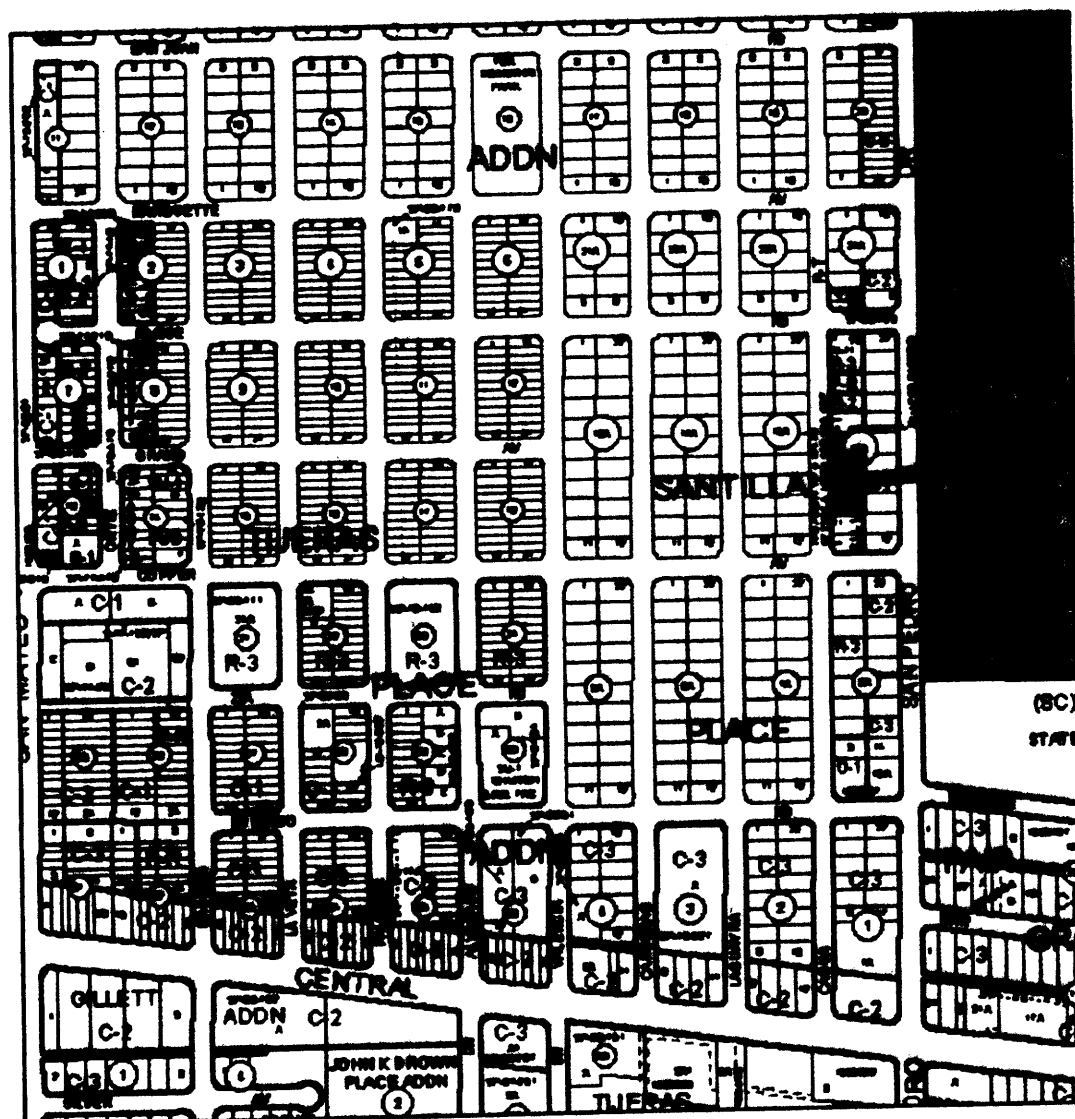


VICINITY MAP (K-18)

NO SCALE



COUNTY CLERK RECORDING LABEL HERE

PLAT OF CAGUA TOWNHOMES

A REPLAT OF LOTS 7, 8, & 9, BLOCK 16-A, SANTILLA PLACE WITHIN NW 1/4, SECTION 24, T.10N., R.3E., N.M.P.M.,

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JUNE 2006

DESCRIPTION

Lots numbered Seven (7), Eight (8), and Nine (9), in Block numbered Sixteen-A (16-A), SANTILLA PLACE, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the Replat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 19, 1946, in Volume D, folio 20.

PROJECT NUMBER: _____

Application Number: _____

City Approvals: <u><i>J. B. Hart</i></u>	<u>6-19-06</u>
City Surveyor	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

PRELIMINARY PLAT APPROVED BY DRB ON _____

SUBMISSION DATA

1. DRB Proj. No.
2. Zone Atlas Index No. K-18
3. Current Zoning RL-T
4. Gross acreage 0.4132
5. Existing number of deeded parcels 3
Replatted number of lots 7

LOG NO. 2006161754

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record distances and bearings are shown in parentheses ().
2. Perimeter distances are field measurements made on the ground and agree with deed records except as noted.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. An existing five foot (5') Public Utility Easement granted by the Plat of Santilla Place, recorded February 19, 1946, in Volume D, folio 20.
5. A four foot (4') Private Drainage Easement for the benefit of Lot 14, Block 16-A, Santilla Place, is granted by this plat. Maintenance of this easement is the responsibility of the owner(s) of Lot 14, Block 16-A, Santilla Place.

FREE CONSENT

The platting of the property as described above and granting of all public and private easements, is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

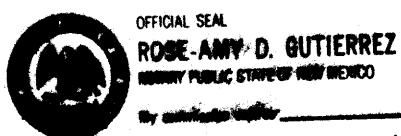
[Signature]

David Doyle, Managing Partner, Doyle & Tricario Investments 1 LLC, a New Mexico Limited Liability Company, on behalf of said company.

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this 6/19/2006 day of June, 2006, the foregoing instrument was acknowledged before me by David Doyle, Managing Partner, Doyle & Tricario Investments 1 LLC, a New Mexico Limited Liability Company, on behalf of said company.



My Commission expires August 4, 2009

Rose Amy D. Gutierrez
Notary Public

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

[Signature]
Thomas D. Johnston, N.M.P.S. No. 14269

6-19-06
Date

PURPOSE OF PLAT

This plat has been prepared for the purposes of creating five lots from one parcel and granting of public and private easements.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1 018 057 245 309 21619, 1 018 057 245 315 21618,
1 018 057 245 320 21617

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE

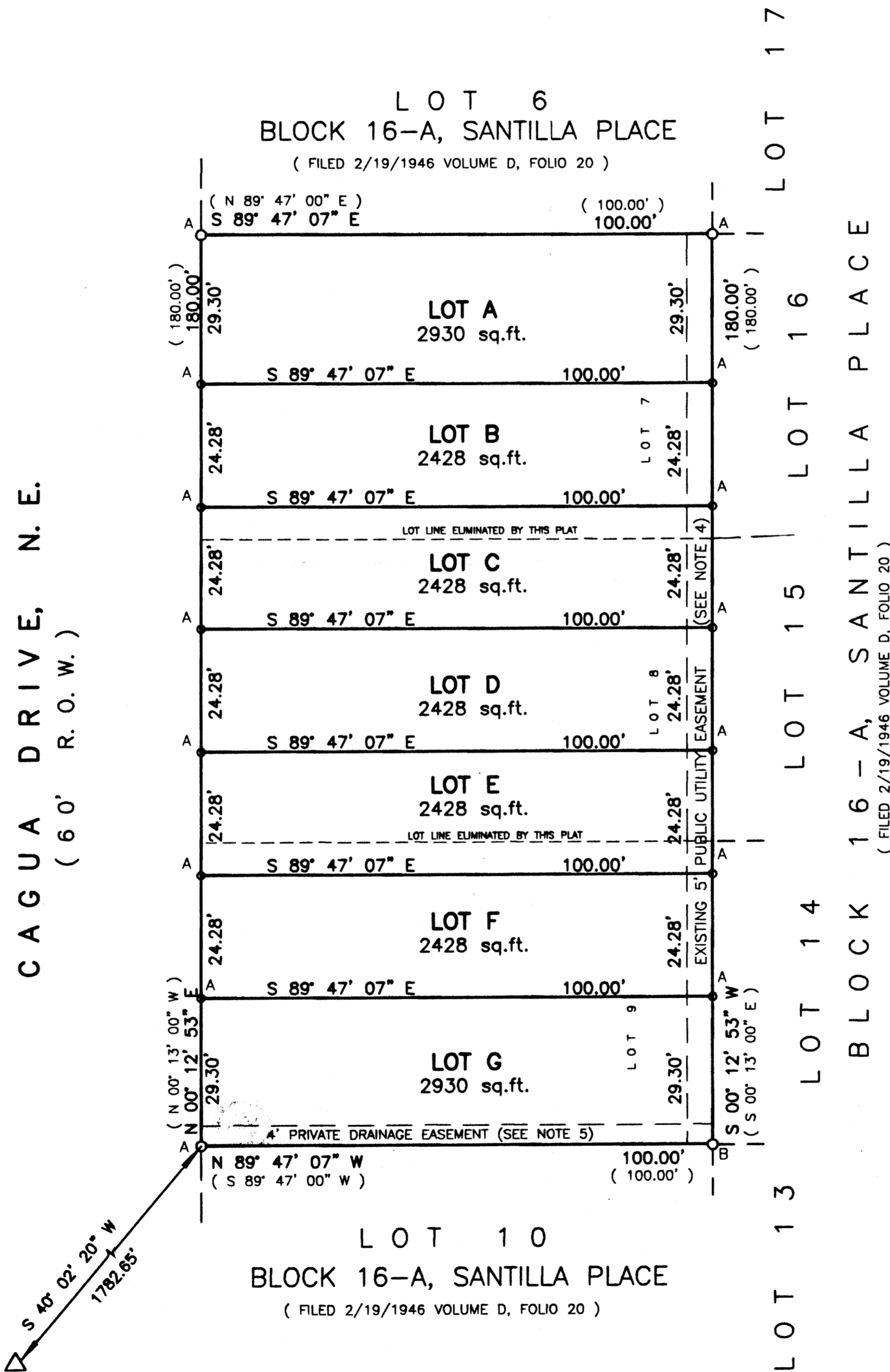
WAYJOHN SURVEYING INC

330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

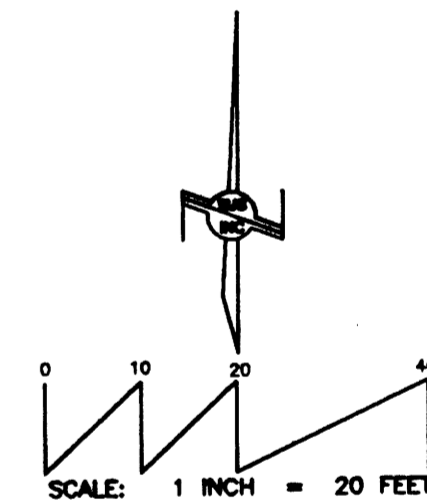
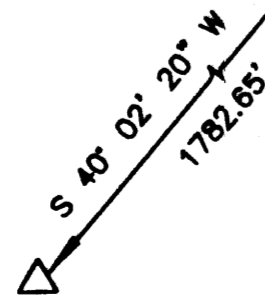
INDEXING INFORMATION FOR COUNTY	DRAWN: E W K	SCALE: 1" = 20'	FILE NO. SP-6-01-2006
OWNER: DOYLE & TRICARIO INVESTMENTS 1	CHECKED: T D J	DRAWING NO. SP60106.DWG	SHEET 1 OF 2
LOCATION: SEC. 24 T.10 N., R.3 E., N.M.P.M. CAGUA-TOWNHOMES	2 JUNE 2006		

PLAT OF
CAGUA TOWNHOMES
 A REPLAT OF LOTS 7, 8, & 9, BLOCK 16-A, SANTILLA PLACE
 WITHIN NW 1/4, SECTION 24, T.10N., R.3E., N.M.P.M.,
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JUNE 2006

COUNTY CLERK RECORDING LABEL HERE



ACS MONUMENT "5-K18-A"
 x=401,022.37
 y=1,483,557.05
 Delta Alpha: -00°11'24"
 Ground-to-grid:
 0.99965880
 NMSP CENTRAL ZONE
 NAD 1927



MONUMENT LEGEND
 A: SET #4 REBAR AND CAP
 "WAYJOHN PS 14269"
 B: SET PK NAIL AND DISK
 "PS 14269"

330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887							
INDEXING INFORMATION FOR COUNTY OWNER: DOYLE & TRICARIO INVESTMENTS I LOCATION: SEC. 24 T.10 N., R.3 E., N.M.P.M. CAGUA TOWNHOMES	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DRAWN: E W K</td> <td style="width: 50%;">SCALE: 1" = 20'</td> </tr> <tr> <td>CHECKED: T D J</td> <td>FILE NO. SP-6-01-2006</td> </tr> <tr> <td>DRAWING NO. SP60106.DWG</td> <td>2 JUNE 2006 SHEET 2 OF 2</td> </tr> </table>	DRAWN: E W K	SCALE: 1" = 20'	CHECKED: T D J	FILE NO. SP-6-01-2006	DRAWING NO. SP60106.DWG	2 JUNE 2006 SHEET 2 OF 2
DRAWN: E W K	SCALE: 1" = 20'						
CHECKED: T D J	FILE NO. SP-6-01-2006						
DRAWING NO. SP60106.DWG	2 JUNE 2006 SHEET 2 OF 2						

AFD PLANS CHECKING OFFICE
024-3611
APPROVED
HYDRANT(S) ONLY
7/1/06
SIGNATURE & DATE

- KEYED NOTES**
- 6"x8"x16" CON. WALL w/ 6"-Ø HIGH ALL AROUND PROPERTY LINE AND UNITS DIVIDER. SEE DETAIL 7 THIS SHEET.
 - WOOD GATE 3'-Ø W X 4'-6" H
 - 3'-Ø WIDE CONCRETE WALK CONTINUOUS.
 - 10'-Ø X 12'-Ø CONCRETE PAD WITH OPTION OF PATIO COVER.
 - PROVIDE CURB CUTS FOR DRIVEWAYS.
 - EXISTING CHAINLINK FENCE REMAIN TEMPORARY FOR CONSTRUCTION. REMOVED IN ITS ENTIRETY AFTER CONSTRUCTION FINISHED AS REQUIRED.
 - COMBINATION OF LEADER DOWNSPOUT AND OVERFLOW.
 - EXISTING TREE TO REMAIN.
 - LINE OF 15'-Ø SETBACK.
 - REMOVED EXISTING SIDEWALK AND REPLACE WITH NEW 6" CONCRETE SIDEWALK WITH DRIVEPADS AS SHOWN.
 - EXISTING 10'-Ø PUE.

