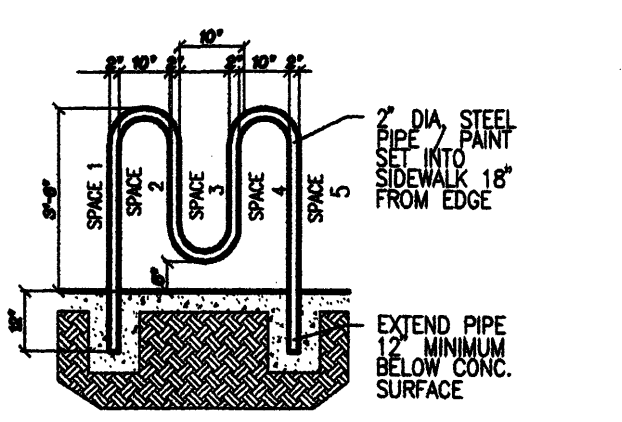
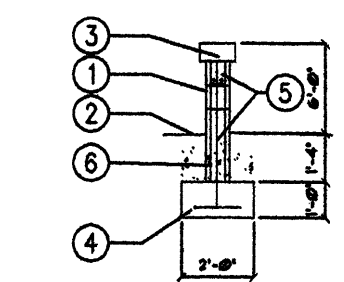


1 HANDICAP RAMP DETAIL
NOT TO SCALE

1A SLOPE ASPHALT PARKING AS RAMP

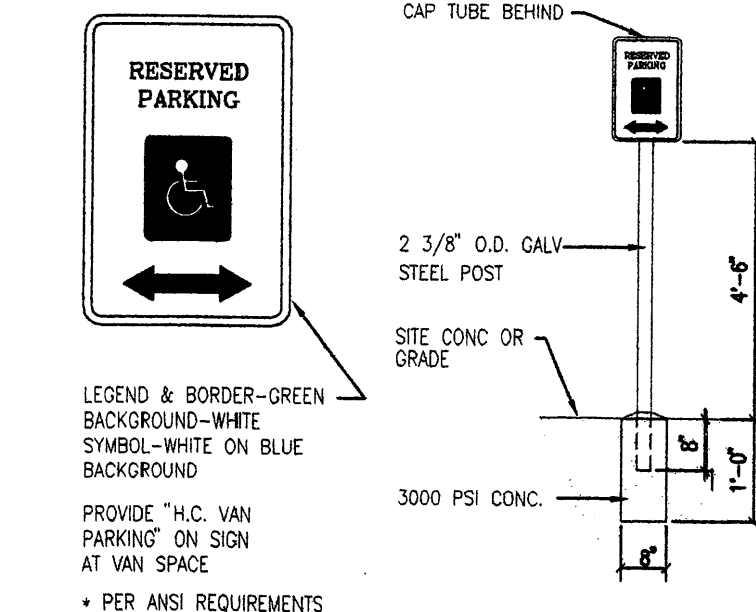


2 BIKE RACK DETAIL
NOT TO SCALE

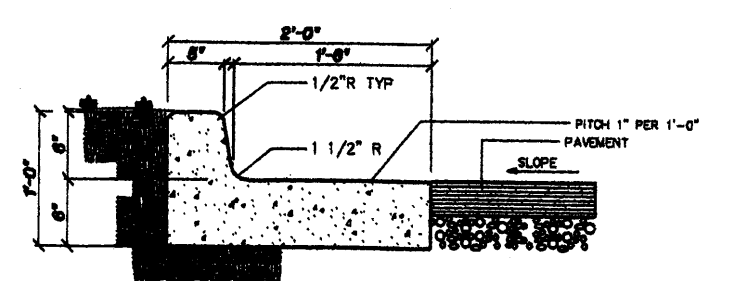


3 GARDEN WALL
NOT TO SCALE

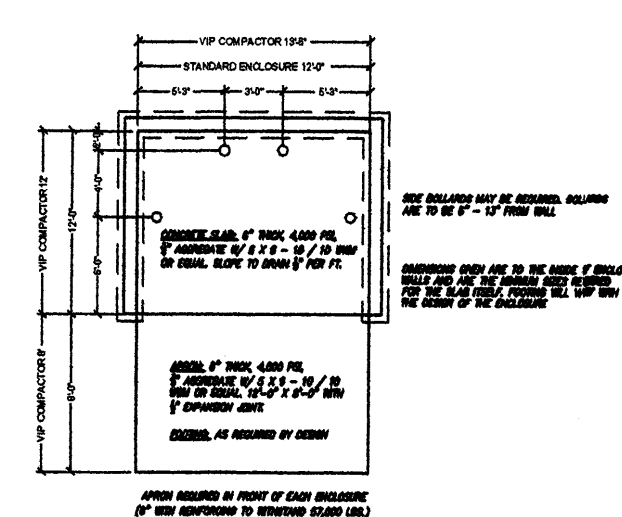
KEYED NOTES
 1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR MATCH BUILDING COLORS.
 2. FINISH GRADE.
 3. SLOPE STUCCO CAP.
 4. #4 BARS CONT. @ BOTTOM OF FOOTING #4.
 5. 2-#6 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS #6 BARS @ 20" O.C. VERTICAL. GROUT REIN. FORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
 6. GROUT ALL CELLS SOLID RESEWERGRADE. TYPICAL.



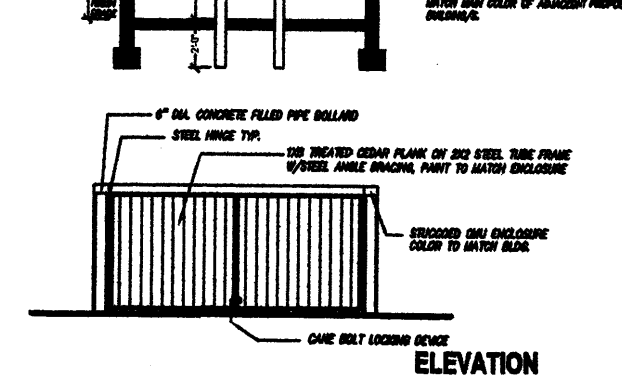
3 ACCESSIBLE PARKING SIGN
NOT TO SCALE



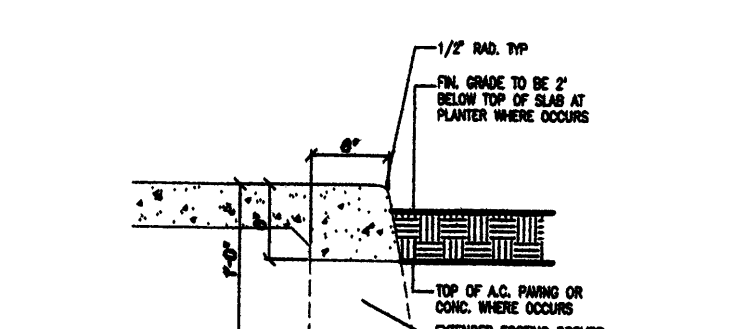
4 CURB & GUTTER
NOT TO SCALE



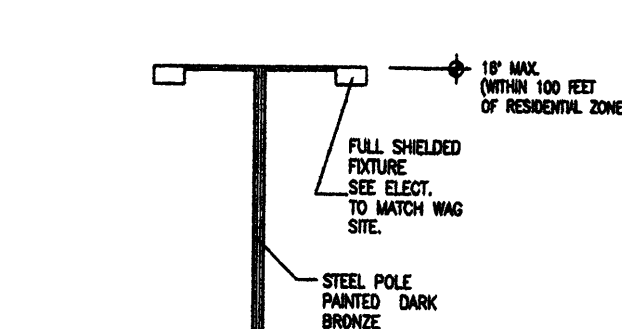
5 TRASH ENCLOSURE
NOT TO SCALE



7 SITE LIGHTING DETAIL
NOT TO SCALE



6 CURB DETAIL
NOT TO SCALE



8 MONUMENT SIGN
SCALE: 1/4" = 1'-0"

CODE REFERENCES

- BUILDING CODE: IBC "2003"
- MECHANICAL CODE: UMC "2003"
- PLUMBING CODE: UPC "2003"
- ELECTRICAL CODE: NEC "2005"
- ACCESSIBILITY CODE: ANSI "1998"
- FIRE CODE: IFC "2003"

