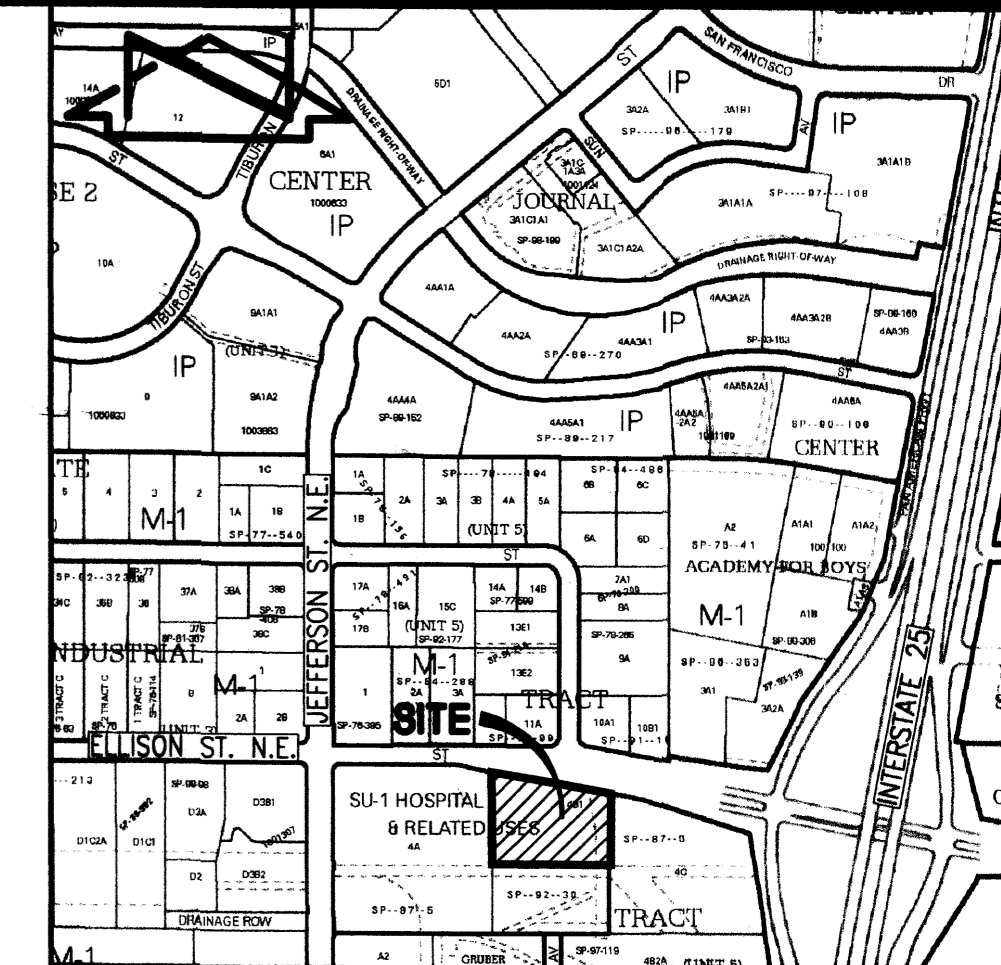


LEGEND

CSW	CONCRETE SIDEWALK	TW	TOP OF WALL
CWCR	CONCRETE WHEELCHAIR RAMP	W/	WITH
E/G	EDGE OF GRAVEL	WLHB	WATER LINE HOT BOX
EA	EDGE OF ASPHALT	WM	WATER METER
FH	FIRE HYDRANT	WPP	WOOD POWER POLE
FL	FLOWLINE	WPP/CD	WOOD POWER POLE WITH CONDUIT
GPM	GAS PAINT MARK	WS	WOOD SIGN
GR	GRAVEL	WSP/CD	WOOD SERVICE POLE WITH CONDUIT
INV	INVERT	WVB	WATER VALVE BOX
MLP	METAL LIGHT POLE		
MP	METAL POLE		
MS/EM	METAL SIGN WITH ELECTRIC METER		
NG	NATURAL GROUND		
OHC(1)	OVERHEAD COMMUNICATIONS (NO. OF LINES)		
OHE(2)	OVERHEAD ELECTRIC (NO. OF LINES)		
RCP	REINFORCED CONCRETE PIPE		
SAS MH	SANITARY SEWER MANHOLE		
SDMH	STORM DRAIN MANHOLE		
SI	STORM INLET		
SVB	SPRINKLER VALVE BOX		
SW	TOP OF SIDEWALK		
TA	TOP OF ASPHALT		
TC	TOP OF CURB		
TCO	TOP OF CONCRETE		
TG	TOP OF GRATE		
TR	TELEPHONE RISER		

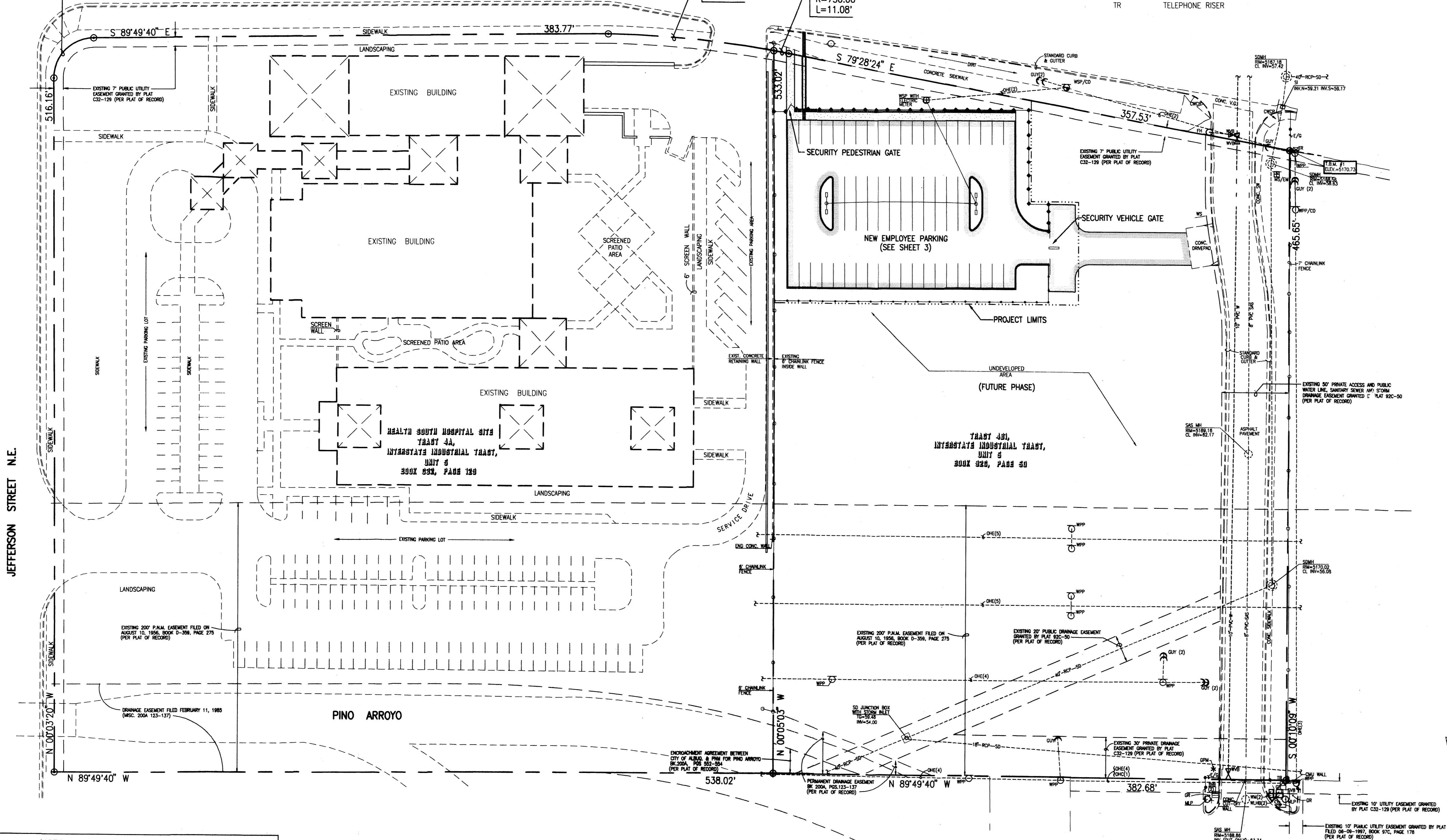


$\Delta=90^{\circ}13'40''$
 $R=30.00'$
 $L=47.24'$

ELLISON STREET N.E.

$\Delta=09^{\circ}31'19''$
 $R=750.00'$
 $L=124.64'$

$\Delta=00^{\circ}50'48''$
 $R=750.00'$
 $L=11.08'$



AREA SUMMARY

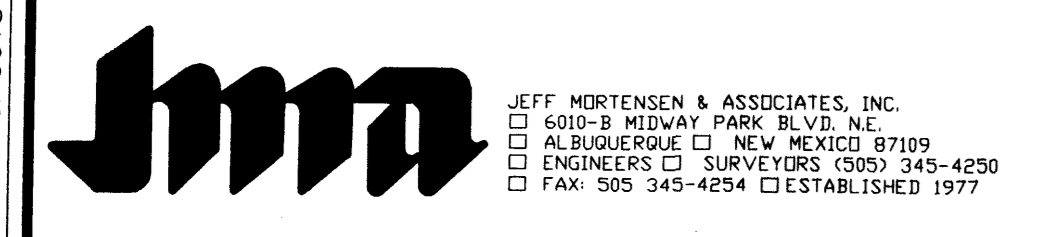
TRACT 4A (HOSPITAL SITE)	
TOTAL LOT AREA:	6.7322 AC. = 293,255 SF
TOTAL BUILDING AREA:	58,590 SF
TOTAL SCREENED PATIO AREA:	24,740 SF
PUBLIC DRAINAGE EASEMENT AREA:	34,850 SF
NET LOT AREA:	175,075 SF
LANDSCAPING AREA:	93,215 SF
% LANDSCAPING =	93,215/175,075 = 53%
TRACT 4B1 (SATELLITE SITE)	
TOTAL LOT AREA:	4.4117 AC. = 192,175 SF
TOTAL PROJECT AREA:	34,100 SF
TOTAL BUILDING AREA:	0 SF
LANDSCAPING W/IN R.O.W. AREA:	1460 SF
NET PROJECT AREA:	32,640 SF
LANDSCAPING AREA:	11,450 SF
% LANDSCAPING =	11,450/312,640 = 35%

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	OVERALL SITE PLAN
2	RECORD SITE PLAN
3	SITE PLAN
4	GRADING PLAN
5	DRAINAGE PLAN, CALCULATIONS and FENCE SECTIONS
6	GENERAL NOTES, SECTIONS AND DETAILS
7	LANDSCAPING PLAN
8	SEDIMENT CONTROL PLAN

NOTE:
 THIS IS NOT A BOUNDARY SURVEY. BOUNDARY DATA TAKEN FROM PLATS OF RECORD AS REFERENCED AND SHOWN HEREON FOR ORIENTATION PURPOSES ONLY.

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 File Name: 50181.TXD
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 Plot Time: 2:49 pm

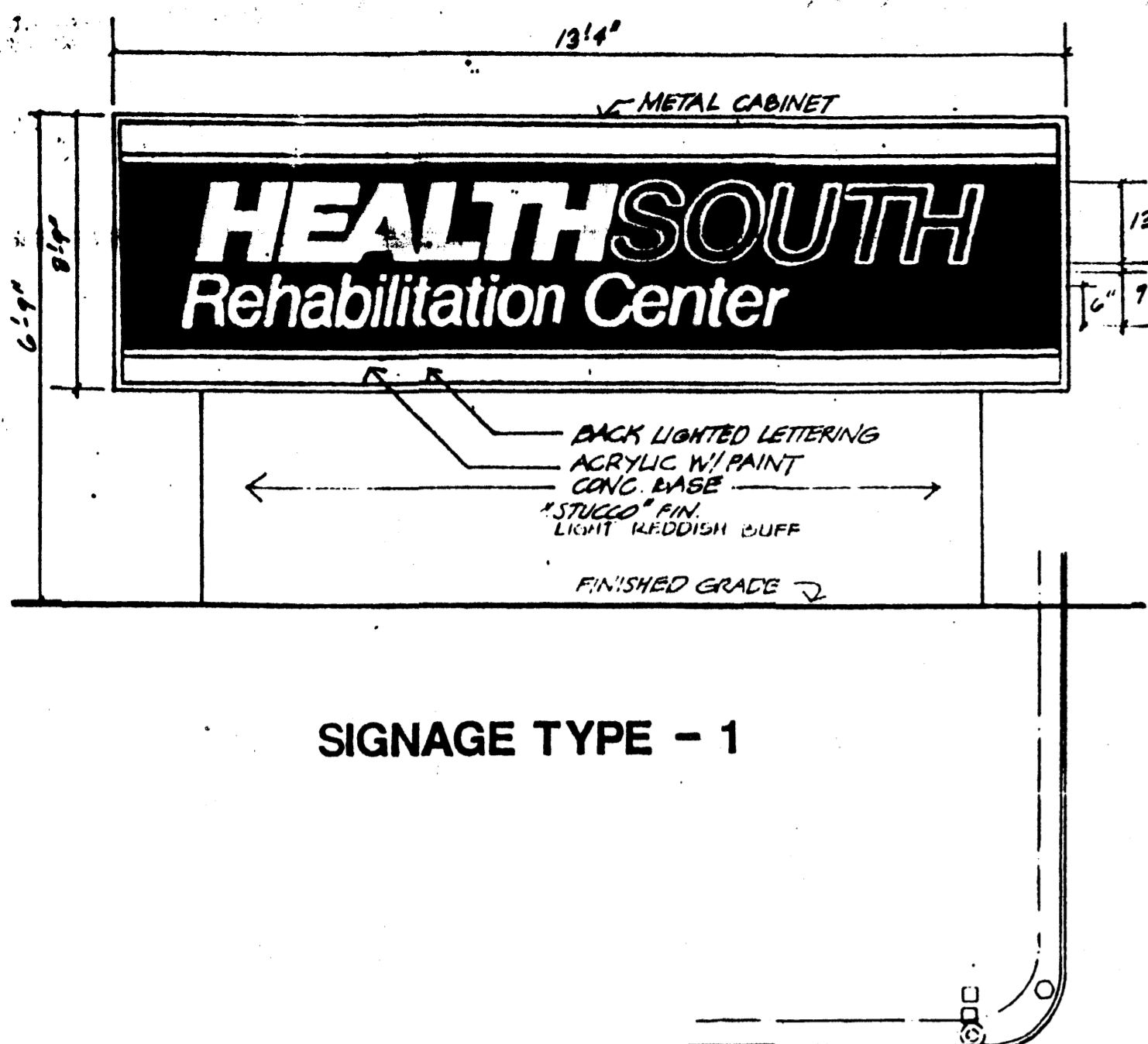


**OVERALL SITE PLAN
 HEALTH SOUTH HOSPITAL AND SATELLITE PARKING LOT**

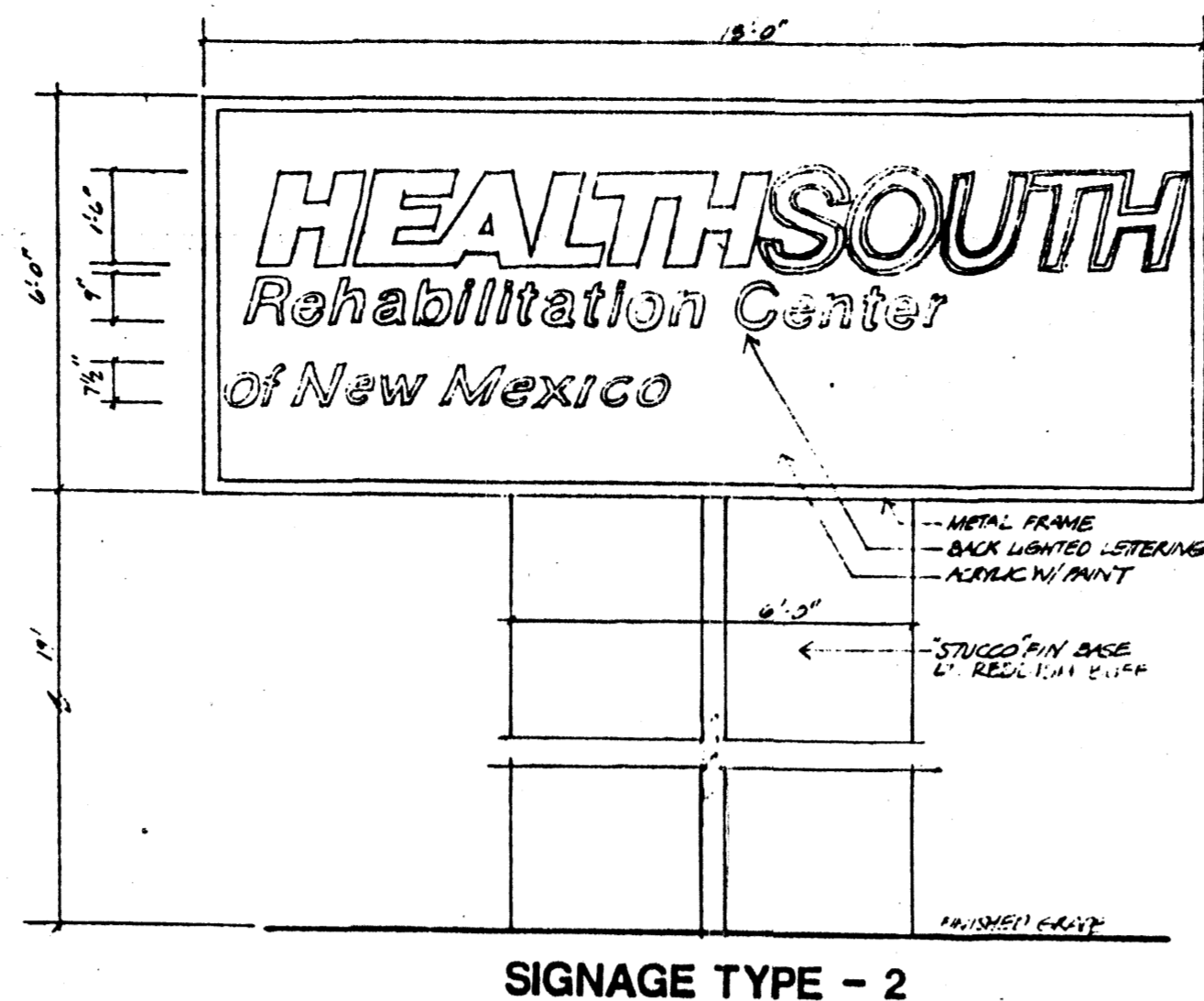
DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.018.1
DRAWN BY	JMA					DATE	12-2005
APPROVED BY	J.G.M.					SHEET	1 OF 8

