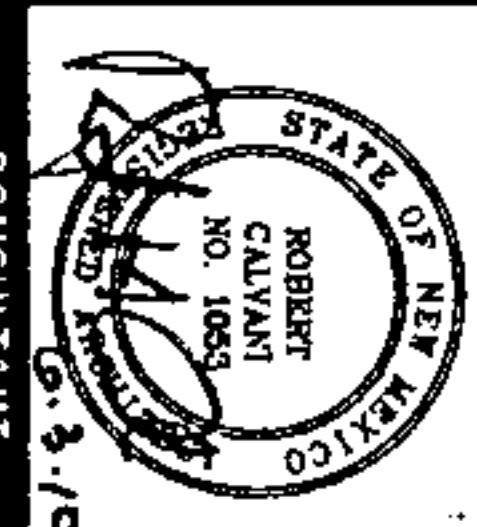
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A1008
DATE:
JUNE 2010
SHEET TITLE:
BUILDING
ELEVATIONS

SHEET NO.
A2.1



198 8th GRADE BUILDING
 ALBUQUERQUE, NM 87104
 505-258-8400 505-258-8054 FAX
 WWW.NCAARCHITECTS.COM

ARCHITECT



CONSULTANT

PROJECT TITLE

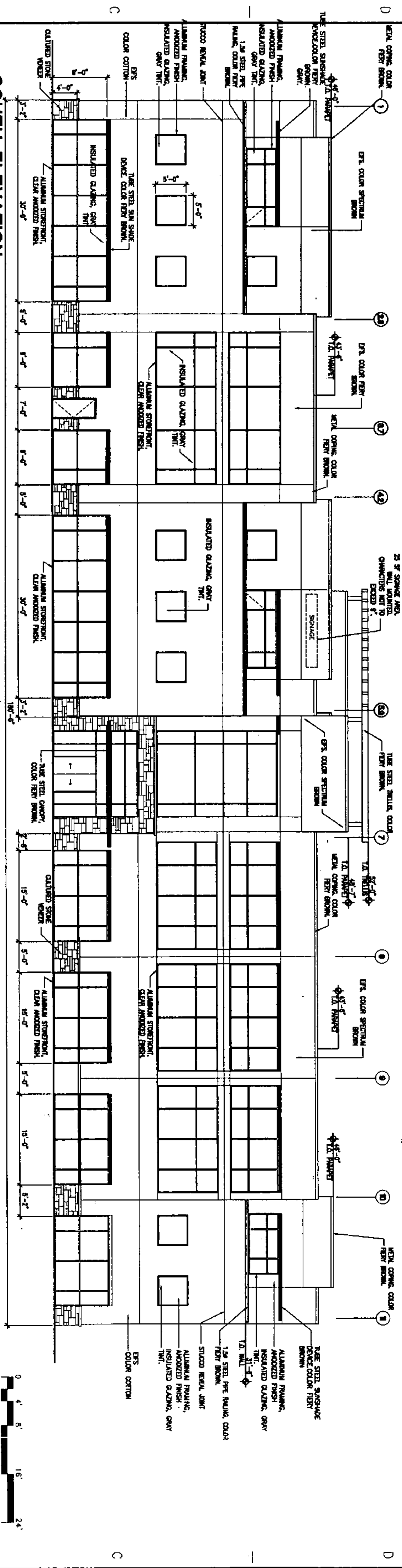
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 PHASE II
 ALBUQUERQUE
 SERVICE CENTER
 HUMAN
 RESOURCES
 ALBUQUERQUE
 NEW MEXICO

REVISIONS:

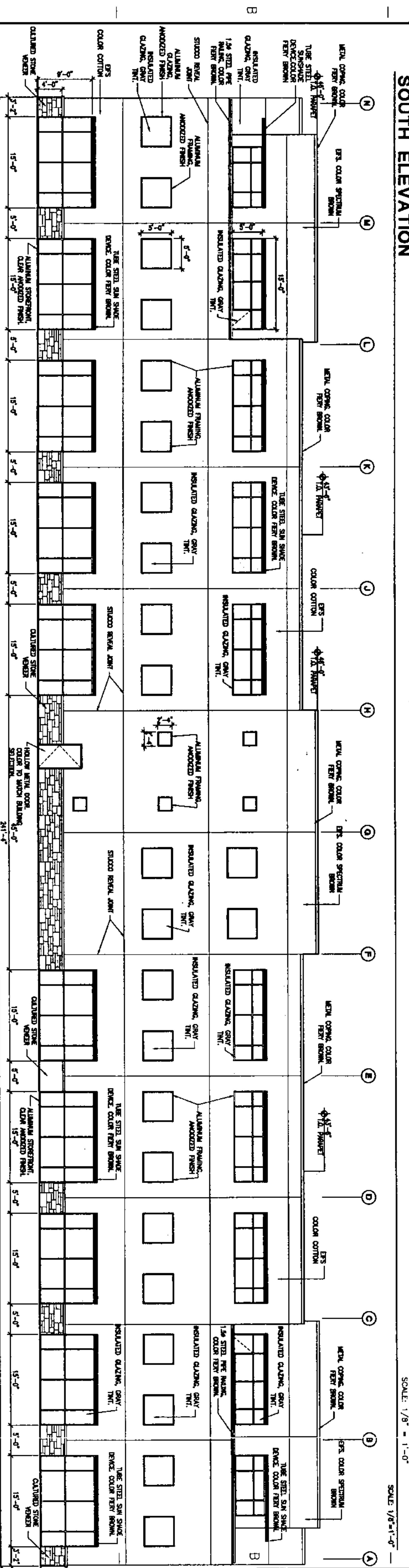
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DATE: JUNE 2010		
SHEET TITLE: BUILDING ELEVATIONS		

SHEET NO:

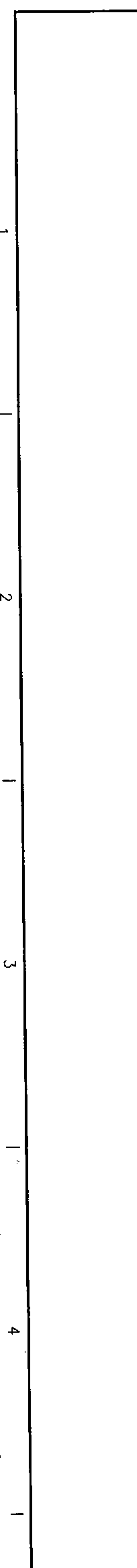
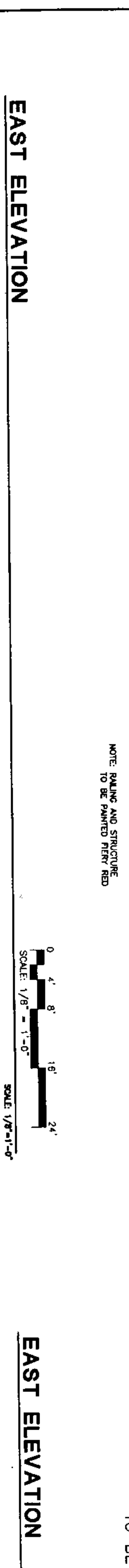
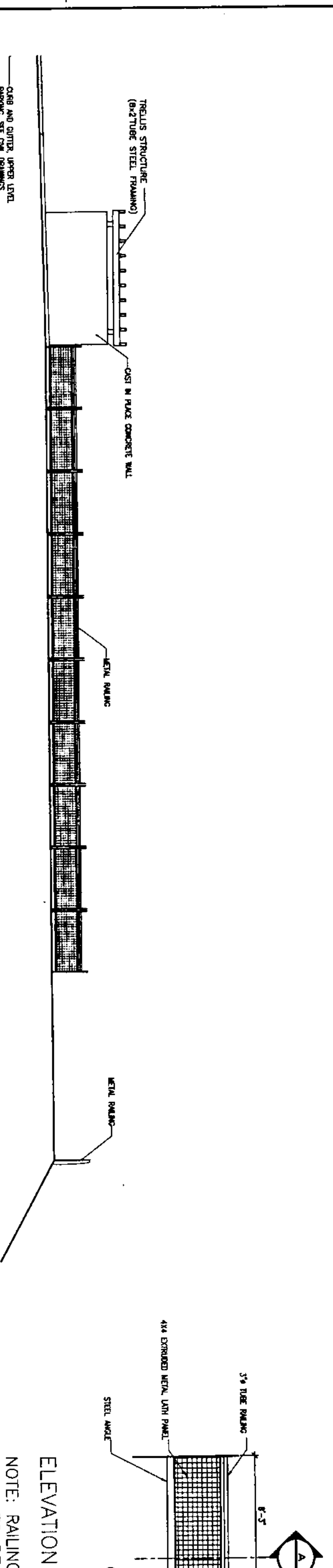
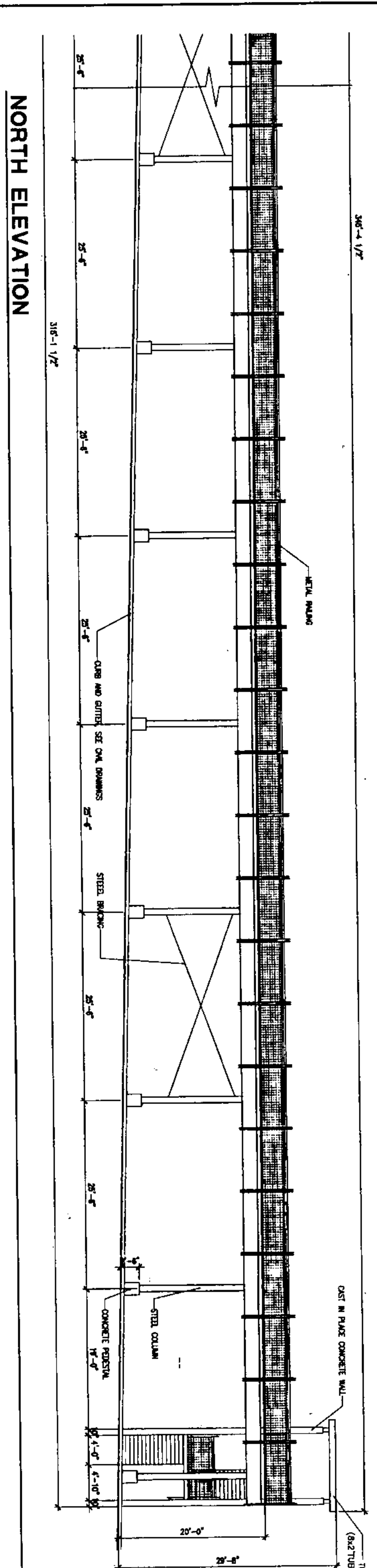
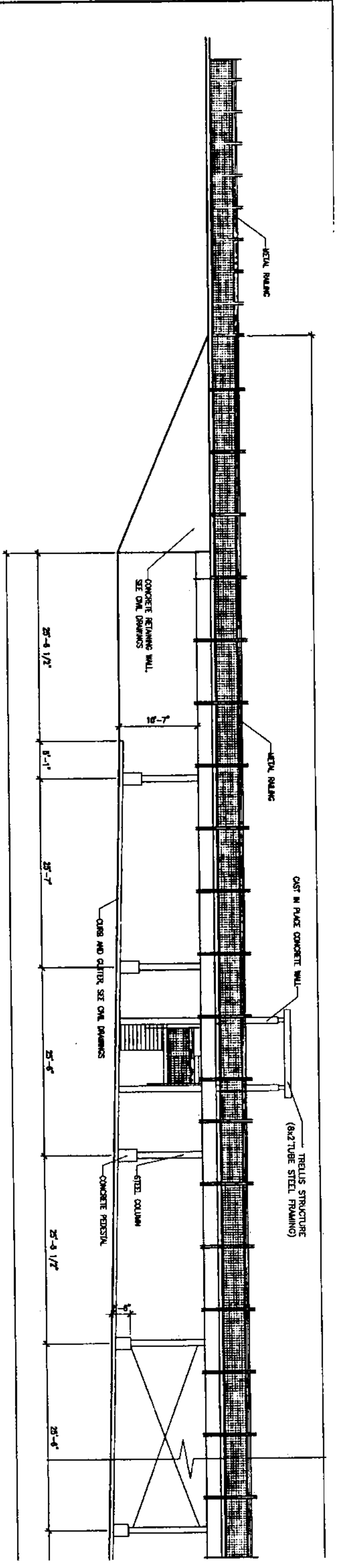
A2.2



SOUTH ELEVATION



WEST ELEVATION



NCA
 ARCHITECTS - PLANNERS - AA
 1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-9400 505-255-9554 FAX
 WWW.NCA-ARCHITECTS.COM

ARCHITECT
 ROBERT CALVANI
 NO. 10553
 0.3/10

CONSULTANT

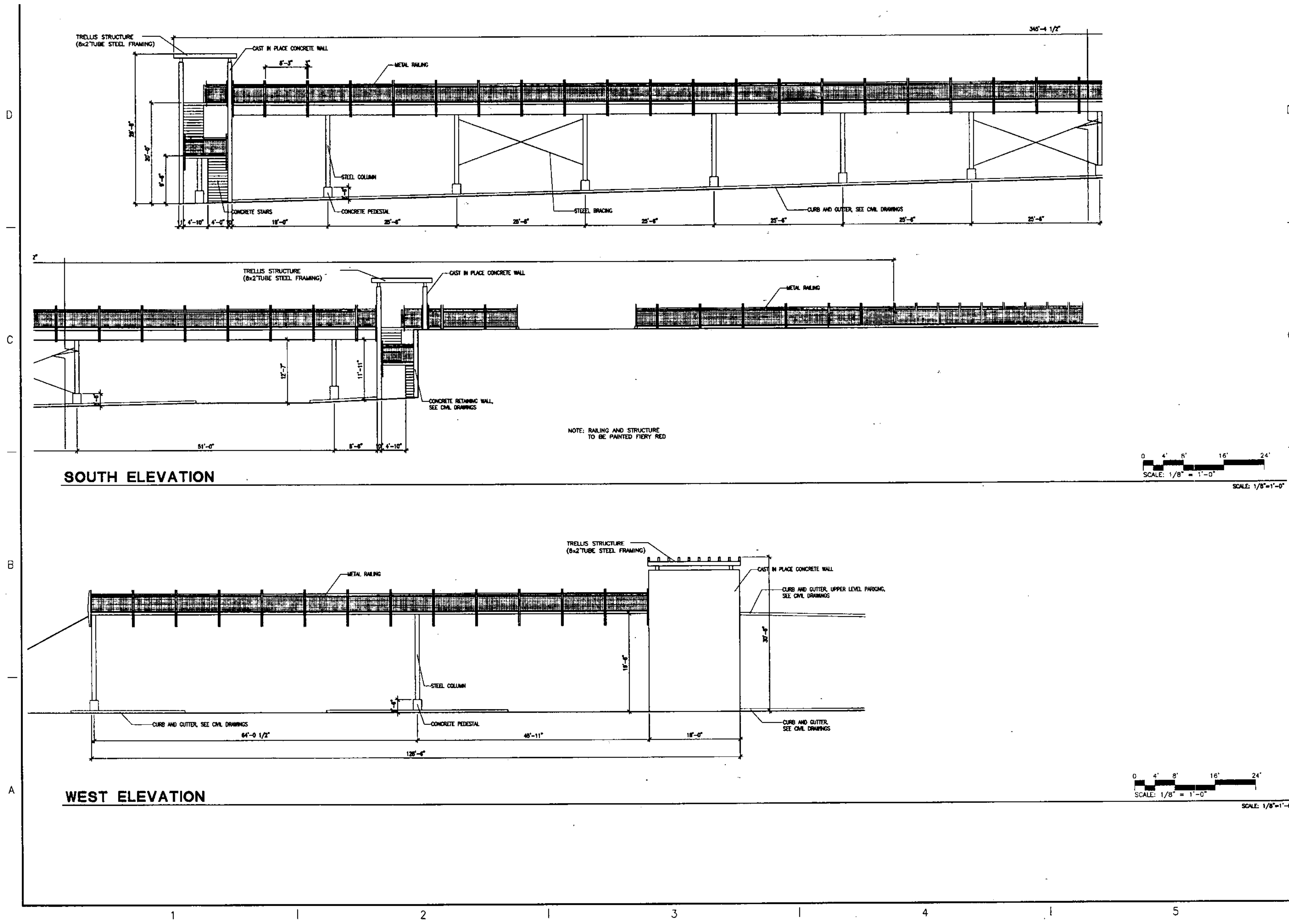
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 USFS
 PHASE II
 ALBUQUERQUE
 SERVICE CENTER
 HUMAN
 RESOURCES
 ALBUQUERQUE
 NEW MEXICO

REVISIONS:


NO.	DATE	DESCRIPTION

PROJECT NUMBER:
 A10.08
DATE:
 JUNE 2010
SHEET TITLE:
 PARKING STRUCTURE
 ELEVATIONS

SHEET NO.:
 A2.3



1304 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-265-8400 505-268-9054 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

 CONSULTANT

PROJECT TITLE
**USFS
 PHASE II
 ALBUQUERQUE
 SERVICE CENTER
 HUMAN
 RESOURCES**
 ALBUQUERQUE
 NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION

DATE DESCRIPTION
 DRAWN BY: CHECKED BY:

PROJECT NUMBER: A10.08

DATE: JUNE 2010

SHEET TITLE:

**PARKING STRUCTURE
 ELEVATIONS**

SHEET NO:

A2.4

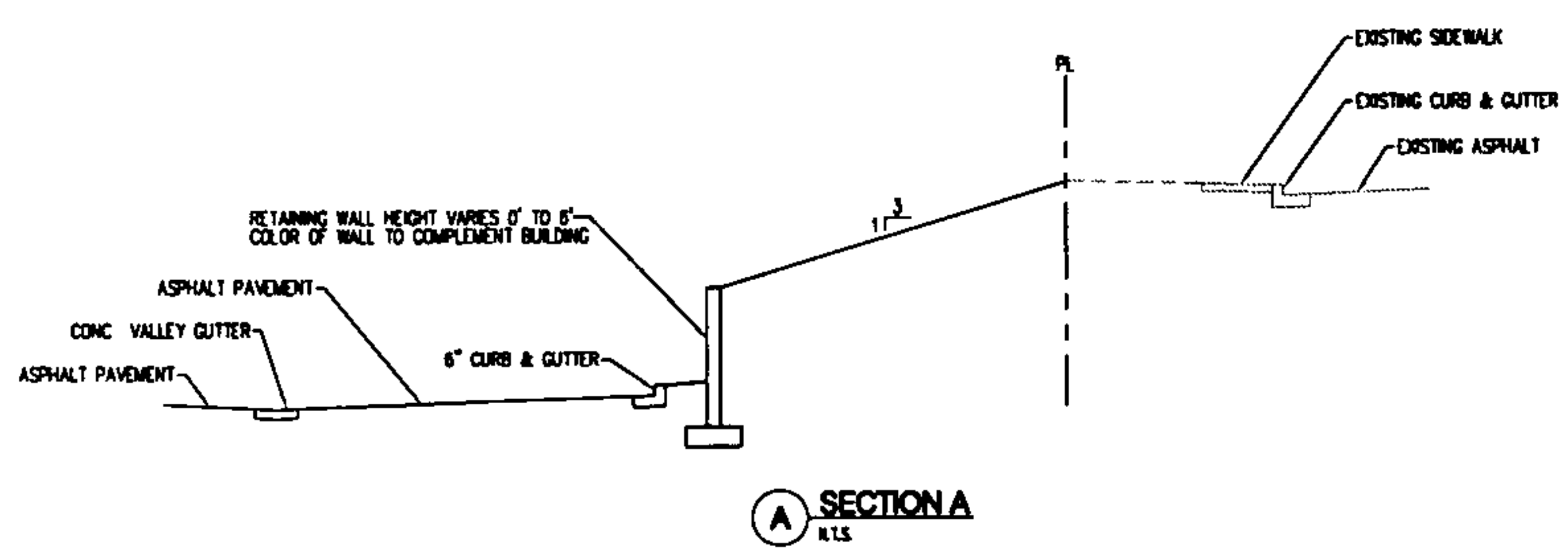
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PROJECT NUMBER:
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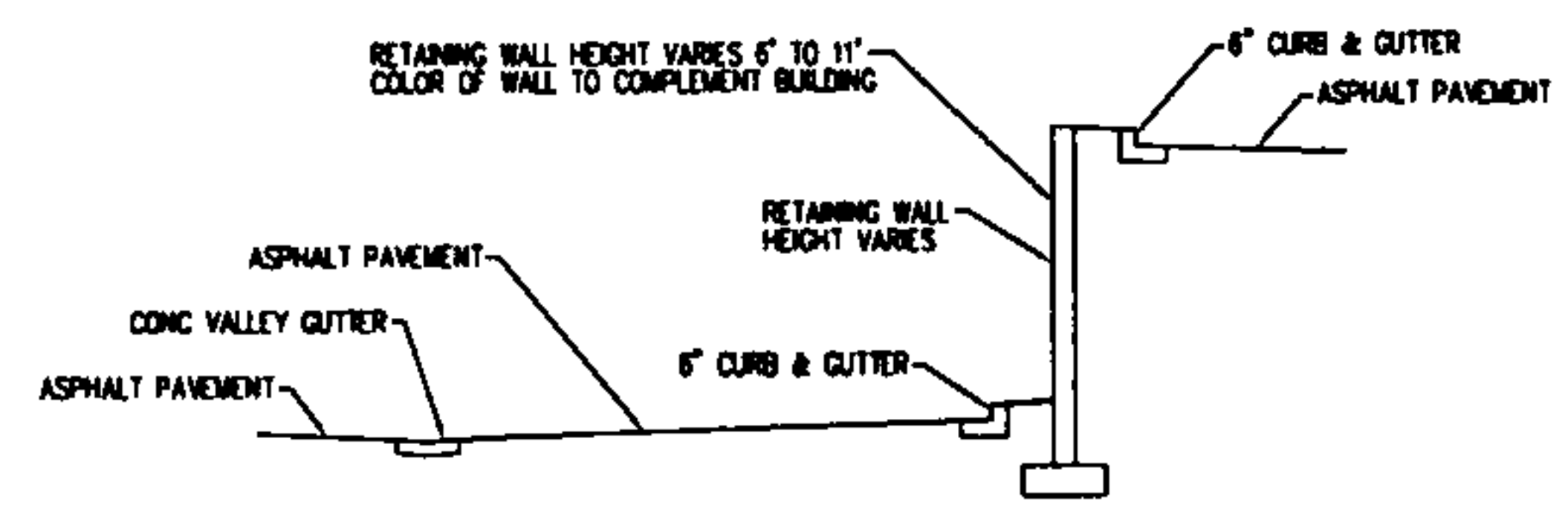
DATE:
JUNE 4, 2010

SHEET TITLE:
SITE DETAILS

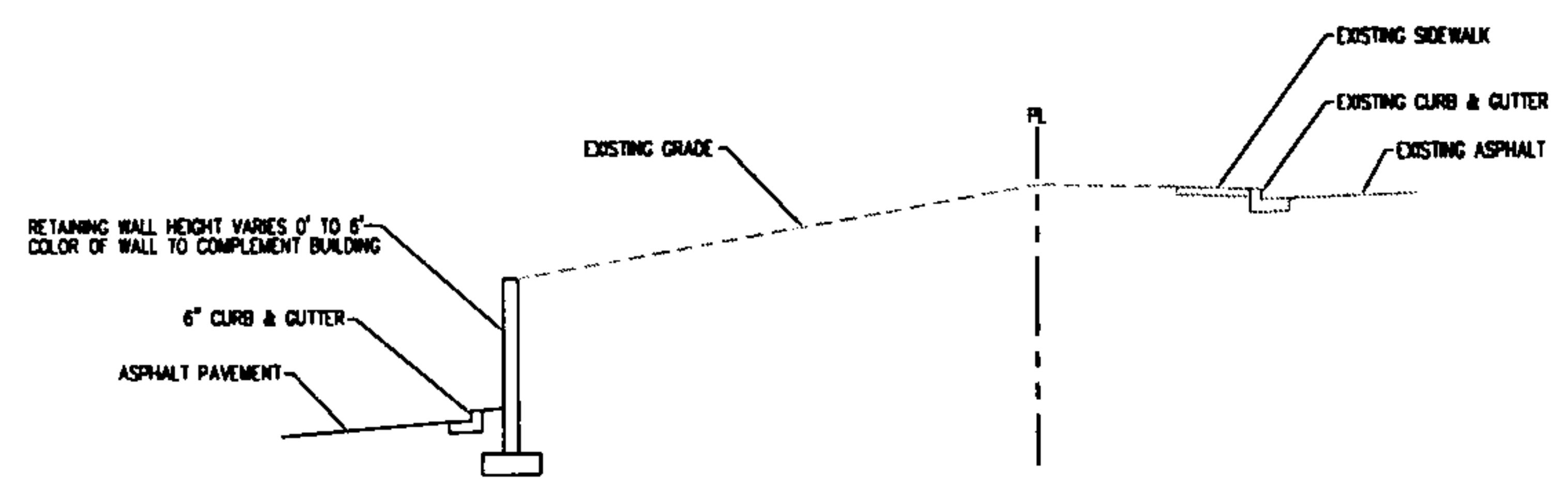
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C1.2



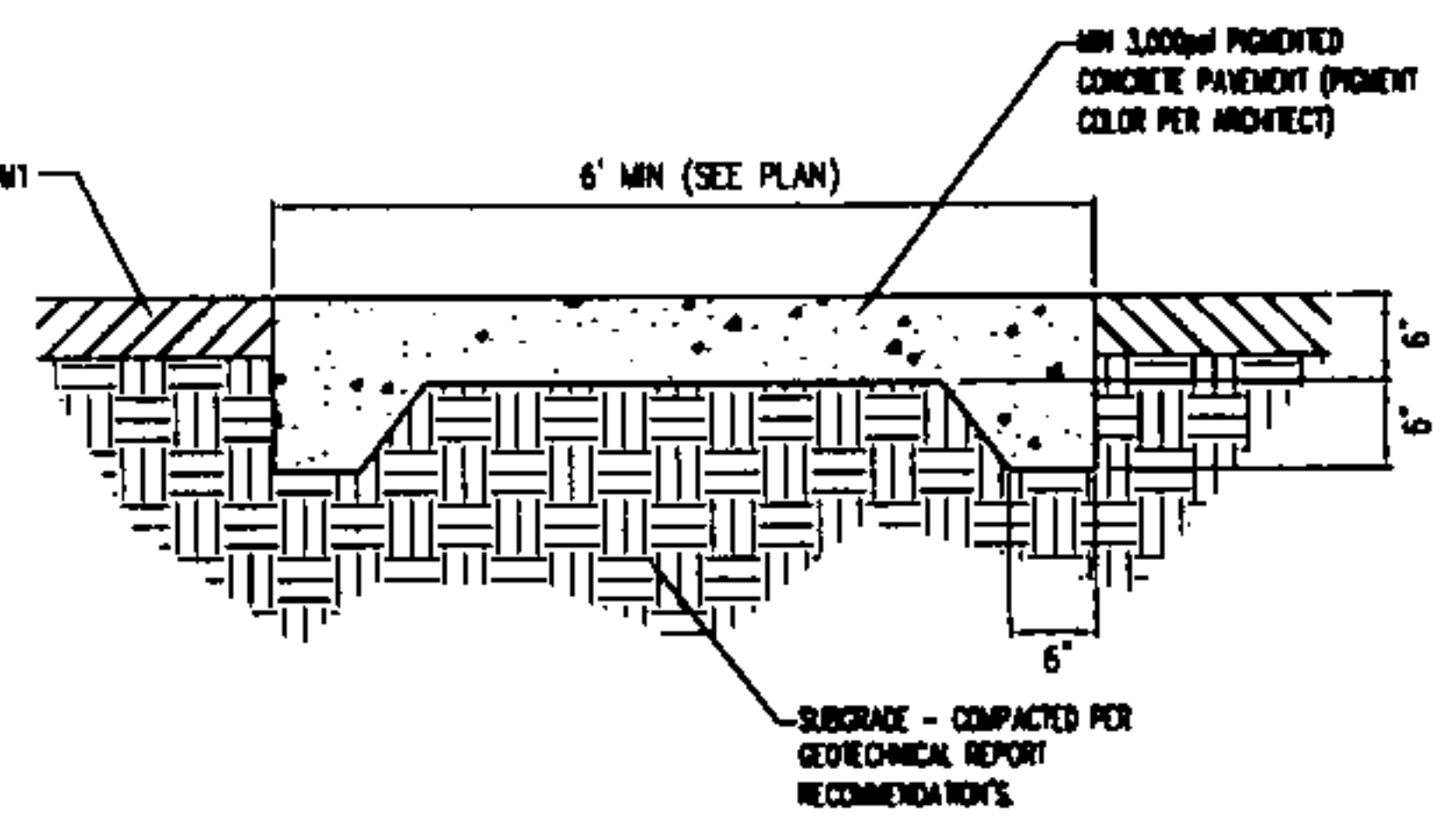
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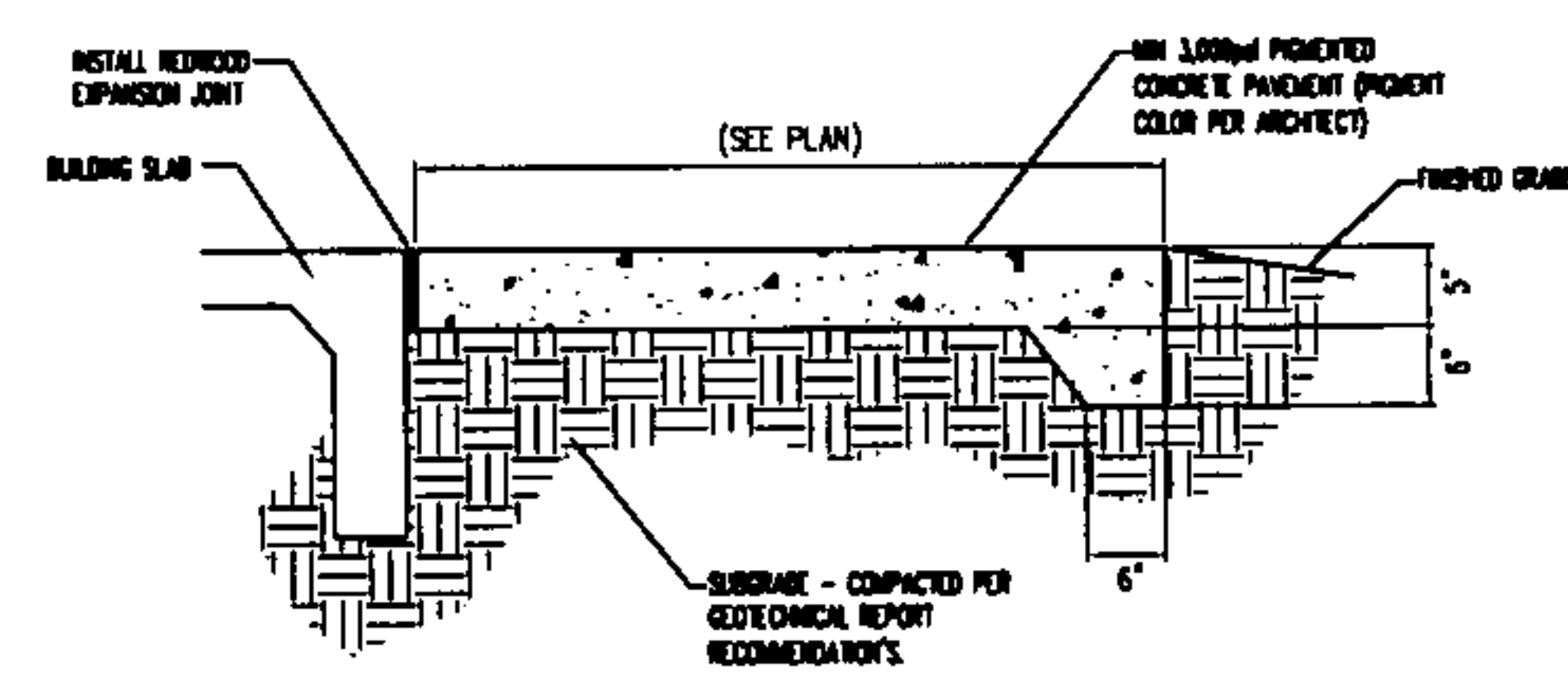
(B) SECTION B
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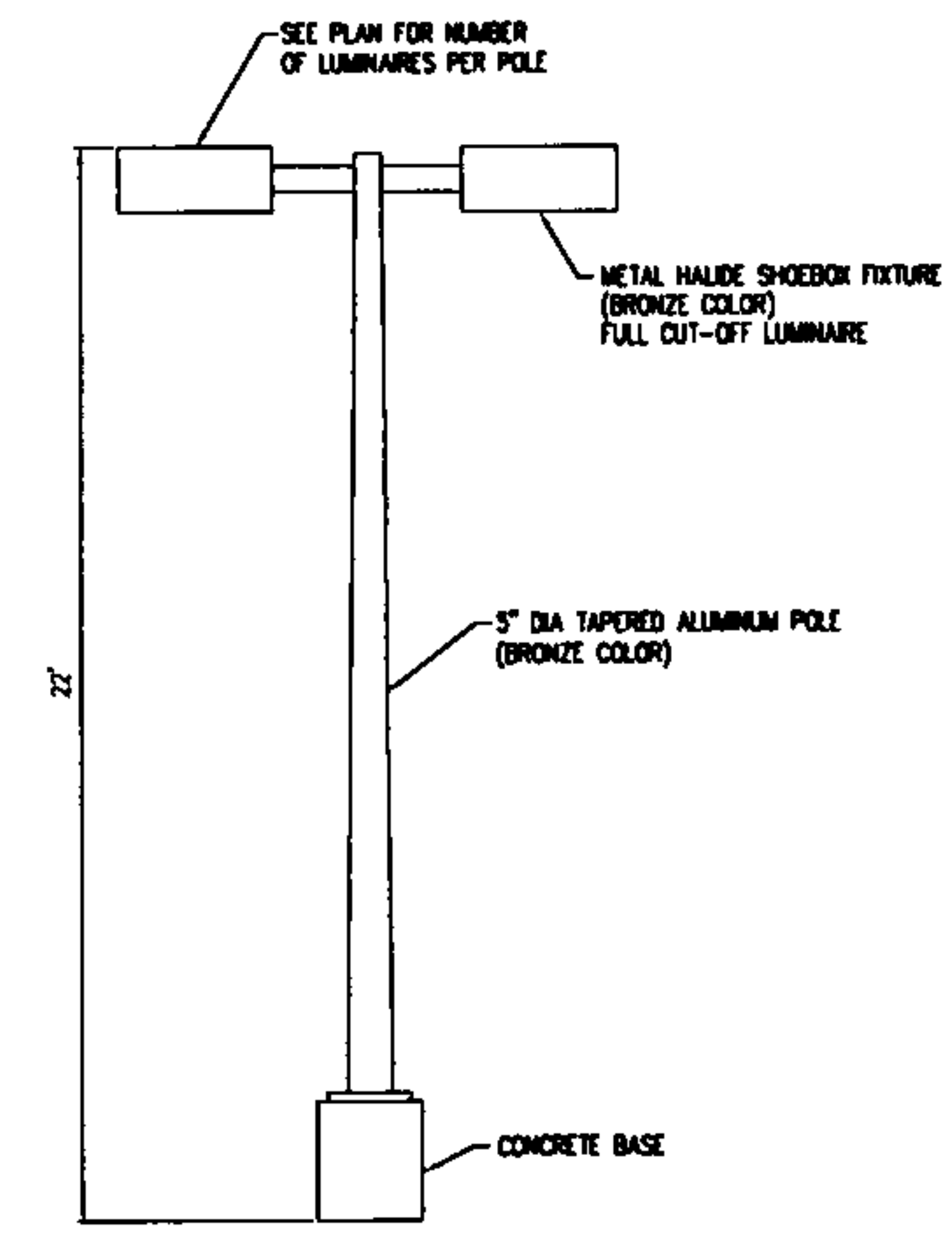
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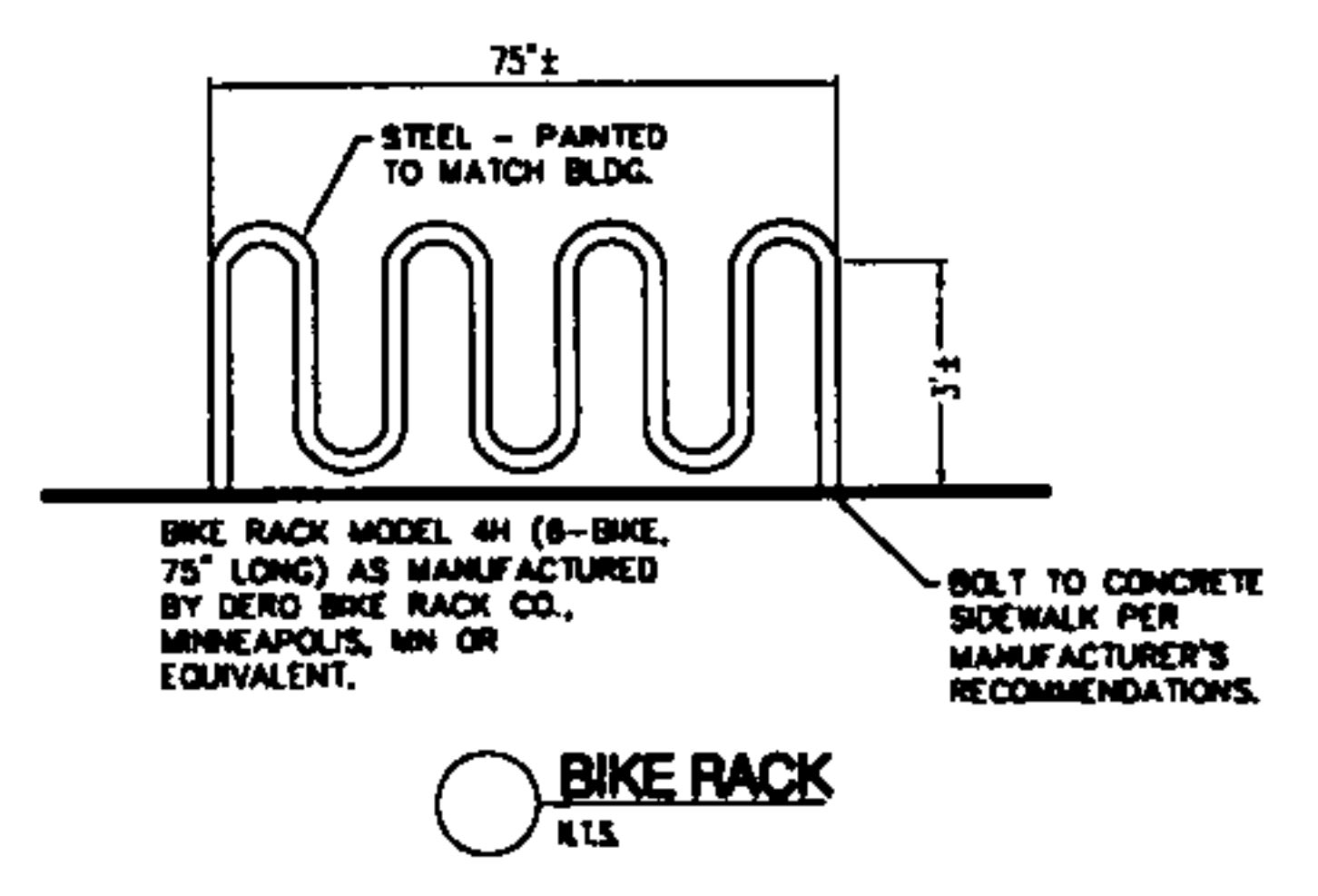
SIDEWALK CROSSING DETAIL
NOT TO SCALE



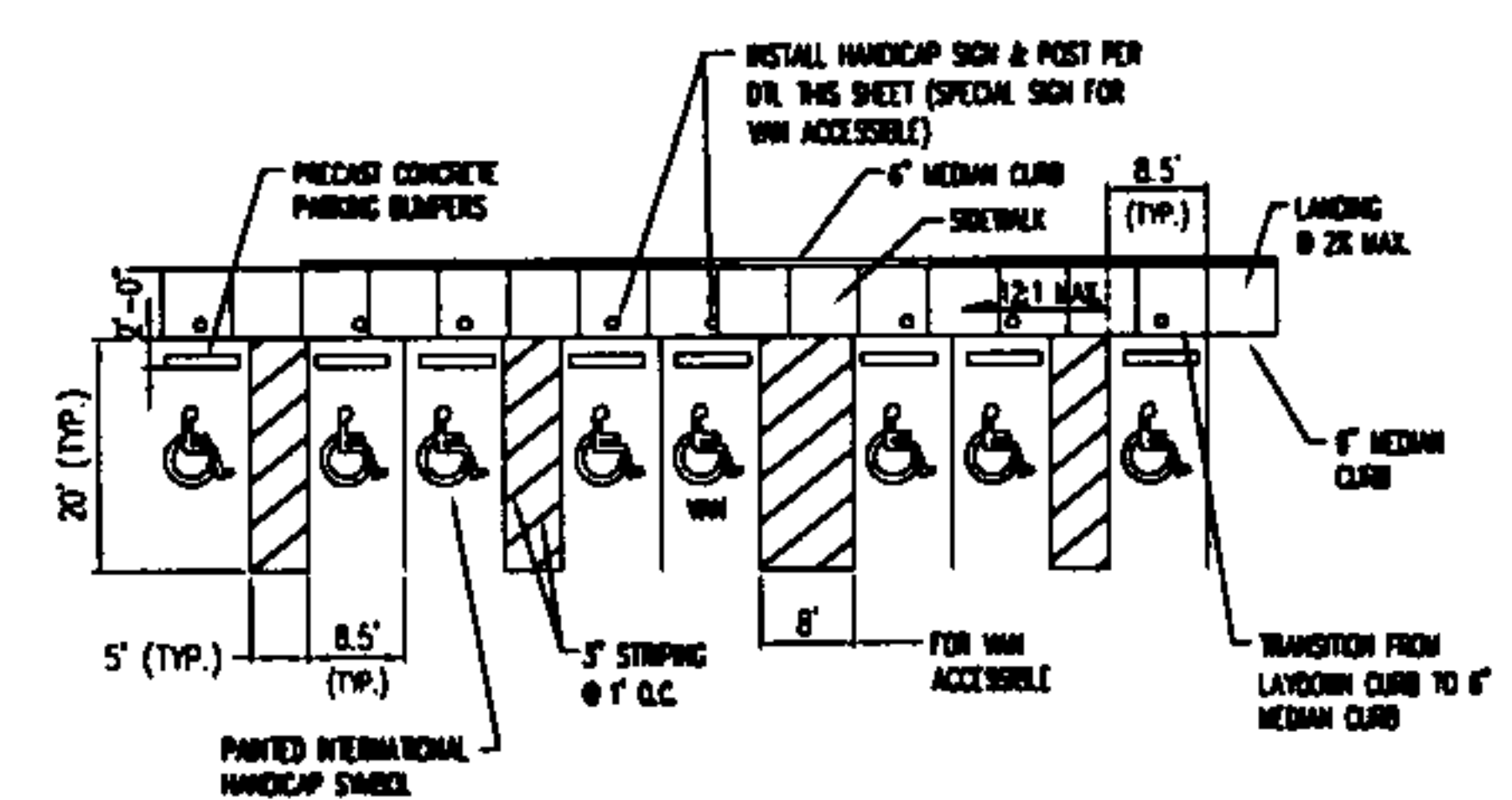
CONCRETE PATIO DETAIL
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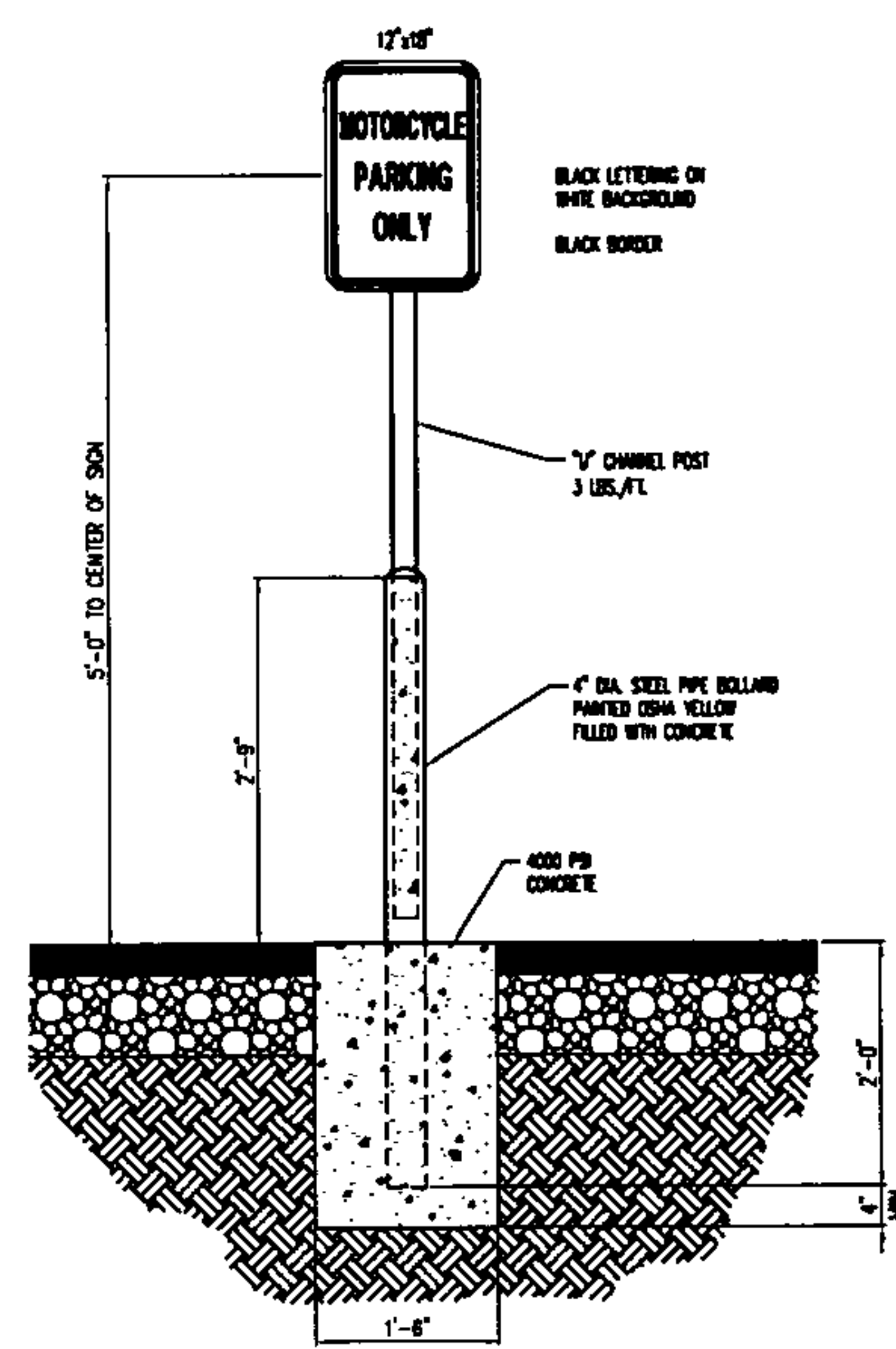
TYPICAL POLE MOUNTED LIGHT
NTS



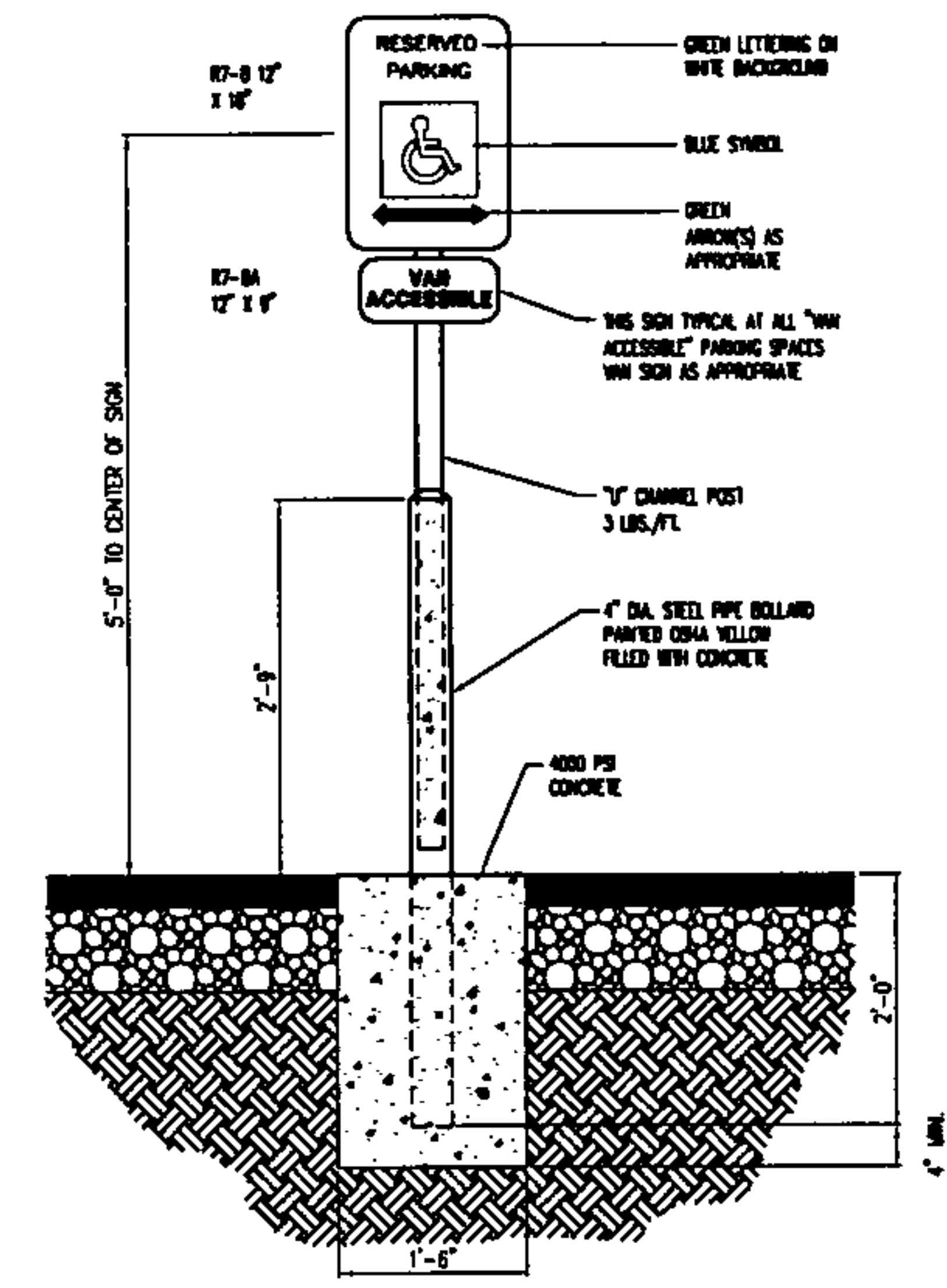
BIKE RACK
N.T.S.