PROJECT NUMBER: _____
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

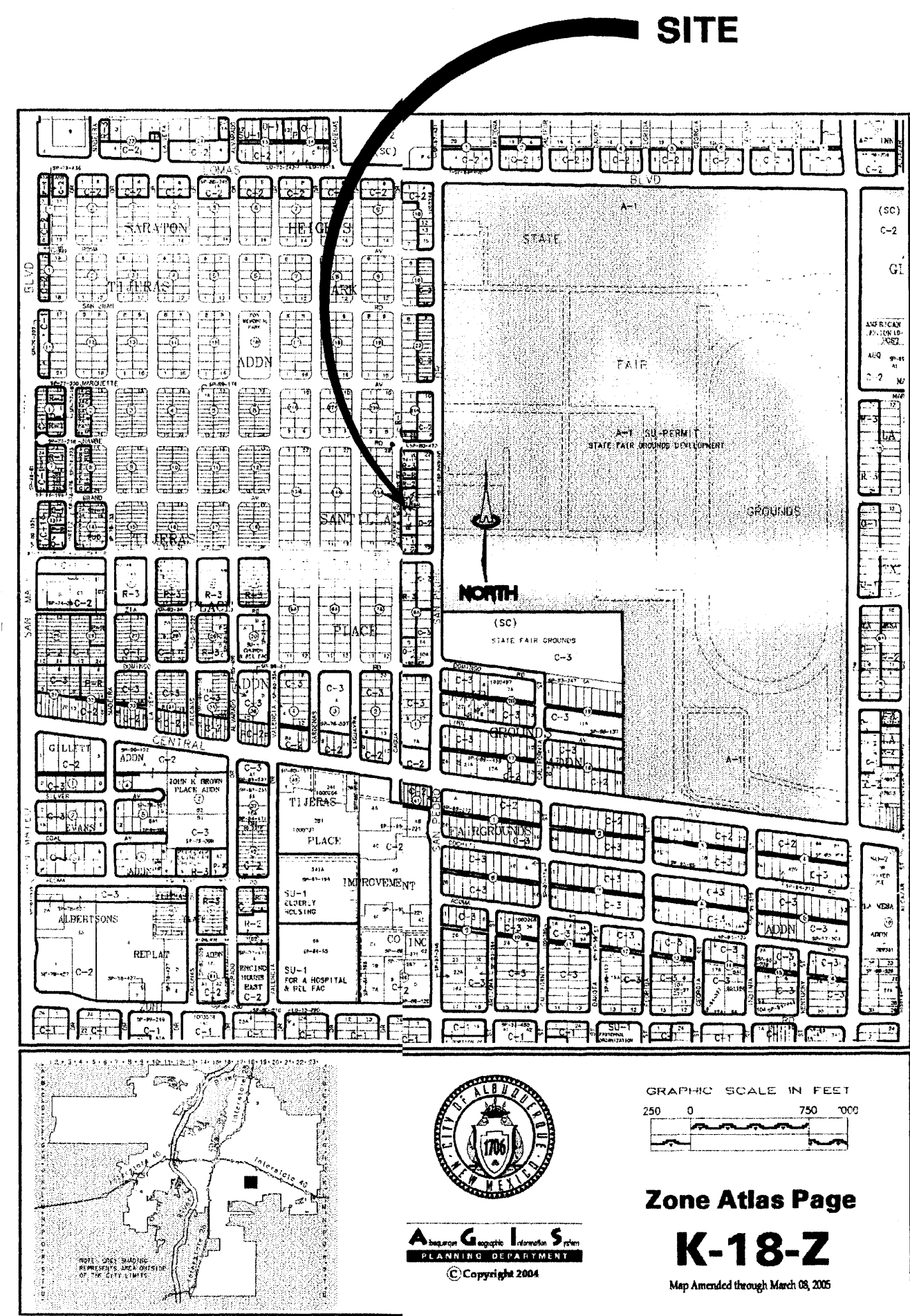
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

_____ Traffic Engineering, Transportation Division	_____ Date
_____ Water Utility Department	_____ Date
_____ Parks and Recreation Department	_____ Date
_____ City Engineer	_____ Date
_____ *Environmental Health Department (conditional)	_____ Date
<i>Michael Holton</i> Solid Waste Management	7/20/06 Date
_____ DRB Chairperson, Planning Department	_____ Date

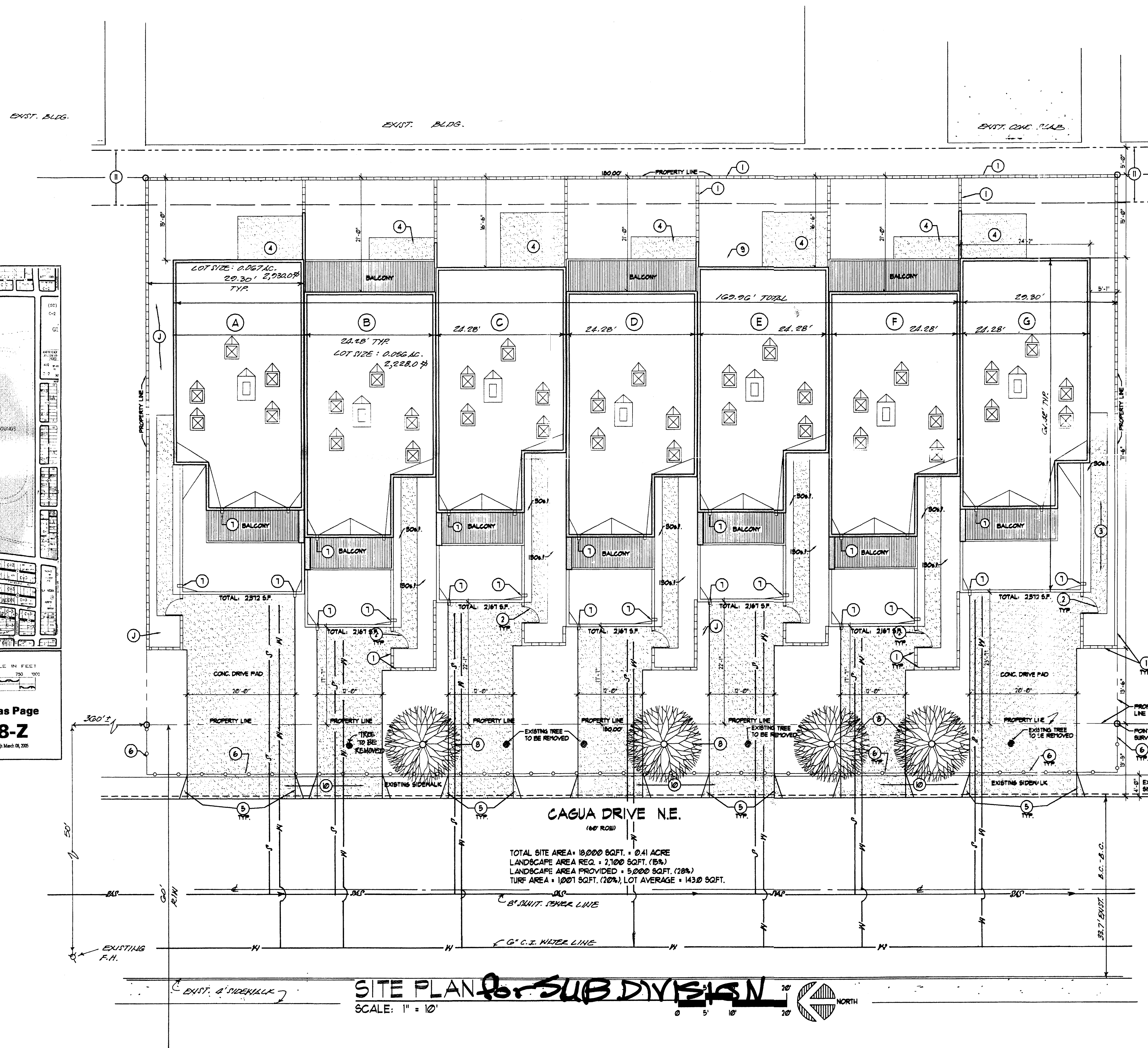
*Environmental Health, if necessary
8/13/05

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 7/24/06

Michael Holton 7/20/06
Solid Waste Dept
Approved (Automation Cart)
Eva Johnson (authorization)



LEGAL DESCRIPTION: LOTS 7, 8, 49, BLOCK 16-A
SANITILLA PLACE ADDITION.



SITE PLAN for SUB DIVISION
SCALE: 1" = 10'

revisions 06/14/06 06/14/06 06/14/06	job title CAGUA TOWNHOUSE ALBUQUERQUE, NM 87107 CAGUA DRIVE N.E.
PROJECT MANAGER JASON HALL AIA	job no 25043
date 06/14/06	by JN
sheet title LANDSCAPING PLAN	

de la Torre architects, p.a. aia
2400 louisiana blvd ne
building 3, suite 110
albuquerque n.m. 87110 / 505-883-7918

GENERAL NOTES

1. REFER TO LANDSCAPE PLAN FOR LANDSCAPE DESIGN.

KEYED NOTES

1. 6"x8"x16" CMU WALL @ 6'-0" HIGH ALL AROUND PROPERTY LINE AND UNITS DIVIDER, SEE DETAIL 2 THIS SHEET.
2. WOOD GATE 3'-0"W X 4'-6"H
3. 3'-0" WIDE CONCRETE WALK CONTINUOUS.
4. 10'-0" X 12'-0" CONCRETE PAD, WITH OPTION OF PATIO COVER.
5. PROVIDE CURB CUTS FOR DRIVEWAYS.
6. EXISTING CHAINLINK FENCE REMAIN TEMPORARY FOR CONSTRUCTION, REMOVED IN ITS ENTIRETY AFTER CONSTRUCTION FINISHED AS REQUIRED.
7. COMBINATION OF LEADER DOWNSPOUT AND OVERFLOW.
8. EXISTING TREE TO REMAIN.
9. LINE OF 15'-0" SETBACK.
10. REMOVED EXISTING SIDEWALK AND REPLACE WITH NEW 6' CONCRETE SIDEWALK WITH DRIVEPADS AS SHOWN.
11. EXISTING 10'-0" P.U.E.

PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 3/17/06 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date _____
Water Utility Department	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

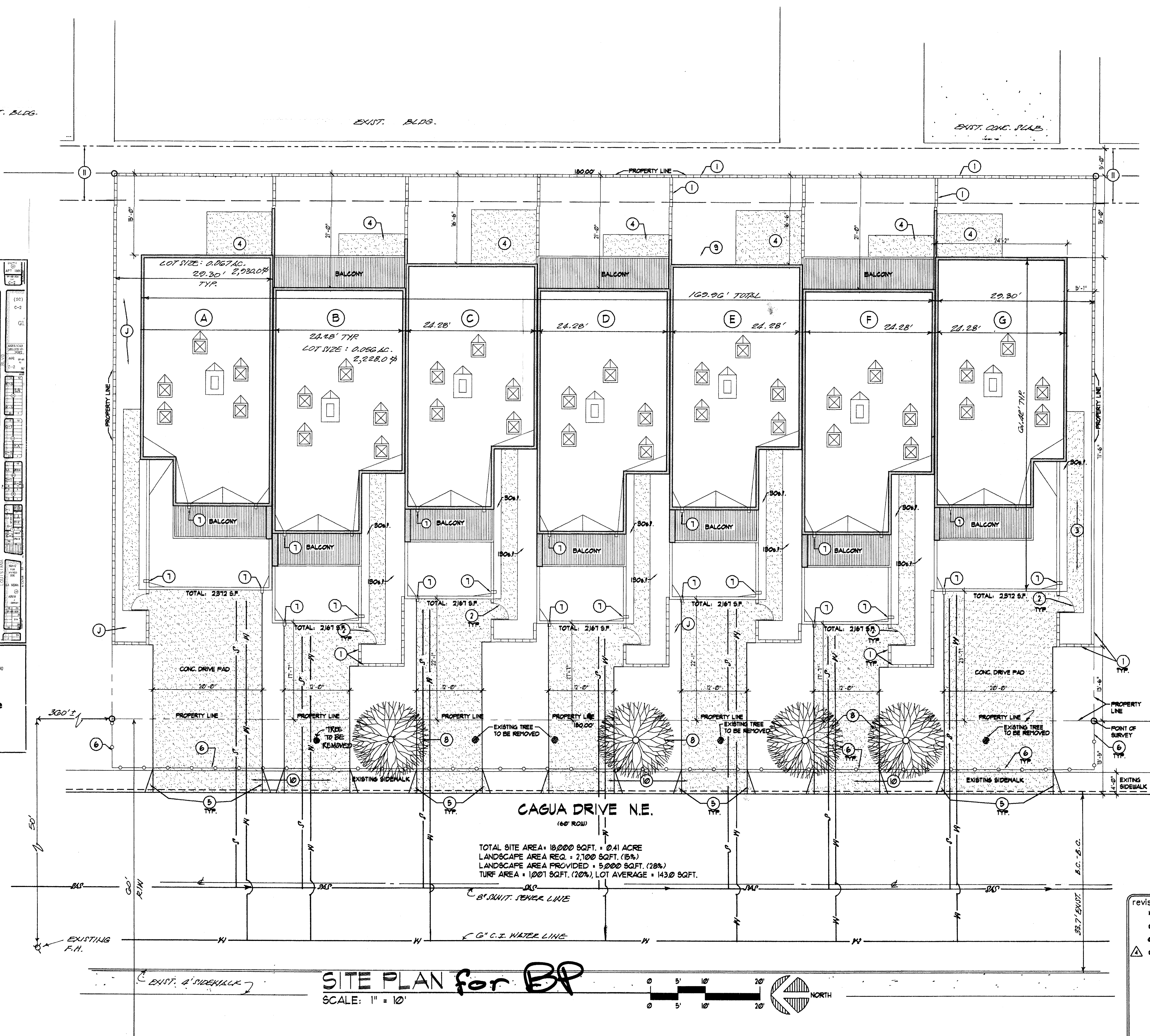
*Environmental Health, if necessary
9/13/06

SITE

Zone Atlas Page K-18-Z
Map Annotated through March 08, 2008

GRAPHIC SCALE IN FEET
0 250 500 750 1000

LEGAL DESCRIPTION: LOTS 7, 8, 49, BLOCK 16-A SANITILLA PLACE ADDITION.