DRB ADMINISTRATOR
 SITE PLAN APPROVEMENT
 PROJECT NO. 1004614
 APPLICATION NO. OSDRB 01932
 AA
 1/4/06
 PLANNING DIRECTOR
 12-29-2005

PROJECT 1004614



SIGNAGE TYPE - 1



SIGNAGE TYPE - 2

PARKING CALCULATIONS
 60 BEDS x 1 SPACE PER EACH 2 BEDS = 30 SPACES
 NET OFFICE AREA = 3472 SF. + 200 = 17 SPACES
 CLINIC : 2 DOCTORS X 5 SPACES = 10 SPACES
 TOTAL SPACES REQUIRED = 57
 130 PARKING SPACES PROVIDED
 BICYCLE PARKING : 7 SPACES REQUIRED ; 8 PROVIDED.

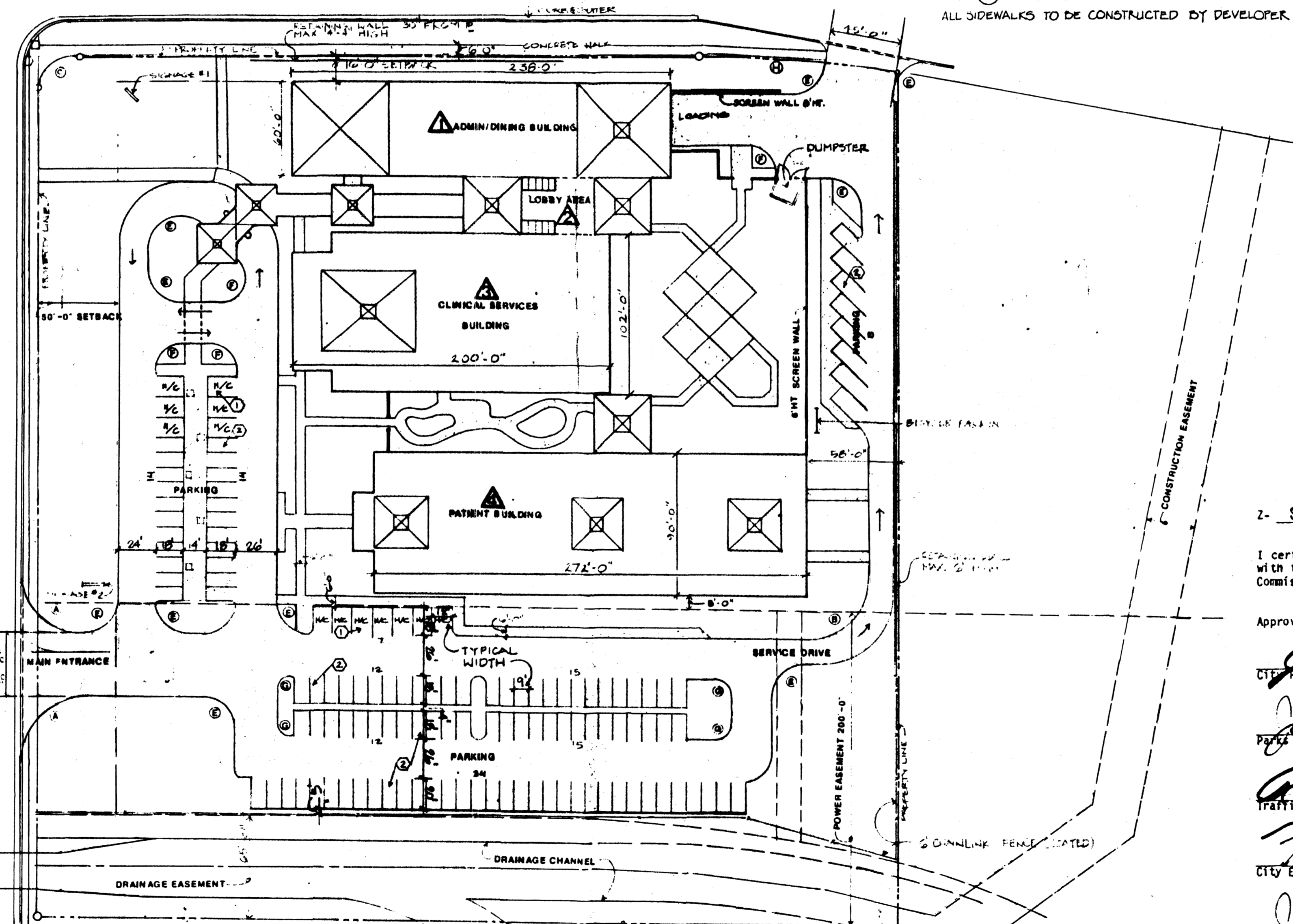
① DENOTES 12'X18' HANDICAPPED SPACE / 4 HANDICAPPED SPACES REQUIRED; 13 PROVIDED.
 ② DENOTES 9'X18' REGULAR SPACE

CURB RADIUS CRITERIA

- A. 35' H. 750'
- B. 33'
- C. 30'
- D. 25'
- E. 20'
- F. 15'
- G. 8'

DENOTES CURB RADIUS

ALL SIDEWALKS TO BE CONSTRUCTED BY DEVELOPER.



SITE PLAN
 SPECIALTY REHABILITATION CENTER
 ALBUQUERQUE, NEW MEXICO
 HEALTHSOUTH REHABILITATION CORPORATION

- BITUMINOUS PAVING
- CONCRETE WALK

BUILDING SQUARE FOOTAGE CALCULATIONS

1 - Administration/Dining Building	14,100
2 - Lobby Area	3,245
3 - Clinical Services Building	18,075
4 - Patient Building	23,170
Total Enclosed Building Area	58,590 s.f.
Canopies and Covered Areas	5,400 s.f.

Building Uses

- Administration/Dining Building;
- Business functions, General Storage, Kitchen, Dining, and Support Services.
- Lobby Area;
- Security - Information Desk, Toilets and Circulation.
- Clinical Services Building;
- Patient Clinical Services for Physical Rehabilitation.
- Patient Building;
- Patient Bedrooms and Support Services

-87-16
 for retaining wall
 along Ellison
 J.C. Cloud 11-13-87

Z- 87-16

I certify that this area is zoned SU-1 for Clinic and this plan is consistent with the specific site development plan approved by the Environmental Planning Commission on FEB 19, 1987.

Approved as to requirements:

- Jack Cloud 3-10-87
City Planning Date
- David Sauer 3-10-87
Parks & Recreation Date
- Robert J. Fanning 3-10-87
Traffic Engineering Date
- Fred Higgins 3-10-87
City Engineering Date
- Jim E. Estgaard 3-10-87
Water Resources Date

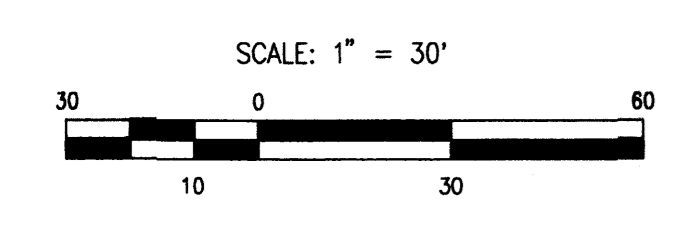
REVISED 2-28-87 PAVED ON E.P.C. DECISION
 REVISED 11-1-87 PAVED DRIVEWAY 24' WIDE
 NOTES: 1. LAND GRANT FOR PARKING LAYOUT RE-USED 12-26-86
 REVISED 11-1-87 RE: SIGNAGE WALL ADJACENT TO ELLISON

Plot Date: 10-21-2005
 Plot Time: 10:52 am
 File Name: 50181RSP.DWG

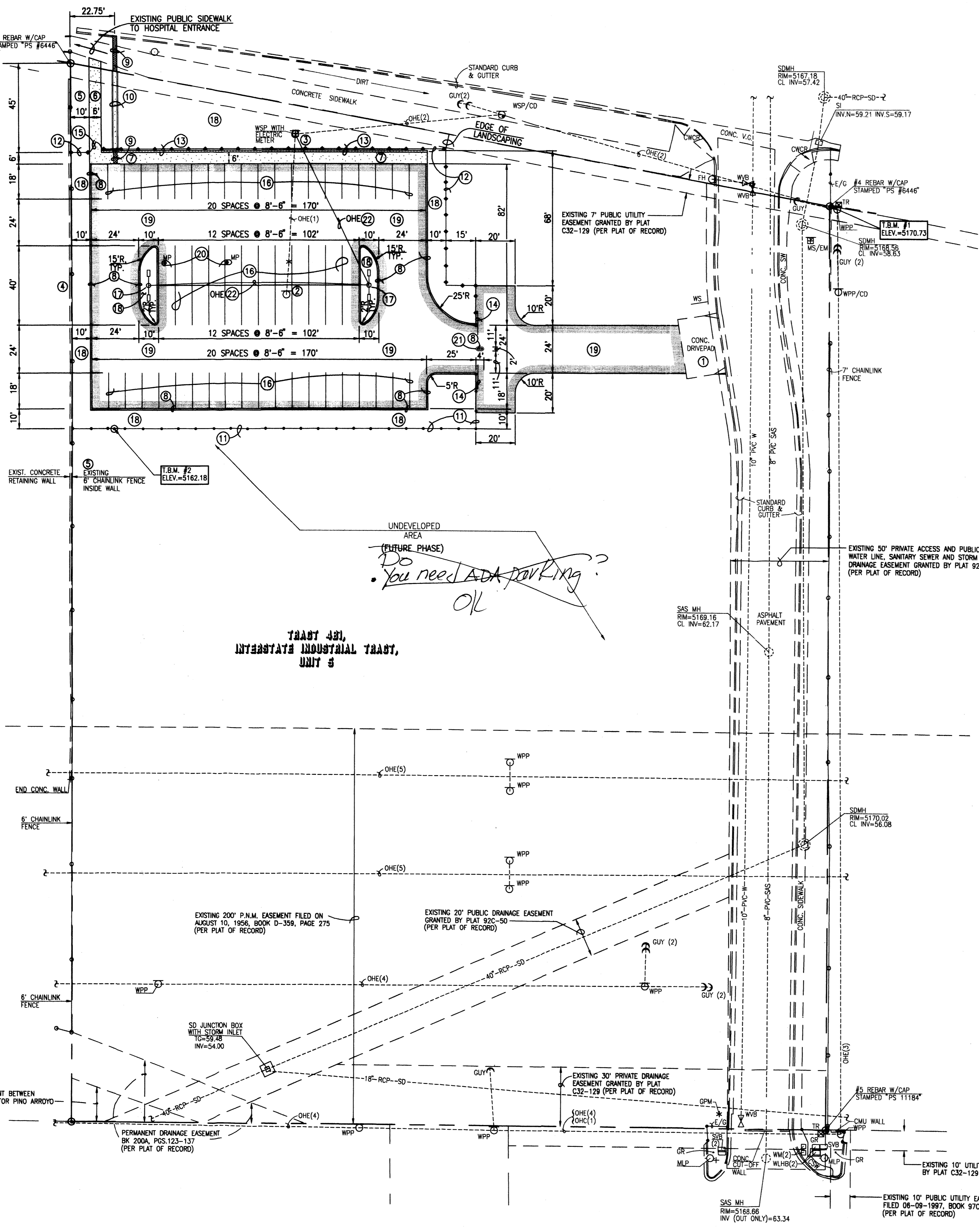
RECORD SITE PLAN
 HEALTHSOUTH
 REHABILITATION HOSPITAL

DESIGNED BY: [Signature] CHECKED BY: [Signature]
 DRAWN BY: [Signature] APPROVED BY: [Signature]

10000
 2005.018.1
 DATE: 11-2005
 SHEET 2 OF 8



HEALTH SOUTH HOSPITAL SITE
TRACT 4A, INTERSTATE
INDUSTRIAL TRACT, UNIT 5--
SEE RECORD SITE PLAN,
SHEET 2



PROJECT BENCHMARK - DESTROYED

CITY OF ALBUQUERQUE CONTROL MONUMENT (8-D17A). A STANDARD ACS BRASS TABLET SET IN THE TOP OF A CONCRETE POST PROJECTING 0.2' ABOVE THE GROUND AND STAMPED "8-D17A". THE STATION IS LOCATED NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF ELLISON STREET N.E. AND JEFFERSON STREET N.E.
ELEVATION = 5145.55 FEET (NGVD 1929)
THE ELEVATIONS OF T.B.M. #1 AND T.B.M. #2 ARE BASED ON THE TOPOGRAPHIC SURVEY PERFORMED BY THIS FIRM IN JUNE, 1997 AND THE PUBLISHED ELEVATION OF "8-D17A", WHICH WAS SUBSEQUENTLY DESTROYED.

T.B.M.

