



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 21, 2005

2. Project # 1004556
05DRB-01781 Major-SiteDev Plan BldPermit

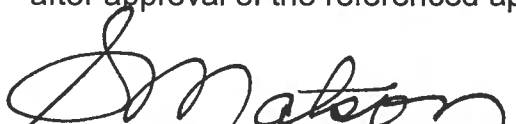
BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD LAND PARTNERS LLC, request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER, PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between WASHINGTON ST NE and MASTHEAD ST NE containing approximately 10 acre(s). (D-17)

At the December 21, 2005, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Transportation Development for parking bumpers (options), TIS confirmation and Planning for maintenance agreement on landscape plan, Water Conservation Ordinance Statement, 15-day appeal period and 3 copies of the site plan.

If you wish to appeal this decision, you must do so by January 6, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

Cc: Masthead Road Land Partners LLC, 6300 Riverside Plaza Ln NW, Suite 200,
87120
Bohannon Huston Inc., 7500 Jefferson NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 14, 2006

4. Project # 1004556
06DRB-00708 Major-Amended SiteDev Plan BldPermit

BOHANNAN HUSTON agent(s) for MASTHEAD ROAD LAND PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2, UNIT 2**, zoned IP, located on RUTLEDGE RD NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 10 acre(s). [REF: 05DRB-01781] (D-17)

At the June 14, 2006, Development Review Board meeting, the amended site plan for building permit was approved with final sign off delegated to Planning for private sanitary sewer easements on site plan and landscape plan, Journal Center Architectural Review Committee approval letter, 15-day appeal period and 3 copies of the site plan.

If you wish to appeal this decision, you must do so by June 29, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: Bohannan Huston Inc., 7500 Jefferson NE, 87109
Masthead Road Land Partners LLC, 6300 Riverside Plaza Ln NW, Ste 200,
87120
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 30, 2010

Project# 1004556
10DRB-70165 MAJOR - AMENDED SDP BP/SUBD

BOHANNAN HUSTON INC agent(s) for MASTHEAD ROAD DEVELOPMENT II LLC request(s) the above action(s) for all or a portion of Lot(s) 11-B, **JOURNAL CENTER PHASE 2 Unit(s) 2**, zoned IP, located on NORTHWEST CORNER OF RUTLEDGE RD NE AND WASHINGTON ST NE containing approximately 4.43 acre(s). (D-17)

At the June 30, 2010 Development Review Board meeting, the site development plan was approved and Final Sign Off was delegated to the Planning department for compliance with written comments, the relocation of the fire hydrant on Rutledge NE, a copy of the Fire Marshall's approval, and expiration of the appeal period.

If you wish to appeal this decision, you must do so by July 15, 2010 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Bohannon Huston Inc. – 7500 Jefferson NE Courtyard I – Albuquerque, NM 87109
Masthead road Development II, LLC – 6300 Riverside Plaza Ln NW Ste 200 – Albuquerque, NM 87120
Marilyn Maldonado
File