SITE PLAN for BP
SCALE: 1" = 10'

revisions 01/07/06 01/28/06 02/03/06 04/01/06	job title CAGUA TOWNHOUSE ALBUQUERQUE, NM 87107 CAGUA DRIVE N.E.	job no 25043	date 06/14/06
PROJECT MANAGER JASON HALL, AIA		by JN	
SDP for BP			
de la Torre architects, p.a. d.a 2400 louisiana blvd ne building 3 / suite 110 albuquerque nm 87110 / 505-883-7918			
			sheet AS1 of 10/07/05

KEYED NOTES

1. TYPICAL 6"X8"X16" CMU WALL @ 6'-0" HIGH ALL AROUND PROPERTY LINE AND UNITS DIVIDER.
2. TYPICAL ROUGH IRON GATE 3'-0"X 4'-6"
3. 3'-0" WIDE CONCRETE WALK CONTINUOUS.
4. TYPICAL 10'-0" X 12'-0" CONCRETE PAD, WITH OPTION OF PATIO COVER.
5. PROVIDE CURB CUTS FOR DRIVEWAYS.
6. EXISTING CHAINLINK FENCE REMAIN TEMPORARY FOR CONSTRUCTION, REMOVED IN ITS ENTIRETY AFTER CONSTRUCTION FINISHED AS REQUIRED.
7. COMBINATION OF LEADER DOWNSPOUT AND OVERFLOW.
8. EXISTING TREE TO REMAIN.
9. LINE OF 15'-0" SETBACK.
10. REMOVED EXISTING SIDEWALK.

LANDSCAPE NOTES :

LANDSCAPING SHALL BE PER "PLANTING RESTRICTIONS APPROACH" :
 MEDIUM AND LOW WATER USE TREES/PLANTS 80% (MINIMUM) OF LANDSCAPED AREA.
 WATER REQUIREMENTS : (H) = HIGH, (M) = MEDIUM, (L) = LOW, NOTED ON SCHEDULE IS PER ALBUQUERQUE PLANT LIST.

GENERAL :
LANDSCAPED AREAS : SHALL BE PREPARED WITH REQUIRED AND SUITABLE AMENDMENTS FOR PLANTING AND MAINTAINING SOIL, TREES, SHRUBS, ETC. EXCAVATE TO NATURAL SUBSOIL LEVEL. FILL WITH CLEAR SUBSOIL AND 4" TOPSOIL (MINIMUM) CONTAINING HUMUS, (FREE OF DEBRIS, WEEDS, FIELD GRASSES, ETC.)

TREES : SHALL BE 2" O CALIPER (MINIMUM) AT 2' ABOVE GROUND AND SHALL BE 10'-0" (MINIMUM) IN HEIGHT.

PLANTS / SHRUBS : SHALL BE 6 GALLON (MINIMUM).

GROUND COVER : SHALL BE ESTABLISHED WITHIN ONE (1) YEAR OF PLANTING (MAXIMUM). SOIL PLANTINGS, SHEDDED BARK, RIVER-RUN GRAVEL SHALL BE OVER SOIL TREATED FOR WEED CONTROL.

IRRIGATION : UNDERGROUND SPRINKLER AND DRIP SYSTEM AS FOLLOWS : (CONTRACTOR SHALL SUBMIT PLAN AND SPECIFICATIONS FOR SYSTEM PROPOSED).
 VALVE BOXES
 PRESSURE LINES : SCHEDULE 40 PVC
 LATERAL AND DISTRIBUTION LINES : CLASS 200 PVC
 HEADS : POP-UP TYPE INSTALLED IN LAWN AREAS
 CONTROL WIRE : SOLID COPPER, UN APPROVED

NOTE : OWNER SHALL MAINTAIN LANDSCAPING IN LIVING CONDITION.

SCHEDULE :

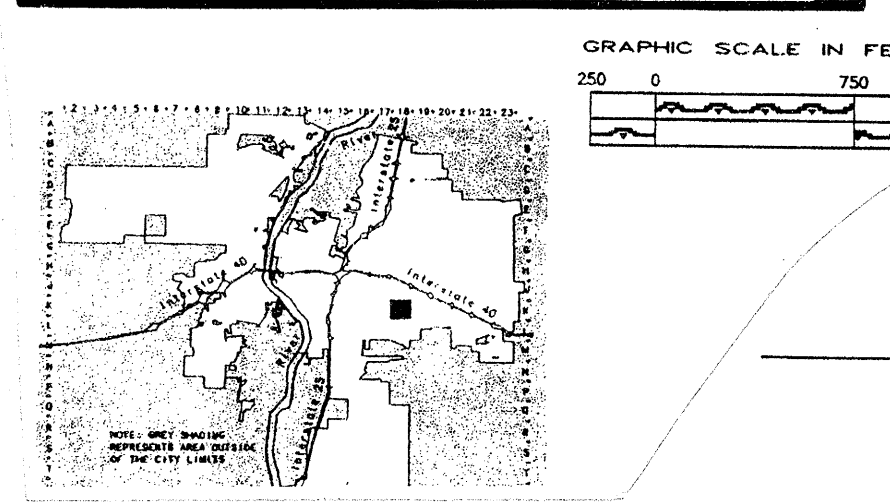
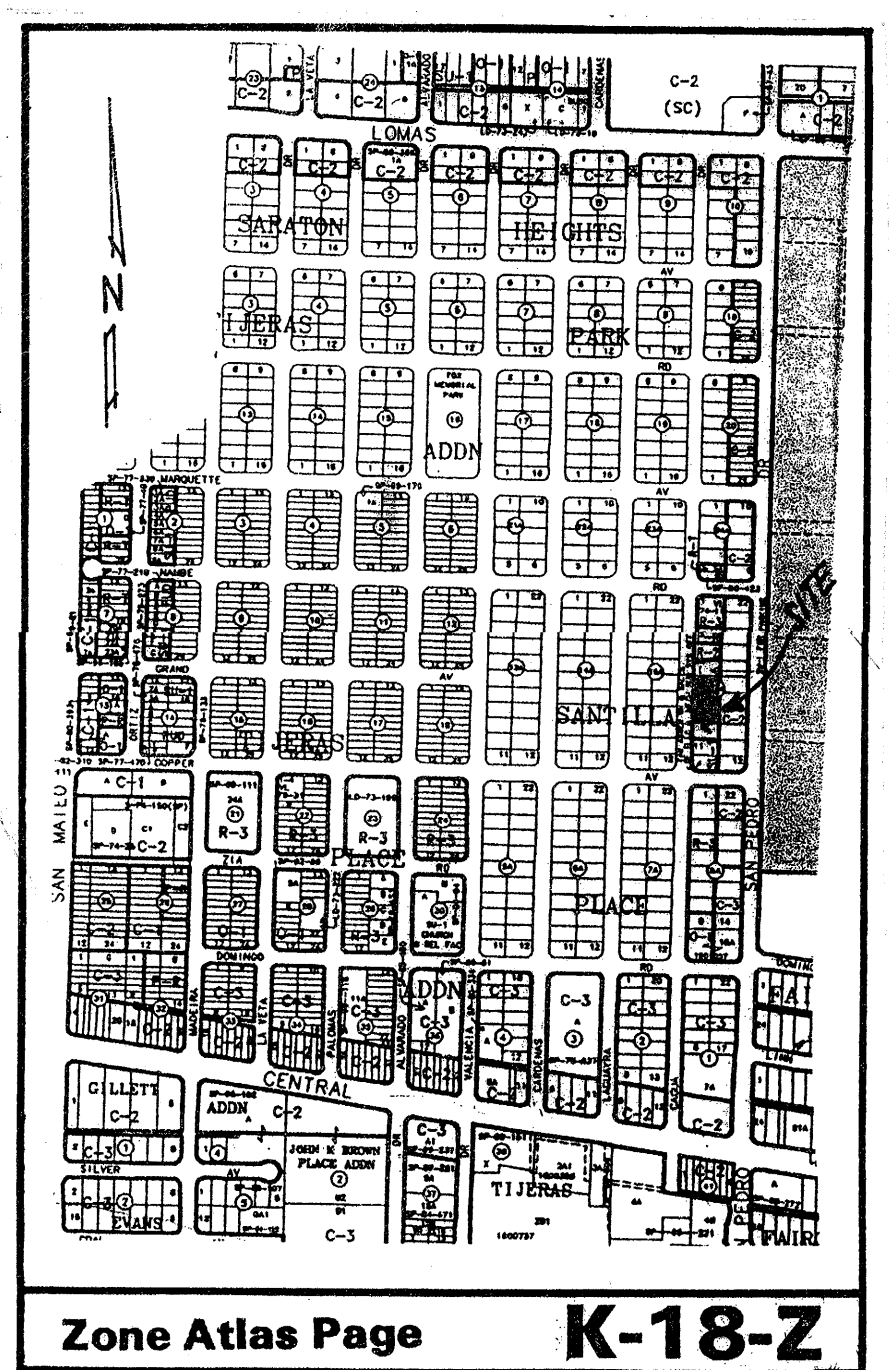
- TREE :**
 A. MINDBOX, (M), FULL SUN
 B. PURPLE LEAF PLUM, (H), FULL SUN
SHRUBS :
 C. SILVER SHADE, (L), PART/FULL SUN
 D. KUTIVIAI SHADE, (M), PART/FULL SUN
 E. SAUTOLINA/LAVENDER-COTTON, (L), FULL SUN
 F. BUTTERFLY BUSH, (L), PART/FULL SUN
 G. ENGLISH LAVENDER, (M), PART/FULL SUN
 H. YUCCA PENDULA, (L), PART/FULL SUN
GROUND COVER :
 I. GRAVEL MULCH (3/4" SILVER FE. BEDDING)
 J. GRASS - BLUE FESCUE, (MH), SUN, ("FESTUCA OVINA GLAUCA" TO BE REEDED).
 K. ANTHEMARIAS REDSEA, (L), SHADE/PART SUN
 L. 2"-4" RIVERBED ROCK

TREE WELLS SHALL BE GRAVEL MULCH.

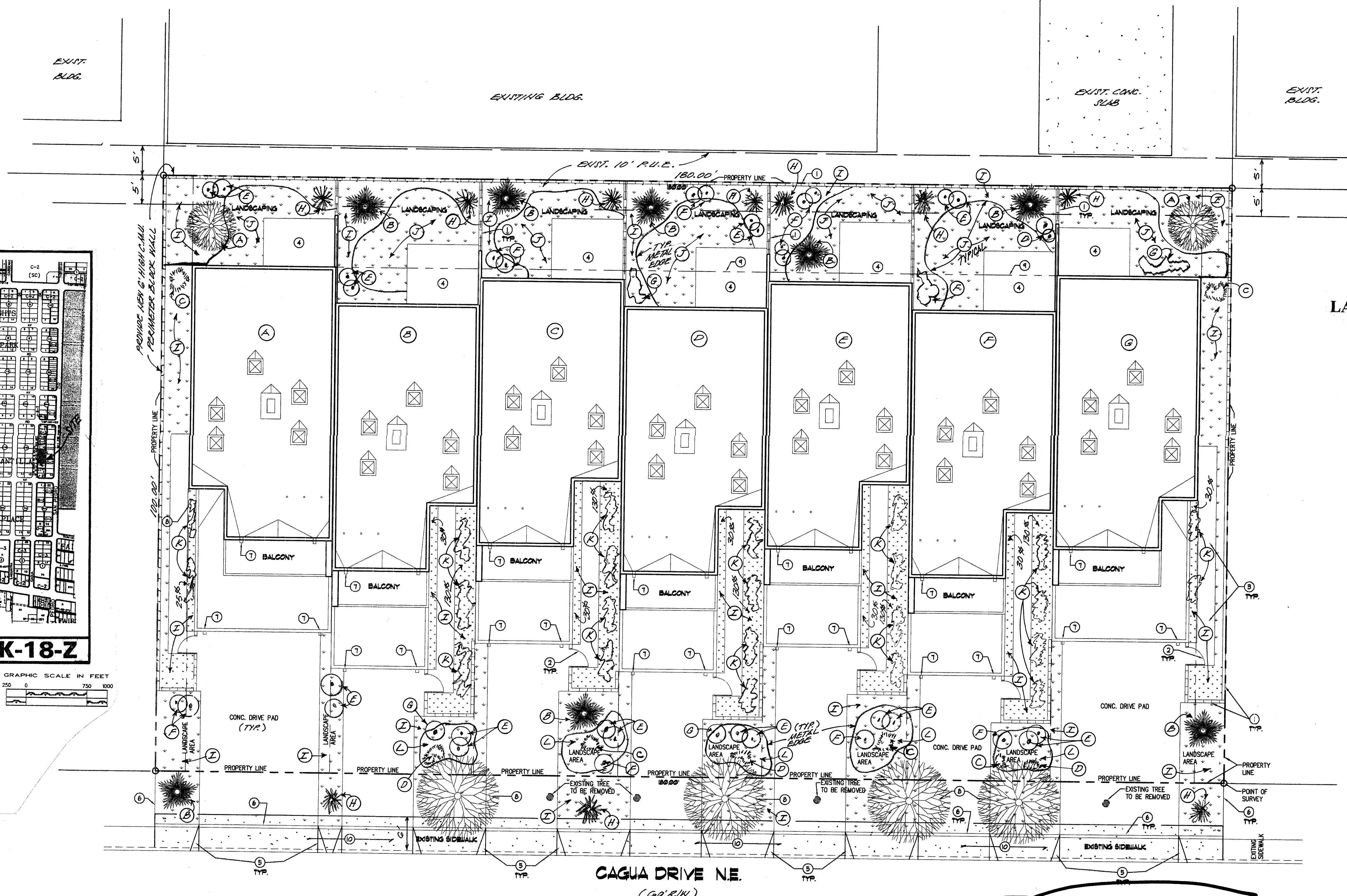
de la Torre

TOTAL SITE AREA = 13,000.0 SQ. FT. = 0.31 ACRES
 LANDSCAPE AREA REQ. = 2,700.0 SQ. FT. (17%)
 LANDSCAPE AREA PROVIDED = 5,000.0 SQ. FT. (28%)
 TURF AREA = 1,007 SQ. FT. (20%), LOT AREA = 143.0 SQ. FT.