CODE DATA

ADDRESS: BARSTOW & PASEO DEL NORTE
 ZONING: SU2 TO C-1
 BUILDING USE: CREDIT UNION (BANK)
 OCCUPANCY: GROUP B
 BUILDING TYPE: TYPE 2B
 SEISMIC ZONE: 2B
 ALLOWABLE AREA: 12,500 SF
 # OF STORIES: ONE
 FIRE PROTECTION: NON-SPRINKLED

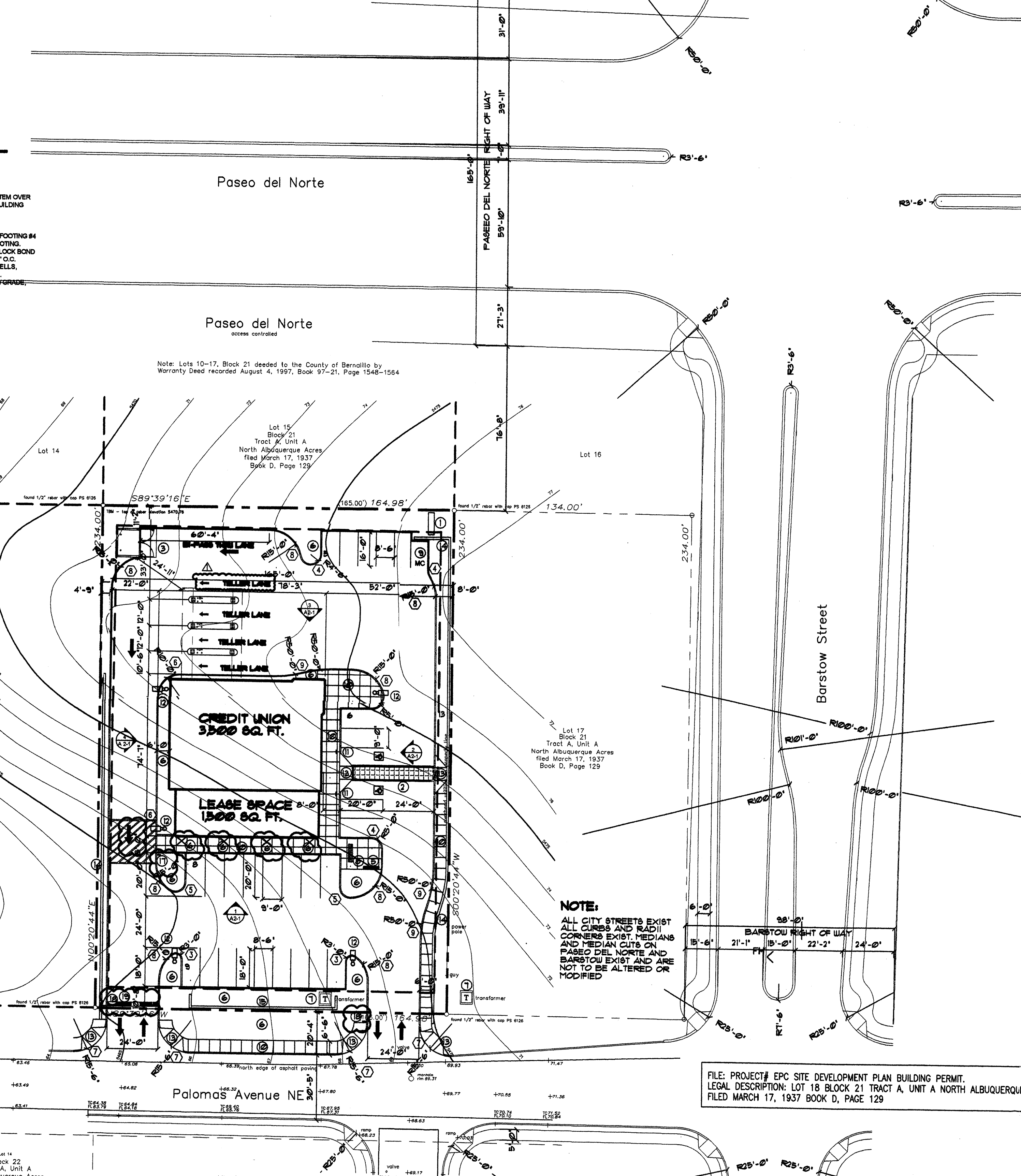
KEYED NOTES

1. 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR MATCH BUILDING COLORS.
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
4. #4 BARS CONT. @ BOTTOM OF FOOTING #4.
5. 2-#6 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS #6 BARS @ 20" O.C. VERTICAL. GROUT REIN. FORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
6. GROUT ALL CELLS SOLID RESEWERGRADE. TYPICAL.
7. 12" X 18" MOTORCYCLE SIGN AS PER CITY REQ. (MC)
8. PEDESTRIAN WALK
9. 12" X 18" MOTORCYCLE SIGN AS PER CITY REQ. (MC)
10. PEDESTRIAN WALK
11. H.C. PARKING SIGNAGE (SEE 3/AS1)
12. SITE LIGHTING (18" MAX) (SEE 7/AS1)
13. ACCESSIBLE RAMP (SEE 1/AS1)
14. BRANNING WALL REFER TO CIVIL DRAWINGS
15. GARDEN SCREEN WALL 8'-0" HIGH COLOR AND TEXTURE TO MATCH BUILDING
16. NEW CURB CUT AND ENTRY/EXIT DRIVE
17. SIGN TO READ "DO NOT ENTER ONE WAY" AND STRIPPING ON PAVEMENT
18. STOP SIGN
19. SPEED SIGN

- RADIUS:**
- 1 RADIUS = 1'-6"
 - 2 RADIUS = 2'-6"
 - 3 RADIUS = 2'-8"
 - 4 RADIUS = 4'-6"
 - 5 RADIUS = 5'-0"
 - 6 RADIUS = 10'-0"
 - 7 RADIUS = 15'-6"

