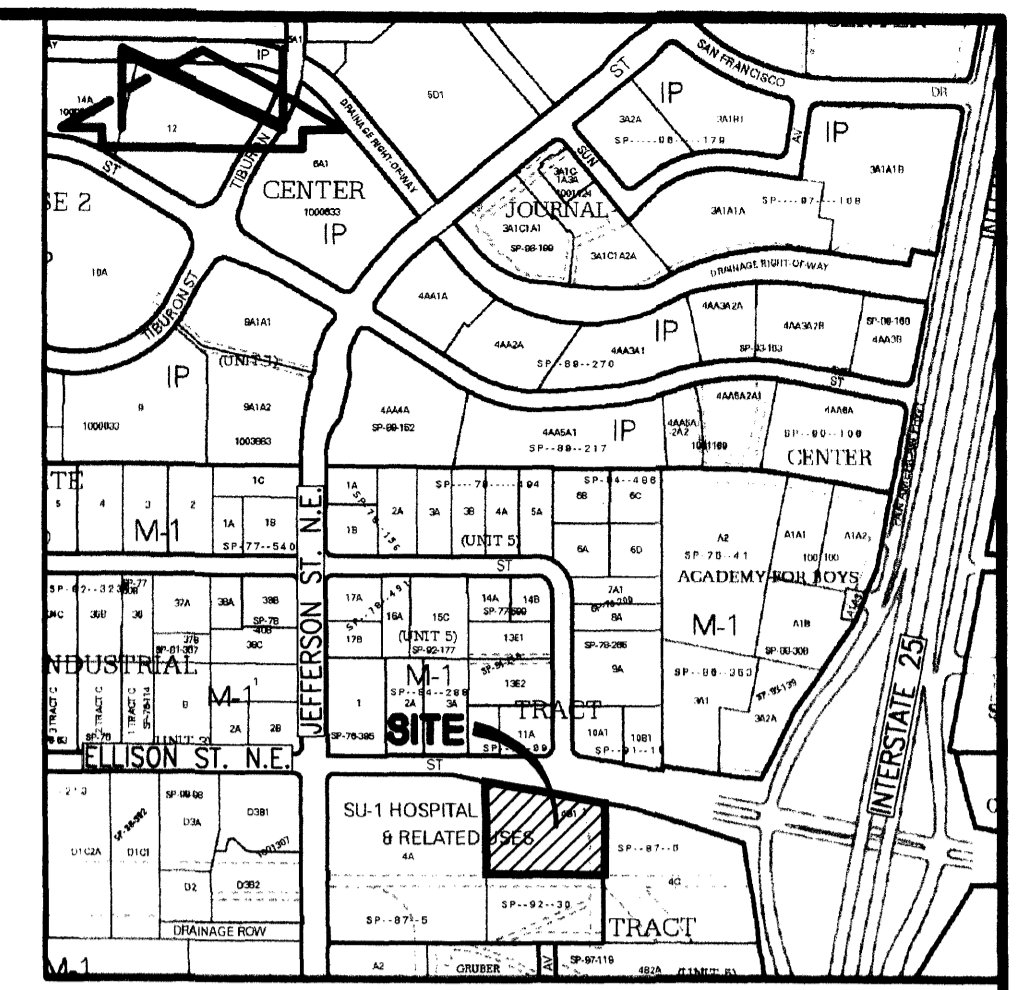


LEGEND

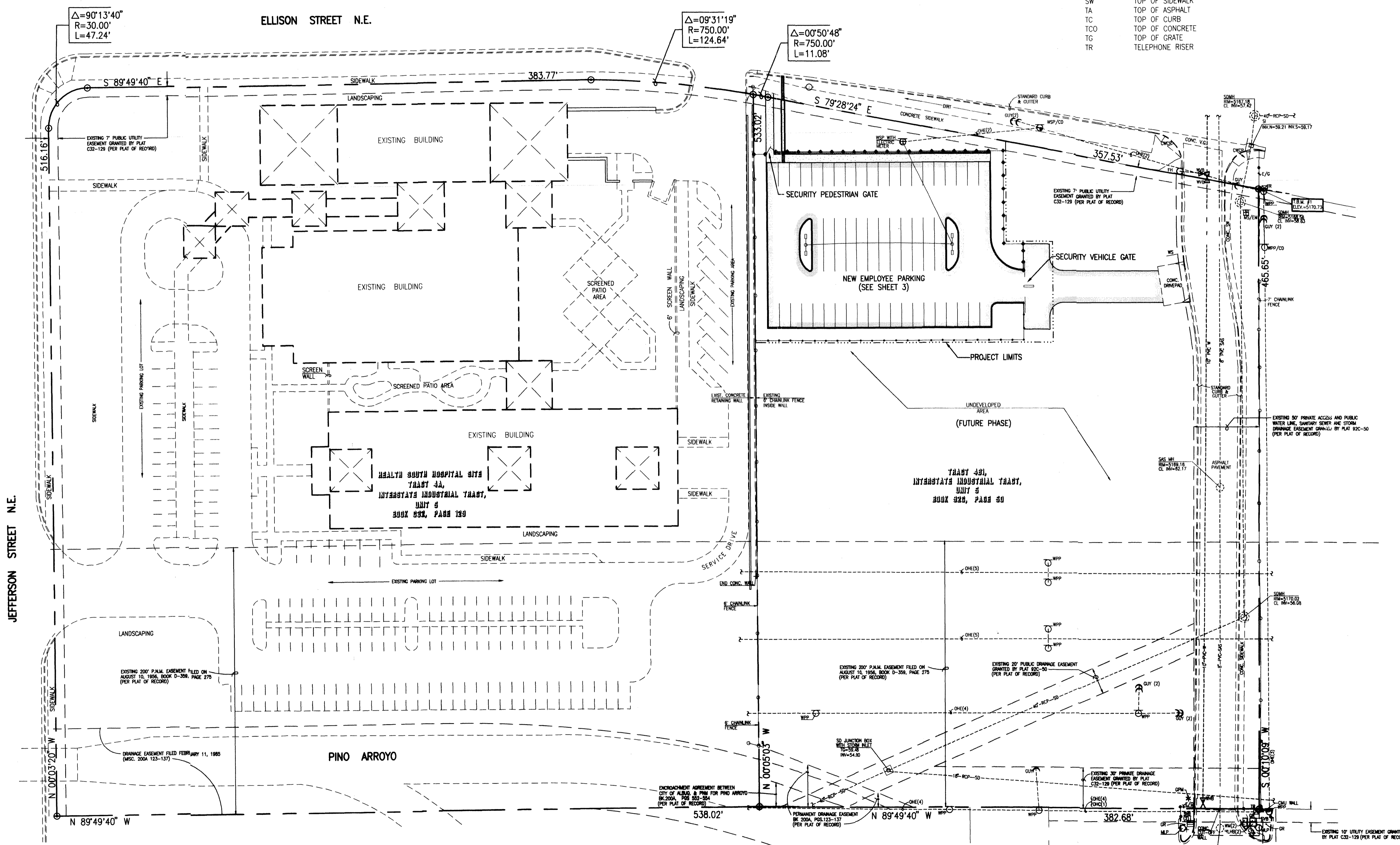
CSW	CONCRETE SIDEWALK	TW	TOP OF WALL
CWCR	CONCRETE WHEELCHAIR RAMP	W/	WITH
E/G	EDGE OF GRAVEL	WLHB	WATER LINE HOT BOX
EA	EDGE OF ASPHALT	WM	WATER METER
FH	FIRE HYDRANT	WPP	WOOD POWER POLE
FL	FLOWLINE	WPP/CD	WOOD POWER POLE WITH CONDUIT
GPM	GAS PAINT MARK	WS	WOOD SIGN
GR	GRAVEL	WSP/CD	WOOD SERVICE POLE WITH CONDUIT
INV	INVERT	WVB	WATER VALVE BOX
MLP	METAL LIGHT POLE		
MP	METAL POLE		
MS/EM	METAL SIGN WITH ELECTRIC METER		
NG	NATURAL GROUND		
OHC(1)	OVERHEAD COMMUNICATIONS (NO. OF LINES)		
OHC(2)	OVERHEAD ELECTRIC (NO. OF LINES)		
RPC	REINFORCED CONCRETE PIPE		
SAS	SANITARY SEWER MANHOLE		
SDMH	STORM DRAIN MANHOLE		
SI	STORM INLET		
SVB	SPRINKLER VALVE BOX		
SW	TOP OF SIDEWALK		
TA	TOP OF ASPHALT		
TC	TOP OF CURB		
TCO	TOP OF CONCRETE		
TG	TOP OF GRATE		
TR	TELEPHONE RISER		



VICINITY MAP
SCALE: 1" = 750'

AREA SUMMARY

TRACT 4A (HOSPITAL SITE)	
TOTAL LOT AREA:	6,732 AC. = 293,255 SF
TOTAL BUILDING AREA:	58,590 SF
TOTAL SCREENED PATIO AREA:	24,740 SF
PUBLIC DRAINAGE EASEMENT AREA:	34,850 SF
NET LOT AREA:	175,075 SF
LANDSCAPING AREA:	93,215 SF
% LANDSCAPING =	93,215/175,075 = 53%
TRACT 4B1 (SATELLITE SITE)	
TOTAL LOT AREA:	4,4117 AC. = 192,175 SF
TOTAL PROJECT AREA:	34,100 SF
TOTAL BUILDING AREA:	0 SF
LANDSCAPING W/IN R.O.W. AREA:	1460 SF
NET PROJECT AREA:	32,640 SF
LANDSCAPING AREA:	11,450 SF
% LANDSCAPING =	11,450/312,640 = 35%

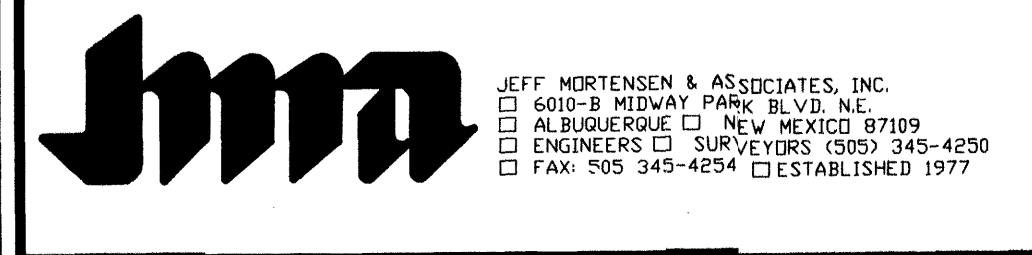


INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	OVERALL SITE PLAN
2	RECORD SITE PLAN
3	SITE PLAN
4	GRADING PLAN
5	DRAINAGE PLAN, CALCULATIONS and FENCE SECTIONS
6	GENERAL NOTES, SECTIONS AND DETAILS
7	LANDSCAPING PLAN
8	SEDIMENT CONTROL PLAN

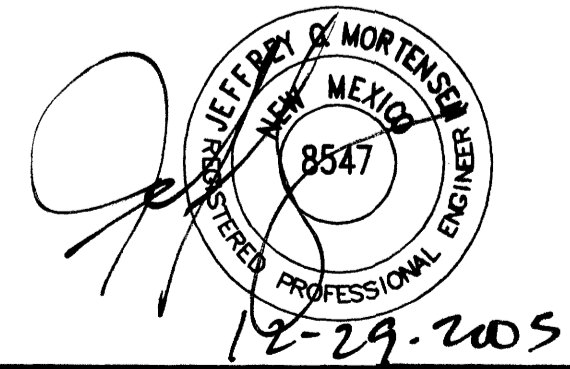
NOTE:
THIS IS NOT A BOUNDARY SURVEY. BOUNDARY DATA TAKEN FROM PLATS OF RECORD AS REFERENCED AND SHOWN HEREON FOR ORIENTATION PURPOSES ONLY.

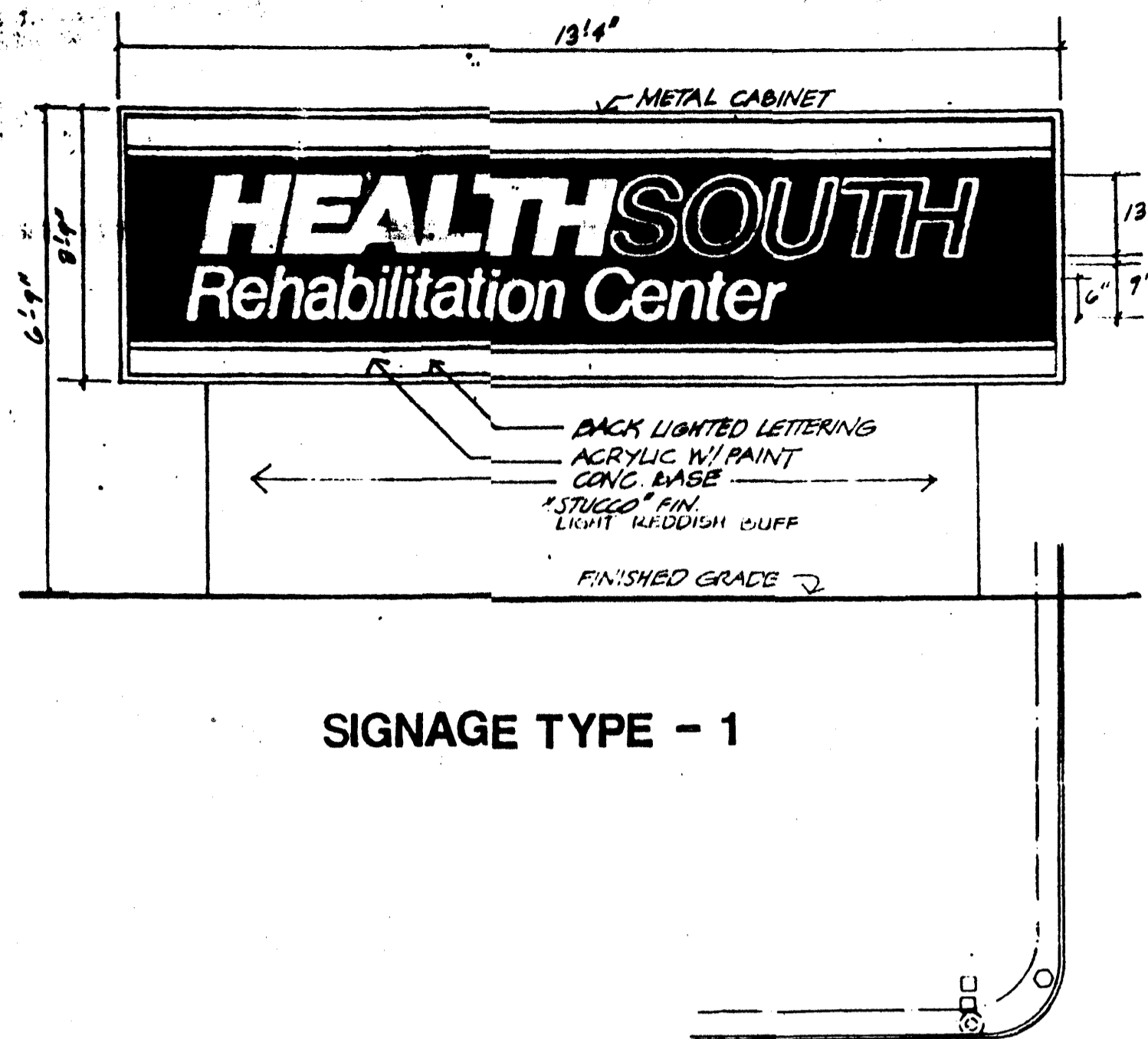
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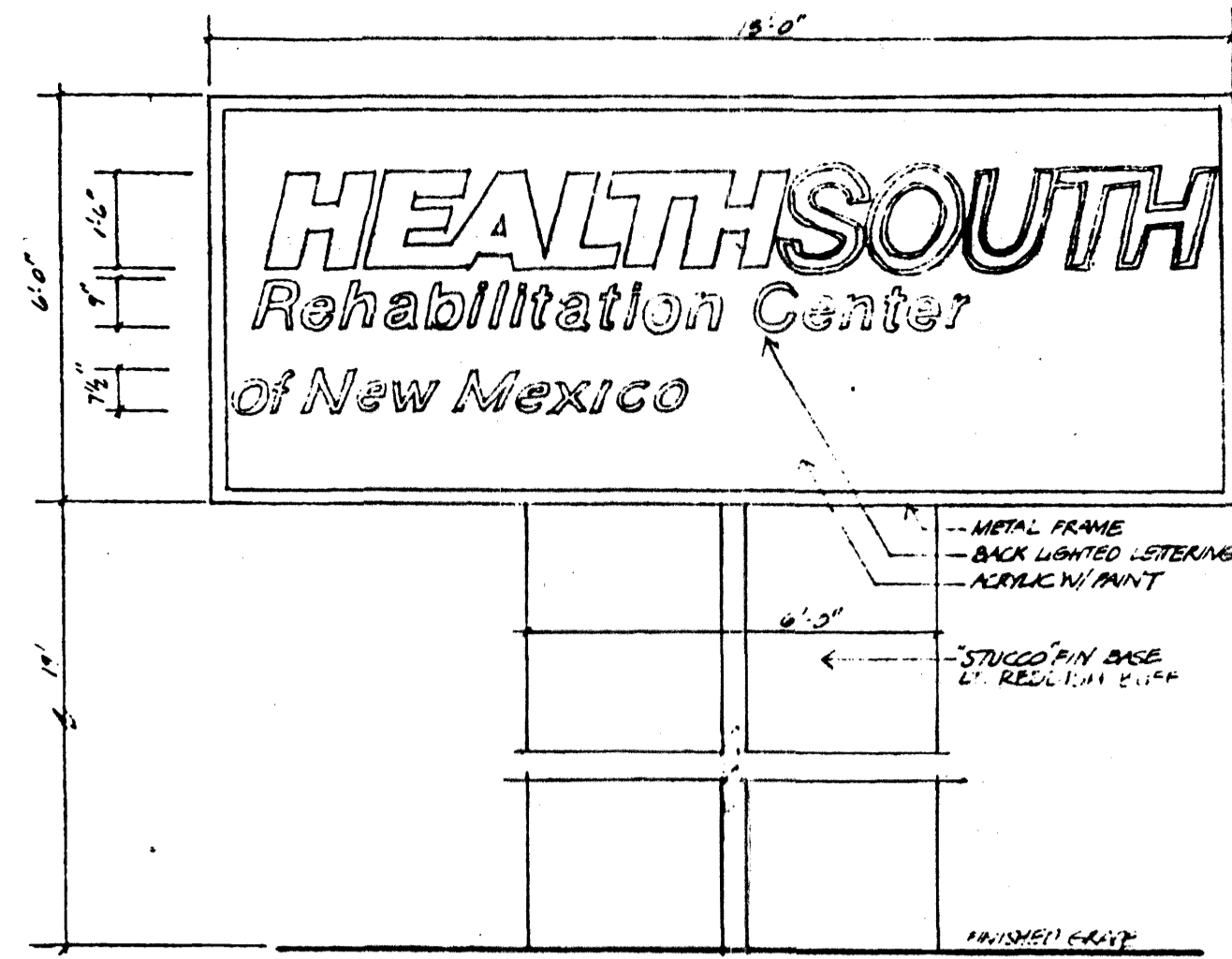
OVERALL SITE PLAN
HEALTH SOUTH HOSPITAL AND SATELLITE PARKING LOT

DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.018.1
DRAWN BY	J.M.A.					DATE	12-2005
APPROVED BY	J.G.M.					SHEET	1 OF 8





SIGNAGE TYPE - 1



SIGNAGE TYPE - 2

PARKING CALCULATIONS

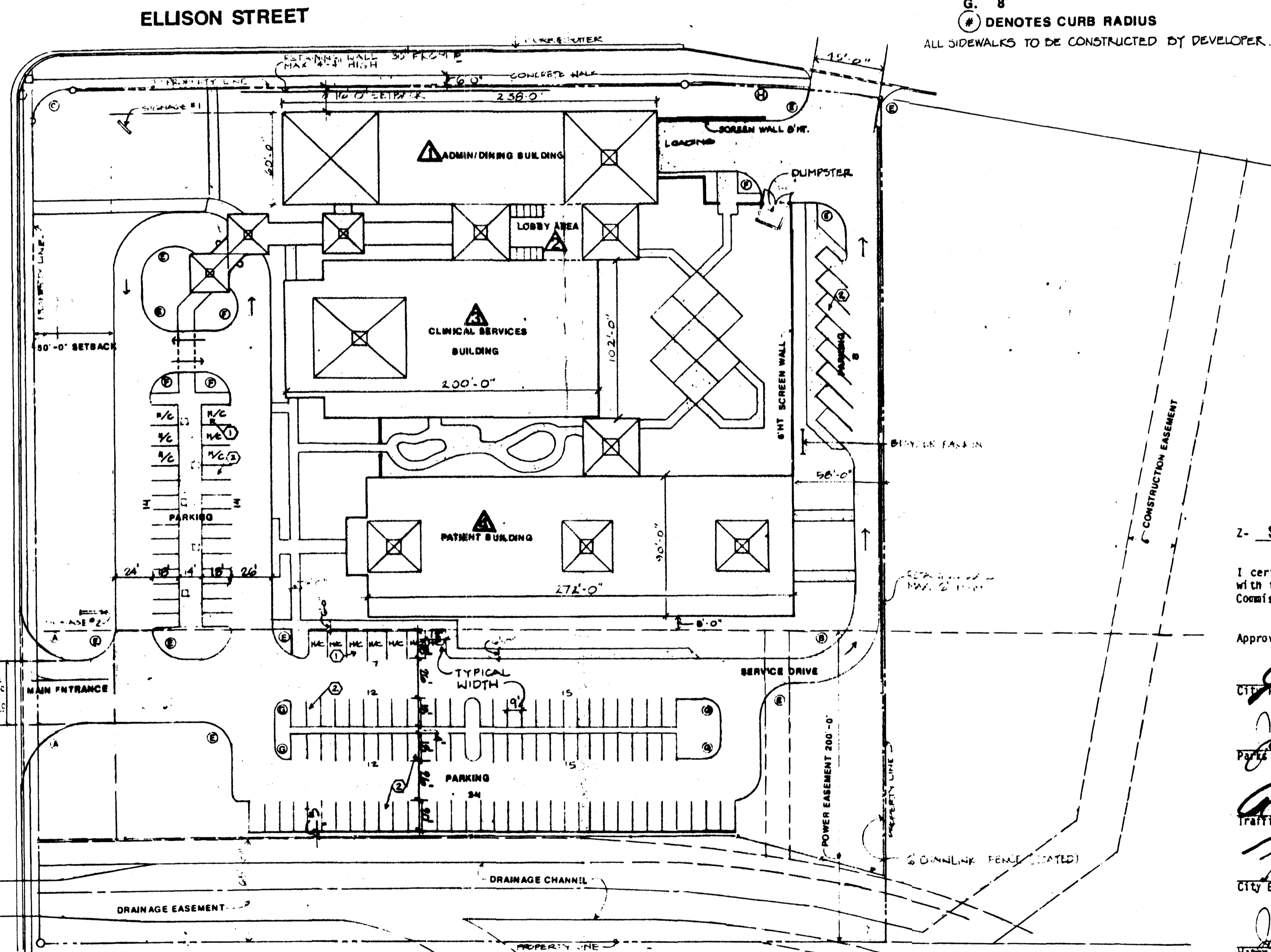
60 BEDS x 1 SPACE PER EACH 2 BEDS = 30 SPACES
 NET OFFICE AREA = 3472 SF. + 200 = 17 SPACES
 CLINIC : 2 DOCTORS X 5 SPACES = 10 SPACES
 TOTAL SPACES REQUIRED = 57
 130 PARKING SPACES PROVIDED
 BICYCLE PARKING : 7 SPACES REQUIRED ; 8 PROVIDED.

- ① DENOTES 12'X18' HANDICAPPED SPACE / 4 HANDICAPPED SPACES REQUIRED; 13 PROVIDED.
- ② DENOTES 9'X18' REGULAR SPACE

CURB RADIUS CRITERIA

- A. 35' H. 750'
- B. 33'
- C. 30'
- D. 25'
- E. 20'
- F. 15'
- G. 8'

⊙ DENOTES CURB RADIUS
 ALL SIDEWALKS TO BE CONSTRUCTED BY DEVELOPER.



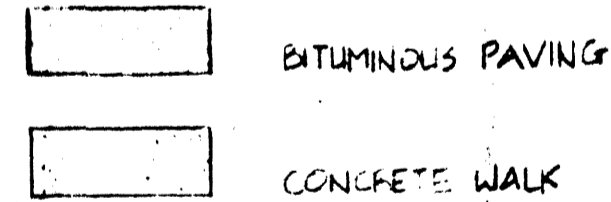
-87-16
 for retaining wall
 along Ellison
 Jack Cloud 11-13-87

2- 87-16

I certify that this area is zoned SU-1 for Clinic and this plan is consistent with the specific site development plan approved by the Environmental Planning Commission on FEB. 19, 1987.

Approved as to requirements:

- Jack Cloud* 3-10-87
City Planning Date
- Paul Savitt* 3-10-87
Parks & Recreation Date
- Robert P. Fanning* 3-10-87
Traffic Engineering Date
- Paul Higgins* 3-10-87
City Engineering Date
- Jan E. Ertsgaard* 3-10-87
Water Resources Date



BUILDING SQUARE FOOTAGE CALCULATIONS

1 - Administration/Dining Building	14,100	
2 - Lobby Area	3,245	
3 - Clinical Services Building	18,075	
4 - Patient Building	23,170	
Total Enclosed Building Area	58,590	s.f.
Canopies and Covered Areas	5,400	s.f.

Building Uses

- ⚠ Administration/Dining Buildings:
Business functions, General Storage, Kitchen, Dining, and Support Services.
- ⚠ Lobby Area:
Security - Information Desk, Toilets and Circulation.
- ⚠ Clinical Services Buildings:
Patient Clinical Services for Physical Rehabilitation.
- ⚠ Patient Building:
Patient Bedrooms and Support Services.

SITE PLAN
 SPECIALITY REHABILITATION CENTER
 ALBUQUERQUE, NEW MEXICO
 HEALTHSOUTH REHABILITATION CORPORATION



Plot Date: 10-21-2005
 File Name: 50181RSP.DWG
 Plot Time: 10:52 am

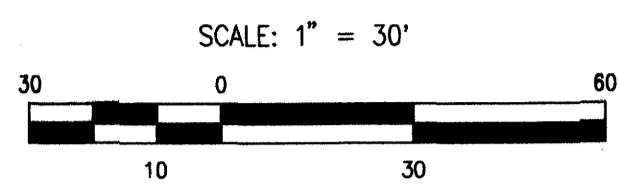
NO.	DATE	BY	REVISIONS

RECORD SITE PLAN
 HEALTHSOUTH
 REHABILITATION HOSPITAL

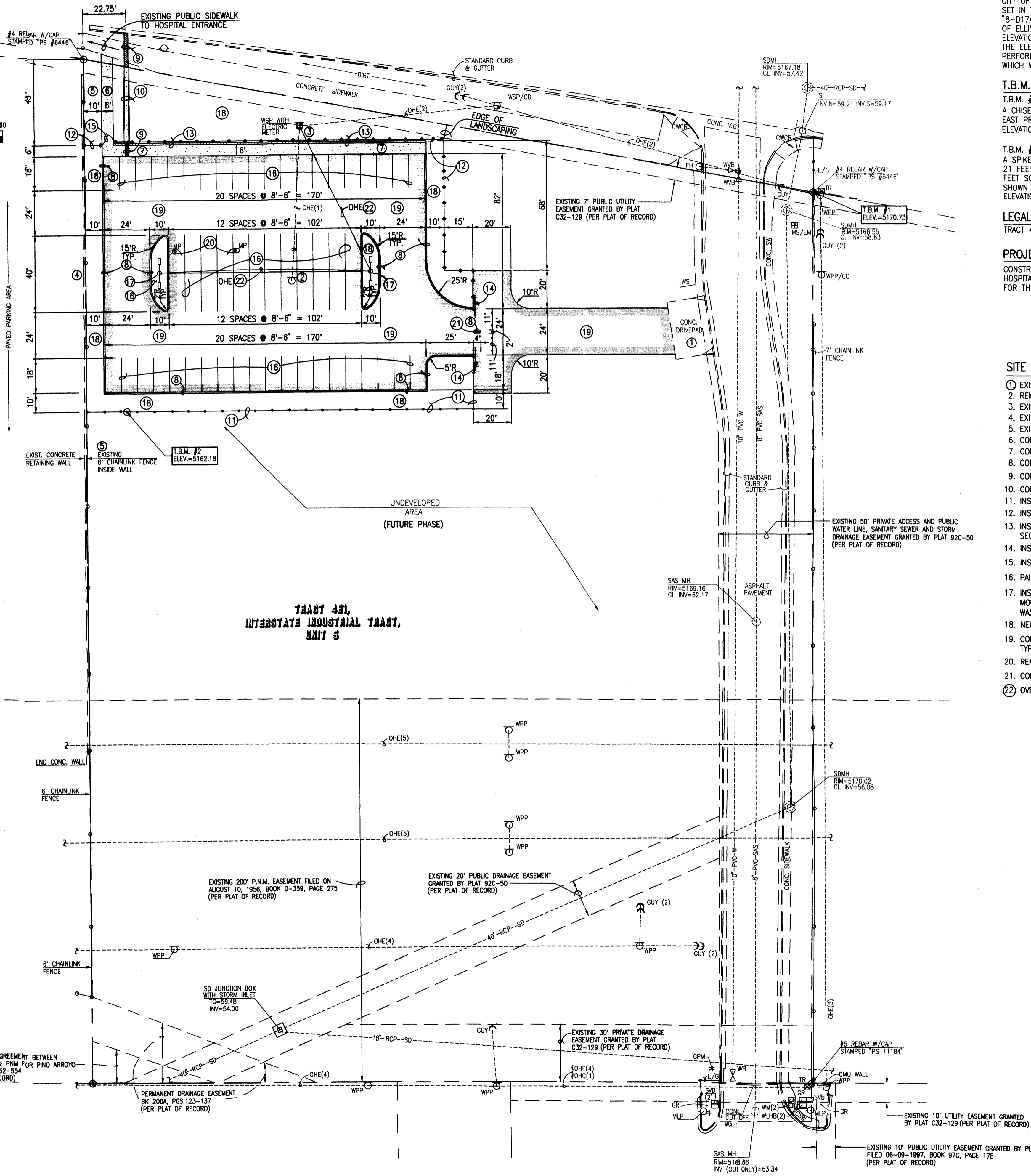
JEFF. HORTON & ASSOCIATES, INC.
 4400 N. CENTRAL AVE., SUITE 100
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE: 505-263-1100 FAX: 505-263-1101

JOB NO. 2005.018.1
 DATE 11-2005
 SHEET 2 OF 8

REVISED 2-28-87 BASED ON E.P.C. DECISION
 REVISED 10-1-87 BASED ON CITY ENGINEERING COMMENTS
 NOTES: DIMENSIONS FOR PARKING LAYOUT REUSED 12-20-86
 REVISED 11-1-87 RE: REVISIONS TO LAYOUT ADJACENT TO ELLISON



HEALTH SOUTH HOSPITAL SITE
TRACT 4A, INTERSTATE
INDUSTRIAL TRACT, UNIT 5-
SEE RECORD SITE PLAN,
SHEET 2



PROJECT BENCHMARK - DESTROYED

CITY OF ALBUQUERQUE CONTROL MONUMENT (8-D17A). A STANDARD ACS BRASS TABLET SET IN THE TOP OF A CONCRETE POST PROJECTING 0.2' ABOVE THE GROUND AND STAMPED "8-D17A". THE STATION IS LOCATED NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF ELLISON STREET N.E. AND JEFFERSON STREET N.E.
ELEVATION = 5145.55 FEET (NGVD 1929)
THE ELEVATIONS OF T.B.M. #1 AND T.B.M. #2 ARE BASED ON THE TOPOGRAPHIC SURVEY PERFORMED BY THIS FIRM IN JUNE, 1997 AND THE PUBLISHED ELEVATION OF "8-D17A", WHICH WAS SUBSEQUENTLY DESTROYED.

T.B.M.

T.B.M. #1
A CHISELED SQUARE ON THE TOP OF CURB AT CORNER OF CURB ADJACENT TO THE NORTH EAST PROPERTY CORNER OF TRACT 4B-1, AS SHOWN ON THE DRAWING.
ELEVATION = 5170.73 FEET

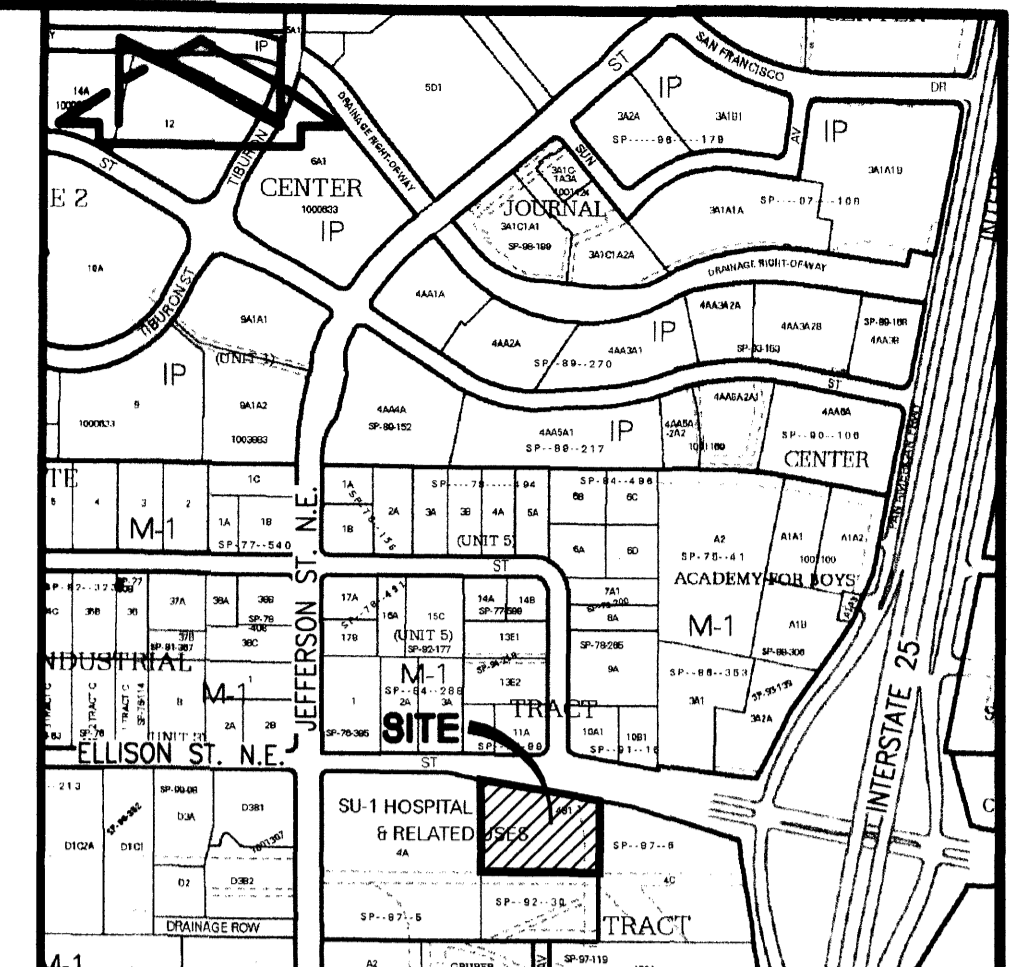
T.B.M. #2
A SPIKE WITH A JMA RED CAP STAMPED "CONTROL POINT PS #11184" LOCATED APPROXIMATELY 21 FEET EAST OF THE FENCE ON THE WEST SIDE OF THE PROJECT AND APPROXIMATELY 195 FEET SOUTH OF THE BACK OF THE CURB ON THE SOUTH SIDE OF ELLISON STREET N.E. AS SHOWN ON THE DRAWING.
ELEVATION = 5162.18 FEET

LEGAL DESCRIPTION

TRACT 4B-1, INTERSTATE INDUSTRIAL TRACT, UNIT 5

PROJECT DESCRIPTION:

CONSTRUCTION OF A PRIVATE PARKING LOT IMMEDIATELY ADJACENT TO EXISTING HEALTH SOUTH HOSPITAL SITE. THE LOT WILL BE PAVED, FENCED, LIGHTED AND LANDSCAPED. THE PURPOSE FOR THE PARKING LOT IS FOR HOSPITAL EMPLOYEES ONLY.