NOTE : LANDSCAPING PLAN SHALL BE IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, POLLUTION, AND WASTE WATER ORDINANCE, (INCLUDES PROPOSED IRRIGATION SYSTEM).

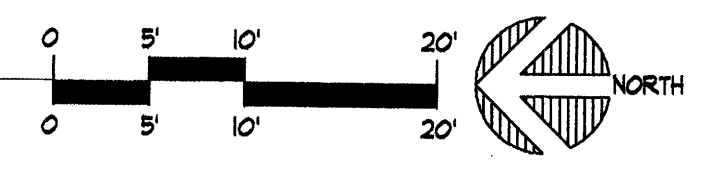


LEGAL DESCRIPTION: LOTS 7, 8, & 9, BLOCK 16-A, SANTA FE PLACE ADDITION.



LANDSCAPING PLAN

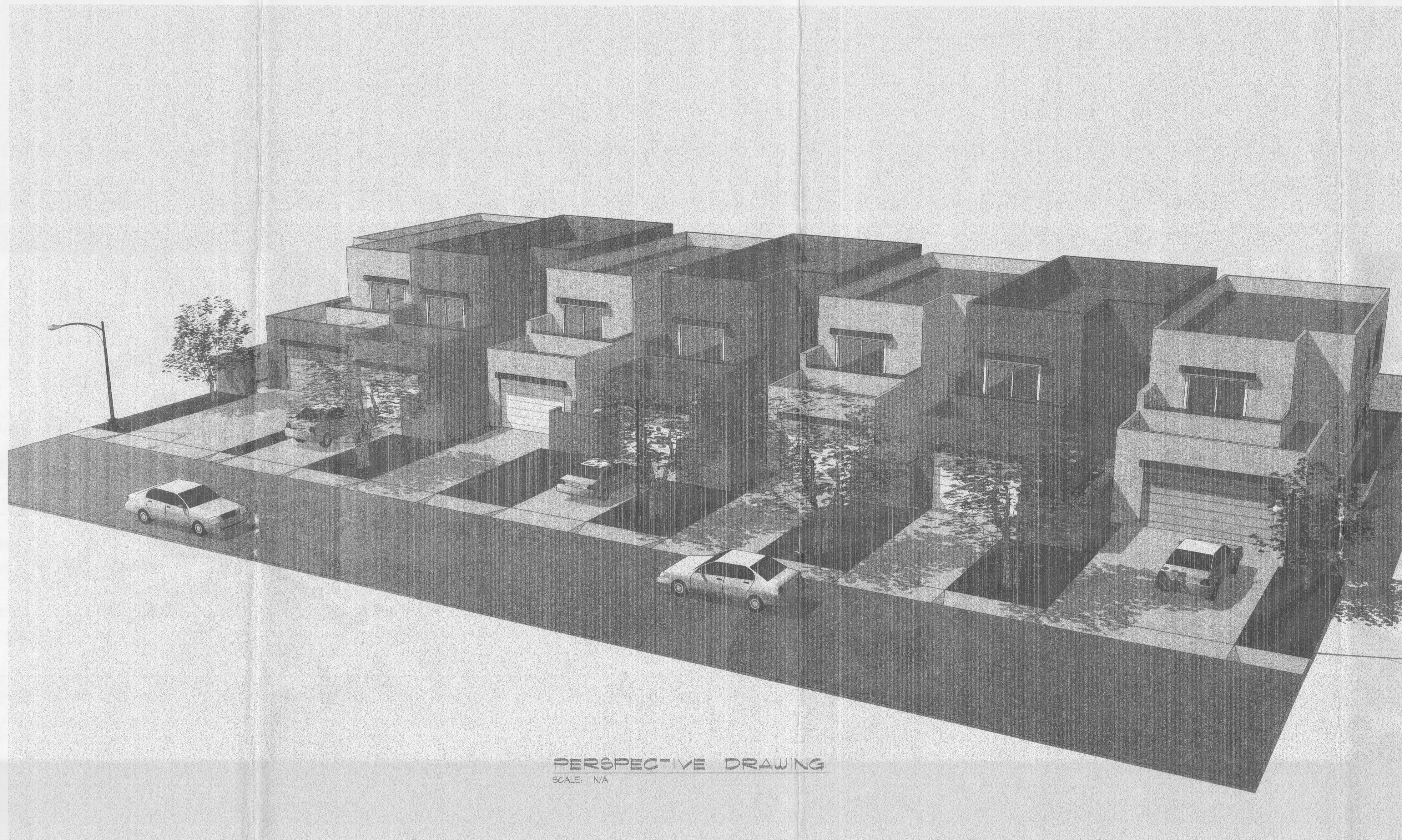
SCALE: 1" = 10'



revisions 10/07/05 01/28/06 02/03/06	job title CAGUA TOWNHOUSE CAGUA DRIVE N.E. ALBUQUERQUE, NM 87107	PROJECT MANAGER GEORGE T. RODRIGUEZ	job no 25045	date 02/10/06
sheet title LANDSCAPING PLAN		by GTR		

de la torre architecte, p.a. aia
 2400 louisiana blvd ne
 building 3 - suite 110
 albuquerque nm 87110 / 505.883.7918

sheet-
of-



PERSPECTIVE DRAWING
SCALE: N/A

CAGUA TOWNHOUSE

de la torre architects, pa, ala

2400 louisiana blvd ne building 3 / suite 110 albuquerque nm 87110 505.883.7918

revisions 10/07/05 01/28/06 02/03/06	job title CAGUA TOWNHOUSE CAGUA DRIVE N.E. ALBUQUERQUE, NM 87107			
	PROJECT MANAGER	job no 25043	date 02/10/06	
	sheet title PERSPECTIVE ELEVATIONS		by JN	
de la torre architects, pa, ala 2400 louisiana blvd ne building 3 / suite 110 albuquerque nm 87110 / 505.883.7918			sheet - A-2 of - 10/11/05	

Legal Description: Lots 7, 8, & 9, Block 16-A, Santilla Place Addition.

Bench Mark Reference: ACS Station "5-K18B", Elevation = 5290.330, Project T.B.M. as shown on plan hereon.

Note: Flows from this existing development are to be re-directed toward and into San Pedro Avenue N.E.; (See Narrative comment).

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

TABLE A-4. LAND TREATMENTS

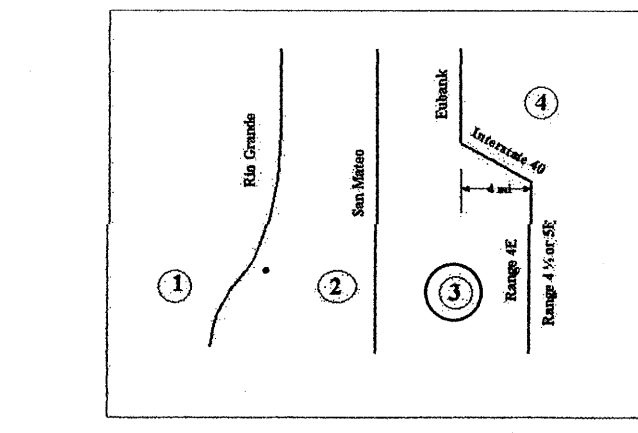
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unlined Arrows.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

TABLE A-9. PEAK DISCHARGE (cfs/acre)

Zone	Treatment			
	A	B	C	D
1	1.29 (0.00, 0.24)	2.03 (0.33, 0.76)	2.87 (0.47, 1.49)	4.37 (1.69, 2.89)
2	1.56 (0.00, 0.38)	2.28 (0.08, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.14)
3	0.87 (0.00, 0.38)	2.60 (0.21, 1.19)	3.45 (0.78, 2.09)	5.02 (2.04, 3.39)
4	3.20 (0.05, 0.87)	3.92 (0.38, 1.45)	3.73 (1.00, 2.26)	5.35 (2.17, 3.57)

TABLE A-10. PEAK INTENSITY (IN/HR at t_p=0.2 hour)

Zone	Intensity (2-YR, 10-YR)
1	4.70 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.61 (2.34, 3.83)



Drainage Comments:

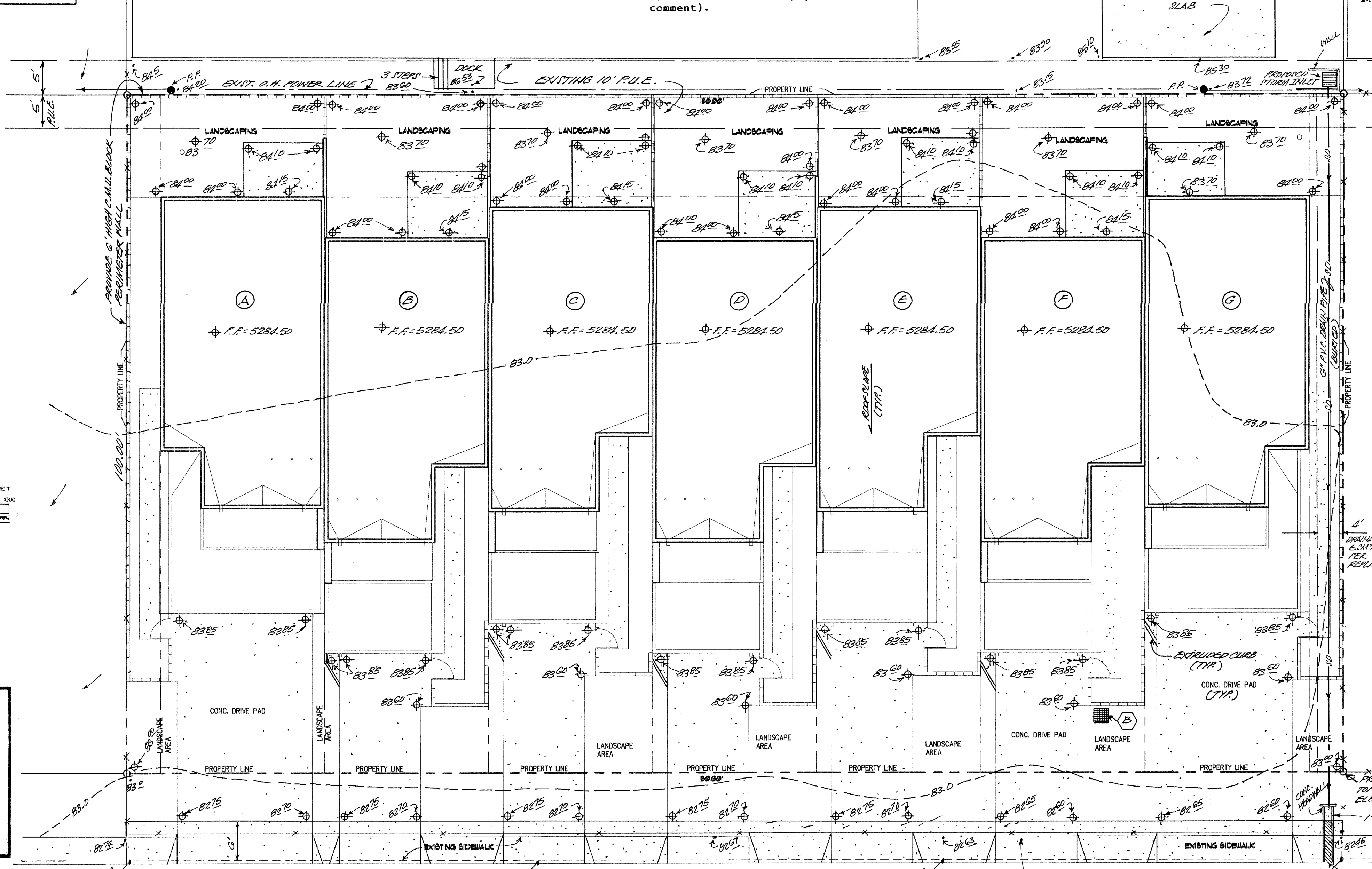
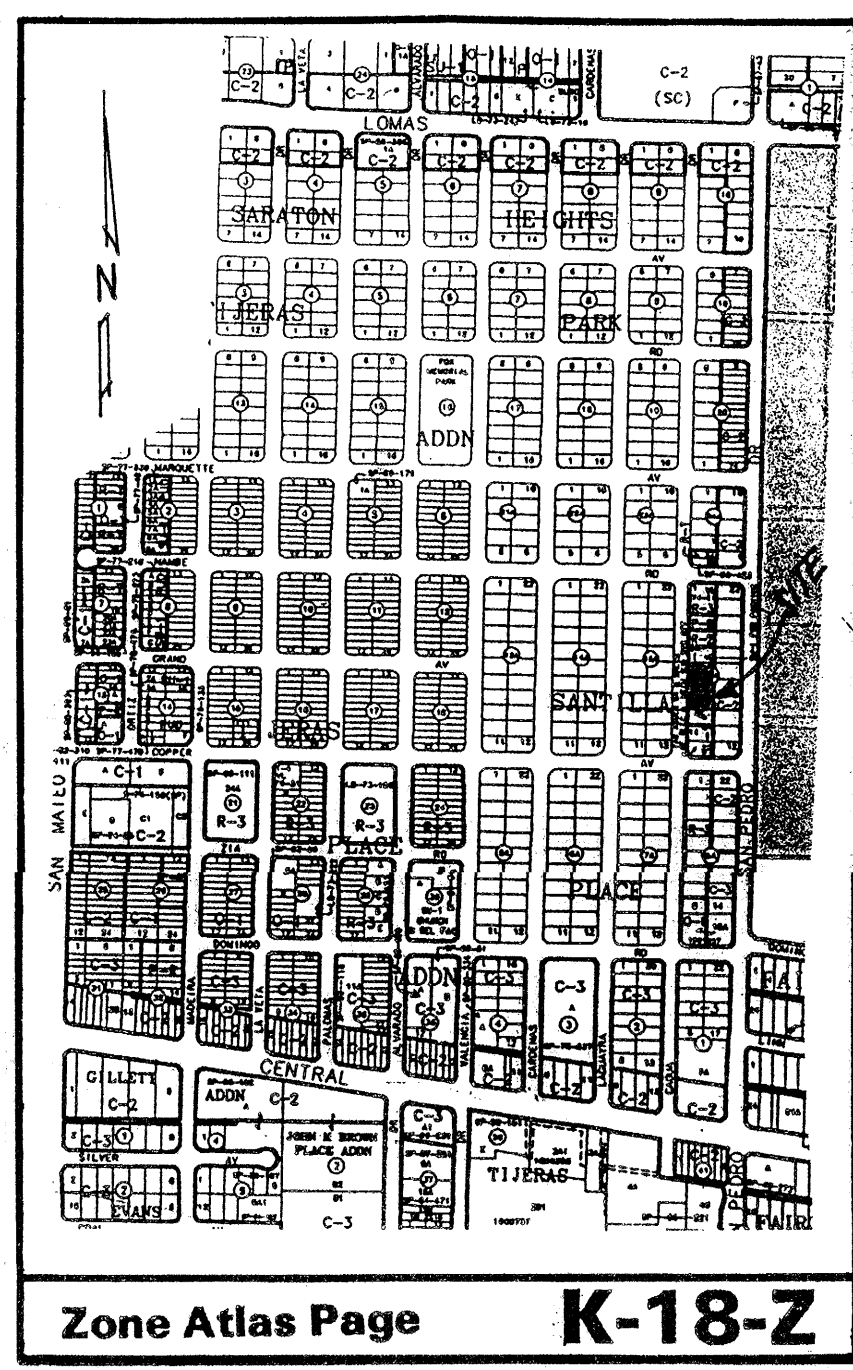
As shown on the Vicinity Map hereon, the subject site is located on the east side of Cagua Drive N.E., West of San Pedro Avenue N.E. and North of Copper Avenue N.E., in the City of Albuquerque, New Mexico, (Zone Atlas Map "K-18-Z").

