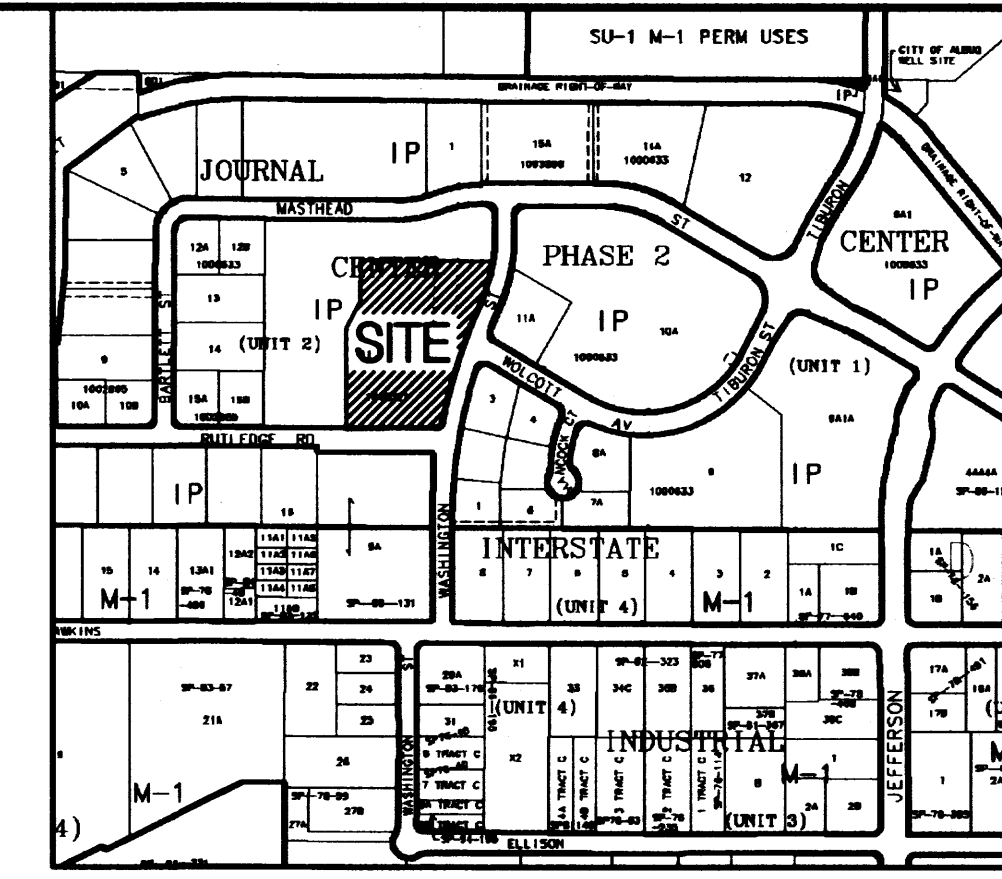


**LEGEND**

---	PROPERTY LINE
- - - -	EXISTING CONTOUR
- . - . -	PROPOSED INDEX CONTOUR
- - - -	PROPOSED INTERMEDIATE CONTOUR
⊙ 32.40	EXISTING SPOT ELEVATION
⊙ 32.40	PROPOSED SPOT ELEVATION
FL	FL - FINISHED
TS	TS - TOP OF SLOPE
FSH	FSH - FINISHED GROUND HIGH SIDE
FL	FL - FINISHED GROUND LOW SIDE
TR	TR - TOP OF WALL
→	DIRECTION OF FLOW



ZONE ATLAS PAGE D-17-Z  
SCALE: 1"=600'

**LEGAL DESCRIPTION**  
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, NOVEMBER, 2005

**GRADING NOTES**

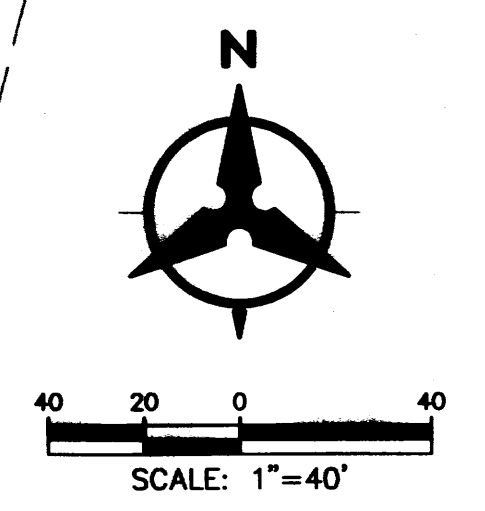
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**DRAINAGE MANAGEMENT PLAN**

- I. INTRODUCTION**  
The purpose of this submission is to provide a conceptual Drainage Management Plan and rough grading plan for development of the Masthead Office Complex at Journal Center - Phase 2, located in the Journal Center, Phase 2, Unit 2, Lot 11-B in NE Albuquerque.
- II. SITE LOCATION**  
The site is currently legally described as, Journal Center, Phase 2, Unit 2, Lot 11-B (+/- 4.4 acres). The site is located within zone atlas map #D-17, and is in hydrologic zone 2. The site is located at the southwest corner of Masthead and Washington, just west of Jefferson.
- III. EXISTING HYDROLOGIC CONDITIONS**  
Currently the site (4.4 ac.) is undeveloped land. The surrounding streets and infrastructure are in place and Phase 1 of the development has been completed. The site drains from east to west in a sheet flow condition. For the approved Drainage Plan of Journal Center - Phase 2 located in file number D17D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via surface flow out of the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system.
- IV. PROPOSED HYDROLOGIC CONDITIONS**  
The proposed conditions for the Masthead Office Complex at Journal Center 2 are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-year, 6-hr storm event. The total site (+/- 10.0 acres) will generate a total of 44.45 cfs under newly developed conditions and consists of approximately 95% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and curb and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pino Arroyo, and then to the AMAFCA North Diversion Channel. Approximately 19.07 cfs drains to Rutledge; the other 25.38 cfs drains to Masthead.
- V. CONCLUSION**  
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submission we are requesting conceptual grading and drainage plan approval for building permit and rough grading approval.

**KEYED NOTES**

- RETAINING WALL HEIGHT VARIES.
- TRENCH DRAIN & LOADING DOCK SUMP PUMP.
- CONCRETE VALLEY GUTTER, REFER TO SITE PLAN.
- MATCH EXISTING PAVEMENT.
- INSTALL 36" WIDE CONCRETE RIBBON CHANNEL.



**US FOREST SERVICE BUILDING**  
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone 2

BASIN ID	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac)	Q(100) (cfs)	WV E (inches)	V(100)24H (CF)	V(100)144H (CF)
			A	B	C	D					
PROPOSED CONDITIONS											
A	288990	5.74	0.0%	5.0%	10.0%	85.0%	4.42	25.38	7.95	40707	48852
B	187807	4.31	0.0%	5.0%	10.0%	85.0%	4.42	19.07	7.95	30581	36701
<b>TOTAL</b>	<b>476797</b>	<b>10.05</b>	-	-	-	-	<b>4.42</b>	<b>44.45</b>	<b>3.91</b>	<b>71287.94</b>	<b>71288</b>

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PROJECT TITLE

**USFS  
PHASE II  
ALBUQUERQUE  
SERVICE CENTER  
HUMAN  
RESOURCES**

ALBUQUERQUE  
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION
BO		GSB

PROJECT NUMBER:  
**A10.08**

DATE:  
**JUNE 17, 2010**

SHEET TITLE:  
**CONCEPTUAL  
GRADING PLAN**

SHEET NO.  
**C2.0**

**Bohannon & Huston**  
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ALBUQUERQUE SERVICE CENTER  
HUMAN RESOURCES

ALBUQUERQUE  
NEW MEXICO

REVISIONS:

DATE	DESCRIPTION	BY

PROJECT NUMBER:  
A10.08

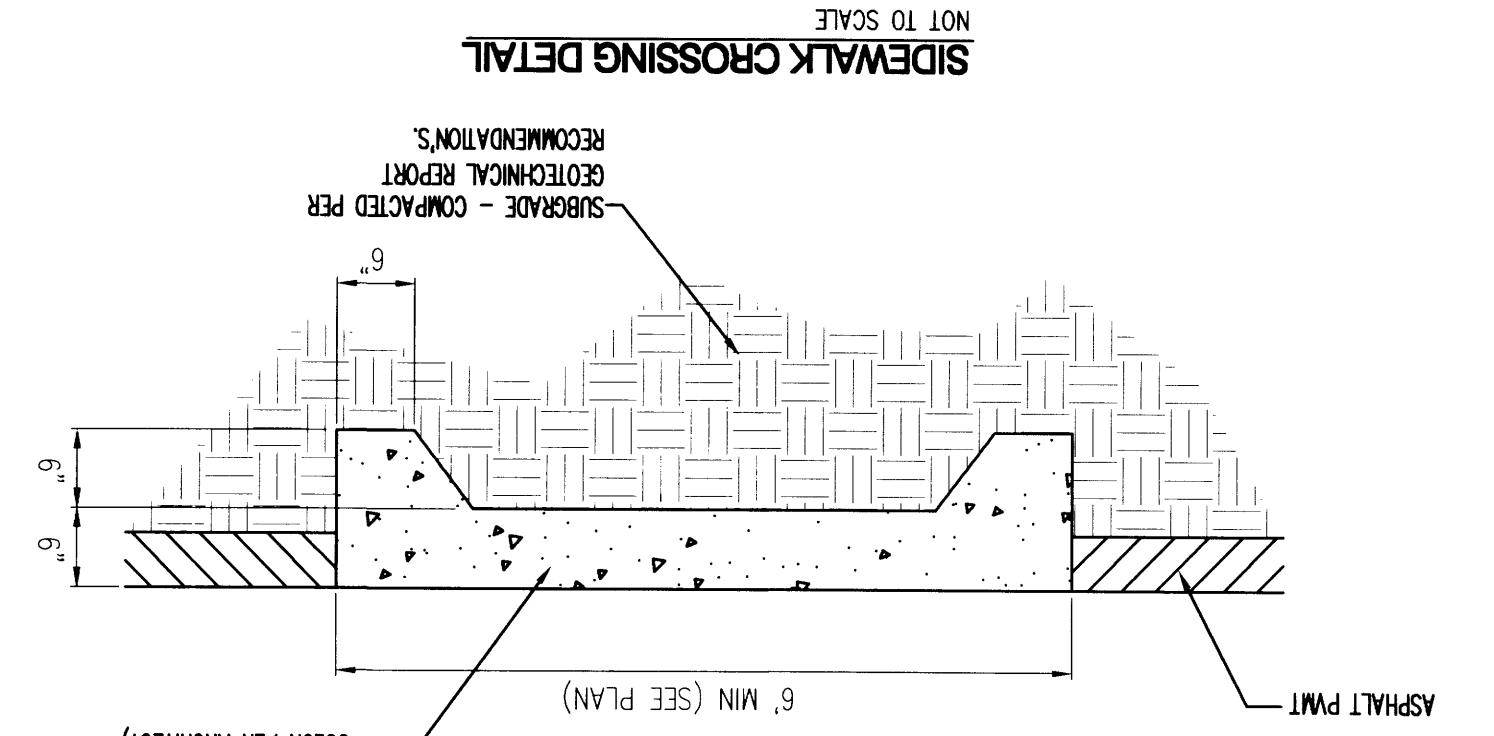
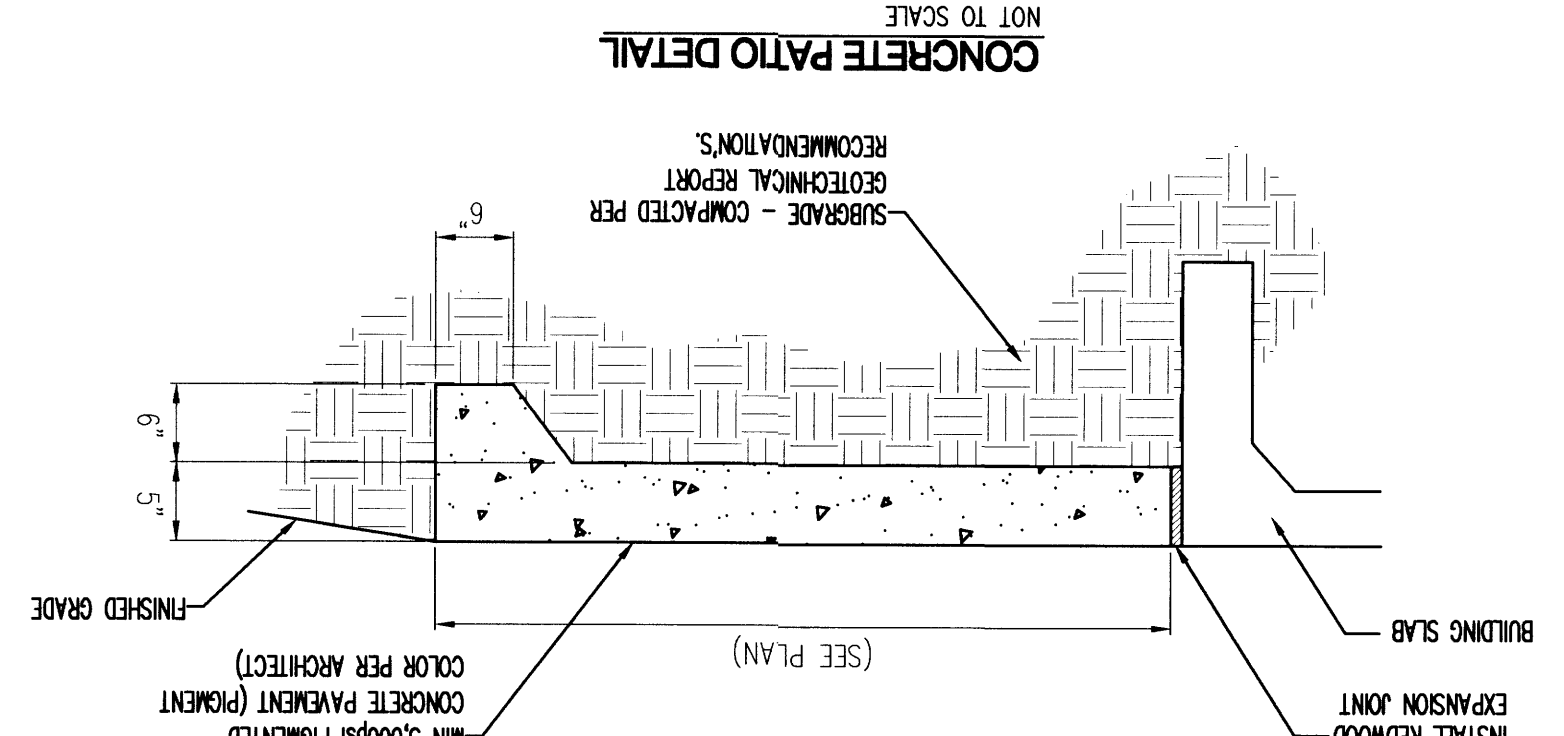
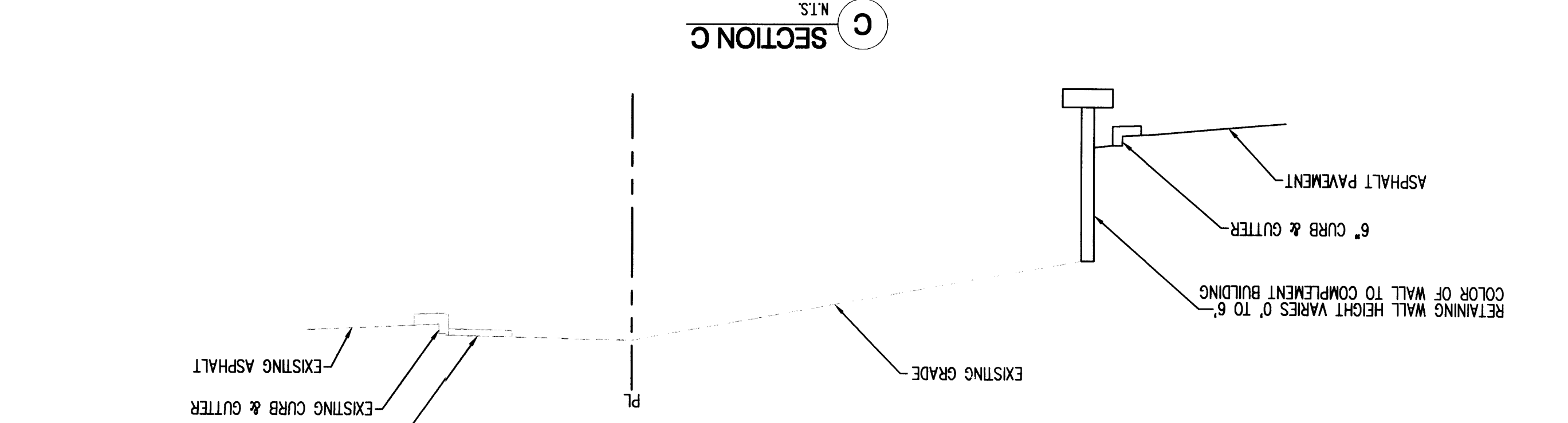
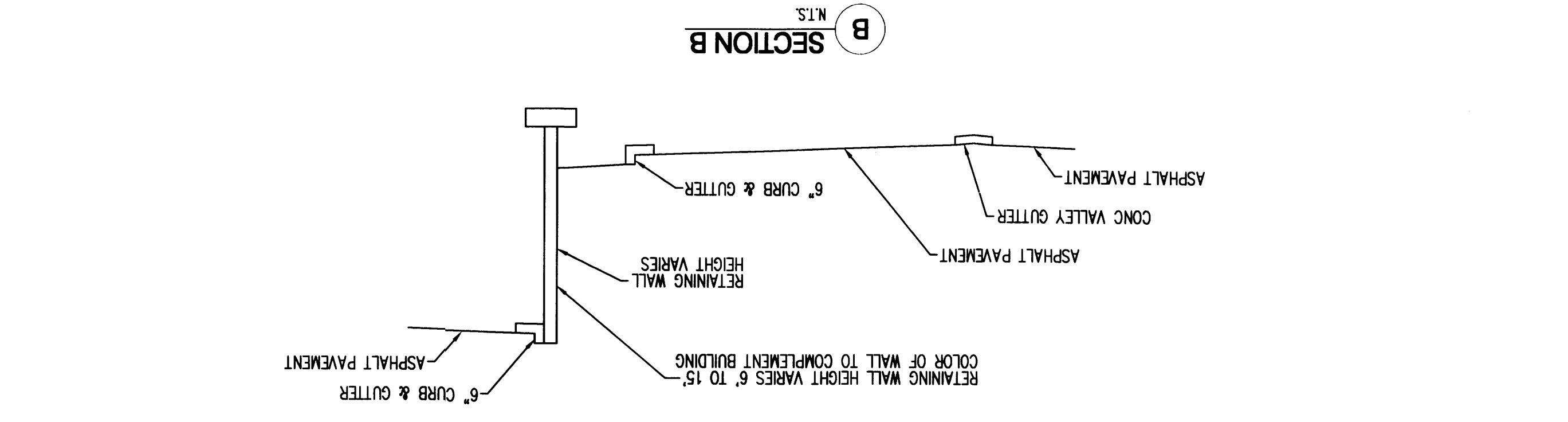
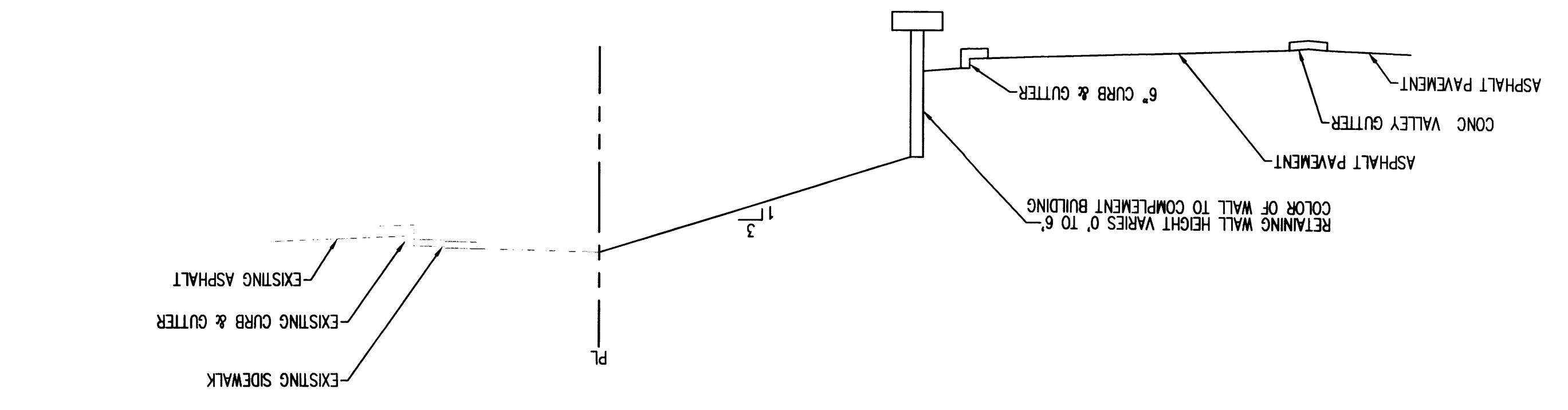
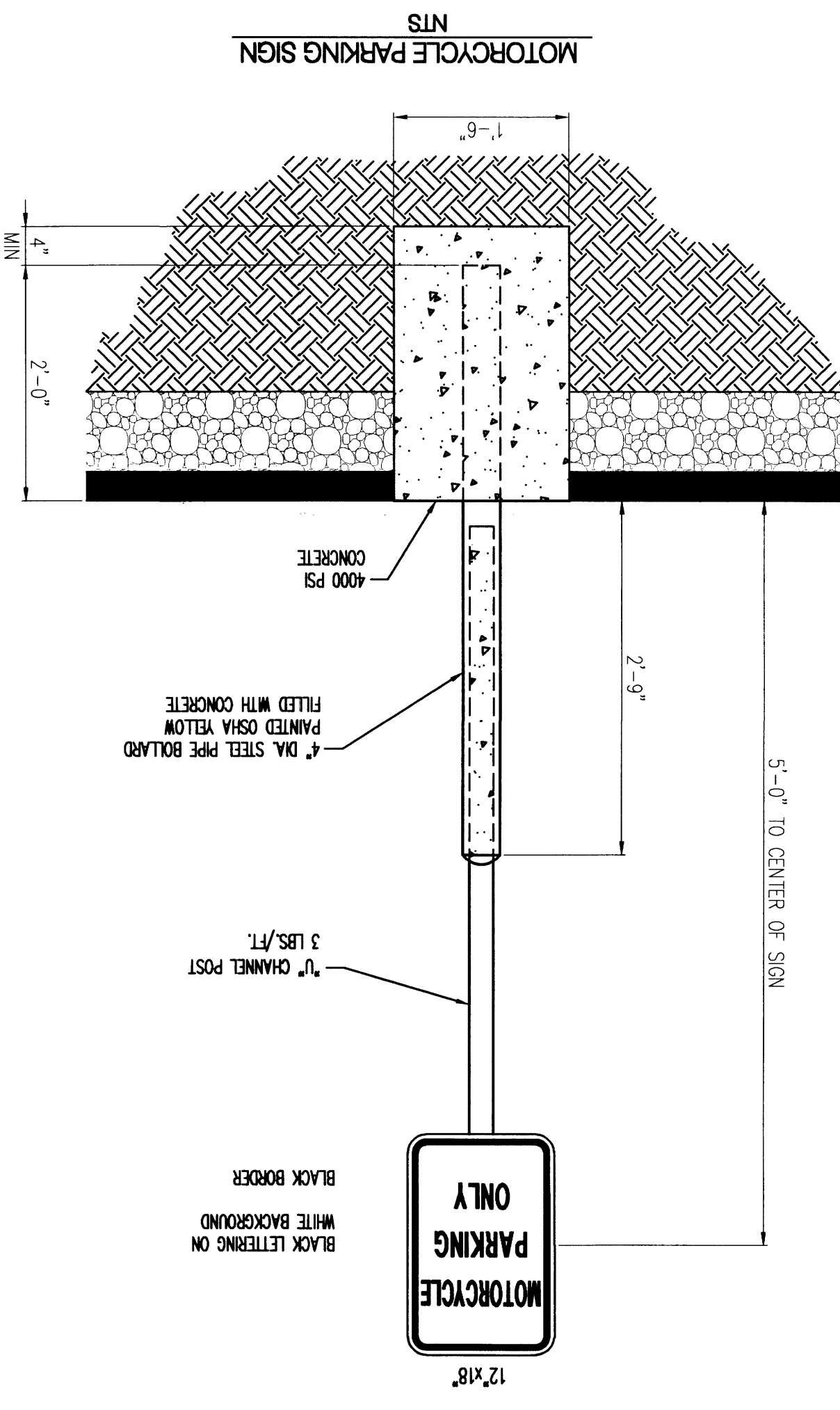
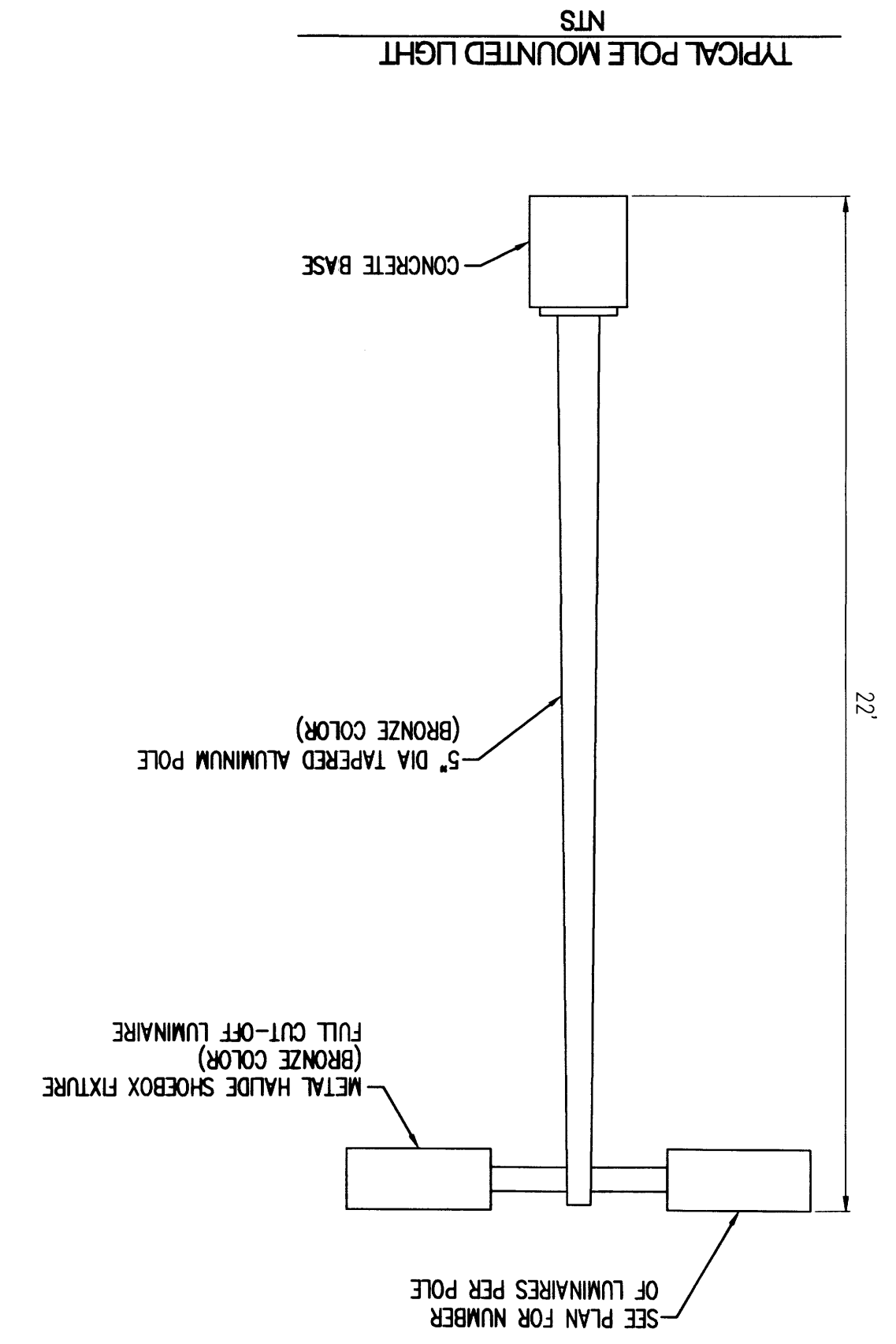
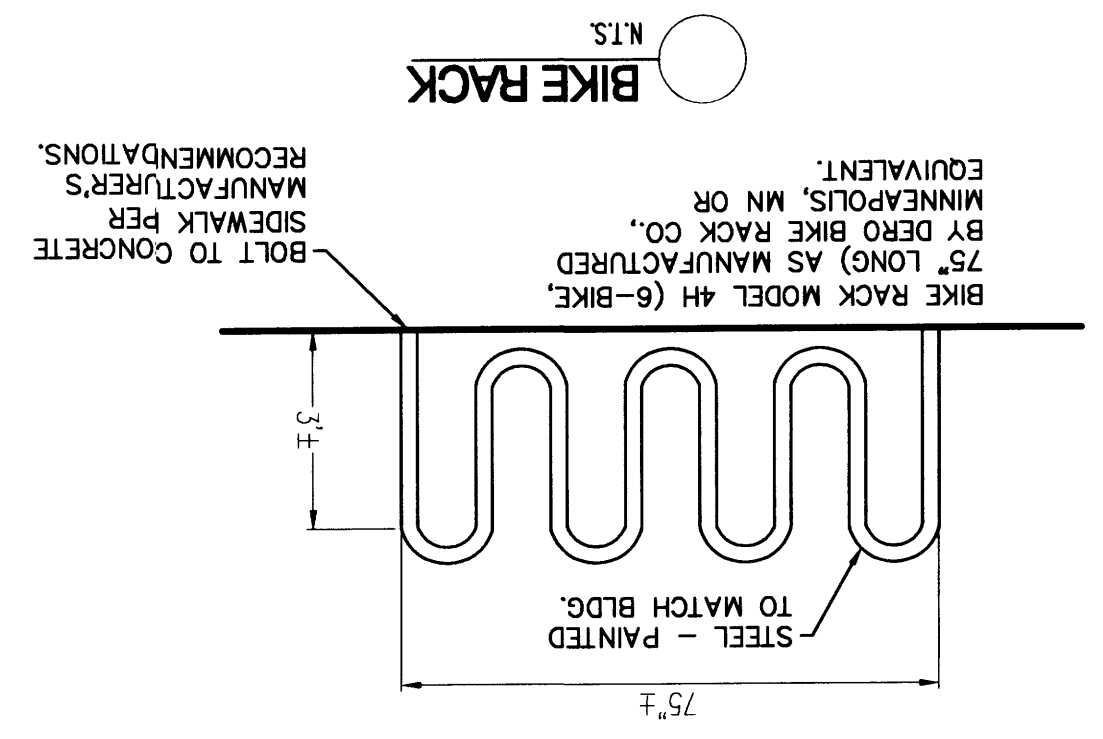
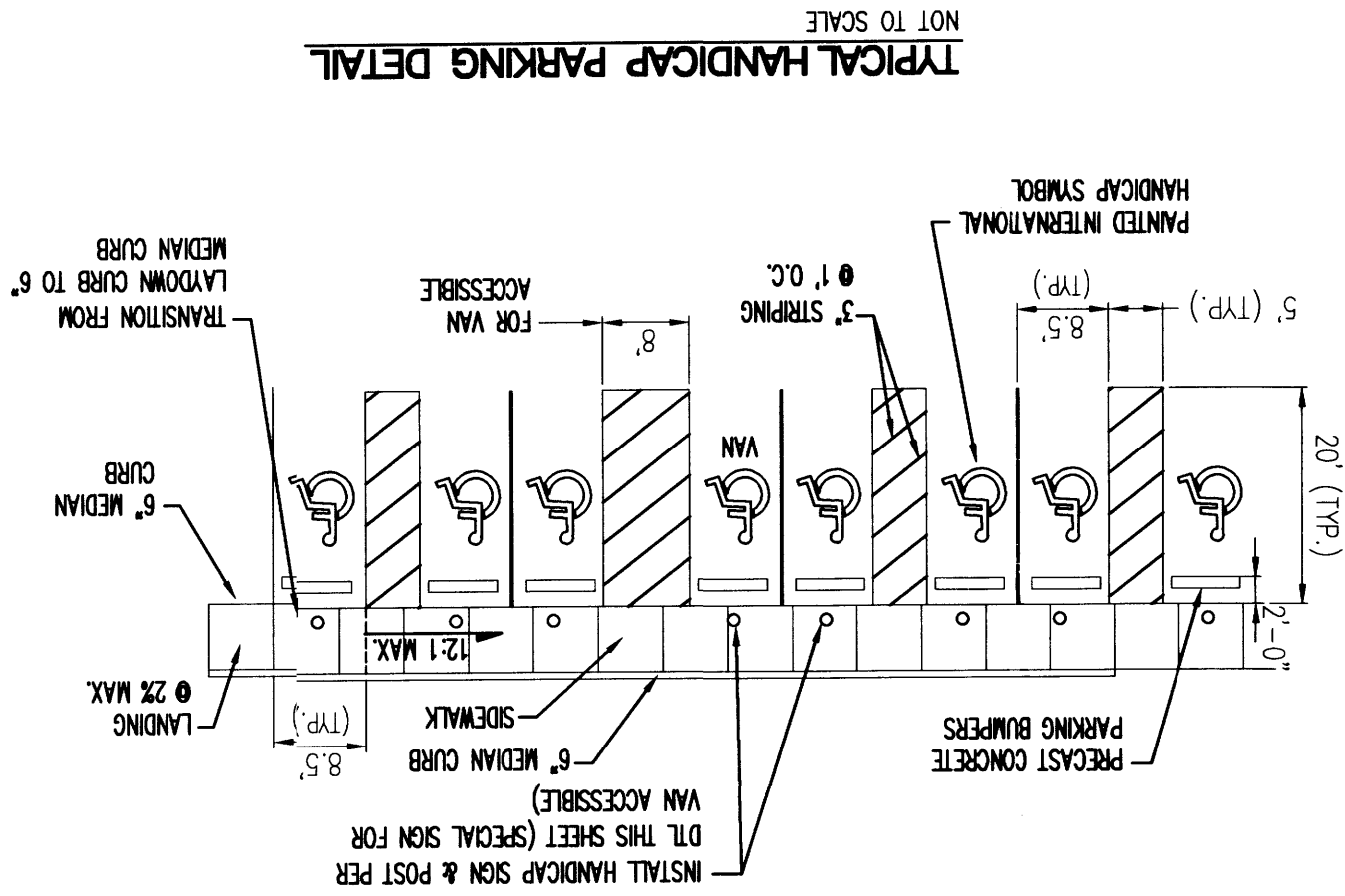
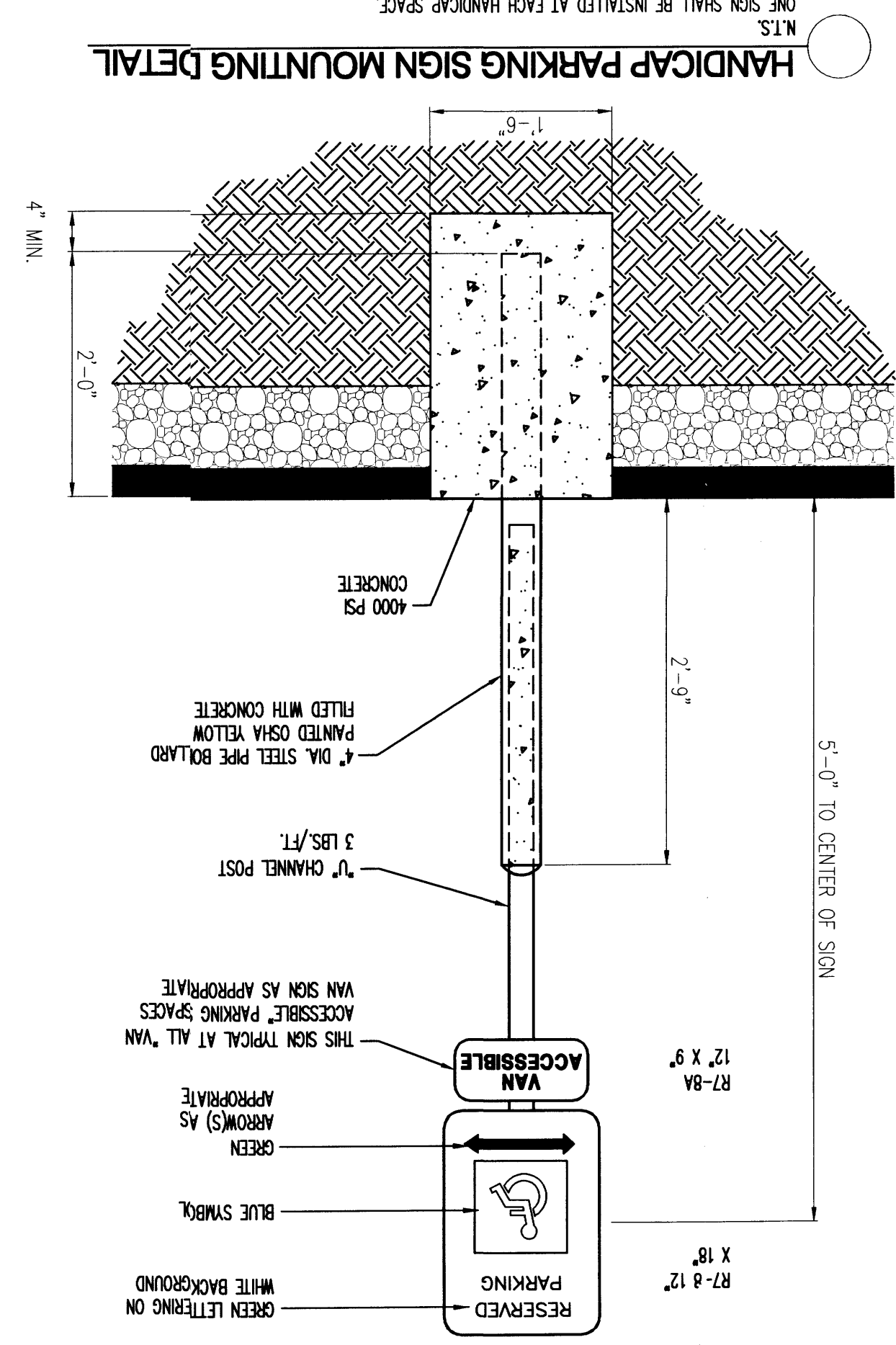
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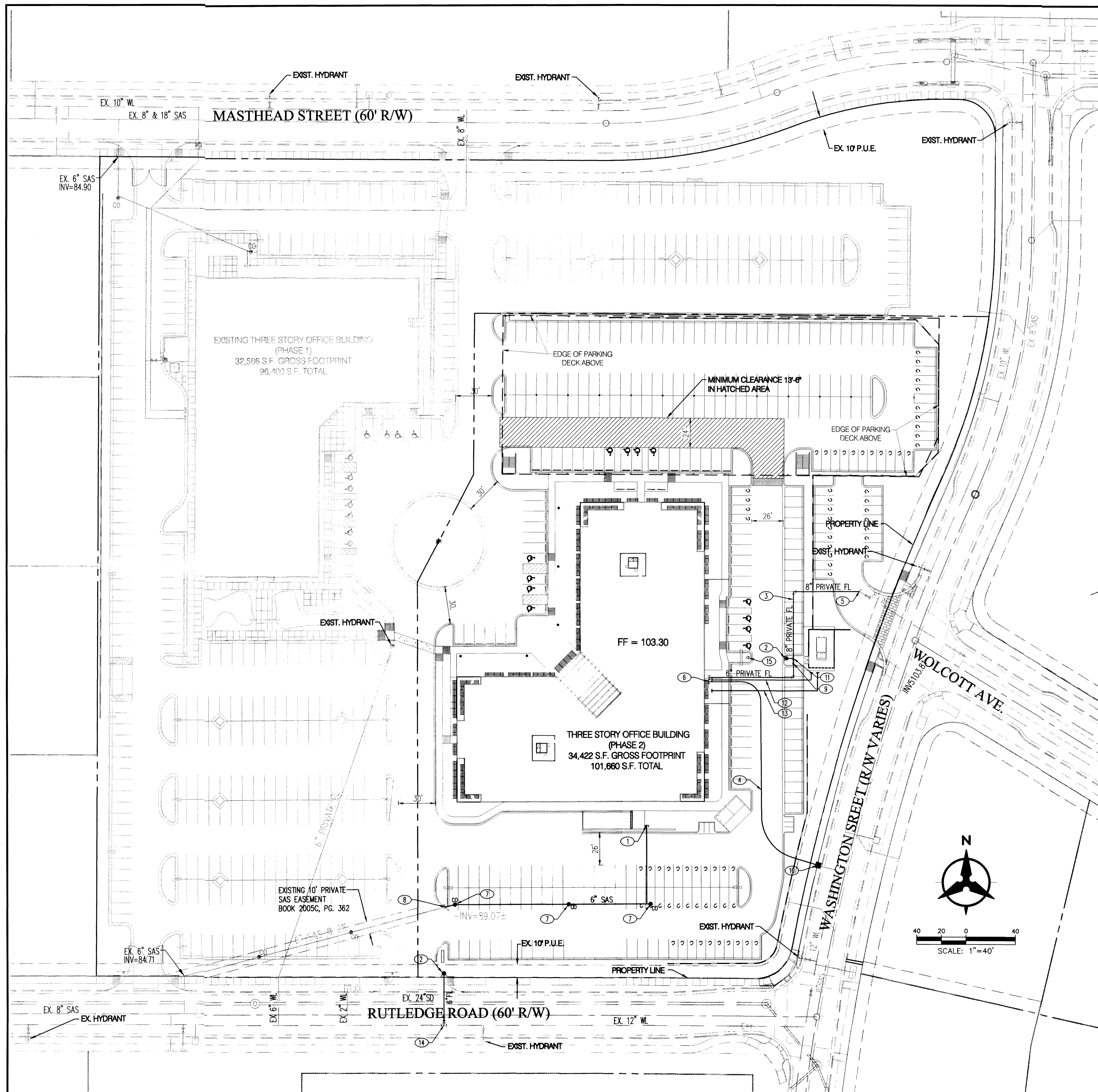
SHEET TITLE:  
SITE DETAILS

SHEET NO.:

C1.2

**Bohannon & Huston**  
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**UTILITY NOTES**

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

**UTILITY KEYED NOTES**

1. 6" SANITARY SEWER STUB, SEE PLUMBING PLANS FOR CONTINUATION.
2. NEW PRIVATE FIRE HYDRANT PER COA STD DWG 2340.
3. 8" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL. FIRE LINE PIPE JOINTS AND MECHANICAL JOINTS SHALL BE RESTRAINED FOR ENTIRE LENGTH. PROVIDE 3' MINIMUM COVER, VERTICAL BENDS AS REQUIRED (NOT > 22.5').
4. NEW 2 1/2" METERED WATER SERVICE. CONNECT TO EXISTING 2" WATER LINE STUB OUT.
5. CONNECTION TO EXISTING 8" FIRE LINE STUB.
6. NEW 2 1/2" DOMESTIC WATER SERVICE TO BUILDING, BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT.
8. CONNECT TO EX. 6" SAS STUB PROVIDED TO SITE WITH PHASE 1
9. POST INDICATOR VALVE.
10. EXISTING 1 1/2" WATER SERVICE LINE AND METER BOX. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF METER.
11. 8"x6" TEE AND 8"x6" REDUCER.
12. NEW 1" WATER LINE FOR MAKE-UP WATER TO COOLING TOWER SEE PLUMBING PLANS.
13. NEW 4" SAS SEE PLUMBING PLANS FOR INVERTS AND CONTINUATION.
14. 12"x6" TAPPING SLEEVE & 6" GATE VALVE.
15. REMOTE FDC.

**LEGEND**

---	PROPERTY LINE
EX. 8" SAS	EX. SANITARY SEWER & MANHOLE
EX. 24" SD	EX. STORM DRAIN & MANHOLE
---	EX. INLET
EX. 12" WL	EX. WATER LINE
---	EX. VALVE
---	EX. METER
---	EX. FIRE HYDRANT
---	EX. STREET LIGHT
SAS	PROPOSED SANITARY SEWER
CO	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE

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NEW MEXICO**

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MK	DATE	DESCRIPTION

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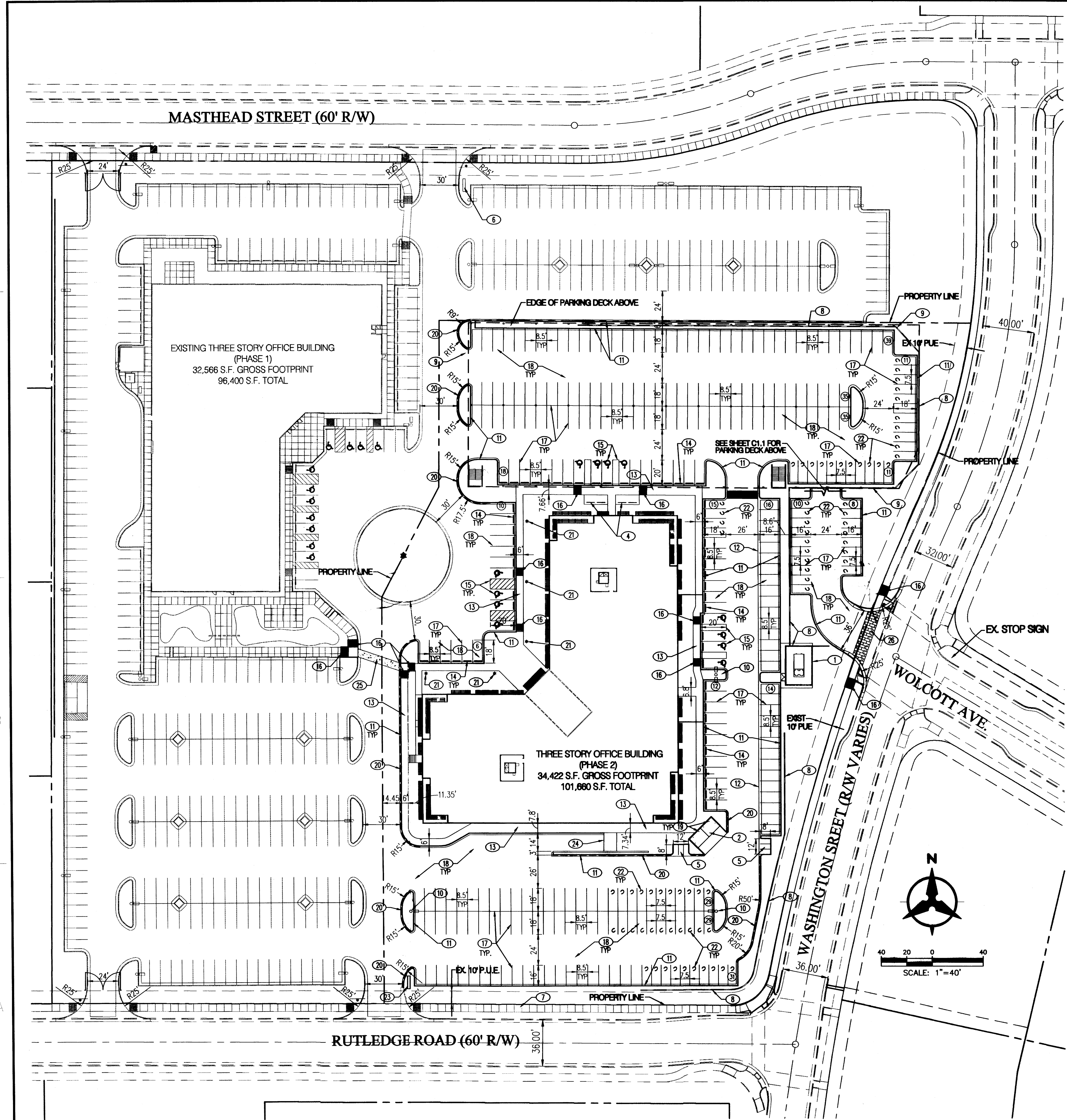
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UTILITY PLAN**

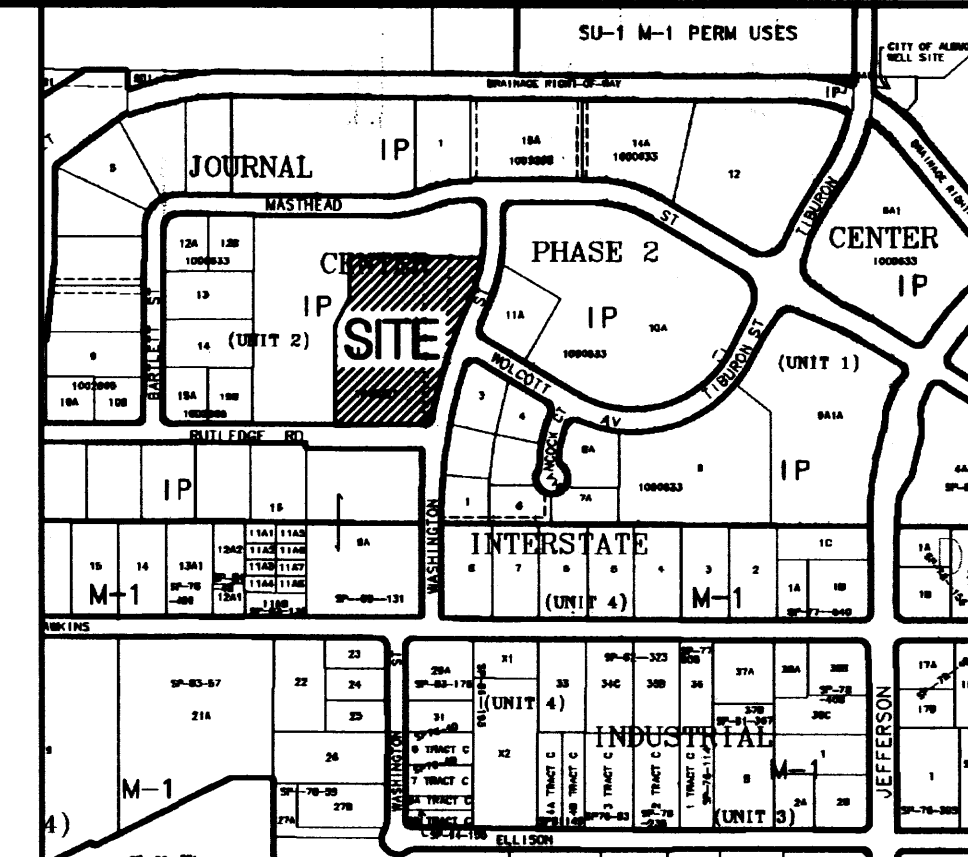
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- KEYED NOTES**
1. 14' HIGH MASONRY SCREEN WALL/RETAINING WALL TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS. WALL TO SCREEN MECHANICAL EQUIPMENT.
  2. MASONRY REFUSE ENCLOSURE TO MATCH BUILDING. MIN 6' HIGH. SEE DETAILS ON SHEET AS-101. INSTALL CONCRETE PAD.
  3. NOT USED.
  4. BICYCLE PARKING (24 SPACES). SEE DETAIL ON SHEET C1.2.
  5. MOTORCYCLE PARKING WITH SIGN. SEE DETAIL ON SHEET C1.2.
  6. EXISTING MONUMENT SIGN, INSTALLED WITH PHASE 1.
  7. EXISTING 6' WIDE SIDEWALK, INSTALLED WITH PHASE 1.
  8. RETAINING WALL, HEIGHT VARIES. SEE SHEET C2.0. COLOR OF WALL TO COMPLEMENT BUILDING.
  9. LIMITS OF PARKING DECK ABOVE. SEE SHEET C1.1.
  10. LIGHT POLE, SEE DETAIL ON SHEET C1.2.
  11. 6" HIGH CURB & GUTTER.
  12. CONC VALLEY GUTTER.
  13. 4" THICK CONCRETE SIDEWALK.
  14. INSTALL PRECAST CONCRETE WHEEL STOP PER MANUFACTURER'S RECOMMENDATIONS.
  15. INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.2.
  16. INSTALL CURB RAMP.
  17. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
  18. INSTALL NEW ASPHALT PAVEMENT.
  19. INSTALL 4" BOLLARDS PER DETAILS ON SHEET AS-101.
  20. INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
  21. BOLLARD LIGHTING.
  22. COMPACT PARKING SPACE.
  23. NEW MONUMENT SIGN, SEE DETAILS ON SHEET AS-101.
  24. LOADING DOCK.
  25. 6" WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2% MAX. CROSS SLOPE).
  26. BRICK CROSS WALK PER JOURNAL CENTER STANDARDS.



**ZONE ATLAS PAGE D-17-Z**  
SCALE: 1"=600'

**LEGAL DESCRIPTION**  
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, NOVEMBER, 2005

**PROJECT NUMBER:** \_\_\_\_\_  
Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- GENERAL NOTES**
1. SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
  2. UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
  3. SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.
  4. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
  5. AT THE TIME COMMON AREA IRRIGATION IS CONNECTED TO JOURNAL CENTER 2 COMMON AREA IRRIGATION SYSTEM, THE DEVELOPER "TEURON INVESTMENT, LLC" MUST BE CONTACTED.

**PROJECT DATA**

Zoning (Existing)	= IP
Site Area	= 4.4289 ac.
Building Area (Gross)	= 101,660 sf
Parking Required*	
Phase 2	
1st flr office rentable 33,098sf @ 1/200	= 165.5
2nd flr office rentable 32,929sf @ 1/300	= 109.8
3rd flr office rentable 31,319sf @ 1/300	= 104.4
Total Required	= 380
Motorcycle Stalls Required	= 6
Handicap Accessible Stalls Required	= 12
Parking Provided (Phase 2)	
Standard Spaces	= 381
Compact Spaces	= 75
Handicap Accessible Stalls	= 12
Motorcycle Stalls	= 6
Total Provided	= 474
Bicycle Parking Required (Phase 2)	= 24 (1/20 automobile spaces)
Bicycle Parking Provided (Phase 2)	= 24 (4 rows of 6 each)

\* Per note B of the plot of lots 11-A and 11-B (recorded 11/03/2005) there is a reciprocal cross parking easement on both tracts.

- DRAWING INDEX**
- C1.0 - SITE PLAN
  - C1.1 - SITE PLAN - UPPER PARKING DECK
  - L1.0 - LANDSCAPE PLAN
  - C2.0 - CONCEPTUAL GRADING PLAN
  - A2.1 - BUILDING ELEVATIONS
  - A2.2 - BUILDING ELEVATIONS
  - A2.3 - PARKING STRUCTURE ELEVATIONS
  - A2.4 - PARKING STRUCTURE ELEVATIONS
  - C1.2 - SITE DETAILS
  - AS-101 - SITE DETAILS
  - C3.0 - CONCEPTUAL UTILITY PLAN

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SERVICE CENTER  
HUMAN  
RESOURCES**

**ALBUQUERQUE  
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION
BO	GSB	

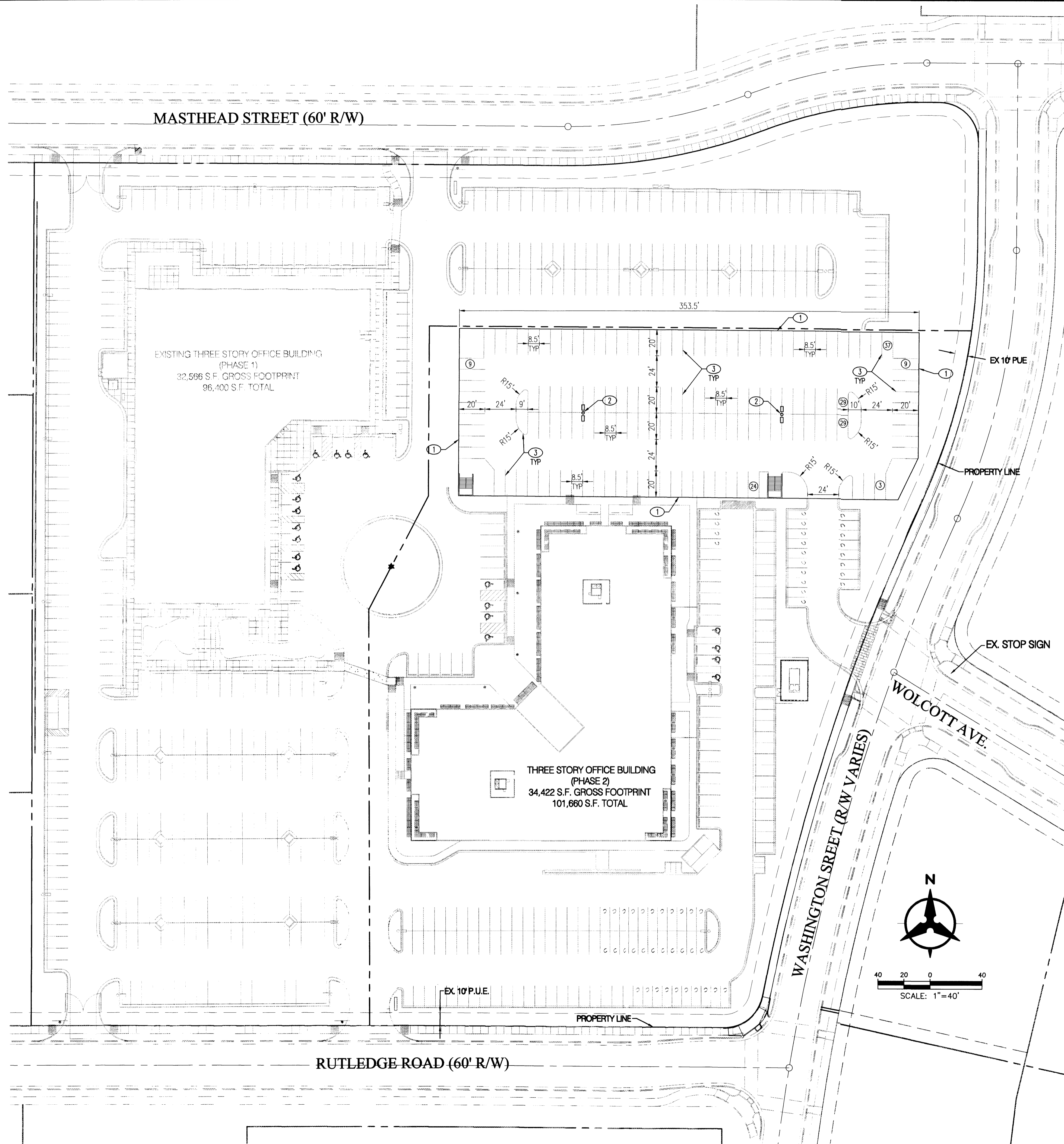
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DATE:  
**JUNE 17, 2010**

SHEET TITLE:  
**SITE PLAN**

SHEET NO:  
**C1.0**

**Bohman & Huston**  
Courtesy 1 7500 Jefferson St. NE Albuquerque, NM 87108-4335  
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- KEYED NOTES**
1. LIMITS OF UPPER PARKING DECK.
  2. LIGHT POLE.
  3. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).



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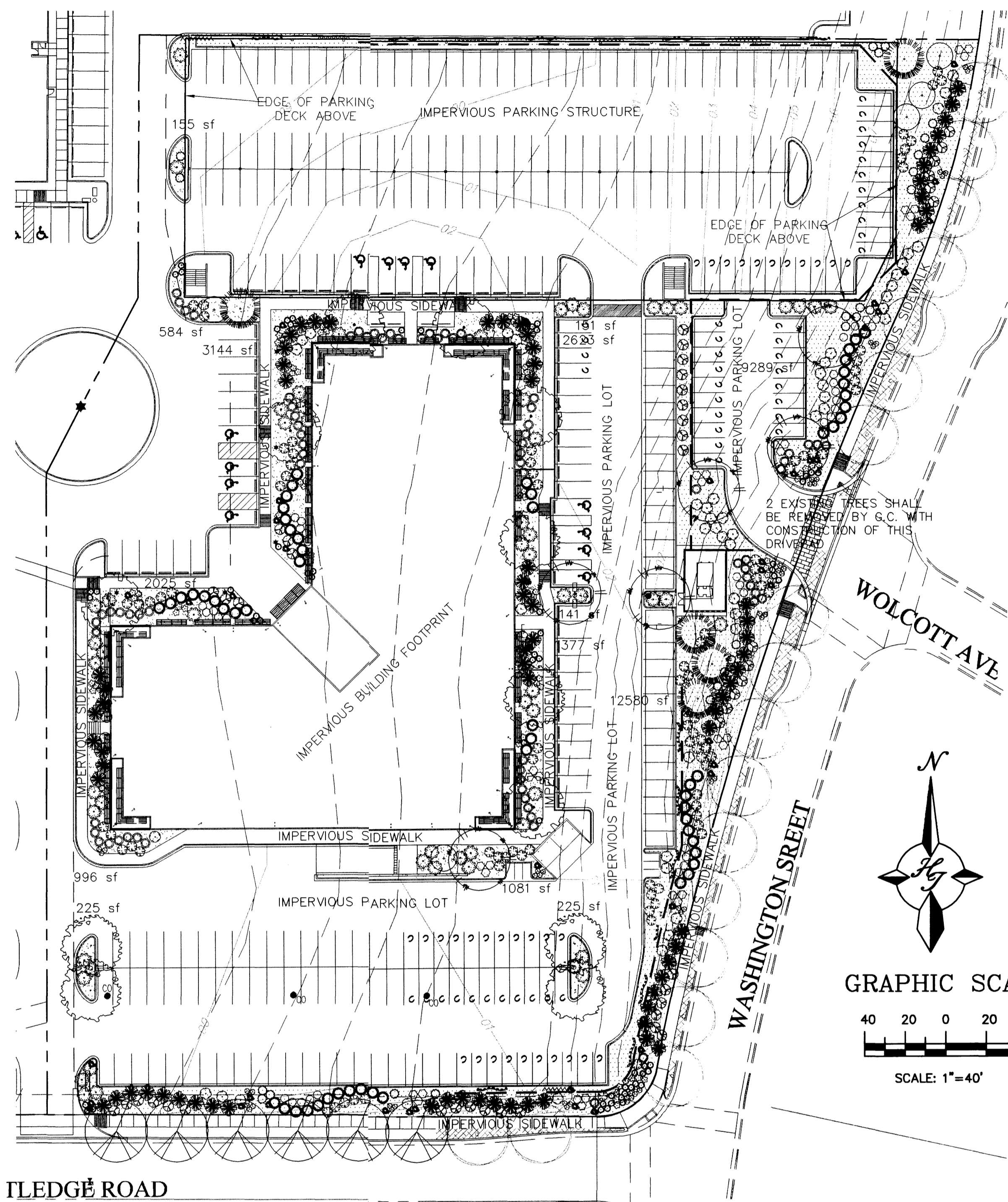
**SITE PLAN  
UPPER  
PARKING DECK**

SHEET NO:

**C1.1**

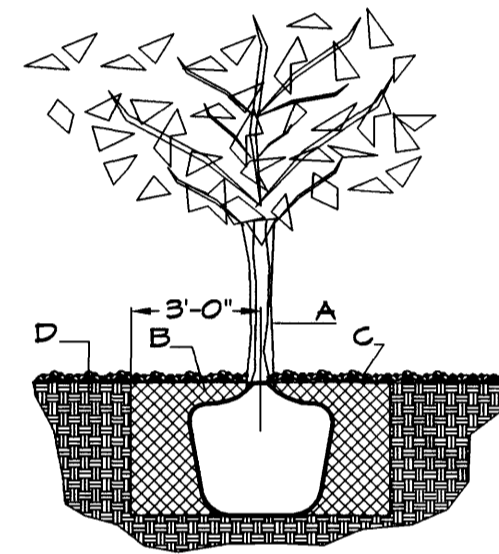
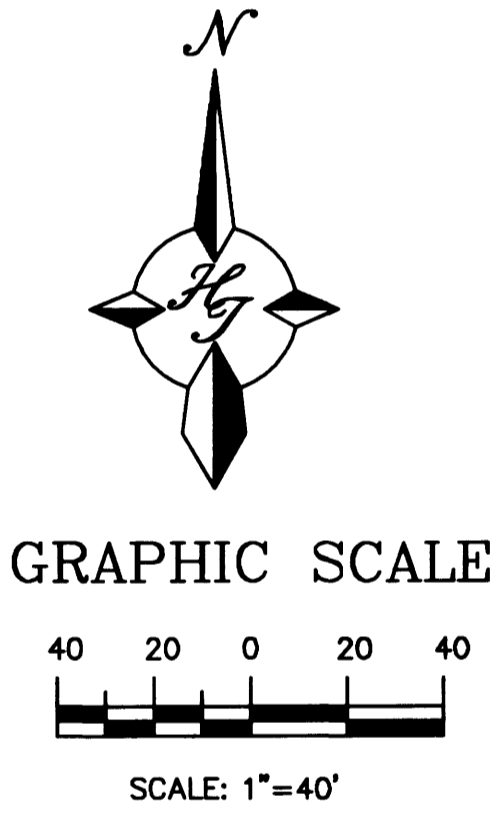
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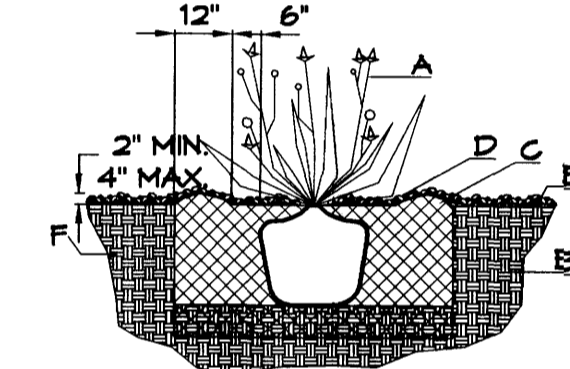
**PLANT LEGEND**

- EXISTING BERINDA ASH
- BERINDA ASH (H) 6  
Fraxinus spp.  
2" Cal.  
(PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
- CHINESE PISTACHE (M) 6  
Pistachia chinensis  
2" Cal.
- OAK (M) 6  
Quercus spp.  
2" Cal.
- REDBUD (M) 6  
Cercis reniformis  
2" Cal.
- AUSTRIAN PINE (M) 5  
Pinus nigra  
6-8"
- THORNLESS HAWTHORN (M+) 5  
Crataegus crus-galli inermis  
15 Gal. 225sf
- SOTOL 75  
Dasylirion wheeleri  
5 Gal. 36sf
- MUGO PINE (M) 57  
Pinus mugo  
5 Gal. 36sf
- WINTER JASMINE (L+) 90  
Jasminum nudiflorum  
5 Gal. 144sf
- CURLLEAF MTN MAHOGANY (L) 53  
Carpocarpus ledfolius  
5 Gal. 100sf
- GREYLEAF COTONEASTER 60  
Cotoneaster buxifolius  
5 Gal. 81sf
- APACHE PLUME (L) 31  
Fallugia paradoxa  
5 Gal. 42sf
- THREE-LEAF SUMAC (L) 25  
Rhus trilobata  
5 Gal. 36sf
- ARP ROSEMARY (M) 75  
Rosmarinus officinalis  
5 Gal. 36sf
- POWIS CASTLE SAGE (L) 45  
Artemisia x powis castle  
5 Gal. 25sf
- AUTUMN SAGE (M) 33  
Salvia greggii  
5 Gal. 45sf
- LAVENDER (M) 57  
Lavandula angustifolia  
1 Gal. 45sf
- THREADGRASS (M) 64  
Stipa tenuissima  
1 Gal. 4sf
- MILDFLOWER 52  
1 Gal. 4sf
- ENGLISH IVY (M) 6  
Hedera helix  
1 Gal.
- CORAL HONEYSUCKLE (M) 6  
Lonicera sempervirens  
1 Gal.
- LADY BANKS ROSE (M) 6  
Rosa banksiae  
1 Gal.
- BOULDERS WITH OVERSIZED GRAVEL ACCENT (41)
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- OVERSIZED GRAVEL WITH FILTER FABRIC
- EXISTING LANDSCAPING



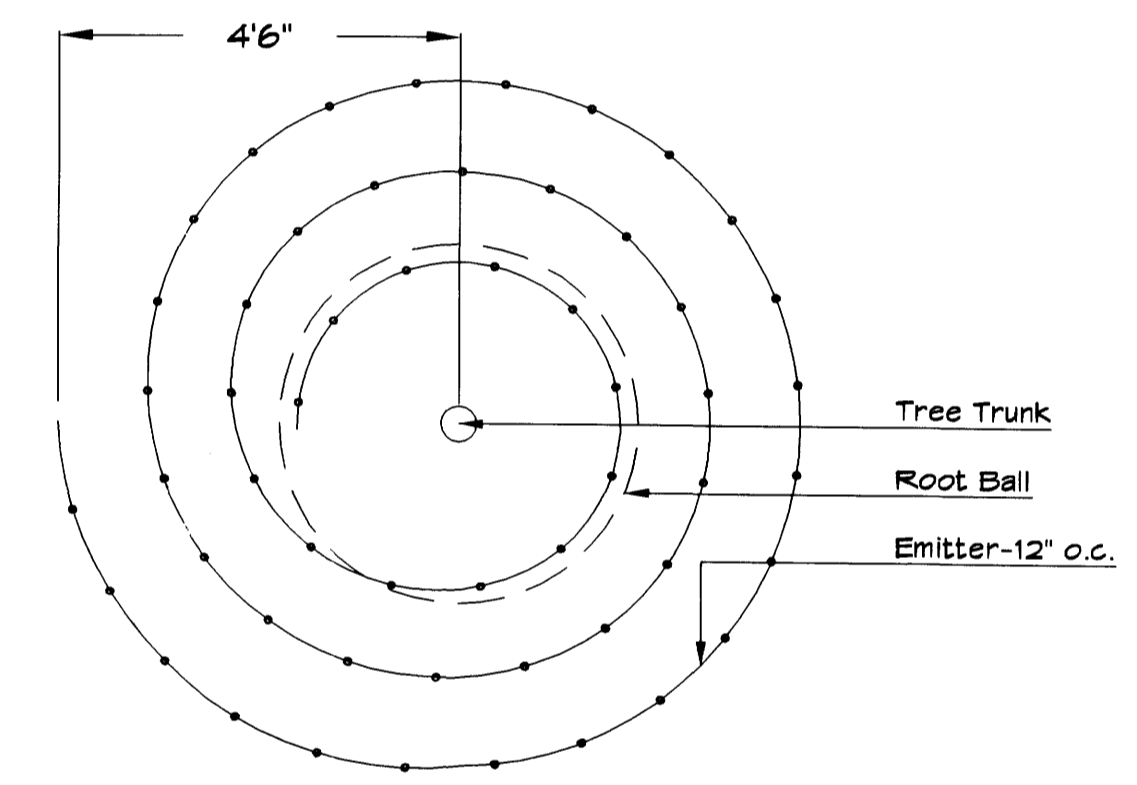
**TREE PLANTING DETAIL**

- NTS
- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH OF GRAVEL MULCH.
  - UNDISTURBED SOIL.



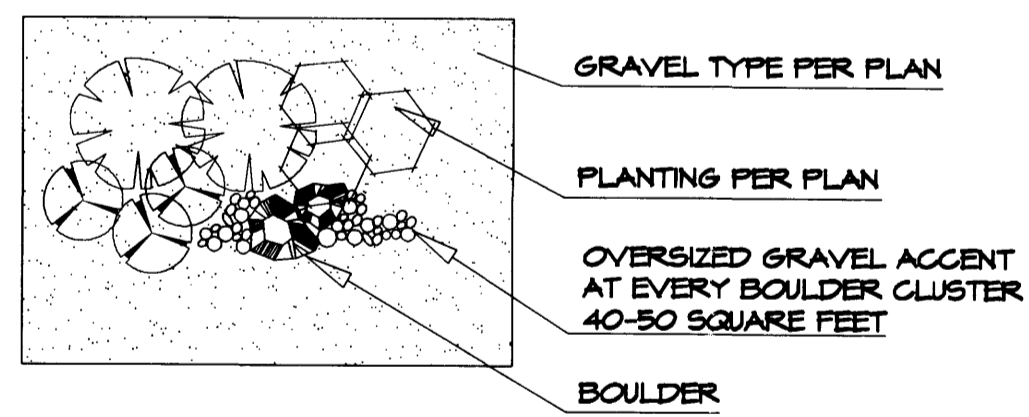
**SHRUB PLANTING DETAIL**

- NTS
- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE.
  - UNDISTURBED SOIL.



**Netafim Spiral Detail**

**GRAVEL ACCENT DETAIL**



**LANDSCAPE CALCULATIONS**

TOTAL PHASE 2 AREA	190370	square feet
TOTAL PHASE 2 BUILDING AREA	34422	square feet
NET LOT AREA	155948	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	23392	square feet
TOTAL BED PROVIDED	34596 (22%)	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	25947	square feet
TOTAL GROUND COVER PROVIDED	25972 (75%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED IN PHASE 2	34596 (22%)	square feet

**STREET TREE REQUIREMENTS - Minimum 2" Caliper:**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street : RUTLEDGE  
Required 0 Provided 0 (6 NEW/2 EXISTING)

Name of Street : WASHINGTON  
Required 16 Provided 16 EXISTING

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper:**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # Provided #

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds (pervious area) shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all Pervious landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES FOR PHASE 2:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Common area irrigation shall be tied to the Master C-Journal Center 2 common area irrigation system. Contact the developer, Tiburon Investment LLC at 747-2566

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**PHASE ONE IRRIGATION NOTES:**  
Irrigation is a complete underground system with Trees supplied with (5) 1.0 GPH Drip Emitters and Shrubs supplied with (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems tied to 1/2" poly pipe with flush caps at each end.

**NCA**  
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WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cm@thehilltoplandscaping.com

PROJECT TITLE

**USFS  
PHASE II  
ALBUQUERQUE  
SERVICE CENTER  
HUMAN  
RESOURCES**

**ALBUQUERQUE  
NEW MEXICO**

6117110

REVISIONS:

MK	DATE	DESCRIPTION
3	6-17-10	site revision -cmj
2	6-4-10	site revision -cmj
1	5-17-06	site revision -adf

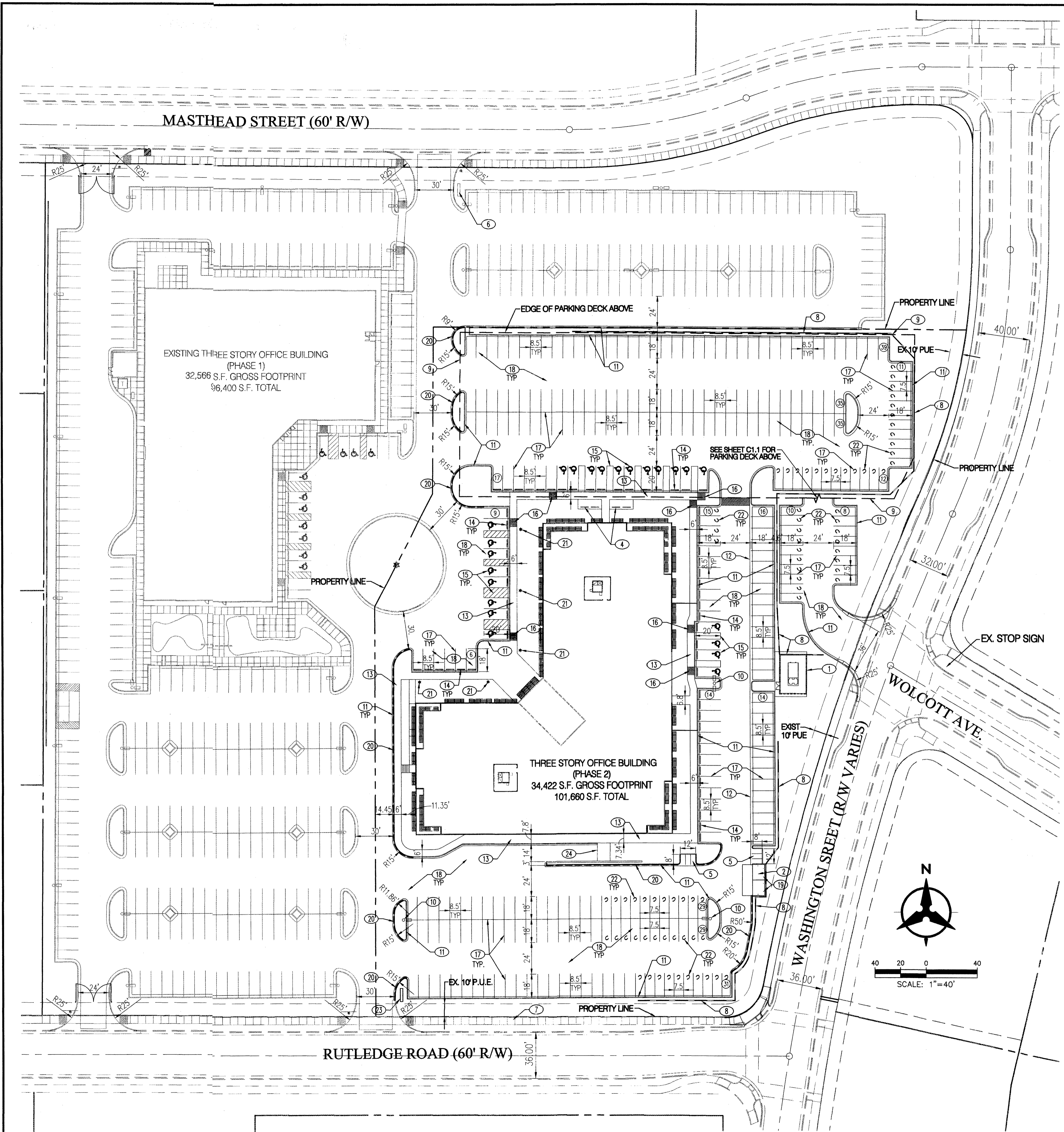
DRAWN BY: CHECKED BY:

PROJECT NUMBER:  
A10.08

DATE:  
JUNE 17 2010

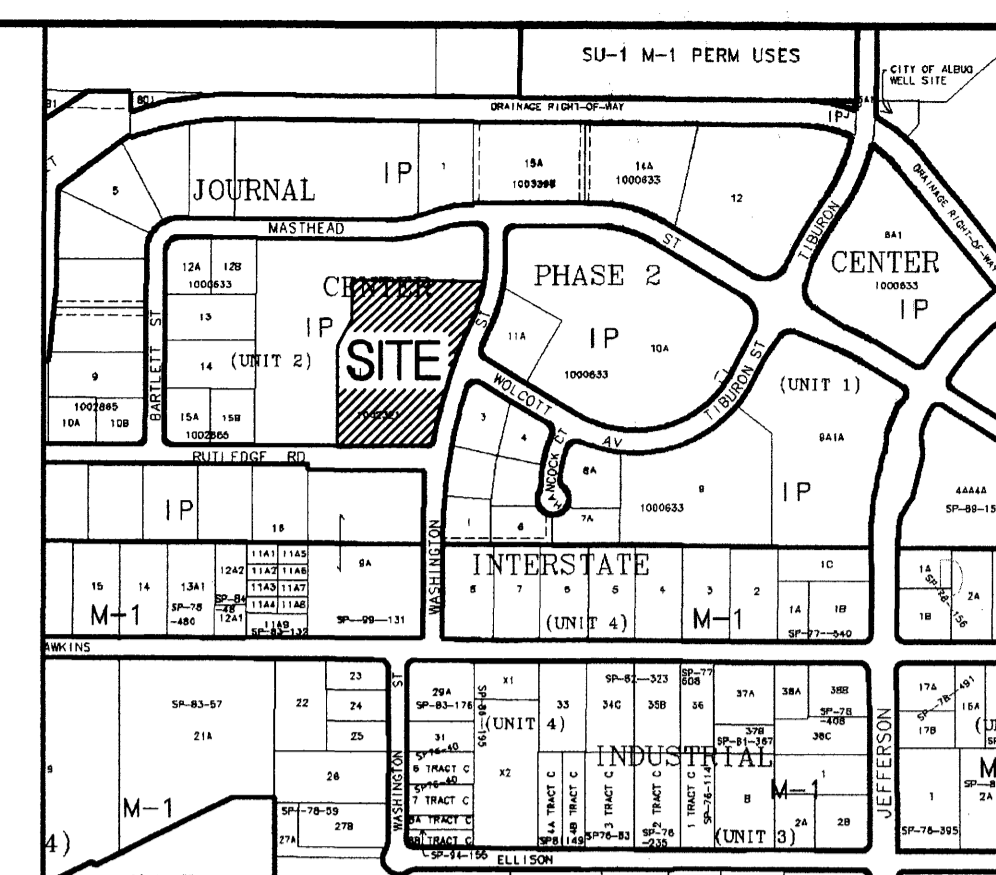
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**LANDSCAPING PLAN**

SHEET NO:  
L1.0



**KEYED NOTES**

1. 14" HIGH MASONRY SCREEN WALL/RETAINING WALL TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS. WALL TO SCREEN MECHANICAL EQUIPMENT.
2. MASONRY REFUSE ENCLOSURE TO MATCH BUILDING. MIN 6' HIGH. SEE DETAILS ON SHEET AS-101. INSTALL CONCRETE PAD.
3. NOT USED.
4. BICYCLE PARKING (24 SPACES). SEE DETAIL ON SHEET C1.2.
5. MOTORCYCLE PARKING WITH SIGN. SEE DETAIL ON SHEET C1.2.
6. EXISTING MONUMENT SIGN, INSTALLED WITH PHASE 1.
7. EXISTING 6' WIDE SIDEWALK, INSTALLED WITH PHASE 1.
8. RETAINING WALL, HEIGHT VARIES. SEE SHEET C2.0. COLOR OF WALL TO COMPLEMENT BUILDING.
9. LIMITS OF PARKING DECK ABOVE. SEE SHEET C1.1.
10. LIGHT POLE, SEE DETAIL ON SHEET C1.2.
11. 6" HIGH CURB & GUTTER.
12. CONC VALLEY GUTTER.
13. 4" THICK CONCRETE SIDEWALK.
14. INSTALL PRECAST CONCRETE WHEEL STOP PER MANUFACTURER'S RECOMMENDATIONS.
15. INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.2.
16. INSTALL CURB RAMP.
17. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
18. INSTALL NEW ASPHALT PAVEMENT.
19. INSTALL 4" BOLLARDS PER DETAILS ON SHEET AS-101.
20. INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
21. BOLLARD LIGHTING.
22. COMPACT PARKING SPACE.
23. NEW MONUMENT SIGN, SEE DETAILS ON SHEET AS-101.
24. LOADING DOCK.