VICINITY MAP
SCALE: 1" = 750'

D-17

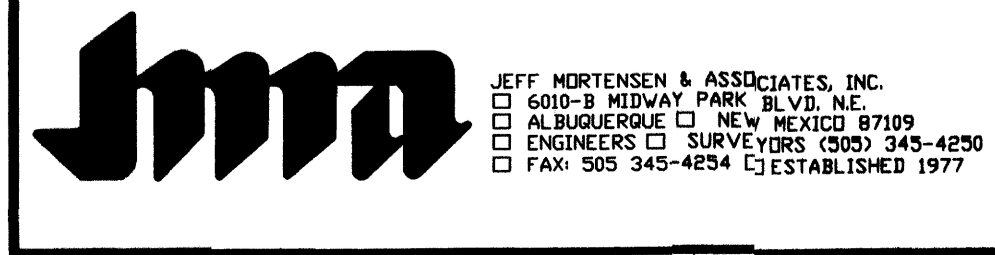
LEGEND

- CSW CONCRETE SIDEWALK
- CWCR CONCRETE WHEELCHAIR RAMP
- E/G EDGE OF GRAVEL
- EA EDGE OF ASPHALT
- FH FIRE HYDRANT
- FL FLOWLINE
- GPM GAS PAINT MARK
- GR GRAVEL
- INV INVERT
- MLP METAL LIGHT POLE
- MP METAL POLE
- MS/EM METAL SIGN WITH ELECTRIC METER
- NG NATURAL GROUND
- OHC(1) OVERHEAD COMMUNICATIONS (NO. OF LINES)
- OHC(2) OVERHEAD ELECTRIC (NO. OF LINES)
- RCP REINFORCED CONCRETE PIPE
- SAS MH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- SI STORM INLET
- SVB SPRINKLER VALVE BOX
- SW TOP OF SIDEWALK
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TCO TOP OF CONCRETE
- TG TOP OF GRATE
- TR TELEPHONE RISER
- TW TOP OF WALL
- W/ WITH
- WLHB WATER LINE HOT BOX
- WM WATER METER
- WPP WOOD POWER POLE
- WPP/CD WOOD POWER POLE WITH CONDUIT
- WS WOOD SIGN
- WSP/CD WOOD SERVICE POLE WITH CONDUIT
- WVB WATER VALVE BOX

SITE PLAN KEYED NOTES

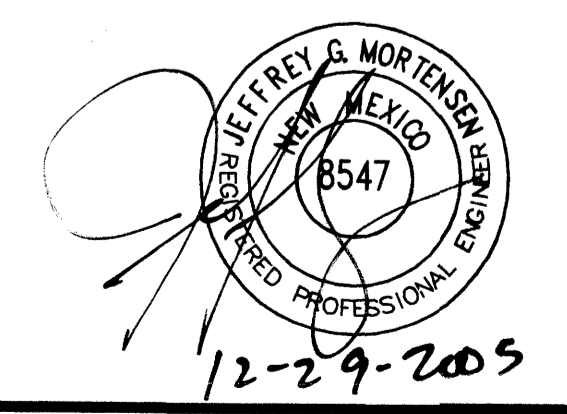
1. EXISTING CONCRETE DRIVEPAD TO REMAIN
2. REMOVE AND DISPOSE OF METAL LIGHT POLE
3. EXISTING WOOD POWER POLE WITH ELECTRIC METER TO REMAIN
4. EXISTING CONCRETE RETAINING WALL TO REMAIN
5. EXISTING 6" CHAINLINK TO REMAIN
6. CONSTRUCT CONCRETE SIDEWALK PER DETAIL, SHEET 6
7. CONSTRUCT CONCRETE TURNDOWN SIDEWALK PER DETAIL, SHEET 6
8. CONSTRUCT CONCRETE EXTRUDED CURB PER DETAIL SECTION, SHEET 6
9. CONSTRUCT 2" SIDEWALK CULVERT PER DETAIL, SHEET 5
10. CONSTRUCT CONCRETE RUNDOWN PER DETAIL, SHEET 5
11. INSTALL TYPICAL 6" CHAINLINK FENCE PER C.O.A. STD. DWG. 2252
12. INSTALL ORNAMENTAL FENCE PER TYPICAL SECTION, SHEET 6
13. INSTALL ORNAMENTAL FENCE WITH PRO PANEL WALL SECTION PER TYPICAL SECTION, SHEET 6
14. INSTALL 6" CANTILEVER SECURITY GATE PER MANUFACTURER'S DETAILS
15. INSTALL 6" MAN-GATE PER MANUFACTURER'S DETAILS
16. PAINT 4" PAVEMENT MARKING W/WHITE TRAFFIC PAINT, MIN 2 COATS
17. INSTALL 30" AFG DOUBLE HEAD LIGHT FIXTURE (HPS 400 W FULL CUT-OFF) MOUNTED ON 35" STANDARD WOOD POLE. BOLT THROUGH WITH LOCK NUTS AND WASHERS. BASE BURIED 5' DEPTH.
18. NEW LANDSCAPING, SEE LANDSCAPING PLAN (SHEET 7)
19. CONSTRUCT LIGHT DUTY ASPHALT CONCRETE PAVEMENT PER TYPICAL SECTION, SHEET 6
20. REMOVE AND DISPOSE OF EXISTING METAL POLE
21. CONSTRUCT ISLAND W/PROXIMITY READER POST PER DETAIL, SHEET 6
22. OVERHEAD POWER BY ELECTRICAL CONTRACTOR

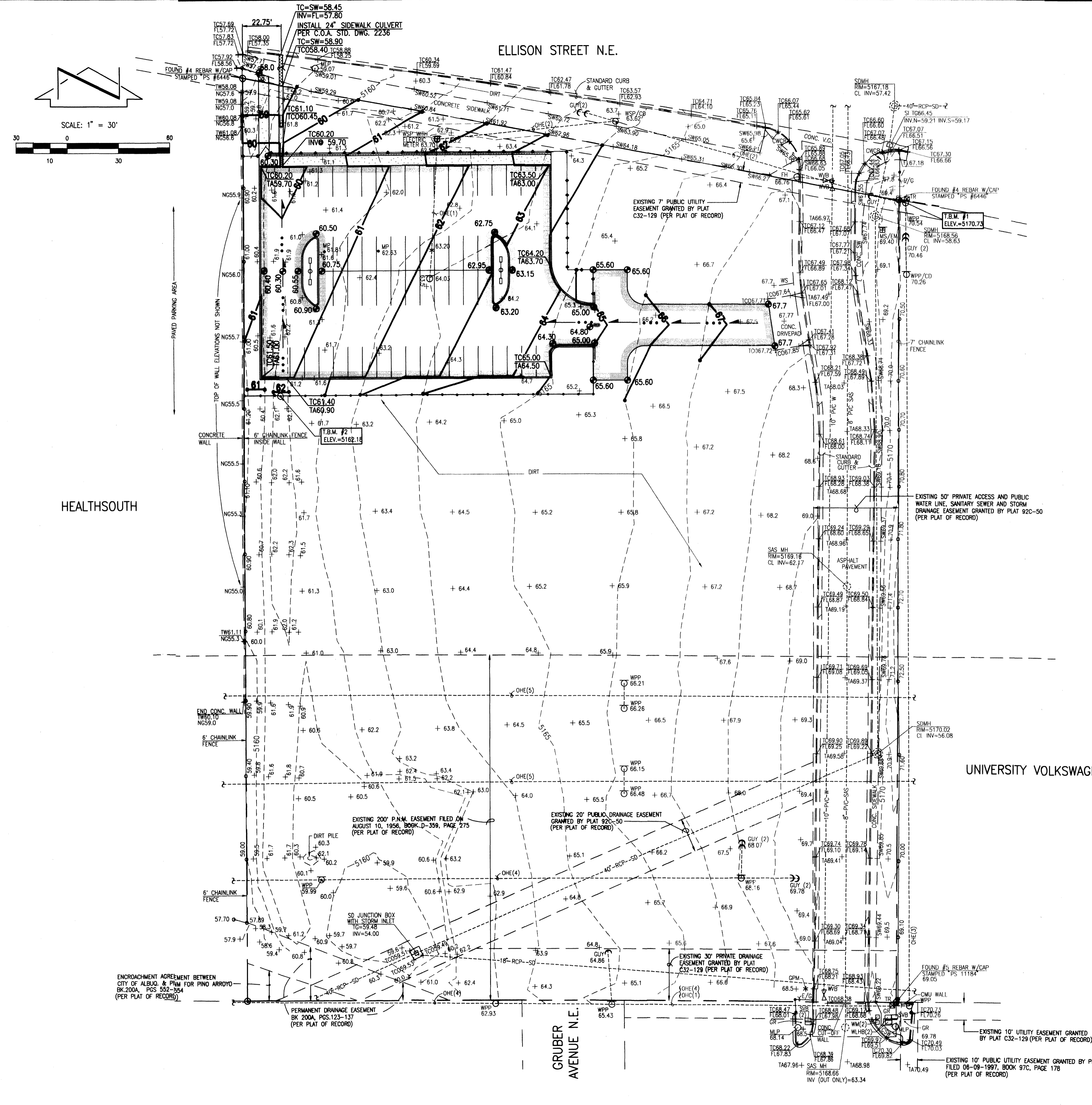
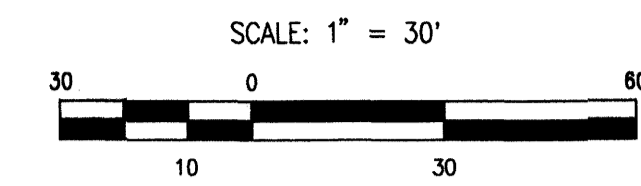
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 File Name: 50181SP.DWG
 Plot Date: 12-28-2005
 Plot Time: 2:51 pm



SITE PLAN
HEALTH SOUTH SATELLITE PARKING LOT

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
J.G.M.				2005.018.1
DRAWN BY				DATE
S.G.H.				12-2005
APPROVED BY				SHEET
J.G.M.				3 OF 8





PROJECT BENCHMARK -- DESTROYED

CITY OF ALBUQUERQUE CONTROL MONUMENT (8-D17A). A STANDARD ACS BRASS TABLET SET IN THE TOP OF A CONCRETE POST PROJECTING 0.2' ABOVE THE GROUND AND STAMPED "8-D17A". THE STATION IS LOCATED NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF ELLISON STREET N.E. AND JEFFERSON STREET N.E. (ALBUQUERQUE AREA). 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES. ELEVATION = 5145.55 FEET (NGVD 1929) THE ELEVATIONS OF T.B.M. #1 AND T.B.M. #2 ARE BASED ON THE TOPOGRAPHIC SURVEY PERFORMED BY THIS FIRM IN JUNE, 1997 AND THE PUBLISHED ELEVATION OF "8-D17A", WHICH WAS SUBSEQUENTLY DESTROYED.

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T.B.M. #1
A CHISELED SQUARE ON THE TOP OF CURB AT CORNER OF CURB ADJACENT TO THE NORTH EAST PROPERTY CORNER OF TRACT 4B-1, AS SHOWN ON THE DRAWING. ELEVATION = 5170.73 FEET

T.B.M. #2
A SPIKE WITH A JMA RED CAP STAMPED "CONTROL POINT PS #11184" LOCATED APPROXIMATELY 21 FEET EAST OF THE FENCE ON THE WEST SIDE OF THE PROJECT AND APPROXIMATELY 195 FEET SOUTH OF THE BACK OF THE CURB ON THE SOUTH SIDE OF ELLISON STREET N.E. AS SHOWN ON THE DRAWING. ELEVATION = 5162.18 FEET

LEGAL DESCRIPTION

TRACT 4B-1, INTERSTATE INDUSTRIAL TRACT, UNIT 5

LEGEND

- CSW CONCRETE SIDEWALK
- CWCR CONCRETE WHEELCHAIR RAMP
- E/G EDGE OF GRAVEL
- EA EDGE OF ASPHALT
- FH FIRE HYDRANT
- FL FLOWLINE
- GPM GAS PAINT MARK
- GR GRAVEL
- INV INVERT
- MLP METAL LIGHT POLE
- MP METAL POLE
- MS/EM METAL SIGN WITH ELECTRIC METER
- NG NATURAL GROUND
- OHC(1) OVERHEAD COMMUNICATIONS (NO. OF LINES)
- OHC(2) OVERHEAD ELECTRIC (NO. OF LINES)
- RCP REINFORCED CONCRETE PIPE
- SAS MH SANITARY SEWER MANHOLE
- SDM STORM DRAIN MANHOLE
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- TA TOP OF ASPHALT
- TC TOP OF CURB
- TOC TOP OF CONCRETE
- TC TOP OF GRATE
- TR TELEPHONE RISER
- TW TOP OF WALL
- W/ WITH
- WLHB WATER LINE HOT BOX
- WM WATER METER
- WPP WOOD POWER POLE
- WPP/CD WOOD POWER POLE WITH CONDUIT
- WS WOOD SIGN
- WSP/CD WOOD SERVICE POLE WITH CONDUIT
- WVB WATER VALVE BOX
- + 65.2 EXISTING SPOT ELEVATION
- 65.3 PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED DIRECTION OF FLOW
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED WALL WITH FENCE

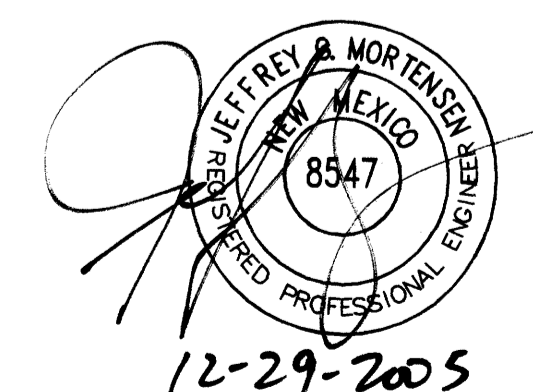
CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS. IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
7. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
8. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

EROSION CONTROL MEASURES:

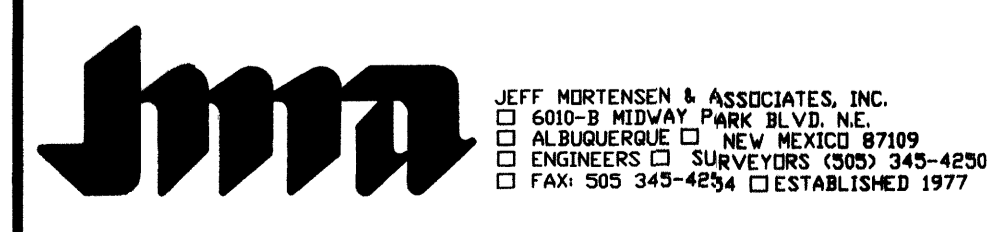
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

APPROVALS	NAME	DATE
HYDROLOGY		
SIDEWALK INSPECTOR		
STORM DRAIN MAINTENANCE		



12-29-2005

File Path: \\JMA\WORK\8547\12-28-2005
File Name: 501B3GP.DWG
Plot Date: 12-28-2005
Plot Time: 12:54:00 pm



JEFF MORTENSON & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4200
FAX: 505 345-4254 ESTABLISHED 1977

GRADING PLAN
HEALTH SOUTH SATELLITE PARKING LOT

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
J.G.M.				2005.018.3
DRAWN BY				DATE
S.G.H.				12-2005
APPROVED BY				SHEET
J.G.M.				4 OF 8

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE INDUSTRIAL PARK AREA DIRECTLY EAST OF THE HEALTHSOUTH REHAB CENTER, REPRESENTS DEVELOPMENT OF AN EXISTING UNDEVELOPED AREA. AT PRESENT, THE SITE IS A DIRT AND NATURALLY DEVELOPED LOT USED FOR EMPLOYEE PARKING. IT IS PROPOSED TO CONSTRUCT A GATED, PAVED PARKING LOT FOR THE EMPLOYEES OF HEALTHSOUTH. THE DRAINAGE CONCEPT FOR THIS SITE WILL BE TO HAVE FREE DISCHARGE FROM THE SITE INTO THE ADJACENT STREET.

THIS SUBMITTAL IS MADE IN SUPPORT OF SITE PLAN APPROVAL FOR GRADING AND BUILDING PERMIT.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED JUST WEST OF THE HEALTHSOUTH REHABILITATION CENTER, ALONG ELLISON STREET NE. THE CURRENT LEGAL DESCRIPTION IS TRACT 4B-1, INTERSTATE INDUSTRIAL TRACT, UNIT 5, AS INDICATED BY PANEL 137 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, NOVEMBER 19, 2003. THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. A DESIGNATED FLOOD HAZARD ZONE IS IDENTIFIED TO THE SOUTH OF THE SITE. THIS FLOOD HAZARD ZONE IS THE ARROYO DEL PINO, APPROXIMATELY HALF THE EXISTING SITE DRAINS SOUTHWEST INTO THE ARROYO DEL PINO, THE OTHER HALF FLOW NORTH TO ELLISON STREET, THEN WEST TO JEFFERSON ST NE, AND SOUTH ALONG JEFFERSON ST INTO THE ARROYO DEL PINO. THE CONSTRUCTION PROPOSED FOR THIS SITE WILL NOT ADVERSELY IMPACT DOWNSTREAM FLOW OR DOWNSTREAM PROPERTIES AND WILL NOT ALTER THE EXISTING DRAINAGE PATTERNS.

III. BACKGROUND DOCUMENTS & RESEARCH

THE FOLLOWING ITEMS WERE REVIEWED IN THE PREPARATION OF THIS SUBMITTAL:

- A. A TOPOGRAPHIC SURVEY OF THE EXISTING SITE PREPARED BY JMA, INC. DATED 10/2005. THE SUBJECT SURVEY SHOWS THE EXISTING IMPROVEMENTS. THE BOUNDARY DATA SHOWN IS FROM THE A.L.T.A./A.C.S.M SURVEY PERFORMED BY JMA FOR THE ADJACENT PROPERTY (TRACT 4B-2-A, INTERSTATE INDUSTRIAL TRACT, UNIT 5) IN JUNE, 1997 AND BASED UPON THE PLAT OF RECORD.

IV. EXISTING CONDITIONS

AT PRESENT, THE SITE IS LARGELY UNDEVELOPED. EXISTING CONDITIONS ARE ILLUSTRATED BY THE GRADING PLAN. THE NORTHWEST PORTION OF THE SITE IS CURRENTLY USED AS A DIRT PARKING AREA FOR HEALTHSOUTH EMPLOYEES ONLY. THE WEST EDGE OF THE SITE IS BORDERED BY A CONCRETE WALL AND CHAINLINK FENCE SEPARATING IN FROM THE HEALTHSOUTH REHAB CENTER. THIS WALL BLOCKS ONSITE FLOWS FROM FLOWING INTO THE REHAB CENTER AND DIRECTS THE RUNOFF NORTH OR SOUTH. A PAVED ROAD TRAVERSES THE ENTIRE EAST EDGE OF THE SITE, SEPARATING IT FROM THE UNIVERSITY VOLKSWAGEN BUSINESS TO THE EAST. THERE IS A CONCRETE DRIVEPAD FROM THIS PAVED ROAD THAT ALLOWS ACCESS TO THE EXISTING DIRT PARKING LOT. THE NORTHERN THIRD OF THE SITE DRAINS FROM EAST TO NORTHWEST, FLOWING INTO ELLISON STREET NE, WHERE THE RUNOFF FLOWS IN CURB AND GUTTER WEST TO JEFFERSON STREET NE, WHERE THE CITY RECENTLY CONSTRUCTED INTERSECTION IMPROVEMENTS THAT INCLUDE PUBLIC STORM DRAIN MODIFICATIONS. STREET RUNOFF IS COLLECTED IN INLETS AND TRANSFERRED SOUTH VIA NEWLY CONSTRUCTED AND UPSIZED STORM DRAINS TO THE ARROYO DEL PINO. THE CENTRAL AND SOUTHERN TWO-THIRDS OF THE SITE DRAINS FROM EAST TO SOUTHWEST AND DRAINS INTO AN EXISTING STORM INLET THAT DIRECTS THE RUNOFF VIA STORM DRAIN INTO THE ARROYO DEL PINO. OFFSITE FLOWS ARE NOT RECEIVED FROM THE ADJACENT PROPERTIES.

V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION CONSISTS OF REPLACING THE EXISTING DIRT PARKING AREA WITH AN ASPHALT PAVED PARKING LOT IN THE NORTHWEST CORNER OF THE SITE THAT WILL BE FENCED AND GATED TO ALLOW ONLY EMPLOYEES OF HEALTHSOUTH REHAB CENTER TO ENTER. AN UNCURBED, ASPHALT PAVED DRIVEWAY WILL BE BUILT CONNECTING TO THE EXISTING CONCRETE DRIVE PAD ALONG THE EXISTING ROAD THAT TRAVERSES THE EASTERN EDGE OF THE SITE. THIS PARKING LOT WILL INCLUDE A PROPOSED SIDEWALK TO ACCESS THE EXISTING SIDEWALK ALONG ELLISON STREET. LANDSCAPING WILL BE REQUIRED AROUND THE EDGES OF THE NEW PARKING LOT. RUNOFF FROM THE NORTHERN THIRD OF THE SITE THAT IS CAPTURED WITHIN THE NEW LOT WILL BE DRAINED TO THE NORTHWEST CORNER WHERE A CONCRETE RUNDOWN WITH SIDEWALK CULVERTS WILL DIRECT THE FLOWS NORTH TO ELLISON STREET. FROM THIS POINT, THE DRAINAGE PATH WILL BE THE SAME AS DETAILED IN THE EXISTING CONDITIONS. RUNOFF IN THE CENTRAL AND SOUTHERN TWO-THIRDS OF THE SITE WILL NOT BE AFFECTED BY THE DEVELOPMENT. THE VOLUME AND PEAK DISCHARGE RATE FOR THE SITE WILL INCREASE SLIGHTLY, BUT THESE PROPOSED DEVELOPMENTS WILL NOT ALTER THE EXISTING AND/OR APPROVED DRAINAGE PATTERN OF THE SITE.

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 2.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 3.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED IMPROVEMENTS WILL CONSIST OF DEVELOPMENT OF A SMALL AREA OF THE TOTAL SITE. THIS DEVELOPMENT WILL CREATE A VERY SMALL INCREASE IN THE VOLUME AND PEAK DISCHARGE OF THE SITE, HOWEVER EXISTING AND/OR APPROVED DRAINAGE PATTERNS WILL NOT BE ALTERED, AND THE PROPOSED GRADING OF THE PARKING LOT WILL NOT HAVE AN ADVERSE IMPACT ON DOWNSTREAM CONDITIONS OR PROPERTIES.

VII. CALCULATIONS

CALCULATIONS ANALYZING THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THIS PROJECT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THE RESULTS PRESENTED HEREON, THERE WILL BE A VERY SMALL INCREASE IN PEAK DISCHARGE AND RUNOFF VOLUME ASSOCIATED WITH THE PROPOSED DEVELOPMENT. THE CAPACITY OF THE NEW CONCRETE RUNDOWN WAS DETERMINED USING MANNING'S EQUATION.

VIII. CONCLUSION

THE FREE DISCHARGE OF RUNOFF FROM THIS PROJECT SITE TO ELLISON STREET IS APPROPRIATE DUE TO THE FOLLOWING FACTORS:

1. MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA
3. VERY SMALL INCREASE IN RUNOFF VOLUME AND PEAK DISCHARGE
4. NO ADVERSE IMPACT ON DOWNSTREAM CAPACITY OR DOWNSTREAM PROPERTIES
5. THE EXISTING AND APPROVED DRAINAGE PATTERNS (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED
6. PROXIMITY TO THE PINO ARROYO
7. RECENT STREET AND DRAINAGE IMPROVEMENTS AT THE INTERSECTION OF JEFFERSON AND ELLISON THAT DIVERT STREET RUNOFF SOUTH TO THE PINO ARROYO

CALCULATIONS

SITE CHARACTERISTICS

1. PRECIPITATION ZONE = 2
2. $P_{a,100} = P_{300} = 2.35$
3. TOTAL PROJECT AREA (A_t) = 193,920 SF / 4.45 AC
4. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
C	175,652 / 4.03	91
D	18,268 / 0.42	9

5. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	11,725 / 0.27	6
C	138,970 / 3.19	72
D	43,225 / 0.99	22

EXISTING CONDITION

A. ENTIRE SITE

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = ((1.13 \times 4.03) + (2.12 \times 0.42)) / 4.45 = 1.22$ IN
 $V_{100} = (E_w / 12) A_t = (1.22 / 12) 193,920 = 0.4538$ AC-FT 19,768 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$
 $Q_p = Q_{100} = (3.14 \times 4.03) + (4.70 \times 0.42) = 14.6$ CFS

B. PROJECT SITE

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = ((1.13 \times 1.30) + (2.12 \times 0.61)) / 1.90 = 1.13$ IN
 $V_{100} = (E_w / 12) A_t = (1.13 / 12) 1.90 = 0.172$ AC-FT 5,314 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$
 $Q_p = Q_{100} = (3.14 \times 1.30) = 4.1$ CFS

DEVELOPED CONDITION

A. ENTIRE SITE

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = ((0.78 \times 0.27) + (1.13 \times 3.19) + (2.12 \times 0.99)) / 4.45 = 1.33$ IN
 $V_{100} = (E_w / 12) A_t = (1.33 / 12) 193,920 = 0.4932$ AC-FT = 21,485 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$
 $Q_p = Q_{100} = (2.28 \times 0.27) + (3.14 \times 3.19) + (4.70 \times 0.99) = 15.3$ CFS

B. PROJECT SITE

1. VOLUME
 $E_w = (E_{AA} + E_{AB} + E_{AC} + E_{AD}) / A_t$
 $E_w = ((0.78 \times 0.27) + (1.13 \times 0.42) + (2.12 \times 0.61)) / 1.30 = 1.52$ IN
 $V_{100} = (E_w / 12) A_t = (1.52 / 12) 1.30 = 0.1643$ AC-FT = 7,155 CF

2. PEAK DISCHARGE
 $Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$
 $Q_p = Q_{100} = (2.28 \times 0.27) + (3.14 \times 0.42) + (4.70 \times 0.61) = 4.8$ CFS

CONCRETE RUNDOWN CALCULATIONS FOR PROJECT SITE DRAINAGE

- A. PEAK DISCHARGE CAPACITY OF RUNDOWN
 $Q_{cap} = 1.49 / n \cdot A R^{2/3} S^{1/2}$
 $n = 0.013$
 $A = 0.5 \text{ ft} \times 2 \text{ ft} = 1.0 \text{ ft}^2$
 $P = 0.5 \text{ ft} + 0.5 \text{ ft} + 2 \text{ ft} = 3.0 \text{ ft}$
 $R = A / P = 0.33 \text{ ft}$
 $S = 0.04 \text{ ft/ft}$
 $Q_{cap} = 11.00$ CFS
 $Q_{cap} = 11.00 \text{ CFS} > Q_{100, DEV. PROJ.} = 4.8 \text{ CFS}$

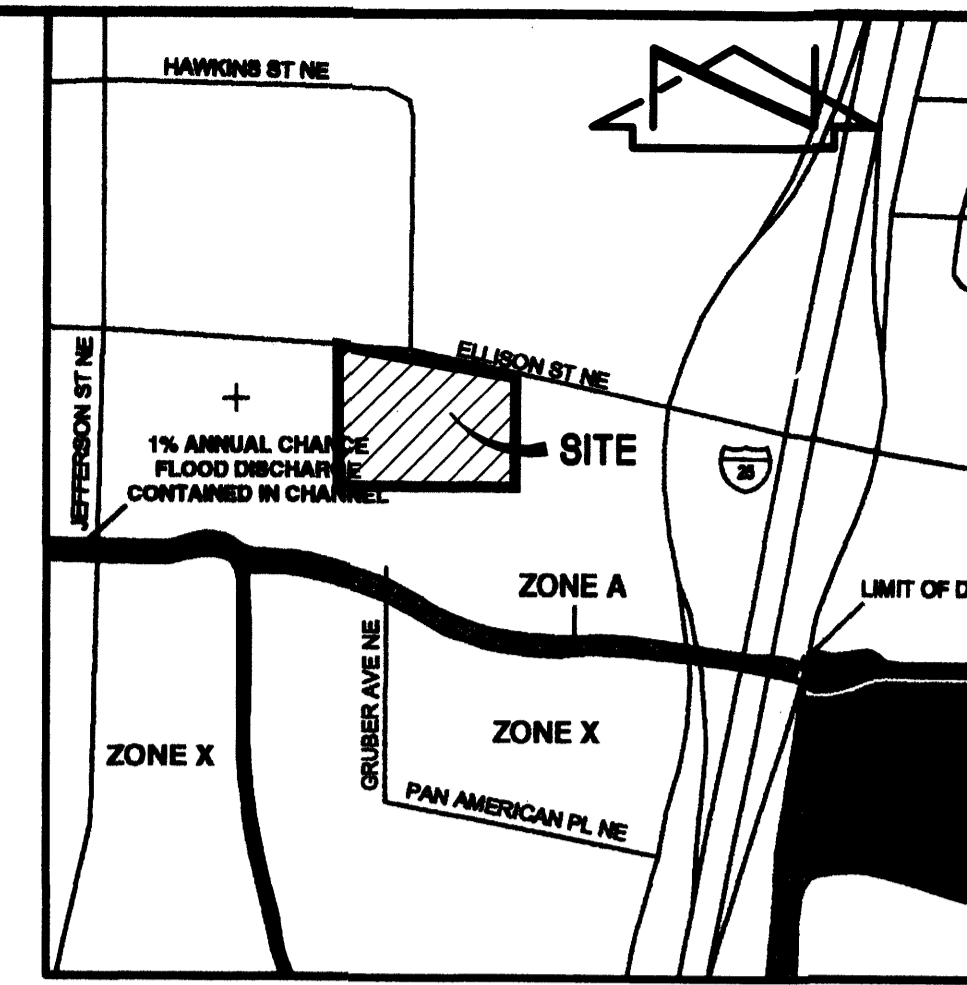
COMPARISON

A. ENTIRE SITE

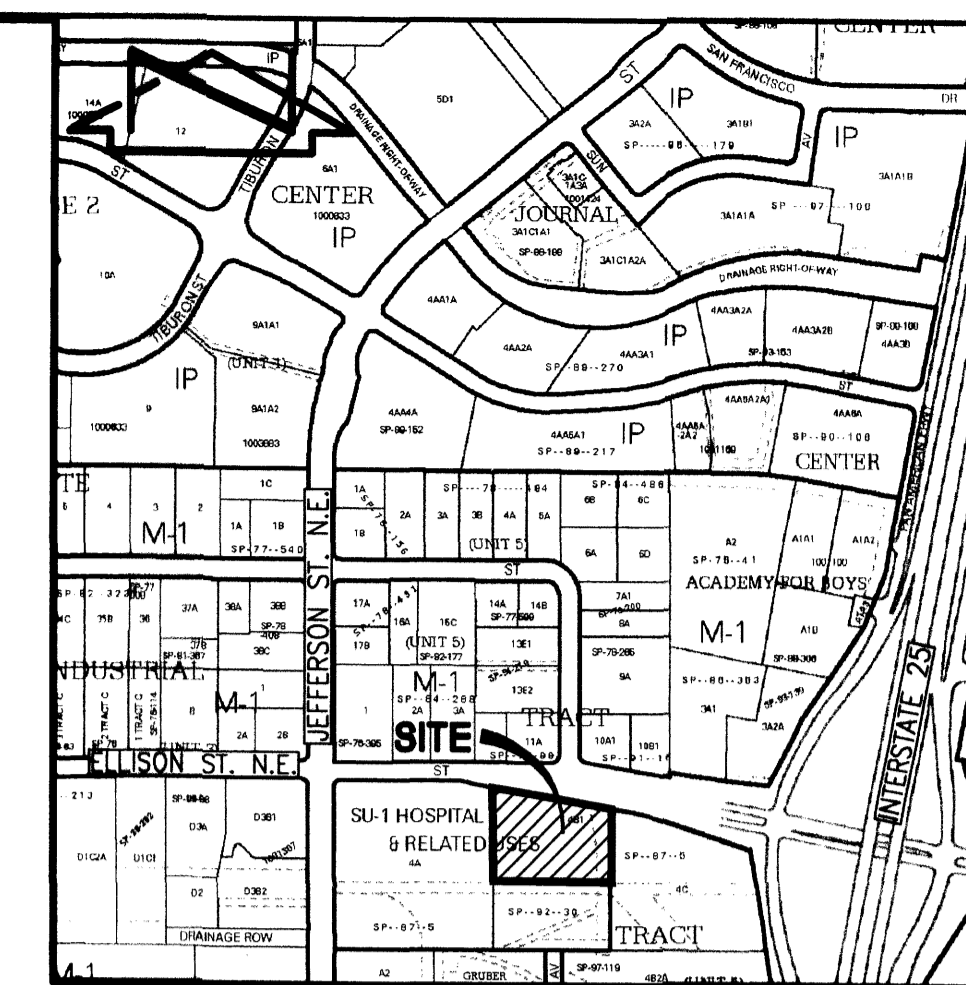
1. VOLUME
 $\Delta V_{100} = 21,485 - 19,768 = 1,717$ CF (INCREASE)
2. PEAK DISCHARGE
 $\Delta Q_{100} = 15.30 - 14.63 = 0.66$ CFS (INCREASE)

B. PROJECT SITE

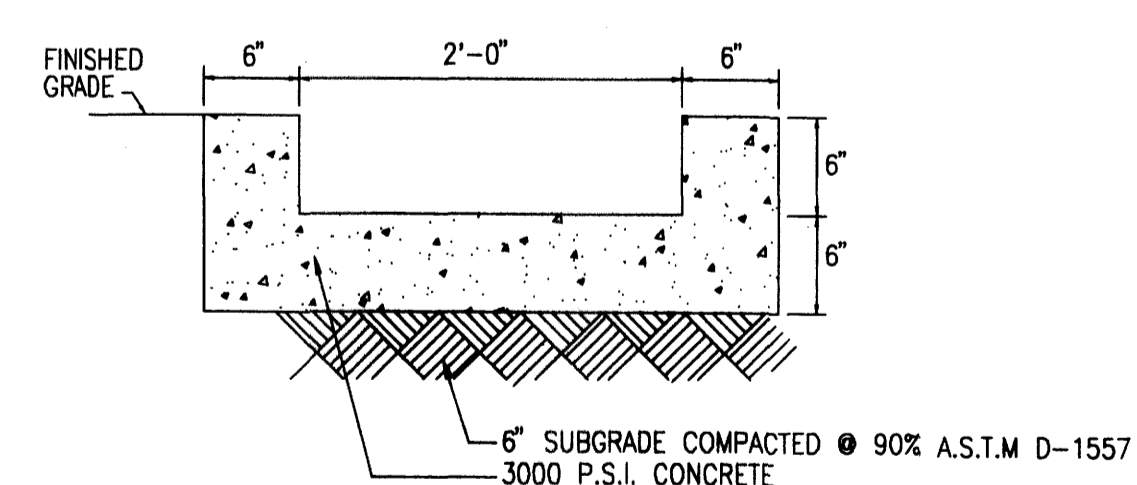
1. VOLUME
 $\Delta V_{100} = 7,155 - 5,314 = 1,841$ CF (INCREASE)
2. PEAK DISCHARGE
 $\Delta Q_{100} = 4.78 - 4.07 = 0.72$ CFS (INCREASE)



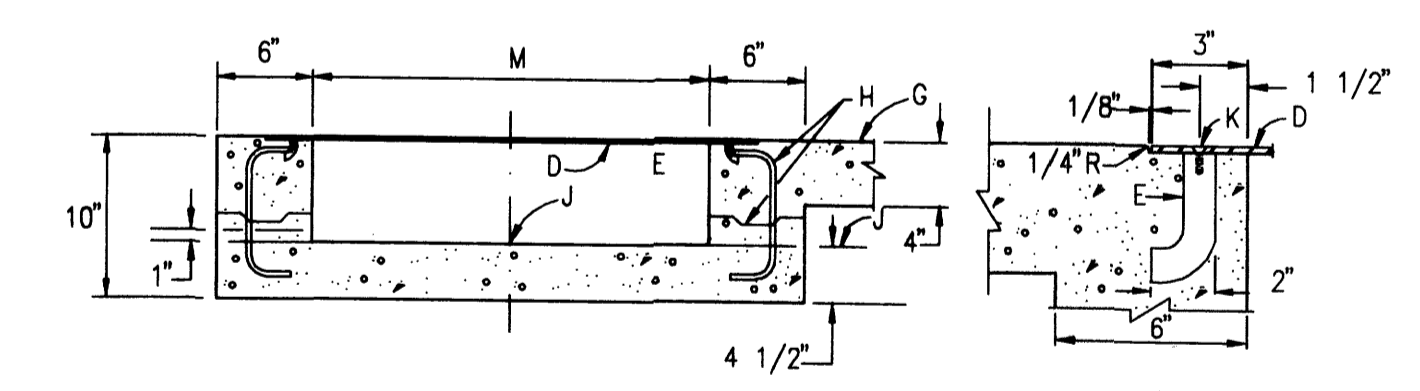
F.I.R.M. PANEL 137 OF 825
SCALE: 1" = 500'



VICINITY MAP D-17
SCALE: 1" = 750'



TYPICAL RUNDOWN SECTION
SCALE: 1" = 1'-0"



- CONSTRUCTION NOTES:
- C. 3" RADIUS, (TYPICAL).
 - D. 3/8" CHECKERED STEEL PLATE.
 - E. ROD ANCHOR 1" x 5"
 - G. SIDEWALK GRADE.
 - H. DOWEL AND JOINT, (OPTIONAL).
 - J. GUTTER FLOWLINE ELEV.
 - K. 3/8" x 1" F.H. CSJUNK STAINLESS STEEL MACHINE SCREW.
 - M. DRAIN WIDTH, 24" MAX. 12" MIN.