The subject site is presently a 100% existing asphalt paved area being used for parking; the proposed use is to develop townhouse units and associated improvements thereon.

The subject site, 1.) does not lie within a designated floodplain (re: F.E.M.A. Panel 354 of 825), 2.) accepts offsite flows from the properties to the East (these offsite flows will be re-directed towards and into San Pedro Avenue N.E.; same property owners as for proposed townhouse development), 3.) does not contribute to the offsite flows of adjacent properties; a French Drain on the subject property is presently being used for flows; this French Drain will be eliminated for this proposed development, 4.) free discharge of the proposed developed flows will not have an adverse affect to downstream properties.

Calculations:

Site Area: 0.41 acre
 Zone: Three (3)
 Peak Intensity: 5.38
Existing Conditions: (100% existing asphalt paved)
 Treatment Area/Acre Factor Cfs
 D 0.41 X 5.02 = 2.06
 "Q_p" = 2.06 cfs
Proposed Developed Conditions:
 Treatment Area/Acre Factor Cfs
 C 0.12 X 3.45 = 0.41
 D 0.29 X 5.02 = 1.46
 "Q_p" = 1.87 cfs *** Decrease = 0.19 cfs



UTILITY PRECAUTIONS
 THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:
 TOP OF CURB ELEVATION = 70'-02.50
 CURB FLOWLINE ELEVATION = 6'-01.80
 EXISTING SPOT ELEVATION = 4'-03.25
 EXISTING CONTOUR ELEVATION = 83.0
 PROPOSED SPOT ELEVATION = 4'-03.20
 PROPOSED CONTOUR ELEVATION = N/A
 PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]
 EXISTING FENCE LINE = [Symbol]

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

PRELIMINARY GRADING & DRAINAGE PLAN
 SCALE: 1" = 10'



revisions
 10/07/05
 01/28/06
 02/03/06

job title
CAGUA TOWNHOUSE
 CAGUA DRIVE N.E.
 ALBUQUERQUE, NM 87107

PROJECT MANAGER
 GEORGE T. RODRIGUEZ job no 25043 date 02/10/06

sheet title
GRADING & DRAINAGE PLAN by GTR

de la torre architects, p.a. llc
 2400 louisiana blvd ne
 building 3 suite 110
 albuquerque n.m. 87110 / 505.883.7918

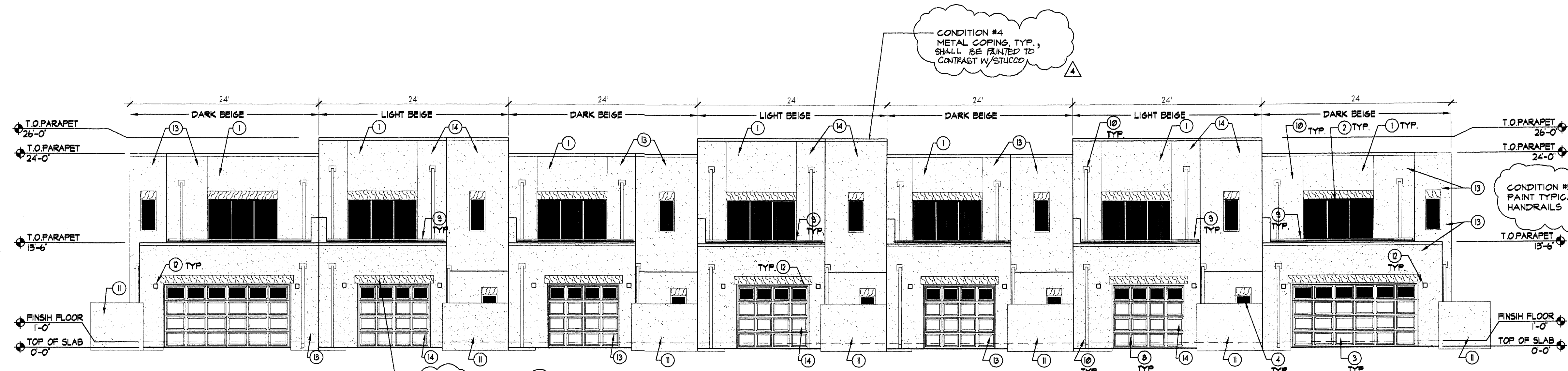
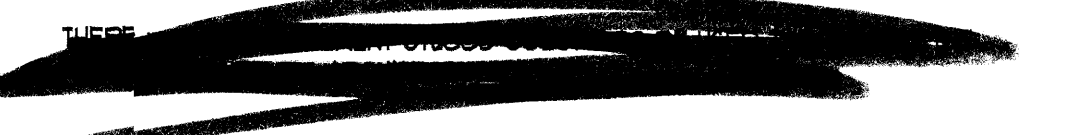
sheet -
C-2
 of -
 1/17/06

KEYED NOTES

1. CONTROL JOINT.
2. 12"x4"x6"-8" WOOD LINTEL - STAIN FINISH DARK BROWN.
3. 8'-0"x16'-0" INSULATED GARAGE DOOR-PAINT TO MATCH STUCCO COLOR.
4. 2'-0"x3'-0" DOUBLE INSULATED WINDOW-WHITE TRIM.
5. 5'-0"x4'-0" DOUBLE INSULATED WINDOW-WHITE TRIM.
6. 6'-0"x1'-0" DOUBLE INSULATED GLASS SLIDING DOOR-WHITE TRIM.
7. ROUGH SAWN COLUMN.
8. 8'-0" x 9'-0" INSULATED GARAGE DOOR-PAINT TO MATCH STUCCO COLOR.
9. 2 1/2" HOLLOW METAL HANDRAILS TUBE CONTINUOUS, PRIME, & PAINTED TO CONTRAST STUCCO COLOR. COLOR BY ARCHITECT.
10. COMBINATION LEADER HEAD & DOWN SPOUT W/ OVERFLOW OUTLET, PAINT COLOR TO MATCH BUILDING STUCCO.
11. STUCCO FINISH CMU WALL IN FRONT ONLY. ALL PERIMETER CMU WALLS TO BE UNFINISHED.
12. EXTERIOR WALL MOUNTED LIGHT FIXTURE.
13. 3 COAT STUCCO FINISH, COLOR #1. COLOR BY ARCHITECT.
14. 3 COAT STUCCO FINISH, COLOR #2. COLOR BY ARCHITECT.

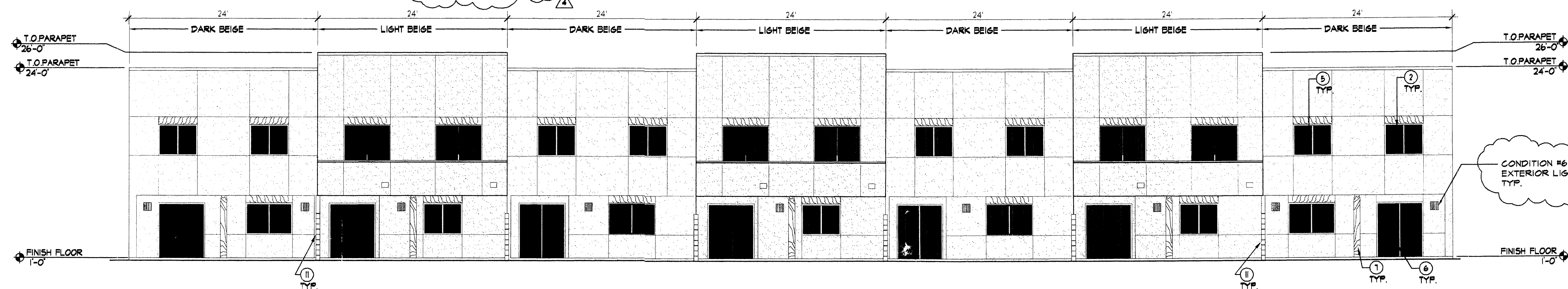
GENERAL NOTES:

STUCCO FINISH



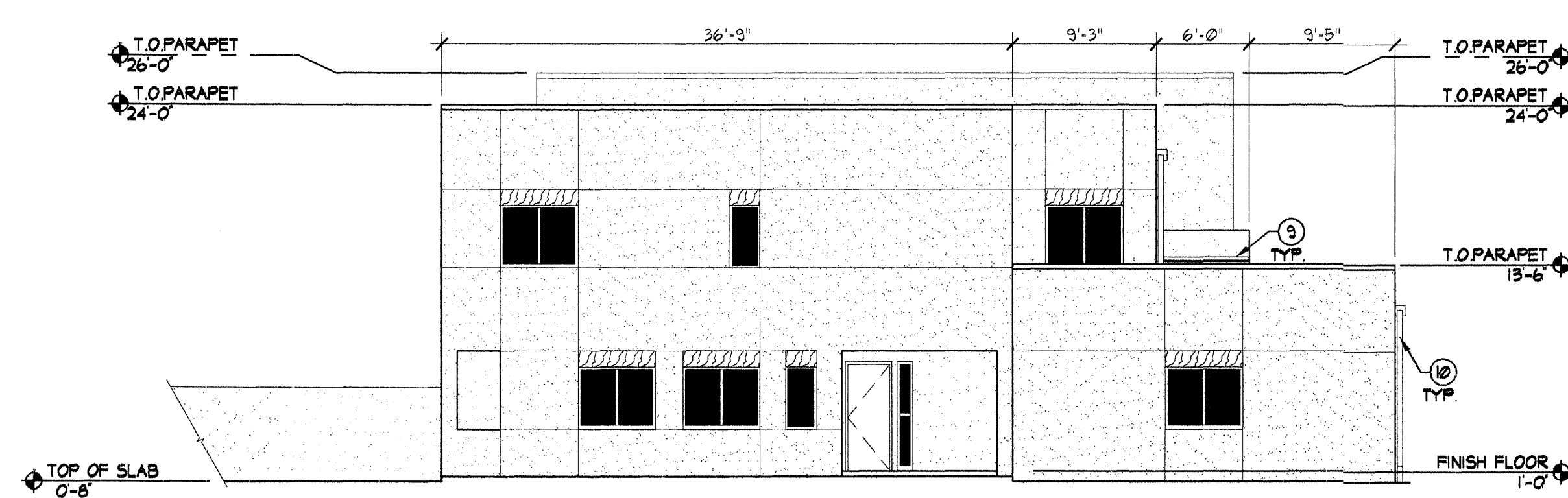
WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