HANDICAP PARKING DETAIL
NOT TO SCALE

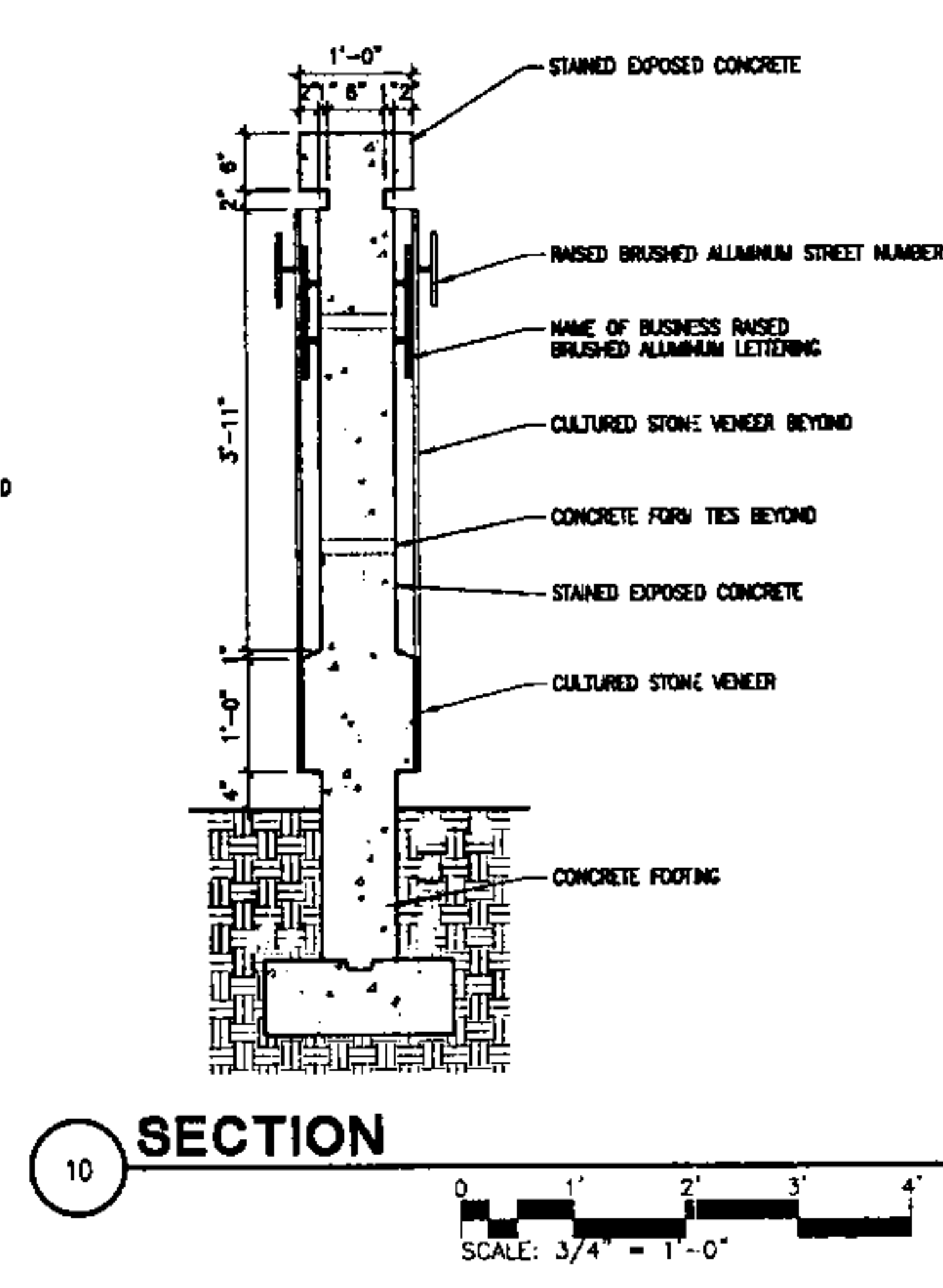
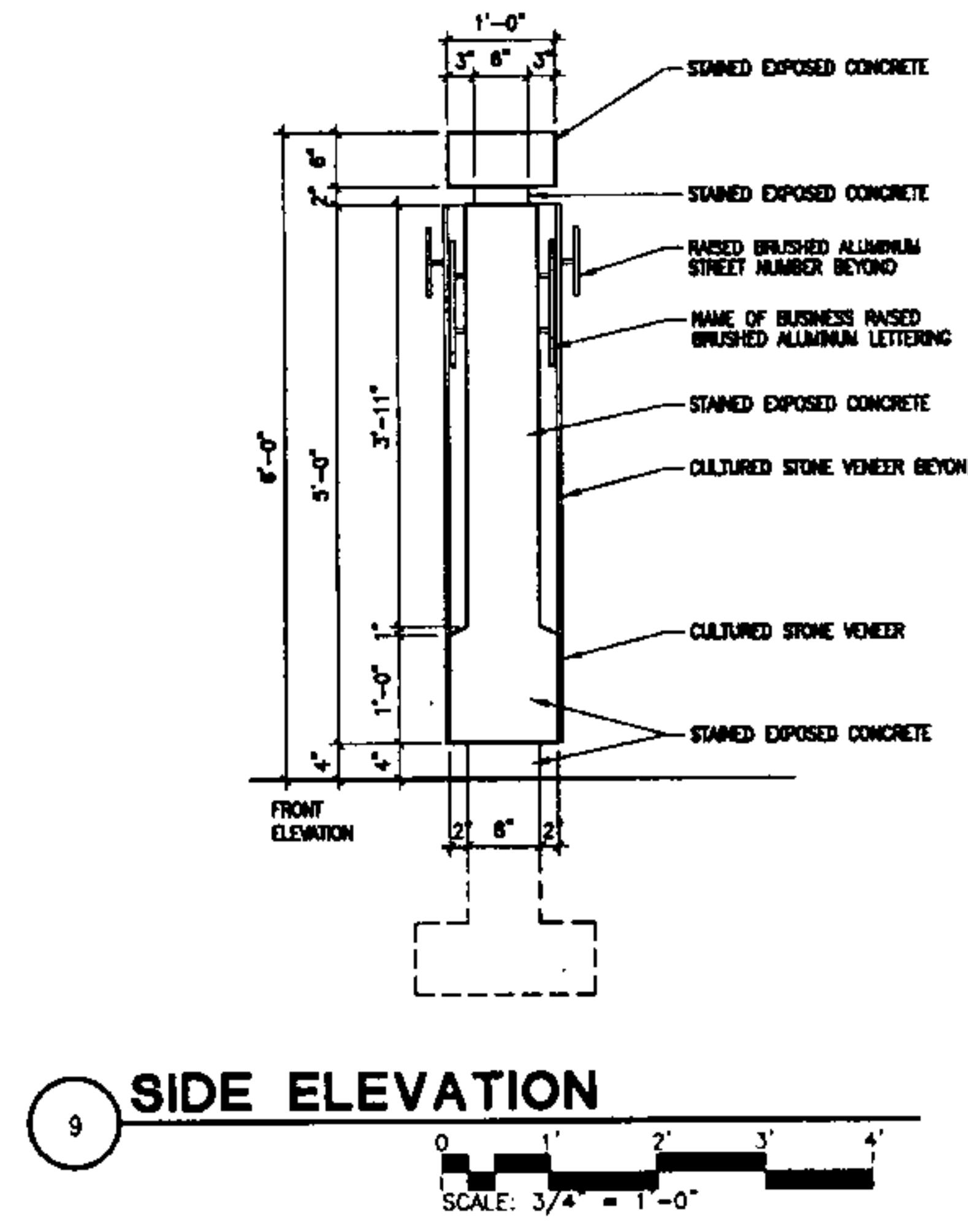
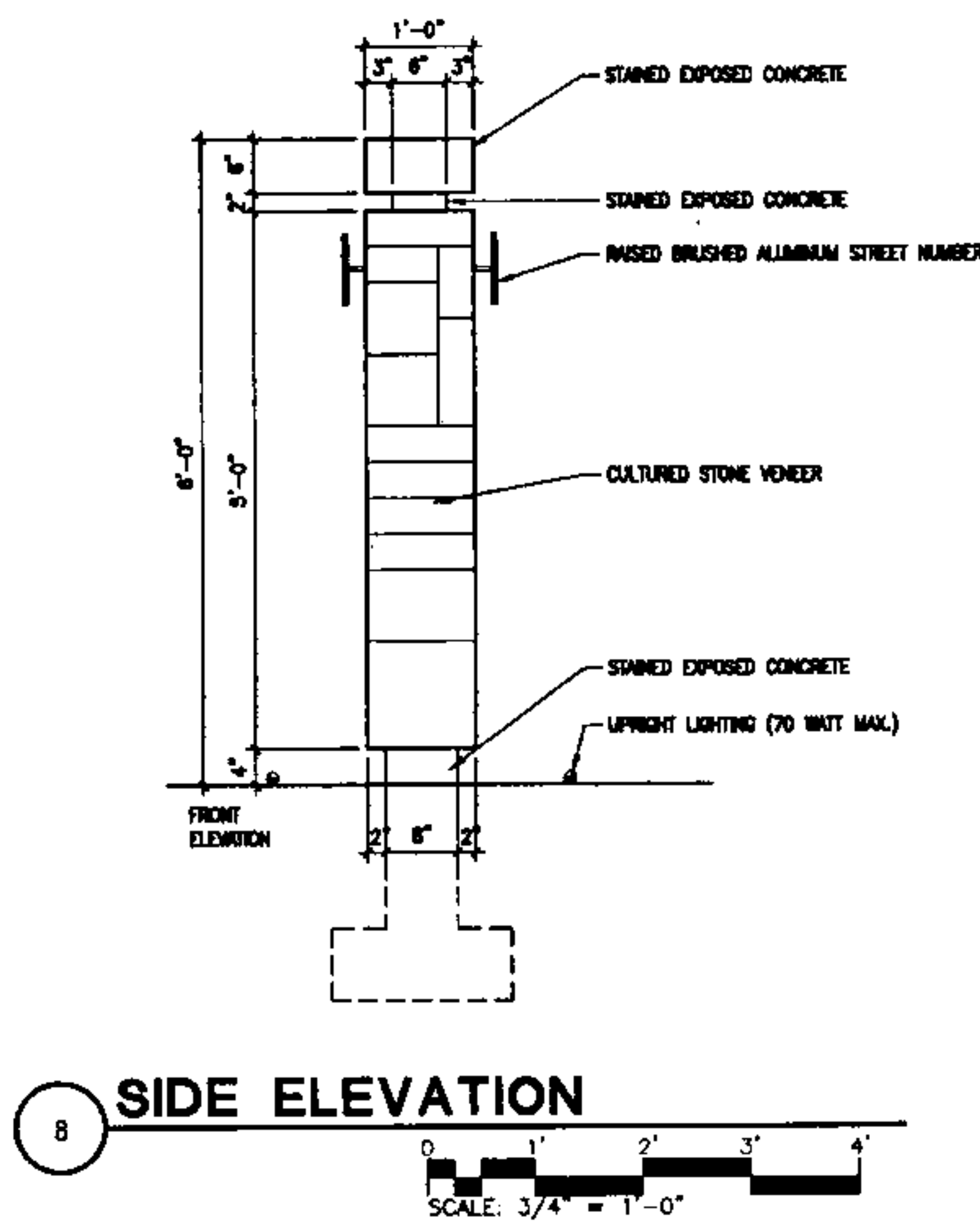
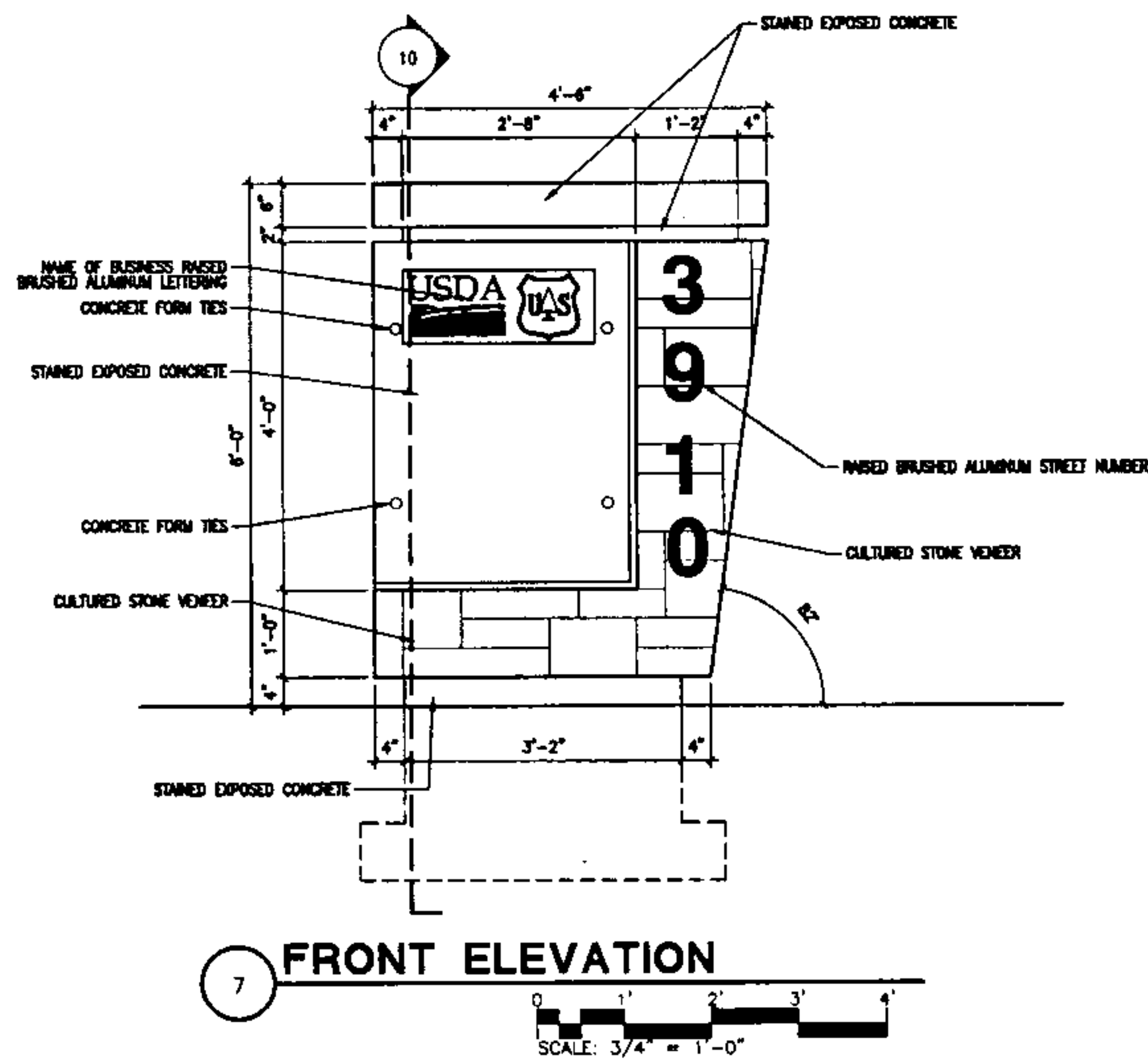
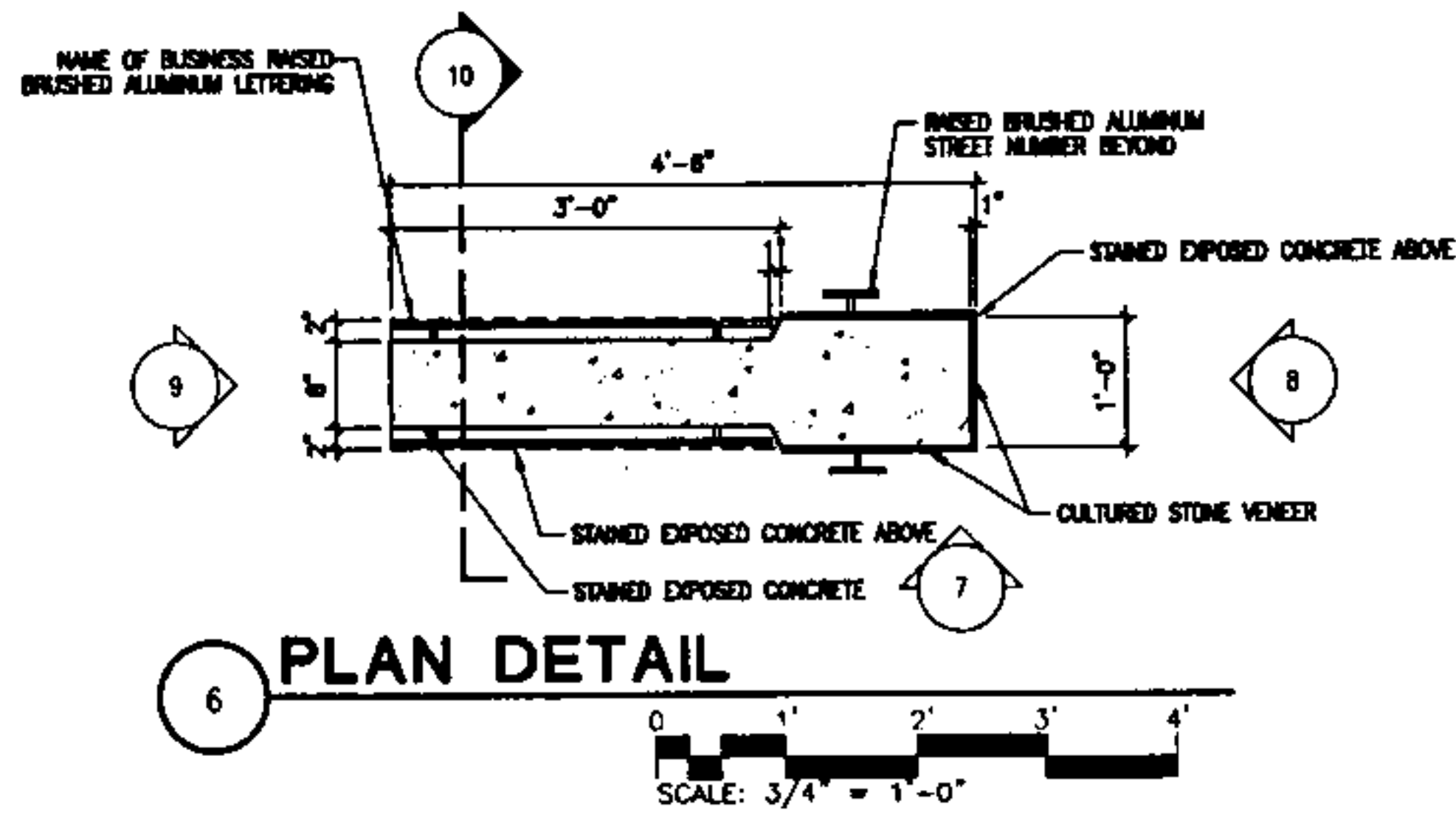
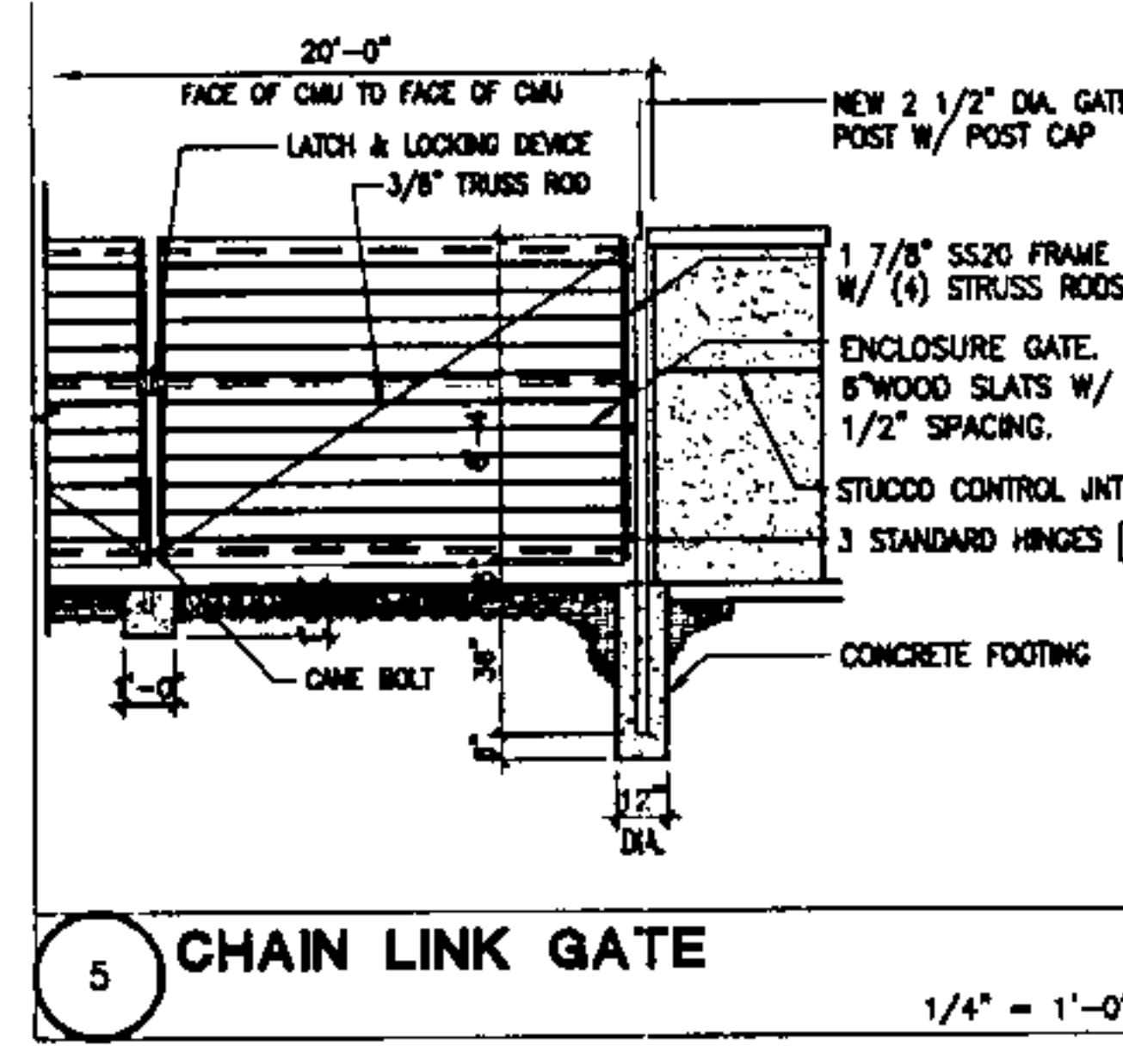
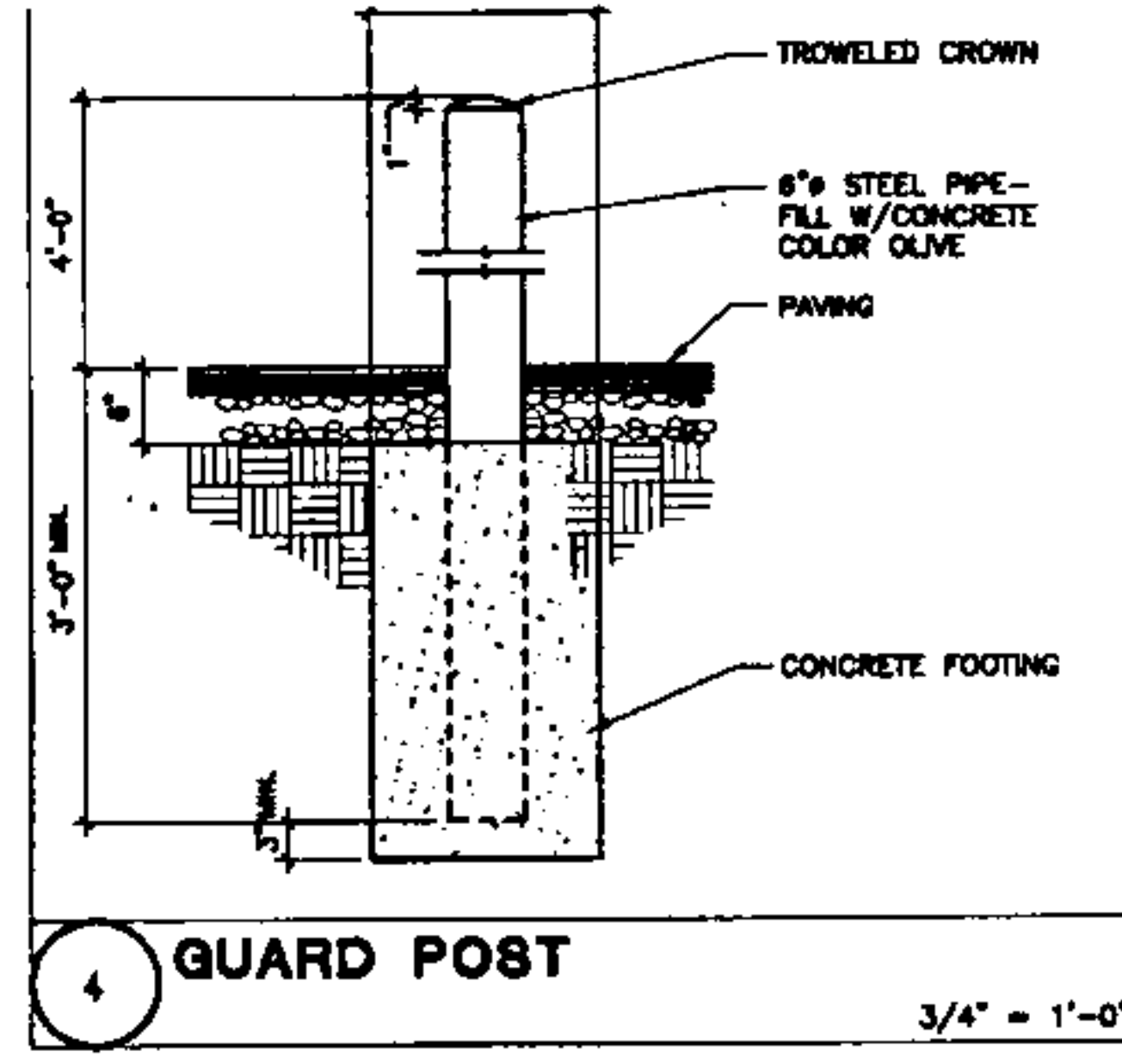
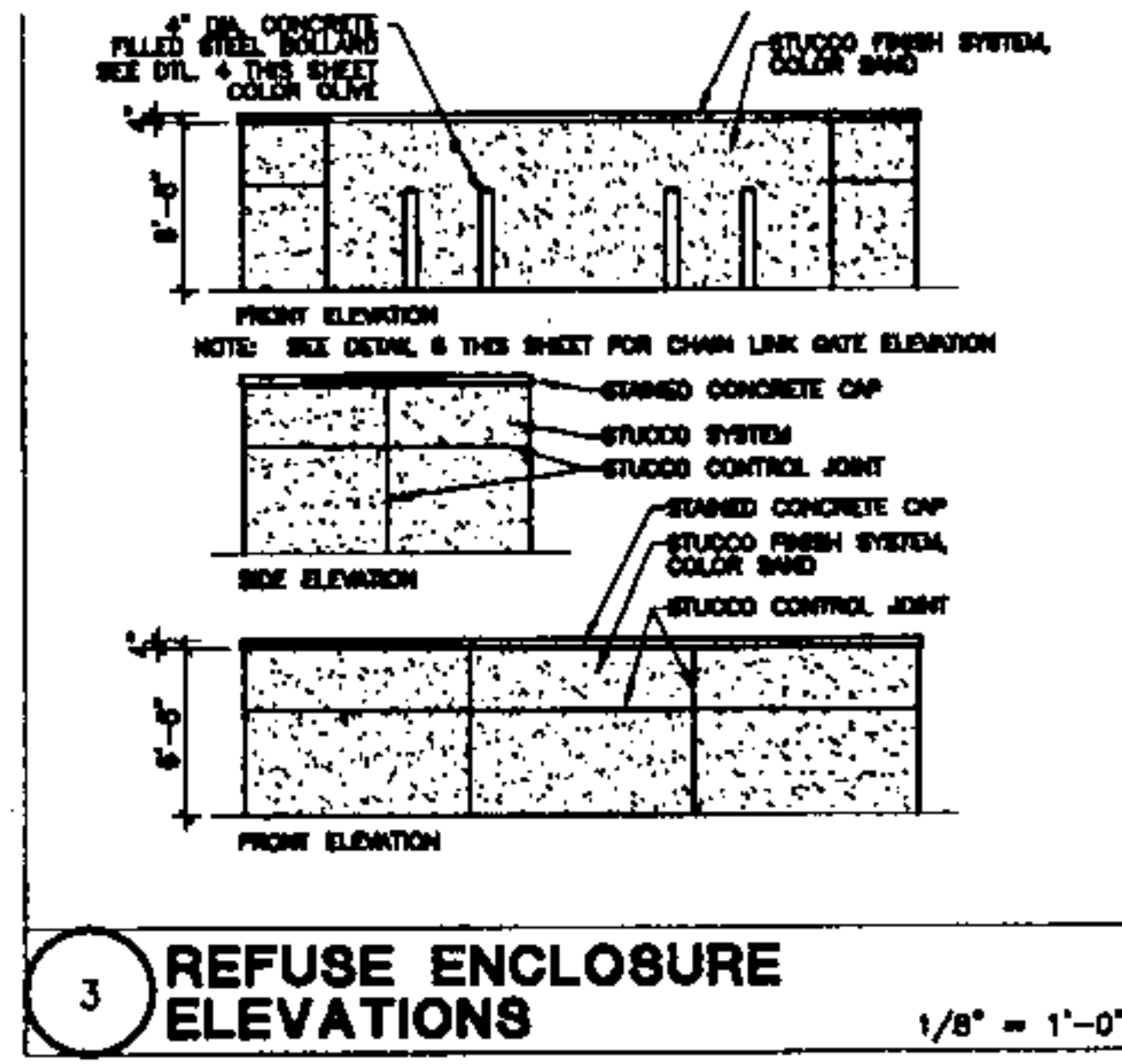
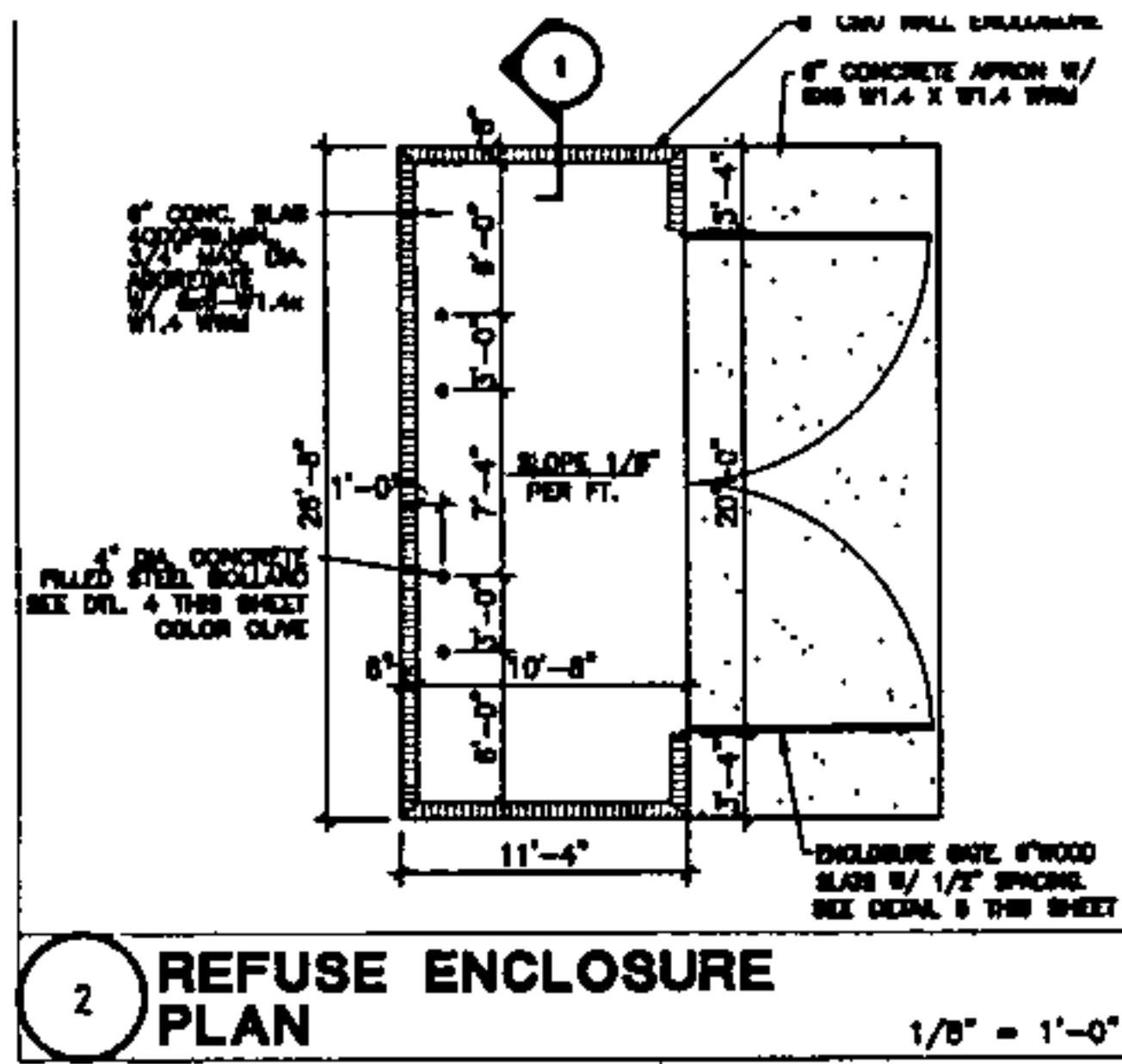
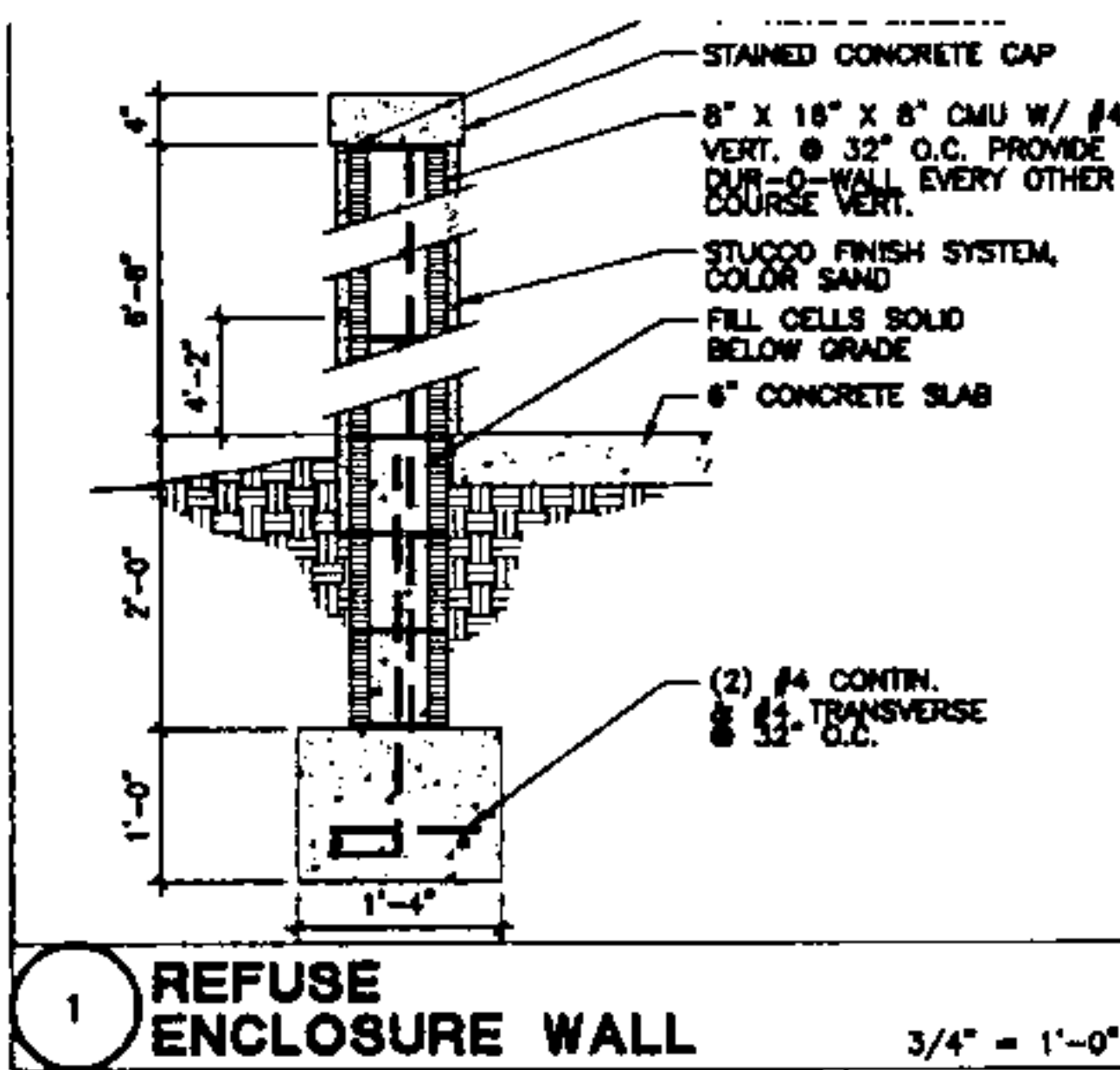


MOTORCYCLE PARKING SIGN
NTS



HANDICAP PARKING SIGN MOUNTING DETAIL
N.T.S.
ONE SIGN SHALL BE INSTALLED AT EACH HANDICAP SPACE.

P:\10100001\CDP\Draw\General\Site Plan For SP\00240.dwg Layout
June 04, 2010 - 8:15am
Printed by: BPT/CA



NOTE: ALL STAINED CONCRETE IS TO MATCH BUILDING COLOR SELECTION

NCA
ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
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ARCHITECT

STATE OF NEW MEXICO
ROBERT CALYANI
NO. 10933
CONSULTANT

PROJECT TITLE

**USFS
PHASE II
ALBUQUERQUE
SERVICE CENTER
HUMAN
RESOURCES**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

PROJECT NUMBER:
A10.08

DATE:
JUNE 2010

SHEET TITLE:
SITE DETAILS

SHEET NO:
AS-101



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 30, 2010

Project# 1004556

10DRB-70165 MAJOR - AMENDED SITE DEVELOPMENT PLAN FOR BUILDING
PERMIT/SUBDIVISION

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s)
the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**,
zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE
containing approximately 4.43 acre(s). (D-17)

AMAFCA No comment.
COG No comments provided
TRANSIT Reviewed – no comments
ZONING ENFORCEMENT No comments provided
NEIGHBORHOOD COORDINATION Letters sent to: Alameda North Valley Assoc. (R)
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT Please see attachment
FIRE DEPARTMENT No comments provided
PNM ELECTRIC & GAS No comments provided
COMCAST No comments provided
QWEST Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Prior to any final plat approval, we will need a copy for review.
ENVIRONMENTAL HEALTH No comments provided
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER No adverse comments.

TRANSPORTATION DEVELOPMENT

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**, zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE containing approximately 4.43 acre(s). (D-17)

Label the compact parking spaces by placing the words "compact" on the pavement of each space.

Compact parking spaces must be a minimum of 8 feet in width.

Provide details for all ramps; define the maximum slope.

All wheelchair ramps located within City of Albuquerque right of way must have truncated domes.

The proposed monument sign (keyed note 23) must maintain proper sight distance at the entrance. Please provide a sight distance exhibit for the entrance (See the *Development Process Manual*, Chapter 23, Section 6, Part B.12).

All items to be built within City right of way (sidewalk, valley gutter, curb cuts, etc.) must have a build note, referring to the specific City Standard.

Provide a copy of the cross access easement between lots 11A and 11B.

Demonstrate the heavy vehicle path to the loading dock.

Call out all aisle widths.

Clearly demonstrate the 6 foot wide, ADA accessible, pedestrian pathway from the roadway to the building.

Handicap Parking Detail Sheet C1.2:

- Sidewalk must be flush with pavement prior to the access aisle; please revise.
- Detail does not match layout as shown on site plan.

PARKS AND RECREATION

No objection.

ABCWUA

No comments provided

PLANNING DEPARTMENT

Finished floor elevation of upper parking deck, as well as proposed spot elevations for ramp access are needed. Proposed compact parking spaces off of ramp do not appear appropriate for single access to 140 parking spaces; refer to comments from Transportation Development regarding orientation of upper deck access. Pedestrian access from upper deck to second floor of building appears appropriate.

Please refer to Section 14-16-3-18(C) of the Zoning Code. Compliance needs to be addressed for this Zoning section regarding pedestrian features/outdoor seating/ plazas.

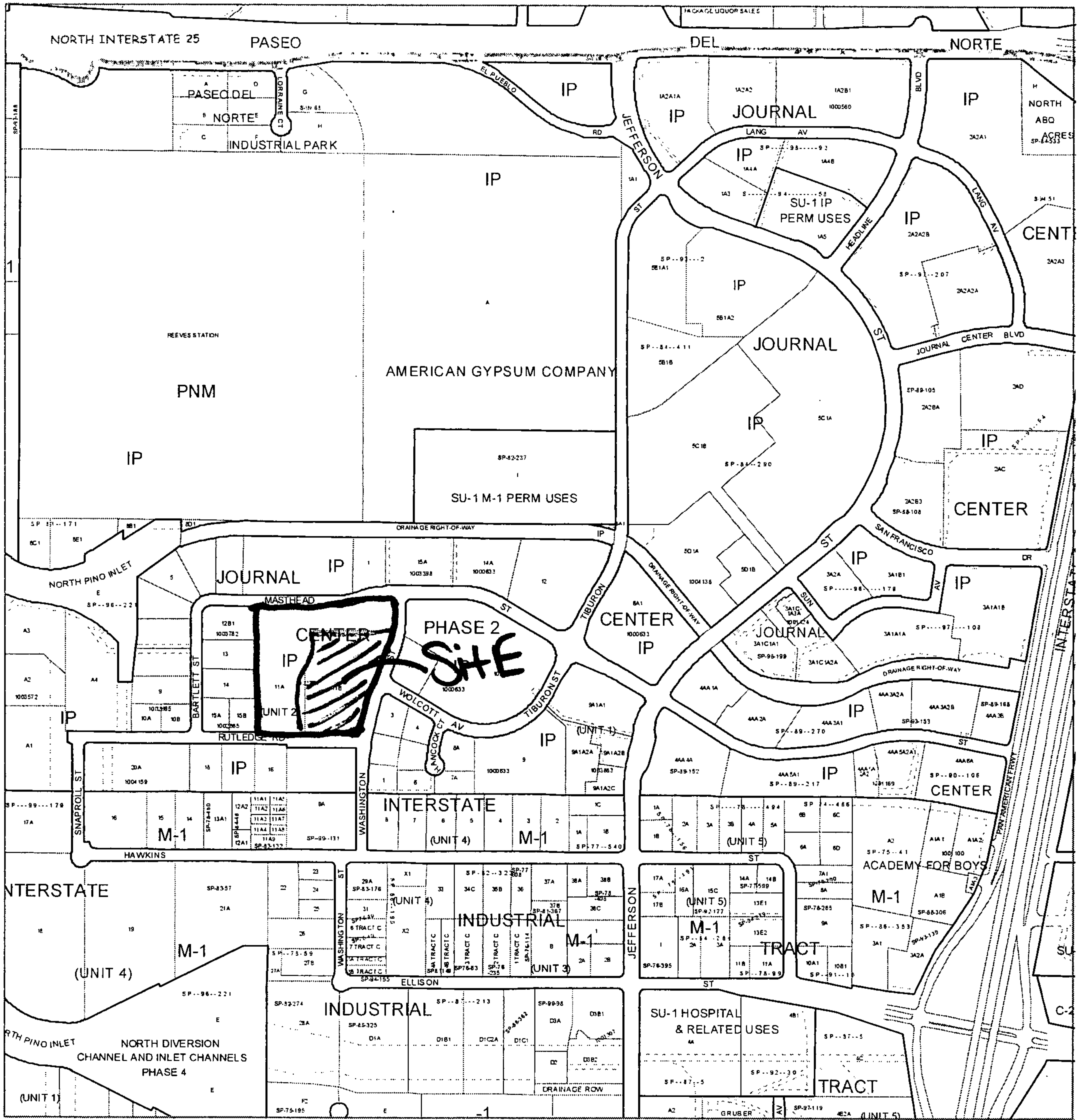
Please refer to Section 14-16-3-18(D) of the Zoning Code. Both the north elevation of the parking structure as well as the east and south elevations of the building present lengths of over 100 feet of a continuous architectural feature – compliance with Item (D) 2 needs to be addressed through narrative and calculations. Building mounted signage material and lighting need to be specified.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

DRB/EPC/LUCC APPLICATION CHECKLIST

A review of DRB Case 1004556 indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicted that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

- Traffic volume/Explain:
- Traffic control devices/Explain:
- Burglaries/Explain:
- Speeding violations/Explain:
- Lighting issues/Explain: → Lighting appears to be adequate in and around parking areas. However, recommend additional lighting to illuminate building entry, walkways and common areas.
- Maintenance of landscaping/Explain: → Landscaping (trees) appear to be in conflict with proposed lighting, particularly in the parking lot. Trees and pole lights should not be placed in the same islands.
- Robbery/Explain:
- Assault/Explain:
- Shoplifting/Explain:
- Accidents in the parking lot/Explain:
- A higher probability of crimes during evening/weekend hours/Explain:
- Commercial burglary/Explain:
- Rape/Explain:
- Adequate security/Explain: → Cameras: Recommend video cameras be positioned to view all external areas, such as parking lots, walkways, common areas, building entrances.
- Alarm security/Explain:
- Alarm response i.e. false alarms, etc/Explain:
- Transients/Explain:
- Need for neighborhood association/Explain:
- Other:



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet

Map amended through: 5/1/2006

June 4, 2010

Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103Re: Masthead Office Complex at Journal Center 2, Site Plan for Building Permit Amendment
Journal Center, Phase 2, Unit 2, Lot 11-B, Approximately 4.4 acres DRB# 1002321

Dear Jack:

Enclosed for approval of the amended Site Development Plan for Building Permit for the referenced project are copies of the following information:

- Completed Application to the Development Review Board
- Completed Checklist
- Submittal Fee in the amount of \$350.00
- Twenty Four (24) copies of the amended Site Plan for Building Permit
- Twenty Four (24) copies of signed Site Plan being amended
- Zone Atlas showing location of subject property
- Letter of authorization from property owner
- Neighborhood coordination notification letter and certified mail receipts

This site is currently undeveloped and is located at the southwest corner of Masthead and Washington in the Journal Center. This site plan represents the second phase of development on Tract 11-B. Construction of the first phase was completed in 2005.

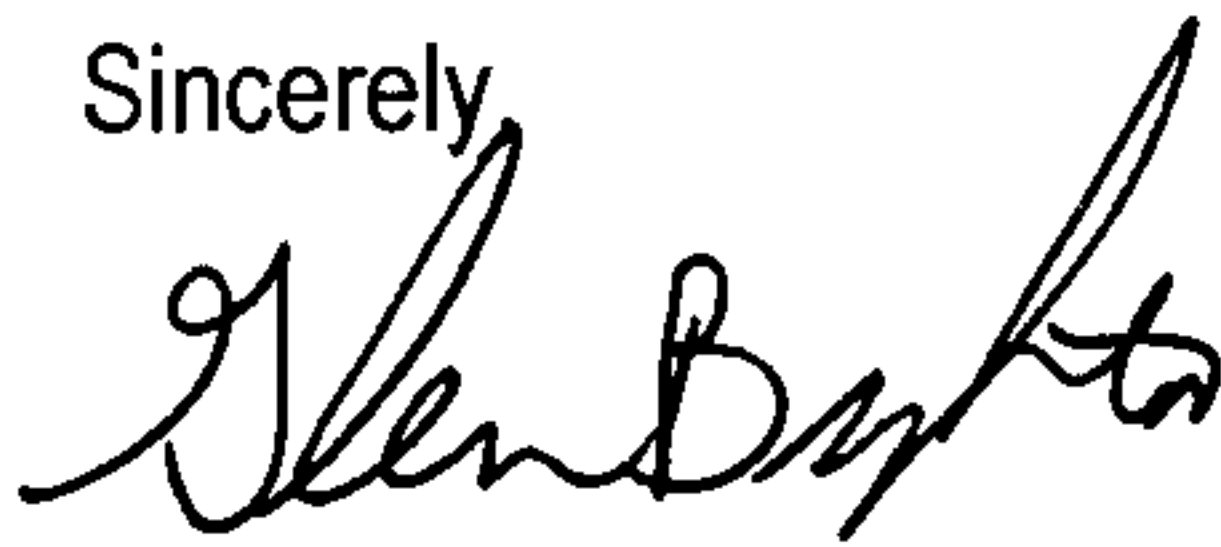
The project consists of a 3-story office building of approximately 101,660 square feet. A site plan for building permit for this site was previously approved by the DRB for a very similar project except that the previous building was 3 story and about 96,400 square feet. The building is being constructed by Reid & Associates, a design-build contractor. The site is adjacent to an existing sculpture of an Elk located within a large landscaped island near the main entrance to the building. Also shown on the site plan is a cooling tower to be located on the east side of the building. The cooling tower will be screened by a solid wall which is architecturally compatible with the building.

This Site Development Plan has been prepared in accordance with City Ordinances and Journal Center guidelines. The previous site plan was approved by both of the Journal Center ARC's. The developer is coordinating submittal of the site plan to both of the Journal Center ARC's. We will forward their approval letter as soon as we receive it.

Jack Cloud, Chair
City of Albuquerque
June 4, 2010
Page 2

Please place this item on the next available agenda. If you have any questions or require further information, please contact me.

Sincerely,



Glenn S. Broughton, P.E.
Senior Project Manger
Community Development and Planning Group

GSB/cc
Enclosure

cc Matthew Proehl, Reid & Associates

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Dlen Broughton 6/4/10
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 380 provided: 472
Handicapped spaces (included in required total) required: 16 provided: 23
Motorcycle spaces (in addition to required total) required: 6 provided: 6
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 24 provided: 24
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
 - X A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - X B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - X C. Ponding areas either for drainage or landscaping/recreational use
- X 7. Identify type, location and size of plantings (common and/or botanical names).
 - X A. Existing, indicating whether it is to preserved or removed.
 - X B. Proposed, to be established for general landscaping.
 - X C. Proposed, to be established for screening/buffering.
- X 8. Describe irrigation system – Phase I & II . . .
- X 9. Backflow prevention detail
- X 10. Planting Beds, indicating square footage of each bed
- X 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- X 12. Responsibility for Maintenance (statement)
- X 13. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- X 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- X 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- X 16. Planting or tree well detail
- X 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- X 1. Scale - must be same as Sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Masthead Road Development II, LLC

June 3, 2010

Mr. Jack Cloud, DRB Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Mr. Cloud:

The purpose of this letter is to authorize Bohannon Huston, Inc. to act as agent for Masthead Road Development II, LLC for the purpose of processing the Site Plan for Building Permit.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me. Thank you for your courtesy in this matter.

Thank you,



Ben F. Spencer

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Masthead Road Dev II LLC DATE OF REQUEST: 6/3/10 ZONE ATLAS PAGE(S): D-17

CURRENT:

ZONING IP

PARCEL SIZE (AC/SQ. FT.) 4.43 AC

LEGAL DESCRIPTION:

LOT OR TRACT # 11-B BLOCK # _____

SUBDIVISION NAME Journal Center Unit 2 Phase 2

REQUESTED CITY ACTION(S):

ANNEXATION []

SECTOR PLAN

SITE DEVELOPMENT PLAN:

COMP. PLAN []

ZONE CHANGE []

A) SUBDIVISION [] BUILDING PERMIT

AMENDMENT []

CONDITIONAL USE []

B) BUILD'G PURPOSES [] ACCESS PERMIT []

C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []

OF UNITS: _____

NEW CONSTRUCTION

BUILDING SIZE: 101,660 (sq. ft.)

EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 6/4/10
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: MASTHEAD TIS (1996 & 2000) + JOURNAL CTR
JOURNAL CTR PHASE II (2006)

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

[Signature] DATE 6-4-10
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

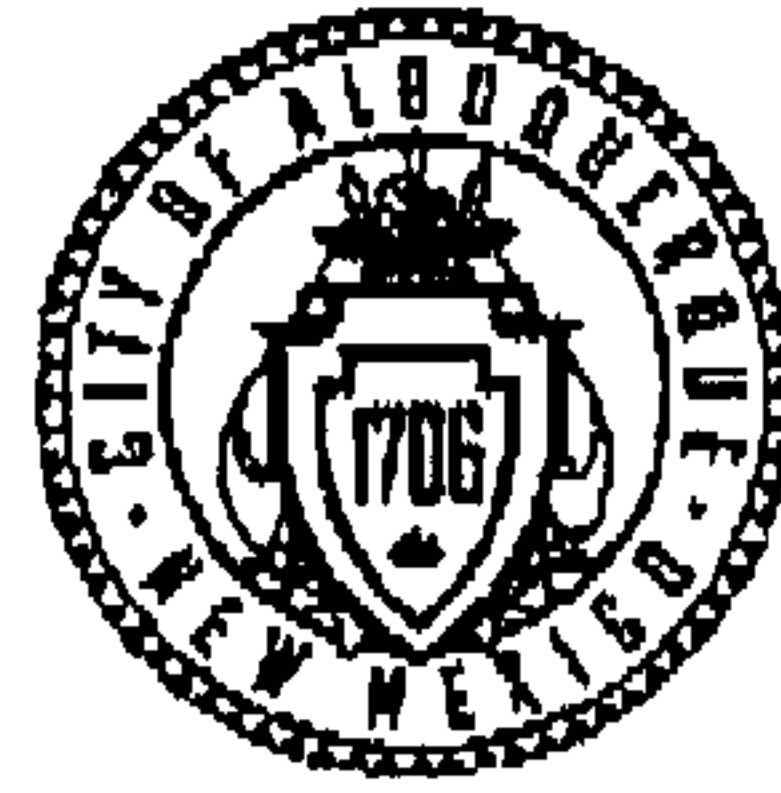
AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO Previously Studied

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. *Any subsequent changes to the development proposal identified above may require an update or new AQIA.*

[Signature] DATE 6/4/10
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1
 -FINALIZED 1/1
1996, 2000 & 2006
[Signature] DATE 6-4-10
TRAFFIC ENGINEER



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

June 3, 2010

Becky Ganna
Bohannan Huston Inc.
7500 Jefferson NE/87109
Phone: 505-823-1000/Fax: 505-798-7988

Dear Becky:

Thank you for your inquiry of June 3, 2010 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOT 11B, JOURNAL CENTER, UNIT 2, PHASE 2, LOCATED ON RUTLEDGE ROAD NE BETWEEN MASTHAND STREET NE AND WASHINGTON STREET NE** zone map **D-17**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. "R"

Steve Wentworth

8919 Boe Ln. NE/87113-2328 897-3052 (h)

David Lindner

10407 4th St. NW/87114 898-4465 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningnaform(12/06/07)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **06/03/10** Time Entered: **9:45 a.m.** ONC Rep. Initials: **siw**

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

June 3, 2010

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, NM 87113-2328

Re: Journal Center Phase 2 Lot 11-B
Site Plan for Building Permit

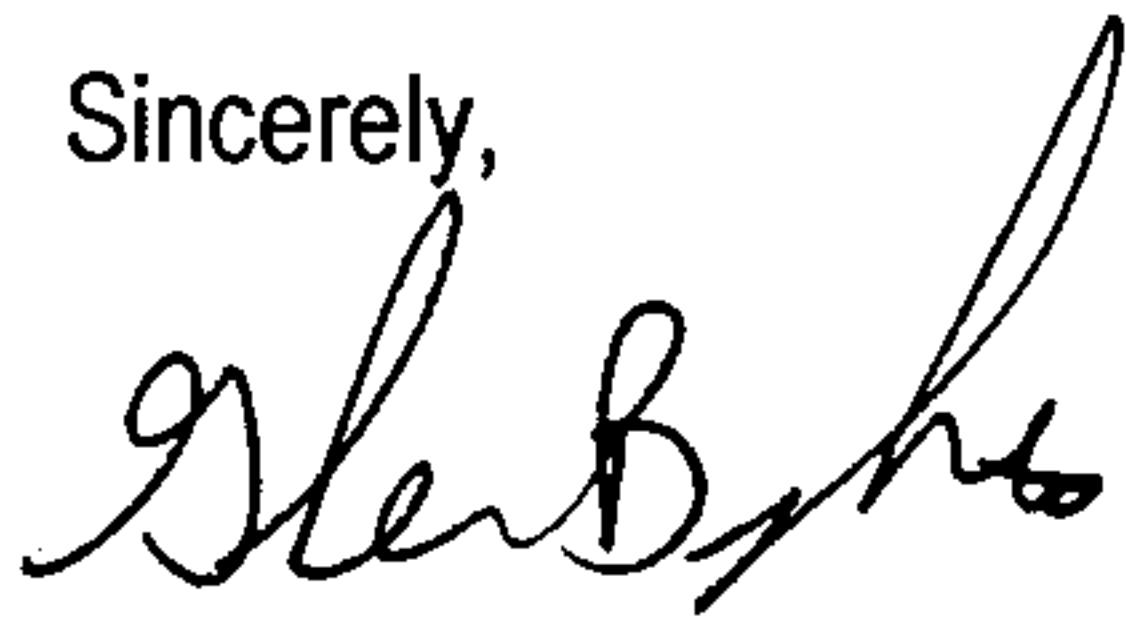
Dear Mr. Wentworth:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Association.