TYPICAL SIDEWALK CULVERT DETAILS
NOT TO SCALE

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Plot Time: 2:55 pm
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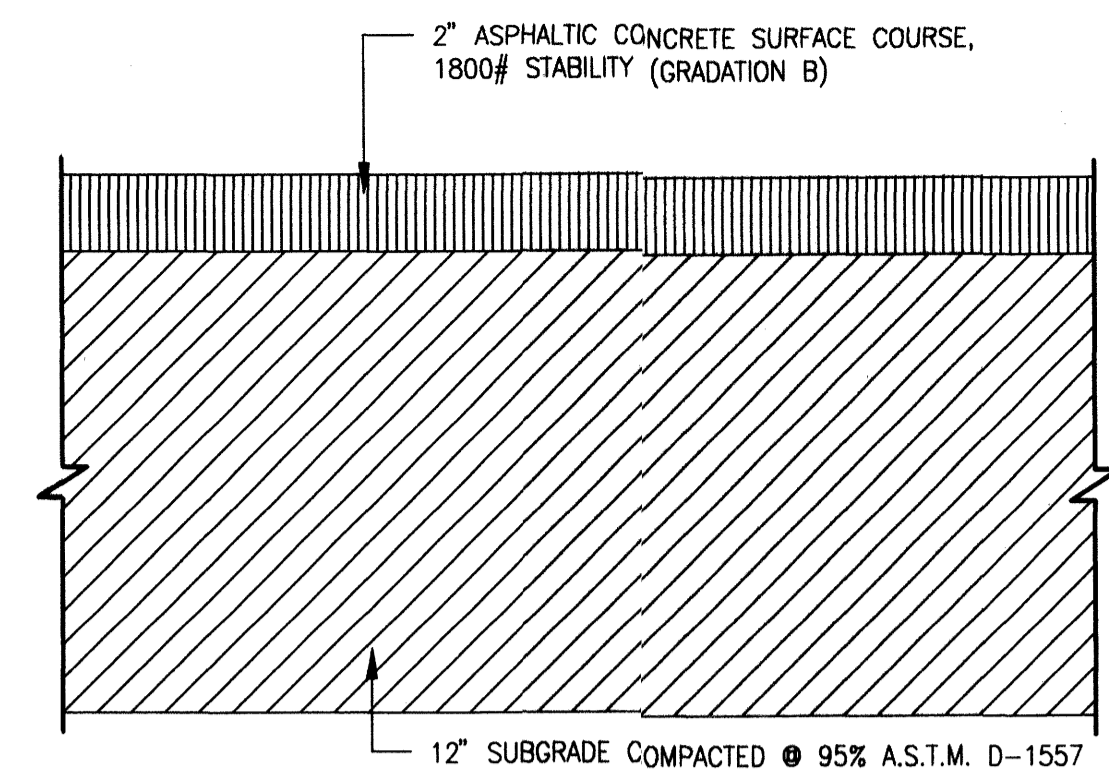


JEFF MORTENSEN & ASSOCIATES, INC.
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DRAINAGE PLAN, CALCULATIONS AND DRAINAGE SECTIONS
HEALTH SOUTH SATELLITE PARKING LOT

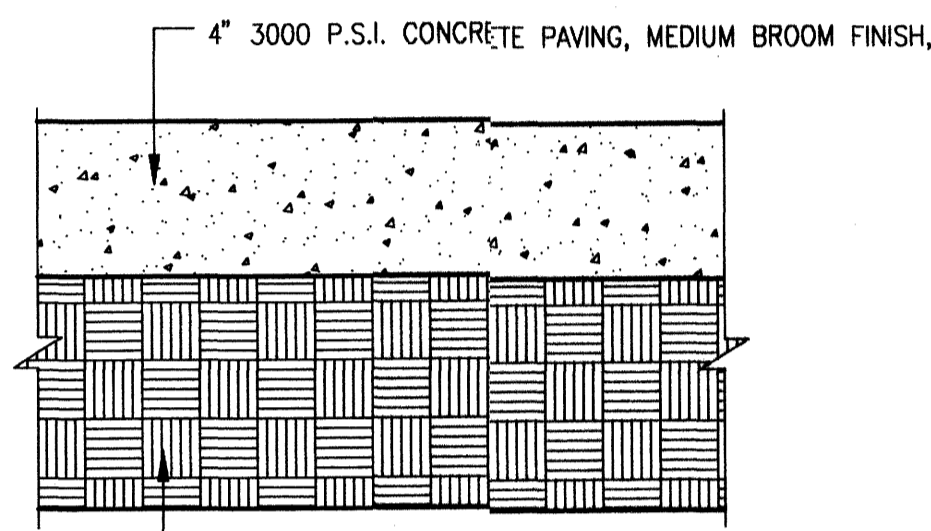
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J.D.S.					2005.018.3
DRAWN BY					DATE
R.R.W.					12-2005
APPROVED BY					SHEET
J.G.M.					5 OF 8





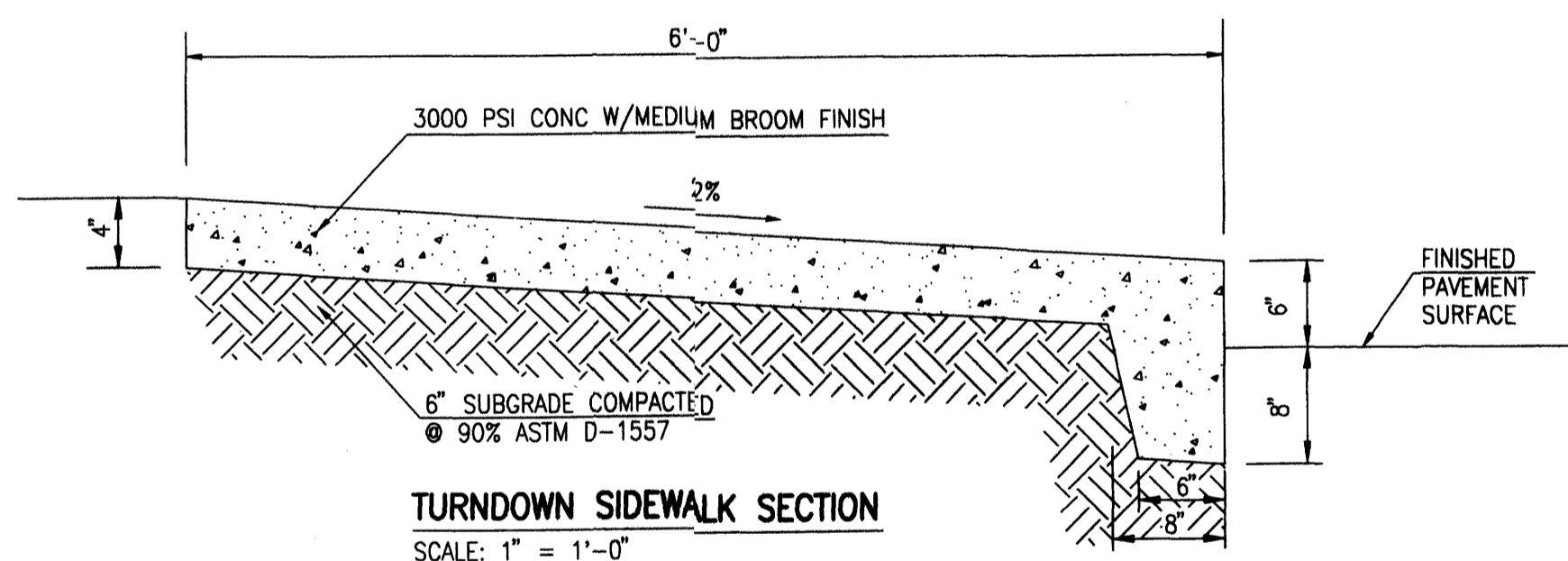
TYPICAL LIGHT DUTY PAVEMENT SECTION

SCALE: 1" = 5'



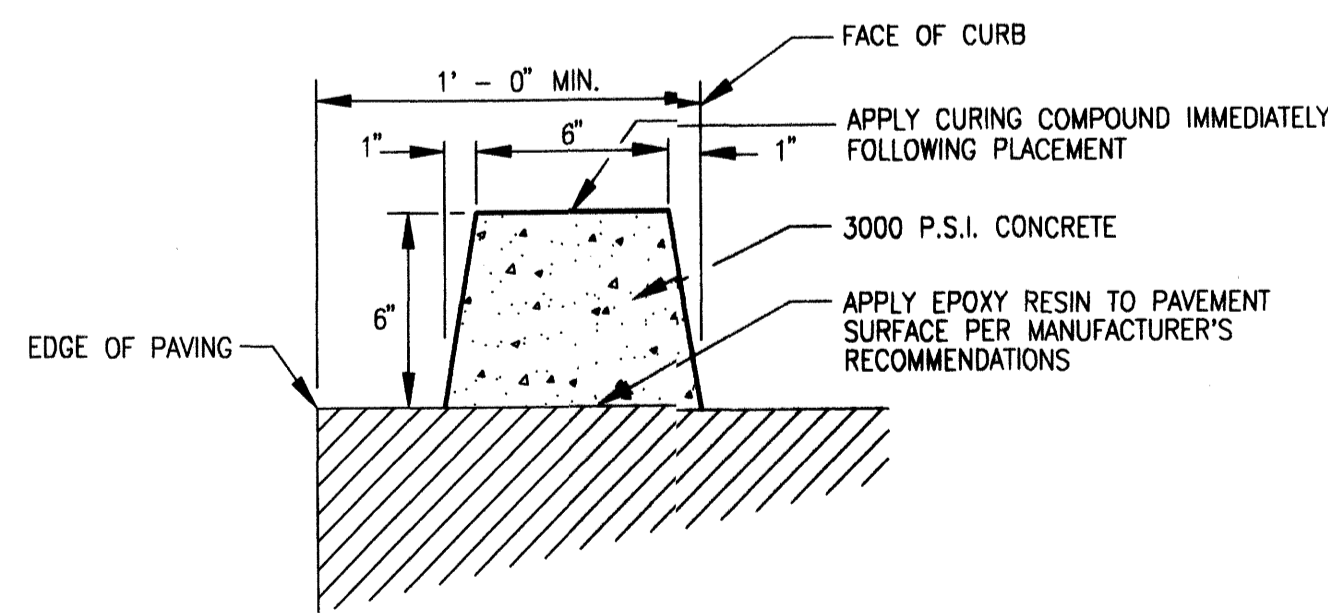
TYPICAL CONCRETE SIDEWALK SECTION

SCALE: 1" = 5'



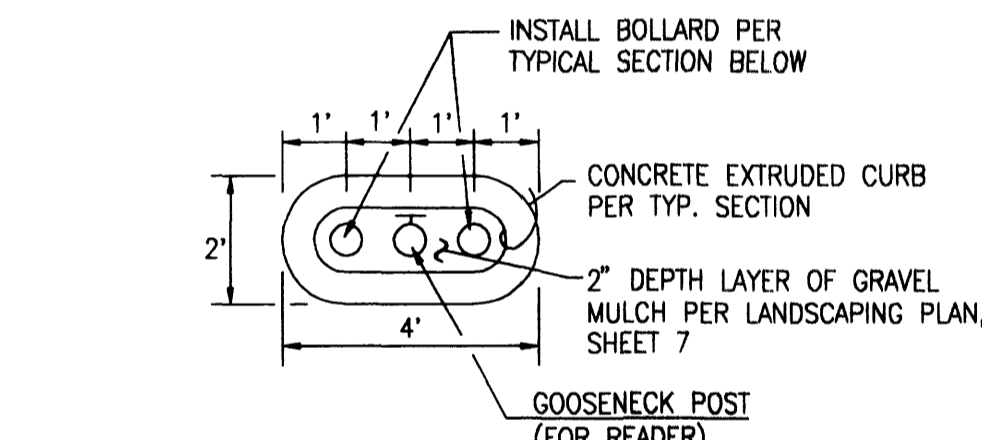
TURNDOWN SIDEWALK SECTION

SCALE: 1" = 1'-0"



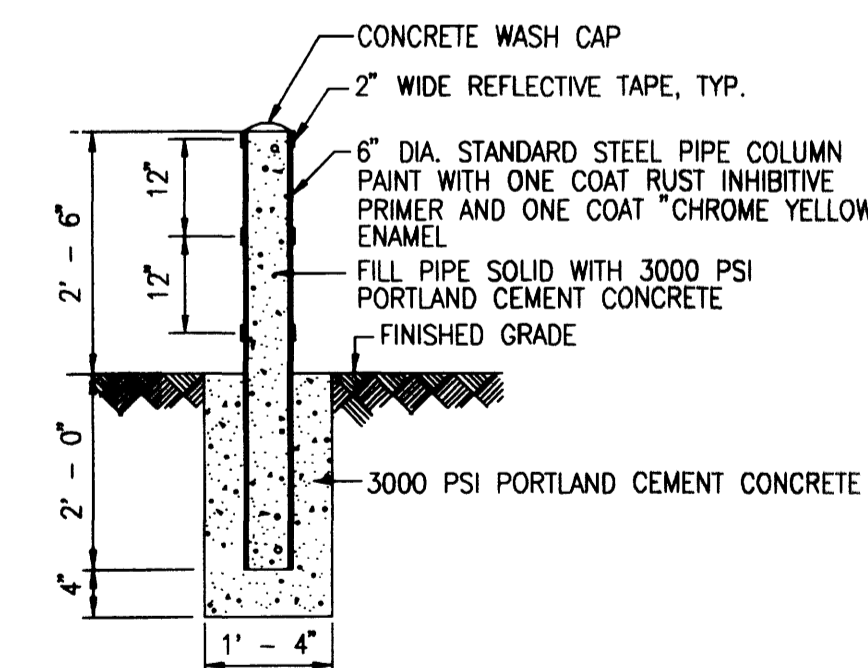
TYPICAL EXTRUDED CONCRETE CURB SECTION

SCALE: 1" = 6"



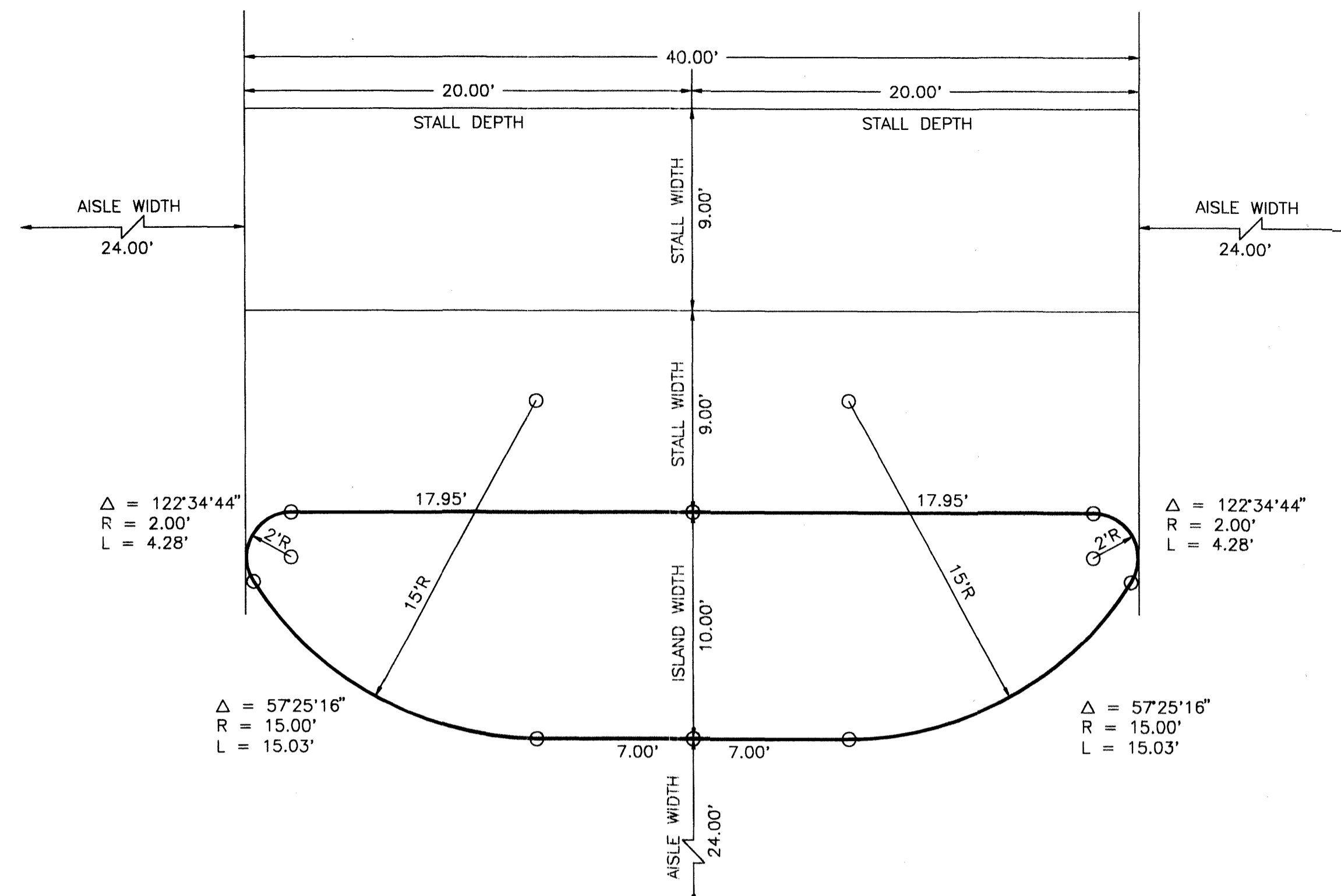
PROXIMITY READER ISLAND DETAIL

SCALE: 1" = 3'



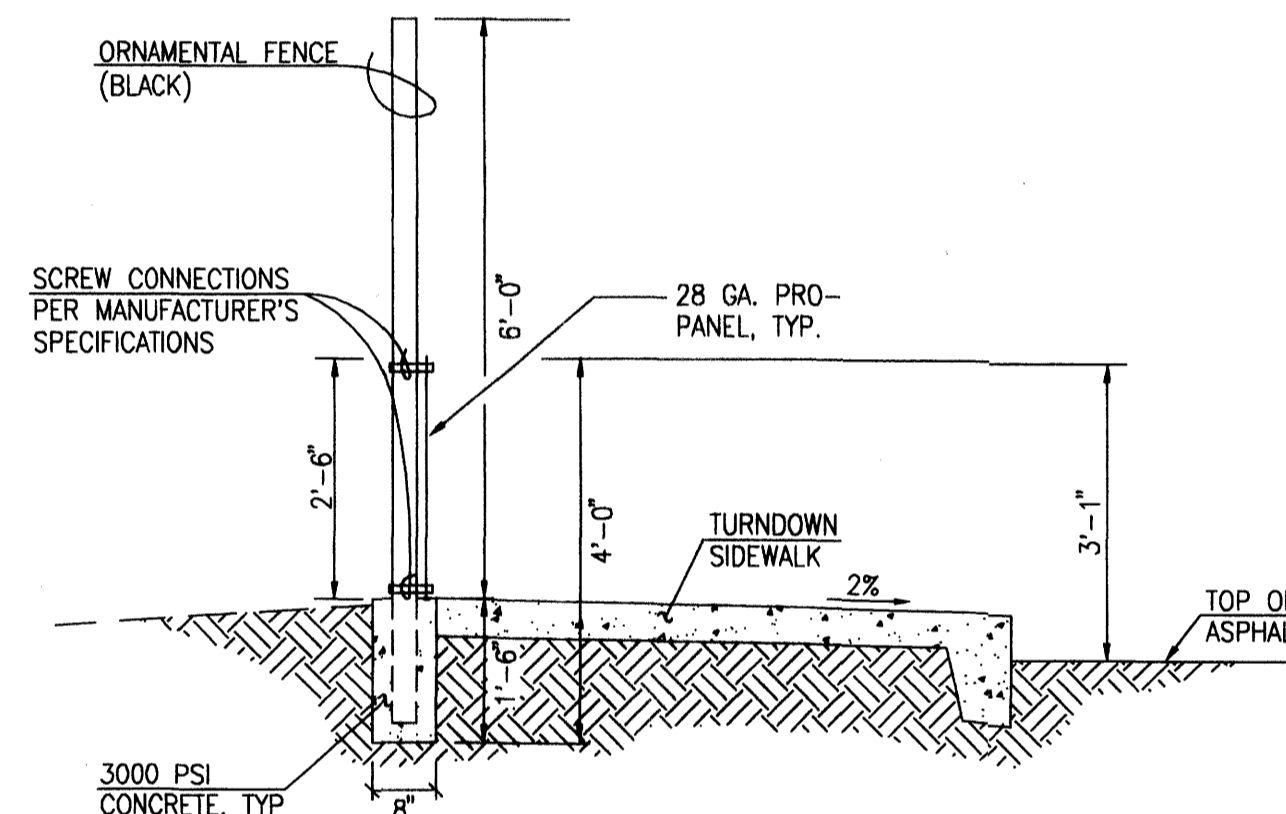
TYPICAL BOLLARD SECTION

SCALE: 1" = 2'-0"



TYPICAL ISLAND

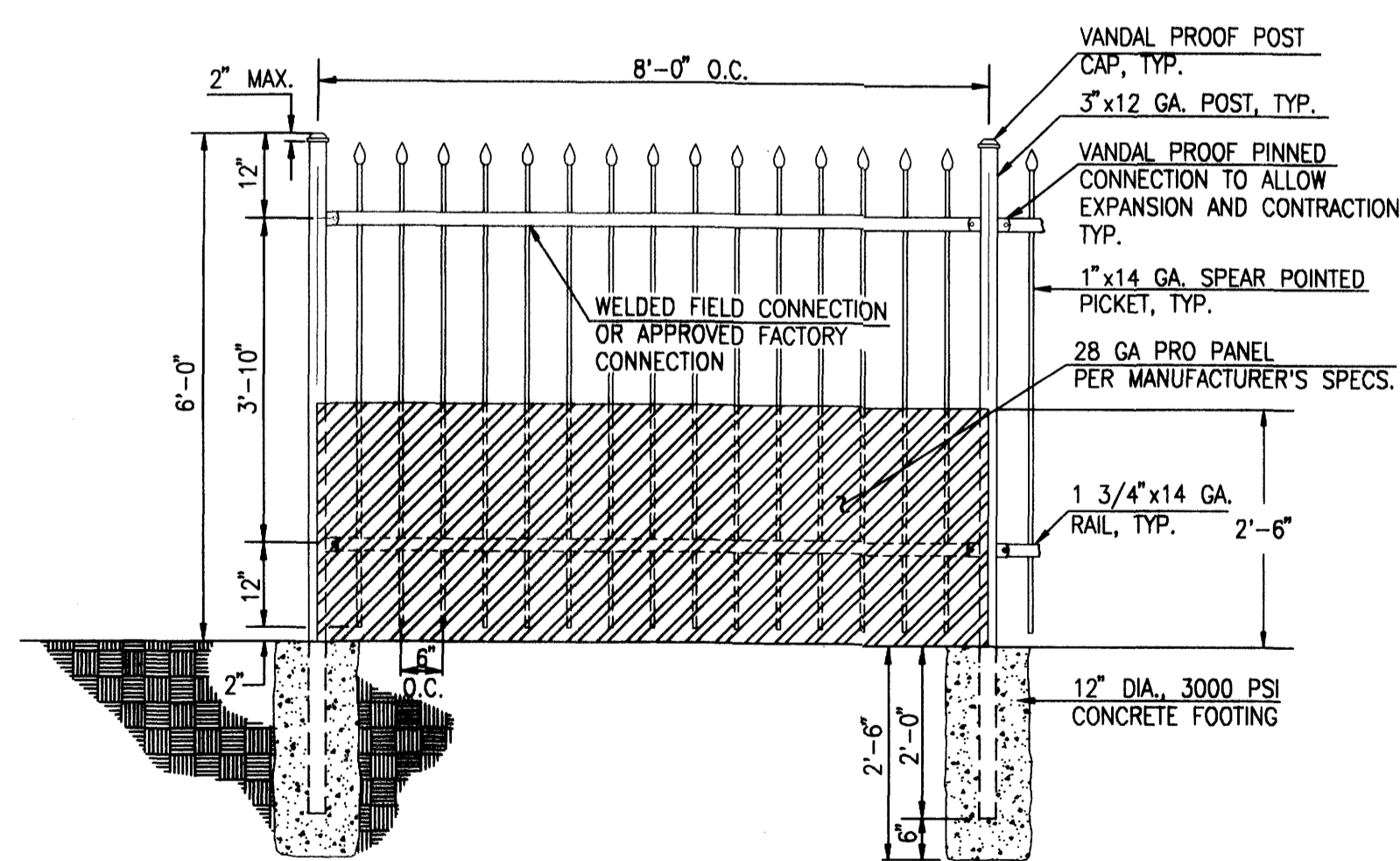
SCALE: 1" = 5'-0"



TYPICAL ORNAMENTAL FENCE (BLACK) W/PRO-PANEL WALL (BLACK) SECTION

(AEGIS II INDUSTRIAL -CLASSIC)

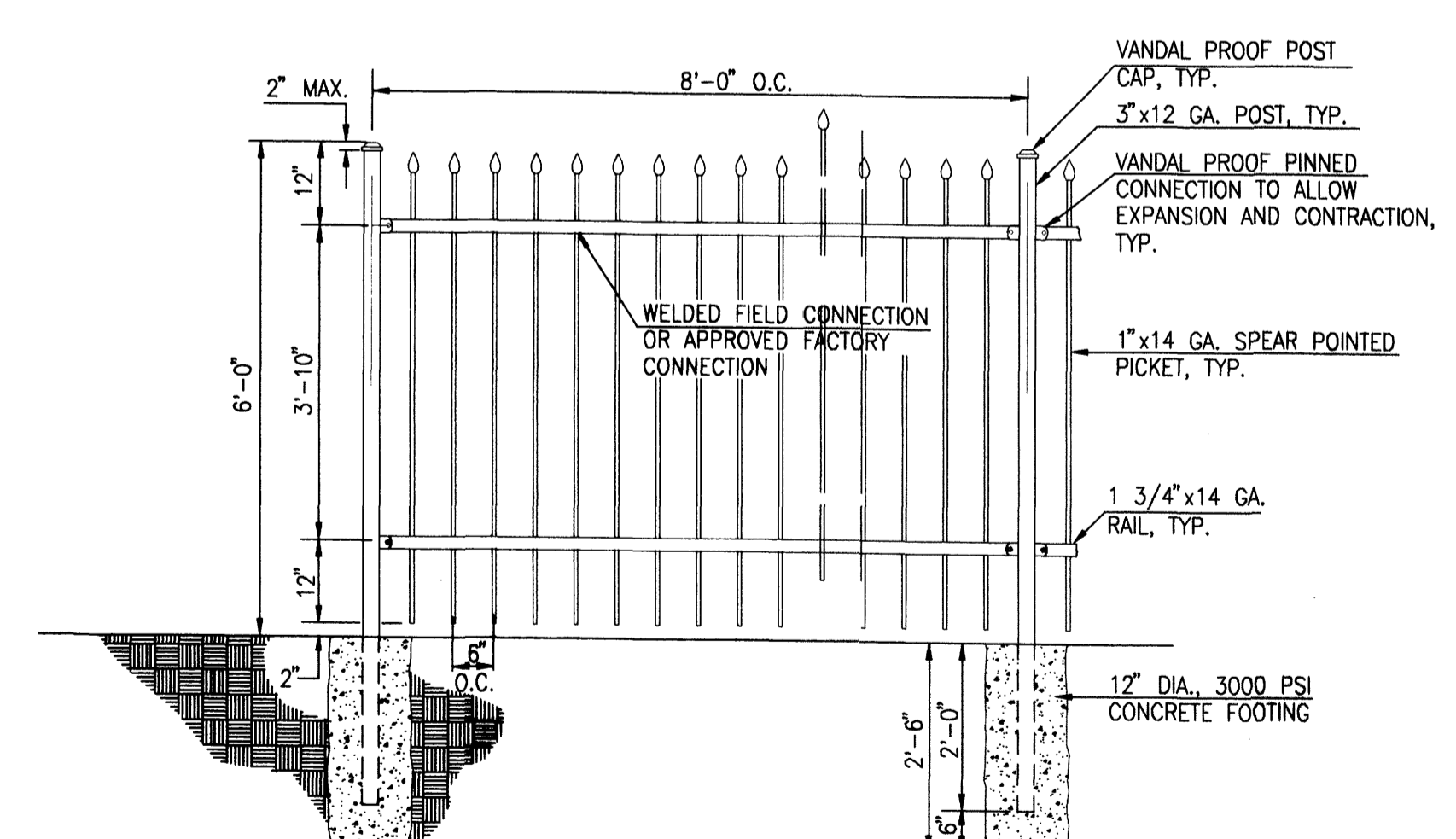
SCALE: 1" = 2'-0"



TYPICAL ORNAMENTAL FENCE (BLACK) W/WALL PANEL SECTION

(AEGIS II INDUSTRIAL -CLASSIC)

SCALE: 1" = 2'-0"



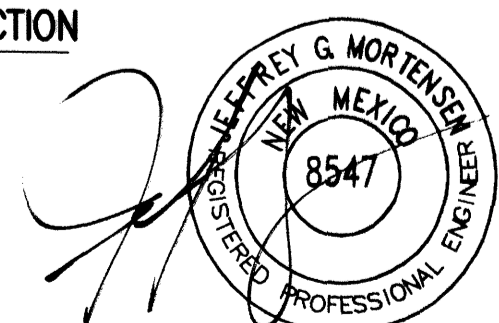
TYPICAL ORNAMENTAL FENCE (BLACK) SECTION

(AEGIS II INDUSTRIAL -CLASSIC)

SCALE: 1" = 2'-0"

GENERAL NOTES:

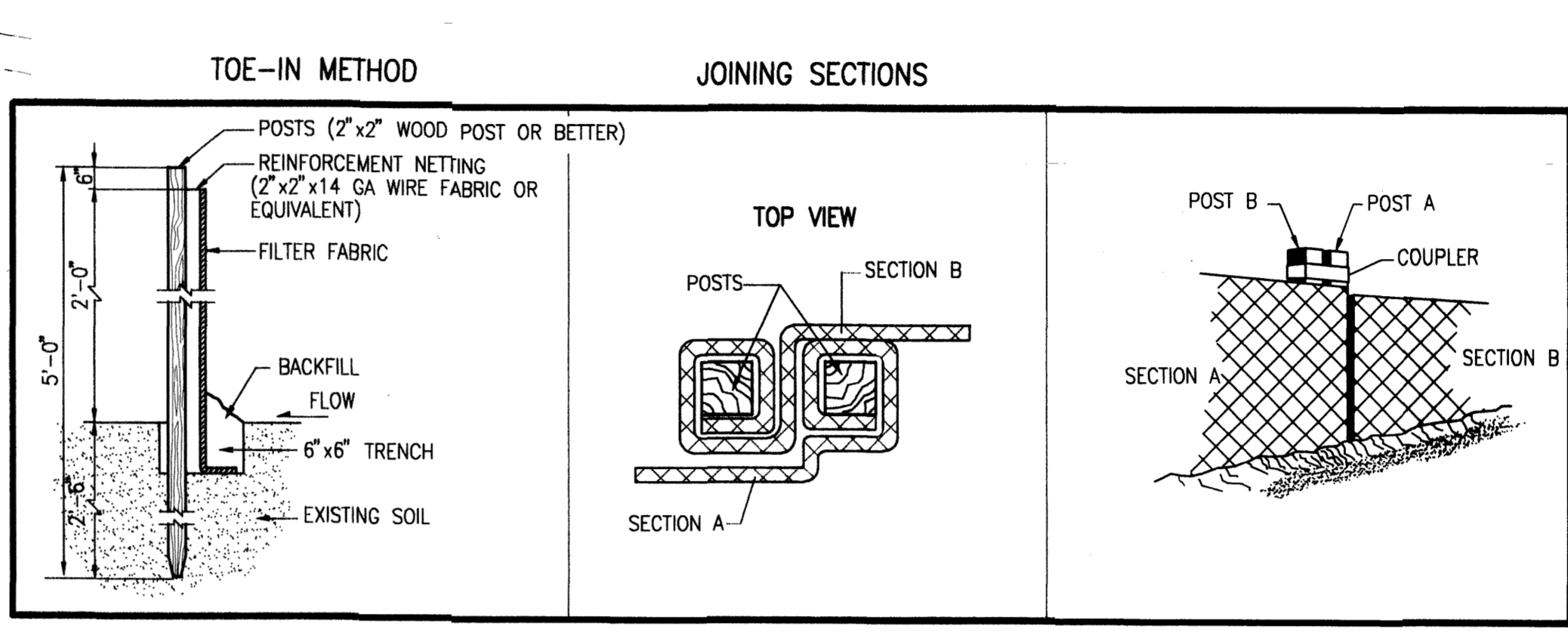
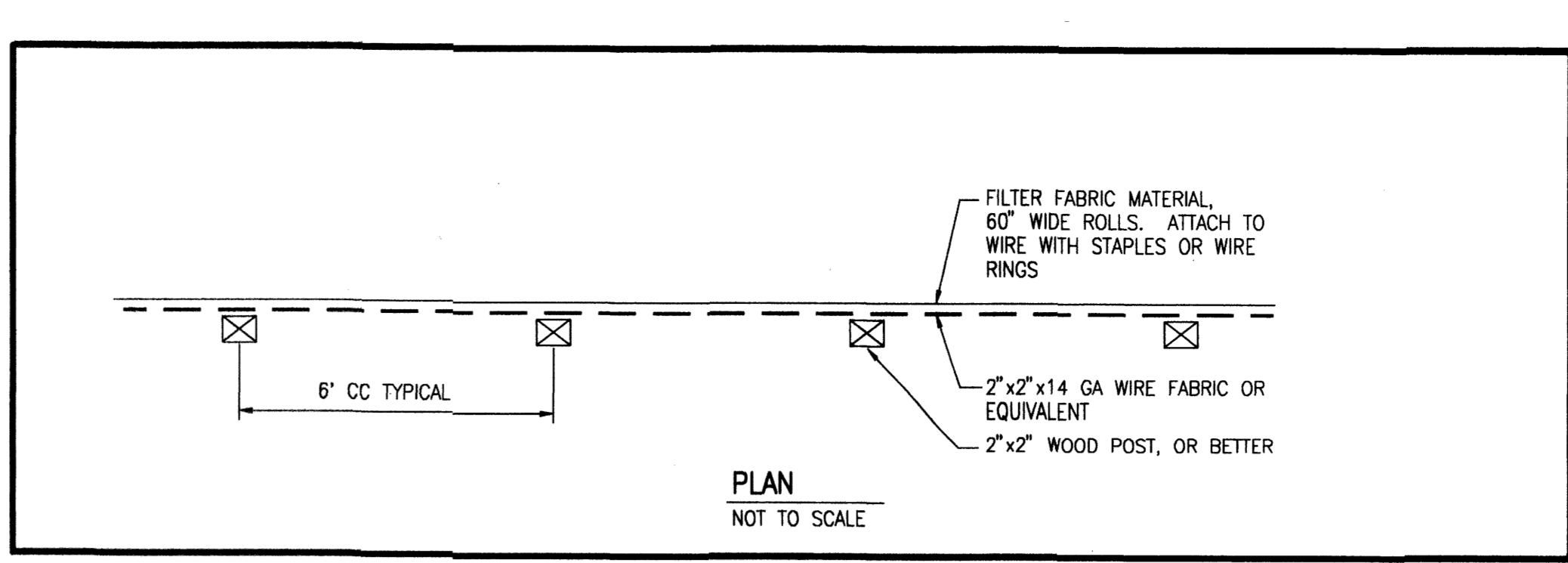
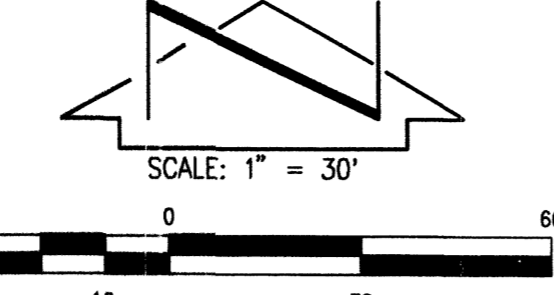
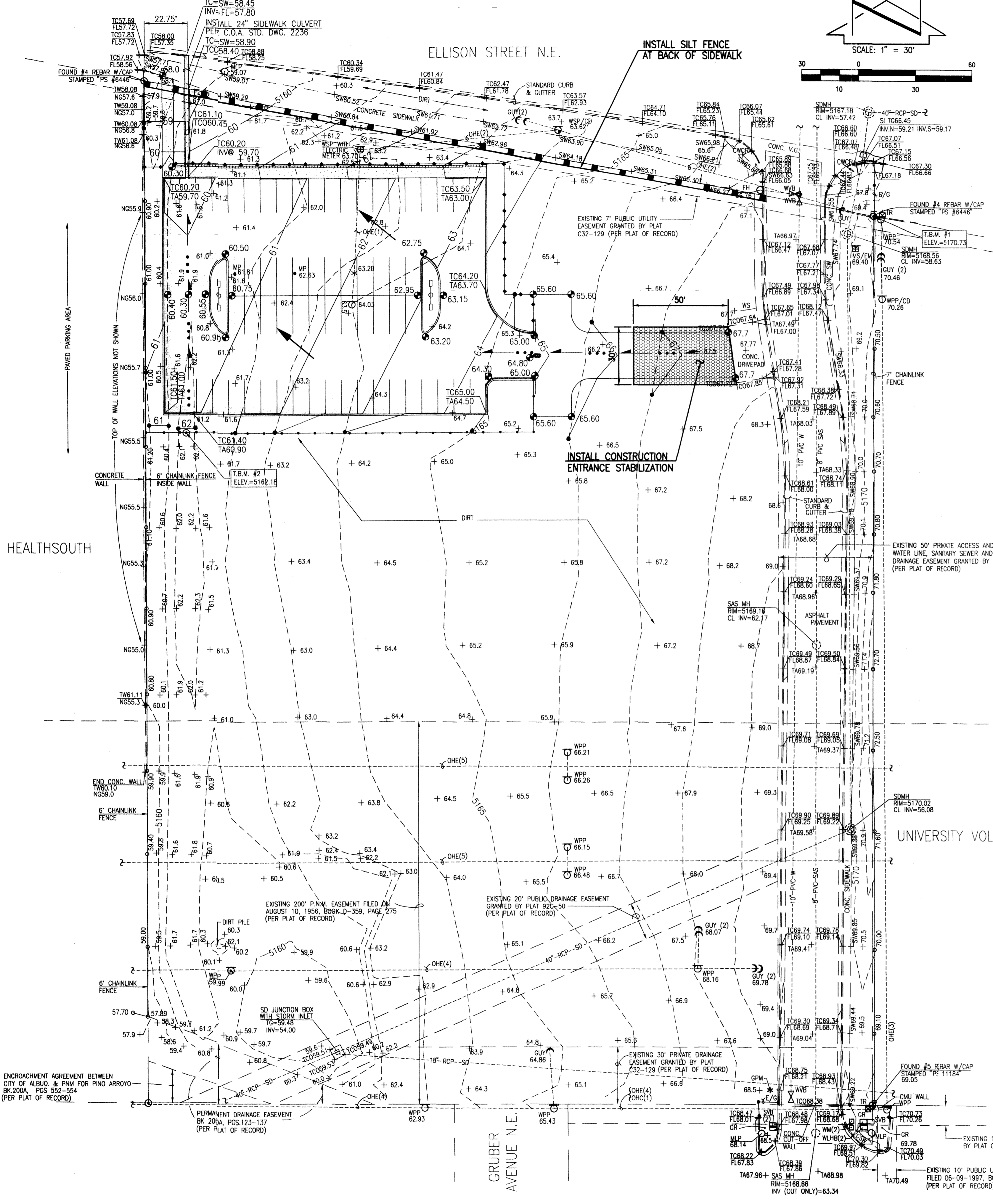
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1987, PUBLISHED BY THE NEW MEXICO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, (ALBUQUERQUE AREA) 1-800-321-ALERT (2537) (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
- ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
- IF THE REMOVAL OF EXISTING CURB AND CUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ABUTTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND CUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO STRIPING SO THAT LAYOUT CAN BE VERIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE, ON BEHALF OF THE OWNER AND OPERATORS, "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.