**ZONE ATLAS PAGE D-17-Z**  
SCALE: 1"=600'

**LEGAL DESCRIPTION**  
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, NOVEMBER, 2005

PROJECT NUMBER: \_\_\_\_\_  
Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date _____
Water Utility Department	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____



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**ARCHITECT**

**CONSULTANT**

**PROJECT TITLE**

**USFS  
PHASE II  
ALBUQUERQUE  
SERVICE CENTER  
HUMAN  
RESOURCES**

**ALBUQUERQUE  
NEW MEXICO**

**REVISIONS:**

NO.	DATE	DESCRIPTION

**PROJECT DATA**

MK	DATE	DESCRIPTION
BO	GSE	DRAWN BY: CHECKED BY:
PROJECT NUMBER: A10.08		
DATE: JUNE 4, 2010		
SHEET TITLE: SITE PLAN		

**SHEET NO:**

**C1.0**

PROJECT DATA	
Zoning (Existing)	= IP
Site Area	= 4,4289 ac.
Building Area (Gross)	= 101,660 sf
<b>Parking Required*</b>	
Phase 1	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Subtotal Required	= 358
Phase 2	
1st flr office rentable 33,098sf @ 1/200	= 165.5
2nd flr office rentable 32,929sf @ 1/300	= 109.8
3rd flr office rentable 31,319sf @ 1/300	= 104.4
Subtotal Required	= 380
Total Required	= 738
Motorcycle Stalls Required	= 6
Handicap Accessible Stalls Required	= 24
<b>Parking Provided (Phase 1)</b>	
Standard Spaces	= 387
Handicap Accessible Stalls	= 12
Subtotal Provided	= 399
<b>Parking Provided (Phase 2)</b>	
Standard Spaces	= 372
Compact Spaces	= 77
Handicap Accessible Stalls	= 23
Motorcycle Stalls	= 6
Subtotal Provided	= 478
Total Provided	= 858
Bicycle Parking Required (Phase 2)	= 24 (1/20 automobile spaces)
Bicycle Parking Provided (Phase 2)	= 24 (4 rows of 6 each)

\* Per note 8 of the plot of lots 11-A and 11-B (recorded 11/03/2005) there is a reciprocal cross parking easement on both tracts.

- GENERAL NOTES**
1. SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
  2. UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
  3. SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.
  4. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
  5. AT THE TIME COMMON AREA IRRIGATION IS CONNECTED TO JOURNAL CENTER 2 COMMON AREA IRRIGATION SYSTEM, THE DEVELOPER "TIBURON INVESTMENT, LLC" MUST BE CONTACTED.

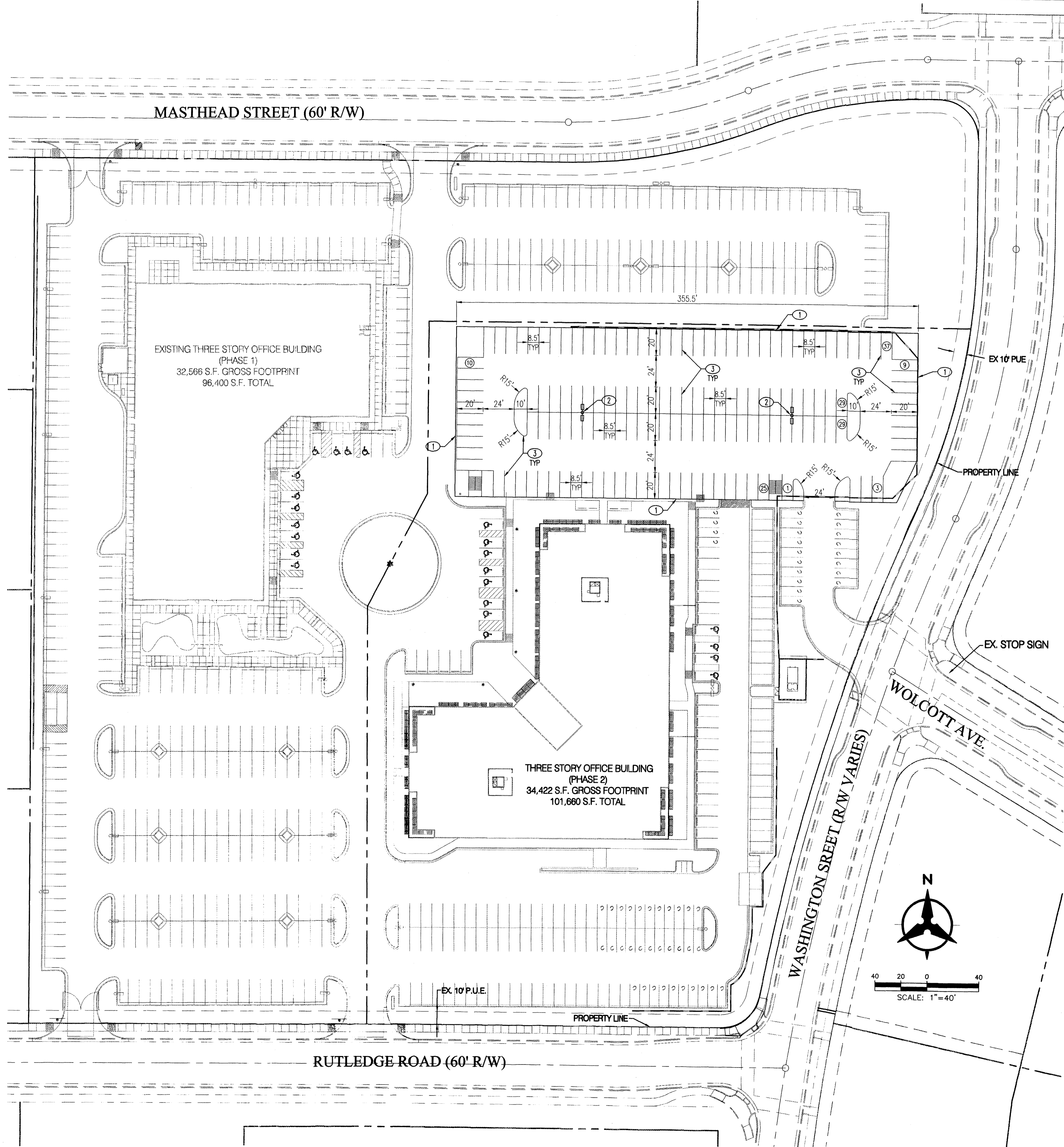
**DRAWING INDEX**

C1.0 - SITE PLAN
C1.1 - SITE PLAN - UPPER PARKING DECK
L1.0 - LANDSCAPE PLAN
C2.0 - CONCEPTUAL GRADING PLAN
A2.1 - BUILDING ELEVATIONS
A2.2 - BUILDING ELEVATIONS
A2.3 - PARKING STRUCTURE ELEVATIONS
A2.4 - PARKING STRUCTURE ELEVATIONS
C1.2 - SITE DETAILS
AS-101 - SITE DETAILS
C3.0 - CONCEPTUAL UTILITY PLAN

**Bohannon & Huston**

Courtyard | 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING ■ SPATIAL DATA ■ ADVANCED TECHNOLOGIES

P:\20110600\001\Plans\General\Site Plan For BP\060240p01.dwg, Layout  
June 04, 2010 - 8:24am  
Plotted by: BORTISA



- KEYED NOTES**
1. LIMITS OF UPPER PARKING DECK.
  2. LIGHT POLE.
  3. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).



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CONSULTANT

PROJECT TITLE

**USFS  
PHASE II  
ALBUQUERQUE  
SERVICE CENTER  
HUMAN  
RESOURCES**

ALBUQUERQUE  
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

BO GSB

PROJECT NUMBER:

A10.08

DATE:

JUNE 4, 2010

SHEET TITLE:

**SITE PLAN  
UPPER  
PARKING DECK**

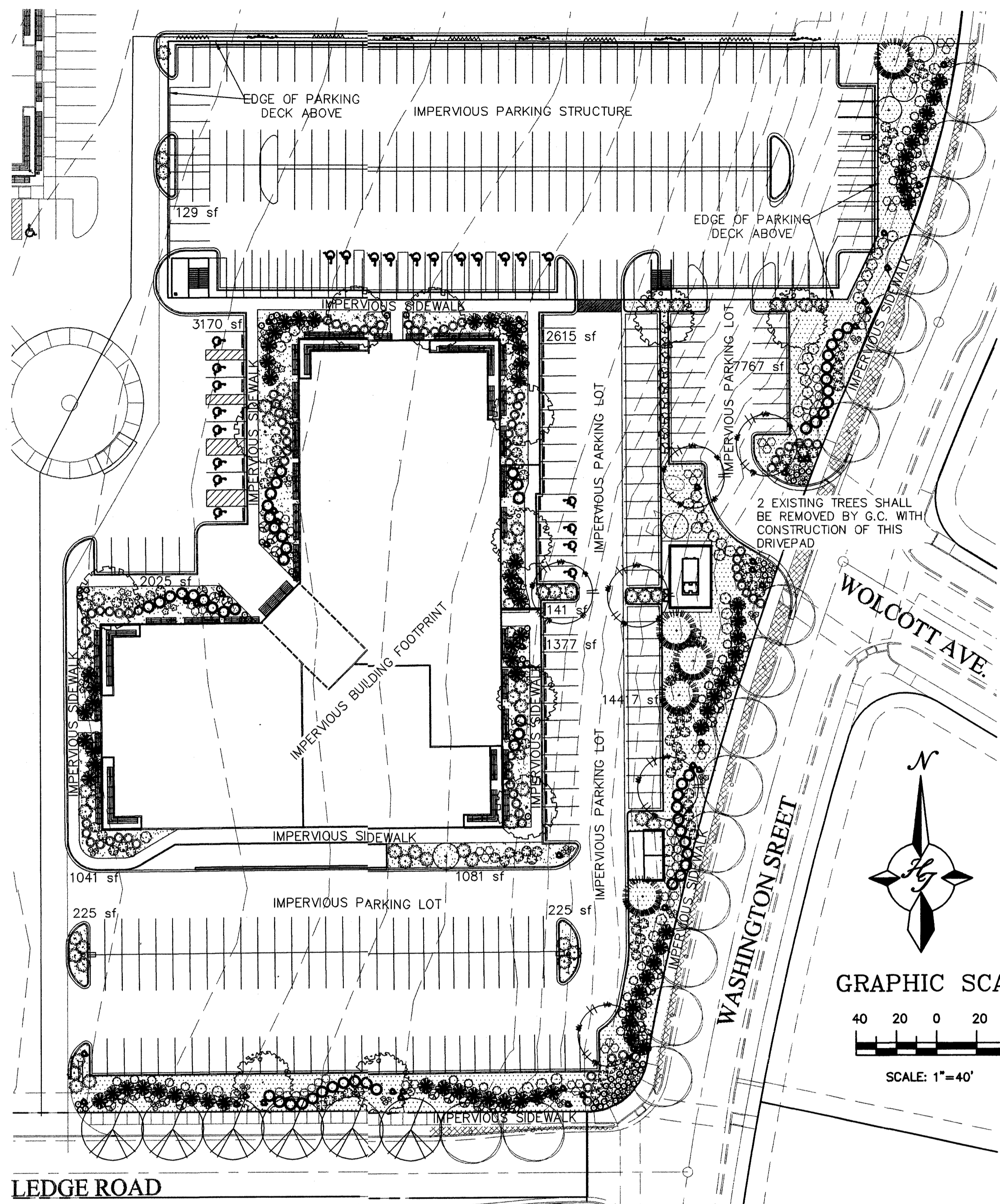
SHEET NO.:

**C1.1**

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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Plotted by: BORTEGA





**LEDGE ROAD**

**LANDSCAPE NOTES:**  
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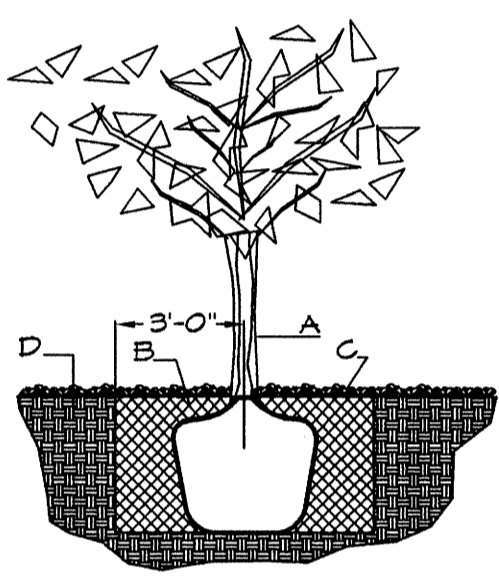
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**PLAN LEGEND**

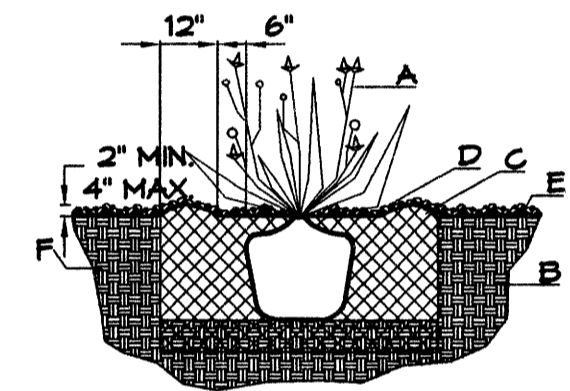
- EXISTING BERINDA ASH
- BERINDA ASH (H) 6 Fraxinus spp. 2" Cal. (PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
- CHINESE PISTACHE (M) 6 Pistachia chinensis 2" Cal.
- OAK (M) 6 Quercus spp. 2" Cal.
- REDBUD (M) 6 Cercis reniformis 2" Cal.
- AUSTRIAN PINE (M) 5 Pinus nigra 6-8"
- THORNLESS HAWTHORN (M+) 5 Crataegus crus-galli Inermis 15 Gal. 225sf
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- POINIS CASTLE SAGE (L) 45 Artemisia x powis castle 5 Gal. 25sf
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**TREE PLANTING DETAIL**

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4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

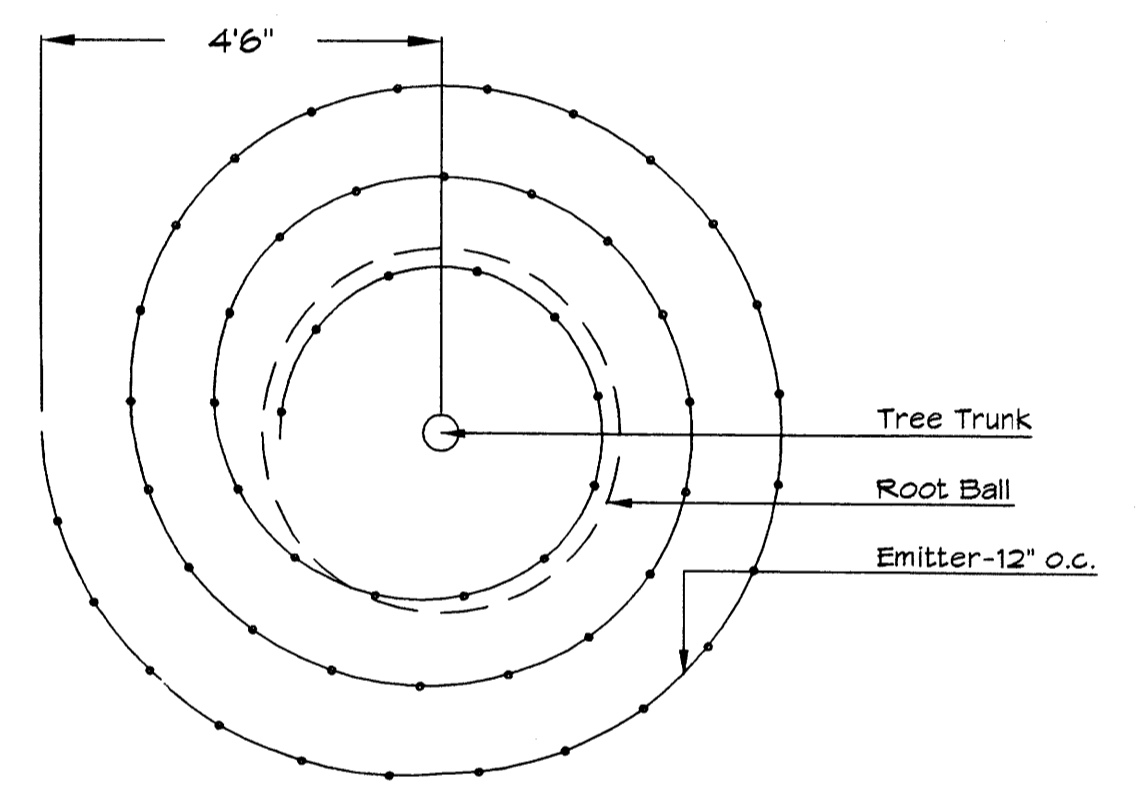
CONSTRUCTION NOTES:  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.



**SHRUB PLANTING DETAIL**

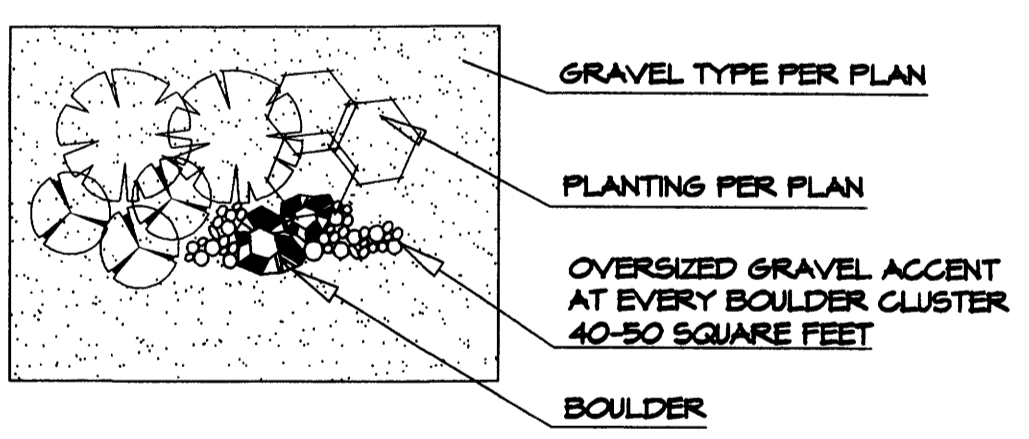
NTS  
GENERAL NOTES:  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:  
A. SHRUB  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
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**Netafim Spiral Detail**

**GRAVEL ACCENT DETAIL**



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TOTAL PHASE 2 BUILDING AREA	34638	square feet
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TOTAL GROUND COVER REQUIREMENT	25659	square feet
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TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
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**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

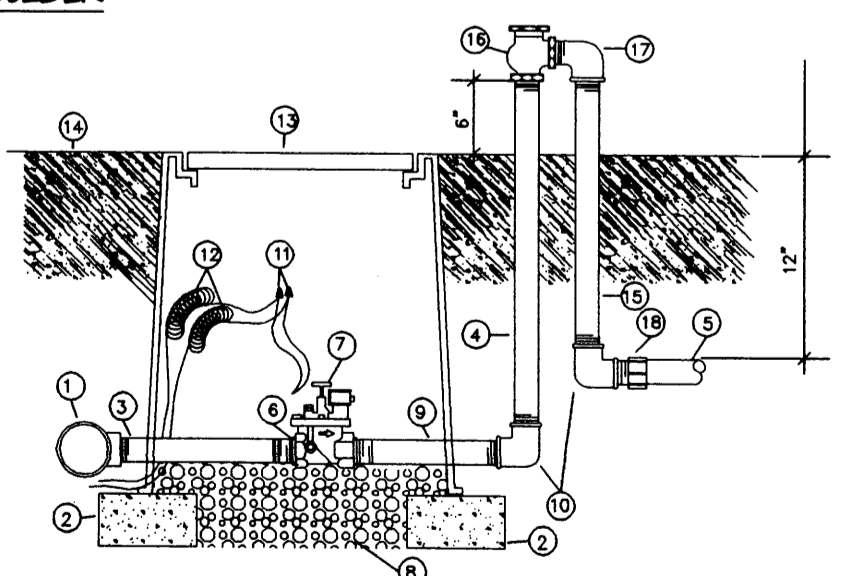
Name of Street : RUTLEDGE  
Required 8 Provided 8 (6 NEW/2 EXISTING)

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Required 16 Provided 16 EXISTING

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Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required \* Provided \*



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**ARCHITECT**

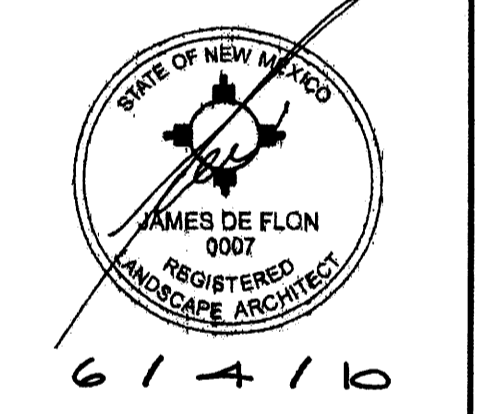
**CONSULTANT**



**PROJECT TITLE**

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PHASE II  
ALBUQUERQUE  
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**REVISIONS:**

NO.	DATE	DESCRIPTION
2	6-4-10	site revision -cmj
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DRAWN BY: CHECKED BY:

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A10.08

DATE:

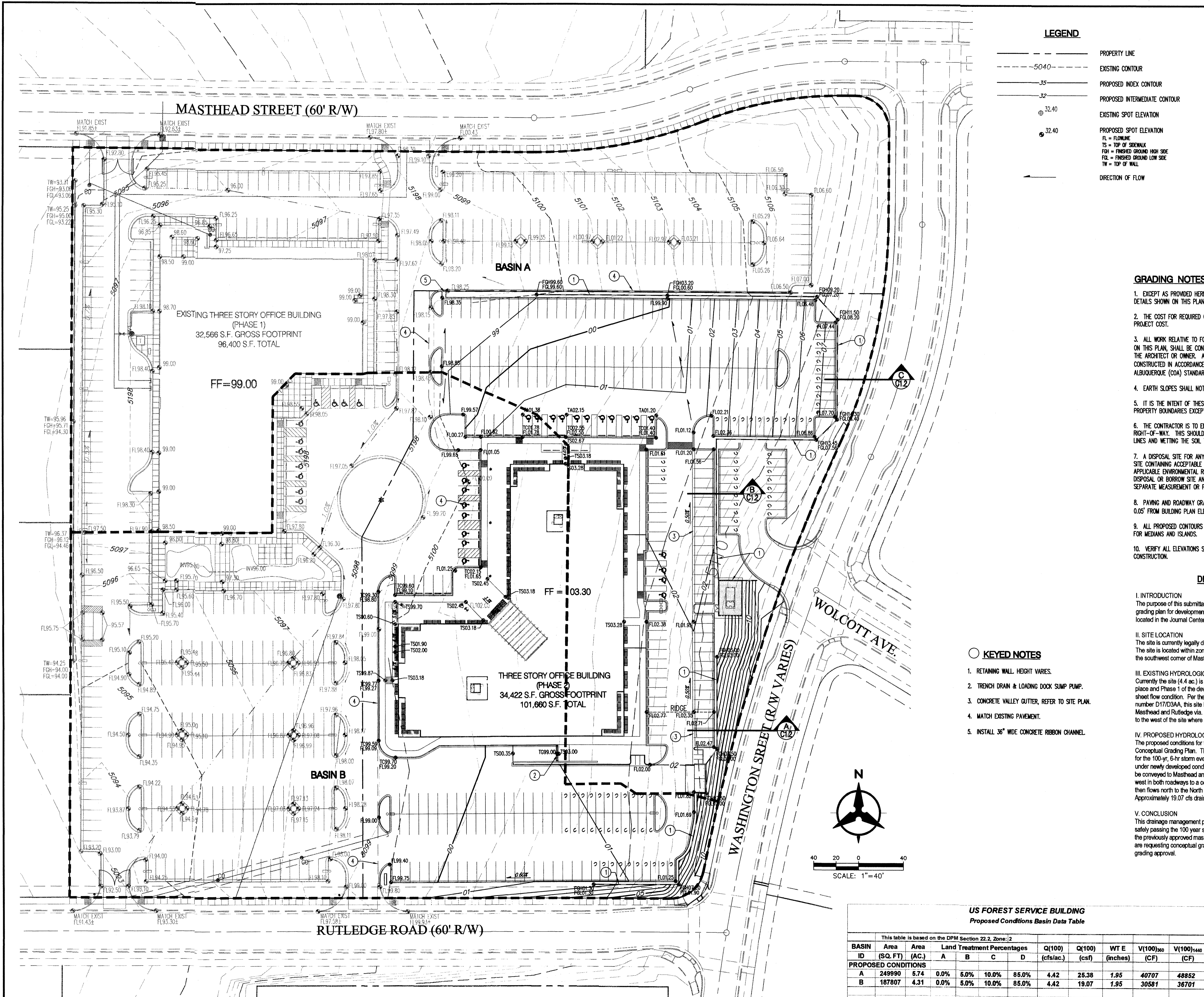
JUNE 2010

**SHEET TITLE:**

**LANDSCAPING PLAN**

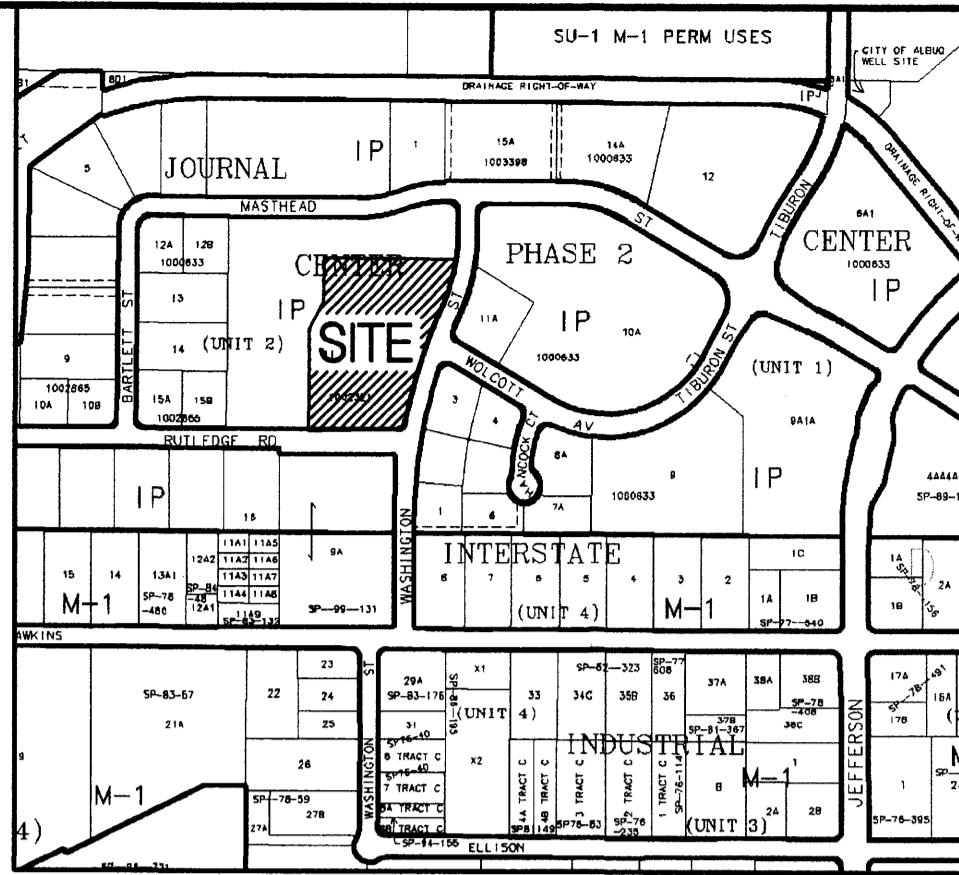
**SHEET NO.:**

L1.0



**LEGEND**

- PROPERTY LINE
- - - 50.40 EXISTING CONTOUR
- - - 35 PROPOSED INDEX CONTOUR
- - - 32 PROPOSED INTERMEDIATE CONTOUR
- ⊕ 32.40 EXISTING SPOT ELEVATION
- 32.40 PROPOSED SPOT ELEVATION
- FL = FLOWLINE
- TS = TOP OF SIDEWALK
- FGH = FINISHED GROUND HIGH SIDE
- FLG = FINISHED GROUND LOW SIDE
- TW = TOP OF WALL
- DIRECTION OF FLOW



**ZONE ATLAS PAGE D-17-Z**  
SCALE: 1"=600'

**LEGAL DESCRIPTION**  
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, NOVEMBER, 2005

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
The purpose of this submittal is to provide a conceptual Drainage Management Plan and rough grading plan for development of the Masthead Office Complex at Journal Center 2 - Phase 2, located in the Journal Center, Phase 2, Unit 2, Lot 11-B in NE Albuquerque.

**II. SITE LOCATION**  
The site is currently legally described as, Journal Center, Phase 2, Unit 2, Lot 11-B (+/- 4.4 acres). The site is located within zone atlas map WD-17, and is in hydrologic zone 2. The site is located at the southwest corner of Masthead and Washington, just west of Jefferson.

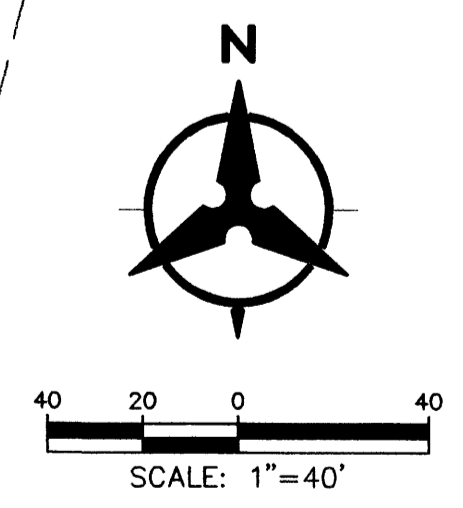
**III. EXISTING HYDROLOGIC CONDITIONS**  
Currently the site (4.4 ac.) is undeveloped land. The surrounding streets and infrastructure are in place and Phase 1 of the development has been completed. The site drains from east to west in a sheet flow condition. Per the approved Drainage Plan of Journal Center - Phase 2 located in file number D17/D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via surface flow out of the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
The proposed conditions for the Masthead Office Complex at Journal Center 2 are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event. The total site (+/- 10.0 acres) will generate a total of 44.45 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and curb and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pino Arroyo, and then to the AMAFCA North Diversion Channel. Approximately 19.07 cfs drains to Rutledge; the other 25.38 cfs drains to Masthead.

**V. CONCLUSION**  
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting conceptual grading and drainage plan approval for building permit and rough grading approval.

**KEYED NOTES**

1. RETAINING WALL HEIGHT VARIES.
2. TRENCH DRAIN & LOADING DOCK SUMP PUMP.
3. CONCRETE VALLEY GUTTER, REFER TO SITE PLAN.
4. MATCH EXISTING PAVEMENT.
5. INSTALL 36" WIDE CONCRETE RIBBON CHANNEL.



**US FOREST SERVICE BUILDING**  
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone 2

BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages					Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (inches)	V(100)360 (CF)	V(100)4400 (CF)
			A	B	C	D	E					
<b>PROPOSED CONDITIONS</b>												
A	249990	5.74	0.0%	5.0%	10.0%	85.0%	4.42	25.38	1.95	40707	48852	
B	187807	4.31	0.0%	5.0%	10.0%	85.0%	4.42	19.07	1.95	30581	36701	
<b>TOTAL</b>	<b>437797</b>	<b>10.05</b>					<b>4.42</b>	<b>44.45</b>	<b>3.91</b>	<b>71287.94</b>	<b>71288</b>	

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**NCA**  
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SERVICE CENTER  
HUMAN  
RESOURCES**

**ALBUQUERQUE  
NEW MEXICO**

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REVISIONS:

MK	DATE	DESCRIPTION

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DRAWN BY: CHECKED BY:

BO GSB

PROJECT NUMBER:

A10.08

DATE:

JUNE 4, 2010

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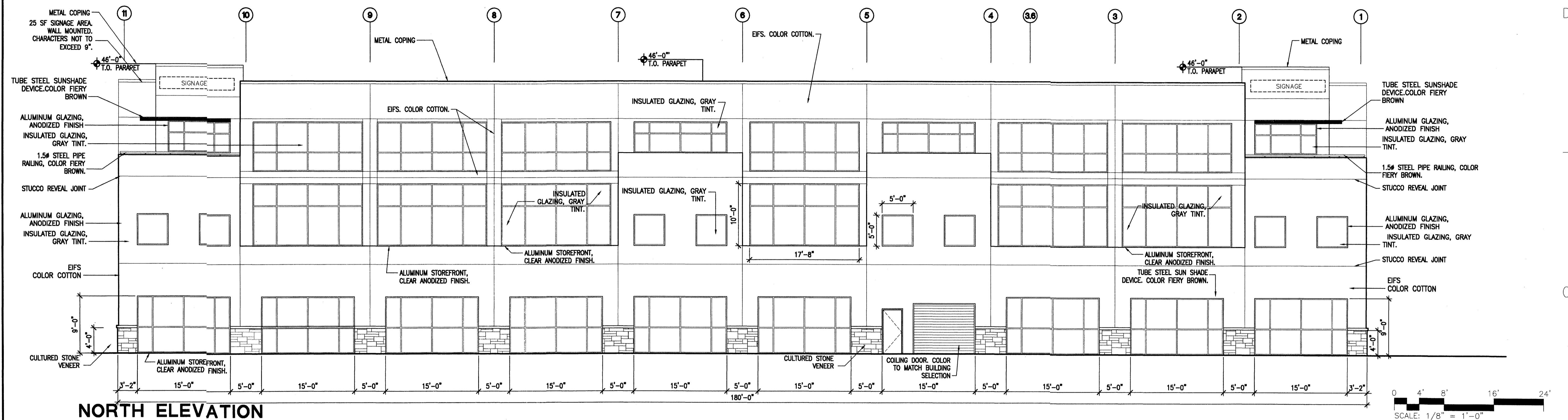
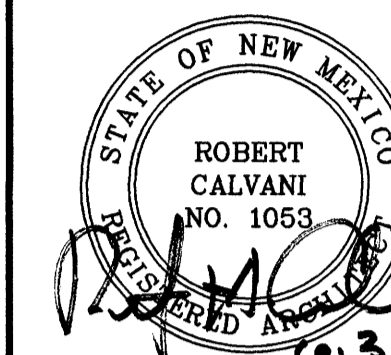
**CONCEPTUAL  
GRADING PLAN**

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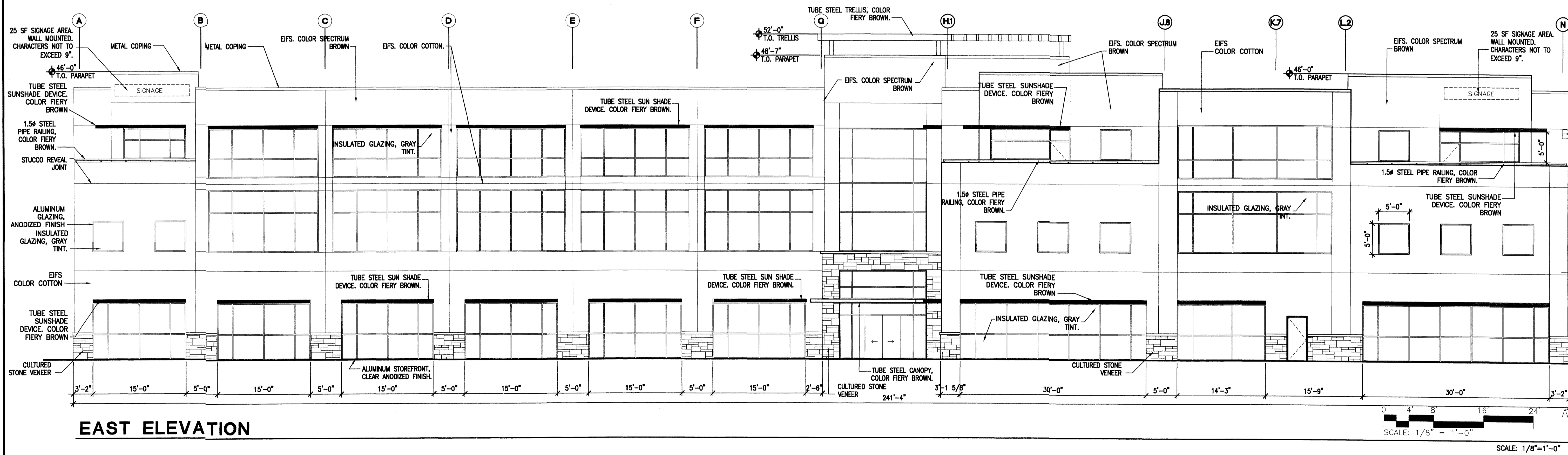
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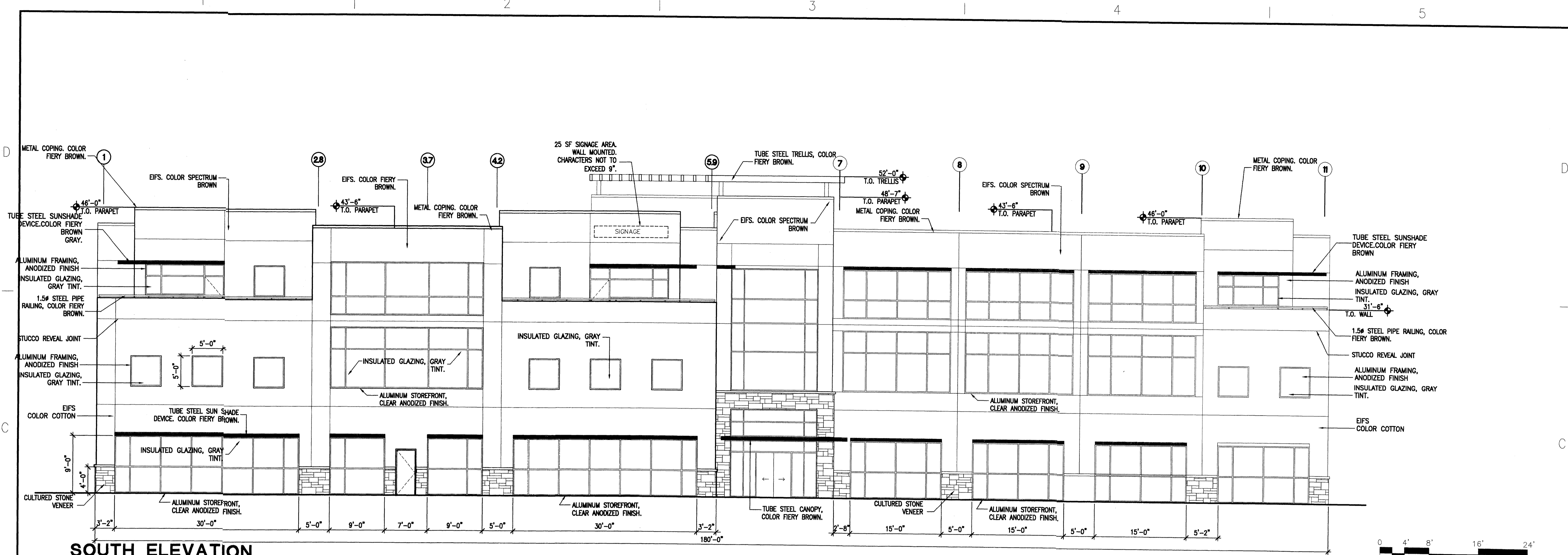
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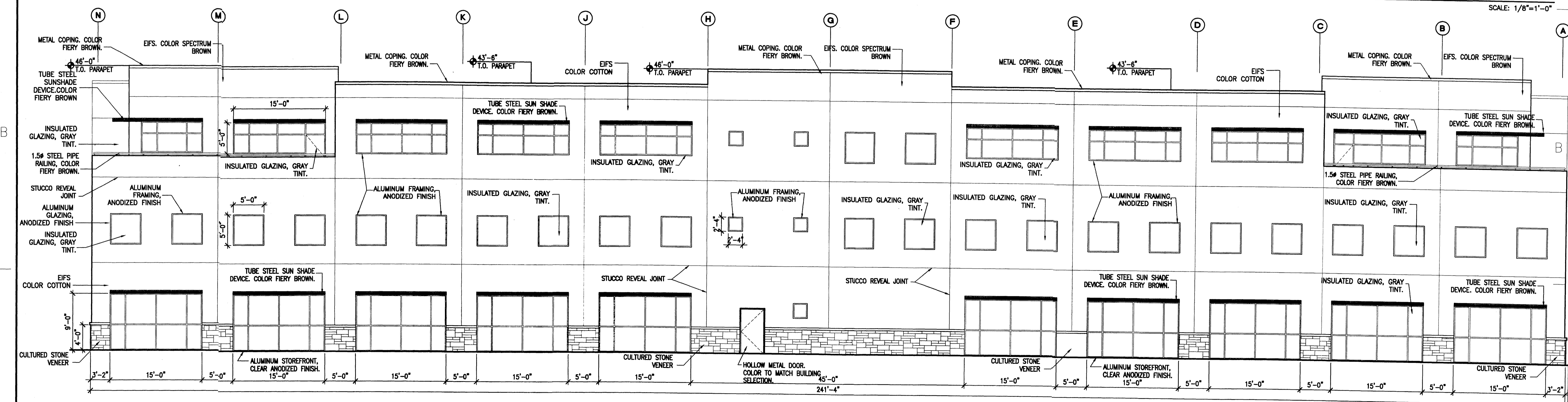
**NORTH ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



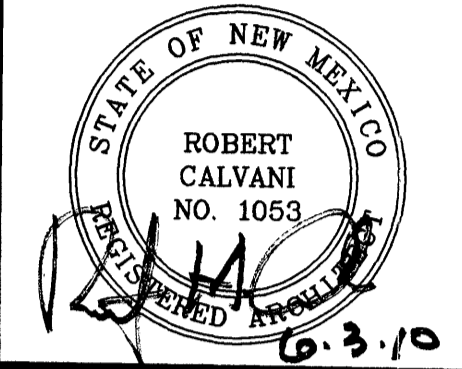
**WEST ELEVATION**

**NCA**

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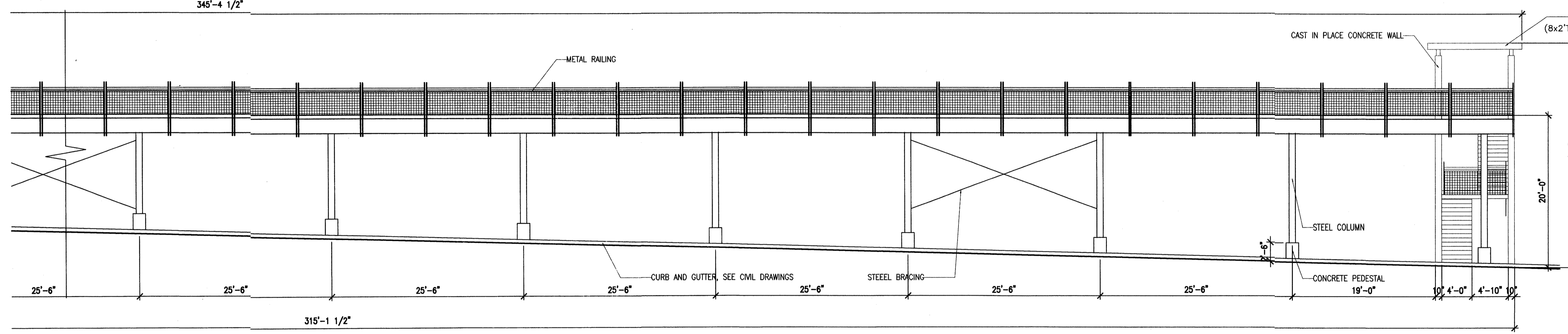
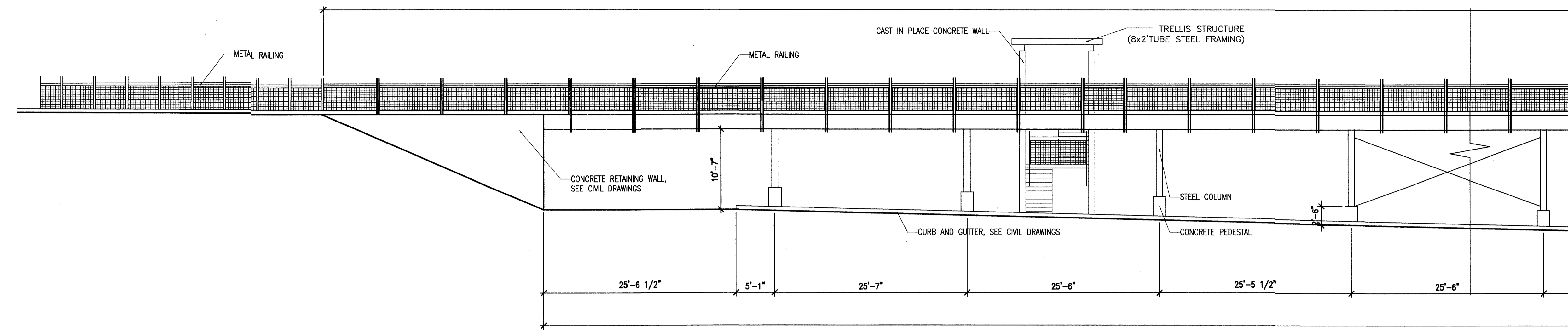
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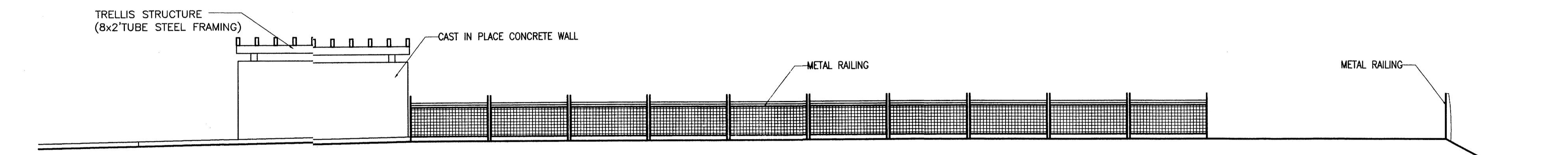
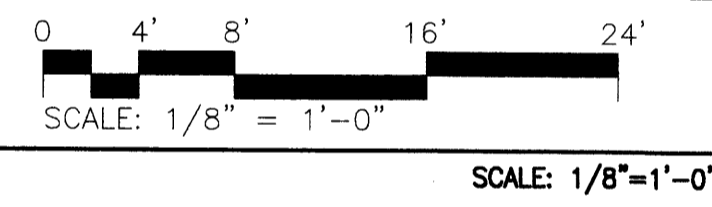
**BUILDING  
ELEVATIONS**

SHEET NO.:

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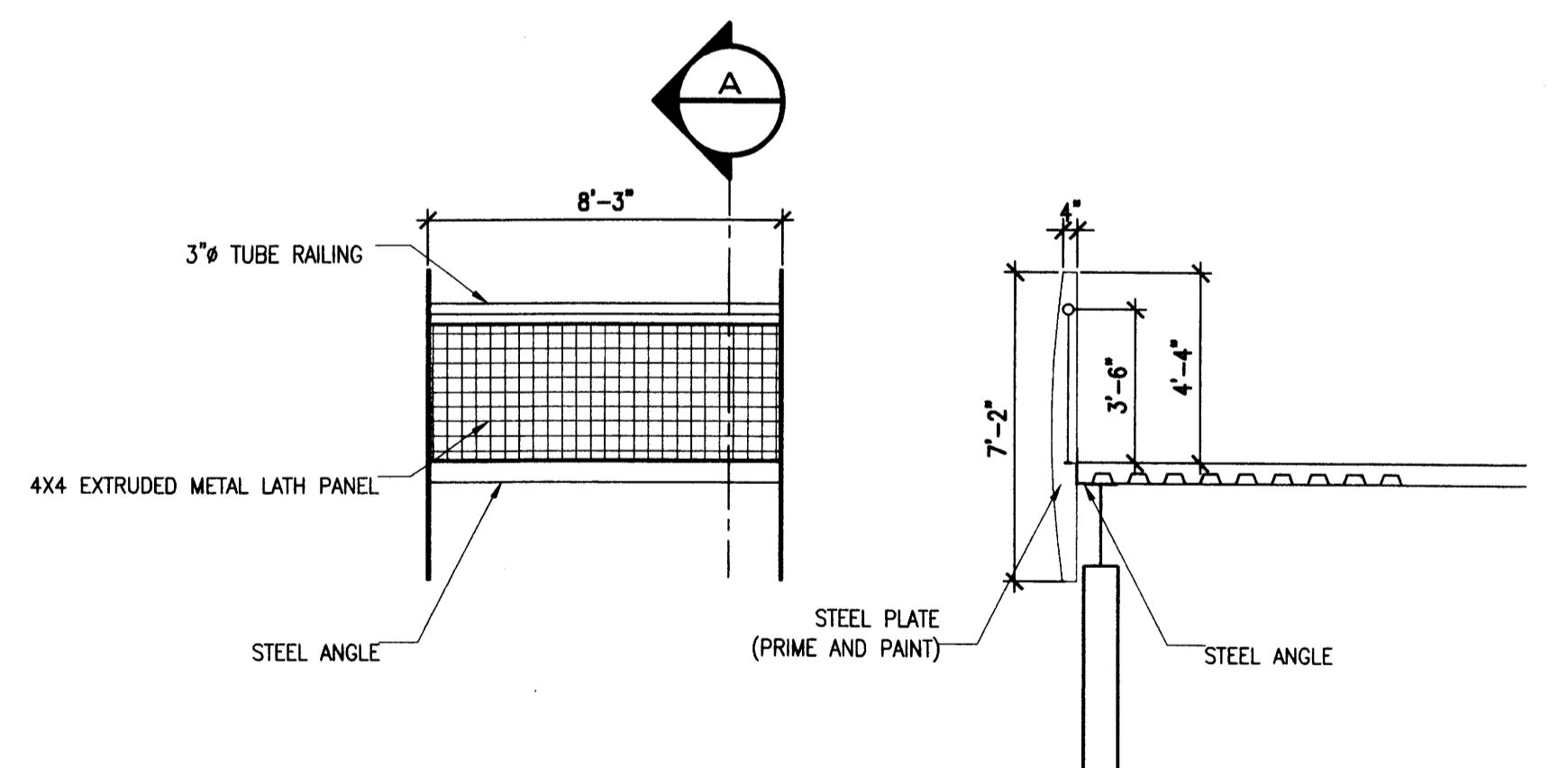
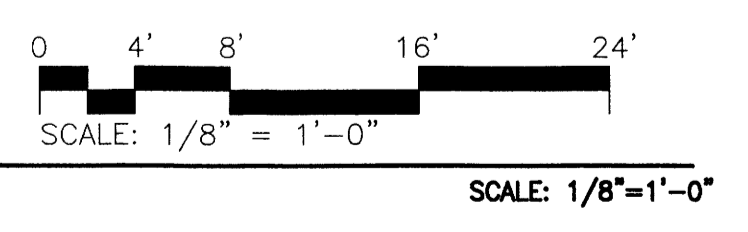


**NORTH ELEVATION**



NOTE: RAILING AND STRUCTURE TO BE PAINTED FIERY RED

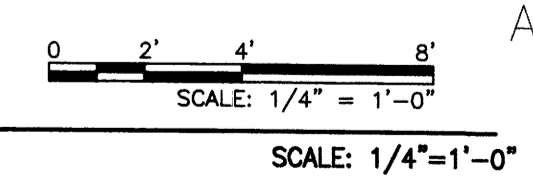
**EAST ELEVATION**



**ELEVATION SECTION A**

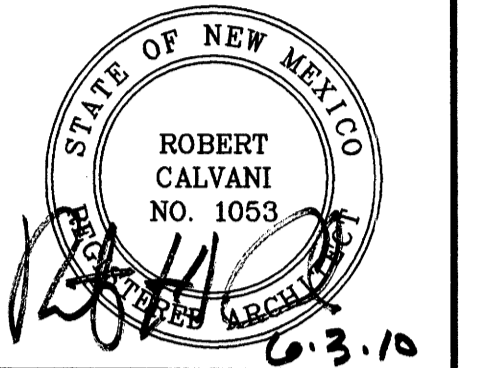
NOTE: RAILING AND STRUCTURE TO BE PAINTED FIERY RED

**EAST ELEVATION**



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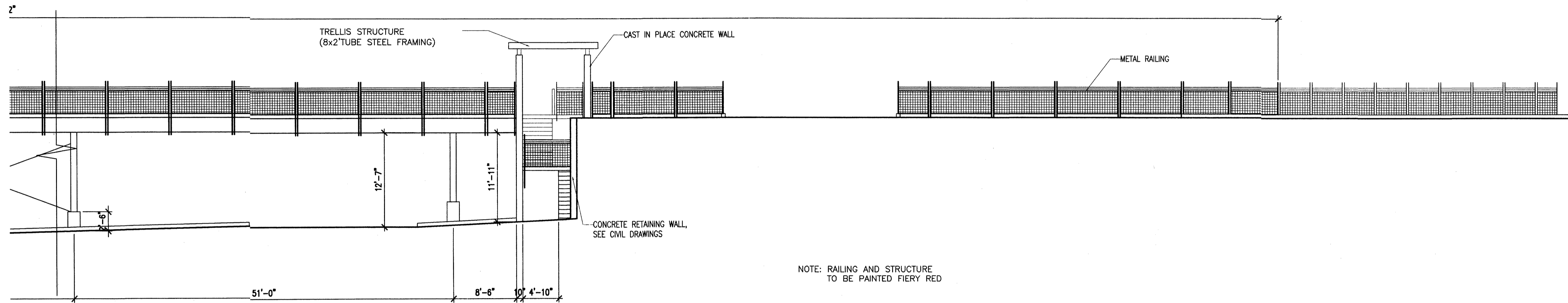
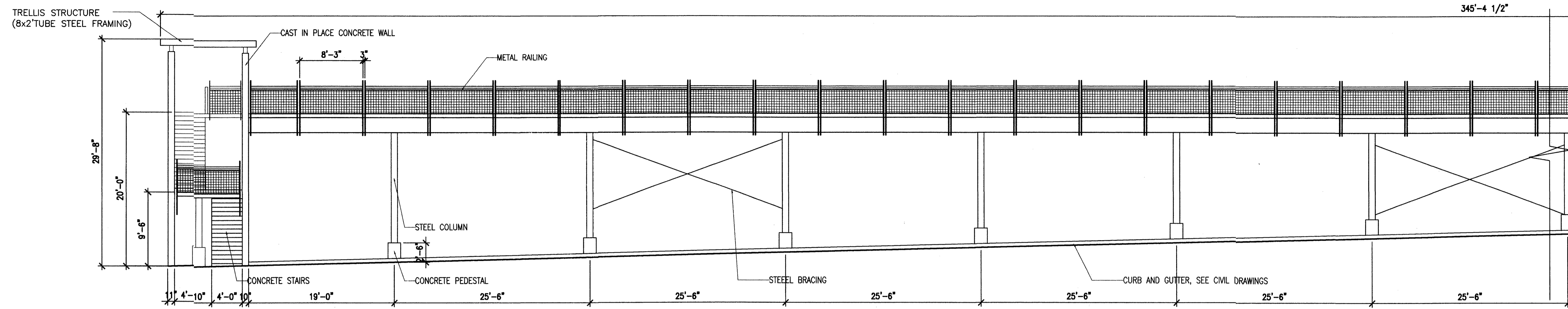
DATE:  
JUNE 2010

SHEET TITLE:

**PARKING STRUCTURE  
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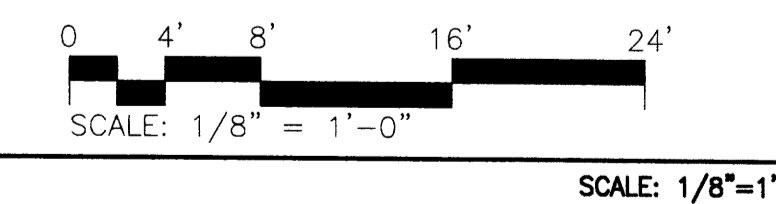
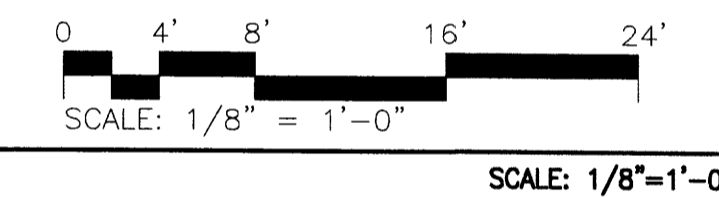
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**A2.3**



**SOUTH ELEVATION**

**WEST ELEVATION**

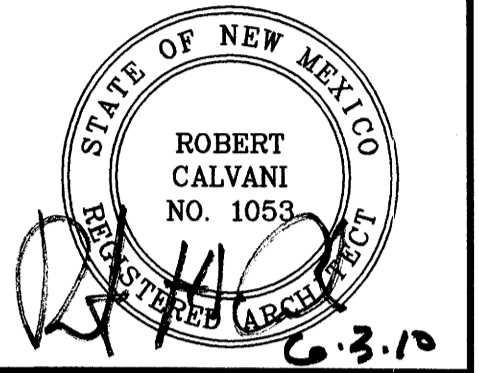


NOTE: RAILING AND STRUCTURE TO BE PAINTED FIERY RED



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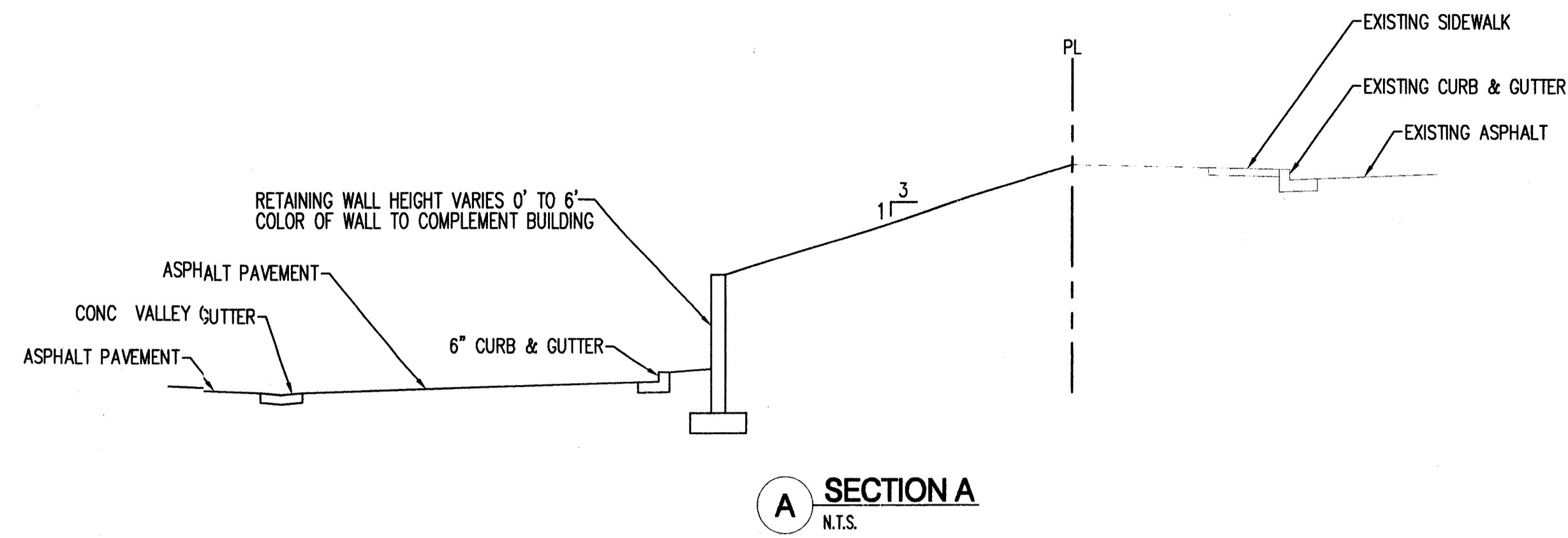
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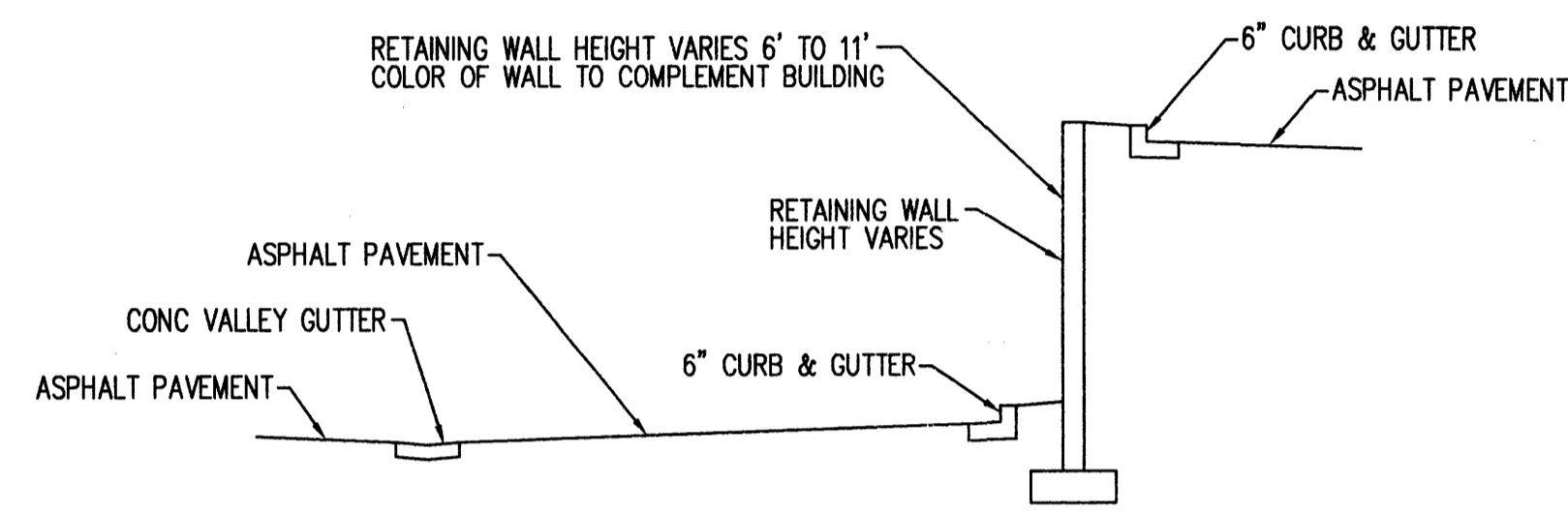
**PARKING STRUCTURE  
ELEVATIONS**

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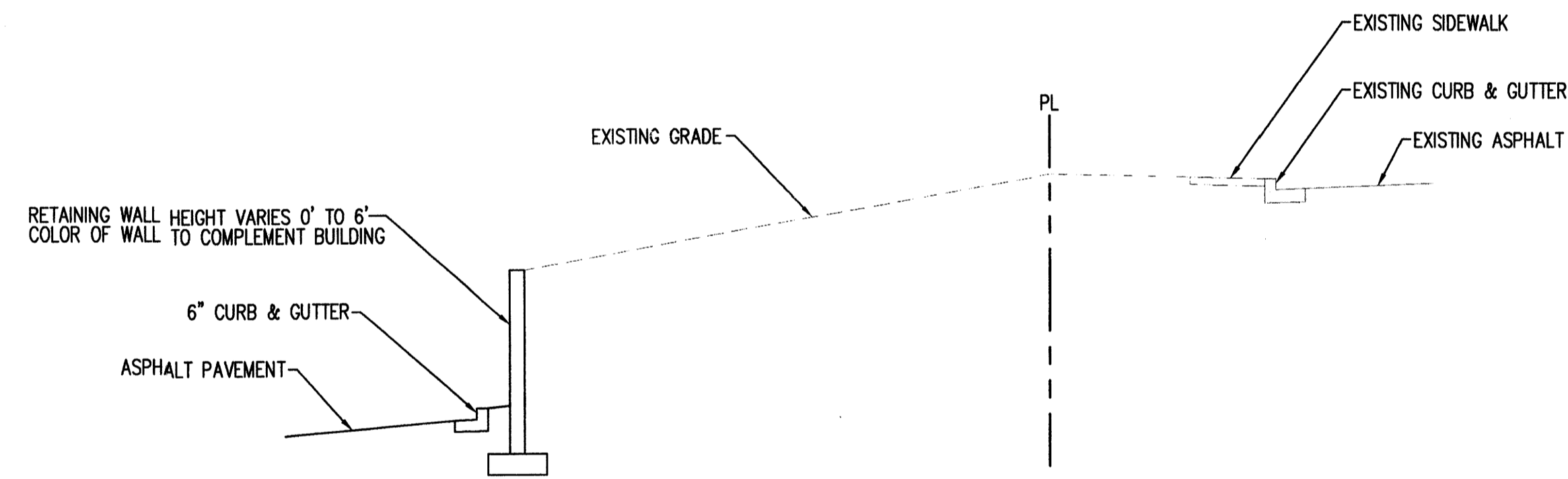
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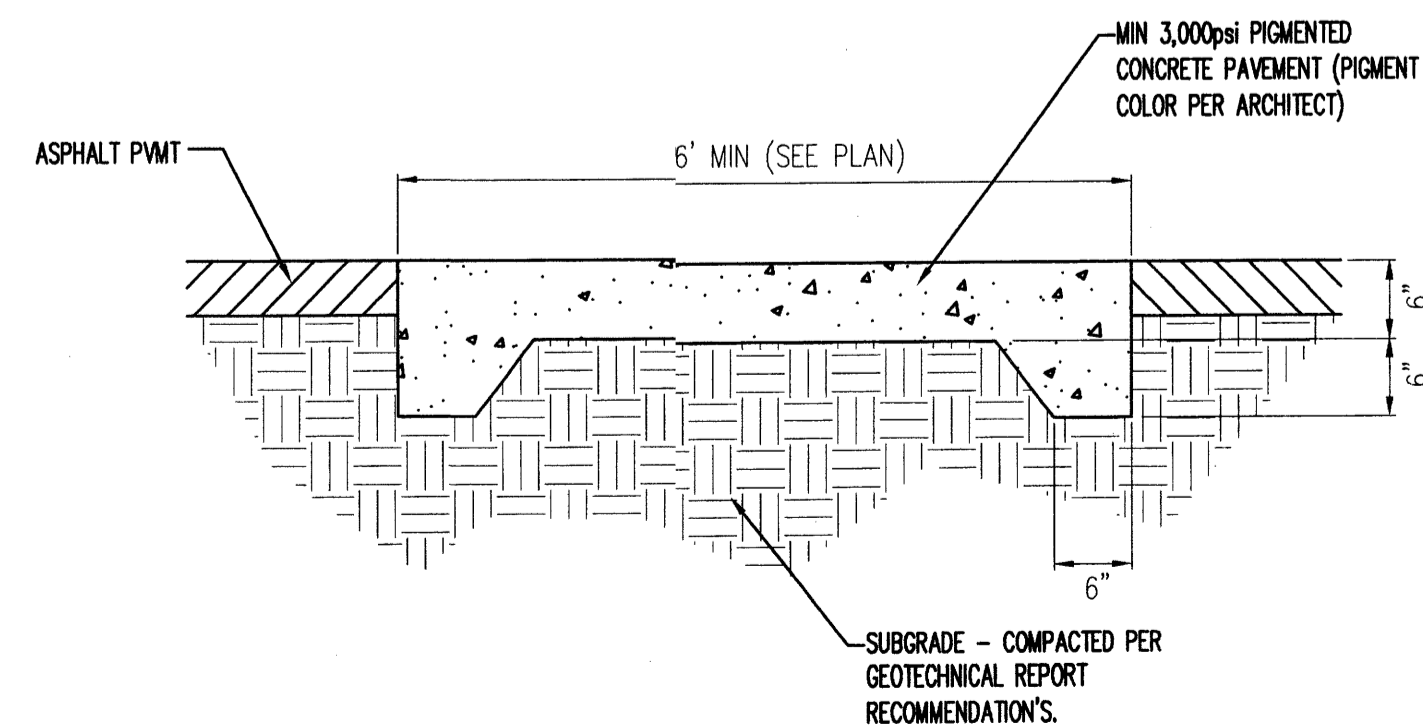
**A SECTION A**  
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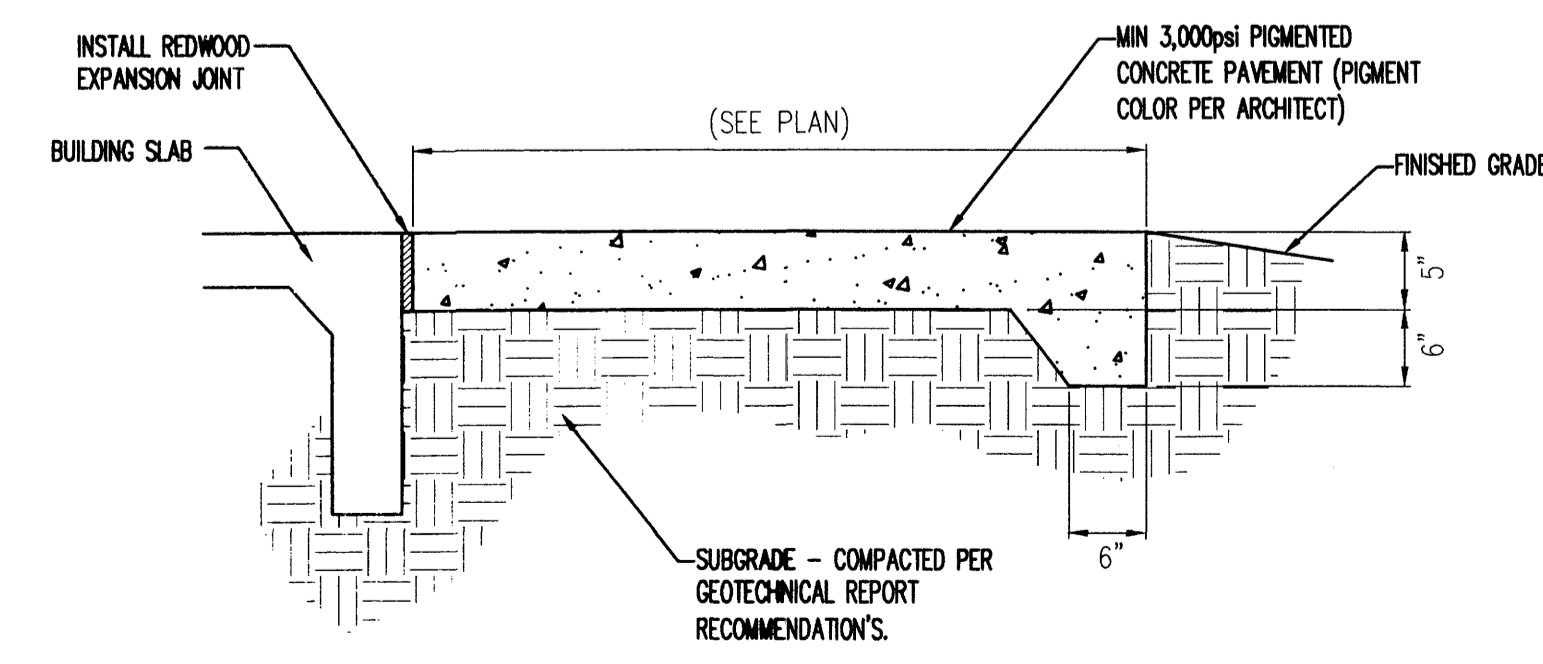
**B SECTION B**  
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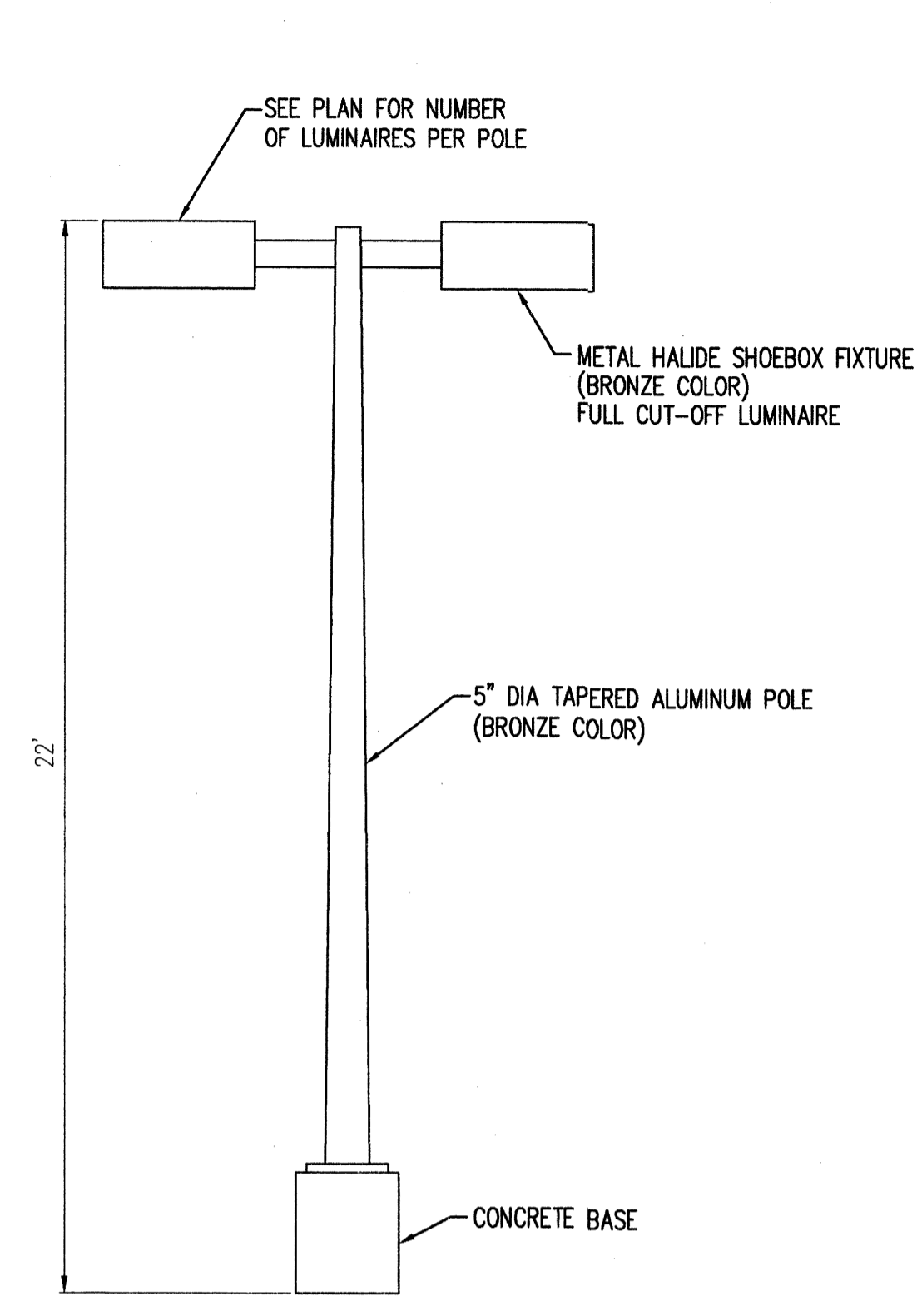
**C SECTION C**  
N.T.S.