T.B.M. #1
A CHISELED SQUARE ON THE TOP OF CURB AT CORNER OF CURB ADJACENT TO THE NORTH EAST PROPERTY CORNER OF TRACT 4B-1, AS SHOWN ON THE DRAWING.
ELEVATION = 5170.73 FEET

T.B.M. #2
A SPIKE WITH A JMA RED CAP STAMPED "CONTROL POINT PS #11184" LOCATED APPROXIMATELY 21 FEET EAST OF THE FENCE ON THE WEST SIDE OF THE PROJECT AND APPROXIMATELY 195 FEET SOUTH OF THE BACK OF THE CURB ON THE SOUTH SIDE OF ELLISON STREET N.E. AS SHOWN ON THE DRAWING.
ELEVATION = 5162.18 FEET

LEGAL DESCRIPTION

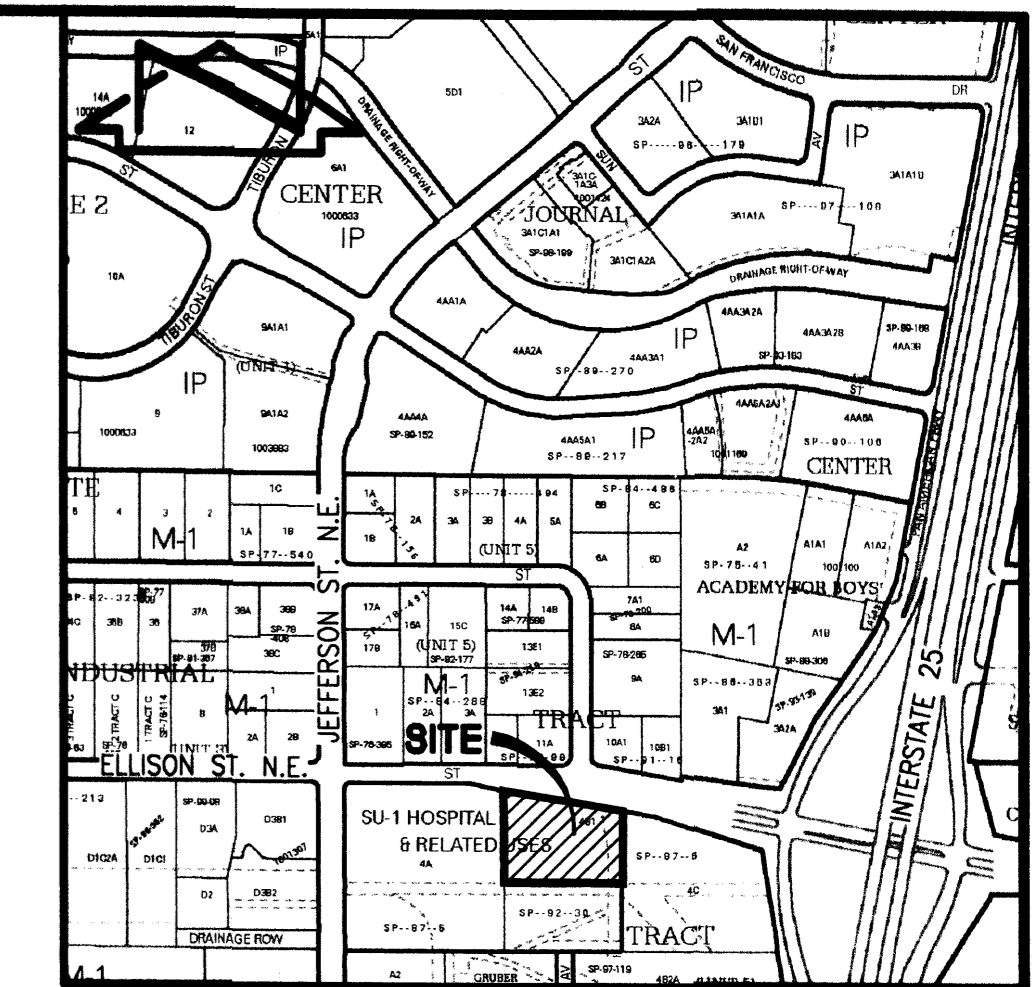
TRACT 4B-1, INTERSTATE INDUSTRIAL TRACT, UNIT 5

PROJECT DESCRIPTION:

CONSTRUCTION OF A PRIVATE PARKING LOT IMMEDIATELY ADJACENT TO EXISTING HEALTH SOUTH HOSPITAL SITE. THE LOT WILL BE PAVED, FENCED, LIGHTED AND LANDSCAPED. THE PURPOSE FOR THE PARKING LOT IS FOR HOSPITAL EMPLOYEES ONLY.

SITE PLAN KEYED NOTES

1. EXISTING CONCRETE DRIVEPAD TO REMAIN
2. REMOVE AND DISPOSE OF METAL LIGHT POLE
3. EXISTING WOOD POWER POLE WITH ELECTRIC METER TO REMAIN
4. EXISTING CONCRETE RETAINING WALL TO REMAIN
5. EXISTING 6' CHAINLINK TO REMAIN
6. CONSTRUCT CONCRETE SIDEWALK PER DETAIL, SHEET 6
7. CONSTRUCT CONCRETE TURNDOWN SIDEWALK PER DETAIL, SHEET 6
8. CONSTRUCT CONCRETE EXTRUDED CURB PER DETAIL SECTION, SHEET 6
9. CONSTRUCT 2' SIDEWALK CULVERT PER DETAIL, SHEET 5
10. CONSTRUCT CONCRETE RUNDOWN PER DETAIL, SHEET 5
11. INSTALL TYPICAL 6' CHAINLINK FENCE PER C.O.A. STD. DWG. 2252
12. INSTALL ORNAMENTAL FENCE PER TYPICAL SECTION, SHEET 6
13. INSTALL ORNAMENTAL FENCE WITH PRO PANEL WALL SECTION PER TYPICAL SECTION, SHEET 6
14. INSTALL 6' CANTILEVER SECURITY GATE PER MANUFACTURER'S DETAILS
15. INSTALL 6' MAN-GATE PER MANUFACTURER'S DETAILS
16. PAINT 4" PAVEMENT MARKING W/WHITE TRAFFIC PAINT, MIN 2 COATS
17. INSTALL 30" AFG DOUBLE HEAD LIGHT FIXTURE (HPS 400 W FULL CUT-OFF) MOUNTED ON 35' STANDARD WOOD POLE. BOLT THROUGH WITH LOCK NUTS AND WASHERS. BASE BURIED 5' DEPTH.
18. NEW LANDSCAPING, SEE LANDSCAPING PLAN (SHEET 7)
19. CONSTRUCT LIGHT DUTY ASPHALTIC CONCRETE PAVEMENT PER TYPICAL SECTION, SHEET 6
20. REMOVE AND DISPOSE OF EXISTING METAL POLE
21. CONSTRUCT ISLAND W/PROXIMITY READER POST PER DETAIL, SHEET 6
22. OVERHEAD POWER BY ELECTRICAL CONTRACTOR

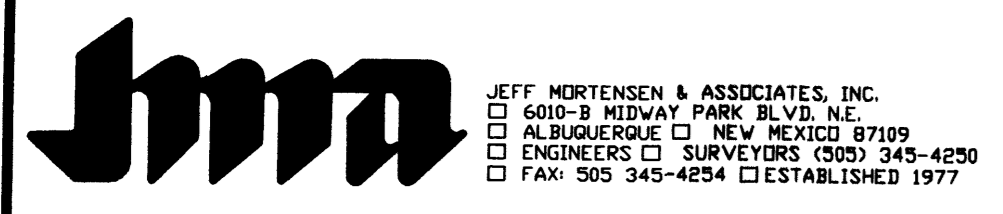


VICINITY MAP
SCALE: 1" = 750'±

LEGEND

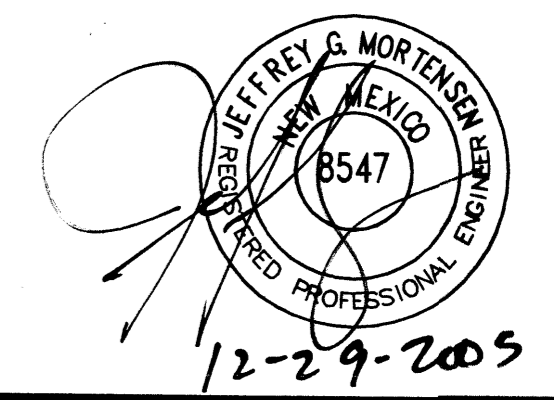
CSW	CONCRETE SIDEWALK
CWCR	CONCRETE WHEELCHAIR RAMP
E/G	EDGE OF GRAVEL
EA	EDGE OF ASPHALT
FH	FIRE HYDRANT
FL	FLOWLINE
GPM	GAS PAINT MARK
GR	GRAVEL
INV	INVERT
MLP	METAL LIGHT POLE
MP	METAL POLE
MS/EM	METAL SIGN WITH ELECTRIC METER
NG	NATURAL GROUND
OHC(1)	OVERHEAD COMMUNICATIONS (NO. OF LINES)
OHC(2)	OVERHEAD ELECTRIC (NO. OF LINES)
RCP	REINFORCED CONCRETE PIPE
SAS MH	SANITARY SEWER MANHOLE
SD	STORM DRAIN MANHOLE
SI	STORM INLET
SVB	SPRINKLER VALVE BOX
SW	TOP OF SIDEWALK
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TG	TOP OF GRATE
TR	TELEPHONE RISER
TW	TOP OF WALL
W/	WITH
WLHB	WATER LINE HOT BOX
WM	WATER METER
WPP	WOOD POWER POLE
WPP/CD	WOOD POWER POLE WITH CONDUIT
WS	WOOD SIGN
WSP/CD	WOOD SERVICE POLE WITH CONDUIT
WVB	WATER VALVE BOX

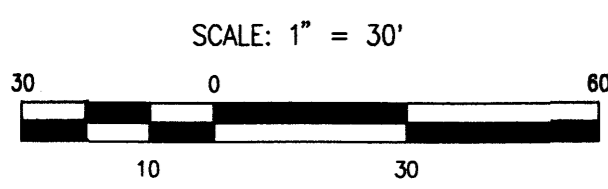
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Plot Name: 50181SP.DWG
Plot Date: 12-28-2005
Plot Time: 2:51 pm



SITE PLAN
HEALTH SOUTH SATELLITE PARKING LOT

DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.018.1
DRAWN BY	S.G.H.					DATE	12-2005
APPROVED BY	J.G.M.					SHEET	3 OF 8





PROJECT BENCHMARK - DESTROYED

CITY OF ALBUQUERQUE CONTROL MONUMENT (8-D17A). A STANDARD ACS BRASS TABLET SET IN THE TOP OF A CONCRETE POST PROJECTING 0.2' ABOVE THE GROUND AND STAMPED "8-D17A". THE STATION IS LOCATED NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF ELLISON STREET N.E. AND JEFFERSON STREET N.E. ELEVATION = 5145.95 FEET (NGVD 1929)
 THE ELEVATIONS OF T.B.M. #1 AND T.B.M. #2 ARE BASED ON THE TOPOGRAPHIC SURVEY PERFORMED BY THIS FIRM IN JUNE, 1997 AND THE PUBLISHED ELEVATION OF "8-D17A", WHICH WAS SUBSEQUENTLY DESTROYED.

T.B.M.

T.B.M. #1
 A CHISELED SQUARE ON THE TOP OF CURB AT CORNER OF CURB ADJACENT TO THE NORTH EAST PROPERTY CORNER OF TRACT 4B-1, AS SHOWN ON THE DRAWING.
 ELEVATION = 5170.73 FEET

T.B.M. #2
 A SPIKE WITH A JMA RED CAP STAMPED "CONTROL POINT PS #11184" LOCATED APPROXIMATELY 21 FEET EAST OF THE FENCE ON THE WEST SIDE OF THE PROJECT AND APPROXIMATELY 195 FEET SOUTH OF THE BACK OF THE CURB ON THE SOUTH SIDE OF ELLISON STREET N.E. AS SHOWN ON THE DRAWING.
 ELEVATION = 5162.18 FEET

LEGAL DESCRIPTION

TRACT 4B-1, INTERSTATE INDUSTRIAL TRACT, UNIT 5

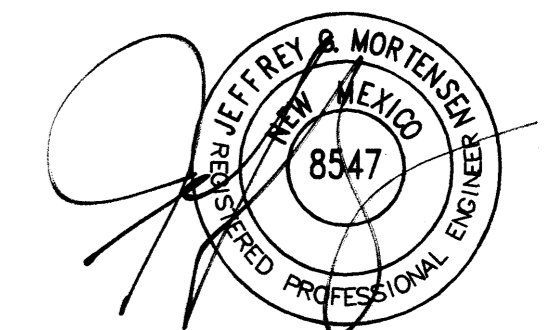
LEGEND

- CSW CONCRETE SIDEWALK
- CWCR CONCRETE WHEELCHAIR RAMP
- E/G EDGE OF GRAVEL
- EA EDGE OF ASPHALT
- FH FIRE HYDRANT
- FL FLOWLINE
- GPM GAS PAINT MARK
- GR GRAVEL
- INV INVERT
- MLP METAL LIGHT POLE
- MP METAL POLE
- MS/EM METAL SIGN WITH ELECTRIC METER
- NG NATURAL GROUND
- OHC(1) OVERHEAD COMMUNICATIONS (NO. OF LINES)
- OHC(2) OVERHEAD ELECTRIC (NO. OF LINES)
- RCP REINFORCED CONCRETE PIPE
- SAS MH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- SI SPRINKLER VALVE BOX
- SW TOP OF SIDEWALK
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TG TOP OF GRATE
- TR TELEPHONE RISER
- TW TOP OF WALL
- W/ WITH
- WLHB WATER LINE HOT BOX
- WM WATER METER
- WPP WOOD POWER POLE
- WPP/CD WOOD POWER POLE WITH CONDUIT
- WS WOOD SIGN
- WSP/CD WOOD SERVICE POLE WITH CONDUIT
- WVB WATER VALVE BOX
- + 65.2 EXISTING SPOT ELEVATION
- 65.3 EXISTING CONTOUR
- 65 PROPOSED SPOT ELEVATION
- 65 PROPOSED CONTOUR
- 65 PROPOSED DIRECTION OF FLOW
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED WALL WITH FENCE

CONSTRUCTION NOTES:

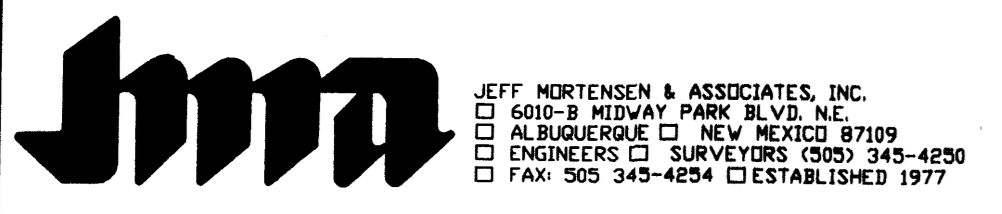
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
 5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
 7. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 8. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
 9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- EROSION CONTROL MEASURES:**
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
 4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

APPROVALS	NAME	DATE
HYDROLOGY		
SIDEWALK INSPECTOR		
STORM DRAIN MAINTENANCE		



12-29-2005

Plot Date: 12-28-2005
 Plot Time: 2:54 pm
 File Path: \\JMA\WORK\ADMIN\...
 File Name: 50183GP.DWG



GRADING PLAN
HEALTH SOUTH SATELLITE PARKING LOT

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.G.M.					2005.018.3
DRAWN BY					DATE
S.G.H.					12-2005
APPROVED BY					SHEET
J.G.M.					4 OF 8

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE INDUSTRIAL PARK AREA DIRECTLY EAST OF THE HEALTHSOUTH REHAB CENTER, REPRESENTS DEVELOPMENT OF AN EXISTING UNDEVELOPED AREA. AT PRESENT, THE SITE IS A DIRT AND NATURALLY DEVELOPED LOT USED FOR EMPLOYEE PARKING. IT IS PROPOSED TO CONSTRUCT A GATED, PAVED PARKING LOT FOR THE EMPLOYEES OF HEALTHSOUTH. THE DRAINAGE CONCEPT FOR THIS SITE WILL BE TO HAVE FREE DISCHARGE FROM THE SITE INTO THE ADJACENT STREET.

THIS SUBMITTAL IS MADE IN SUPPORT OF SITE PLAN APPROVAL FOR GRADING AND BUILDING PERMIT.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED JUST WEST OF THE HEALTHSOUTH REHABILITATION CENTER, ALONG ELLISON STREET NE. THE CURRENT LEGAL DESCRIPTION IS TRACT 4B-1, INTERSTATE INDUSTRIAL TRACT, UNIT 5, AS INDICATED BY PANEL 137 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, NOVEMBER 19, 2003. THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. A DESIGNATED FLOOD HAZARD ZONE IS IDENTIFIED, TO THE SOUTH OF THE SITE. THIS FLOOD HAZARD ZONE IS THE ARROYO DEL PINO. APPROXIMATELY HALF THE EXISTING SITE DRAINS SOUTHWEST INTO THE ARROYO DEL PINO, THE OTHER HALF FLOW NORTH TO ELLISON STREET, THEN WEST TO JEFFERSON ST NE, AND SOUTH ALONG JEFFERSON ST INTO THE ARROYO DEL PINO. THE CONSTRUCTION PROPOSED FOR THIS SITE WILL NOT ADVERSELY IMPACT DOWNSTREAM FLOW OR DOWNSTREAM PROPERTIES AND WILL NOT ALTER THE EXISTING DRAINAGE PATTERNS.

III. BACKGROUND DOCUMENTS & RESEARCH

THE FOLLOWING ITEMS WERE REVIEWED IN THE PREPARATION OF THIS SUBMITTAL:

- A. A TOPOGRAPHIC SURVEY OF THE EXISTING SITE PREPARED BY JMA, INC. DATED 10/2005. THE SUBJECT SURVEY SHOWS THE EXISTING IMPROVEMENTS. THE BOUNDARY DATA SHOWN IS FROM THE A.L.T.A./A.C.S.M SURVEY PERFORMED BY JMA FOR THE ADJACENT PROPERTY (TRACT 4B-2-A, INTERSTATE INDUSTRIAL TRACT, UNIT 5) IN JUNE, 1997 AND BASED UPON THE PLAT OF RECORD.