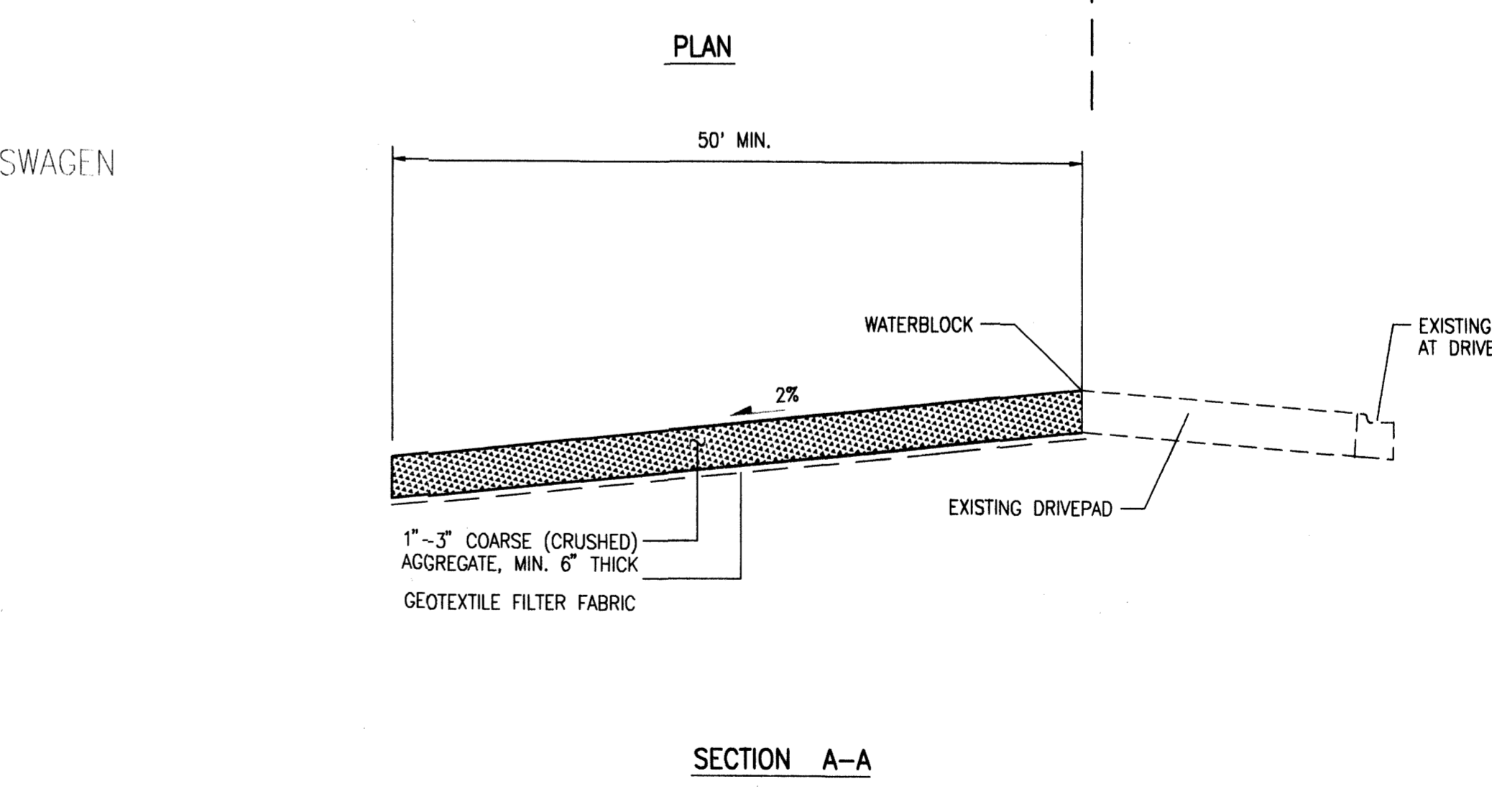
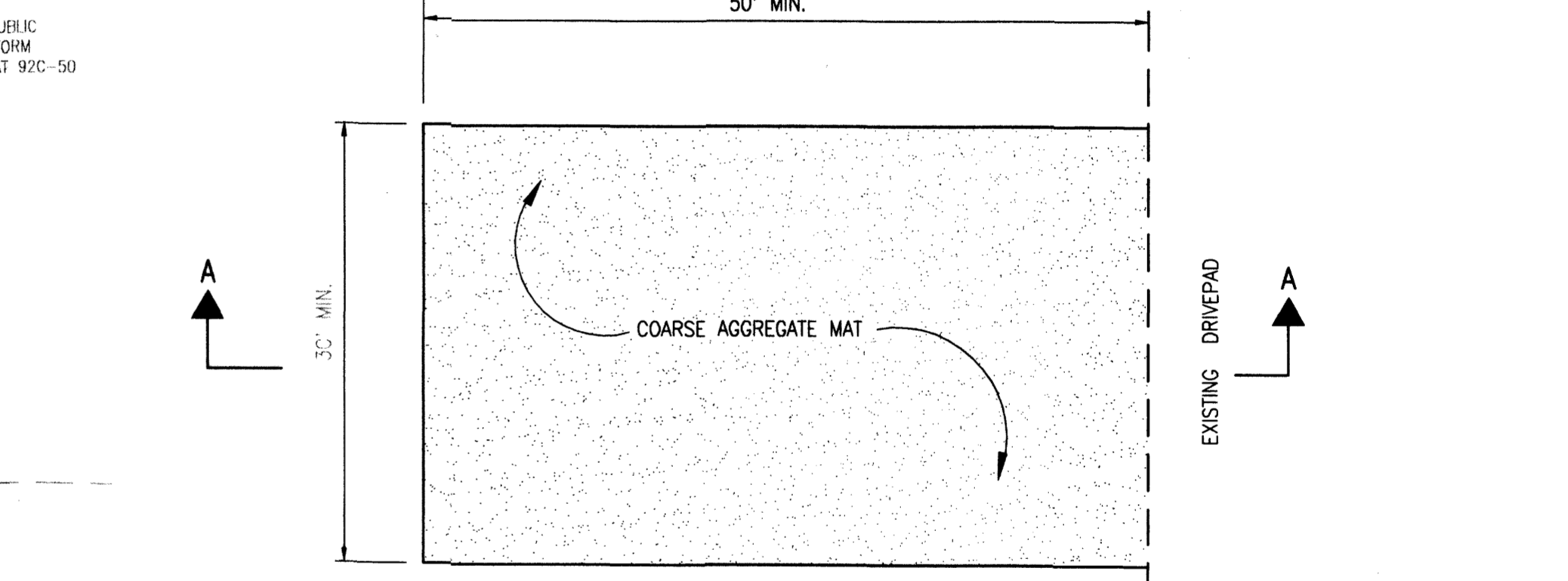
12-29-2005

DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	J.E.B. NO.
DRAWN BY	J.L.P.					2005.018.3
APPROVED BY	J.G.M.					DATE 12-2005
						SHEET 6 OF 8

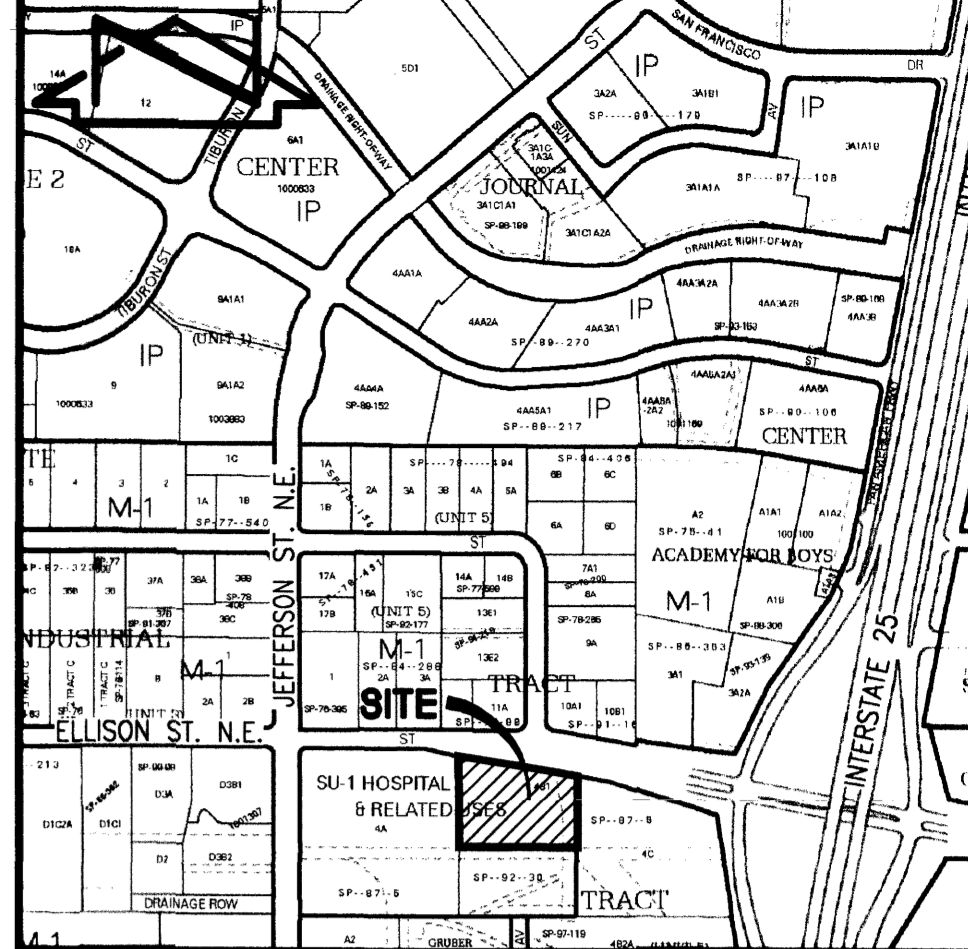
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 Plot Date: 12-29-2005
 Plot Time: 3:35 pm



PREFABRICATED SILT FENCE DETAILS
 NOT TO SCALE

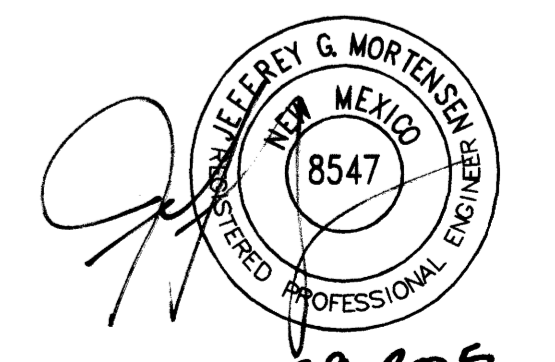


CONSTRUCTION ENTRANCE STABILIZATION
 SCALE: 1" = 10' HORIZ.
 1" = 2' VERT

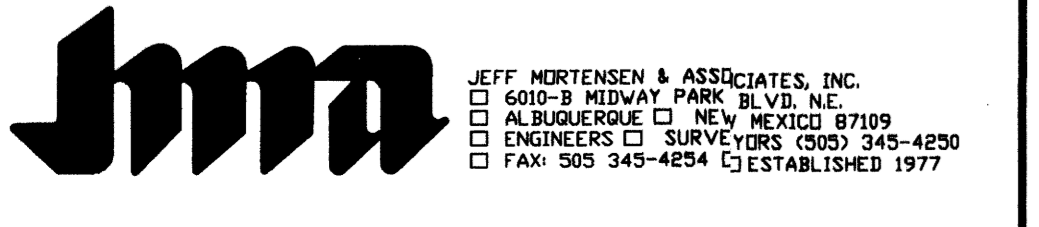


VICINITY MAP
 SCALE: 1" = 750'

- EROSION CONTROL NOTES:**
1. THIS PLAN ADDRESSES GENERAL AND SPECIFIC MEASURES FOR CONSTRUCTION PHASE EROSION AND DUST CONTROL. REFER TO THE GRADING AND DRAINAGE PLAN PREPARED BY JEFF MORTENSEN AND ASSOCIATES, INC. FOR GRADING NOTES AND INFORMATION.
 2. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 3. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 4. CONCRETE TRUCKS SHALL BE SENT BACK TO PLANT FOR WASHING. THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED ON THIS SITE.
 5. THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
 6. THE CONTRACTOR SHALL PROMPTLY REMOVE SEDIMENT ACCUMULATION FROM SILT FENCES WITHIN 48 HOURS OF A RAINFALL EVENT.
 7. THE CONTRACTOR SHALL PICK UP LITTER AND CONSTRUCTION DEBRIS ON A DAILY BASIS.
 8. OFFSITE MATERIAL STORAGE AREAS USED BY THIS PROJECT ARE CONSIDERED PART OF THE PROJECT AND ARE SUBJECT TO THE REQUIREMENTS OF THIS EROSION CONTROL PLAN.
 9. THE CONTRACTOR SHALL IMPLEMENT ON-SITE STRUCTURAL EROSION CONTROL PRACTICES AS REQUIRED TO COMPLY WITH THE EROSION CONTROL PLAN. THESE PRACTICES MAY INCLUDE BUT ARE NOT LIMITED TO: SILT FENCES, EARTHEN DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINS, PIPE SLOPE DRAINS, LEVEL SPREADERS, STORM RETAINING SYSTEM, GABIONS AND TEMPORARY OR PERMANENT SEDIMENT BASINS.
 10. THE CONTRACTOR SHALL MINIMIZE OFFSITE VEHICLE TRACKING OF SEDIMENT AND DUST GENERATION.
 11. UPON COMPLETION OF MASS GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT CONSTRUCTION, LANDSCAPING, VEGETATION AND/OR GRAVEL MULCH. SILT FENCING CAN BE REMOVED UPON SUCCESSFUL ESTABLISHMENT OF VEGETATION.
 12. REFER TO STORM WATER POLLUTION PREVENTION PLAN FOR PROJECT SPECIFIC PHASING AND INFORMATION. THIS PROJECT SHALL BE IMPLEMENTED IN PHASES TO MINIMIZE THE EXTENT AND DURATION OF SURFACE DISTURBANCE.
 13. FOR EXAMPLES OF ADDITIONAL BMP'S, REFER TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL - STORM WATER MANAGEMENT GUIDELINES FOR CONSTRUCTION AND INDUSTRIAL ACTIVITIES, NOVEMBER 2002.



12-29-2005



SEDIMENT CONTROL
HEALTH SOUTH SATELLITE PARKING LOT

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.G.M.					2005.018.3
DRAWN BY					DATE
J.G.M.					12-2005
APPROVED BY					SHEET
J.G.M.					8 OF 8

PARKING CALCULATIONS

THIS SITE IS ZONED SU-1 SPECIAL USE ZONE, FOR HOSPITAL AND RELATED HOSPITAL USES. THIS USE IS A REHABILITATION HOSPITAL. PARKING QUANTITY IS AS REQUIRED BY THE EPC PER ALBUQUERQUE ZONING CODE PART 3: GENERAL REGULATIONS 14-16-2-22.

THE FOLLOWING PARKING CALCULATIONS ARE BASED UPON CITY OF ALBUQUERQUE ZONING CODE PART 3: GENERAL REGULATIONS 14-16-3-1 OFF-STREET PARKING REGULATIONS.

PARKING SPACES FOR AUTOMOBILES AND LIGHT TRUCKS:

USE	REQUIREMENT	UNITS	SPACES
OFFICE	1 SPACE/200 S.F.	4,402 S.F.	22
HOSPITAL	1 SPACE/THO BEDS	81 BEDS	44
TOTAL SPACES:			66
10% REDUCTION FOR ADJACENCY TO PUBLIC TRANSPORTATION:			-6
TOTAL REQUIRED SPACES:			60
TOTAL EXISTING SPACES:			191
TOTAL PROPOSED SPACES:			191

ACCESSIBLE/DISABLED PARKING: 4 SPACES REQUIRED, 13 SPACES PROVIDED BASED UPON CITY OF ALBUQUERQUE ZONING CODE PART 3: SEC. 14-16-3-1 (F) (4) (a) AND AMERICANS WITH DISABILITIES ACT 6.1.4.1.2 (5) (d).

VAN ACCESSIBLE PARKING: 2 SPACES REQUIRED, 4 SPACES PROVIDED (1 SPACE FOR EVERY 6 REQUIRED ACCESSIBLE SPACES)

MOTORCYCLE PARKING: 3 SPACES REQUIRED, 4 SPACES PROVIDED (FOR 51-100 REQUIRED OFF-STREET PARKING SPACES)

BICYCLE SPACES: 3 SPACES REQUIRED, 4 SPACES PROVIDED (1 SPACE FOR EVERY 20 REQUIRED OFF-STREET PARKING SPACES)

SITE DEVELOPMENT PLAN for BUILDING PERMIT

HealthSouth Rehabilitation Hospital

Tracts 4A and 4B1, Interstate Industrial Tract, Unit 5

AREAS:

SITE AREA	(11.0703 AC+/-)	482,220 SF	EXISTING BUILDING AREA	61,734 GSF
DEVELOPED SITE AREA		327,000 SF	NEW BUILDING AREA	
LANDSCAPE AREA		58,350 SF	20-BED PATIENT WING ADDITION	10,705 GSF
			DAY ROOM AND HALL ADDITION	1,782 GSF
			THERAPY GYM EXPANSION	916 GSF
			PATIENT ENTRY EXPANSION	399 GSF
			MAINTENANCE ADDITION	517 GSF
			TOTAL NEW BUILDING AREA:	14,319 GSF
PUBLIC AREA REQUIRED	1,014 SF	MINIMUM	TOTAL EXISTING AND NEW BUILDING AREA:	76,053 GSF
PUBLIC AREA PROVIDED	5,404 SF		TOTAL EXISTING AND NEW BUILDING AREA:	76,053 GSF
EMPLOYEE AREA REQ'D	300 SF	MINIMUM	TOTAL BEDS (EXISTING+NEW):	87 BEDS
EMPLOYEE AREA PROVIDED	357 SF			

PROJECT DESCRIPTION:

- ① PHASE 1, HEALTHSOUTH FACILITY IMPROVEMENTS:
 - ADDITION OF A ONE-STORY, 20-BED PATIENT WING TO THE EXISTING 67-BED, ONE STORY BUILDING
 - DAY ROOM AND HALL ADDITION
 - NEW BULK STORAGE OXYGEN TANK AND ENCLOSURE
 - NEW GENERATOR
 - NEW PATIENT DROP-OFF
- ① PHASE 1, REQUIRED IMPROVEMENTS TO SITE:
 - ACCESSIBLE SIDEWALK TO BUS STOP
 - PARKING LOT CROSSWALKS AND RESTRIPING
 - LANDSCAPING IMPROVEMENTS
- ② PHASE 2: NEW THERAPY GYM EXPANSION AND PATIENT ENTRY EXPANSION UNDER EXISTING PORCH STRUCTURES AND RELATED SITE/LANDSCAPING IMPROVEMENTS
- ③ PHASE 3: NEW ONE-STORY MAINTENANCE ADDITION
- ④ PHASE 4: PARKING EXPANSION FOR 14 SPACES AND RELATED LANDSCAPING IMPROVEMENTS
- ⑤ PHASE 5: NEW PAVILLION STRUCTURE AT ENTRY DROP-OFF

DRAWING INDEX:

1. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
2. BUILDING AND STRUCTURE ELEVATIONS
3. BUILDING AND STRUCTURE ELEVATIONS
4. LANDSCAPING PLAN
5. LANDSCAPING DETAILS AREA 1
6. LANDSCAPING DETAILS AREA 2
7. LANDSCAPING DETAILS AREA 3
8. LANDSCAPING DETAILS AREA 4
9. PRELIMINARY GRADING PLAN
10. DRAINAGE PLAN AND CALCULATIONS
11. CONCEPTUAL UTILITY PLAN
12. PREVIOUSLY APPROVED SITE PLAN
13. PREVIOUSLY APPROVED LANDSCAPING PLAN
14. SITE PLAN PHOTOMETRICS
15. LIGHTING FIXTURES AND POLE BASE DETAILS

PROJECT NUMBER
081570.00

DRAWN BY
M. Bensky

DATE
November 6, 2008

REVISIONS
December 1, 2008
February 16, 2009

BOULDER ASSOCIATES
ARCHITECTS

Boulder Associates, Inc.
Architecture + Interior Design
1426 Pearl Street, Suite 300
Boulder, Colorado 80302
303.499.7795 F 303.499.7767
www.boulderassociates.com

PROJECT
HealthSouth Rehabilitation Hospital Addition / Remodel

7000 Jefferson Street
Albuquerque, New Mexico

PRELIMINARY DRAWING NOT FOR CONSTRUCTION

SHEET TITLE
Site Development Plan for Building Permit

SHEET NUMBER

1

PROJECT NUMBER: _____

Application Number: _____

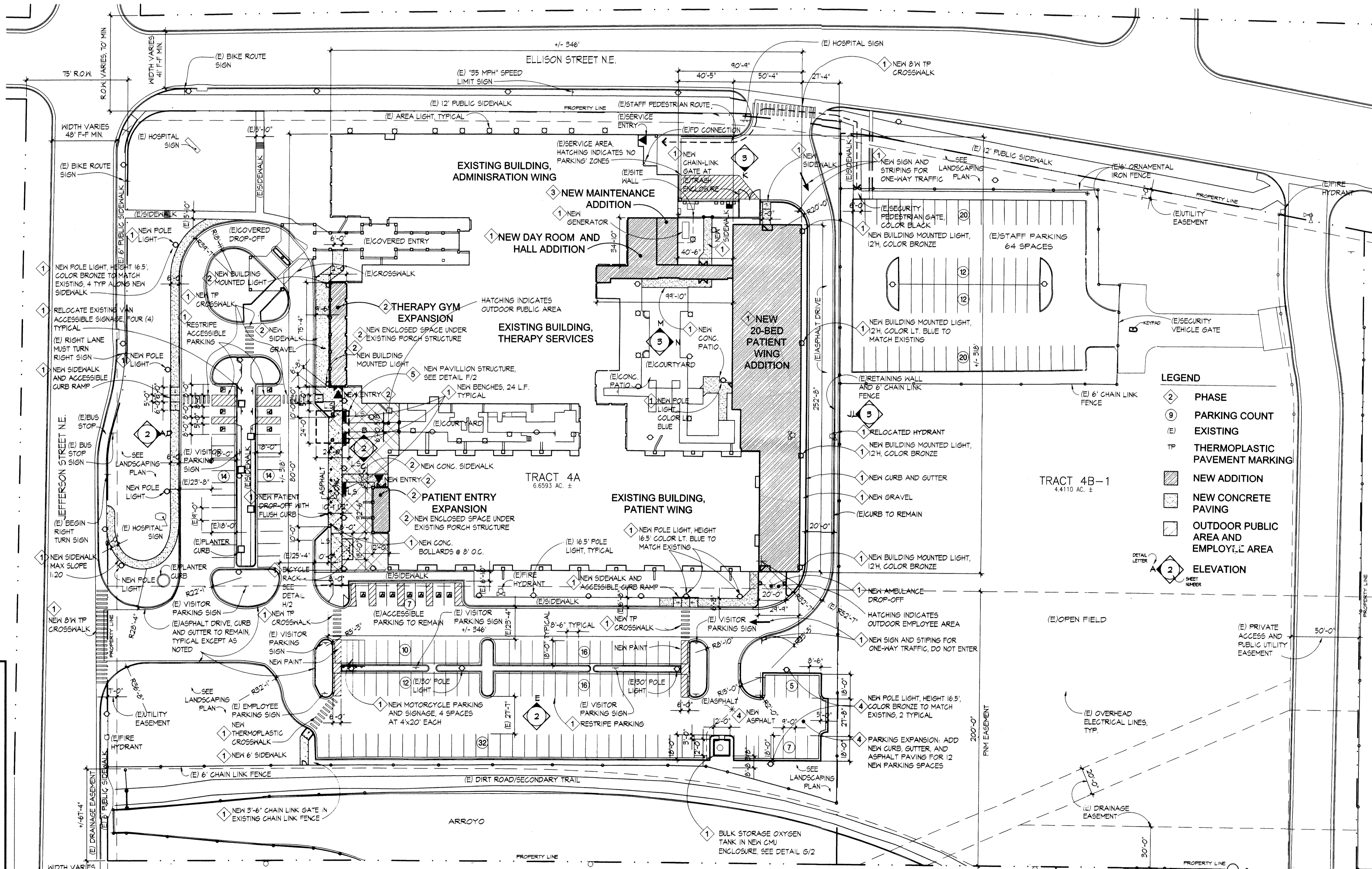
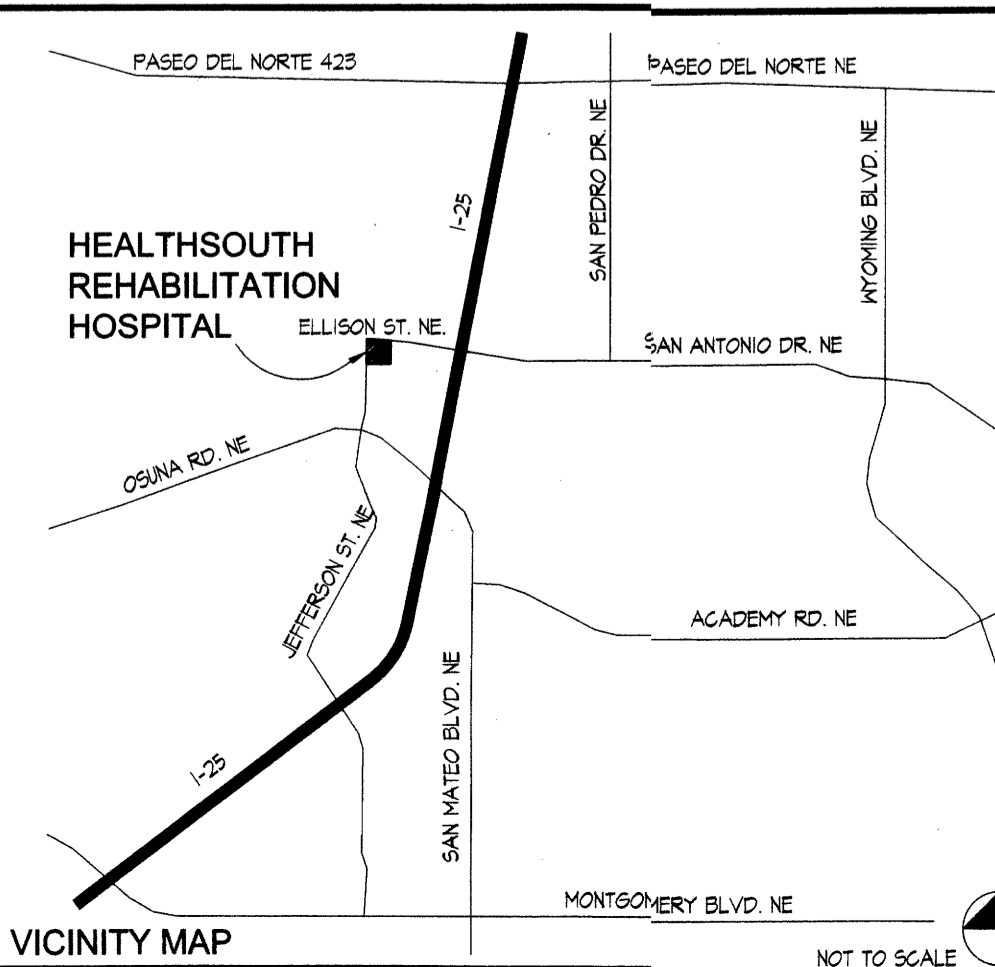
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? () Yes () No if yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

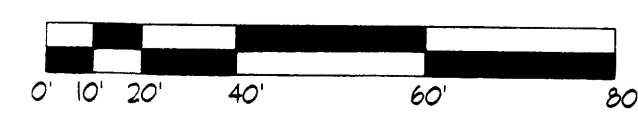
* Environmental Health, if necessary

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
<i>Lee Whittle</i> Solid Waste Management	3-10-09 Date
DRB Chairperson, Planning Department	Date

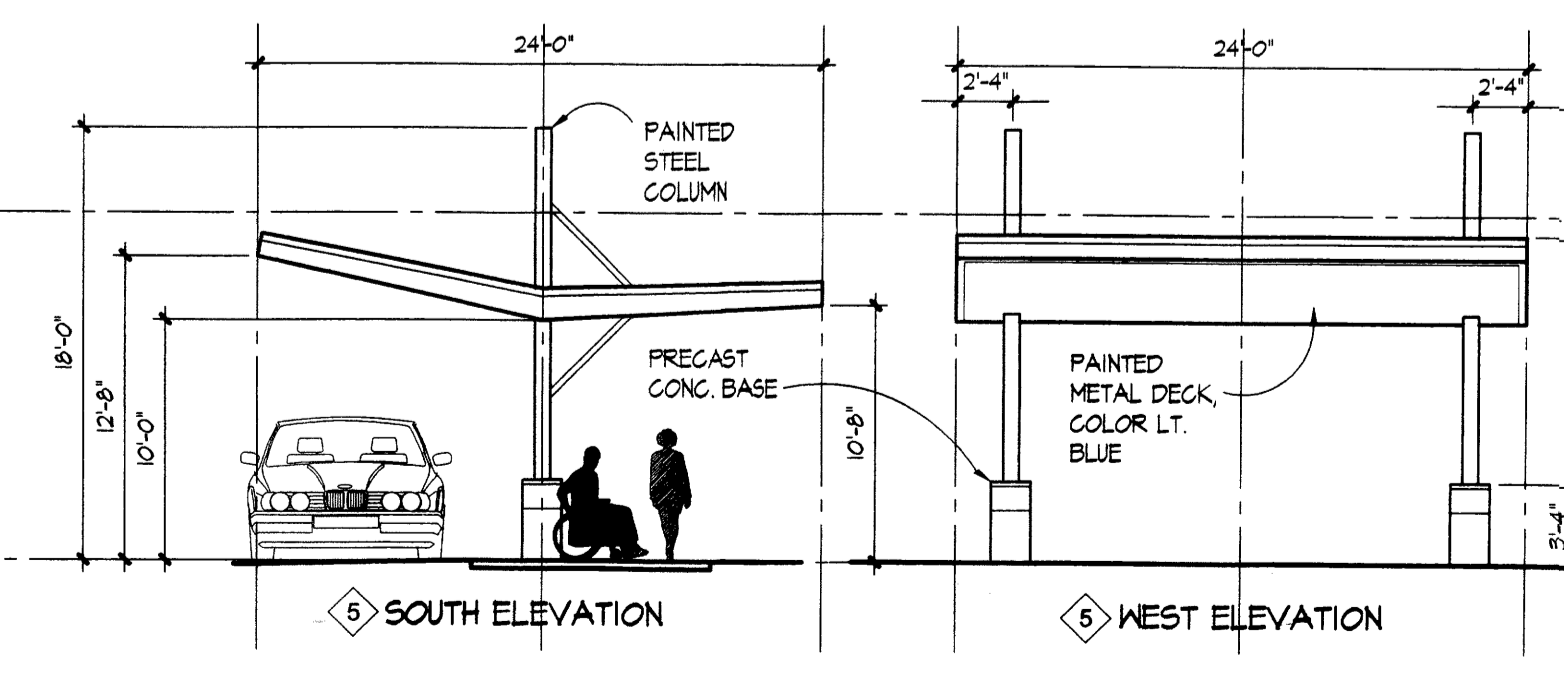
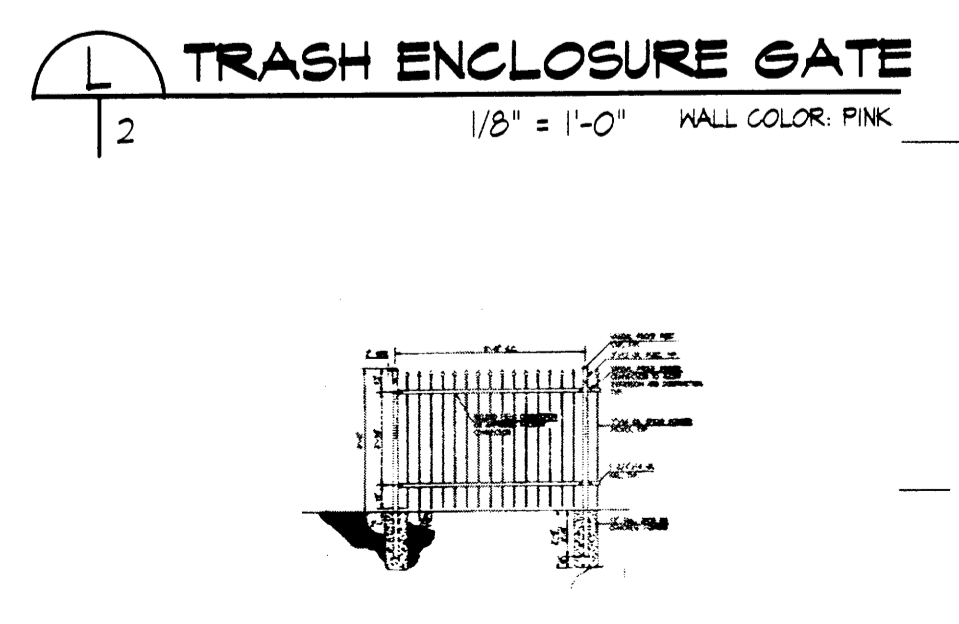
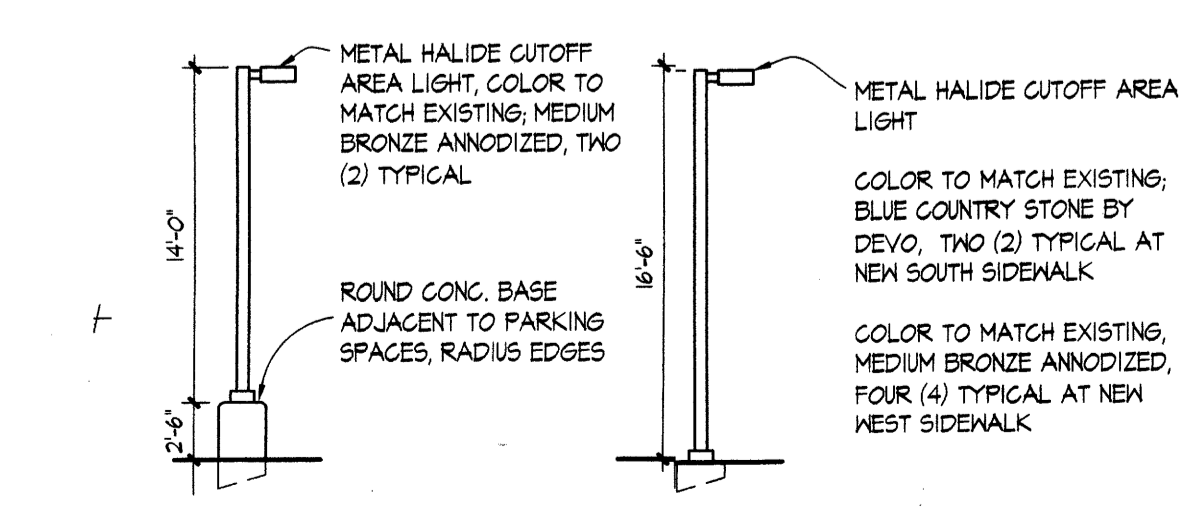
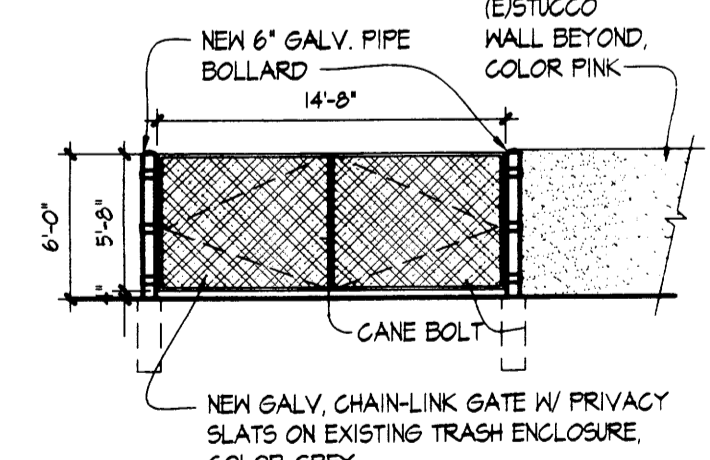
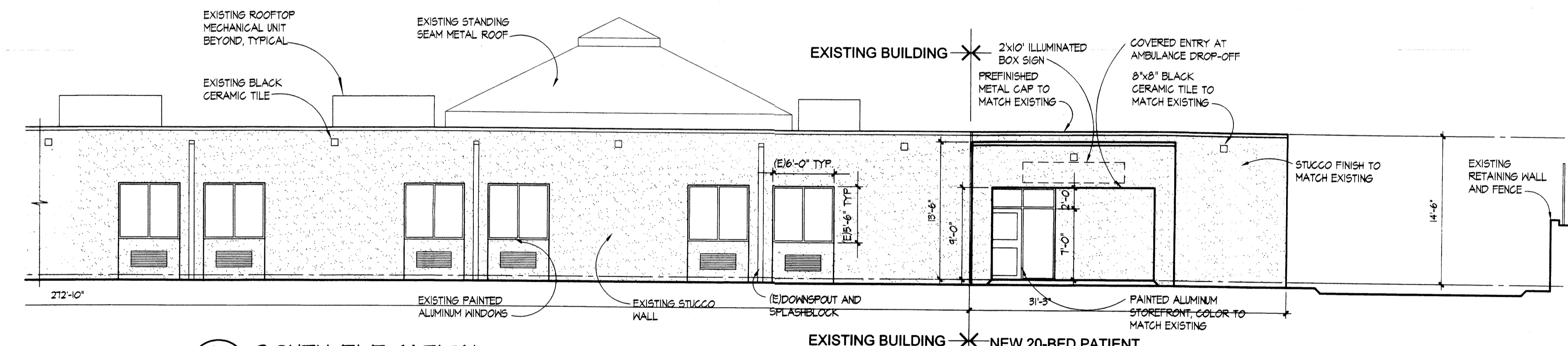
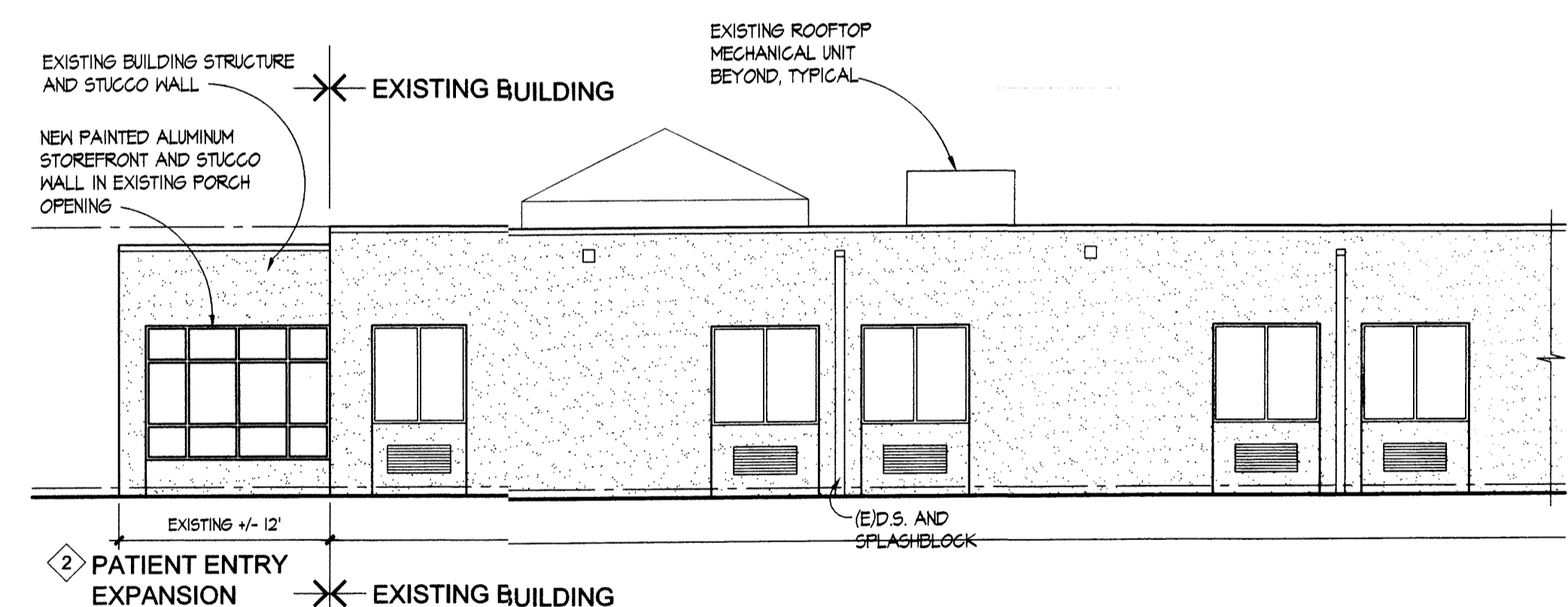
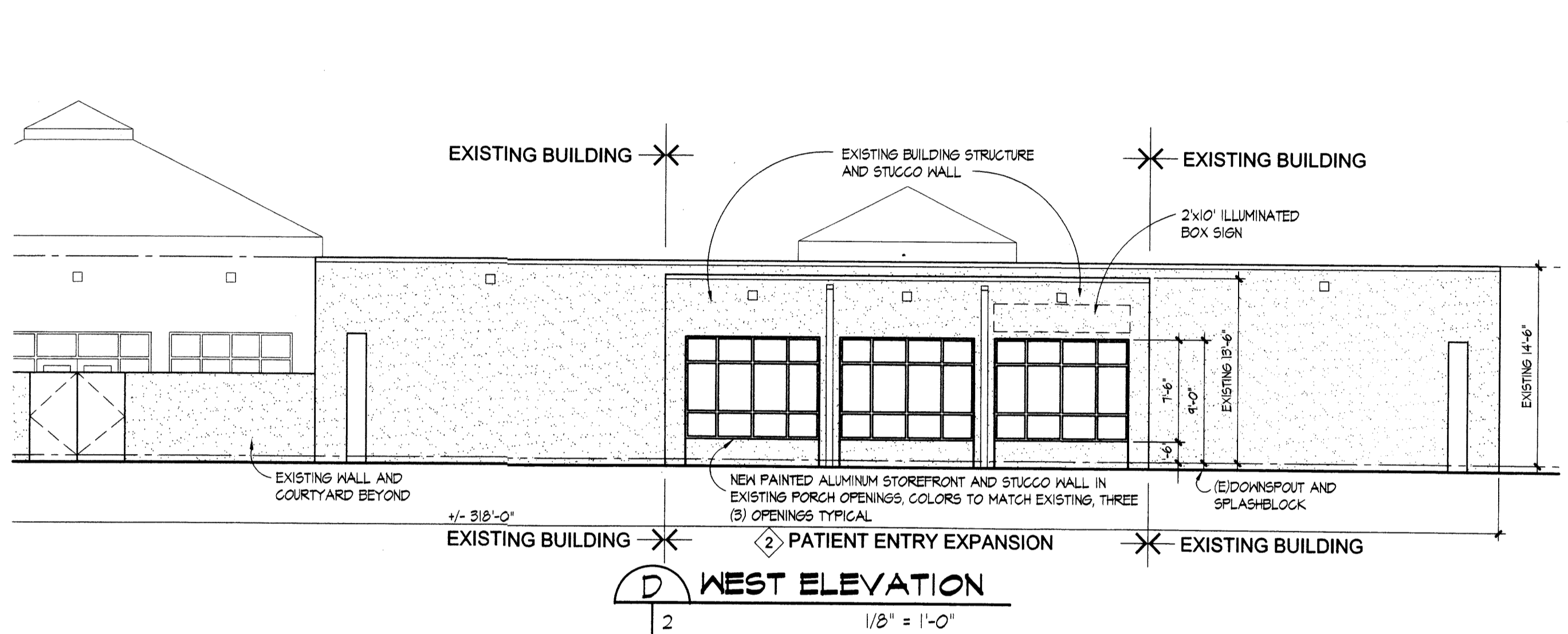
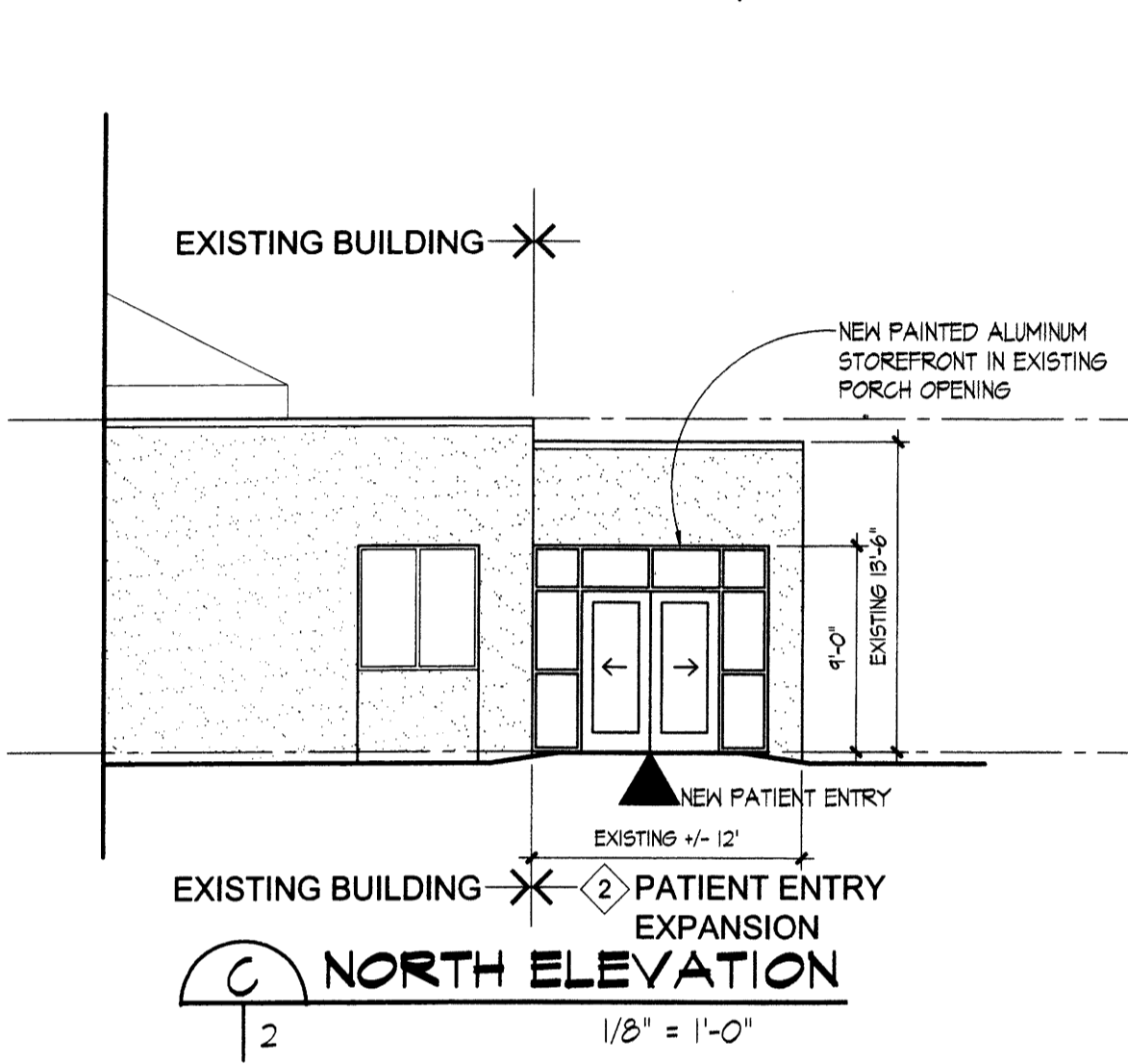
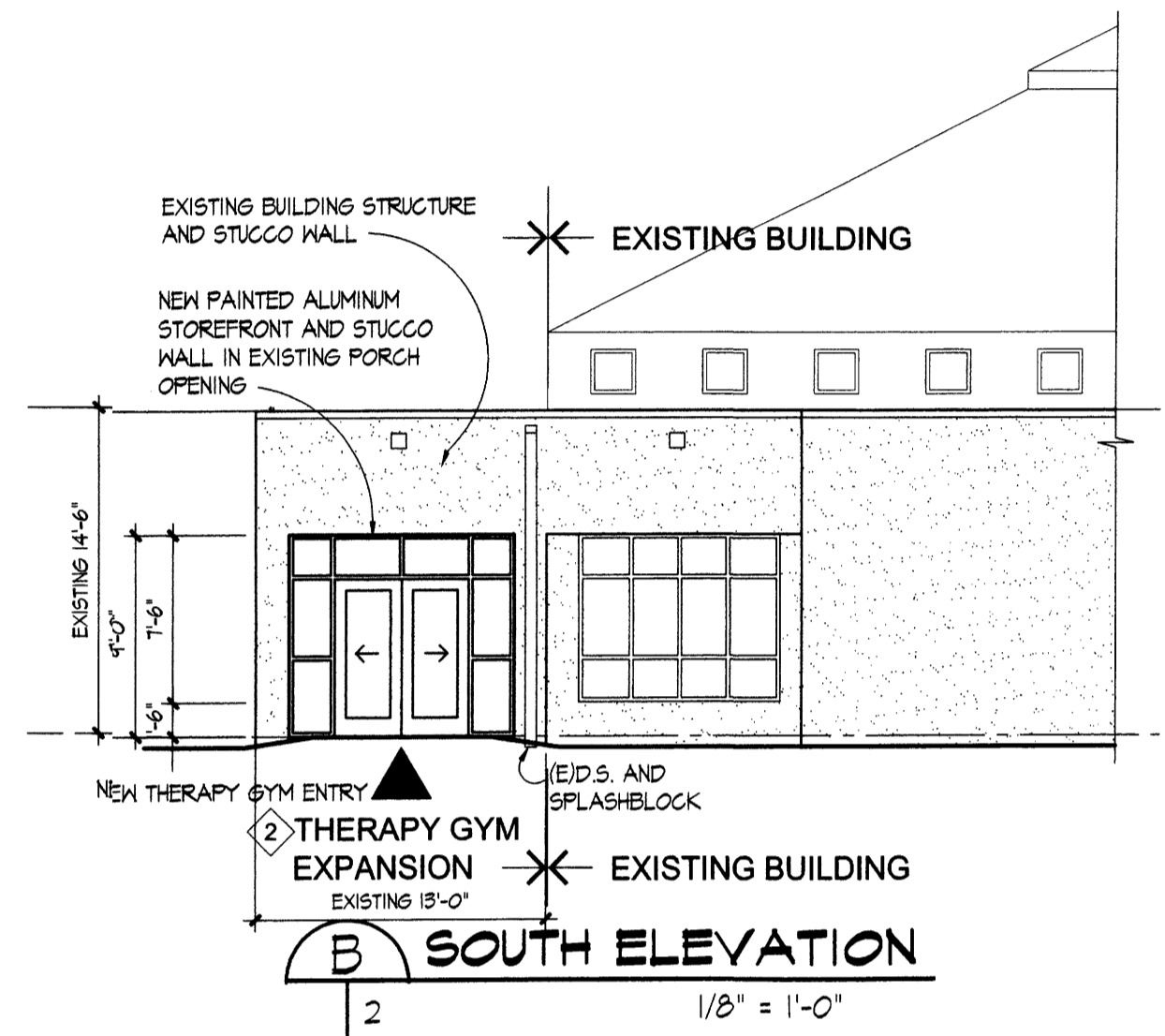