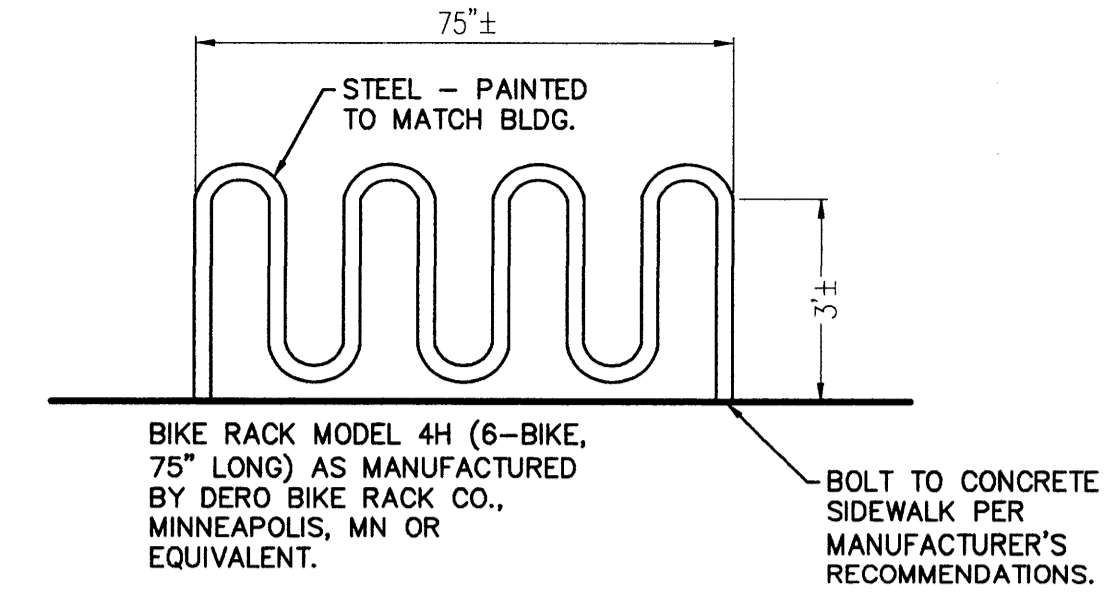
**SIDEWALK CROSSING DETAIL**  
NOT TO SCALE



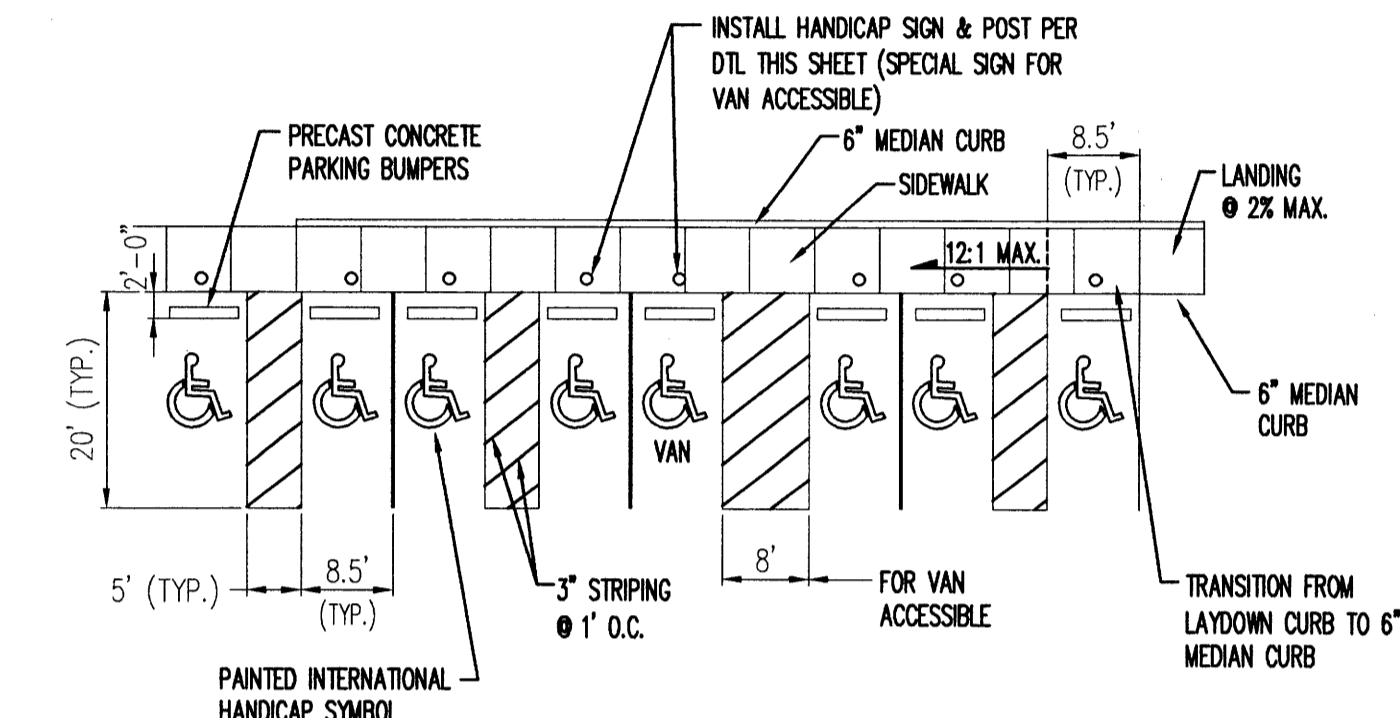
**CONCRETE PATIO DETAIL**  
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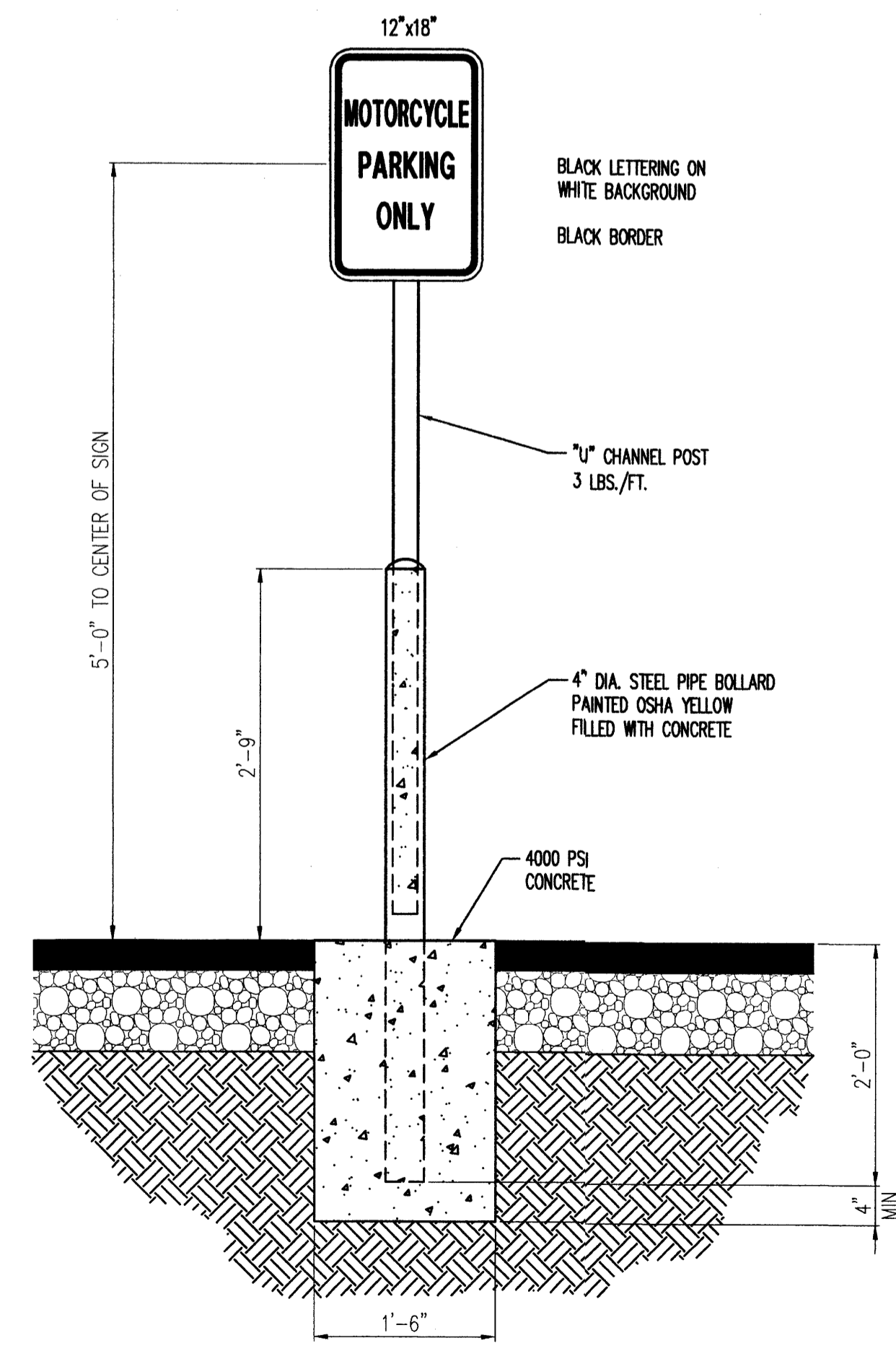
**TYPICAL POLE MOUNTED LIGHT**  
NTS



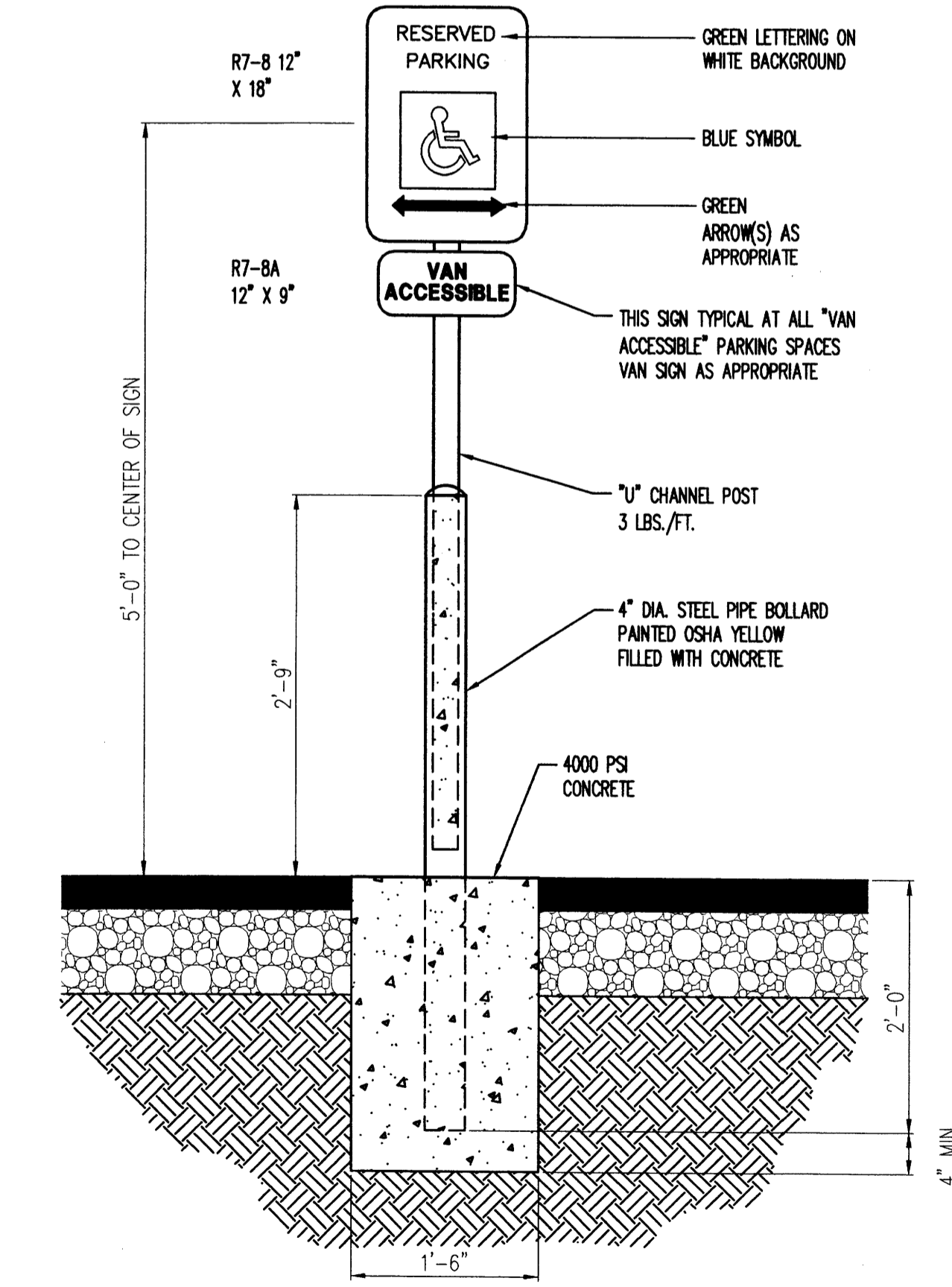
**BIKE RACK**  
N.T.S.



**HANDICAP PARKING DETAIL**  
NOT TO SCALE



**MOTORCYCLE PARKING SIGN**  
NTS



**HANDICAP PARKING SIGN MOUNTING DETAIL**  
N.T.S.  
ONE SIGN SHALL BE INSTALLED AT EACH HANDICAP SPACE.



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DATE:  
JUNE 4, 2010

SHEET TITLE:

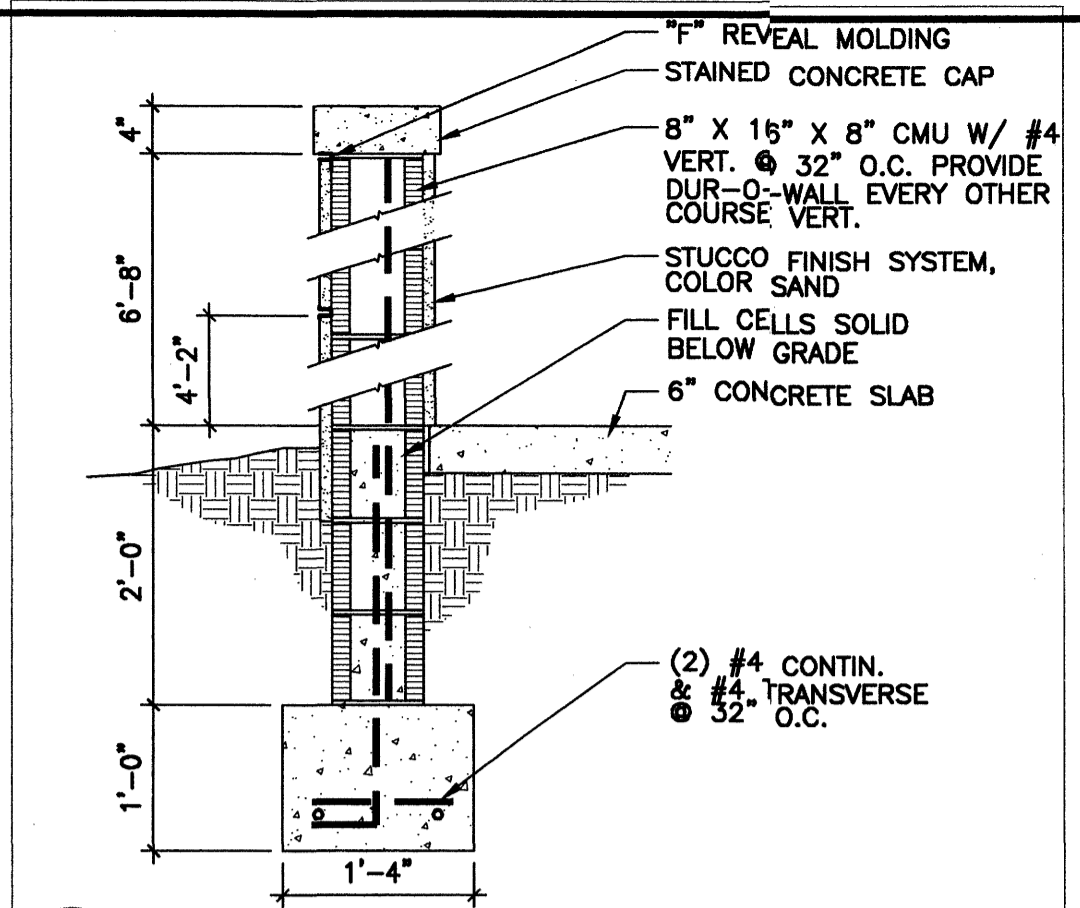
SITE DETAILS

SHEET NO:

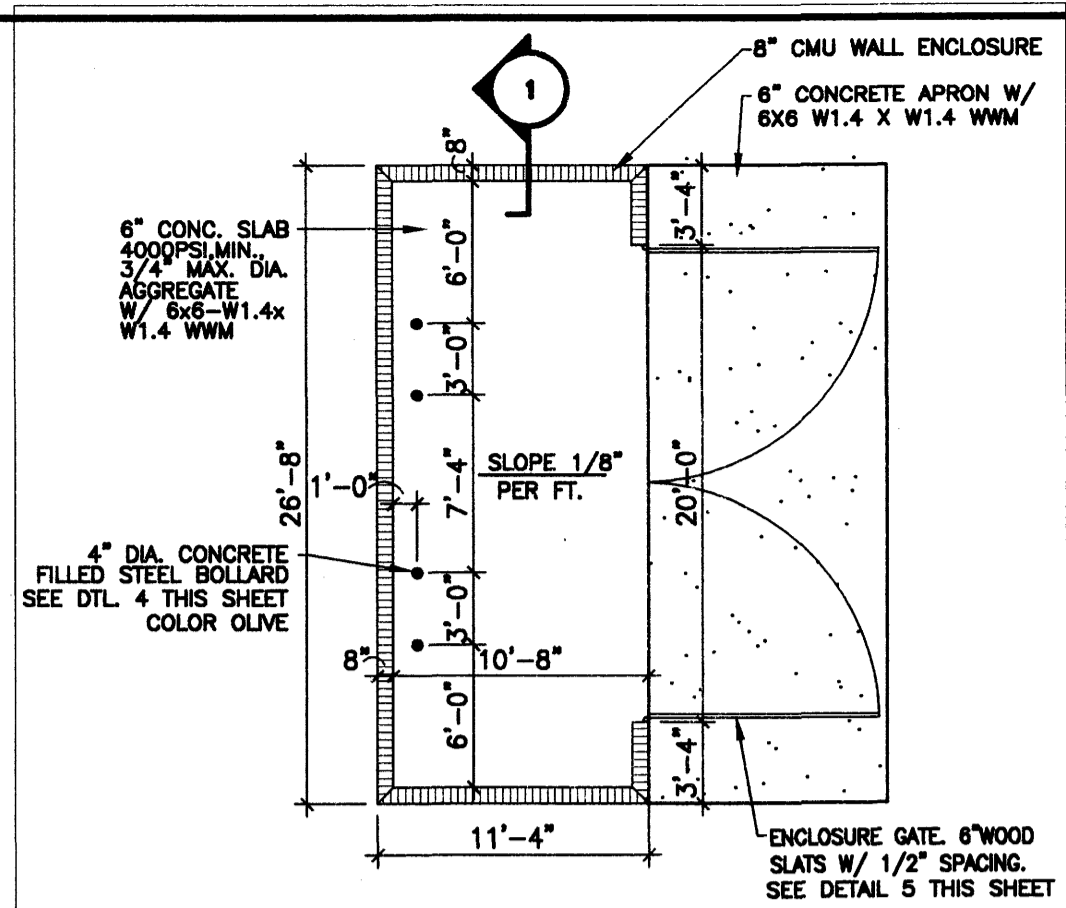
**C1.2**

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

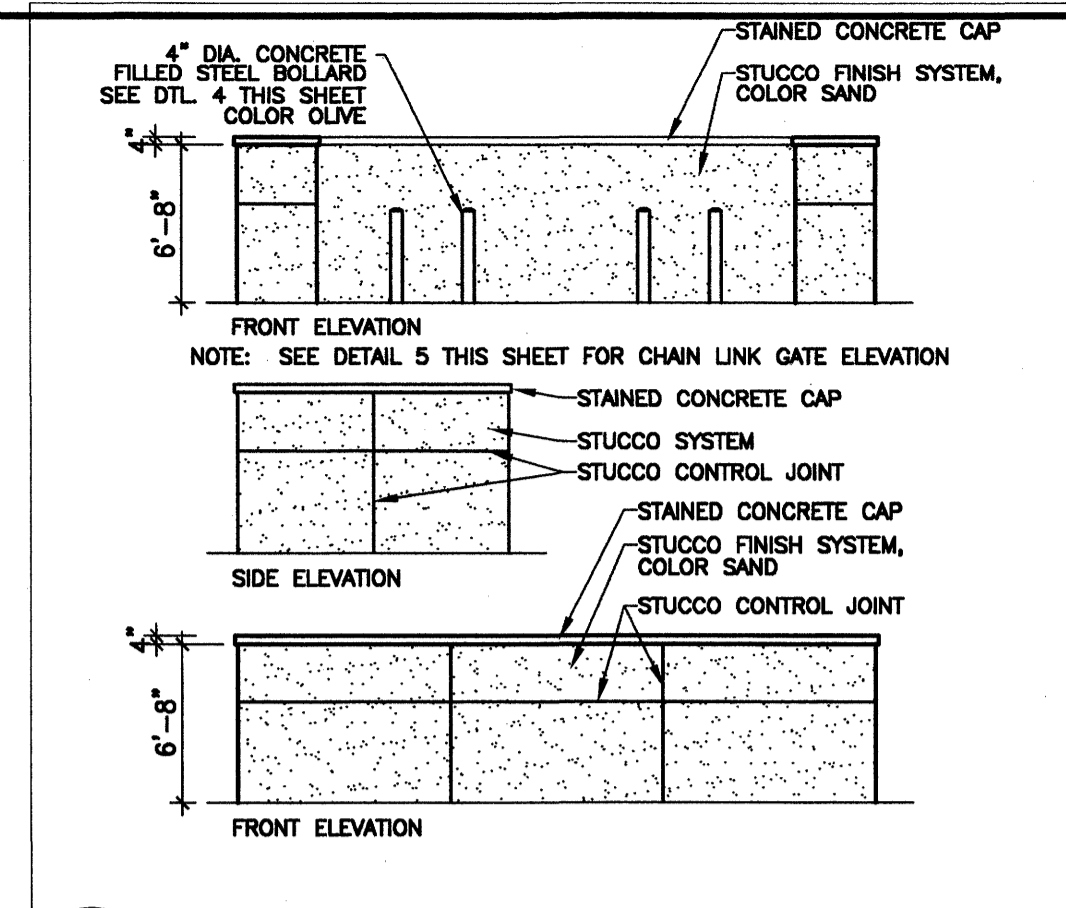
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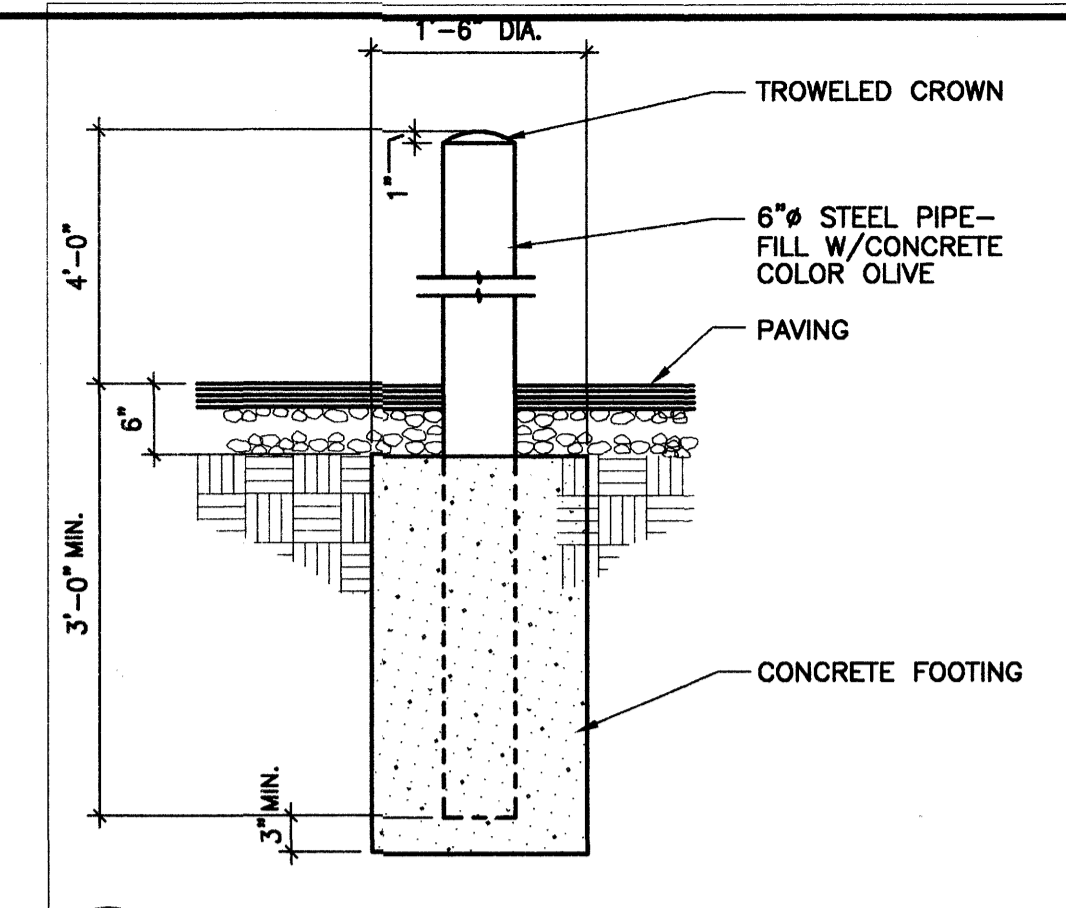
**1 REFUSE ENCLOSURE WALL**  
3/4" = 1'-0"



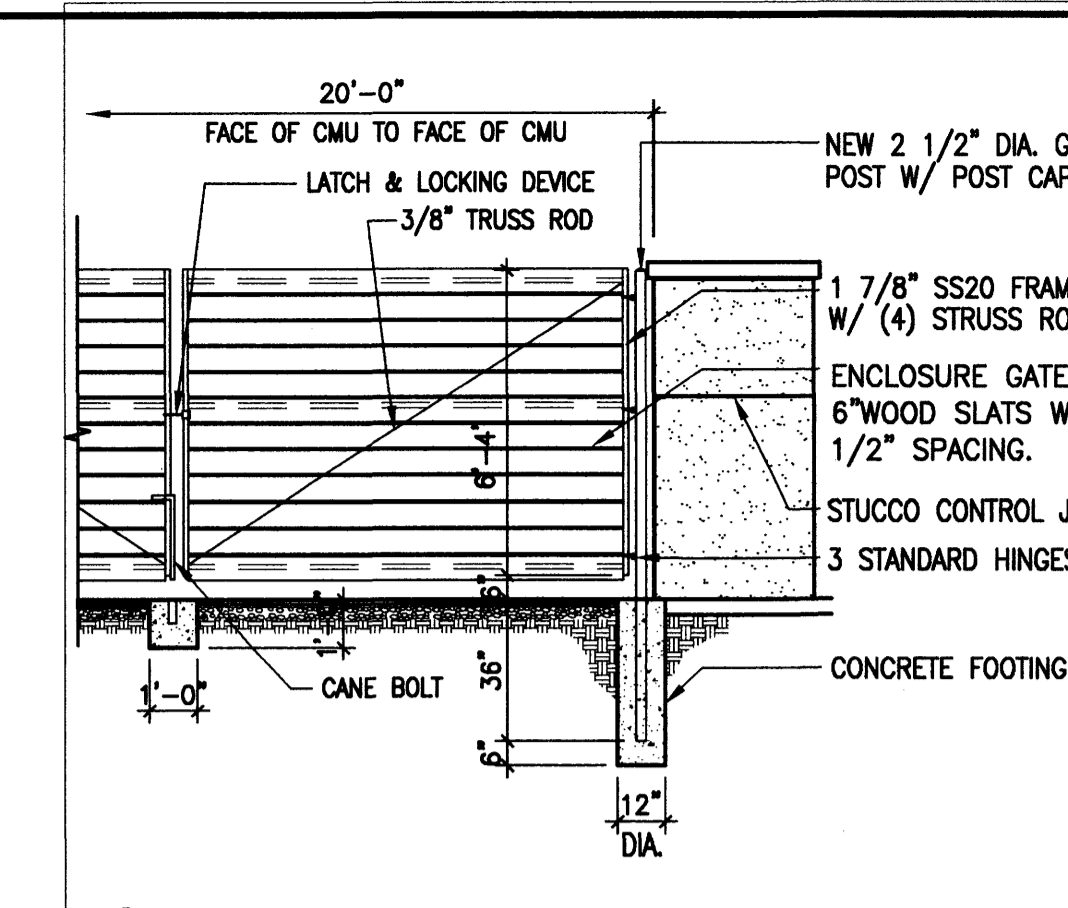
**2 REFUSE ENCLOSURE PLAN**  
1/8" = 1'-0"



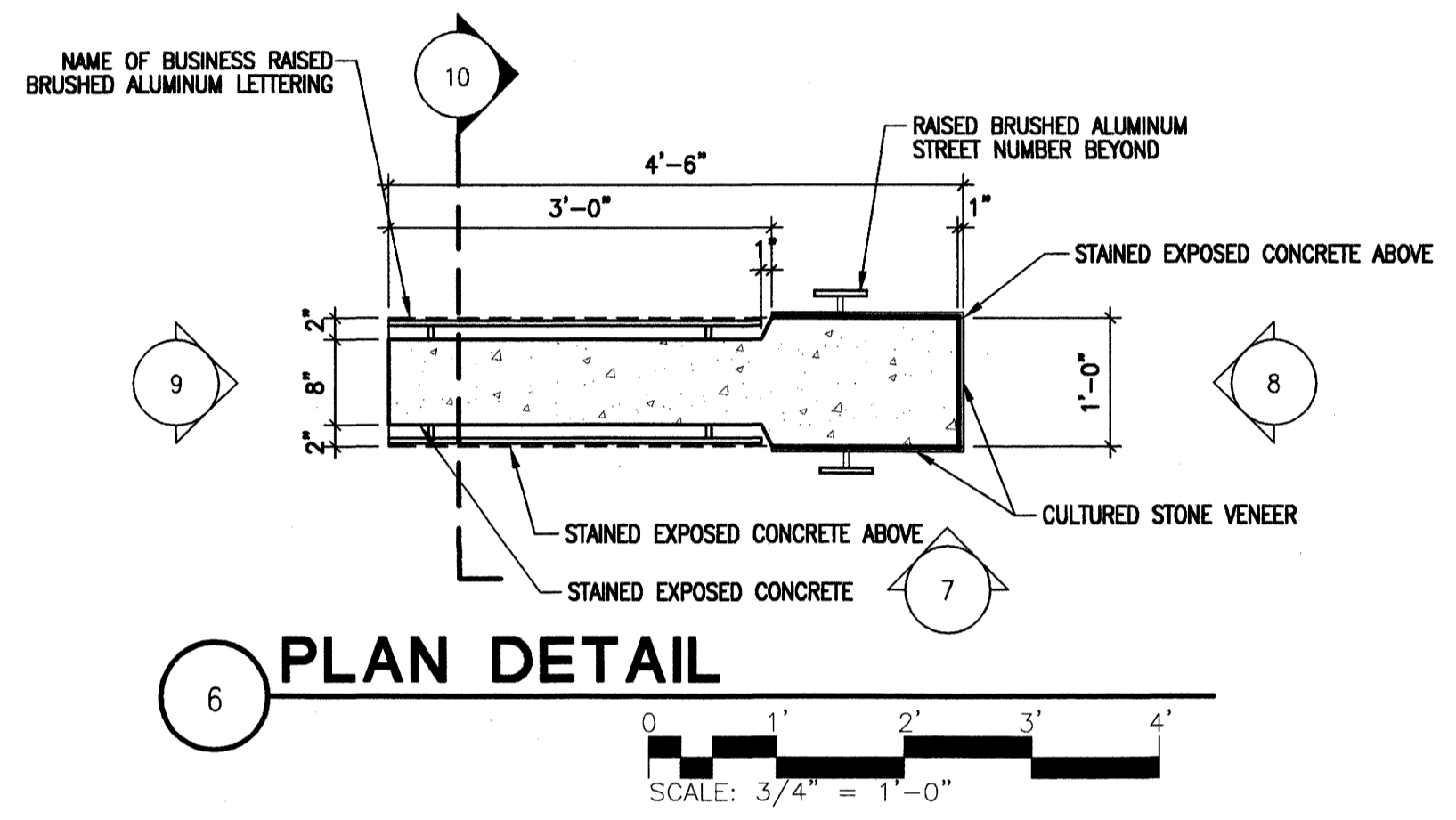
**3 REFUSE ENCLOSURE ELEVATIONS**  
1/8" = 1'-0"



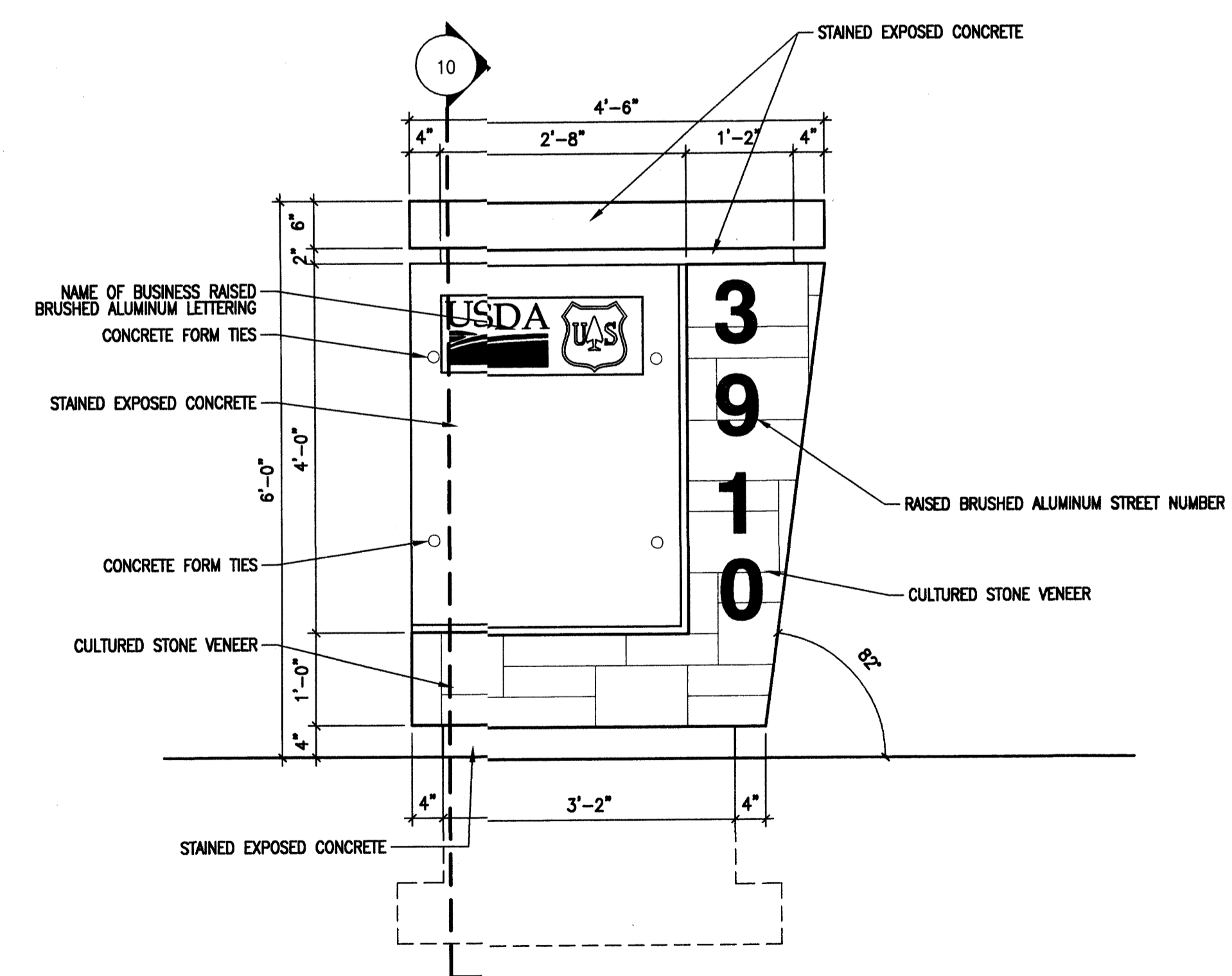
**4 GUARD POST**  
3/4" = 1'-0"



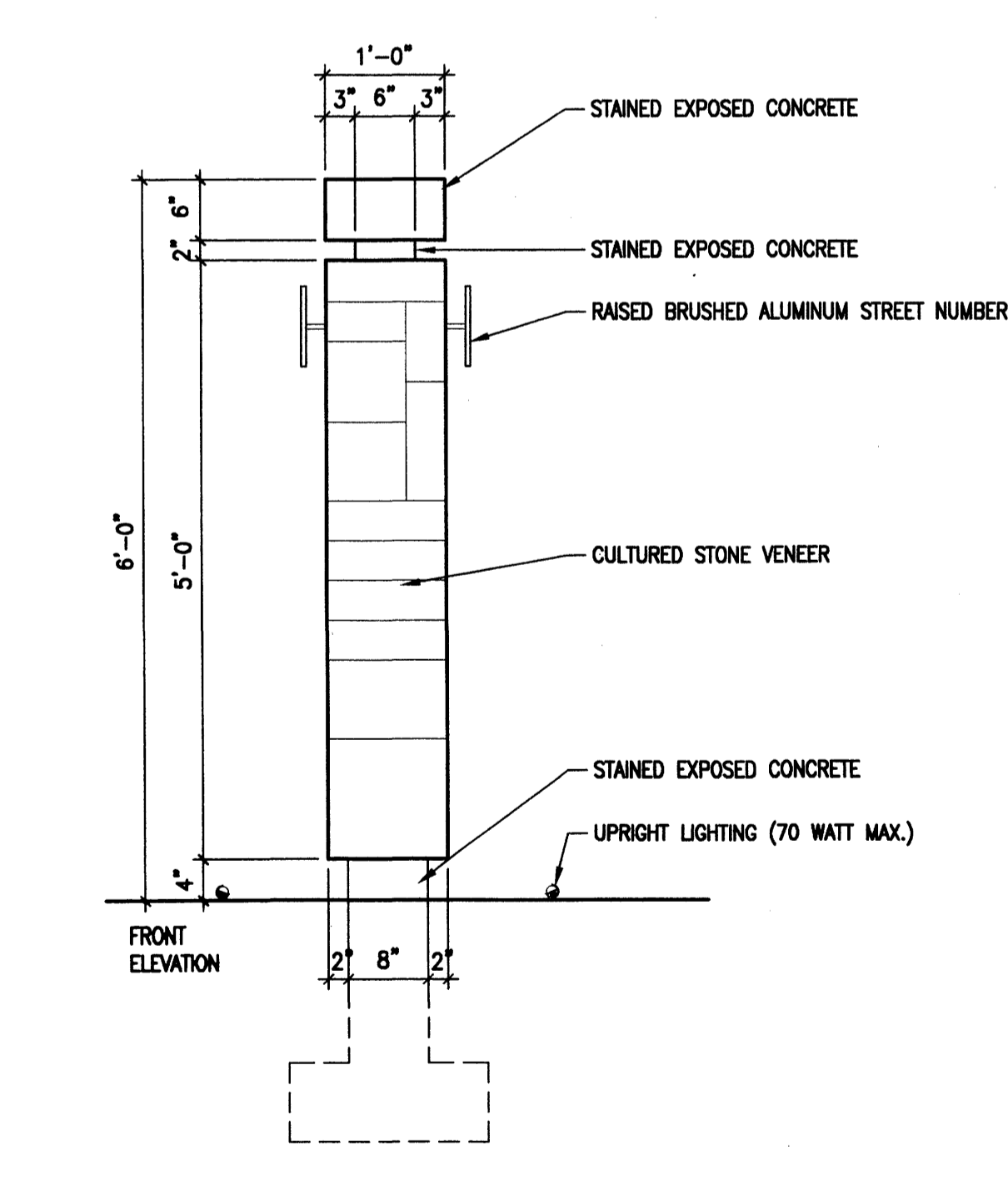
**5 CHAIN LINK GATE**  
1/4" = 1'-0"



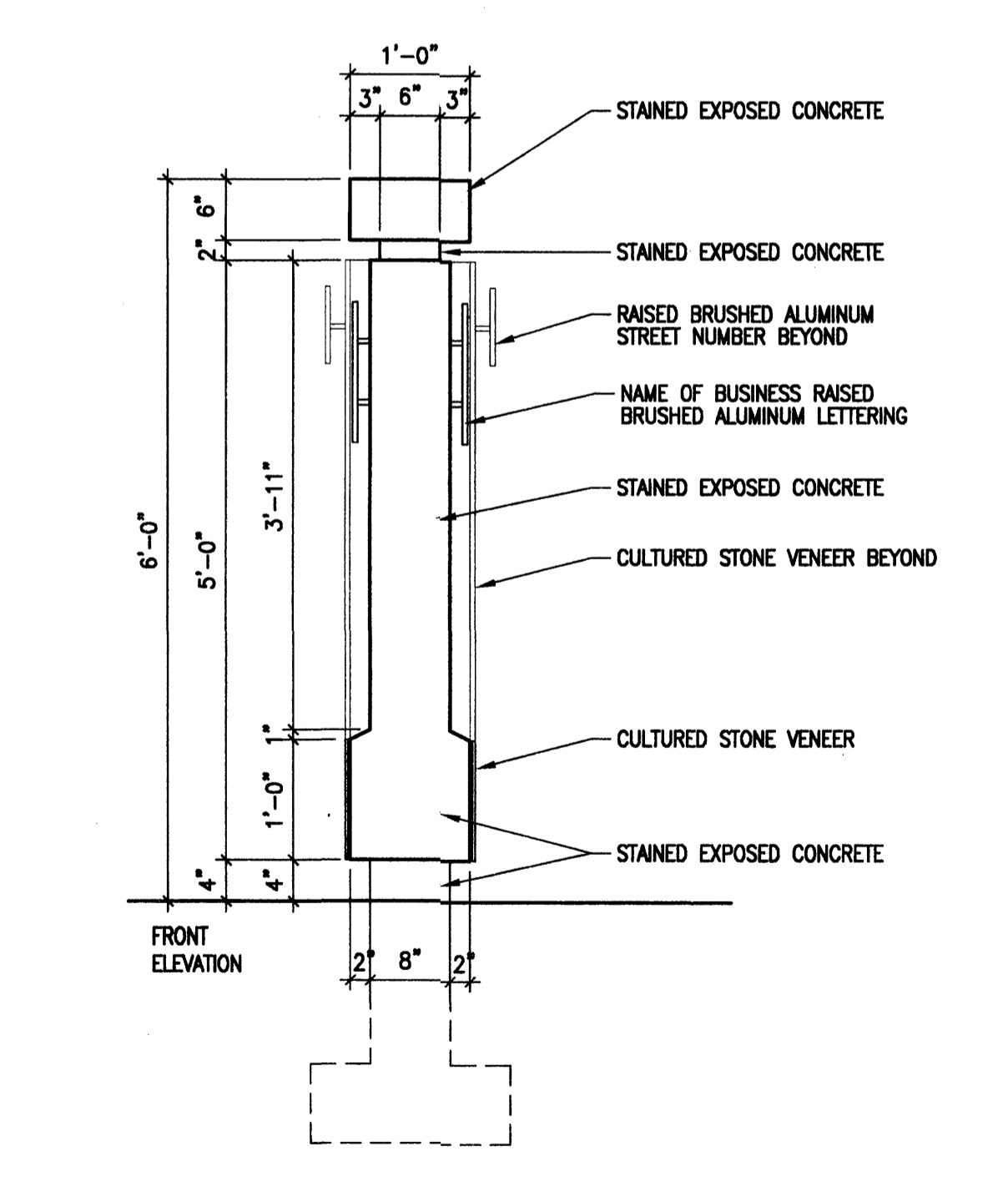
**6 PLAN DETAIL**  
SCALE: 3/4" = 1'-0"



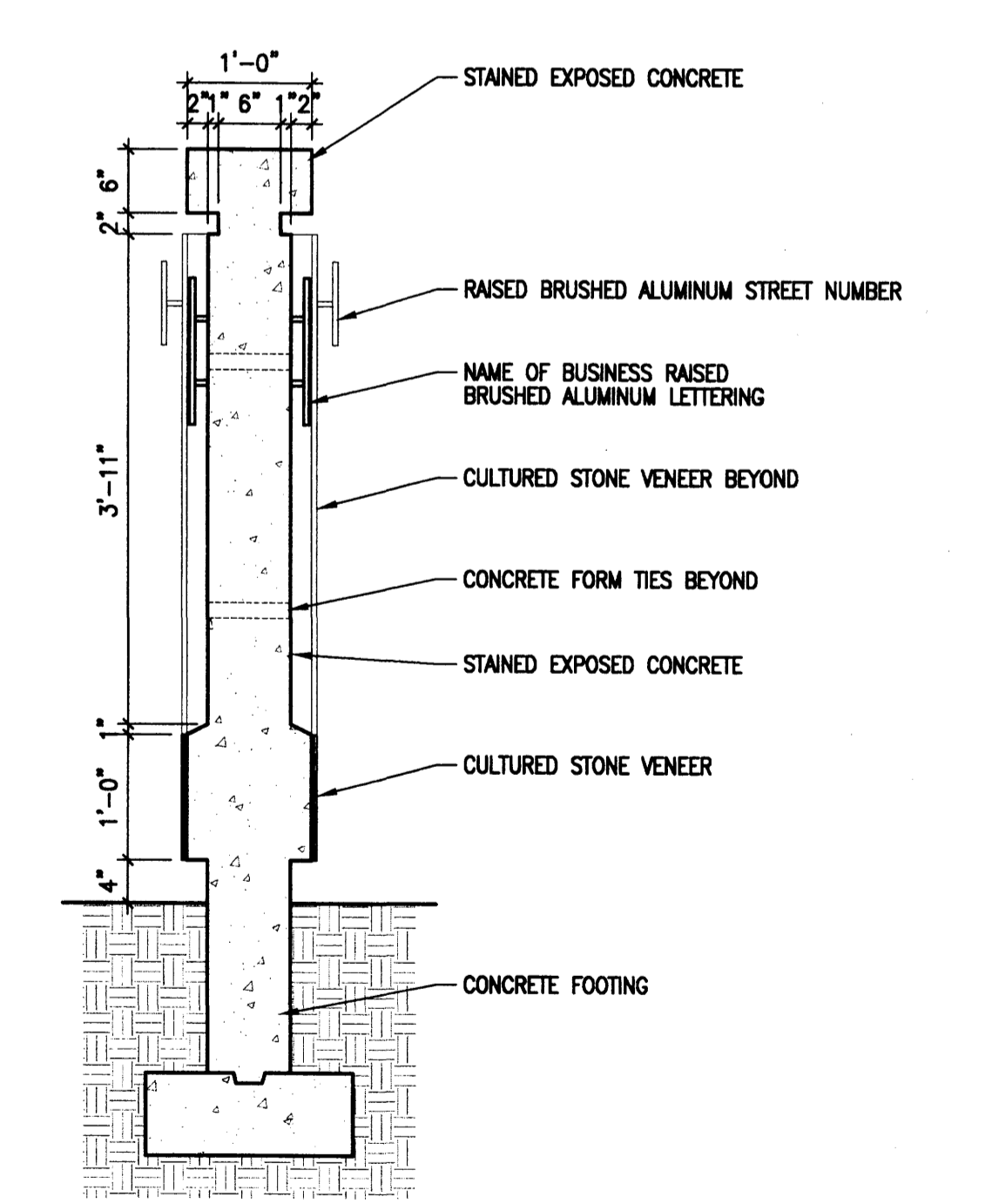
**7 FRONT ELEVATION**  
SCALE: 3/4" = 1'-0"



**8 SIDE ELEVATION**  
SCALE: 3/4" = 1'-0"



**9 SIDE ELEVATION**  
SCALE: 3/4" = 1'-0"

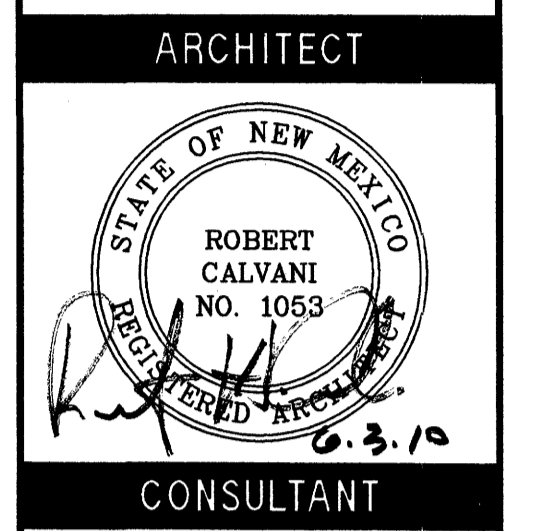


**10 SECTION**  
SCALE: 3/4" = 1'-0"

NOTE: ALL STAINED CONCRETE IS TO MATCH BUILDING COLOR SELECTION



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REVISIONS:

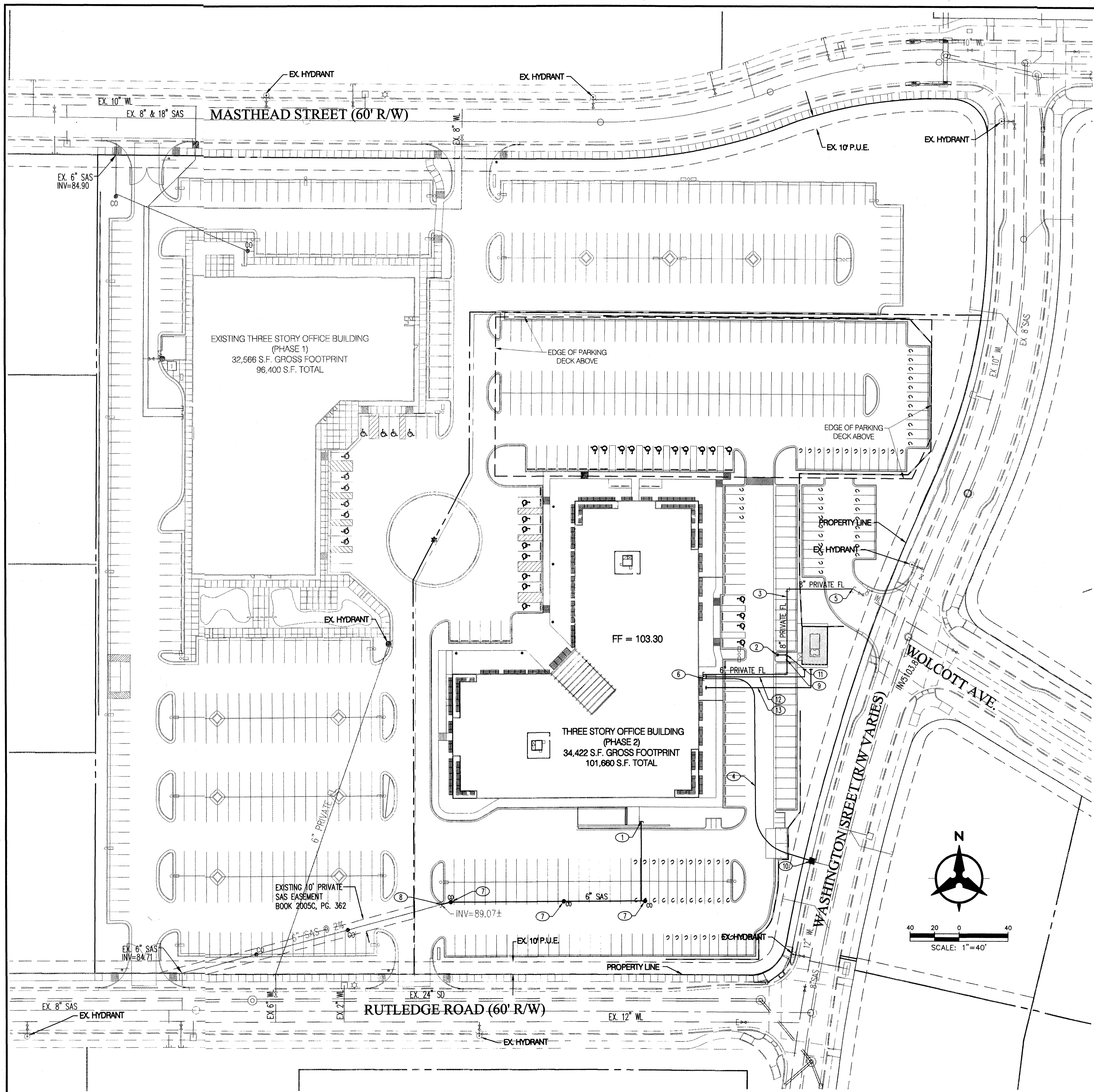
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JUNE 2010  
SHEET TITLE:

**SITE DETAILS**

SHEET NO:  
**AS-101**





**UTILITY NOTES**

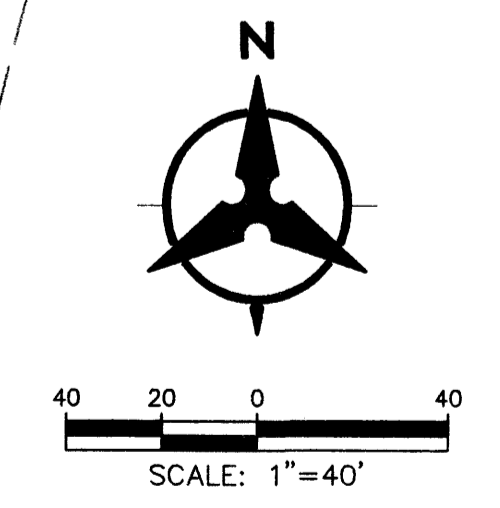
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

**UTILITY KEYED NOTES**

1. 6" SANITARY SEWER STUB, SEE PLUMBING PLANS FOR CONTINUATION.
2. NEW PRIVATE FIRE HYDRANT PER COA STD DWG 2340.
3. 8" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL. FIRE LINE PIPE JOINTS AND MECHANICAL JOINTS SHALL BE RESTRAINED FOR ENTIRE LENGTH. PROVIDE 3' MINIMUM COVER, VERTICAL BENDS AS REQUIRED (NOT > 22.5').
4. NEW 2 1/2" METERED WATER SERVICE. CONNECT TO EXISTING 2" WATER LINE STUB OUT.
5. CONNECTION TO EXISTING 8" FIRE LINE STUB.
6. NEW 2 1/2" DOMESTIC WATER SERVICE TO BUILDING, BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT.
8. CONNECT TO EX. 6" SAS STUB PROVIDED TO SITE WITH PHASE 1
9. POST INDICATOR VALVE.
10. EXISTING 1 1/2" WATER SERVICE LINE AND METER BOX. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF METER.
11. 8"x6" TEE AND 8"x6" REDUCER.
12. NEW 1" WATER LINE FOR MAKE-UP WATER TO COOLING TOWER SEE PLUMBING PLANS.
13. NEW 4"SAS SEE PLUMBING PLANS FOR INVERTS AND CONTINUATION.

**LEGEND**

---	PROPERTY LINE
EX. 8" SAS	EX. SANITARY SEWER & MANHOLE
EX. 24" SD	EX. STORM DRAIN & MANHOLE
---	EX. INLET
EX. 12" WL	EX. WATER LINE
⊗	EX. VALVE
□	EX. METER
⊕	EX. FIRE HYDRANT
⊙	EX. STREET LIGHT
SAS	PROPOSED SANITARY SEWER
•	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE



F:\2010060\CDP\Plans\General\Site Plan For BP\060240p01.dwg. Layout1  
June 04, 2010 - 2:25pm  
Plotted by: BORTEGA



1306 RIO GRANDE BLVD NW  
ALBUQUERQUE, NM 87104  
505-255-8400 505-268-6954 FAX  
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

**PROJECT TITLE**

**USFS  
PHASE II  
ALBUQUERQUE  
SERVICE CENTER  
HUMAN  
RESOURCES**

**ALBUQUERQUE  
NEW MEXICO**

**REVISIONS:**

MK	DATE	DESCRIPTION

DRAWN BY: BO CHECKED BY: GSB

**PROJECT NUMBER:**

A10.08

**DATE:**

JUNE 4, 2010

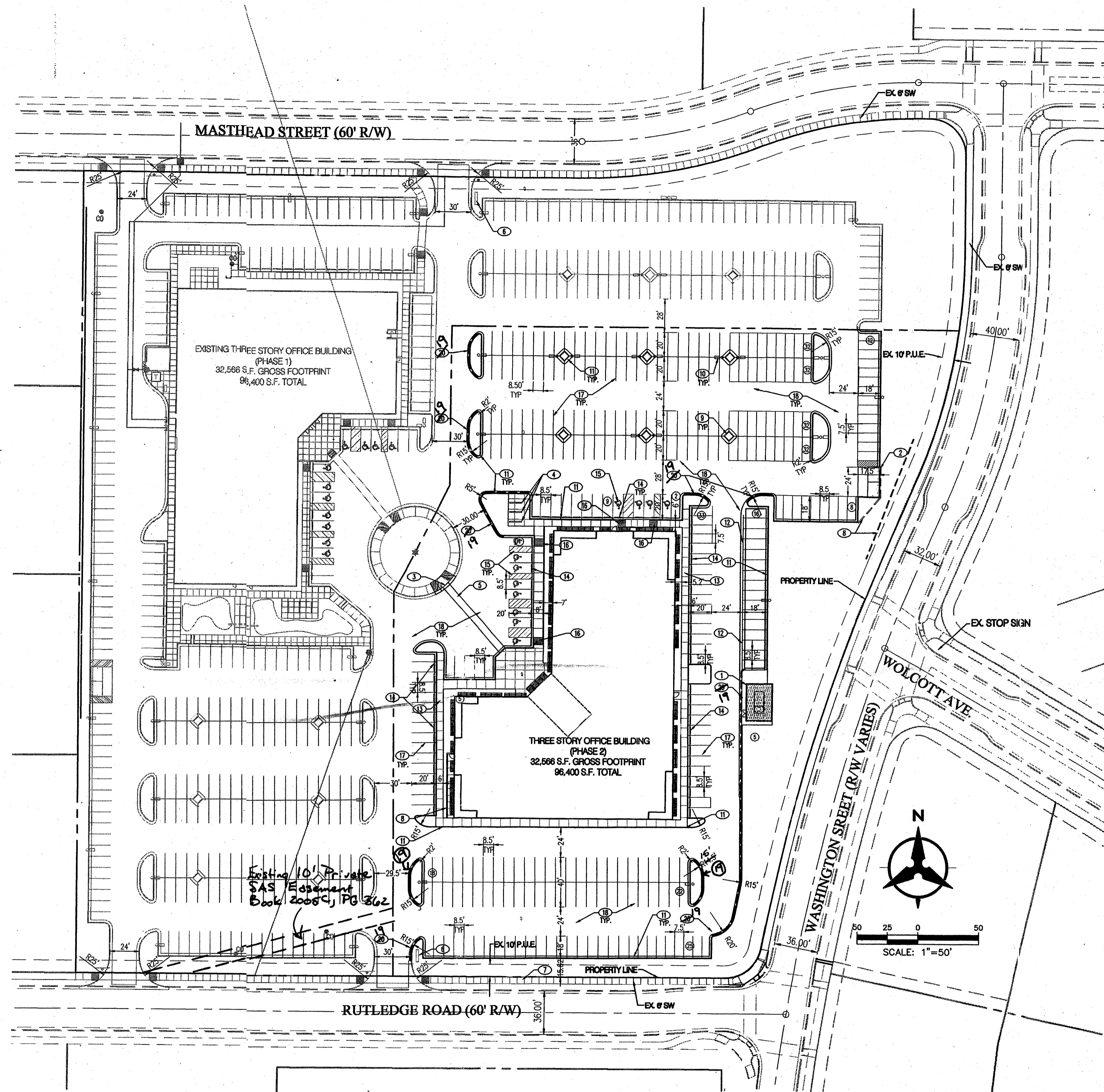
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**CONCEPTUAL  
UTILITY PLAN**

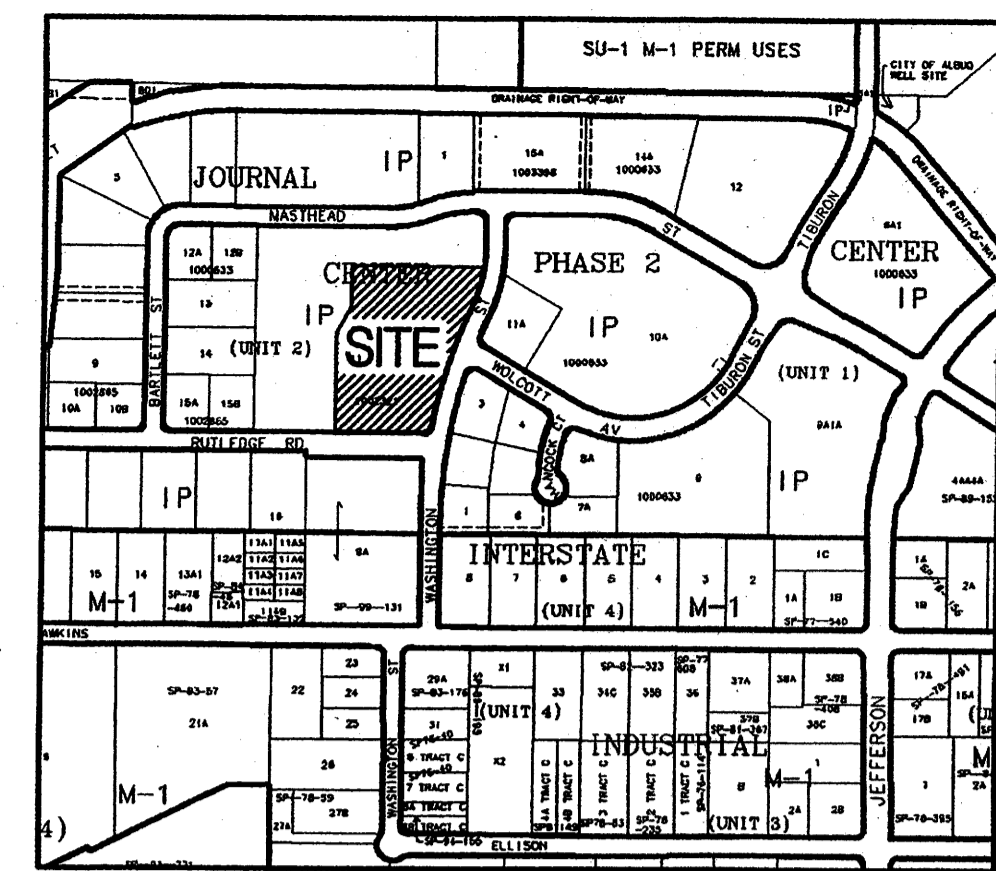
**SHEET NO.:**

**C3.0**

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



PROJECT DATA	
Zoning (Existing)	= IP
Site Area	= 10.0496 ac.
Building Area (Gross)	= 96,400 sf
Parking Required*	
Phase 1	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Subtotal Required	= 358
Phase 2	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Subtotal Required	= 358
Total Required	= 716
Handicap Accessible Stalls Required	= 24
Parking Provided (Phase 1)	
Standard Spaces	= 387
Handicap Accessible Stalls	= 12
Subtotal Provided	= 399
Parking Provided (Phase 2)	
Standard Spaces	= 316.811
Handicap Accessible Stalls	= 12
Subtotal Provided	= 332.32.3
Total Provided	= 731.72.2
Bicycle Parking Required (Phase 2)	= 20 (1/20 automobile spaces)
Bicycle Parking Provided (Phase 2)	= 21 (3 rows of 7 each)



ZONE ATLAS PAGE D-17-Z  
SCALE: 1"=600'

LEGAL DESCRIPTION  
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, NOVEMBER, 2005

KEYED NOTES

1. 14' HIGH MASONRY SCREEN WALL TO MATCH BUILDING. SEE ELEVATIONS.
2. MASONRY REFUSE ENCLOSURE TO MATCH BUILDING.
3. SAWCUT & REMOVE EXISTING SIDEWALK AND CURB & GUTTER. INSTALL HANDICAP RAMP / MIN. 5'x5' LANDING.
4. BICYCLE PARKING (21 SPACES). REF. DETAIL ON SHEET C1.1.
5. 6' WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2% MAX. CROSS SLOPE). PIGMENT COLOR PER ARCHITECT.
6. MONUMENT SIGN, SEE DETAILS.
7. EXISTING 6' WIDE SIDEWALK, INSTALLED WITH PHASE 1.
8. 4' HIGH± MASONRY RETAINING WALL. RETAINING WALL SHALL BE SPLIT FACE CMU TO COMPLEMENT BUILDING.
9. 6"x6" TREE PLANTER (TYP). REF. LANDSCAPE PLANS FOR TREATMENT.
10. LIGHT POLE. PER DETAILS SHEET C1.1.
11. MEDIAN CURB & GUTTER PER COA STD DWG 2415B (6" HIGH CURB).
12. CONC VALLEY GUTTER PER COA STD DWG 2421 (SECTION A-A).
13. 4" THICK CONCRETE SIDEWALK PER COA STD DWG 2430.
14. INSTALL PRECAST CONCRETE WHEELSTOP PER MANUFACTURER'S RECOMMENDATIONS.
15. INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.1.
16. INSTALL CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2441.
17. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
18. INSTALL NEW ASPHALT PAVEMENT PER DETAILS SHEET C1.1.
19. INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.

SITE PLAN NOTES

1. SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE ARCHITECTURALLY COMPATIBLE TO BUILDING.
2. UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
3. SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.
4. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
5. AT THE TIME COMMON AREA IRRIGATION IS CONNECTED TO JOURNAL CENTER 2 COMMON AREA IRRIGATION SYSTEM, THE DEVELOPER "TIURON INVESTMENT, LLC" MUST BE CONTACTED.

DRAWING INDEX

- C1.0 - SITE PLAN
- C1.1 - SITE DETAILS
- L1.0 - LANDSCAPE PLAN
- C2.0 - PRELIMINARY GRADING PLAN
- A2.1 - BUILDING ELEVATIONS
- A2.2 - BUILDING ELEVATIONS
- AS1.1 - ARCH SITE DETAILS
- C3.0 - CONCEPTUAL UTILITY PLAN

P:\060240\cdp\general\SDP for BP\Site Development Plan.dwg, Layout1  
May 18, 2006 - 3:14pm  
Plotted by: JSMITH



1306 RIO GRANDE BLVD NW  
ALBUQUERQUE, NM 87104  
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ARCHITECT  
CONSULTANT

PROJECT TITLE

NEW MEXICO  
Masthead Office Complex  
at Journal Center 2

ALBUQUERQUE AMENDED  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Site Plan

REVISIONS

NO.	DATE	DESCRIPTION

DATE: MAY 17, 2006  
SHEET NO: C1.0

PROJECT NUMBER: 1004556  
Application Number: 06 DRB-00707

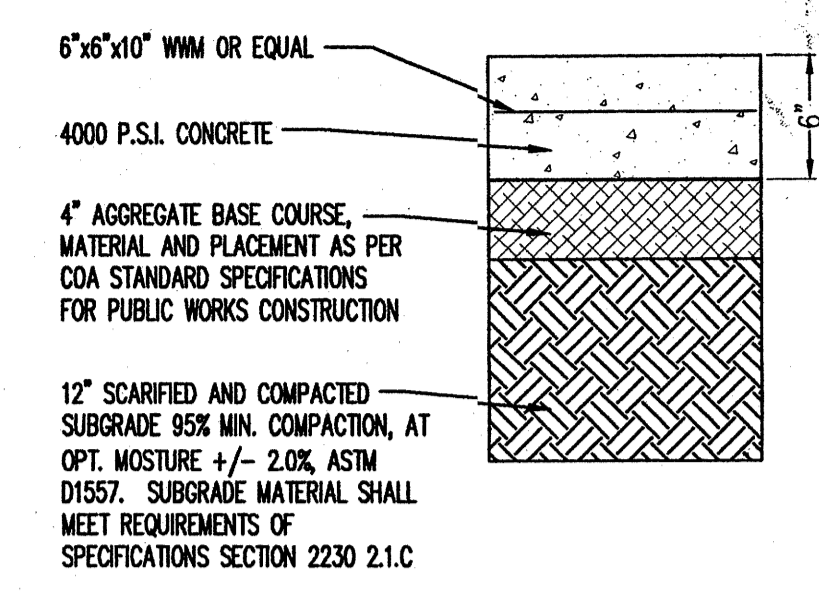
Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

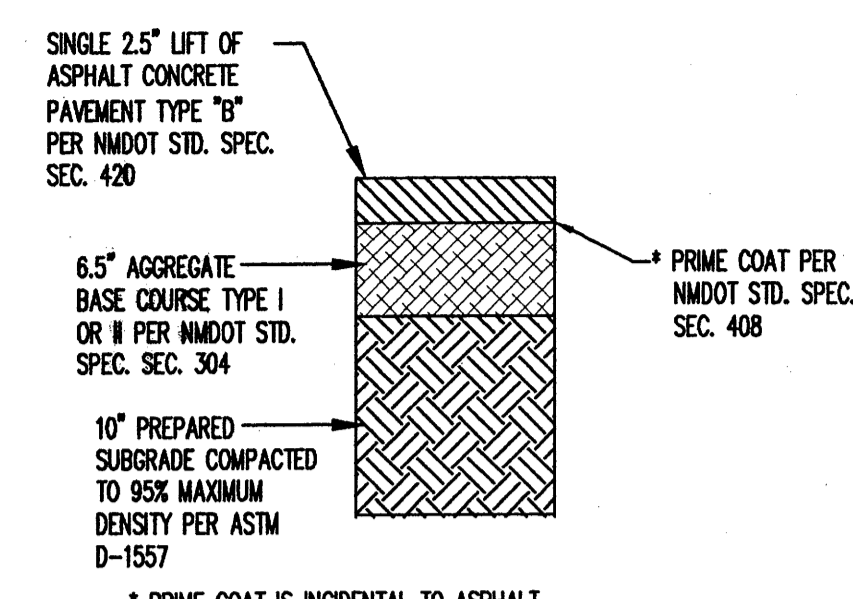
<i>[Signature]</i> Traffic Engineering, Transportation Division	6-14-06 Date
<i>[Signature]</i> Water Utility Department	6-14-06 Date
<i>[Signature]</i> Parks and Recreation Department	6/14/06 Date
<i>[Signature]</i> City Engineer	6/14/06 Date
N/A * Environmental Health Department (conditional)	7/31/06 Date
<i>[Signature]</i> Solid Waste Management	8/11/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8/1/06 Date

\*Environmental Health, if necessary

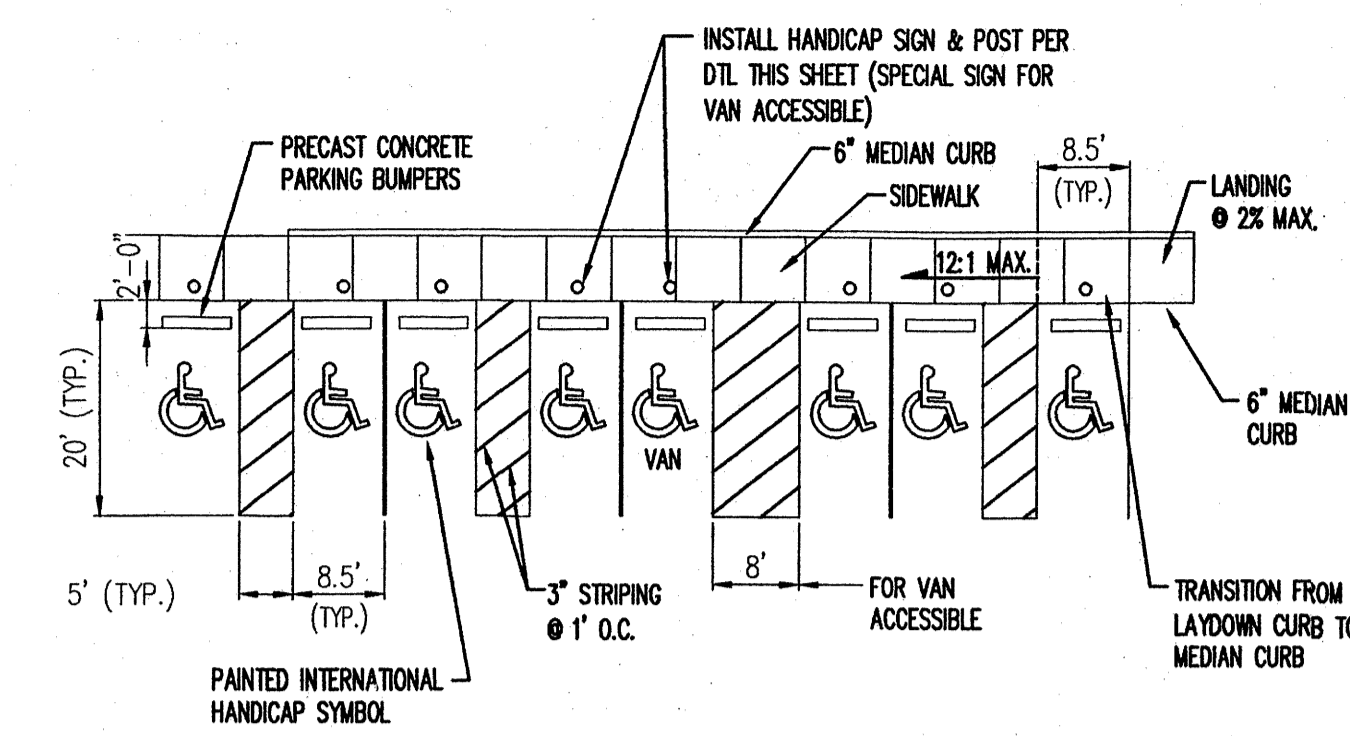
**Bohannon & Huston**  
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Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335



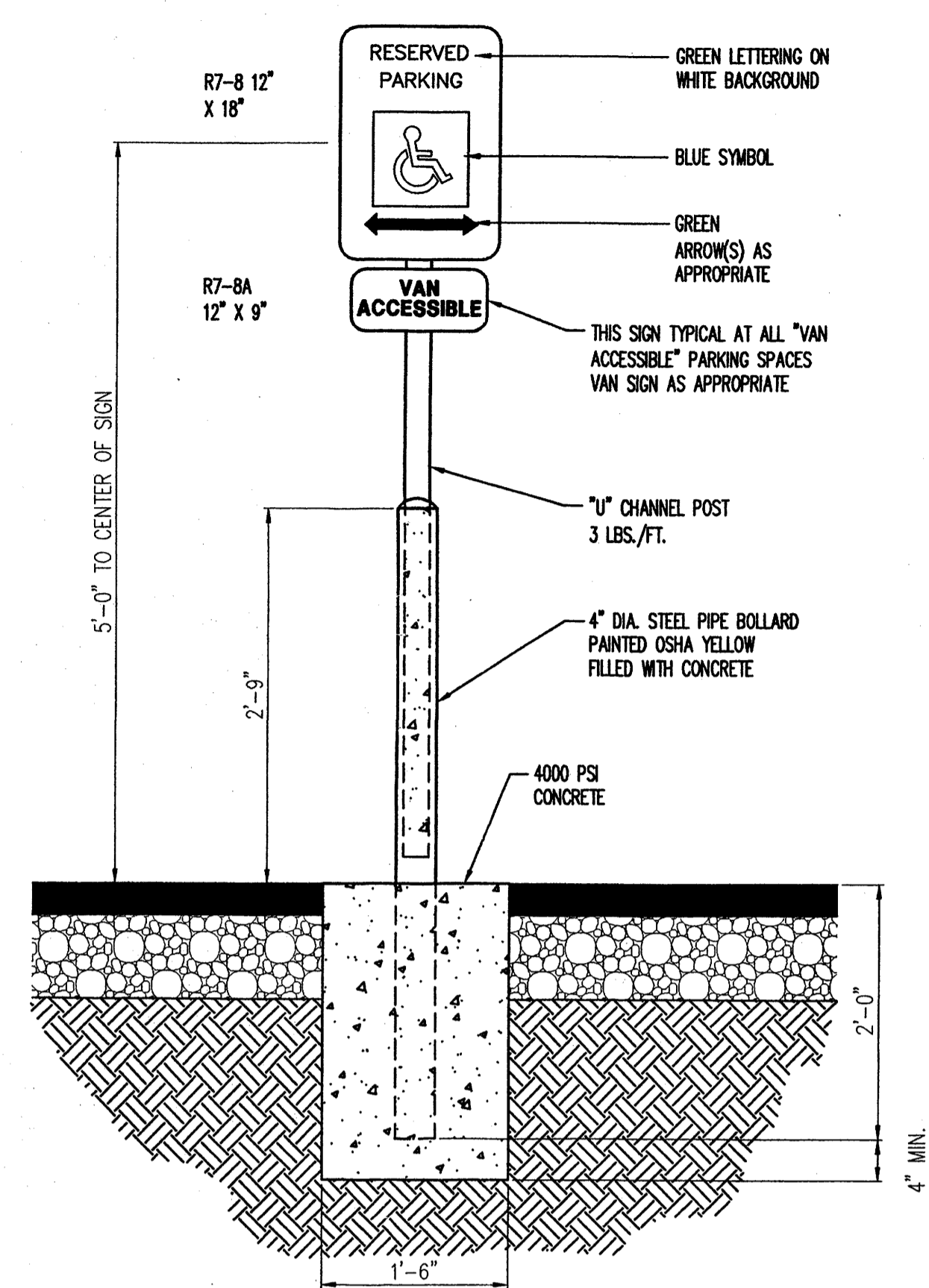
**REFUSE ENCLOSURE CONCRETE PAVEMENT**  
N.T.S.



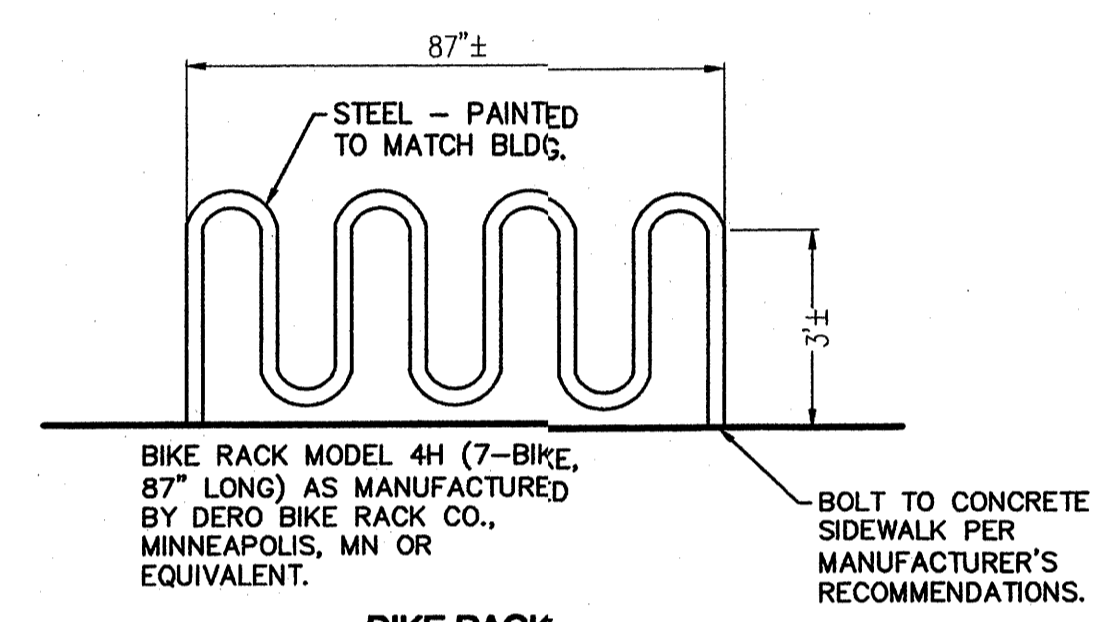
**LIGHT DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



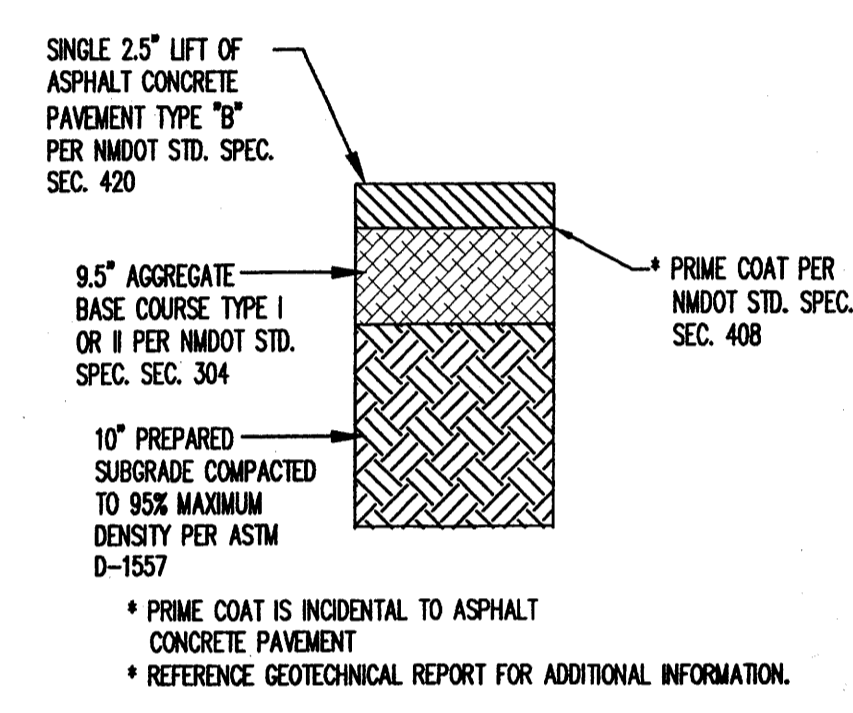
**HANDICAP PARKING DETAIL**  
NOT TO SCALE



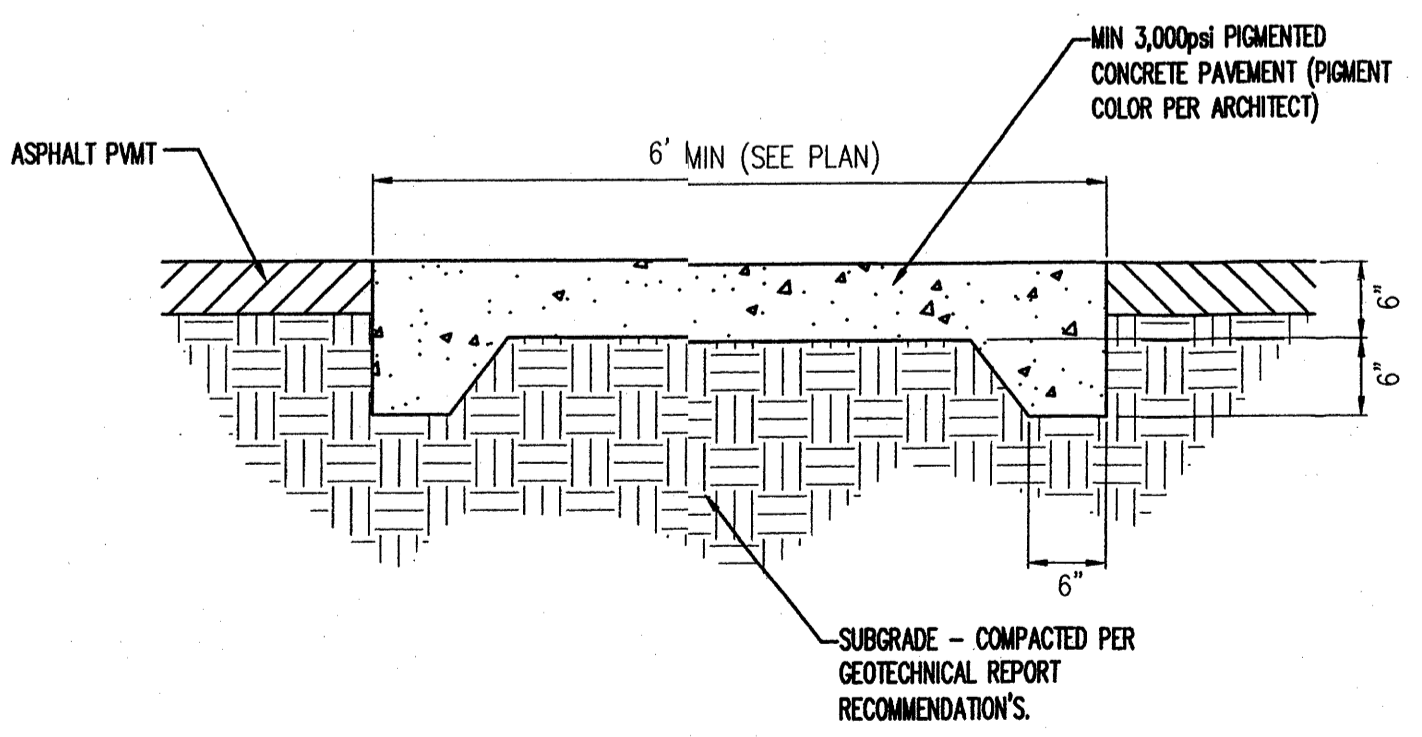
**HANDICAP PARKING SIGN MOUNTING DETAIL**  
N.T.S.  
ONE SIGN SHALL BE INSTALLED AT EACH HANDICAP SPACE.