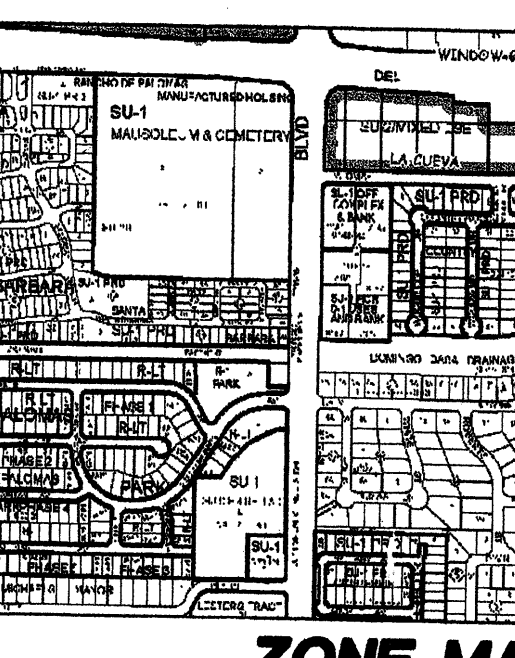
LEGEND

- EXISTING PROPERTY LINE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED 6'-0" SIDEWALK
- PROPOSED CROSSWALK-RECESSED BRICK PAVERS
- PROPOSED FIRE HYDRANT
- PROPOSED BIKE RACK
- PROPOSED PARKING LOT LIGHTING
- PROPOSED OUTDOOR SEATING (EA. SEATS 4)
- FIRE DEPARTMENT CONNECTION
- PROPOSED TRANSFORMER
- VEHICLE INGRESS/EGRESS



SITE PLAN

SCALE: 1" = 30'-0"
 1" = 30' scale feet



APPROVED/DISAPPROVED HYDRANT(S) ONLY
 SIGNATURE & DATE

BUILDING AREA & PARKING CALCS:

5,000 SF. BUILDING
 LOT SIZE = 38,810 SF OR .886 A.C.
 5,000 SF / 1 SPACE PER 200 SF
 25 CARS REQUIRED
 FAR = .13
 OCCUPANT LOAD: 5,000 SQ FT / 100 = 50

FLOOR AREA RATIOS:
 TOTAL BUILDING AREA = 5,000 SQ FT
 TOTAL LOT AREA = 38,810 SQ. FT. .886 ACRES
 TOTAL FAR = .13

PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20'
 SMALL CARS SPACES ARE 8'-0" X 16'-0"
 ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED.
 5 BICYCLE SPACES.
 1 MOTORCYCLE SPACE.

TOTAL STANDARD PARKING SPACES PROVIDED (28 SPACES)
 TOTAL MOTORCYCLE SPACES PROVIDED (1 SPACE)
 TOTAL HC PARKING SPACES PROVIDED (INCLUDES VAN SPACES) 2 SPACES
 TOTAL PROVIDED 30 SPACES
 TOTAL REQUIRED SPACES = 5,000 SF/200 SPACES = 25 SPACES
 TOTAL PROVIDED SPACES = 30 SPACES

LEGAL DESCRIPTION:
 For all or a portion of Block 21,
 Lot 18 Block 21 Tract A, Unit A North Albuquerque Acres
 SU 2 TO C-1
 TOTAL ACREAGE
 .886 Acres

GENERAL ARCHITECTURAL DESIGN REQUIREMENTS:
GENERAL ARCHITECTURAL:
 General architecture character is to follow the general design concept depicted on building elevations will be cementitious finish with a cementitious dado band. The building walls must be colored to match color Benjamin Moore (#2) bm951 and (#1) bm1032. The main roof is to be predominately flat-roofed or sloped to drain. The building areas such as drive thru canopies, entrance portals and window canopies will be sloped as an architectural feature. These roofs are to be shed type metal standing or flat seamed. The high point of the roof must hit the main building wall below the top of the main building parapet. Architectural entry element roof extend above the parapet wall and area to relate to the entry format of the building. Building heights are limited to 26' parapet height for main building walls. These roofs may extend above this height to accent and articulate the building mass.

MECHANICAL EQUIPMENT SCREENING:
 All mechanical equipment will be screened from view of the adjacent parking area and public right-of-way. In addition, if it is determined that the mechanical unit can be observed from the residential area horizontal screening per the attached conceptual sketch is required.

COLOR PALETTE:
 color #1 light tan Benjamin Moore #1032
 color #2 medium dark tan dado band base wall color #951
 color #3 marbled terra cotta concrete tile roofing, trim & accents (med red/brown), (MONIER BARCELONA CLIFFSIDE, RED).

SPECIAL BUFFERING:
 Drive-thru area to be screened with a 5' wide (minimum) landscape area with evergreen trees at 10' on center and 10' high (minimum). A 30' high berm of the landscape may be provided as part of the landscape.

BUILDING SIGNAGE:
 Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 10 percent of the wall area of each building elevation. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering can type signs are prohibited. The Bank logo is to be integral part of the overall sign. Lighting on the monument sign and building-mounted signs will not change brightness.

LANDSCAPING:
 Landscaping of the pads will be from the same landscaping palette and concept as provided on the master landscaping plan.

AWNINGS:
 Awnings are permitted above window areas. Awnings with painted or embossed corporate logos or signage are permitted provided the area when added to all other wall signage does not exceed 6 percent of the area of building wall. Illumination of awnings must be from pendant mounted fixtures located above the awning. Accent colors on awnings are to be compatible with the general color palette and samples of the proposed awning colors are to be provided with each submittal.

GLAZING:
 Reflective glazing is prohibited. Clear and bronze tinted glass is permitted.

SERVICE AREAS:
 Service areas such as refuse locations and compactors are to be totally screened from the view of the adjacent residential area, public right-of-way and the adjacent monument area. Freestanding dumpster and compactor locations are to be gated. Screening material to match building wall color and material.

LIGHTING:
 Site lighting is provided for the entire parking area. Lighting not to exceed 20' high fixture. Main parking area lighting not to exceed 20' to fixture. Exposed, i.e. unshielded light fixtures are prohibited. All lamps must be shielded shoe box type fixtures. Maximum light level under canopies to be 50ft candles, from totally surface mounted or pendant fixture lighting. All exterior light fixtures will be controlled by automatic timers.

FREE STANDING SIGNAGE:
 In front of the building, each building to have one 50 sf monument sign.

TRAFFIC REQUIREMENTS:
 All traffic requirements have been met per

PARKING:
 The allowed parking shall be equal to the required parking plus 10% maximum ADA requirements shall be located adjacent to building entrance.

FILE: PROJECT# EPC SITE DEVELOPMENT PLAN BUILDING PERMIT.
LEGAL DESCRIPTION: LOT 18 BLOCK 21 TRACT A, UNIT A NORTH ALBUQUERQUE ACRES
FILED MARCH 17, 1937 BOOK D, PAGE 129

DRB ADMINISTRATIVE SITE PLAN AMENDMENT
 PROJECTING 1004628
 APPLICATION 06AA-00888
 DATE 4/19/06

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NUMBER: 1004628
APPLICATION NUMBER: 06-00490

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 3/10/06 and the findings and conditions in the Official Notification of Decision are satisfied.

is an Infrastructure List required? YES NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Engineering, Transportation Division
 Date 4/19/06
 Water Utility Department
 Date 4/19/06
 Parks and Recreation Department
 Date 4/19/06

City Engineer
 Date
 Environmental Health Department
 Date 4/19/06
 Solid Waste Management
 Date 4/19/06
 DRB Chairperson, Planning Department
 Date 4/19/06

* Environmental Health, if necessary

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE: NEW MEXICO EDUCATORS FEDERAL CREDIT UNION BARSTOW AND PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 1.5.2005
 SCALE: 1"=30'
 sheet: AS1
 of:

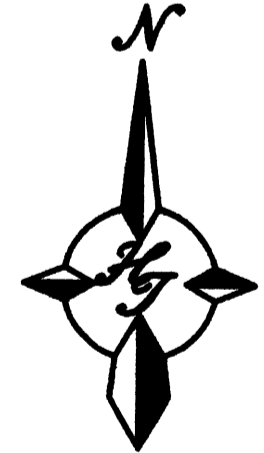
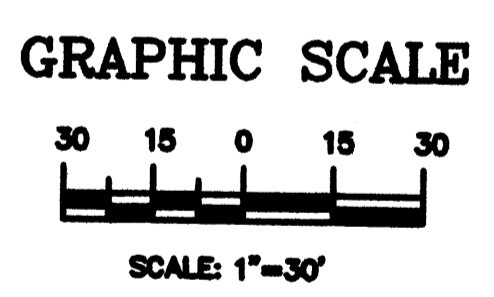
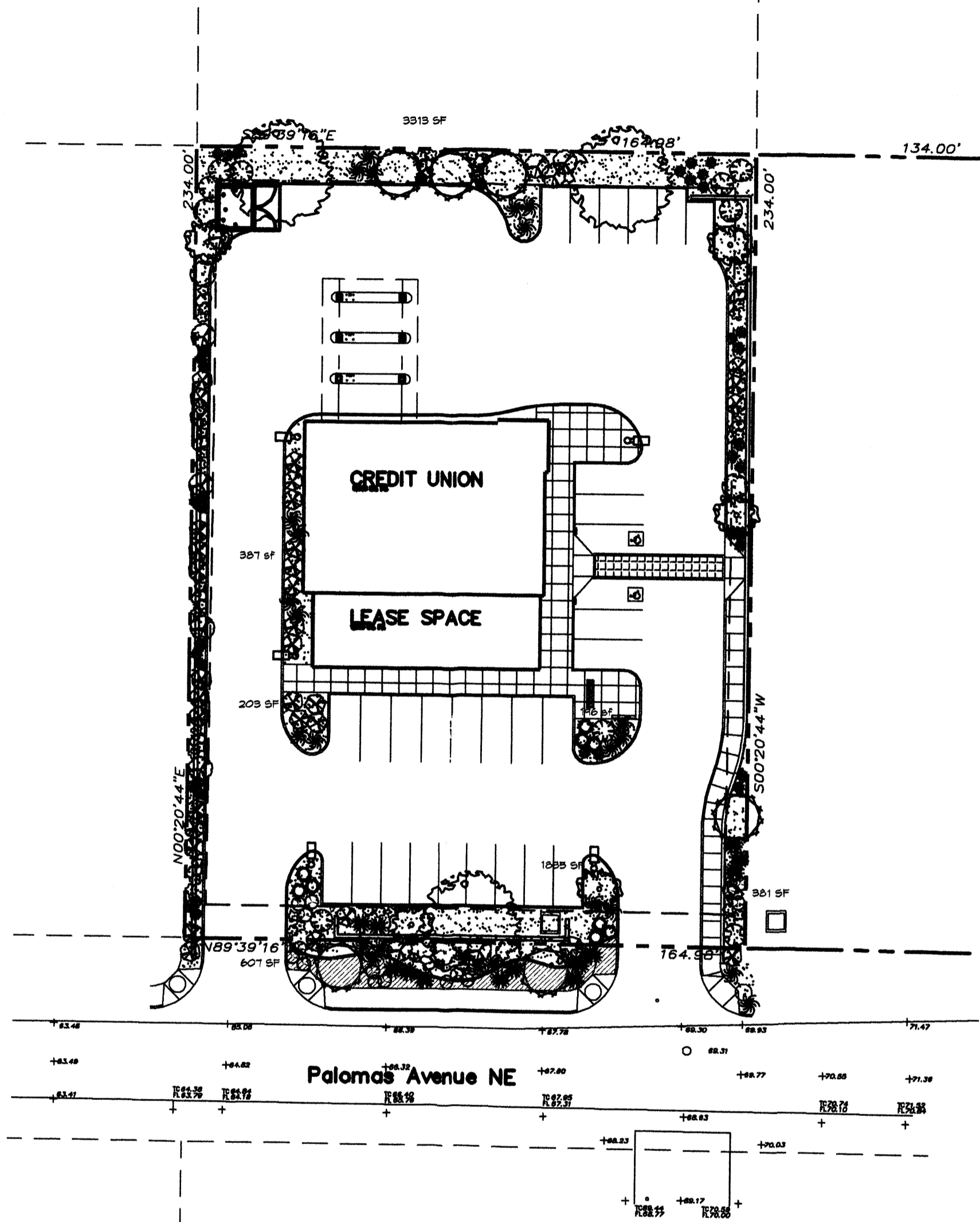
REV	DATE	BY	REVISION
1			
2			
3			
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5			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT TITLE: NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
 EASTROW AND PASO DEL NORTE
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER: Arvin Dabala
 SHEET TITLE: LANDSCAPE PLAN
 JOB NO: 0578
 DRAWN BY: RMM

DATE: 1.5.2005
 SCALE: 1"=30'
 SHEET: 1 of 1



PLANT LIST

- HONEY LOCUST (M) 3
Gleditsia triacanthos
2" Cal.
- NEW MEXICO OLIVE (L) 5
Forestiera neomexicana
15 Gal.
- DESERT WILLOW (L) 6
Chilopsis linearis
5 Gal. 225sf
- MAIDEN GRASS (M) 6
Miscanthus sinensis
5 Gal. 16sf
- INDIAN HAWTHORN (M) 32
Raphiolepis indica
5 Gal. 36sf
- LANAS BROOM (M) 9
Cytisus scoparius
5 Gal. 4sf
- RED YUCCA (L) 13
Hesperaloe parviflora
5 Gal. 4sf
- POTENTILLA (M) 36
Potentilla fruticosa
1 Gal. 4sf
- REGAL MIST (M) 10
Muhlenbergia capillaris
5 Gal. 4sf
- THREADGRASS (M) 26
Stipa tenuisima
1 Gal. 4sf
- HALLS HONEYSUCKLE (M) 10
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- LAVENDER (M) 15
Lavandula angustifolia
1 Gal. 4sf
- GREEN LAVENDER COTTON (M) 39
Santolina virens
1 Gal. 8sf
- NATURAL EDGE
- OVERSIZED GRAVEL
& 15 BOULDERS
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC
- COBBLE
WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