SITE PLAN NOTES

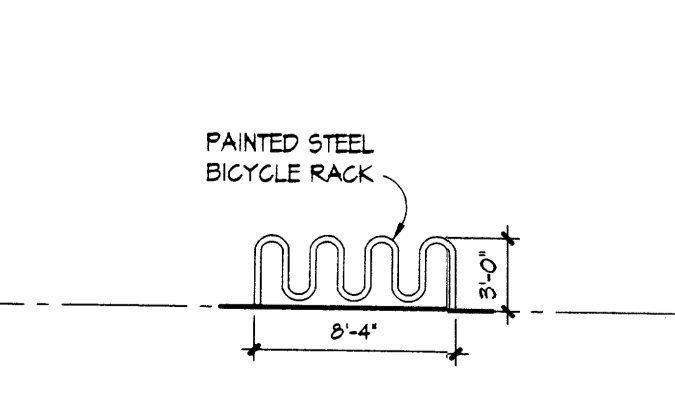
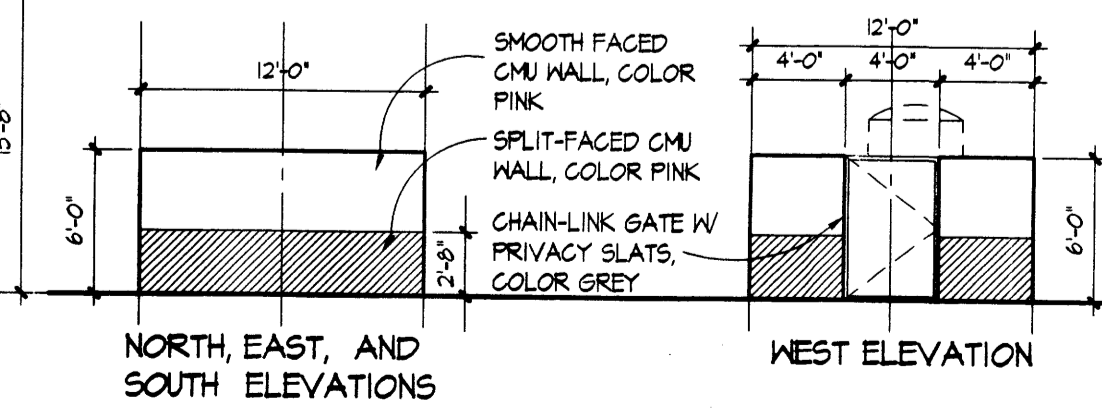
1. SEE SHEETS 14 AND 15 FOR ADDITIONAL SITE LIGHTING INFORMATION
2. SEE SHEET 4 FOR LANDSCAPING INFORMATION

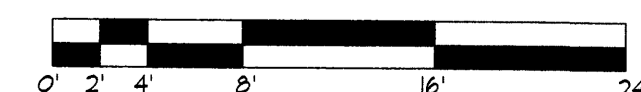
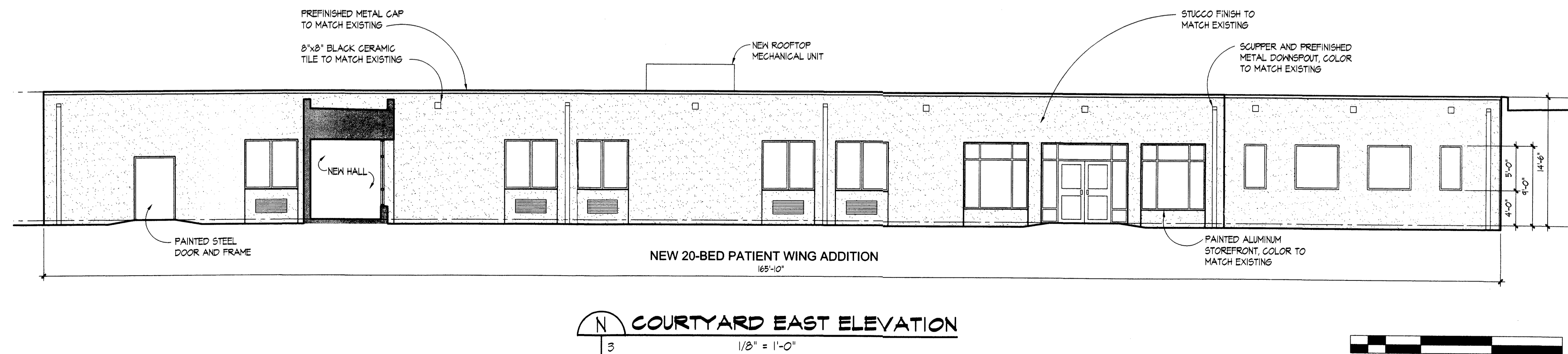
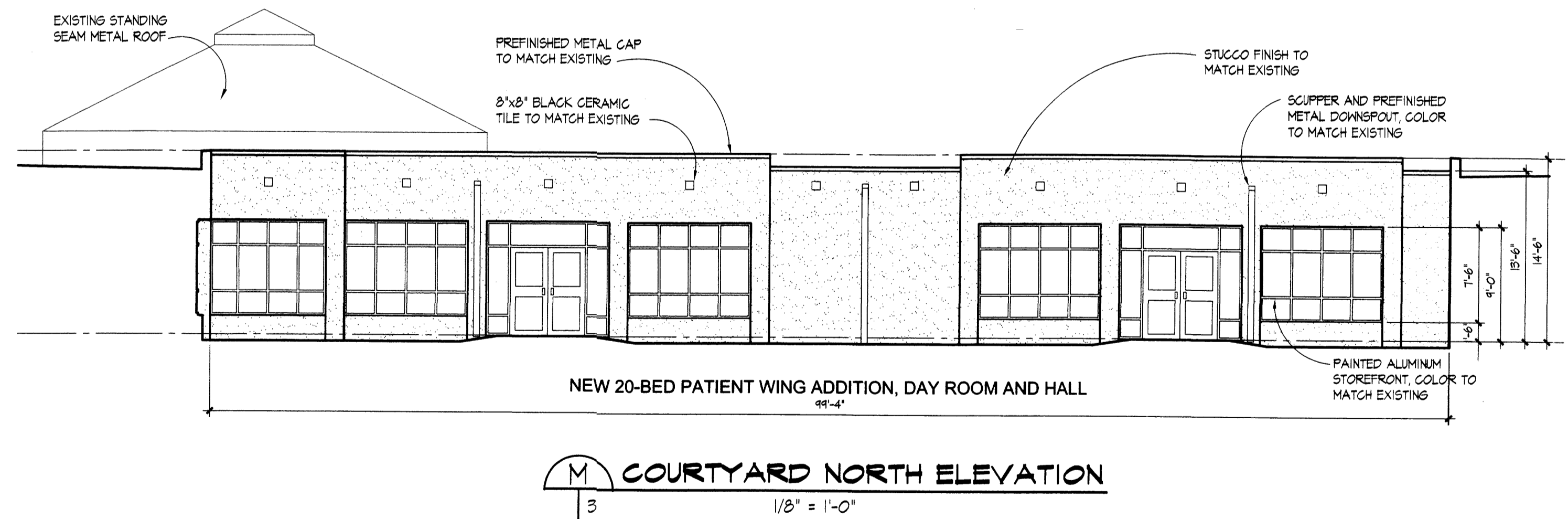
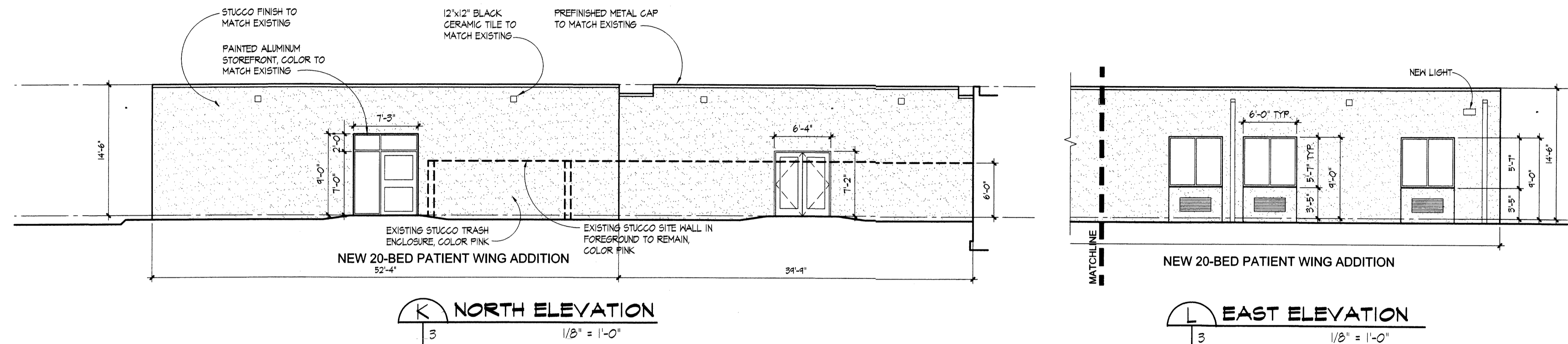
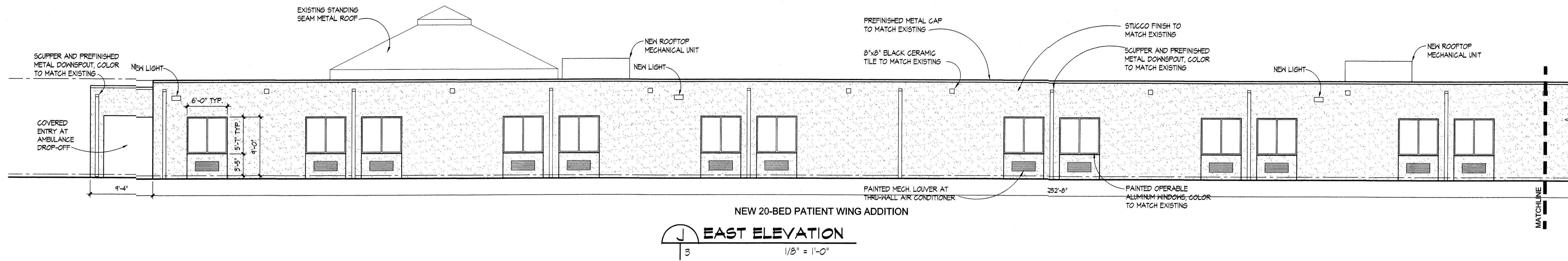


SITE PLAN
1" = 40'



- ELEVATION COLOR INDEX:**
NEW FINISHES AND COLORS SHALL MATCH EXISTING FINISHES AND COLORS AS FOLLOWS:
1. STUCCO, FIELD AREAS: PINK
 2. STUCCO, TYPICAL INSERTS BELOW WINDOWS: OFF WHITE
 3. STUCCO, WEST ELEVATION INSERTS BELOW WINDOWS: PINK
 4. PREFINISHED METAL CAPS, MECHANICAL LOUVERS, GUTTERS AND DOWNSPOUTS: LIGHT BLUE
 5. ALUMINUM STOREFRONT: LIGHT BLUE
 6. SITE LIGHTING FIXTURES: VARIES, SEE PLAN





NOTE:
THIS IS NOT A BOUNDARY SURVEY. DATA IS SHOWN FOR ORIENTATION ONLY. BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 10-07-2008. THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON A TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 10-07-2008.

PROJECT NUMBER
081570.00

DRAWN BY

DATE
DECEMBER 01, 2008
JANUARY 20, 2009
FEBRUARY 17, 2009

REVISIONS
△ EPC CONDITIONS

GENERAL LANDSCAPE NOTES

ALL EXISTING TREES AND SHRUBS PLANTING PORTRAYED ON THESE PLANS SHALL BE PRESERVED AND PROTECTED. EXISTING TREES AND SHRUBS BENEATH THE FOOTPRINT OF THE PROPOSED ADDITIONS HAVE NOT BEEN SHOWN ON THE PLAN, BUT WILL, OF COURSE, BE REMOVED AS A PART OF THE WORK. INCIDENTAL OTHER TREES (I.E. THOSE IMMEDIATELY ADJACENT TO THE PROPOSED BUILDING FOOTPRINTS) WILL BE REMOVED AS A PART OF THIS PROJECT AS WELL.

ALL PROPOSED PLANTINGS SHALL HAVE THE MINIMUM SIZES AS INDICATED:
• EVERGREEN TREE: 6 FEET TALL
• DECIDUOUS TREE: 2" CALIPER
• SHRUBS, ORNAMENTAL GRASSES, PERENNIALS: 1 GALLON CONTAINER

THE PROPOSED VINES ALONG THE SOUTHERN FENCE ARE TO AID IN SCREENING AND BUFFERING. ALL OTHER PLANTINGS ARE INCLUDED AS GENERAL LANDSCAPING. NO NEW TURFGRASS OR TURFGRASS IRRIGATION IS PROPOSED AS A PART OF THIS PROJECT.

THE EXISTING IRRIGATION SYSTEM SHALL BE PRESERVED AND PROTECTED FOR THE MOST PART AND MODIFIED AS NEEDED TO SERVE THE PROPOSED ADDITIONAL PLANTINGS.

- THE EXISTING BACKFLOW PREVENTION DEVICE (INDICATED ON THE PLAN) SHALL BE PRESERVED AND PROTECTED. (NO DETAIL FOR THIS EXISTING PROTECTED REDUCED PRESSURE TYPE DEVICE HAS BEEN INCLUDED.)
- ALL EXISTING GEAR DRIVEN ROTARY HEADS AND SPRAY HEADS SHALL BE REMOVED FROM THOSE TURF AREAS THAT ARE TO BE ELIMINATED AS A PART OF THIS WORK.
- NEW PLANTINGS SHALL BE WATERED BY DRIP TYPE IRRIGATION EMITTERS WHEREVER POSSIBLE. HOWEVER DRIP TYPE EMITTERS AND CONVENTIONAL ABOVE GROUND APPLICATION WILL NOT BE MIXED WITHIN THE SAME VALVE SYSTEM.
- IN SOME CASES, WHERE PRACTICAL, EXISTING PVC LINES AND DISTRIBUTION HEADS WILL BE MODIFIED AND OR ADDED AS NEEDED TO PROVIDE WATER TO PROPOSED TREES AND SHRUBS.
- IN SOME CASES, WHERE PRACTICAL, EXISTING PVC LINES WILL BE AMENDED AS NEEDED TO PROVIDE BUBBLERS TO THE BASE OF PROPOSED TREES.

△ TOTAL AREA OF EXISTING TURFGRASS: 29,700 SQ. FT.
TOTAL AREA OF PROPOSED TURFGRASS: 11,300 SQ. FT.
AMOUNT OF TURFGRASS TO BE ELIMINATED AS A PART OF THIS PROJECT: 18,400 SQ. FT.
TOTAL LANDSCAPED AREA OF THE SITE: 58,270 SQ. FT.
PERCENTAGE OF TURFGRASS AREA TO LANDSCAPED AREA: 19.4%

△ THE PROPERTY OWNER (THE APPLICANT) WILL BE FULLY RESPONSIBLE FOR CARE AND MAINTENANCE OF THE SITE AND ALL LANDSCAPE SHOWN.

△ STATEMENT OF COMPLIANCE: THIS LANDSCAPE PLAN IS IN COMPLIANCE WITH THE REQUIREMENTS OF THE WATER CONSERVATION AND WATER WASTE ORDINANCE OF THE CITY OF ALBUQUERQUE.

△ DEVELOPED SITE AREA: 327,000 SQ. FT. (DOES NOT INCLUDE APPROXIMATELY 155,000 SQ. FT. OF UNDEVELOPED LAND ON THE EAST SIDE OF THE SITE.)
PROPOSED BUILDING AREA: 76,053 SQ. FT.
REQUIRED LANDSCAPE AREA: (15% OF SITE AREA MINUS BUILDING AREA): 37,640 SQ. FT.
LANDSCAPED AREA PROVIDED: 58,270 SQ. FT.
PERCENTAGE OF LANDSCAPED AREA TO NET SITE AREA: 23%

NOTE: VIRTUALLY ALL LANDSCAPED AREAS SHOWN SHALL HAVE THE POTENTIAL FOR PLANTS TO ATTAIN A MINIMUM OF 75% VEGETATIVE COVER AT PLANT MATURITY. LANDSCAPE MAINTENANCE PROCEDURES, INCLUDING PRUNING AND TRIMMING, MAY PRECLUDE SOME LANDSCAPE AREAS FROM ACTUALLY ACHIEVING 75% VEGETATIVE COVER.

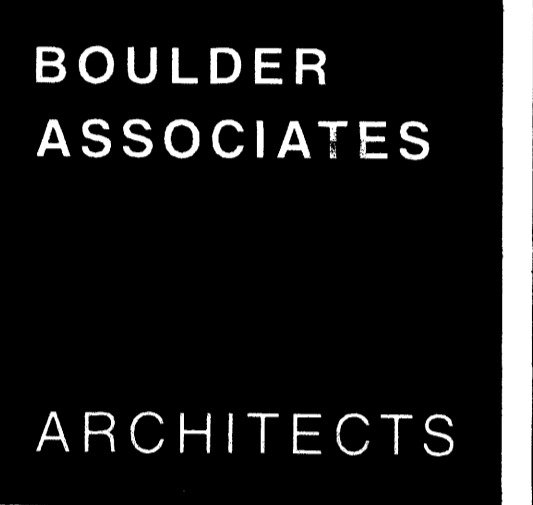
A MINIMUM OF 37,650 SQ. FT. OF LANDSCAPED AREAS (PER ZONING ORDINANCE) SHALL ACHIEVE A MINIMUM OF 75% VEGETATIVE COVER AT PLANT MATURITY. SEE PLANT LIST ON PAGE 4 FOR MATURE PLANT SIZES.

FOR EXPANDED DETAILS OF EXISTING AND PROPOSED PLANTING SEE SHEETS 5 THROUGH 8.

* SEE SHEET 8 FOR TREE PLANTING DETAIL
* SEE SHEET 7 FOR PLANT TOTALS



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William S. Perkins, ASLA
Landscape Architect

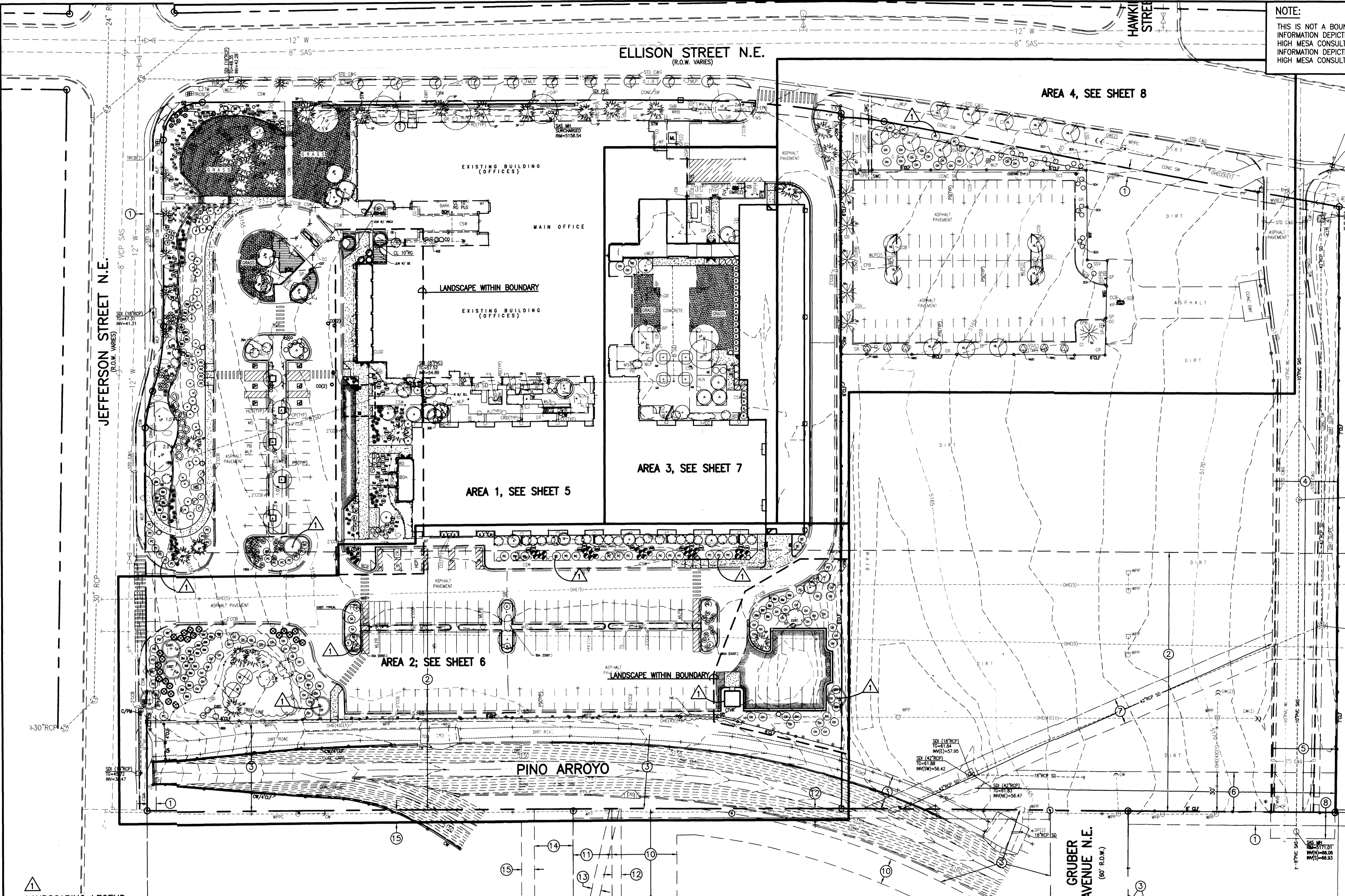


PROJECT
HealthSouth Rehabilitation Hospital Addition / Remodel

7000 JEFFERSON STREET
ALBUQUERQUE, NEW MEXICO

SHEET TITLE
LANDSCAPING PLAN

SHEET NUMBER
4



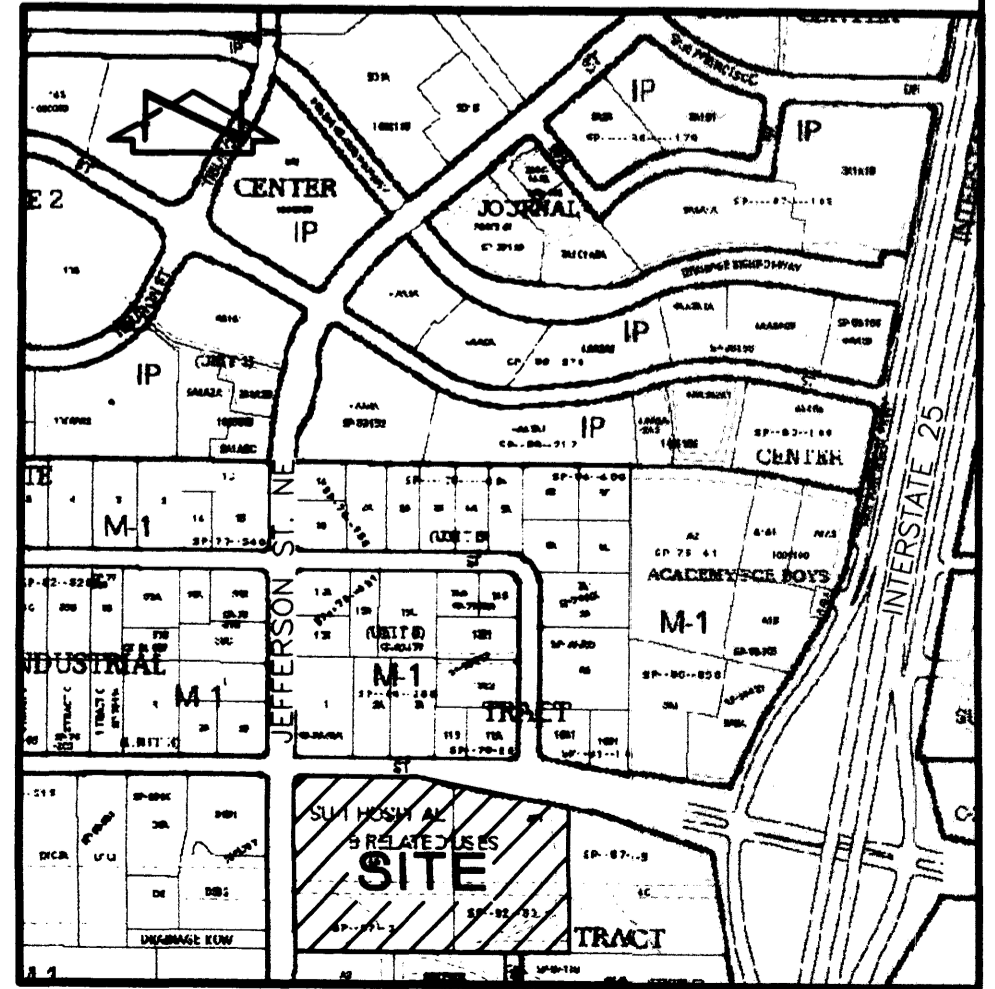
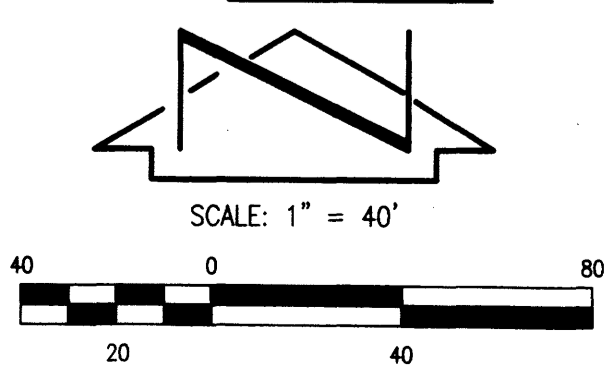
LANDSCAPING LEGEND

PLANT LIST - EXISTING PLANTS ARE SCREENED, PROPOSED PLANTS ARE BOLD AND UNDERLINED

DECIDUOUS TREES

LONDON PLANE TREE	PLATANUS ACERIFOLIA	LP	APPLE TREE	MALUS (SPECIES?)	A
JAPANESE PAGODA TREE	SOPHORA JAPONICA	JP	EVERGREEN TREES		
CRABAPPLE	MALUS SPECIES (VARIETY?)	C	SCOTCH PINE TREE	PINUS SYLVESTRIS	SP
HONEY LOCUST	GLEDITSIA TRIACANTHOS 'INERMIS'	HL	AUSTRIAN PINE	PINUS NIGRA	AP
AMUR MAPLE	ACER TATARICUM 'GINNALA'	M	JAPANESE BLACK PINE	PINUS THUNBERGIA	JBP
RAYWOOD ASH	FRAXINUS OXYCARPA 'RAYWOOD'	RA	SHRUBS		
CHINESE PISTACH	PISTACHIA CHINENSIS	CP	SHRUB ALTHAEA	RAPHIOLEPSIS INDICA 'ROSEA'	R
GREEN ASH	FRAXINUS PENNSYLVANICA (VARIETY?)	GA	CHAMISA	CHRYSOTHAMNUS ERICAMERA NAUSEOSA	CH
RUSSIAN OLIVE	ELEAGNUS ANGUSTIFOLIA	RO	ROSEMARY	ROSMARINUS OFFICINALIS	RM
COTTONWOOD TREE	POPULUS FREMONTI	CO	GREEN EUONYMUS	ENONYMUS JAPONICUS	GE
TAMARISK TREE	TAMARIX CHINENSIS	T	COTONEASTER	COTONEASTER (SPECIES?)	COT
SIBERIAN ELM TREE	ULMUS PUMILA	SE	HEAVENLY BAMBOO	VANDINA DOMESTICA	HB
NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	NMO	LILAC	SYRINGA VULGARIS (SP?)	LL
JAPANESE MAPLE	ACER PALMATUM	AP	PRITZER BLUE JUNIPER	JUNIPERUS	PF
CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	CHP	WINTER GEM BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	B
OKLAHOMA REDBUD	CERCIS CANADENSIS 'OKLAHOMA'	RB	THREE-LEAF SUMMAC	RHUS TRILOBATA	TLS
PEAR TREE	PYRUS CALLERYANA (SPECIES?)	P	CORAL BEAUTY COTONEASTER	COTONEASTER DAMMERI 'CORAL BEAUTY'	CBC
			JUNIPER	SPECIES TO BE DETERMINED	JUN

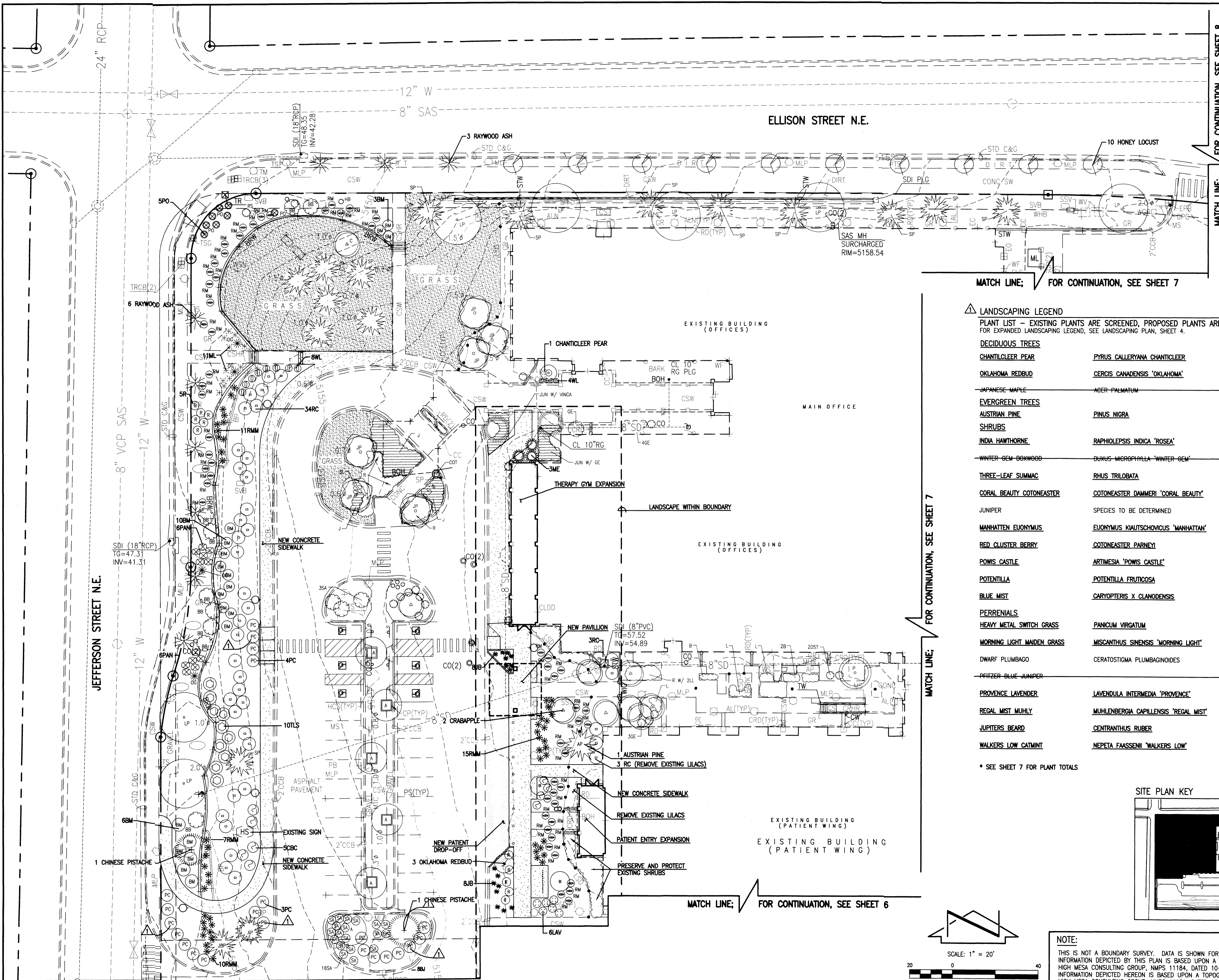
ROSE	ROSE (SPECIES?)	R	CANALY	CAN	
WISTERIA	WISTERIA CHINENSIS	W	LILLY	L	
RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	RS	ORNAMENTAL GRASS	OG	
POTENTILLA	POTENTILLA FRUTICOSA	PO	AUTUMN GLOW MUHLY	MUHLBERGIA LINDHEIMERI 'AUTUMN GLOW'	AGM
BUTTERFLY BUSH	BUDDLEIA DAVIDI	BB	WALKERS LOW CATMINT	NEPETA FASSENI 'WALKERS LOW'	WL
VIRGINIA CREEPER	HIBISCUS SYRIACUS	SA	REGAL MIST MUHLY	MUHLBERGIA CAPILLENSIS 'REGAL MIST'	RM
PERSIAN LILAC	PARTHENOCISSUS QUINQUEFOLIA	VC	HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM	PAN
BLUE MIST	SYRINGA X PERSICA	PL	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS 'MORNING LIGHT'	ML
JUNIPERUS SABINA 'BROADMOOR'	CARYOPTERIS X CLANODENSIS	BM	DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES	DP
GRO-LOW SUMAC	RHUS AROMATICA GRO-LOW	G	PROVENCE LAVENDER	LAVENDULA INTERMEDIA 'PROVENCE'	LAV
GOYOTE-BRUSH	BACCHARIS X 'STARN THOMPSON'	GB	JUPITERS BEARD	CENTRANTHUS RUBER	JB
MANHATTAN EUONYMUS	EUONYMUS KLAUSCHOVICUS 'MANHATTAN'	ME			
RED CLUSTERBERRY	COTONEASTER PARNYI	RC			
PERENNIALS	ARTIMESIA 'POWIS CASTLE'	PC			
HOSTA LILY		H			



VICINITY MAP
SCALE: 1" = 750'

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File Name: 80392LP-EPC-DWG
Plot Date: 02-17-2009
Plot Time: 1:57 pm

File Path: C:\Users\jperkins\Documents\02-17-2009
 File Name: 80392LD_EPC.DWG | Plot Time: 1:58 pm



PROJECT NUMBER
081570.00

DRAWN BY

DATE
NOVEMBER 06, 2008
JANUARY 20, 2009
FEBRUARY 17, 2009

REVISIONS
 △ EPC CONDITIONS

HIGH MESA
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William S. Perkins, ASLA
 Landscape Architect