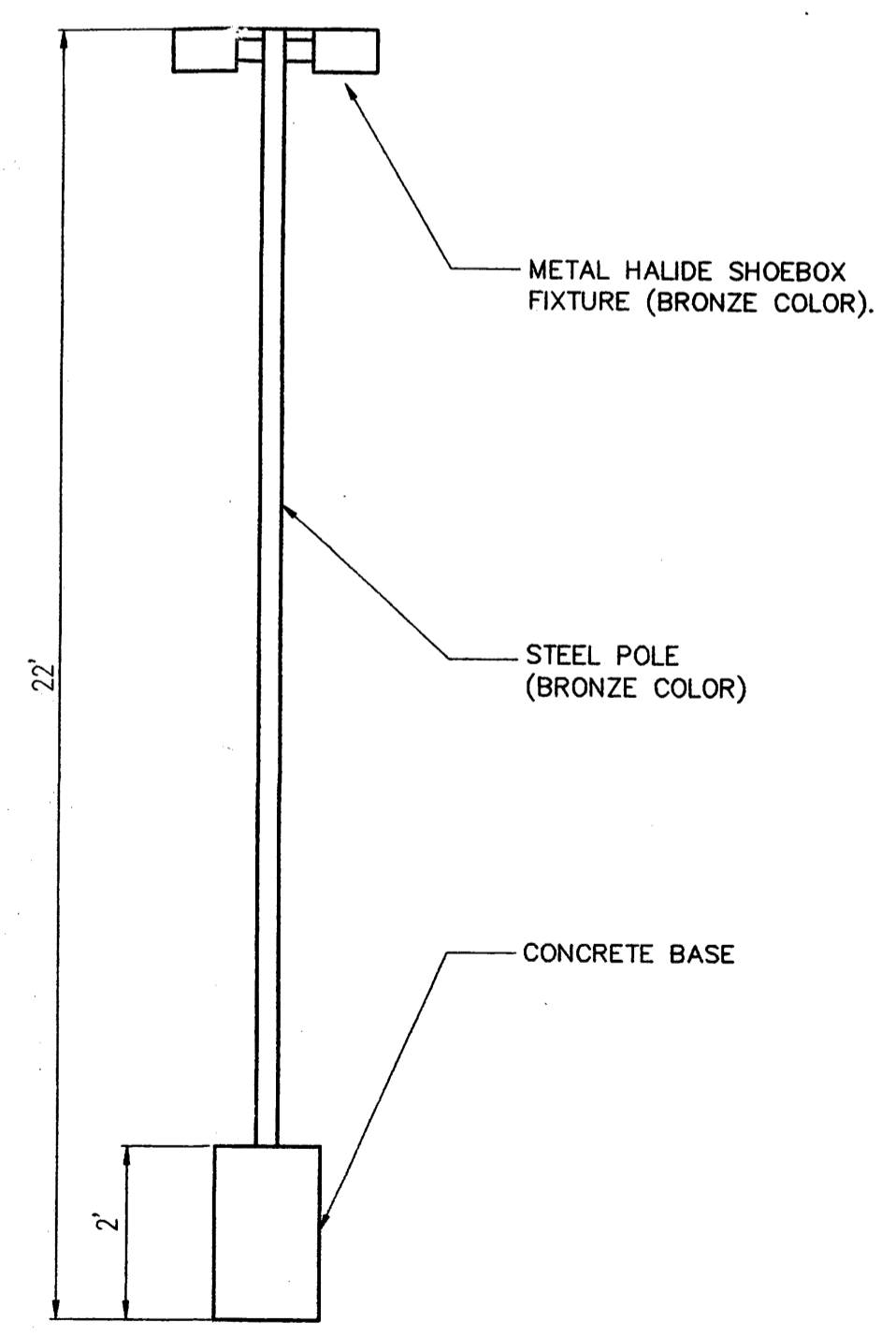
**BIKE RACK**  
NOT TO SCALE



**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.

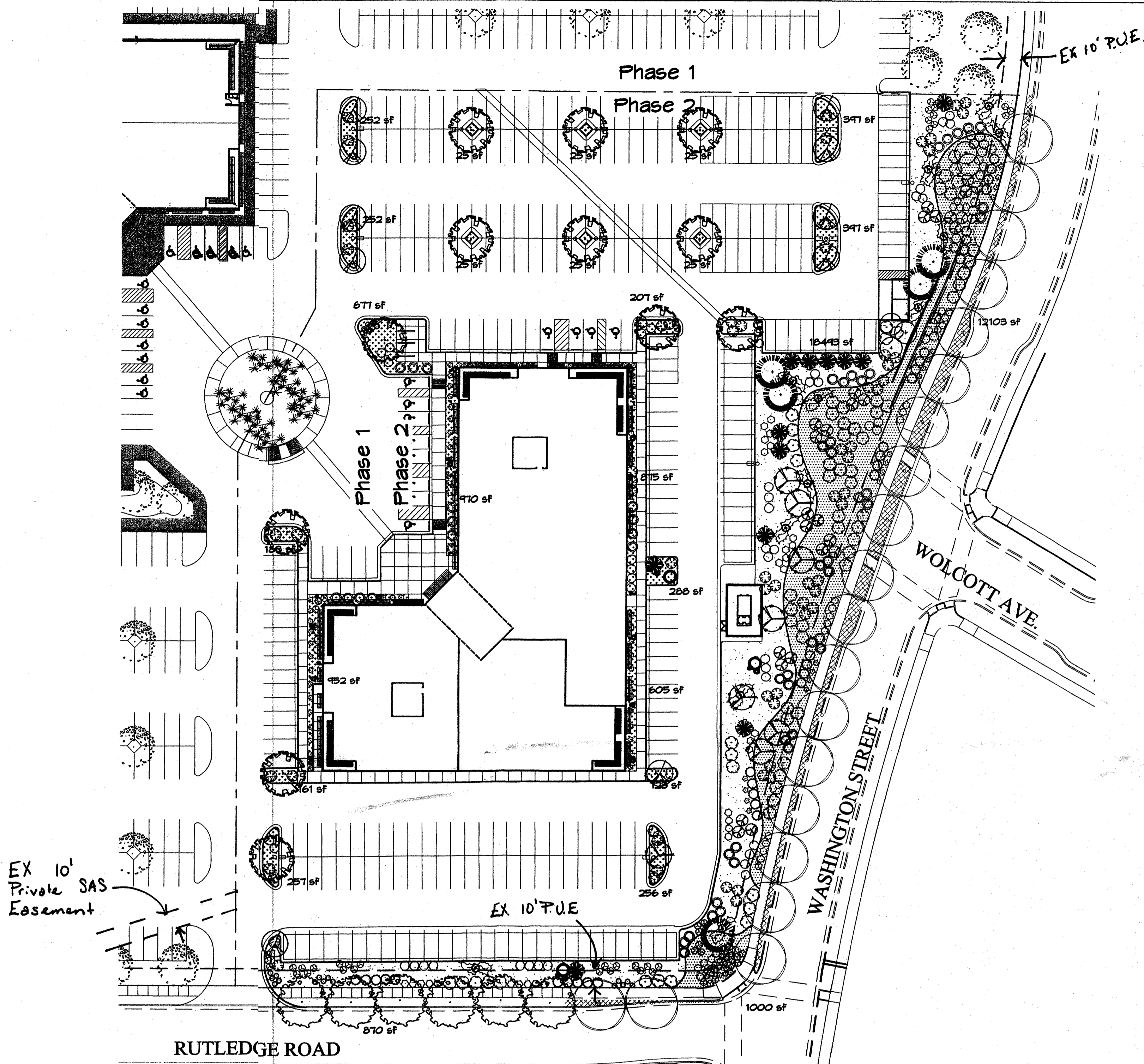


**SIDEWALK CROSSING DETAIL**  
NOT TO SCALE



**LIGHT POLE**  
NOT TO SCALE

1	5-17-06	Site revision adf
MK	DATE	DESCRIPTION



EX 10' Private SAS Easement

**PLANT LEGEND**

- EXISTING BERINDA ASH
- BERINDA ASH (H) 6 Fraxinus spp. 2" Cal. (PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
- CHINESE PISTACHE (M) 12 Pistachia chinensis 2" Cal.
- OAK (M) 8 Quercus spp. 2" Cal.
- REDBUD (M) 10 Cercis reniformis 2" Cal.
- AUSTRIAN PINE (M) 5 Pinus nigra 6"-8"
- THORNLESS HAMTHORN (M+) 5 Crataegus crus-galli inermis 15 Gal. 225sf
- SOTOL 12 Dasylirion wheeleri 5 Gal. 36sf
- MUGO PINE (M) 3 Pinus mugo 5 Gal. 36sf
- CURLLEAF MTN MAHOGANY (L) 70 Carcoporus ledifolius 5 Gal. 100SF
- THREE-LEAF SUMAC (L) 38 Rhus trilobata 5 Gal. 36sf
- APACHE PLUME (L) 67 Fallugia paradoxa 5 Gal. 42sf
- THREADGRASS (M) 89 Stipa tenuissima 1 Gal. 4sf
- AUTUMN SAGE (M) 60 Salvia greggii 5 Gal. 4sf
- LAVENDER (M) 34 Lavandula angustifolia 1 Gal. 4sf
- ARP ROSEMARY (M) 54 Rosmarinus officinalis 5 Gal. 36sf
- POWIS CASTLE SAGE (L) 28 Artemisia x powis castle 5 Gal. 25sf
- WINTER JASMINE (L+) 68 Jasminum nudiflorum 5 Gal. 144sf
- WILDFLOWER 50 1 Gal. 4sf
- GREYLEAF COTONEASTER 36 Cotoneaster buxifolius 5 Gal. 81sf each symbol indicates 3 plants
- BOULDERS (41)
- NATURAL EDGE
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- GREY CRUSHERFINES WITH FILTER FABRIC
- OVERSIZED GRAVEL WITH FILTER FABRIC
- EXISTING LANDSCAPING

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

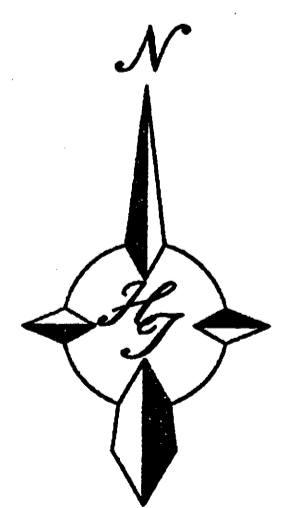
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

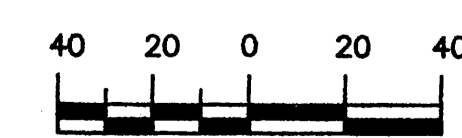
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. This will be addressed as an infield-change order.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	182360	square feet
TOTAL BUILDINGS AREA	34975	square feet
OFFSITE AREA	870	square feet
NET LOT AREA	146515	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	21977	square feet
TOTAL BED PROVIDED	39468	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	29601	square feet
TOTAL GROUND COVER PROVIDED	29601	square feet
TOTAL LANDSCAPE PROVIDED	39468	square feet

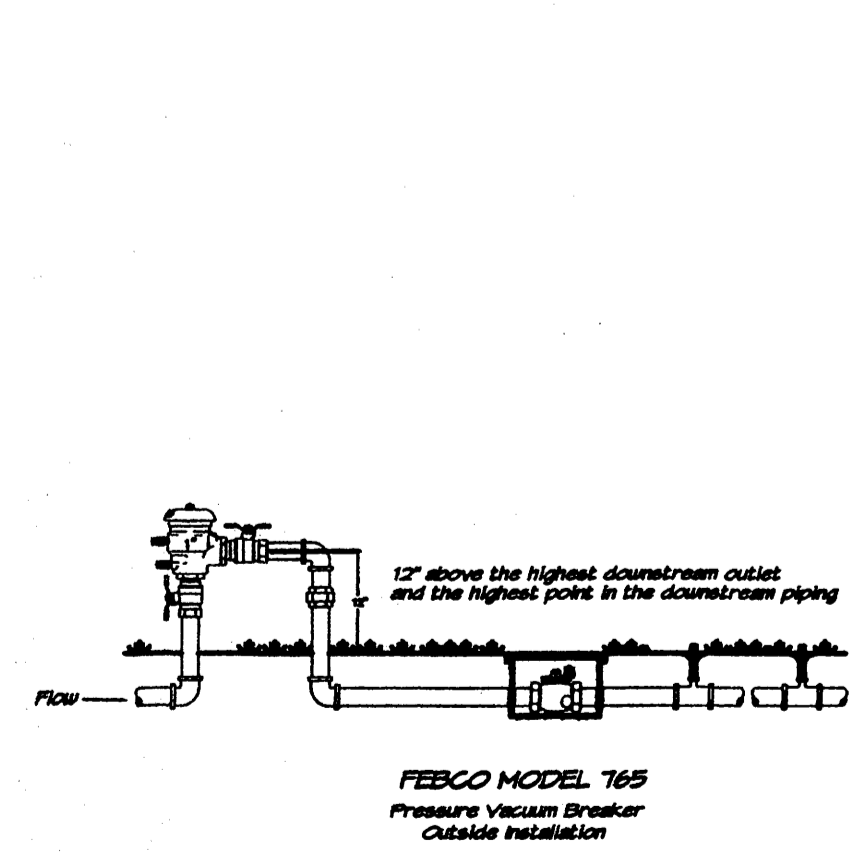
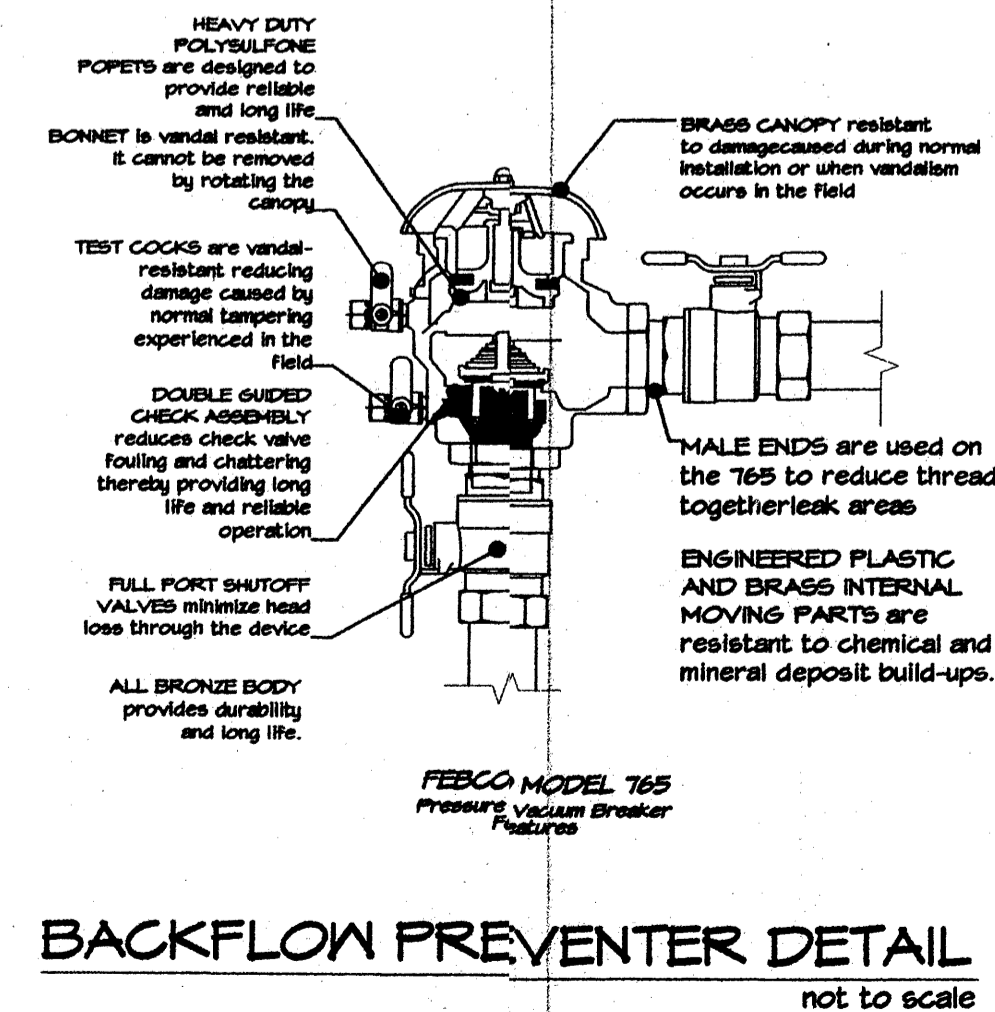


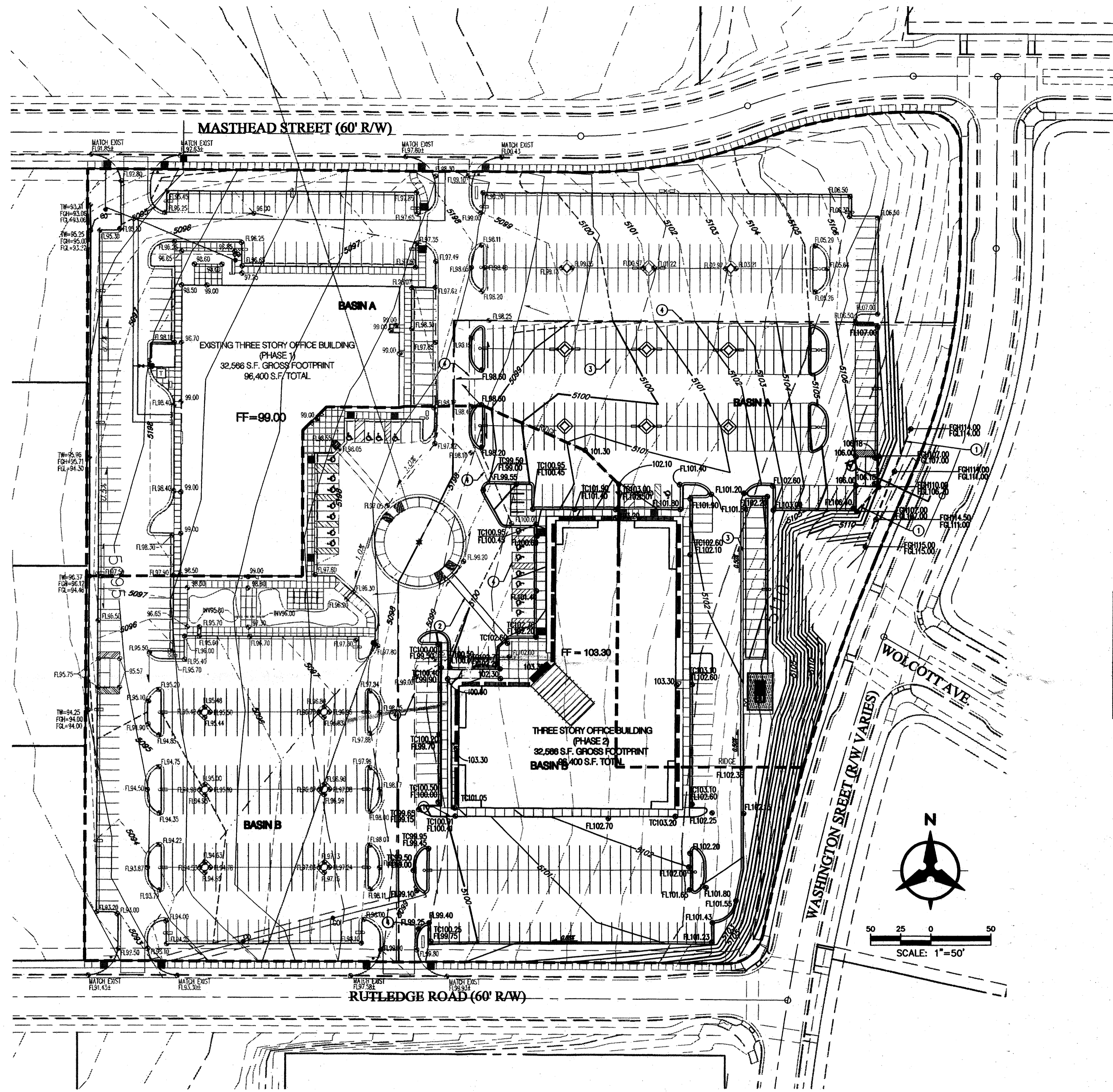
**GRAPHIC SCALE**



SCALE: 1"=40'

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cjohnson@hilltoplandscaping.com  
All creative ideas created herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright law. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.





**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
 The purpose of this submittal is to provide a final Drainage Management Plan for development of the Masthead Office Complex at Journal Center 2 - Phase 2, located in the Journal Center, Phase 2, Unit 2, Lot 11-B in NE Albuquerque.

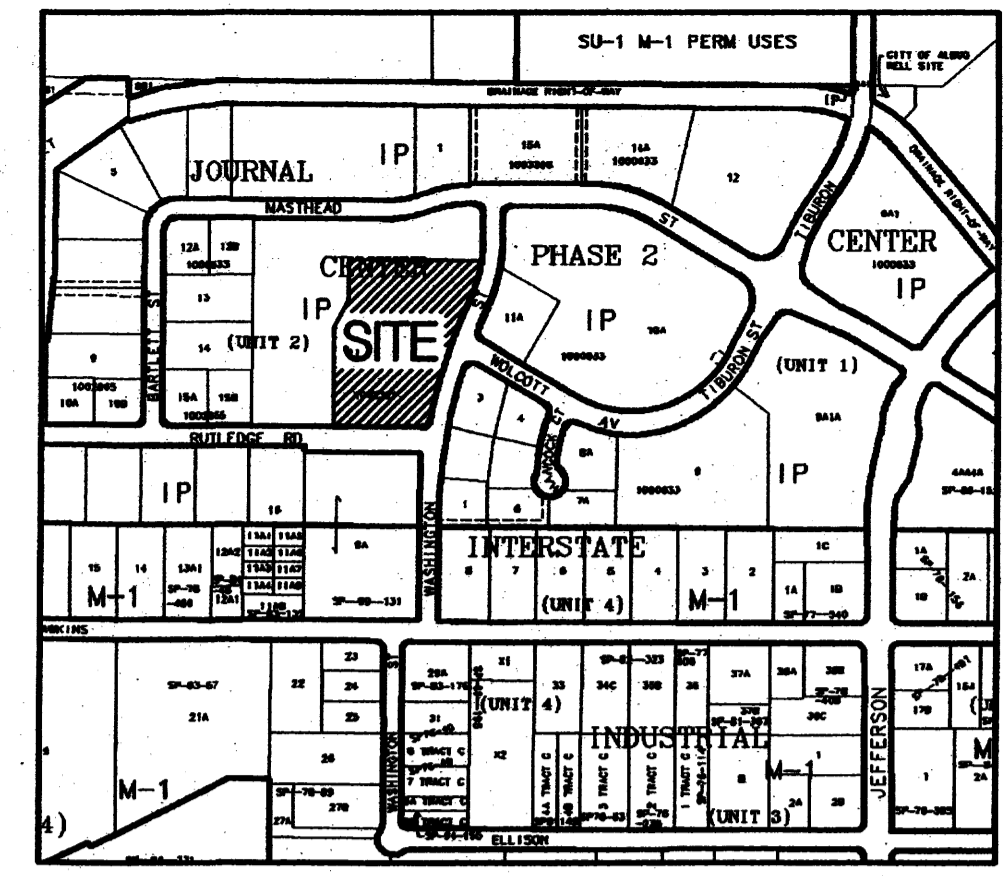
**II. SITE LOCATION**  
 The site is currently legally described as, Journal Center, Phase 2, Unit 2, Lot 11-B (+/- 4.4 acres). The site is located within zone atlas map #D-17, and is in hydrologic zone 2. The site is located at the southwest corner of Masthead and Washington, just west of Jefferson.

**III. SITE TOPOGRAPHY**  
 The site slopes evenly from east to west at a value of less than 5%. Washington Street has a high point at the intersection of Wolcott Avenue from which it slopes north to Masthead and south to Rutledge. The area surrounding the site maintains similar topography.

**IV. EXISTING HYDROLOGIC CONDITIONS**  
 Currently the site (4.4 ac.) is undeveloped land. The surrounding streets and infrastructure are in place and Phase 1 of the development is currently under construction. The site drains from east to west in a sheet flow condition. For the approved Drainage Plan of Journal Center - Phase 2 located in file number D17D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via surface flow out of the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system. This site is within Basins B1 and C1 of the mentioned drainage plan. Basin B1 drains into Rutledge and the development contained in B1 is allotted 20.11 cfs of outflow. Basin C1 drains into Masthead. The portion of the new development contained in C1 is allotted 24.53 cfs of outflow per the approved Drainage Plan of Journal Center-Phase 2.

**V. PROPOSED HYDROLOGIC CONDITIONS**  
 The proposed conditions for the Masthead Office Complex at Journal Center 2 are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event. The total site (+/- 10.0 acres) will generate a total of 44.45 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and curb and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pino Arroyo, and then to the AMAFCA North Diversion Channel. Approximately 20.0cfs drains to Rutledge; the other 24.36 cfs drains to Masthead. These flow values comply with the restrictions placed on the site by the approved drainage plan referenced in Section IV of this document.

**VI. CONCLUSION**  
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting building permit approval.



ZONE ATLAS PAGE D-17-Z  
 SCALE: 1"=600'

**LEGAL DESCRIPTION**  
 TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
 ALBUQUERQUE, NM, NOVEMBER, 2005

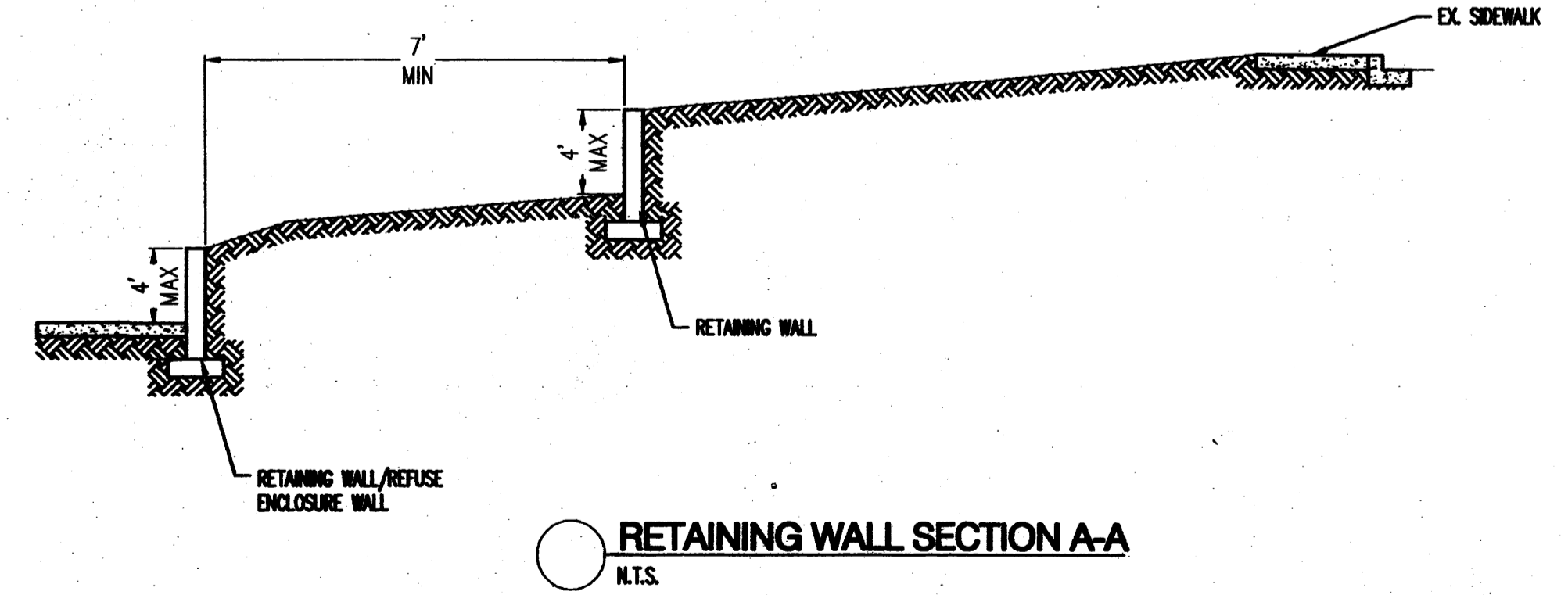
**LEGEND**

- PROPERTY LINE
- - - - - 5040 --- EXISTING CONTOUR
- - - - - 35 --- PROPOSED INDEX CONTOUR
- - - - - 32 --- PROPOSED INTERMEDIATE CONTOUR
- ⊙ 32.40 EXISTING SPOT ELEVATION
- ⊙ 32.40 PROPOSED SPOT ELEVATION
- FL = FLOWLINE
- TS = TOP OF SIDEWALK
- FGL = FINISHED GROUND HIGH SIDE
- FGL = FINISHED GROUND LOW SIDE
- TR = TOP OF WALL
- DIRECTION OF FLOW

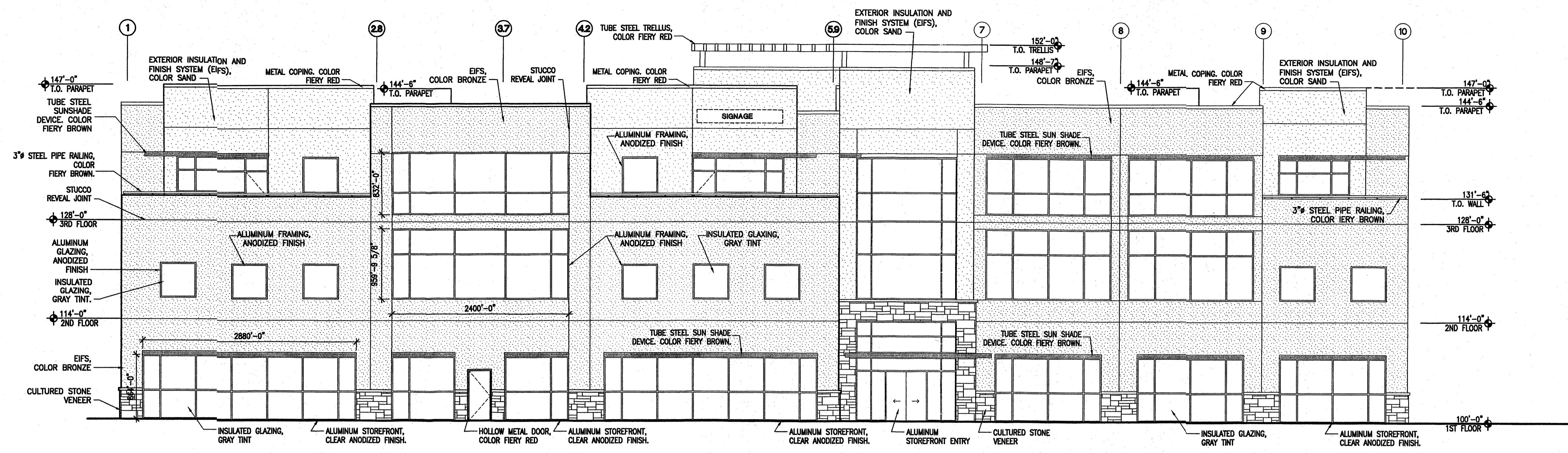
**KEYED NOTES**

1. 4' HIGH ± MASONRY RETAINING WALL.
2. 2% MAXIMUM CROSS-SLOPE AT SIDEWALK CROSSING.
3. CONCRETE VALLEY GUTTER, REFER TO SITE PLAN.
4. MATCH EXISTING PAVEMENT.

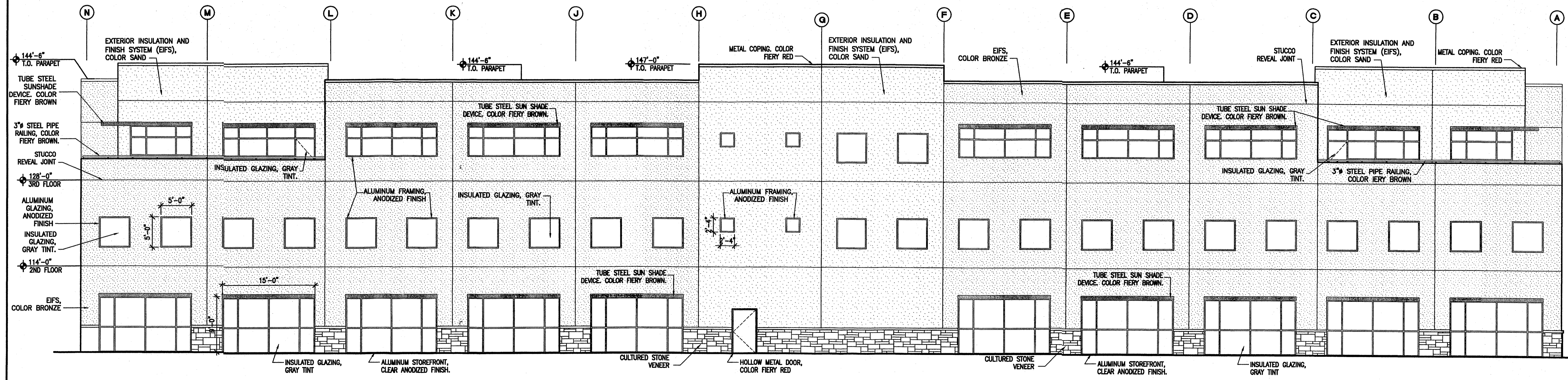
US FOREST SERVICE BUILDING Proposed Conditions Basin Data Table											
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WTF E (inches)	V(100) (CF)	V(100) (CF)
			A	B	C	D					
<b>PROPOSED CONDITIONS</b>											
A	239933	5.81	0.0%	5.0%	10.0%	85.0%	4.42	24.36	1.95	39089	45887
B	197865	4.54	0.0%	5.0%	10.0%	85.0%	4.42	20.09	1.95	32217	39664
<b>TOTAL</b>	<b>437798</b>	<b>10.35</b>	-	-	-	-	<b>4.42</b>	<b>44.45</b>	<b>3.91</b>	<b>71286.48</b>	<b>71286</b>



RETAINING WALL SECTION A-A  
 N.T.S.

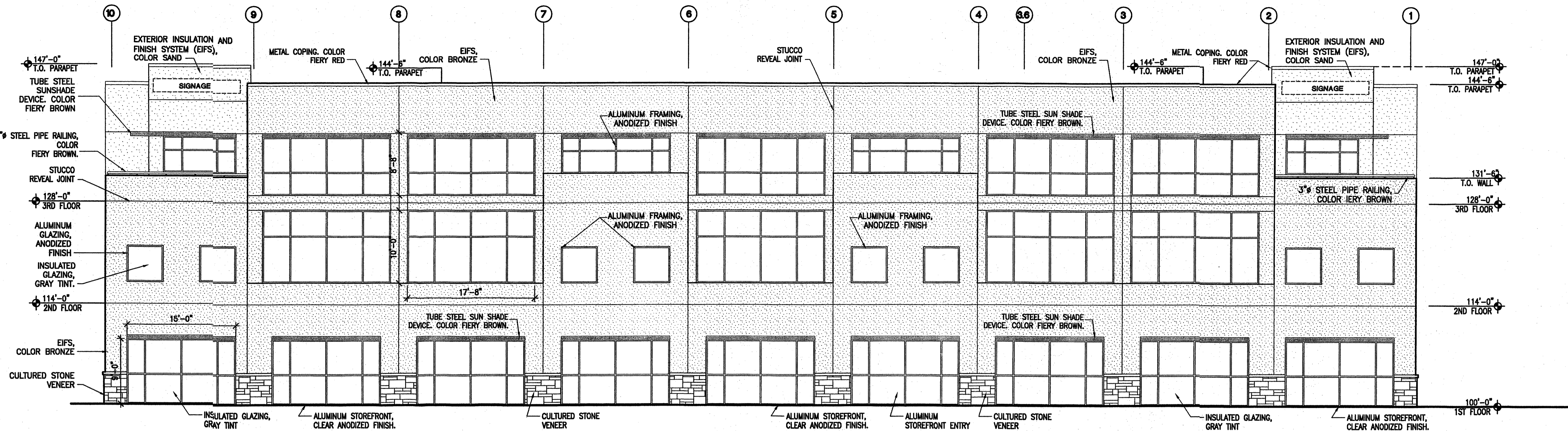


**1 NORTH ELEVATION**  
A2.1

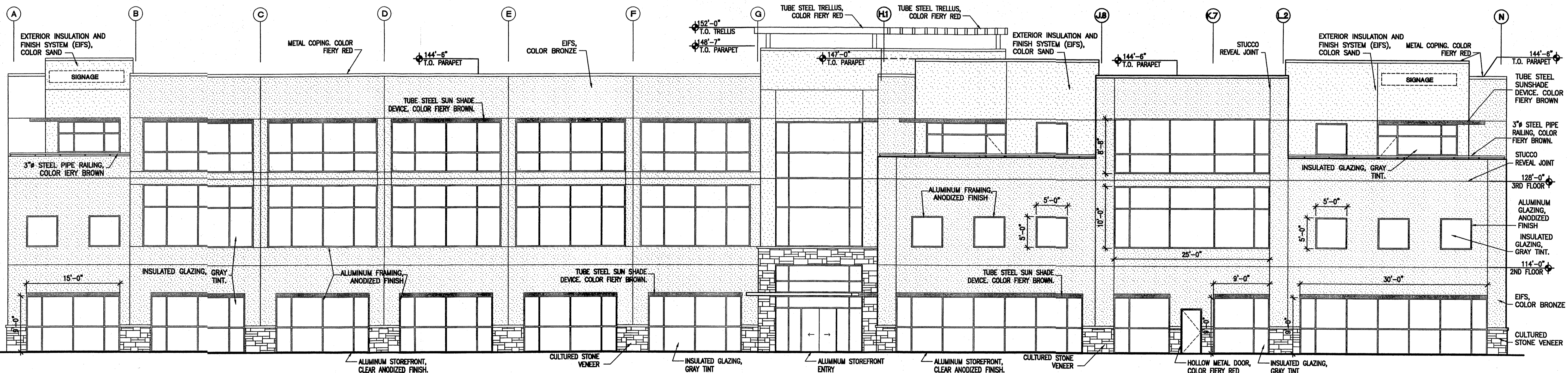
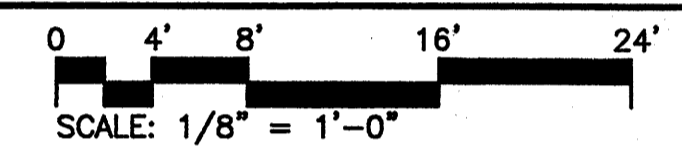


**2 EAST ELEVATION**  
A2.1

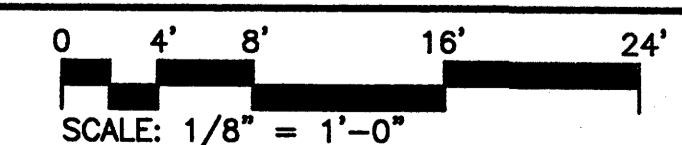
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DATE:		MAY 2006
SHEET NO		A2.2

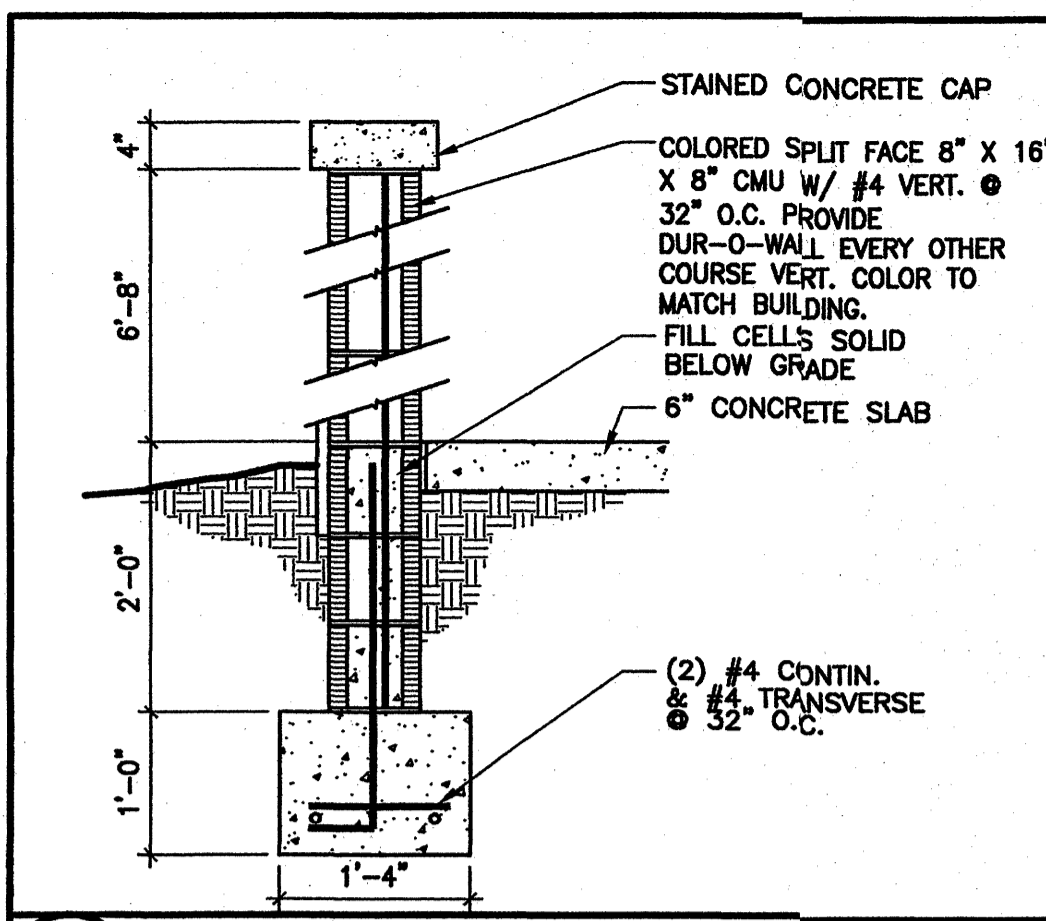


1 SOUTH ELEVATION

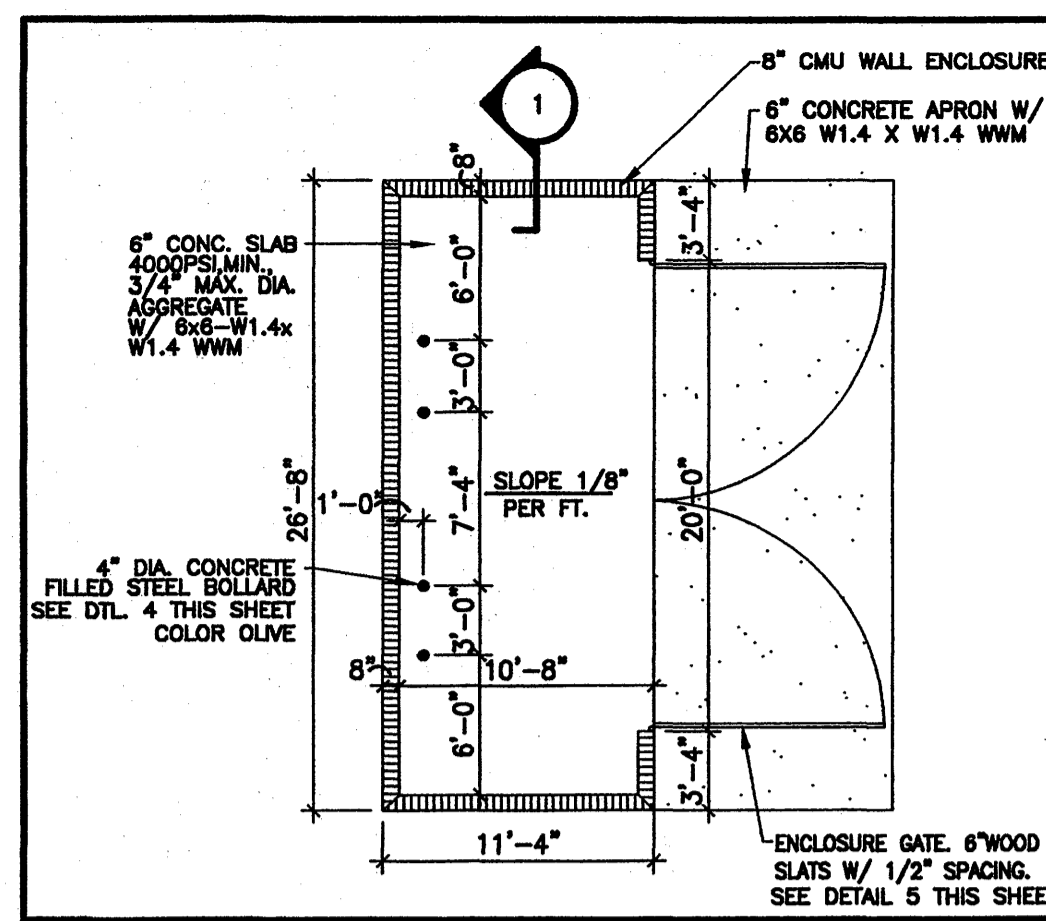


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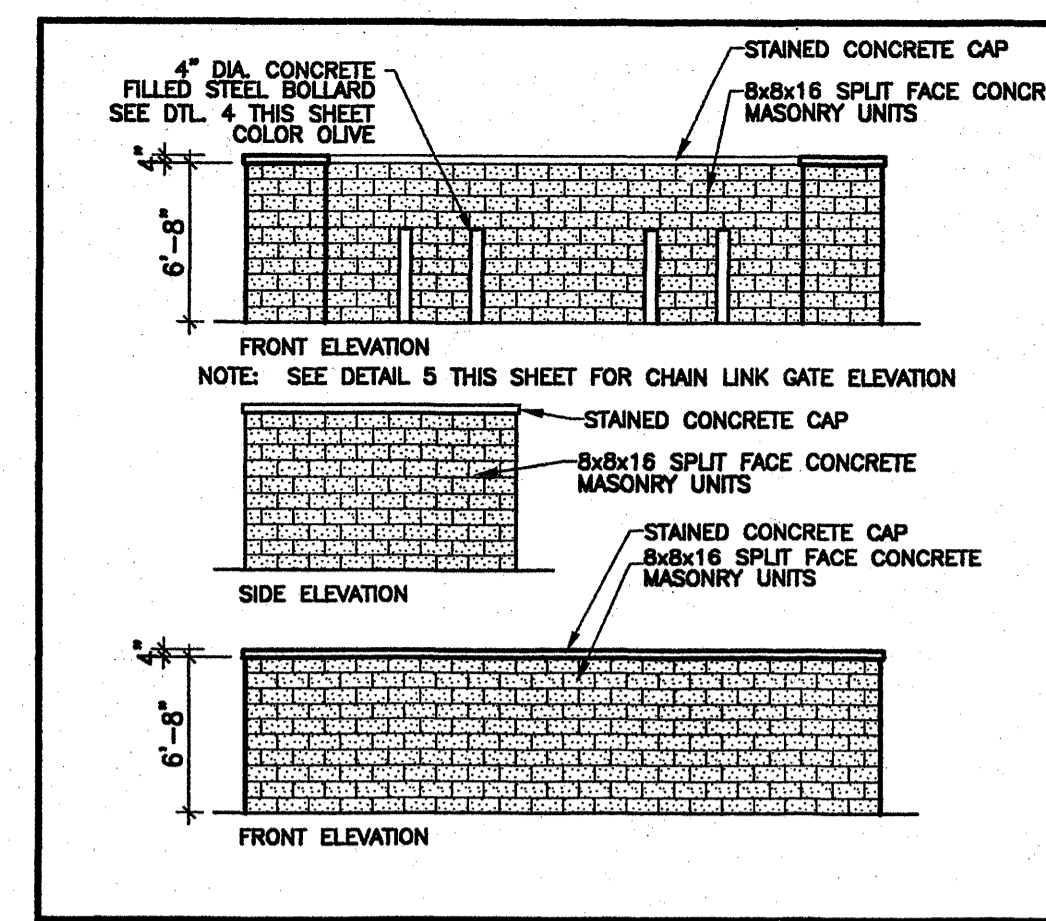




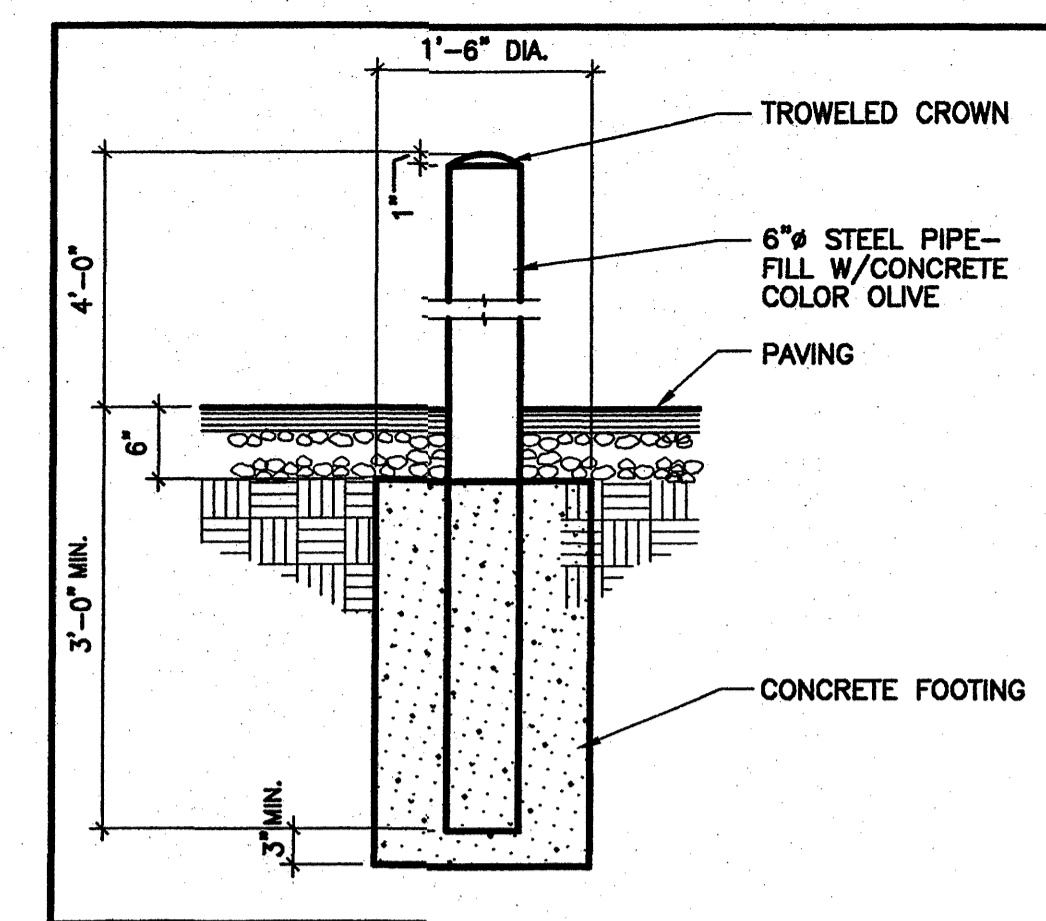
1 REFUSE ENCLOSURE WALL 3/4" = 1'-0"



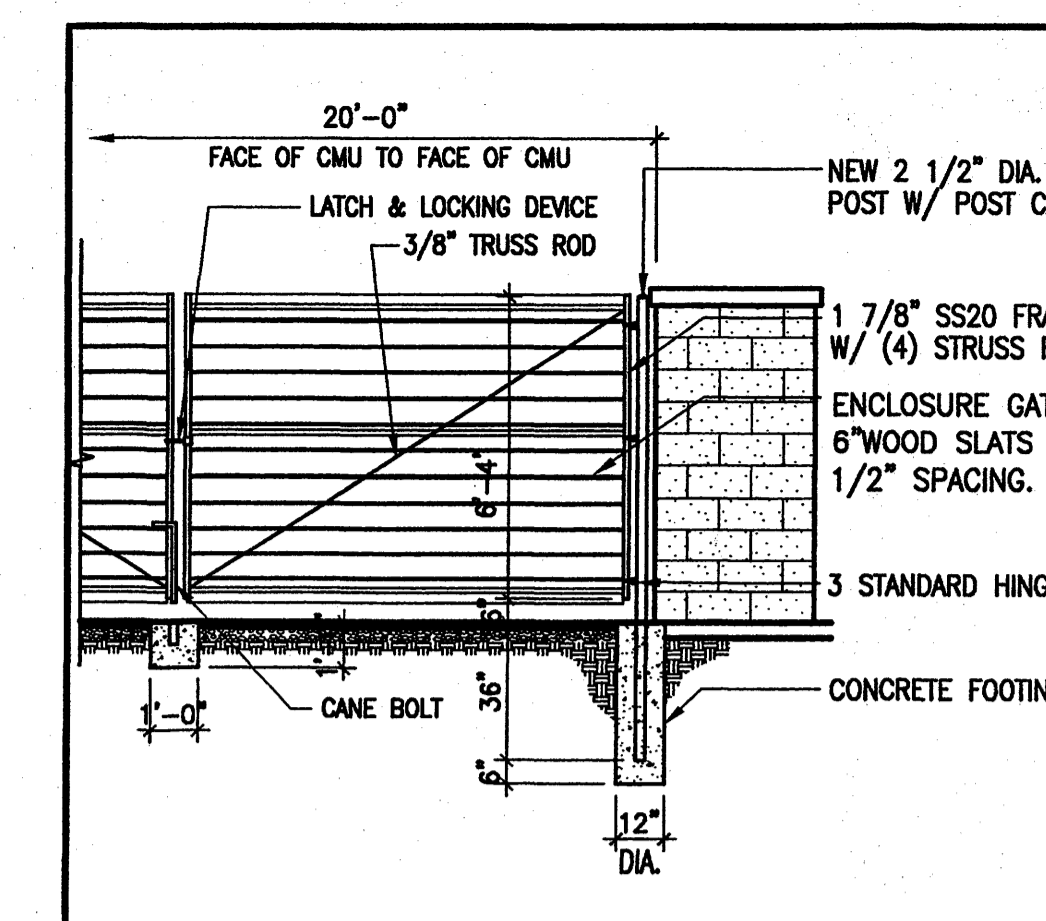
2 REFUSE ENCLOSURE PLAN 1/8" = 1'-0"



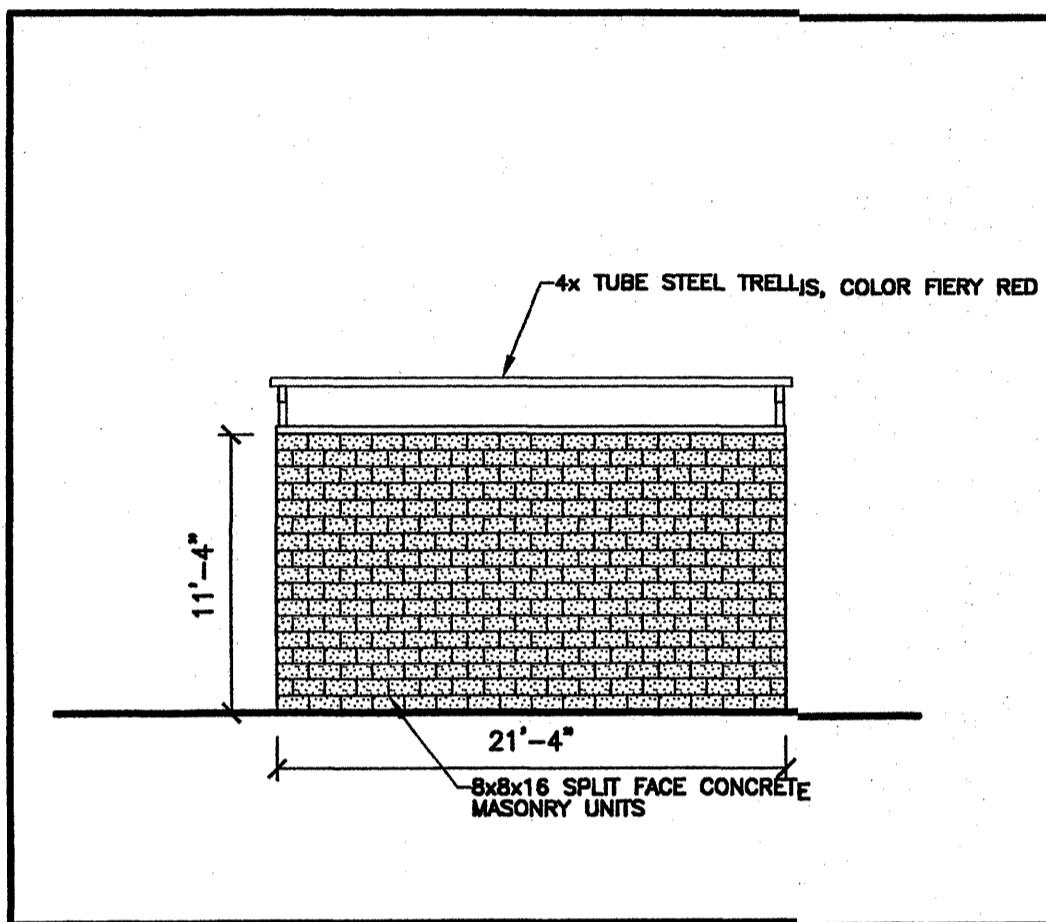
3 REFUSE ENCLOSURE ELEVATIONS 1/8" = 1'-0"



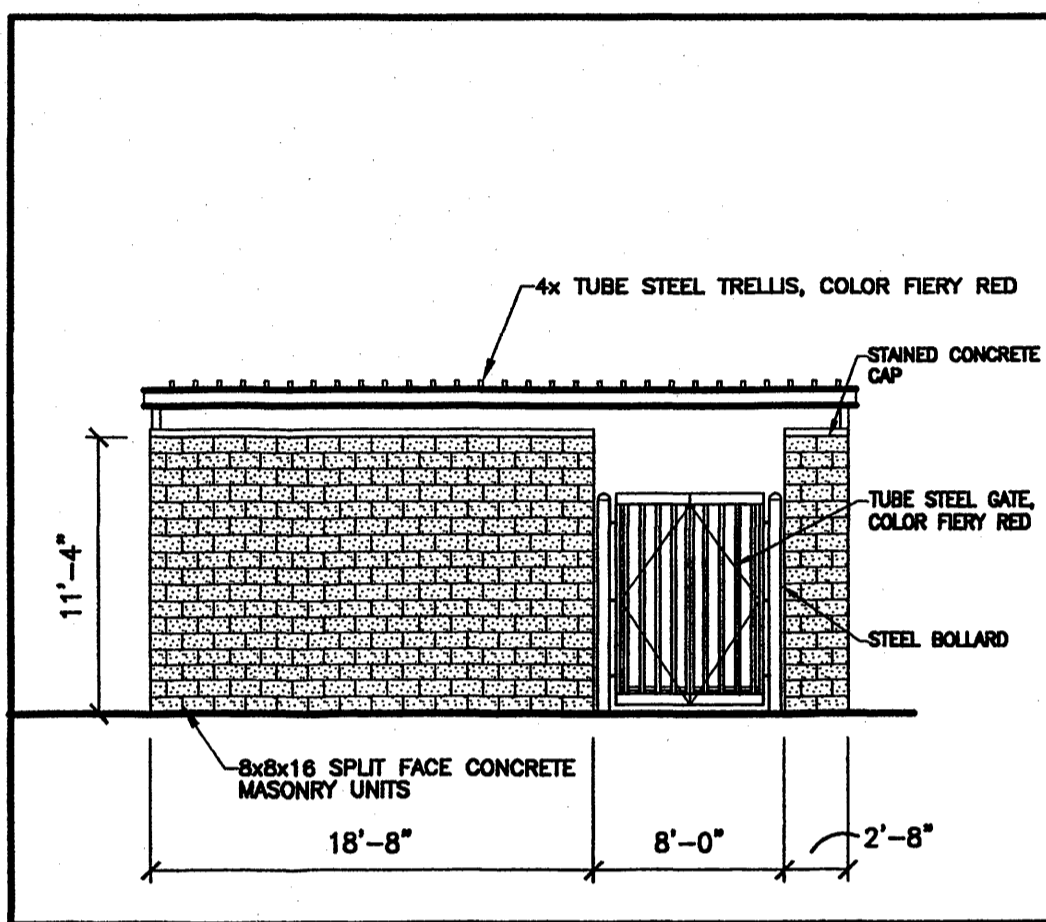
4 GUARD POST 3/4" = 1'-0"



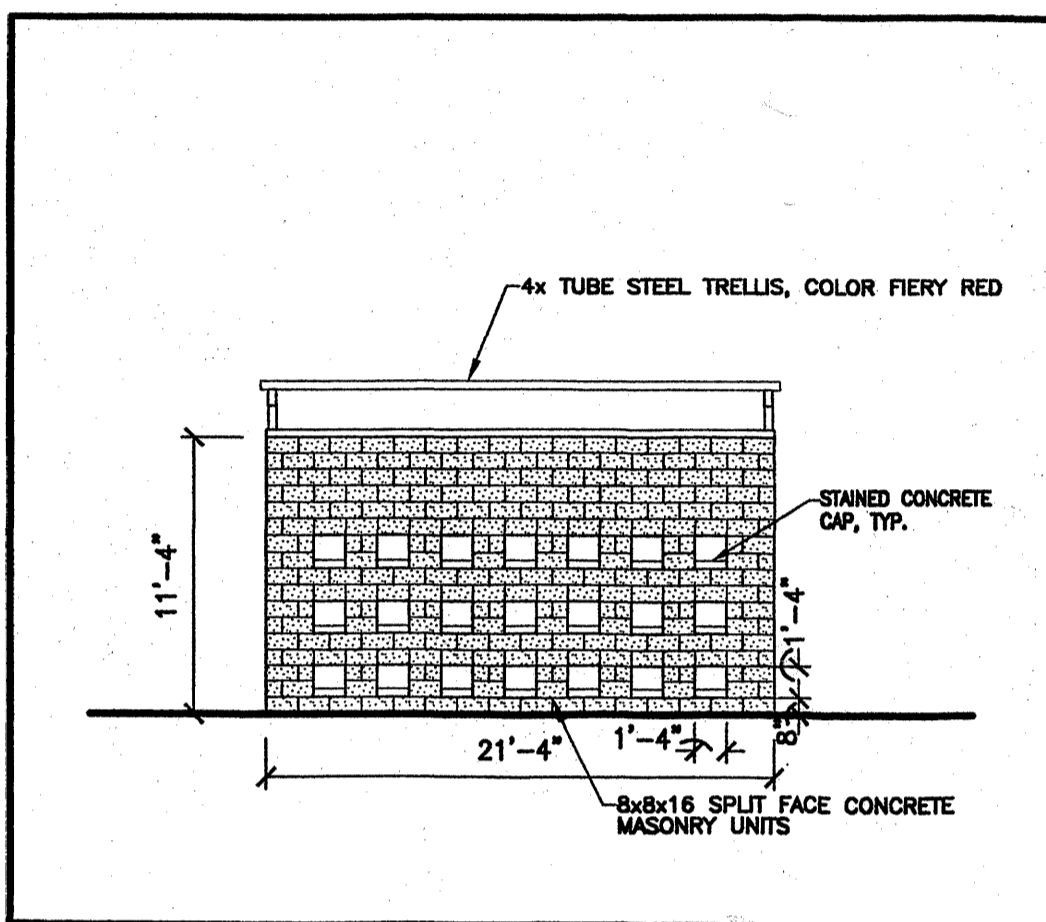
5 CHAIN LINK GATE 1/4" = 1'-0"



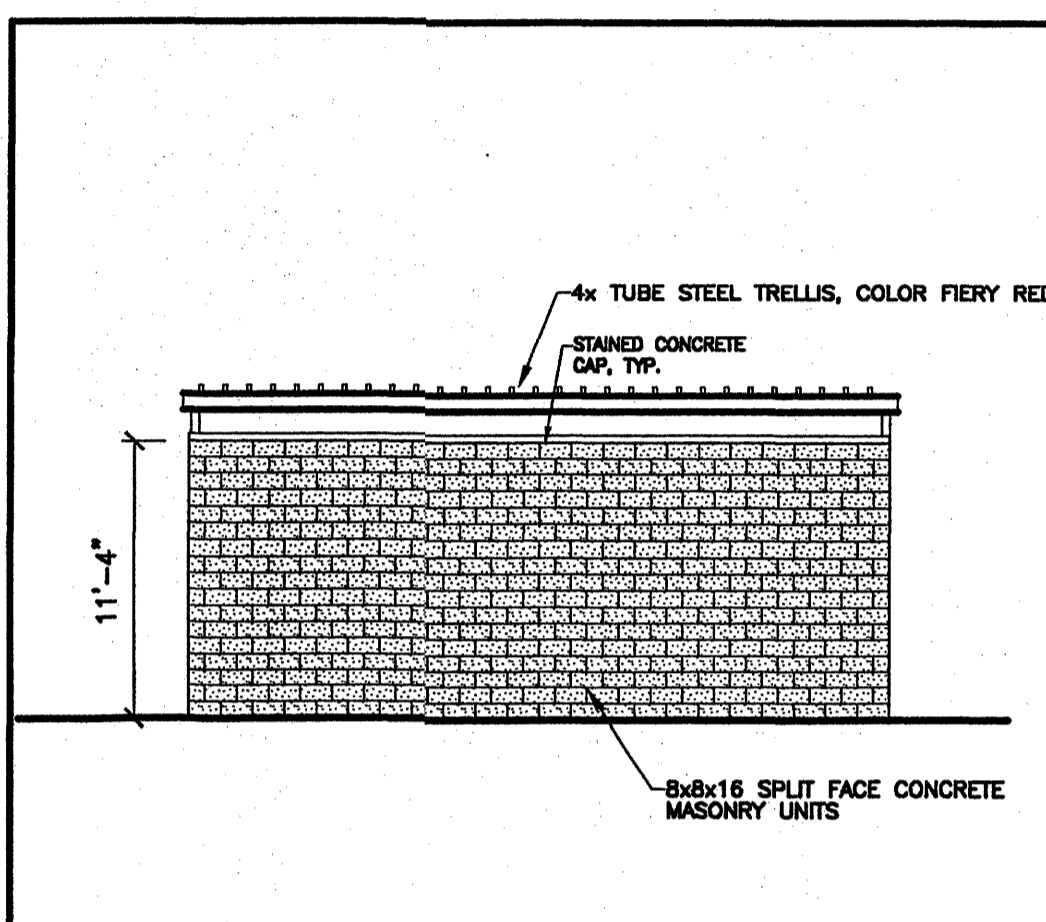
6 NORTH ELEVATION 1/8" = 1'-0"



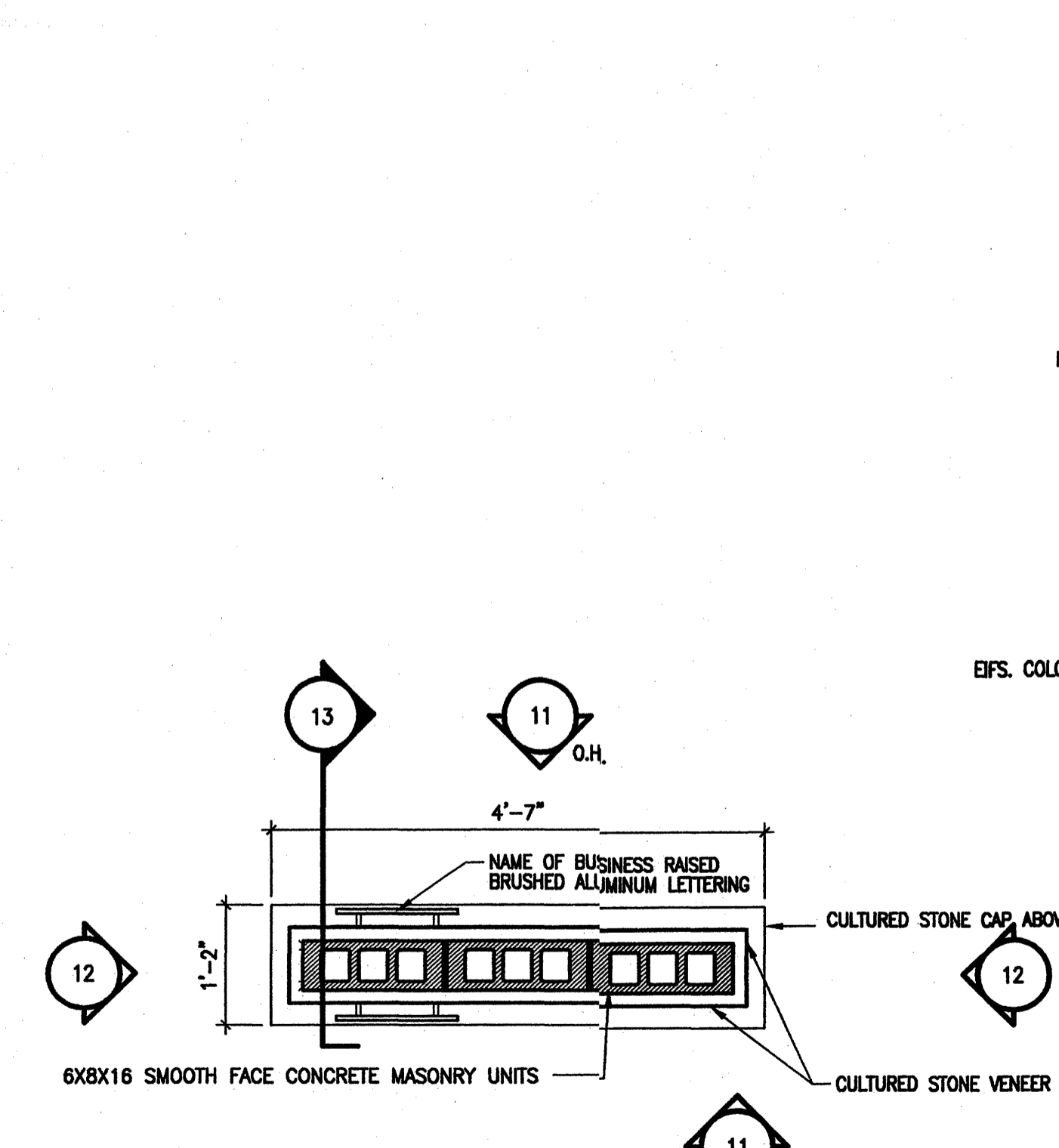
7 EAST ELEVATION 1/8" = 1'-0"



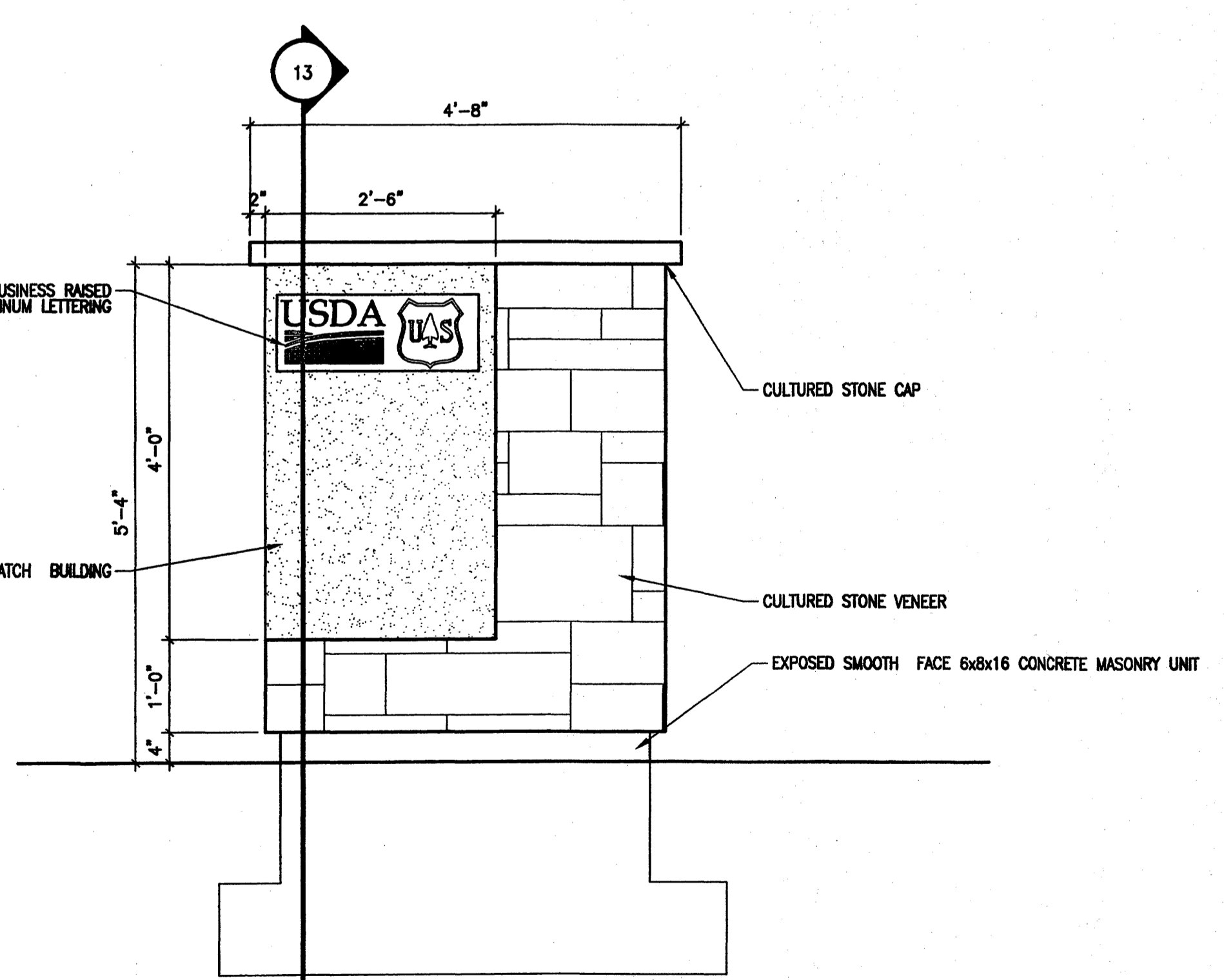
8 SOUTH ELEVATION 1/8" = 1'-0"



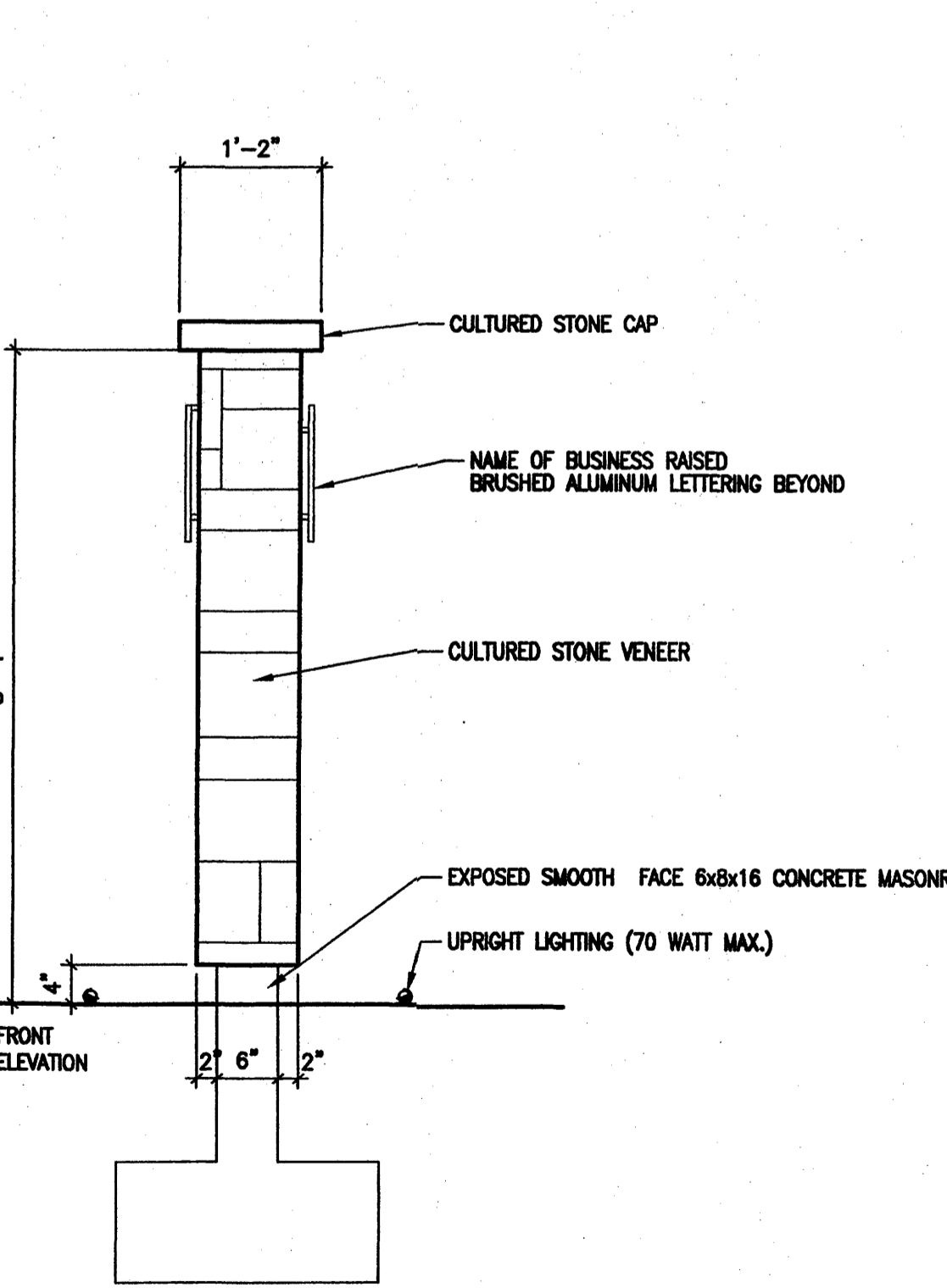
9 WEST ELEVATION 1/8" = 1'-0"



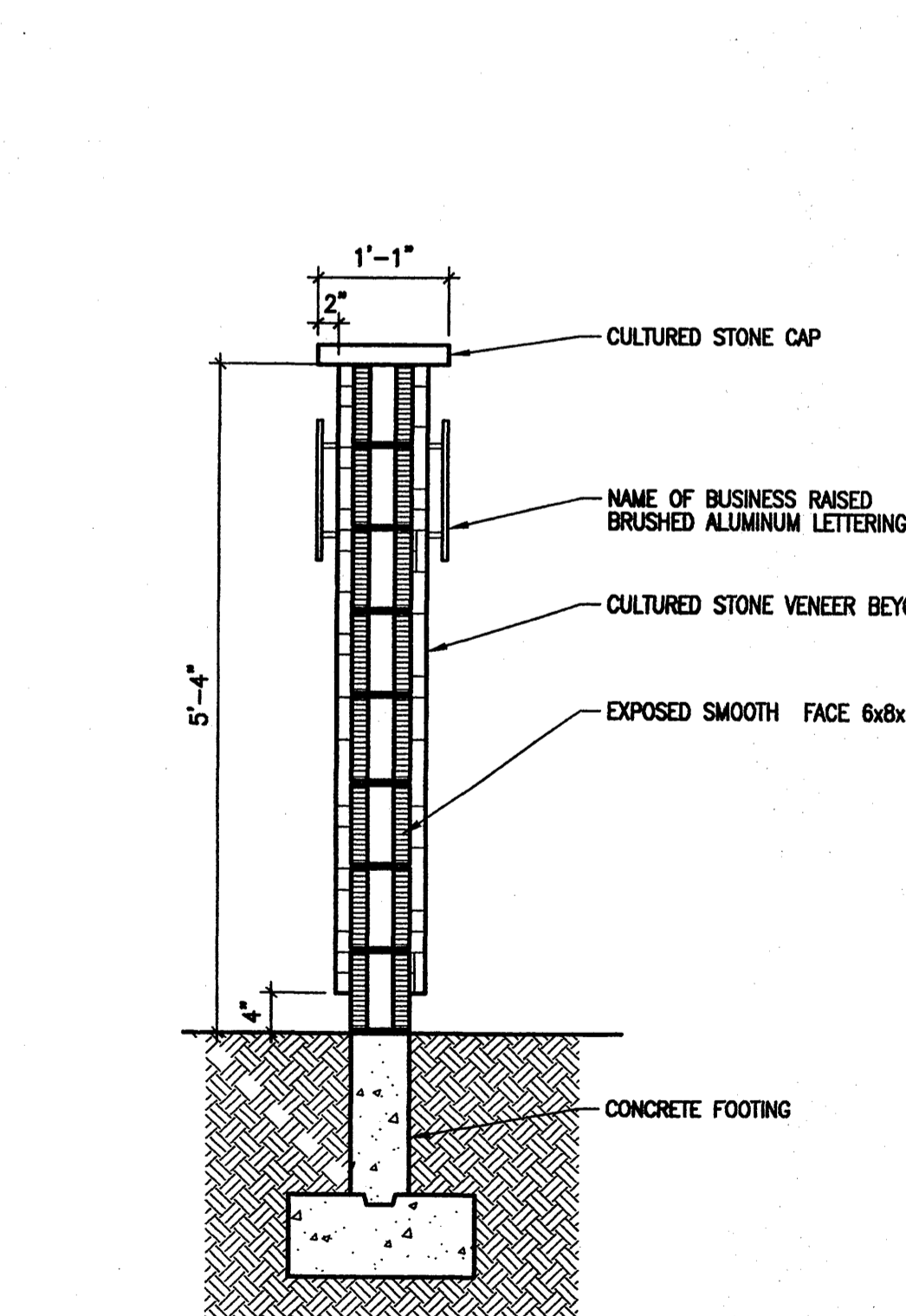
10 PLAN DETAIL SCALE: 3/4" = 1'-0"



11 FRONT ELEVATION SCALE: 3/4" = 1'-0"



12 SIDE ELEVATION SCALE: 3/4" = 1'-0"



13 SECTION SCALE: 3/4" = 1'-0"

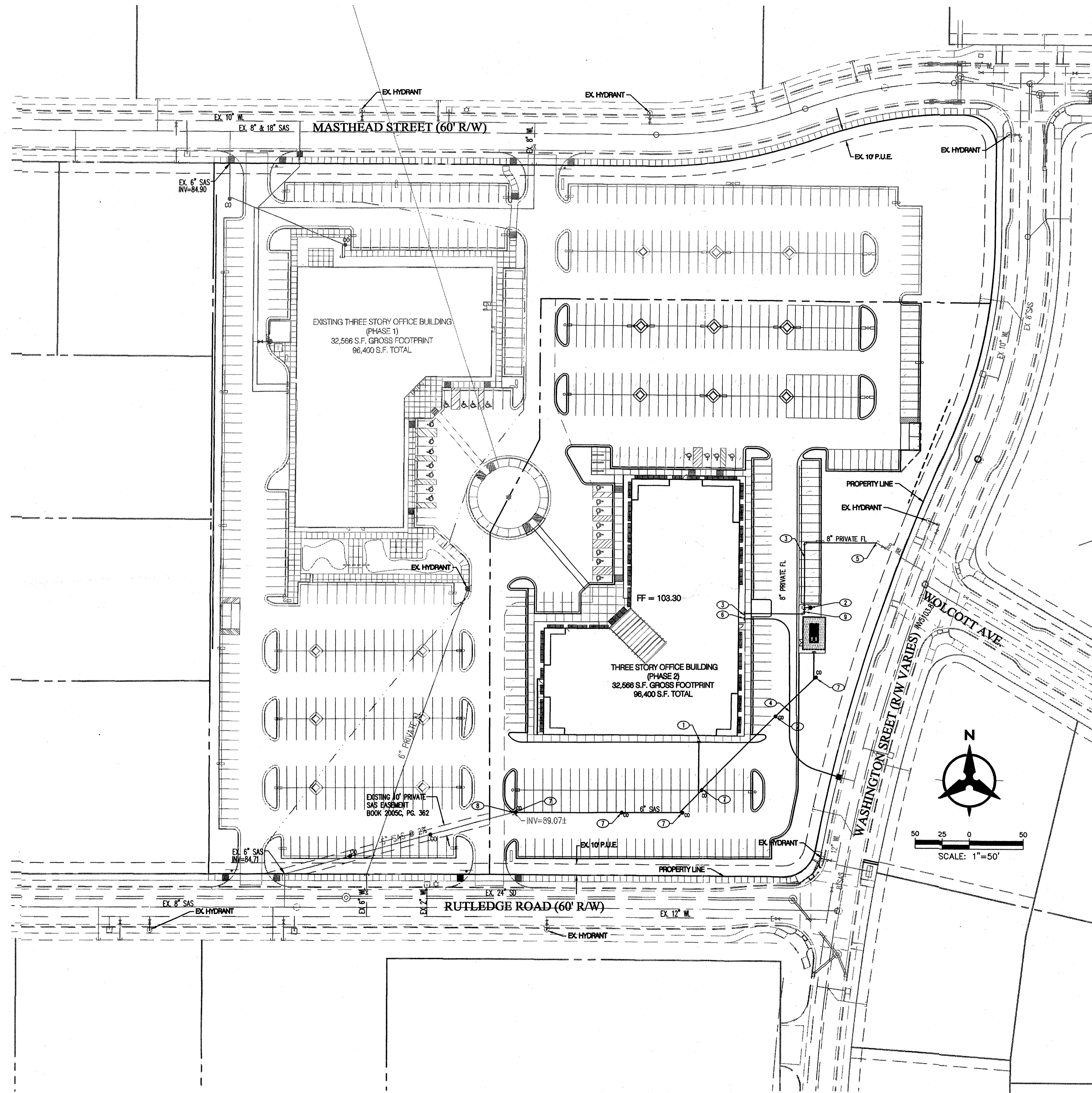
REVISIONS

MK	DATE	DESCRIPTION

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

JOB NUMBER: A0631  
DATE: MAY 2006  
SHEET NO:





**UTILITY KEYED NOTES**

- 6" SANITARY SEWER STUB
- NEW PRIVATE FIRE HYDRANT
- 8" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL.
- NEW 1 1/2" METERED WATER SERVICE. CONNECT TO EXISTING 2" WATER LINE STUB OUT.
- CONNECTION TO EXISTING 8" FIRE LINE STUB
- NEW 1 1/2" DOMESTIC WATER SERVICE TO BUILDING, BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
- SANITARY SEWER CLEANOUT
- CONNECT TO EX. 6" SAS STUB PROVIDED TO SITE WITH PHASE 1
- POST INDICATOR VALVE.