This letter is to advise you that Bohannan Huston, Inc., agent for Masthead Road Development II, LLC, is seeking approval of Site Plan for Building Permit from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted, that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Glenn S. Broughton, P.E.
Senior Project Manger
Community Development and Planning Group

GSB/cc
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

June 3, 2010

Mr. David Lindner
10407 4th St. NW
Albuquerque, NM 87114-4465

Re: Journal Center Phase 2 Lot 11-B
Site Plan for Building Permit

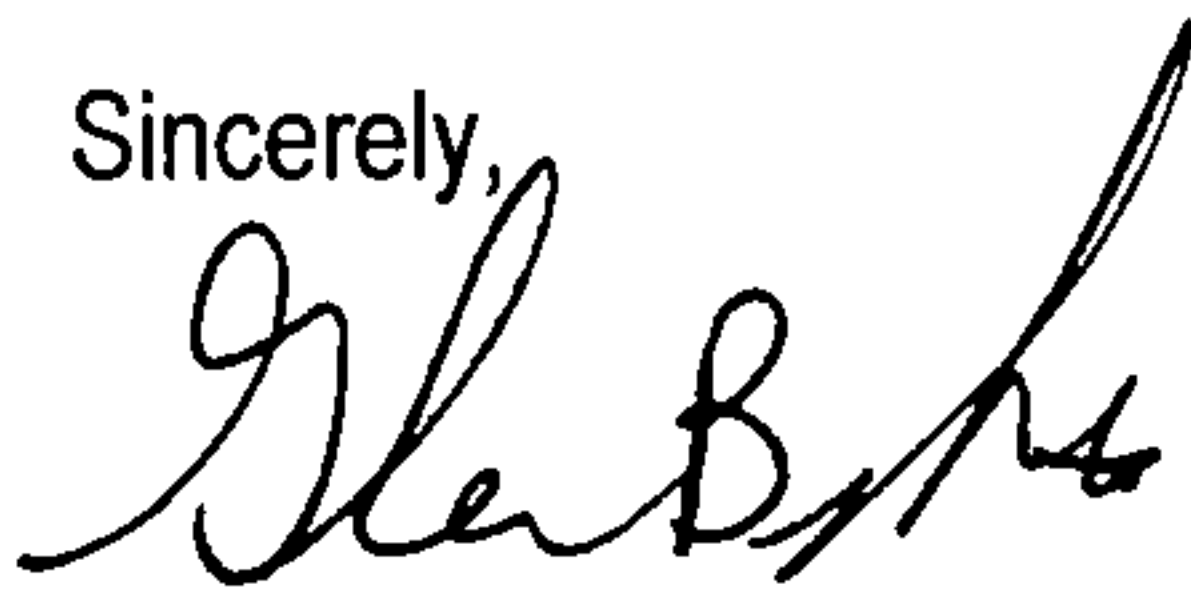
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Sincerely,



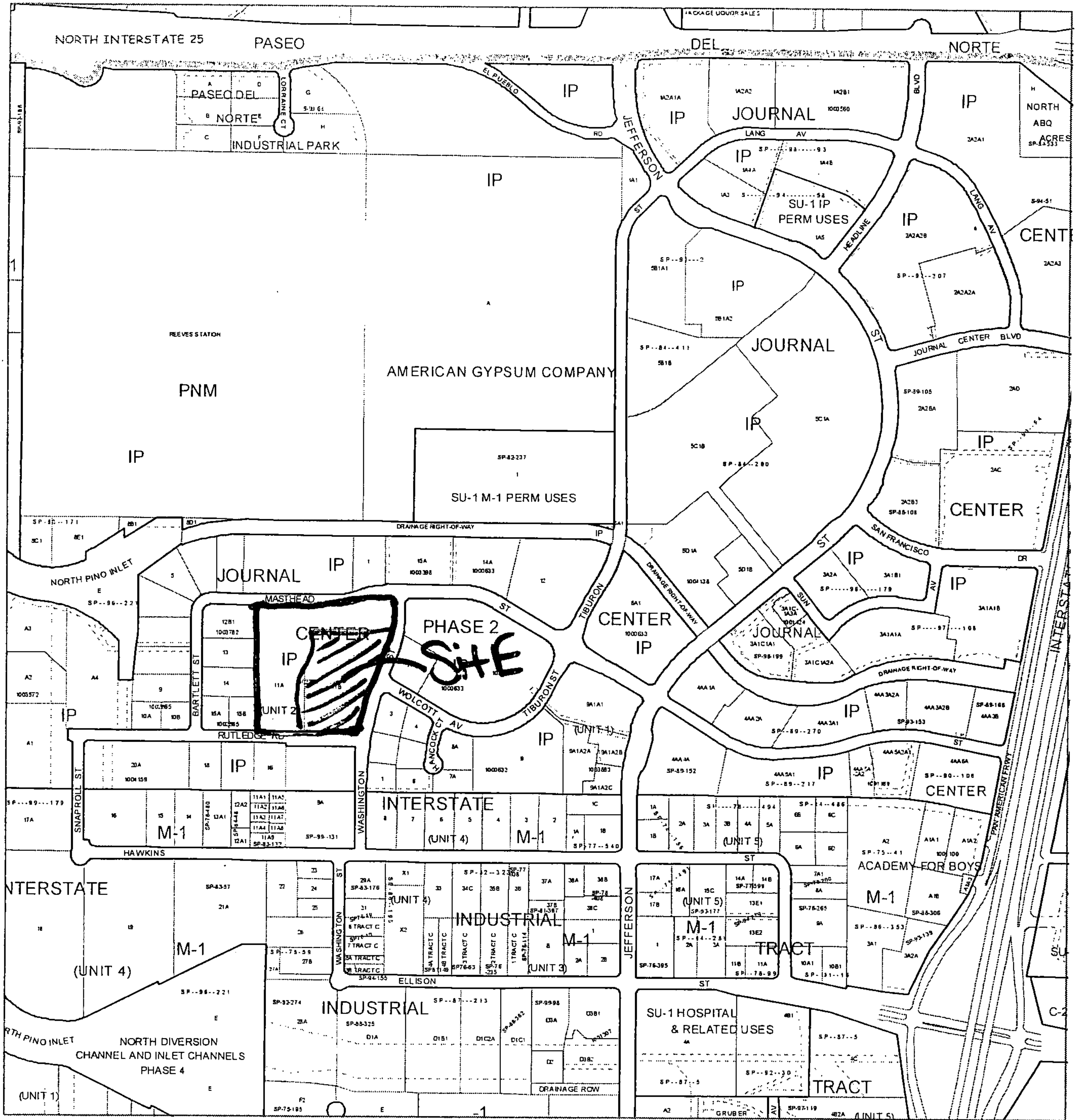
Glenn S. Broughton, P.E.
Senior Project Manger
Community Development and Planning Group

GSB/cc
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



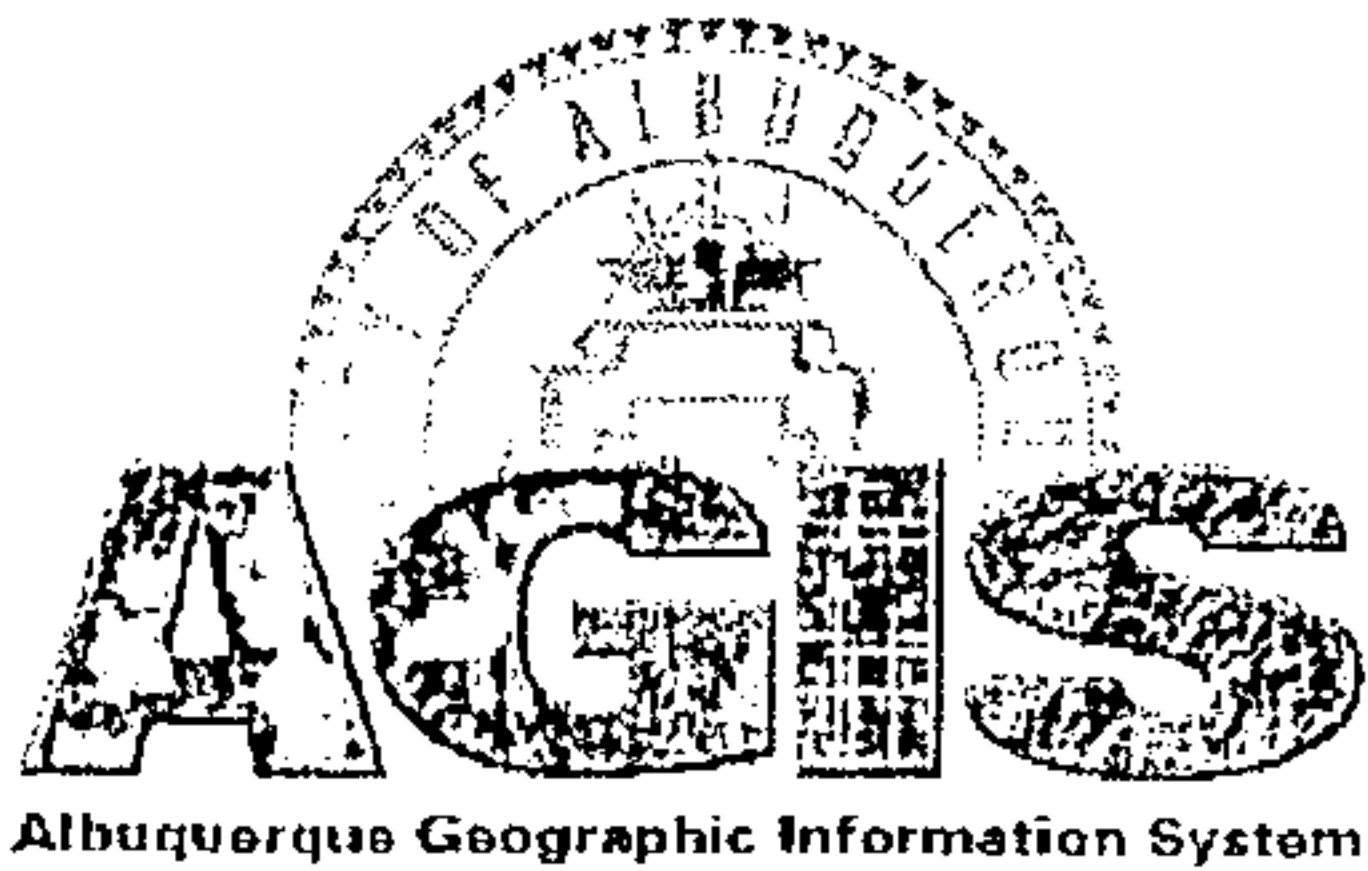
For more current information and more details visit <http://www.cabq.gov/gis>

Zone Atlas Page:

D-17-Z

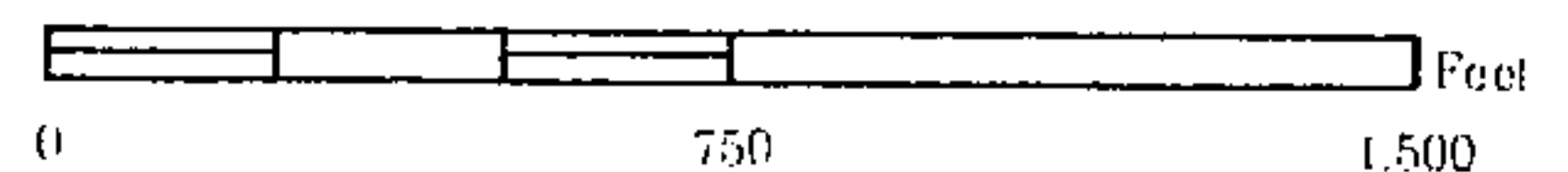
Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Map amended through: 5/1/2006

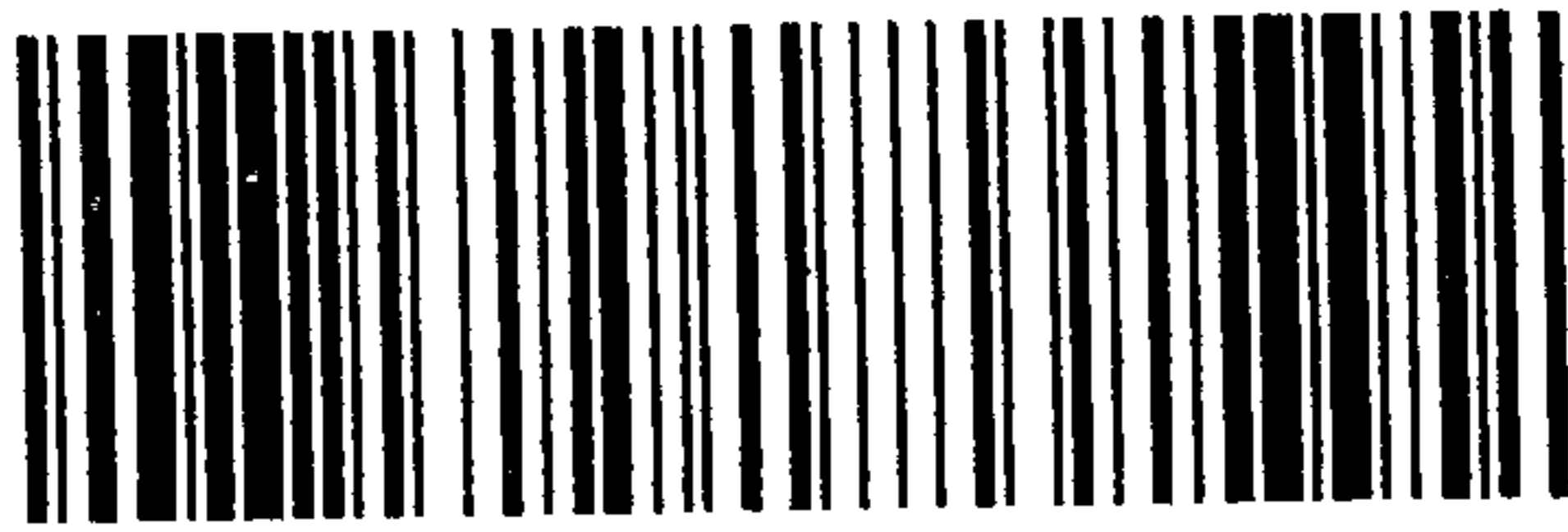
Note: Grey Shading Represents Area Outside of the City Limits



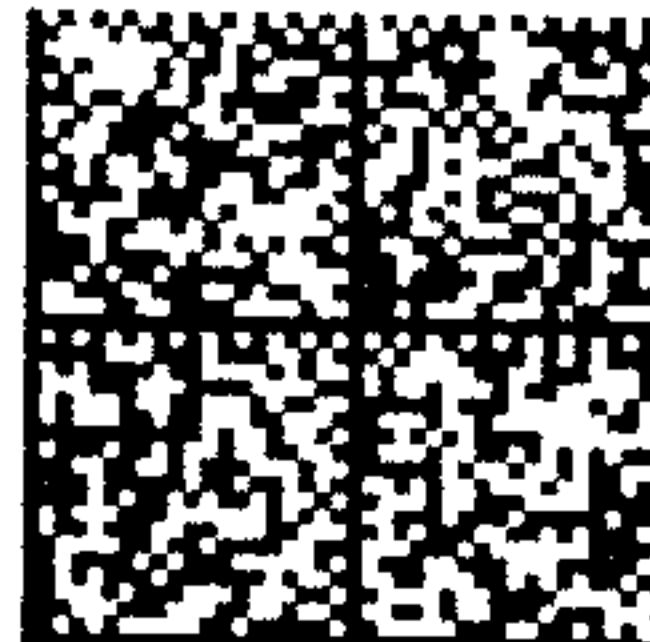
CERTIFIED MAIL

Bohannon Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335



91 7108 2133 3935 6708 60



02 1P \$ 005.54⁰
0003100114 JUN 03 2010
MAILED FROM ZIP CODE 87109

Mr. David Lindner
10407 4th St. NW
Albuquerque, NM 87114-4465

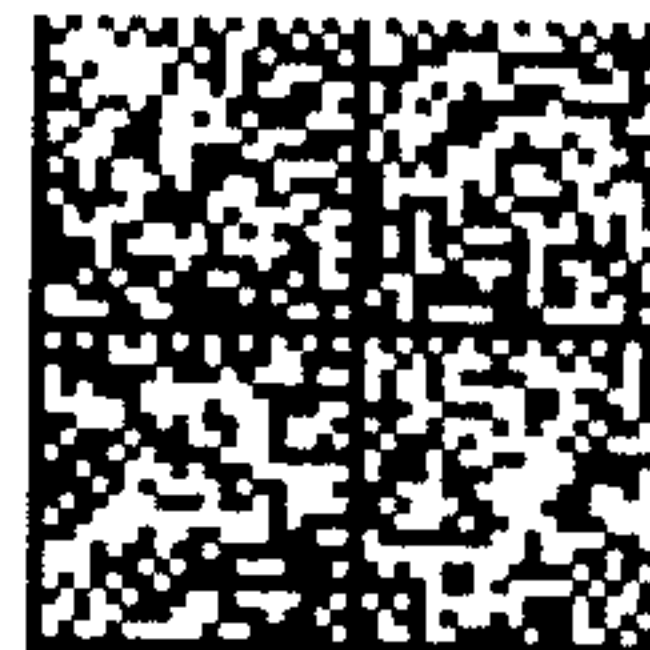
CERTIFIED MAIL

Bohannon Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335



91 7108 2133 3935 6708 6093



02 1P \$ 005.54⁰
0003100114 JUN 03 2010
MAILED FROM ZIP CODE 87109

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, NM 87113-2328

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee X	
	B. Received by (<i>Printed Name</i>)	C. Date of Delivery
1. Article Addressed to:	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
Mr. Steve Wentworth 8919 Boe Lane NE Albuquerque, NM 87113-2328	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
2. Article Number (<i>Transfer from service label</i>)	4. Restricted Delivery? (<i>Extra Fee</i>) <input type="checkbox"/> Yes	
	91 7108 2133 3935 6708 6093	
PS Form 3811, February 2004 Domestic Return Receipt 102595-02-M-1540		

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input type="checkbox"/> Agent <input type="checkbox"/> Addressee X	
	B. Received by (<i>Printed Name</i>)	C. Date of Delivery
1. Article Addressed to:	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
Mr. David Lindner 10407 4 th St. NW Albuquerque, NM 87114-4465	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
2. Article Number (<i>Transfer from service label</i>)	4. Restricted Delivery? (<i>Extra Fee</i>) <input type="checkbox"/> Yes	
	91 7108 2133 3935 6708 6086	
PS Form 3811, February 2004 Domestic Return Receipt 102595-02-M-1540		

APPLICATION NO	29AA-10184	PROJECT NO.	1004556
PROJECT NAME	L-2 FOREST SERVICE - MASTHEAD		
APPLICANT / AGENT	NORMAN	PHONE NO.	855-7607
ZONE ATLAS PAGE	D-17	DATE SUBMITTED	12/03/09

DRB - AA

ONE STOP CASE TRACKING LOG

(This tracking log is for DRB Delegation Actions / Over the Counter Routing)
(rev. 7/03)

TYPE OF APPROVAL	TRANSP DEV	UTILITY DEV	PARKS & REC	HYD DEV (City Engr)	PLANNING	
					CASE PLANNER	DRB CHAIR
SDP-Building Permit / SDP-Subdivision	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____
Administrative Amendments (AA's)	F: 12/03/09 D: _____ F: _____ D: _____ A: 12-7-09	F: 12-7-09 D: _____ F: _____ D: _____ A: 12-8-09		F: 12-8-09 D: _____ F: _____ D: _____ A: 12-8-09	F: _____ D: _____ F: _____ D: _____ A: _____	
Minor Plat / Major Final Plat	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____
Vacation-Private Easement	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____

1004556

FORWARD TO NOLEAN 12-8-09 VS

First Review- Total City Days	
Second Review- Total City Days	
Third Review- Total City Days	
Subtotal	
Total Number of Developer Days (from back of form)	
Total Days	

*Business Days
**Pulled by Agent (P)

F = forwarded
D = disapproved
A = approved

Called Applicant: _____	First Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Second Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Third Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Fourth Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

DRB-AA

APPLICATION NO. 09AA-10184	PROJECT NO. 1004556
PROJECT NAME US FOREST SERVICE - MASTHEAD	
EPC APPLICATION NO.	
APPLICANT / AGENT NORMAN	PHONE NO. 855-7607
ZONE ATLAS PAGE D-17	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>BBB</i>	DATE 12/8/09	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>BBB</i>	DATE 12/8/09	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>NSP</i>	DATE 12/07/09	DATE
COMMENTS:		
<i>APPROVE GATE(S) LOCATIONS</i>		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>N/A</i>	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>12-29-09</i>	DATE <i>OK</i>	DATE
COMMENTS:		
<i>2 gates - paint to match on-site color</i>		

Revised 3/3/04

(Return form with plat / site plan)



Supplemental form

<p>SUBDIVISION</p> <p>___ Major Subdivision action</p> <p>___ Minor Subdivision action</p> <p>___ Vacation</p> <p>___ Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p>___ for Subdivision</p> <p><input checked="" type="checkbox"/> for Building Permit</p> <p>___ Administrative Amendment (AA)</p> <p>___ IP Master Development Plan</p> <p>___ Cert. of Appropriateness (LUCC)</p> <p>STORM DRAINAGE (Form D)</p> <p>___ Storm Drainage Cost Allocation Plan</p>	<p>S Z ZONING & PLANNING</p> <p>___ Annexation</p> <p>___ County Submittal</p> <p>V ___ EPC Submittal</p> <p>___ Zone Map Amendment (Establish or Change Zoning)</p> <p>P ___ Sector Plan (Phase I, II, III)</p> <p>___ Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p>___ Text Amendment (Zoning Code/Sub Regs)</p> <p>___ Street Name Change (Local & Collector)</p> <p>D ___</p> <p>L A APPEAL / PROTEST of...</p> <p>___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
---	---

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Asset Management Solutions PHONE: 505-855-7607
 ADDRESS: 4700 Montgomery NE #200 FAX: 505-837-0633
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: norm@assetmanagementnm.com

APPLICANT: _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: Add 2 traffic control gates to West property line

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. ___ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 11a Plot of Lots 11-A & 11-B Journal Center Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Phase 2
 Existing Zoning: IP Proposed zoning: No change req. MRGCD Map No _____
 Zone Atlas page(s): D-17 UPC Code: 101706313921030706

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? Don't believe so NO BUT CLOSE TO SAN ANTONIO BUFFER @ 1-25
 No. of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): _____
 LOCATION OF PROPERTY BY STREETS: On or Near: NWC Rutledge & Washington
 Between: _____ and _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Norman Ulmeyer DATE 12/2/09
 (Print) Norman Ulmeyer Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09AAA-10184</u>	<u>ASBP PL4</u>	<u>PL4</u>	<u>\$ 45.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$ 45.00</u>

Hearing date N/A
Sandy Handley 12/03/09
 Planner signature / date

Project # 1004556

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) **1** copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Official Notice of Decision
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, and certified mail receipts

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) **1** copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Official Notice of Decision
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- Notifying letter & certified mail receipts addressed to owners of adjacent properties
- Office of Neighborhood Coordination inquiry response, notifying letter, and certified mail receipts

**WIRELESS TELECOM FACILITY (WTF)- FREE-STANDING, COLLOCATION or OTHER TYPE (AA04)
(EXCEPT FOR COLLOCATION OF A NON-CONCEALED WTF ON A STRAIGHT-ZONED SITE, WHICH GOES TO THE ZONING FRONT COUNTER AT THE BUILDING SERVICES CENTER/ EAST SIDE)**

- Letter describing the request and discussion of its how it relates to the WTF Ordinance (O-06-40)
- Letter of authorization from the property owner if application is submitted by an agent
- Fee (see fee schedule-included with application)
- Any relevant file numbers (case history of previous development applications) must be listed on cover application
- Copy of EPC Official Notice of Decision, if the subject site went through the EPC process
- Proposed Site Plan set: cover sheet, notes/photo sheet, site plan sheets, elevation sheets, landscape plan (if free-standing), and survey sheet(s) (**3** copies- 11" x 17")
- For collocation on public utility pole: the PNM approved site plan set for the proposed WTF (**1** copy)
- For free-standing WTFs: photo simulation- before and after proposed WTF
- Site Plan sheets must be stamped by a registered engineer or architect.
- Copy of approved Site Plan being amended by adding the proposed WTF, if applicable (**1** copy)
- Zone Atlas maps- 1 showing Zoning and 1 showing Land Use, with the subject site clearly outlined and indicated
- For free-standing WTFs: Evidence demonstrating that collocation possibilities were considered, consisting of a written response to §14-16-3-17(A)(6)(a through e) and any supporting materials such as engineering maps
- For collocation on public utility pole: written discussion of items a through e in §14-16-3-17(A)(14)
- Notarized statement re: WTF capacity, number and types of proposed antennas and if another user can be accommodated on proposed WTF [see §14-16-3-17(A)(13)(d)(2)]
- Affidavit (notarized statement) re: explanation of factual basis for the proposed WTF's engineering requirements [see §14-16-3-17(A)(13)(d)(3)] **Note: Notarized statement and affidavit must be on separate pages.**
- Letter of intent re: shared use of proposed WTF if reasonable conditions are met [§14-16-3-17(A)(13)(e)]
- For free-standing WTFs: Distance to the nearest existing free-standing WTF and the WTF owner's name [§14-16-3-17(A)(13)(d)(5) and (A)(17)]
- Office of Neighborhood Coordination (ONC) inquiry forms, response based on ¼ mile radius from subject site [§14-16-3-17(A)(13)(f)]
- Copy of letters to both contacts for each neighborhood association(s), with certified return receipts
- AGIS list of property owners within 100 feet of the subject site and copy of letter sent to each property owner [§14-16-3-17(A)(13)(f)]

NOTE: There are additional requirements for WTFs to be located on City of Albuquerque property. Please contact Catalina Lehner at (505) 924-3935 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in rejection of this application and/or deferral of actions.

Norman Ullemeyer

 Applicant's Name (please print!)
Norman Ully

 Applicant's Signature
 12/2/09

 Date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers:
09AA - 10184

Sandy Handley

 Planner's Signature/ Date
 Project #: 1004556



December 2, 2009

City of Albuquerque

RE: Request to Install Traffic Control Gates
3900 Masthead NE
Albuquerque, NM

Dear Department of Transportation and Review Board,

On behalf of the Owners, Masthead Road Development LLC, Asset Management Solutions is the managing agent for the above referenced property. Due to recent vandalism and theft in our parking lots, our tenant, United States Forest Service, has installed License Plate cameras to monitor the two easterly access points. Therefore, in order to control property access, would like to request your approval to install two traffic control gates on the two most westerly drives.

• Thank you for your prompt consideration of our request. If you have any questions, I can be reached on my cell phone (505) 573-0435.

Sincerely,
Asset Management Solutions as managing agents for Masthead Road Development, LLC

Norman Ullemeyer

Norm Ullemeyer
Director

Cc:



December 2, 2009

Norm Ullemeyer
Asset Management Solutions
4700 Montgomery NE, Suite 200
Albuquerque, NM 87109

RE: Authorization to Represent Masthead Road Development
Administrative Zoning Request

Dear Norm,

As a managing member of Masthead Road Development, we hereby authorize Asset Management Solutions to act as our agent to negotiate the installation of two access control gates on the two westerly access drives.

If anyone has any questions, I can be reached at (505) 855-7600.

Sincerely,
Masthead Road Development, LLC

A handwritten signature in black ink, appearing to read "Scott Throckmorton", is written over the typed name and title.

Scott Throckmorton
Managing Member



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 14, 2006

4. Project # 1004556

06DRB-00708 Major-Amended SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

At the June 14, 2006, Development Review Board meeting, the amended site plan for building permit was approved with final sign off delegated to Planning for private sanitary sewer easements on site plan and landscape plan, Journal Center Architectural Review Committee approval letter, 15-day appeal period and 3 copies of the site plan.

If you wish to appeal this decision, you must do so by June 29, 2006, in the manner described below.

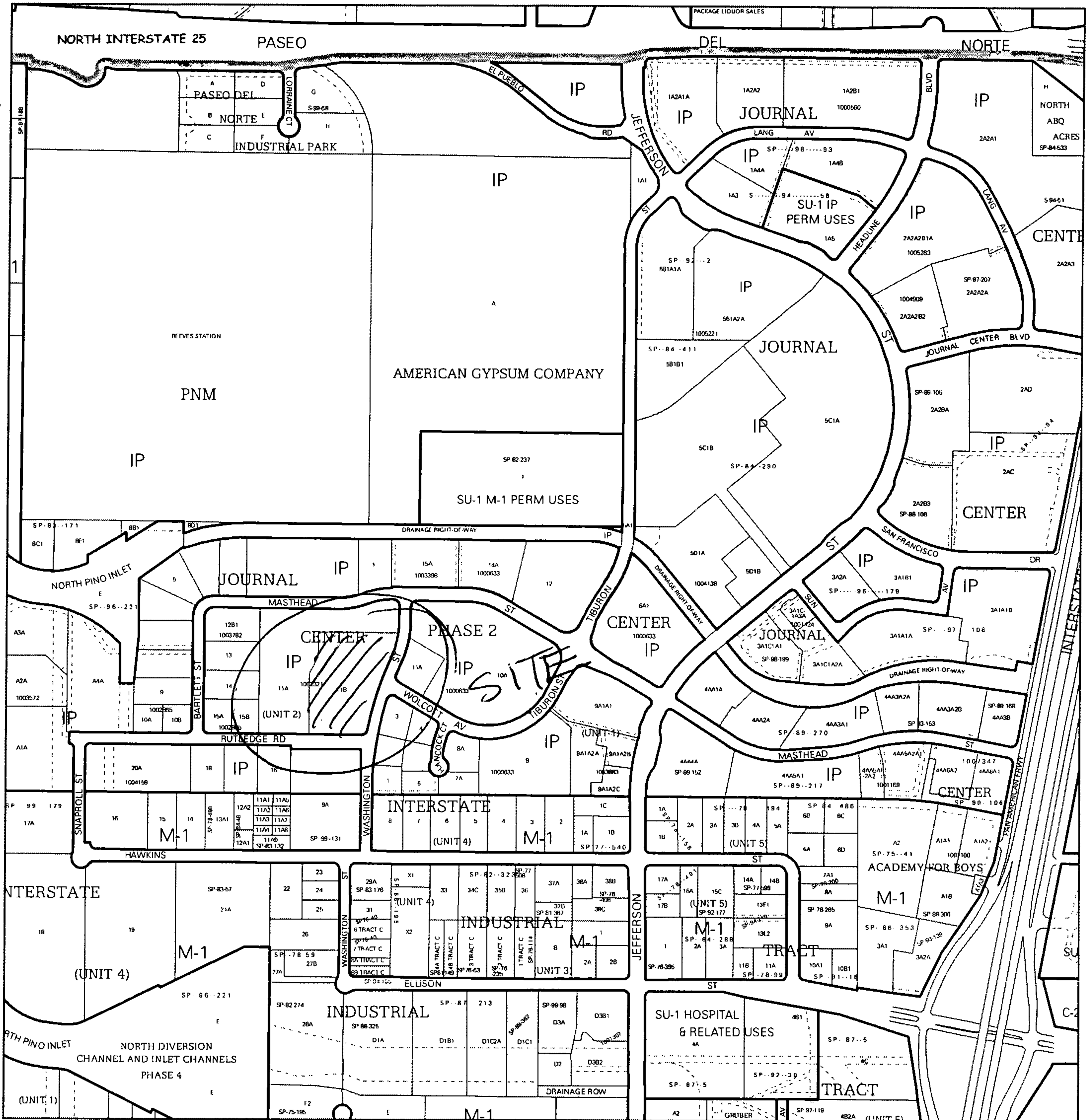
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

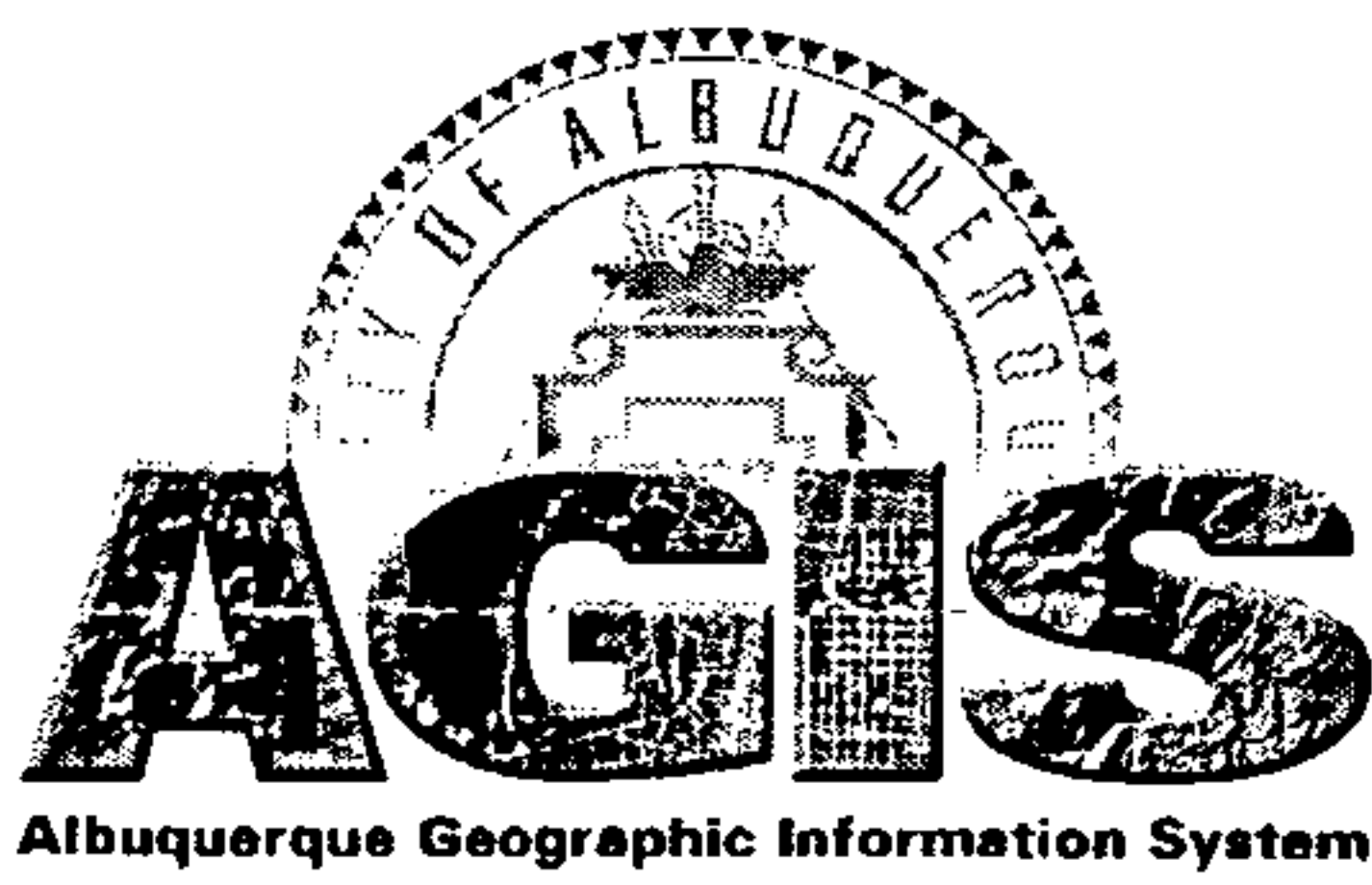


Sheran Matson, AICP, DRB Chair

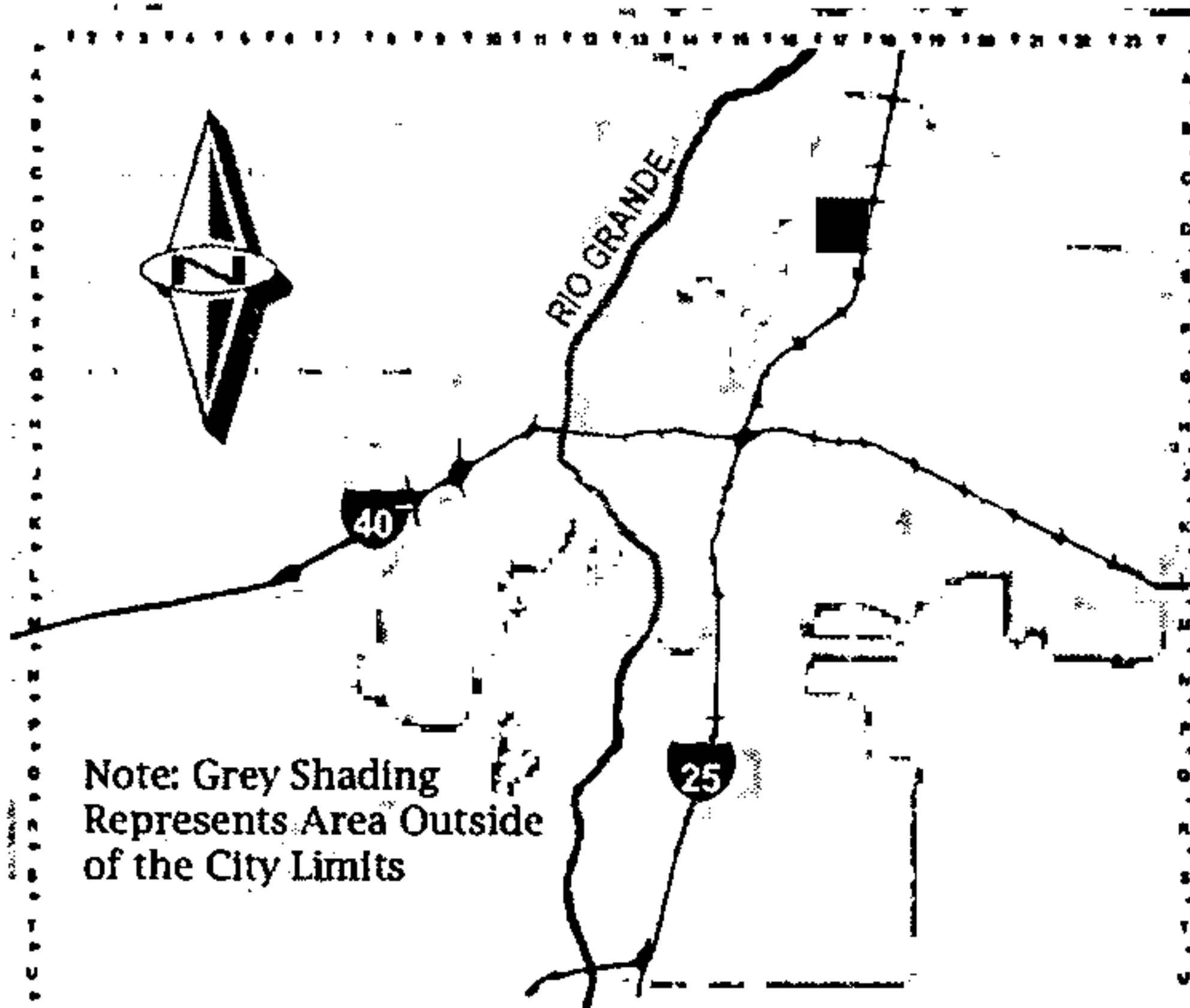
Cc: Bohannan Huston Inc., 7500 Jefferson NE, 87109
Masthead Road Land Partners LLC, 6300 Riverside Plaza Ln NW, Ste 200,
87120
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/5/2009



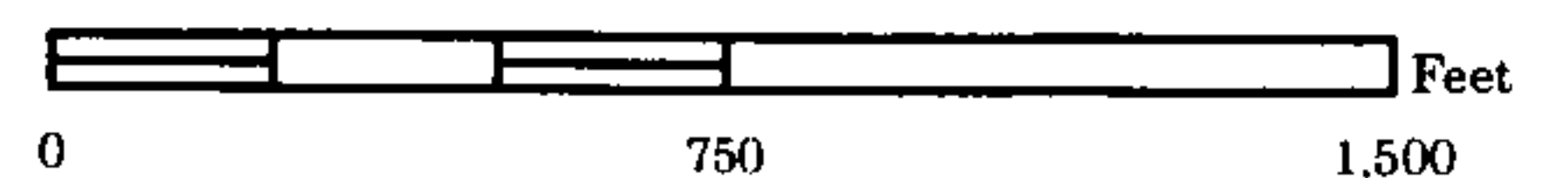
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

D-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0301
CONNECTION TEL 9p7987988
SUBADDRESS
CONNECTION ID
ST. TIME 05/26 10:01
USAGE T 01'06
PGS. 3
RESULT OK



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: Stephanie Walton

FAX NUMBER: 798-7988 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: 5/25/06

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1004556 APPLICATION NO: _____

Journal Center ASPBP

My comments only



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 14, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000418
06DRB-00705 Major-Two Year SIA

LEGACY CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF VICTORY LOVE FELLOWSHIP**, zoned SL-1 for Church and related facilities, located on CENTRAL AVE NW, between AIRPORT RD NW and UNSER BLVD NW containing approximately 15 acre(s). [REF: 00DRB-01145, 04DRB-00824, 03EPC-01471] (K-10)

No objection to the SIA extension.

Project # 1000945
06DRB-00710 Major-Two Year SIA

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for SCOTT G. COLE request(s) the above action(s) for all or a portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on EAGLE ROCK NE, between SAN PEDRO NE and LOUISIANA BLVD NW containing approximately 1 acre(s). [REF: DRB-99-75] (C-18)

No objection to the requested two year extension.

Project # 1003403
06DRB-00707 Major-Two Year SIA

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on WOODMONT AVE NW, between RAINBOW BLVD NW and OAKRIDGE ST NW containing approximately 17 acre(s). [REF: O4DDRB01493] (C-9)

No objection to the requested SIA extension.

Project # 1004556
06DRB-00708 Major-Amended SiteDev Plan
BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

1. The title on the Site Plan Sheet should read "Amended Site Development Plan for Building Permit".
2. Planning will take delegation until the Journal Center ARC approval letter is provided for the project file.
3. The Site Plan shows a Keyed Note 20 but there is no note indicating what the number represents.

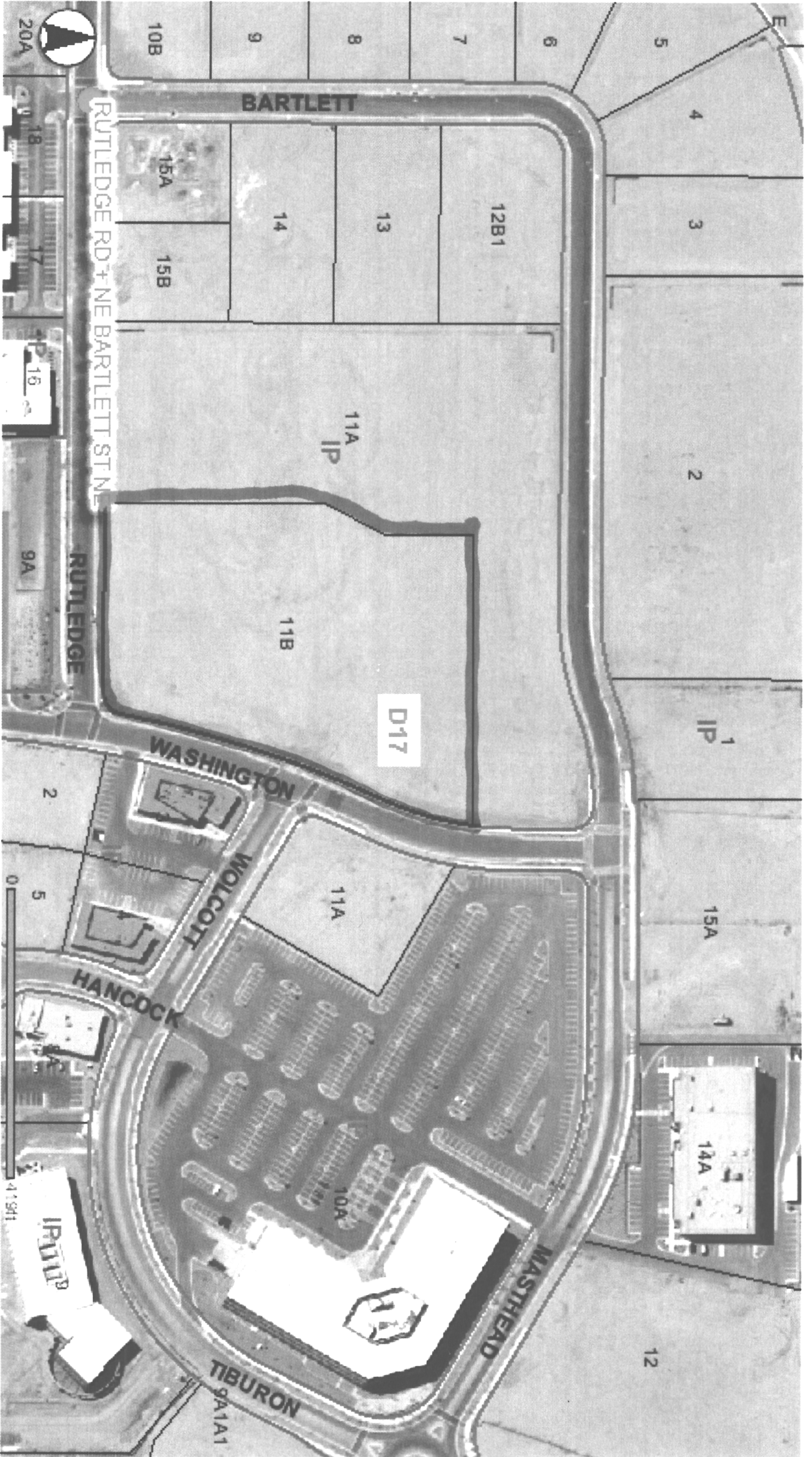
4. All existing utility easements, rights of way should be shown on the Site Plan & Landscape Plan Sheets per the SPBP Checklist.

Once these comments are satisfied, Planning will sign the amended site plan.

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 29, 2006.



#4
 #1004556
 6/14/86



<p>SUBDIVISION</p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input checked="" type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>Supplemental form S</p> <p>V</p> <p>P</p> <p>L</p>	<p>Supplemental form ZONING & PLANNING</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment</p> <p>APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>	<p>Z</p> <p>A</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>MASTHEAD ROAD LAND PARTNERS, LLC.</u>	PHONE: <u>889-3061</u>
ADDRESS: <u>6300 RIVERSIDE PLAZA LANE NW SUITE 200</u>	FAX: <u>837-1061</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87120</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>BOHANNAN HUSTON INC.</u>	PHONE: <u>823-1000</u>
ADDRESS: <u>7500 JEFFERSON NE</u>	FAX: <u>798-7988</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87109</u>	E-MAIL: _____

AMENDED

DESCRIPTION OF REQUEST: SITE PLAN FOR BUILDING PERMIT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 11-B Block: _____ Unit: _____

Subdiv. / Addn. JOURNAL CENTER PHASE 2 UNIT 2

Current Zoning: IP Proposed zoning: _____

Zone Atlas page(s): D-17 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 10.0496 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101706316420930706 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: RUTLEDGE RD NE

Between: MASTHEAD ST. NE and WASHINGTON ST. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB# 1002321

050RB-01781

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE *Bruce Stidworthy* DATE 5/19/2006

(Print) BRUCE STIDWORTHY Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

<p><input checked="" type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>06DRB</u> - <u>00708</u></p> <p>_____ - _____</p> <p>_____ - _____</p> <p>_____ - _____</p> <p>_____ - _____</p> <p>Hearing date <u>6-14-06</u></p>	<p>Action</p> <p><u>ASBP</u></p> <p><u>CMF</u></p> <p><u>ADU</u></p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p><u>P(2)</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Fees</p> <p>\$ <u>255.00</u></p> <p>\$ <u>20.00</u></p> <p>\$ <u>75.00</u></p> <p>\$ _____</p> <p>\$ _____</p> <p>Total</p> <p>\$ <u>350.00</u></p>
---	---	--	---	--

Ki Sis 5/19/06

Planner signature / date

Project # 1004556

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

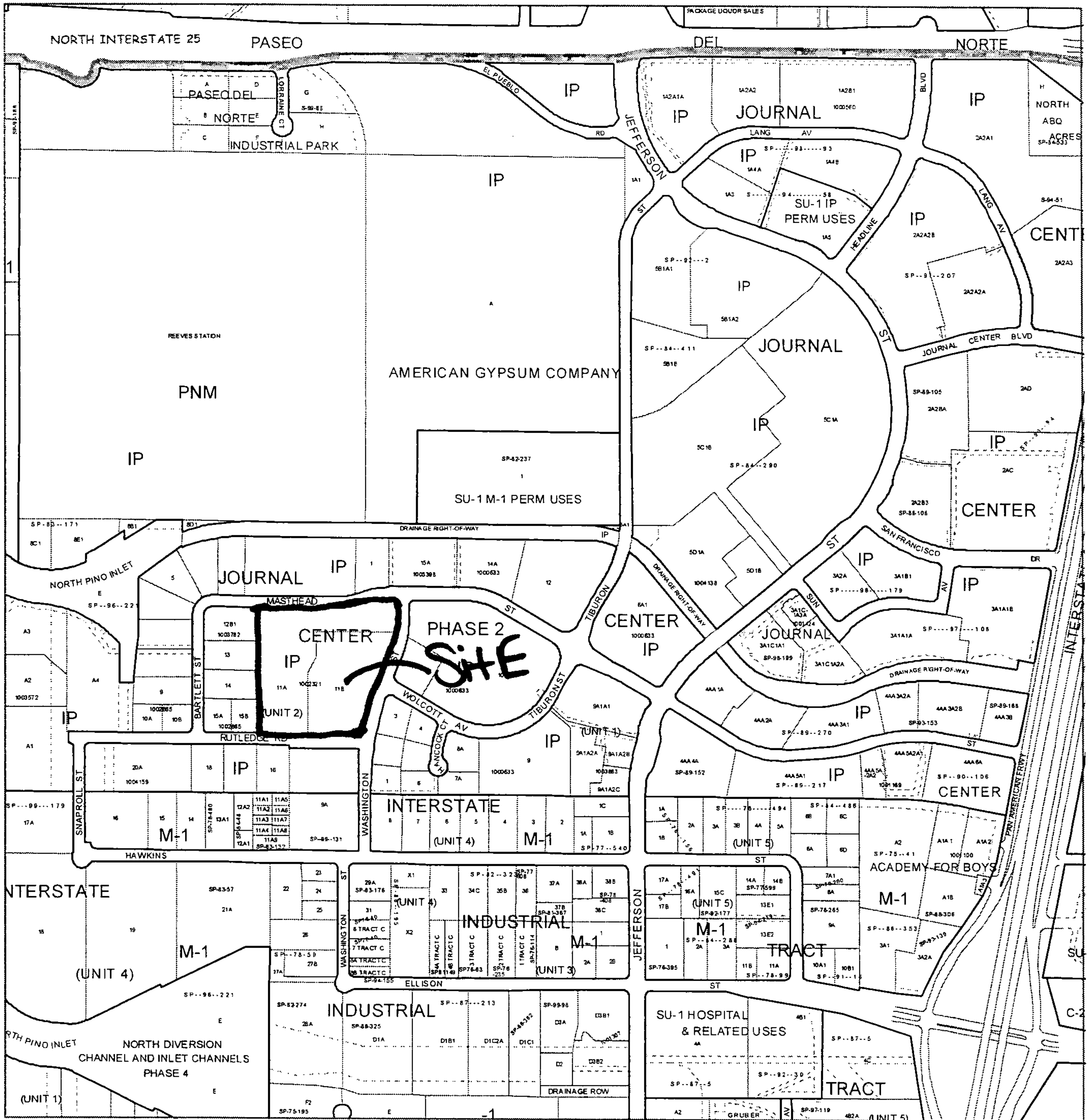
Bruce Stidworthy Applicant name (print)
Bruce Stidworthy Applicant signature / date
 5/19/2006



Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
06DRB - 00708

Kim Siss 5/19/06
 Planner signature / date
Project # 1004556



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 5/1/2006

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

May 16, 2006

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Masthead Office Complex at Journal Center 2, Site Plan for Building Permit Amendment
Journal Center, Phase 2, Unit 2, Lot 11-B, Approximately 4.4 acres DRB# 1002321

Dear Sheran:

Enclosed for approval of a Site Development Plan for Building Permit for the referenced project are copies of the following information:

- Completed Application to the Development Review Board
- Completed Checklist
- Submittal Fee in the amount of \$350.00
- Twenty Four (24) copies of the Site Plan for Building Permit
- Zone Atlas showing location of subject property

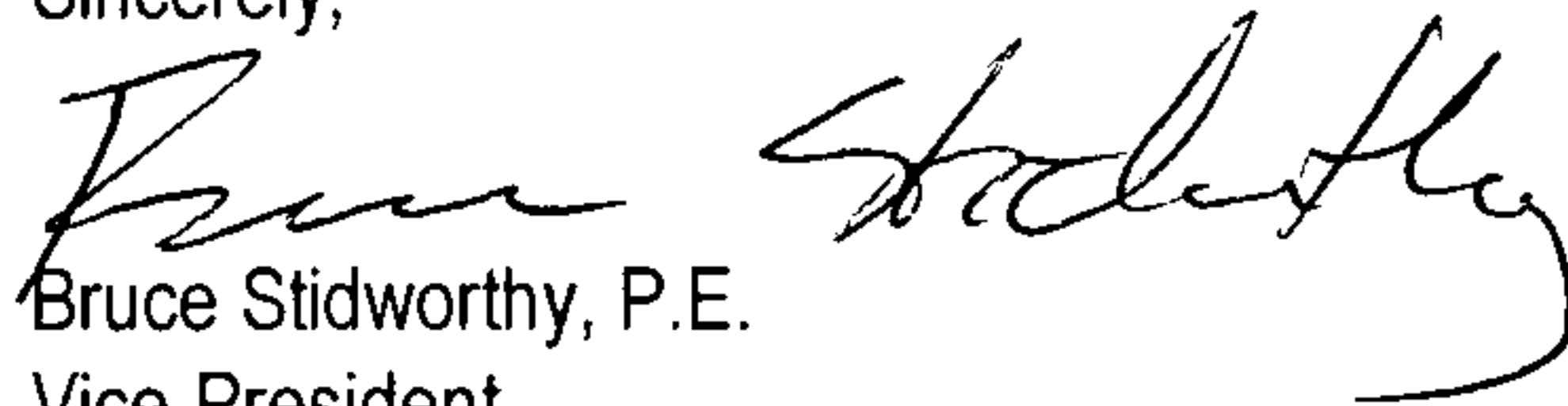
This site is currently undeveloped and is located at the southwest corner of Masthead and Washington in the Journal Center. This site plan represents the second phase of development on Tract 11. Construction of the first phase was recently completed.

The project consists of a 3-story office building of approximately 96,000 square feet. A site plan for building permit for this site was previously approved by the DRB for a very similar project except that the previous building was 2 story and about 61,000 square feet. The building is being constructed by Reid & Associates, a design-build contractor. The site includes a sculpture of an Elk located within a large landscaped island near the main entrance to the building. Also shown on the site plan is a cooling tower to be located on the east side of the building. The cooling tower will be screened by a solid wall which is architecturally compatible with the building.

This Site Development Plan has been prepared in accordance with City Ordinances and Journal Center guidelines. The previous site plan was approved by both of the Journal Center ARC's, and the modifications proposed with this submittal have been discussed and preliminarily agreed to. The site plan has been submitted to both of the Journal Center ARCs and we are expecting their final approval any day – we will forward their approval letter as soon as we receive it.

Please place this item on the next available agenda. If you have any questions or require further information, please contact me.

Sincerely,



Bruce Stidworthy, P.E.
Vice-President
Community Development and Planning Group

ENCLOSURE

cc Mike Case, Reid & Associates

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Masthead Road Development LLC DATE OF REQUEST: 5/19/06 ZONE ATLAS PAGE(S): D-17

CURRENT:

ZONING IP

PARCEL SIZE (AC/SQ. FT.) 96,000 sq. ft.

LEGAL DESCRIPTION:

LOT OR TRACT # 11A-11B BLOCK # _____

SUBDIVISION NAME Journal Center Phase 2 Unit 2

REQUESTED CITY ACTION(S):

- | | | |
|----------------|---------------------|--|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] ACCESS PERMIT [] |
| | | C) AMENDMENT [] OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT
- NEW CONSTRUCTION
- EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

OF UNITS: _____
BUILDING SIZE: _____ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Stephanie Walton DATE 5-19-06
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO [] BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

Notes: TIS IS REQUIRED PRIOR TO 5/26 OR APPLICANT WILL DEFER

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

5-19-06
DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO []

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

APPLICANT

DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Ram Steenberg 5/17/06
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type) → Keynote refers to lighting plans
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable. → arch plans?