IV. EXISTING CONDITIONS

AT PRESENT, THE SITE IS LARGELY UNDEVELOPED. EXISTING CONDITIONS ARE ILLUSTRATED BY THE GRADING PLAN. THE NORTHWEST PORTION OF THE SITE IS CURRENTLY USED AS A DIRT PARKING AREA FOR HEALTHSOUTH EMPLOYEES ONLY. THE WEST EDGE OF THE SITE IS BORDERED BY A CONCRETE WALL AND CHAINLINK FENCE SEPARATING IN FROM THE HEALTHSOUTH REHAB CENTER. THIS WALL BLOCKS ONSITE FLOWS FROM FLOWING INTO THE REHAB CENTER AND DIRECTS THE RUNOFF NORTH OR SOUTH. A PAVED ROAD TRAVERSES THE ENTIRE EAST EDGE OF THE SITE SEPARATING IT FROM THE UNIVERSITY VOLKSWAGEN BUSINESS TO THE EAST. THERE IS A CONCRETE DRIVEPAD FROM THIS PAVED ROAD THAT ALLOWS ACCESS TO THE EXISTING DIRT PARKING LOT. THE NORTHERN THIRD OF THE SITE DRAINS FROM EAST TO NORTHWEST, FLOWING INTO ELLISON STREET NE, WHERE THE RUNOFF FLOWS IN CURB AND GUTTER WEST TO JEFFERSON STREET NE, WHERE THE CITY RECENTLY CONSTRUCTED INTERSECTION IMPROVEMENTS THAT INCLUDE PUBLIC STORM DRAIN MODIFICATIONS. STREET RUNOFF IS COLLECTED IN INLETS AND TRANSFERRED SOUTH VIA NEWLY CONSTRUCTED AND UPSIZED STORM DRAINS TO THE ARROYO DEL PINO. THE CENTRAL AND SOUTHERN TWO-THIRDS OF THE SITE DRAINS FROM EAST TO SOUTHWEST AND DRAINS INTO AN EXISTING STORM INLET THAT DIRECTS THE RUNOFF VIA STORM DRAIN INTO THE ARROYO DEL PINO. OFFSITE FLOWS ARE NOT RECEIVED FROM THE ADJACENT PROPERTIES.

V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION CONSISTS OF REPLACING THE EXISTING DIRT PARKING AREA WITH AN ASPHALT PAVED PARKING LOT IN THE NORTHWEST CORNER OF THE SITE THAT WILL BE FENCED AND GATED TO ALLOW ONLY EMPLOYEES OF HEALTHSOUTH REHAB CENTER TO ENTER. AN UNCURED, ASPHALT PAVED DRIVEWAY WILL BE BUILT CONNECTING TO THE EXISTING CONCRETE DRIVE PAD ALONG THE EXISTING ROAD THAT TRAVERSES THE EASTERN EDGE OF THE SITE. THIS PARKING LOT WILL INCLUDE A PROPOSED SIDEWALK TO ACCESS THE EXISTING SIDEWALK ALONG ELLISON STREET. LANDSCAPING WILL BE REQUIRED AROUND THE EDGES OF THE NEW PARKING LOT. RUNOFF FROM THE NORTHERN THIRD OF THE SITE THAT IS CAPTURED WITHIN THE NEW LOT WILL BE DRAINED TO THE NORTHWEST CORNER WHERE A CONCRETE RUNDOWN WITH SIDEWALK CULVERTS WILL DIRECT THE FLOWS NORTH TO ELLISON STREET. FROM THIS POINT, THE DRAINAGE PATH WILL BE THE SAME AS DETAILED IN THE EXISTING CONDITIONS. RUNOFF IN THE CENTRAL AND SOUTHERN TWO-THIRDS OF THE SITE WILL NOT BE AFFECTED BY THE DEVELOPMENT. THE VOLUME AND PEAK DISCHARGE RATE FOR THE SITE WILL INCREASE SLIGHTLY, BUT THESE PROPOSED DEVELOPMENTS WILL NOT ALTER THE EXISTING AND/OR APPROVED DRAINAGE PATTERN OF THE SITE.

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 2.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 3.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED IMPROVEMENTS WILL CONSIST OF DEVELOPMENT OF A SMALL AREA OF THE TOTAL SITE. THIS DEVELOPMENT WILL CREATE A VERY SMALL INCREASE IN THE VOLUME AND PEAK DISCHARGE OF THE SITE, HOWEVER EXISTING AND/OR APPROVED DRAINAGE PATTERNS WILL NOT BE ALTERED, AND THE PROPOSED GRADING OF THE PARKING LOT WILL NOT HAVE AN ADVERSE IMPACT ON DOWNSTREAM CONDITIONS OR PROPERTIES.

VII. CALCULATIONS

CALCULATIONS ANALYZING THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THIS PROJECT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THE RESULTS PRESENTED HEREON, THERE WILL BE A VERY SMALL INCREASE IN PEAK DISCHARGE AND RUNOFF VOLUME ASSOCIATED WITH THE PROPOSED DEVELOPMENT. THE CAPACITY OF THE NEW CONCRETE RUNDOWN WAS DETERMINED USING MANNING'S EQUATION.

VIII. CONCLUSION

THE FREE DISCHARGE OF RUNOFF FROM THIS PROJECT SITE TO ELLISON STREET IS APPROPRIATE DUE TO THE FOLLOWING FACTORS:

1. MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA
3. VERY SMALL INCREASE IN RUNOFF VOLUME AND PEAK DISCHARGE
4. NO ADVERSE IMPACT ON DOWNSTREAM CAPACITY OR DOWNSTREAM PROPERTIES
5. THE EXISTING AND APPROVED DRAINAGE PATTERNS (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED
6. PROXIMITY TO THE PINO ARROYO
7. RECENT STREET AND DRAINAGE IMPROVEMENTS AT THE INTERSECTION OF JEFFERSON AND ELLISON THAT DIVERT STREET RUNOFF SOUTH TO THE PINO ARROYO

CALCULATIONS

SITE CHARACTERISTICS

1. PRECIPITATION ZONE = 2
2. $P_{8,100} = P_{300} = 2.35$
3. TOTAL PROJECT AREA (A_t) = 193,920 SF / 4.45 AC
4. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
C	175,652 / 4.03	91
D	18,268 / 0.42	9

TREATMENT	AREA (SF/AC)	%
B	11,725 / 0.27	6
C	138,970 / 3.19	72
D	43,225 / 0.99	22

TREATMENT	AREA (SF/AC)	%
B	11,725 / 0.27	18
C	18,255 / 0.42	32
D	26,455 / 0.61	47

EXISTING CONDITION

A. ENTIRE SITE

1. VOLUME
 $E_w = (E_{Aa} + E_{Ab} + E_{Ac} + E_{Ad}) / A_t$
 $E_w = ((1.13 \times 4.03) + (2.12 \times 0.42)) / 4.45 = 1.22$ IN
 $V_{100} = (E_w / 12) A_t = (1.22 / 12) 4.45 = 0.4538$ AC-FT 19,768 CF
2. PEAK DISCHARGE
 $Q_p = Q_{pAa} + Q_{pAb} + Q_{pAc} + Q_{pAd}$
 $Q_p = Q_{100} = (3.14 \times 4.03) + (4.70 \times 0.42) = 14.6$ CFS

B. PROJECT SITE

1. VOLUME
 $E_w = (E_{Aa} + E_{Ab} + E_{Ac} + E_{Ad}) / A_t$
 $E_w = (1.13 \times 1.30) / 1.30 = 1.13$ IN
 $V_{100} = (E_w / 12) A_t = (1.13 / 12) 1.30 = 0.1220$ AC-FT 5,314 CF
2. PEAK DISCHARGE
 $Q_p = Q_{pAa} + Q_{pAb} + Q_{pAc} + Q_{pAd}$
 $Q_p = Q_{100} = (3.14 \times 1.30) = 4.1$ CFS

DEVELOPED CONDITION

A. ENTIRE SITE

1. VOLUME
 $E_w = (E_{Aa} + E_{Ab} + E_{Ac} + E_{Ad}) / A_t$
 $E_w = ((0.78 \times 0.27) + (1.13 \times 3.19) + (2.12 \times 0.99)) / 4.45 = 1.33$ IN
 $V_{100} = (E_w / 12) A_t = (1.33 / 12) 4.45 = 0.4932$ AC-FT = 21,485 CF
2. PEAK DISCHARGE
 $Q_p = Q_{pAa} + Q_{pAb} + Q_{pAc} + Q_{pAd}$
 $Q_p = Q_{100} = (2.28 \times 0.27) + (3.14 \times 3.19) + (4.70 \times 0.99) = 15.3$ CFS

B. PROJECT SITE

1. VOLUME
 $E_w = (E_{Aa} + E_{Ab} + E_{Ac} + E_{Ad}) / A_t$
 $E_w = ((0.78 \times 0.27) + (1.13 \times 0.42) + (2.12 \times 0.61)) / 1.30 = 1.52$ IN
 $V_{100} = (E_w / 12) A_t = (1.52 / 12) 1.30 = 0.1643$ AC-FT = 7,155 CF
2. PEAK DISCHARGE
 $Q_p = Q_{pAa} + Q_{pAb} + Q_{pAc} + Q_{pAd}$
 $Q_p = Q_{100} = (2.28 \times 0.27) + (3.14 \times 0.42) + (4.70 \times 0.61) = 4.8$ CFS

CONCRETE RUNDOWN CALCULATIONS FOR PROJECT SITE DRAINAGE

- A. PEAK DISCHARGE CAPACITY OF RUNDOWN**
- $Q_{CAP} = 1.49 / n \cdot A R^{2/3} S^{1/2}$
- $n = 0.013$
 $A = 0.5 \text{ ft} \times 2 \text{ ft} = 1.0 \text{ ft}^2$
 $P = 0.5 \text{ ft} + 0.5 \text{ ft} + 2 \text{ ft} = 3.0 \text{ ft}$
 $R = A / P = 0.33 \text{ ft}$
 $S = 0.04 \text{ or } \text{ft/ft}$
 $Q_{CAP} = 11.00 \text{ CFS}$
 $Q_{CAP} = 11.00 \text{ CFS} > Q_{100, DEV. PROJ.} = 4.8 \text{ CFS}$

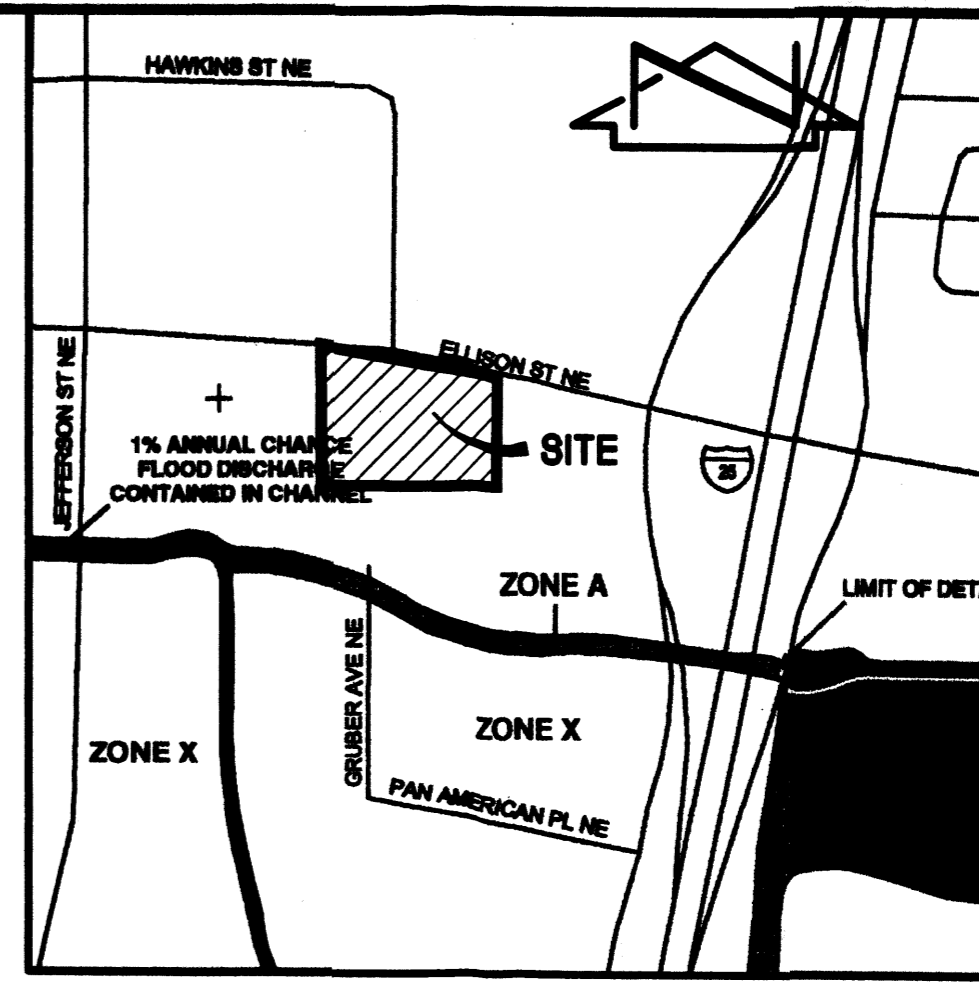
COMPARISON

A. ENTIRE SITE

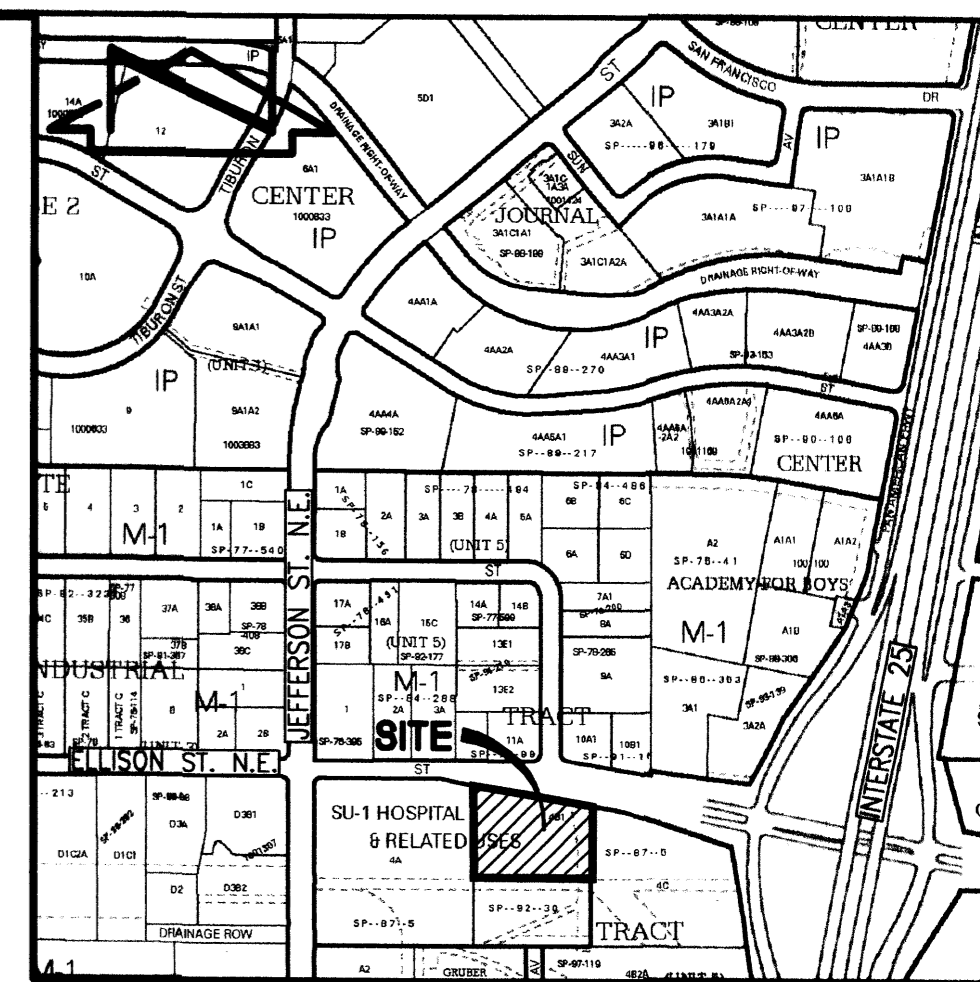
1. VOLUME
 $\Delta V_{100} = 21,485 - 19,768 = 1,717$ CF (INCREASE)
2. PEAK DISCHARGE
 $\Delta Q_{100} = 15.30 - 14.63 = 0.66$ CFS (INCREASE)