**LEGEND**

---	PROPERTY LINE
EX. 8" SAS	EX. 8" SANITARY SEWER & MANHOLE
EX. 24" SD	EX. 24" STORM DRAIN & MANHOLE
---	EX. INLET
EX. 12" WL	EX. 12" WATER LINE
⊗	EX. VALVE
⊠	EX. METER
⊙	EX. FIRE HYDRANT
⊛	EX. STREET LIGHT
SAS	PROPOSED SANITARY SEWER
●	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE



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ALBUQUERQUE, NM 87104  
505-265-8400 505-268-6954 FAX  
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ARCHITECT  
CONSULTANT

**PROJECT TITLE**

NEW MEXICO  
**MASTHEAD OFFICE COMPLEX  
AT JOURNAL CENTER 2**  
ALBUQUERQUE  
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Utility Plan**

REVISIONS

MK	DATE	DESCRIPTION
JDS	BJS	

JOB NUMBER: A0559  
DATE: MAY 17, 2006  
SHEET NO

**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**C3.0**

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May 18, 2006 - 3:21pm  
Plotted by: JSMITH

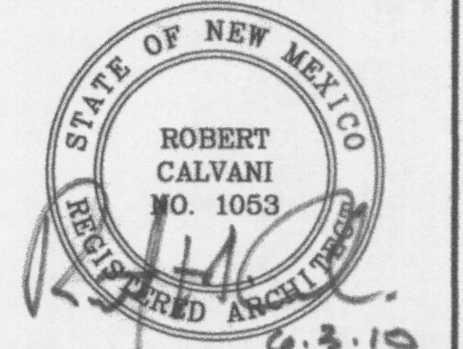


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ARCHITECT



CONSULTANT

PROJECT TITLE

**USFS  
PHASE II  
ALBUQUERQUE  
SERVICE CENTER  
HUMAN  
RESOURCES**

**ALBUQUERQUE  
NEW MEXICO**

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: CHECKED BY:

PROJECT NUMBER:

A10.08

DATE:

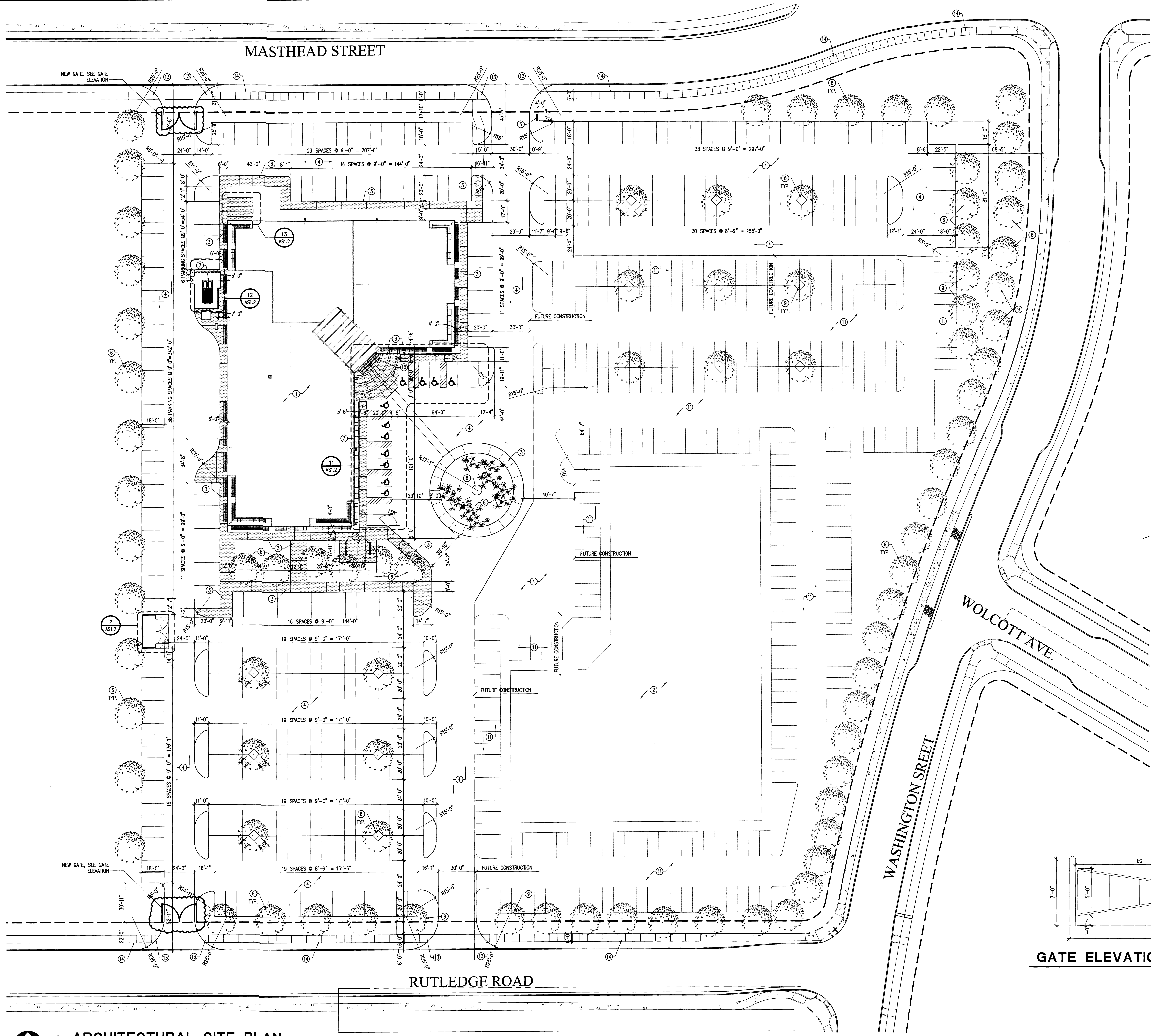
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SHEET TITLE:

**COLOR RENDERINGS**

SHEET NO:

**A0.1**

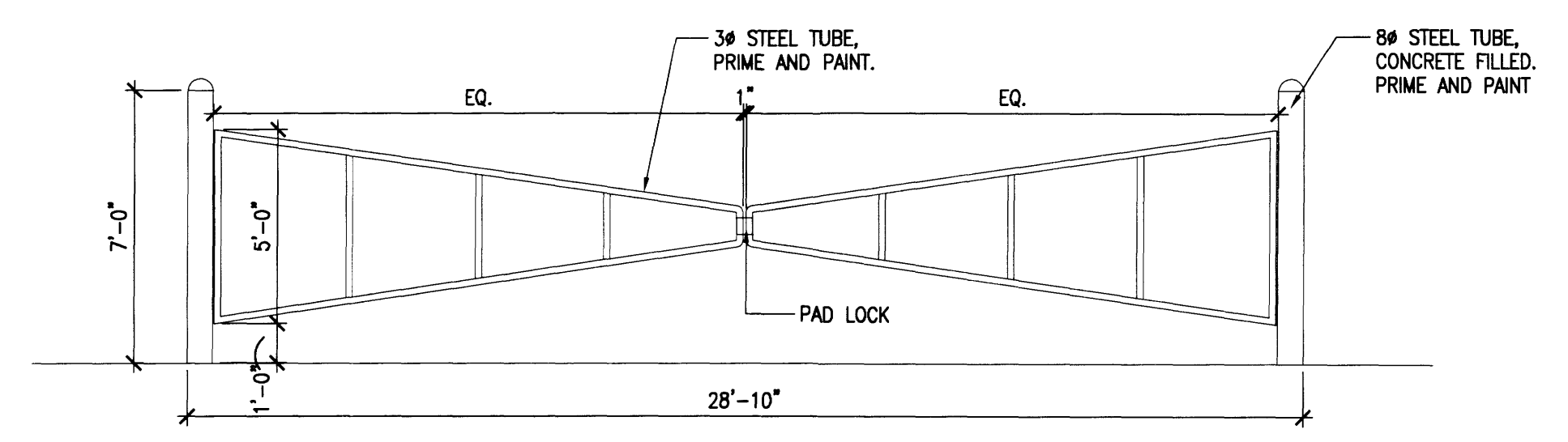


**GENERAL NOTES:**

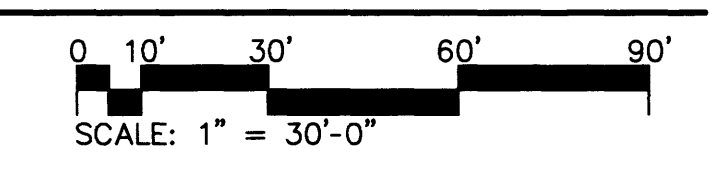
A. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION.

**KEYED NOTES:**

1. NEW BUILDING.
2. FUTURE BUILDING.
3. CONCRETE PAVING.
4. ASPHALT PAVING.
5. MONUMENTAL SIGN. SEE PLAN DETAIL 6/AS1.2.
6. LANDSCAPING.
7. CODING TOWER.
8. MONUMENTAL SCULPTURE AREA.
9. FUTURE LANDSCAPING.
10. FLAG POLE.
11. FUTURE PARKING.
12. BIKE RACK.
13. NEW CONCRETE CURB RAMP (TO MEET ICC/ANSI A117.1-1998).
14. NEW CONCRETE SIDEWALK.



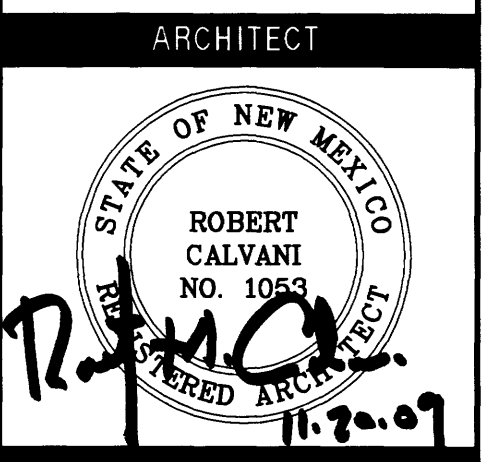
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SITE PLAN AMENDMENT  
PROJECT NO. 100586  
APPLICATION NO. ST 21-10184  
2 copies filed to meet  
12/2/07  
DATE



**ARCHITECTURAL SITE PLAN**



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PROJECT TITLE

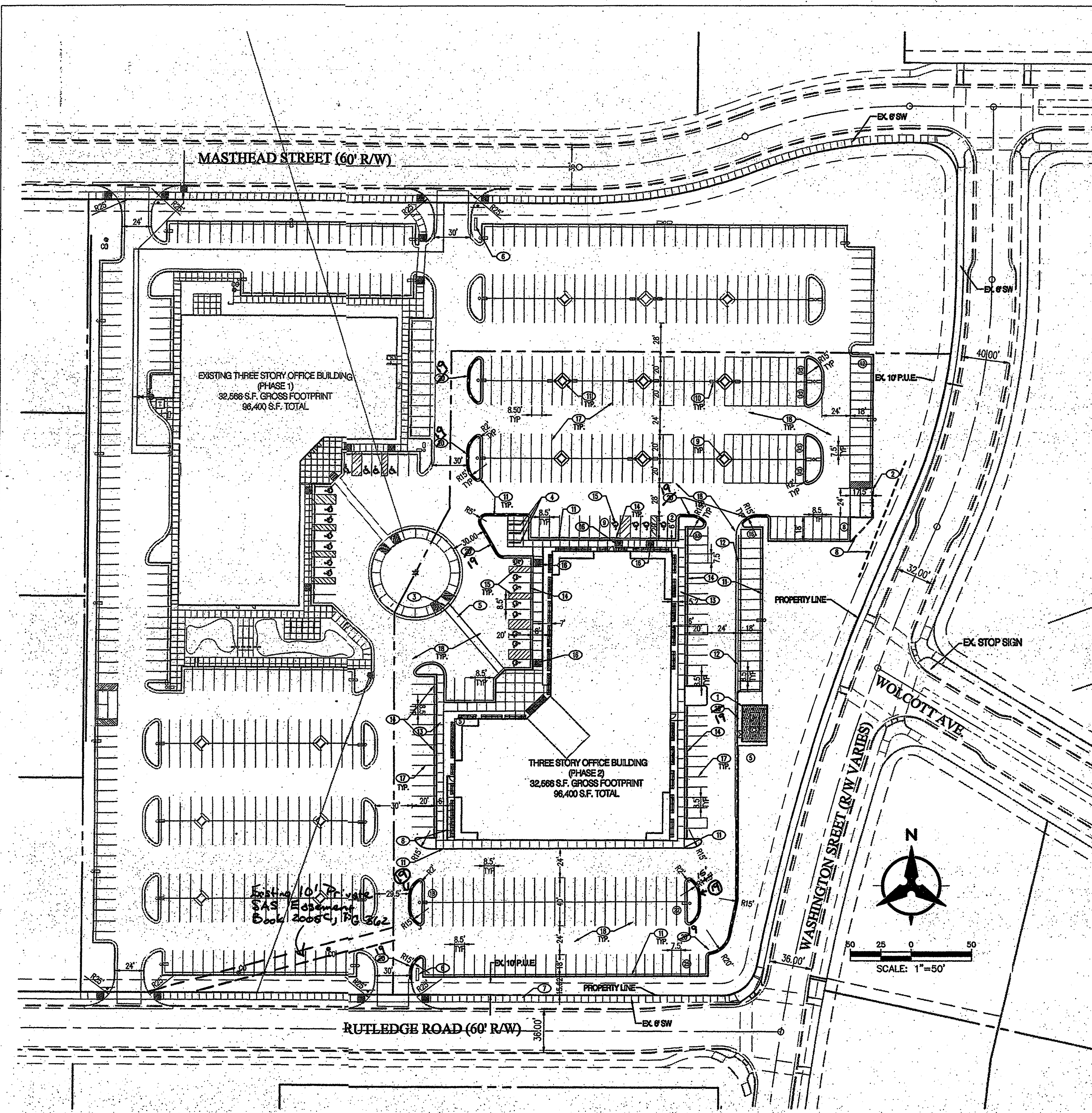
NEW MEXICO

**ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES**  
**ARCHITECTURAL SITE PLAN**

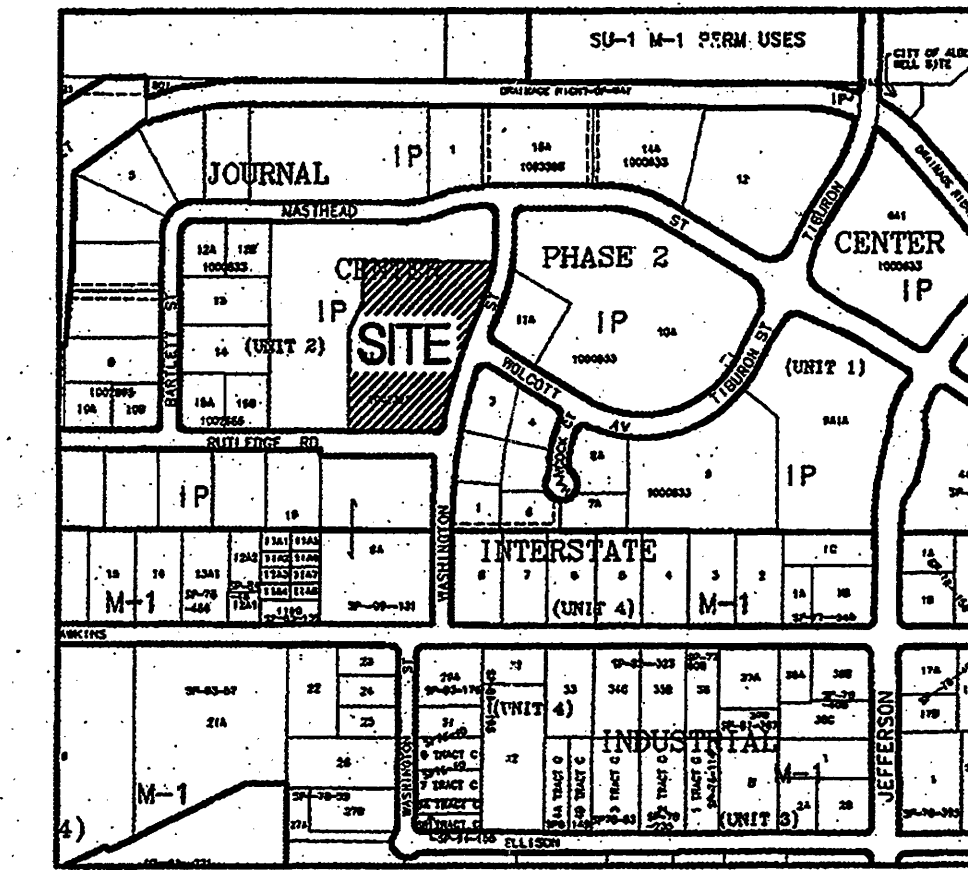
REVISIONS		
MK	DATE	DESCRIPTION

JOB NUMBER:  
A0462  
DATE:  
NOVEMBER 2009  
SHEET NO.

**AS1.1**



PROJECT DATA	
Zoning (Existing)	= IP
Site Area	= 10,0496 ac.
Building Area (Gross)	= 96,400 sf
<b>Parking Required*</b>	
Phase 1	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Subtotal Required	= 358
Phase 2	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Subtotal Required	= 358
Total Required	= 716
Handicap Accessible Stalls Required	= 24
<b>Parking Provided (Phase 1)</b>	
Standard Spaces	= 387
Handicap Accessible Stalls	= 12
Subtotal Provided	= 399
<b>Parking Provided (Phase 2)</b>	
Standard Spaces	= 316-211
Handicap Accessible Stalls	= 12
Subtotal Provided	= 328-223
Total Provided	= 727-222
Bicycle Parking Required (Phase 2)	= 20 (1/20 automobile spaces)
Bicycle Parking Provided (Phase 2)	= 21 (3 rows of 7 each)



ZONE ATLAS PAGE D-17-Z  
SCALE: 1"=600'  
LEGAL DESCRIPTION  
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, NOVEMBER, 2005

**NCA**  
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ALBUQUERQUE, NM 87104  
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WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

NEW MEXICO  
MASTHEAD OFFICE COMPLEX  
AT JOURNAL CENTER 2

ALBUQUERQUE  
ATTENDED  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Site Plan

REVISIONS	
MK	DATE DESCRIPTION
JDS	BJS
JOB NUMBER: A0559	
DATE: MAY 17, 2006	
SHEET NO <b>C1.0</b>	

- KEYED NOTES**
- 14' HIGH MASONRY SCREEN WALL TO MATCH BUILDING. SEE ELEVATIONS.
  - MASONRY REFUSE ENCLOSURE TO MATCH BUILDING.
  - SAWCUT & REMOVE EXISTING SIDEWALK AND CURB & GUTTER. INSTALL HANDICAP RAMP / MIN. 5'x5' LANDING.
  - BICYCLE PARKING (21 SPACES). REF. DETAIL ON SHEET C1.1.
  - 6" WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2% MAX. CROSS SLOPE). PIGMENT COLOR PER ARCHITECT.
  - MONUMENT SIGN, SEE DETAILS.
  - EXISTING 6" WIDE SIDEWALK, INSTALLED WITH PHASE 1.
  - 4' HIGH MASONRY RETAINING WALL. RETAINING WALL SHALL BE SPLIT FACE CMU TO COMPLEMENT BUILDING.
  - 6"x6" TREE PLANTER (TYP). REF LANDSCAPE PLANS FOR TREATMENT.
  - LIGHT POLE. PER DETAILS SHEET C1.1.
  - MEDIAN CURB & GUTTER PER COA STD DWG 2415B (6" HIGH CURB).
  - CONC VALLEY GUTTER PER COA STD DWG 2421 (SECTION A-A).
  - 4" THICK CONCRETE SIDEWALK PER COA STD DWG 2430.
  - INSTALL PRECAST CONCRETE WHEELSTOP PER MANUFACTURER'S RECOMMENDATIONS.
  - INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.1.
  - INSTALL CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2441.
  - INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
  - INSTALL NEW ASPHALT PAVEMENT PER DETAILS SHEET C1.1.
  - INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.

Albuquerque  
Building & Safety  
NOV - 5 2007  
I.B.C.  
Plan Check Section

PROJECT NUMBER:	1004556
Application Number:	06 DRB-00707
Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>[Signature]</i> Traffic Engineering, Transportation Division	6-14-06 Date
<i>[Signature]</i> Water Utility Department	6-14-06 Date
<i>[Signature]</i> Parks and Recreation Department	6/14/06 Date
<i>[Signature]</i> City Engineer	6/14/06 Date
<i>[Signature]</i> N/A City	7/31/06 Date
* Environmental Health Department (conditional)	
<i>[Signature]</i> Solid Waste Management	8/1/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8/1/06 Date

\*Environmental Health, if necessary

**Bohannon & Huston**  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

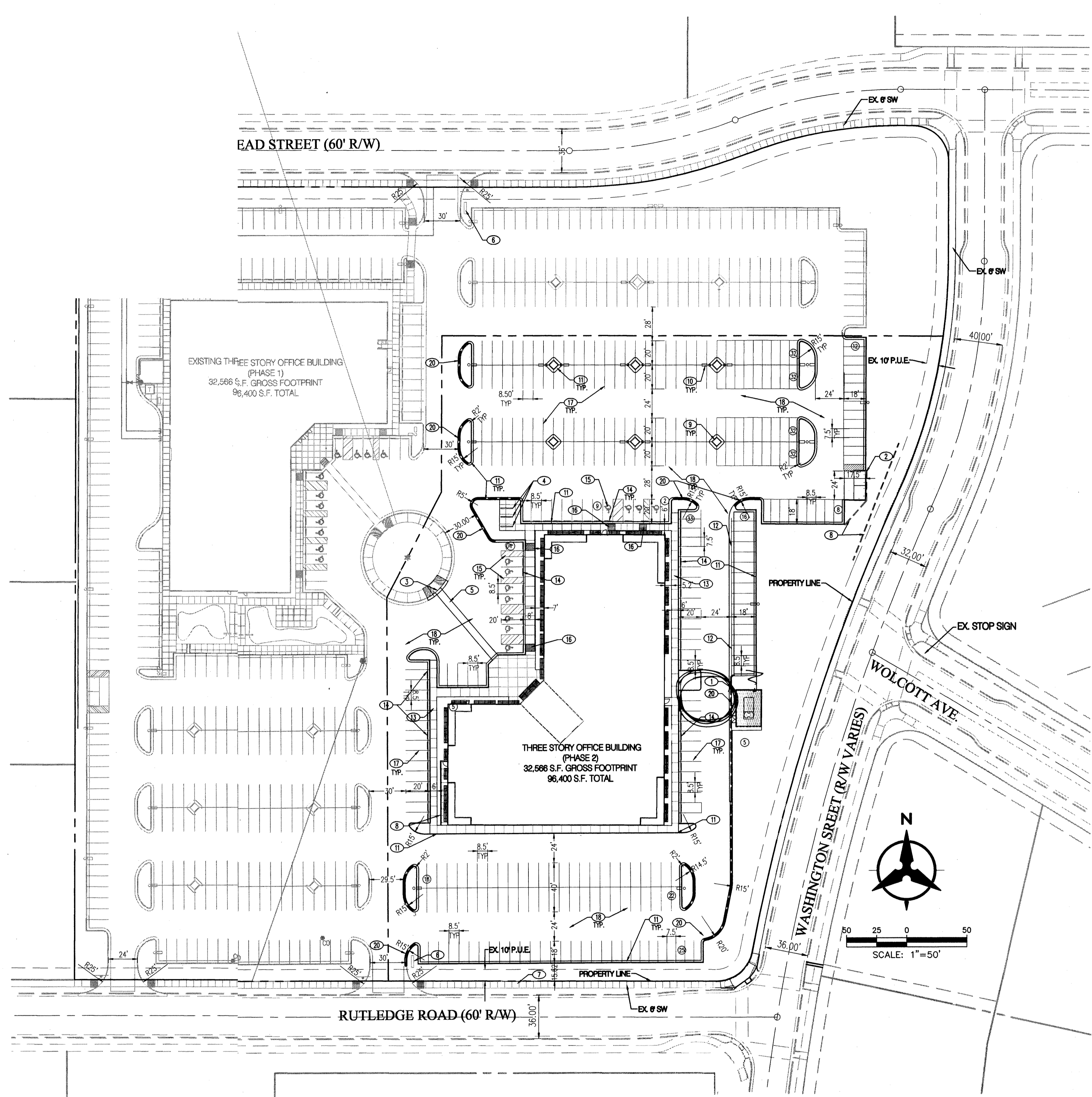
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

**DRAWING INDEX**

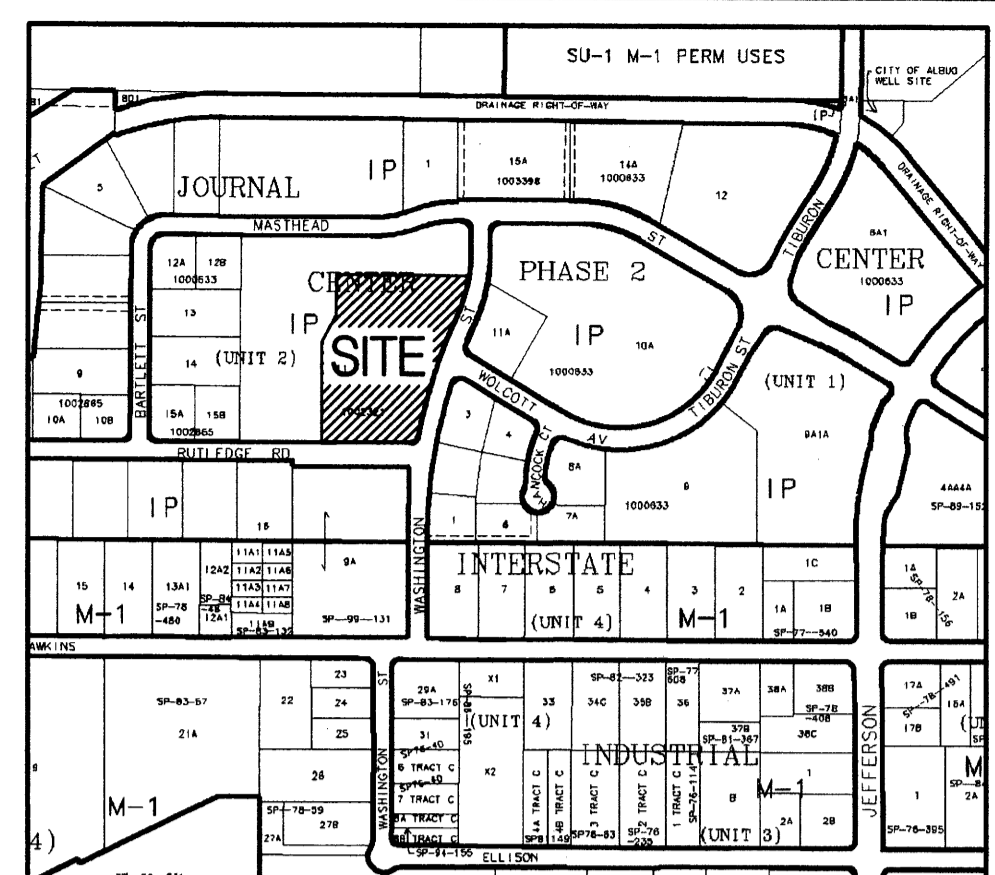
C1.0	- SITE PLAN
C1.1	- SITE DETAILS
C1.2	- LANDSCAPE PLAN
C2.0	- PRELIMINARY GRADING PLAN
A2.1	- BUILDING ELEVATIONS
A2.2	- BUILDING ELEVATIONS
AS1.1	- ARCH SITE DETAILS
C3.0	- CONCEPTUAL UTILITY PLAN

- SITE PLAN NOTES**
- SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE ARCHITECTURALLY COMPATIBLE TO BUILDING.
  - UTILITY BOXES SHALL BE SCREENED WITH NATIVE LANDSCAPING.
  - SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.
  - ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
  - AT THE TIME COMMON AREA IRRIGATION IS CONNECTED TO JOURNAL CENTER 2 COMMON AREA IRRIGATION SYSTEM, THE DEVELOPER "ISURON INVESTMENT, LLC" MUST BE CONTACTED.

P:\060240\060240.dwg (General)SDP for BP(Site Development Plan.dwg, Layout)  
May 18, 2006 - 3:14pm  
Plotted by: JSMITH



PROJECT DATA	
Zoning (Existing)	= IP
Site Area	= 10,0496 ac.
Building Area (Gross)	= 96,400 sf
Parking Required*	
Phase 1	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Subtotal Required	= 358
Phase 2	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 32,050sf @ 1/300	= 106.8
3rd flr office rentable 29,360sf @ 1/300	= 97.9
Subtotal Required	= 358
Total Required	= 716
Handicap Accessible Stalls Required	= 24
Parking Provided (Phase 1)	
Standard Spaces	= 387
Handicap Accessible Stalls	= 12
Subtotal Provided	= 399
Parking Provided (Phase 2)	
Standard Spaces	= 310
Handicap Accessible Stalls	= 12
Subtotal Provided	= 332
Total Provided	= 731
Bicycle Parking Required (Phase 2)	= 20 (1/20 automobile spaces)
Bicycle Parking Provided (Phase 2)	= 21 (3 rows of 7 each)
* Per note 8 of the plat of lots 11-A and 11-B (recorded 11/03/2005) there is a reciprocal cross parking easement on both tracts.	



ZONE ATLAS PAGE D-17-Z  
SCALE: 1"=600'

LEGAL DESCRIPTION  
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, NOVEMBER, 2005

**AMENDED SPBP**  
**PRELIMINARY PLAN**  
**APPROVED BY DRB**  
ON \_\_\_\_\_

*on recorded  
on 6/24*

**KEYED NOTES**

- 14' HIGH MASONRY SCREEN WALL TO MATCH BUILDING. SEE ELEVATIONS.
- MASONRY REFUSE ENCLOSURE TO MATCH BUILDING.
- SAWCUT & REMOVE EXISTING SIDEWALK AND CURB & GUTTER. INSTALL HANDICAP RAMP / MIN. 5'x5' LANDING
- BICYCLE PARKING (21 SPACES). REF. DETAIL ON SHEET C1.1.
- 6' WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2X MAX. CROSS SLOPE). PIGMENT COLOR PER ARCHITECT.
- MONUMENT SIGN, SEE DETAILS.
- EXISTING 6' WIDE SIDEWALK, INSTALLED WITH PHASE 1.
- 4' HIGH MASONRY RETAINING WALL. RETAINING WALL SHALL BE SPLIT FACE CMU TO COMPLEMENT BUILDING.
- 6'x6' TREE PLANTER (TYP). REF LANDSCAPE PLANS FOR TREATMENT.
- LIGHT POLE. PER DETAILS SHEET C1.1.
- MEDIAN CURB & GUTTER PER COA STD DWG 2415B (6" HIGH CURB).
- CONC VALLEY GUTTER PER COA STD DWG 2421 (SECTION A-A).
- 4" THICK CONCRETE SIDEWALK PER COA STD DWG 2430.
- INSTALL PRECAST CONCRETE WHEELSTOP PER MANUFACTURER'S RECOMMENDATIONS.
- INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.1.
- INSTALL CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2441.
- INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
- INSTALL NEW ASPHALT PAVEMENT PER DETAILS SHEET C1.1.
- INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.

**SITE PLAN NOTES**

- SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE ARCHITECTURALLY COMPATIBLE TO BUILDING.
- UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
- SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
- AT THE TIME COMMON AREA IRRIGATION IS CONNECTED TO JOURNAL CENTER 2 COMMON AREA IRRIGATION SYSTEM, THE DEVELOPER "TIBURON INVESTMENT, LLC" MUST BE CONTACTED.

**DRAWING INDEX**

- C1.0 - SITE PLAN
- C1.1 - SITE DETAILS
- L1.0 - LANDSCAPE PLAN
- C2.0 - PRELIMINARY GRADING PLAN
- A2.1 - BUILDING ELEVATIONS
- A2.2 - BUILDING ELEVATIONS
- AS1.1 - ARCH SITE DETAILS
- C3.0 - CONCEPTUAL UTILITY PLAN

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**AMENDED**

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

\*Environmental Health, if necessary

**NCA**  
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ALBUQUERQUE, NM 87104  
505-255-6400 505-268-6954 FAX  
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

NEW MEXICO

**MASTHEAD OFFICE COMPLEX  
AT JOURNAL CENTER 2**

ALBUQUERQUE  
**AMENDED**  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Site Plan

REVISIONS

NO.	DATE	DESCRIPTION

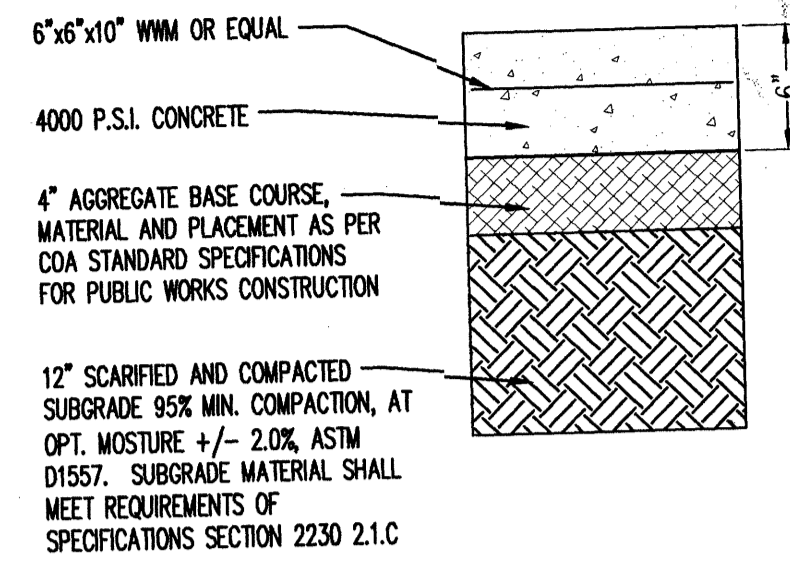
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JDS BJS  
JOB NUMBER:  
A0559

DATE:  
MAY 17, 2006  
SHEET NO

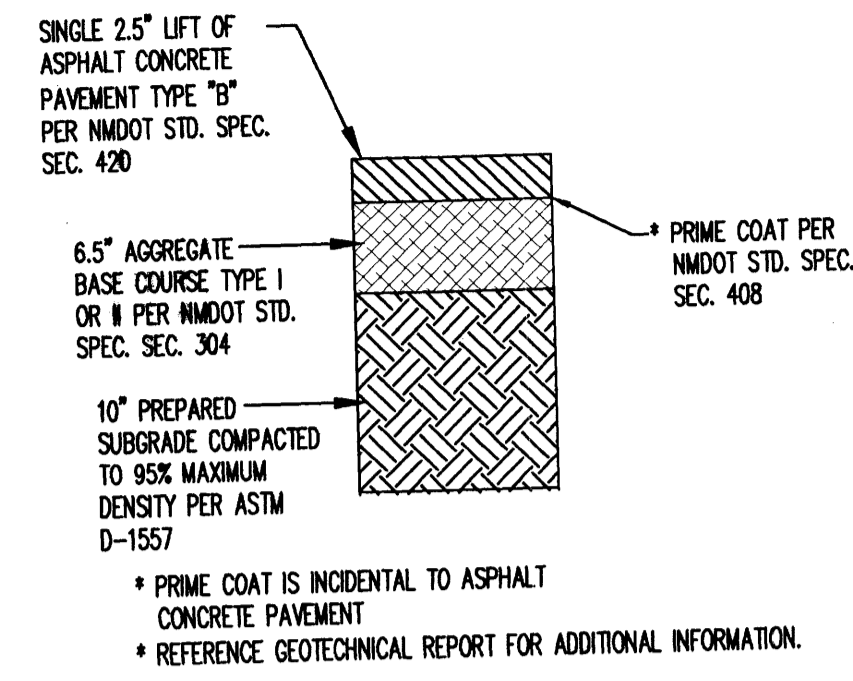
**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

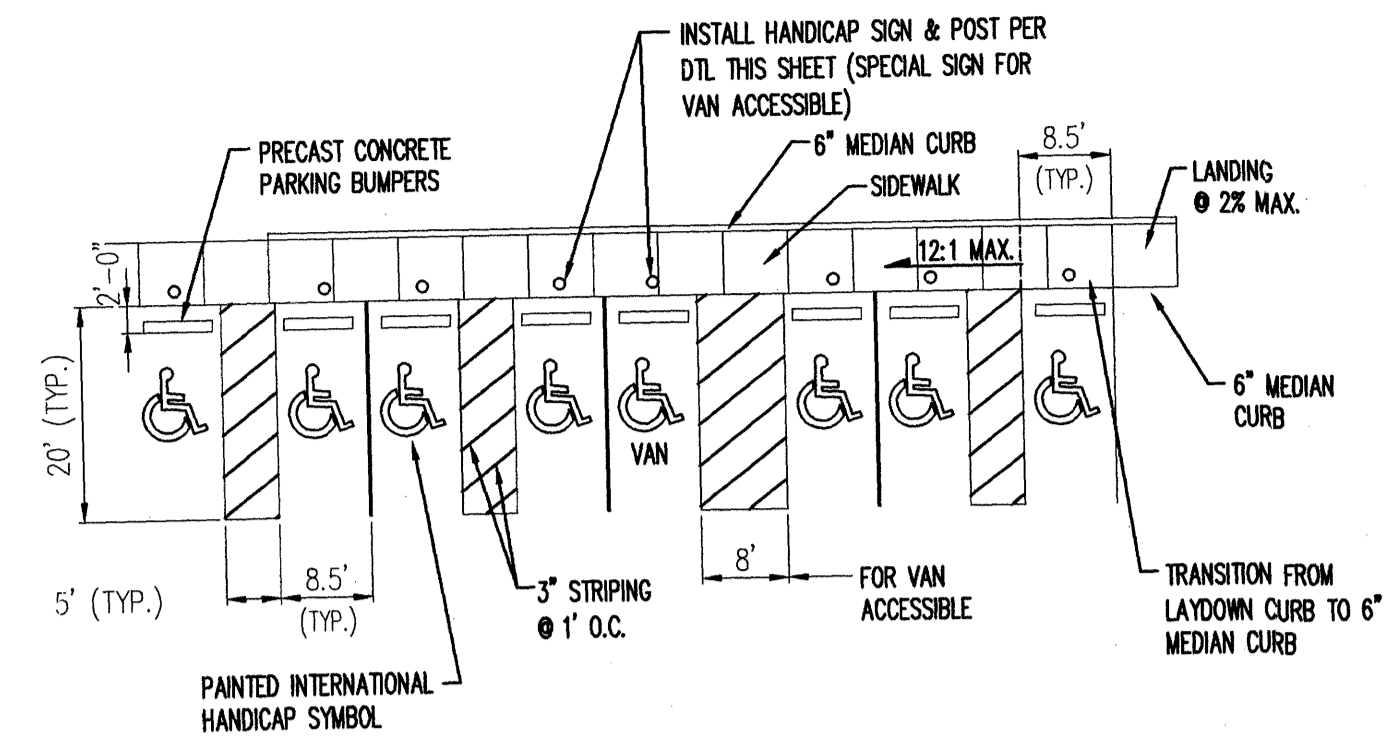
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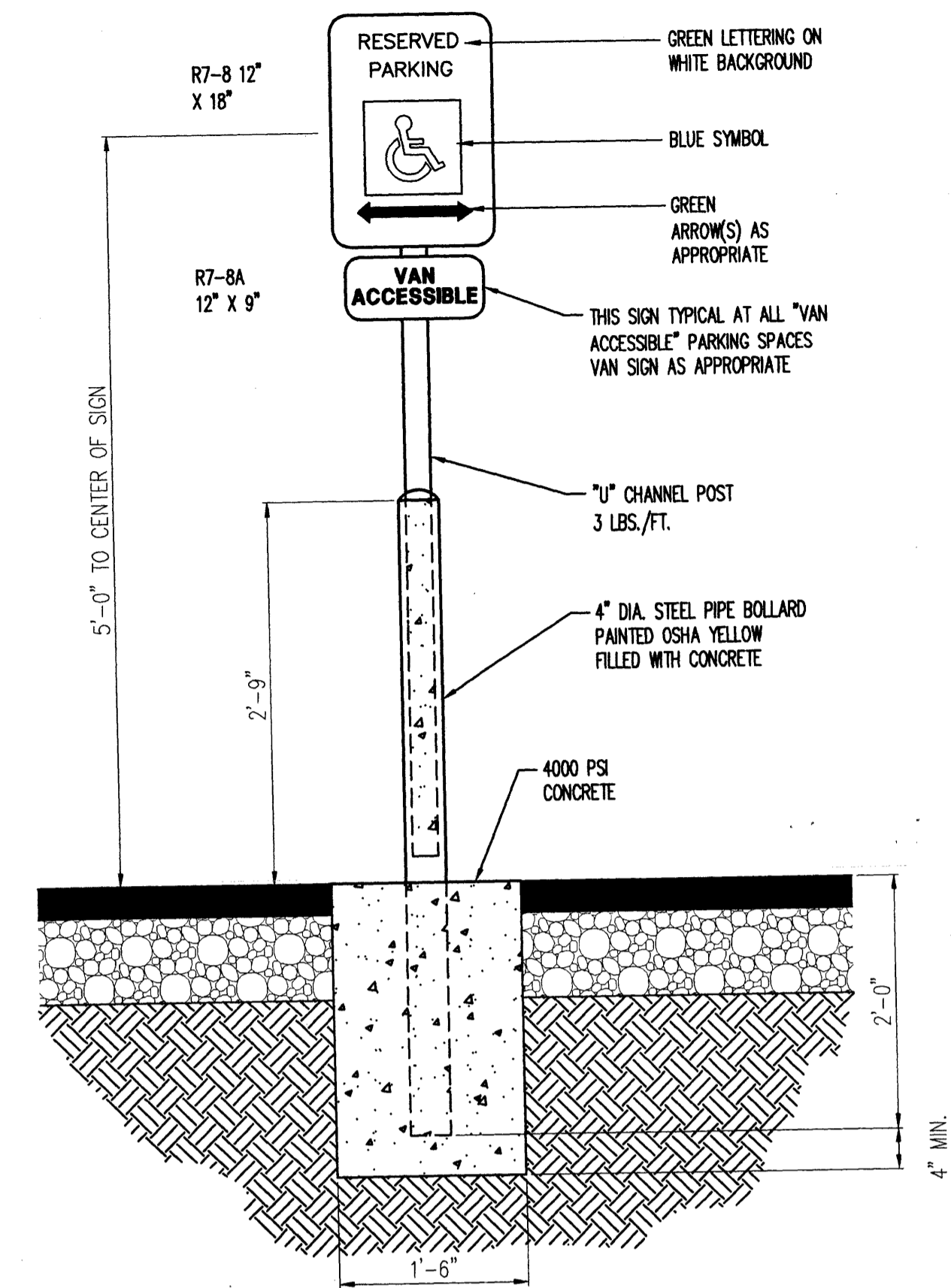
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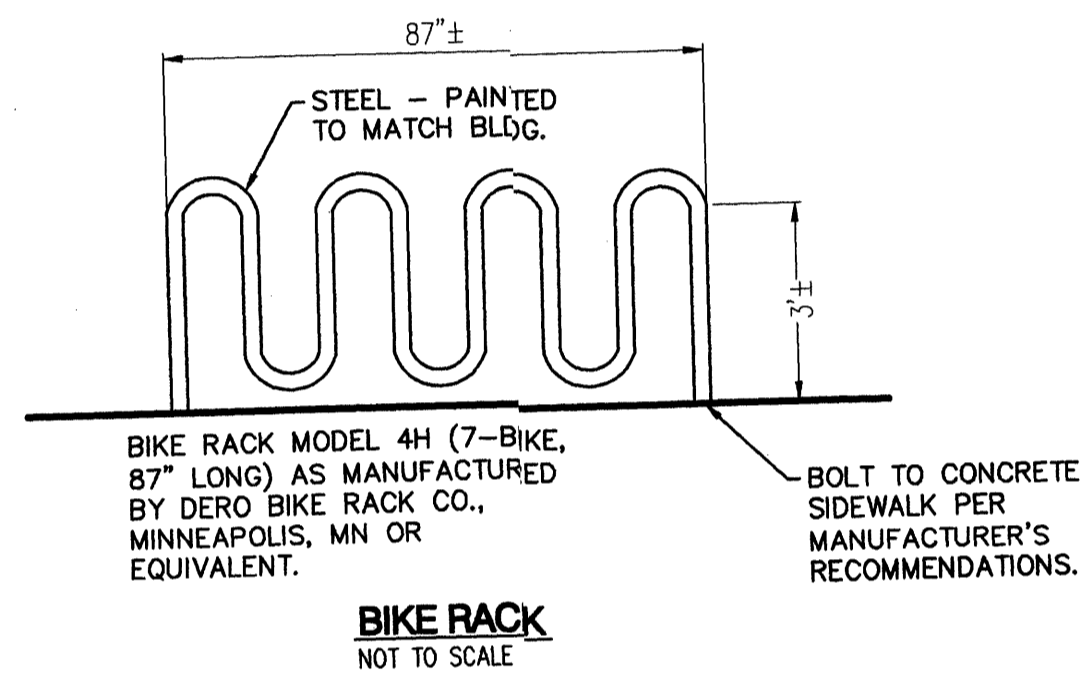
**LIGHT DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



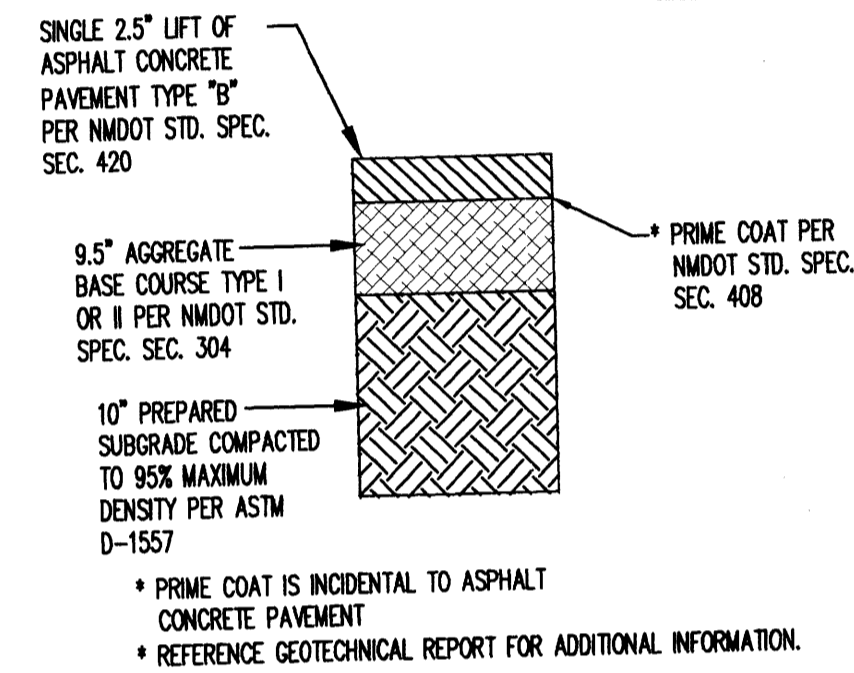
**HANDICAP PARKING DETAIL**  
NOT TO SCALE



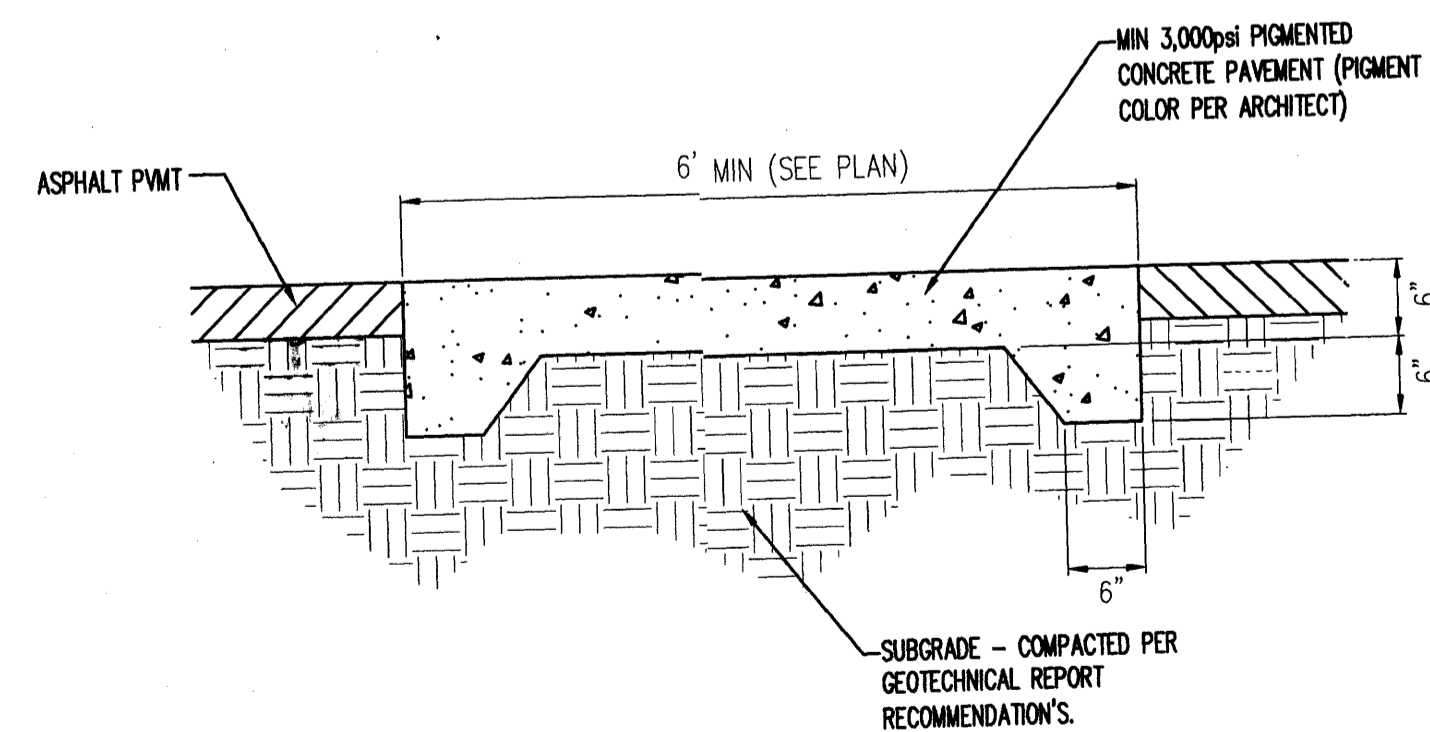
**HANDICAP PARKING SIGN MOUNTING DETAIL**  
N.T.S.  
ONE SIGN SHALL BE INSTALLED AT EACH HANDICAP SPACE.



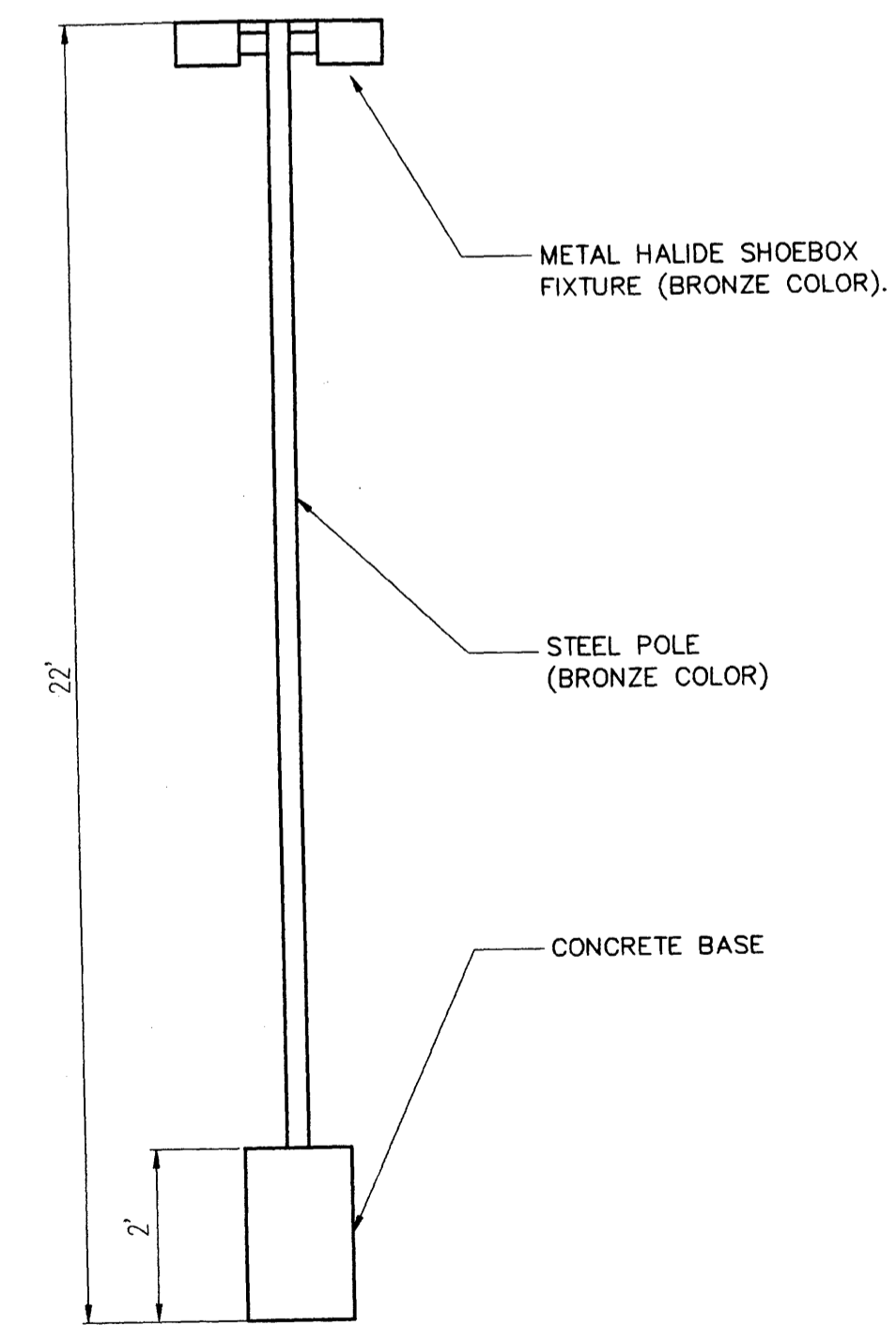
**BIKE RACK**  
NOT TO SCALE



**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



**SIDEWALK CROSSING DETAIL**  
NOT TO SCALE



**LIGHT POLE**  
NOT TO SCALE

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ARCHITECT  
CONSULTANT

PROJECT TITLE  
NEW MEXICO

MASTHEAD OFFICE COMPLEX  
AT JOURNAL CENTER 2  
ALBUQUERQUE  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Site Details

REVISIONS		
MK	DATE	DESCRIPTION
DRAWN BY: CHECKED BY:		
JDS	BJS	
JOB NUMBER:		
A0559		
DATE:		
MAY 17, 2006		
SHEET NO		

**C1.1**



ARCHITECTS - PLANNERS - AIA

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MATHEAD OFFICE COMPLEX  
AT JOURNAL CENTER 2  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

NEW MEXICO

LANDSCAPING PLAN

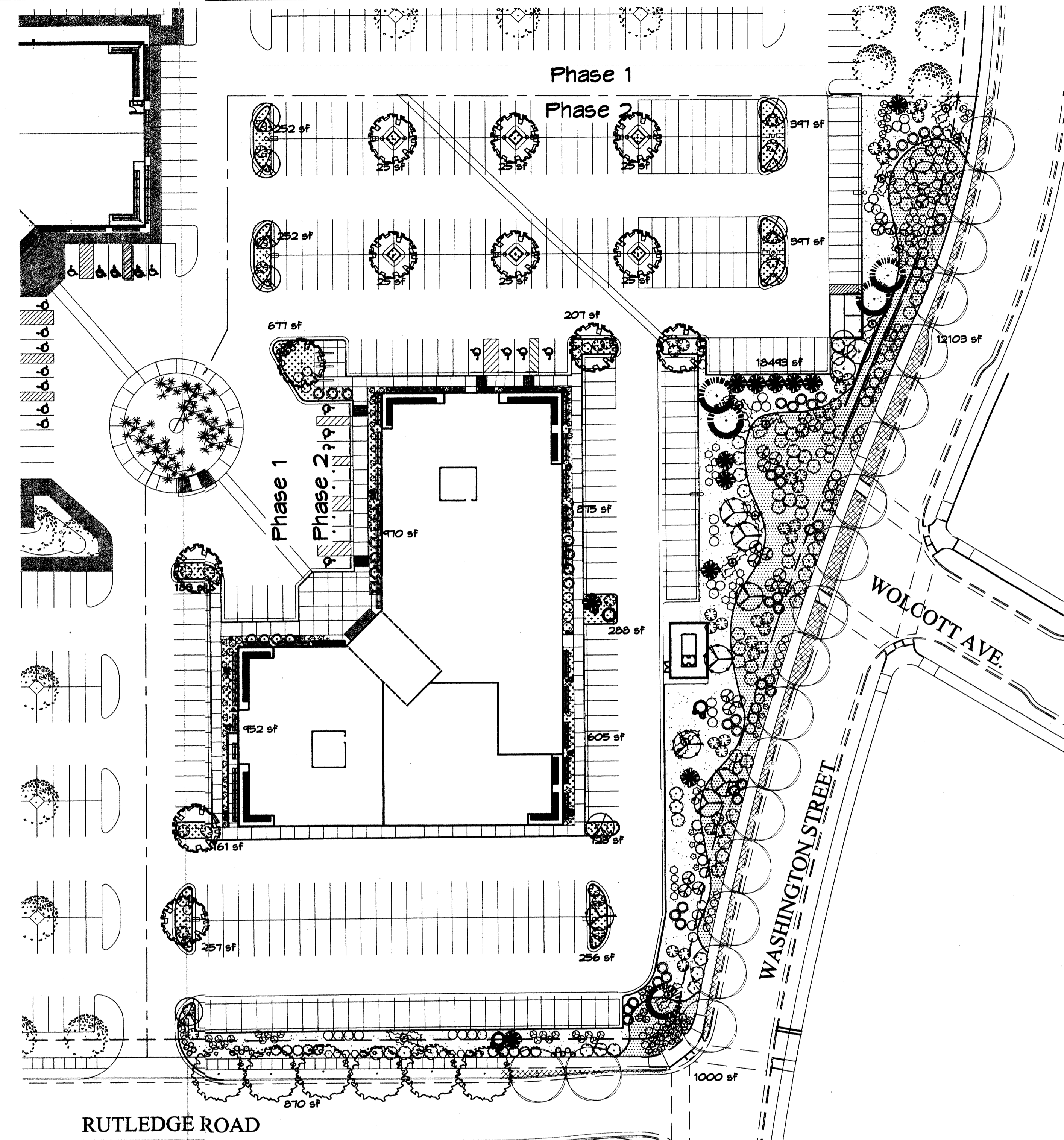
ALBUQUERQUE

1 5-17-06 site revision add  
MK DATE DESCRIPTION

A0559

NOVEMBER 2005

L1.0



### PLANT LEGEND

- EXISTING BERINDA ASH
- BERINDA ASH (H) 6 Fraxinus spp. 2" Cal. (PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
- CHINESE PISTACHE (M) 12 Pistachia chinensis 2" Cal.
- OAK (M) 8 Quercus spp. 2" Cal.
- REDBUD (M) 10 Cercis reniformis 2" Cal.
- AUSTRIAN PINE (M) 5 Pinus nigra 6"-8"
- THORNLESS HAWTHORN (M+) 5 Crataegus crus-galli inermis 15 Gal. 225sf
- SOTOL 12 Dasylirion wheeleri 5 Gal. 36sf
- MUGO PINE (M) 3 Pinus mugo 5 Gal. 36sf
- CURLLEAF MTN MAHOGANY (L) 70 Carcopus ledifolius 5 Gal. 100sf
- THREE-LEAF SUMAC (L) 38 Rhus trilobata 5 Gal. 36sf
- APACHE PLUME (L) 67 Falugia paradoxa 5 Gal. 42sf
- THREADGRASS (M) 89 Stipa tenuissima 1 Gal. 4sf
- AUTUMN SAGE (M) 60 Salvia greggii 5 Gal. 9sf
- LAVENDER (M) 34 Lavandula angustifolia 1 Gal. 9sf
- ARP ROSEMARY (M) 54 Rosmarinus officinalis 5 Gal. 36sf
- POWIS CASTLE SAGE (L) 28 Artemisia x powis castle 5 Gal. 25sf
- WINTER JASMINE (L+) 68 Jasminum nudiflorum 5 Gal. 144sf
- WILDFLOWER 50 1 Gal. 4sf
- GREYLEAF COTONEASTER 36 Cotoneaster buxifolius 5 Gal. 81sf each symbol indicates 3 plants
- BOULDERS (41)
- NATURAL EDGE
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
- GREY CRUSHERFINES WITH FILTER FABRIC
- OVERSIZED GRAVEL WITH FILTER FABRIC
- EXISTING LANDSCAPING

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

IRRIGATION NOTES:  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

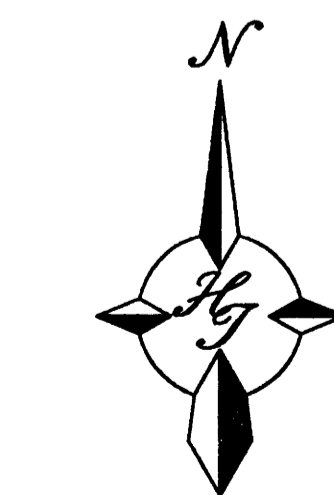
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

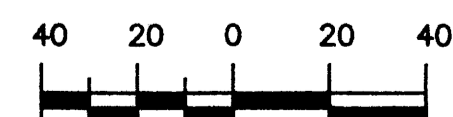
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. This will be addressed as an infield-change order.

### LANDSCAPE CALCULATIONS

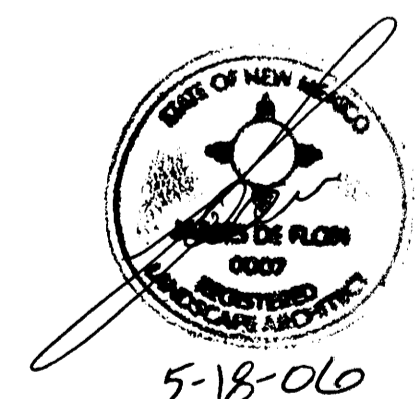
TOTAL LOT AREA	182360	square feet
TOTAL BUILDINGS AREA	34975	square feet
OFFSITE AREA	870	square feet
NET LOT AREA	146515	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	21977	square feet
TOTAL BED PROVIDED	39468	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	29601	square feet
TOTAL GROUND COVER PROVIDED	29601	square feet
TOTAL LANDSCAPE PROVIDED	39468	square feet



GRAPHIC SCALE



SCALE: 1"=40'

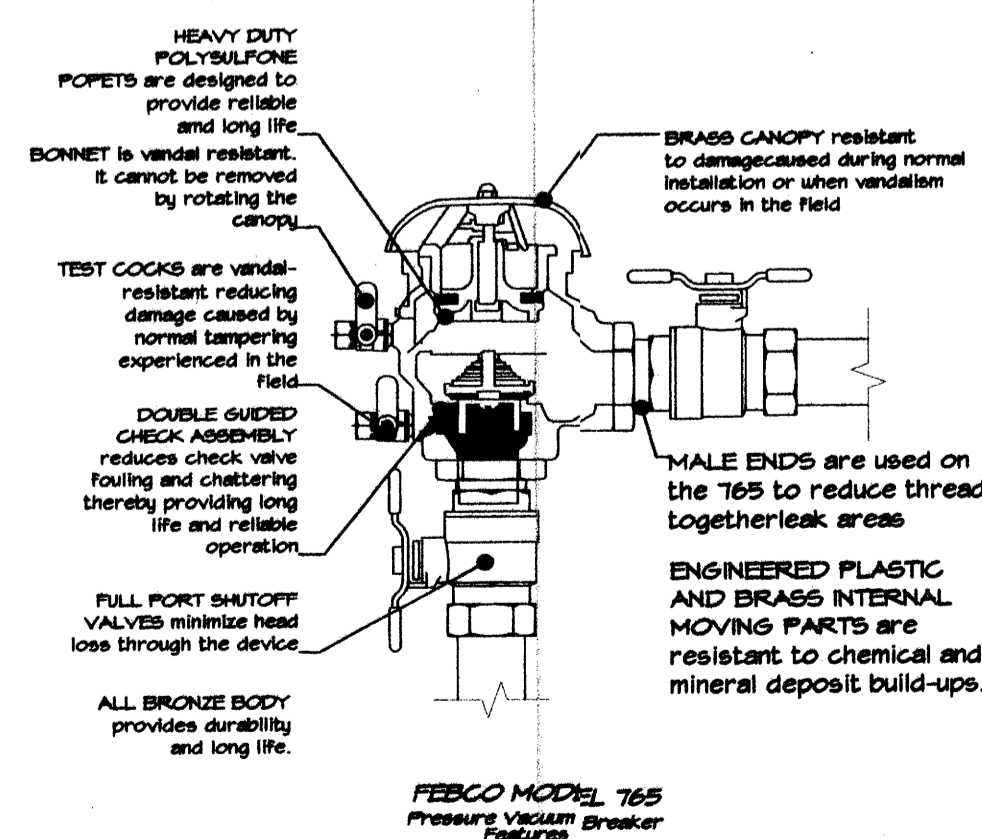


5-18-06

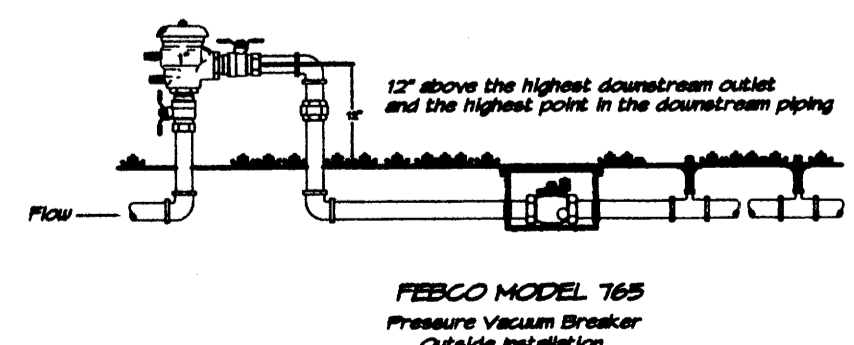
The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
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Ph. (505) 898-9690  
Fax (505) 898-7737  
cjohnson@hilltoplandscaping.com

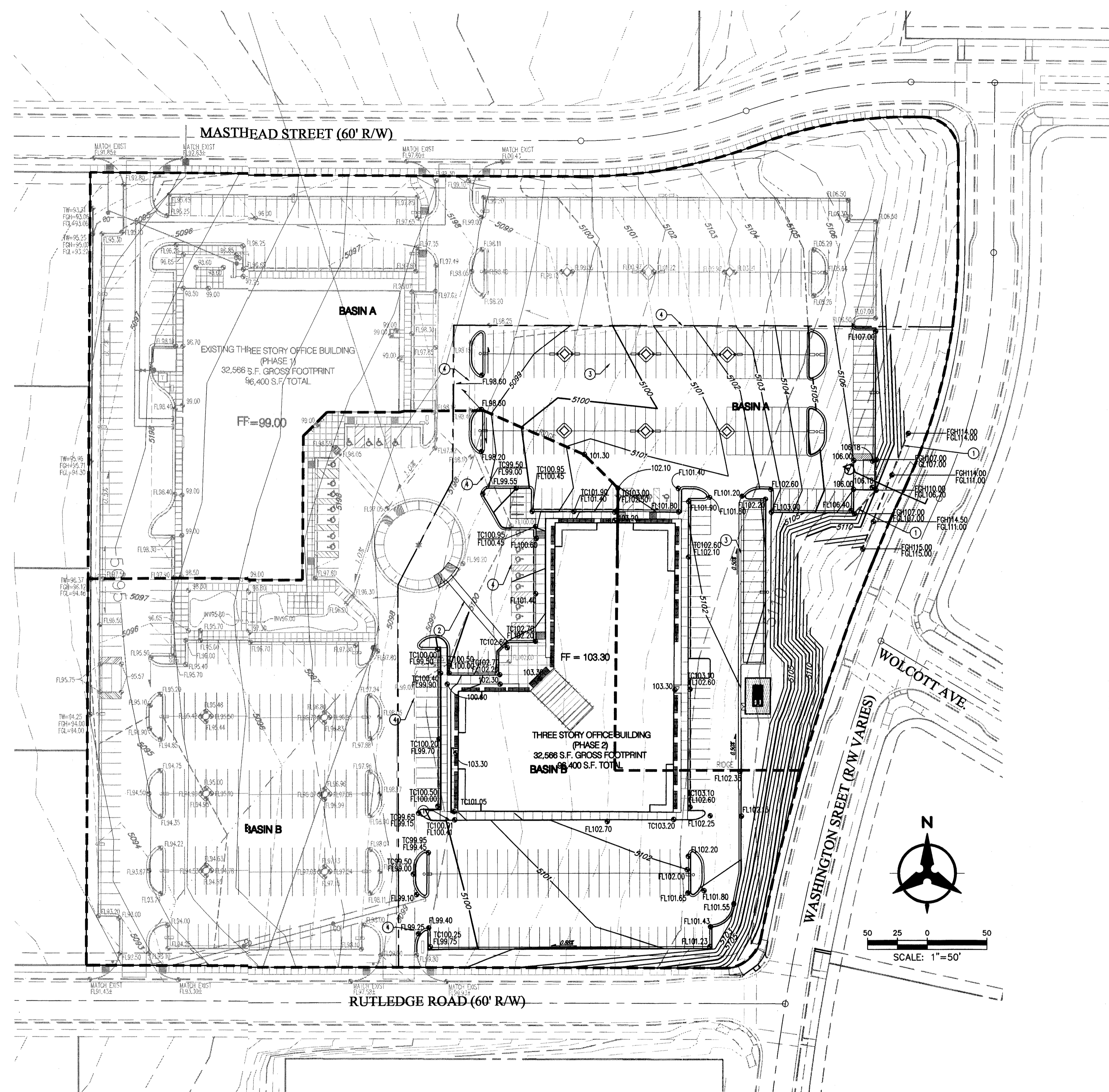
All creative ideas contained herein remain the property of The Hilltop Landscaping Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order.



BACKFLOW PREVENTER DETAIL  
not to scale



FEBCO MODEL 765  
Pressure Vacuum Breaker  
Culicite Installation



**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
 The purpose of this submittal is to provide a final Drainage Management Plan for development of the Masthead Office Complex at Journal Center 2 - Phase 2, located in the Journal Center, Phase 2, Unit 2, Lot 11-B in NE Albuquerque.

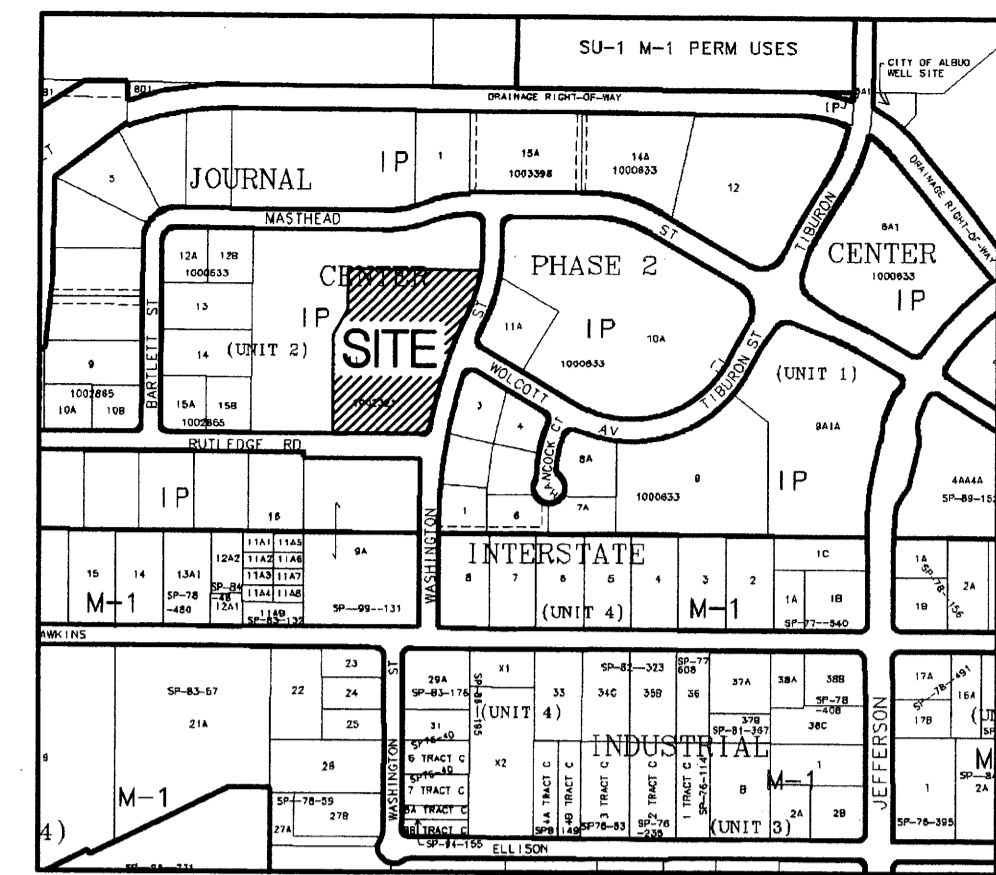
**II. SITE LOCATION**  
 The site is currently legally described as, Journal Center, Phase 2, Unit 2, Lot 11-B (+/- 4.4 acres). The site is located within zone atlas map #D-17, and is in hydrologic zone 2. The site is located at the southwest corner of Masthead and Washington, just west of Jefferson.

**III. SITE TOPOGRAPHY**  
 The site slopes evenly from east to west at a value of less than 5%. Washington Street has a high point at the intersection of Wolcott Avenue from which it slopes north to Masthead and south to Rutledge. The area surrounding the site maintains similar topography.

**IV. EXISTING HYDROLOGIC CONDITIONS**  
 Currently the site (4.4 ac.) is undeveloped land. The surrounding streets and infrastructure are in place and Phase 1 of the development is currently under construction. The site drains from east to west in a sheet flow condition. Per the approved Drainage Plan of Journal Center - Phase 2 located in file number D17/D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via surface flow out of the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system. This site is within Basins B1 and C1 of the mentioned drainage plan. Basin B1 drains into Rutledge and the development contained in B1 is allotted 20.11 cfs of outflow. Basin C1 drains into Masthead. The portion of the new development contained in C1 is allotted 24.53 cfs of outflow per the approved Drainage Plan of Journal Center-Phase 2.