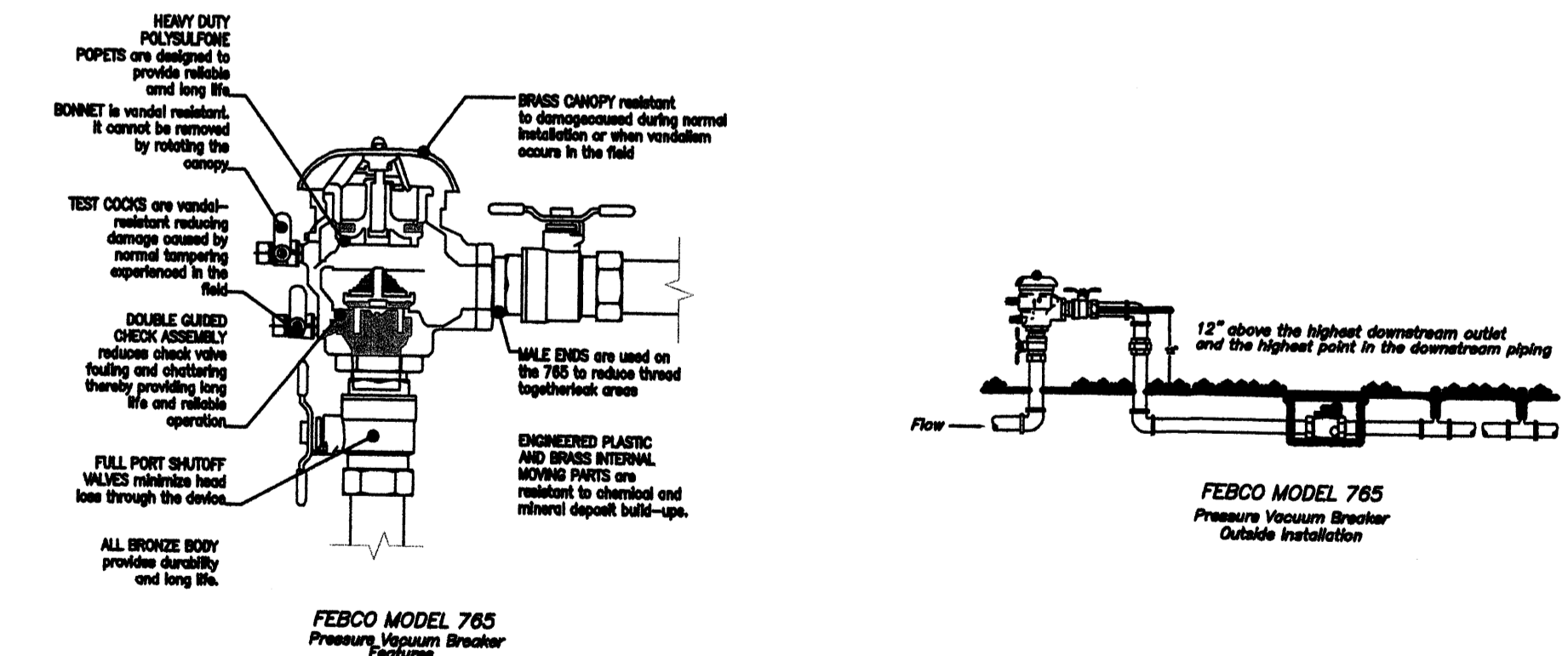
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	37123	square feet
TOTAL BUILDINGS AREA	18500	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	19223	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	2883	square feet
TOTAL BED PROVIDED	6922	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	5192	square feet
TOTAL GROUND COVER PROVIDED	5201 (75%)	square feet
TOTAL LANDSCAPE PROVIDED	6922 (36%)	square feet

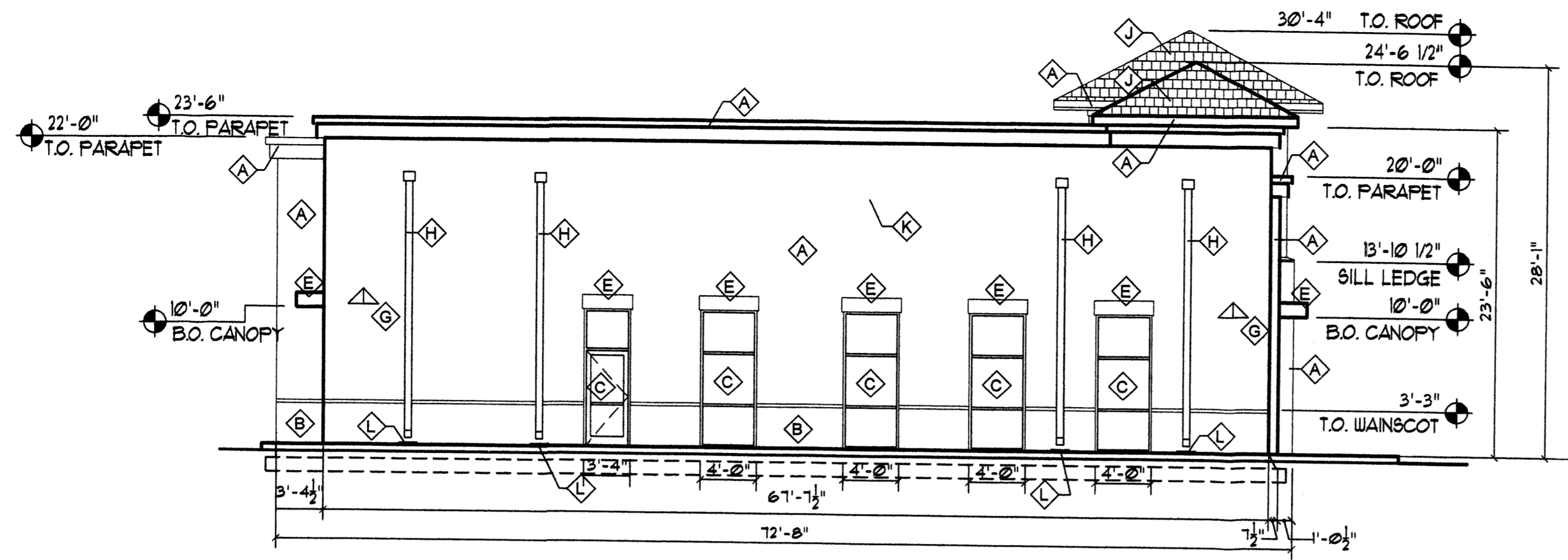


BACKFLOW PREVENTER DETAIL

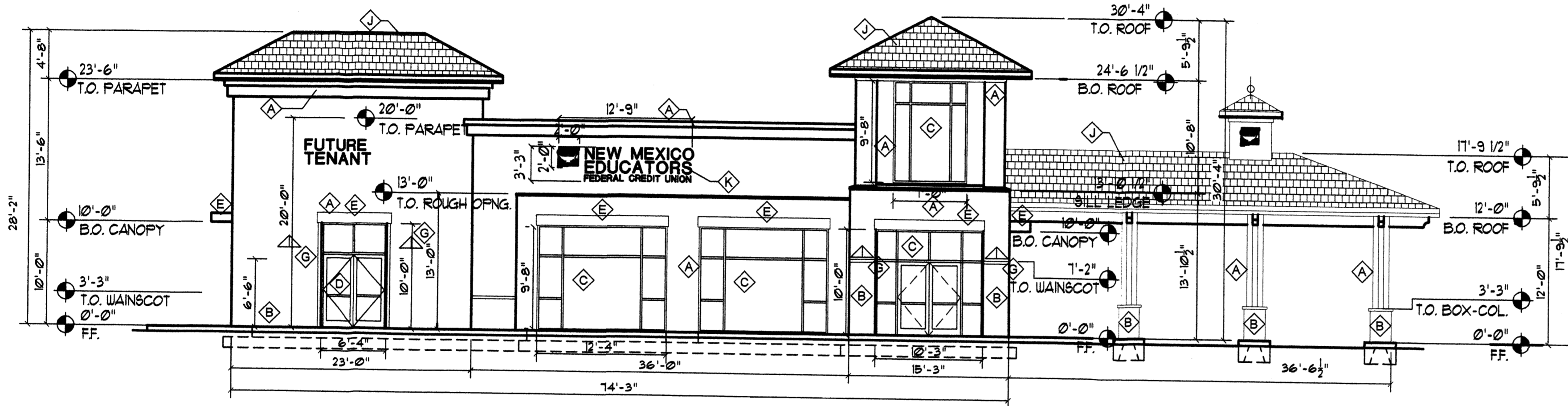
not to scale

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9890
 Fax (505) 898-7737
 cjohnson@hilltoplandscaping.com