B. PROJECT SITE

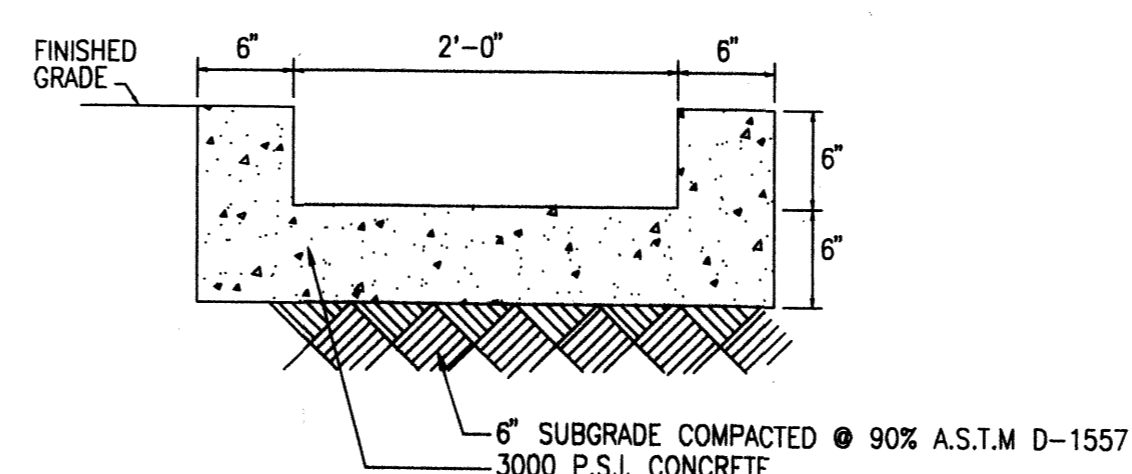
1. VOLUME
 $\Delta V_{100} = 7,155 - 5,314 = 1,841$ CF (INCREASE)
2. PEAK DISCHARGE
 $\Delta Q_{100} = 4.78 - 4.07 = 0.72$ CFS (INCREASE)



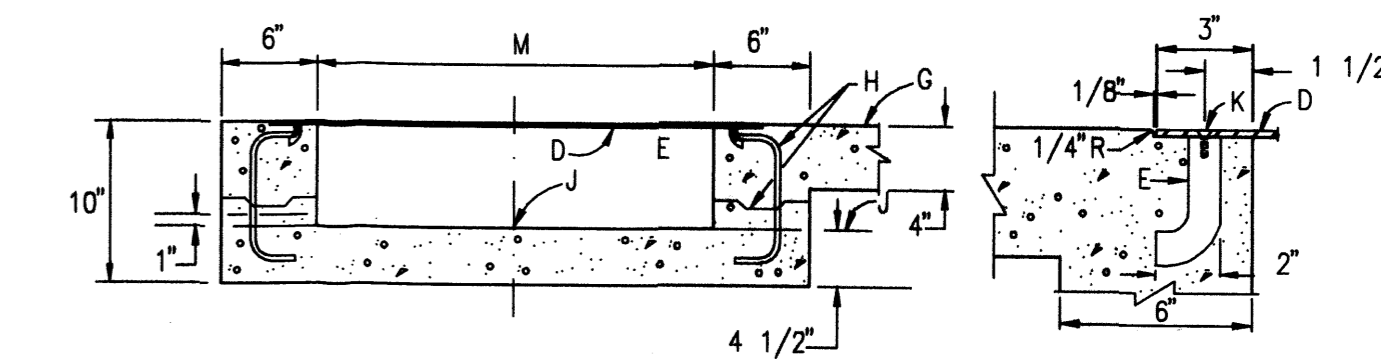
F.I.R.M. PANEL 137 OF 825
SCALE: 1" = 500'



VICINITY MAP D-17
SCALE: 1" = 750'



TYPICAL RUNDOWN SECTION
SCALE: 1" = 1'-0"



DOWEL DETAIL

TYPICAL SIDEWALK CULVERT DETAILS
NOT TO SCALE

CONSTRUCTION NOTES:

- C. 3" RADIUS, (TYPICAL).
- D. 3/8" CHECKERED STEEL PLATE.
- E. ROD ANCHOR 1" x 5"
- G. SIDEWALK GRADE
- H. DOWEL AND JOINT, (OPTIONAL).
- J. GUTTER FLOWLINE ELEV.
- K. 3/8" x 1" F.H. C'SUNK STAINLESS STEEL MACHINE SCREW.
- M. DRAIN WIDTH, 24" MAX. 12" MIN.

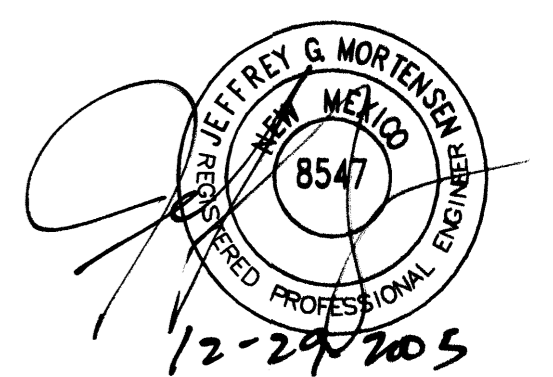
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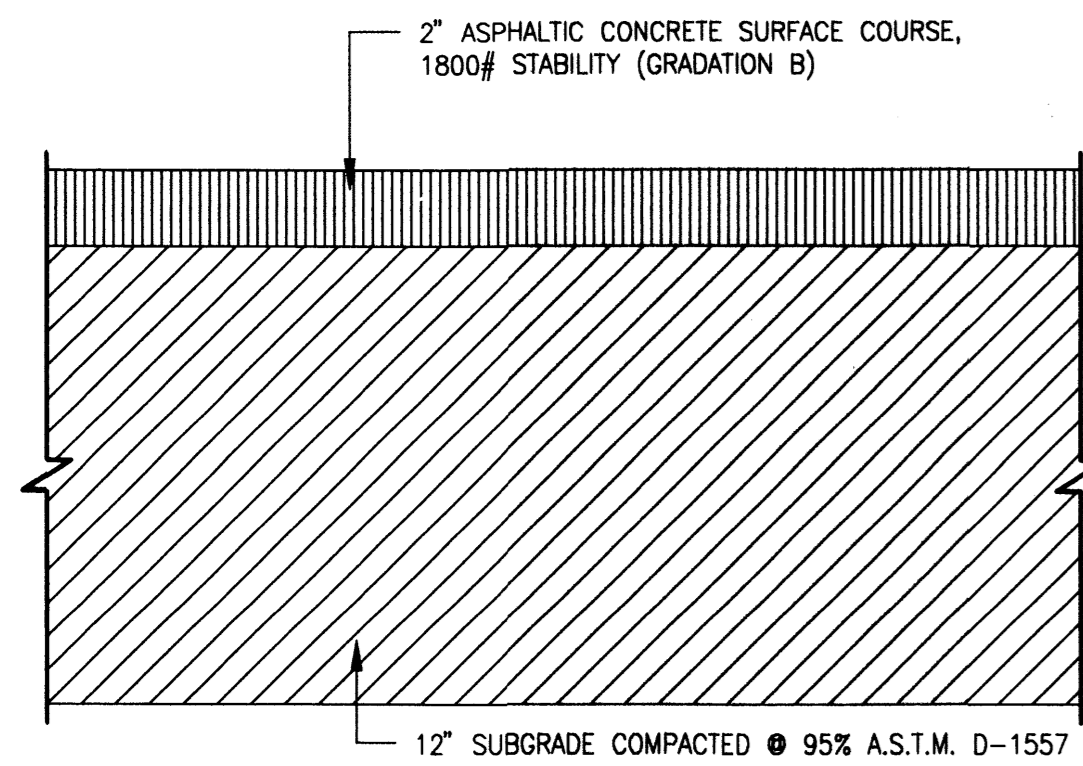


JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (C002) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977

DRAINAGE PLAN, CALCULATIONS AND DRAINAGE SECTIONS
HEALTH SOUTH SATELLITE PARKING LOT

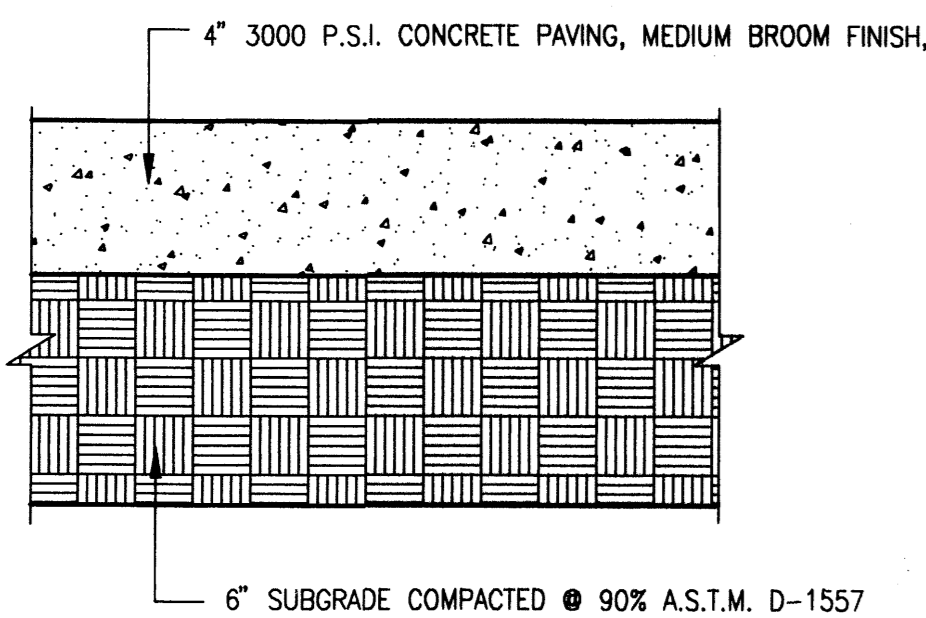
DESIGNED BY	DRAWN BY	APPROVED BY	REVISIONS				JOB NO.
			NO.	DATE	BY		
J.D.S.	R.R.V.	J.G.M.					2005.018.3
							DATE 12-2005
							SHEET 5 OF 8





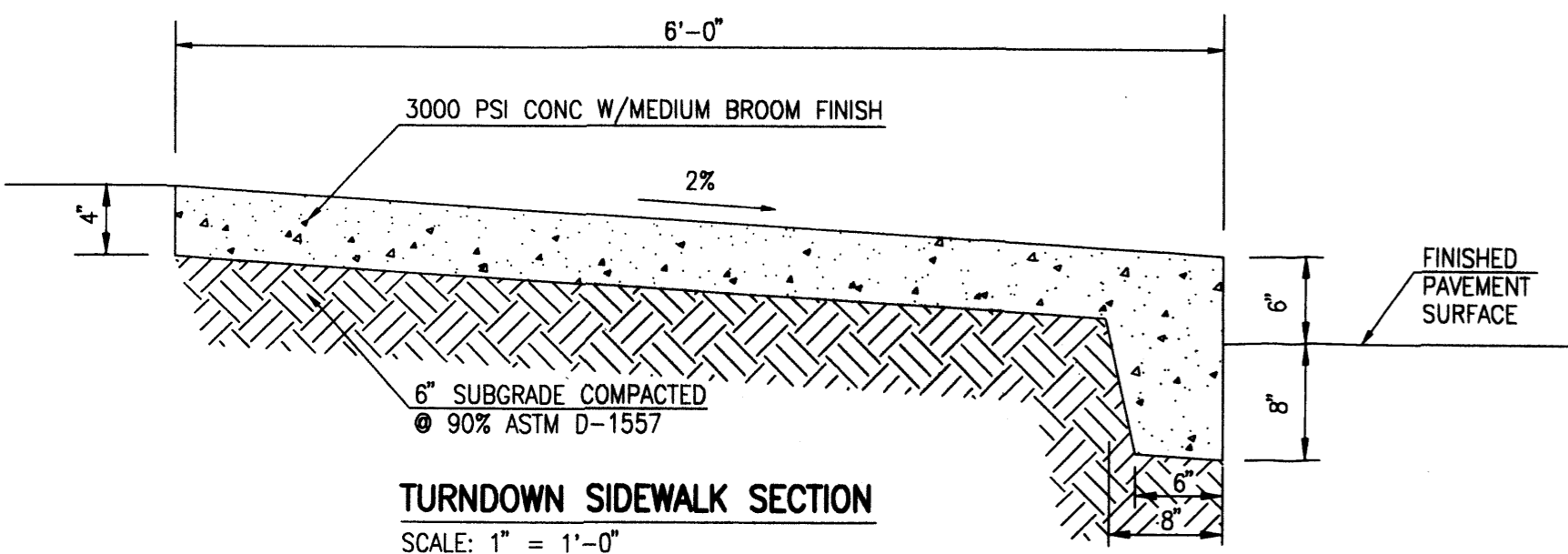
TYPICAL LIGHT DUTY PAVEMENT SECTION

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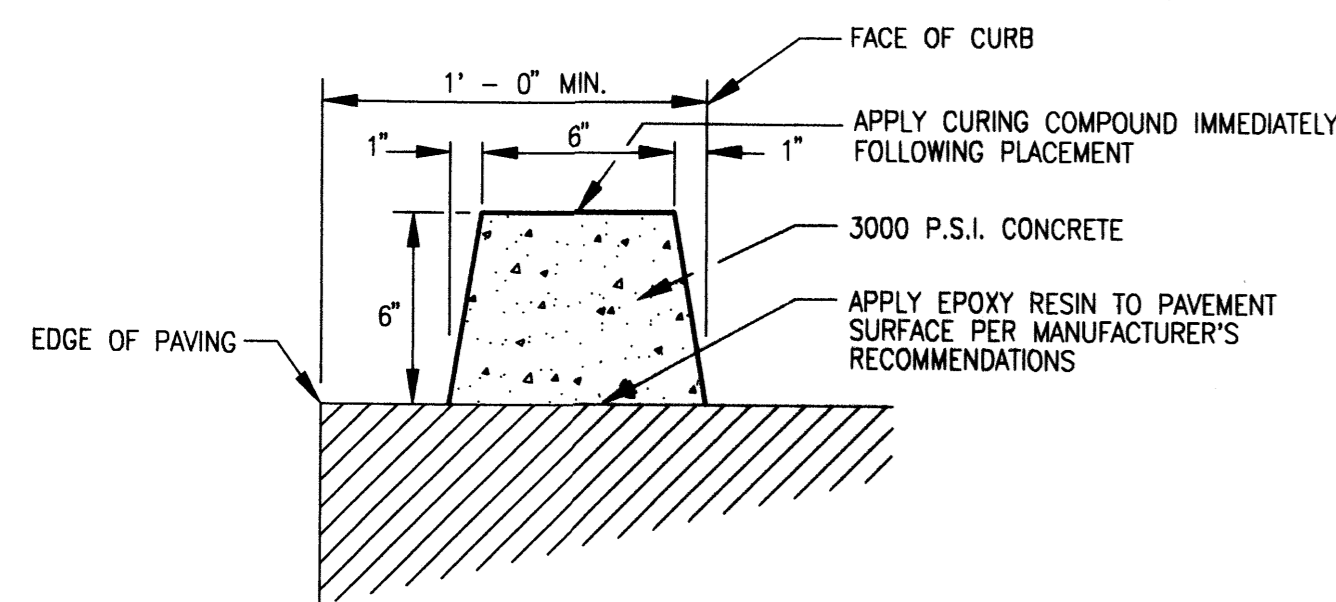
TYPICAL CONCRETE SIDEWALK SECTION

SCALE: 1" = 5'



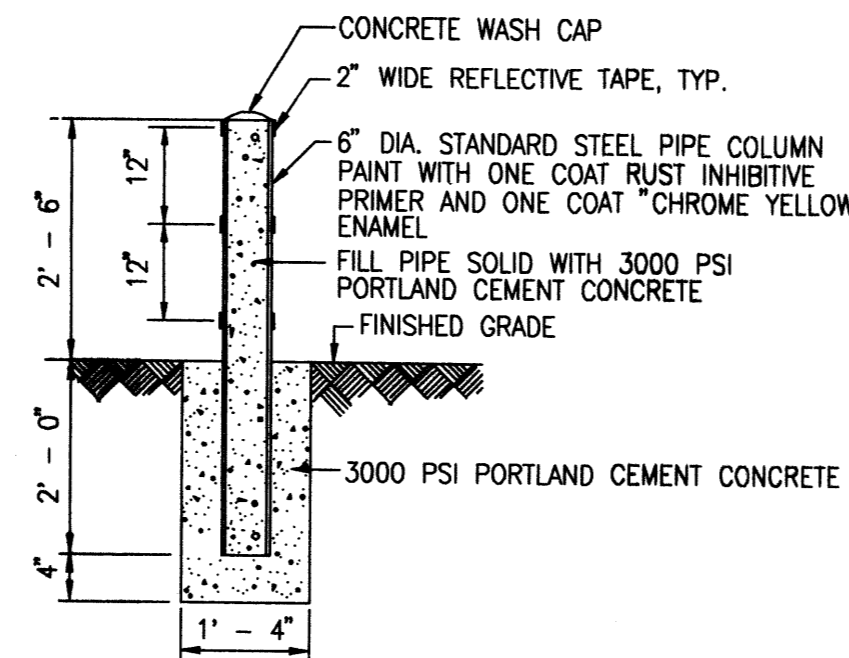
TURNDOWN SIDEWALK SECTION

SCALE: 1" = 1'-0"