**V. PROPOSED HYDROLOGIC CONDITIONS**  
 The proposed conditions for the Masthead Office Complex at Journal Center 2 are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event. The total site (+/- 10.0 acres) will generate a total of 44.45 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and curb and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pino Arroyo, and then to the AMAFCA North Diversion Channel. Approximately 20.09cfs drains to Rutledge; the other 24.36 cfs drains to Masthead. These flow values comply with the restrictions placed on the site by the approved drainage plan referenced in Section IV of this document.

**VI. CONCLUSION**  
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting building permit approval.



**ZONE ATLAS PAGE D-17-Z**  
 SCALE: 1"=600'

**LEGAL DESCRIPTION**  
 TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
 ALBUQUERQUE, NM, NOVEMBER, 2005

**LEGEND**

- PROPERTY LINE
- - - - - 50.40 EXISTING CONTOUR
- - - - - 35.00 PROPOSED INDEX CONTOUR
- - - - - 32.00 PROPOSED INTERMEDIATE CONTOUR
- 32.40 EXISTING SPOT ELEVATION
- 32.40 PROPOSED SPOT ELEVATION
- FL = FLOWLINE
- TS = TOP OF SIDEWALK
- FGL = FINISHED GROUND HIGH SIDE
- FGL = FINISHED GROUND LOW SIDE
- TW = TOP OF WALL
- DIRECTION OF FLOW

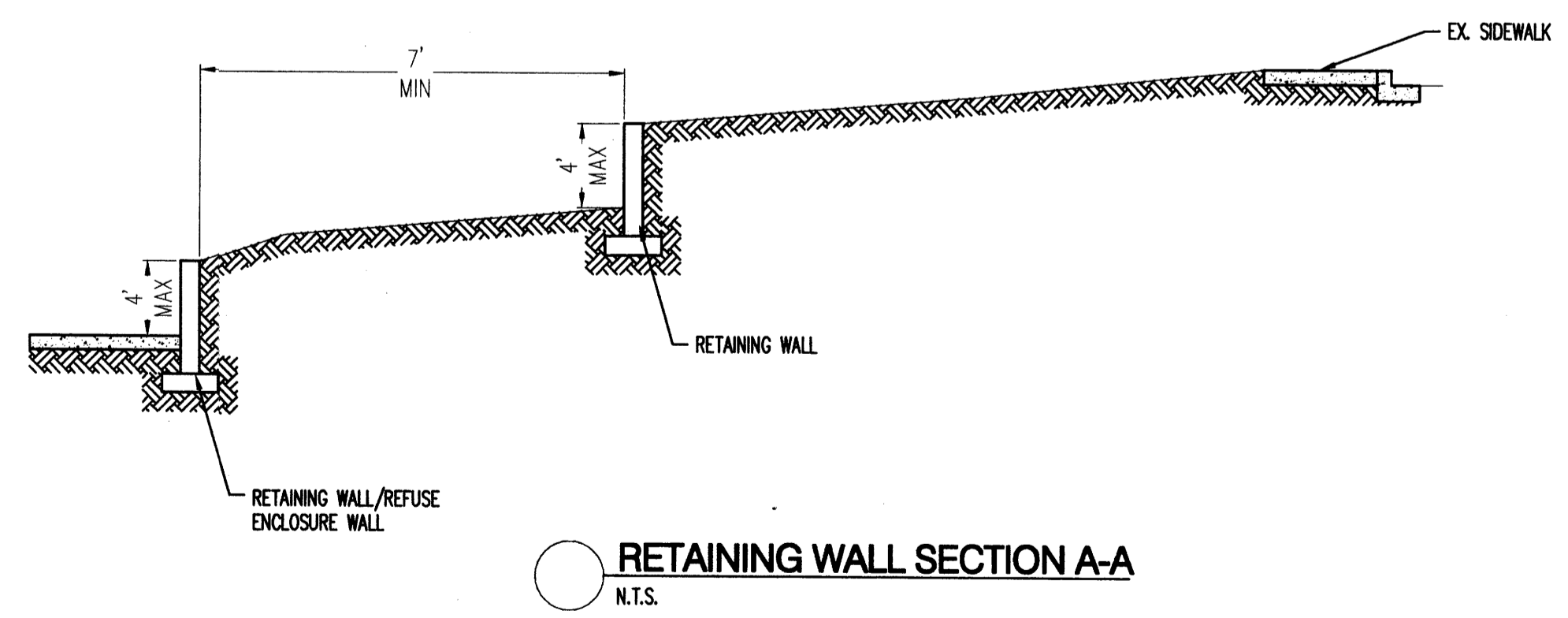
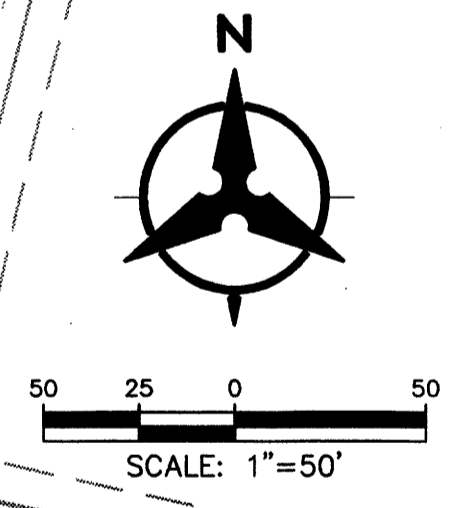
**KEYED NOTES**

1. 4' HIGH ± MASONRY RETAINING WALL.
2. 2% MAXIMUM CROSS-SLOPE AT SIDEWALK CROSSING.
3. CONCRETE VALLEY GUTTER, REFER TO SITE PLAN.
4. MATCH EXISTING PAVEMENT.

**US FOREST SERVICE BUILDING**  
 Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 2

BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/fac.)	Q(100) (cfs)	WT E (inches)	V(100) <sub>200</sub> (CF)	V(100) <sub>1440</sub> (CF)
			A	B	C	D					
<b>PROPOSED CONDITIONS</b>											
A	239933	5.51	0.0%	0.0%	10.0%	85.0%	4.42	24.36	1.95	39069	48887
B	197855	4.54	0.0%	0.0%	10.0%	85.0%	4.42	20.09	1.95	32217	38864
<b>TOTAL</b>	<b>437788</b>	<b>10.05</b>	-	-	-	-	<b>4.42</b>	<b>44.45</b>	<b>3.91</b>	<b>71286.48</b>	<b>71286</b>



**RETAINING WALL SECTION A-A**  
 N.T.S.



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CONSULTANT

PROJECT TITLE

NEW MEXICO

MASTHEAD OFFICE COMPLEX  
 AT JOURNAL CENTER 2

ALBUQUERQUE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - Grading Plan

REVISIONS

MK	DATE	DESCRIPTION
JDS	BJS	CHECKED BY:
JOB NUMBER: A0559		
DATE: MAY 17, 2006		
SHEET NO		

**Bohannon & Huston**  
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**C2.0**

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 May 16, 2006 - 3:59pm  
 Plotted by: JSMITH



NO.	DATE	DESCRIPTION

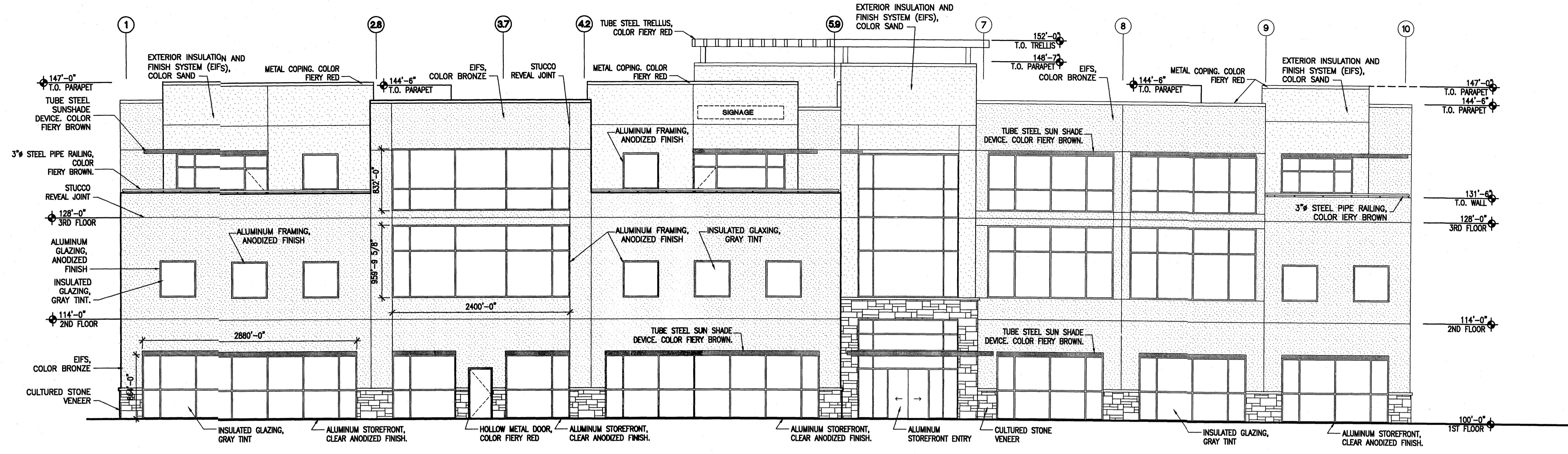
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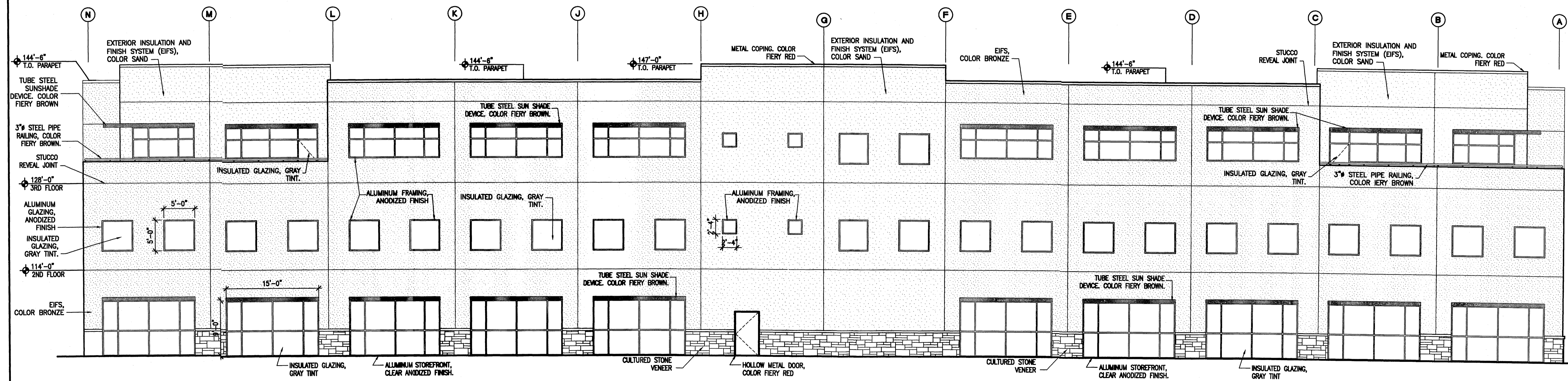
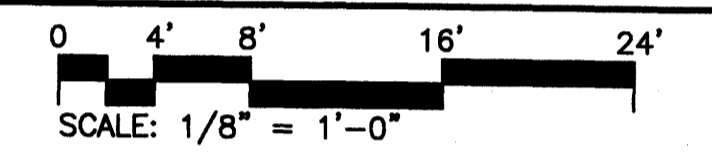
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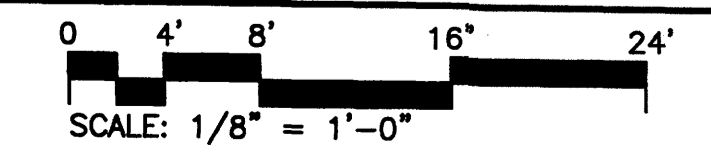
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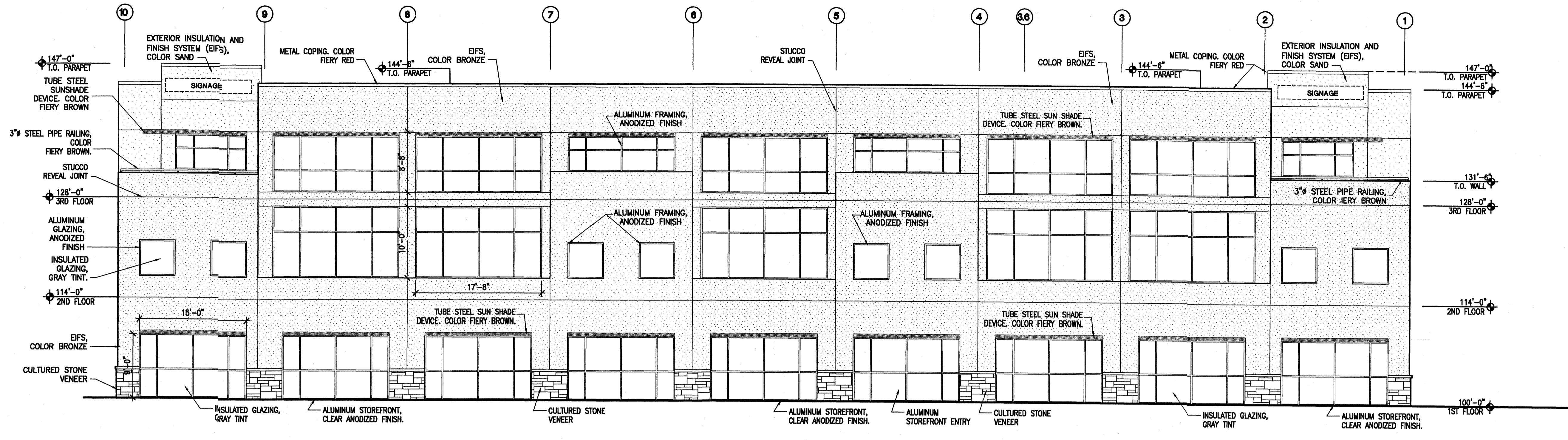


**1 NORTH ELEVATION**  
A2.1

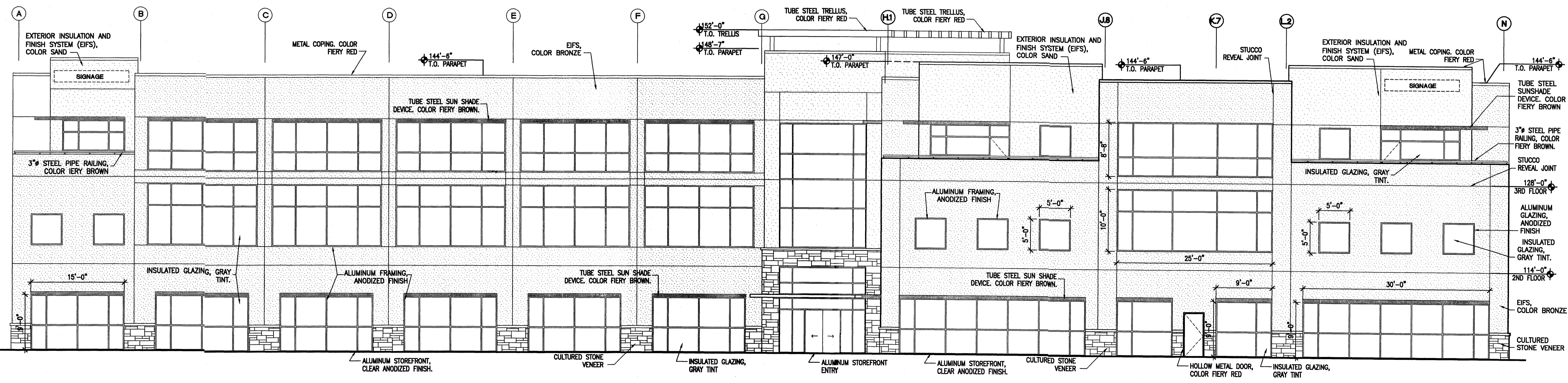
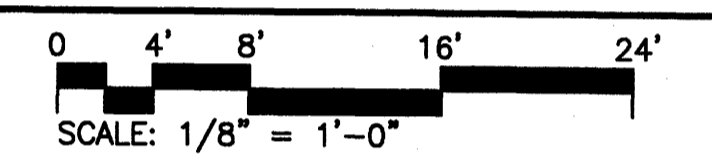


**2 EAST ELEVATION**  
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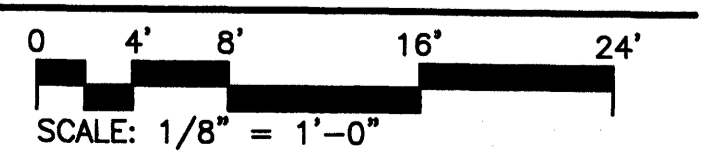


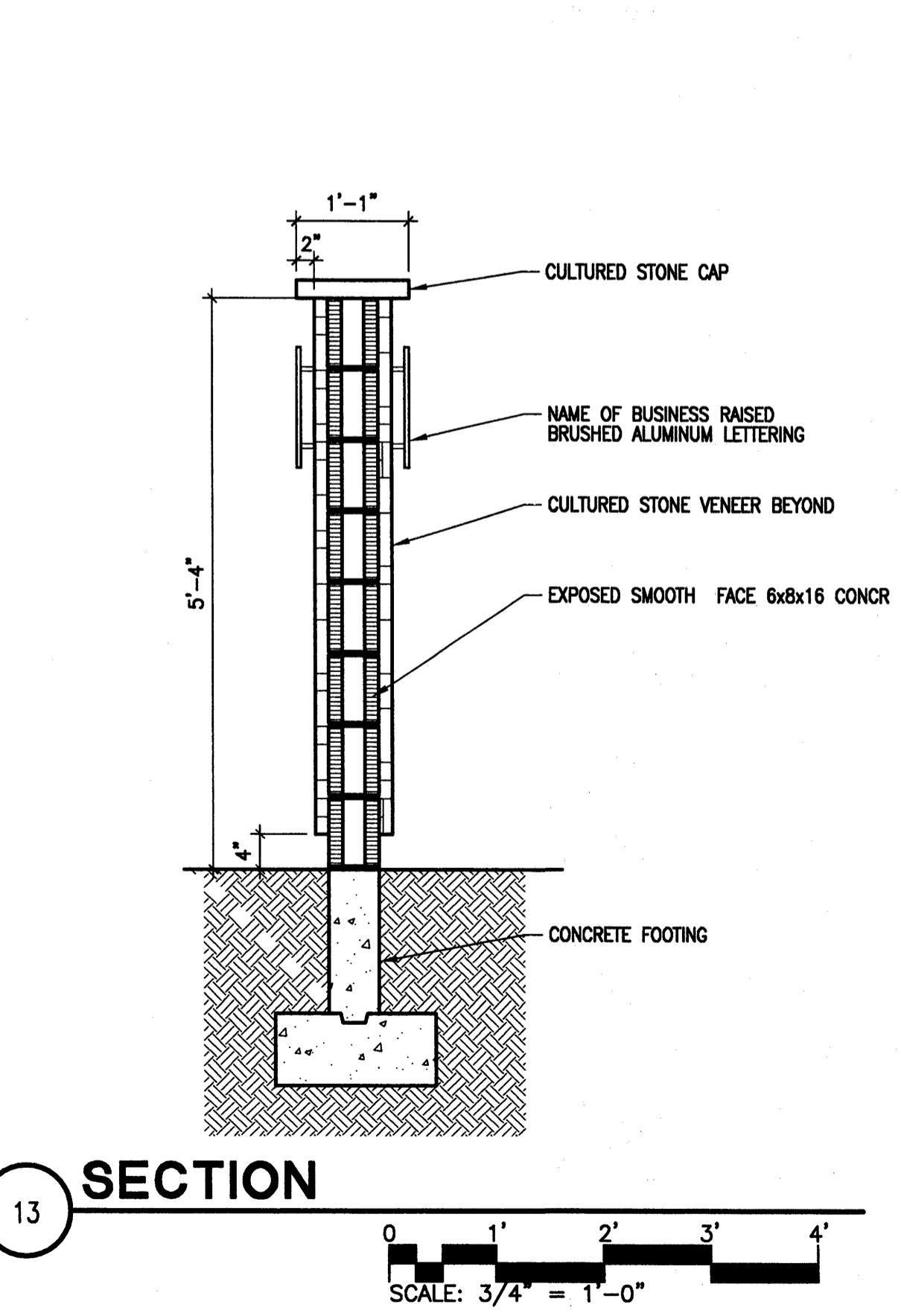
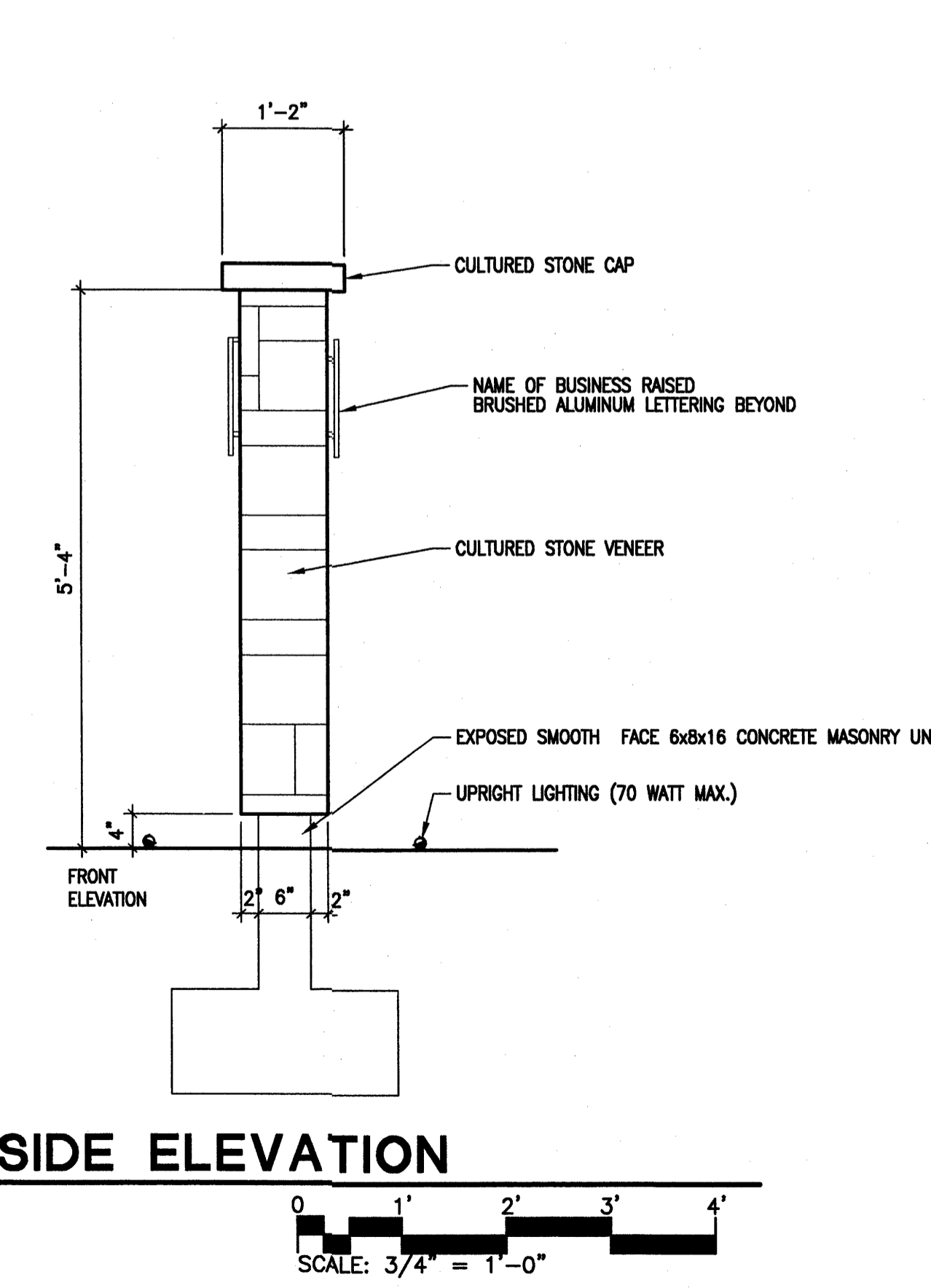
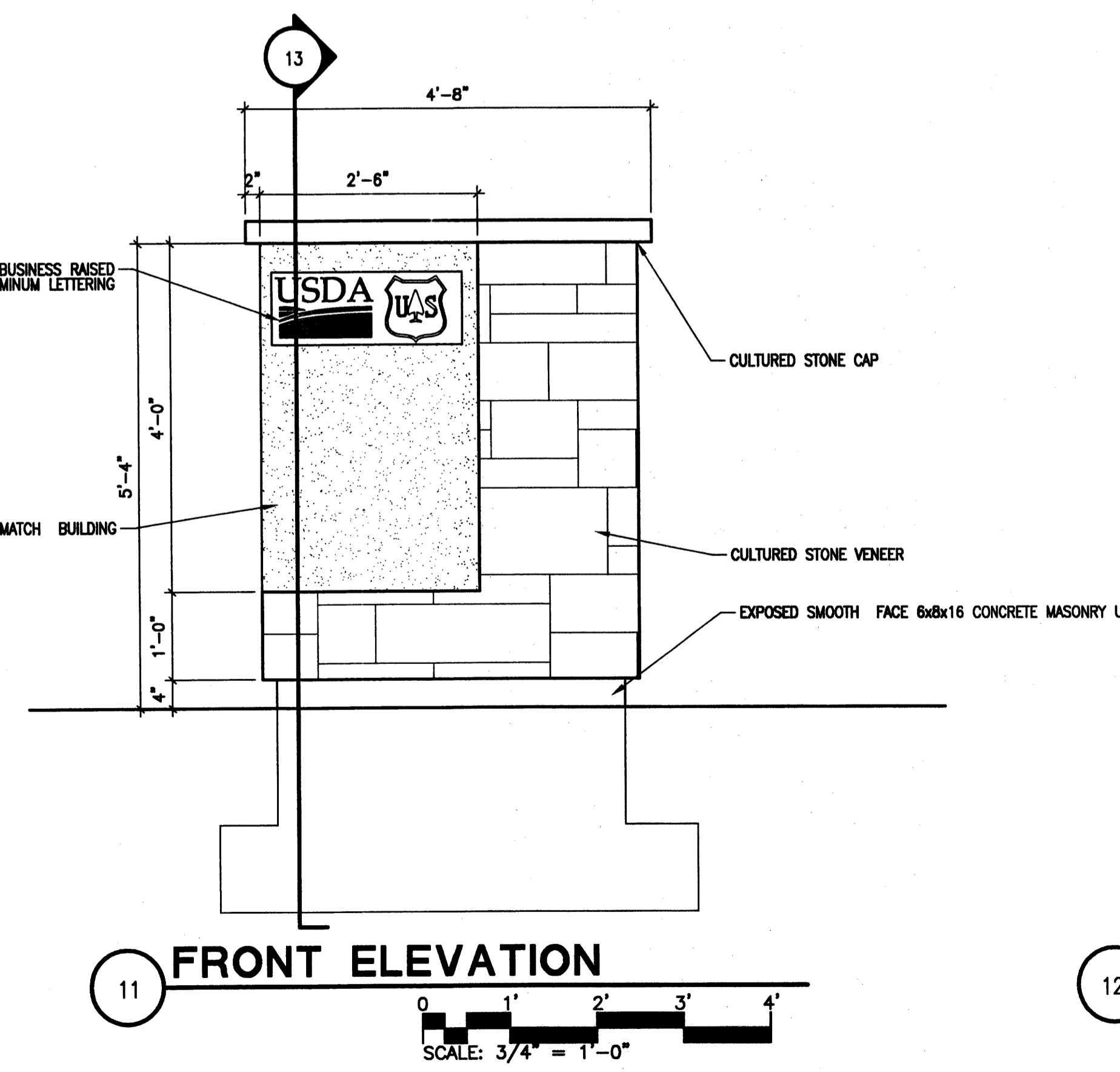
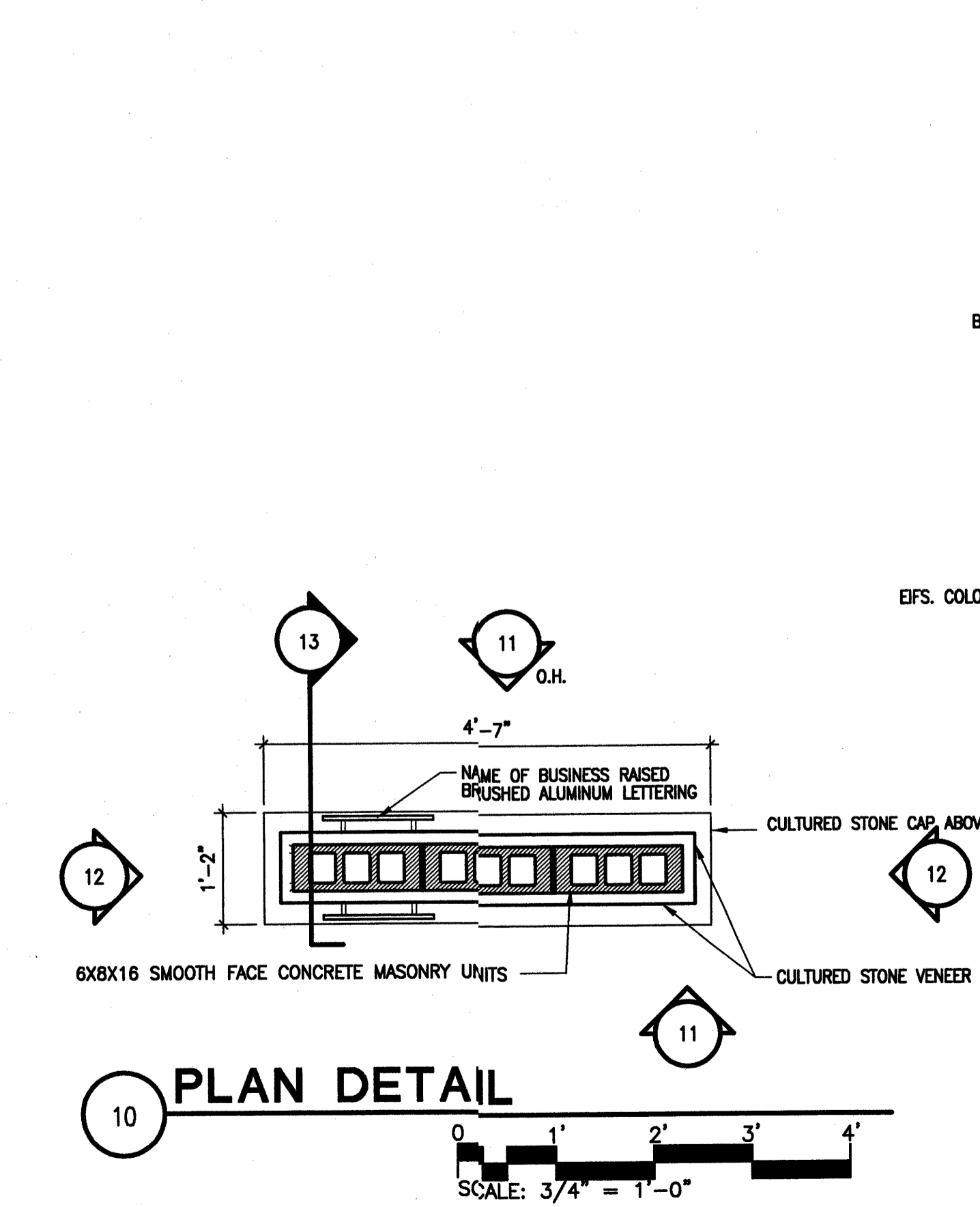
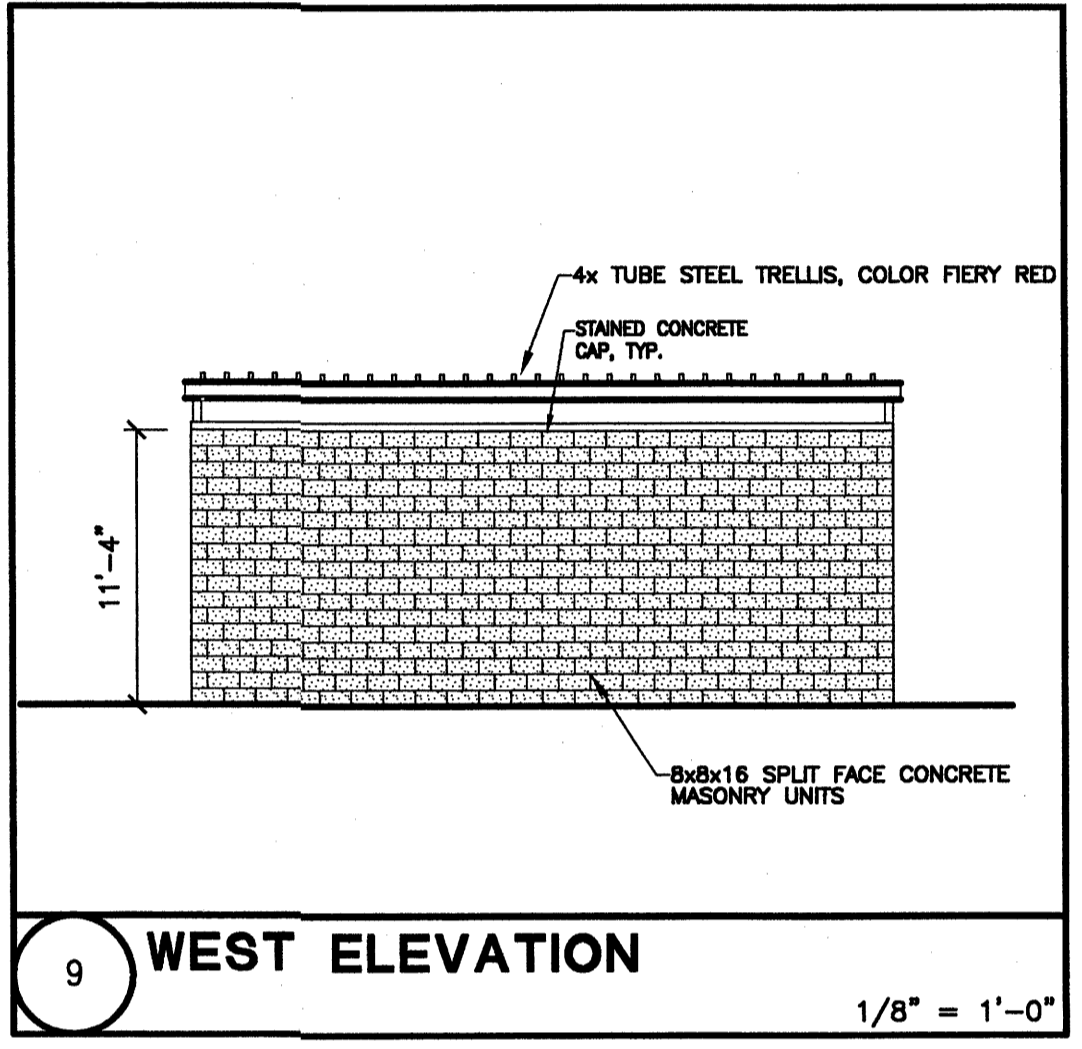
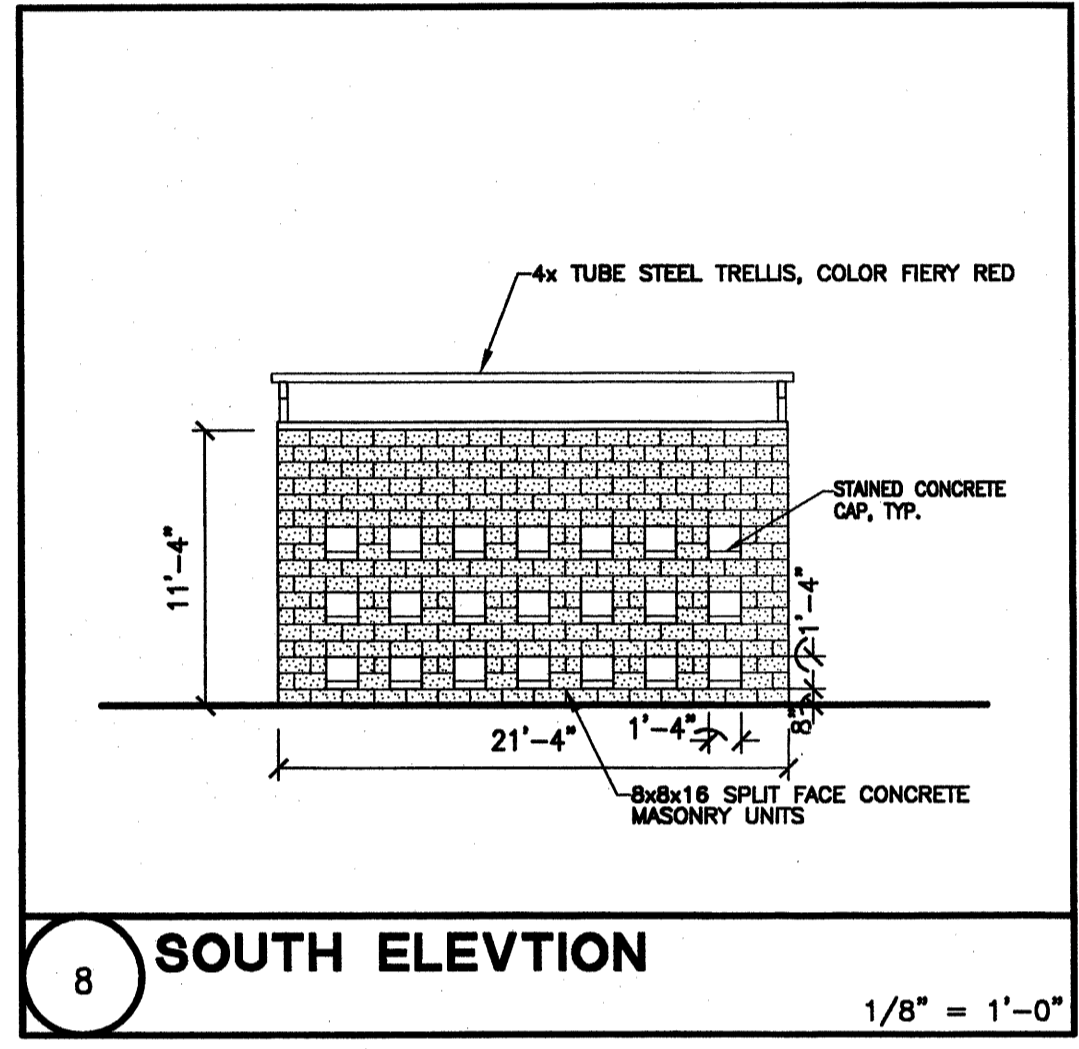
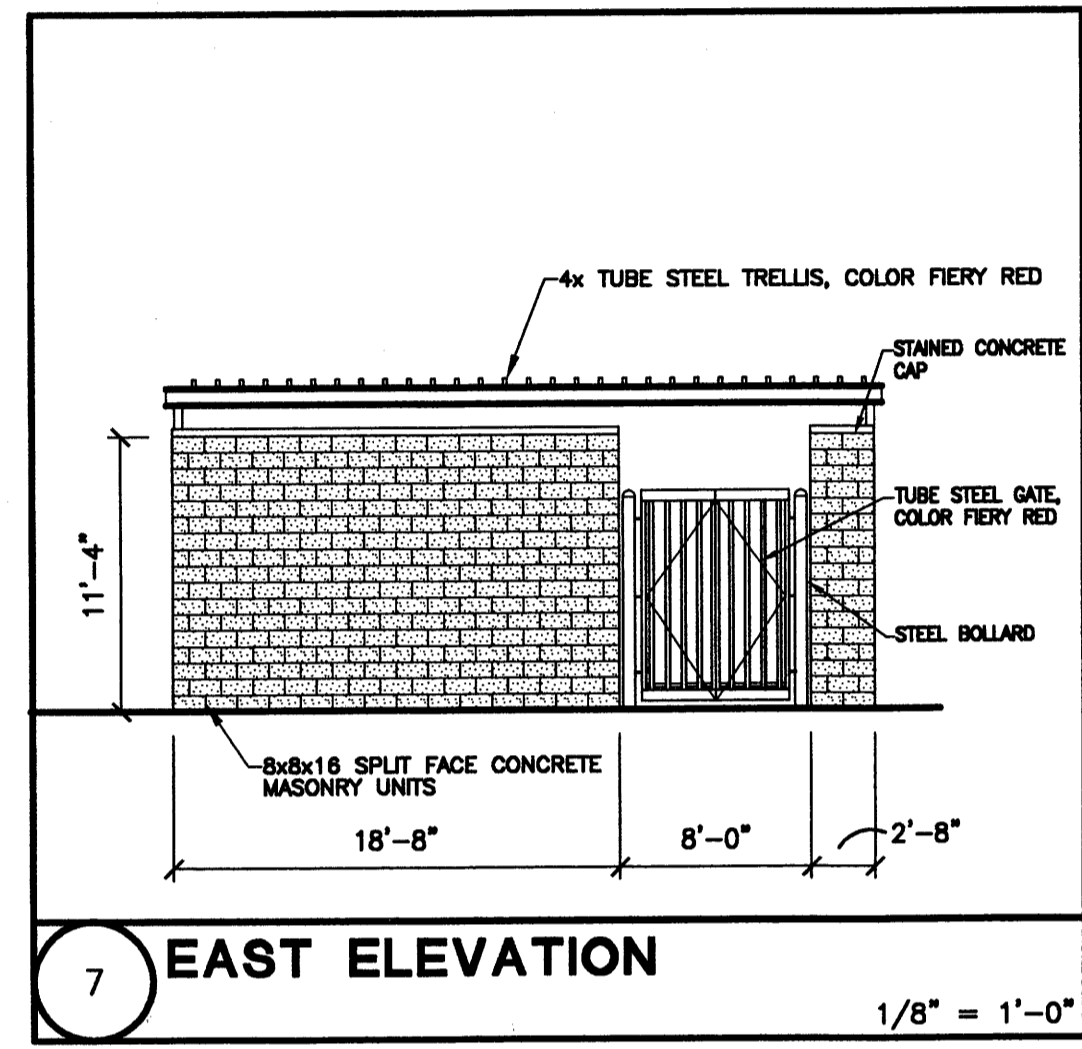
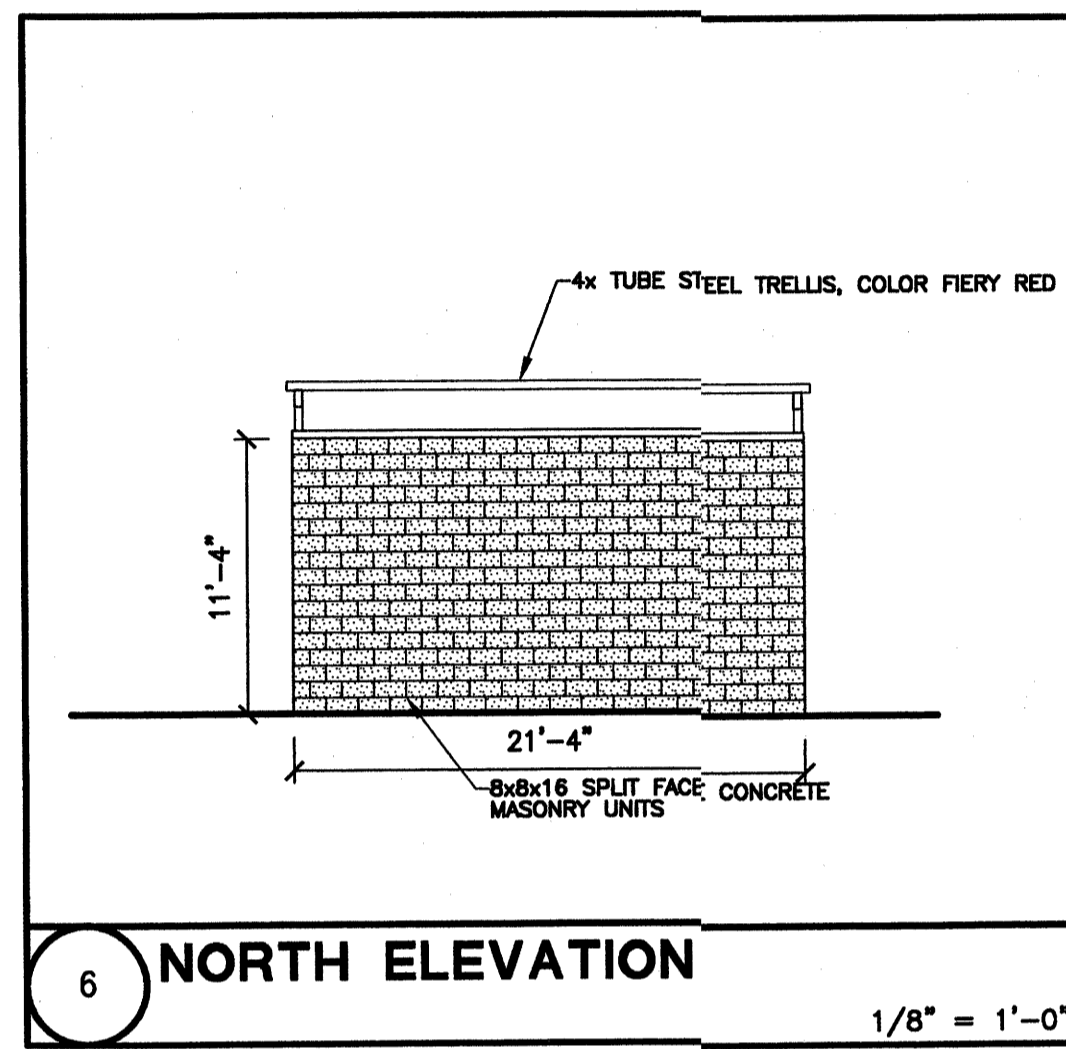
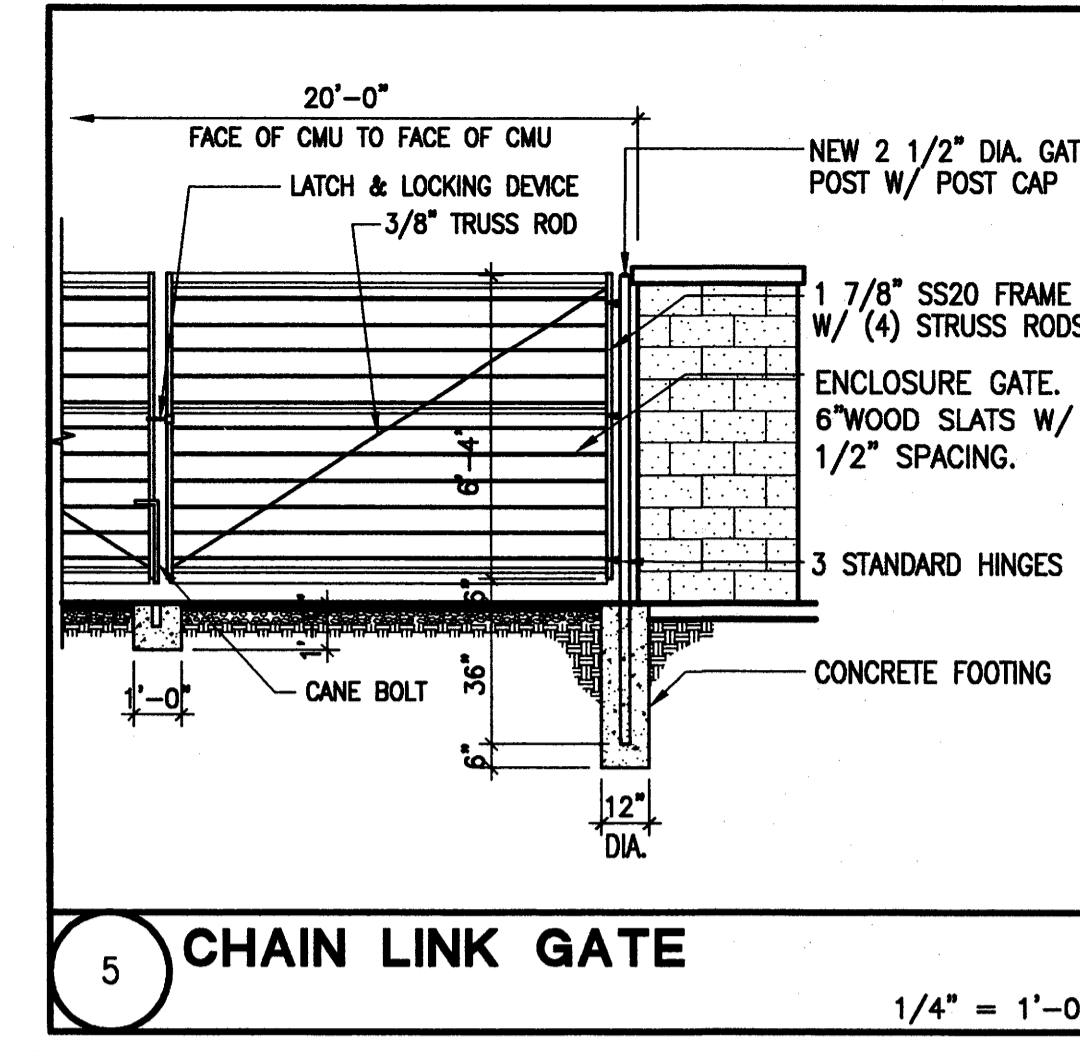
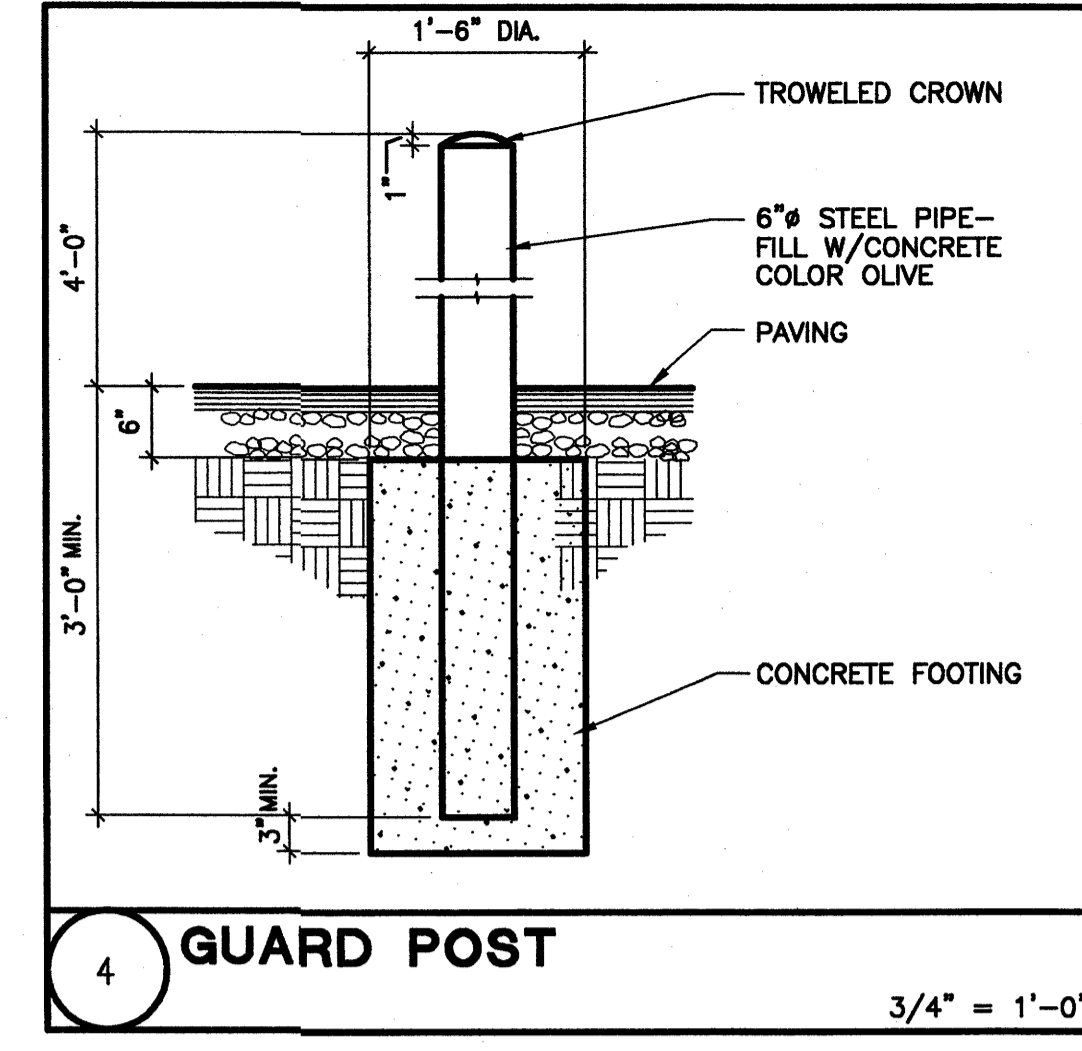
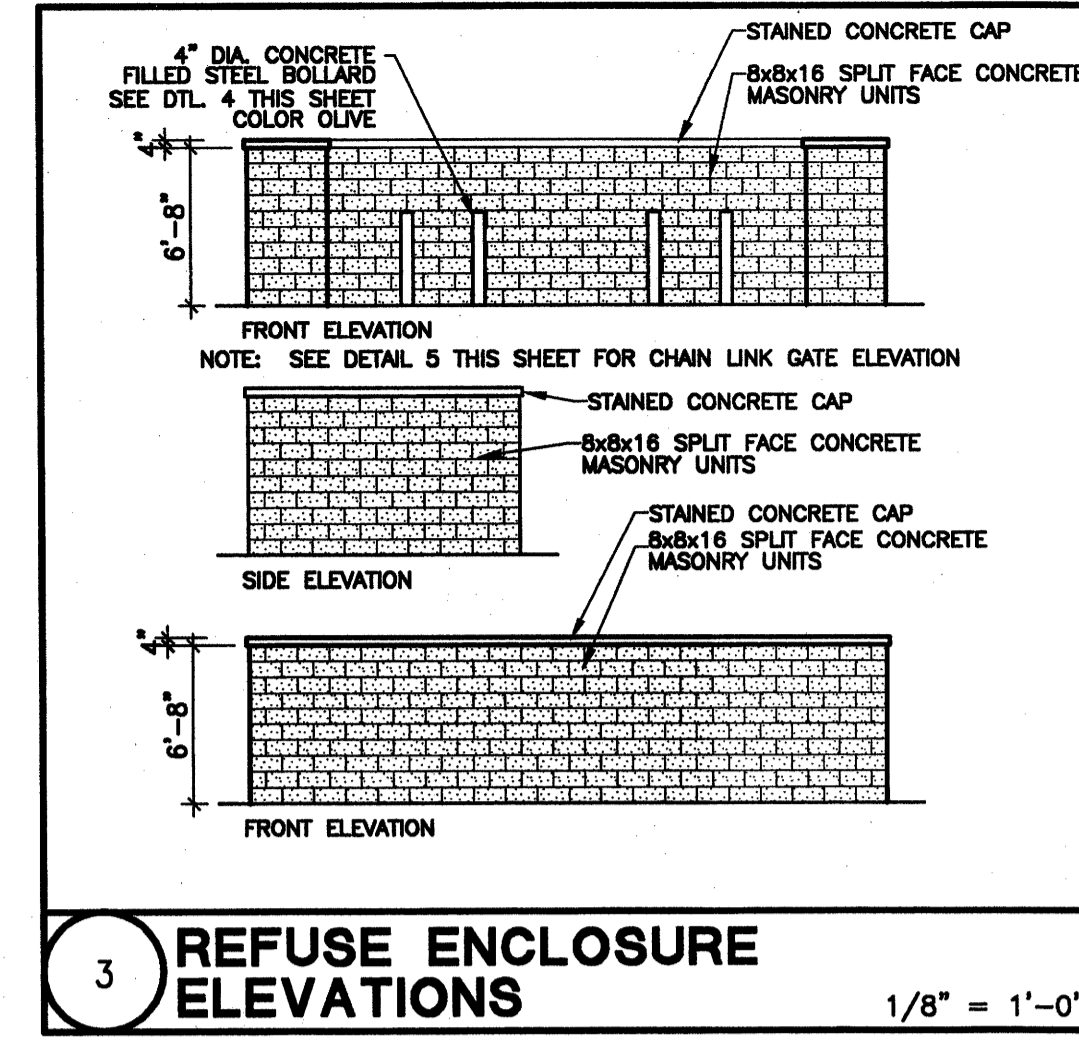
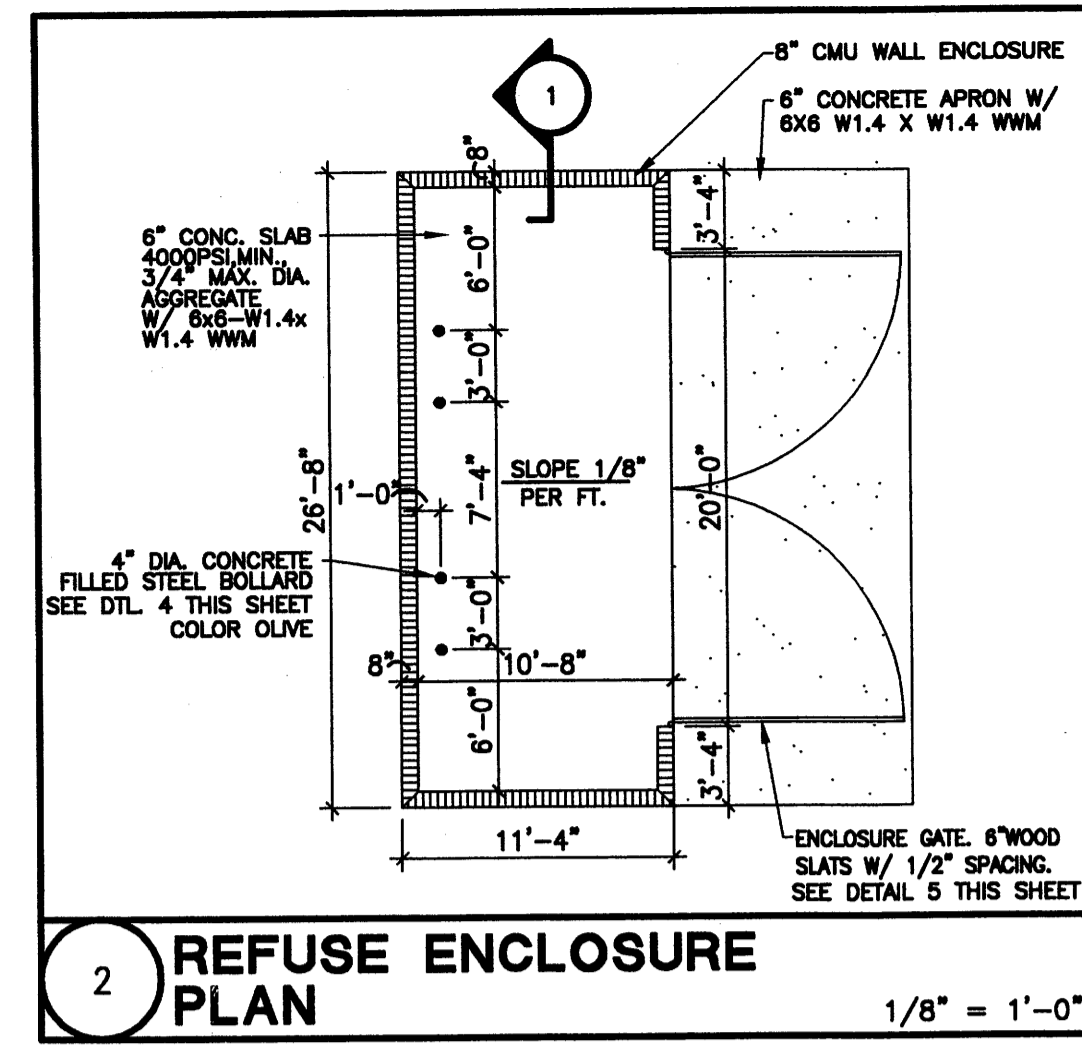
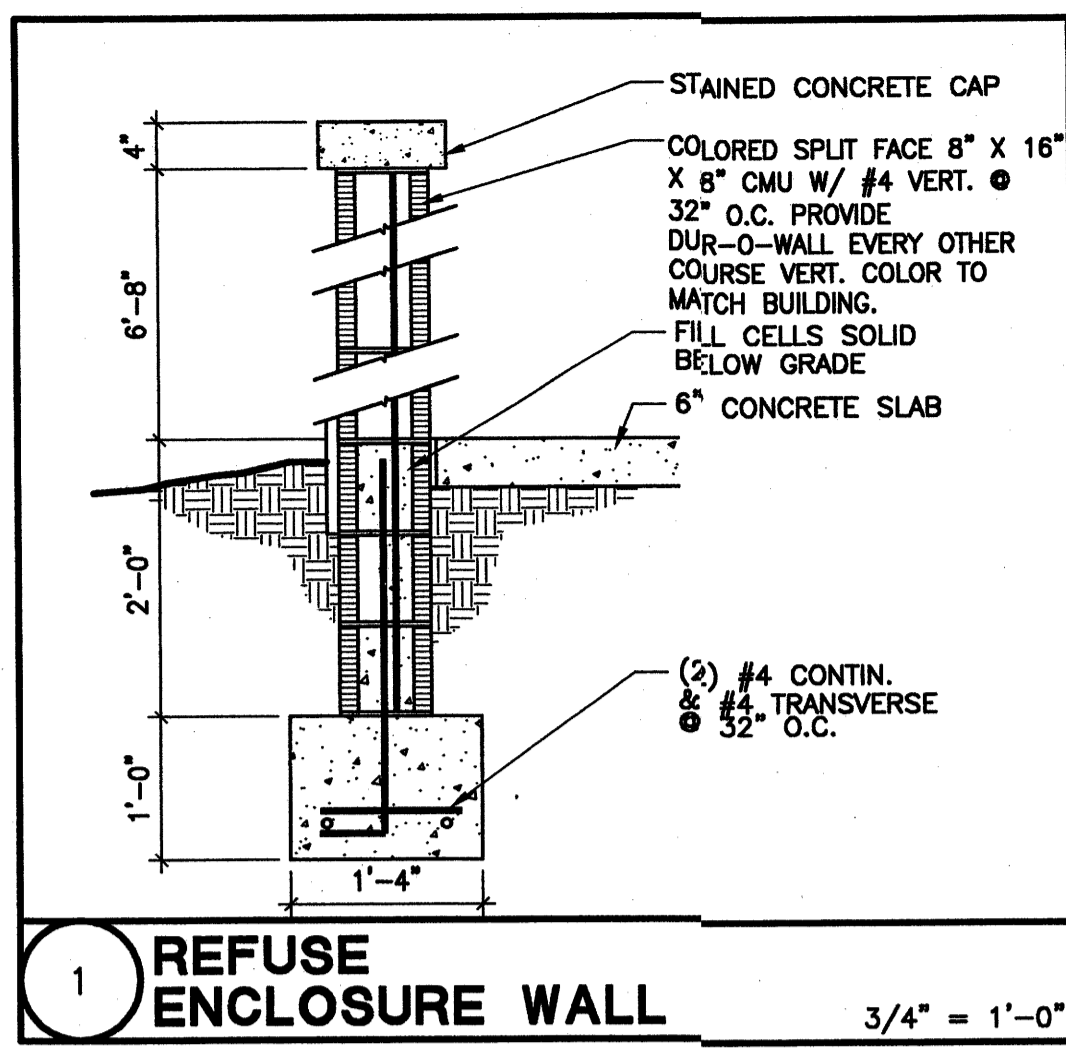


1 SOUTH ELEVATION  
A2.2



2 WEST ELEVATION  
A2.2





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CONSULTANT

PROJECT TITLE

NEW MEXICO

MASTHEAD OFFICE COMPLEX  
PHASE II

ALBUQUERQUE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT -  
GENERAL SITE DETAIL

REVISIONS

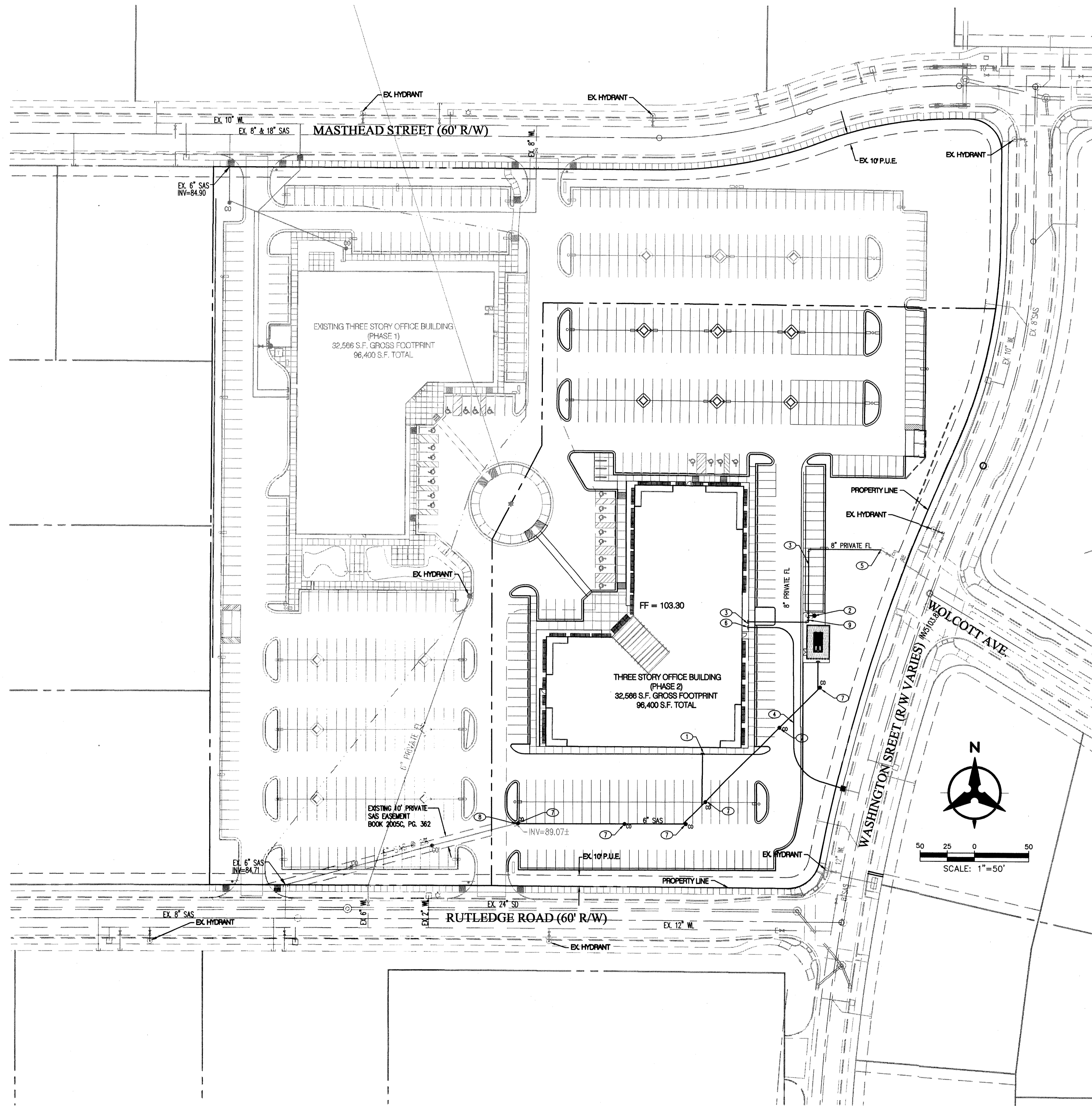
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DRAWN BY: CHECKED BY:

JOB NUMBER:  
A0631

DATE:  
MAY 2006

SHEET NO  
**AS1.1**



**UTILITY KEYED NOTES**

1. 6" SANITARY SEWER STUB
2. NEW PRIVATE FIRE HYDRANT
3. 8" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL.
4. NEW 1 1/2" METERED WATER SERVICE. CONNECT TO EXISTING 2" WATER LINE STUB OUT.
5. CONNECTION TO EXISTING 8" FIRE LINE STUB
6. NEW 1 1/2" DOMESTIC WATER SERVICE TO BUILDING, BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT
8. CONNECT TO EX. 6" SAS STUB PROVIDED TO SITE WITH PHASE 1
9. POST INDICATOR VALVE.

**LEGEND**

---	PROPERTY LINE
EX. 8" SAS	EX SANITARY SEWER & MANHOLE
EX. 24" SD	EX STORM DRAIN & MANHOLE
---	EX INLET
EX. 12" WL	EX WATER LINE
⊗	EX VALVE
□	EX METER
⊙	EX FIRE HYDRANT
☆	EX STREET LIGHT
SAS	PROPOSED SANITARY SEWER
●	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE



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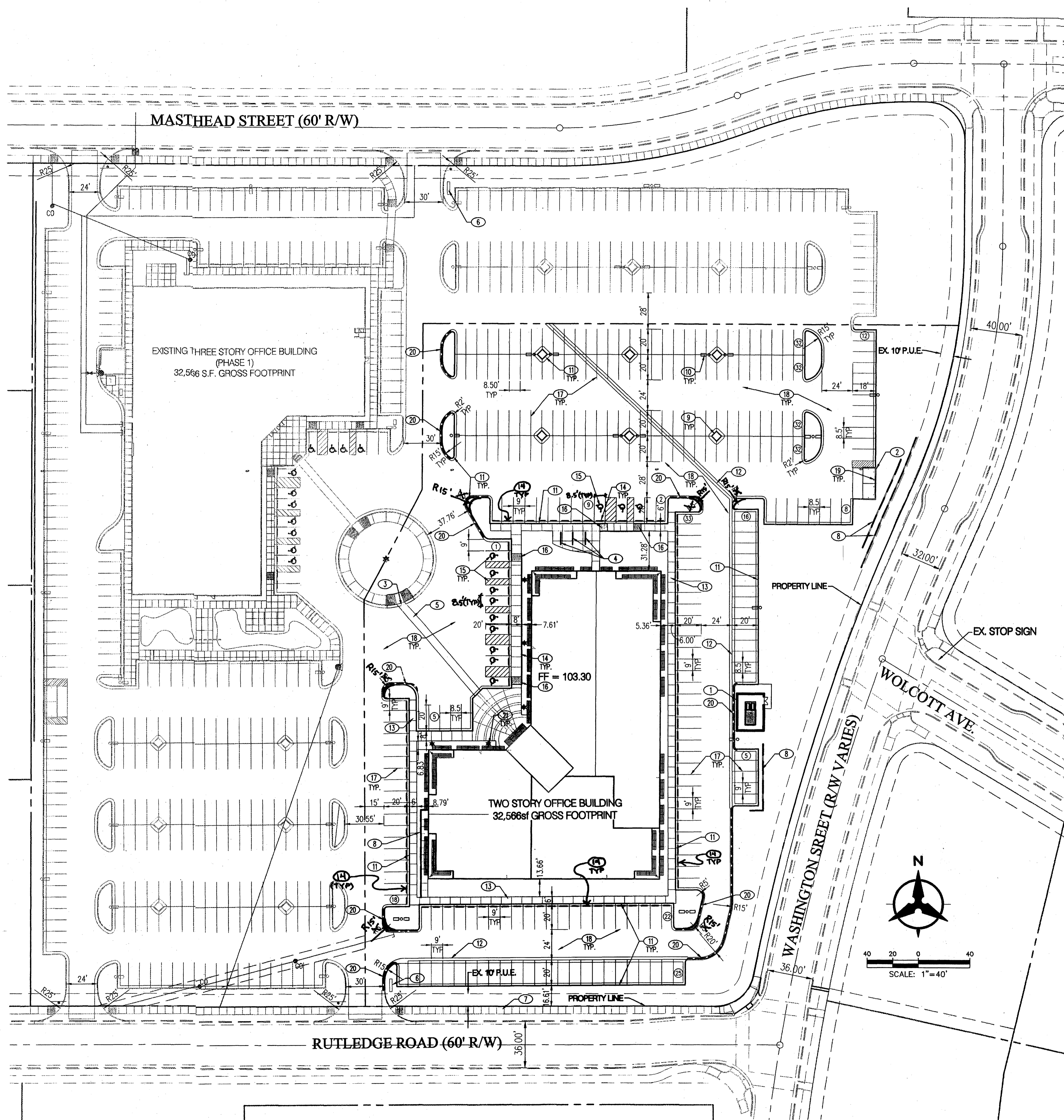
ALBUQUERQUE NEW MEXICO  
**MASTHEAD OFFICE COMPLEX  
AT JOURNAL CENTER 2**  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT- Utility Plan

REVISIONS

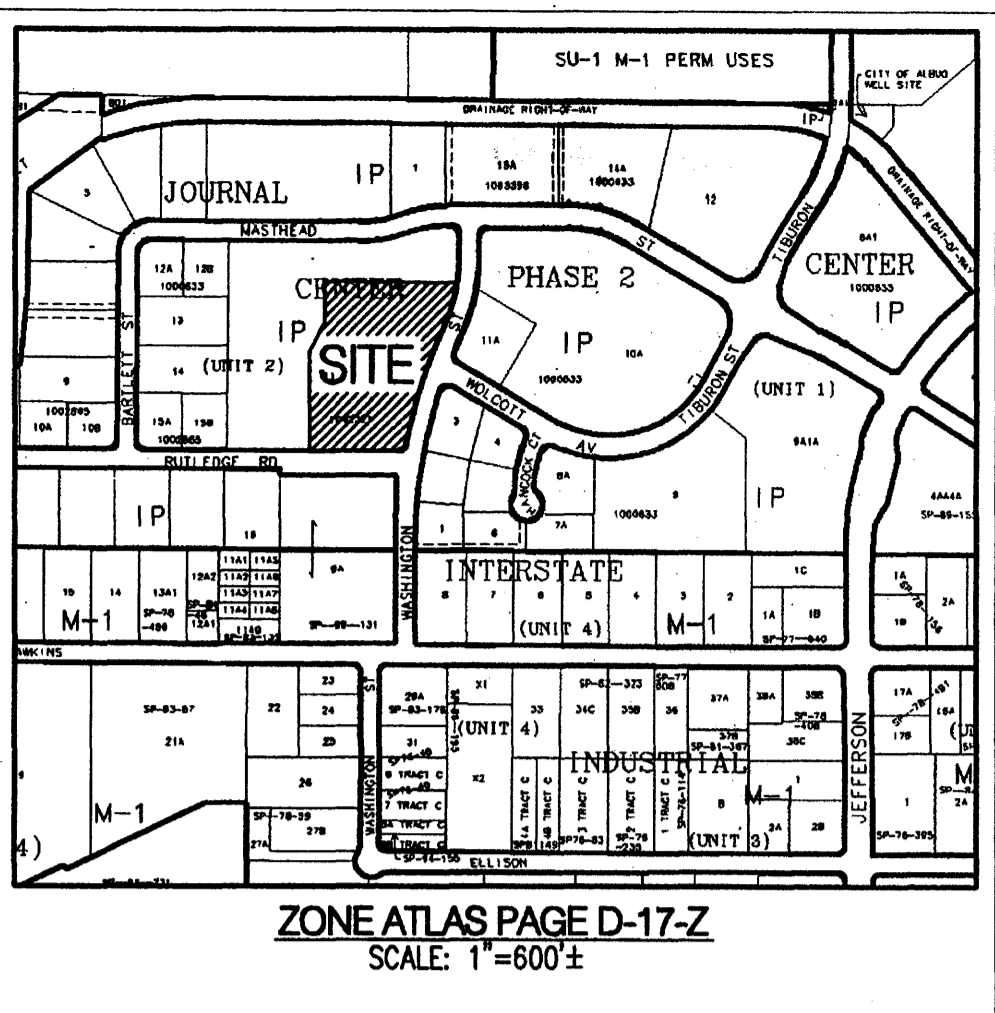
MK	DATE	DESCRIPTION
JDS	BJJ	
JOB NUMBER: A0559		
DATE: MAY 17, 2006		
SHEET NO		

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**C3.0**



- KEYED NOTES**
1. 14' HIGH MASONRY SCREEN WALL TO MATCH BUILDING. REF. ARCH. DETAILS. WALL TO SCREEN MECH. EQUIPMENT.
  2. MASONRY REFUSE ENCLOSURE TO MATCH BUILDING. MIN 6' HIGH. SEE DETAILS 1-5 ON SHEET ASI.2. INSTALL CONCRETE PAD PER CROSS SECTION DETAIL ON SHEET C1.2.
  3. SAWCUT & REMOVE EXISTING SIDEWALK AND CURB & GUTTER. INSTALL HANDICAP RAMP/ MIN. 5'x5' LANDING
  4. BICYCLE PARKING (21 SPACES). REF. DETAIL ON SHEET C1.2.
  5. 6" WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2% MAX. CROSS SLOPE). PIGMENT COLOR PER ARCHITECT. REF. DETAIL ON SHEET C1.2.
  6. EXISTING MONUMENT SIGN, INSTALLED WITH PHASE 1.
  7. EXISTING 6" WIDE SIDEWALK, INSTALLED WITH PHASE 1.
  8. 4" HIGH MASONRY RETAINING WALL. RETAINING WALL SHALL BE SPLIT FACE CMU TO COMPLEMENT BUILDING. REF. DETAIL ON SHEET C1.2.
  9. 6'x6' TREE PLANTER (TYP). REF. LANDSCAPE PLANS FOR TREATMENT.
  10. LIGHT POLE. REF. LIGHTING PLANS FOR DETAILS.
  11. MEDIAN CURB & GUTTER PER COA STD DWG 2415B (6" HIGH CURB).
  12. CONC VALLEY GUTTER PER COA STD DWG 2421 (SECTION A-A).
  13. 4" THICK CONCRETE SIDEWALK PER COA STD DWG 2430.
  14. INSTALL PRECAST CONCRETE WHEELSTOP PER MANUFACTURER'S RECOMMENDATIONS.
  15. INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.2.
  16. INSTALL CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2441.
  17. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
  18. INSTALL NEW ASPHALT PAVEMENT PER DETAILS SHEET C1.2.
  19. INSTALL 4" BOLLARDS PER DETAILS 2 & 4, SHEET ASI.2.
  20. INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
  21. BOLLARD LIGHTING PER DETAIL ON SHEET C1.1



**LEGAL DESCRIPTION**  
 TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
 ALBUQUERQUE, NM, NOVEMBER, 2005

**PROJECT NUMBER:** 1004556  
**Application Number:** 05DRB-01781

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>[Signature]</i> Traffic Engineering, Transportation Division	3-10-06 Date
<i>[Signature]</i> Water Utility Department	12/21/05 Date
<i>[Signature]</i> Parks and Recreation Department	12/21/05 Date
<i>[Signature]</i> City Engineer	12/21/05 Date
NA Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	12/21/05 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	3/12/06 Date

\*Environmental Health, if necessary

**PROJECT DATA**

Zoning (Existing)	= IP
Site Area	= 4.43 ac.
Building Area (Total Leasable)	= 59,840 sf
Site Coverage	= 16.88% sf
<b>Parking Required</b>	
1st flr office rentable 30,480sf @ 1/200	= 152.4
2nd flr office rentable 29,360 sf @ 1/300	= 97.9
<b>Total Required</b>	= 250
Handicap Accessible Stalls Required	= 8
<b>Parking Provided</b>	
9'x20' or 9'x18' w/ 2' overhang (typ)	= 115
Irregular Stalls (8.5'x20' or 8.5'x18' w/ 2' overhang)	= 169
Handicap Accessible Stalls (8.5'x20')	= 12
<b>Total Provided</b>	= 296
Bicycle Parking Required	= 15 (1/20 automobile spaces)
Bicycle Parking Provided	= 21 (3 rows of 7 each)

- GENERAL NOTES**
1. SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
  2. UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
  3. SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 2' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.
  4. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
  5. AT THE TIME COMMON AREA IRRIGATION IS CONNECTED TO JOURNAL CENTER 2 COMMON AREA IRRIGATION SYSTEM, THE DEVELOPER "IBURON INVESTMENT, LLC" MUST BE CONTACTED.