PROJECT
HealthSouth Rehabilitation Hospital Addition / Remodel

7000 JEFFERSON STREET
 ALBUQUERQUE, NEW MEXICO

SHEET TITLE
LANDSCAPING DETAILS AREA 1

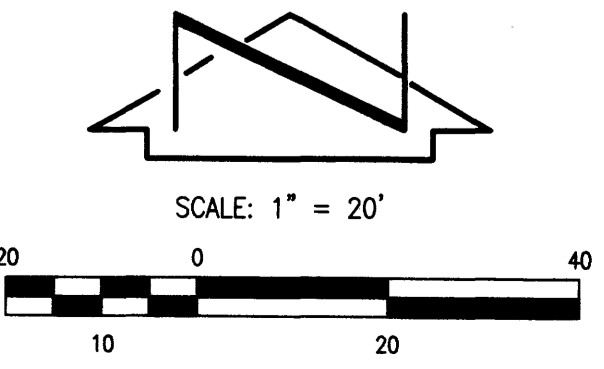
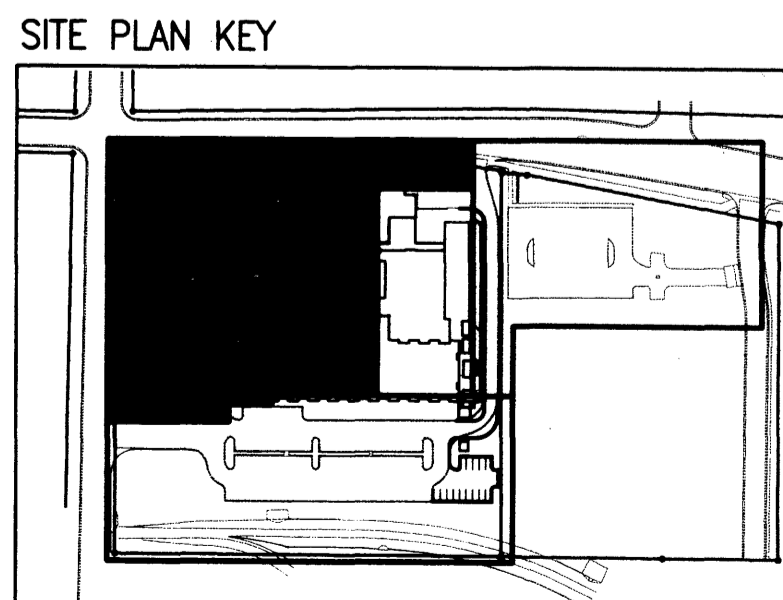
SHEET NUMBER
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△ LANDSCAPING LEGEND

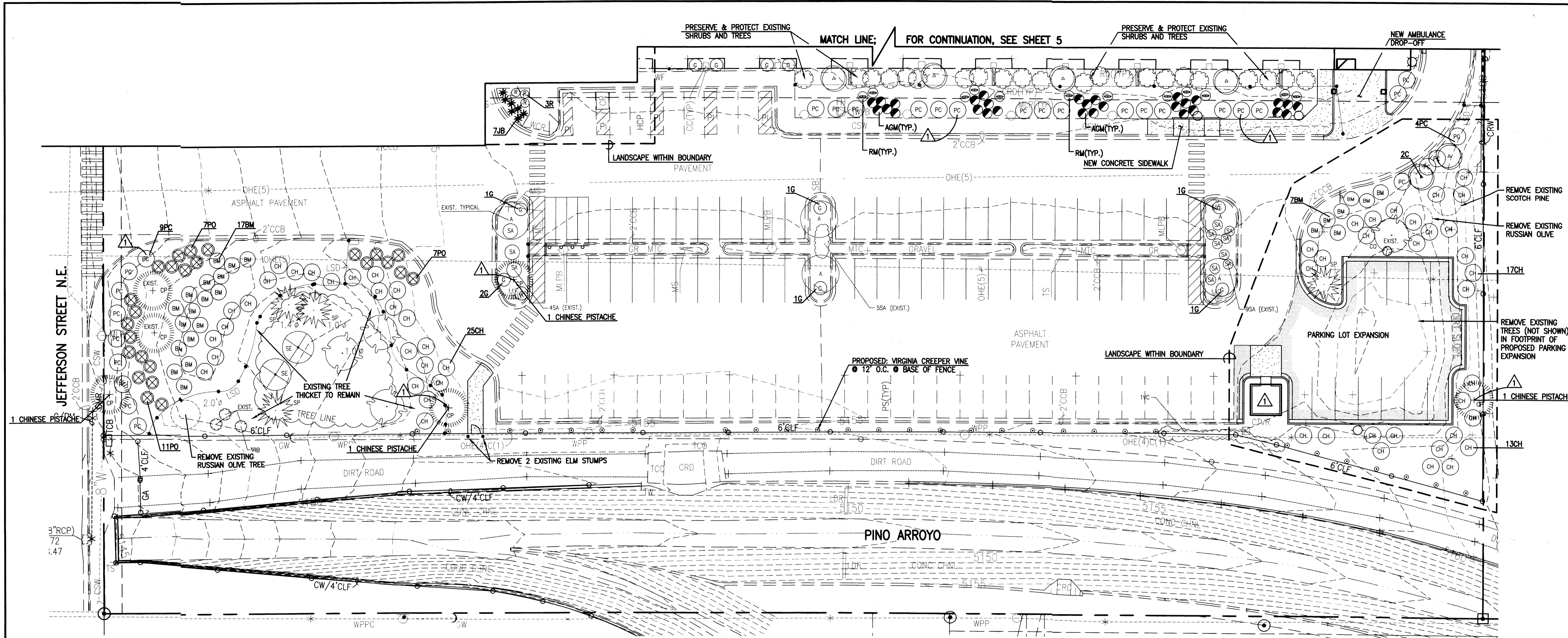
PLANT LIST - EXISTING PLANTS ARE SCREENED, PROPOSED PLANTS ARE BOLD AND UNDERLINED FOR EXPANDED LANDSCAPING LEGEND, SEE LANDSCAPING PLAN, SHEET 4.

DECIDUOUS TREES		
<u>CHANTICLEER PEAR</u>	<u>PYRUS CALLERYANA 'CHANTICLEER'</u>	CHP (C)
<u>OKLAHOMA REDBUD</u>	<u>CERCIS CANADENSIS 'OKLAHOMA'</u>	RB (R)
<u>JAPANESE MAPLE</u>	<u>ACER PALMATUM</u>	AP (A)
EVERGREEN TREES		
<u>AUSTRIAN PINE</u>	<u>PINUS NIGRA</u>	AP (P)
SHRUBS		
<u>INDIA HAWTHORNE</u>	<u>RAPHIOLEPSIS INDICA 'ROSEA'</u>	R (R)
<u>WINTER GEM DOGWOOD</u>	<u>DOGWOOD 'WINTER GEM'</u>	B (B)
<u>THREE-LEAF SUMMACH</u>	<u>RHUS TRILOBATA</u>	TLS (T)
<u>CORAL BEAUTY COTONEASTER</u>	<u>COTONEASTER DAMMERI 'CORAL BEAUTY'</u>	CBC (C)
JUNIPER	SPECIES TO BE DETERMINED	JUN (J)
<u>MANHATTAN EUONYMUS</u>	<u>EUONYMUS KIALTSCHOVICUS 'MANHATTAN'</u>	ME (M)
<u>RED CLUSTER BERRY</u>	<u>COTONEASTER PARNEYI</u>	RC (R)
<u>POMIS CASTLE</u>	<u>ARTIMESIA 'POMIS CASTLE'</u>	PC (P)
<u>POTENTILLA</u>	<u>POTENTILLA FRUTICOSA</u>	PO (P)
<u>BLUE MIST</u>	<u>CARYOPTERIS X CLANDENSIS</u>	BM (B)
PERENNIALS		
<u>HEAVY METAL SWITCH GRASS</u>	<u>PANICUM VIRGATUM</u>	PAN (P)
<u>MORNING LIGHT MAIDEN GRASS</u>	<u>MISCANTHUS SINENSIS 'MORNING LIGHT'</u>	ML (M)
<u>DWARF PLUMBAGO</u>	<u>CERATOSTIGMA PLUMBAGINOIDES</u>	DP (D)
<u>PEFFZER BLUE JUNIPER</u>		PF (P)
<u>PROVENCE LAVENDER</u>	<u>LAVENDULA INTERMEDIA 'PROVENCE'</u>	LAV (L)
<u>REGAL MIST MUHLY</u>	<u>MUHLENBERGIA CAPILLENSIS 'REGAL MIST'</u>	RMM (R)
<u>JUPITERS BEARD</u>	<u>CENTRANTHUS RUBER</u>	JB (J)
<u>WALKERS LOW CATMINT</u>	<u>NEPETA FAASSENII 'WALKERS LOW'</u>	WL (W)

* SEE SHEET 7 FOR PLANT TOTALS



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William S. Perkins, ASLA
Landscape Architect



PROJECT
HealthSouth Rehabilitation Hospital Addition / Remodel

7000 JEFFERSON STREET
ALBUQUERQUE, NEW MEXICO

SHEET TITLE
LANDSCAPING DETAILS AREA 2

SHEET NUMBER

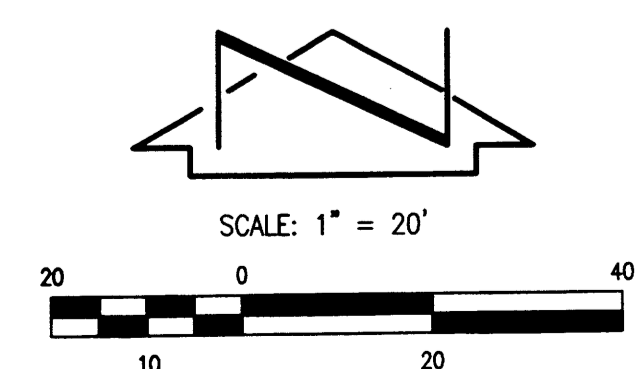
6

LANDSCAPING LEGEND

PLANT LIST - EXISTING PLANTS ARE SCREENED, PROPOSED PLANTS ARE BOLD AND UNDERLINED

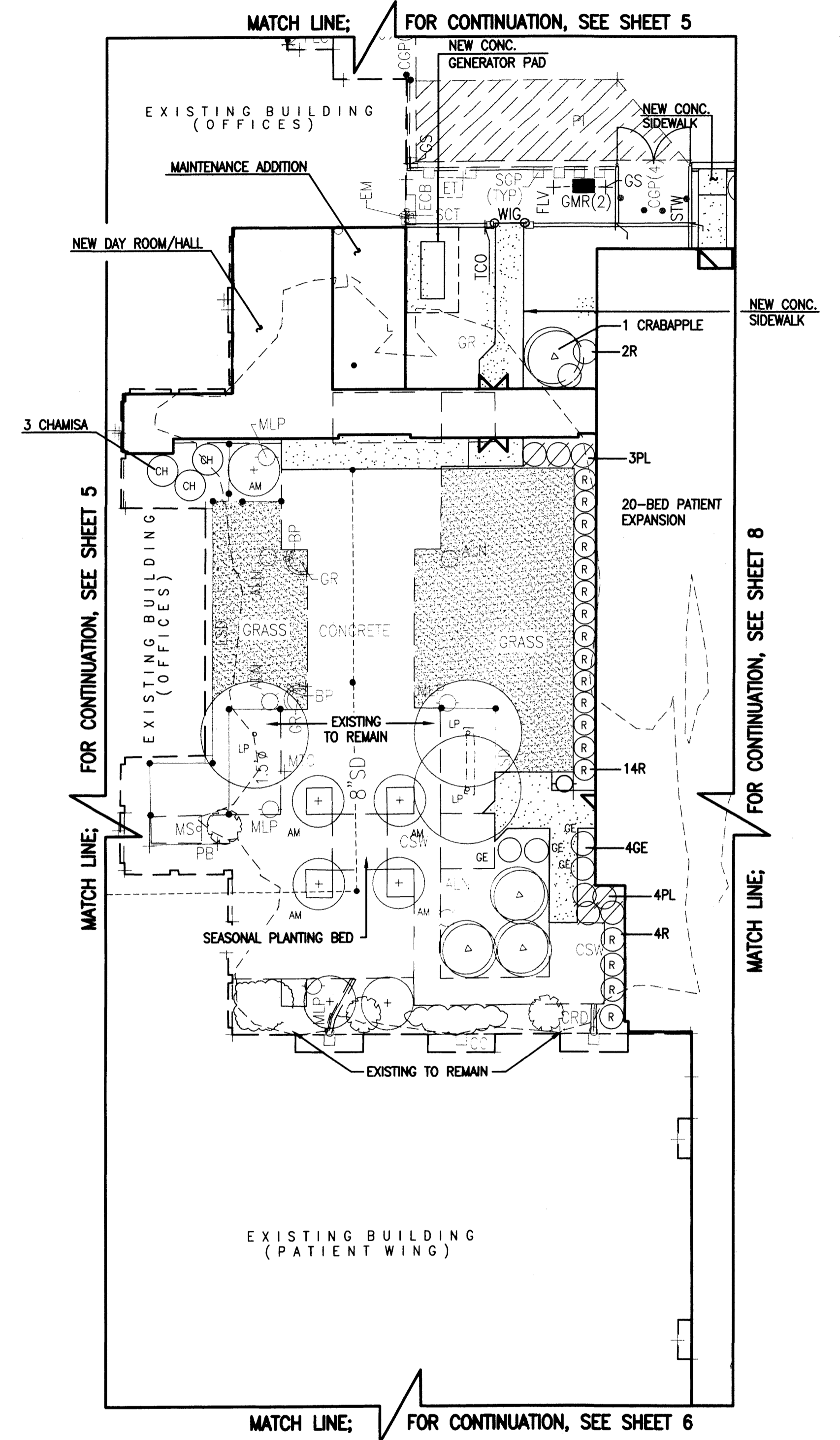
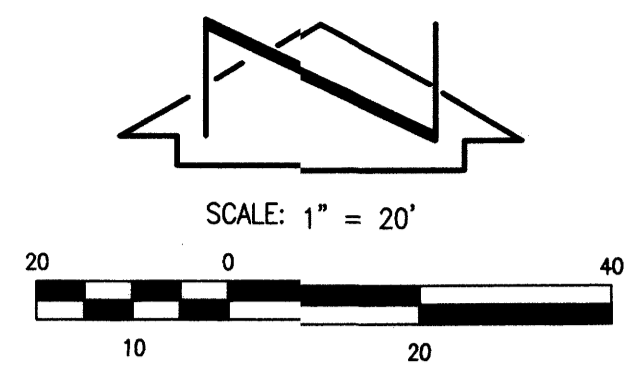
DECIDUOUS TREES		EVERGREEN TREES		SHRUBS		ROSE (SPECIES?)		LILLY	
LONDON PLANE TREE	PLATANUS ACERIFOLIA	APPLE TREE	MALUS (SPECIES?)	ROSE	ROSE (SPECIES?)	LILLY			
JAPANESE PAGODA TREE	SOPHORA JAPONICA	SCOTCH PINE TREE	PINUS SYLVESTRIS	WISTERIA	WISTERIA CHINENSIS	ORNAMENTAL GRASS			
CRABAPPLE	MALUS SPECIES (VARIETY?)	AUSTRIAN PINE	PINUS NIGRA	RUSSIAN SAGE	PEROVSKIA ATRIPPLICIFOLIA	AUTUMN GLOW MUHLY			
HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS	JAPANESE BLACK PINE	PINUS THUNBERGIA	POTENTILLA	POTENTILLA FRUTICOSA	WALKERS LOW CATMINT			
AMUR MAPLE	ACER TATARICUM 'GINNALA'	<u>INDIA HAWTHORNE</u>	<u>RAPHIOLEPSIS INDICA 'ROSEA'</u>	BUTTERFLY BUSH	BUDDLEJA DAVIDII	REGAL MIST MUHLY			
RAYWOOD ASH	FRAXINUS OXYCARPA 'RAYWOOD'	<u>CHAMISA</u>	<u>CHRYSOTHAMNUS ERICAMERIA NAUSEOSA</u>	SHRUB ALTHAEA	HIBISCUS SYRIACUS	HEAVY METAL SWITCH GRASS			
<u>CHINESE PISTACHE</u>	<u>PISTACHIA CHINENSIS</u>	<u>ROSEMARY</u>	<u>ROSMARINUS OFFICINALIS</u>	VIRGINIA CREEPER	<u>PARTHENOISSUS QUINQUIFOLIA</u>	MORNING LIGHT MAIDEN GRASS			
GREEN ASH	FRAXINUS PENNSYLVANICA (VARIETY?)	GREEN EUONOMOUS	ENONYMUS JAPONICUS	PERSIAN LILAC	SYRINGA X PERSICA	DWARF PLUMBAGO			
RUSSIAN OLIVE	ELEAGNUS ANGUSTIFOLIA	COTONEASTER	COTONEASTER (SPECIES?)	<u>BLUE MIST</u>	<u>CARYOPTERIS X CLANODENSIS</u>	PROVENCE LAVENDER			
COTTONWOOD TREE	POPULUS FREMONTII	<u>HEAVENLY BAMBOO</u>	<u>NANDINA DOMESTICA</u>	<u>BROADMOOR JUNIPER</u>	<u>JUNIPERUS SABINA 'BROADMOOR'</u>	<u>JUPITERS BEARD</u>			
TAMARISK TREE	TAMARIX CHINENSIS	LILAC	SYRINGA VULGARIS (SP?)	<u>GRO-LOW SUMAC</u>	<u>RHUS AROMATICA GRO-LOW</u>				
SIBERIAN ELM TREE	ULMUS PUMILA	PIFFER BLUE JUNIPER	JUNIPERUS	COYOTE BRUSH	BACCHARIS X 'STARN THOMPSON'				
NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	<u>WINTER GEM BOXWOOD</u>	<u>BUXUS MICROPHYLLA 'WINTER GEM'</u>	MANHATTAN EUONYMUS	EUONYMUS KIAUSCHOVICUS 'MANHATTAN'				
JAPANESE MAPLE	ACER PALMATUM	THREE-LEAF SUMMAC	RHUS TRILOBATA	RED CLUSTERBERRY	COTONEASTER PARNEYI				
CHANTICLEER PEAR	PYRUS CALLERYANA CHANTICLEER	CORAL BEAUTY COTONEASTER	COTONEASTER DAMMERI 'CORAL BEAUTY'	POWIS CASTLE	ARTIMESIA 'POWIS CASTLE'				
OKLAHOMA REDBUD	CERCIS CANADENSIS 'OKLAHOMA'	JUNIPER	SPECIES TO BE DETERMINED	PERENNIALS					
PEAR TREE	PYRUS CALLERYANA (SPECIES?)			HOSTA LILY					
				CANALILY					

* SEE SHEET 7 FOR PLANT TOTALS

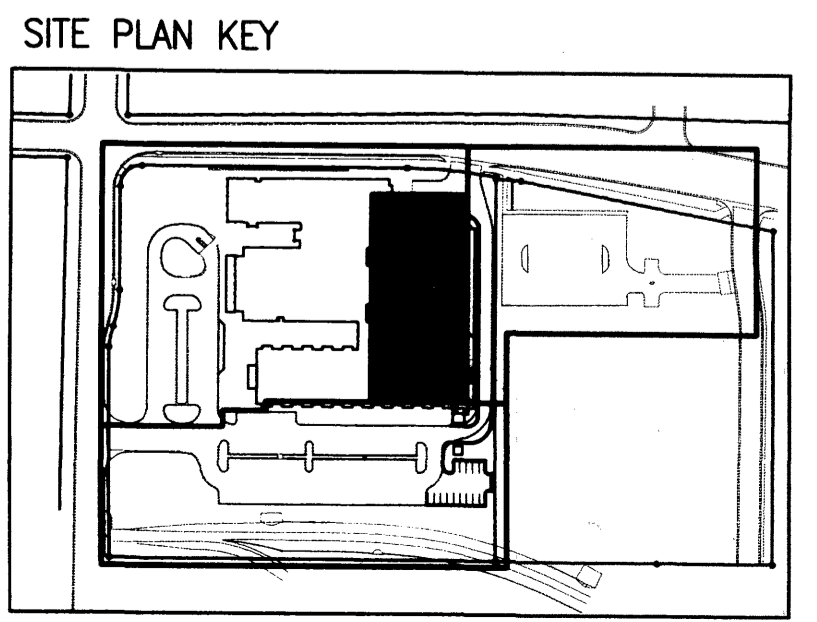


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Plot Date: 02-17-2009
Plot Time: 11:58 pm
File Name: 80392LD4_EPC.DWG



LANDSCAPING LEGEND				
PLANT LIST - EXISTING PLANTS ARE SCREENED, PROPOSED PLANTS ARE BOLD AND UNDERLINED				
COMMON NAME	BOTANICAL NAME	SYMBOL	ESTIMATED MAXIMUM HEIGHT/SPREAD	ESTIMATED QUANTITY
DECIDUOUS TREES				
LONDON PLANE TREE	PLATANUS ACERIFOLIA	LP		
JAPANESE PAGODA TREE	SOPHORA JAPONICA	JP		
CRABAPPLE	MALUS 'DOLGO'	C	40' x 40'	6
HONEY LOCUST	GLEDITSIA TRIACANTHOS 'INERMIS SHADEMASTER'	HL	35'-70' x 35'-50'	10
AMUR MAPLE	ACER TATARICUM 'GINNALA'	M		
RAYWOOD ASH	FRAXINUS OXYCARPA 'RAYWOOD'	RA	25'-30' x 25'-30'	9
CHINESE PISTACH	PISTACHIA CHINENSIS	CP	TO 60' TALL x 50' WIDE	2
GREEN ASH	FRAXINUS PENNSYLVANICA MARSHALL	GA		
RUSSIAN OLIVE	ELEAGNUS ANGUSTIFOLIA	RO		
COTTONWOOD TREE	POPULUS FREMONTII	CO		
TAMARISK TREE	TAMARIX CHINENSIS	T		
SIBERIAN ELM TREE	ULMUS PUMILA	SE		
NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	NMO		
CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	CHP	40' TALL x 15' WIDE	1
OKLAHOMA REDBUD	CERCIS CANADENSIS 'OKLAHOMA'	RB	TO 25'-35' TALL	3
PEAR TREE	PYRUS CALLERYANA (SPECIES?)	P		
APPLE TREE	MALUS (SPECIES?)	A		
EVERGREEN TREES				
SCOTCH PINE TREE	PINUS SYLVESTRIS	SP		
AUSTRIAN PINE	PINUS NIGRA	AP	TO 40' TALL	2
JAPANESE BLACK PINE	PINUS THUNBERGIA	JBP		
SHRUBS				
INDIA HAWTHORNE	RAPHIOLEPSIS INDICA 'ROSEA'	R	4'-5' TALL, UP TO 6' ACROSS	32
CHAMISA	CHRYSOTHAMNUS ERICAMERIA NAUSEOSA	CH	TO 6' x 6' AND LARGER	74
ROSEMARY	ROSMARINUS OFFICINALIS	RM	2'-6' HIGH AND WIDE	66
GREEN EUONOMOUS	ENONYMUS JAPONICUS	GE	TO 8' TALL x 6' ACROSS	4
COTONEASTER	COTONEASTER (SPECIES?)	COT		
HEAVENLY BAMBOO	NANDINA DOMESTICA	HB	TO 6'-8' TALL AND 4' ACROSS	5
LILAC	SYRINGA VULGARIS (SP?)	LL		
PFTZER BLUE JUNIPER	JUNIPERUS	PF	5'-6' AND SPREADING 15'-20'	6
WINTER GEM BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	B	TO 4'-6' HEIGHT AND SPREAD	12
THREE-LEAF SUMMACH	RHUS TRILOBATA	TLS	TO 8' TALL AND 12' SPREAD	10
CORAL BEAUTY COTONEASTER	COTONEASTER DAMMERI 'CORAL BEAUTY'	CBC	2' HEIGHT TO 6' SPREAD	9
JUNIPER	SPECIES TO BE DETERMINED	JUN		
ROSE	ROSE (SPECIES?)	R		
WISTERIA	WISTERIA CHINENSIS	W		
RUSSIAN SAGE	PEROVSKIA ATRIPICIFOLIA	RS		
POTENTILLA	POTENTILLA FRUTICOSA	PO	3' HEIGHT x 4' SPREAD	30
BUTTERFLY BUSH	BUDDLEJA DAVIDII	BB	6'-12' HEIGHT x 4'-8' SPREAD	4
ROSE OF SHARON	HIBISCUS SYRIACUS	SA		
VIRGINIA CREEPER	PARTHENOISSUS QUINQUEFOLIA	VC	SPREADING VINE	30
PERSIAN LILAC	SYRINGA X PERSICA	PL	4'-8' HEIGHT x 5'-10' SPREAD	3
BLUE MIST	CARYOPTERIS X CLANODENSIS	BM	2 1/2" HEIGHT x 3' SPREAD	36
BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	BJ	2'-3' HEIGHT x 4'-6' SPREAD	58
GRO-LOW SUMAC	RHUS AROMATICA GRO-LOW	G	2'-3' HEIGHT x 6'-8' SPREAD	11
COYOTE BRUSH	BACCHARIS X 'STARN THOMPSON'	CB		
MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN'	ME	6'-8' HEIGHT x 5' SPREAD	3
RED CLUSTERBERRY	COTONEASTER PARNEYI	RC	6'-8' HEIGHT x 6'-8' SPREAD	34
POMIS CASTLE	ARTEMISA 'POMIS CASTLE'	PC	2'-3' HEIGHT x 4'-6' SPREAD	58
PERENNIALS				
HOSTA LILY		H		
CANALY		CAN		
LILLY		L		
ORNAMENTAL GRASS		OG		
AUTUMN GLOW MUHLY	MUHLENBERGIA LINDBERGERI 'AUTUMN GLOW'	AGM	4'-5' TALL	29
WALKERS LOW CATMINT	NEPETA FAASSENNI 'WALKERS LOW'	WL	10" x 18"-24" SPREAD	12
REGAL MIST MUHLY	MUHLENBERGIA CAPILLENSIS 'REGAL MIST'	RMM	3'-4' TALL	51
HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM	PAN	5'-6' TALL	11
MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS 'MORNING LIGHT'	ML	5'-6' TALL	11
DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES	DP		
PROVENCE LAVENDER	LAVENDULA INTERMEDIA 'PROVENCE'	LAV	24"	6
JUPITERS BEARD	CENTRANTHUS RUBER	JB	18"-36"	23



File Path: E:\Projects\17-2009\17-2009.dwg
 Plot Date: 02-17-2009
 File Name: 80392LD2_EPC.DWG Plot Time: 1:59 pm

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PROJECT NUMBER
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DATE
DECEMBER 01, 2008
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FEBRUARY 17, 2009

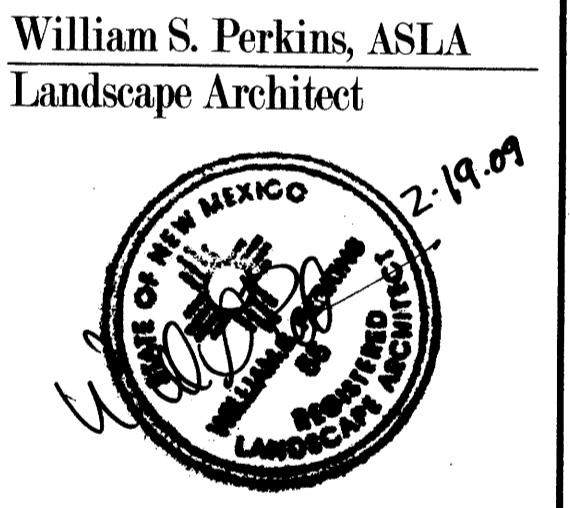
REVISIONS
 EPC CONDITIONS

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PROJECT
HealthSouth Rehabilitation Hospital Addition / Remodel

7000 JEFFERSON STREET
 ALBUQUERQUE, NEW MEXICO

SHEET TITLE
LANDSCAPING DETAILS AREA 3

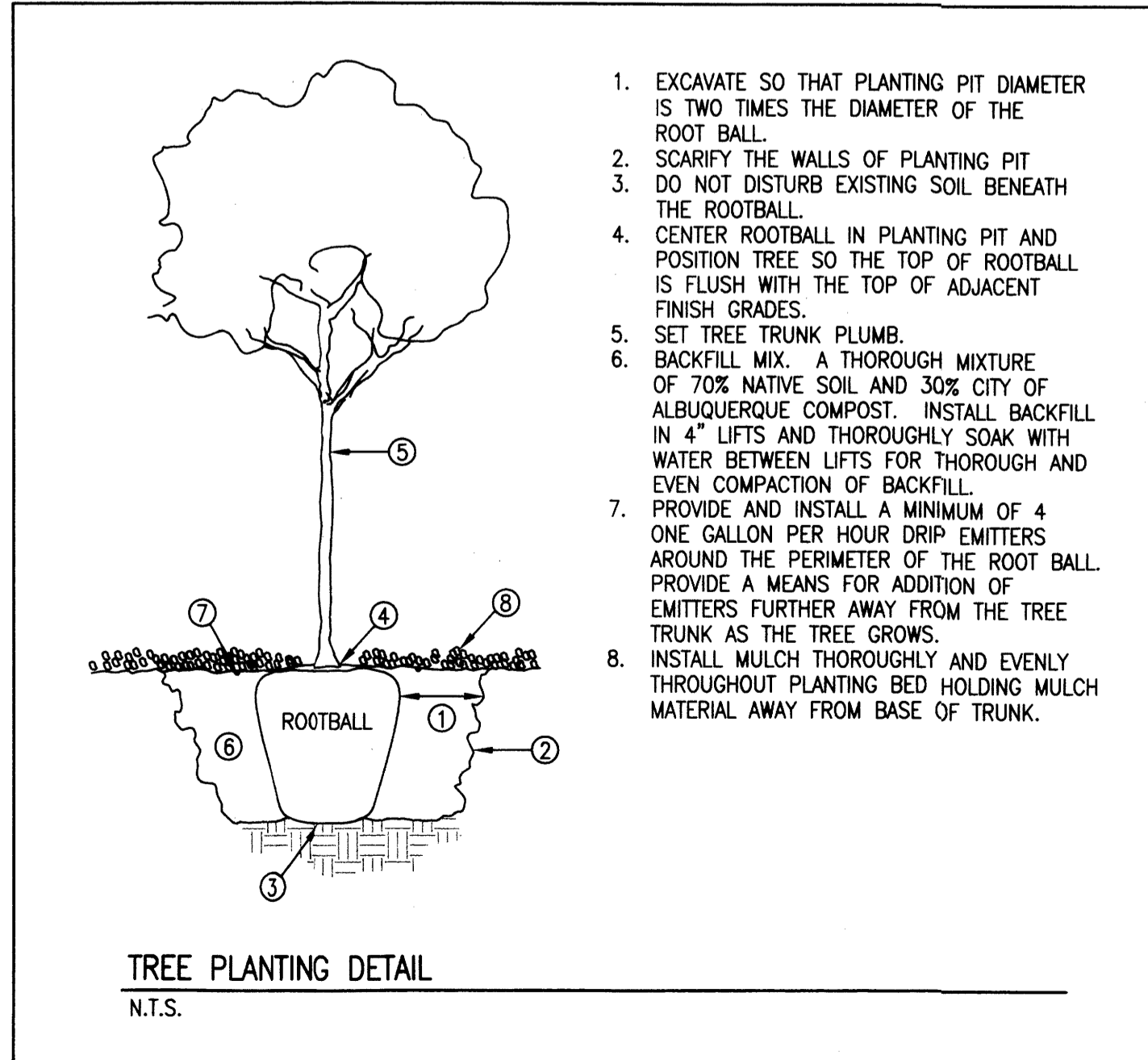
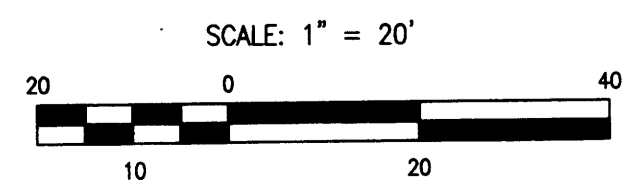
SHEET NUMBER
7

File Path: E:\Projects\02-17-2009
 Plot Date: 02-17-2009
 File Name: 80392LD3_EPC.DWG Plot Time: 1:60 pm

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MATCH LINE; FOR CONTINUATION, SEE SHEETS 5 & 7

MATCH LINE; FOR CONTINUATION, SEE SHEET 6

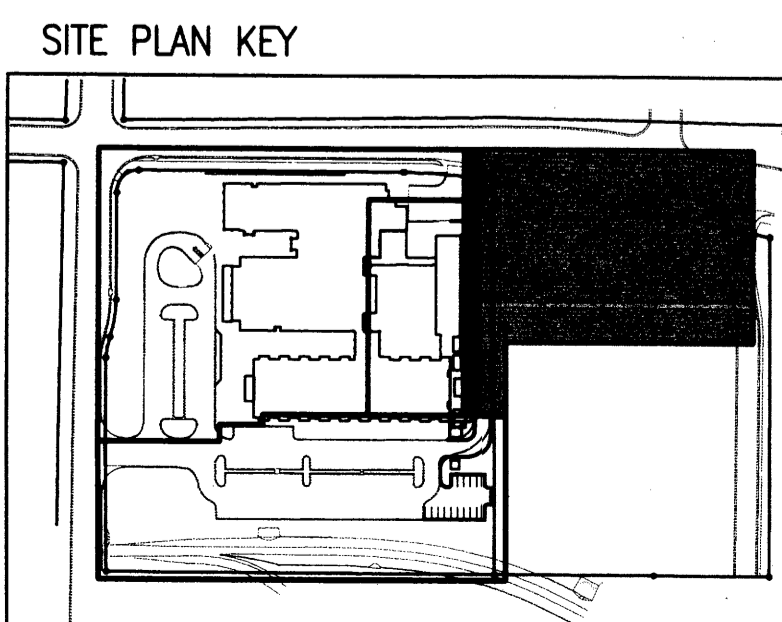


TREE PLANTING DETAIL
N.T.S.

1. EXCAVATE SO THAT PLANTING PIT DIAMETER IS TWO TIMES THE DIAMETER OF THE ROOT BALL.
2. SCARIFY THE WALLS OF PLANTING PIT.
3. DO NOT DISTURB EXISTING SOIL BENEATH THE ROOTBALL.
4. CENTER ROOTBALL IN PLANTING PIT AND POSITION TREE SO THE TOP OF ROOTBALL IS FLUSH WITH THE TOP OF ADJACENT FINISH GRADES.
5. SET TREE TRUNK PLUMB.
6. BACKFILL MIX. A THOROUGH MIXTURE OF 70% NATIVE SOIL AND 30% CITY OF ALBUQUERQUE COMPOST. INSTALL BACKFILL IN 4" LIFTS AND THOROUGHLY SOAK WITH WATER BETWEEN LIFTS FOR THOROUGH AND EVEN COMPACTION OF BACKFILL.
7. PROVIDE AND INSTALL A MINIMUM OF 4 ONE GALLON PER HOUR DRIP EMITTERS AROUND THE PERIMETER OF THE ROOT BALL. PROVIDE A MEANS FOR ADDITION OF EMITTERS FURTHER AWAY FROM THE TREE TRUNK AS THE TREE GROWS.
8. INSTALL MULCH THOROUGHLY AND EVENLY THROUGHOUT PLANTING BED HOLDING MULCH MATERIAL AWAY FROM BASE OF TRUNK.

LANDSCAPING LEGEND		
PLANT LIST - EXISTING PLANTS ARE SCREENED, PROPOSED PLANTS ARE BOLD AND UNDERLINED		
DECIDUOUS TREES		
LONDON PLANE TREE	PLATANUS ACERIFOLIA	LP
JAPANESE PAGODA TREE	SOPHORA JAPONICA	JP
CRABAPPLE	MALUS SPECIES (VARIETY?)	C
HONEY LOCUST	GLEDTISIA TRIACANTHOS INERMIS	HL
AMUR MAPLE	ACER TATARICUM 'GINNALA'	M
RAYWOOD ASH	FRAXINUS OXYCARPA 'RAYWOOD'	RA
CHINESE PISTACH	PISTACHIA CHINENSIS	CP
GREEN ASH	FRAXINUS PENNSYLVANICA (VARIETY?)	GA
RUSSIAN OLIVE	ELEAGNUS ANGUSTIFOLIA	RO
COTTONWOOD TREE	POPULUS FREMONTII	CO
TAMARISK TREE	TAMARIX CHINENSIS	T
SIBERIAN ELM TREE	ULMUS PUMILA	SE
NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	NMO
JAPANESE MAPLE	ACER PALMATUM	AP
CHANTICLEER PEAR	PYRUS CALLERYANA CHANTICLEER	CHP
OKLAHOMA REDBUD	CERCIS CANADENSIS 'OKLAHOMA'	RB
PEAR TREE	PYRUS CALLERYANA (SPECIES?)	P
APPLE TREE	MALUS (SPECIES?)	A
EVERGREEN TREES		
SCOTCH PINE TREE	PINUS SYLVESTRIS	SP
AUSTRIAN PINE	PINUS NIGRA	AP
JAPANESE BLACK PINE	PINUS THUNBERGIA	JBP
SHRUBS		
INDIA HAWTHORNE	RAPHIOLEPSIS INDICA 'ROSEA'	R
CHAMISA	CHRYSOTHAMNUS ERICAMERIA NAUSEOSA	CH
ROSEMARY	ROSMARINUS OFFICINALIS	RM
GREEN EUONOMOUS	ENONYMUS JAPONICUS	GE
COTONEASTER	COTONEASTER (SPECIES?)	COT
HEAVENLY BAMBOO	NANDINA DOMESTICA	HB
LILAC	SYRINGA VULGARIS (SP?)	LL
PFITZER BLUE JUNIPER	JUNIPERUS	PF
WINTER GEM BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	B
THREE-LEAF SUMMACK	RHUS TRILOBATA	TLS
CORAL BEAUTY COTONEASTER	COTONEASTER DAMMERI 'CORAL BEAUTY'	CBC
JUNIPER	SPECIES TO BE DETERMINED	JUN
ROSE	ROSE (SPECIES?)	R
WISTERIA	WISTERIA CHINENSIS	W
RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	RS
POTENTILLA	POTENTILLA FRUTICOSA	PO
BUTTERFLY BUSH	BUDDLEJA DAVIDII	BB
SHRUB ALTHAEA	HIBISCUS SYRIACUS	SA
VIRGINIA CREEPER	PARTHENOCISSUS QUINQUIFOLIA	VC
PERSIAN LILAC	SYRINGA X PERSICA	PL
BLUE MIST	CARYOPTERIS X CLAUDENSIS	BM
BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	BJ
GRO-LOW SUMAC	RHUS AROMATICA GRO-LOW	G
BOVOTE BRUSH	BACCHARIS X 'STARN THOMPSON'	CB
MANHATTAN EUONYMUS	EUONYMUS KIAUSCHOVICUS 'MANHATTAN'	ME
RED CLUSTERBERRY	COTONEASTER PARNEYI	RC
POMIS CASTLE	ARTIMESIA 'POMIS CASTLE'	PC
PERENNIALS		
HOSTA LILY		H
CANALLY		CAN
LILLY		L
ORNAMENTAL GRASS		OG
AUTUMN GLOW MUHLY	MUHLBERGIA LINDHEIMERI 'AUTUMN GLOW'	AGM
WALKERS LOW CATMINT	NEPETA FASSENI 'WALKERS LOW'	WL
REGAL MIST MUHLY	MUHLBERGIA CAPILLENSIS 'REGAL MIST'	RMM
HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM	PAN
MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS 'MORNING LIGHT'	ML
DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES	DP
PROVENCE LAVENDER	LAVENDULA INTERMEDIA 'PROVENCE'	LAV
JUPITERS BEARD	CENTRANTHUS RUBER	JB

* SEE SHEET 7 FOR PLANT TOLLS



SITE PLAN KEY

PROJECT NUMBER
081570.00

DRAWN BY

DATE
NOVEMBER 06, 2008
JANUARY 20, 2009
FEBRUARY 17, 2009

REVISIONS
 EPC CONDITIONS

HIGH MESA
 Consulting Group

6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87109
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 ARCHITECTS

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 Boulder, Colorado 80302
 303.499.7795 F 303.499.7767
 www.boulderassociates.com

William S. Perkins, ASLA
 Landscape Architect



PROJECT
HealthSouth Rehabilitation Hospital Addition / Remodel

7000 JEFFERSON STREET
 ALBUQUERQUE, NEW MEXICO

SHEET TITLE
LANDSCAPING DETAILS AREA 4

SHEET NUMBER
8

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED ALONG THE NORTH I-25/JEFFERSON CORRIDOR REPRESENTS MODIFICATIONS TO AN EXISTING SITE WITHIN AN INFILL AREA. THE SITE, LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF JEFFERSON STREET NE AND ELLISON STREET NE IS CURRENTLY DEVELOPED AS A HOSPITAL SITE WITH RELATED USES. IT IS PROPOSED TO ADD SEVERAL BUILDING ADDITIONS AND MODEST PARKING LOT IMPROVEMENTS. UPGRADES TO THE EXISTING LANDSCAPING ARE ALSO PROPOSED. THE DRAINAGE CONCEPT FOR THIS SITE WILL BE THE CONTINUED FREE DISCHARGE TO THE PINO ARROYO, A CITY OWNED AND OPERATED CONCRETE DRAINAGE CHANNEL.