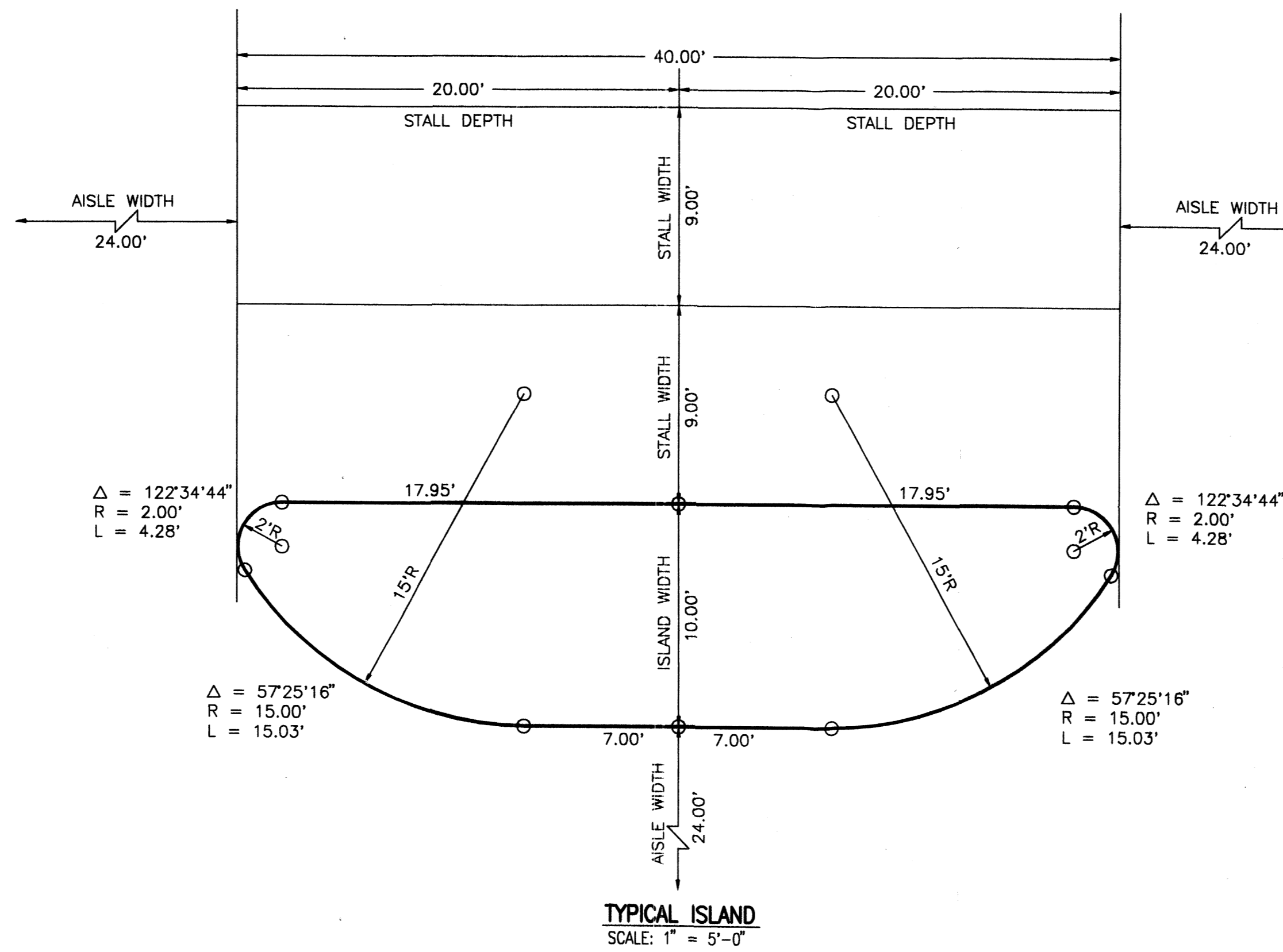
TYPICAL EXTRUDED CONCRETE CURB SECTION

SCALE: 1" = 6"



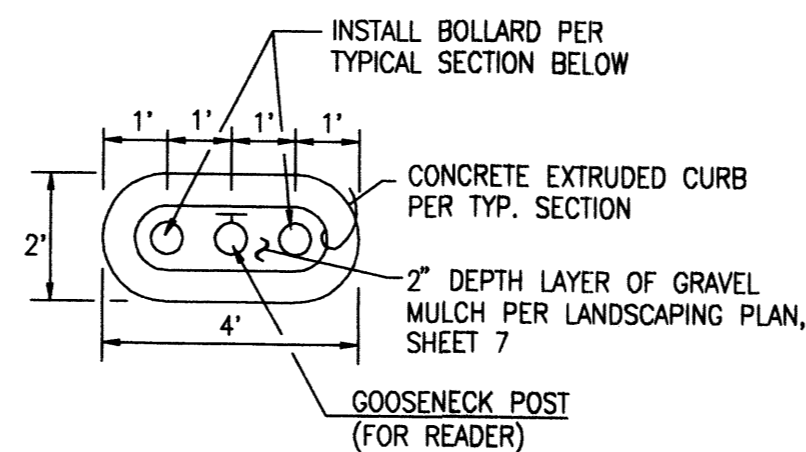
TYPICAL BOLLARD SECTION

SCALE: 1" = 2'-0"



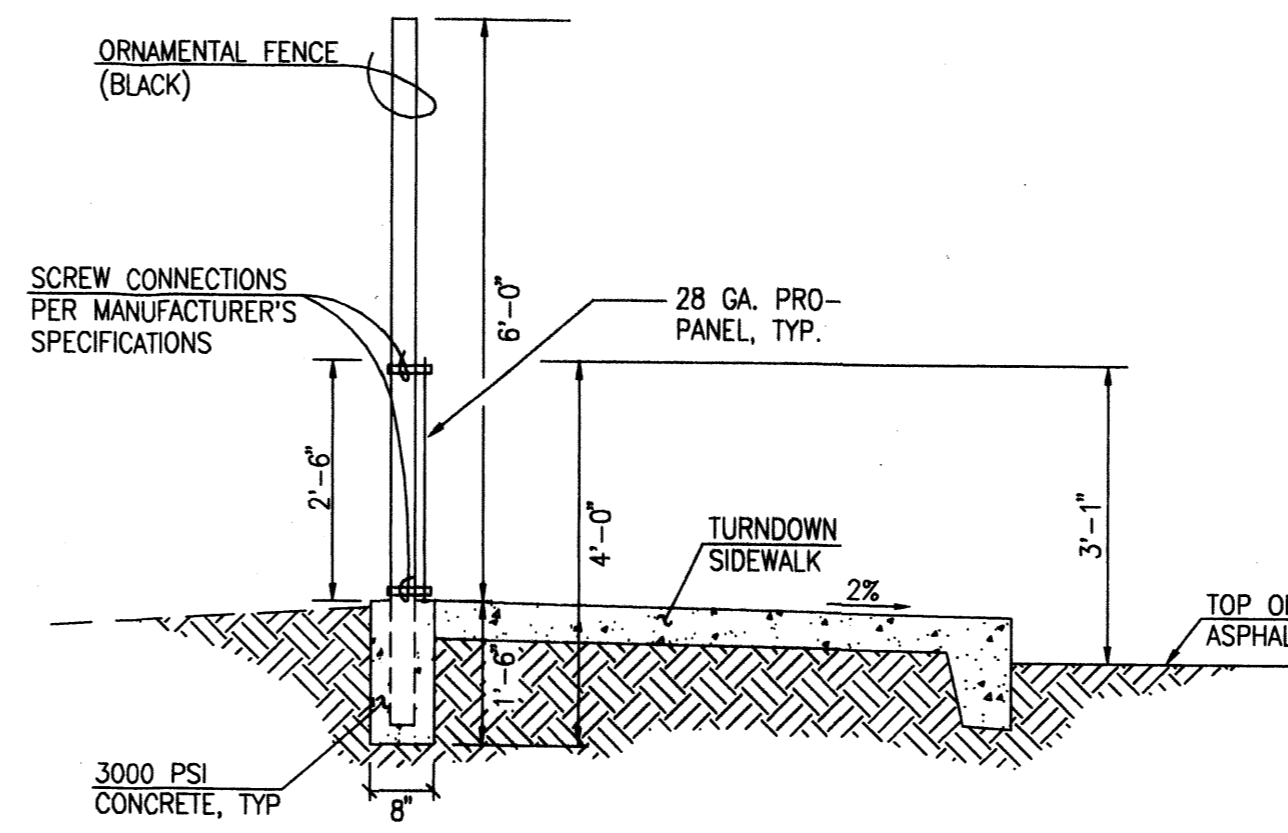
TYPICAL ISLAND

SCALE: 1" = 5'-0"



PROXIMITY READER ISLAND DETAIL

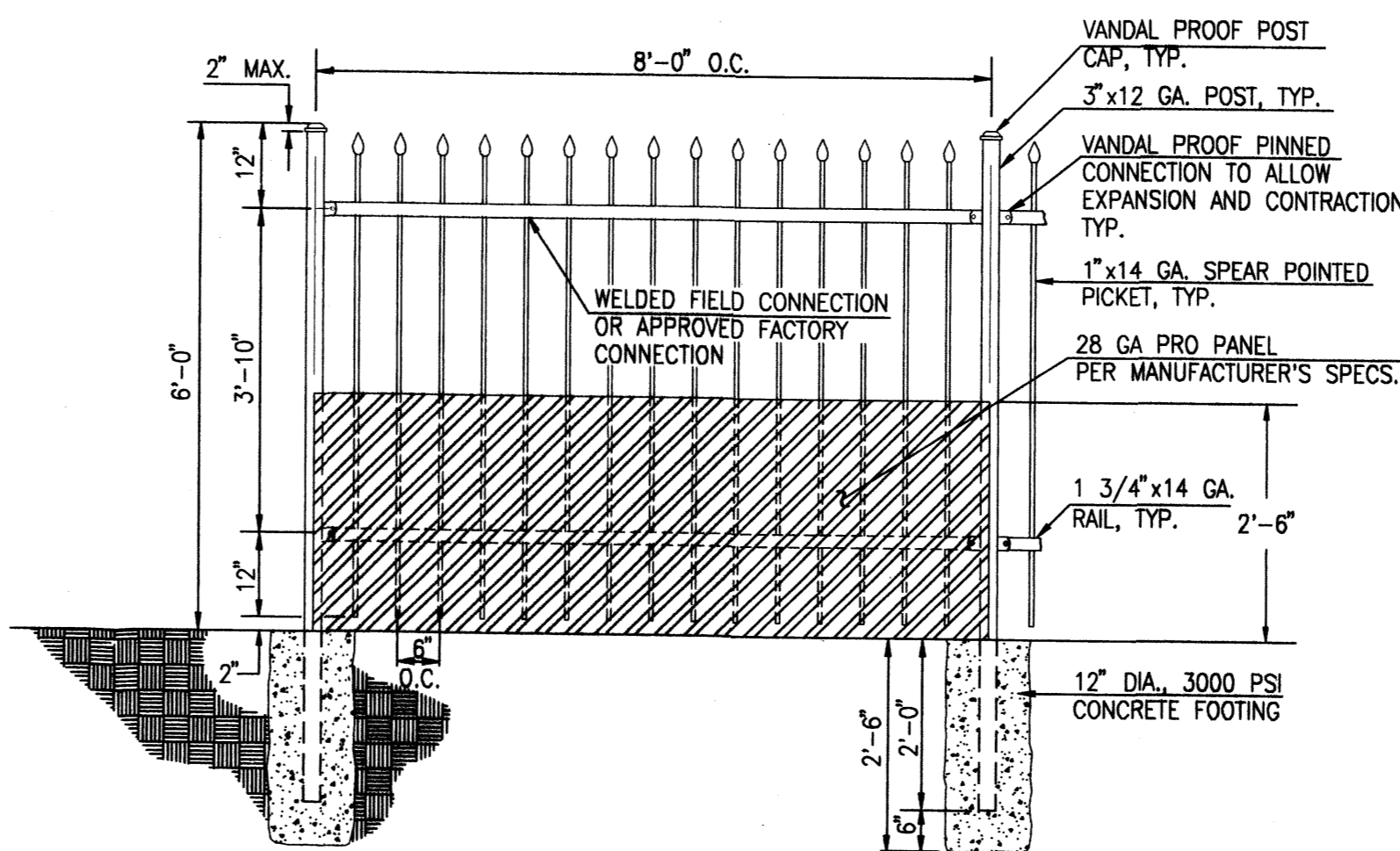
SCALE: 1" = 3'



TYPICAL ORNAMENTAL FENCE (BLACK) W/PRO-PANEL WALL (BLACK) SECTION

(AEGIS II INDUSTRIAL -CLASSIC)

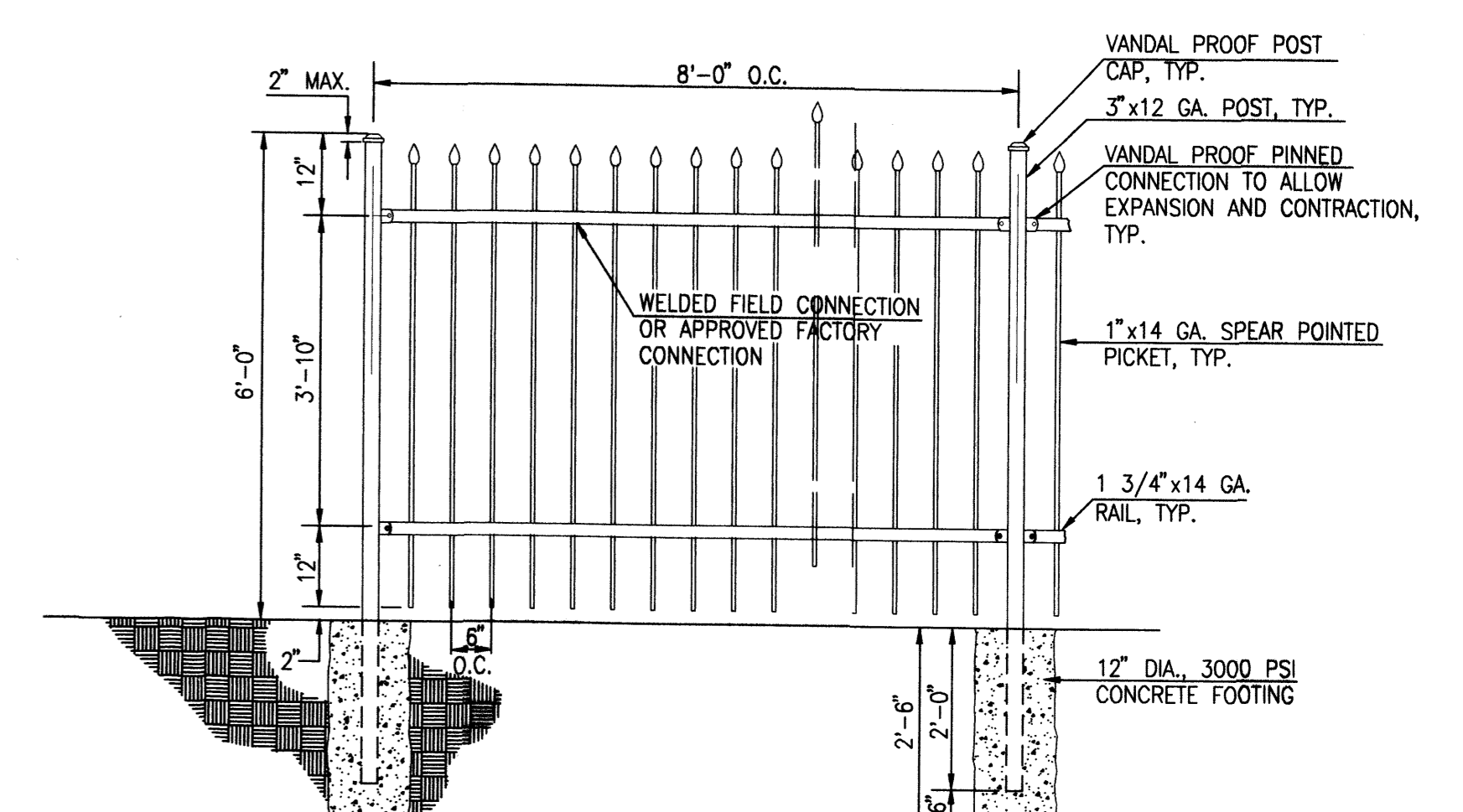
SCALE: 1" = 2'-0"



TYPICAL ORNAMENTAL FENCE (BLACK) W/WALL PANEL SECTION

(AEGIS II INDUSTRIAL -CLASSIC)

SCALE: 1" = 2'-0"



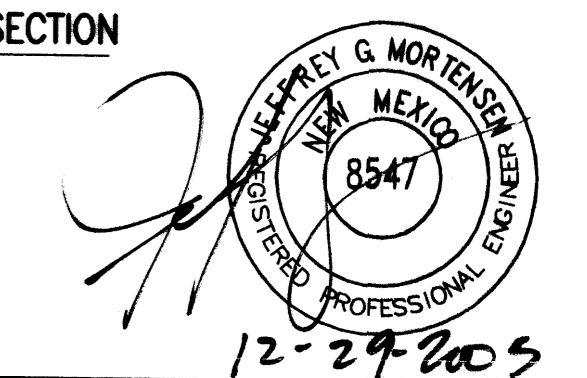
TYPICAL ORNAMENTAL FENCE (BLACK) SECTION

(AEGIS II INDUSTRIAL -CLASSIC)

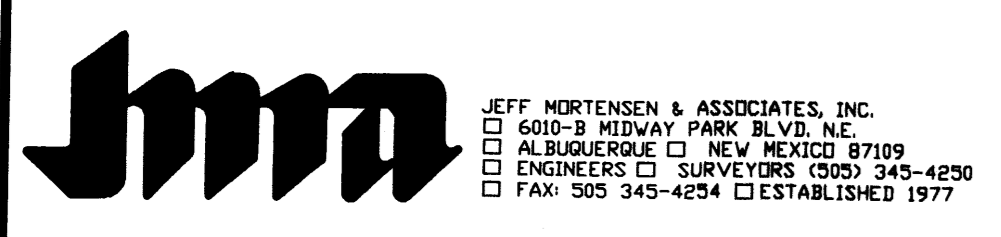
SCALE: 1" = 2'-0"

GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1987, PUBLISHED BY THE NEW MEXICO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
- IF THE REMOVAL OF EXISTING CURB AND CUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ABUTTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO STRIPING SO THAT LAYOUT CAN BE VERIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE, ON BEHALF OF THE OWNER AND OPERATORS, "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.