**DRAWING INDEX**

C1.0 - SITE PLAN	
C1.1 - SITE DETAILS	
L1.0 - LANDSCAPE PLAN	
C2.0 - PRELIMINARY GRADING PLAN	
A2.1 - BUILDING & STRUCTURE ELEVATIONS	
A2.2 - BUILDING & STRUCTURE ELEVATIONS	
ASI.1 - REFUSE ENCLOSURE AND MONUMENTAL SIGN DETAILS	
C3.0 - CONCEPTUAL UTILITY PLAN	

**Bohannon & Huston**  
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**NCA**  
 ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW  
 ALBUQUERQUE, NM 87104  
 505-255-6400 505-268-6854 FAX  
 WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT

PROJECT TITLE

NEW MEXICO

ALBUQUERQUE

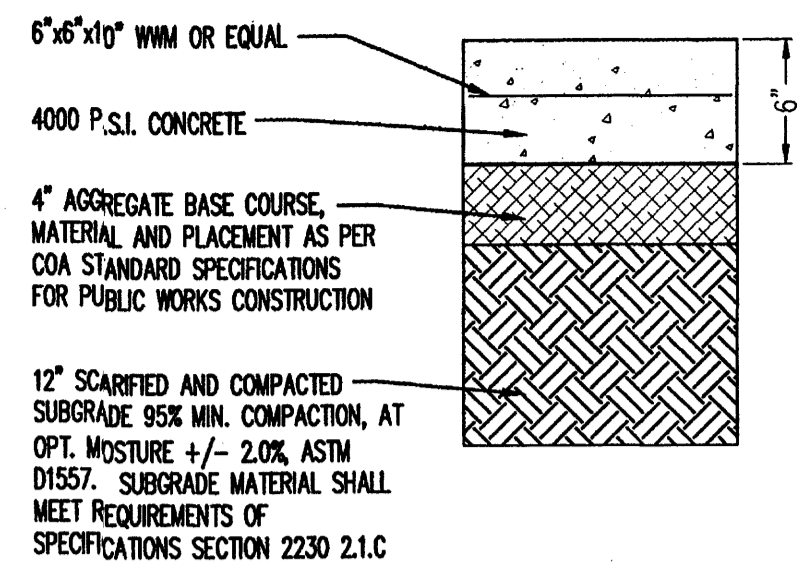
REVISIONS

MK	DATE	DESCRIPTION
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RWB		JTW
JOB NUMBER:		
A0569		
DATE:		
NOVEMBER 2005		
SHEET NO		
<b>C1.0</b>		

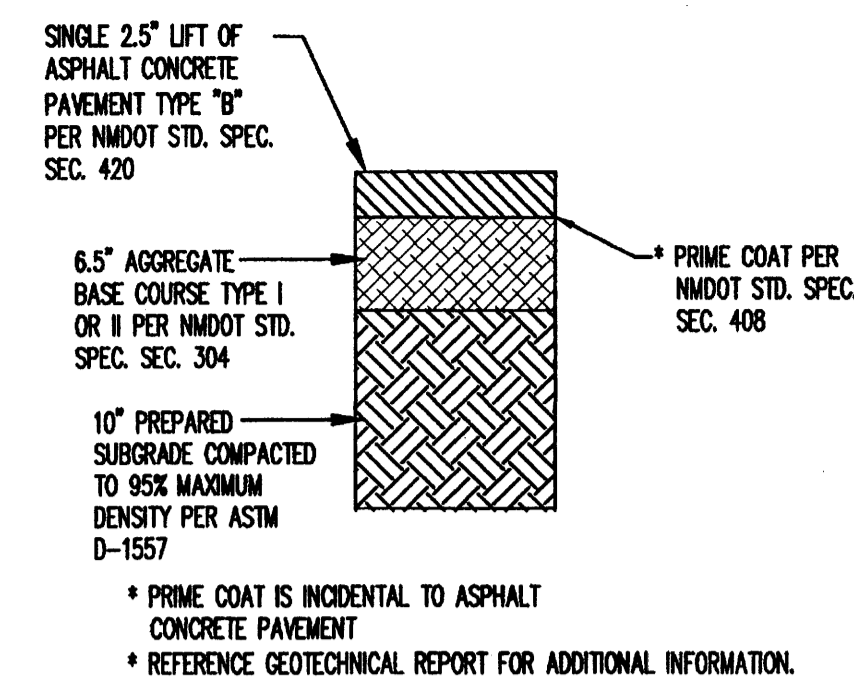
**MASTHEAD OFFICE COMPLEX AT JOURNAL CENTER 2**

**SITE PLAN FOR BUILDING PERMIT - Site Plan**

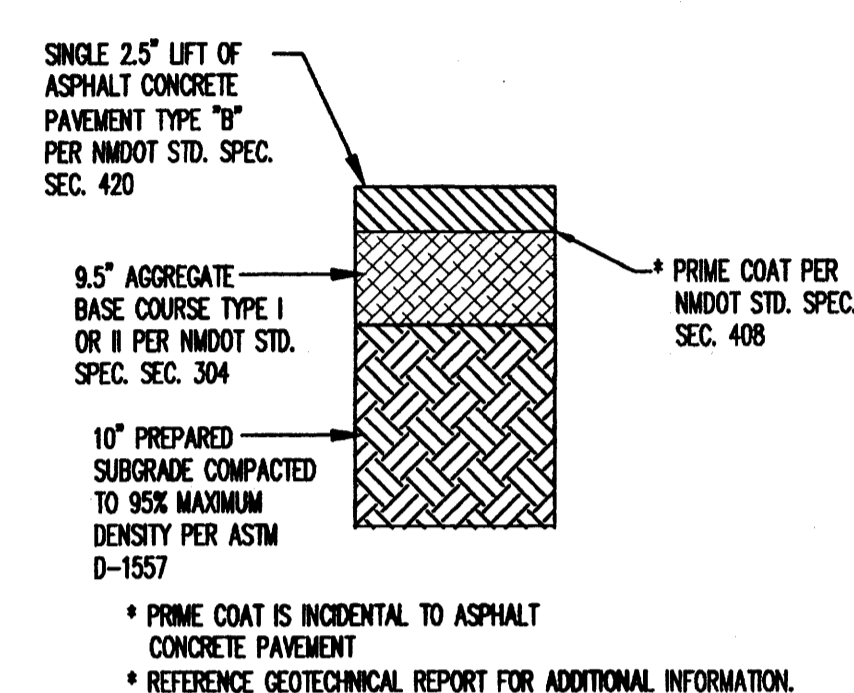
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 Plotted by: JWOOTEN



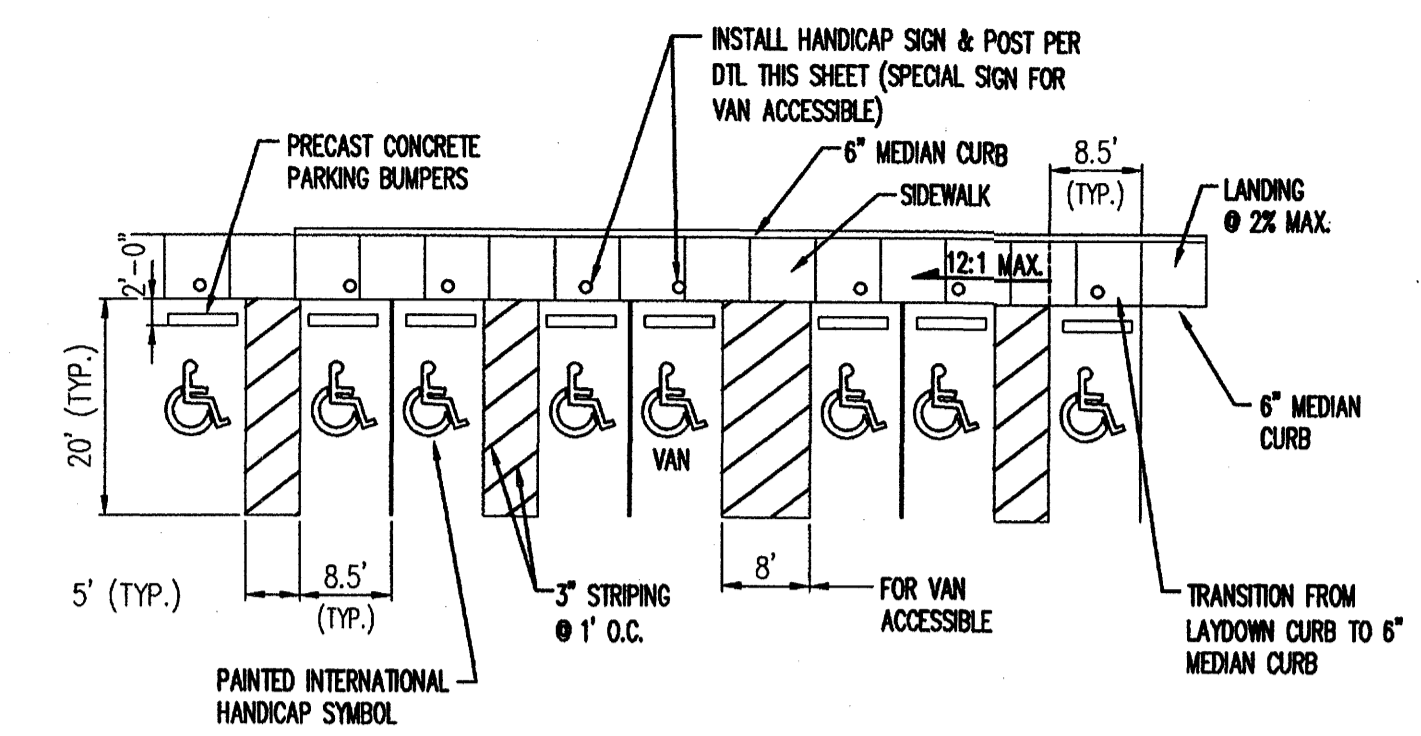
**REFUSE ENCLOSURE CONCRETE PAVEMENT**  
N.T.S.



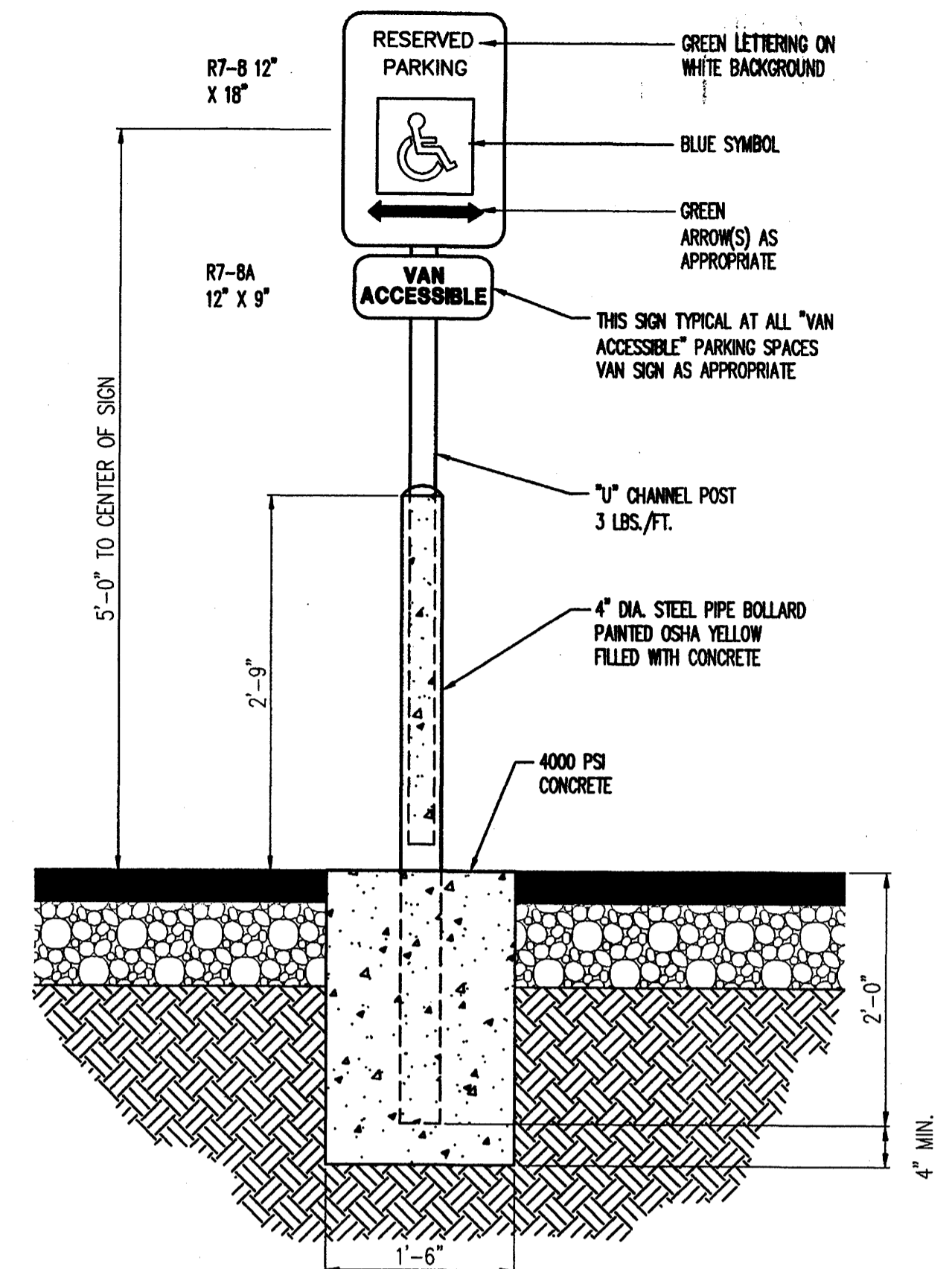
**LIGHT DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



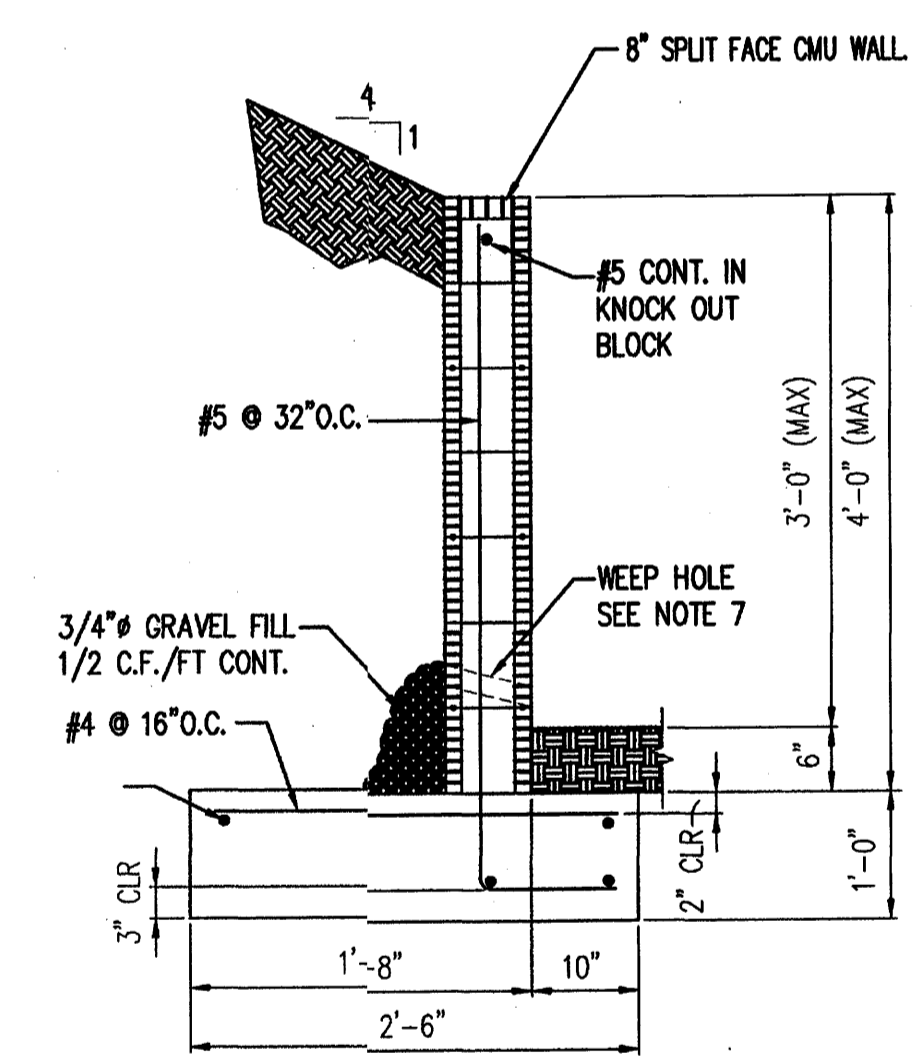
**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



**HANDICAP PARKING DETAIL**  
NOT TO SCALE

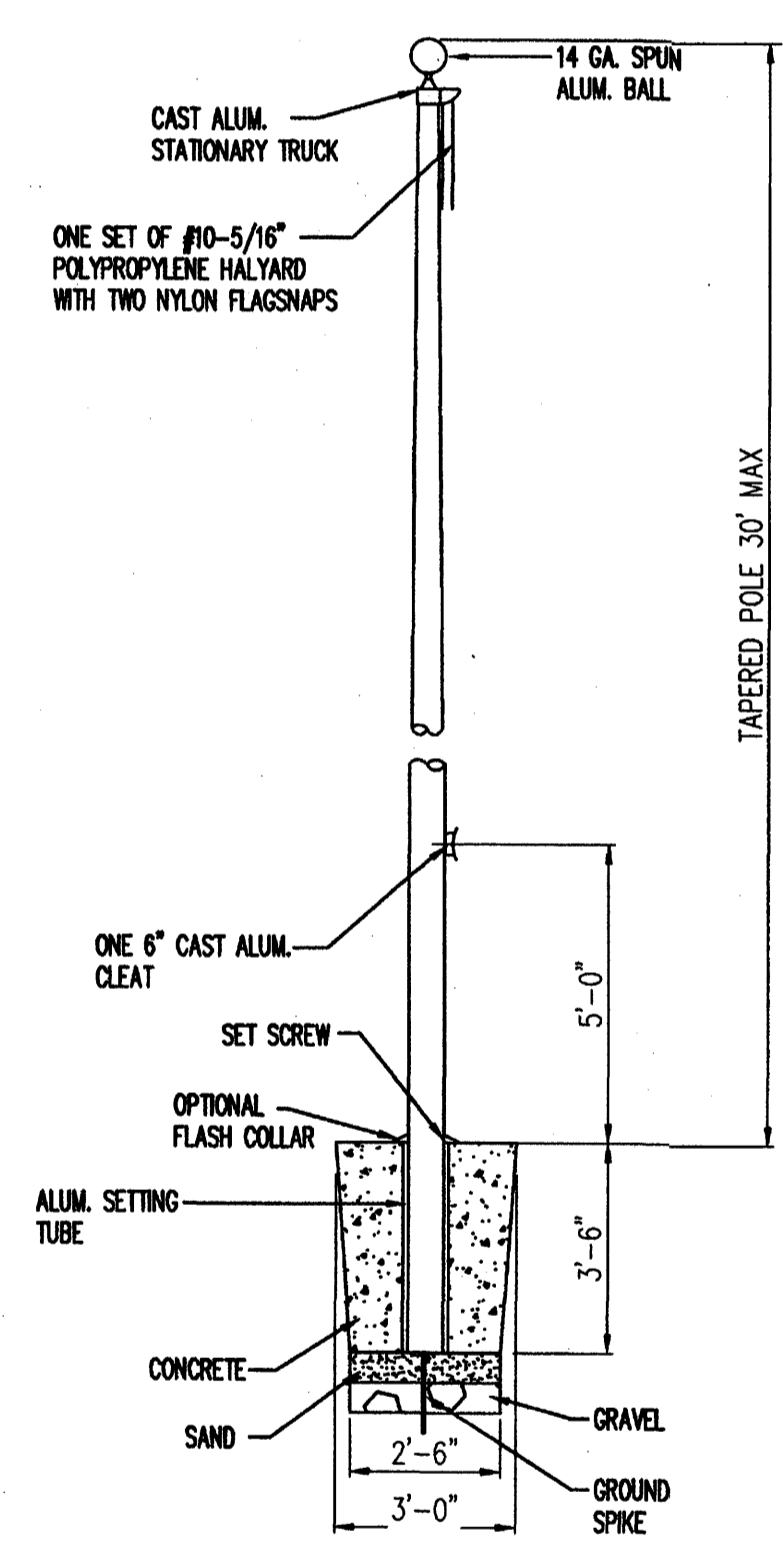


**HANDICAP PARKING SIGN MOUNTING DETAIL**  
N.T.S.  
ONE SIGN SHALL BE INSTALLED AT EACH HANDICAP SPACE.

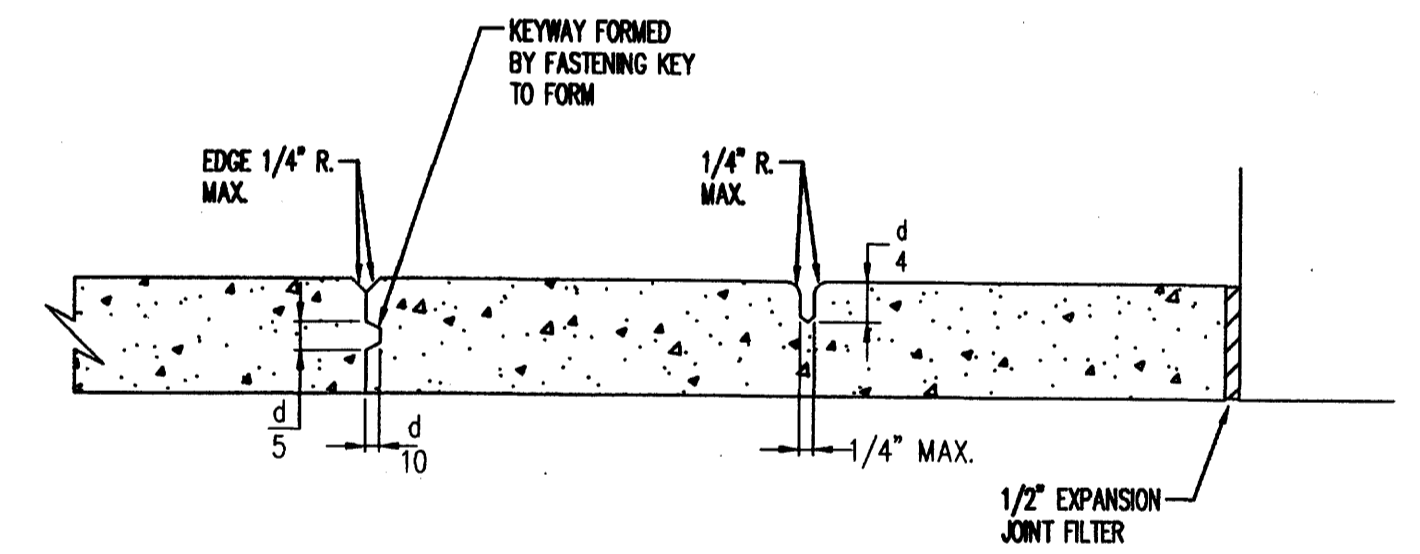


**SPLIT FACE CMU RETAINING WALL**  
NOT TO SCALE

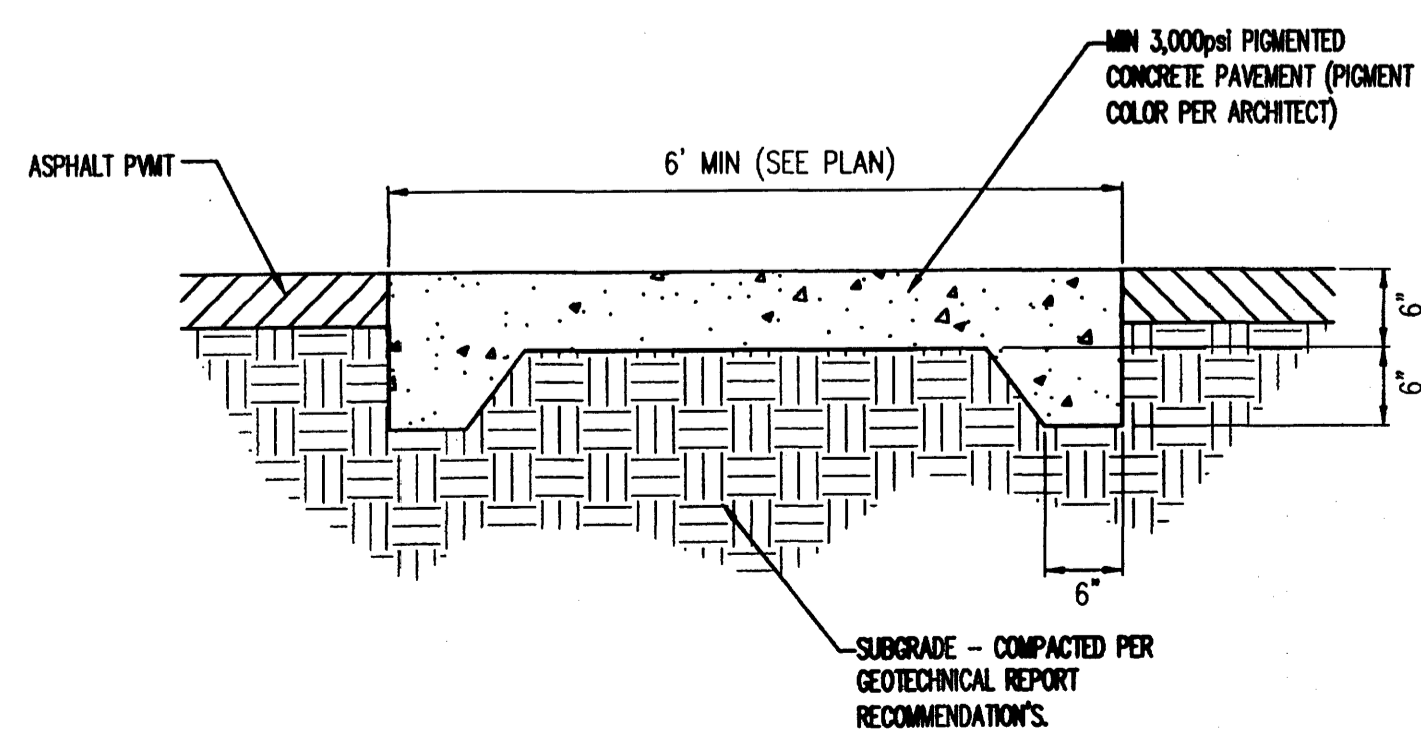
- NOTES:**
- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER CASTING THE WALL.
  - VERTICAL CONTROL JOINTS IN THE WALL SHALL BE PLACED AT 8'-0" O.C. MAX.
  - CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE.
  - DESIGN DATA  
EFP (ACTIVE) = 36 PCF  
SOIL BEARING PRESSURE = 1500 PCF  
(1/3 INCREASE FOR WIND/SEISMIC)  
COEFFICIENT OF FRICTION = 0.35  
EFP (PASSIVE) = 300 PCF  
CONCRETE F' C (28 DAYS) = 3000 PSI  
REINFORCEMENT = 60 ASTM A-615
  - CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
  - WEEP HOLES: PLACE A 2" DIA. WEEP HOLE @ 5'-0" O.C. W/ 1/2 CUBIC FOOT/FOOT OF 3/4" GRAVEL IN FILTER FABRIC
  - THE FIRST COURSE OF CMU BLOCK MAY BE PLACED IN FRESH FOOTING CONCRETE. SUBSEQUENT COURSES OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
  - ALL CMU BLOCK JOINTS SHALL BE TOOLED.
  - BACK FILL AND COMPACTION OF RETAINING WALL IS INCIDENTAL TO INSTALLATION OF RETAINING WALL.



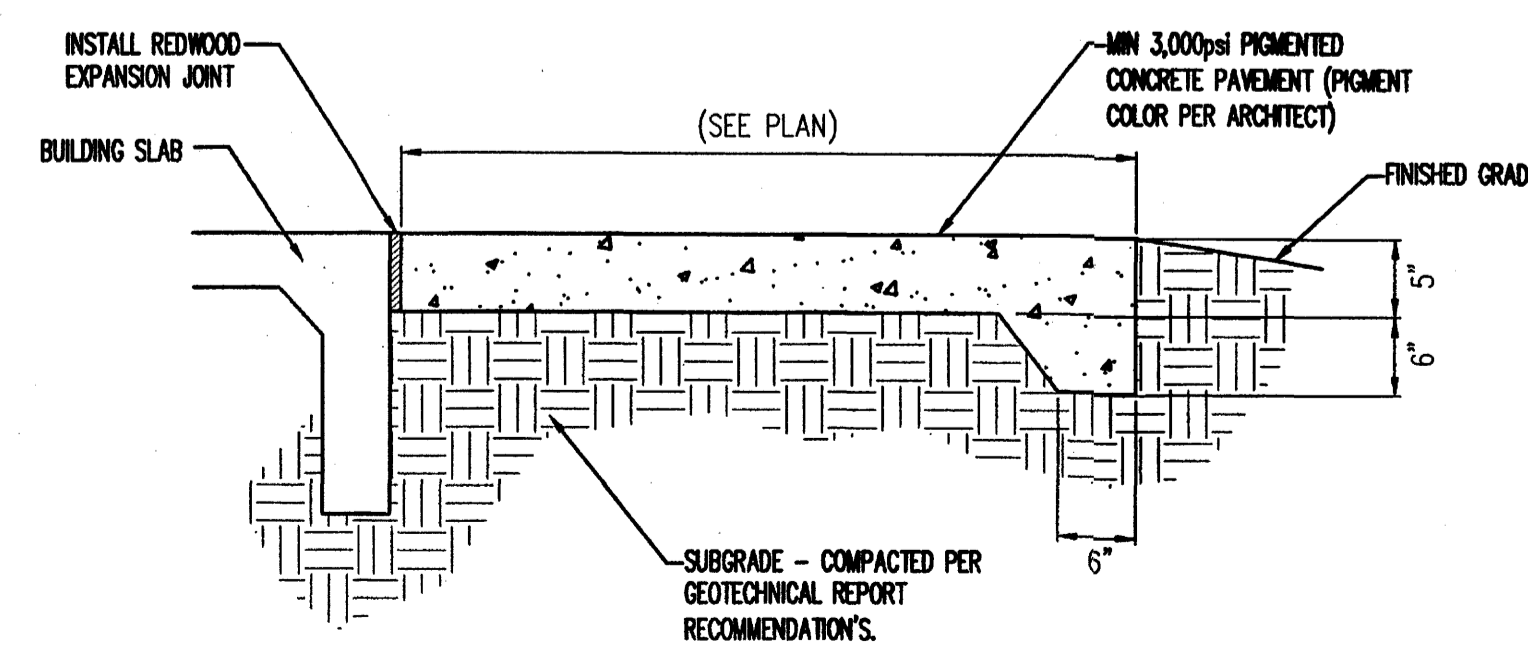
**TYPICAL FLAG POLE**  
N.T.S.



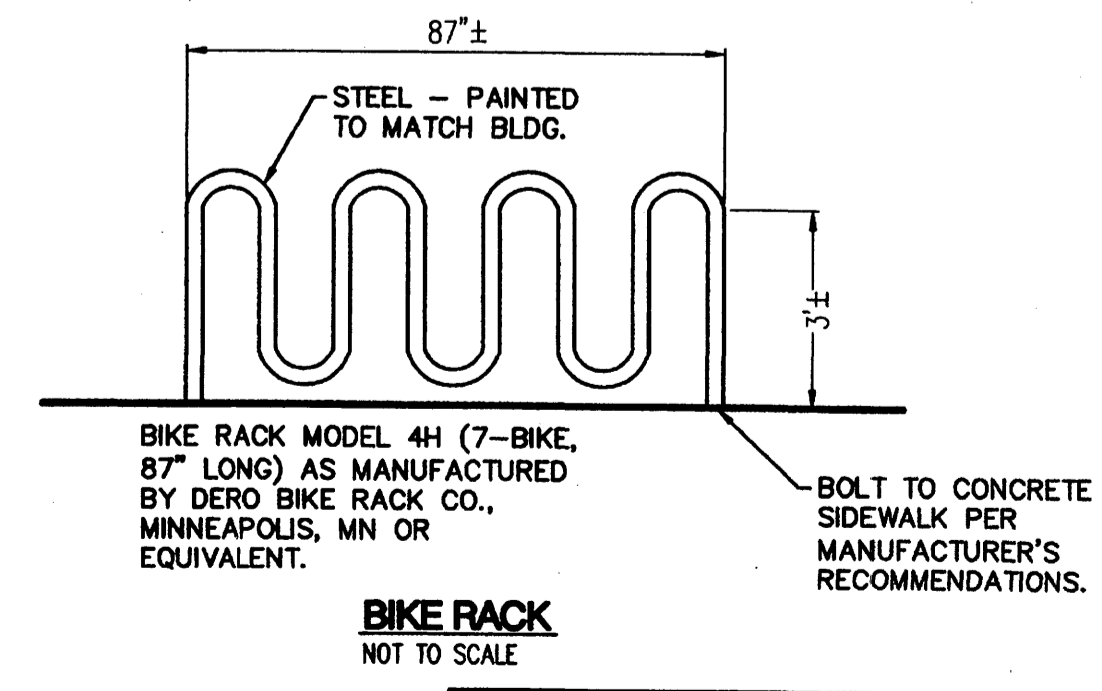
**CONCRETE PAVEMENT JOINT DETAILS**  
N.T.S.



**SIDEWALK CROSSING DETAIL**  
NOT TO SCALE



**CONCRETE PATIO DETAIL**  
NOT TO SCALE



**BIKE RACK**  
NOT TO SCALE

**Bohannon & Huston**  
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**NC** ARCHITECTS - PLAs  
1306 RIO GRANDE ALBUQUERQUE, NM 87109-4335  
505-255-6400 505-255-6400  
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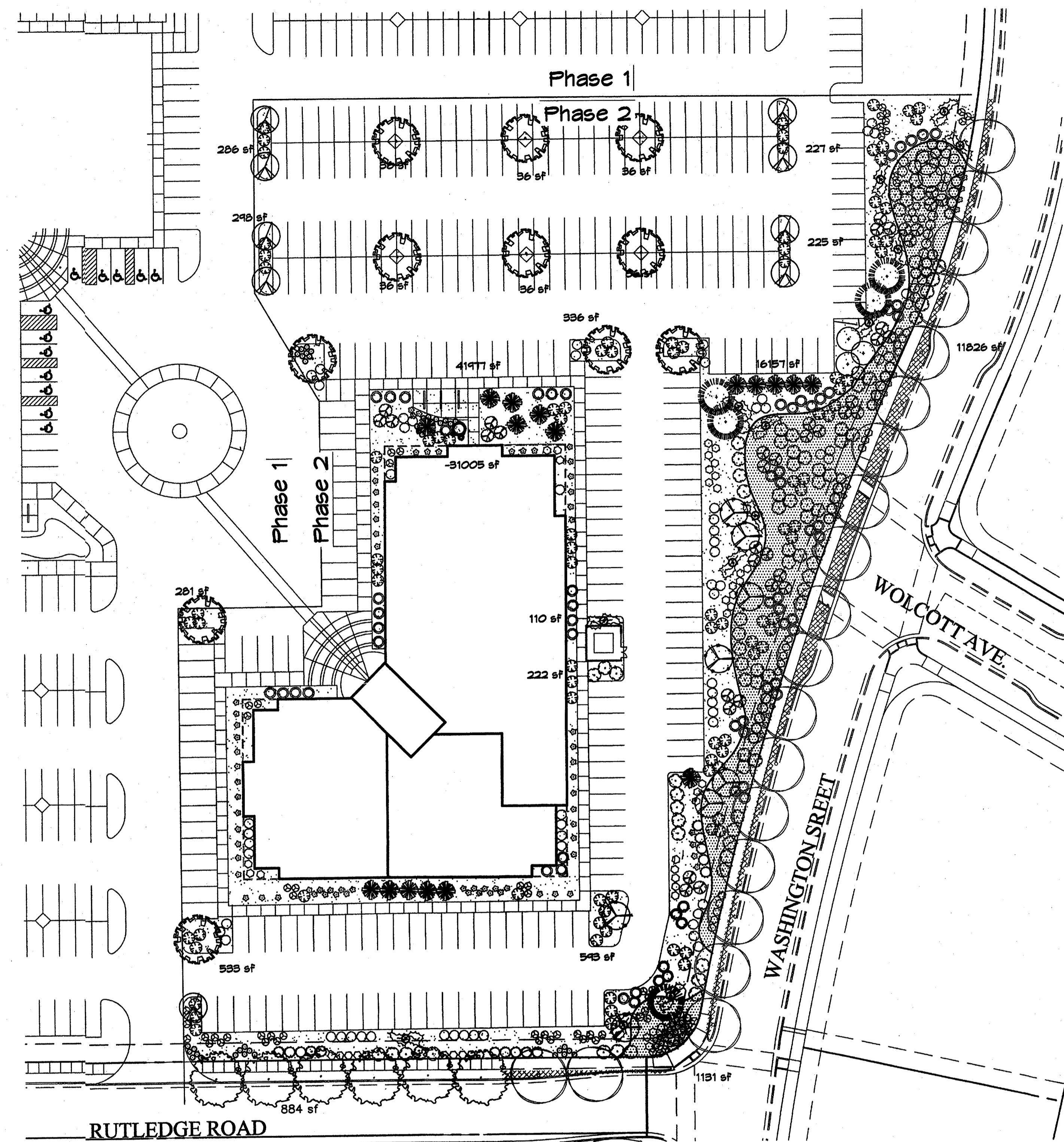
CONSULTANT

PROJECT

**MASTHEAD OFFICE COMPLEX AT JOURNAL CENTER 2**

REVISION	DATE	DESCRIPTION

MK DATE DESCI  
DRAWN BY: RWB  
JOB NUMBER: A0559  
DATE: NOVEMBER  
SHEET: C1



### PLANT LEGEND

- EXISTING BERINDA ASH
- BERINDA ASH (H) 6 *Freylinus SPP.* 2' Cal. (PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
- CHINESE PISTACHE (M) 11 *Pistachia chinensis* 2' Cal.
- OAK (M) 8 *Quercus spp.* 2' Cal.
- REDBUD (M) 9 *Cercis reniformis* 2' Cal.
- AUSTRIAN PINE (M) 5 *Pinus nigra* 6"-8"
- THORNLESS HAWTHORN (M+) 5 *Crataegus crus-galli inermis* 15 Gal. 225sf
- SOTOL 17 *Dasylirion wheeleri* 5 Gal. 36sf
- MUGO PINE (M) 1 *Pinus mugo* 5 Gal. 36sf
- CURLLEAF MTN MAHOGANY (L) 83 *Carpinus ledifolius* 5 Gal. 100SF
- THREE-LEAF SUMAC (L) 43 *Rhus trilobata* 5 Gal. 36sf
- APACHE PLUME (L) 83 *Fallugia paradoxa* 5 Gal. 42sf
- THREADGRASS (M) 91 *Stipa tenuissima* 1 Gal. 4sf
- AUTUMN SAGE (M) 71 *Salvia greggii* 5 Gal. 9sf
- LAVENDER (M) 49 *Lavandula angustifolia* 1 Gal. 9sf
- ARP ROSEMARY (M) 66 *Rosmarinus officinalis* 5 Gal. 36sf
- POWIS CASTLE SAGE (L) 39 *Artemisia x powis castle* 5 Gal. 25sf
- WINTER JASMINE (L+) 99 *Jasminum nudiflorum* 5 Gal. 144sf
- WILDFLOWER 59 1 Gal. 4sf
- GREYLEAF COTONEASTER 39 *Cotoneaster buxifolius* 5 Gal. 81sf

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

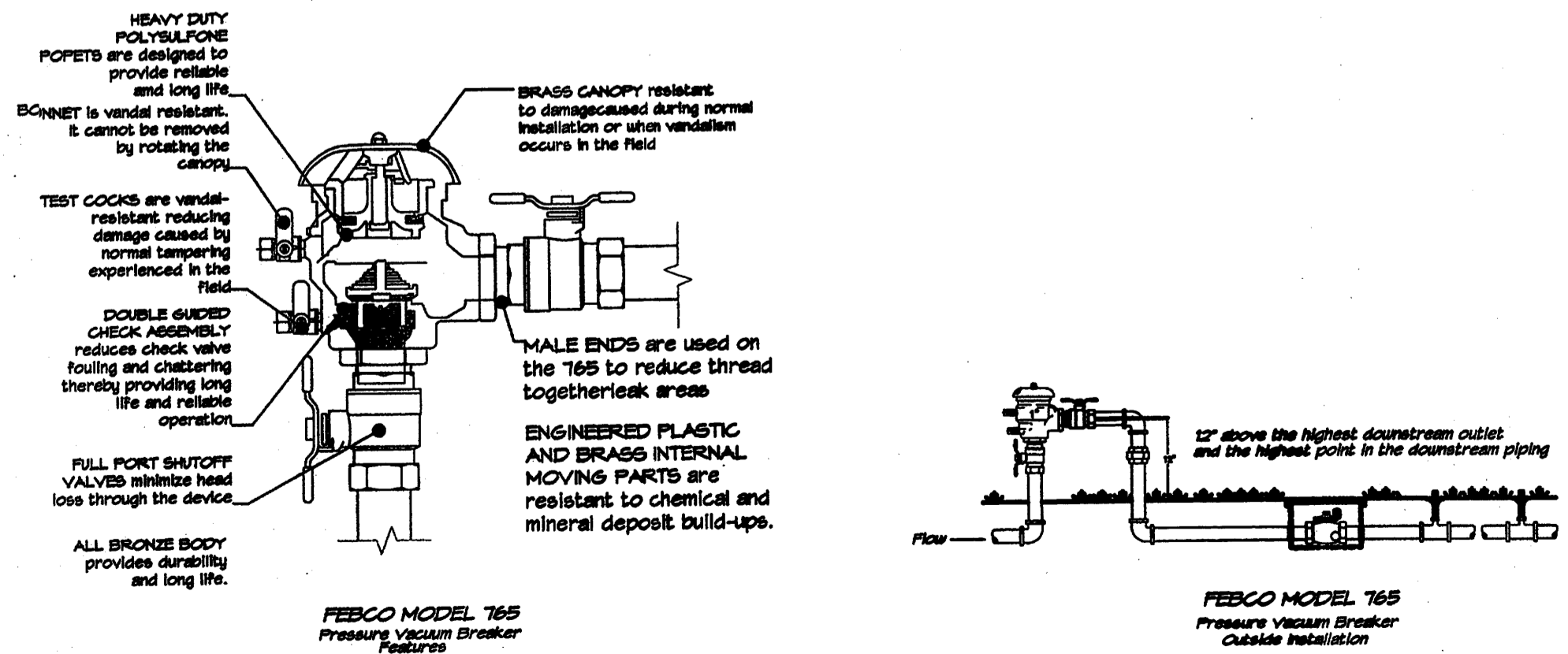
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

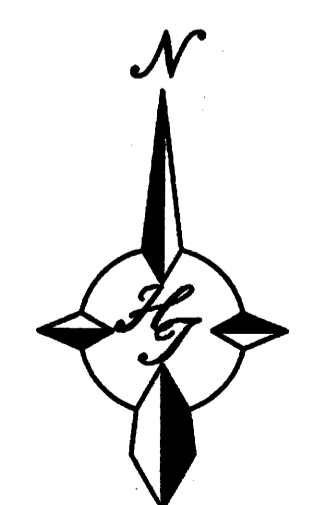
### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	101501	square feet
TOTAL BUILDINGS AREA	43401	square feet
OFFSITE AREA	884	square feet
NET LOT AREA	137222	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	20583	square feet
TOTAL BED PROVIDED	44297	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	33223	square feet
TOTAL GROUND COVER PROVIDED	34944 (11%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	44297 (32%)	square feet

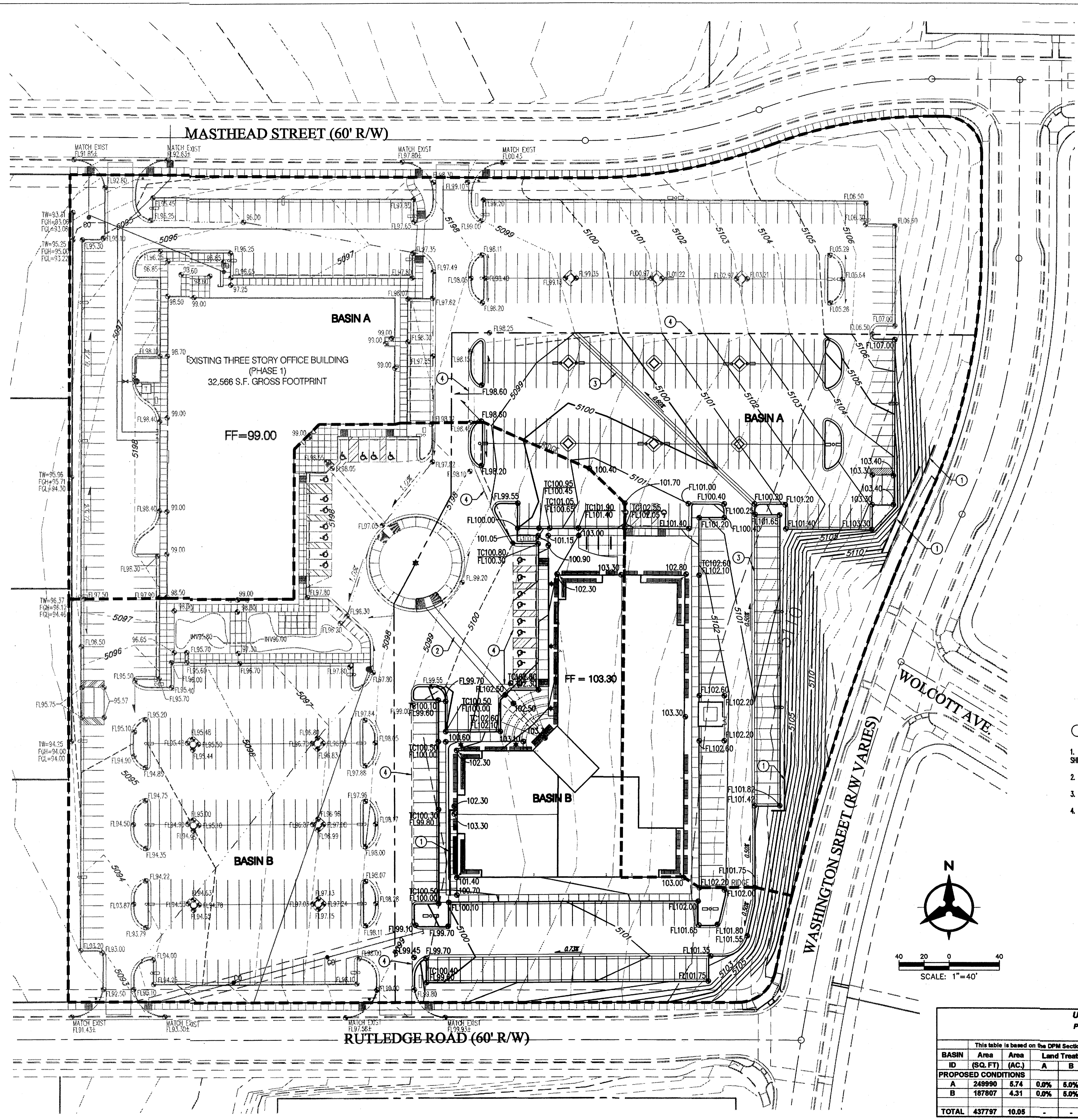


**BACKFLOW PREVENTER DETAIL**  
FEBCO MODEL 765 Pressure Vacuum Breaker Features  
not to scale

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cjohnson@hilltoplandscaping.com

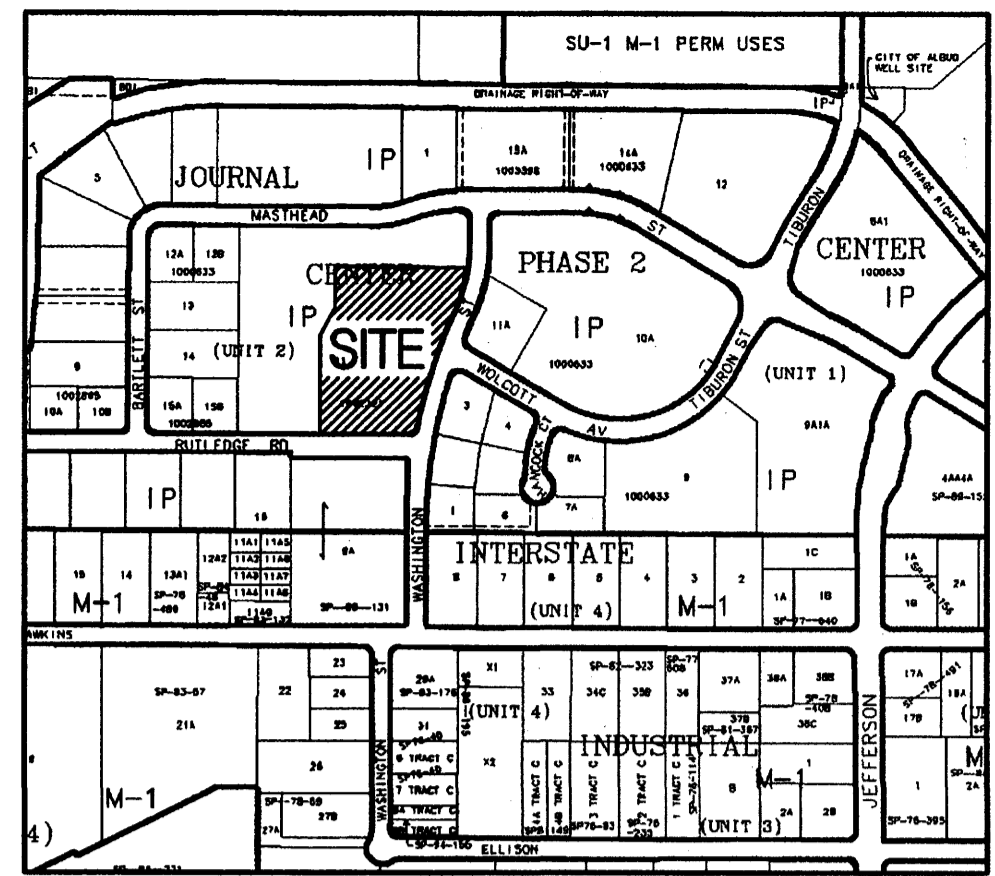


**GRAPHIC SCALE**  
40 20 0 20 40  
SCALE: 1"=40'



**LEGEND**

- PROPERTY LINE
- - - - - 50.40 EXISTING CONTOUR
- - - - - 32.00 PROPOSED INDEX CONTOUR
- - - - - 32.00 PROPOSED INTERMEDIATE CONTOUR
- 32.40 EXISTING SPOT ELEVATION
- 32.40 PROPOSED SPOT ELEVATION
- FL = FLOWLINE
- TS = TOP OF SIDEWALK
- FBH = FINISHED GROUND HIGH SIDE
- FLZ = FINISHED GROUND LOW SIDE
- TW = TOP OF WALL
- DIRECTION OF FLOW



**LEGAL DESCRIPTION**  
 TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
 ALBUQUERQUE, NM, NOVEMBER, 2005

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ON ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
 The purpose of this submittal is to provide a conceptual Drainage Management Plan and rough grading plan for development of the Masthead Office Complex at Journal Center 2 - Phase 2, located in the Journal Center, Phase 2, Unit 2, Lot 11-B in NE Albuquerque.

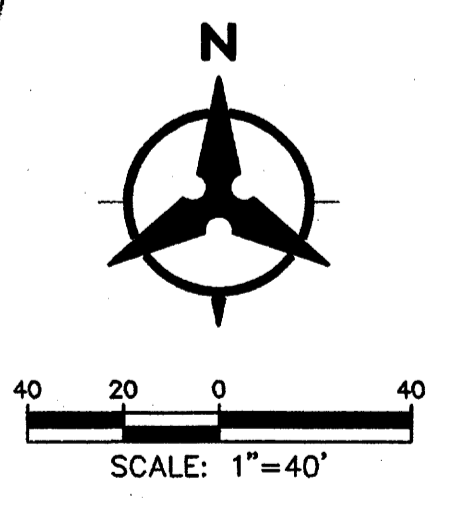
**II. SITE LOCATION**  
 The site is currently legally described as, Journal Center, Phase 2, Unit 2, Lot 11-B (+/- 4.4 acres). The site is located within zone atlas map #M-21, and is in hydrologic zone 2. The site is located at the southwest corner of Masthead and Washington, just west of Jefferson.

**III. EXISTING HYDROLOGIC CONDITIONS**  
 Currently the site (4.4 ac.) is undeveloped land. The surrounding streets and infrastructure are in place and Phase 1 of the development is currently under construction. The site drains from east to west in a sheet flow condition. Per the approved Drainage Plan of Journal Center - Phase 2 located in file number D177D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via surface flow out of the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
 The proposed conditions for the Masthead Office Complex at Journal Center 2 are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event. The total site (+/- 10.0 acres) will generate a total of 44.45 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge via surface and curb and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pino Arroyo, and then to the AMAFECA North Diversion Channel. Approximately 19.07 cfs drains to Rutledge; the other 25.38 cfs drains to Masthead.

**V. CONCLUSION**  
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting conceptual grading and drainage plan approval for building permit and rough grading approval.

- KEYED NOTES**
1. 4' HIGH ± MASONRY RETAINING WALL. SEE DETAIL, SHEET C1.2
  2. 2% MAXIMUM CROSS-SLOPE AT SIDEWALK CROSSING.
  3. CONCRETE VALLEY GUTTER, REFER TO SITE PLAN.
  4. MATCH EXISTING PAVEMENT.



**US FOREST SERVICE BUILDING**  
 Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone 2

BASIN ID	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (Inches)	V(100)300 (CF)	V(100)1440 (CF)
			A	B	C	D					
<b>PROPOSED CONDITIONS</b>											
A	249990	5.74	0.0%	5.0%	10.0%	85.0%	4.42	25.38	1.95	40707	48852
B	187807	4.31	0.0%	5.0%	10.0%	85.0%	4.42	19.07	1.95	30581	36701
<b>TOTAL</b>	<b>437797</b>	<b>10.05</b>	-	-	-	-	<b>4.42</b>	<b>44.45</b>	<b>3.91</b>	<b>71287.94</b>	<b>71288</b>

**Bohannon & Huston**  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES  
 Courtyard I 7600 Jefferson St. NE Albuquerque, NM 87109-4335

**NCA**  
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 WWW.NCA-ARCHITECTS.COM  
 ARCHITECT

CONSULTANT

JEFFREY TODD WOODEN  
 NEW MEXICO  
 116892  
 LICENSED PROFESSIONAL ENGINEER  
 11/23/05

PROJECT TITLE

NEW MEXICO

**MASTHEAD OFFICE COMPLEX AT JOURNAL CENTER 2**

**SITE PLAN FOR BUILDING PERMIT - Grading Plan**

ALBUQUERQUE

REVISIONS

MK	DATE	DESCRIPTION
RWB	JTV	CHECKED BY:

JOB NUMBER: A0559

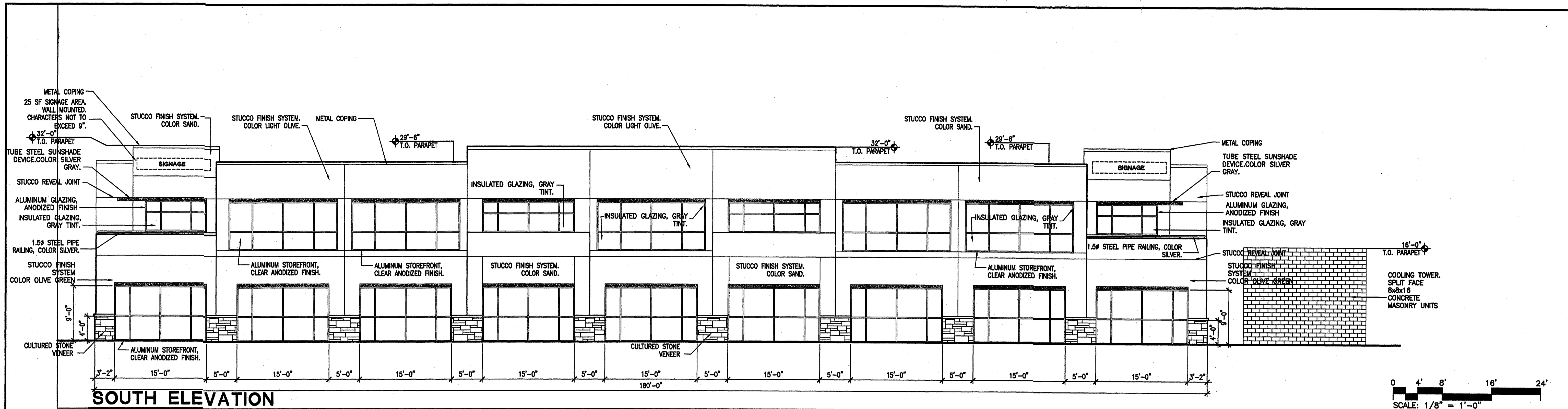
DATE: NOVEMBER 2005

SHEET NO

**C2.0**

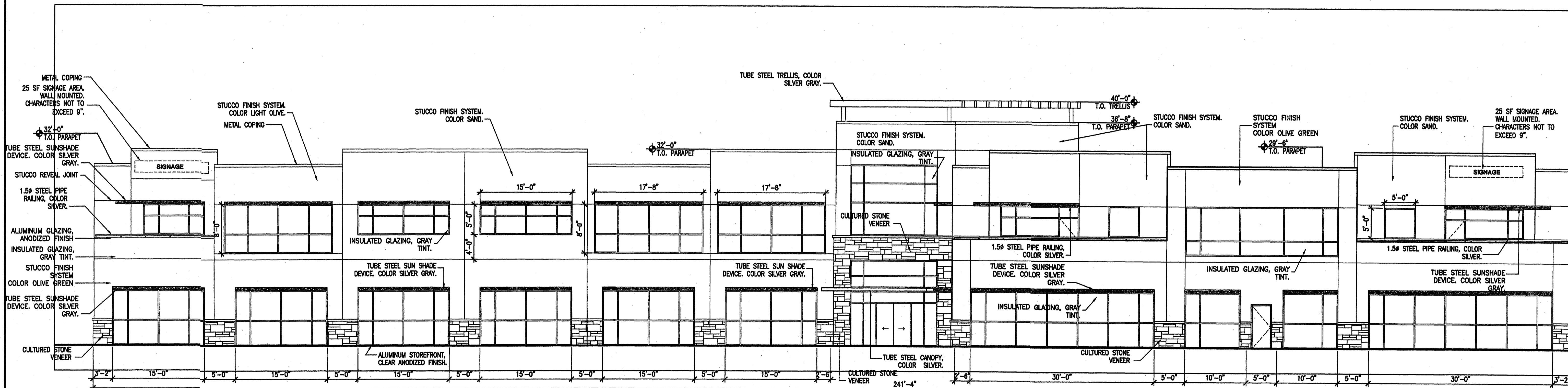
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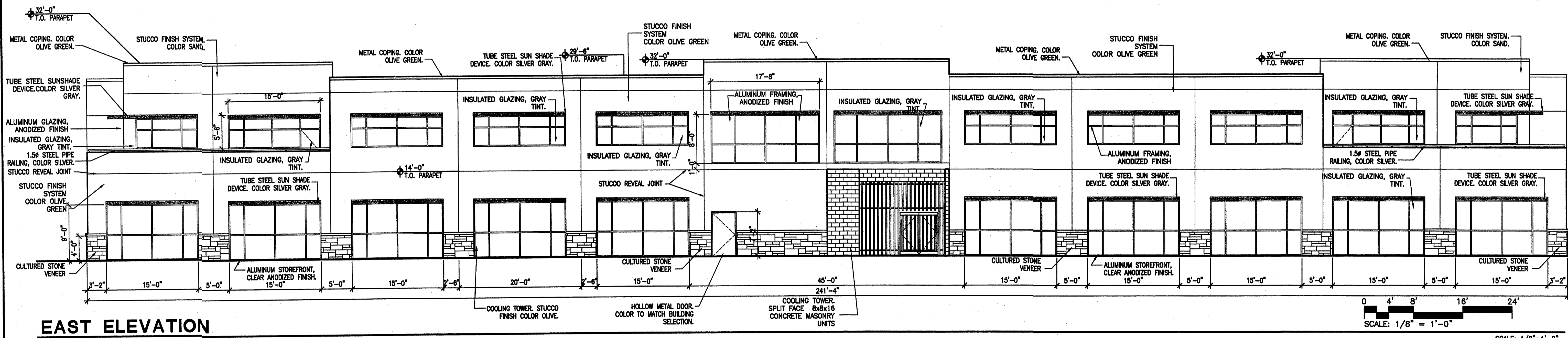
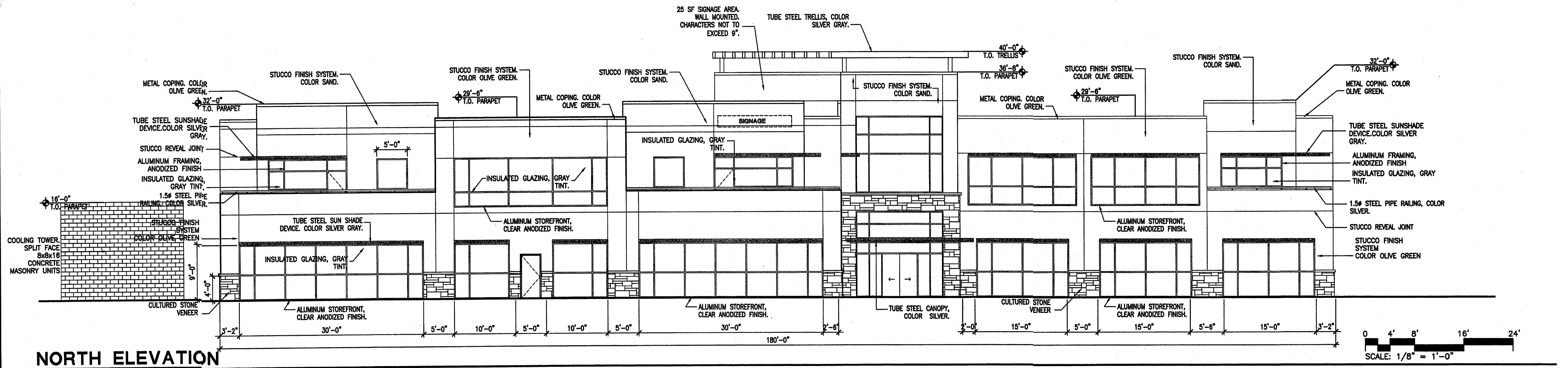
**SOUTH ELEVATION**

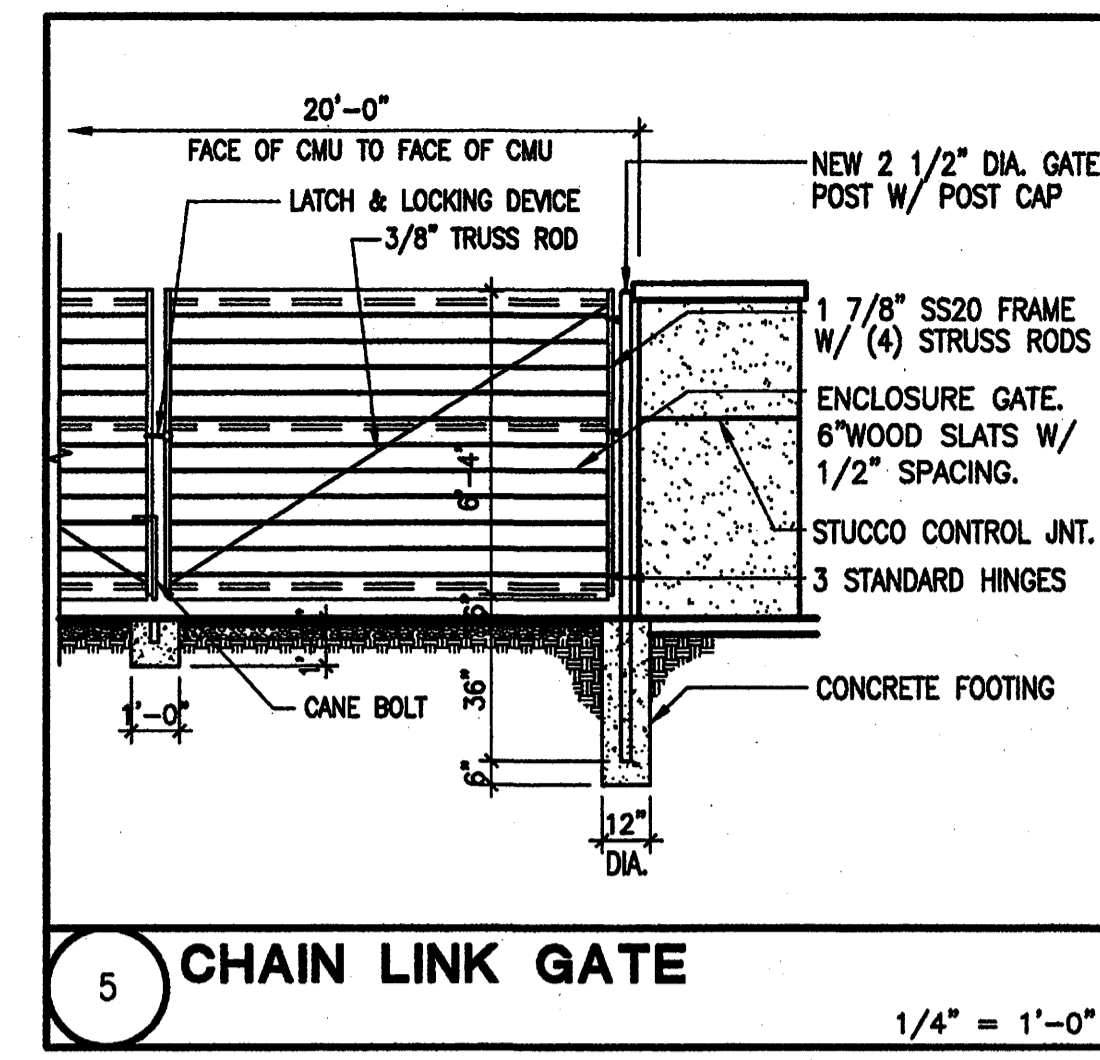
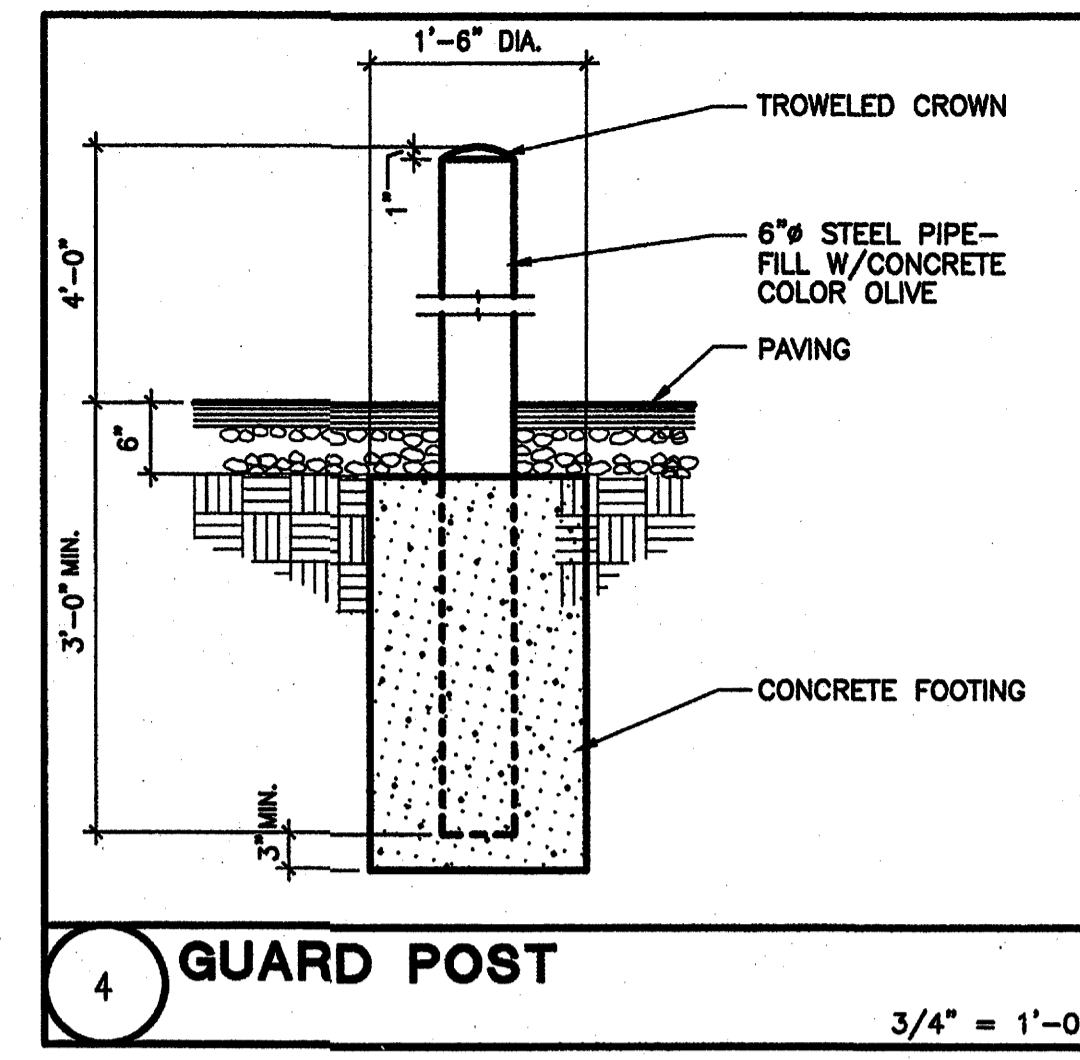
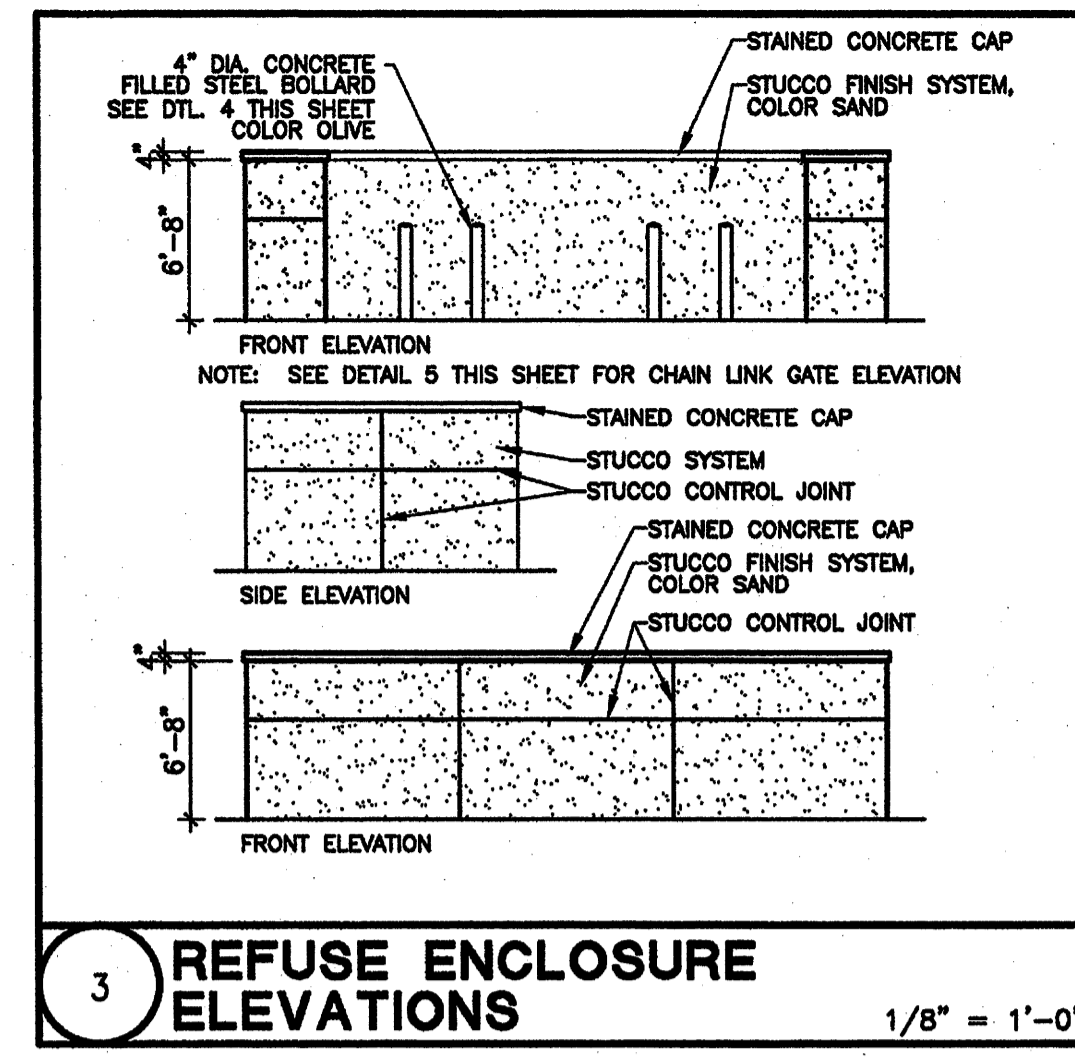
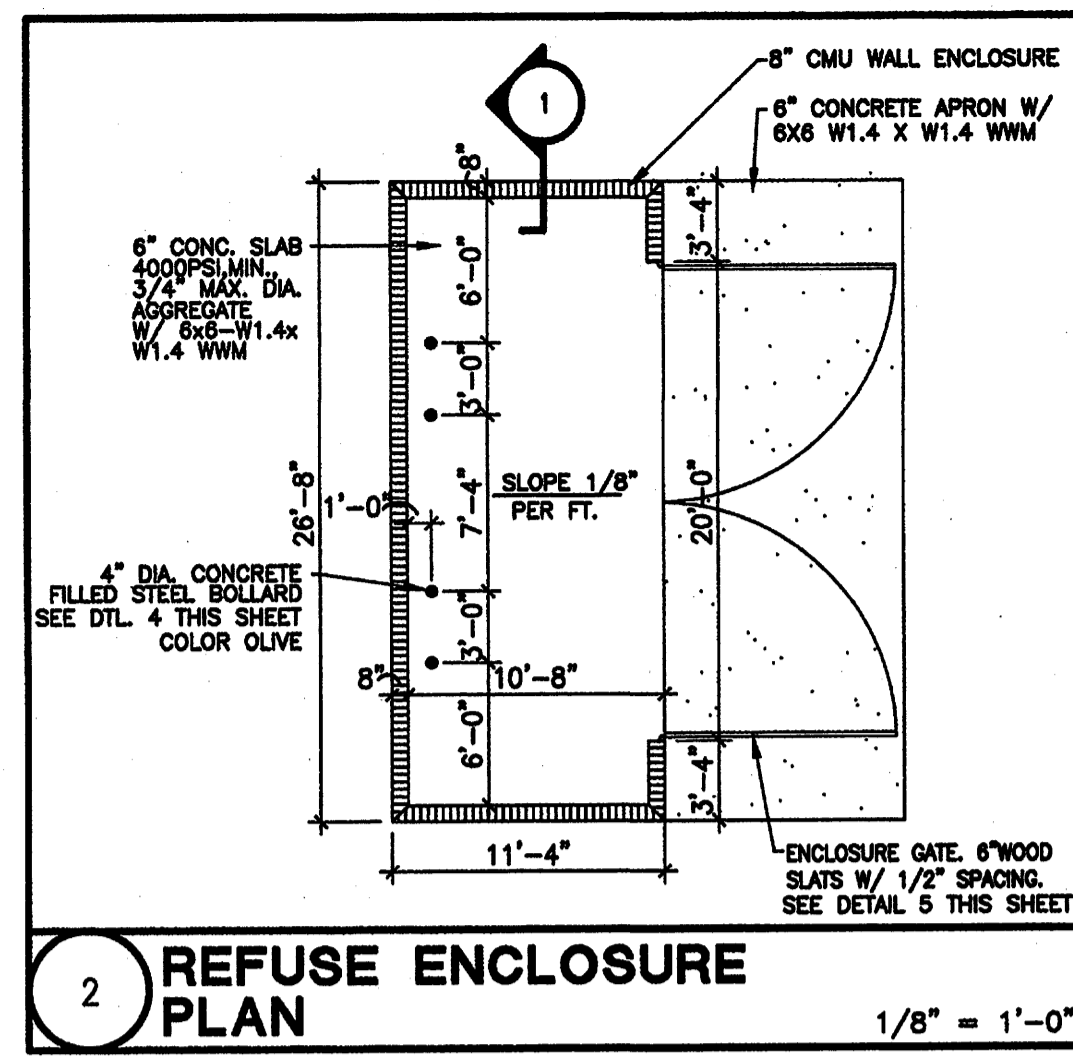
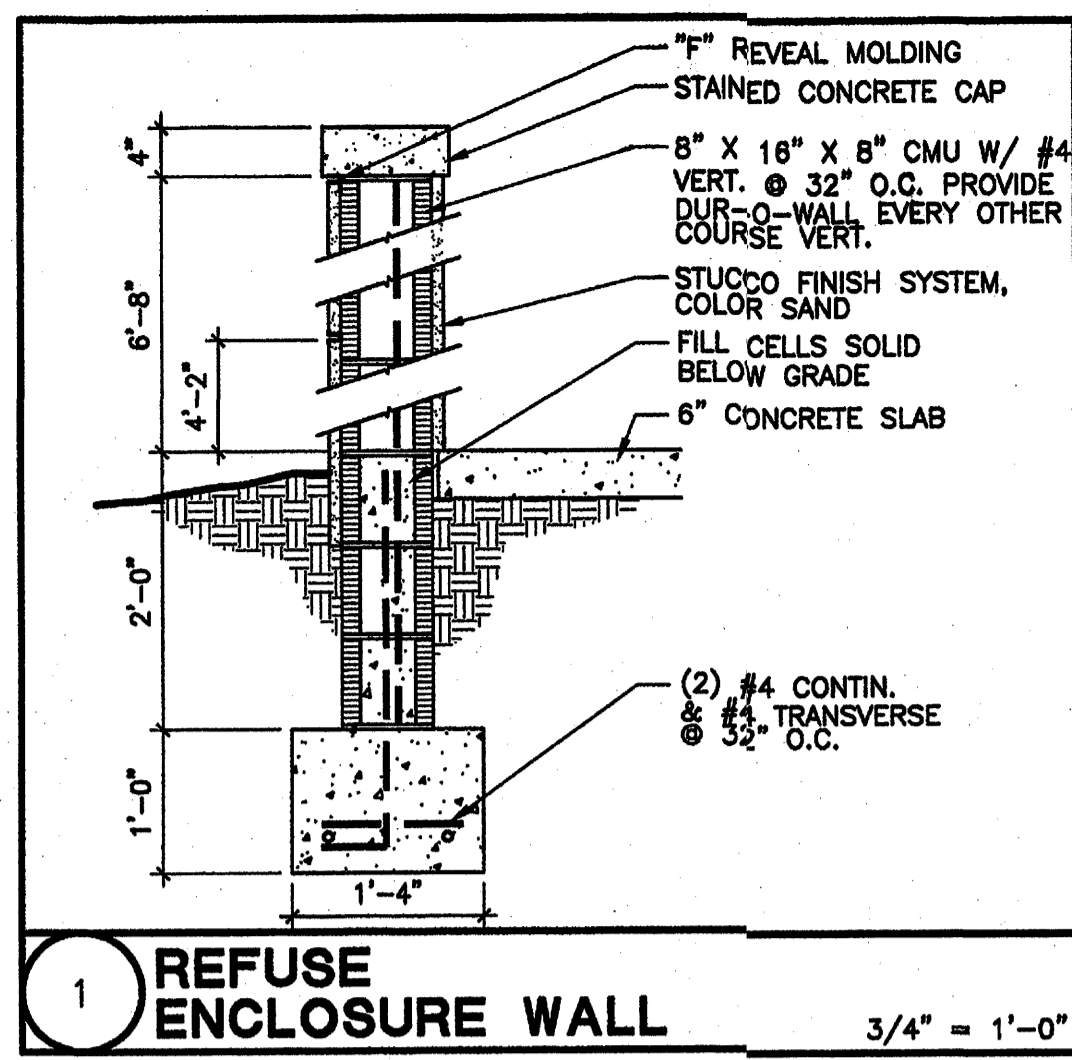
0 4' 8' 16' 24'  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

0 4' 8' 16' 24'  
SCALE: 1/8" = 1'-0"





ALL SPLIT FACE MASONRY UNITS AND STUCCO COLORS TO MATCH AND HARMONIZE WITH THE BUILDING'S OVERALL COLOR SCHEME.