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 358 provided: 332 * see note in site plan
 - Handicapped spaces required: 12 provided: 12
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 20 provided: 21
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

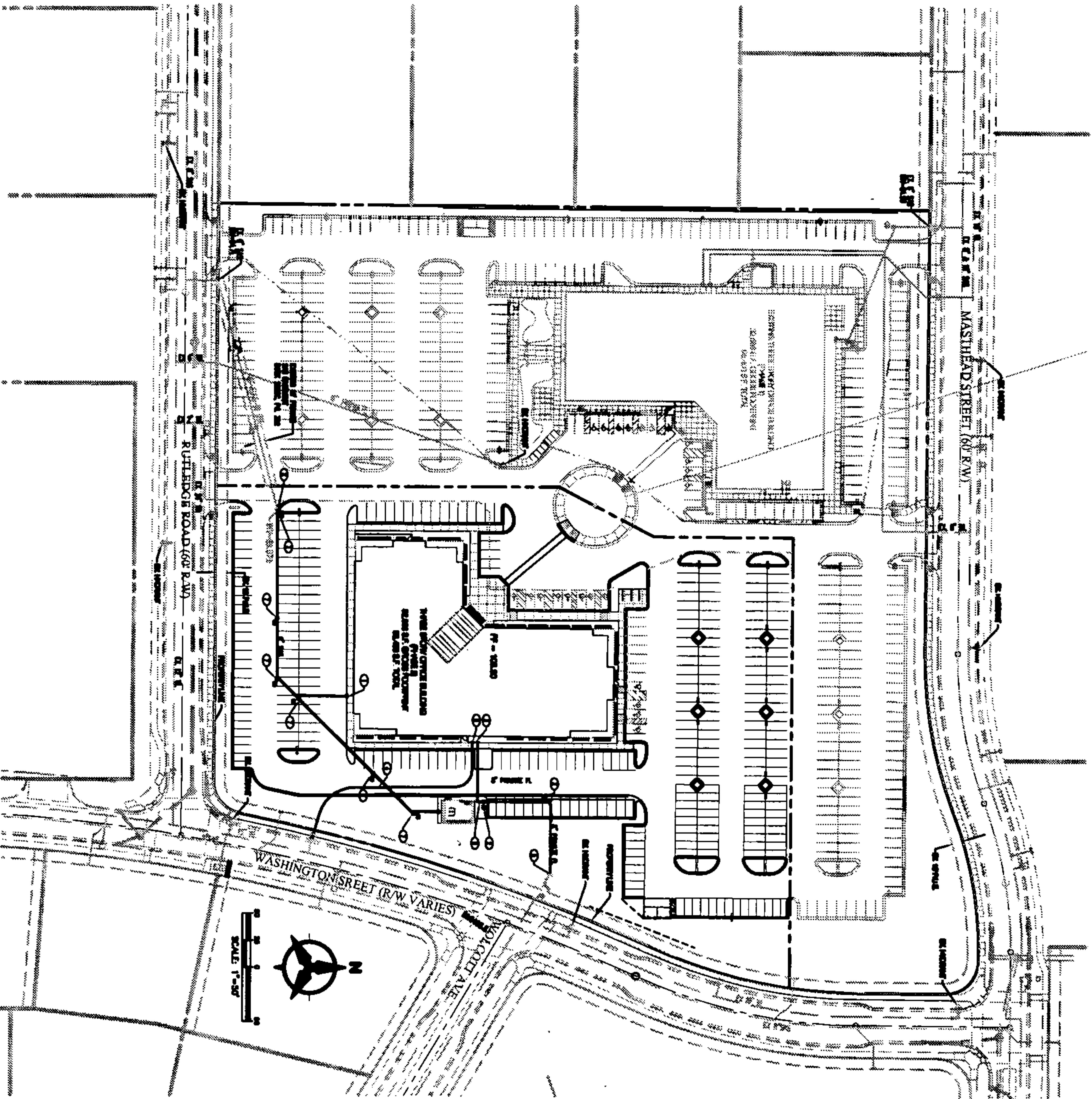
A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

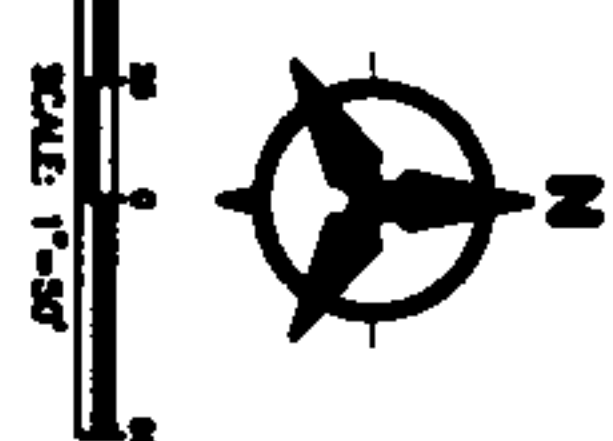
Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



- UTILITY RELATED NOTES**
1. 6" SANITARY SEWER MAIN
 2. NEW 6" SANITARY SEWER MAIN
 3. 1" FERRULE FREE LINE SERVICE FOR BUILDING EQUIPMENT. EQUIPMENT PROVIDED TO BE INSTALLED UNDER GEOTECHNICAL SOIL. NOT TO BE LOCATED ON BUILDING WALL.
 4. NEW 1/2" METEOR WATER SERVICE. CONNECT TO EXISTING 1" WATER LINE SIDE WALK.
 5. CONNECTION TO EXISTING 6" FREE LINE GAS.
 6. NEW 1/2" CONDENSATE WATER SERVICE TO BUILDING EQUIPMENT PROVIDED SHALL BE UNDER GEOTECHNICAL SOIL.
 7. SANITARY SEWER CLEANOUT
 8. CONNECT TO EX. 6" SAN. MAIN PROVIDED TO SEE SHEET PLANS 1
 9. POST CONNECTION VALVE

LEGEND

	PROPERTY LINE
	12" F. SANITARY SEWER & SERVICE
	6" F. SANITARY SEWER & SERVICE
	6" F. GAS
	6" F. WATER MAIN
	1" F. WATER
	1" F. CONDENSATE
	1" F. SANITARY SEWER CLEANOUT
	1" F. SANITARY SEWER
	1" F. SANITARY SEWER SERVICE
	1" F. SANITARY SEWER SERVICE



Bohannon & Houston
 Chartered | 700 Johnson St. NE | Albuquerque, NM 87102-4000
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

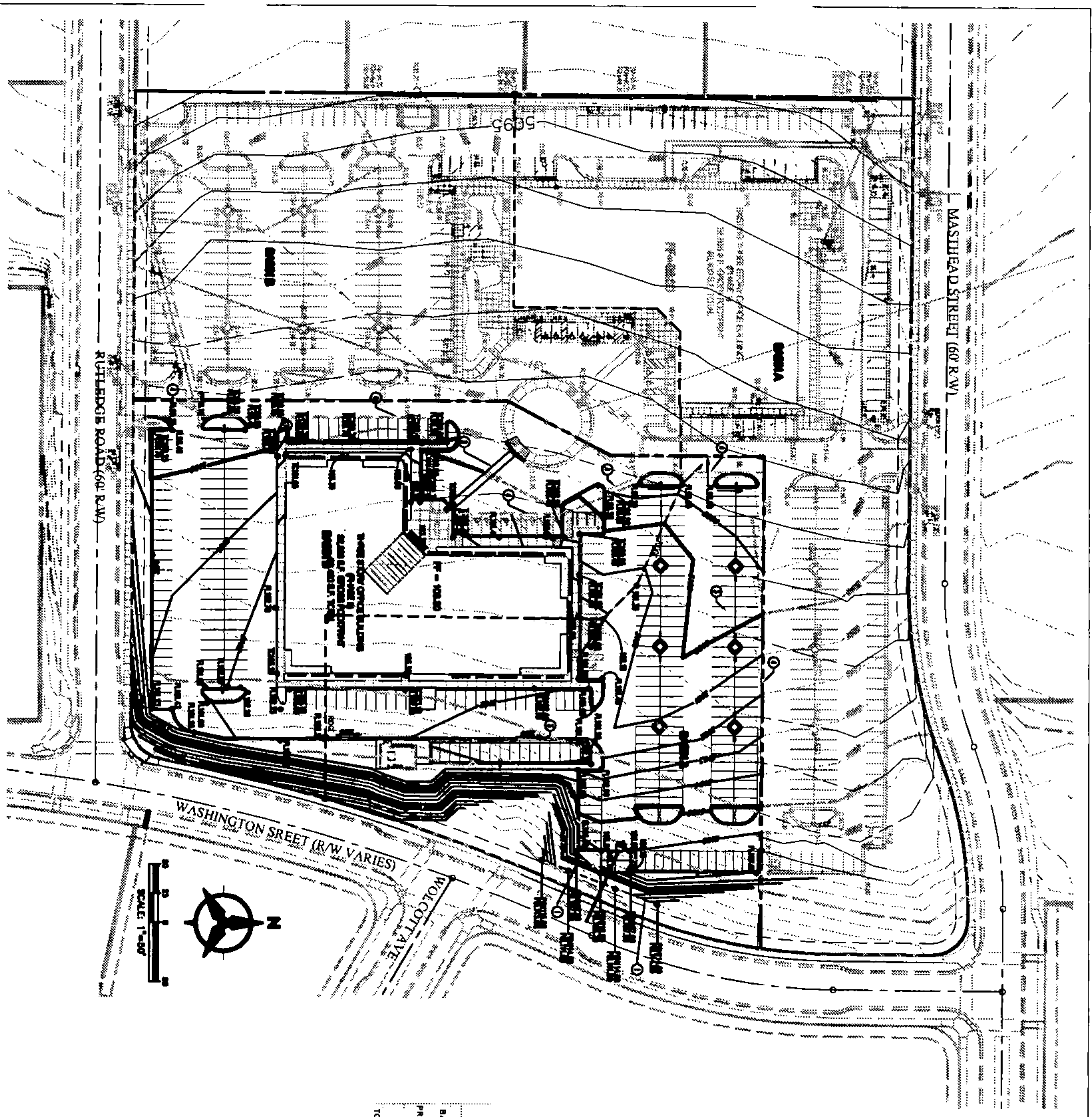
NCA
 ARCHITECTS - PLANNERS - IA
 1308 RIO GRANDE BUILDING
 ALBUQUERQUE, NM 87104
 505-255-5100 505-255-5515 FAX

ALBUQUERQUE NEW MEXICO
MASTHEAD OFFICE COMPLEX AT JOURNAL CENTER 2
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT- Utility Plan

NO.	DATE	DESCRIPTION

AS95
 MAY 17, 2005
C3.0

Prepared by *[Name]* for the Utility Permit. Utility Plan.
 May 17, 2005. 10:00 AM
 Printed by 2005



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this submittal is to provide a final Drainage Management Plan for development of the Masthead Office Complex at Journal Center 2 - Phase 2 located in the Journal Center, Phase 2 (Lot 11) in NE Albuquerque.

II. SITE LOCATION
 The site is currently located in the Journal Center, Phase 2, Lot 11 (11-1-1-11) in NE Albuquerque. The site is bounded by Washington Street to the north, Ruffledge Road to the east, and Wolcott Ave to the south.

III. SITE TOPOGRAPHY
 The site topography is relatively flat with a slight slope from north to south. The existing ground surface is shown on the attached site plan.

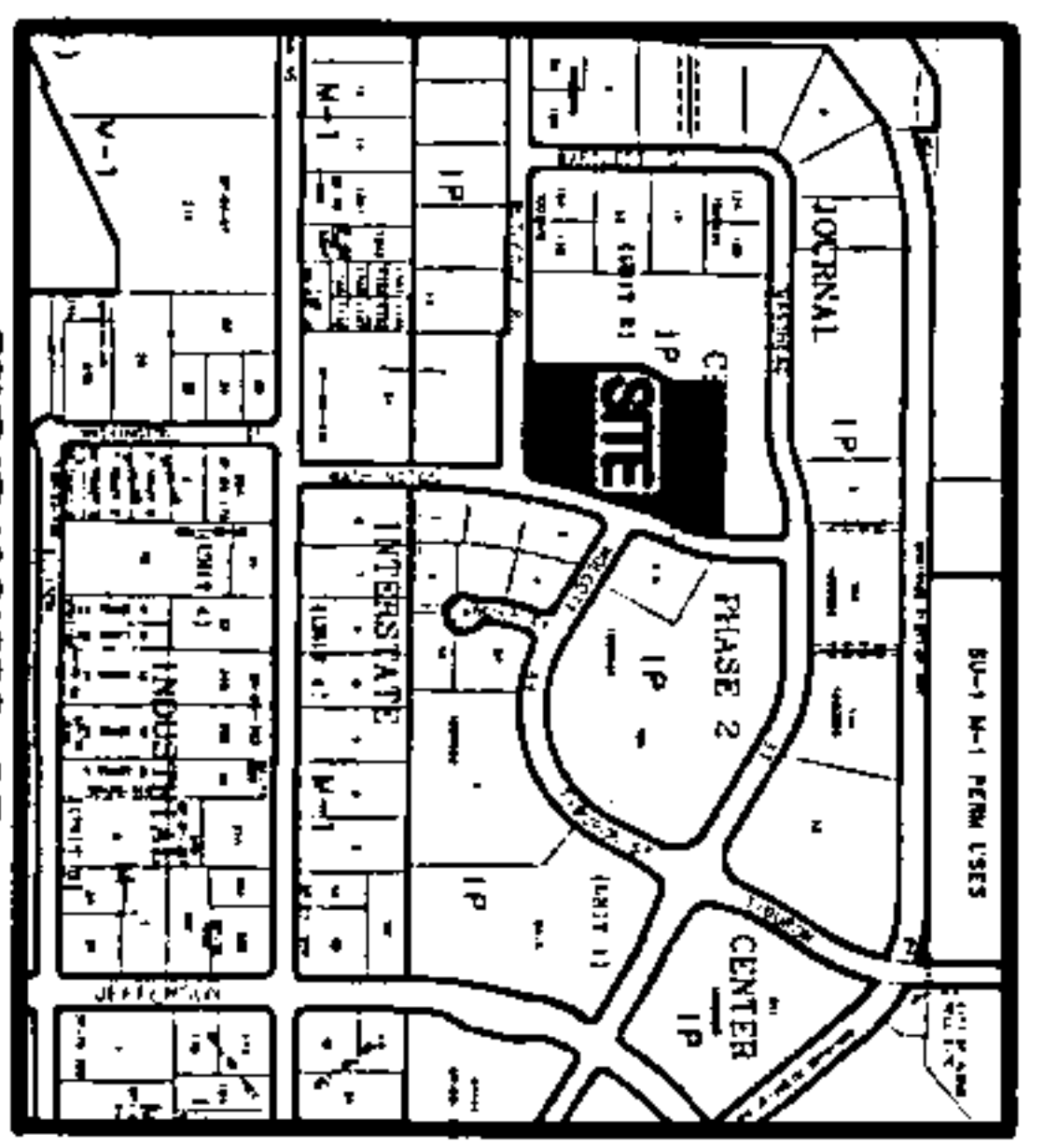
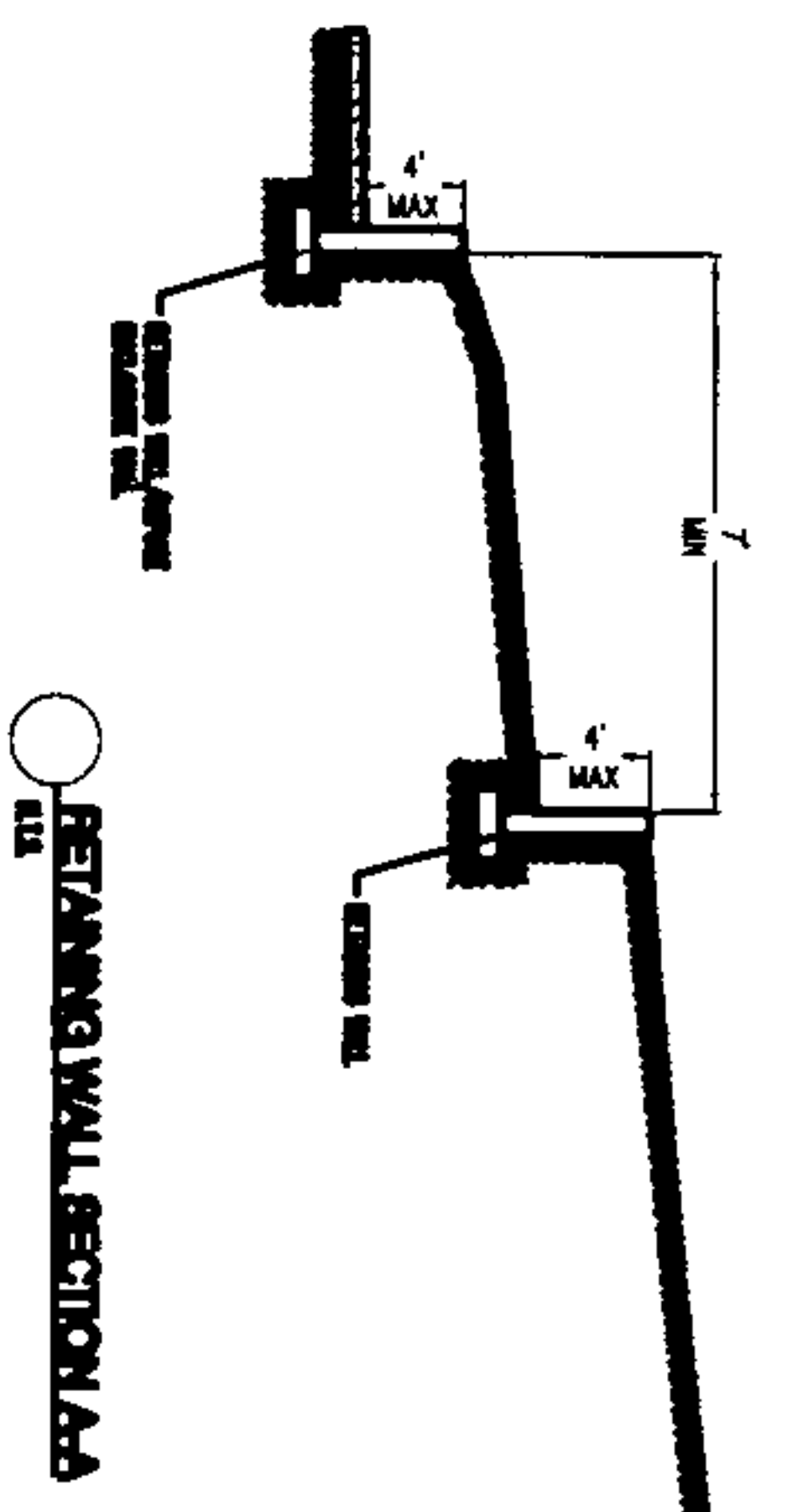
IV. EXISTING HYDROLOGIC CONDITIONS
 The surrounding area is undeveloped and the surface water is collected and flows to the south. The site is currently under construction. The site plan shows the proposed drainage system and the location of the stormwater management facilities.

V. PROPOSED HYDROLOGIC CONDITIONS
 The proposed drainage system for this site is based on the existing hydrologic conditions. The proposed system includes a stormwater management facility consisting of a detention pond and a stormwater treatment facility. The proposed system is designed to manage the stormwater runoff from the site and to protect the surrounding environment.

VI. CONCLUSION
 The drainage management plan provides for grading and drainage systems which are capable of safely passing the 100 year storm and which meet city requirements and are in compliance with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting building permit approval.

US FOREST SERVICE BUILDING
 Proposed Conditions Storm Data Table

BASIN ID	Area (SQ FT)	Land Treatment Percentages	Q(10)	Q(100)	WT E (inch)	V(100) (CF)	V(10) (CF)
A	1,000	10%	4.42	24.32	1.88	20,669	4,687
B	1,000	10%	4.42	24.32	1.88	20,669	4,687
C	1,000	10%	4.42	24.32	1.88	20,669	4,687
D	1,000	10%	4.42	24.32	1.88	20,669	4,687
TOTAL	4,377.84		4.42	44.43	3.81	71,988.48	7,188



- LEGEND**
- 1. 1" = 50' GRADE
 - 2. 2" = 10' GRADE
 - 3. 4" = 20' GRADE
 - 4. 6" = 30' GRADE
 - 5. 8" = 40' GRADE
 - 6. 10" = 50' GRADE
 - 7. 12" = 60' GRADE
 - 8. 14" = 70' GRADE
 - 9. 16" = 80' GRADE
 - 10. 18" = 90' GRADE
 - 11. 20" = 100' GRADE
 - 12. 22" = 110' GRADE
 - 13. 24" = 120' GRADE
 - 14. 26" = 130' GRADE
 - 15. 28" = 140' GRADE
 - 16. 30" = 150' GRADE
 - 17. 32" = 160' GRADE
 - 18. 34" = 170' GRADE
 - 19. 36" = 180' GRADE
 - 20. 38" = 190' GRADE
 - 21. 40" = 200' GRADE
 - 22. 42" = 210' GRADE
 - 23. 44" = 220' GRADE
 - 24. 46" = 230' GRADE
 - 25. 48" = 240' GRADE
 - 26. 50" = 250' GRADE
 - 27. 52" = 260' GRADE
 - 28. 54" = 270' GRADE
 - 29. 56" = 280' GRADE
 - 30. 58" = 290' GRADE
 - 31. 60" = 300' GRADE
 - 32. 62" = 310' GRADE
 - 33. 64" = 320' GRADE
 - 34. 66" = 330' GRADE
 - 35. 68" = 340' GRADE
 - 36. 70" = 350' GRADE
 - 37. 72" = 360' GRADE
 - 38. 74" = 370' GRADE
 - 39. 76" = 380' GRADE
 - 40. 78" = 390' GRADE
 - 41. 80" = 400' GRADE
 - 42. 82" = 410' GRADE
 - 43. 84" = 420' GRADE
 - 44. 86" = 430' GRADE
 - 45. 88" = 440' GRADE
 - 46. 90" = 450' GRADE
 - 47. 92" = 460' GRADE
 - 48. 94" = 470' GRADE
 - 49. 96" = 480' GRADE
 - 50. 98" = 490' GRADE
 - 51. 100" = 500' GRADE

Bohannan & Huston
 ENGINEERS & ARCHITECTS
 1308 RIO GRANDE AVENUE
 ALBUQUERQUE, NEW MEXICO
 505-255-6400

MASTHEAD OFFICE COMPLEX AT JOURNAL CENTER 2

ALBUQUERQUE NEW MEXICO

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT- Grading Plan

NCA
 ARCHITECTS - PLANNERS - IA
 1308 RIO GRANDE AVENUE
 ALBUQUERQUE, NM 87104
 505-255-6400 505-258-8551 FAX

C2.0

MAY 17 2005

DATE DESCRIPTION

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er

IP Site Plan Approval,

This IP site plan was approved by the Environmental Planning Commission (EPC) on August 16, 1980. The associated parcels were zoned and annexed to the City of Albuquerque based upon recommendations by the EPC rendered at the same meeting (AX-79-13, Z-79-80-2).

The subject site plan is intended to define the major public infrastructure elements of the plan as required by the IP zone. The building placement on this plan is shown for illustration purposes only and shall not dictate the pattern of future development plans.

Subsequent site development plans within the boundaries of this site plan shall conform with the major public infrastructure elements of this plan and with the requirements of the IP zone. ~~Such development shall be accomplished by the Development Review Board (DRB).~~ The following note shall appear on each approved site development plan, along with the signatures of the DRB members:

Site Development Plan Approval

This plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AX-79-13, Z-79-80-2) and the IP zone.

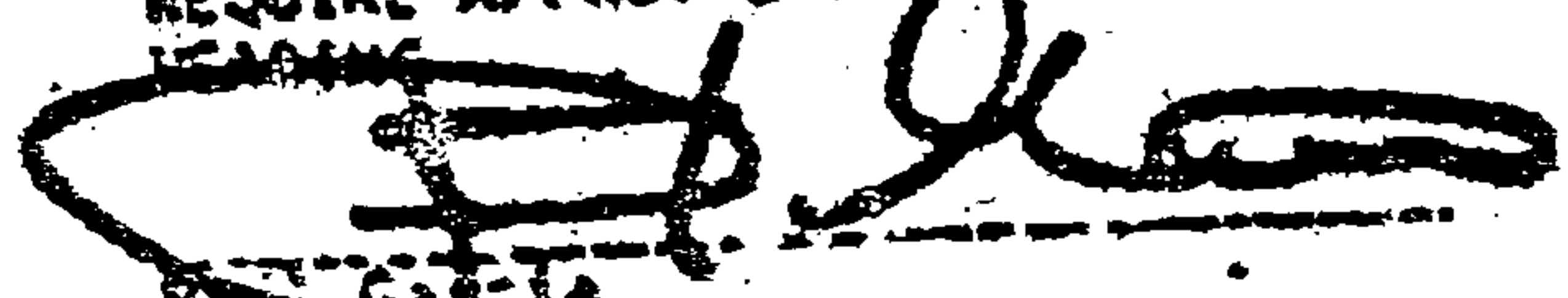
It conforms with the comments rendered by the Development Review Board on _____, 198____, as reflected in DRB _____.

Planning Director Date

E. Candalaria 10/17/00
Date
As + Recreation

3/15/01
Date

NOTE:
PUBLIC ADVERTISING WILL BE REQUIRED FOR THE C.R.B. MEETING AT WHICH SITE SPECIFIC PLANS ARE TO BE REVIEWED AND APPROVED. MAJOR DEVIATIONS FROM THIS PLAN WILL REQUIRE APPROVAL BY THE E.P.C. AT AN ADVERTISED PUBLIC MEETING.


Pina Garcia
Assistant City Planner

Masthead Road Development, LLC

August 17, 2005

Sheran Matson, DRB Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Ms. Matson:

The purpose of this letter is to authorize Bohannan Huston Inc. to act as agent for Masthead Road Development, LLC, for the purpose of processing the Site Plan for Building Permit.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me. Thank you for your courtesy in this matter.

Thank you,

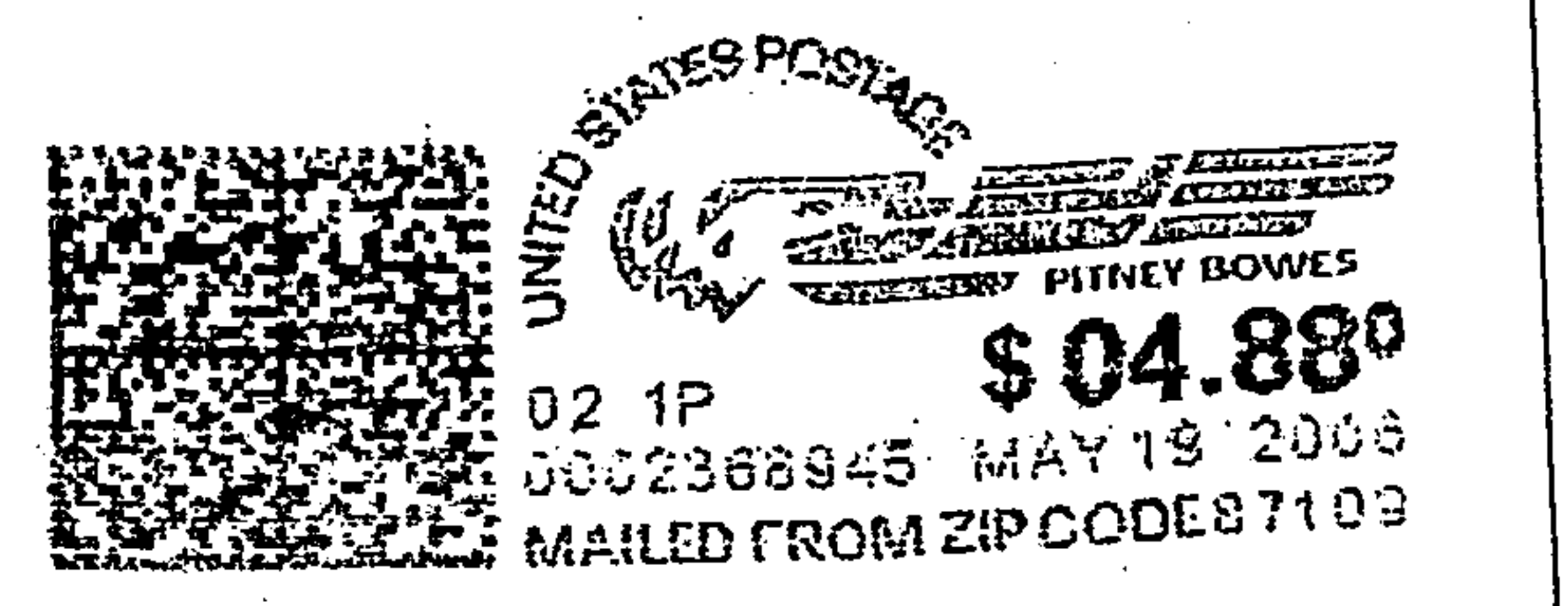


Ben F. Spencer
Masthead Road Development, LLC

HANNAN-HUSTON, INC.
7500 JEFFERSON, NE
BUQUERQUE, NM 87109



91 7108 2133 3932 6667 5079



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Steve Wentworth
8919 Bob Lane NW
Albuquerque, NM 87113

2. Article Number
(Transfer from service label) 91 7108 2133 3932 6667 5079

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X Agent
 Addressee

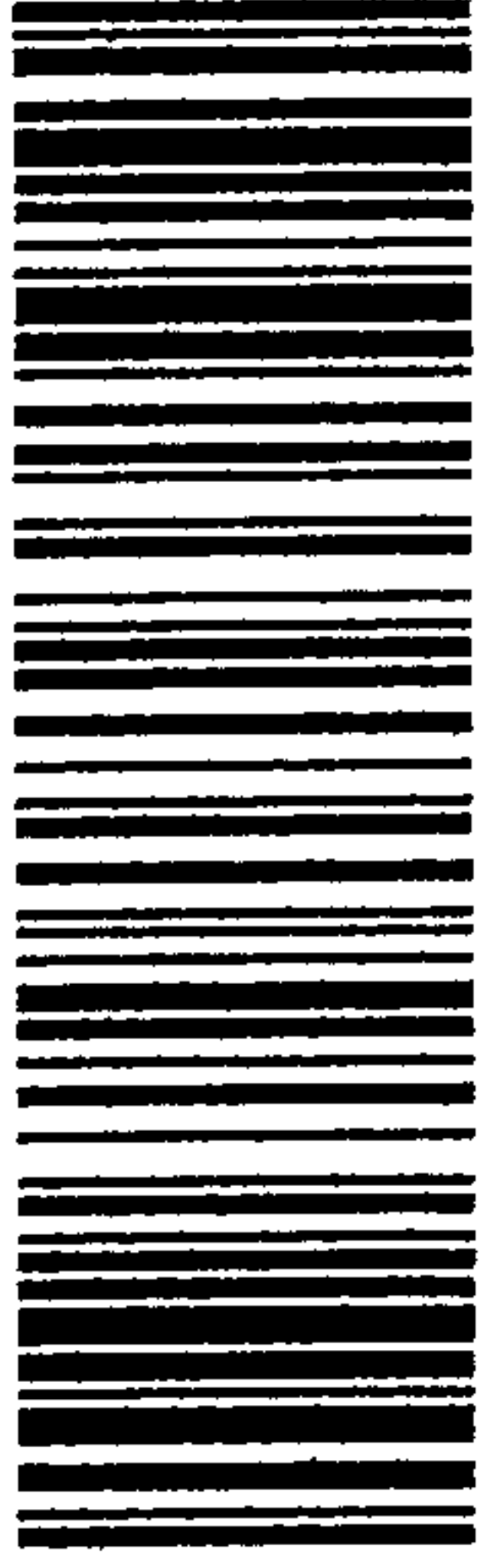
B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

HANNAN-HUSTON, INC.
500 JEFFERSON, NE
ALBUQUERQUE, NM 87109



91 7108 2133 3932 6667 5086

UNITED STATES POSTAGE
02 1P
\$04.880
0002368045 MAY 19 2006
MAILED FROM ZIP CODES 7109

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

heron bureau
713 Alameda Blvd. NW
Albuquerque, NM 87114

2. Article Number
(Transfer from service label)

91 7108 2133 3932 6667 5086

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

May 18, 2006

Mr. Leroy Gurule
713 Alameda Blvd. NW
Albuquerque, New Mexico 87114

RE: Journal Center Phase 2 Unit 2 Lot 11
Site Plan for Building Permit

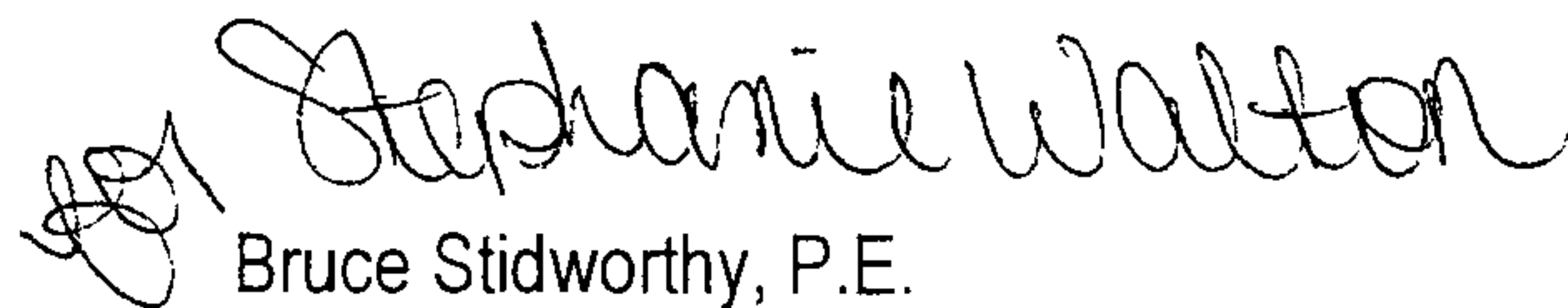
Dear Mr. Gurule:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Masthead Road Development, LLC., is seeking approval of Site Plan for Building Permit from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce Stidworthy, P.E.
Vice President
Community Development and Planning Group

SW
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

May 17, 2006

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, New Mexico 87113

RE: Journal Center Phase 2 Unit 2 Lot 11-B
Site Plan for Building Permit

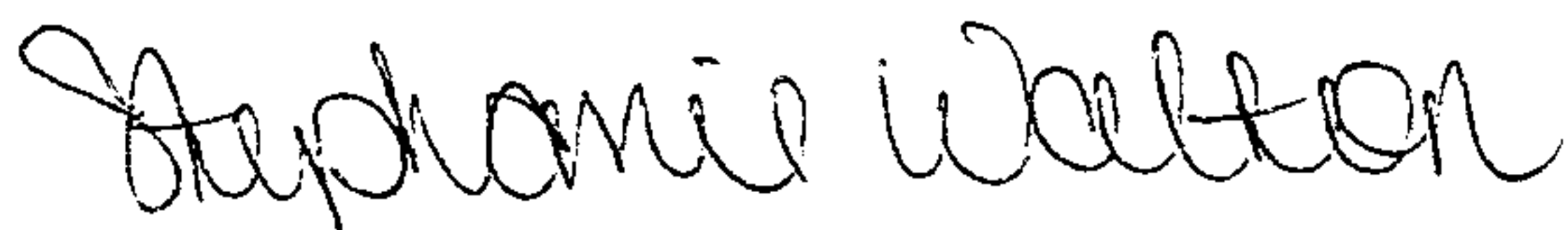
Dear Mr. Wentworth:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Masthead Road Development, LLC., is seeking approval of Site Plan for Building Permit from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



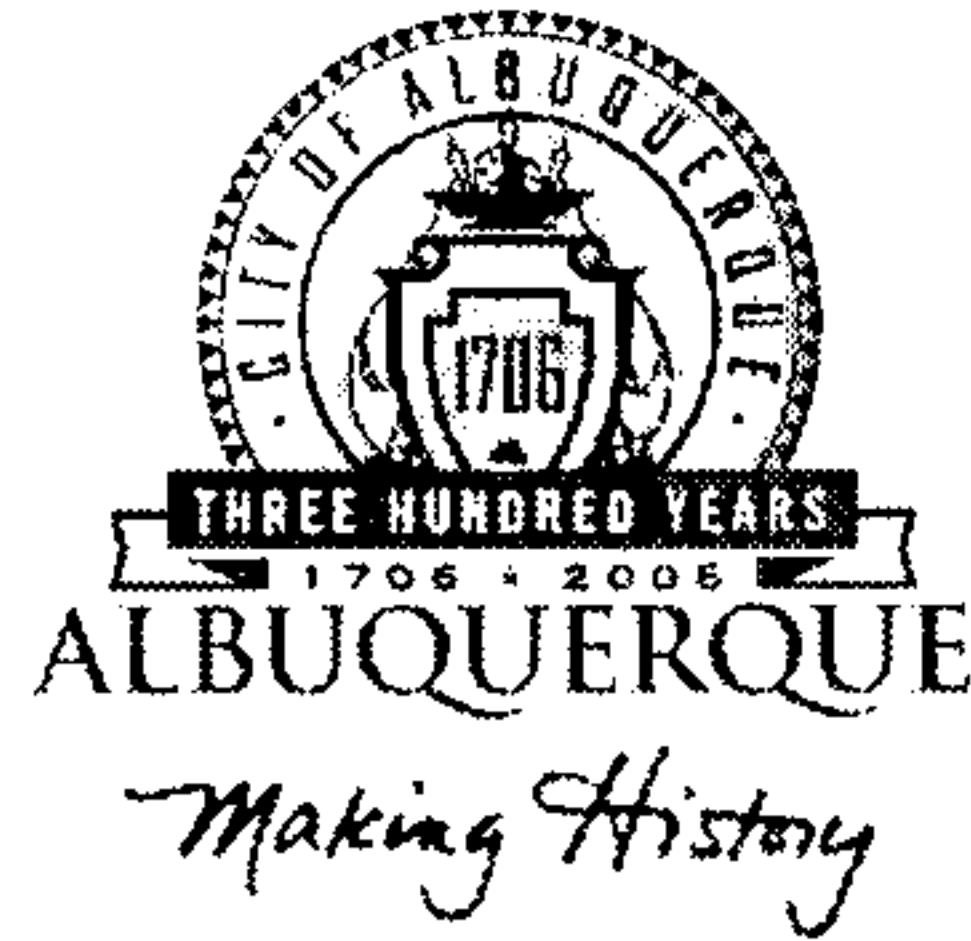
Bruce Stidworthy, P.E.
Vice President
Community Development and Planning Group

SW
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

May 16, 2006

Stephanie Walton
Bohannon Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988

Dear Stephanie:

Thank you for your inquiry of **May 16, 2006** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOT 11B, JOURNAL CENTER, PHASE TWO, UNIT TWO** zone map **D-17**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. (ANV) "R"
***Steve Wentworth**
8919 Boe Ln. NE/87113-2328 897-3052 (h)
Leroy Gurule
713 Alameda Blvd. NW, Alameda/87114 890-1845 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(11/21/05)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(below this line for ONC use only)

Date of Inquiry: **05/16/06** Time Entered: **11:50 a.m.** ONC Rep. Initials: **SW**

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from MAY 30, 2004 To JUNE 14 - 2004

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephanie Walton
(Applicant or Agent)

5-19-06
(Date)

I issued 2 signs for this application, 5/19/2004 K. J. S.
(Date) (Staff Member)

DRB PROJECT NUMBER: 1004556

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME MASHHEAD ROAD LAND PARTNERSHIP
AGENT BOHANNAN Huston
ADDRESS _____
PROJECT & APP # 1004556 / 06DRB - 00708
PROJECT NAME JOURNAL CENTER

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ 255.⁰⁰ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.⁰⁰ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 350.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

CITY OF ALBUQUERQUE
Treasury Division

5/19/2006 11:35AM LOC: ANNX
RECEIPT# 00060737 WSH 006 TRANSH 0003
Account 441018 Fund 0110
Activity 4971000 TRSCHG
Trans Amt \$350.00
J24 Misc .75.00
CHANCE \$350.00
\$.00

DUPLICATE
City Of Albuquerque
Treasury Division

DUPLICATE
City Of Albuquerque
Treasury Division

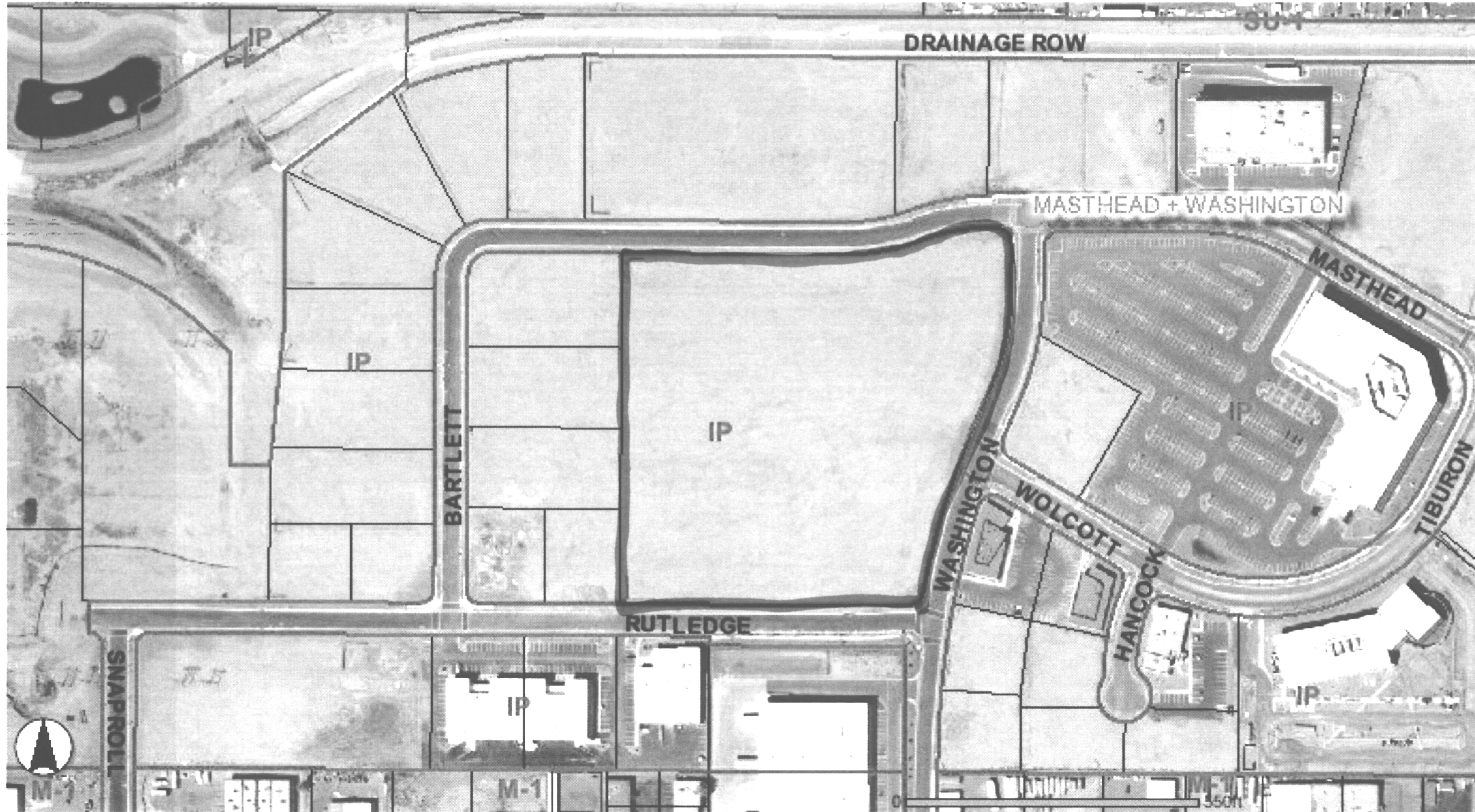
5/19/2006 11:35AM LOC: ANNX
RECEIPT# 00060736 WSH 006 TRANSH 0003
Account 441032 Fund 0110
Activity 4983000 TRSCHG
Trans Amt \$350.00
J24 Misc

5/19/2006 11:34AM LOC: ANNX
RECEIPT# 00060735 WSH 006 TRANSH 0003
Account 441032 Fund 0110
Activity 3424000 TRSCHG
Trans Amt \$350.00
J24 Misc

\$255.00
Thank you

\$20.00
Thank You

Counterreceipt.doc 6/21/04



#2



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

Comp # 3/10/06

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01781 (SBP)

Project # 1004556

Project Name: JOURNAL CENTER PH 2, UN 2

Agent: Bohannan Huston Inc.

Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 12/21/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Parking bumpers - options de BHB TIS confirmation. 6/4
-
-
-
-

- UTILITIES:
-
-
-

- CITY ENGINEER / AMAFCA:
-
-
-

- PARKS / CIP:
-
-
-

- PLANNING (Last to sign): Maintenance agreement on Landscape Plan
- Water Conservation Ordinance statement.
- 15 day appeal
- 3 Copies
- solid waste signature oh 4/5

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1004556



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01781 (SBP)

Project # 1004556

Project Name: JOURNAL CENTER PH 2, UN 2

Agent: Bohannan Huston Inc.

Phone No.: 823-1000

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Parking numbers - options
TIS confirmation.

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Maintenance agreement on Landscape Plan
Water Conservation Ordinance Statement.
15 day appeal
3 Copies

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk): RECORDED DATE: _____
 - Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1004556

#2



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 21, 2005

2. Project # 1004556
05DRB-01781 Major-SiteDev Plan BldPermit

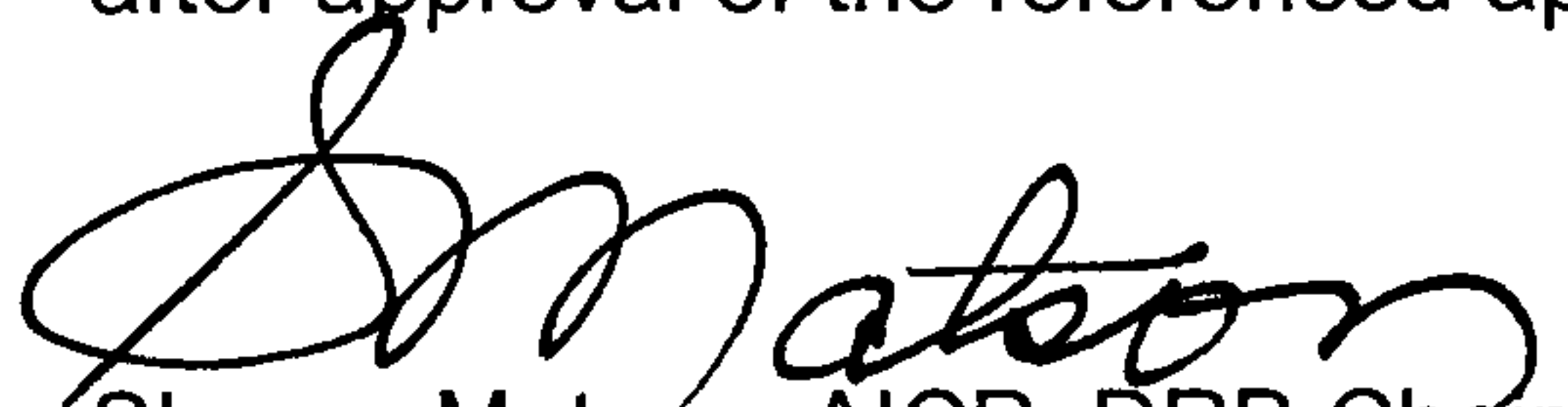
BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC, request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between WASHINGTON ST NE and MASTHEAD ST NE containing approximately 10 acre(s). (D-17)

At the December 21, 2005, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Transportation Development for parking bumpers (options), TIS confirmation and Planning for maintenance agreement on landscape plan, Water Conservation Ordinance Statement, 15-day appeal period and 3 copies of the site plan.

If you wish to appeal this decision, you must do so by January 6, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

Cc:Masthead Road Land Partners LLC, 6300 Riverside Plaza Ln NW, Suite 200,
87120

Bohannan Huston Inc., 7500 Jefferson NE, 87109

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004556 AGENDA#: 2 DATE: 12/21/05

1. Name: Bruce Stedman Address: _____ Zip: _____

2. Name: Locherman Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

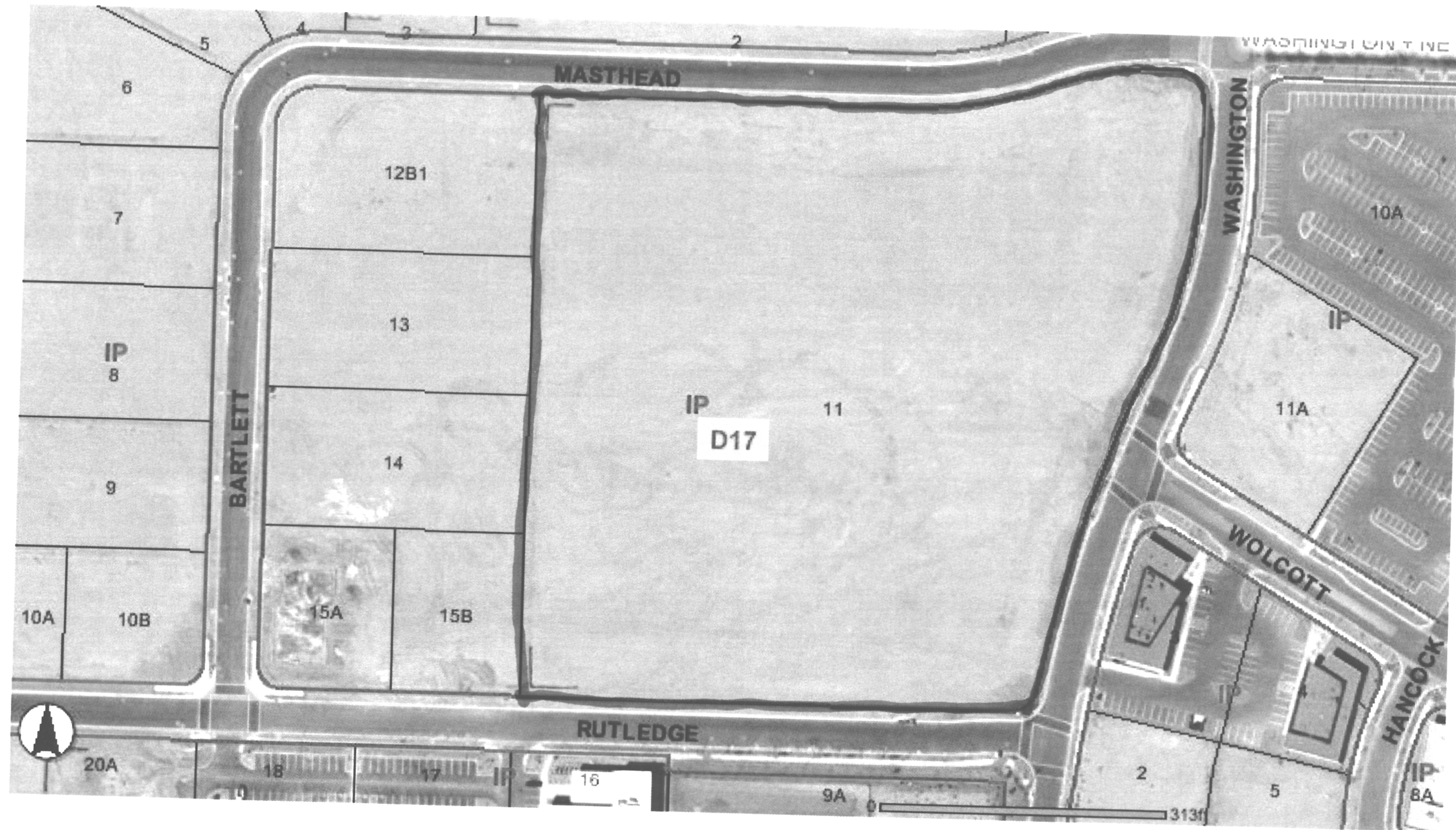
10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

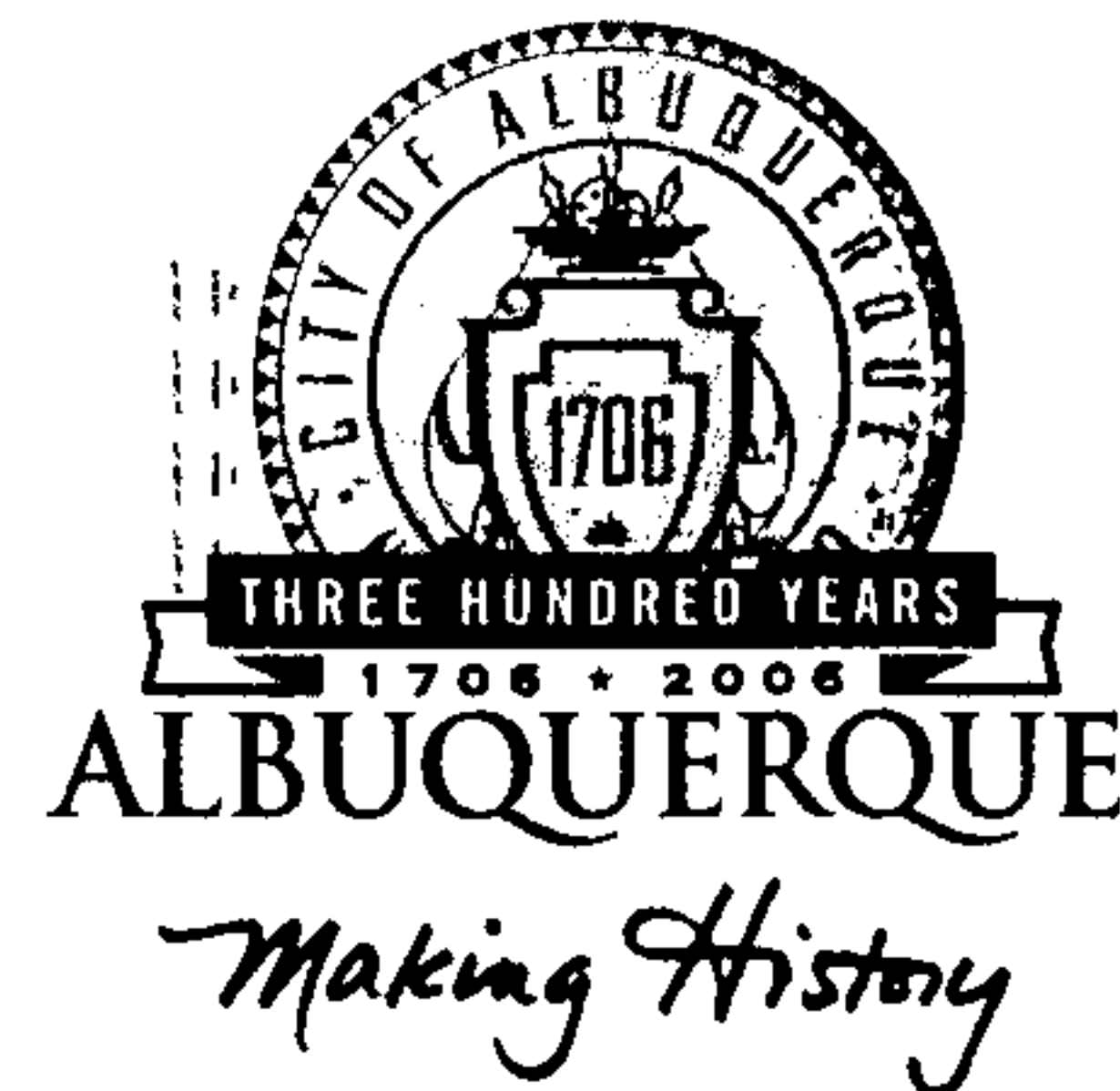
12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004556

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: December 21, 2005



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 21, 2005

Project # 1004556
05DRB-01781 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC, request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between WASHINGTON ST NE and MASTHEAD ST NE containing approximately 10 acre(s). (D-17)

AMAFCA No adverse comments.

COG No adverse comments.

Transit Transit suggests providing a pedestrian connection from Washington Street, in the vicinity of the Wolcott intersection, to the northeast corner of the building to facilitate pedestrian access to/from Jefferson and the transit and commercial services available there (e.g. the Starbucks just north of Masthead, etc).

Zoning Enforcement It must comply with Ord #14-16-3-18. Example: Outdoor seating/major façade features etc.

Neighborhood Coordination

Letters sent to Alameda North Valley Assoc. (R).

APS The request for a building permit for a two-story office building located in the Journal Center, Phase 2, Unit 2, will have no adverse impacts to the APS district.

Police Department

A review of the following DRB case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Other: Integration of new area with neighborhood watch programs in area.

Fire Department Approval for this case is Fire Department access only. All other requirements will be addressed when plans are submitted for permit.

PNM Electric & Gas Approves.

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer No adverse comments.