Plot Date: 12-28-2005
Plot Time: 2:52 pm
File Name: 50181.SD.DWG



GENERAL NOTES, SECTIONS and DETAILS
HEALTH SOUTH SATELLITE PARKING LOT

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.G.M.					2005.018.3
DRAWN BY					DATE
J.L.P.					12-2005
APPROVED BY					SHEET
J.G.M.					6 OF 8

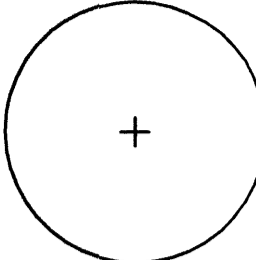
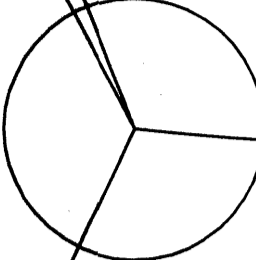
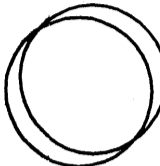


PRELIMINARY AREA CALCULATIONS

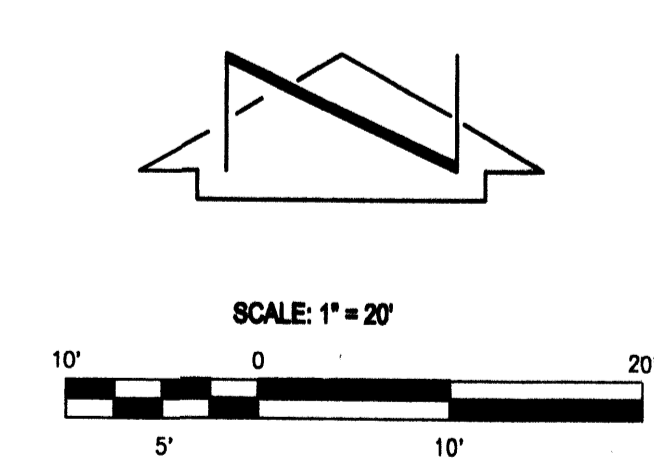
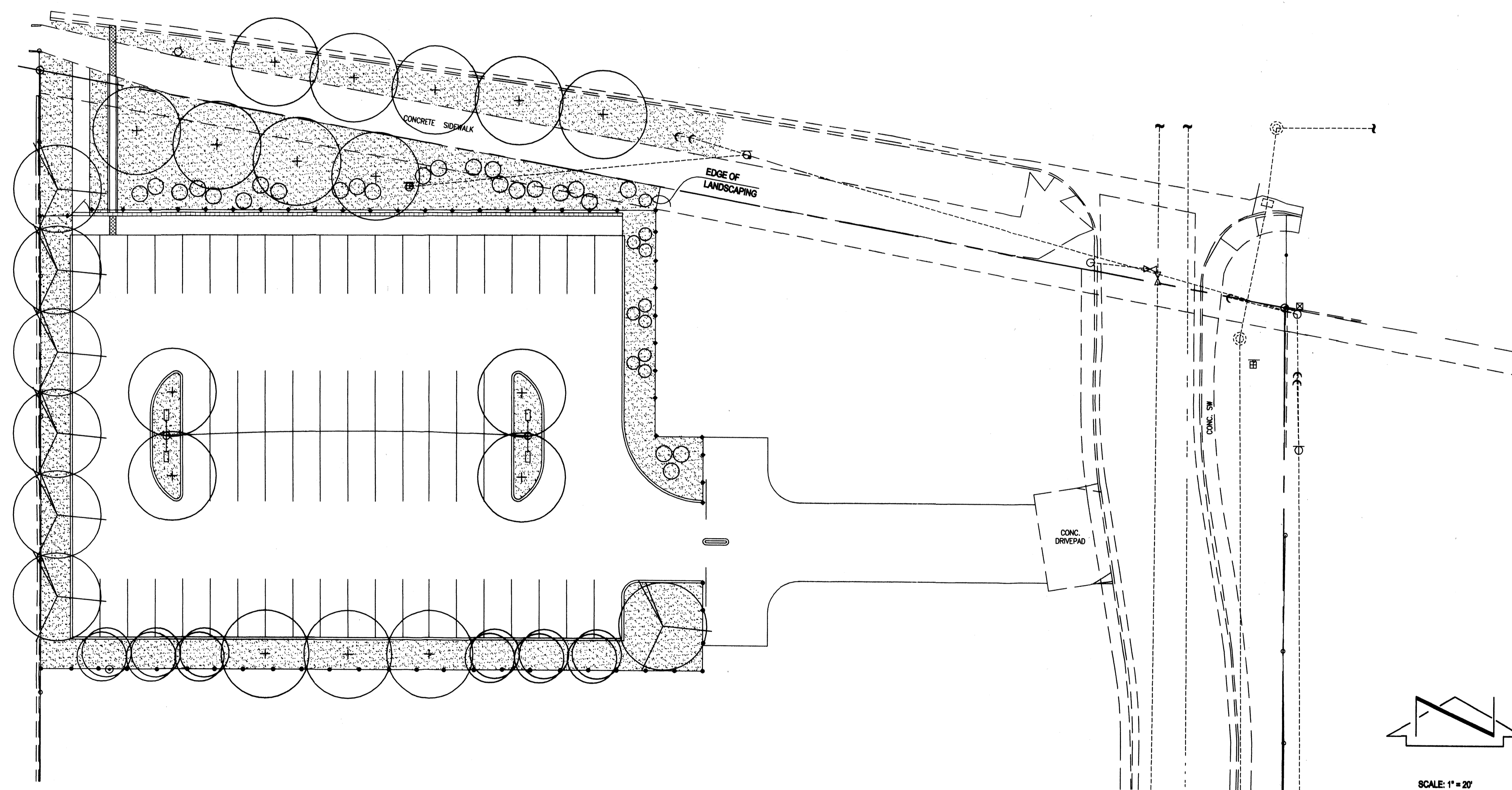
TOTAL LOT AREA	34,100 S.F.
TOTAL AREA OF LANDSCAPED R.O.W.	1,700 S.F.
NET LOT AREA	32,400 S.F.
TOTAL LANDSCAPE AREA REQUIRED (15%)	1,460 S.F.
TOTAL LANDSCAPE AREA PROVIDED (INCL. R.O.W.)	11,450 S.F.

PLANTING AND IRRIGATION NOTES

1. AN AUTOMATIC DRIP IRRIGATION SYSTEM INCLUDING AN AUTOMATIC CONTROLLER. SYSTEM SHALL BE INSTALLED AND MAINTAINED BY THE OWNER.
2. THE OWNER SHALL MAINTAIN THE LANDSCAPE IN LIVE AND HEALTHY CONDITION.
3. A MINIMUM 2" DEPTH LAYER OF GRAVEL MULCH SHALL BE APPLIED TO PLANTING AREAS AS SHOWN.
4. 75% OF THE LANDSCAPE AREAS SHALL BE COVERED WITH PLANT MATERIAL.
5. AREAS DISTURBED BY CONSTRUCTION SHALL BE LANDSCAPED OR RESEEDED WITH NATIVE GRASSES.
6. THE LANDSCAPE PLAN COMPLIES WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE.
7. THE LANDSCAPE PLAN IS CONCEPTUAL. PLANT LOCATIONS SHALL BE VERIFIED IN THE FIELD TO AVOID CONFLICTS WITH UTILITY LINES, CLEANOUTS, ETC.

PLANT AND MATERIAL LEGEND

-  GLEDITSIA TRIACANTHOS, HONEY LOCUST, 2" CAL
-  FRAXINUS OXYCARPA 'RAYWOOD ASH', RAYWOOD ASH, 2" CAL
-  FORESTIERA NEOMEXICANA, NEW MEXICO OLIVE, 5 GAL
-  CHRYSOTHAMNUS NAUSEOSUS, CHAMISA, 1 GAL
-  3/4" GREY GRAVEL, 2" DEPTH OVER FILTER FABRIC