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 ARCHITECT

CONSULTANT

PROJECT TITLE

NEW MEXICO

MASTHEAD OFFICE COMPLEX  
 AT JOURNAL CENTER 2

ALBUQUERQUE

REVISIONS

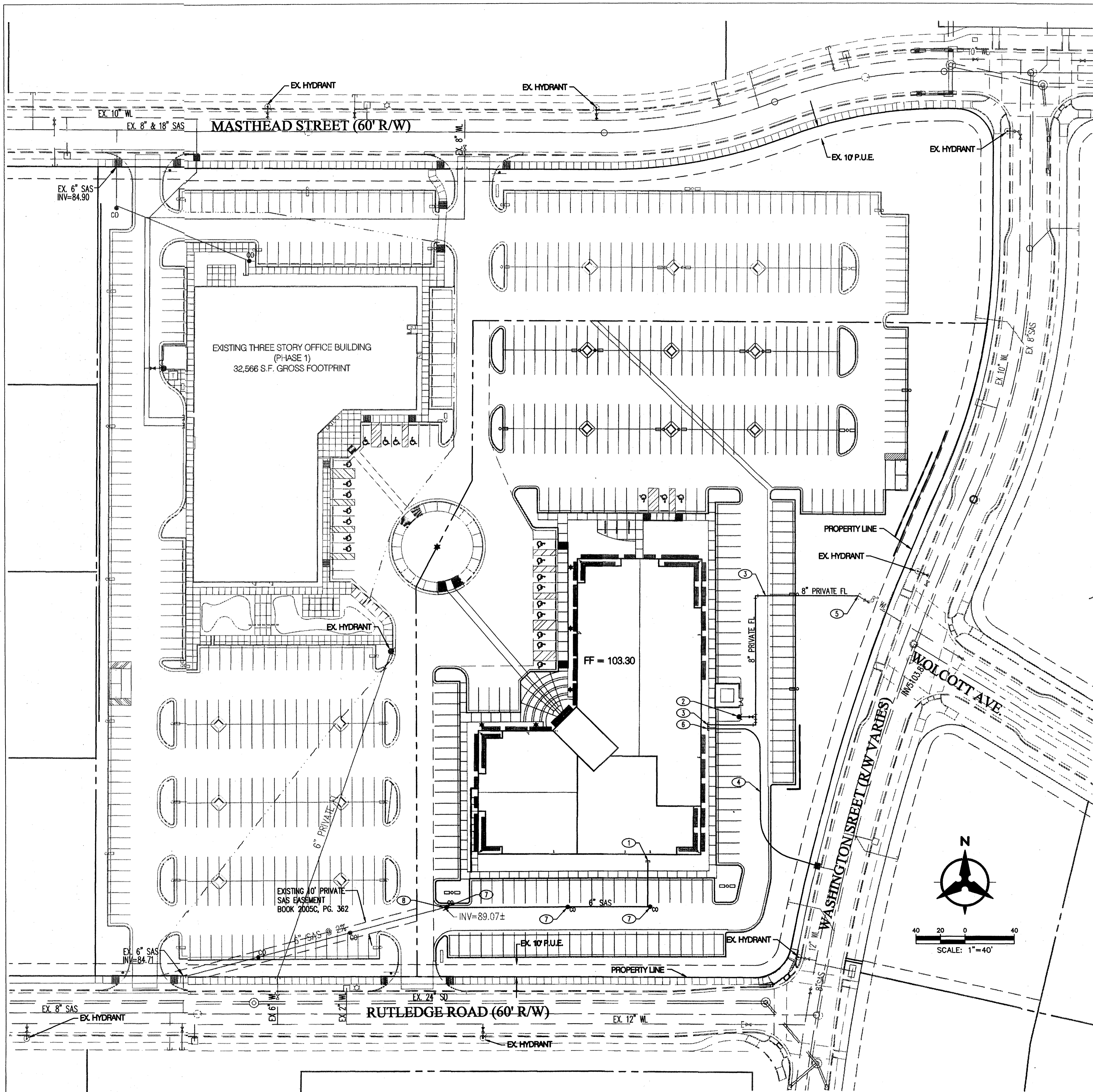

MK DATE DESCRIP  
 DRAWN BY: CHE

JOB NUMBER  
 A0559

DATE:  
 NOVEMBER 20

SHEET NO

AS1.



**UTILITY NOTES**

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER CDA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

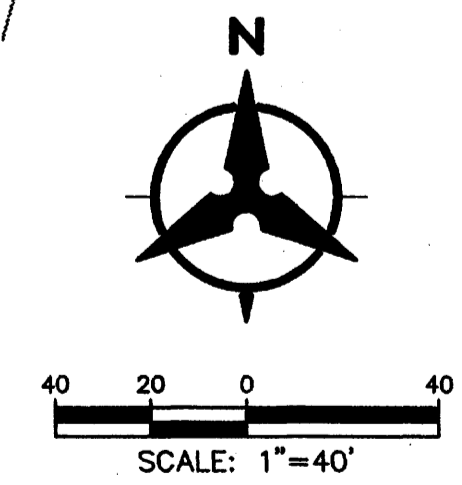
**UTILITY KEYED NOTES**

1. 6" SANITARY SEWER STUB
2. NEW PRIVATE FIRE HYDRANT
3. 8" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL.
4. NEW 1 1/2" METERED WATER SERVICE. CONNECT TO EXISTING 2" WATER LINE STUB OUT.
5. CONNECTION TO EXISTING 8" FIRE LINE STUB
6. NEW 1 1/2" DOMESTIC WATER SERVICE TO BUILDING. BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT
8. CONNECT TO EX. 6" SAS STUB PROVIDED TO SITE WITH PHASE 1.

**LEGEND**

—	PROPERTY LINE
EX. 8" SAS	EX. 8" SANITARY SEWER & MANHOLE
EX. 24" SD	EX. 24" STORM DRAIN & MANHOLE
—	EX. INLET
EX. 12" WL	EX. 12" WATER LINE
x	EX. VALVE
□	EX. METER
⊗	EX. FIRE HYDRANT
☆	EX. STREET LIGHT
SAS	PROPOSED SANITARY SEWER
—	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE

APD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
 FINE 11/22/05  
 SIGNATURE OF STATE



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ARCHITECT

CONSULTANT

PROJECT TITLE

NEW MEXICO

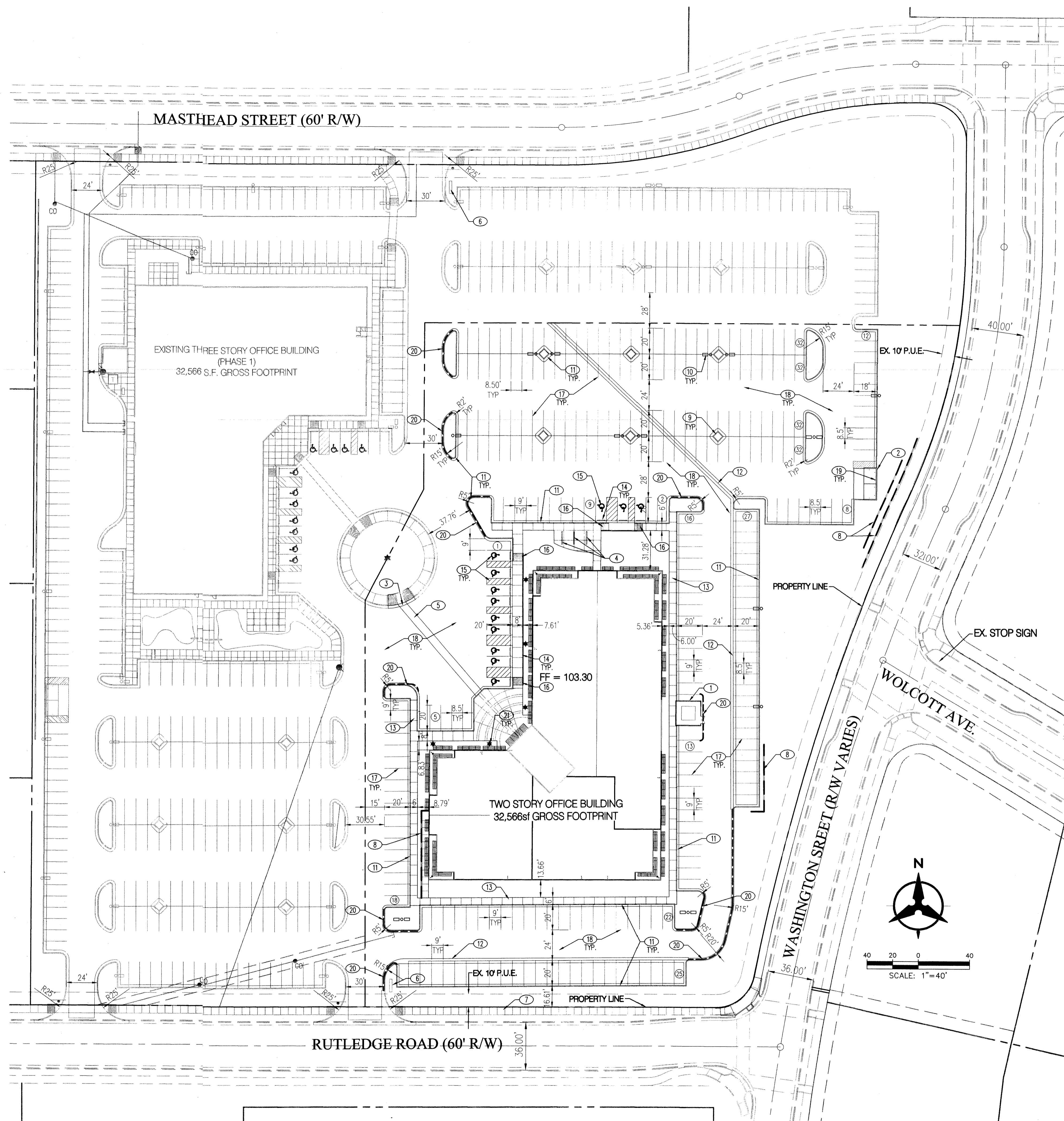
ALBUQUERQUE

**MASTHEAD OFFICE COMPLEX  
 AT JOURNAL CENTER 2**

**SITE PLAN FOR BUILDING PERMIT - Utility Plan**

REVISIONS

MK	DATE	DESCRIPTION
DRAWN BY:		CHECKED BY:
RWB		JTW
JOB NUMBER:	A0559	
DATE:	NOVEMBER 2005	
SHEET NO	C3.0	



**KEYED NOTES**

- 14' HIGH MASONRY SCREEN WALL TO MATCH BUILDING. REF. ARCH. DETAILS. WALL TO SCREEN MECH. EQUIPMENT.
- MASONRY REFUSE ENCLOSURE TO MATCH BUILDING. MIN 6' HIGH. SEE DETAILS 1-5 ON SHEET AS1.2. INSTALL CONCRETE PAD PER CROSS SECTION DETAIL ON SHEET C1.2.
- SAWCUT & REMOVE EXISTING SIDEWALK AND CURB & GUTTER. INSTALL HANDICAP RAMP/ MIN. 5'x5' LANDING
- BICYCLE PARKING (21 SPACES). REF. DETAIL ON SHEET C1.2.
- 6' WIDE, PIGMENTED CONCRETE SIDEWALK CROSSING TO MEET JOURNAL CENTER STANDARDS (2% MAX. CROSS SLOPE). PIGMENT COLOR PER ARCHITECT. REF. DETAIL ON SHEET C1.2.
- EXISTING MONUMENT SIGN, INSTALLED WITH PHASE 1.
- EXISTING 6' WIDE SIDEWALK, INSTALLED WITH PHASE 1.
- 4' HIGH MASONRY RETAINING WALL. RETAINING WALL SHALL BE SPLIT FACE CMU TO COMPLEMENT BUILDING. REF. DETAIL ON SHEET C1.2.
- 6'x6' TREE PLANTER (TYP). REF. LANDSCAPE PLANS FOR TREATMENT.
- LIGHT POLE. REF. LIGHTING PLANS FOR DETAILS.
- MEDIAN CURB & GUTTER PER COA STD DWG 2415B (6" HIGH CURB).
- CONC VALLEY GUTTER PER COA STD DWG 2421 (SECTION A-A).
- 4" THICK CONCRETE SIDEWALK PER COA STD DWG 2430.
- INSTALL PRECAST CONCRETE WHEELSTOP PER MANUFACTURER'S RECOMMENDATIONS.
- INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.2.
- INSTALL CURB ACCESS RAMP PER COA STD DWGS 2440 AND 2441.
- INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
- INSTALL NEW ASPHALT PAVEMENT PER DETAILS SHEET C1.2.
- INSTALL 4" BOLLARDS PER DETAILS 2 & 4, SHEET AS1.2.
- INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
- BOLLARD LIGHTING PER DETAIL ON SHEET C1.1

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

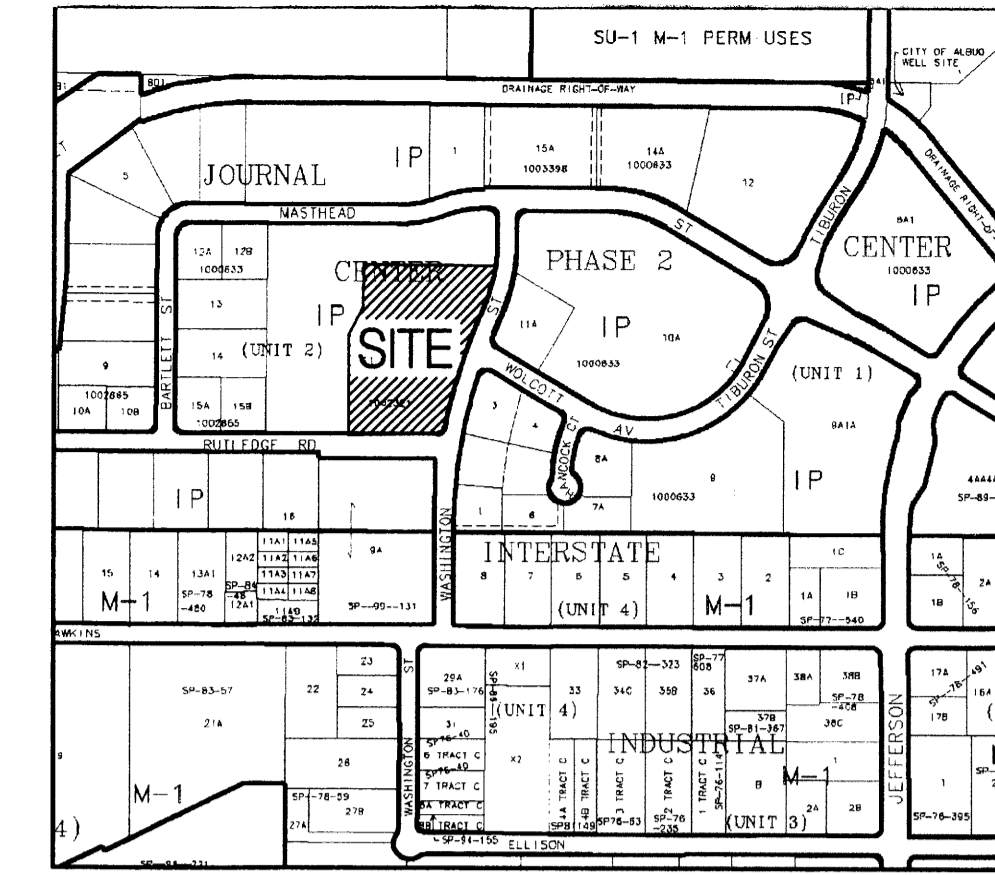
Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
Environmental Health Department (conditional)	_____	Date	_____
<i>Michael Holton</i> Solid Waste Management	_____	Date	11/23/05
DRB Chairperson, Planning Department	_____	Date	_____

\*Environmental Health, if necessary

PROJECT DATA	
Zoning (Existing)	= IP
Site Area	= 4.43 ac.
Building Area (Total Leasable)	= 59,840 sf
Site Coverage	= 16.88% sf
<b>Parking Required</b>	
1st fir office rentable 30,480sf @ 1/200	= 152.4
2nd fir office rentable 29,360 sf @ 1/300	= 97.9
Total Required	= 250
Handicap Accessible Stalls Required	= 8
<b>Parking Provided</b>	
9'x20' or 9'x18' w/ 2' overhang (typ)	= 106
Irregular Stalls (8.5'x20' or 8.5'x18' w/ 2' overhang)	= 180
Handicap Accessible Stalls (8.5'x20')	= 12
Total Provided	= 298
Bicycle Parking Required	= 15 (1/20 automobile spaces)
Bicycle Parking Provided	= 21 (3 rows of 7 each)



ZONE ATLAS PAGE D-17-Z  
SCALE: 1"=600'

**LEGAL DESCRIPTION**  
TRACT 11-B OF JOURNAL CENTER UNIT 2, PHASE 2  
ALBUQUERQUE, NM, NOVEMBER, 2005

**GENERAL NOTES**

- SCREEN WALLS AND REFUSE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
- UTILITY BOXES SHALL BE SCREENED WITH MATURE LANDSCAPING.
- SITE LIGHTING SHALL BE HORIZONTAL CUT - OFF TYPE AND MAXIMUM 24' HIGH ABOVE GRADE. POLES AND FIXTURES SHALL BE PER JOURNAL CENTER REQUIREMENTS.

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 ARCHITECT

---

CONSULTANT

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PROJECT TITLE

NEW MEXICO

ALBUQUERQUE

**MASTHEAD OFFICE COMPLEX AT JOURNAL CENTER 2**

**SITE PLAN FOR BUILDING PERMIT - Site Plan**

---

REVISIONS

MK	DATE	DESCRIPTION
_____	_____	_____

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DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

RWB JTW

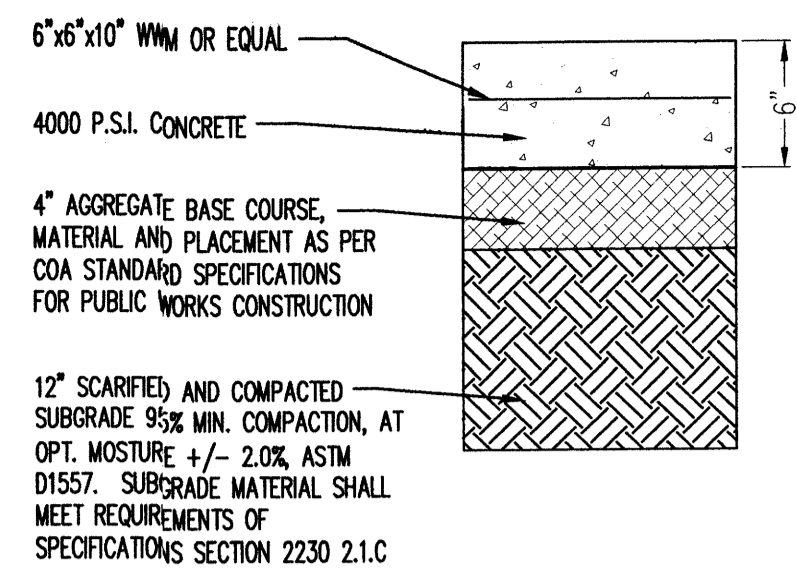
JOB NUMBER: A0559

DATE: NOVEMBER 2005

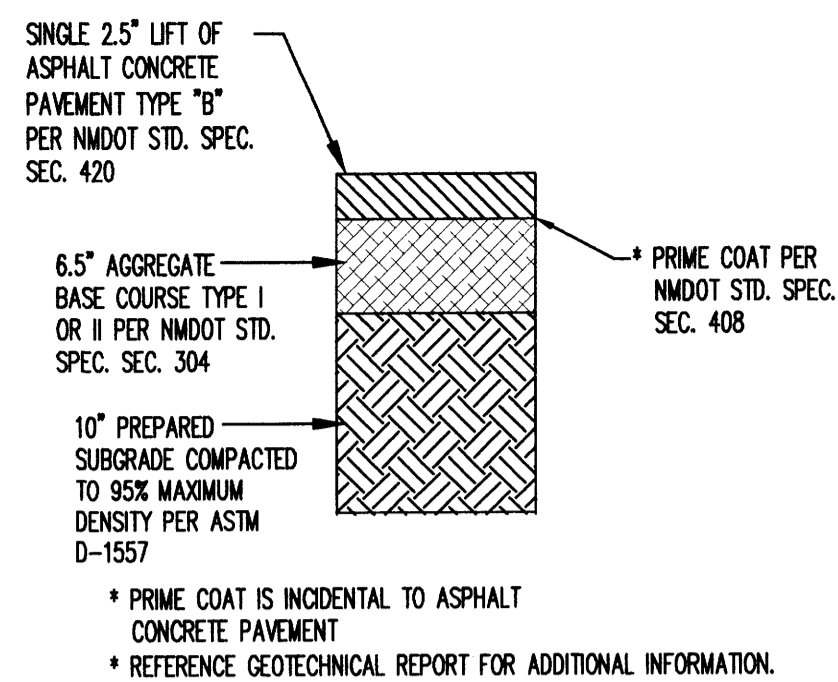
SHEET NO

**C1.0**

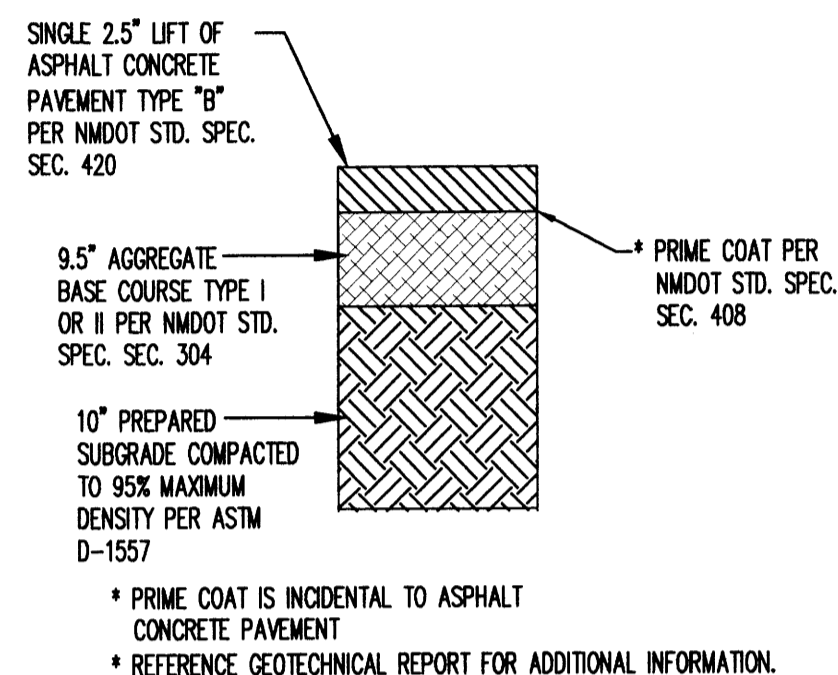
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 Plotted by: RBANKER



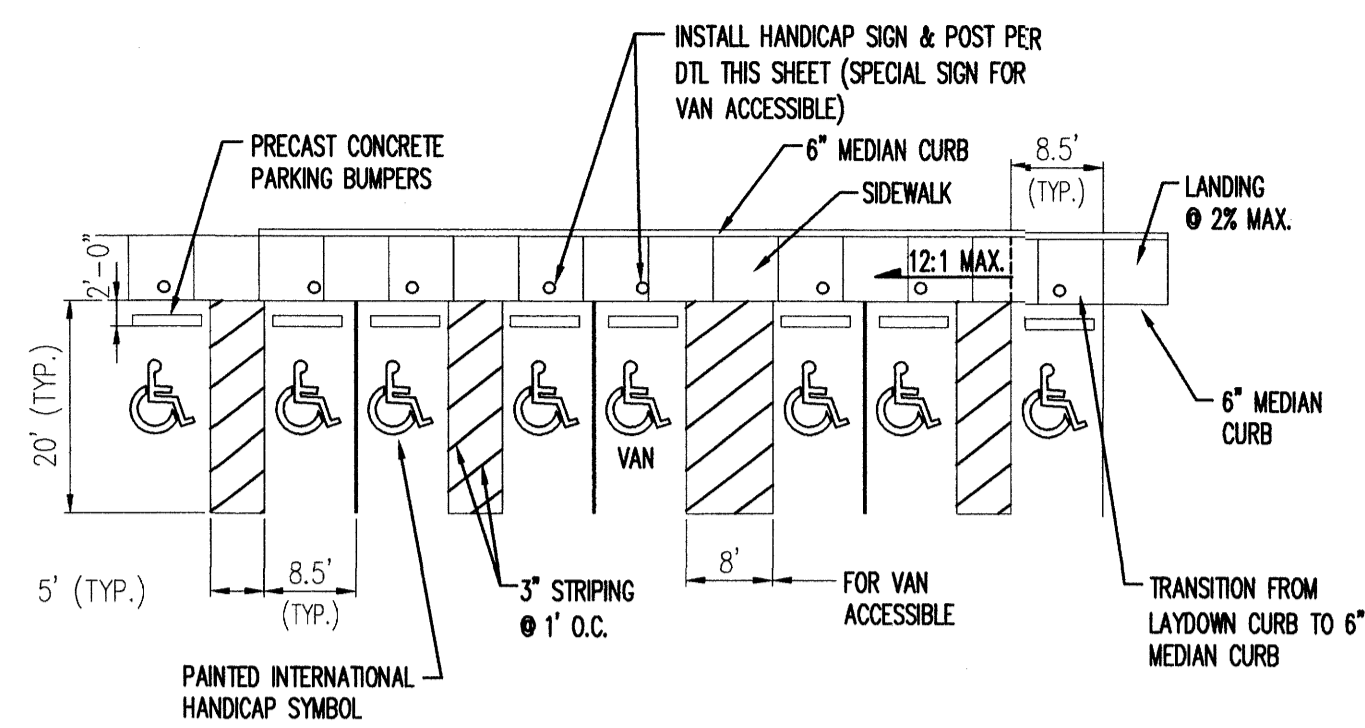
**REFUSE ENCLOSURE CONCRETE PAVEMENT**  
N.T.S.



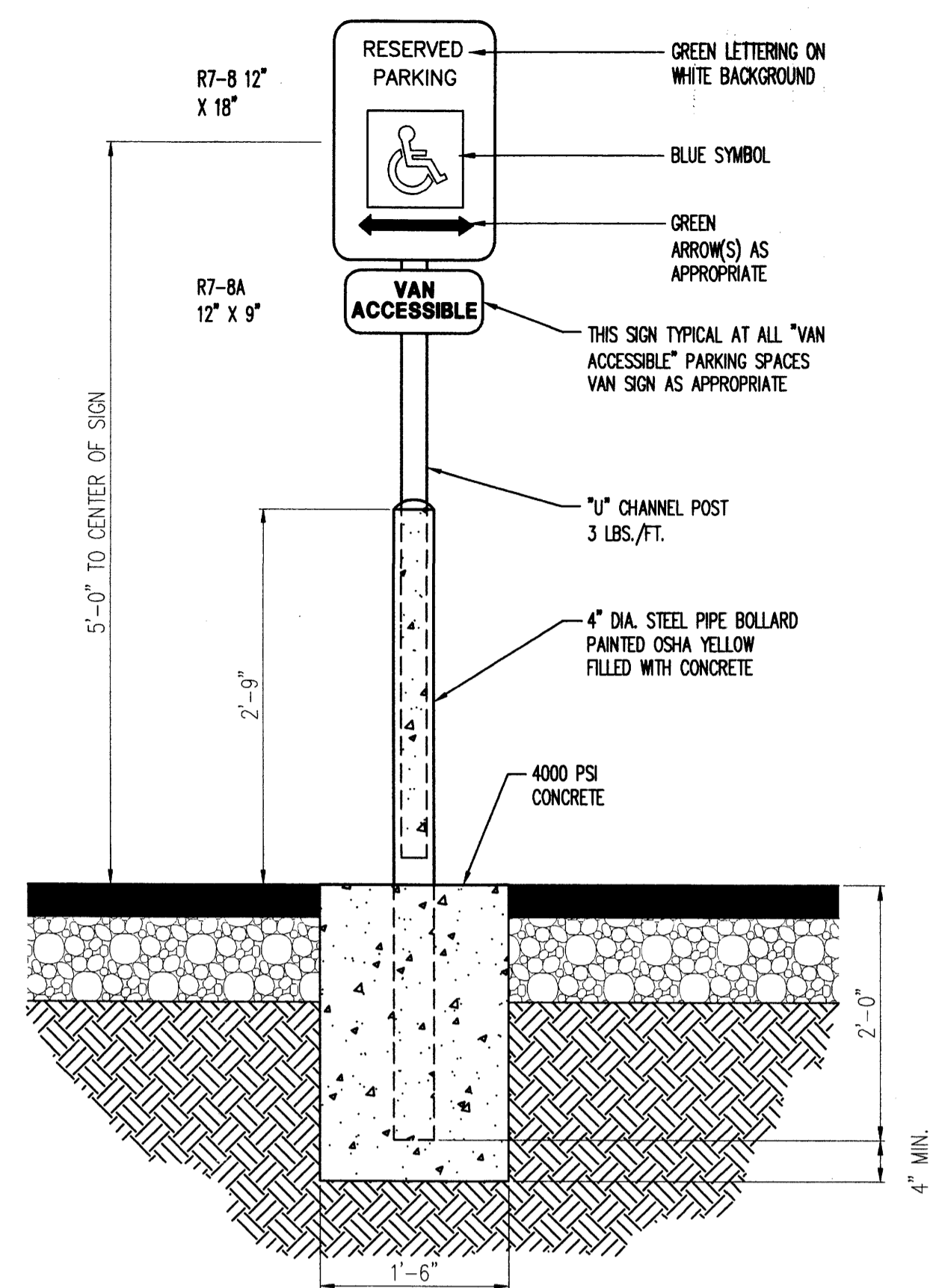
**LIGHT DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



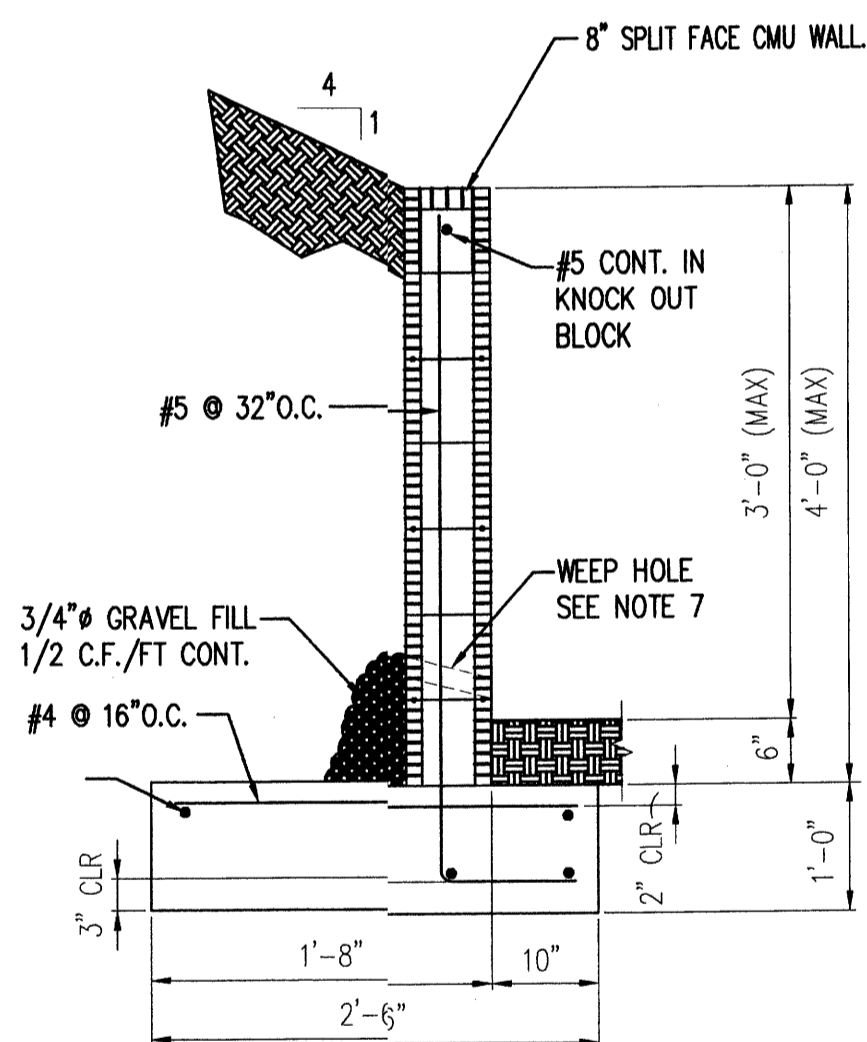
**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



**HANDICAP PARKING DETAIL**  
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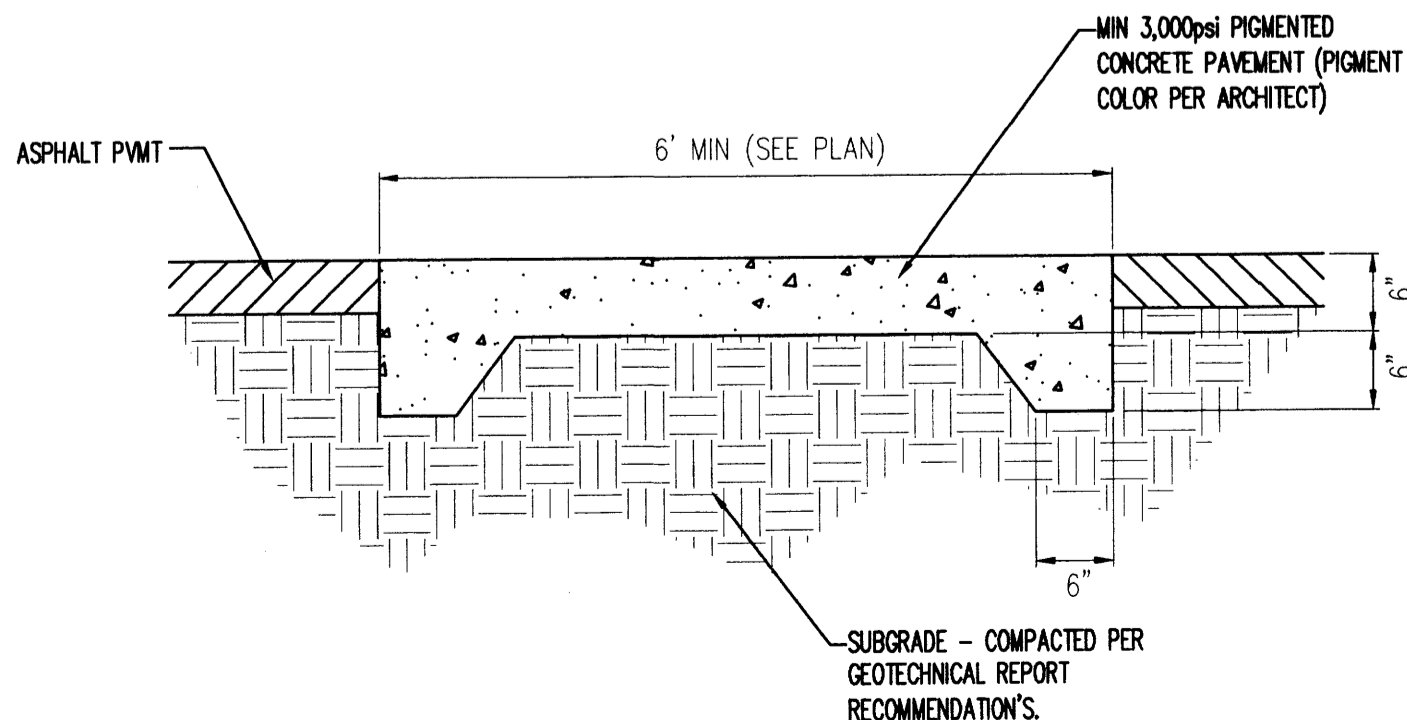


**HANDICAP PARKING SIGN MOUNTING DETAIL**  
N.T.S.  
ONE SIGN SHALL BE INSTALLED AT EACH HANDICAP SPACE.

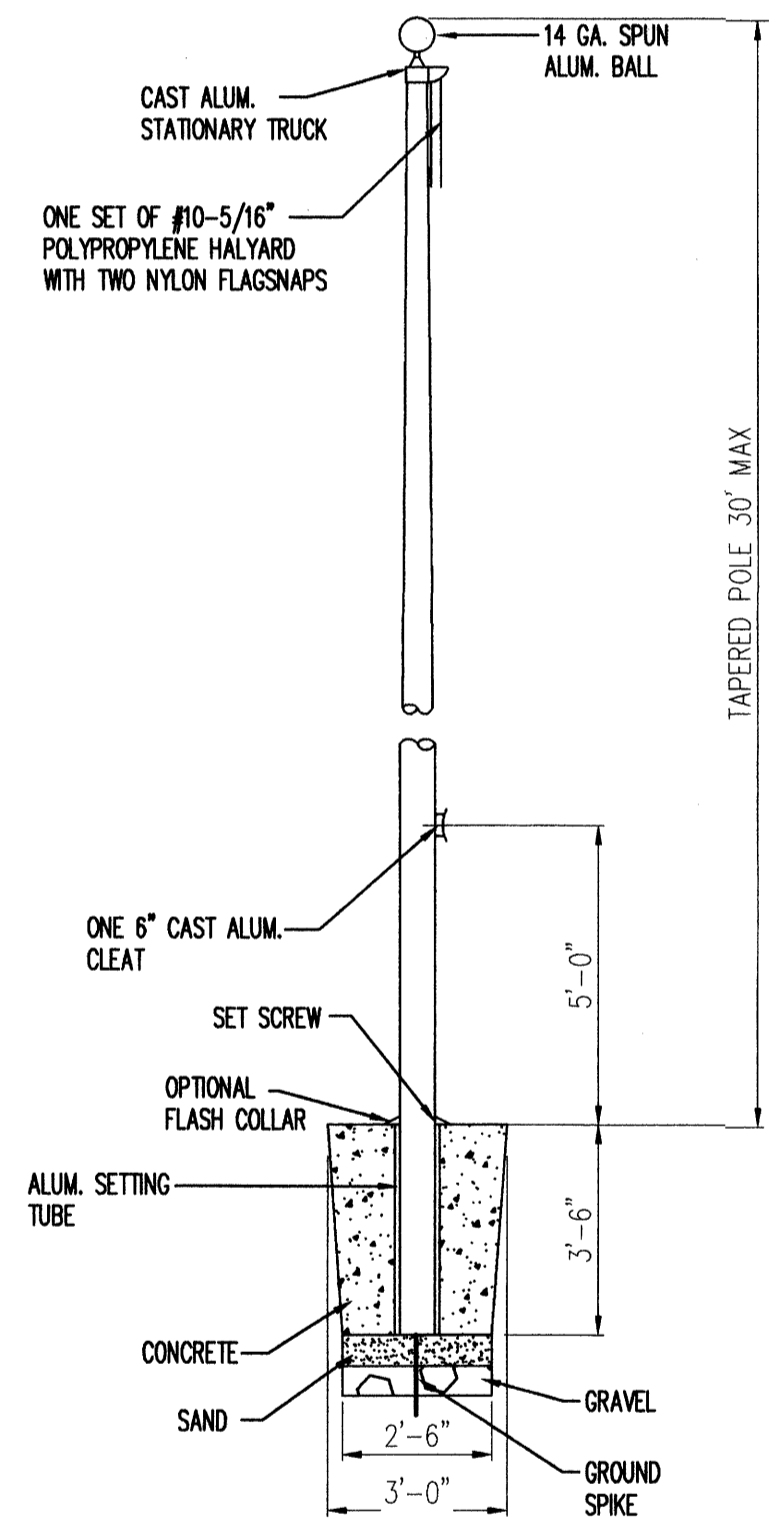


**SPLIT FACE CMU RETAINING WALL**  
NOT TO SCALE

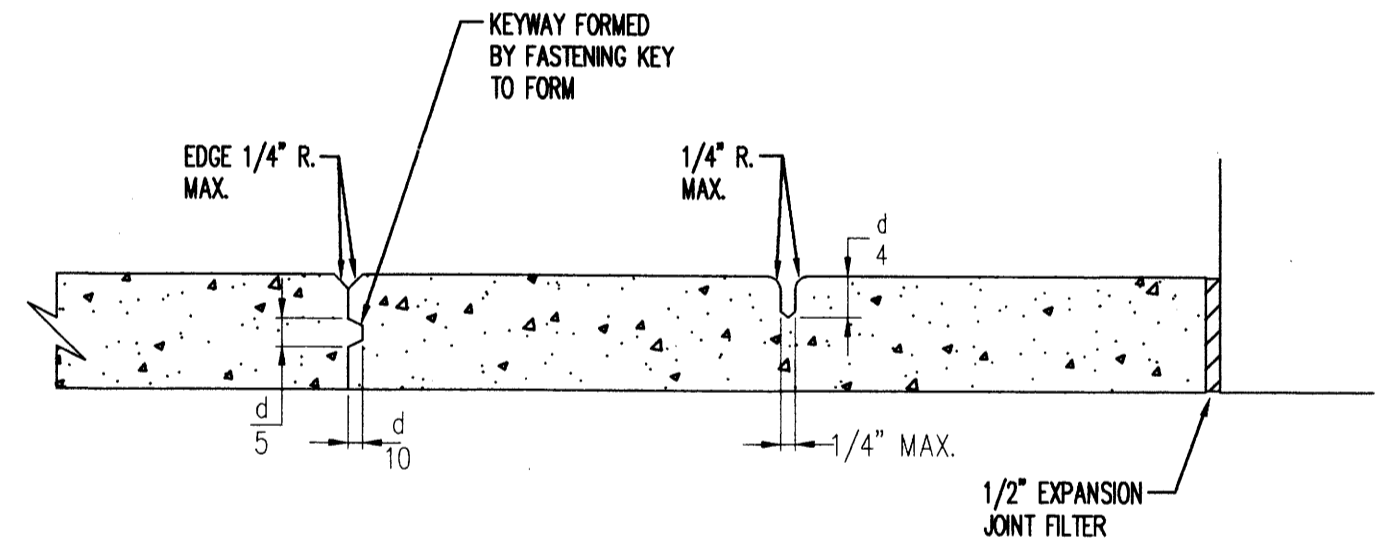
- NOTES:**
- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER CASTING THE WALL.
  - VERTICAL CONTROL JOINTS IN THE WALL SHALL BE PLACED AT 8'-0" O.C. MAX.
  - CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE.
  - DESIGN DATA  
EFP (ACTIVE) = 36 PCF  
SOIL BEARING PRESSURE = 1500 PCF  
(1/3 INCREASE FOR WIND/SEISMIC)  
COEFFICIENT OF FRICTION = 0.35  
EFP (PASSIVE) = 300 PCF  
CONCRETE F' C (28 DAYS) = 3000 PSI  
REINFORCEMENT = 60 ASTM A-615
  - CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
  - WEEP HOLES: PLACE A 2" DIA. WEEP HOLE @ 5'-0" O.C. W/ 1/2 CUBIC FOOT/FOOT OF 3/4" GRAVEL IN FILTER FABRIC
  - THE FIRST COURSE OF CMU BLOCK MAY BE PLACED IN FRESH FOOTING CONCRETE. SUBSEQUENT COURSES OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
  - ALL CMU BLOCK JOINTS SHALL BE TOOLED.
  - BACK FILL AND COMPACTION OF RETAINING WALL IS INCIDENTAL TO INSTALLATION OF RETAINING WALL.



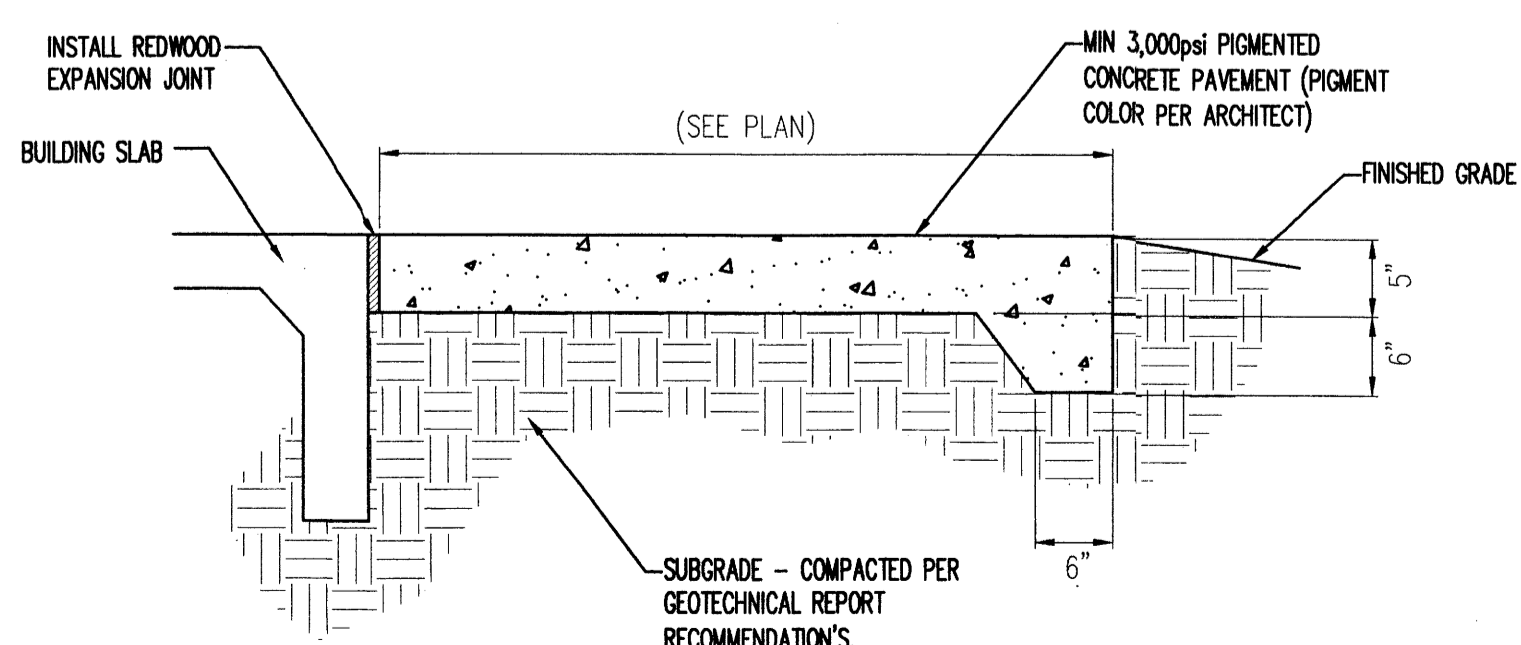
**SIDEWALK CROSSING DETAIL**  
NOT TO SCALE



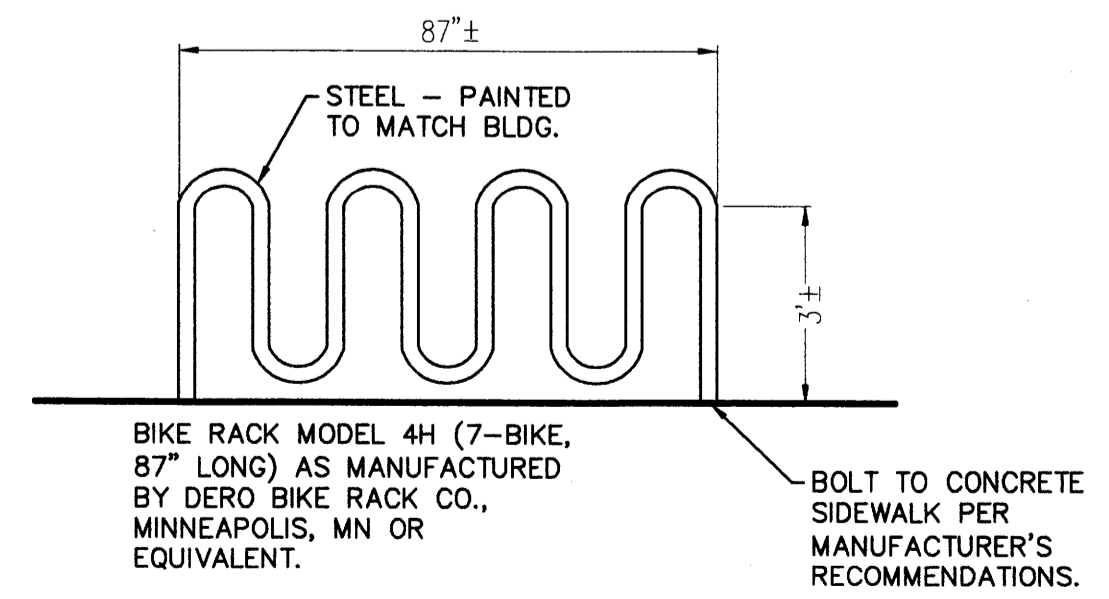
**TYPICAL FLAG POLE**  
N.T.S.



**CONCRETE PAVEMENT JOINT DETAILS**  
N.T.S.



**CONCRETE PATIO DETAIL**  
NOT TO SCALE



**BIKE RACK**  
NOT TO SCALE

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PROJECT TITLE

NEW MEXICO

**MASTHEAD OFFICE COMPLEX  
AT JOURNAL CENTER 2**

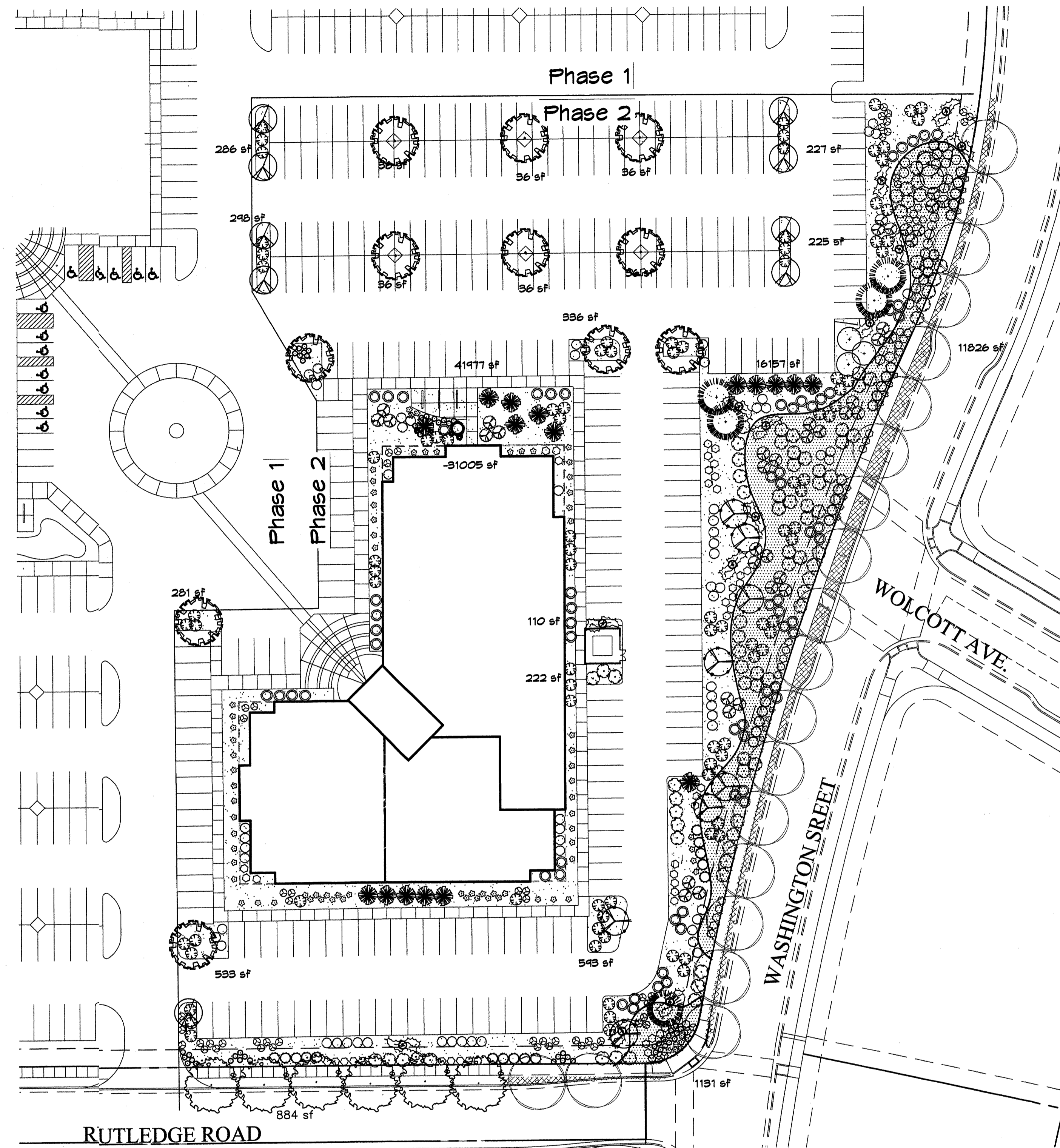
ALBUQUERQUE

REVISIONS

MK	DATE	DESCRIPTION

**C1.1**

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Plotted by: RBANKER

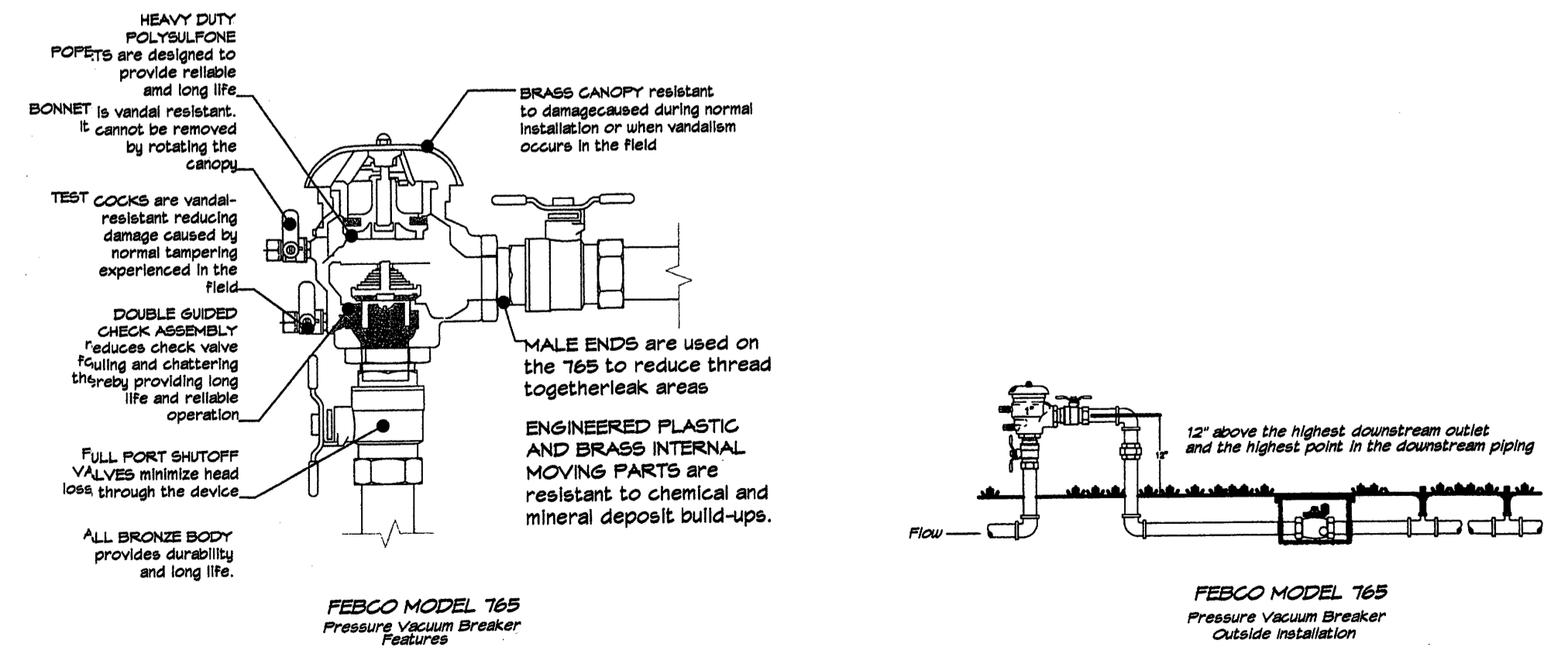


### PLANT LEGEND

- EXISTING BERINDA ASH
- BERINDA ASH (H) 6 Fraxinus spp. 2' Cal. (PER THE JOURNAL CENTER REQUIREMENTS FOR STREET TREE PARKSTRIP)
- CHINESE PISTACHE (M) 11 Pistachia chinensis 2' Cal.
- OAK (M) 8 Quercus spp. 2' Cal.
- REDBUD (M) 4 Cercis reniformis 2' Cal.
- AUSTRIAN PINE (M) 5 Pinus nigra 6'-8'
- THORNLESS HAWTHORN (M+) 5 Crataegus crus-galli inermis 15 Gal. 225sf
- SOTOL 17 Dasylirion wheeleri 5 Gal. 36sf
- MUGO PINE (M) 1 Pinus mugo 5 Gal. 36sf
- CURLLEAF MTN MAHOGANY (L) 83 Carcopus ledfolius 5 Gal. 1005F
- THREE-LEAF SUMAC (L) 43 Rhus trilobata 5 Gal. 36sf
- APACHE PLUME (L) 83 Fallugia paradoxa 5 Gal. 42sf
- THREADGRASS (M) 91 Stipa tenuissima 1 Gal. 4sf
- AUTUMN SAGE (M) 71 Salvia greggii 5 Gal. 4sf
- LAVENDER (M) 49 Lavandula angustifolia 1 Gal. 4sf
- ARP ROSEMARY (M) 66 Rosmarinus officianalis 5 Gal. 36sf
- POWIS CASTLE SAGE (L) 39 Artemisia x powis castle 5 Gal. 25sf
- WINTER JASMINE (L+) 99 Jasminum nudiflorum 5 Gal. 144sf
- WILDFLOWER 59 1 Gal. 4sf
- GREYLEAF COTONEASTER 39 Cotoneaster buxifolius 5 Gal. 81sf
- NATURAL EDGE
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- GREY CRUSHERFINES WITH FILTER FABRIC
- OVERSIZED GRAVEL WITH FILTER FABRIC
- EXISTING LANDSCAPING
- BOULDERS (6)

### LANDSCAPE CALCULATIONS

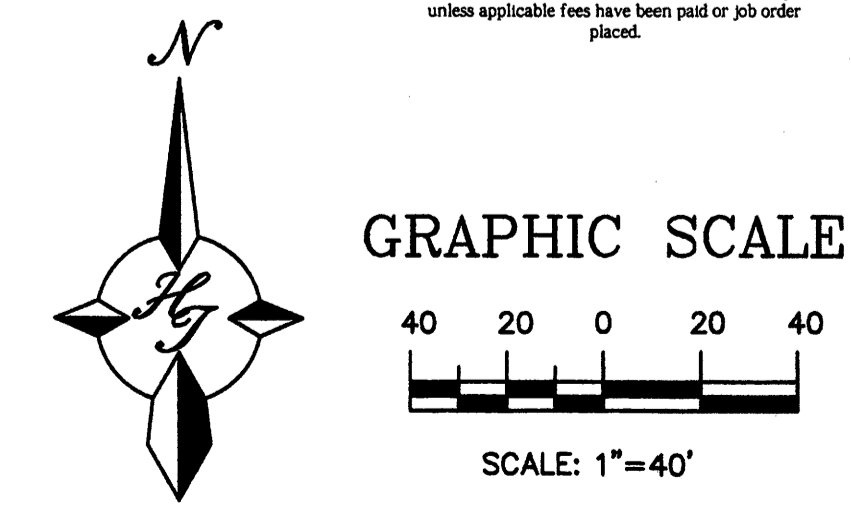
TOTAL LOT AREA	181507	square feet
TOTAL BUILDINGS AREA	43401	square feet
OFFSITE AREA	884	square feet
NET LOT AREA	137222	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	20583	square feet
TOTAL BED PROVIDED	44297	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	33223	square feet
TOTAL GROUNDCOVER PROVIDED	34394 (71%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	44297 (32%)	square feet

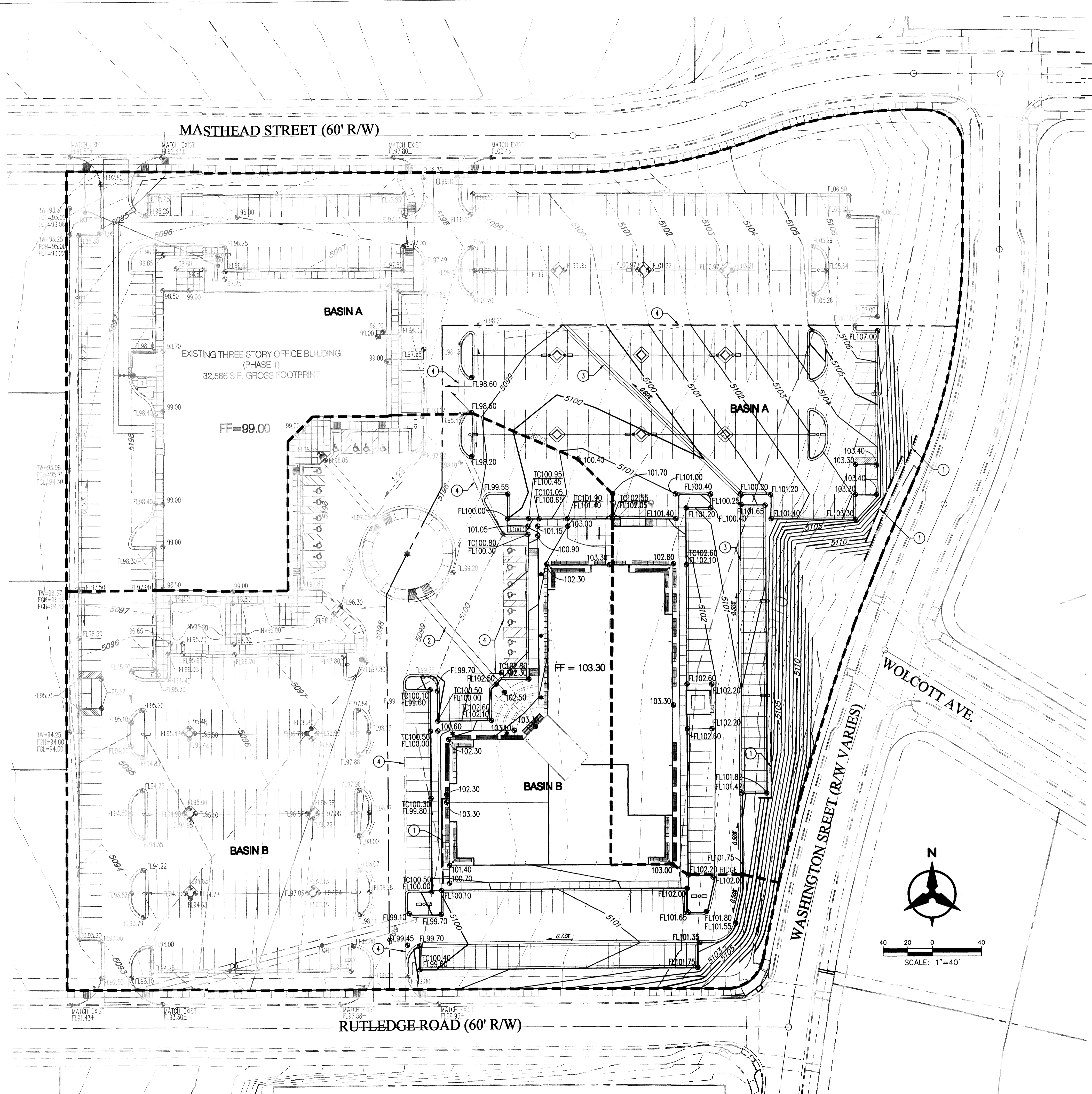


BACKFLOW PREVENTER DETAIL

not to scale

**The Hilltop**  
 LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cjohnson@hilltoplandscaping.com





**LEGEND**

- 5040 — PROPERTY LINE
- EXISTING CONTOUR
- 35 --- PROPOSED INDEX CONTOUR
- 32 --- PROPOSED INTERMEDIATE CONTOUR
- 32.40 EXISTING SPOT ELEVATION
- 32.40 PROPOSED SPOT ELEVATION
- FL = FINISH
- TS = TOP OF SIDEWALK
- FGH = FINISHED GROUND HIGH SIDE
- FL = FINISHED GROUND LOW SIDE
- TW = TOP OF WALL
- DIRECTION OF FLOW

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**KEYED NOTES**

1. 4' HIGH ± MASONRY RETAINING WALL. SEE DETAIL, SHEET C1.2
2. 2% MAXIMUM CROSS-SLOPE AT SIDEWALK CROSSING.
3. CONCRETE VALLEY GUTTER, REFER TO SITE PLAN.
4. MATCH EXISTING PAVEMENT.

**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**

The purpose of this submittal is to provide a conceptual Drainage Management Plan and rough grading plan for development of the Masthead Office Complex at Journal Center 2 - Phase 2, located in the Journal Center, Phase 2, Unit 2, Lot 11-B in NE Albuquerque.

**II. SITE LOCATION**

The site is currently legally described as, Journal Center, Phase 2, Unit 2, Lot 11-B (+/- 4.4 acres). The site is located within zone atlas map #M-21, and is in hydrologic zone 2. The site is located at the southwest corner of Masthead and Washington, just west of Jefferson.

**III. EXISTING HYDROLOGIC CONDITIONS**

Currently the site (4.4 ac.) is undeveloped land. The surrounding streets and infrastructure are in place and Phase 1 of the development is currently under construction. The site drains from east to west in a sheet flow condition. Per the approved Drainage Plan of Journal Center - Phase 2 located in file number D17/D3AA, this site has been approved as a fully developed site and can drain to both Masthead and Rutledge via surface flow out of the driveways. Both Masthead and Rutledge drain to the west of the site where the drainage is collected in an underground drainage system.

**IV. PROPOSED HYDROLOGIC CONDITIONS**

The proposed conditions for the Masthead Office Complex at Journal Center 2 are shown on this Conceptual Grading Plan. The hydrologic analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event. The total site (+/- 10.0 acres) will generate a total of 44.45 cfs under newly developed conditions and consists of approximately 85% D land treatment. Flows will be conveyed to Masthead and Rutledge by surface and curb and gutters. This split flow will travel west in both roadways to a common existing underground drainage system. This drainage system then flows north to the North Pino Arroyo, and then to the AMAFCA North Diversion Channel. Approximately 19.07 cfs drains to Rutledge; the other 25.38 cfs drains to Masthead.

**V. CONCLUSION**

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements and are in conformance with the previously approved master drainage plan for Journal Center, Phase 2. With this submittal we are requesting conceptual grading and drainage plan approval for building permit and rough grading approval.

**US FOREST SERVICE BUILDING**  
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 2											
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages			Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (inches)	V(100) <sub>300</sub> (CF)	V(100) <sub>1440</sub> (CF)	
			A	B	C	D					
<b>PROPOSED CONDITIONS</b>											
A	249990	5.74	0.0%	5.0%	10.0%	85.0%	4.42	25.38	1.95	40707	48852
B	187807	4.31	0.0%	5.0%	10.0%	85.0%	4.42	19.07	1.95	30581	36701
<b>TOTAL</b>	<b>437797</b>	<b>10.05</b>	-	-	-	-	<b>4.42</b>	<b>44.45</b>	<b>3.91</b>	<b>71287.94</b>	<b>71288</b>



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CONSULTANT



PROJECT TITLE  
Masthead Office Complex at Journal Center 2

Masthead Office Complex at Journal Center 2

NEW MEXICO

SITE PLAN FOR BUILDING PERMIT - Grading Plan

ALBUQUERQUE

REVISIONS

MK DATE DESCRIPTION

DRAWN BY: CHECKED BY:

RWB JTW

JOB NUMBER:

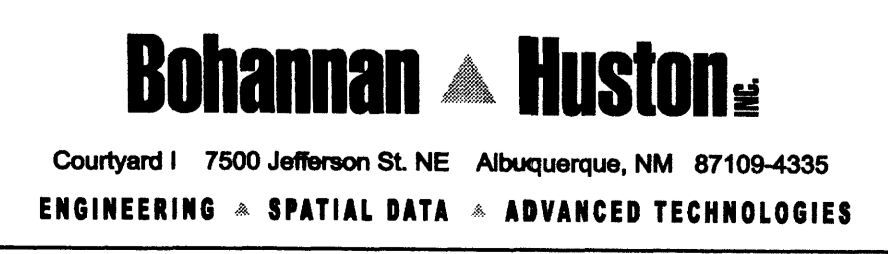
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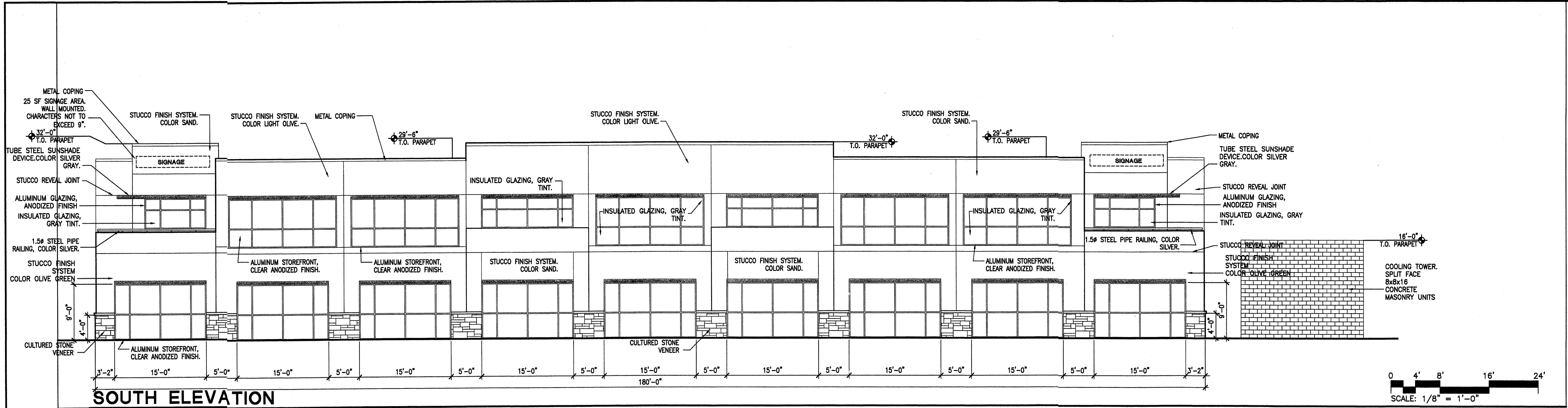
NOVEMBER 2005

SHEET NO

**C2.0**

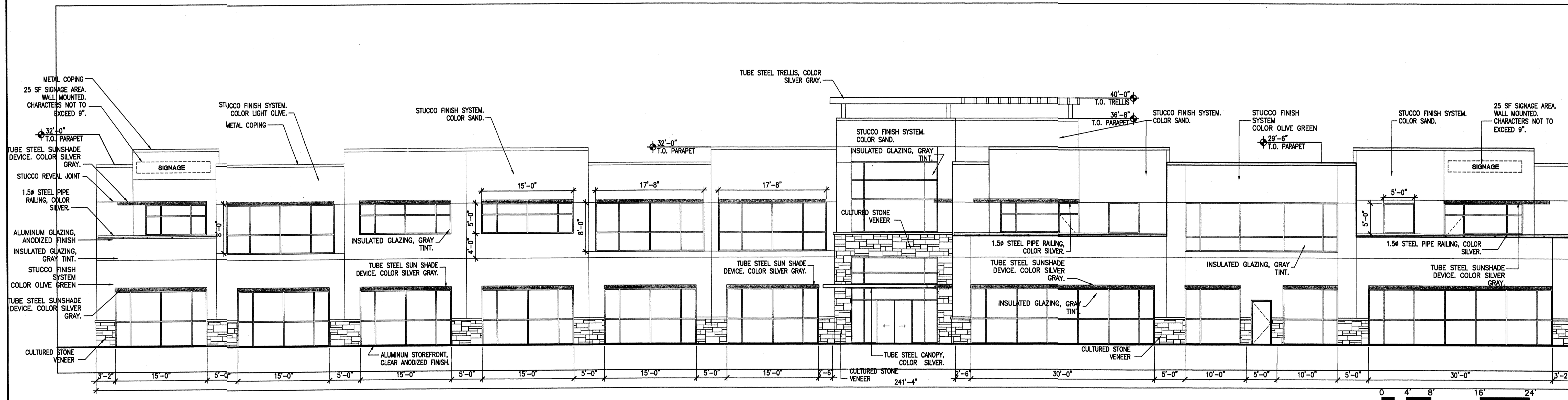






**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**WEST ELEVATION**

SCALE: 1/8"=1'-0"



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PROJECT TITLE

**US FOREST SERVICE**  
**ALBUQUERQUE SERVICE CENTER HUMAN RESOURCES**  
**ALBUQUERQUE**  
**NEW MEXICO**  
**BUILDING AND STRUCTURE ELEVATIONS**

REVISIONS

MK	DATE	DESCRIPTION

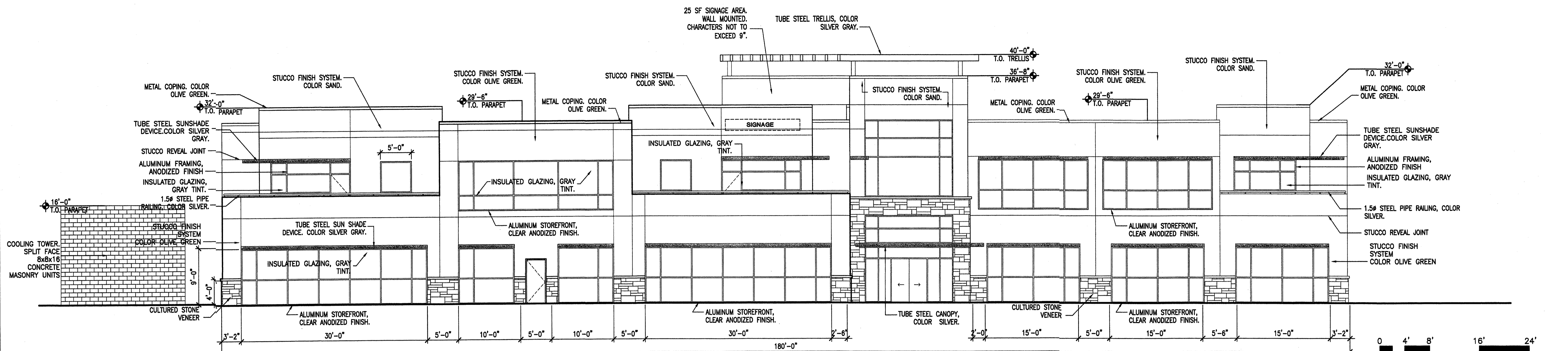
DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

JOB NUMBER:  
A462

DATE:  
AUGUST 2005

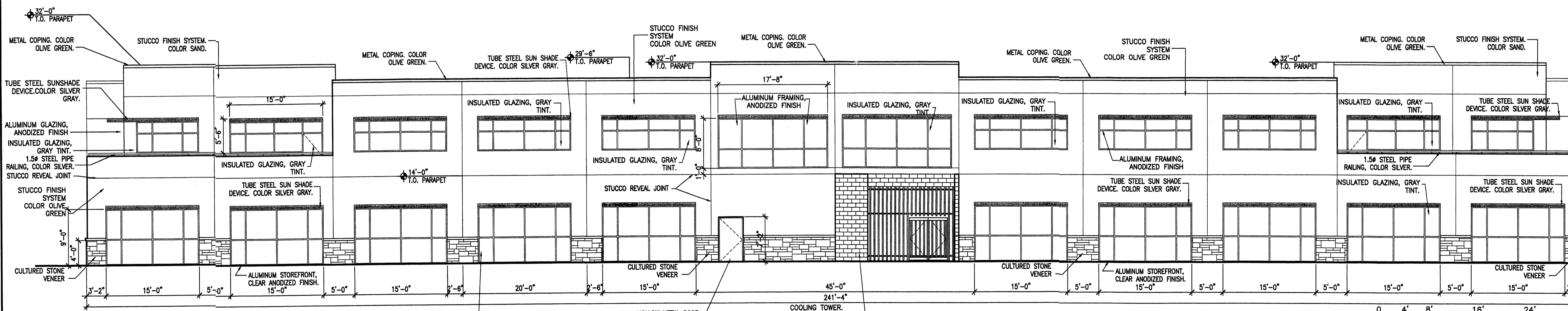
SHEET NO

**A2.1**



**NORTH ELEVATION**

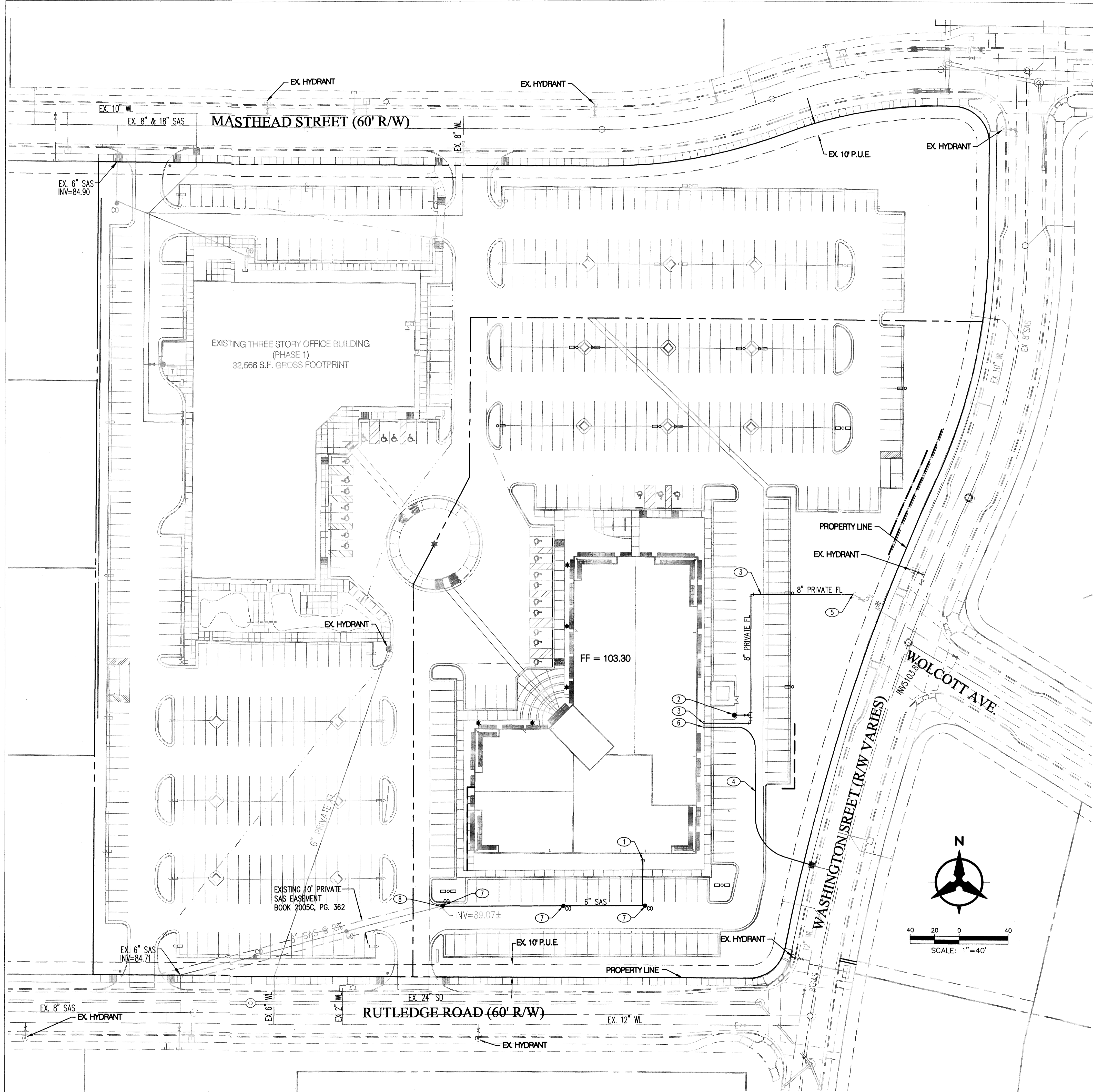
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"





**UTILITY NOTES**

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

**UTILITY KEYED NOTES**

1. 6" SANITARY SEWER STUB
2. NEW PRIVATE FIRE HYDRANT
3. 8" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL.
4. NEW 1 1/2" METERED WATER SERVICE. CONNECT TO EXISTING 2" WATER LINE STUB OUT.
5. CONNECTION TO EXISTING 8" FIRE LINE STUB
6. NEW 1 1/2" DOMESTIC WATER SERVICE TO BUILDING. BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT
8. CONNECT TO EX. 6" SAS STUB PROVIDED TO SITE WITH PHASE 1.

**LEGEND**

---	PROPERTY LINE
EX. 8" SAS	EX. SANITARY SEWER & MANHOLE
EX. 24" SD	EX. STORM DRAIN & MANHOLE
---	EX. INLET
EX. 12" WL	EX. WATER LINE
X	EX. VALVE
□	EX. METER
☆	EX. FIRE HYDRANT
☆	EX. STREET LIGHT
SAS	PROPOSED SANITARY SEWER
●	PROPOSED CLEANOUT
WL	PROPOSED WATERLINE

PLANS ENGINEER OVE...  
 824-3511  
 FINE 11/22/05



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PROJECT TITLE

NEW MEXICO

MASTHEAD OFFICE COMPLEX  
 AT JOURNAL CENTER 2

SITE PLAN FOR BUILDING PERMIT - Utility Plan

ALBUQUERQUE

REVISIONS

MK	DATE	DESCRIPTION
DRAWN BY:		CHECKED BY:
RWB		JTW
JOB NUMBER:	A0559	
DATE:	NOVEMBER 2005	
SHEET NO	C3.0	

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