Transportation Development

How does this proposal compare with the trip generation comparison previously done? Is a TIS required? Is the sidewalk in place along Washington? Why aren't the sidewalks 8' wide? Dimension some typical ADA parking stalls.

Parks & Recreation No objection.

Utilities Development No comment on site development plan.

Planning Department

Approval from the Journal Center Architectural Review Committee required. Site is located within 1000 feet of a landfill. The Responsibility for Maintenance statement is not shown on the Landscape Plan. Also, the method for meeting the Water Conservation Ordinance is not shown on the Landscape Plan.

Impact Fee Administrator

Construction of a new office building within the proposed subdivision will require payment of Impact Fees. Based on a office size of approximately 59,840 square feet, it is estimated that impact fees will total approximately \$162,951 if a building permit is obtained prior to December 29, 2006, and the full impact fee of \$243,210 would be payable thereafter.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Masthead Road Land Partners LLC, 6300 Riverside Plaza Ln, Suite 200, 87120

Bohannon Huston Inc., 7500 Jefferson NE, 87109



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, December 21, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1004530

05DRB-01769 Major-Vacation of Public Easements
05DRB-01774 Major-Preliminary Plat Approval
05DRB-01773 Major-SiteDev Plan BldPermit
05DRB-01772 Minor-Vacation of Private Easements
05DRB-01770 Minor-Sidewalk Waiver
05DRB-01771 Minor-Temp Defer SDWK

ISAAC BENTON & ASSOCIATES agent(s) for AMERICONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) G-2, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR PDA TO INCLUDE C-3, located on MARNA LYNN AVE NW, between DAVENPORT ST NW and CACTUS TRAIL DR NW containing approximately 2 acre(s). [REF: DRB-94-65, DRB-94-624, DRB-94-616, Z-94-134] (C-12)

Project # 1004556

05DRB-01781 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC, request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between WASHINGTON ST NE and MASTHEAD ST NE containing approximately 10 acre(s). (D-17)

Project # 1004557

05DRB-01783 Major-Drainage Plan to Determine the Cost Allocation for Storm Drainage Improvements

MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 1-6 and 27-32, Block(s) 2, 27 & 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP & R-D, located on LOUISIANA BLVD NE, between ALAMEDA NE and MODESTO AVE NE. [REF: 04DRB00067] (C-18)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

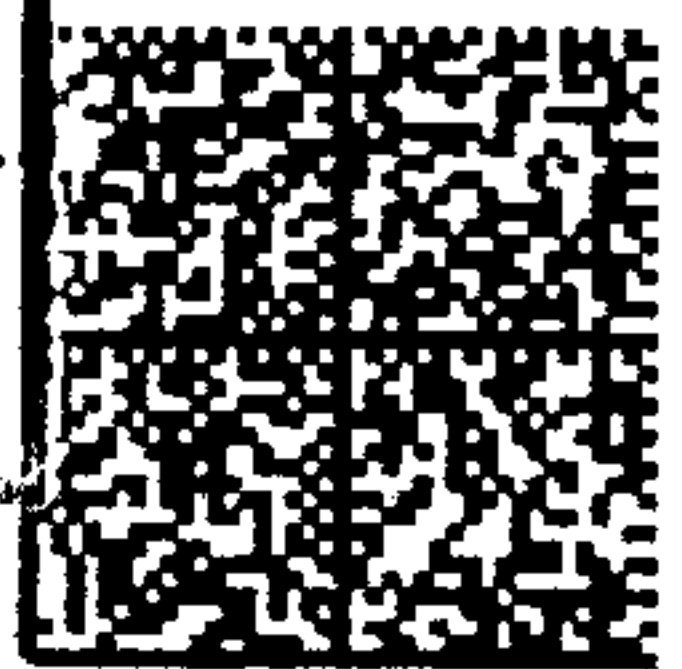
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 5, 2005.

CITY OF ALBUQUERQUE



Planning Department

RETURN
TO SENDER
ATTEMPTED
NOT KNOWN



02 1A
0004329277
MAILED FROM ZIP CODE 87102

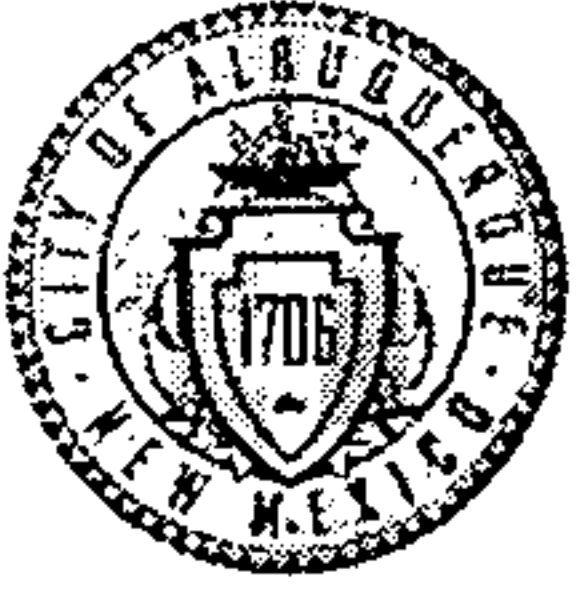
\$ 00.37⁰
DEC 02 2005

101706310818630704

L & L HOLDING CO LLC
4415 HAWKINS ST NE
ALBUQUERQUE NM 87109

87109+4353-99 CO

DRB



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, December 21, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1004530

05DRB-01769 Major-Vacation of Public Easements
05DRB-01774 Major-Preliminary Plat Approval
05DRB-01773 Major-SiteDev Plan BldPermit
05DRB-01772 Minor-Vacation of Private Easements
05DRB-01770 Minor-Sidewalk Waiver
05DRB-01771 Minor-Temp Defer SDWK

ISAAC BENTON & ASSOCIATES agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) G-2, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR PDA TO INCLUDE C-3, located on MARNA LYNN AVE NW, between DAVENPORT ST NW and CACTUS TRAIL DR NW containing approximately 2 acre(s). [REF: DRB-94-65, DRB-94-624, DRB-94-616, Z-94-134] (C-12)

Project # 1004556

05DRB-01781 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC, request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between WASHINGTON ST NE and MASTHEAD ST NE containing approximately 10 acre(s). (D-17)

Project # 1004557

05DRB-01783 Major-Drainage Plan to Determine the Cost Allocation for Storm Drainage Improvements

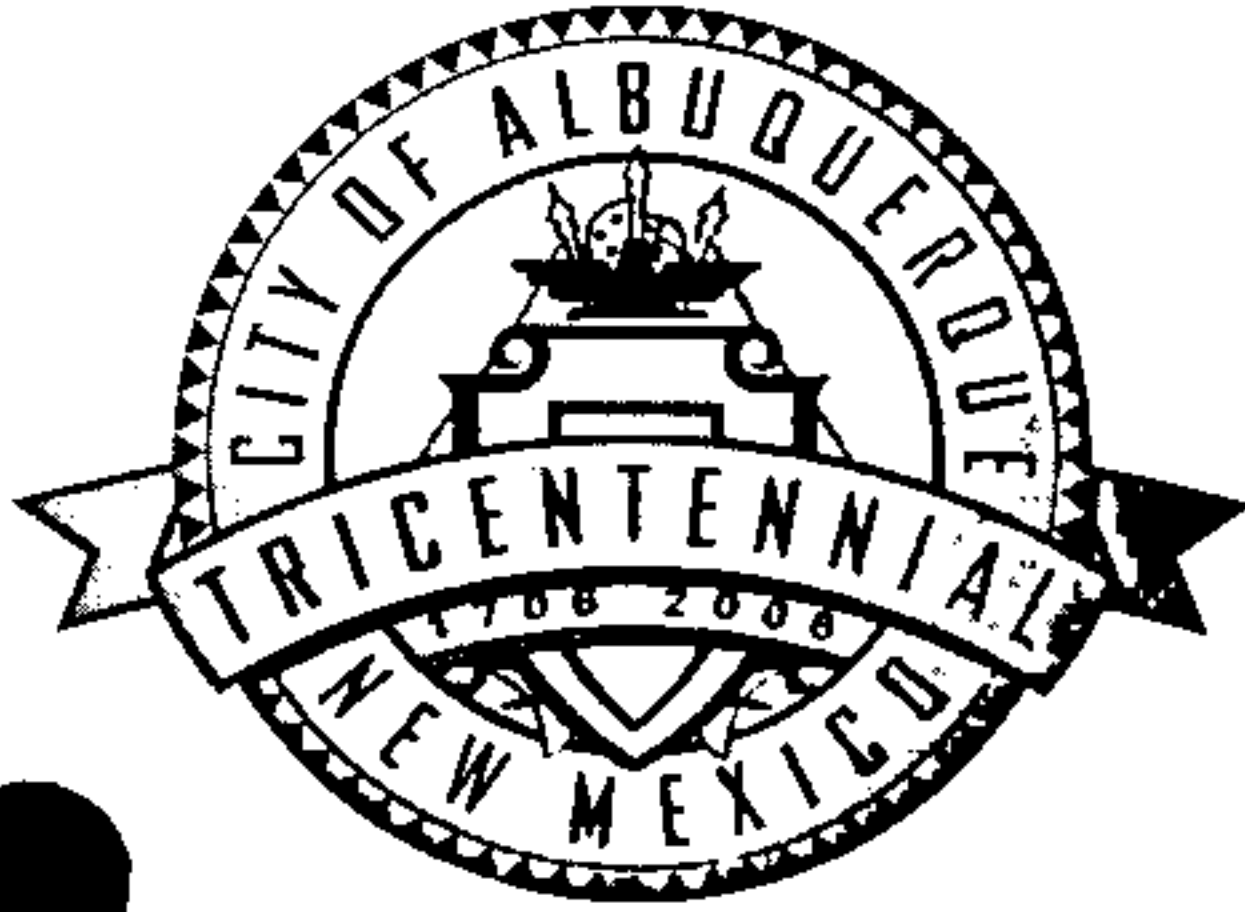
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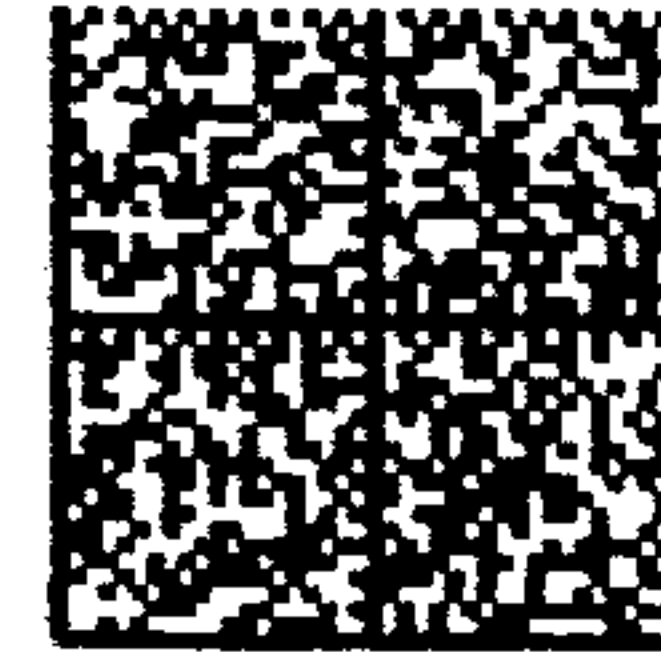
Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 5, 2005.

CITY OF ALBUQUERQUE



Planning Department



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HUDSON ALEX D & DILLER RICHAR
2340 MENAUL NE
ALBUQUERQUE NM 87107

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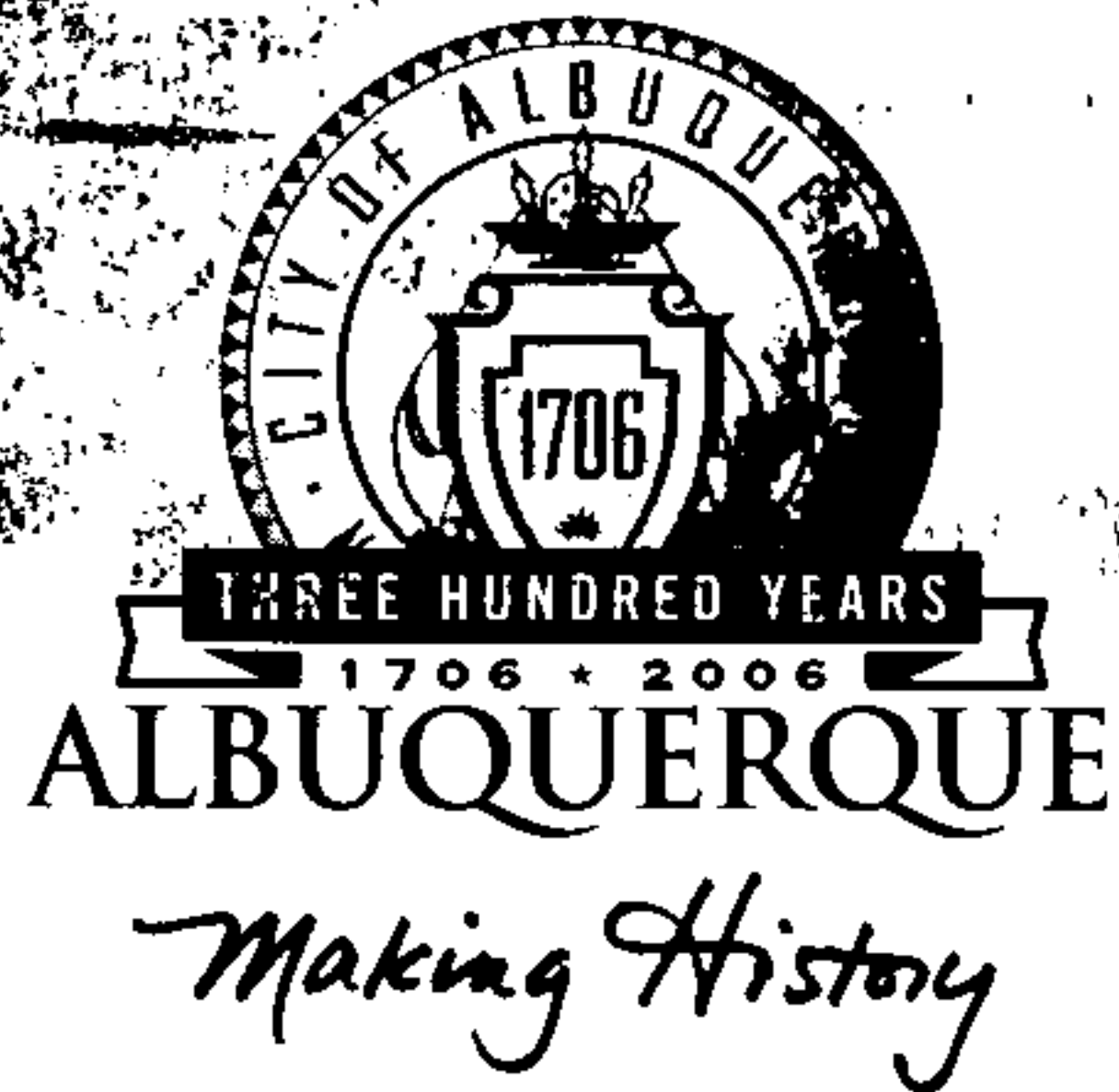
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Sheran Matson, AICP, DRB Chair
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TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 5, 2005.

CITY OF ALBUQUERQUE



Zoning Enforcement

600 2nd St., NW - 7th Flr.

Albuquerque, NM 87102

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MASTHEAD CENTER LLC
4101 MASTHEAD NE
ALBUQUERQUE, NM 87109

8710944332-01 C021



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
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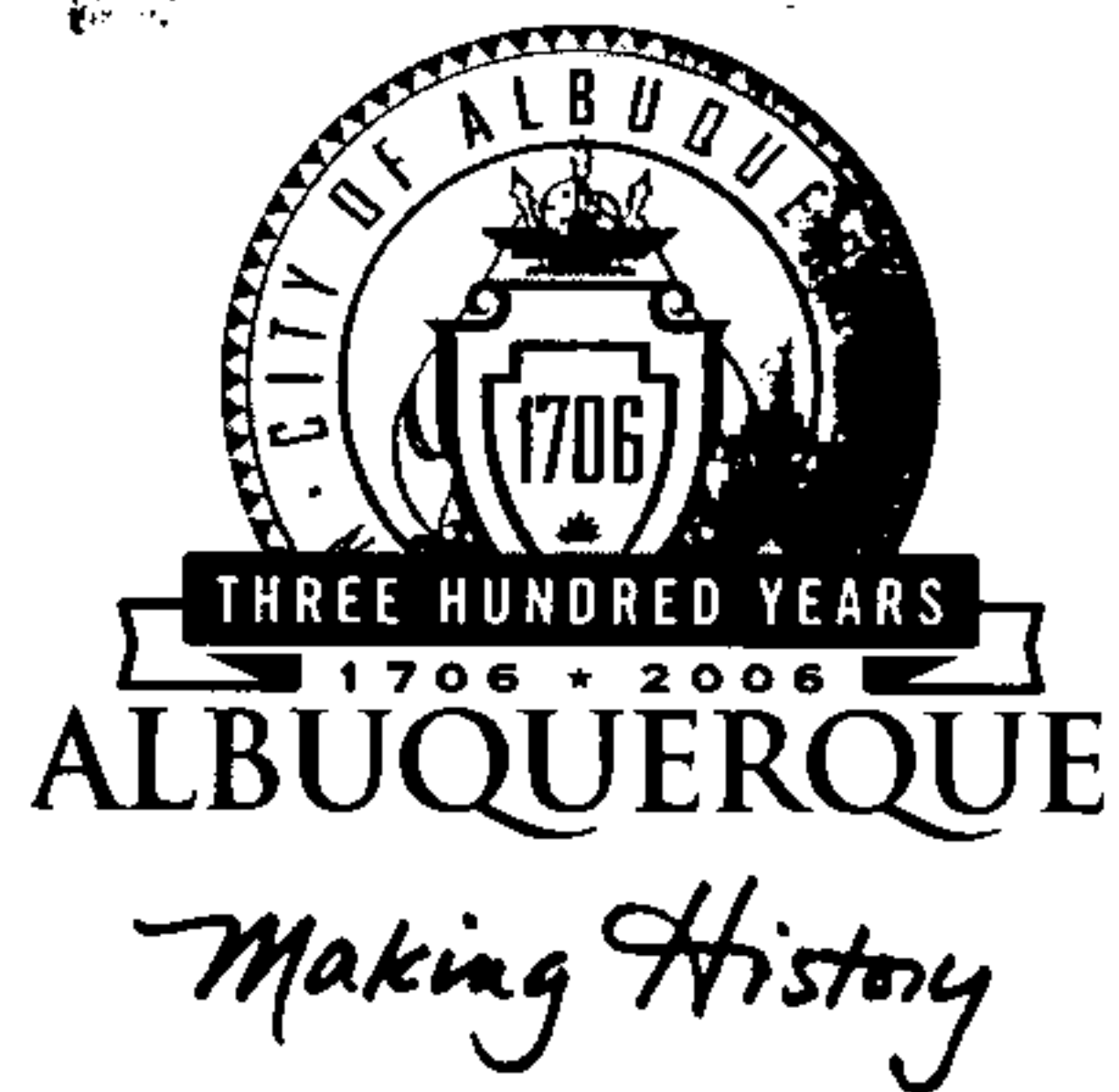
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Zoning Enforcement

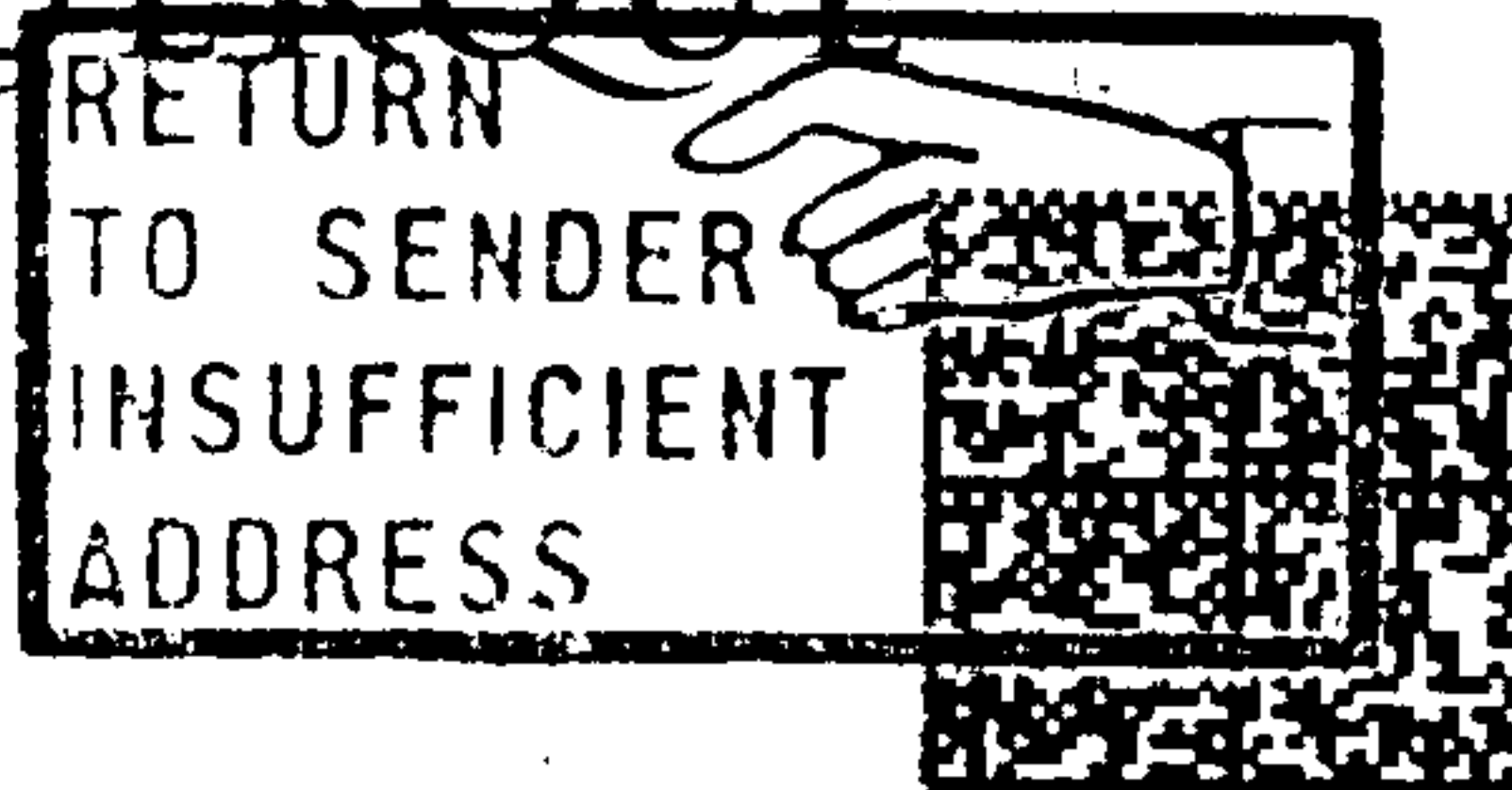
600 2nd St., NW - 7th Flr.

Albuquerque, NM 87102

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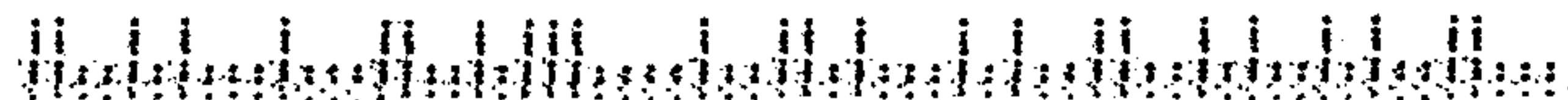
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RNB PROPERTIES LLC
3803 ATRISCO AV NE
ALBUQUERQUE NM 87120



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DRB



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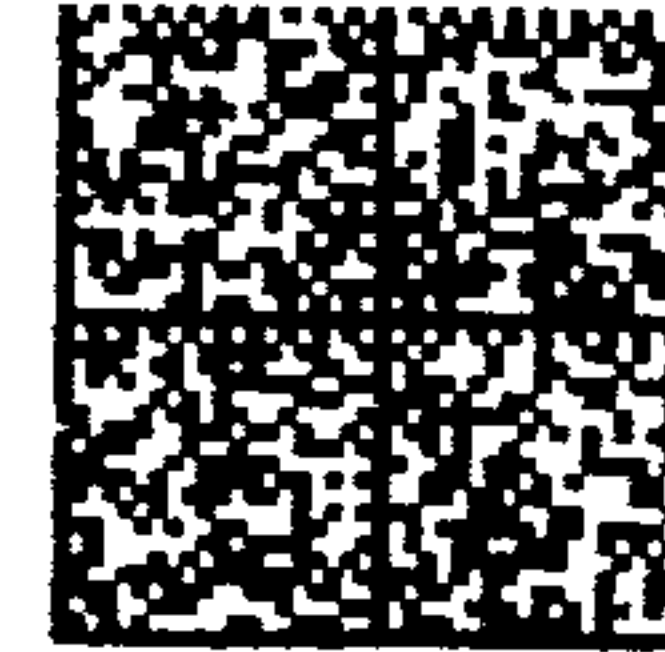
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Planning Department



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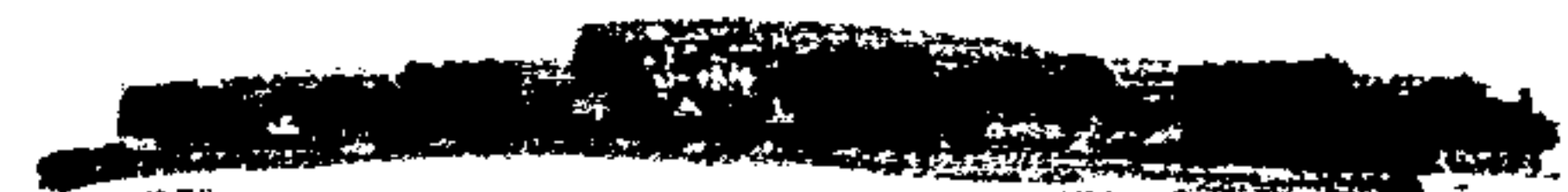
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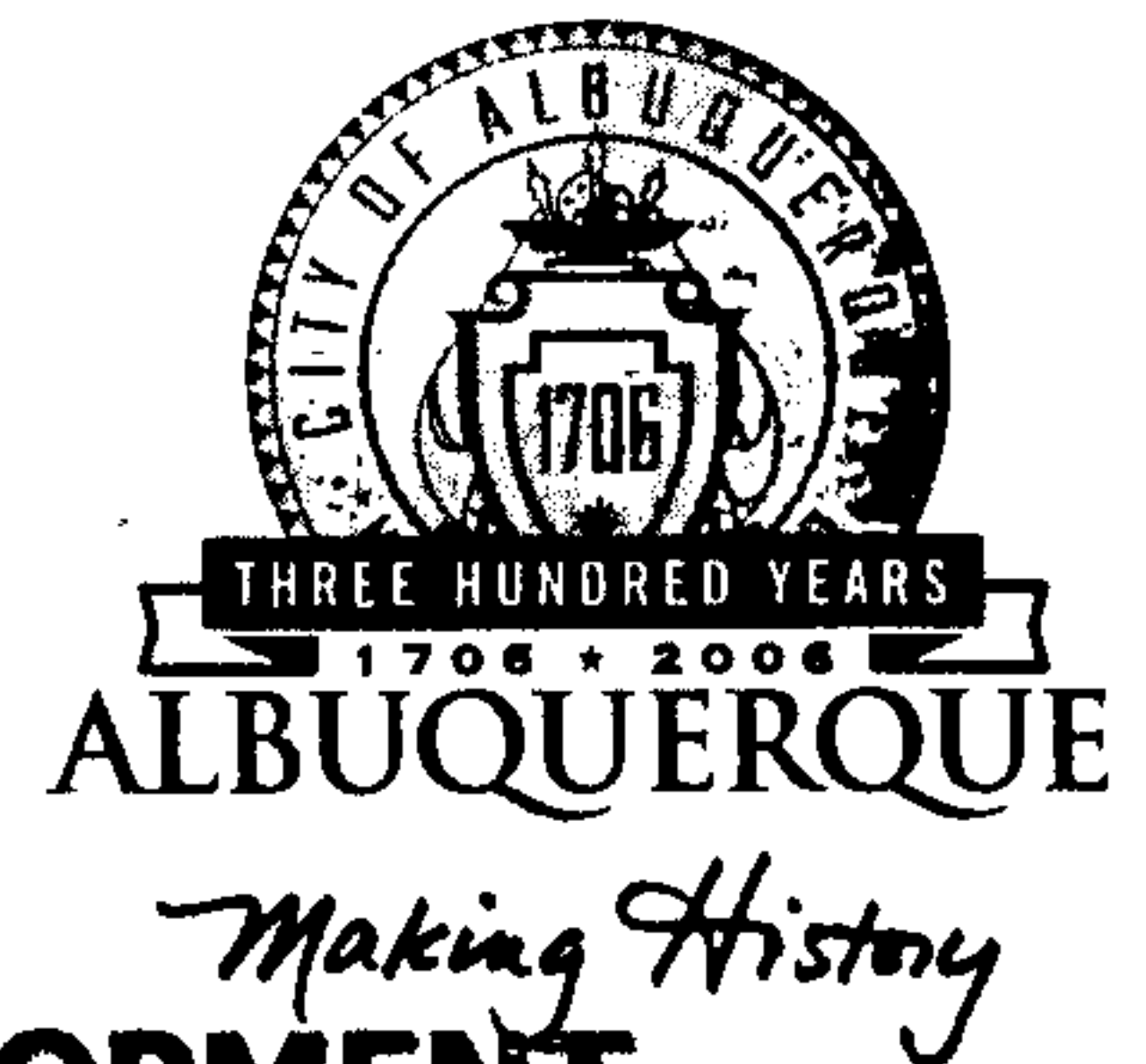
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Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 5, 2005.

FYI



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

December 1, 2005

TO: Steve Wentworth and Leroy Gurule, Alameda North Valley Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately ten (10) acre(s): Major Site Development Plan for Building Permit; for a proposed two story office building.

Proposed by: Bohannan Huston Inc. at 823-1000

Agent for: Masthead Road Land Partners, LLC

For property located: On or near Rutledge Road NE between Washington Street NE and Masthead Street NE.

P.O. Box 1293

The case number(s) assigned is: 05DRB- 01781, Project # 1004556.

Albuquerque

City Planning accepted application for this request on November 23, 2005.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, December 21, 2005 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

www.cabq.gov

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions -OR- have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: DECEMBER 21, 2005
Zone Atlas Page: D-17-Z
Notification Radius: 100 Ft.

Project# 1004556
App#05DRB-01781

Cross Reference and Location: RUTLEDGE RD NE / BETWEEN MASTHEAD ST
NE AND WASHINGTON ST NE

Applicant: MASTHEAD ROAD LAND PARTNERS, LLC
Address: 6300 RIVERSIDE PLAZA LANE NW SUITE 200
ALBUQUERQUE, NM 87120

Agent: BOHANNAN HUSTON INC.
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

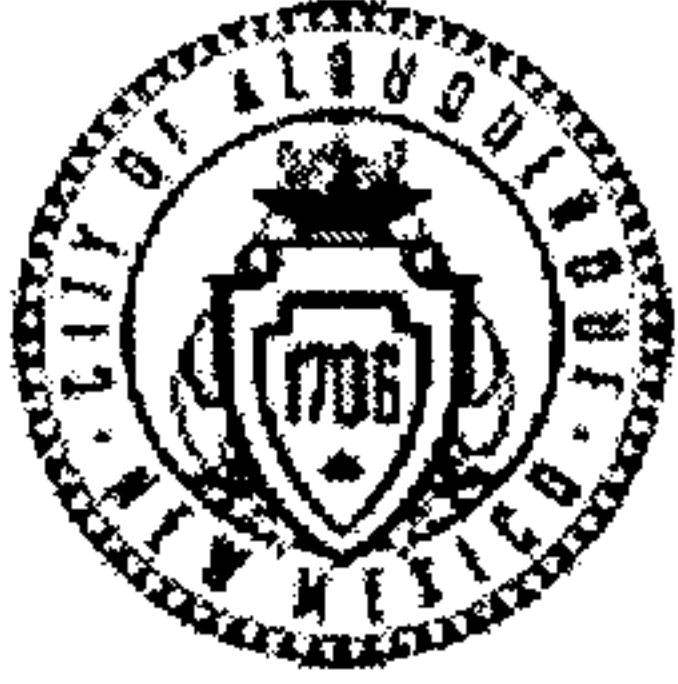
Date Mailed: DECEMBER 2, 2005
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

Project# 1004556
Application# _____

PAGE 1 OF 2

Zone Atlas Page #	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
D-17	1017063	164-209	307-06	✓
		108-233	01	✓ Dup
		122-233	07	✓ Dup ²
		115-217	02	✓ Dup ²
		115-202	03	✓ Dup ²
		108-186	04	✓
		123-186	05	✓
		086-157	301-12	✓ Dup
		108-157	11	✓ Dup ²
		120-157	10	✓ Dup ²
		137-157	09	✓
		147-160	08	✓
		190-165	306-08	✓
		192-175	07	✓
		195-198	06	✓ Dup ²
		201-204	305-02	✓
		246-209	01	✓
		232-253	304-11	✓
		220-266	14	✓
		190-266	15	✓
		165-263	16	✓ dup
		115-263	17	✓ Dup
		101-264	18	✓ Dup ²
		136-135	301-29	✓



Yvonne C.
Saavedra/APD/CABQ
11/28/2005 01:11 PM

To Yvonne C. Saavedra/APD/CABQ@COA
cc
bcc
Subject labels

----- Forwarded by Yvonne C. Saavedra/APD/CABQ on 11/28/2005 01:11 PM -----



mainframe@coa1mp3.ca
bq.gov
11/28/2005 01:09 PM

To
cc
Subject

1	R E C O R D S	W I T H	L A B E L S	PAGE
1				
01017063		***	THIS UPC CODE HAS NO MASTER RECORD ON FILE	
0101706316420930706		LEGAL:	LT 1 1 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A	
REP LAND USE:				
		PROPERTY ADDR:	00000 RUTLEDGE	
		OWNER NAME:	MASTHEAD ROAD LAND PARTNERS LL	
		OWNER ADDR:	06300 RIVERSIDE PLAZA LN NW	
ALBUQUERQUE NM	87120			
0101706310823330701		LEGAL:	LT 1 2-A PLAT OF LOTS 12-A & 12-B JOURNAL CENTER	
PH LAND USE:				
		PROPERTY ADDR:	00000 BARTLETT	
		OWNER NAME:	WALTON CHAPMAN BUILDERS CO	
		OWNER ADDR:	00404 BRUNN SCHOOL RD	
SANTA FE NM	87505			
0101706312223330707		LEGAL:	LT 1 2-B PLAT OF LOTS 12-A & 12-B JOURNAL CENTER	
PH LAND USE:				
		PROPERTY ADDR:	00000 BARTLETT	
		OWNER NAME:	WALTON CHAPMAN BUILDERS CO`	
		OWNER ADDR:	00404 BRUNN SCHOOL RD	
SANTA FE NM	87505			
0101706311521730702		LEGAL:	LT 1 3 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A	
REP LAND USE:				
		PROPERTY ADDR:	00000 MASTHEAD	
		OWNER NAME:	WALTON CHAPMAN BUILDERS COMPAN	
		OWNER ADDR:	00404 BRUNN SCHOOL RD	
SANTA FE NM	87505			
0101706311520230703		LEGAL:	LT 1 4 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A	
REP LAND USE:				
		PROPERTY ADDR:	00000 BARTLETT	
		OWNER NAME:	WALTON CHAPMAN BUILDERS COMPAN	
		OWNER ADDR:	00404 BRUNN SCHOOL RD	
SANTA FE NM	87505			
0101706310818630704		LEGAL:	LT 1 5-A PLAT OF LOTS 10-A, 10-B, 15-A & 15-B	
JOURN LAND USE:				
		PROPERTY ADDR:	00000 BARTLET	
		OWNER NAME:	L & L HOLDING CO LLC	
		OWNER ADDR:	04415 HAWKINS ST NE	
ALBUQUERQUE NM	87109			

PAGE 2

0101706312318630705 LEGAL: LT 1 5-B PLAT OF LOTS 10-A, 10-B, 15-A & 15-B
JOURN LAND USE:
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: IPIOTIS CHRISTOPHER E & AMELIA
OWNER ADDR: 03811 RUTLEDGE RD NE
ALBUQUERQUE NM 87109

0101706308615730112 LEGAL: LT 1 9 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363
ALBUQUERQUE NM 87197

0101706310315730111 LEGAL: LT 1 8 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363
ALBUQUERQUE NM 87197

0101706312015730110 LEGAL: LT 1 7 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: BRUNACINI DEVELOPMENT LTD CO
OWNER ADDR: PO BOX 6363
ALBUQUERQUE NM 87197

0101706313715730109 LEGAL: LT 1 6 PL AT OF JOURNAL CENTER PHASE 2 UNIT 2, A
REP LAND USE:
PROPERTY ADDR: 00000 RUTLEDGE
OWNER NAME: MLM ENTYERPRISES LLC
OWNER ADDR: 03900 RUTLEDGE RD NE
ALBUQUERQUE NM 87109

0101706314716030108 LEGAL: TRAC T 9A AMENDED PLAT OF LOT 9A & 7A-1A
LAND USE:
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: 2005 I LLC
OWNER ADDR: 02635 EAST MILLBROOK RD
RALEIGH NC 27604

0101706319016530608 LEGAL: LOT 1 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:
PROPERTY ADDR: 00000 WASHINGTON
OWNER NAME: BLUE HOLE LTD CO
OWNER ADDR: PO BOX 94084
ALBUQUERQUE NM 87199

0101706319217530607 LEGAL: LOT 2 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:
PROPERTY ADDR: 00000 WASHINGTON
OWNER NAME: THREE AM LLC
OWNER ADDR: 00049 SANTA MARIA RD
CORRALES NM 87048

0101706319519830606 LEGAL: LOT 3 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:
PROPERTY ADDR: 00000 WOLCOTT
OWNER NAME: CHAPMAN GEORGE WALTON & JOAN E
OWNER ADDR: 00404 BRUNN SCHOOL RD
SANTA FE NM 87505

0101706320120430502 LEGAL: LOT 11A PLAT OF LOTS 10A & 11A JOURNAL CENTER
PHAS LAND USE:
PROPERTY ADDR: 00000 WOLCOTT
OWNER NAME: RNB PROPERTIES LLC
OWNER ADDR: 03803 ATRISCO AV NE
ALBUQUERQUE NM 87120

0101706324620930501 LEGAL: LOT 10A PLAT OF LOTS 10A & 11A JOURNAL CENTER
PHAS LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: DI ALBUQUERQUE FUNDING COMPANY
OWNER ADDR: 00001 AMERICAN SQ
INDIANAPOLISIN 46282

0101706323225330411 LEGAL: LT 1 4-A PLAT FOR LOT 14-A JOURNAL CENTER PHASE
2 U LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: HUDSON ALEX D & DILLER RICHARD
OWNER ADDR: 02340 MENAUL NE
ALBUQUERQUE NM 87107

0101706322026630414 LEGAL: LT 1 5-A PLAT OF LOT 15-A JOURNAL CENTER PHASE 2
UN LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: CKM DEVELOPMENT COMPANY INC
OWNER ADDR: 4101 MASTHEAD NE
ALBUQUERQUE NM 87109

0101706319026630415 LEGAL: LT 1 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: 2551 COORS LLC
OWNER ADDR: 05400 EAKES RD NW
ALBUQUERQUE NM 87107

0101706316526330416 LEGAL: LT 2 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: CKM DEVELOPMENT CO INC
OWNER ADDR: 13000 ACADEMT RD NE
ALBUQUERQUE NM 87111

0101706311526330417 LEGAL: LT 3 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111

0101706310126430418 LEGAL: LT 4 PLA T OF JOURNAL CENTER PHASE 2 UNIT 2, A
REPL LAND USE:
PROPERTY ADDR: 00000 MASTHEAD
OWNER NAME: TIBURON INVESTMENT CORP
OWNER ADDR: 13000 ACADEMY RD NE
ALBUQUERQUE NM 87111

0101706313613530129 LEGAL: LT 1 1-A- 5 SIRKEL SUB'D (REPL OF LT 11-A
INTERSTATE LAND USE:
PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: LEMON SHANE & DEBORAH
OWNER ADDR: 01323 NARCISCO CT NE
ALBUQUERQUE NM 87112

PAGE 4

0101706312613530124 LEGAL: LT 1 1-A- 1 SIRKEL SUB'D (REPL OF LT 11-A
INTERSTATE LAND USE:

PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: LEMON CURTIS SHANE & DEBORAH L
OWNER ADDR: 01323 NARCISCO CT NE

ALBUQUERQUE NM 87112

0101706311612830105 LEGAL: 12A2 COR RECTED REDIVISION OF LOT 12A (NOW COMP
LOT LAND USE:

PROPERTY ADDR: 00000 HAWKINS
OWNER NAME: AUTOMOTIVE DEALER SERVICE CORP
OWNER ADDR: 03815 HAWKINS ST NE

ALBUQUERQUE NM 87109

0101706320419030605 LEGAL: LOT 4 PL AT OF JOURNAL CENTER PHASE 2 UNIT1
LAND USE:

PROPERTY ADDR: 00000 WOLCOTT
OWNER NAME: WALTON CHAPMAN BUILDERS
OWNER ADDR: 00404 BRUNN SCHOOL RD

SANTA FE NM 87505

0101706320317230604 LEGAL: LOT 5 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:

PROPERTY ADDR: 00000 HANCOCK
OWNER NAME: SPRADLIN JENNIE
OWNER ADDR: PO BOX 20688

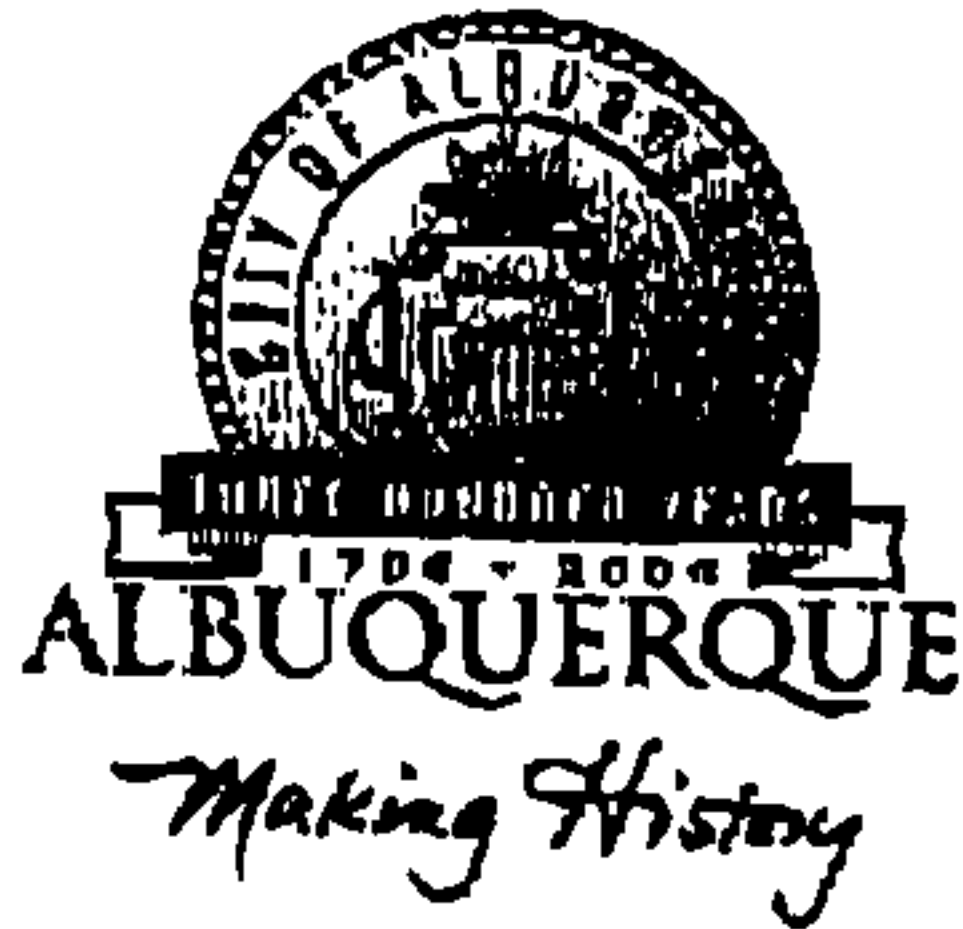
ALBUQUERQUE NM 87154

0101706320516330603 LEGAL: LOT 6 PL AT OF JOURNAL CENTER PHASE 2 UNIT 1
LAND USE:

PROPERTY ADDR: 00000 HANCOCK
OWNER NAME: PEARSON JOHN DAVID
OWNER ADDR: 11612 PENDFIELD LN NE

ALBUQUERQUE NM 87111

QUIT



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

November 21, 2005

Stephanie Stratton
Bohannon Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988

Dear Stephanie:

Thank you for your inquiry of November 21, 2005 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **JOURNAL CENTER, PHASE 2, UNIT 2, LOT 11** zone map **D-17**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. (ANV) "R"
*Steve Wentworth
8919 Boc Ln. NE/87113-2328 897-3052 (h)
Leroy Gurule
713 Alameda Blvd. NW, Alameda/87114 890-1845 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(11/21/05)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

November 21, 2005

Sheran Matson, DRB Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Ms. Matson:

The purpose of this letter is to authorize Bohannan Huston Inc. to act as agent for Masthead Road Development, LLC, for the purpose of processing the Site Plan for Building Permit.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me.
Thank you for your courtesy in this matter.

Thank you,

A handwritten signature in black ink, appearing to read "BFS" followed by a horizontal line extending to the right.

Ben F. Spencer
Masthead Road Development, LLC

Project # 1004556

MASTHEAD RD LAND PARTNERS, LLC
6300 RIVERSIDE PLAZA LANE NW STE 200
ALBUQUERQUE, NM 87120

Project # 1004556

BOHANNAN HUSTON INC.
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Project # 1004556

STEVE WENTWORTH
Alameda North Valley Assn.
8919 BOE LN NE
ALBUQUERQUE, NM 87113

Project # 1004556

LEROY GURULE
Alameda North Valley Assn.
713 ALAMEDA BLVD NW
ALBUQUERQUE, NM 87114

101706316420930706

MASTHEAD ROAD LAND PARTNERS L
6300 RIVERSIDE PLAZA LN NW
ALBUQUERQUE NM 87120

101706310823330701

WALTON CHAPMAN BUILDERS CO
404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706310818630704

L & L HOLDING CO LLC
4415 HAWKINS ST NE
ALBUQUERQUE NM 87109

101706312318630705

IPIOTIS CHRISTOPHER E & AMELI
3811 RUTLEDGE RD NE
ALBUQUERQUE NM 87109

101706308615730112

BRUNACINI DEVELOPMENT LTD CO
PO BOX 6363
ALBUQUERQUE, NM 87197

101706313715730109

MLM ENTYERPRISES LLC
3900 RUTLEDGE RD NE
ALBUQUERQUE NM 87109

101706314716030108

2005 I LLC
2635 EAST MILLBROOK RD
RALEIGH NC 27604

101706319016530608

BLUE HOLE LTD CO
PO BOX 94084
ALBUQUERQUE, NM 87199

101706319217530607

THREE AM LLC
49 SANTA MARIA RD
CORRALES NM 87048

101706319519830606

CHAPMAN GEORGE WALTON & JOAN
404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706320120430502

RNB PROPERTIES LLC
3803 ATRISCO AV NE
ALBUQUERQUE NM 87120

101706324620930501

DI ALBUQUERQUE FUNDING COMPAN
I AMERICAN SQ
INDIANAPOLISIN 46282

101706323225330411

HUDSON ALEX D & DILLER RICHA
2340 MENAUL NE
ALBUQUERQUE NM 87107

101706322026630414

MASTHEAD CENTER LLC
4101 MASTHEAD NE
ALBUQUERQUE, NM 87109

101706319026630415

2551 COORS LLC
5400 EAKES RD NW
ALBUQUERQUE NM 87107

101706316526330416

TIBURON INVESTMENT CORP
13000 ACADEMY RD NE
ALBUQUERQUE, NM 87111

101706313613530129

LEMON SHANE & DEBORAH
1323 NARCISCO CT NE
ALBUQUERQUE NM 87112

101706311612830105

AUTOMOTIVE DEALER SERVICE COR
3815 HAWKINS ST NE
ALBUQUERQUE NM 87109

101706320419030605

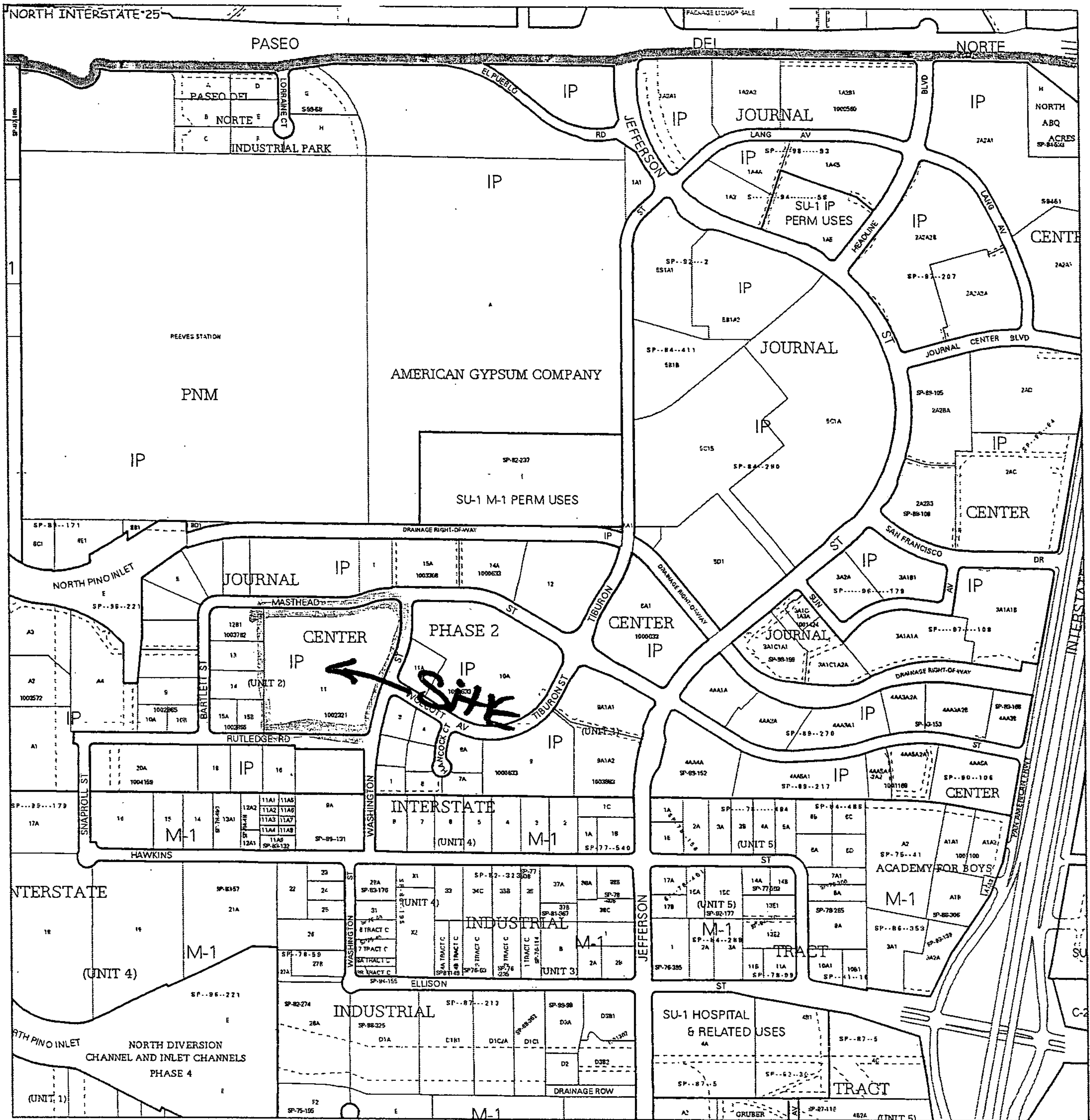
WALTON CHAPMAN BUILDERS
404 BRUNN SCHOOL RD
SANTA FE NM 87505

101706320317230604

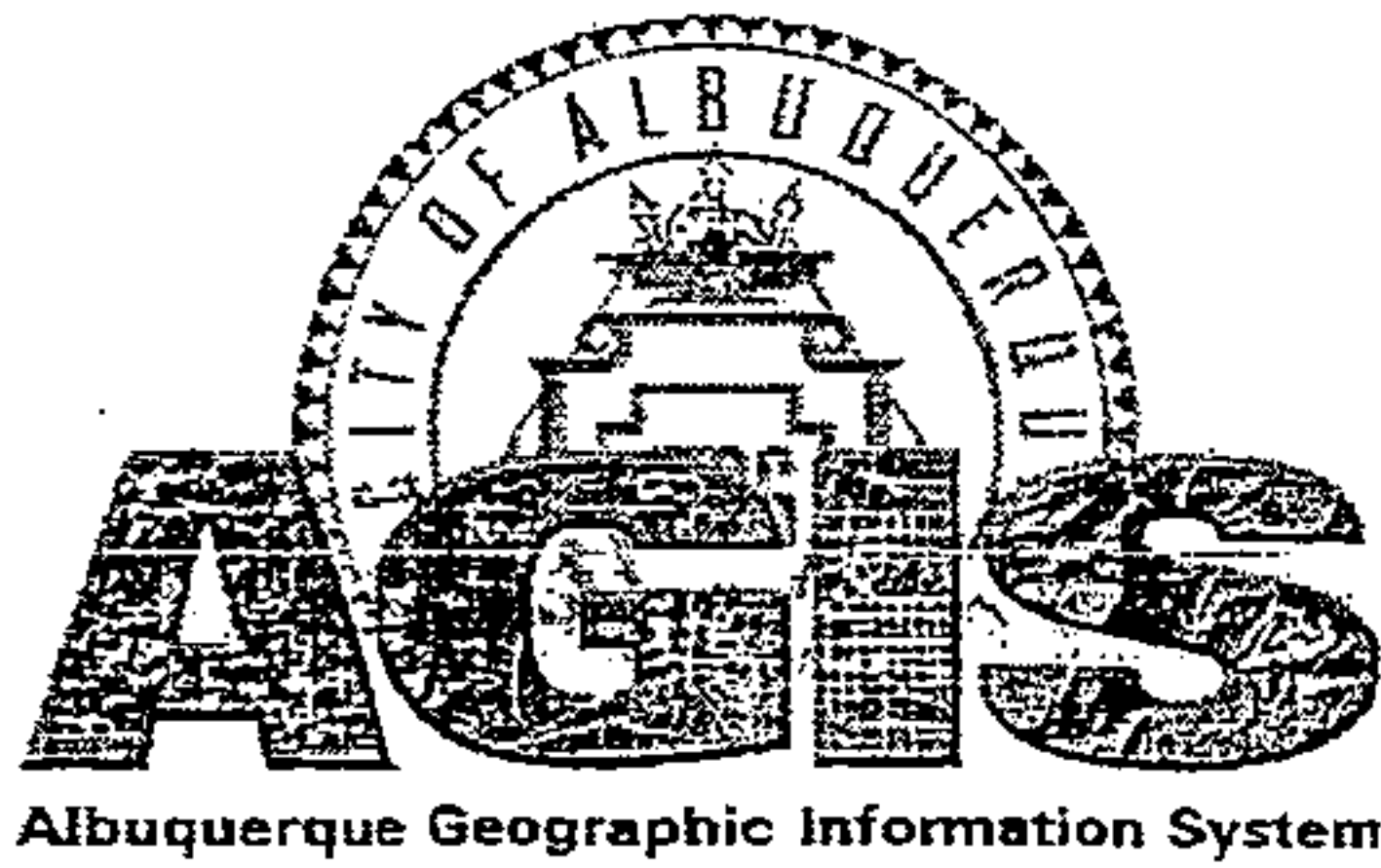
SPRADLIN JENNIE
PO BOX 20688
ALBUQUERQUE, NM 87154

101706320516330603

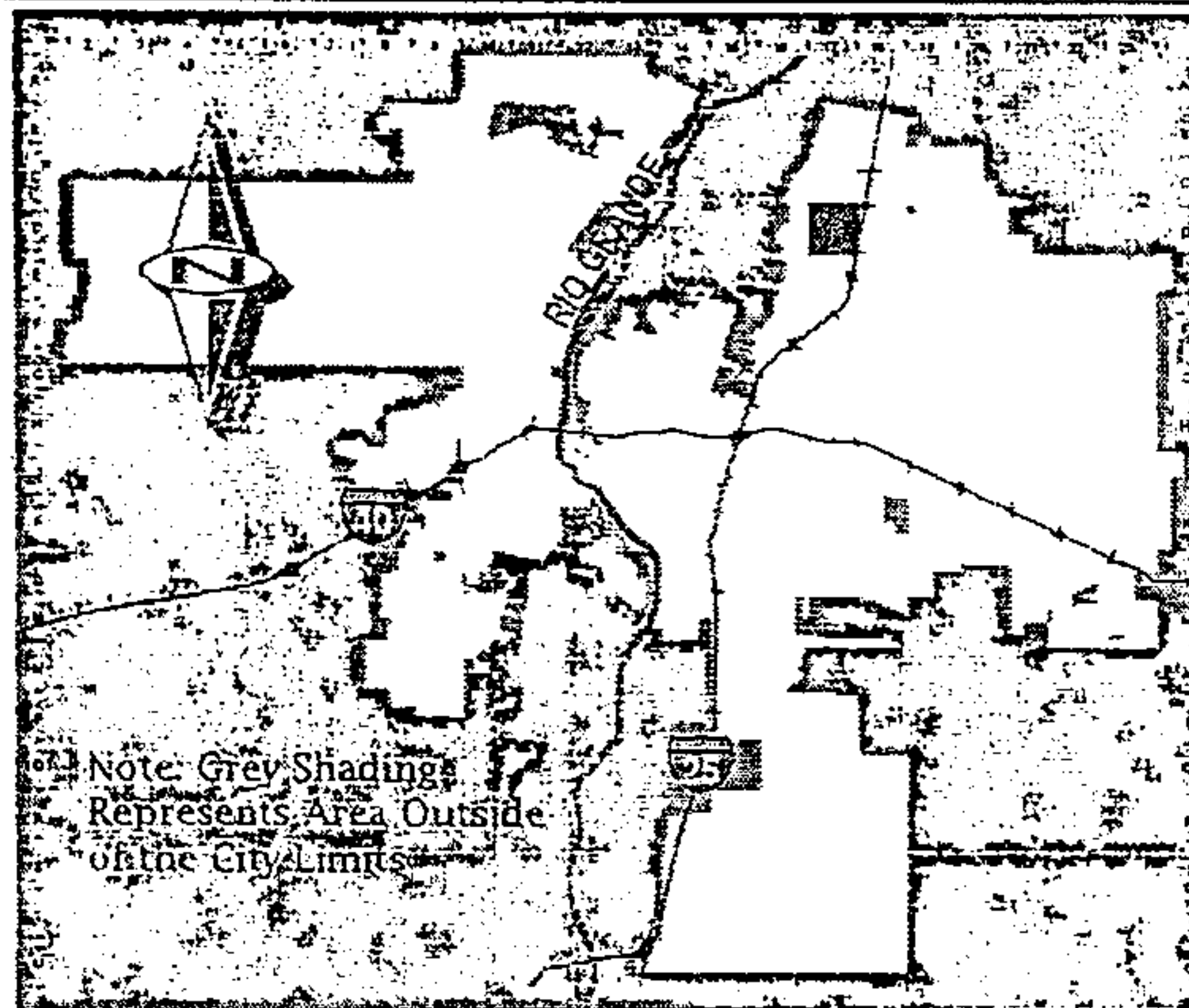
PEARSON JOHN DAVID
11612 PENDIELD LN NE
ALBUQUERQUE NM 87111



For more current information and more details visit: <http://www.cabq.gov/gis>



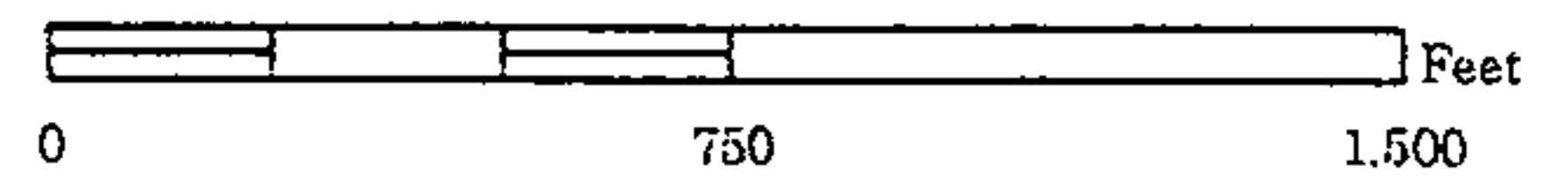
Map amended through: 8/1/2005



Zone Atlas Page:
D-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

November 21, 2005

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Masthead Office Complex at Journal Center 2, Site Plan for Building Permit Application
Journal Center, Phase 2, Unit 2, Lot 11-B, Approximately 4.4 acres DRB# 1002321

Dear Sheran:

Enclosed for approval of a Site Development Plan for Building Permit for the referenced project are copies of the following information:

- Completed Application to the Development Review Board
- Completed Checklist
- Submittal Fee in the amount of \$480.00
- Twenty Four (24) copies of the Site Plan for Building Permit
- Zone Atlas showing location of subject property


This site is currently undeveloped and is located at the southwest corner of Masthead and Washington in the Journal Center. This site plan represents the second phase of development on Tract 11. The first phase has already been approved for Building Permit and is currently under construction.