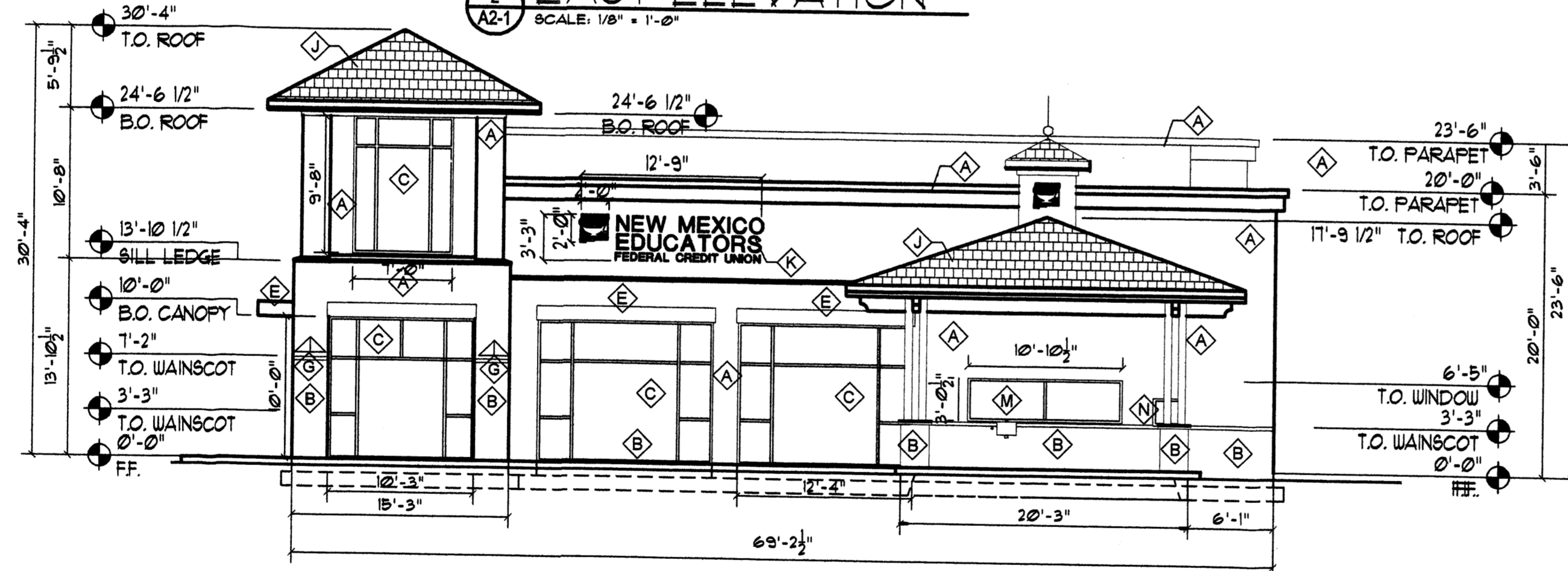
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable form has been paid or job order placed.



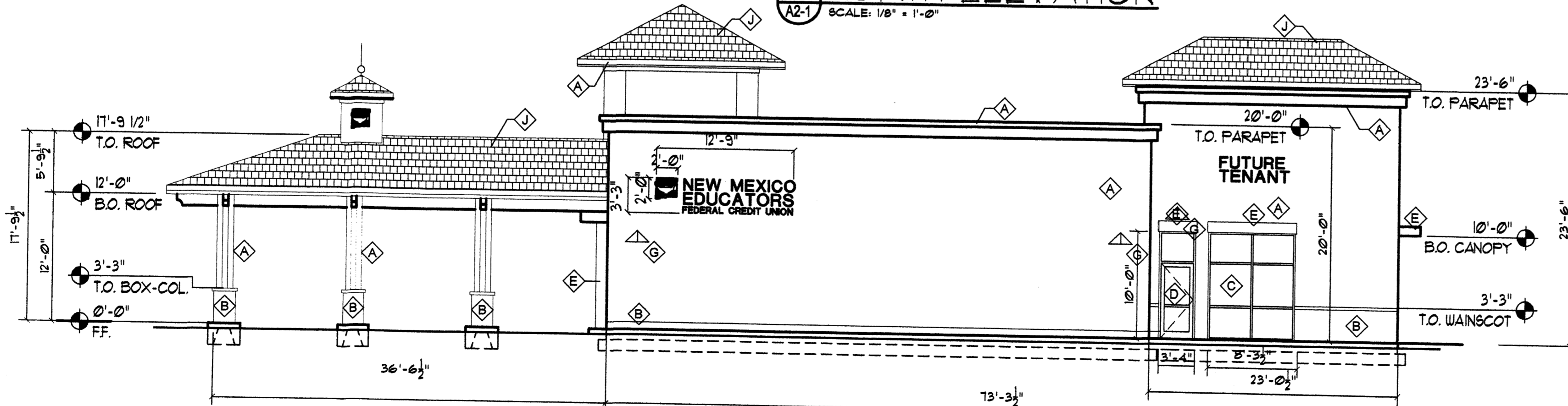
1 SOUTH ELEVATION
A2-1 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A2-1 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
A2-1 SCALE: 1/8" = 1'-0"



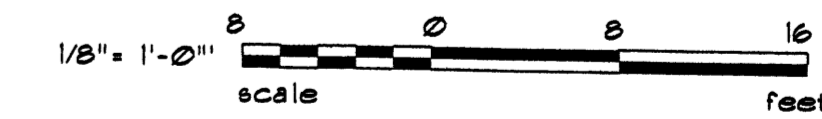
4 WEST ELEVATION
A2-1 SCALE: 1/8" = 1'-0"

Keyed Color / Material Schedule		Common Name
◆	STUCCO EL REY 101 NAVAJO WHITE	WHITE
◆	STUCCO EL REY 116 ADOBE	DARK BROWN
◆	ALUM. STOREFRONT BRONZE	BRONZE
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆	TUBE STEEL CANOPY SLATE GREY	SLATE GREY
◆	TUBE STEEL PAINT TO MATCH EL REY #116 (ADOBE)	
◆	LIGHT FIXTURE BLACK	BLACK
◆	DOWNSPOUT PAINT TO MATCH ADJACENT FINISH	
◆	CONCRETE ROOF TILE SLATE GREY	SLATE GREY
◆	BANK SIGNAGE BANK LOGO COLOR	BY SIGN MNF.
◆	CONCRETE SPLASH BLOCK	
◆	BANK DRIVE-THRU WINDOW SECURITY GLASS & FRAME BY MNF.	BRONZE
◆	DEPOSIT BOX STAINLESS STEEL	BRONZE

BUILDING SIGNAGE:

Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 10 percent of the wall area of each building elevation. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering and signs signs are prohibited. The Credit Union logo is to be integral part of the overall sign. The sign will be black in color, anodized aluminum and back lighted.