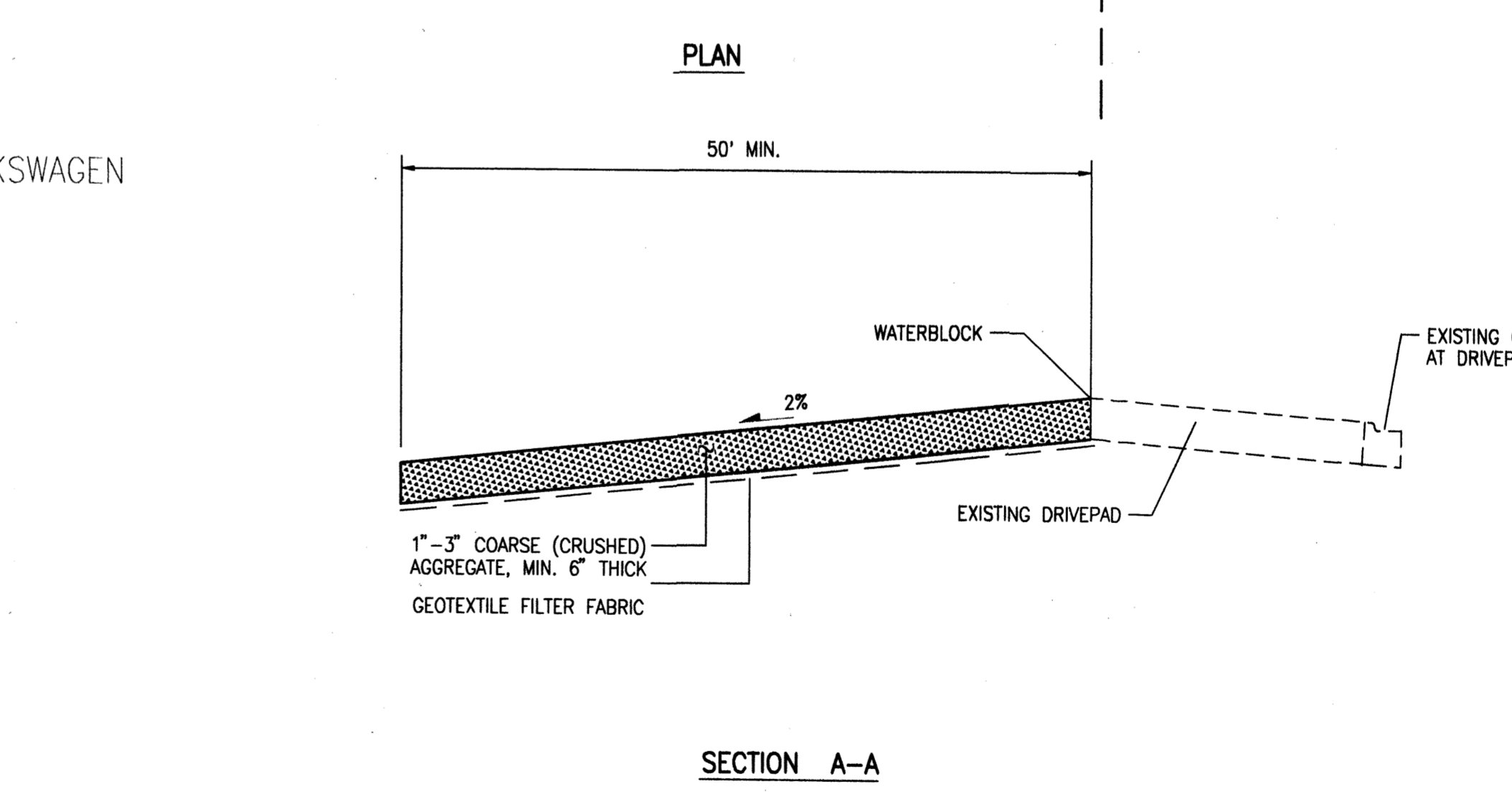
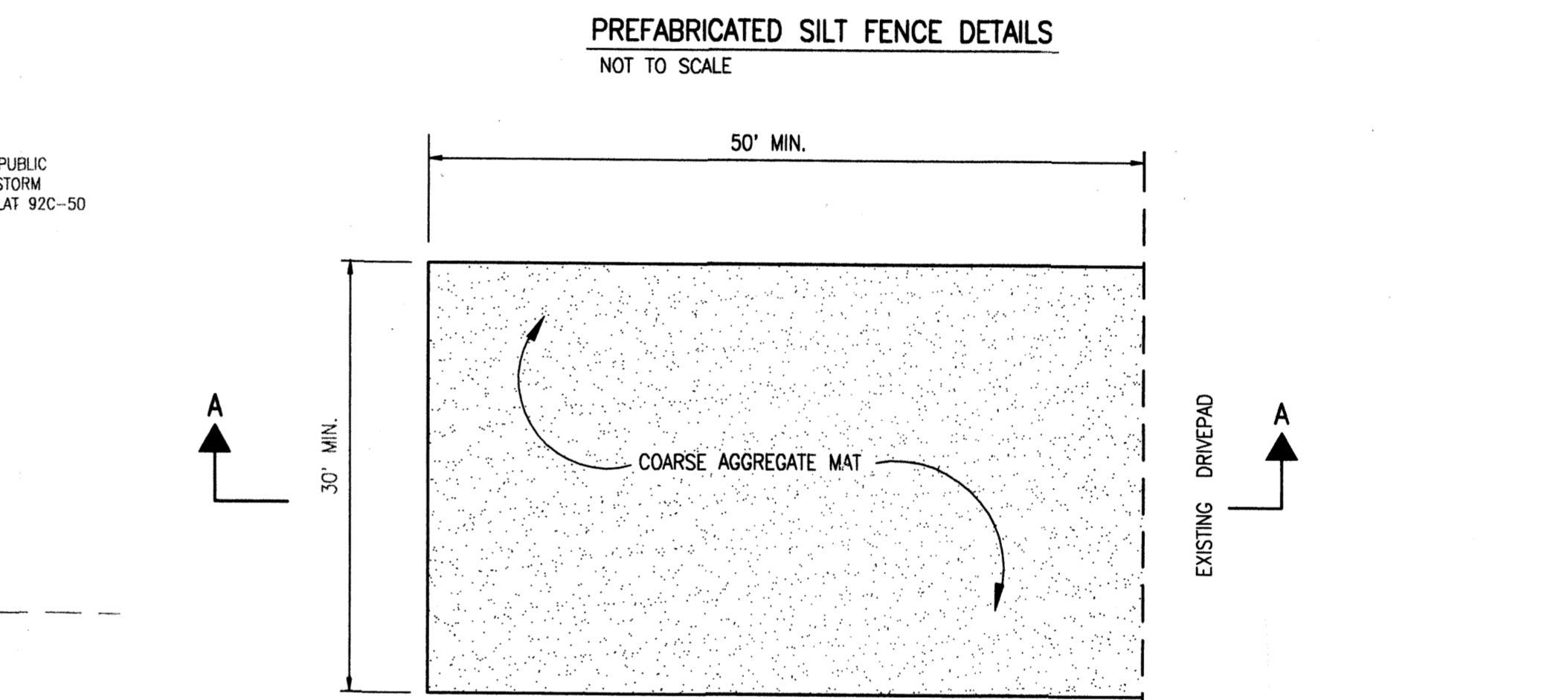
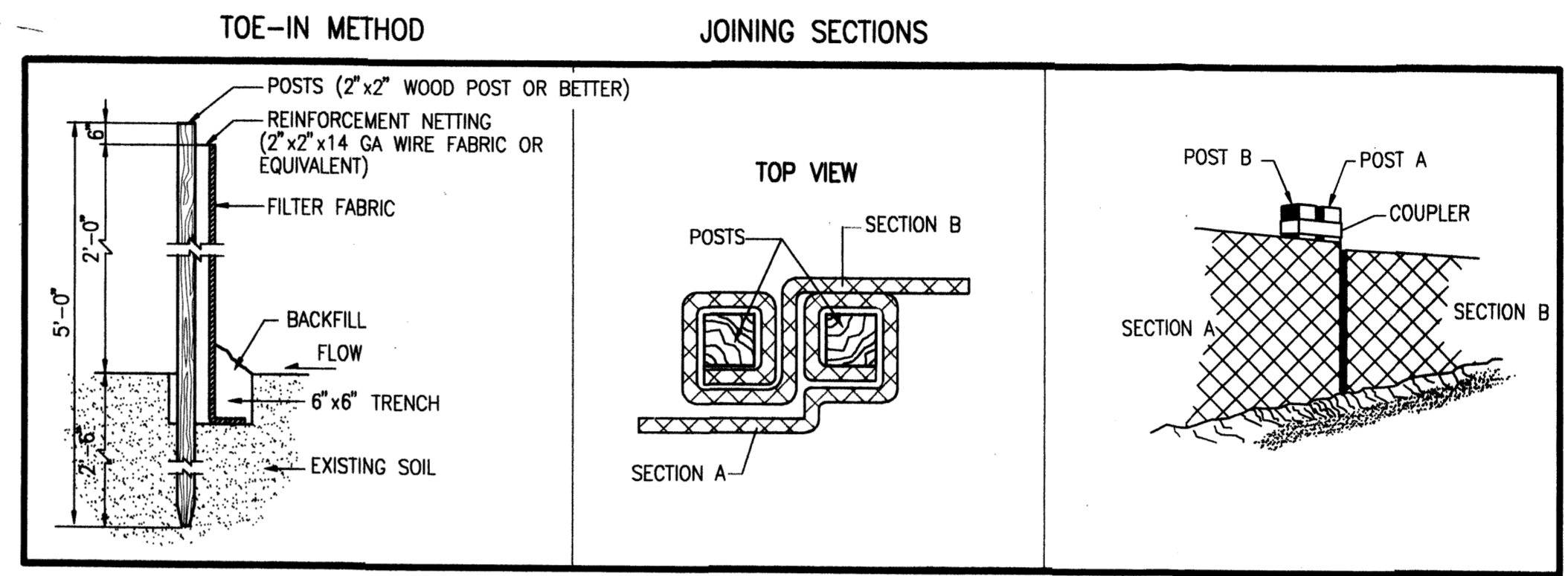
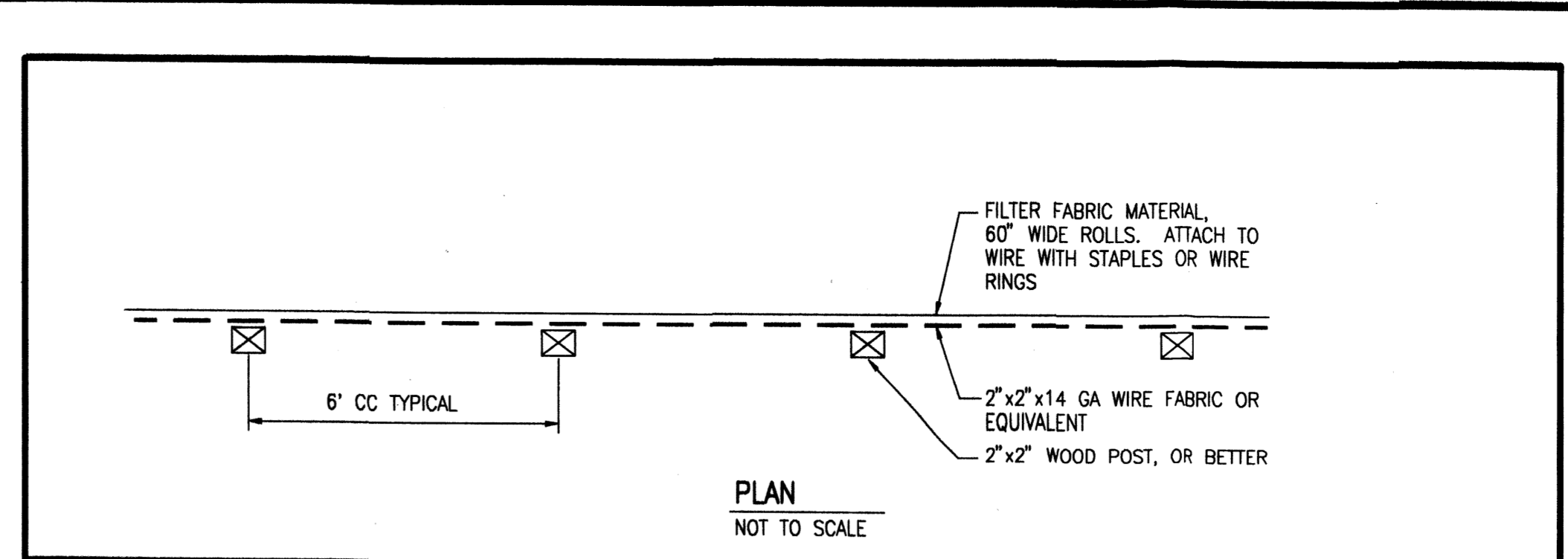
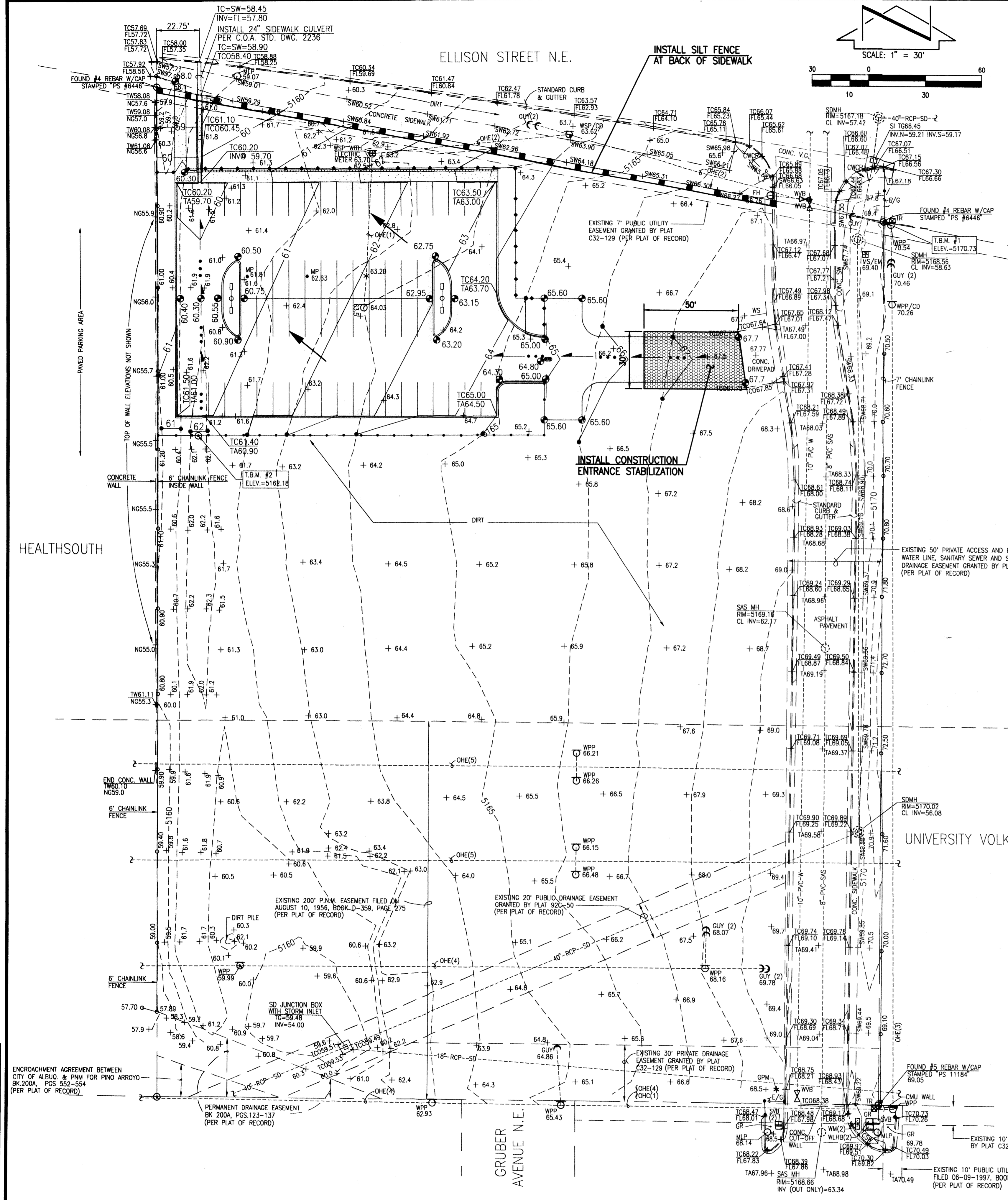
**WESTWIND LANDSCAPE
CONSTRUCTION INC.**

2739 VASSAR PLACE NE
ALBUQUERQUE, NEW MEXICO
8 7 1 0 7
TEL 505.881.8925
FAX 505.883.7052

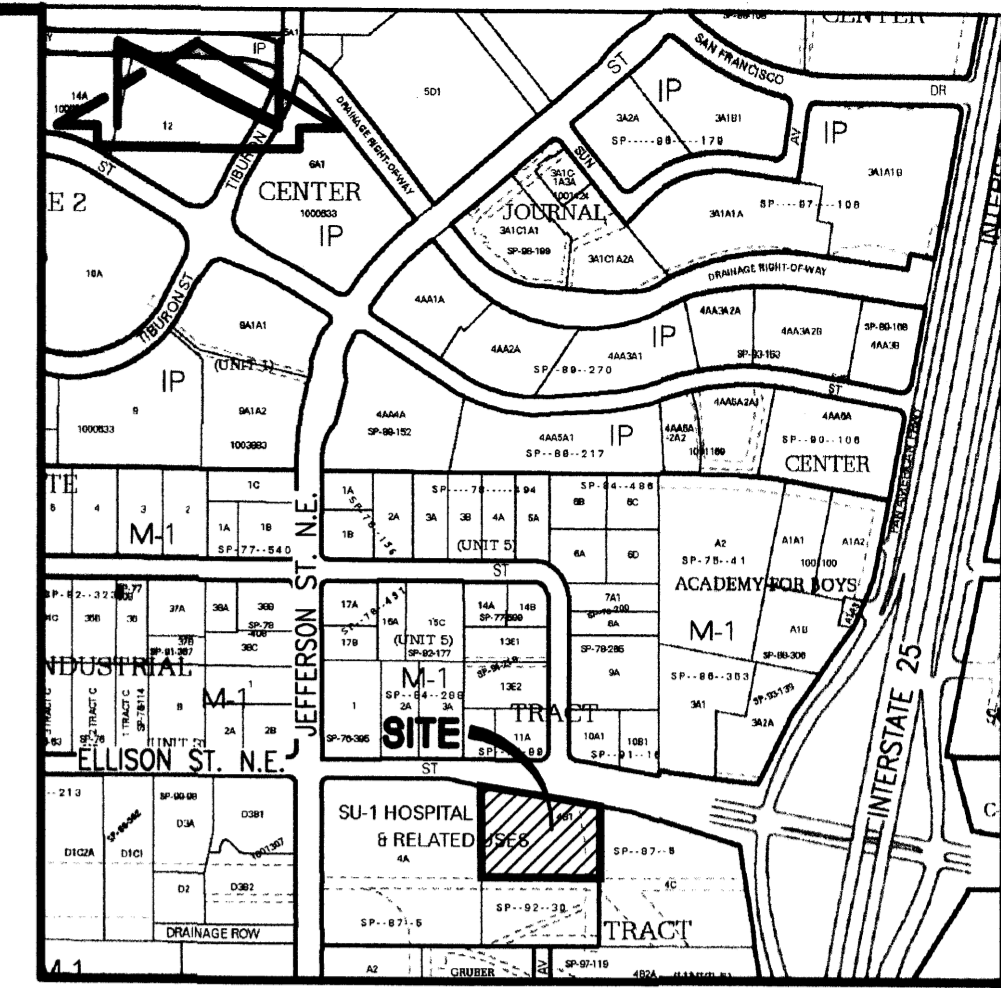
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**LANDSCAPE PLAN
HEALTH SOUTH SATELLITE PARKING LOT**

DESIGNED BY	_____	NEL	DATE	BY	REVISIONS	JOB NO.	2005.018.3
DRAWN BY	_____					DATE	12-2005
APPROVED BY	_____					SHEET	7 OF 8



CONSTRUCTION ENTRANCE STABILIZATION
SCALE: 1" = 10' HORIZ.
1" = 2' VERT.



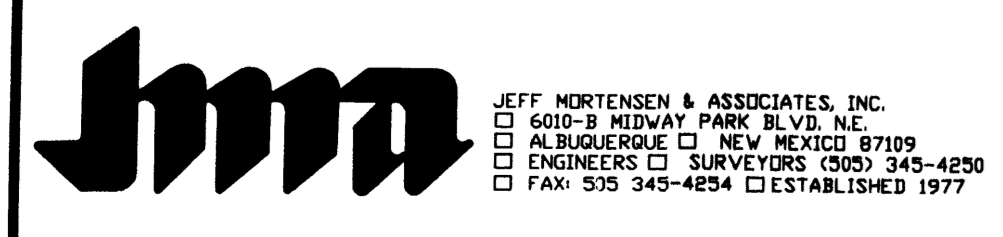
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- EROSION CONTROL NOTES:**
1. THIS PLAN ADDRESSES GENERAL AND SPECIFIC MEASURES FOR CONSTRUCTION PHASE EROSION AND DUST CONTROL. REFER TO THE GRADING AND DRAINAGE PLAN PREPARED BY JEFF MORTENSEN AND ASSOCIATES, INC. FOR GRADING NOTES AND INFORMATION.
 2. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 3. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 4. CONCRETE TRUCKS SHALL BE SENT BACK TO PLANT FOR WASHING. THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED ON THIS SITE.
 5. THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
 6. THE CONTRACTOR SHALL PROMPTLY REMOVE SEDIMENT ACCUMULATION FROM SILT FENCES WITHIN 48 HOURS OF A RAINFALL EVENT.
 7. THE CONTRACTOR SHALL PICK UP LITTER AND CONSTRUCTION DEBRIS ON A DAILY BASIS.
 8. OFFSITE MATERIAL STORAGE AREAS USED BY THIS PROJECT ARE CONSIDERED PART OF THE PROJECT AND ARE SUBJECT TO THE REQUIREMENTS OF THIS EROSION CONTROL PLAN.
 9. THE CONTRACTOR SHALL IMPLEMENT ON-SITE STRUCTURAL EROSION CONTROL PRACTICES AS REQUIRED TO COMPLY WITH THE EROSION CONTROL PLAN. THESE PRACTICES MAY INCLUDE BUT ARE NOT LIMITED TO: SILT FENCES, EARTHEN DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINS, PIPE SLOPE DRAINS, LEVEL SPREADERS, STORM RETAINING SYSTEM, GABIONS AND TEMPORARY OR PERMANENT SEDIMENT BASINS.
 10. THE CONTRACTOR SHALL MINIMIZE OFFSITE VEHICLE TRACKING OF SEDIMENT AND DUST GENERATION.
 11. UPON COMPLETION OF MASS GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT CONSTRUCTION, LANDSCAPING, VEGETATION AND/OR GRAVEL MULCH. SILT FENCING CAN BE REMOVED UPON SUCCESSFUL ESTABLISHMENT OF VEGETATION.
 12. REFER TO STORM WATER POLLUTION PREVENTION PLAN FOR PROJECT SPECIFIC PHASING AND INFORMATION. THIS PROJECT SHALL BE IMPLEMENTED IN PHASES TO MINIMIZE THE EXTENT AND DURATION OF SURFACE DISTURBANCE.
 13. FOR EXAMPLES OF ADDITIONAL BMP'S, REFER TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL - STORM WATER MANAGEMENT GUIDELINES FOR CONSTRUCTION AND INDUSTRIAL ACTIVITIES, NOVEMBER 2002.



12-29-2005

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JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD., N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (CDD) 245-4250
FAX: 505 345-4254 (ESTABLISHED 1977)

SEDIMENT CONTROL
HEALTH SOUTH SATELLITE PARKING LOT

DESIGNED BY: J.G.M.
DRAWN BY: S.G.H.
APPROVED BY: J.G.M.

NO.	DATE	BY	REVISIONS	JOB NO.
				2005.018.3
				DATE 12-2005
				SHEET 8 OF 8