The project consists of a 2-story office building and with 61,000+/- square feet of lease able space. The building is being constructed by Reid & Associates, a design-build contractor. The site includes a sculpture of an Elk located within a large landscaped island near the main entrance to the building. Also shown on the site plan is a cooling tower to be located on the east side of the building. The cooling tower will be screened by a solid wall which is attached to the building and is architecturally compatible with the building.

The current zoning of the property requires DRB approval of a Site Development Plan for Building Permit prior to issuance a building permit. Accordingly, with this submittal we are requesting approval of the proposed Site Development Plan for Building Permit which reflects the proposed site conditions. This Site Development Plan has been prepared in accordance with City Ordinances and Journal Center guidelines. The site plan has been submitted to the Journal Center ARC and we are awaiting comments.

Please place this item on the next available agenda. If you have any questions or require further information, please contact me.

Sincerely,



Jeffrey T. Wooten, P.E.
Project Manager
Community Development and Planning Group

ENCLOSURE

cc Mike Case, Reid & Associates
Bruce Stidworthy, BHI
Mike Callahan, Journal Center

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, December 21, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1004530

05DRB-01769 Major-Vacation of Public Easements
05DRB-01774 Major-Preliminary Plat Approval
05DRB-01773 Major-SiteDev Plan BldPermit
05DRB-01772 Minor-Vacation of Private Easements
05DRB-01770 Minor-Sidewalk Waiver
05DRB-01771 Minor-Temp Defer SDWK

ISAAC BENTON & ASSOCIATES agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) G-2, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 FOR PDA TO INCLUDE C-3, located on MARNA LYNN AVE NW, between DAVENPORT ST NW and CACTUS TRAIL DR NW containing approximately 2 acre(s). [REF: DRB-94-65, DRB-94-624, DRB-94-616, Z-94-134] (C-12)

Project # 1004556

05DRB-01781 Major-SiteDev Plan BldPermit

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC, request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between WASHINGTON ST NE and MASTHEAD ST NE containing approximately 10 acre(s). (D-17)

Project # 1004557

05DRB-01783 Major-Drainage Plan to Determine the Cost Allocation for Storm Drainage Improvements

MARK GOODWIN & ASSOCIATES agent(s) for STV INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 1-6 and 27-32, Block(s) 2, 27 & 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP & R-D, located on LOUISIANA BLVD NE, between ALAMEDA NE and MODESTO AVE NE. [REF: 04DRB00067] (C-18)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

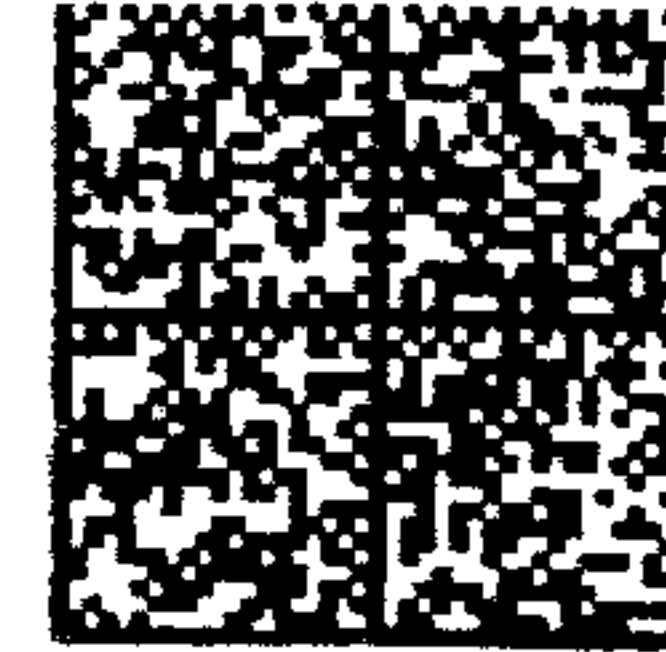
Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, DECEMBER 5, 2005.

CITY OF ALBUQUERQUE



Planning Department



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0004329277 DEC 02 2005
MAILED FROM ZIP CODE 87102

101706316526330416

TIBURON INVESTMENT CORP
13000 ACADEMY RD NE
ALBUQUERQUE, NM 87111

TIBU000 871116005 1904 13 12/06/05
FORWARD TIME EXP RTN TO SEND
: TIBURON INVESTMENT LLC
3791 SOUTHERN BLVD SE STE 202
RIO RANCHO NM 87124-7413

RETURN TO SENDER

8711148000-00 C043

#2

FILE
1004556



December 16, 2005

VIA EMAIL – scott@argusinvestmentrealty.com

Ben F. Spencer
C/o Scott Throckmorton
Masthead Road Development, LLC
630 Riverside Plaza Lane NW, Suite 200
Albuquerque, NM 87120

Re: Lot 11, Unit 2 Journal Center 2 (Building #2 Masthead Office Complex) Design Review Approval by Journal Center 2 Architectural Review Committee

Dear Ben:

We reviewed your submittal for the above referenced project and approve plans, colors, materials and specifications, with the following conditions:

1. All roof mounted mechanical equipment must be screened from view.
2. A note should be added to the Landscape Plan: "At the time common area irrigation is connected to Journal Center 2 common area irrigation system you must contact the developer, Tiburon Investment LLC."
3. You must prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) and file a Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under an National Pollutant Discharge Elimination System (NPDES) General Permit.
 - Under the provisions of the Clean Water Act federal law prohibits storm water discharges from certain construction activities to waters of the U.S. unless that discharge is covered under a NPDES Permit.
 - You may obtain additional information regarding NPDES and submit your NOI electronically at: www.epa.gov/npdes/stormwater/cgp, or telephone Storm Water Notice Processing Center at 866-352-7755.

This approval constitutes approval of the above referenced plans, colors, materials and specifications for reliance by the City of Albuquerque Development Review Board.

By copy of this letter we are transmitting the plans, colors/material board and specifications to the Journal Center Architectural Review Committee for their review. We will advise you of their action as soon as they review the plans.

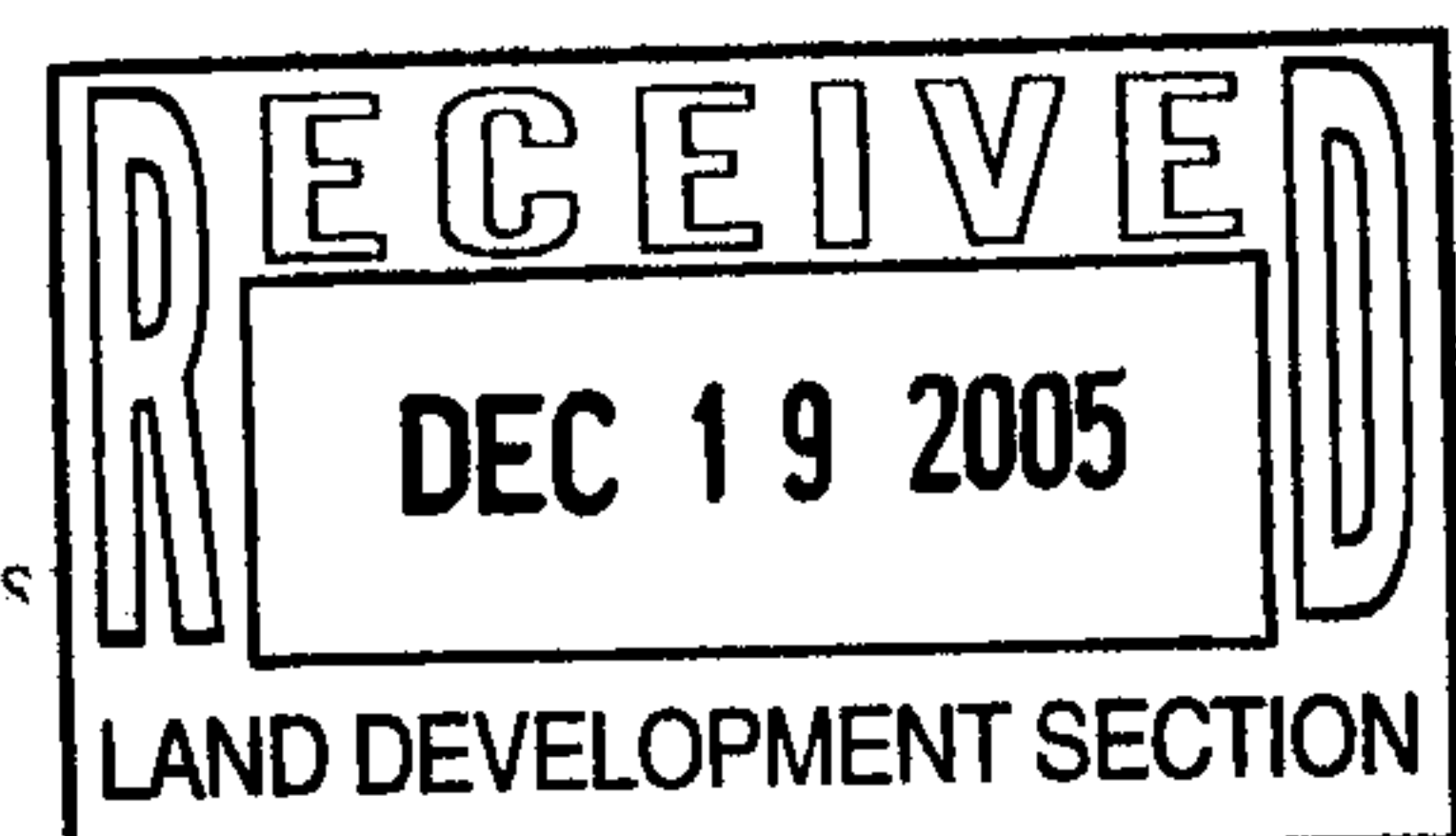
Thank you for the submittal.

Very truly yours,

Douglas H. Collister
Administrative Manager

Copy Journal Center Architectural Review Committee – Attention: Mike Callahan
Journal Center 2 Architectural Review Committee

TIBURON INVESTMENT, LLC
630 Riverside Plaza Lane NW, Suite 200 Albuquerque, NM 87120





SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form

S

V

P

L

Supplemental form

ZONING & PLANNING

- Annexation
 - County Submittal
 - EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

Z

A

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: MASTHEAD ROAD LAND PARTNERS, LLC.

ADDRESS: 6300 RIVERSIDE PLAZA LANE NW SUITE 200

CITY: ALBUQUERQUE

STATE NM

ZIP 87120

PHONE: 889-3061

FAX: 837-1061

E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): BOHANNAN HUSTON INC.

ADDRESS: 7500 JEFFERSON NE

CITY: ALBUQUERQUE

STATE NM

ZIP 87109

PHONE: 823-1000

FAX: 798-7988

E-MAIL: _____

DESCRIPTION OF REQUEST: SITE PLAN FOR BUILDING PERMIT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 11-B

Block: _____

Unit: _____

Subdiv. / Addn. JOURNAL CENTER PHASE 2 UNIT 2

Current Zoning: IP

Proposed zoning: _____

Zone Atlas page(s): D-17

No. of existing lots: 1

No. of proposed lots: 1

Total area of site (acres): 10.0496

Density if applicable: dwellings per gross acre: _____

dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.)

Within 1000FT of a landfill? NO

UPC No. 101706316420930706

MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: RUTLEDGE RD NE

Between: MASTHEAD ST. NE

and WASHINGTON ST. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB# 1002321

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Jeffrey T. Wooten

DATE 11/22/2005

(Print) JEFFREY T. WOOTEN

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - - 01781</u>	<u>SBP</u>	<u>P(2)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV.</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>12/21/05</u>	_____	_____	<u>\$ 480.00</u>

ki S's 11/23/05

Planner signature / date

Project # 1004556

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB ?
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - MA 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jeffrey T. Wooten

Applicant name (print)

11-22-2005

Applicant signature / date

Stephanie Walton



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

OSTDRB - 01781

Ki S's 11/23/05

Planner signature / date

Project # 1004556

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

November 21, 2005

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Masthead Office Complex at Journal Center 2, Site Plan for Building Permit Application
Journal Center, Phase 2, Unit 2, Lot 11-B, Approximately 4.4 acres DRB# 1002321

Dear Sheran:

Enclosed for approval of a Site Development Plan for Building Permit for the referenced project are copies of the following information:

- Completed Application to the Development Review Board
- Completed Checklist
- Submittal Fee in the amount of \$480.00
- Twenty Four (24) copies of the Site Plan for Building Permit
- Zone Atlas showing location of subject property

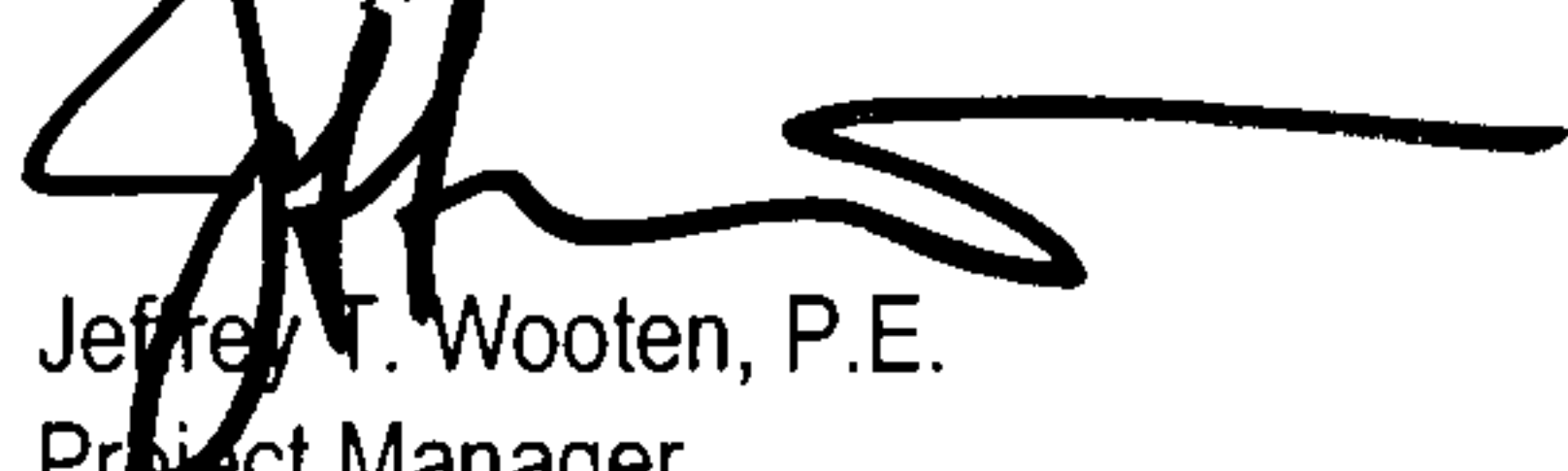
This site is currently undeveloped and is located at the southwest corner of Masthead and Washington in the Journal Center. This site plan represents the second phase of development on Tract 11. The first phase has already been approved for Building Permit and is currently under construction.

The project consists of a 2-story office building and with 61,000+/- square feet of lease able space. The building is being constructed by Reid & Associates, a design-build contractor. The site includes a sculpture of an Elk located within a large landscaped island near the main entrance to the building. Also shown on the site plan is a cooling tower to be located on the east side of the building. The cooling tower will be screened by a solid wall which is attached to the building and is architecturally compatible with the building.

The current zoning of the property requires DRB approval of a Site Development Plan for Building Permit prior to issuance a building permit. Accordingly, with this submittal we are requesting approval of the proposed Site Development Plan for Building Permit which reflects the proposed site conditions. This Site Development Plan has been prepared in accordance with City Ordinances and Journal Center guidelines. The site plan has been submitted to the Journal Center ARC and we are awaiting comments.

Please place this item on the next available agenda. If you have any questions or require further information, please contact me.

Sincerely,



Jeffrey T. Wooten, P.E.
Project Manager
Community Development and Planning Group

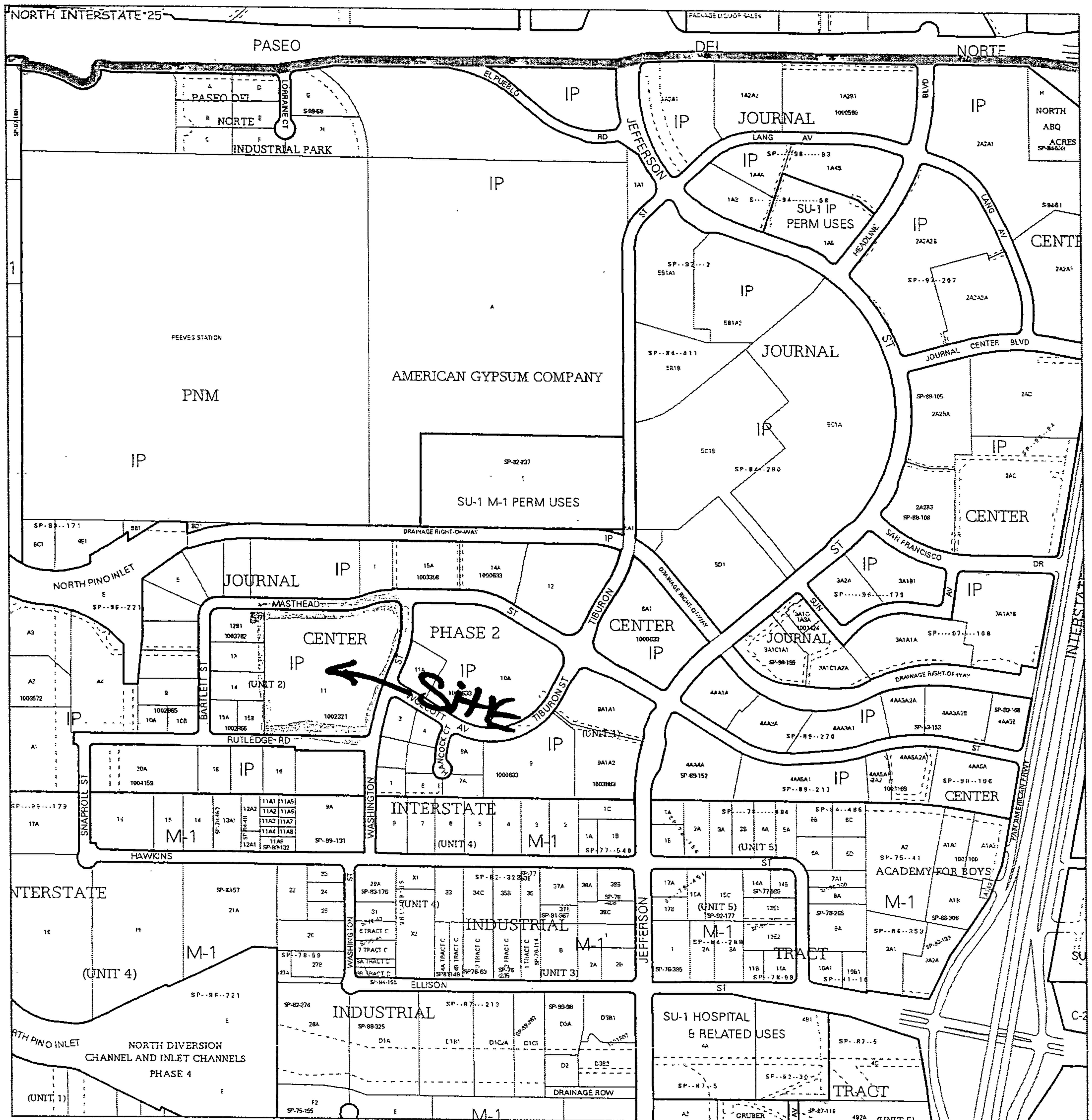
ENCLOSURE

cc Mike Case, Reid & Associates
Bruce Stidworthy, BHI
Mike Callahan, Journal Center

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

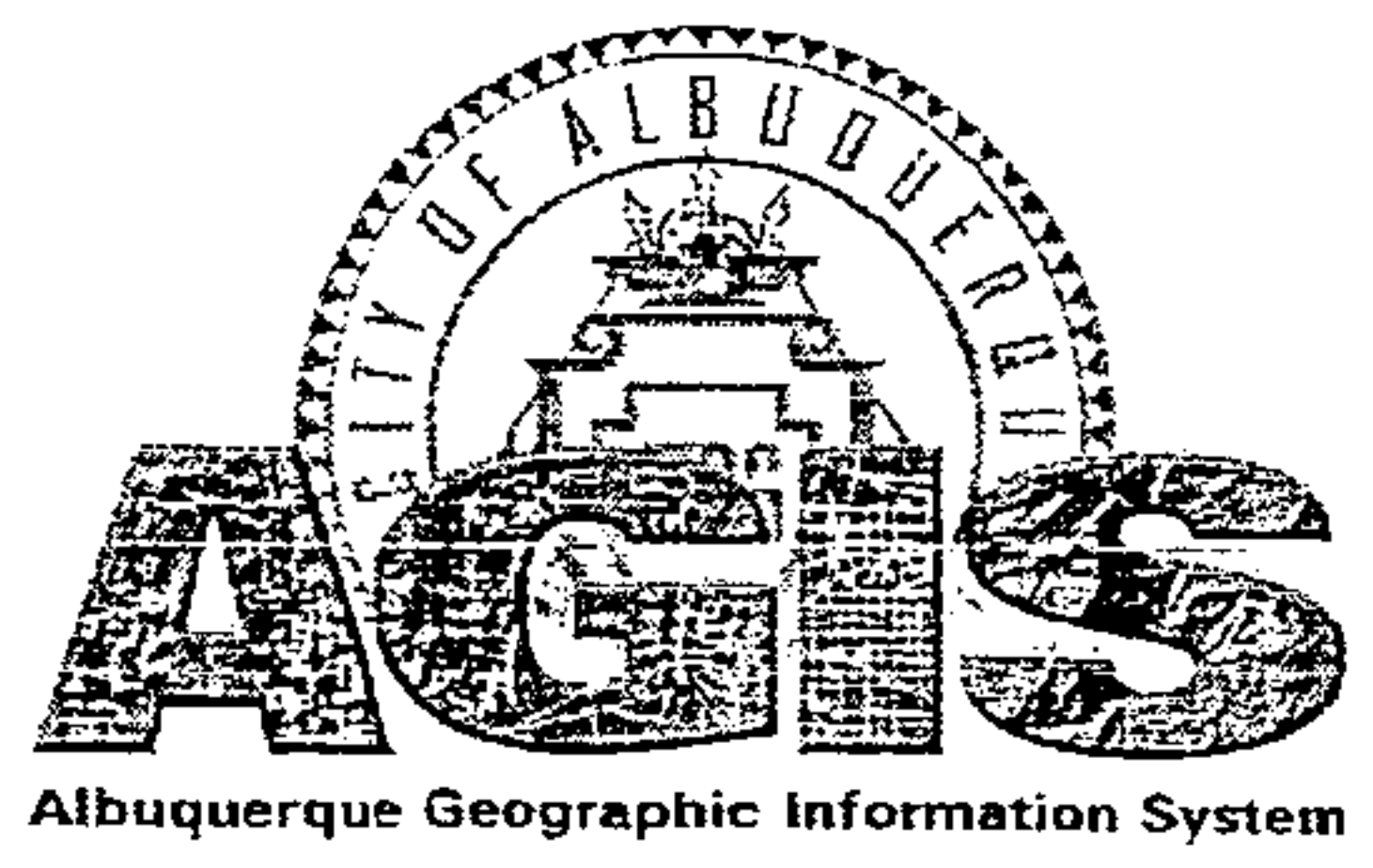


For more current information and more details visit: <http://www.cabq.gov/gis>

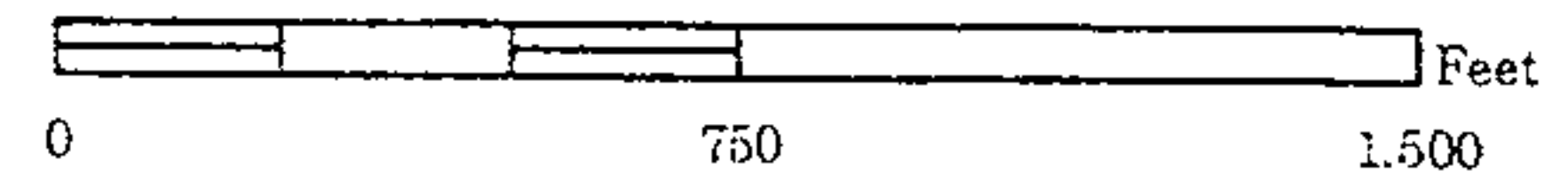
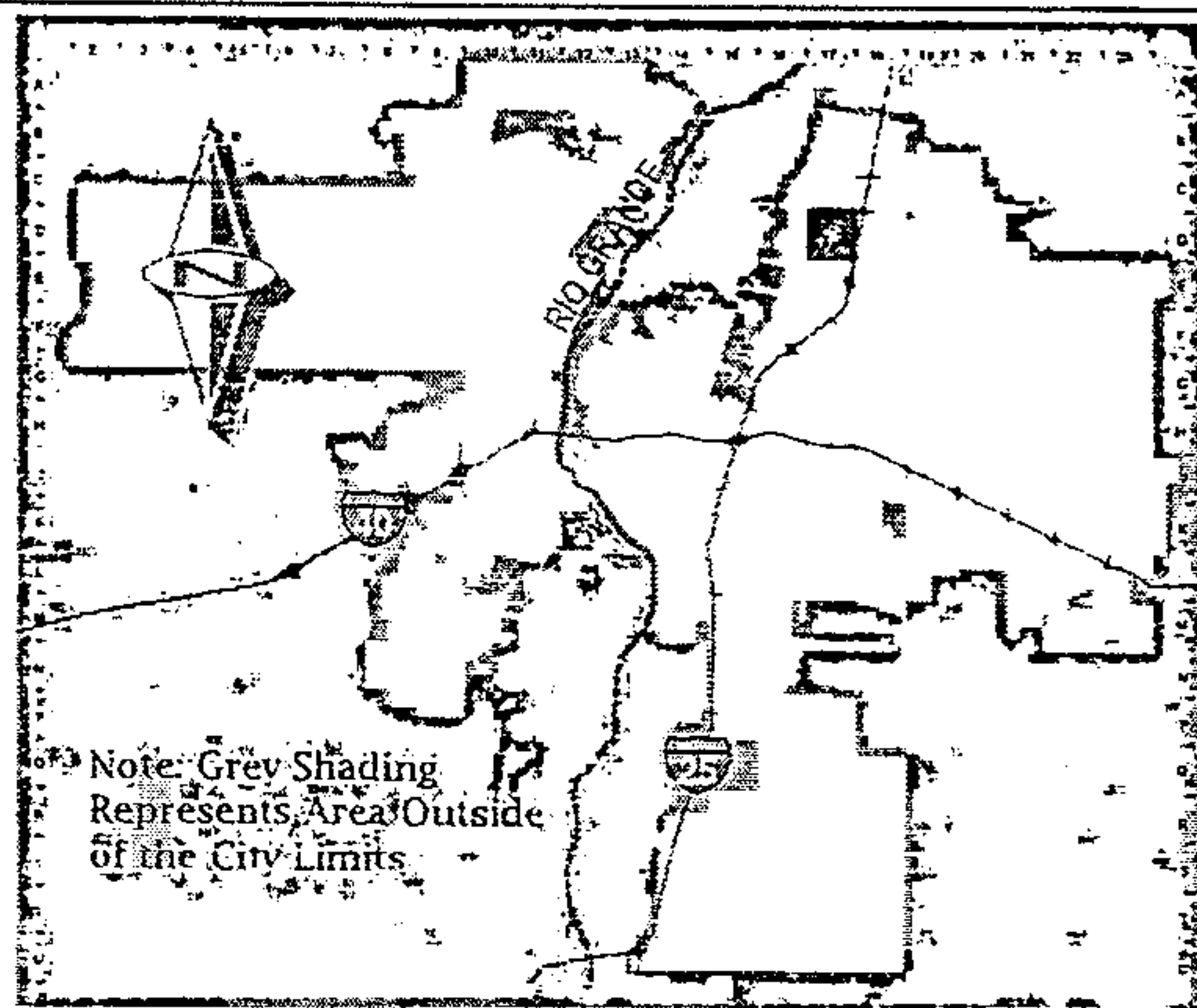
Zone Atlas Page:
D-17-Z

Selected Symbols

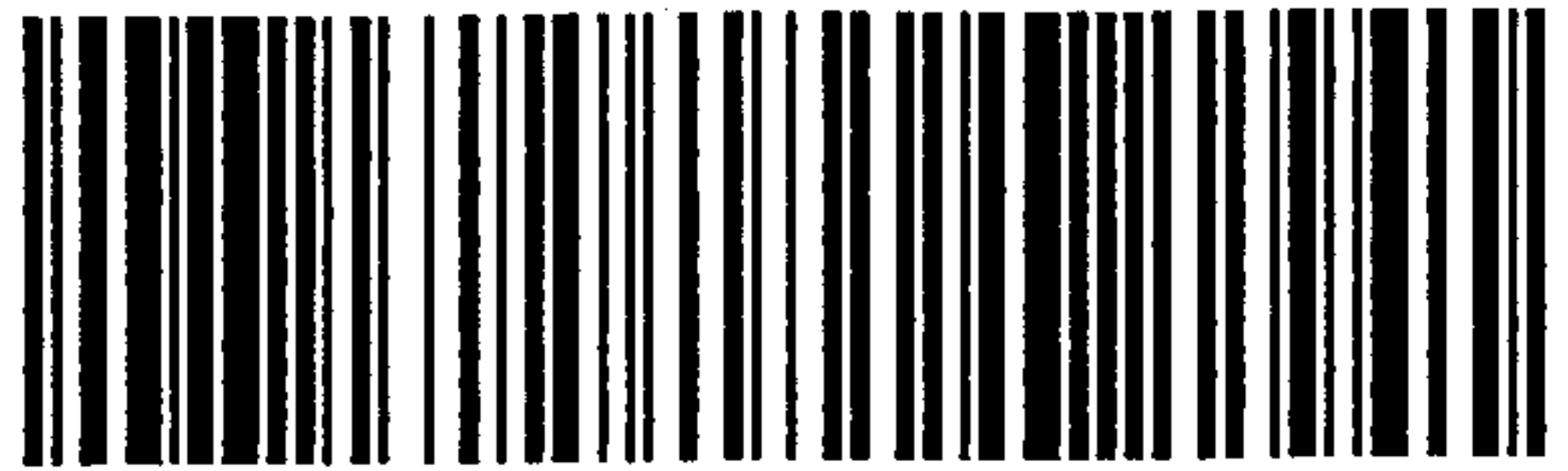
- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



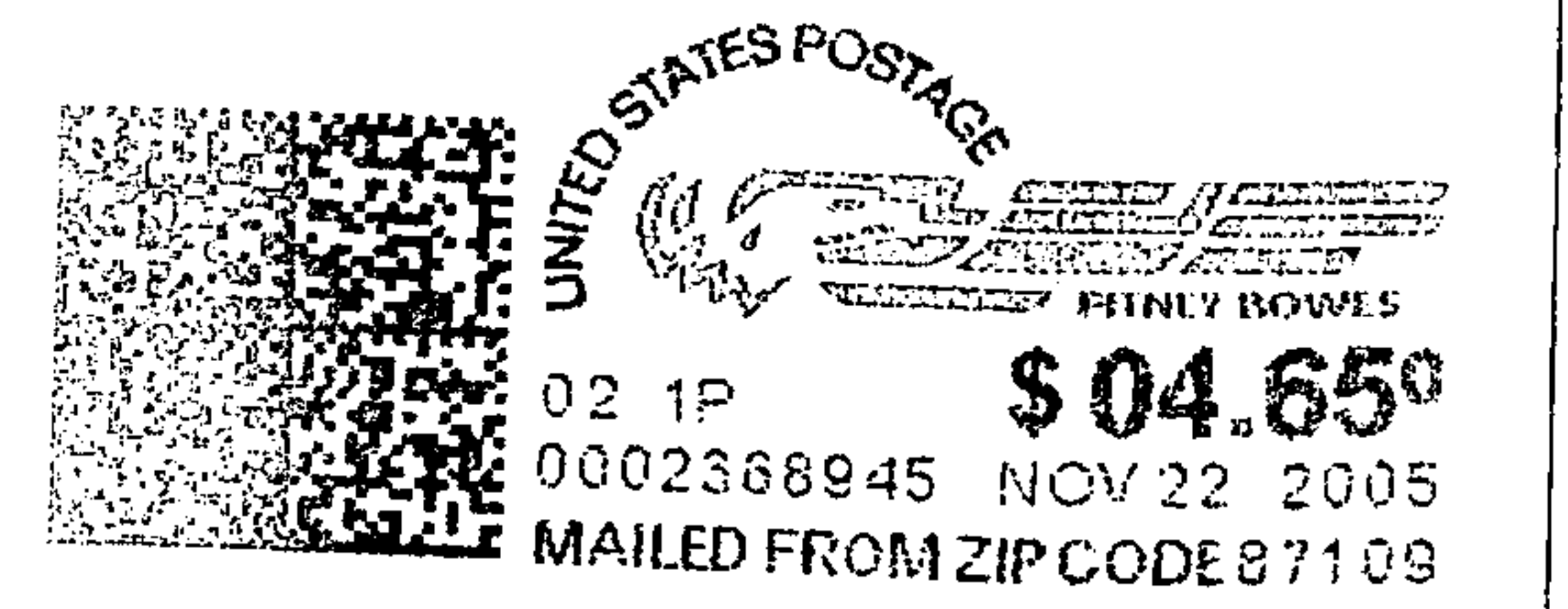
Map amended through: 8/1/2005



NC
109



91 7108 2133 3931 1991 3150



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 Steve W. H. Worth
 8919 Bee Lane NE
 Albuquerque, NM 87113

2. Article Number
 (Transfer from service label)

91 7108 2133 3931 1991 3150

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

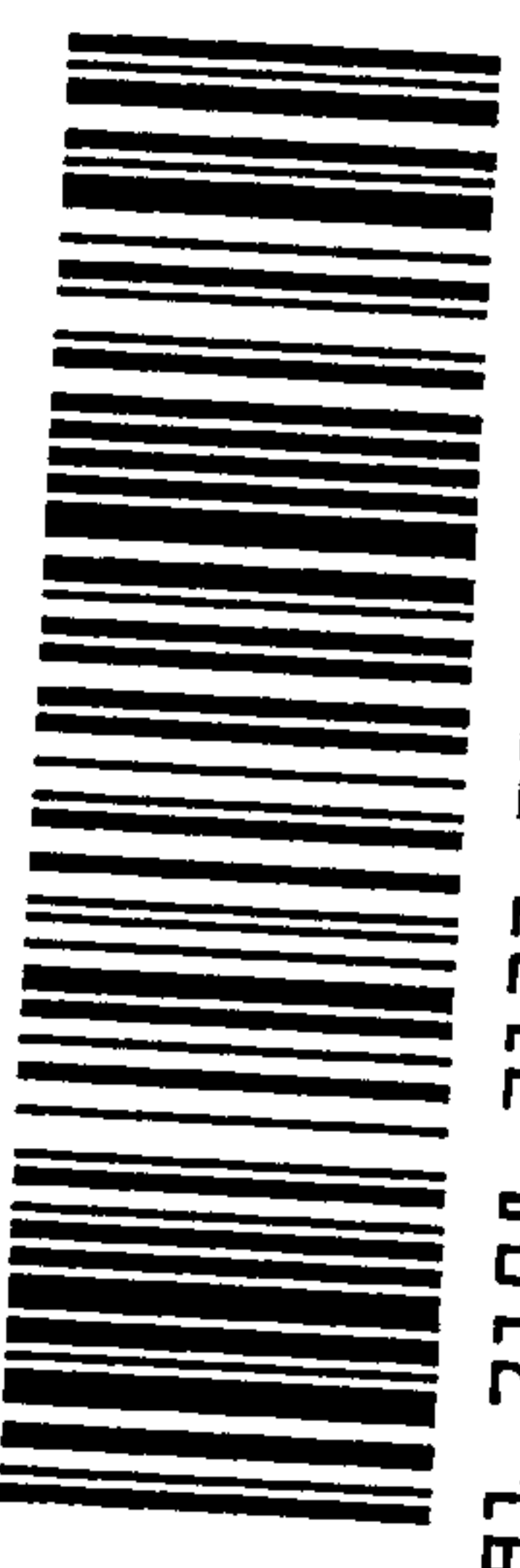
A. Signature Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes



91 7108 2133 3931 1991 3167

UNITED STATES POSTAGE
FIRST CLASS
\$04.65
0002368945 NOV 22 2005
MAILED FROM ZIP CODE 67109

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee

B. Received by (*Printed Name*) C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
*Lesly Bourde
413 Alameda Blvd. NW
Albuquerque, NM 87114*

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.
4. Restricted Delivery? (*Extra Fee*) Yes

2. Article Number *91 7108 2133 3931 1991 3167*

(*Transfer from service label*)
PS Form 3811, February 2004 Domestic Return Receipt 102595-02-M-1540

November 21, 2005

Sheran Matson, DRB Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Ms. Matson:

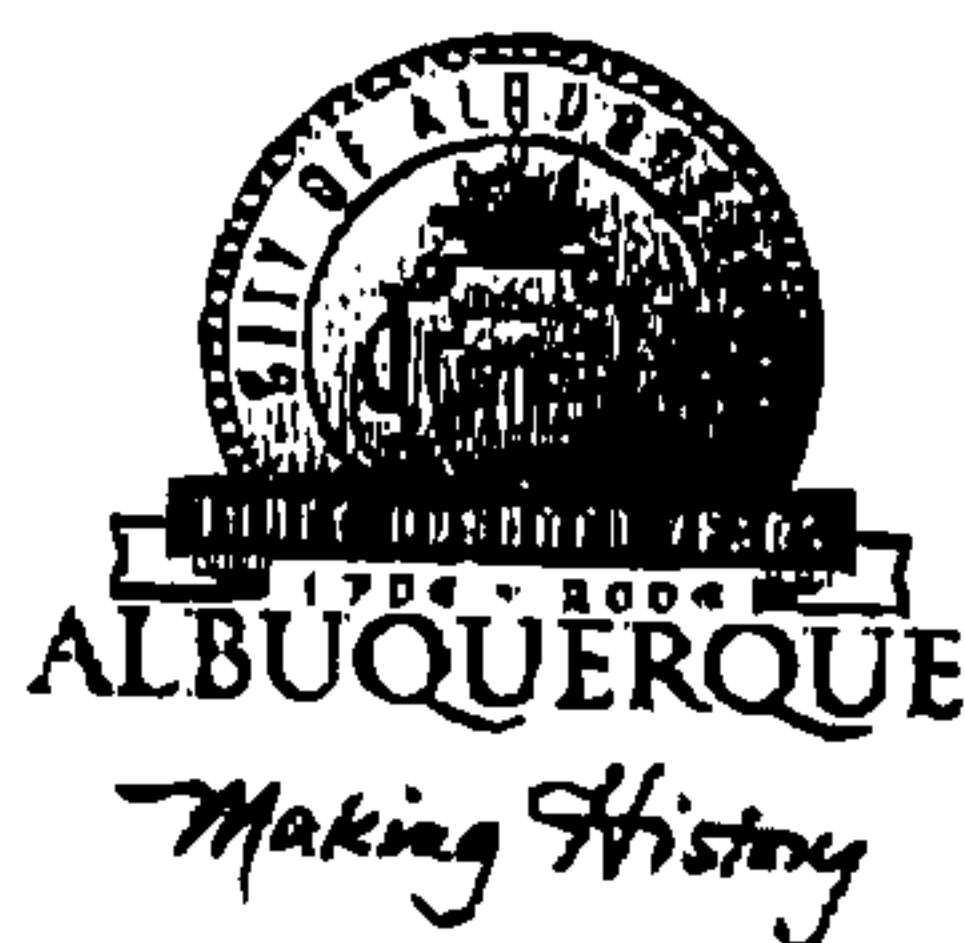
The purpose of this letter is to authorize Bohannan Huston Inc. to act as agent for Masthead Road Development, LLC, for the purpose of processing the Site Plan for Building Permit.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me.
Thank you for your courtesy in this matter.

Thank you,

A handwritten signature in black ink, appearing to read 'BFS', with a long horizontal flourish extending to the right.

Ben F. Spencer
Masthead Road Development, LLC



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

November 21, 2005

Stephanie Stratton
Bohannon Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988

Dear Stephanie:

Thank you for your inquiry of November 21, 2005 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **JOURNAL CENTER, PHASE 2, UNIT 2, LOT 11** zone map **D-17**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. (ANV) "R"

*Steve Wentworth

8919 Boe Ln. NE/87113-2328 897-3052 (h)

Leroy Gurule

713 Alameda Blvd. NW, Alameda/87114 890-1845 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(11/21/05)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(below this line for ONC use only)

Date of Inquiry: 11/21/05 Time Entered: 2:25 p.m. ONC Rep. Initials: SW

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

November 22, 2005

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, New Mexico 87113

RE: Journal Center Phase 2 Unit 2 Lot 11-B
Site Plan for Building Permit


Dear Mr. Wentworth:

We have been informed by the City of Albuquerque's Office of Neighborhood Coordination that you are a representative of the Alameda North Valley Association.

This letter is to advise you that Bohannan Huston, Inc., agent for Masthead Road Development, LLC., is seeking approval of Site Plan for Building Permit from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,


Jeffrey T. Wooten, P.E.
Project Manager
Community Development and Planning Group

SS
Enclosure

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

November 22, 2005

Mr. Leroy Gurule
713 Alameda Blvd. NW
Albuquerque, New Mexico 87114

RE: Journal Center Phase 2 Unit 2 Lot 11
Site Plan for Building Permit

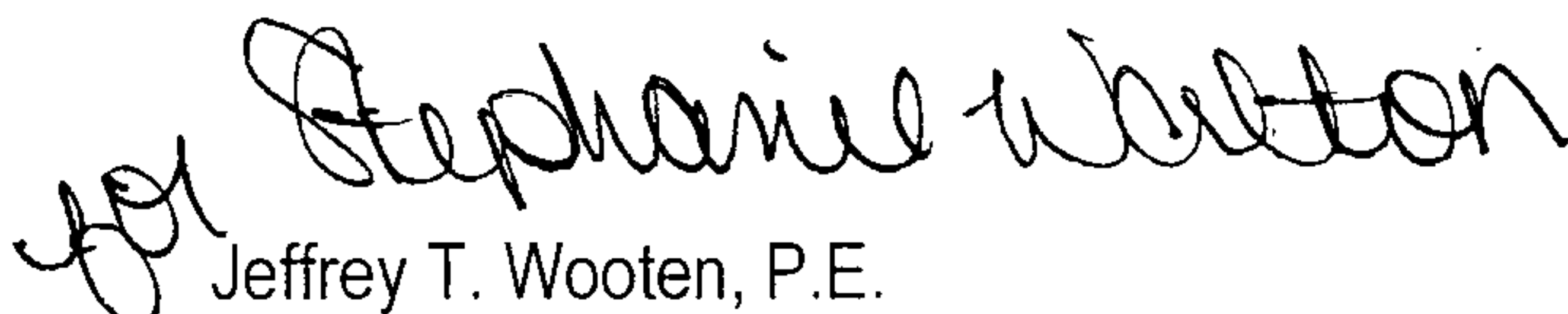
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Sincerely,


Jeffrey T. Wooten, P.E.
Project Manager
Community Development and Planning Group

SS
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

(CITY OF ALBUQUERQUE)

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Meadowood Road Land Partners, LLC. DATE OF REQUEST: 11/22/05 ZONE ATLAS PAGE(S): D-17
CURRENT: IP LEGAL DESCRIPTION: Journal Center Phase 2 Unit 2
ZONING IP LOT OR TRACT # LOT 11-B BLOCK # _____
PARCEL SIZE (AC/SQ. FT.) 10.0496 SUBDIVISION NAME _____

REQUESTED CITY ACTION(S):

- ANNEXATION [] SECTOR PLAN [] SITE DEVELOPMENT PLAN:
COMP. PLAN [] ZONE CHANGE [] A) SUBDIVISION [] BUILDING PERMIT
AMENDMENT [] CONDITIONAL USE [] B) BUILD'G PURPOSES ACCESS PERMIT []
C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: 1

- NO CONSTRUCTION/DEVELOPMENT [] # OF UNITS: 1
NEW CONSTRUCTION [] BUILDING SIZE: _____ (sq. ft.)
EXPANSION OF EXISTING DEVELOPMENT []

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE _____ DATE 11-23-2005
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

TRAFFIC ENGINEER _____ DATE _____

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO []

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

APPLICANT _____ DATE _____

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED ___/___/___
-FINALIZED ___/___/___ TRAFFIC ENGINEER _____ DATE _____

er

IP Site Plan Approval,

This IP site plan was approved by the Environmental Planning Commission (EPC) on August 16, 1980. The associated parcels were zoned and annexed to the City of Albuquerque based upon recommendations by the EPC rendered at the same meeting (AX-79-13, Z-79-80-2).

The subject site plan is intended to define the major public infrastructure elements of the plan as required by the IP zone. The building placement on this plan is shown for illustration purposes only and shall not dictate the pattern of future development plans.

Subsequent site development plans within the boundaries of this site plan shall conform with the major public infrastructure elements of this plan and with the requirements of the IP zone. ~~the following note shall appear on each approved site development plan, along with the signatures of the DRB members:~~

Site Development Plan Approval

This plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AX-79-13, Z-79-80-2) and the IP zone.

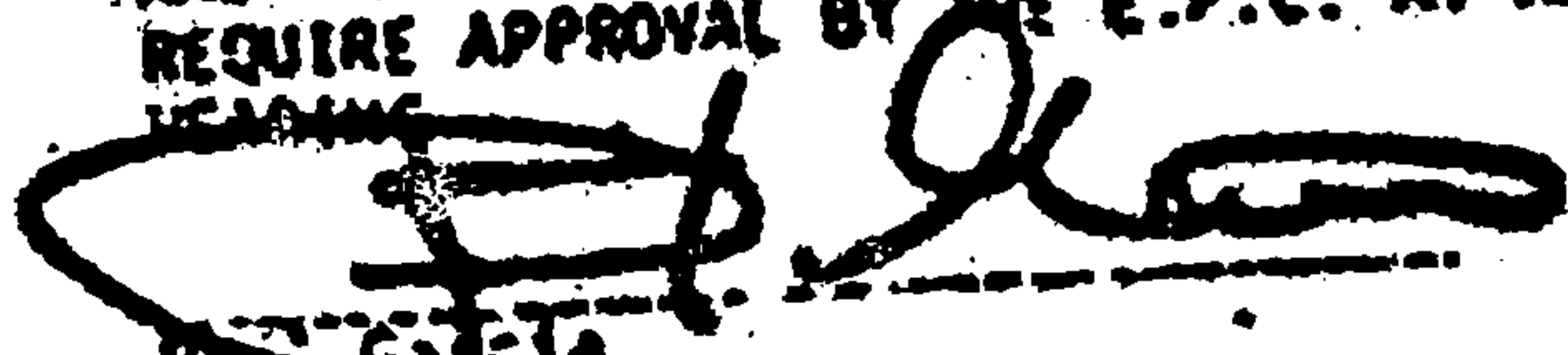
It conforms with the comments rendered by the Development Review Board on _____, 198____, as reflected in DRB _____.

 Planning Director Date

E. Candalaria 10/17/00
 Date
 Parks + Recreation

3/15/01
 Date

NOTE:
 PUBLIC ADVERTISING WILL BE REQUIRED FOR THE C.R.B. MEETING AT WHICH SITE SPECIFIC PLANS ARE TO BE REVIEWED AND APPROVED. MAJOR DEVIATIONS FROM THIS PLAN WILL REQUIRE APPROVAL BY THE E.P.C. AT AN ADVERTISED PUBLIC HEARING.


 Pat Garcia
 Assistant City Planner

- KEYED NOTES**
1. 14" HIGH MASONRY SCREEN WALL TO MATCH BUILDING. REF. ARCH. DETAILS. WALL TO SCREEN MECH. EQUIPMENT.
 2. MASONRY FINISH TO MATCH BUILDING. MAX. 6" HIGH. SEE DETAIL ON SHEET A-1.2. INSTALL CONCRETE PAD PER CROSS SECTION DETAIL ON SHEET C1.2.
 3. SAWCUT & REMOVE EXISTING SIDEWALK AND CURB & GUTTER. INSTALL HANDICAP RAMP / MIN. 5'-5" LANDING.
 4. BICYCLE PARKING (21 SPACES). REF. DETAIL ON SHEET C1.2.
 5. 6" WIDE PRECAST CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2x MAX. CROSS SLOPE). PAVEMENT COLOR PER ARCHITECT. REF. DETAIL ON SHEET C1.2.
 6. EXISTING MONUMENT SIGN. INSTALL WITH PHASE 1.
 7. EXISTING 6" WIDE SIDEWALK. INSTALLED WITH PHASE 1.
 8. 4" HIGH MASONRY RETAINING WALL. RETAINING WALL SHALL BE SPILT FACE CMU TO COMPLEMENT BUILDING. REF. DETAIL ON SHEET C1.2.
 9. 6'-6" TREE PLANTER (TYP). REF. LANDSCAPE PLANS FOR TREATMENT.
 10. LIGHT POLE. REF. LIGHTING PLANS FOR DETAILS.
 11. MEDIAN CURB & OUTER PER CONA STD DWG 2419 (6" HIGH CURB).
 12. CONC. VALLEY GUTTER PER CONA STD DWG 2421 (SECTION A-A).
 13. 4" THICK CONCRETE SIDEWALK PER CONA STD DWG 2430.
 14. INSTALL PRECAST CONCRETE WHEELSTOP PER MANUFACTURER'S RECOMMENDATIONS.
 15. INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.2.
 16. INSTALL CURB ACCESS RAMP PER CONA STD DWG 2440 AND 2441.
 17. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
 18. INSTALL NEW ASPHALT PAVEMENT PER DETAILS SHEET C1.2.
 19. INSTALL 4" BOLLARDS PER DETAILS 2 & 4. SHEET A-1.2.
 20. INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STAYING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
 21. BOLLARD LIGHTING PER DETAIL ON SHEET C1.1.