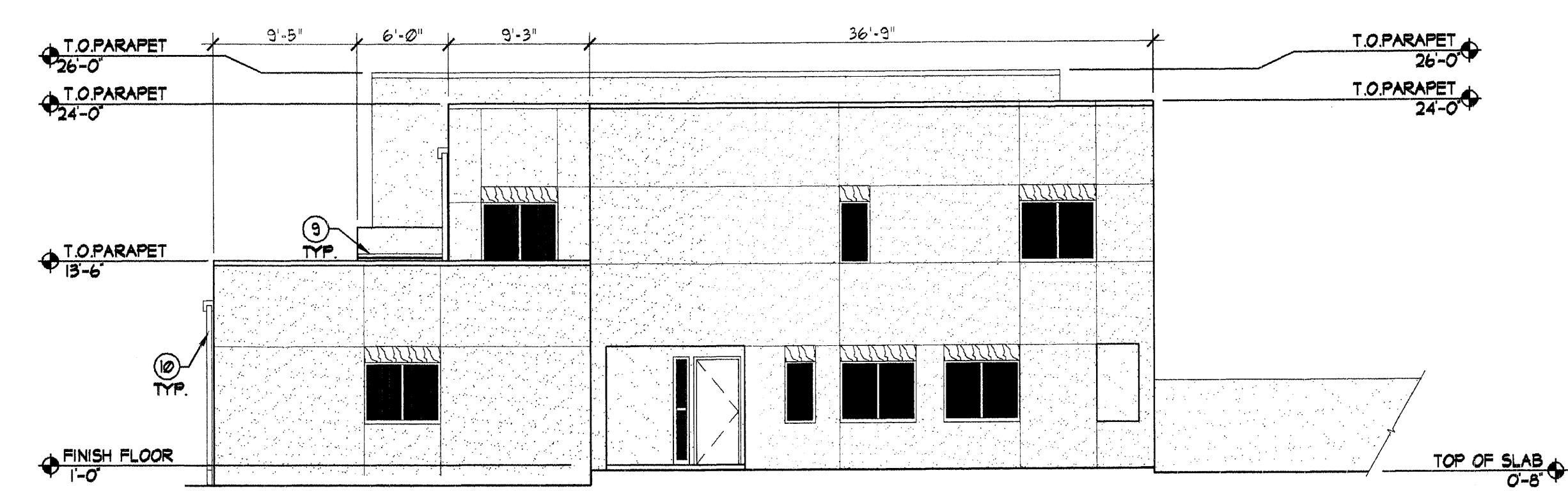
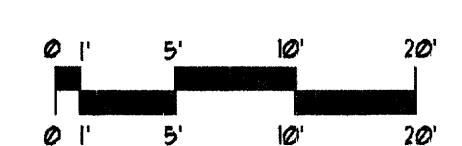
EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



4 SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

revisions 01/24/06 01/25/06 02/03/06 06/01/06	job title CAGUA TOWNHOUSE ALBUQUERQUE, NM 87107 CAGUA DRIVE N.E.		
	PROJECT MANAGER JASON HALL, AIA	job no 25043	date 06/14/06
	sheet title EXTERIOR ELEVATIONS		by JN
	de la torre architects, p.a. aia 2406 louisiana blvd n.e. building 3 / suite 110 albuquerque n.m. 87110 / 505-883-7918		

sheet
A
 of

PLAT OF CAGUA TOWNHOMES

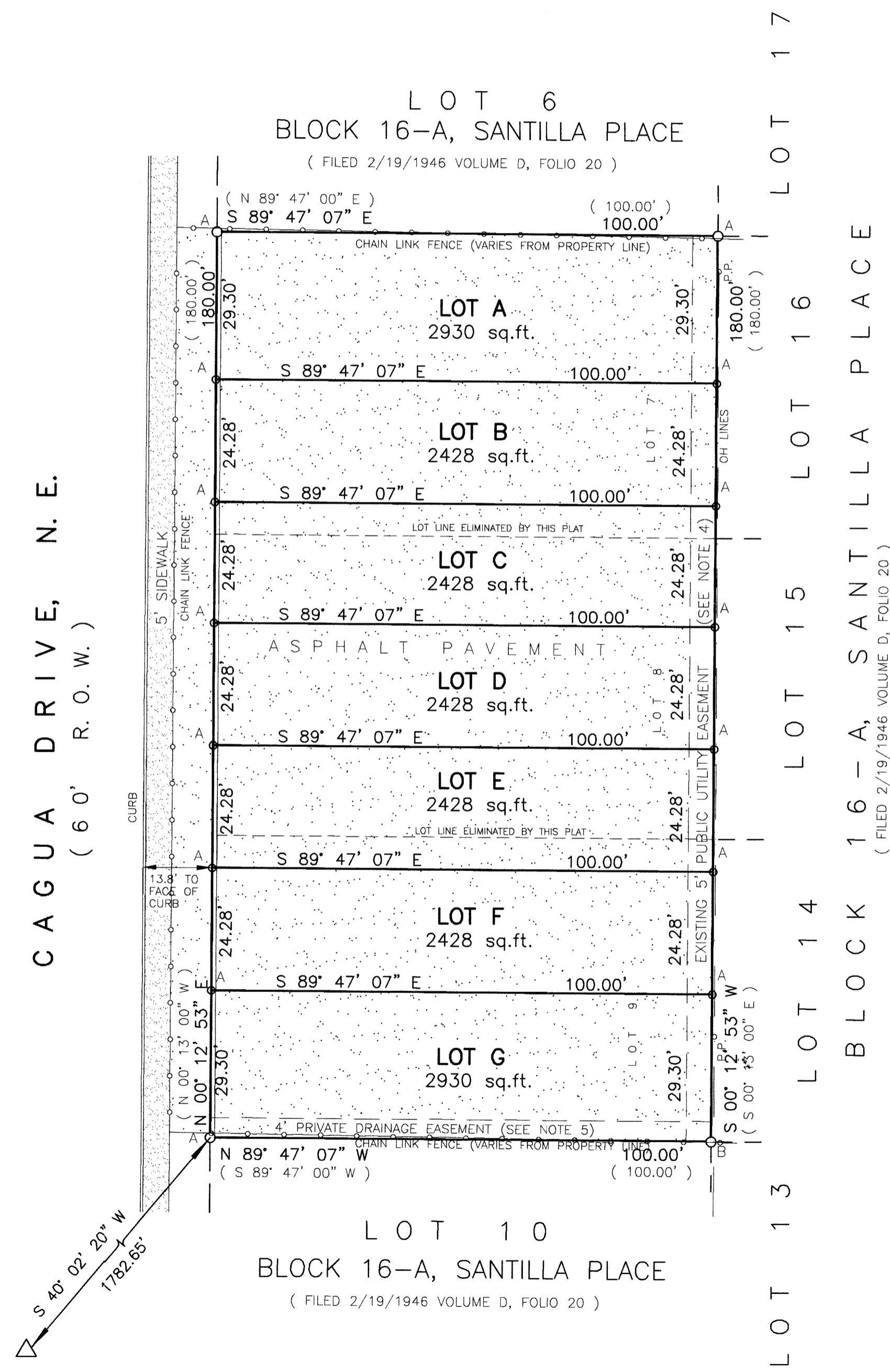
A REPLAT OF LOTS 7, 8, & 9, BLOCK 16-A, SANTILLA PLACE
WITHIN NW 1/4, SECTION 24, T.10N., R.3E., N.M.P.M.,

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

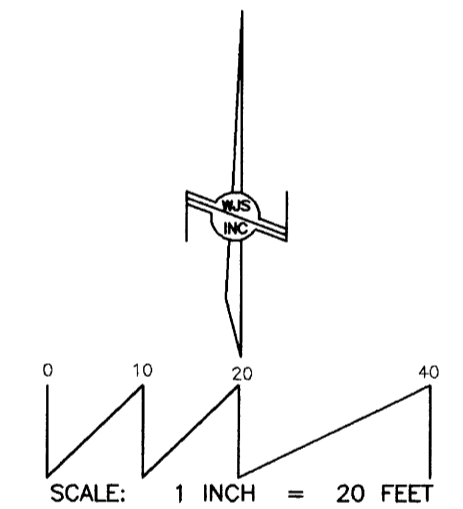
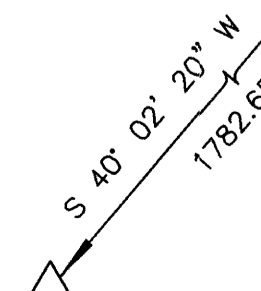
JUNE 2006

EXISTING CONDITIONS

COUNTY CLERK RECORDING LABEL HERE



ACS MONUMENT "5-K18-A"
x=401,022.37
y=1,483,557.05
Delta Alpha: -00°11'24"
Ground-to-grid:
0.99965880
NMSF CENTRAL ZONE
NAD 1927



MONUMENT LEGEND
A: SET #4 REBAR AND CAP
"WAYJOHN PS 14269"
B: SET PK NAIL AND DISK
"PS 14269"

THOMAS D. JOHNSTON
NEW MEXICO
14269
REGISTERED LAND SURVEYOR

WAYJOHN SURVEYING INC

330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY	DRAWN: E W K	SCALE:	FILE NO.
OWNER: DOYLE & TRICARIO INVESTMENTS I	CHECKED: T D J	1" = 20'	SP-6-01-2006
LOCATION: SEC. 24 T.10 N., R.3 E., N.M.P.M. CAGUA TOWNHOMES	DRAWING NO. SP60106.DWG	2 JUNE 2006	SHEET 2 OF 2

GENERAL NOTES

1. REFER TO LANDSCAPE PLAN FOR LANDSCAPE DESIGN.

KEYED NOTES

1. 6" X 8" X 16" CMU WALL @ 6'-0" HIGH ALL AROUND PROPERTY LINE AND UNITS DIVIDER, SEE DETAIL 7 THIS SHEET.
2. WOOD GATE 3'-0" W X 4'-6" H.
3. 3'-0" WIDE CONCRETE WALK CONTIGUOUS.
4. 10'-0" X 12'-0" CONCRETE PAD, WITH OPTION OF PATIO COVER.
5. PROVIDE CURB CUTS FOR DRIVEWAYS.
6. EXISTING CHAINLINK FENCE REMAIN TEMPORARY FOR CONSTRUCTION, REMOVED IN ITS ENTIRETY AFTER CONSTRUCTION FINISHED AS REQUIRED.
7. COMBINATION OF LEADER DOWNSPOUT AND OVERFLOW.
8. EXISTING TREE TO REMAIN.
9. LINE OF 15'-0" SETBACK.
10. REMOVE EXISTING SIDEWALK AND REPLACE WITH NEW 6" CONCRETE SIDEWALK WITH DRIVEPADS AS SHOWN.
11. EXISTING 10'-0" P.U.E.

PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

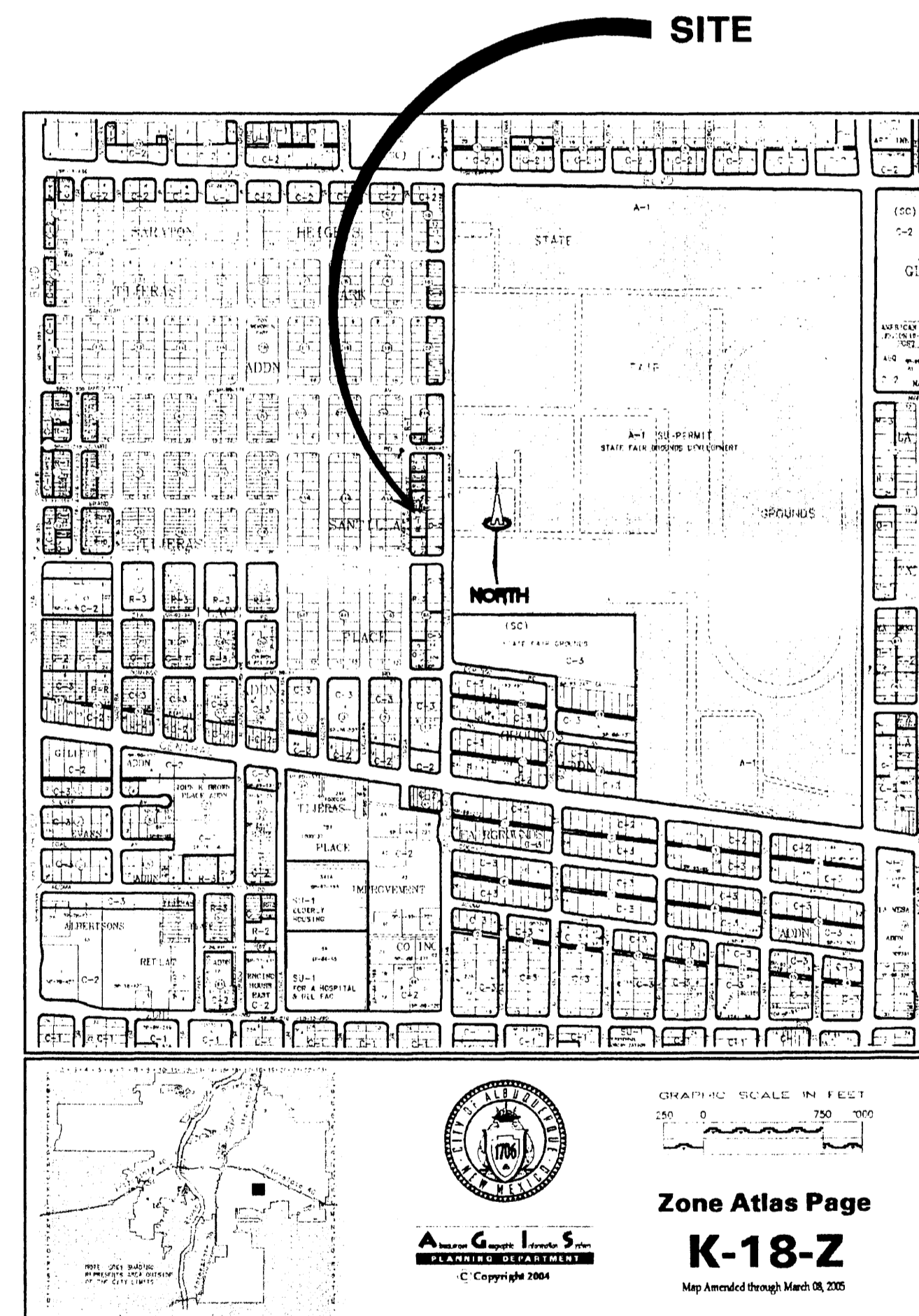
Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
Environmental Health Department (conditional)	_____	Date	_____
Michael Helton Solid Waste Management	_____	Date	7/20/06
DRB Chairperson, Planning Department	_____	Date	_____