THIS SUBMITTAL IS MADE IN SUPPORT OF SITE DEVELOPMENT PLAN APPROVAL FOR BUILDING PERMIT.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED AT THE SOUTHEAST CORNER OF JEFFERSON STREET NE AND ELLISON STREET NE. THE CURRENT LEGAL DESCRIPTION IS TRACTS 4A AND 4B1, INTERSTATE INDUSTRIAL TRACT, UNIT 5, AS INDICATED BY PANEL 137 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, NOVEMBER 19, 2003. THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. A DESIGNATED FLOOD HAZARD ZONE IS IDENTIFIED TO THE SOUTH OF THE SITE. THE PUBLIC STORM DRAIN PINO ARROYO MAKES UP THE LIMITS OF THE FLOOD HAZARD ZONE. APPROXIMATELY TWO THIRDS OF THE EXISTING SITE SURFACE DRAINS NORTH TO SOUTH, DISCHARGING DIRECTLY INTO PINO ARROYO VIA CURB OPENINGS ALONG THE SOUTH PARKING LOT CURB. THE REMAINING WESTERN THIRD OF THE SITE DRAINS EAST TO WEST INTO JEFFERSON STREET NE, WHERE IT COLLECTS INTO AN EXISTING PUBLIC STORM DRAIN SYSTEM AND ULTIMATELY DISCHARGES INTO PINO ARROYO. THE CONSTRUCTION PROPOSED FOR THIS SITE WILL NOT ADVERSELY IMPACT DOWNSTREAM FLOW OR DOWNSTREAM PROPERTIES AND WILL NOT ALTER THE EXISTING APPROVED DRAINAGE PATTERNS.

III. BACKGROUND DOCUMENTS & RESEARCH

THE FOLLOWING ITEMS WERE REVIEWED IN THE PREPARATION OF THIS SUBMITTAL:

- A BOUNDARY AND TOPOGRAPHIC SURVEY OF THE EXISTING SITE PREPARED BY HIGH MESA CONSULTING GROUP, DATED 10/07/2008. THE SUBJECT SURVEY SHOWS THE EXISTING SITE IMPROVEMENTS.
- CITY AS-BUILT PLANS OF JEFFERSON STREET NE AND ELLISON STREET NE RECEIVED FROM THE CITY RECORDS. THE AS-BUILT PLANS SHOW THE EXISTING PUBLIC PAVING AND INFRASTRUCTURE IMPROVEMENTS WITHIN THESE PUBLIC ROADWAYS.
- GRADING AND DRAINAGE PLAN PREPARED BY ESPEY, HUSTON & ASSOCIATES, INC. DATED 11/13/87 (D17/D61A). THIS APPROVED DRAINAGE PLAN PERMITS FREE DISCHARGE INTO JEFFERSON STREET NE AND THE PINO ARROYO.
- GRADING AND DRAINAGE PLAN FOR THE HEALTHSOUTH SATELLITE PARKING LOT PREPARED BY THIS OFFICE, NMPE 8547, DATED 12-29-2005 AND REVISED 01-31-2006. THIS 2006 SUBMITTAL ADDRESSED THE DESIGN AND DEVELOPMENT OF A STAFF PARKING LOT AT THE NORTHWEST CORNER OF TRACT 4B1. THE DEVELOPED RUNOFF FROM TRACT 4B1 DISCHARGES DIRECTLY TO ELLISON DRIVE NE VIA SIDEWALK CULVERT. THE 2006 DRAINAGE SUBMITTAL REPRESENTS THE DRAINAGE CONDITIONS OF TRACT 4B1 THAT LIES IMMEDIATELY ADJACENT TO THE ORIGINAL HOSPITAL SITE, TRACT 4A.

IV. EXISTING CONDITIONS

AT PRESENT, TRACT 4A IS DEVELOPED AS A HOSPITAL SITE WITH RELATED USES. THE SITE IS CHARACTERIZED BY TWO DRAINAGE BASINS. BASIN A DISCHARGES TO THE ADJACENT CITY STREETS. FROM THIS POINT, THE RUNOFF IS CARRIED WITHIN THE IMPROVED STREETS TO ENTER THE EXISTING PUBLIC STORM DRAIN SYSTEM THAT OUTFALLS TO THE PINO ARROYO. BASIN B DRAINS INTERNALLY AND DISCHARGES DIRECTLY TO THE PINO ARROYO VIA AN EXISTING SIDE INLET SITUATED ON THE NORTH EDGE OF THE CONCRETE CHANNEL.

TRACT 4B1 IS ONLY PARTLY DEVELOPED AS A SATELLITE PARKING LOT FOR HOSPITAL STAFF. REFER TO THE 2006 DRAINAGE SUBMITTAL REFERENCED ABOVE FOR THE EXISTING CONDITIONS OF TRACT 4B1. THE DEVELOPED PORTIONS OF TRACT 4B1 FREE DISCHARGE TO ELLISON DRIVE NE VIA A SIDEWALK CULVERT SITUATED AT THE NORTHWEST CORNER OF THE STAFF PARKING LOT.

OFFSITE FLOWS DO NOT ENTER EITHER SITE. THE ADJACENT CITY STREETS LIE TOPOGRAPHICALLY LOWER, PLUS ARE FULLY IMPROVED WITH CURB AND GUTTER AND PUBLIC STORM DRAIN FACILITIES. TRACT 4B1 IS BOUNDED ON ITS EAST EDGE BY A PRIVATE STREET THAT INTERCEPTS OFFSITE FLOWS FROM THE EAST AND CONVEYS THOSE FLOWS BOTH NORTH AND SOUTH. THE PINO ARROYO LIES TO THE SOUTH OF THE COLLECTIVE SITE. REVIEW OF FIRM PANEL 137 INDICATES THAT FLOWS ARE CONFINED TO THE CONSTRUCTED CHANNEL AND HENCE DOES NOT GENERATE ANY OFFSITE FLOWS.

V. DEVELOPED CONDITIONS

THE PROPOSED IMPROVEMENTS CONSIST OF SEVERAL BUILDING ADDITIONS TO THE ORIGINAL HOSPITAL BUILDING. MODEST PARKING LOT IMPROVEMENTS ARE ALSO PROPOSED ALONG WITH LANDSCAPING UPGRADES. THE NET RESULT OF THE PROPOSED IMPROVEMENTS WILL BE A MINOR INCREASE IN IMPERVIOUS AREA RESULTING IN A MINOR INCREASE IN DEVELOPED RUNOFF. REGARDLESS, THE PROPOSED IMPROVEMENTS WILL NOT ALTER DRAINAGE BASIN BOUNDARIES NOR WILL THE PROPOSED IMPROVEMENTS ALTER EXISTING POINTS OF DISCHARGE FROM THE SITE.

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 2.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 3.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 4.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED IMPROVEMENTS WILL MAINTAIN EXISTING DRAINAGE PATTERNS AND POINTS OF DISCHARGE.

VII. CALCULATIONS

CALCULATIONS ANALYZING THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THIS PROJECT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THE RESULTS PRESENTED HEREON, THERE WILL BE A MINIMAL INCREASE IN PEAK DISCHARGE AND RUNOFF VOLUME ASSOCIATED WITH THE PROPOSED DEVELOPMENT ON TRACT 4A. CALCULATIONS FOR TRACT 4B1 HAVE NOT BEEN INCLUDED AS THERE IS NO CHANGE PROPOSED FROM THE 2006 SUBMITTAL REFERENCED ABOVE.

VIII. CONCLUSION

THE CONTINUED FREE DISCHARGE OF RUNOFF FROM THIS SITE TO THE PINO ARROYO IS JUSTIFIED DUE TO THE FOLLOWING FACTORS:

- MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA
- MINIMAL INCREASE IN PEAK DISCHARGE AND VOLUME OF RUNOFF GENERATED
- PROPOSED DEVELOPMENT IS CONSISTENT WITH THE PREVIOUSLY APPROVED 1987 AND 2006 DRAINAGE PLANS REFERENCED ABOVE
- NO ADVERSE IMPACT ON DOWNSTREAM CAPACITY OR DOWNSTREAM PROPERTIES
- THE EXISTING PREVIOUSLY APPROVED DRAINAGE PATTERNS (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED

A SEPARATE DRAINAGE SUBMITTAL IS REQUIRED TO SUPPORT BUILDING PERMIT APPROVAL.

CALCULATIONS

I. SITE CHARACTERISTICS

- A. PRECIPITATION ZONE = 2
- B. $P_{100, 6 HR} = P_{360} =$ 2.35
 $P_{100, 10 DAY} =$ 3.95
- C. TOTAL PROJECT AREA (A_T) = 253,760 SF
5.83 AC

D. LAND TREATMENTS

1. EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	73,920 / 1.70	29
C	10,600 / 0.24	4
D	170,320 / 3.91	67

2. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	58,350 / 1.34	23
D	195,400 / 4.49	77

II. HYDROLOGY

A. EXISTING CONDITION

1. VOLUME

$$E_w = (E_p A_A + E_p A_B + E_p A_C + E_p A_D) / A_T$$

$$E_w = (0.78 * 1.70) + (1.13 * 0.24) + (2.12 * 3.91) / 5.85 = 1.69 \text{ IN}$$

$$V_{100, 6 HR} = (E_w / 12) A_T = (1.69 / 12) 5.85 = 0.8239 \text{ AC-FT} = 35,890 \text{ CF}$$

2. PEAK DISCHARGE

$$Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$$

$$Q_p = Q_{100} = (2.28 * 1.70) + (3.14 * 0.24) + (4.70 * 3.91) = 23.0 \text{ CFS}$$

B. DEVELOPED CONDITION

1. VOLUME

$$E_w = (E_p A_A + E_p A_B + E_p A_C + E_p A_D) / A_T$$

$$E_w = (0.78 * 1.34) + (2.12 * 4.49) / 5.83 = 1.81 \text{ IN}$$

$$V_{100, 6 HR} = (E_w / 12) A_T = (1.81 / 12) 5.83 = 0.8794 \text{ AC-FT} = 38,300 \text{ CF}$$

2. PEAK DISCHARGE

$$Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$$

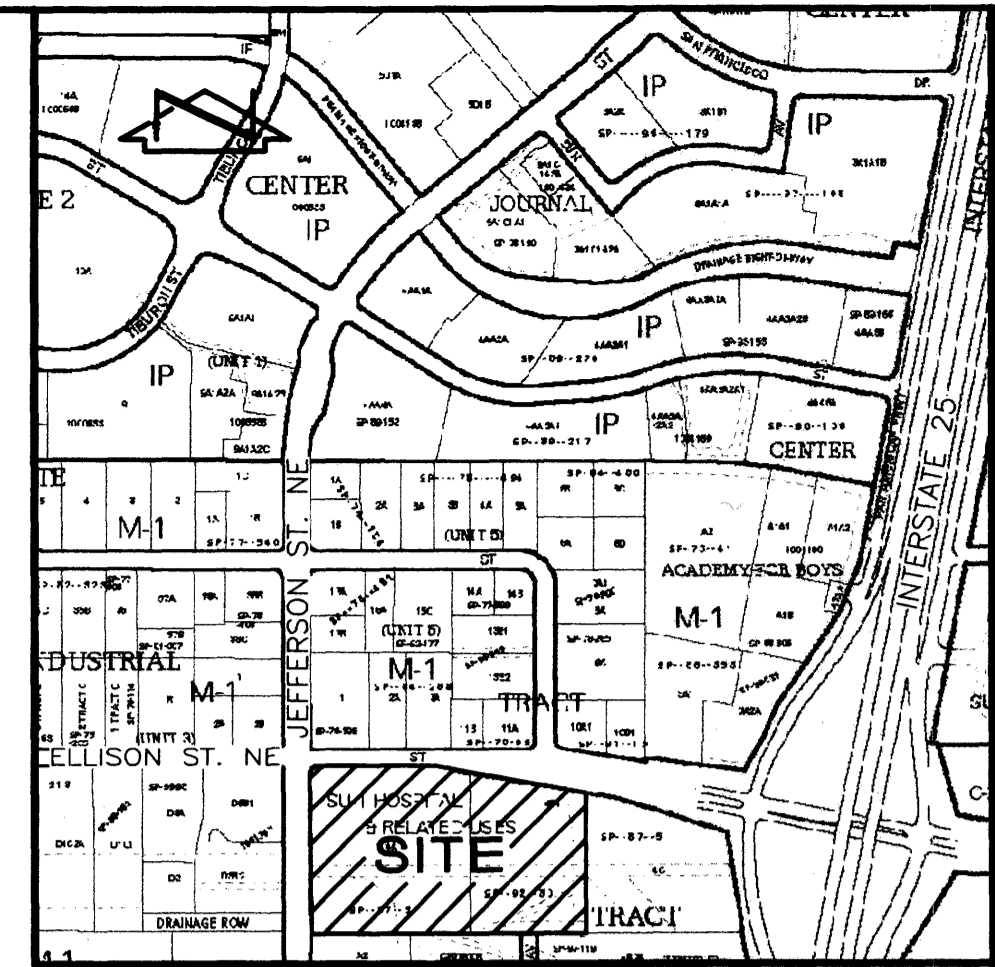
$$Q_p = Q_{100} = (2.28 * 1.34) + (4.70 * 4.49) = 24.1 \text{ CFS}$$

C. COMPARISON

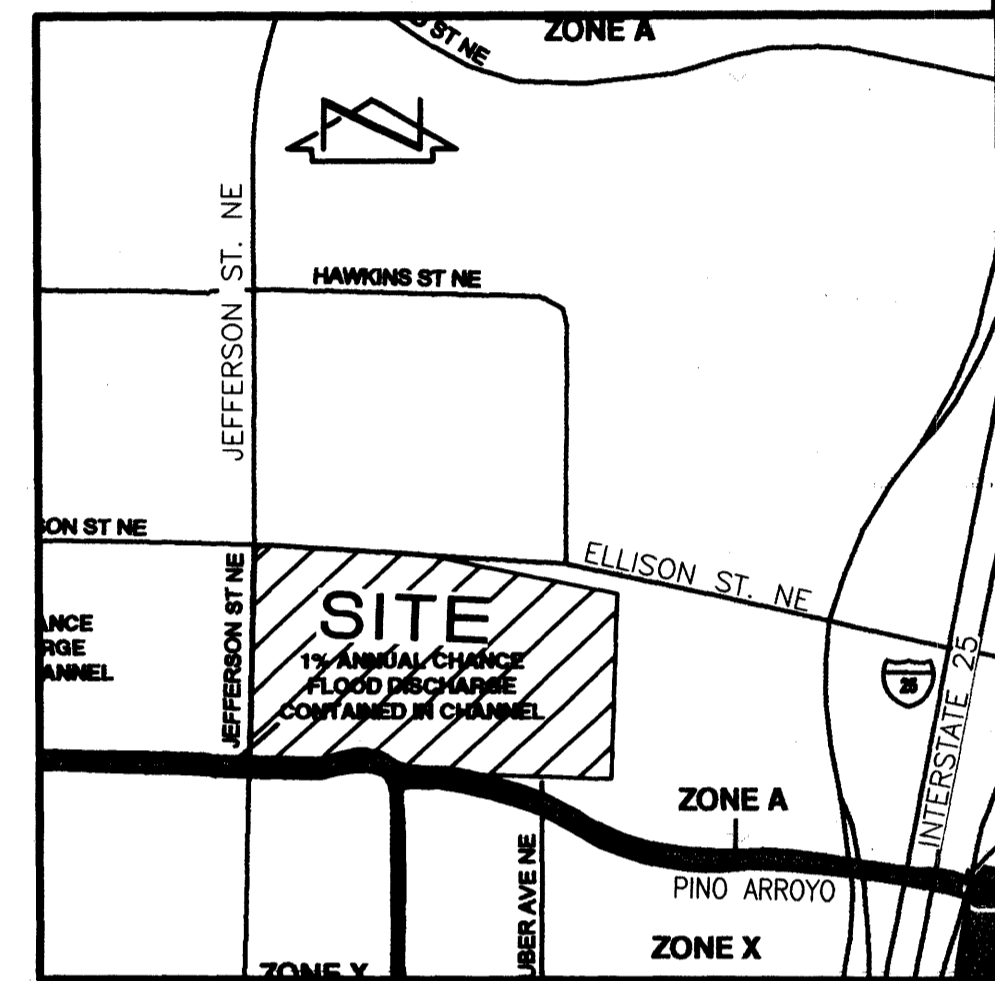
- VOLUME**
 $\Delta V_{100, 6 HR} = 38,300 - 35,890 = 2,410 \text{ CF}$ (INCREASE)
- PEAK DISCHARGE**
 $\Delta Q_{100} = 24.1 - 23.0 = 1.1 \text{ CFS}$ (INCREASE)

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.



VICINITY MAP D-17
SCALE: 1" = 750'



F.I.R.M. PANELS 136 & 137 OF 825
SCALE: 1" = 500'

LEGAL DESCRIPTION

TRACT 4A AND 4B-1, INTERSTATE INDUSTRIAL TRACT-UNIT 5, ALBUQUERQUE.

PROJECT BENCHMARK

A CITY OF ALBUQUERQUE 1 3/4" ALUMINUM DISK STAMPED "ACS BM, 13-E17", EPOXIED TO TOP OF CONCRETE BASE OF STREET LIGHT STANCHION, LOCATED AT THE WSW QUADRANT OF OSUNA ROAD N.E. AND JEFFERSON STREET N.E., ON N.E. CORNER OF SAID CONCRETE BASE. ELEVATION = 5141.036 FEET (NAVD 1988)

T.B.M. #1

A REBAR #5 WITH CONTROL CAP STAMPED "NMPS #11184", AS SHOWN ON GRADING PLAN, SEE SHEET 9. ELEVATION = 5167.64 FEET (NAVD 1988)

T.B.M. #2

A CITY OF ALBUQUERQUE 1 3/4" ALUMINUM DISK STAMPED "ACS 16 E 17", AS SHOWN ON GRADING PLAN, SEE SHEET 9. ABANDONED AS CO14 BENCHMARK 11-2007. ELEVATION = 5147.20 FEET (NAVD 1988)

T.B.M. #3

A SPIKE WITH CONTROL CAP STAMPED "NMPS #11184", AS SHOWN ON GRADING PLAN, SEE SHEET 9. ELEVATION = 5156.42 FEET (NAVD 1988)

PROJECT NUMBER
081570.00

DRAWN BY

DATE
NOVEMBER 06, 2008
JANUARY 15, 2009
FEBRUARY 17, 2009

REVISIONS

EPC CONDITIONS - NO CHANGES THIS SHEET



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02-13-2009

PROJECT

HealthSouth Rehabilitation Hospital Addition / Remodel

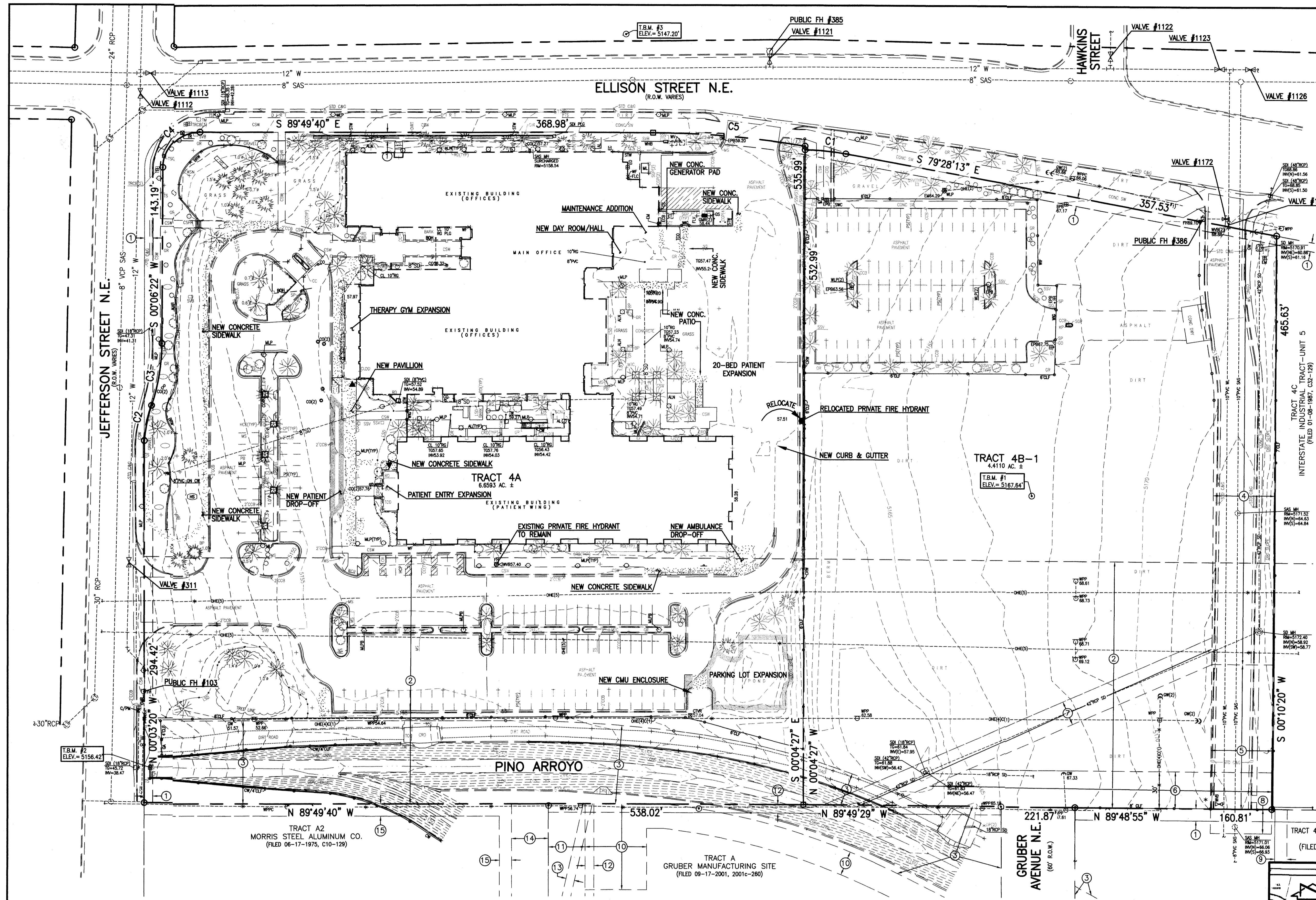
7000 JEFFERSON STREET
ALBUQUERQUE, NEW MEXICO

SHEET TITLE

PRELIMINARY DRAINAGE PLAN AND CALCULATIONS

SHEET NUMBER

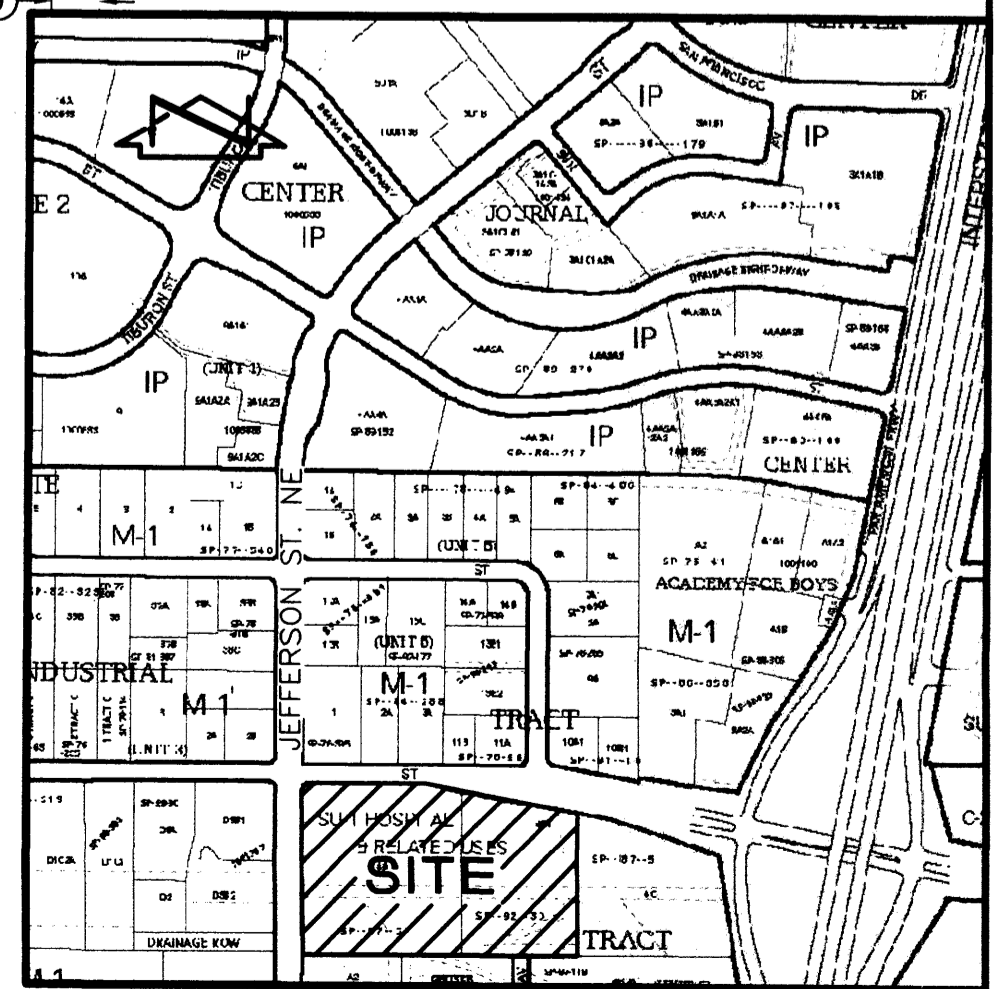
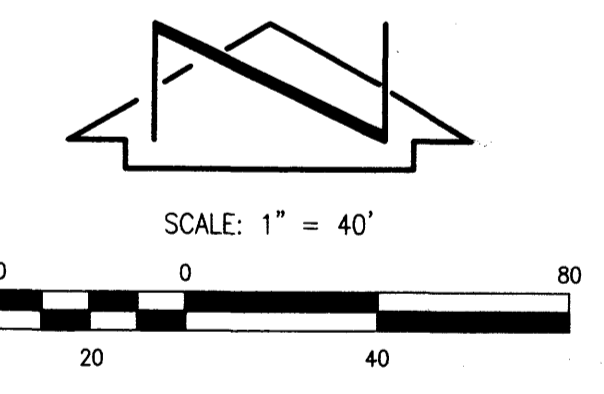
10



CONCEPTUAL UTILITY PLAN NOTES
 THE EXISTING UTILITIES SHOWN HEREON HAVE BEEN COMPILED FROM THE FOLLOWING SOURCES:
 • CITY OF ALBUQUERQUE RECORD DRAWINGS (AS-BUILTS)
 • CITY OF ALBUQUERQUE AUTOMATED WATER DISTRIBUTION SYSTEM SECTIONAL MAPS
 • CITY OF ALBUQUERQUE AUTOMATED (SANITARY) SEWER DISTRIBUTION SYSTEM SECTIONAL MAPS
 • CITY OF ALBUQUERQUE STORM FACILITIES MAPS
 • HIGH MESA CONSULTING GROUP TOPOGRAPHIC SURVEY DATED 10/07/2008

THE DEVELOPED HOSPITAL SITE IS CURRENTLY SERVED BY PUBLIC AND PRIVATE UTILITIES AS MORE PARTICULARLY DESCRIBED BELOW:

1. A PRIVATE SANITARY SEWER SERVICE PRESENTLY SERVES THE EXISTING SITE. THE EXISTING SANITARY SEWER SERVICE WILL BE EXTENDED WITHIN THE SITE TO SERVE THE PROPOSED ADDITIONS. NO ADDITIONAL PUBLIC SANITARY SEWER INFRASTRUCTURE IS PROPOSED AS PART OF THIS PROJECT.
2. A PRIVATE (METERED) WATER SERVICE PRESENTLY SERVES THE EXISTING SITE. THE EXISTING PRIVATE WATER SERVICE WILL BE EXTENDED WITHIN THE SITE TO SERVE THE PROPOSED ADDITIONS. NO ADDITIONAL PUBLIC WATER INFRASTRUCTURE IS PROPOSED AS PART OF THIS PROJECT.
3. A PRIVATE FIRE LINE PRESENTLY SERVES THE EXISTING SITE. THE EXISTING PRIVATE FIRE LINE WILL BE RELOCATED WITHIN THE SITE TO ACCOMMODATE THE PROPOSED ADDITIONS. NO ADDITIONAL PUBLIC WATER INFRASTRUCTURE IS PROPOSED TO PROVIDE ADDITIONAL FIRE PROTECTION AS PART OF THIS PROJECT.
4. ELECTRICAL POWER PROVIDED BY PNM PRESENTLY SERVES THIS SITE. EXPANDING THE EXISTING SERVICE WITHIN THE SITE IS PROPOSED AS PART OF THIS PROJECT. NO ADDITIONAL OFFSITE INFRASTRUCTURE IS ANTICIPATED.
5. NATURAL GAS PROVIDED BY PNM PRESENTLY SERVES THIS SITE. EXPANDING THE EXISTING SERVICE WITHIN THE SITE IS PROPOSED AS PART OF THIS PROJECT. NO ADDITIONAL OFFSITE INFRASTRUCTURE IS ANTICIPATED.
6. TELEPHONE SERVICE PROVIDED BY QWEST PRESENTLY SERVES THIS SITE. EXPANDING THE EXISTING SERVICE WITHIN THE SITE IS PROPOSED AS PART OF THIS PROJECT. NO ADDITIONAL OFFSITE INFRASTRUCTURE IS ANTICIPATED.



PROJECT NUMBER
081570.00

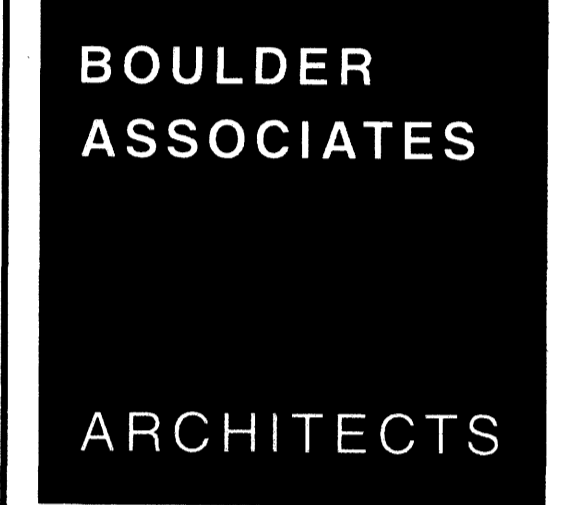
DRAWN BY

DATE
NOVEMBER 06, 2008
JANUARY 15, 2009
FEBRUARY 17, 2009

REVISIONS
 ▲ EPC CONDITIONS - NO CHANGES THIS SHEET



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02/18/2009
 PROJECT
HealthSouth Rehabilitation Hospital Addition / Remodel

7000 JEFFERSON STREET
 ALBUQUERQUE, NEW MEXICO

SHEET TITLE
CONCEPTUAL UTILITY PLAN

SHEET NUMBER

11

Plot Date: 02-17-2009
 Plot Name: 80392UP1.DWG
 Plot Time: 3:14 pm

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	190.90'	33.46'	S 84°28'03" E	33.42'	10°02'31"
C2	142.38'	28.76'	N 11°38'59" E	28.71'	11°34'19"
C3	157.63'	51.40'	N 09°26'54" E	51.17'	18°40'55"
C4	30.00'	47.27'	N 45°14'53" E	42.53'	90°16'48"
C5	750.00'	124.57'	S 85°05'01" E	124.42'	09°30'58"

- EASEMENT KEYED NOTES**
- EASEMENTS**
- 1) 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT C32-129
 - 2) 200' PNM EASEMENT GRANTED BY DOCUMENT FILED 08-10-1956, BOOK D359, PAGE 275
 - 3) DRAINAGE AND PUBLIC UTILITY EASEMENT GRANTED BY DOCUMENT FILED 02-11-1985, BOOK MISC. 200A, PAGES 123-137, DOC. #85-10594
 - 4) PRIVATE ACCESS, PUBLIC WATERLINE, PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 92C-50
 - 5) PRIVATE ACCESS, PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 92C-50
 - 6) TEMPORARY PRIVATE DRAINAGE SWALE EASEMENT GRANTED BY PLAT C32-129 AND FURTHER CLARIFIED BY PLAT 92C-50
 - 7) 20' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 92C-50
- EASEMENTS - OFFSITE**
- 8) 50'X20' PRIVATE ACCESS, PUBLIC WATERLINE AND PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 92C-50
 - 9) 10' PNM AND US WEST COMMUNICATIONS EASEMENT GRANTED BY PLAT 97C-178
 - 10) PUBLIC DRAINAGE, UTILITY AND ACCESS EASEMENT DEPICTED ON PLAT 2001C-260
 - 11) 30' PUBLIC DRAINAGE AND UTILITY EASEMENT DEPICTED ON PLAT 2001C-260
- EASEMENTS - OFFSITE (CONTINUED)**
- 12) 7' PUBLIC UTILITY EASEMENT DEPICTED ON PLAT 2001C-260
 - 13) 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2001C-260
 - 14) 30' DRAINAGE EASEMENT DEPICTED ON PLAT C10-129
 - 15) 10' PUBLIC UTILITY EASEMENT DEPICTED ON PLAT C10-129

PROJECT BENCHMARK
 A CITY OF ALBUQUERQUE 1 3/4" ALUMINUM DISK STAMPED "ACS BM. 13-E17", EPOXYED TO TOP OF CONCRETE BASE OF STREET LIGHT STANCHION, LOCATED AT THE WSW QUADRANT OF OSUNA ROAD N.E. AND JEFFERSON STREET N.E., ON N.E. CORNER OF SAID CONCRETE BASE. ELEVATION = 5141.036 FEET (NAVD 1988)

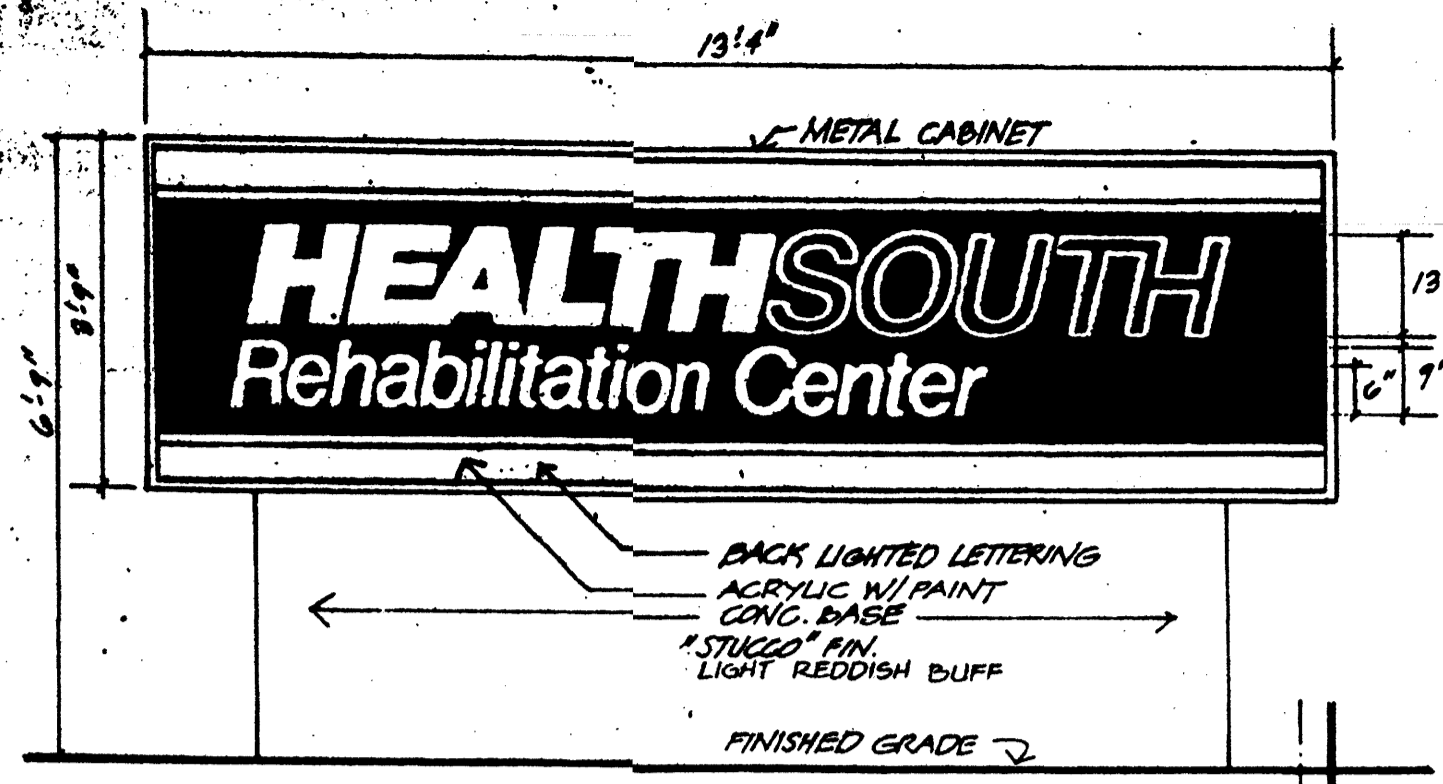
T.B.M. #1
 A REBAR #5 WITH CONTROL CAP STAMPED "NMP# 111184", AS SHOWN. ELEVATION = 5167.64 FEET (NAVD 1988)

T.B.M. #2
 A CITY OF ALBUQUERQUE 1 3/4" ALUMINUM DISK STAMPED "ACS 16 E 17", AS SHOWN. ABANDONED AS C014 BENCHMARK 11-2007. ELEVATION = 5147.20 FEET (NAVD 1988)

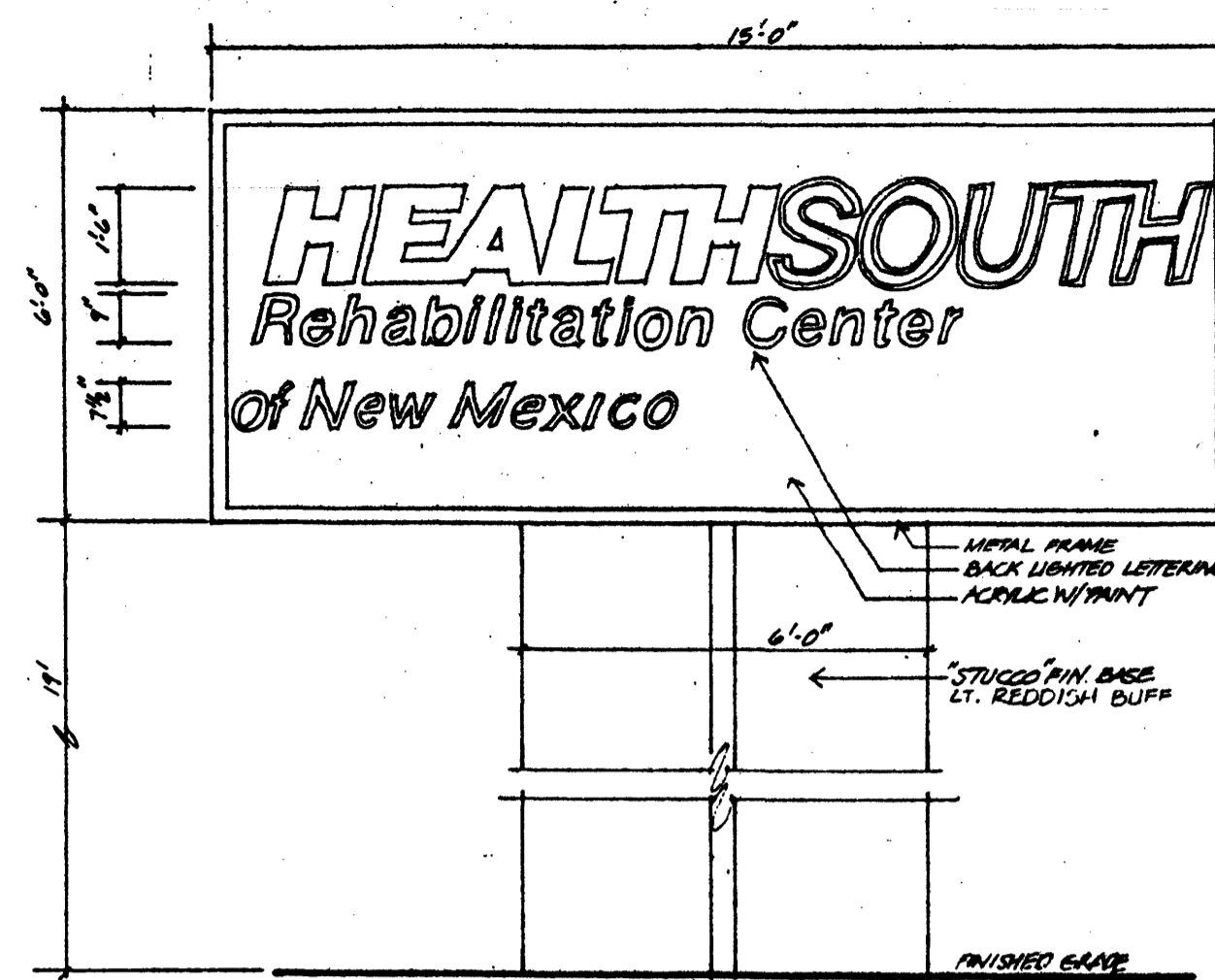
T.B.M. #3
 A SPIKE WITH CONTROL CAP STAMPED "NMP# 111184", AS SHOWN. ELEVATION = 5156.42 FEET (NAVD 1988)

LEGAL DESCRIPTION
 TRACT 4B-1, INTERSTATE INDUSTRIAL TRACT-UNIT 5, ALBUQUERQUE.