LEGAL DESCRIPTION
 PARTIAL 1/4 SECTION 11, T12N, R13E, S41E, PHASE 2
 ABILENE, TX, NOVEMBER 2009

PROJECT TITLE
 MASTHEAD OFFICE COMPLEX
 AT JOURNAL CENTER 2

PROJECT NUMBER:

Application Number:

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (consultant)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Governmental Health, if necessary.

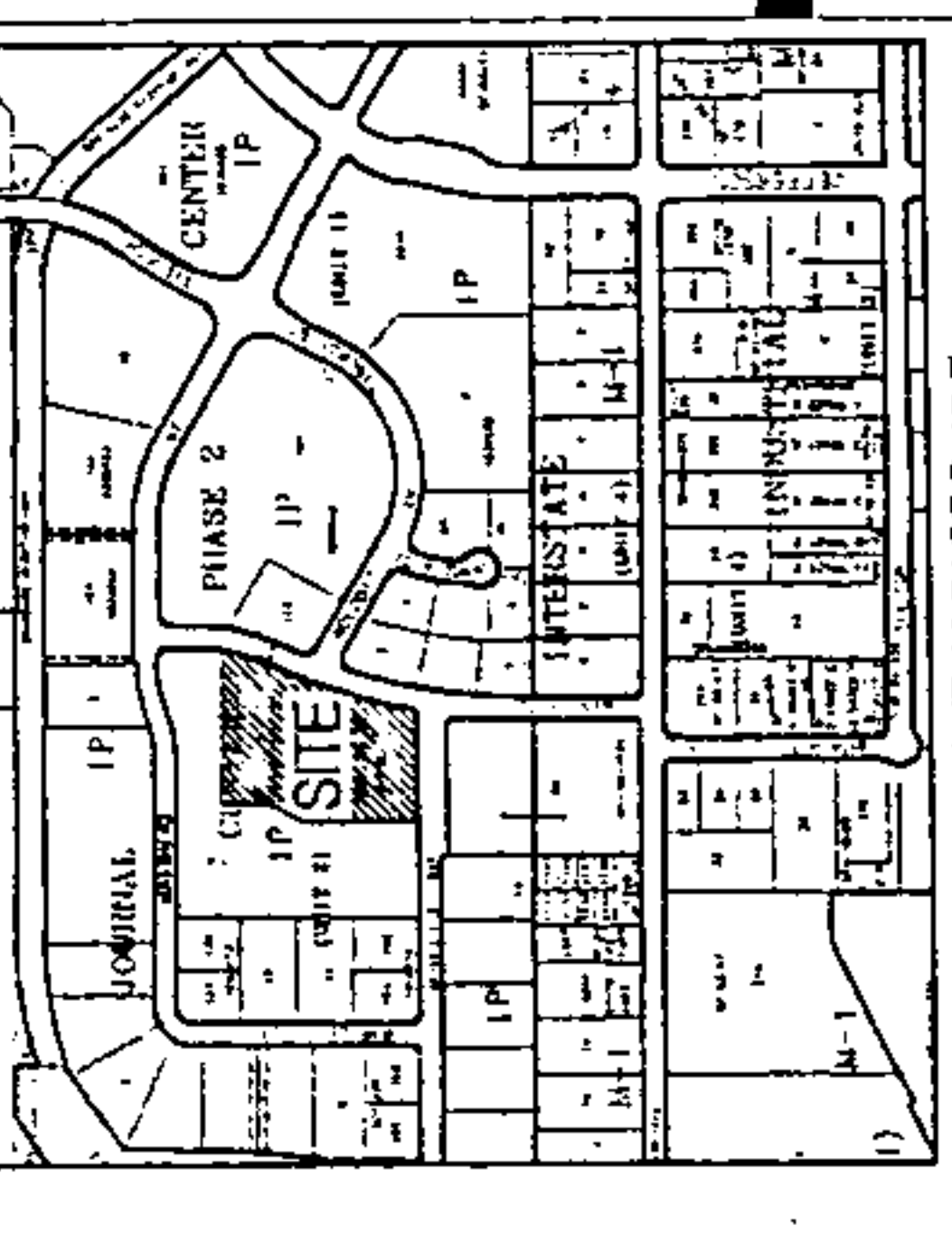
PROJECT DATA

Zoning (Existing)	= IP
Site Area	= 4.43 ac.
Building Area (Total Tenancy)	= 50,840 sf
Site Coverage	= 18.80% of
Parking Required	= 1524
1st floor office rentals 30,000sf @ 1/200'	= 1524
2nd floor office rentals 20,840sf @ 1/200'	= 979
Total Required	= 2500
Handicap Accessible Spaces Required	= 8
Handicap Accessible Spaces Provided	= 106
Handicap Accessible Spaces (0.5' x 20' or 0.5' x 18' x 4')	= 180
Handicap Accessible Spaces (6.5' x 20')	= 12
Total Provided	= 298
Bicycle Parking Required	= 15 (1/70 automobile spaces)
Bicycle Parking Provided	= 21 (3 rows of 7 each)

DRAWING INDEX

CI-0 - SITE DETAILS	DATE	DESCRIPTION
CI-1 - LANDSCAPE PLAN		
CI-2 - PRELIMINARY GRADING PLAN		
CI-3 - BUILDING & STRUCTURE ELEVATIONS		
CI-4 - BUILDING & STRUCTURE ELEVATIONS		
CI-5 - CONCEPTUAL UTILITY PLAN		

Bohannon & Huston
 CONSULTING ENGINEERS
 7600 JEFFERSON BL. ABILENE, TX 79706-4338
 PHONE: 325-333-4000 FAX: 325-333-4001
 WWW.BOHANNON-AND-HUSTON.COM



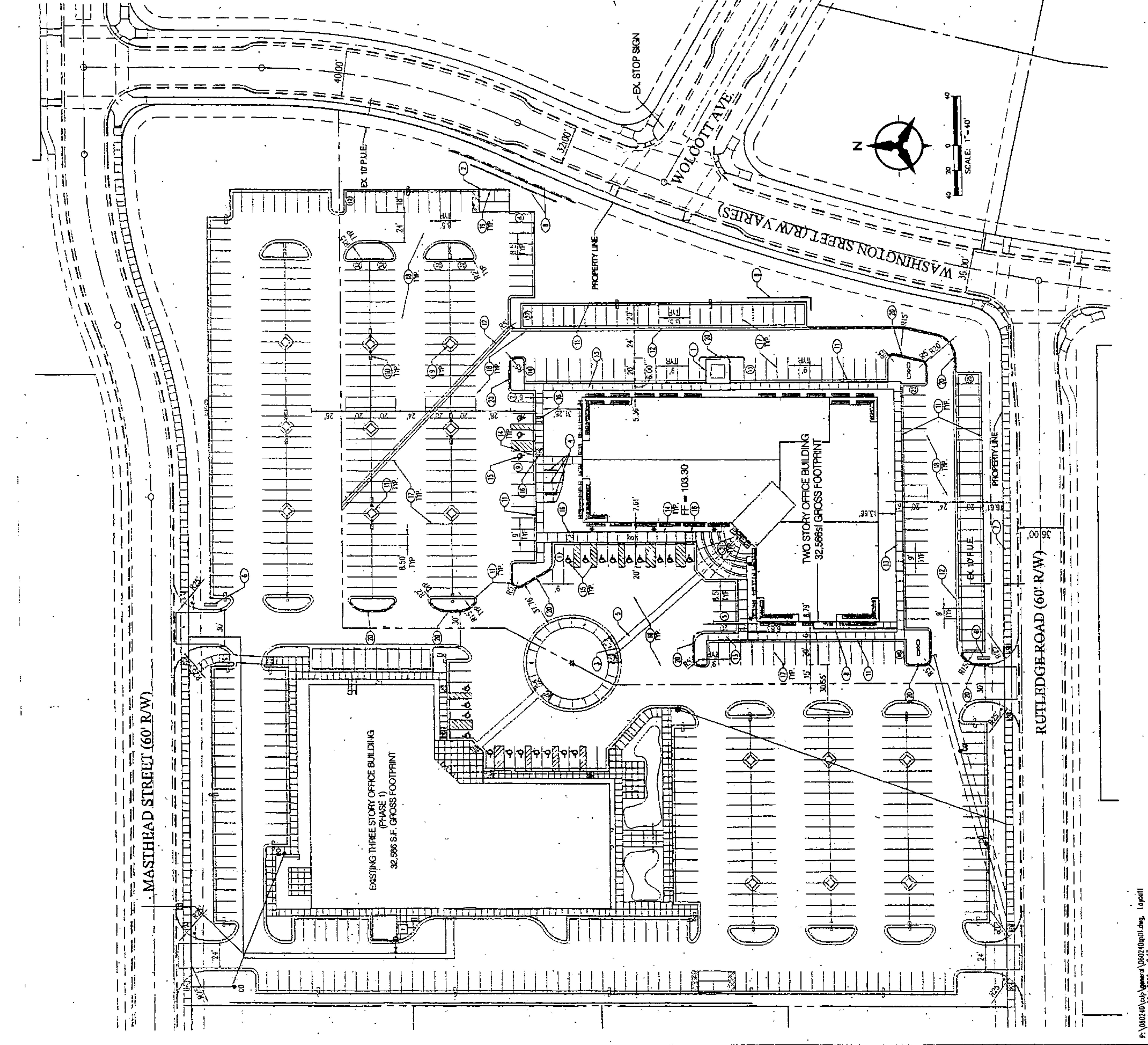
GENERAL NOTES

1. SCREEN WALLS AND RETIE ENCLOSURE SHALL BE MITERED TO BUILDING WALL/FINISH.
2. UTILITY BOXES SHALL BE SCREENED WITH MASONRY ENCLOSURE.
3. SEE LISTINGS SHALL BE INDUSTRIAL CITY - OCT TYPE AND MASONRY 24" HIGH. CONCRETE PALES AND FINISHES SHALL BE PER ARCHITECTURAL RECORDS.

REVISIONS

NO.	DATE	DESCRIPTION

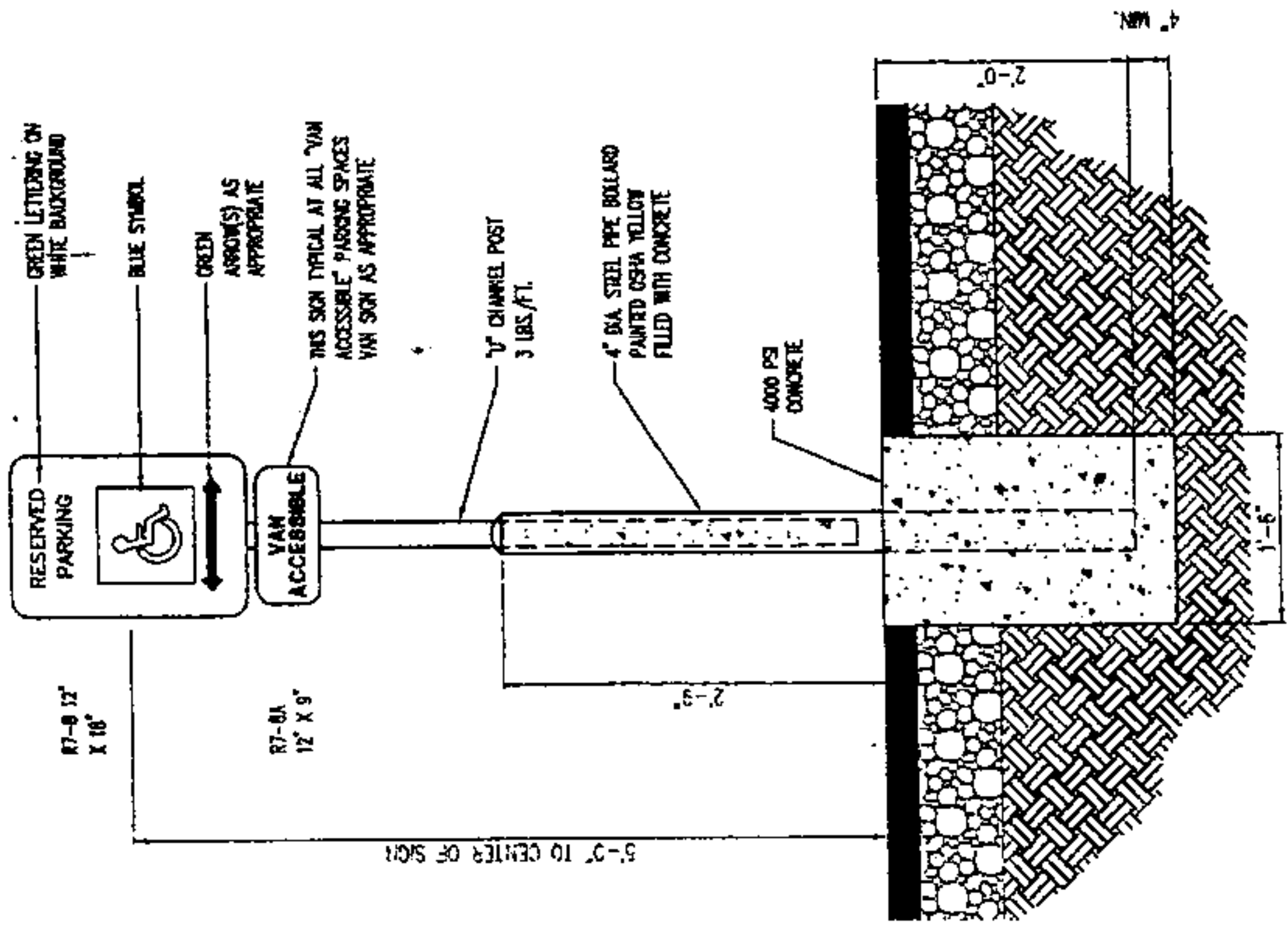
DRAWN BY: JTV
CHECKED BY: JTV
DATE: NOVEMBER 2009
JOB NUMBER: AS05
SHEET NO: C1.0



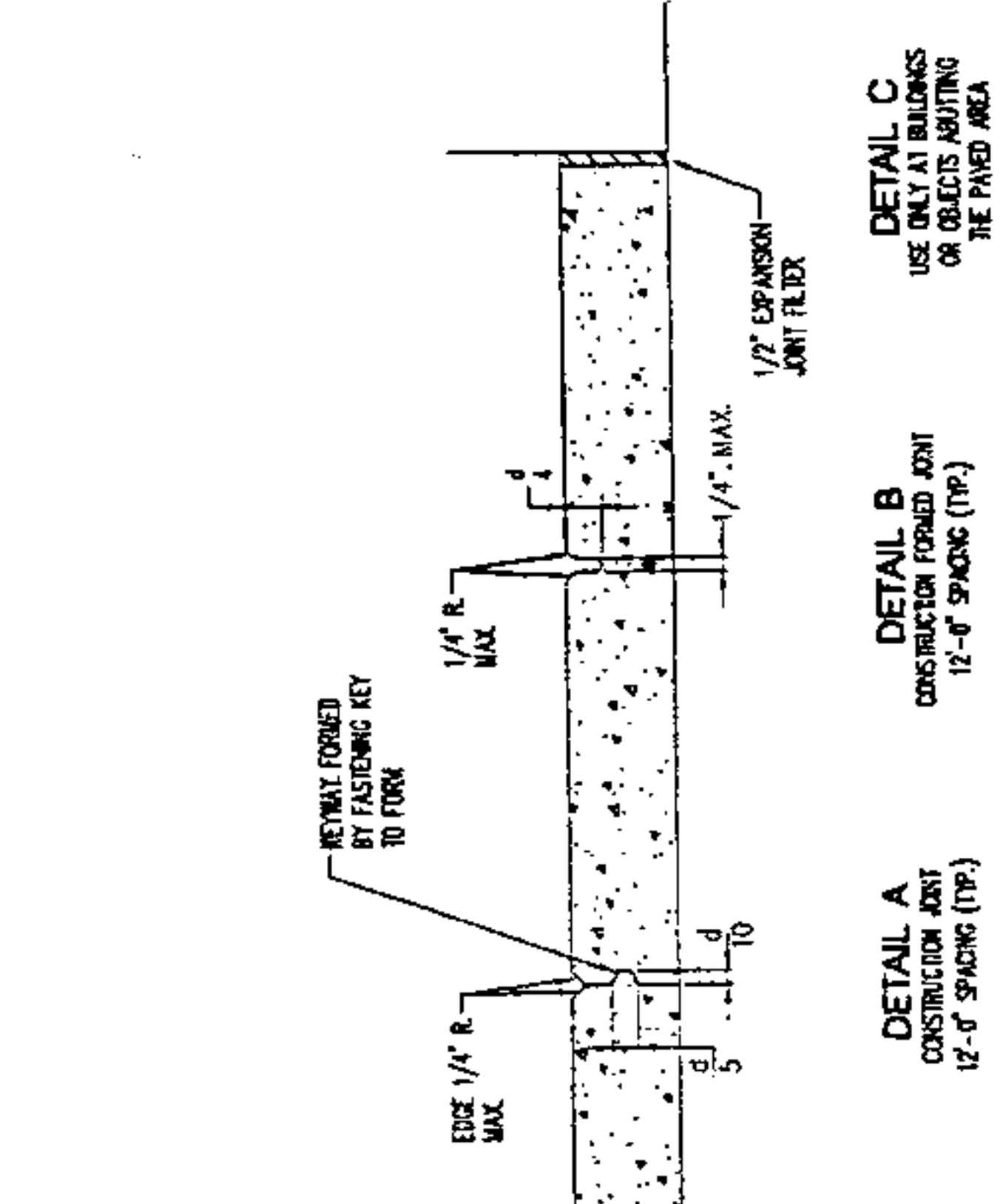
P: 060210 City of Abilene - US07 (03).dwg, Layout
 November 22, 2009 - 2:15pm
 Plotted by: RBA/MEK

REVISIONS	DATE	DESCRIPTION	CHECKED BY

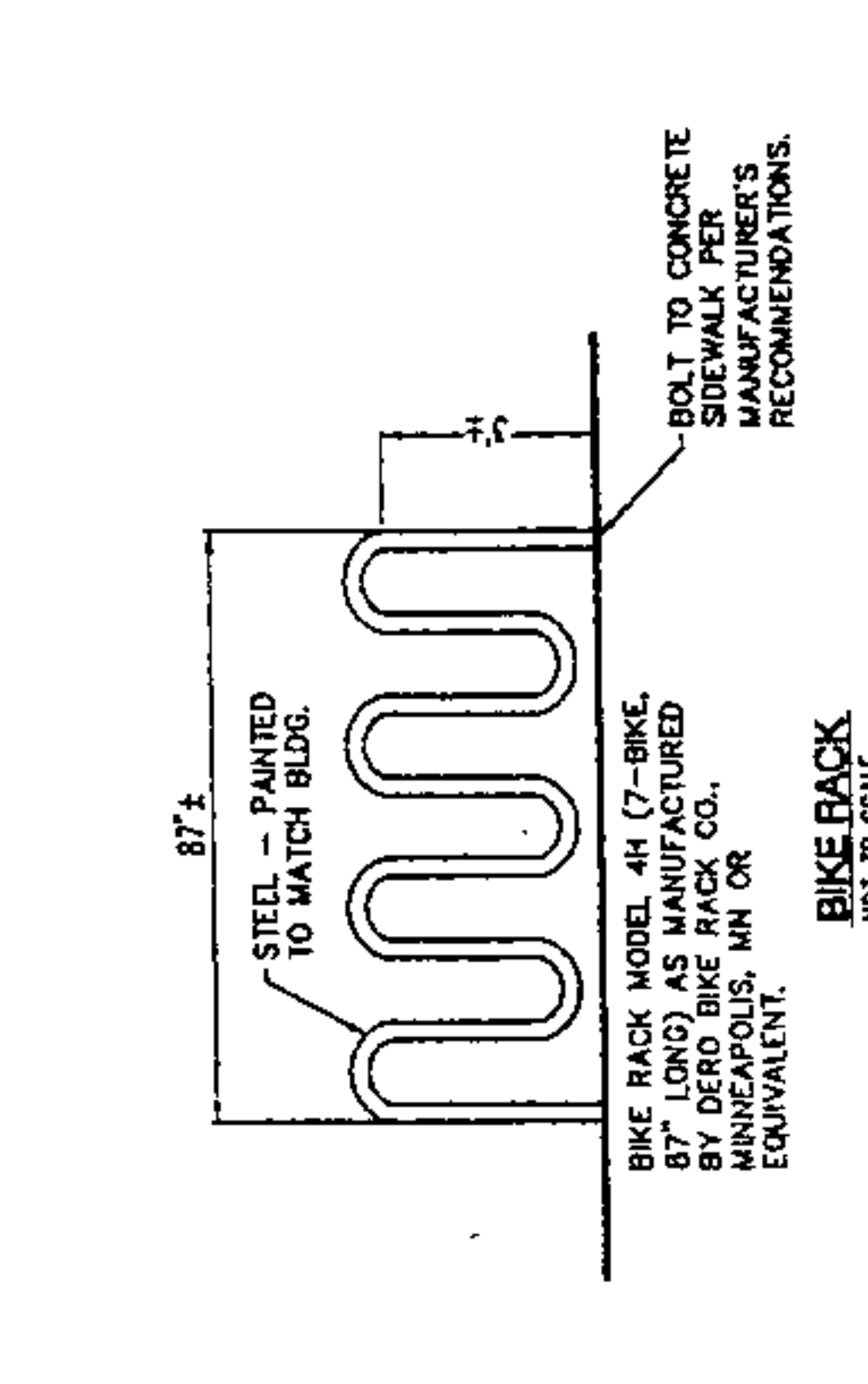
DATE: NOVEMBER 2005
SHEET NO: C1.1



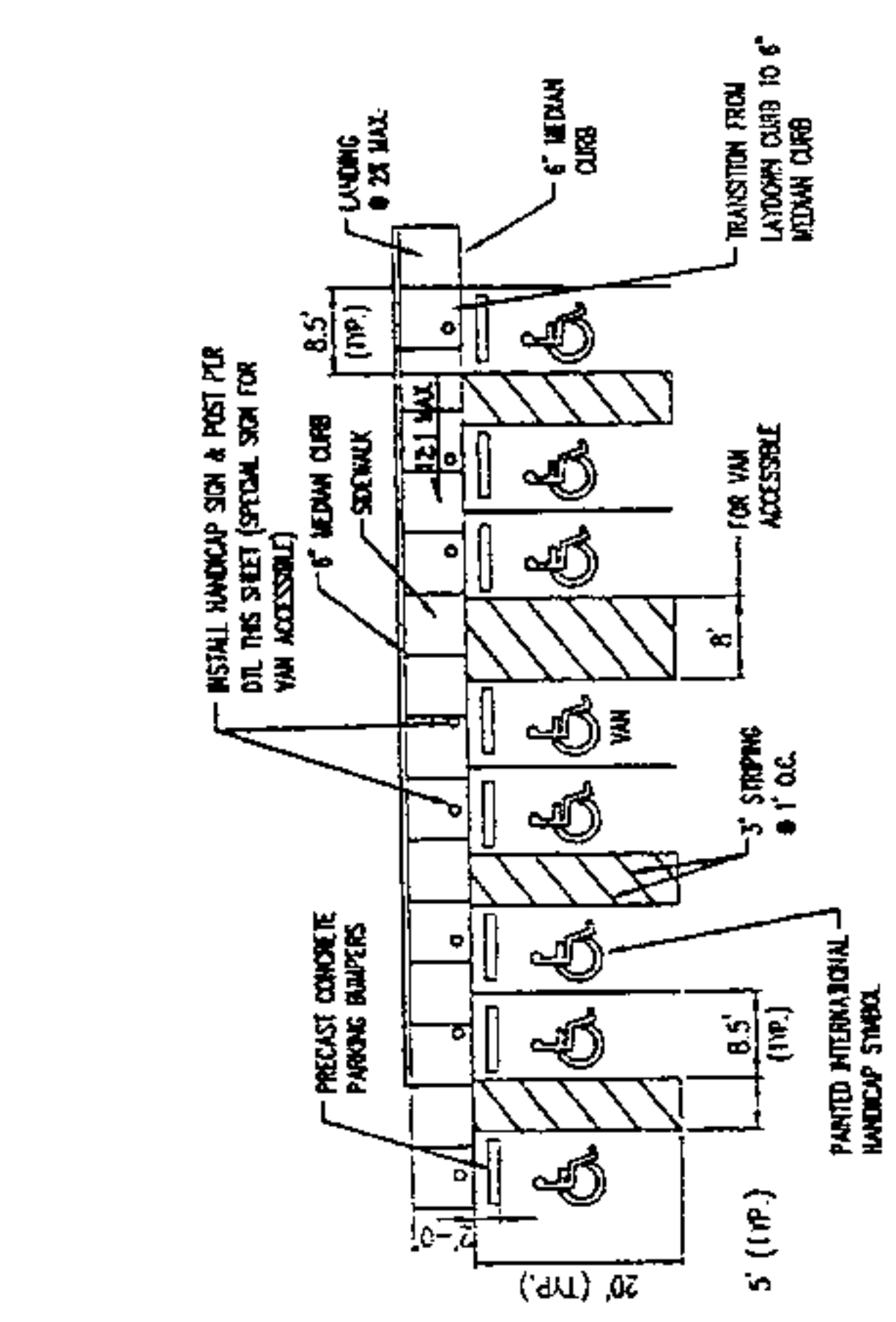
HANDICAP PARKING SIGN MOUNTING DETAIL
N.T.S.
ONE SIGN SHALL BE INSTALLED AT EACH HANDICAP SPACE.



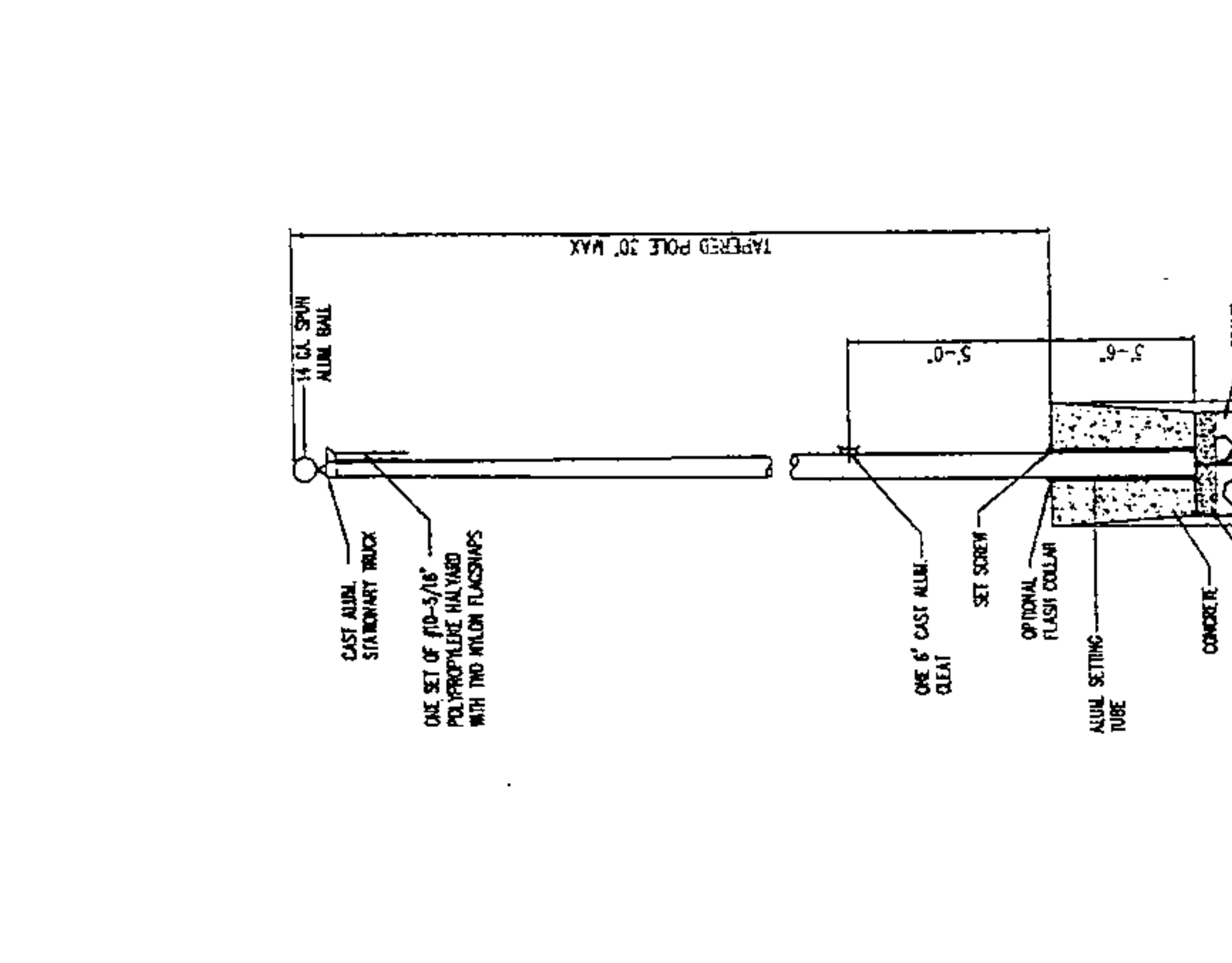
CONCRETE PAVEMENT JOINT DETAILS
N.T.S.



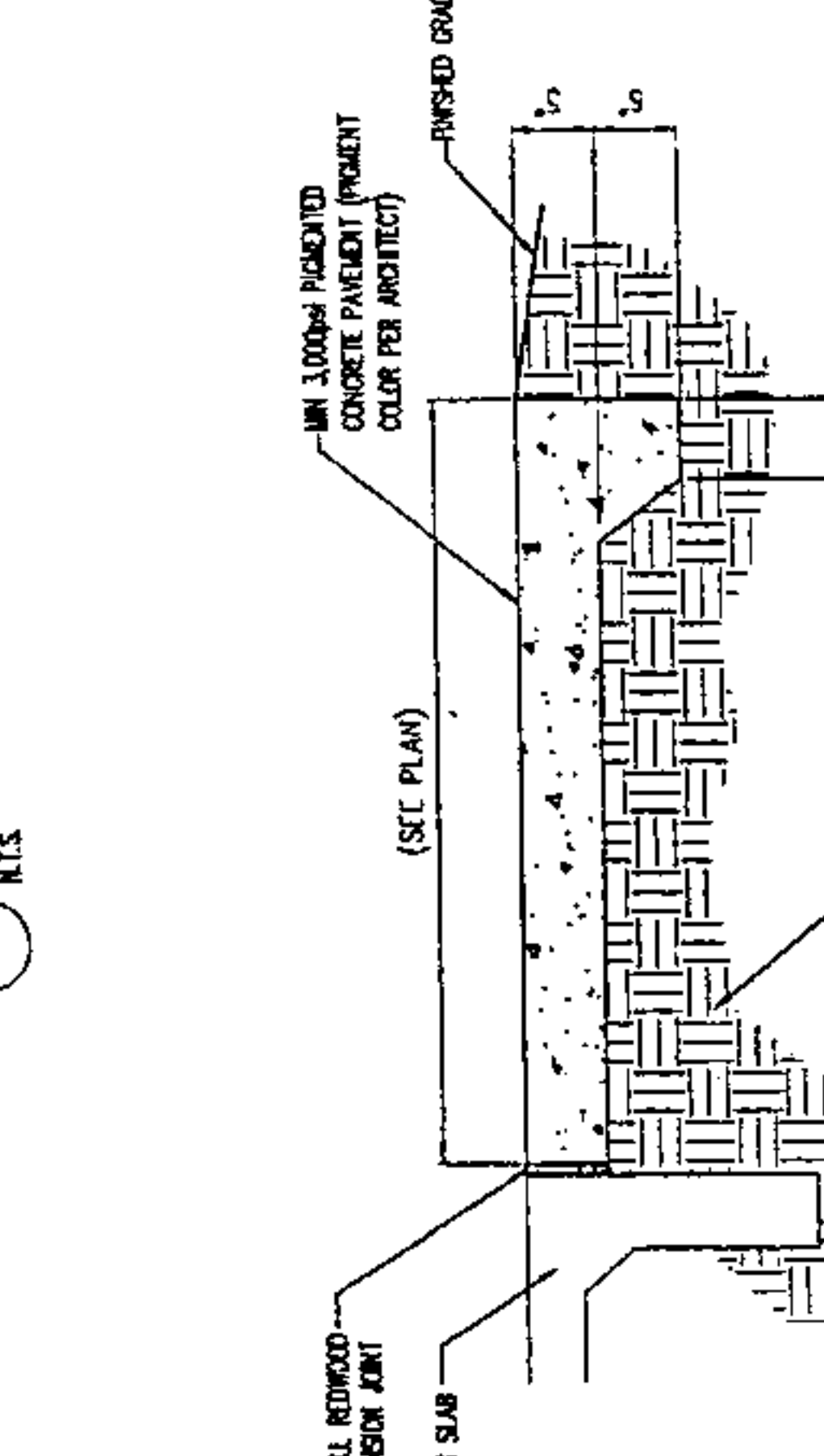
BIKE RACK
BIKE RACK MODEL AN 17-BIKE, STEEL WALK, PER MANUFACTURER'S RECOMMENDATIONS.
BIKE RACK NOT TO SCALE



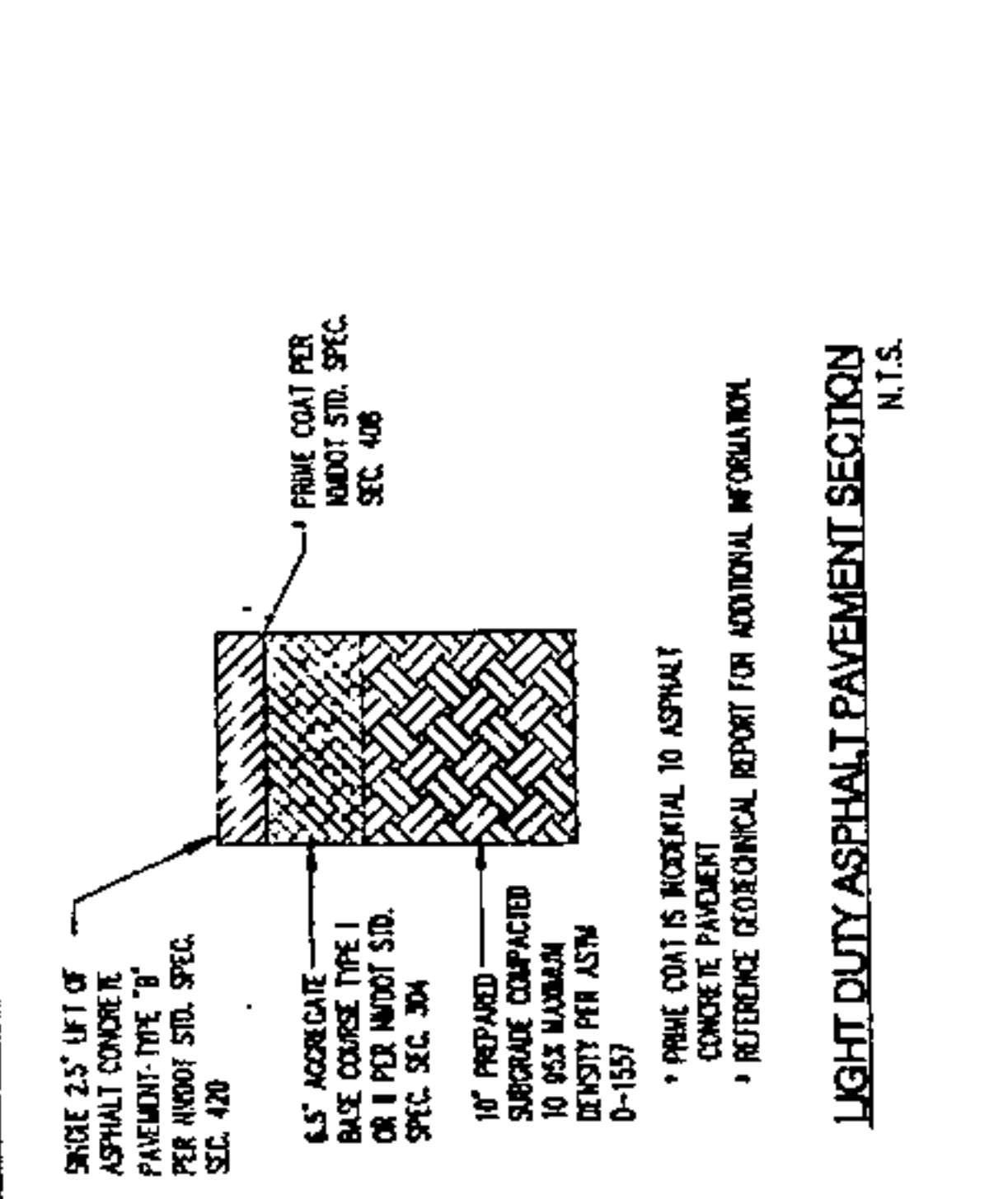
HANDICAP PARKING DETAIL
NOT TO SCALE



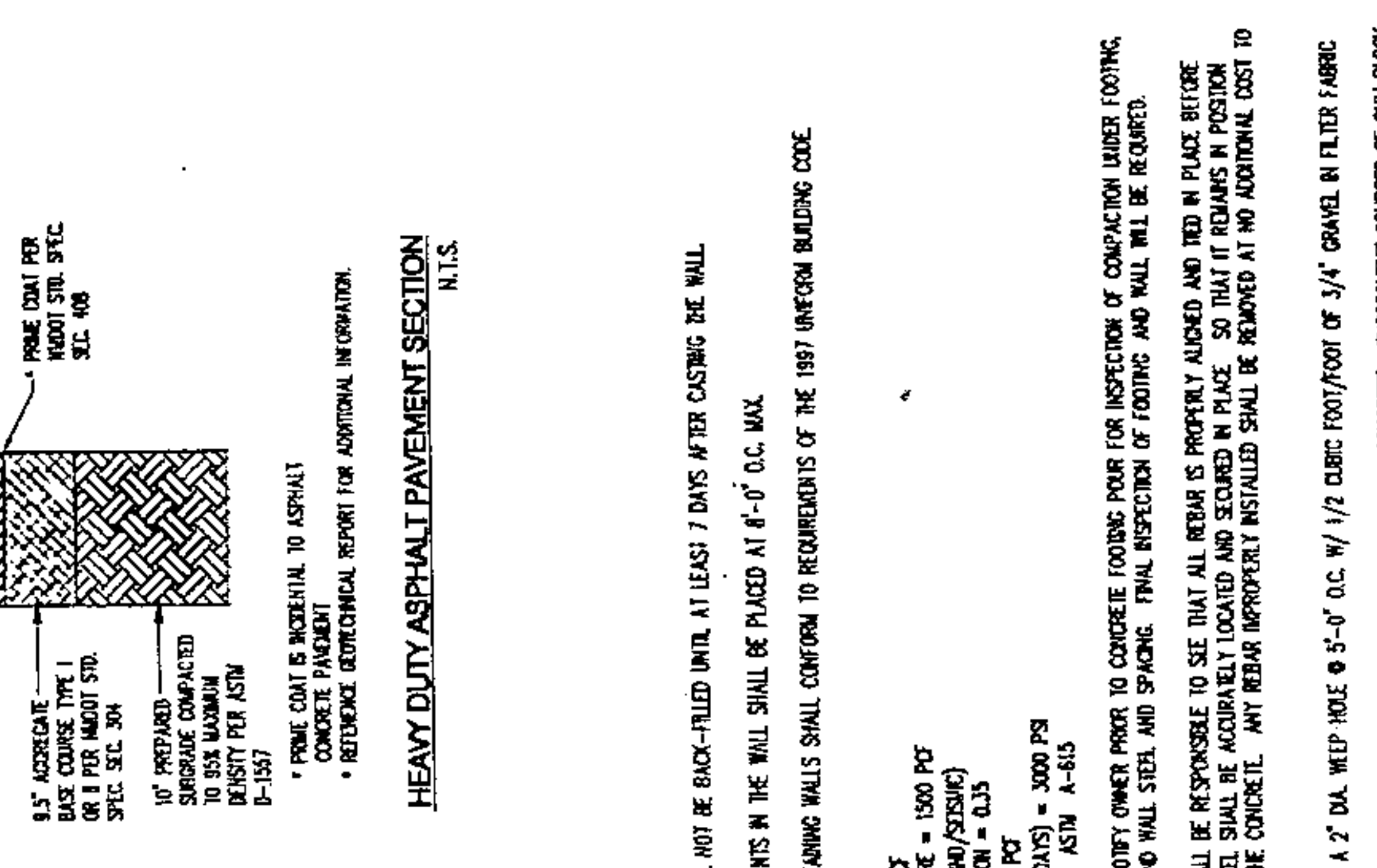
TYPICAL FLAG POLE
N.T.S.



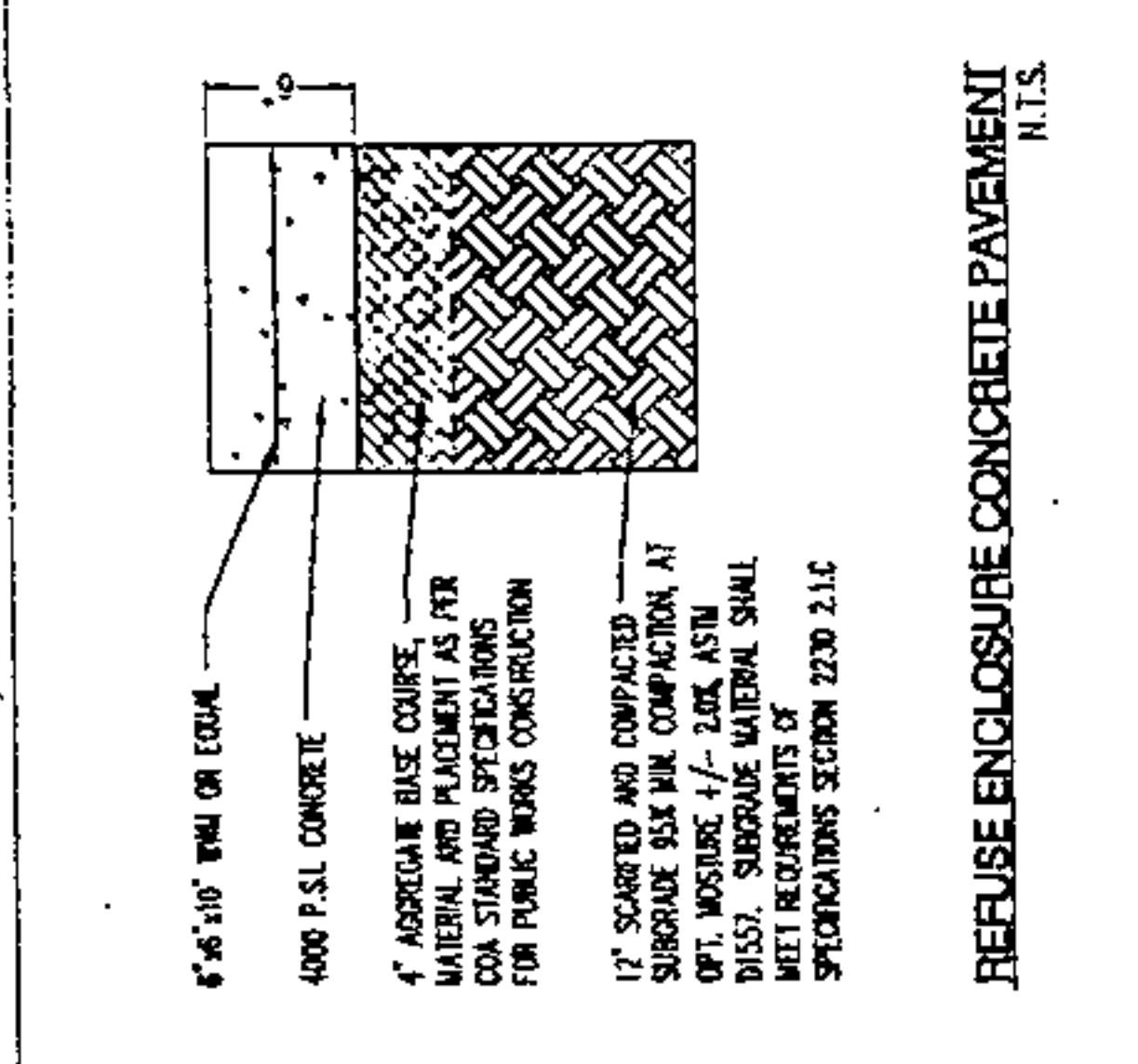
CONCRETE PATIO DETAIL
NOT TO SCALE



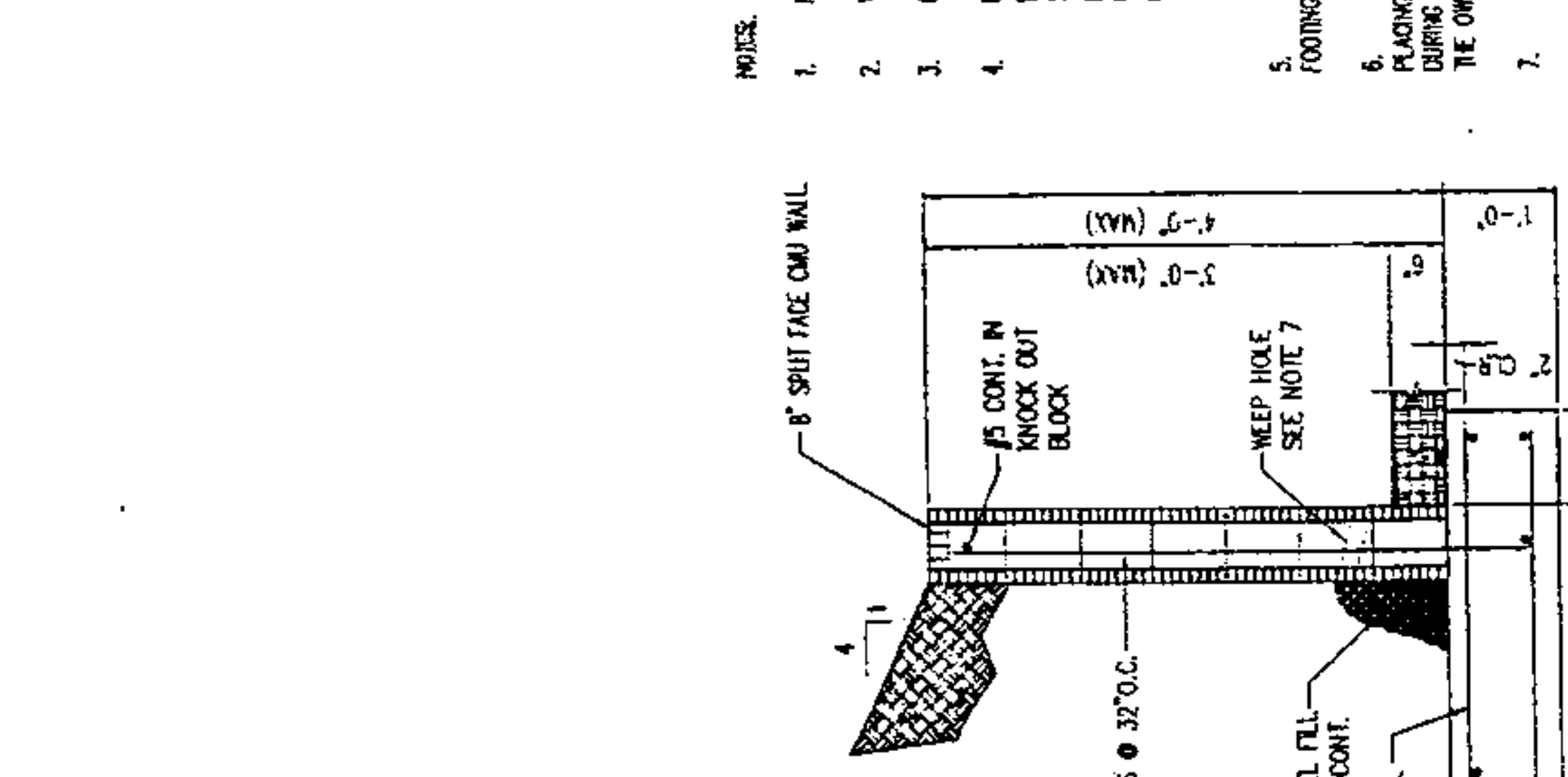
LIGHT DUTY ASPHALT PAVEMENT SECTION
N.T.S.



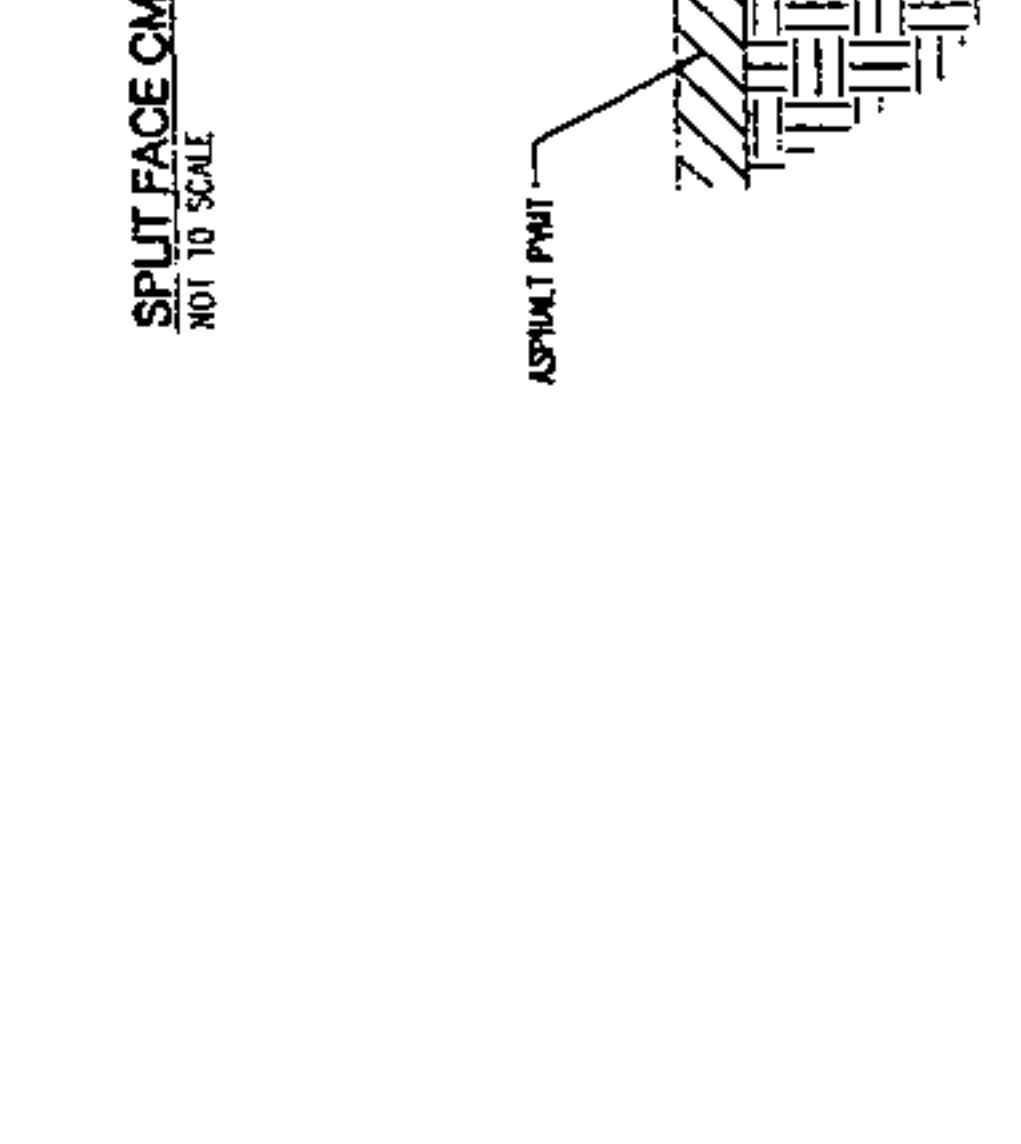
HEAVY DUTY ASPHALT PAVEMENT SECTION
N.T.S.



REUSE ENCLOSURE CONCRETE PAVEMENT
N.T.S.



SPLIT FACE CMU RETAINING WALL
NOT TO SCALE



SIDEWALK CROSSING DETAIL
NOT TO SCALE

- NOTE:
- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER CASTING THE WALL.
 - VERTICAL CONTROL JOINTS IN THE WALL SHALL BE PLACED AT 6'-0" O.C. MAX.
 - CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE.
 - DESIGN DATA
EP (ACTING) = 36 PSF
SOIL BEARING CAPACITY = 1500 PSF
(1/2 INCREASE FOR TYPICAL SOILS)
CENTRIFUGAL FORCE = 0.35
EP (PASSIVE) = 300 PSF
CONCRETE F.C. (28 DAYS) = 4000 PSI
REINFORCEMENT = #6 ASTM A-63
 - CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING. FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ANCHORED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ADEQUATELY COATED AND SECURED IN PLACE. SO THAT IT REMAINS IN PLACE DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REBARRED AT THE CONTRACTOR'S COST TO THE OWNER.
 - WEAP HOLES: PLACE A 2" DIA. WEAP HOLE @ 5'-0" O.C. W/ 1/2" CURB FOOT/FOOT OF 5/4" GRAVEL IN FILTER FABRIC.
 - THE FIRST COURSE OF CMU BLOCK MAY BE PLACED IN FRESH FOOTING CONCRETE. SUBSEQUENT COURSES OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
 - ALL CMU BLOCK JOINTS SHALL BE TOOLED.
 - BACK FILL AND COMPACTION OF RETAINING WALL IS INCIDENTAL TO INSTALLATION OF RETAINING WALL.