*Environmental Health, if necessary
511305

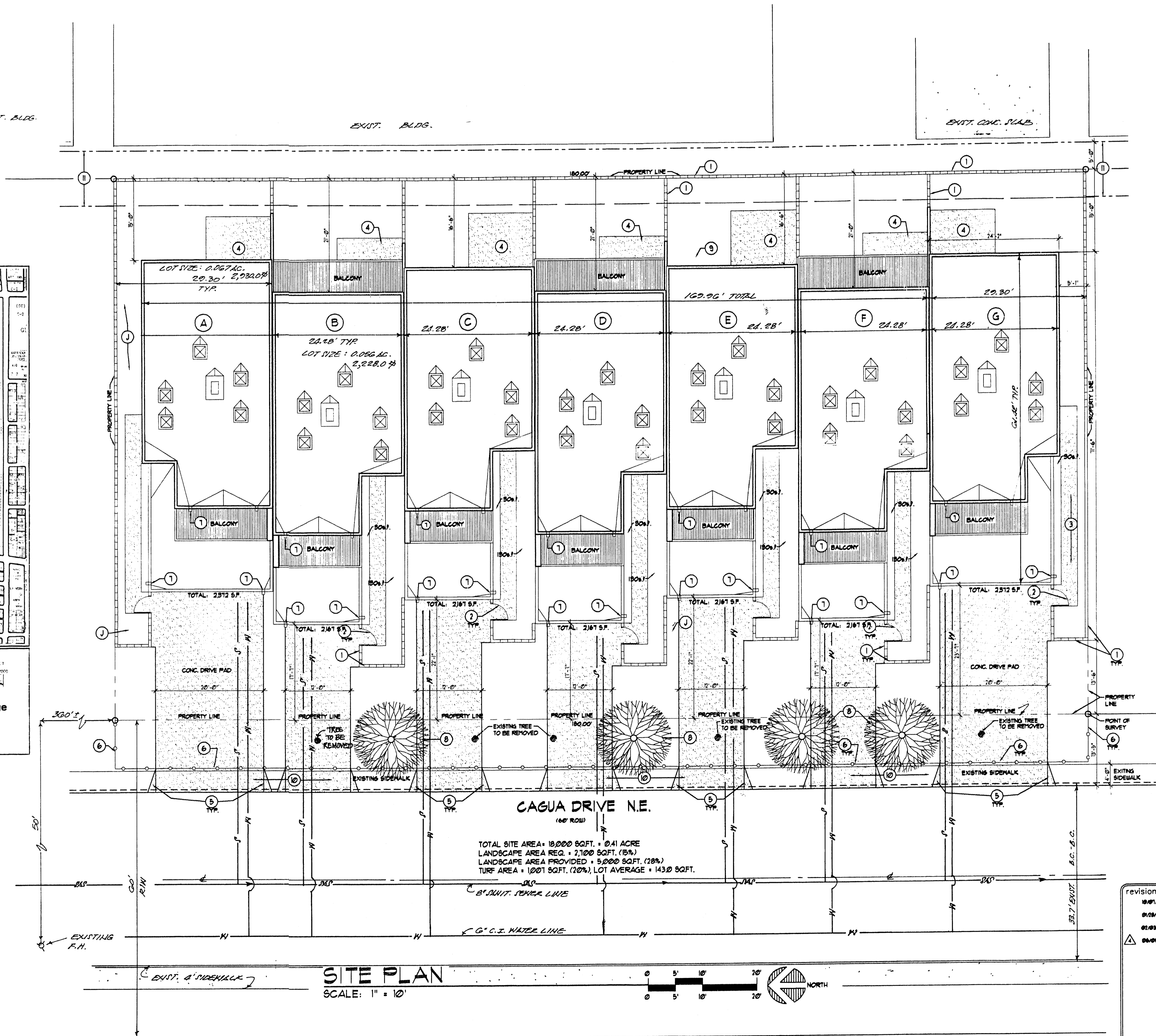
**CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 7/20/06**

Michael Helton 7/20/06
Solid Waste Dept
Approved (Automation Certificate)
Lisa Helman (authorization)

AFD PLANS CHECKING OFFICE
024-3611
APPROVED APPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE 7/16/06



LEGAL DESCRIPTION: LOTS 1, 8, 19, BLOCK 16-A
SANITILLA PLACE ADDITION.



TOTAL SITE AREA = 10,000 SQFT. = 0.41 ACRE
LANDSCAPE AREA REQ. = 2,100 SQFT. (18%)
LANDSCAPE AREA PROVIDED = 5,000 SQFT. (18%)
TURF AREA = 1,001 SQFT. (10%) LOT AVERAGE = 143 SQFT.

revisions 10/07/05 07/28/06 07/03/06 06/01/06	job title CAGUA TOWNHOUSE ALBUQUERQUE, NM 87107 CAGUA DRIVE N.E.	job no 25043	date 06/14/06
	PROJECT MANAGER JASON HALL, AIA		by JN
	SHEET TITLE LANDSCAPING PLAN		

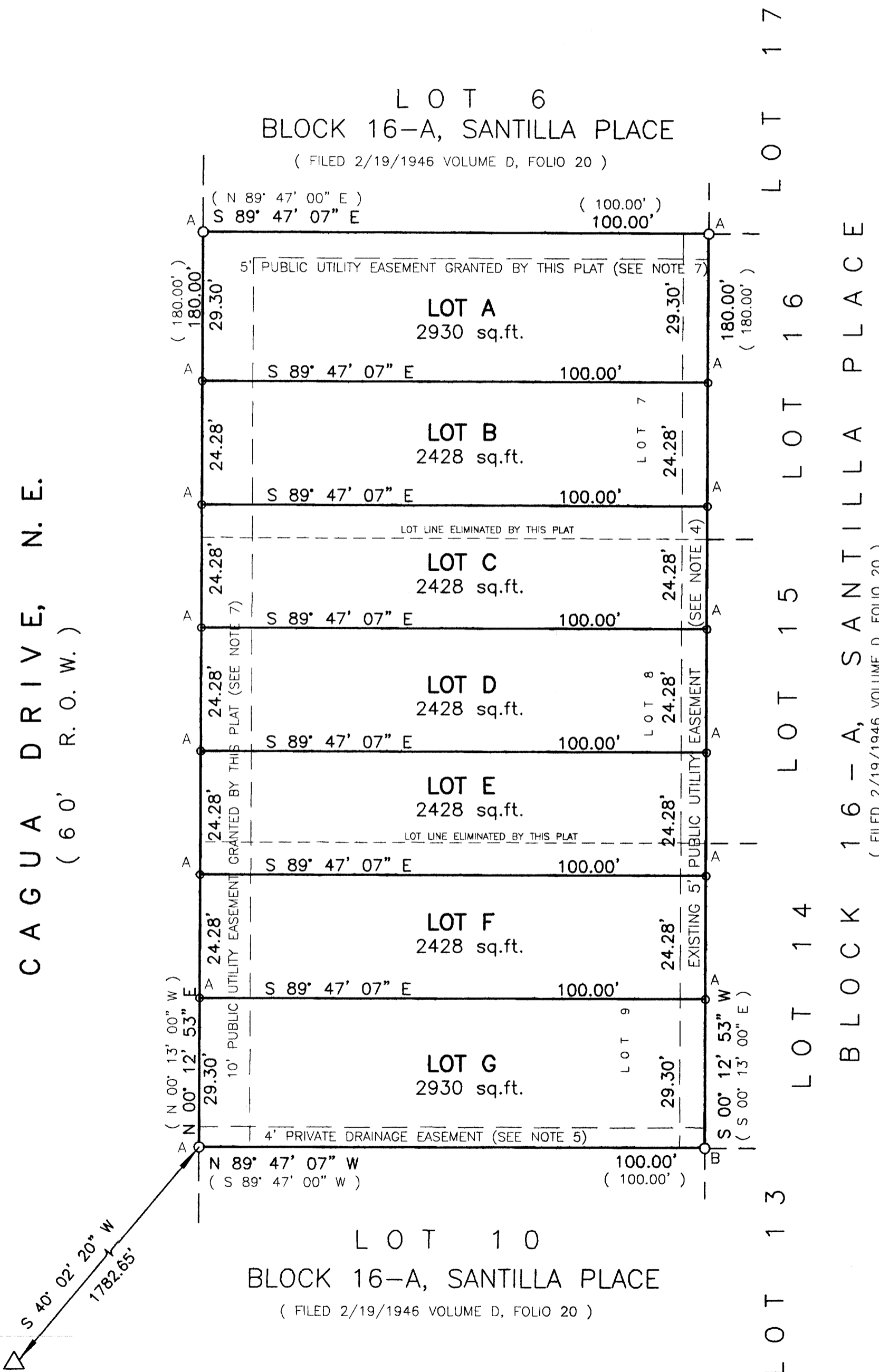
de la torre architects, p.a. d/b/a
2405 louisiana blvd ne
building 3, suite 110
albuquerque nm 87110 · 505 · 883 · 7918

PLAT OF
CAGUA TOWNHOMES
 A REPLAT OF LOTS 7, 8, & 9, BLOCK 16-A, SANTILLA PLACE
 WITHIN NW 1/4, SECTION 24, T.10N., R.3E., N.M.P.M.,

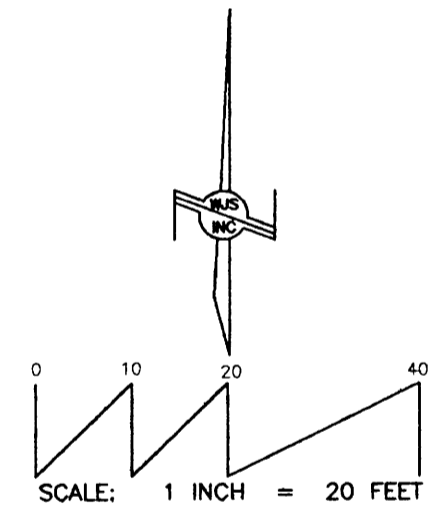
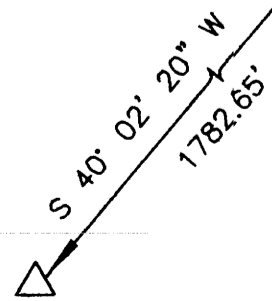
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JUNE 2006

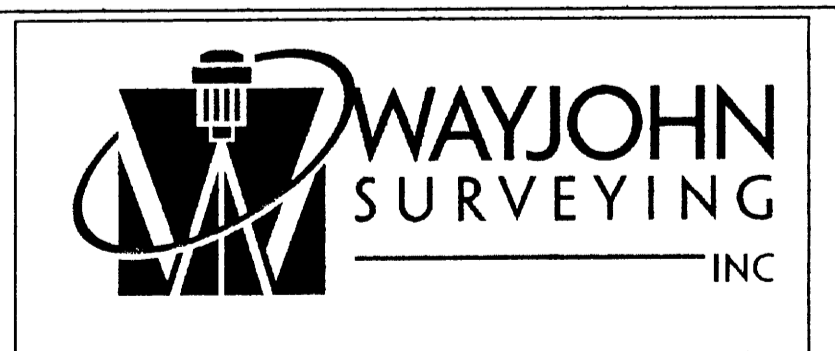
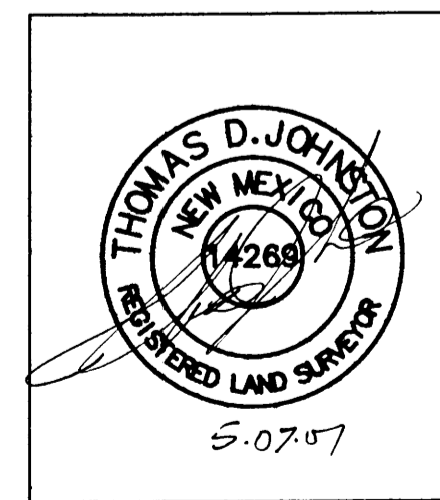
COUNTY CLERK RECORDING LABEL HERE



ACS MONUMENT "5-K18-A"
 x=401,022.37
 y=1,483,557.05
 Delta Alpha: -00°11'24"
 Ground-to-grid:
 0.99965880
 NMSP CENTRAL ZONE
 NAD 1927



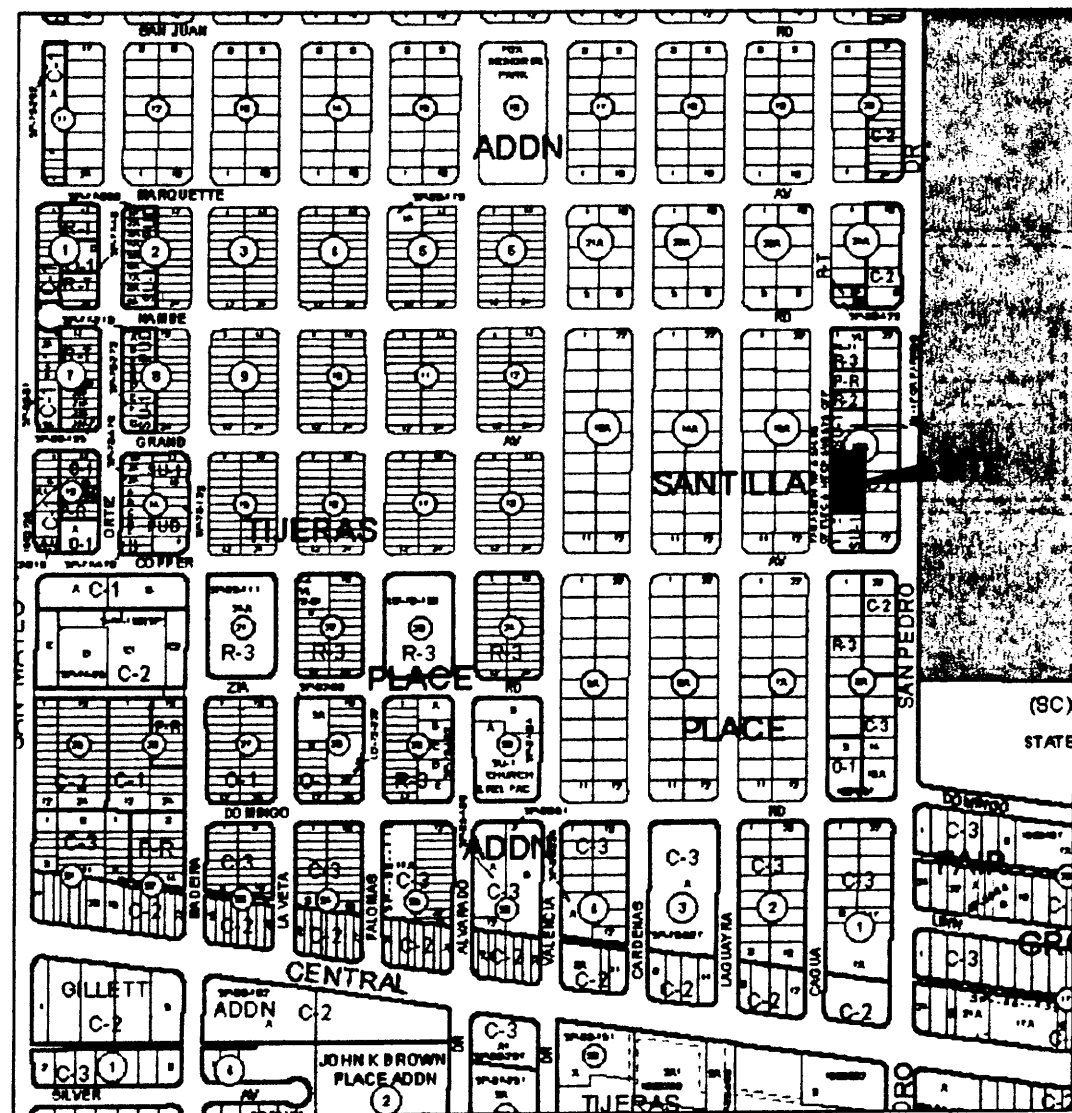
MONUMENT LEGEND
 A: SET #4 REBAR AND CAP
 "WAYJOHN PS 14269"
 B: SET PK NAIL AND DISK
 "PS 14269"