NOTES:
ALL MECH. EQUIP. SHALL BE SHIELDED
ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.
SIGN AREA TO BE DETERMINED BY LOCAL CODE.



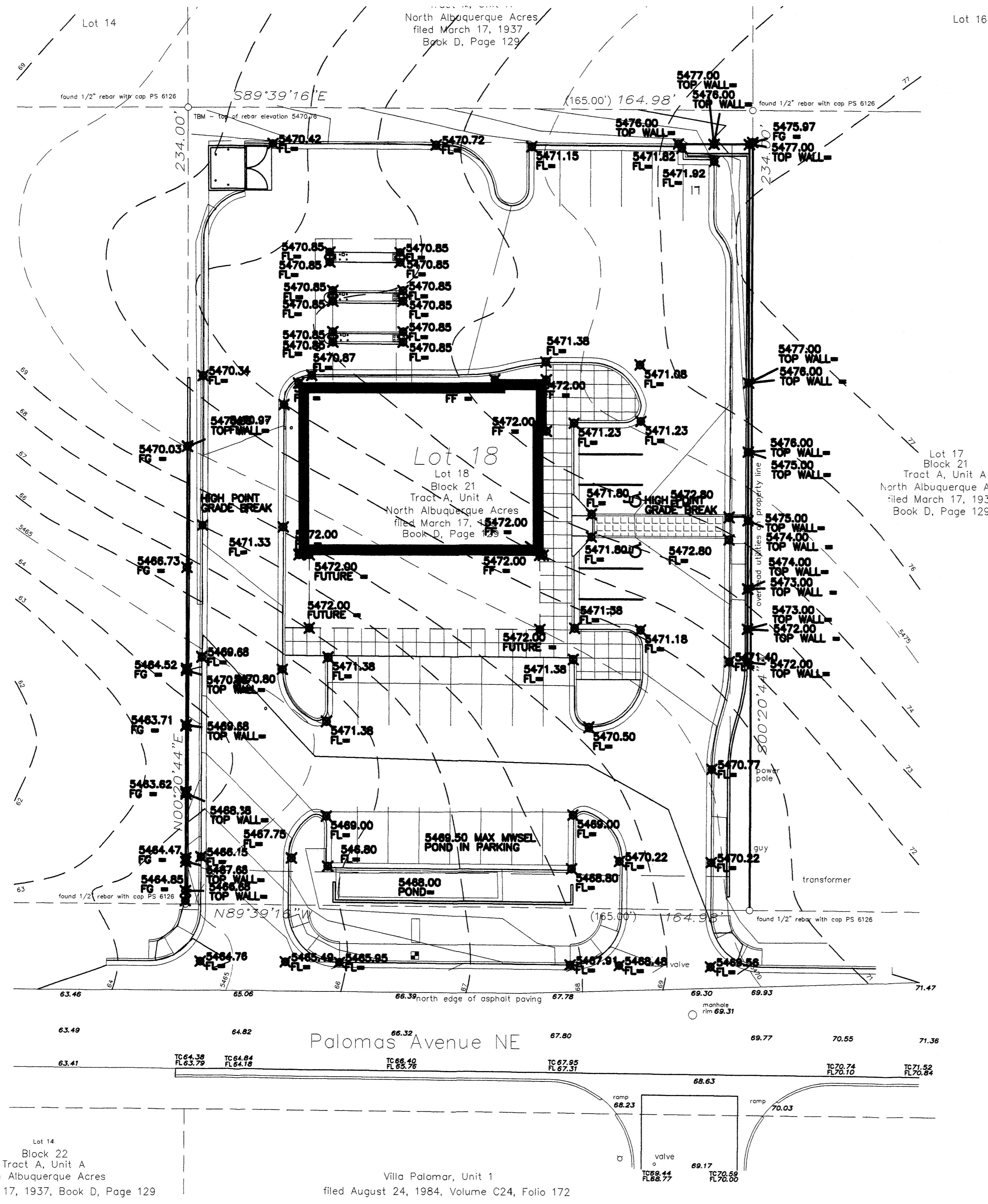
REV	DATE	BY	REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
BARSTOW AND PASIO DEL NORTE
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
Arden Dabblo
JOB NO.
0678
DRAWN BY
WRS
SHEET TITLE
EXTERIOR ELEVATIONS

DATE: 1.5.2005 sheet:
SCALE: 1/8"=1'-0" A2-1 of.



- GENERAL NOTES:**
- A. See sheet CG.1 for complete list of general notes and symbol/linetype legend that apply to all sheets.
 - B. Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
 - C. All retaining walls along perimeter of the site are less than 4' in height.

SITE

D4 VICINITY MAP
SCALE: NOT TO SCALE

DRAINAGE NARRATIVE

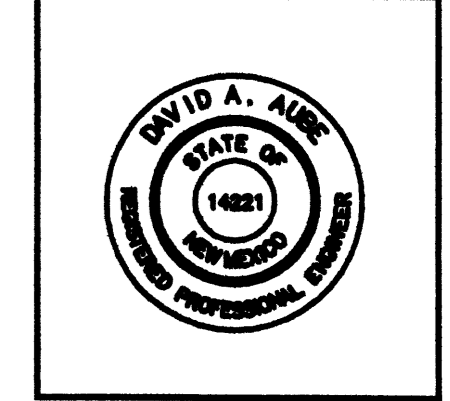
The property currently flows from East to the West. The site has a small 1/2 acres parcel to the east which is part of the Barstow ROW that drains into the site. This water shed is small and will not have adverse effects on the proposed development. The water from offsite will either be diverted into Palomas on the south side of the site or into the Paseo Del Norte ROW.

The proposed site improvements include the construction of a new New Mexico Educators Federal Credit Union building and associated parking, drive aisles, and drive up tellers under a canopy. The parking areas will drain toward the south into the Palomas ROW. Retaining walls along the east and west sides will be utilized to reduce the slopes on the parking areas and to aid in compliance with ADA requirements. The retaining walls will be less than 4' in height.

New curb and gutter will be installed along the site frontage within the Palomas ROW.

REV	DATE	BY	REVISION
1		XXX	
2			
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4			
5			