PLANT LEGEND

- EXISTING BERBERIS
- BERBERIS (M) 6
2" Cal.
PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREES (PANSY/ST)
- CHINESE PISTACHE (M) 11
2" Cal.
Pistachia chinensis
- OAK (M) 8
2" Cal.
Quercus spp.
- REDWOOD (M) 9
2" Cal.
Sequoia reniformis
- AUSTRIAN PINE (M) 5
6" B.
Pinus nigra
- THORNLESS HAWTHORN (M) 5
15 Gal. 2.25sf
Rosa argentea var. galli (hermits)
- SOTOL 17
Dasylirion wheeleri
5 Gal. 56sf
- MUGO PINE (M) 1
Pinus mugo
5 Gal. 56sf
- CURLLEAF MTN MAHOGANY (L) 83
5 Gal. 100sf
Liriodendron tulipifera
- THREE-LEAF SUMAC (L) 43
5 Gal. 56sf
Rhus typhina
- APACHE PLUME (L) 85
5 Gal. 42sf
Fallugia paradoxa
- THREADGRASS (M) 91
1 Gal. 4sf
Stipa tenuifolia
- AUTUMN SAGE (M) 71
5 Gal. 56sf
Salvia greggii
- LAVENDER (M) 44
Lavandula angustifolia
1 Gal. 4sf
- ARP ROSEMARY (M) 66
Rosmarinus officinalis
5 Gal. 56sf
- PONS CASTLE SAGE (L) 34
5 Gal. 56sf
Leucosiphon coccineum
- WINTER JASMINE (L) 49
Jasminum nudiflorum
5 Gal. 144sf
- WILDFLOWER 54
1 Gal. 4sf
- SIREY LEAF COTONEASTER 34
5 Gal. 61sf
Cotoneaster buxifolius
- NATURAL EDGE
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- GRY CRUSHERIES WITH FILTER FABRIC
- OVERSIZED GRAVEL WITH FILTER FABRIC
- EXISTING LANDSCAPING
- BOULDERS (6)

LANDSCAPE CALCULATIONS

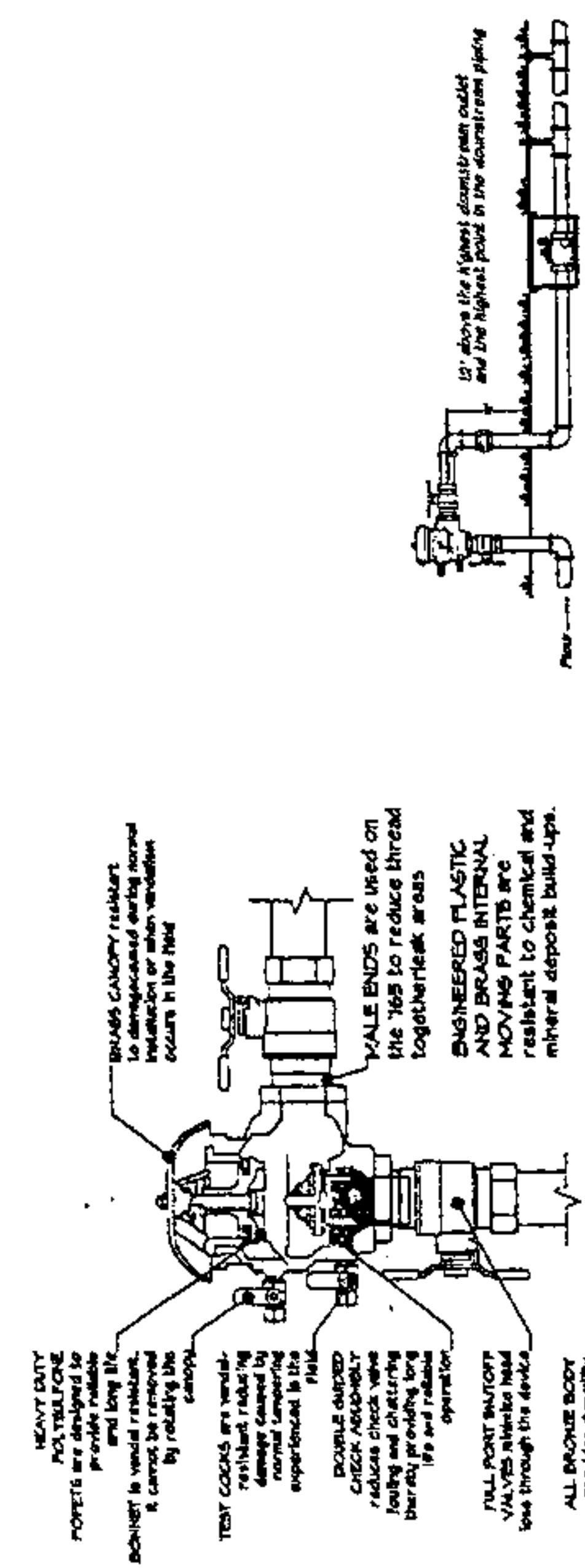
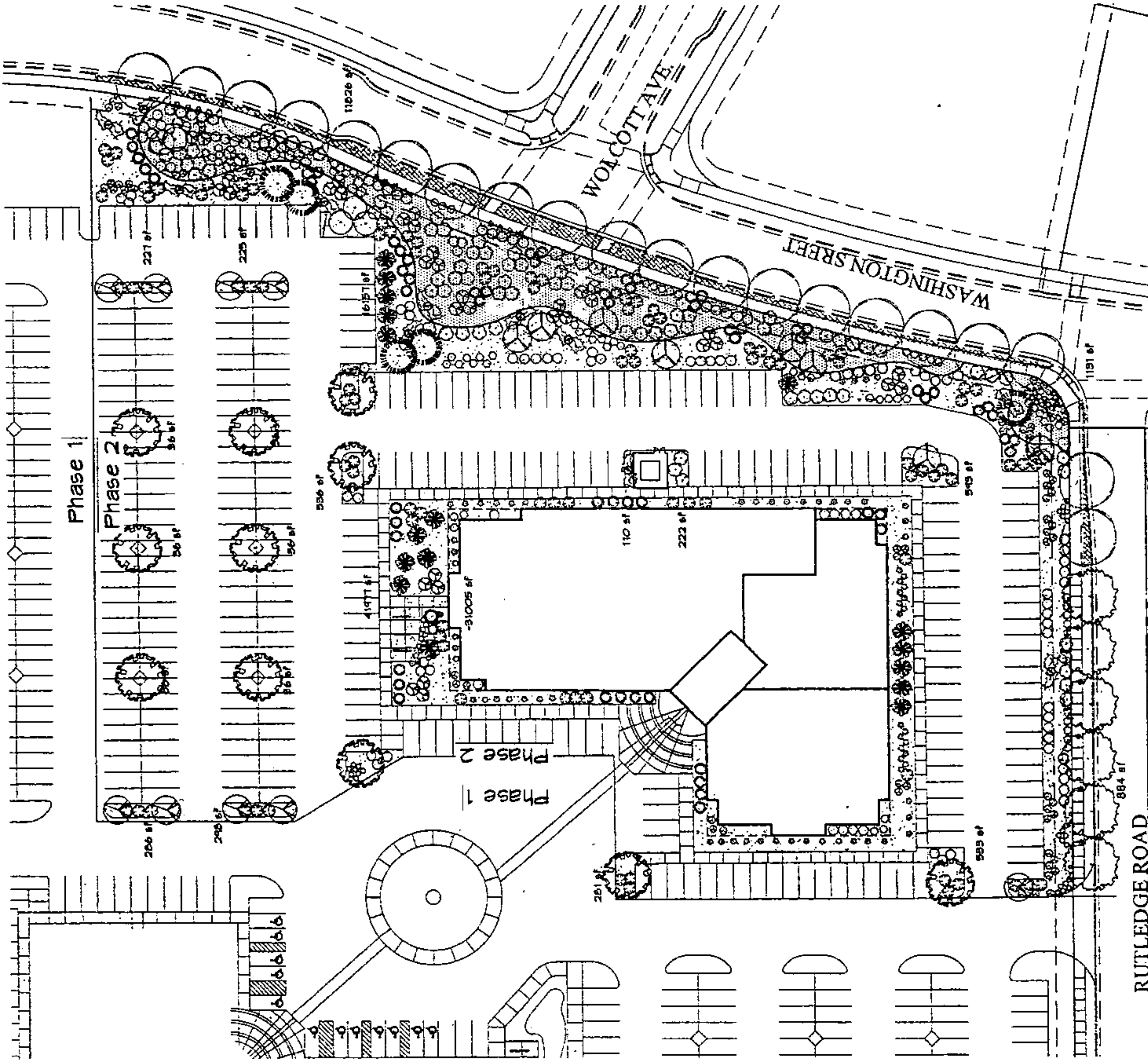
TOTAL LOT AREA	101507	square feet
TOTAL BUILDINGS AREA	43401	square feet
OFFSITE AREA	884	square feet
NET LOT AREA	157222	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	20583	square feet
TOTAL BED PROVIDED	44297	square feet
GROUND COVER REG.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	33223	square feet
TOTAL GROUND COVER PROVIDED	34954 (11%)	square feet
TOTAL SOD AREA	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	44297 (92%)	square feet

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #29458
7909 Edith, N.E.
Albuquerque, NM 87184
Ph. (505) 888-9990
Fax (505) 888-9990
c.hilltop@earthlink.net
www.hilltoplandscape.com



GRAPHIC SCALE
SCALE: 1"=40'



BACKFLOW PREVENTER DETAIL
not to scale

- GRADING NOTES**
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 2. THE COST FOR REMOVED CONSTRUCTION MUST AND EROSION CONTROL MEASURES SHALL BE MATERIAL TO THE PROJECT COST.
 3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION AND PRELIMINARY EROSION CONTROL MEASURES SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE'S (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND EDITION).
 4. EARTH SLOPES SHALL NOT EXCEED 3:1 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 5. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL EXPOSED FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BARRIERS OR SILT FENCES AT THE PROPERTY LINES AND SETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE IDENTIFIED AND APPROVED BY THE CITY OF ALBUQUERQUE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BARRIERS SITE AND HALL TO THE PROJECT SHALL BE CONSIDERED MATERIAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 8. FINISH AND FINISH GRADES SHALL BE 1/4" OUT FROM PLAIN ELEVATIONS. PAD ELEVATIONS SHALL BE 1/4" OUT FROM FINISH PLAIN ELEVATIONS.
 9. ALL PROPOSED CONTIGUOUS PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR KERBS AND ISLANDS.
 10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

- KEYED NOTES**
1. 4" HIGH x MASONRY RETAINING WALL. SEE DETAIL SHEET C12.
 2. 2% MAXIMUM CROSS-SLOPE AT SIDEWALK CROSSING.
 3. CONCRETE VAULTY GUTTER. REFER TO SITE PLAN.
 4. MATCH EXISTING PAVEMENT.

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this submittal is to provide a conceptual Drainage Management Plan and rough grading plan for development of the Masthead Office Complex at Journal Center 2 - Phase 2, located in the Journal Center, Phase 2, Unit 2, Lot 11.8 in the Albuquerque.

II. SITE LOCATION
The site is currently legally described as, Journal Center, Phase 2, Unit 2, Lot 11.8 (4.4 acres). The site is located within zone 300-21, and is in hydrologic zone 2. The site is located at the southeast corner of Masthead and Washington, just west of Jefferson.

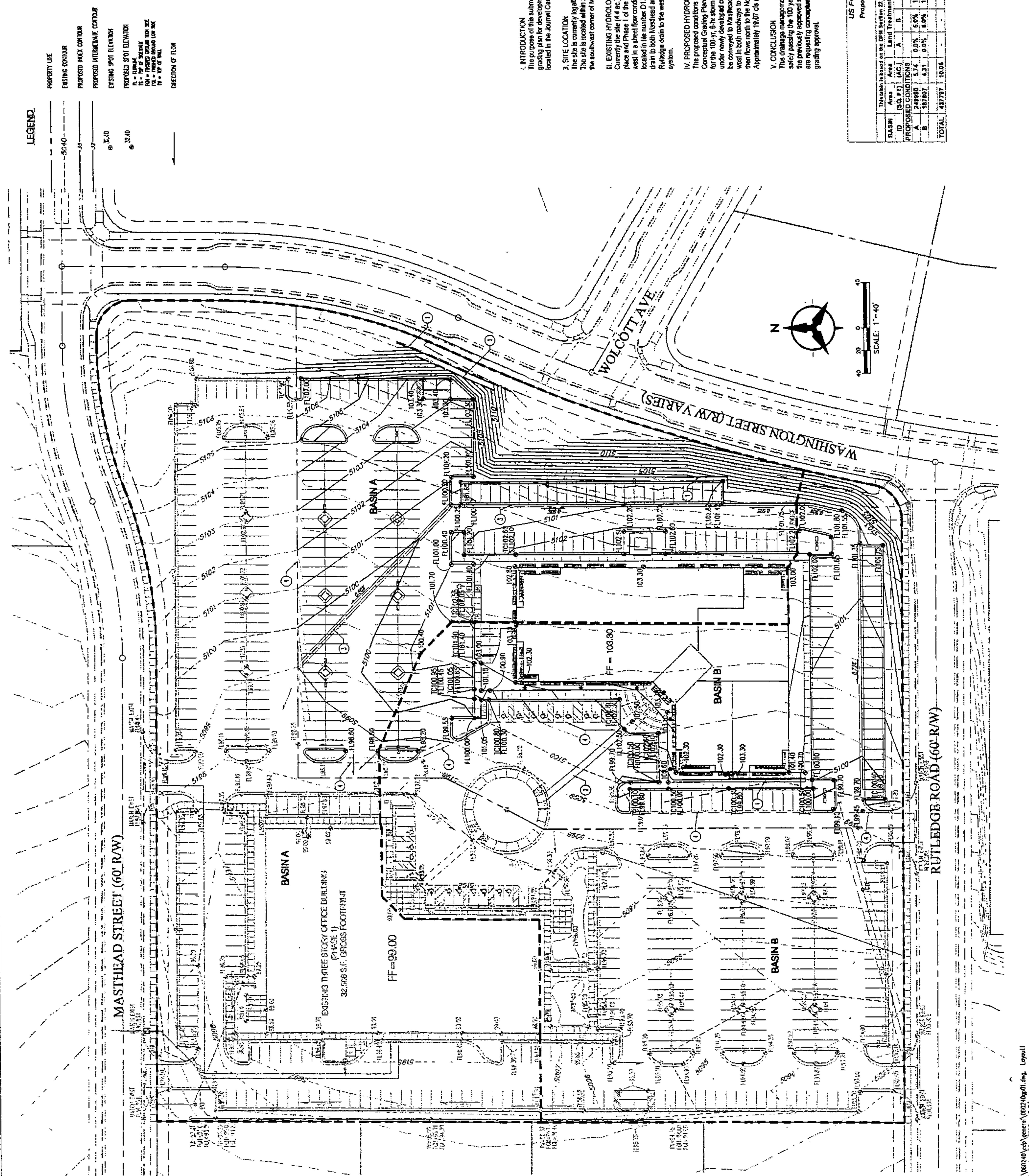
III. EXISTING HYDROLOGIC CONDITIONS
Currently the site (4.4 acres) is undeveloped land. The surrounding streets and infrastructure are in place and Phase 1 of the site is currently under construction. The site drains from west to east in a street-level corridor. For the proposed Drainage Plan of Journal Center - Phase 2 located on both Masthead and Rutledge, the site has been surveyed as a fully developed site and can be drained to the west of the site via surface flow out of the driveway. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system.

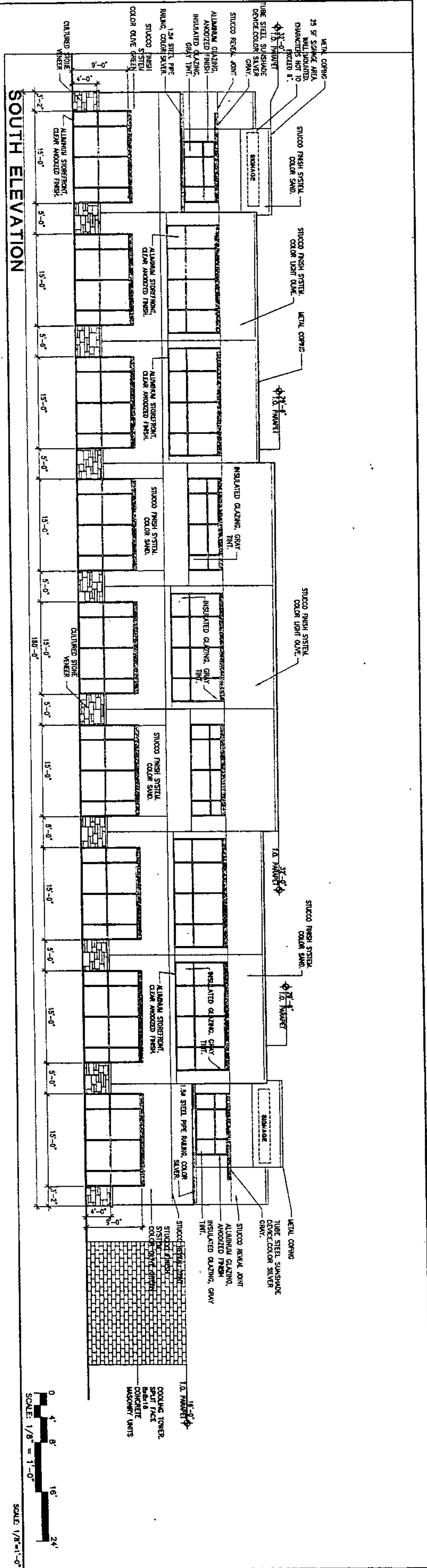
IV. PROPOSED HYDROLOGIC CONDITIONS
The proposed conditions for the Masthead Office Complex at Journal Center 2 are shown on this Conceptual Grading Plan. The hydrologic analysis for this site is based on drainage requirements for the 100-yr, 6-hr storm event. The total site (4.4 acres) will generate a total of 44.45 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and catch and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pine Arroyo, and then to the AAAPCA North Diversion Channel. Approximately 19.07 cfs drains to Rutledge, the other 25.38 cfs drains to Masthead.

V. CONCLUSION
This drainage management plan provides for grading and drainage details which are capable of safely passing the 100 year storm and which meet city requirements and are consistent with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting conceptual grading and drainage plan approval for building permit and rough grading approval.

US FOREST SERVICE BULBING
Proposed Conditions Basin Data Table

BASIN ID	Area (SQ. FT.)	Area (AC)	Land Treatment Percentages			C ₁ (100)	C ₂ (100)	VTE (inches)	VTE (ft)	VTE (cfs)	VTE (cfs)
			A	B	C						
A	248880	5.74	0.0%	10.0%	10.0%	4.42	35.18	1.25	40.07	48852	38701
B	181807	4.13	0.0%	0.0%	0.0%	4.42	19.97	1.25	35681	28701	21701
TOTAL	430687	10.08				4.42	44.46	3.01	71237.54	71238	71238

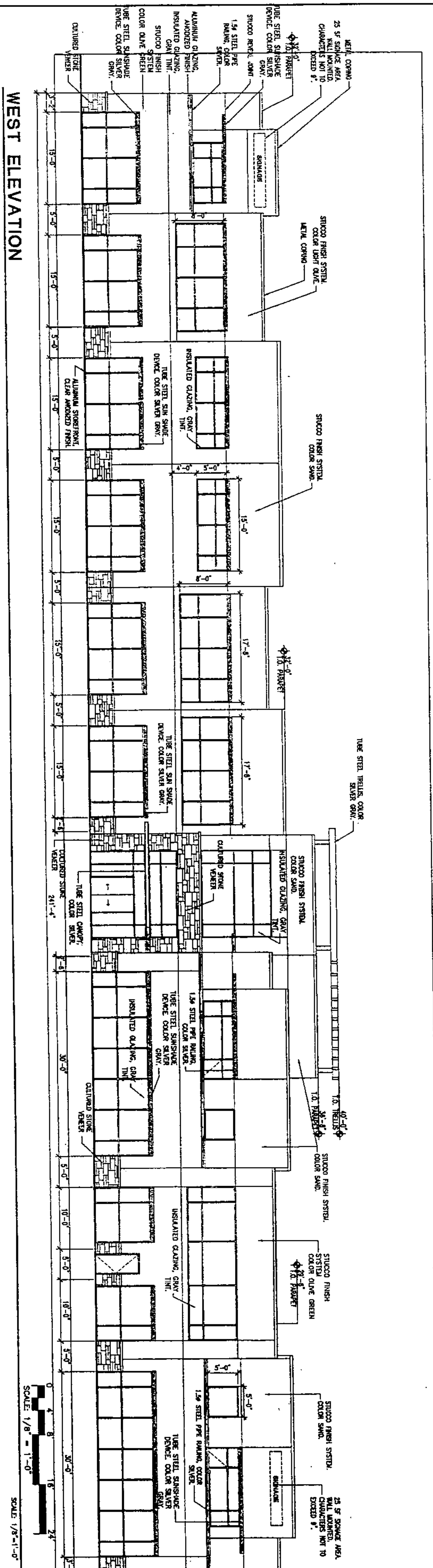




NOA
 ARCHITECTS - PLANNERS - IA
 1306 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-265-5400 505-269-8944 FAX
 WWW.NOA-ARCHITECTS.COM

ARCHITECT
 CONSULT

PROJECT TITLE
 CONSTRUCTION



US FOREST SERVICE
ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES

ALBUQUERQUE NEW MEXICO

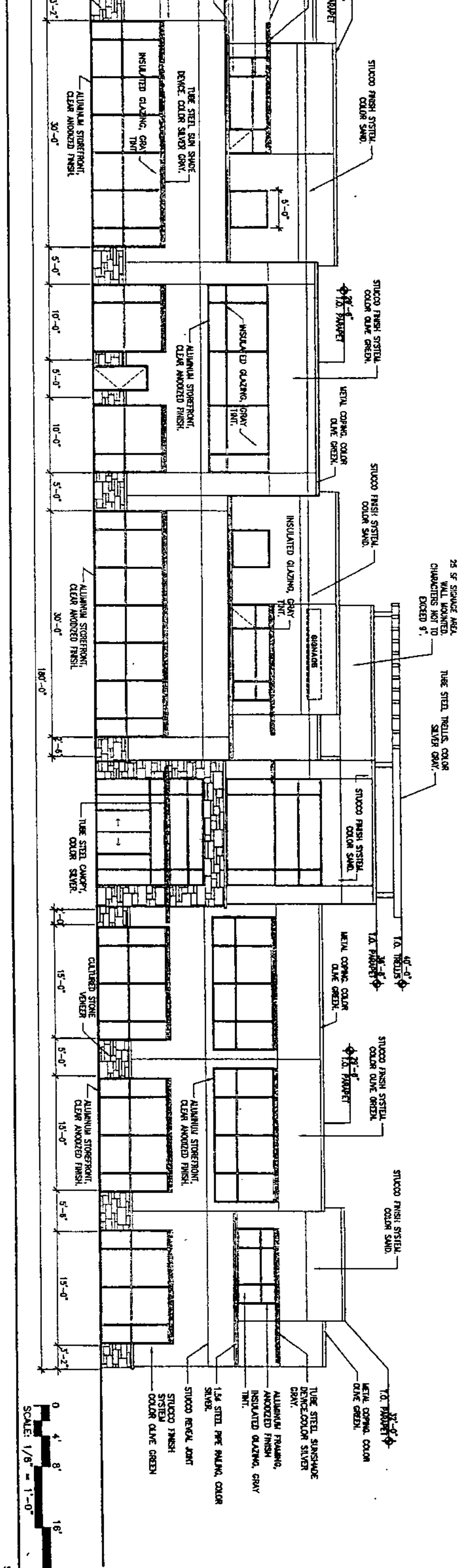
BU G AND STRUCTURE ELEVATIONS

REVISIONS

NO.	DATE	DESCRIPTION

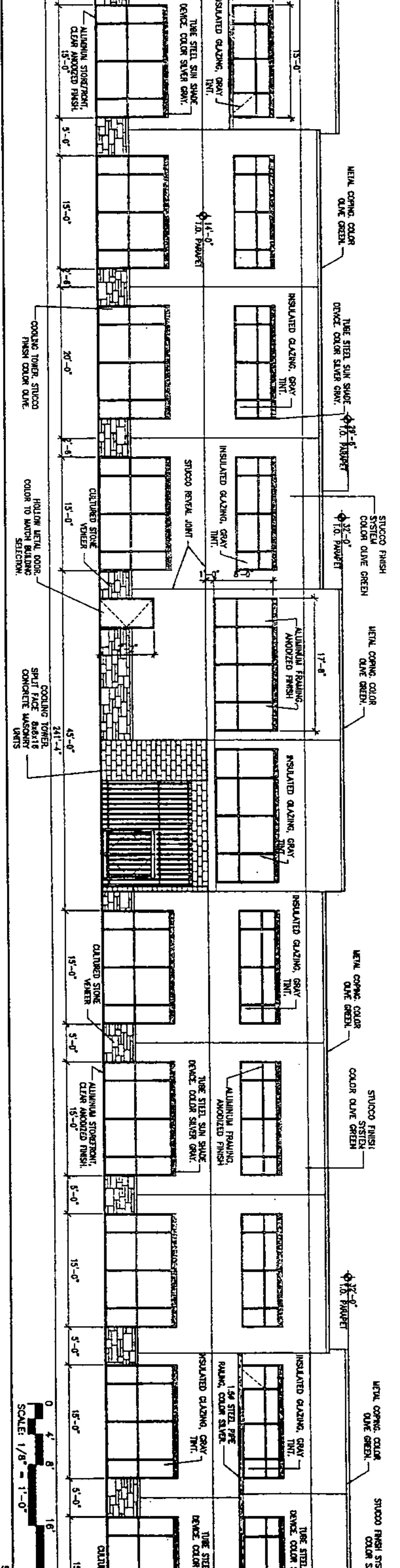
JOB NUMBER: A42
 DATE: AUGUST 2006
 SHEET NO: A2.1

NORTH ELEVATION



SCALE: 1/8" = 1'-0"

EAST ELEVATION



SCALE: 1/8" = 1'-0"

**US FOREST SERVICE
ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES**

ALBUQUERQUE NEW MEXICO

BUILDING AND STRUCTURE ELEVATIONS

REVISIONS	DATE	DESCRIPTION

DATE	AUGUST 2005
JOB NUMBER	A22
SHEET NO	

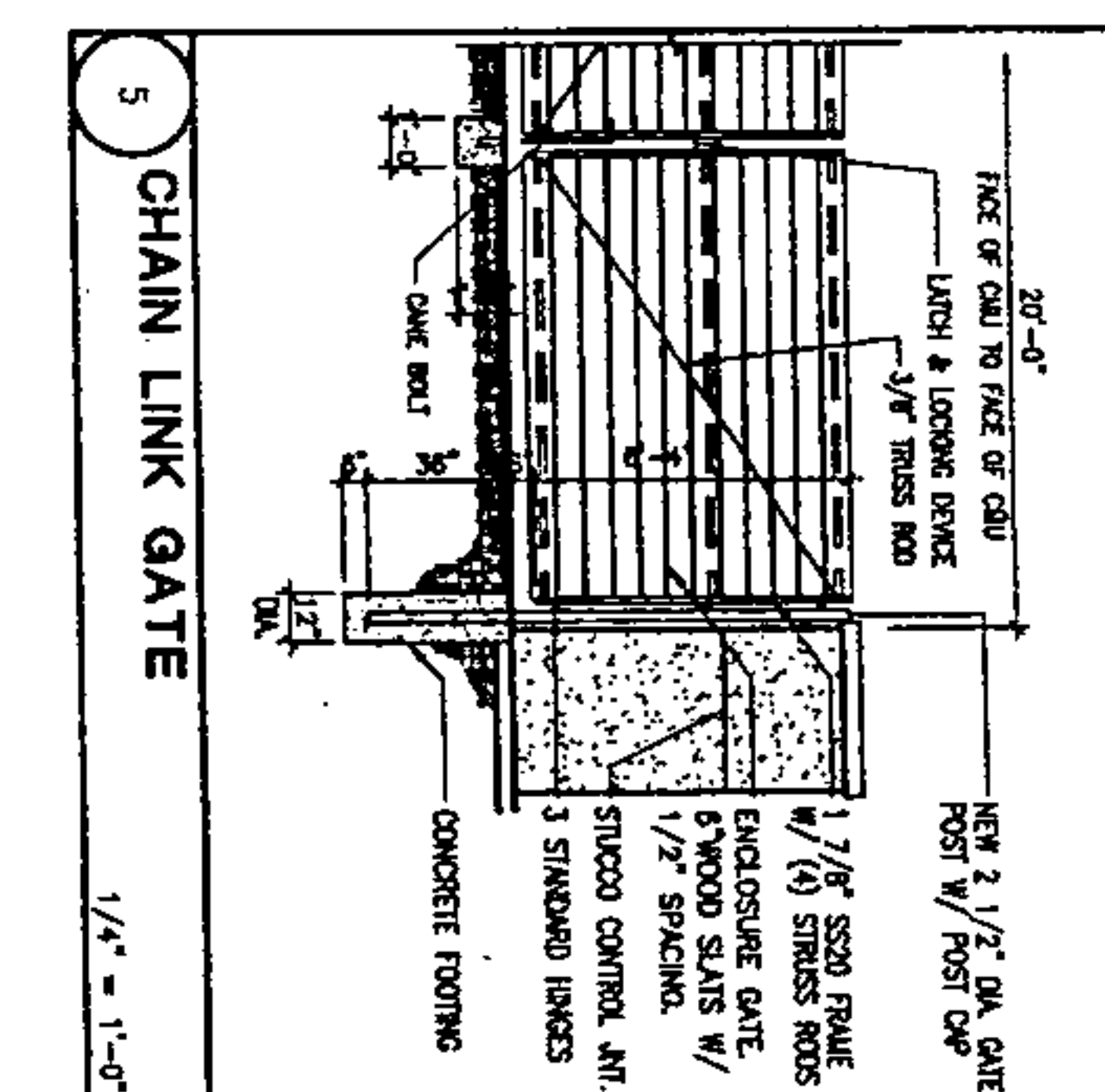
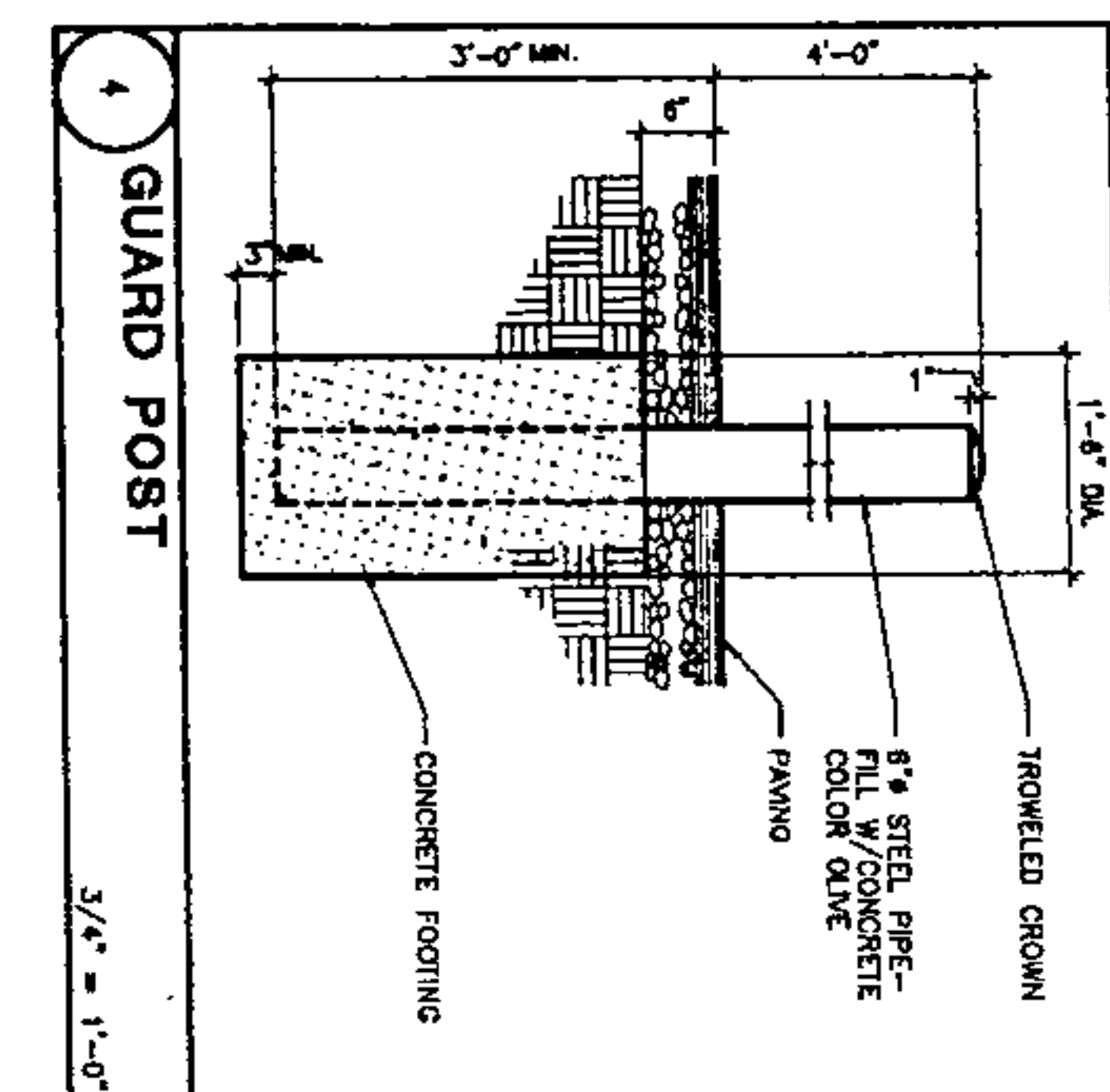
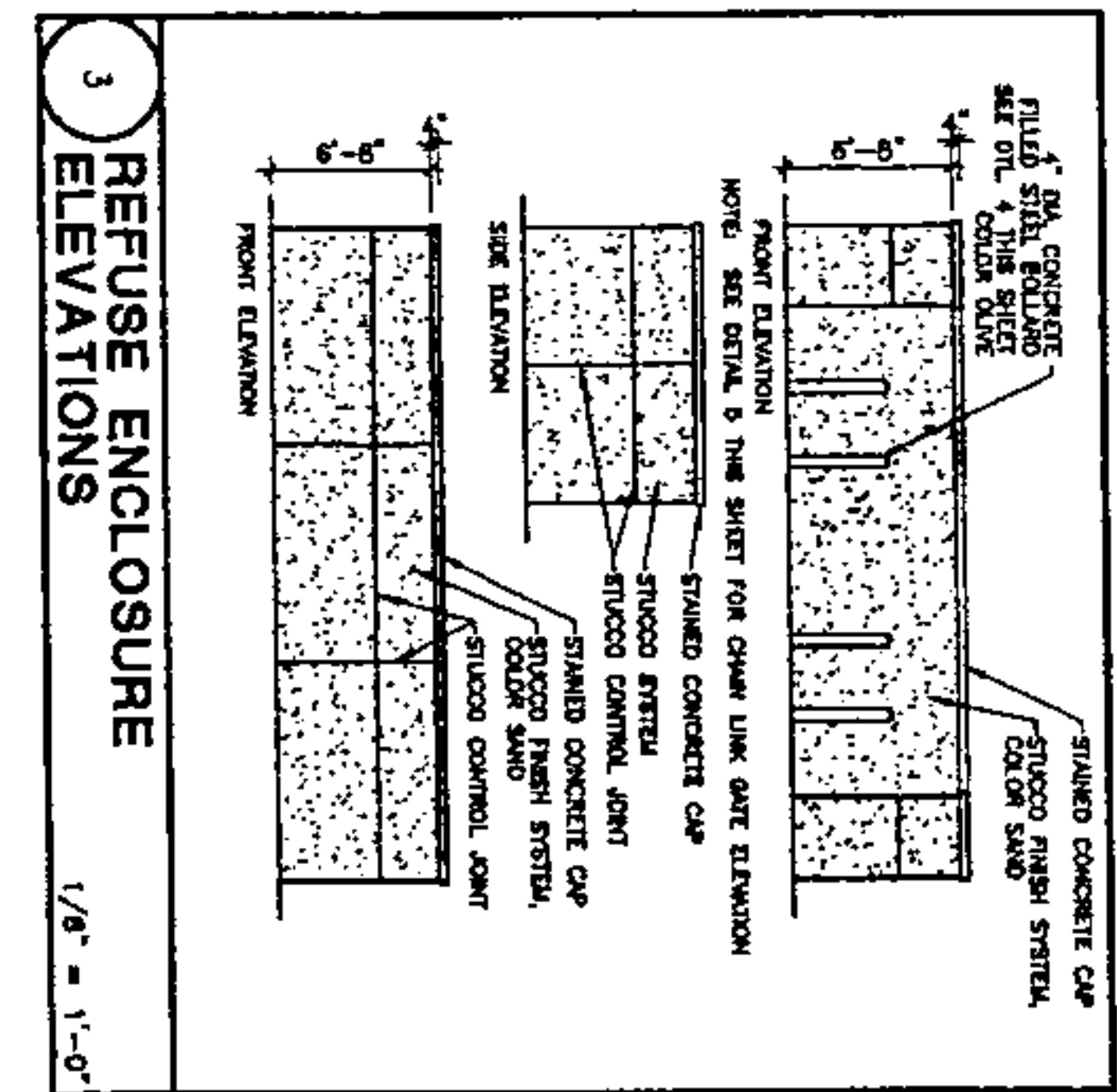
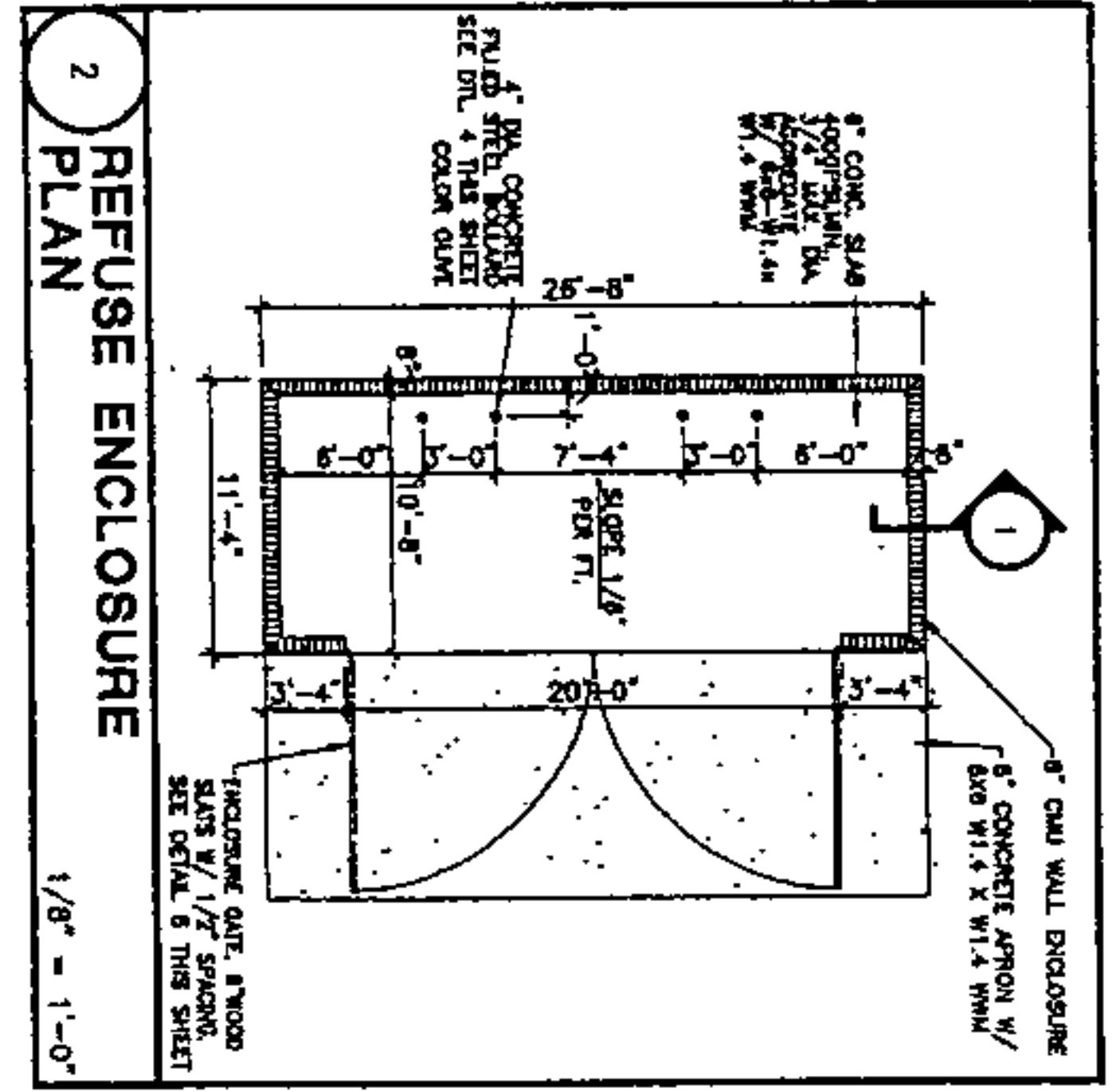
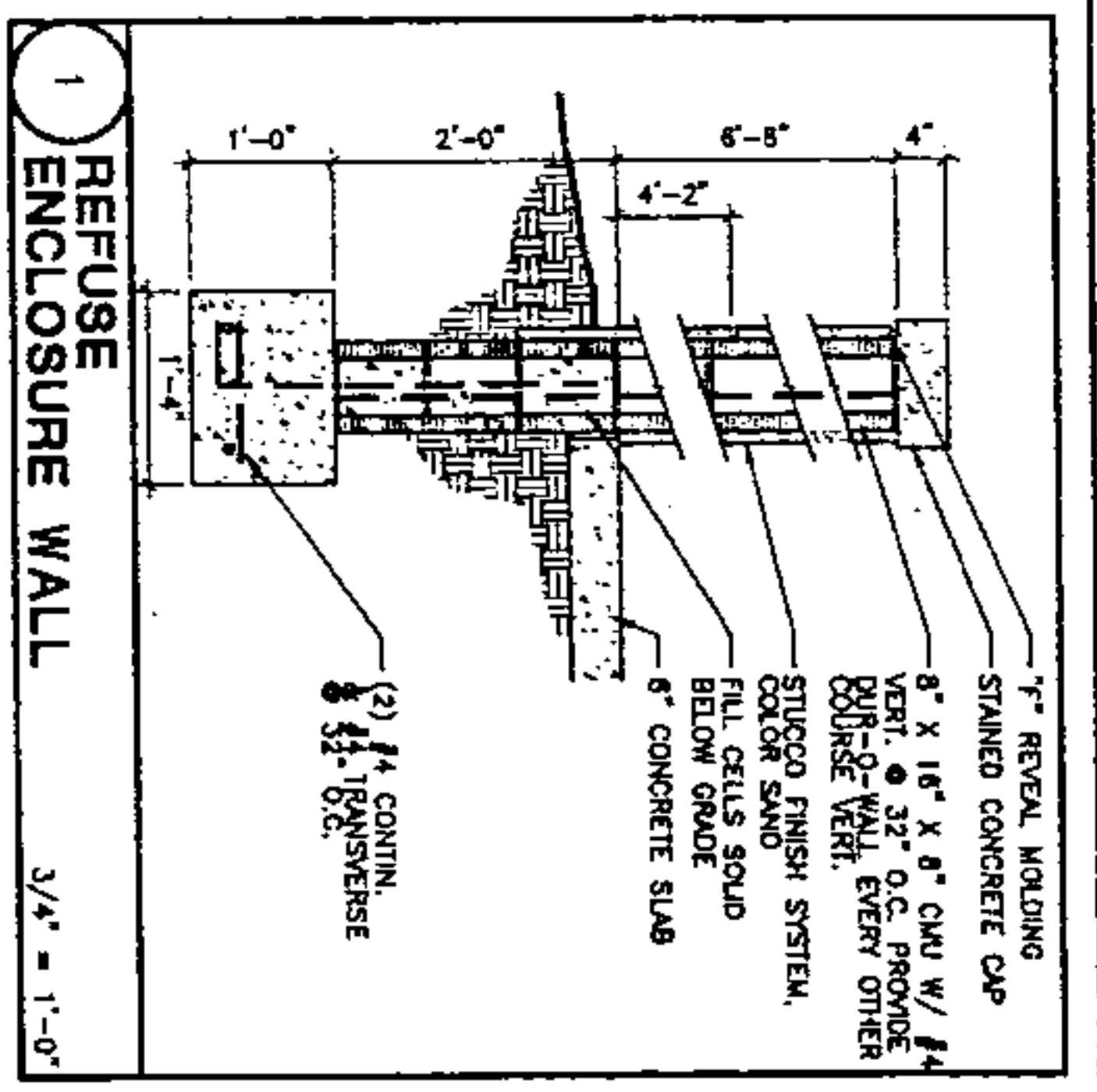
NGA
ARCHITECTS - PLANNERS - AIA

1300 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-4400 505-255-0544 FAX
WWW.NGA-ARCHITECTS.COM

ARCHITECT

CONSULT

PROJECT TITLE



ALL SPURT FACE MASONRY UNITS AND STUCCO COLORS TO MATCH AND HARMONIZE WITH THE BUILDING'S OVERALL COLOR SCHEME.

NOVA
ARCHITECTS - PLANNERS - AIA

1308 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-4400 505-268-6854 FAX
2010 W. N. A. ARCHITECTS.COM

PROJECT TITLE

CONSULTANT

**MASTHEAD OFFICE COMPLEX
AT JOURNAL CENTER 2**

NEW MEXICO

REFUSE ENCLOSURE AND SITE DETAILS

REVISIONS

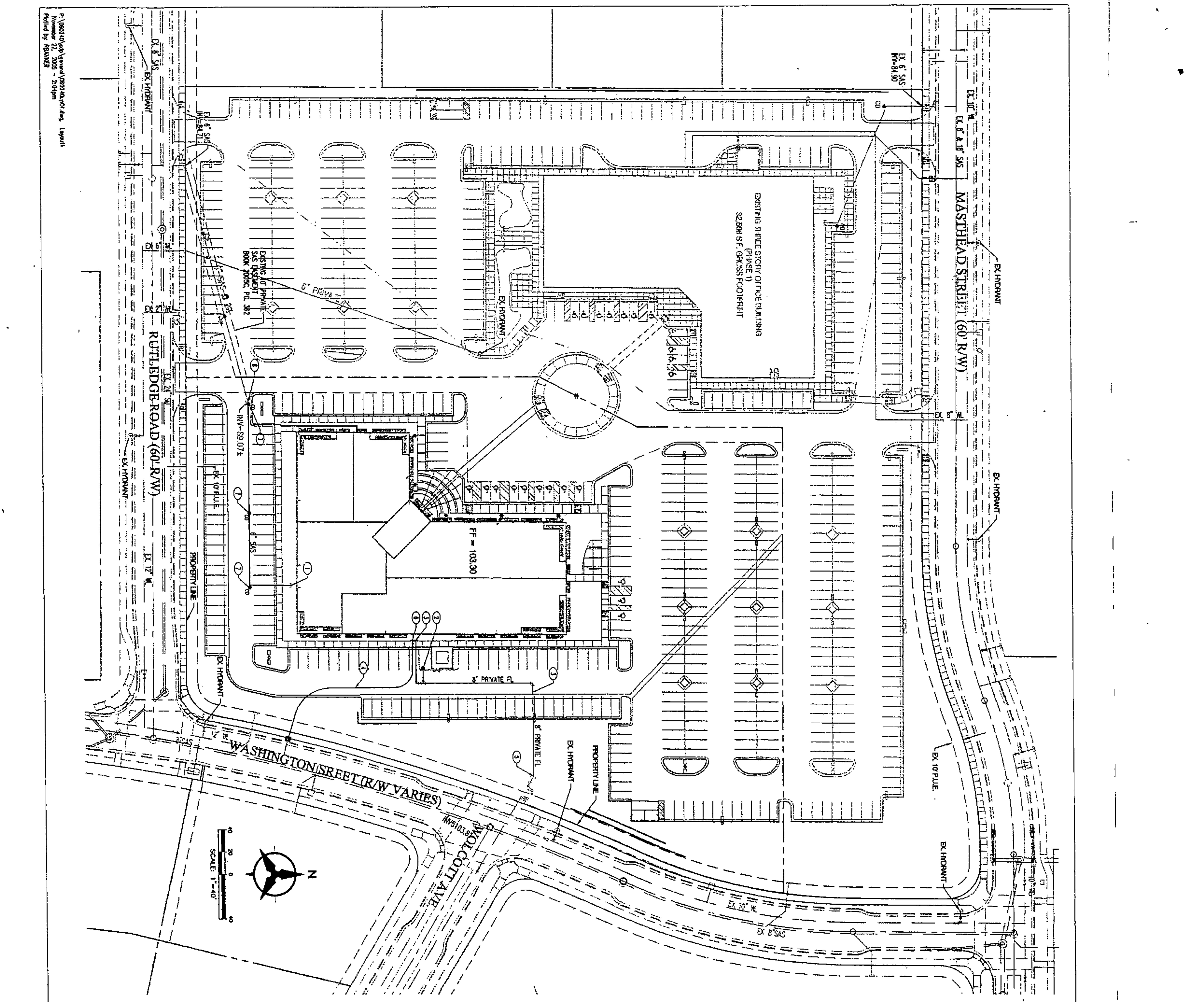
NO.	DATE	DESCRIPTION

JOB NUMBER: A0559

DIST: NOVEMBER 2005

SHEET: 110

AS1.1



FIELD PLANS CHECKING OFFICE
 924-3511
 ENGINEERED DESIGN SERVICES
 1122 S. WILSON AVE.
 SUITE 100
 ALBUQUERQUE, NM 87102

- UTILITY KEYED NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING REPAIRS, RELOCATION, REVISIONS, SPRINKLER SYSTEMS, FIRE SERVICE STAIRS AND ELEVATOR SHAFTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING ALL WORK WITH THE CITY OF ALBUQUERQUE AND THE NEW MEXICO DEPARTMENT OF REVENUE AND FINANCE CODE, LATEST EDITION.
 2. ALL WORK DETAIL OF THIS PLAN IS TO BE PERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE NOTED OR INDICATED BY OTHER SHEETS OF THIS PLAN.
 3. ALL UTILITIES SHALL BE INSTALLED FROM TO PREVENT CORROSION AND OTHER, AND/OR OTHERWISE AS APPLICABLE.
 4. ROAD CLOSING OF SIX (6') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
 5. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
 6. ALL VALVES SHALL BE ANCHORED FOR OSHA STANDARD ONE 2011.
 7. THE LINES SHALL USE THE MATERIALS DIMENSIONS LARGEST LISTED AND APPROVED FOR THE SERVICE.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK FROM THE LINE AND OVER THROUGH THE BUILDING AND UNDERGROUND SHALL BE RESPONSIBLE FOR UTILITY DEPRESSION CHECKS, TRENCH AND OTHER SYSTEM ASSESSMENTS.
 9. CONTRACTOR SHALL VERIFY ANGLES AND LOCATIONS OF EXISTING WATER/SANITARY LINES FROM THE SHOWN WORK. ALL DETAILS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND DESIGNED FROM TO BEGINNING WORK.

- UTILITY KEYED NOTES**
1. 6" SANITARY SEWER SHUB
 2. NEW PRIVATE FIRE HYDRANT
 3. 6" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS, BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL.
 4. NEW 1 1/2" METEDED WATER SERVICE. CONNECT TO EXISTING 2" WATER LINE SHUB OUT.
 5. CONNECTION TO EXISTING 6" FIRE LINE SHUB
 6. NEW 1 1/2" DOMESTIC WATER SERVICE TO BUILDING, BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
 7. SANITARY SEWER CLEANOUT
 8. CONNECT TO EX. 6" SAS STUB PROVIDED TO SITE WITH PHASE 1.

LEGEND

PROPERT LINE	EXISTING SEWER & WATER
EX. SANITARY SEWER & WATER	EX. STORM DRAIN & RAINWATER
EX. WATER	EX. WALK
EX. FIRE LINE	EX. FIRE HYDRANT
EX. FIRE HYDRANT	PROPOSED SANITARY SEWER
PROPOSED SANITARY SEWER	PROPOSED CLEANOUT
PROPOSED CLEANOUT	PROPOSED WARDROBE

REVISIONS

NO.	DATE	DESCRIPTION

Bohannon & Huston
 7500 Johnson St. NE Albuquerque, NM 87109-4535
 ENGINEERING & SPATIAL DATA & SURVEYING TECHNOLOGIES

PROJECT TITLE: MASTHEAD OFFICE COMPLEX AT JOURNAL CENTER 2
 ALBUQUERQUE, NEW MEXICO

ARCHITECT: NCA
 1200 RIO GRANDE BLVD NW
 ALBUQUERQUE, NM 87104
 505-255-6400 505-258-8854 FAX
 WWW.NCA-ARCHITECTS.COM

DATE: NOVEMBER 2005
 SHEET NO: C3.0

DRAWN BY: JTV
 CHECKED BY: JTV
 JOB NUMBER: A0659

Bohannon & Huston
 7500 Johnson St. NE Albuquerque, NM 87109-4535
 ENGINEERING & SPATIAL DATA & SURVEYING TECHNOLOGIES

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved. ** See attached cover letter to Sheron Matson.*

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale ✓
- 4. North arrow ✓
- 5. Scaled vicinity map ✓
- 6. Property lines (clearly identify) ✓
- 7. Existing and proposed easements (identify each) *- Shown on Utility Plan.*
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures ✓
- B. Square footage of each structure and building footprint (if different from total square footage) ✓
- C. Proposed use of each structure ✓
- D. Temporary structures, signs and other improvements ✓
- E. Walls, fences, and screening: indicate height, length, color and materials ✓
- F. Dimensions of all principal site elements or typical dimensions thereof ✓
- G. Loading facilities - *loading Area not Required for Development. None*
- H. Site lighting (indicate height & fixture type) ✓
- I. Indicate structures within 20 feet of site ✓
- J. Elevation drawing of refuse container and enclosure, including location. ✓
- ARCHITECTURAL DETAILS SHEET.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 250 provided: 298
Handicapped spaces required: 12 provided: 12
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 15
provided: 21
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan ✓
- 2. Bar Scale ✓
- 3. North Arrow ✓
- 4. Property Lines ✓
- 5. Existing and proposed easements *on utility Plan*
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed. ✓
 - B. Proposed, to be established for general landscaping. ✓
 - C. Proposed, to be established for screening/buffering. ✓
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections → **DETAILED GRADING SHOWN (3:1 MAX)**
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff). ✓
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff. **Do not meet w/ staff prior to.**

B. Signage

- All signage is existing from Phase I.**
- 1. Site location(s)
 - 2. Sign elevations to scale
 - 3. Dimensions, including height and width
 - 4. Sign face area - dimensions and square footage clearly indicated
 - 5. Lighting
 - 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME

MASTHEAD ROAD LAND PARTNERS

AGENT

BOTHANNAN HUSTON INC.

ADDRESS

7500 JEFFERSON NE

PROJECT & APP #

1004556 / 05DRB 01781

PROJECT NAME

JOURNAL CENTER PH. II Unit II

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 385.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 480.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

*****DUPLICATE*****
 City of Albuquerque
 Treasury Division
 11/23/2005 11:14AM LOC: ANN
 RECEIPT# 00050390 WSH 006 TRANSH 0017
 ACCL INT 441006 FUND 0110
 ACTIVITY 4983000 TRSEJA
 TRANS AMT \$480.00
 J24 MISC

\$385.00
Thank You

Masthead Road Development, LLC
 PO Box 66180
 Albuquerque, NM 87193-6180
 (505) 889-3061

New Mexico Bank & Trust
 PO Box 1048
 Albuquerque, NM 87103
 95-654/1070

1011

FOUR HUNDRED EIGHTY AND 00/100 DOLLARS ***DUPLICATE***
 City of Albuquerque
 11/21/05 Division \$480.00

PAY TO THE ORDER OF
 City of Albuquerque
 PO Box 1313
 Albuquerque, NM 87103

11/23/2005 11:15AM LOC: ANN
 RECEIPT# 00050391 WSH 006 TRANSH 0017
 Account 441018 Fund 0110
 Activity 4971000 TRSEJA
 Trans Amt \$480.00
 J24 Misc

\$75.00
 \$480.00

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 12/5/05 To 12/21/05

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephanie Walton
(Applicant or Agent)

11-23-05
(Date)

I issued 2 signs for this application, 11/23/05, K. Sims
(Date) (Staff Member)

DRB PROJECT NUMBER: 1004556



REID & ASSOCIATES
DESIGN BUILDERS

Matthew Proehl, LEED AP, CPC
Senior Project Manager

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Albuquerque, New Mexico 87120
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