NOTE:
 THIS IS NOT A BOUNDARY SURVEY. DATA IS SHOWN FOR ORIENTATION ONLY. BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 10-07-2008. THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON A TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 10-07-2008.



SIGNAGE TYPE - 1



SIGNAGE TYPE - 2

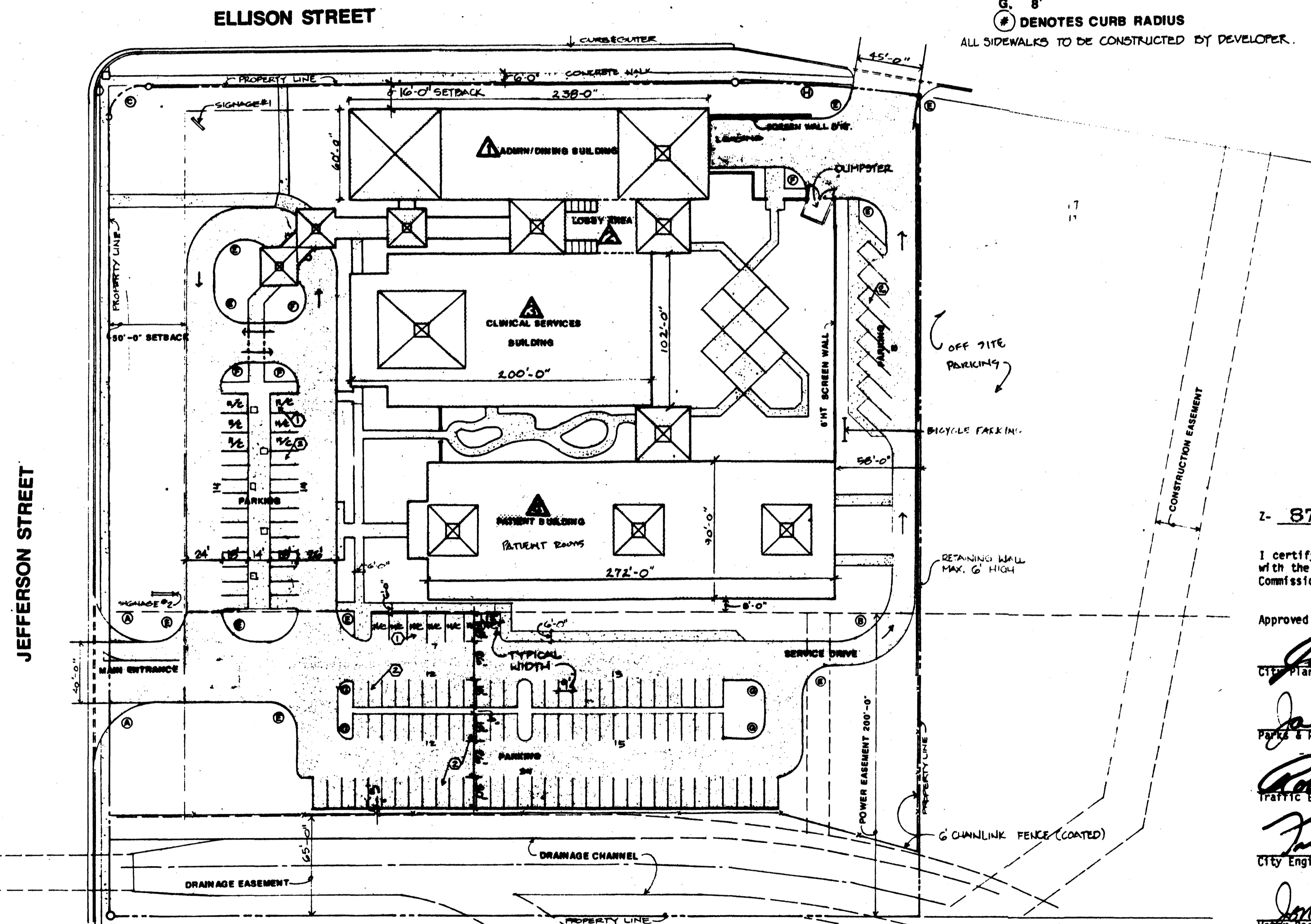
PARKING CALCULATIONS
 60 BEDS x 1 SPACE PER EACH 2 BEDS = 30 SPACES
 NET OFFICE AREA = 3472 S.F. ÷ 200 = 17 SPACES
 CLINIC : 2 DOCTORS X 5 SPACES = 10 SPACES
 TOTAL SPACES REQUIRED = 57
 130 PARKING SPACES PROVIDED
 BICYCLE PARKING : 7 SPACES REQUIRED ; 8 PROVIDED.

- ① DENOTES 12'X18' HANDICAPPED SPACE / 4 HANDICAPPED SPACES REQUIRED; 13 PROVIDED.
- ② DENOTES 9'X18' REGULAR SPACE

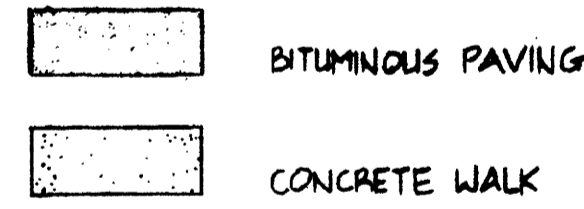
CURB RADIUS CRITERIA

- A. 35' H. 750'
- B. 33'
- C. 30'
- D. 25'
- E. 20'
- F. 15'
- G. 8'

⊙ DENOTES CURB RADIUS
 ALL SIDEWALKS TO BE CONSTRUCTED BY DEVELOPER.



SITE PLAN
 SPECIALITY REHABILITATION CENTER
 ALBUQUERQUE, NEW MEXICO
 HEALTHSOUTH REHABILITATION CORPORATION



BUILDING SQUARE FOOTAGE CALCULATIONS

1 - Administration/Dining Building	14,100
2 - Lobby Area	3,245
3 - Clinical Services Building	18,075
4 - Patient Building	23,170
Total Enclosed Building Area	58,590 s.f.
Canopies and Covered Areas	5,400 s.f.

- Building Uses**
- ⚠ Administration/Dining Building:
Business functions, General Storage, Kitchen, Dining, and Support Services.
 - ⚠ Lobby Area:
Security - Information Desk, Toilets and Circulation.
 - ⚠ Clinical Services Building:
Patient Clinical Services for Physical Rehabilitation.
 - ⚠ Patient Building:
Patient Bedrooms and Support Services.

Z- 87-16

I certify that this area is zoned SU-1 for Clinic and this plan is consistent with the specific site development plan approved by the Environmental Planning Commission on FEB 19, 1987.

- Approved as to requirements:
- Jack Cloud* 3-10-87
City Planning Date
 - Janet Savitt* 3-10-87
Parks & Recreation Date
 - Robert J. Franey* 3-10-87
Traffic Engineering Date
 - Frank Higgins* 3-10-87
City Engineering Date
 - Jon E. Ertsgaard* 3-10-87
Mayor Resources Date

REVISED 2-25-87 BASED ON E.P.C. DECISION
 REVISED 12-11-87 BASED ON CITY STAFF COMMENTS

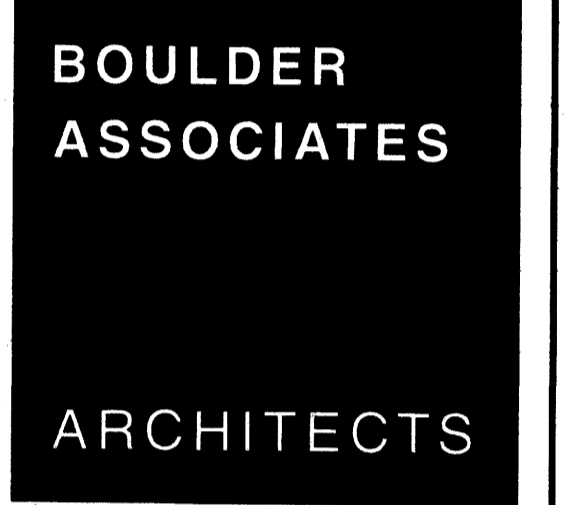
NOTE: DIMENSIONS FOR PARKING LOT LAYOUT REVISED 12-30-86

PROJECT NUMBER
081570.00
 DRAWN BY
 DATE
 NOVEMBER 06, 2008
 JANUARY 15, 2009
 FEBRUARY 17, 2009

REVISIONS
 ⚠ EPC CONDITIONS - NO CHANGES THIS SHEET



6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505.345.4250 FAX: 505.345.4254
 www.highmesacg.com
 2008.039.2



Boulder Associates, Inc.
 Architecture + Interior Design
 1426 Pearl Street, Suite 300
 Boulder, Colorado 80302
 303.499.7795 F 303.499.7767
 www.boulderassociates.com

PROJECT
HealthSouth Rehabilitation Hospital Addition / Remodel

7000 JEFFERSON STREET
 ALBUQUERQUE, NEW MEXICO

SHEET TITLE
Previously Approved Site Plan

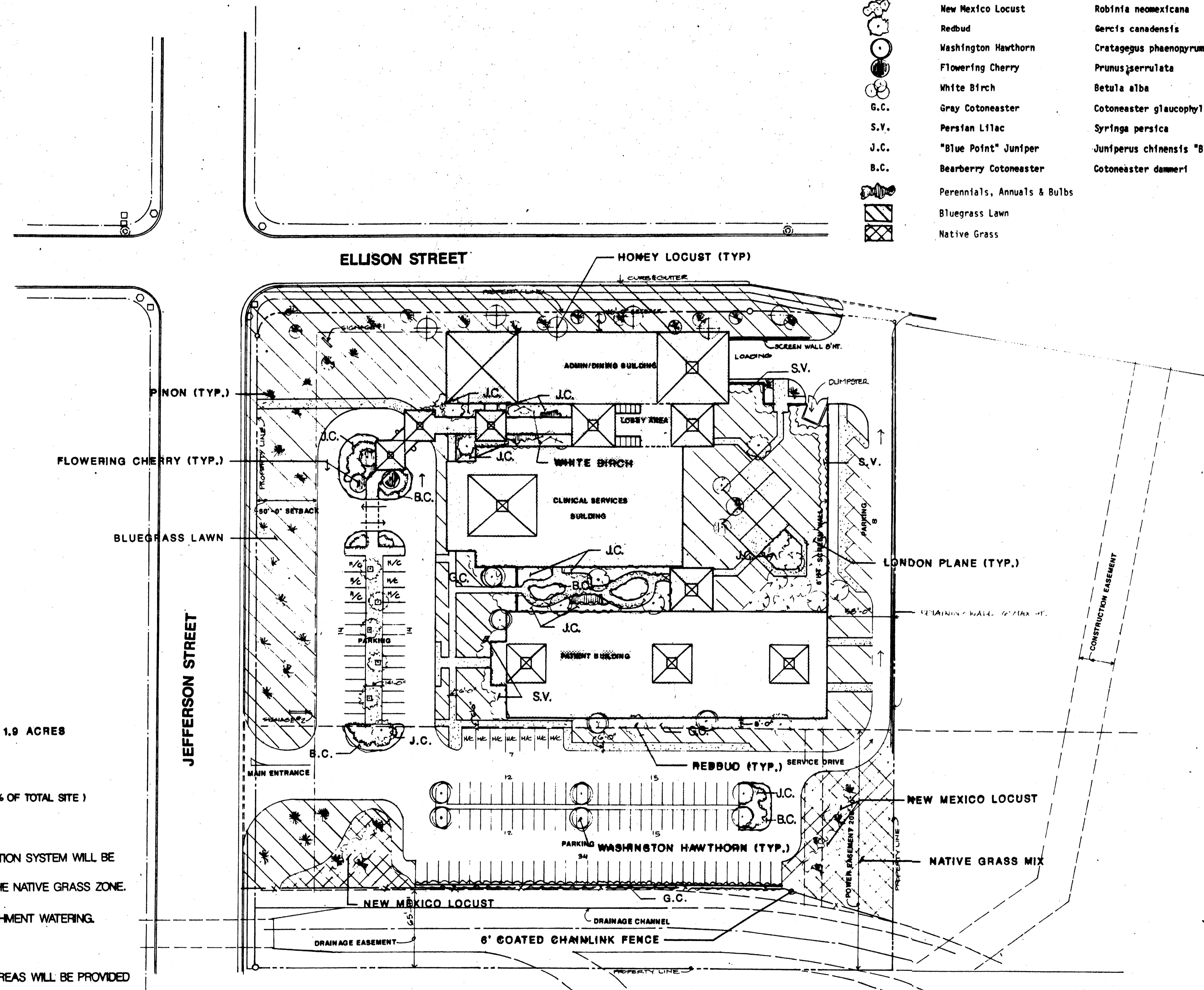
SHEET NUMBER

File Path: E:\WORK\081570\02-17-2009
 File Name: 80392SP-EPC.DWG Plot Time: 1:50 pm



PLANT LIST

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
	Pinon	Pinus edulis	6'-8' Min. Ht.
	Honey Locust	Gleditsia triacanthus inermis	1 1/2" Cal.
	London Plane	Platanus acerifolia	1 1/2" Cal.
	New Mexico Locust	Robinia neomexicana	5'-6' Clump
	Redbud	Cercis canadensis	1 1/2" Cal.
	Washington Hawthorn	Crataegus phaenopyrum	1 1/2" Cal.
	Flowering Cherry	Prunus serrulata	1 1/2" Cal.
	White Birch	Betula alba	5'-6' Clump
	Gray Cotoneaster	Cotoneaster glaucophylla	5 Gal.
	Persian Lilac	Syringa persica	5 Gal.
	"Blue Point" Juniper	Juniperus chinensis "Blue Point"	5 Gal.
	Bearberry Cotoneaster	Cotoneaster dameri	5 Gal.
	Perennials, Annuals & Bulbs		
	Bluegrass Lawn		
	Native Grass		



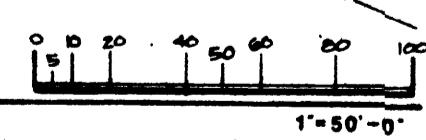
LANDSCAPE REQUIREMENTS

AREA OF PARKING AND INTERNAL ROADWAYS - 1.9 ACRES
 LANDSCAPED AREA REQUIRED - .13 ACRES
 LANDSCAPED AREA PROVIDED - 2.5 ACRES (37% OF TOTAL SITE)

WATERING SYSTEM: A PERMANENT AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED TO ALL PLANT MATERIAL EXCEPT THAT IN THE NATIVE GRASS ZONE. THIS AREA WILL HAVE TEMPORARY (2 YEAR) ESTABLISHMENT WATERING.

MAINTENANCE: MAINTENANCE OF THE LANDSCAPED AREAS WILL BE PROVIDED BY THE OWNER.

LANDSCAPE PLAN
 SPECIALITY REHABILITATION CENTER
 ALBUQUERQUE, NEW MEXICO
 HEALTHSOUTH REHABILITATION CORPORATION



REVISED 2-25-09 BASED ON E.P.C. DECISION AND CITY STAFF COMMENTS



BOULDER ASSOCIATES
ARCHITECTS

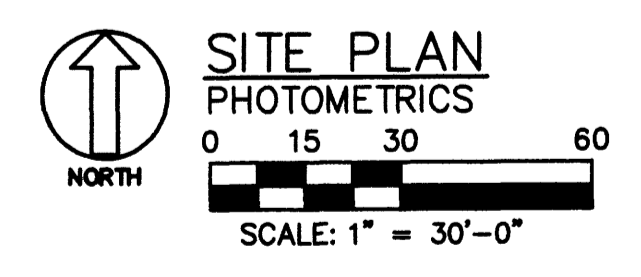
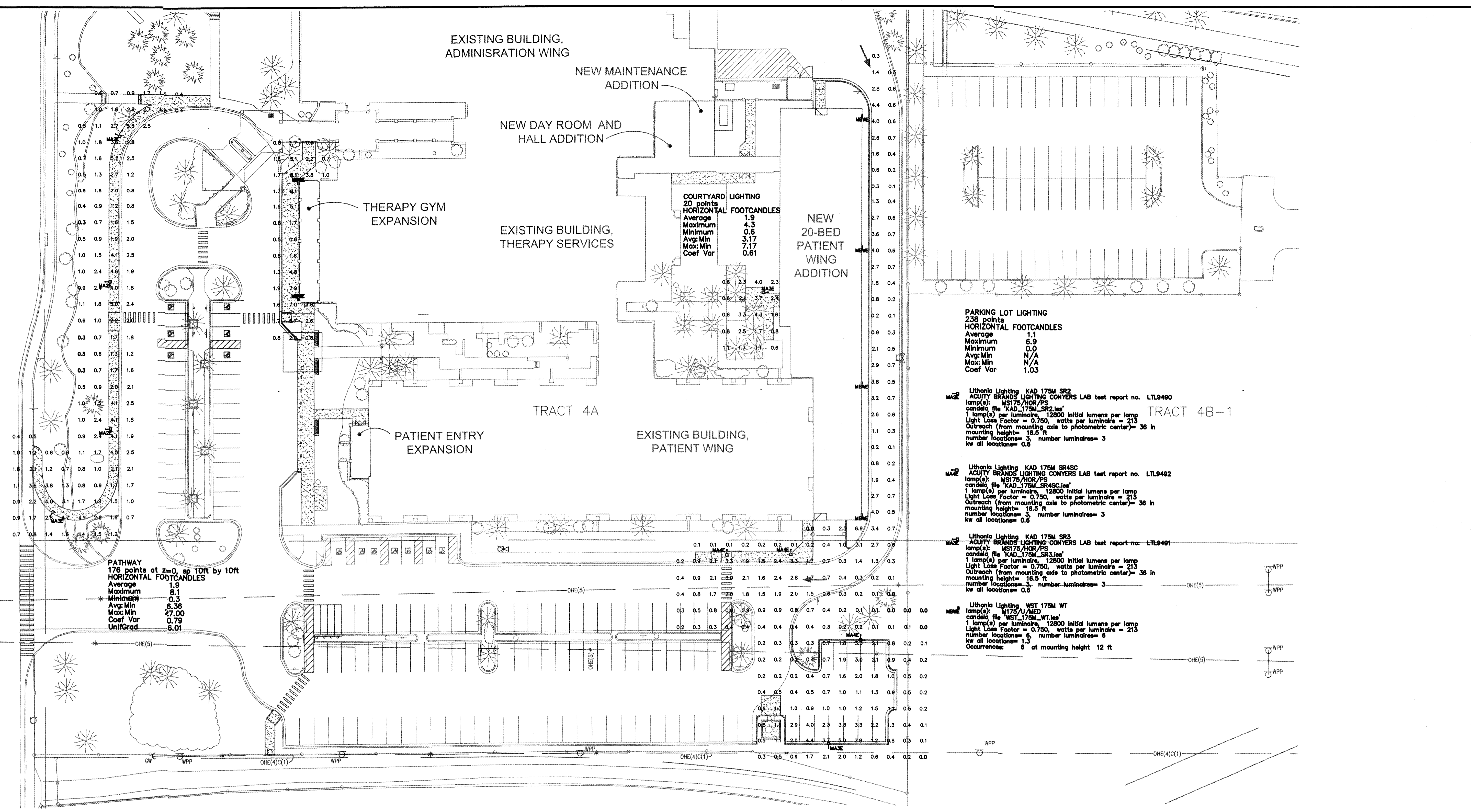
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PROJECT
**HealthSouth ABQ
20-Bed Expansion
and Interior
Renovations**

7000 Jefferson Street
Albuquerque, New Mexico

SHEET TITLE
**SITE PLAN
PHOTOMETRICS**

SHEET NUMBER



LUMINAIRE SCHEDULE

MARK	QTY	LAMPS TYPE	VOLTS	DESCRIPTION	SPECIAL OPTIONS & NOTES	MANUFACTURER	CATALOG NUMBER	IES FILE	LUMENS	LLF	WATTS	FIXTURE MOUNTING HEIGHT
MAZE	1	CLEAR 175W PS METAL HALIDE ED-28, MOGUL PHILIPS CAT. NO MS175/HOR/PS	277	PULSE START METAL HALIDE CUTOFF AREA LUMINAIRE, SINGLE HEAD, SEGMENTED TYPE II ASYMMETRIC DISTRIBUTION, ALUMINUM HOUSING, 16'-0" SQUARE STRAIGHT STEEL POLE.	FINISH TO MATCH EXISTING FIXTURES AND POLES	LITHONIA POLE:	KAD 175M SR2 277 SPD04 SF SSS 16 4C DMH19 DDB	KAD_175M_SR2.ies	12800	0.75	175	16'-6"
MA3E	1	CLEAR 175W PS METAL HALIDE ED-28, MOGUL PHILIPS CAT. NO MS175/HOR/PS	277	PULSE START METAL HALIDE CUTOFF AREA LUMINAIRE, SINGLE HEAD, SEGMENTED TYPE III ASYMMETRIC DISTRIBUTION, ALUMINUM HOUSING, 16'-0" SQUARE STRAIGHT STEEL POLE;	FINISH TO MATCH EXISTING FIXTURES AND POLES	LITHONIA POLE:	KAD 175M SR3 277 SPD04 SF SSS 16 4C DMH19 DDB	KAD_175M_SR3.ies	12800	0.75	175	16'-6"
MA4E	1	CLEAR 175W PS METAL HALIDE ED-28, MOGUL PHILIPS CAT. NO MS175/HOR/PS	277	PULSE START METAL HALIDE CUTOFF AREA LUMINAIRE, SINGLE HEAD, SEGMENTED TYPE IV FORWARD THROW, SHARP CUTOFF DISTRIBUTION, ALUMINUM HOUSING, 16'-0" SQUARE STRAIGHT STEEL POLE.	FINISH TO MATCH EXISTING FIXTURES AND POLES	LITHONIA POLE:	KAD 175M SR4SC 277 SPD04 SF SSS 16 4C DMH19 DDB	KAD_175M_SR4SC.ies	12800	0.75	175	16'-6"
MBWE	1	CLEAR 175W PS METAL HALIDE BD-17 MEDIUM, HORIZONTAL, CEMVR175/U/MED	120	BUILDING MOUNTED PULSE START METAL HALIDE LUMINAIRE, ALUMINUM HOUSING, WIDE THROW DISTRIBUTION, DARK BRONZE FINISH.	MOUNTED AT 12'-0" ABOVE FINISHED FLOOR TO BOTTOM OF FIXTURE.	LITHONIA	WST 175M WT 120 SF DDBT	WST_175M_WT.ies	12800	0.75	175	12'-0"



Catalog Number	WST 175M WT 120 SF
Notes	
Type	MBWE

FEATURES & SPECIFICATIONS

INTENDED USE — For building- and wall-mounted applications.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing. Die-cast door frame has a 1/8" thick tempered glass lens. Door frame is fully gasketed with one-piece solid silicone.

FINISH — Standard finish is textured dark bronze (DDBT) corrosion-resistant polyester powder finish. Additional architectural colors are available; see www.lithonia.com/archcolors. Striping is also available.

OPTICAL SYSTEM — Segmented reflectors for superior uniformity and control. Reflectors are interchangeable. Three full cutoff distributions available: FT (forward throw), MD (medium throw) and WT (wide throw).

ELECTRICAL SYSTEM — Ballast: 50W-150W utilizes a high reactance, high power factor ballast. Metal halide 150W and below are standard with pulse-start technology. SSC utilizes a reactance high power factor ballast. 175W utilizes a constant-wattage autotransformer ballast. Quick disconnect plug easily disconnects reflector from ballast. Ballasts are copper-wound and 100% factory-tested.

Socket: Porcelain, medium-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 660W, 600V 4KV pulse rated.

INSTALLATION — Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with each installation.

LISTING — UL Listed (standard), CSA Certified (see Options). Suitable for wet locations (lamp location listed in lens up orientation). WLU option offers wet location listing in up orientation (see Options). IP65 rated. 25°C ambient.

NOTE: Specifications subject to change without notice.

Decorative Wall-Mounted Lighting

WSTMETAL HALIDE
50W-175W
HIGH PRESSURE SODIUM
35W-150W

Specifications

Length: 16.25 (41.2)

Depth: 9.13 (23.2)

Overall Height: 7.25 (18.4)

*Weight: 30 lbs (13.6 kg)

**Weight as configured in example below.

All dimensions are inches (centimeters) unless otherwise specified.

ORDERING INFORMATION

For shortest lead times, configure product using standard options (shown in bold).

WST	175M	WT	120	SF
Series	WST			
Wattage/Socket	High Pressure Sodium 100W/100S 150W/150S Metal Halide 50W/50M 70W/70S 100W/100M 150W/150M 175M	FT Forward throw MD Medium throw (coated lamp std.) WT Wide throw	120 200P 240P 277 347 TB TV4 2305HZ ²	(blank) Magnetic ballast CW1 Constant wattage isolated DC12 Emergency circuit 12 volt (35W lamp included std.) ³ DC2012 Emergency circuit 12 volt (2, 35W lamps included) ³ DC2012 Emergency circuit 12 volt (2, 20W lamps included) ³ DCL Diffusing lens ED Emergency circuit ⁴ IBS Internal backlight shield ⁴ PE Photoelectric cell-button type (in TB175M) ¹¹ QRS Quartz resistor system ¹² WLU Wet location door for up orientation CSA CSA Certified NOM NOM Certified
Options				Shipped installed in fixture SF Single fuse 120, 277, 347V DF Double fuse 200, 340V DC12 Emergency circuit 12 volt (35W lamp included std.) ³ DC2012 Emergency circuit 12 volt (2, 35W lamps included) ³ DC2012 Emergency circuit 12 volt (2, 20W lamps included) ³ DCL Diffusing lens ED Emergency circuit ⁴ IBS Internal backlight shield ⁴ PE Photoelectric cell-button type (in TB175M) ¹¹ QRS Quartz resistor system ¹² WLU Wet location door for up orientation CSA CSA Certified NOM NOM Certified
Lamp	LPI Lamp included LAP Lamp LAP Lamp			Finish ¹³ (blank) Dark bronze, textured DSST Sandstone, textured DNAT Natural aluminum, textured DWH White, textured DBL Black, textured CR Enhanced corrosion resistant CRT Non-stick protective coating ¹³
Accessories				BBW Surface-mounted back box ¹⁴ UTS Upright 5 degrees ¹⁵ WG Wire guard ¹⁶ VG Vandal guard ¹⁷

Example: WST 175M FT TB LPI

Sheet #: WST-M-S BM-125

Outdoor

Notes:
1. 120V.
2. Must specify CWI for use in Canada.
3. Optional multi-tap ballast (120, 200, 240, 277V); (120, 277, 347V in Canada; shop as 300V/300V).
4. Optional 5-tap ballast (120, 200, 240, 277, 480V; not available in Canada; 175W direct ballast only).
5. Contact factory for available wattages.
6. Not available with SF, DF or QRS.
7. Not available with DDBT or DS.
8. Maximum allowable wattage lamp included.
9. Not available with Medium Throw (MD, MDU, MDU) distributions.
10. Must be ordered with fixture cannot be field installed.
11. Not available with 347V.
12. Not available with DC or DCL.
13. May be ordered as an accessory.
14. See www.lithonia.com/archcolors for additional color options.
15. Black finish only.
16. Must be specified.
17. Must specify finish.



Catalog Number	KAD 175M SR2 277 SPD04
Notes	
Type	MA2E

FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION — Rugged, die-cast, soft corner aluminum housing with a 1/2" nominal wall thickness. Die-cast door frame has impact resistant, tempered, clear lens that is fully gasketed with one-piece solid silicone.

FINISH — Standard finish is dark bronze (DDBT) polyester powder finish, with other architectural colors available.

OPTICAL SYSTEM — Anodized aluminum hemispherical reflectors. ES full cutoff distribution (R2 asymmetric), R3 (symmetric), R4 (downward throw) and R5 (upward) are interchangeable. High performance anodized, segmented aluminum reflectors ES full cutoff distribution SR2 (symmetric), SR3 (symmetric) and SR4C (forward throw, sharp cutoff). Segmented reflectors attach with tool-less fasteners and are retoolable and interchangeable.

ELECTRICAL SYSTEM — Ballast: High reactance, high power factor for 70-150W. Constant wattage autotransformer for 175-400W. Metal halide 150W and below are standard with pulse-start technology. SSC utilizes a reactance high power factor ballast. 175W utilizes a constant-wattage autotransformer ballast. Quick disconnect plug easily disconnects reflector from ballast. Ballasts are copper-wound and 100% factory-tested.

Socket: Porcelain, horizontally oriented medium base socket for 70-150W and mogul base socket for 175W and above, with copper alloy, nickel-plated screw shell and center contact. UL listed 660W, 600V.

INSTALLATION — UL Listed (standard), CSA Certified (see Options). UL listed for 25°C ambient and wet locations. IP65 rated in accordance with standard IEC 529.

NOTE: Specifications subject to change without notice.

Soft Square Lighting

KADMETAL HALIDE
70W-400W
HIGH PRESSURE SODIUM
70W-400W
20' to 35' Mounting

Specifications

EPA: 1.21 x 2

*Weight: 35.9 lbs (16.28 kg)

Length: 17-1/2" (44.5 cm)

Width: 17-1/2" (44.5 cm)

Depth: 7-1/8" (18.1 cm)

**Weight as configured in example below.

ORDERING INFORMATION

For shortest lead times, configure product using standard options (shown in bold).

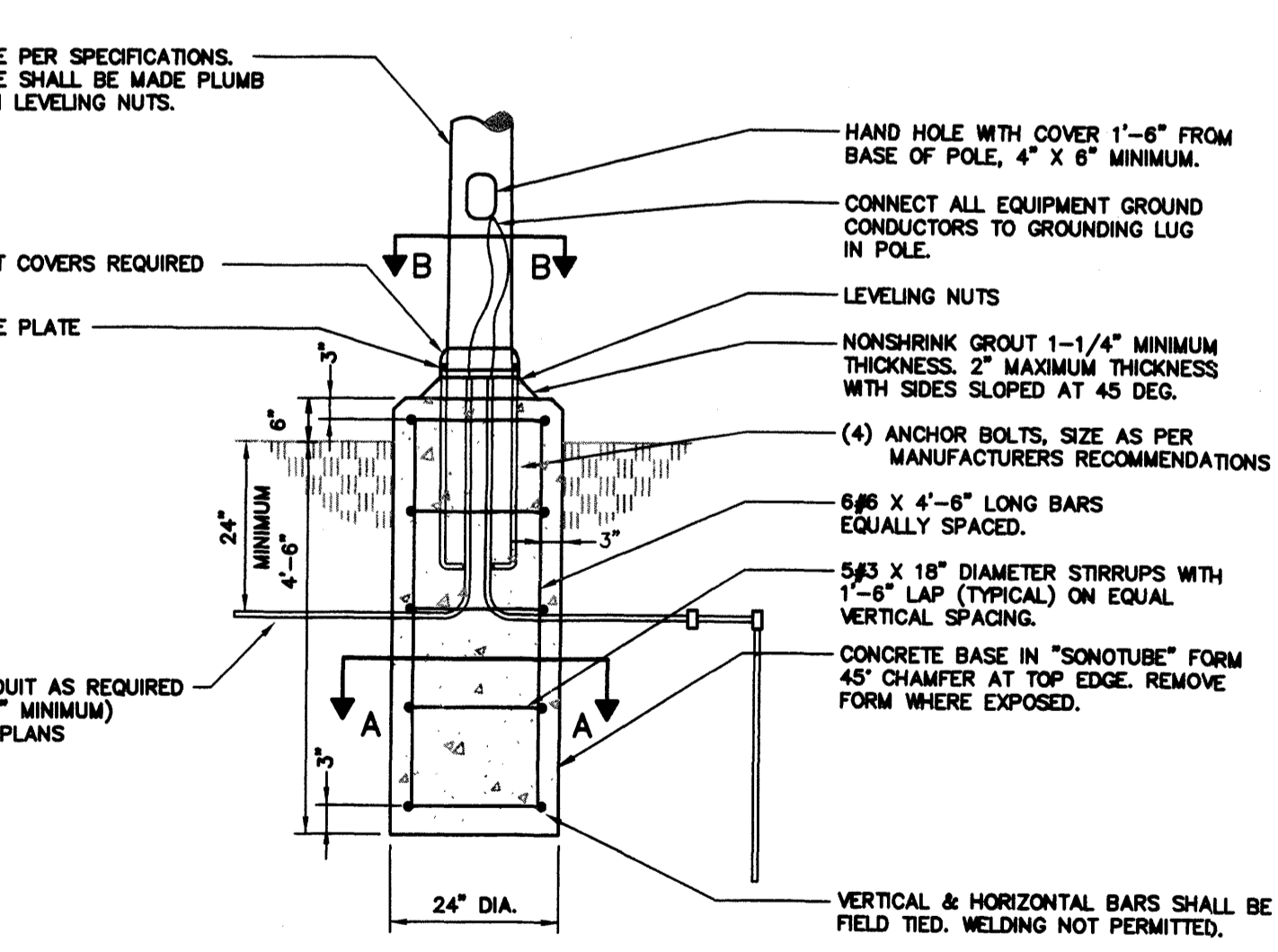
KAD	175M	SR2	277	SPD04	SF
Series	KAD				
Wattage/Socket	Metal Halide 100W/100S 150W/150S 200W/200S 250W/250S 300W/300S 400W/400S	SR2 SR3 SR4	277 347 TB TV4 2305HZ ²	Tubs Length ¹¹ SPD Square 64" 4" arm pole RPD Round 66" 4" arm pole WBD Wall 12 1/2" arm bracket WWD Wood pole or wall DAD12P Degree arm (pole) ¹² DAD12WB Degree arm (wall) ¹²	(blank) Magnetic ballast CW1 Constant wattage isolated DC12 Emergency circuit 12 volt (35W lamp included std.) ³ DC2012 Emergency circuit 12 volt (2, 35W lamps included) ³ DCL Diffusing lens ED Emergency circuit ⁴ IBS Internal backlight shield ⁴ PE Photoelectric cell-button type (in TB175M) ¹¹ QRS Quartz resistor system ¹² WLU Wet location door for up orientation CSA CSA Certified NOM NOM Certified
Options					Shipped installed in fixture SF Single fuse 120, 277, 347V ⁴ DF Double fuse 200, 240, 480V ⁴ DC12 Emergency circuit 12 volt (35W lamp included std.) ³ DC2012 Emergency circuit 12 volt (2, 35W lamps included) ³ DCL Diffusing lens ED Emergency circuit ⁴ IBS Internal backlight shield ⁴ PE Photoelectric cell-button type (in TB175M) ¹¹ QRS Quartz resistor system ¹² WLU Wet location door for up orientation CSA CSA Certified NOM NOM Certified
Lamp	LPI Lamp included LAP Lamp LAP Lamp				Finish ¹³ (blank) Dark bronze DSST Sandstone, textured DNAT Natural aluminum, textured DWH White, textured DBL Black, textured CR Enhanced corrosion resistant CRT Non-stick protective coating ¹³
Accessories					BBW Surface-mounted back box ¹⁴ UTS Upright 5 degrees ¹⁵ WG Wire guard ¹⁶ VG Vandal guard ¹⁷

Example: KAD 400M R3TB SPD04 LPI

Sheet #: KAD-M-S AL-370

Outdoor

Notes:
1. Not available with SSCVA.
2. Not available with 480V.
3. Must be ordered with SSCVA.
4. Reduced jacket E28 required for SR2, SR3 and SR4C options.
5. House size shield available.
6. Must specify CWI for use in Canada.
7. Optional multi-tap ballast (120, 200, 240, 277, 480V; not available in Canada; 175W direct ballast only).
8. Contact factory for available wattages.
9. 3" arm is required when two or more luminaire are oriented on a 90° ceiling pattern.
10. 20W separately.
11. Only available with SR2, SR3 & SR4C options.
12. Max allowable wattage lamp included.
13. May be ordered as an accessory.
14. See www.lithonia.com/archcolors for additional color options.
15. Black finish only.
16. Must be specified.
17. Must specify finish.



DETAIL
POLE BASE FOR LIGHTING FIXTURES 'MA2E', 'MA3E' & 'MA4E'
NO SCALE

NOTES:

- 3500 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 RE-BARS.
- IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
- FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL.
- MINIMUM ALLOWABLE SOIL BEARING PRESSURE 3000 PSF. NOTIFY ENGINEER IF BEARING PRESSURE IS LESS.
- AIR ENTRAINMENT: 4 TO 6%

PROJECT NUMBER
081570.00

DRAWN BY

DATE
NOVEMBER 6, 2008

REVISIONS

C.R.S.
Engineering and Design Consultants
8504 7th Avenue South
Birmingham AL 35222
Phone: 205-978-7200 Fax: 205-978-7761
web: www.crseng.com

Job No. 08338.00
Dwg File: 15_REV.DWG
Plot Date: 12/10/08 11:52

BOULDER ASSOCIATES ARCHITECTS

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PROJECT
**HealthSouth ABQ
20-Bed Expansion
and Interior
Renovations**

7000 Jefferson Street
Albuquerque, New Mexico

SHEET TITLE
**LIGHTING FIXTURES
AND POLE BASE DETAILS**

SHEET NUMBER

15