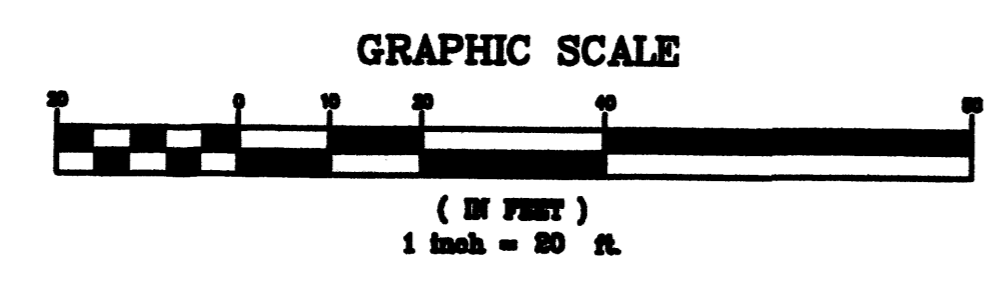
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
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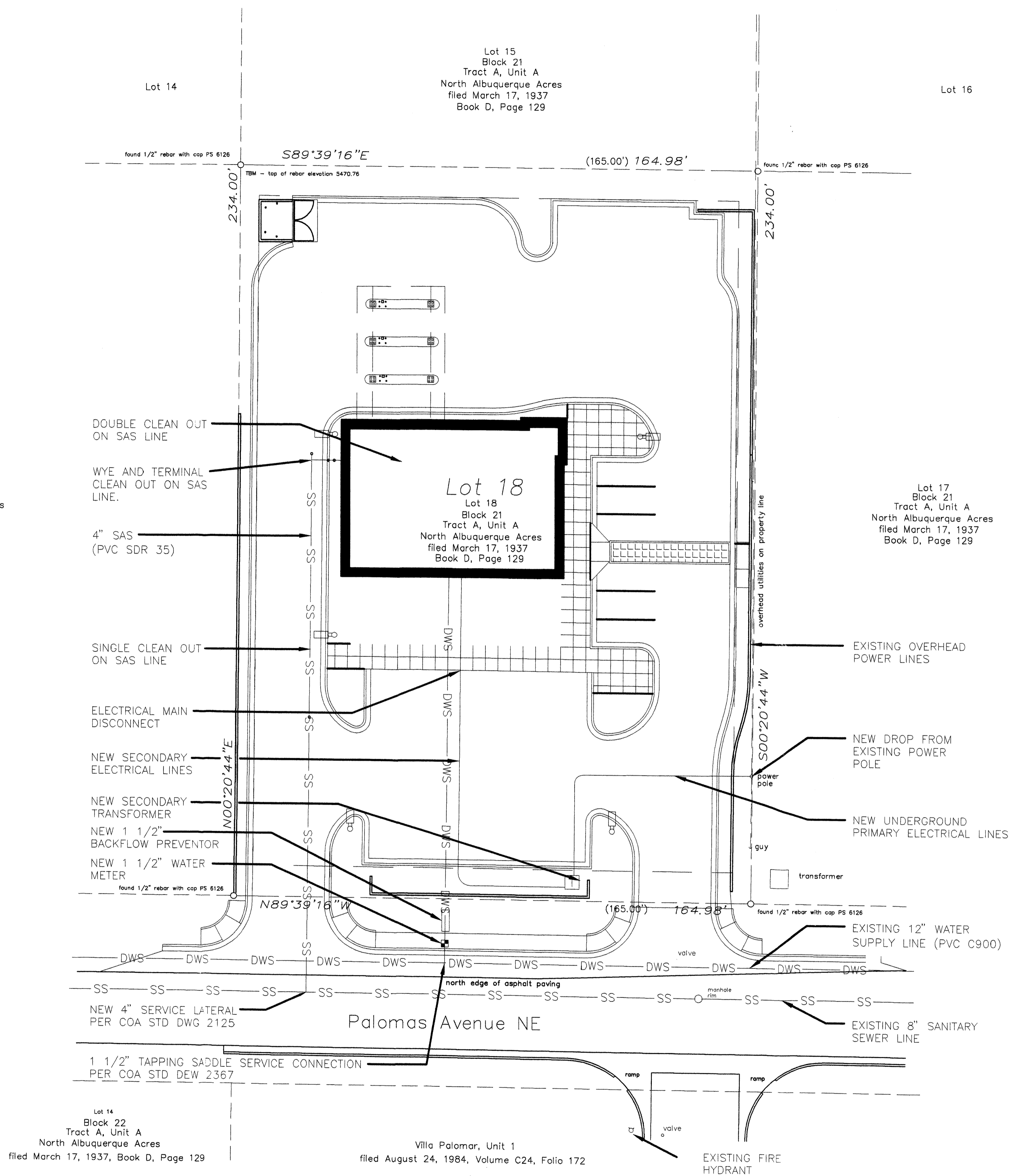
PROJECT TITLE
NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
 BARSTOW AND PASO DEL NORTE
 Albuquerque, NM
 PROJECT MANAGER
 Araco Dainoff
 DRAWN BY:
 JOB NO.
 0578
 SHEET TITLE
OVERALL GRADING PLAN

DATE: 11/25/05 sheet-
 SCALE: 1" = 20'-0" C2.1
 of

A1 OVERALL GRADING PLAN
 SCALE: 1" = 20'-0"



THE DESIGN GROUP
 ARCHITECTS • PLANNERS • INTERIOR DESIGN
 282 CENTRAL AVENUE, SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: 505.242.4480 FAX: 505.242.4881



Lot 19
Block 21
Tract A, Unit A
North Albuquerque Acres
filed March 17, 1937
Book D, Page 129

Lot 15
Block 21
Tract A, Unit A
North Albuquerque Acres
filed March 17, 1937
Book D, Page 129

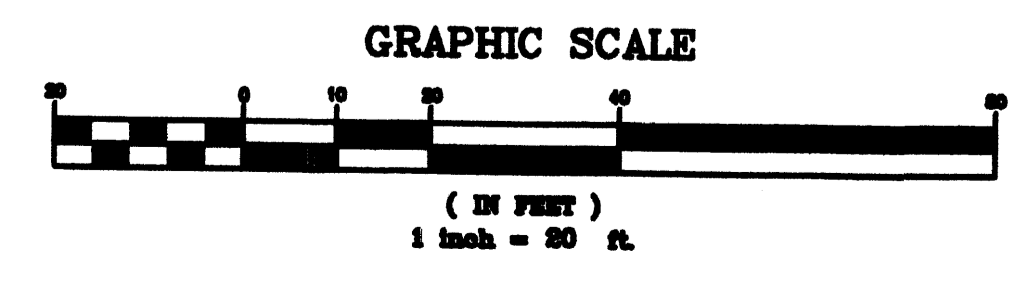
Lot 17
Block 21
Tract A, Unit A
North Albuquerque Acres
filed March 17, 1937
Book D, Page 129

Lot 14
Block 22
Tract A, Unit A
North Albuquerque Acres
filed March 17, 1937, Book D, Page 129

Villa Palomar, Unit 1
filed August 24, 1984, Volume C24, Folio 172

A1 CONCEPTUAL UTILITY PLAN

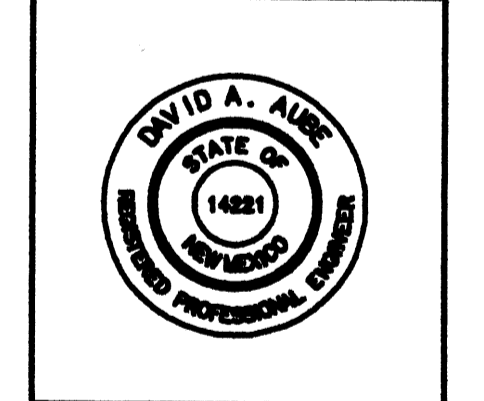
SCALE: 1" = 20'-0"



THE DESIGN GROUP
ARCHITECTS - PLANNERS - INTERIOR DESIGN
242 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6881

REV	DATE	BY	REVISION
1		xxx	
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
BARSTOW AND PASIO DEL NORTE
ALBUQUERQUE, NM
PROJECT MANAGER
Antonio Durillo
JOB NO.
0078
DRAWN BY:
CONCEPTUAL UTILITY PLAN

DATE: 11/25/05 sheet: **C3.1**
SCALE: 1" = 20' of