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY OWNER: DOYLE & TRICARIO INVESTMENTS 1 LOCATION: SEC. 24 T.10 N., R.3 E., N.M.P.M. CAGUA TOWNHOMES	DRAWN: E W K	SCALE: 1" = 20'	FILE NO. SP-6-01-2006
	CHECKED: T D J	2 JUNE 2006	SHEET 2 OF 2
	DRAWING NO. SP60106.DWG		

VICINITY MAP (K-18) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

PLAT OF CAGUA TOWNHOMES

A REPLAT OF LOTS 7, 8, & 9, BLOCK 16-A, SANTILLA PLACE
WITHIN NW 1/4, SECTION 24, T.10N., R.3E., N.M.P.M.,

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JUNE 2006

PROJECT NUMBER: 1004565

Application Number: 06DRB-00908

City Approvals: <u>[Signature]</u>	<u>6-19-06</u>
City Surveyor	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

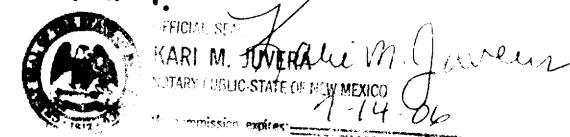
DESCRIPTION

Lots numbered Seven (7), Eight (8), and Nine (9), in Block numbered Sixteen-A (16-A), SANTILLA PLACE, an Addition to the City of Albuquerque, New Mexico, as the same is shown and designated on the Replat of said Addition, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 19, 1946, in Volume D, folio 20.

[Signature]
David Doyle, Managing Partner, Doyle & Tricario Investments 1 LLC, a New Mexico Limited Liability Company, on behalf of said company as owner of Lot 14, Block 16-A, Santilla Place as to interest in drainage easement shown in note 6.

ACKNOWLEDGMENT
STATE OF NEW MEXICO } ss
COUNTY OF BERNALILLO }

ON THIS 3rd DAY OF OCTOBER, 2006, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY DAVID DOYLE, MANAGING PARTNER, DOYLE & TRICARIO INVESTMENTS 1 LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, ON BEHALF OF SAID COMPANY.



FREE CONSENT

The platting of the property as described above and granting of all public and private easements, is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

[Signature]
David Doyle, Managing Partner, Doyle & Tricario Investments 1 LLC, a New Mexico Limited Liability Company, on behalf of said company.

ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } ss

On this 6/19/2006 day of June, 2006, the foregoing instrument was acknowledged before me by David Doyle, Managing Partner, Doyle & Tricario Investments 1 LLC, a New Mexico Limited Liability Company, on behalf of said company.



My Commission expires August 4, 2009

[Signature]
Rose Amy D. Gutierrez
Notary Public

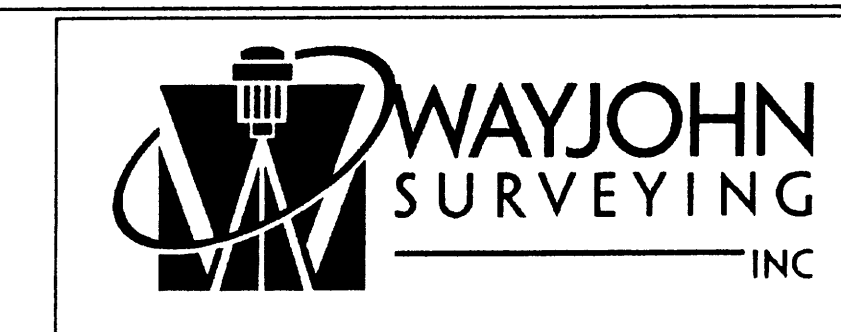
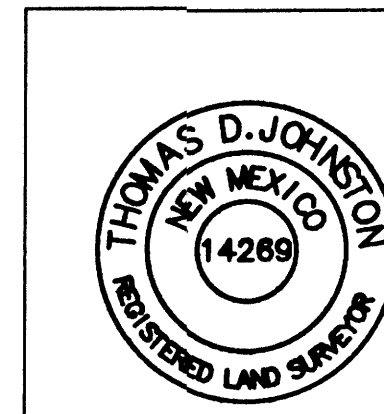
UTILITY APPROVALS:

<u>PNM ELECTRIC SERVICES</u>	<u>DATE</u>
<u>PNM GAS SERVICES</u>	<u>DATE</u>
<u>QWEST TELECOMMUNICATIONS</u>	<u>DATE</u>
<u>COMCAST CABLE</u>	<u>DATE</u>

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

[Signature] 6-19-06
Thomas D. Johnston, N.M.P.S. No. 14269 Date



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY	DRAWN: E W K	SCALE: 1" = 20'	FILE NO. SP-6-01-2006
OWNER: DOYLE & TRICARIO INVESTMENTS 1	CHECKED: T D J		
LOCATION: SEC. 24	DRAWING NO. SP60106.DWG	2 JUNE 2006	SHEET 1 OF 2
T.10 N., R.3 E., N.M.P.M.			
CAGUA TOWNHOMES			

SUBDIVISION DATA

1. DRB Proj. No. 1004565
2. Zone Atlas Index No. K-18
3. Current Zoning RL-T
4. Gross acreage 0.4132
5. Existing number of deeded parcels 3
Replatted number of lots 7

LOG NO. 2006161754

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record distances and bearings are shown in parentheses ().
2. Perimeter distances are field measurements made on the ground and agree with deed records except as noted.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. An existing five foot (5') Public Utility Easement granted by the Plat of Santilla Place, recorded February 19, 1946, in Volume D, folio 20.
5. A four foot (4') Private Drainage Easement for the benefit of Lot 14, Block 16-A, Santilla Place, is granted by this plat. Maintenance of this easement is the responsibility of the owner(s) of Lot 14, Block 16-A, Santilla Place.
6. THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH ALBUQUERQUE PUBLIC SCHOOLS RECORDED AT BOOK A135, PAGE 2954, AS DOCUMENT NO. 2007053041, ON APRIL 11, 2007.
7. A TEN FOOT (10') AND FIVE FOOT (5') PUBLIC UTILITY EASEMENTS ARE GRANTED BY THIS PLAT.

PURPOSE OF PLAT

This plat has been prepared for the purposes of creating five lots from one parcel and granting of public and private easements.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1 018 057 245 309 21619, 1 018 057 245 315 21618,
1 018 057 245 320 21617

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE

PLAT OF CAGUA TOWNHOMES

A REPLAT OF LOTS 7, 8, & 9, BLOCK 16-A, SANTILLA PLACE
WITHIN NW 1/4, SECTION 24, T.10N., R.3E., N.M.P.M.,

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

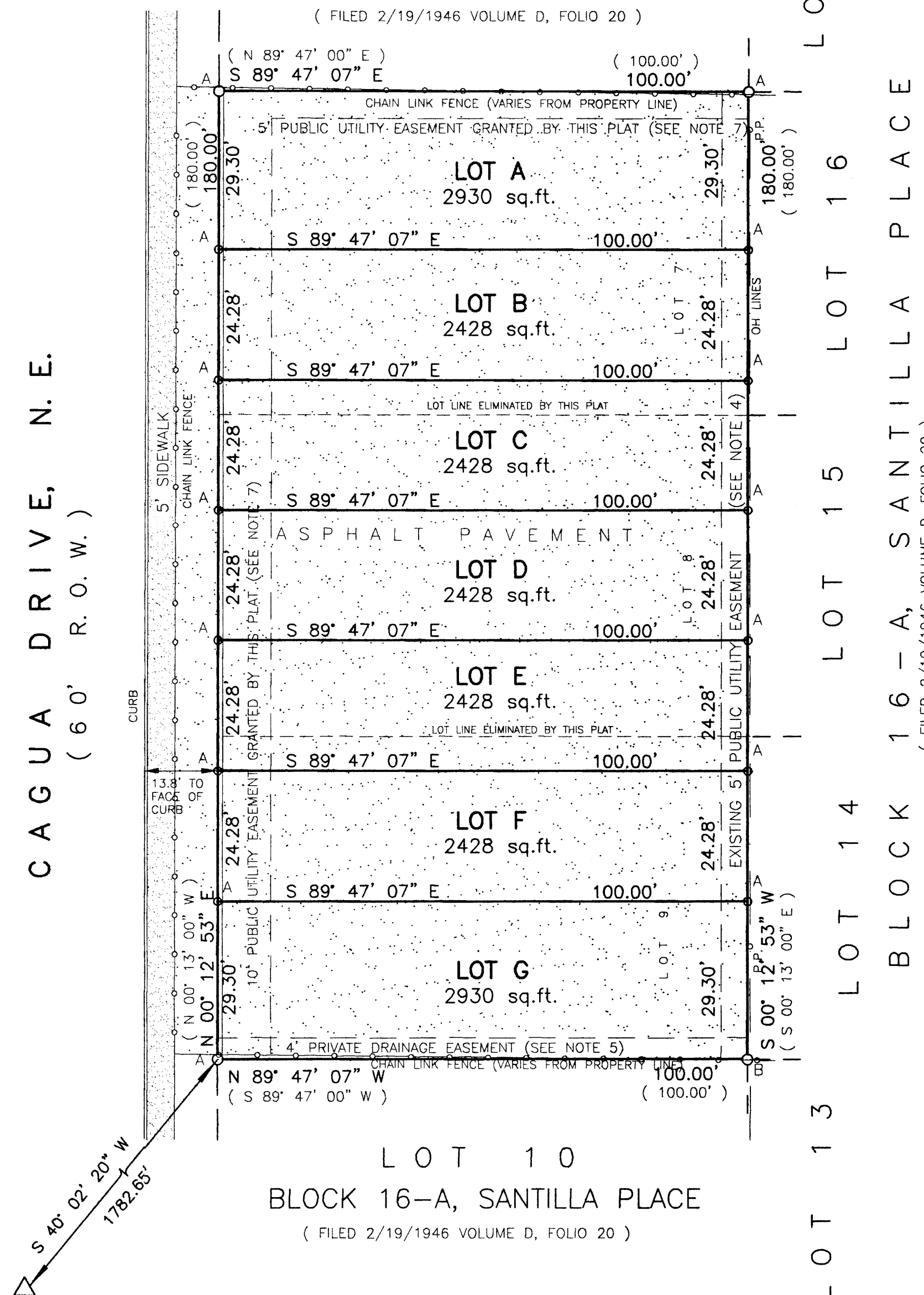
JUNE 2006

EXISTING CONDITIONS

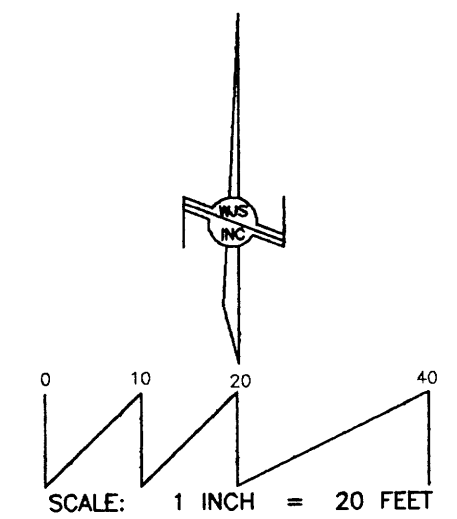
COUNTY CLERK RECORDING LABEL HERE

LOT 6 BLOCK 16-A, SANTILLA PLACE

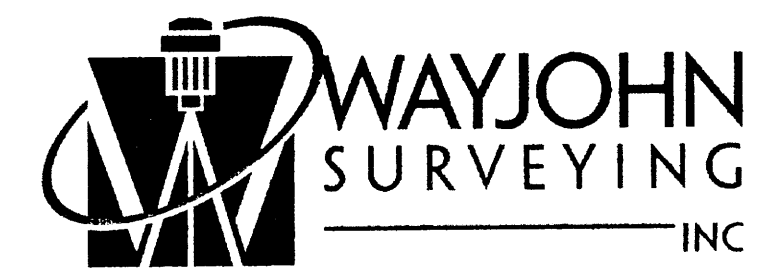
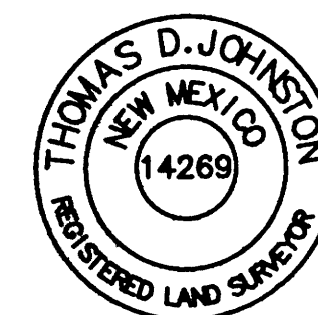
(FILED 2/19/1946 VOLUME D, FOLIO 20)



ACS MONUMENT "5-K18-A"
x=401,022.37
y=1,483,557.05
Delta Alpha: -00°11'24"
Ground-to-grid:
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NMSR CENTRAL ZONE
NAD 1927



MONUMENT LEGEND
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OWNER: DOYLE & TRICARIO INVESTMENTS 1	CHECKED: T D J	1" = 20'	SP-6-01-2006
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