



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 20, 2008

1. **Project# 1004622**
08DRB-70310 2YR SUBD IMP AGMT EXT (2YR SIA)

GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 W/ PORTIONS OF 15-17, Block(s) 21, **NORTH ALBUQUERQUE ACRES** zoned SU--2 /C-1, located on PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE containing approximately 1.4487 acre(s). (D-19)

At the August 20, 2008 Development Review Board meeting, the two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by September 4, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: George Rainhart Architects & Associates – 2325 San Pedro NE Ste 2B –
Albuquerque, NM 87110

Cc: New Mexico Educators Federal Credit Union – P.O. Box 3530 – Albuquerque, NM
87198

Marilyn Maldonado
File

7. **Project# 1004622**
08DRB-70310 2YR SUBD IMP AGMT
EXT (2YR SIA)

GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 W/ PORTIONS OF 15-17, Block(s) 21, **NORTH ALBUQUERQUE ACRES** zoned SU--2 /C-1, located on PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE containing approximately 1.4487 acre(s). (D-19) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

8. **Project# 1005221**
08DRB-70363 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
08DRB-70364 AMENDED SDP FOR
SUBDIVISION

PRECISION SURVEYS INC agent(s) for JOURNAL CENTER request(s) the above action(s) for all or a portion of Tract(s) 5-B-1-A-1-A & 5-B-1-A-2-A, **JOURNAL CENTER** located on JEFFERSON ST NE BETWEEN LANG AVE NE AND HEADLINE BLVD NE containing approximately 14.3217 acre(s). (D-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH NO DELEGATION. THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED. 3 COPIES OF THE APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

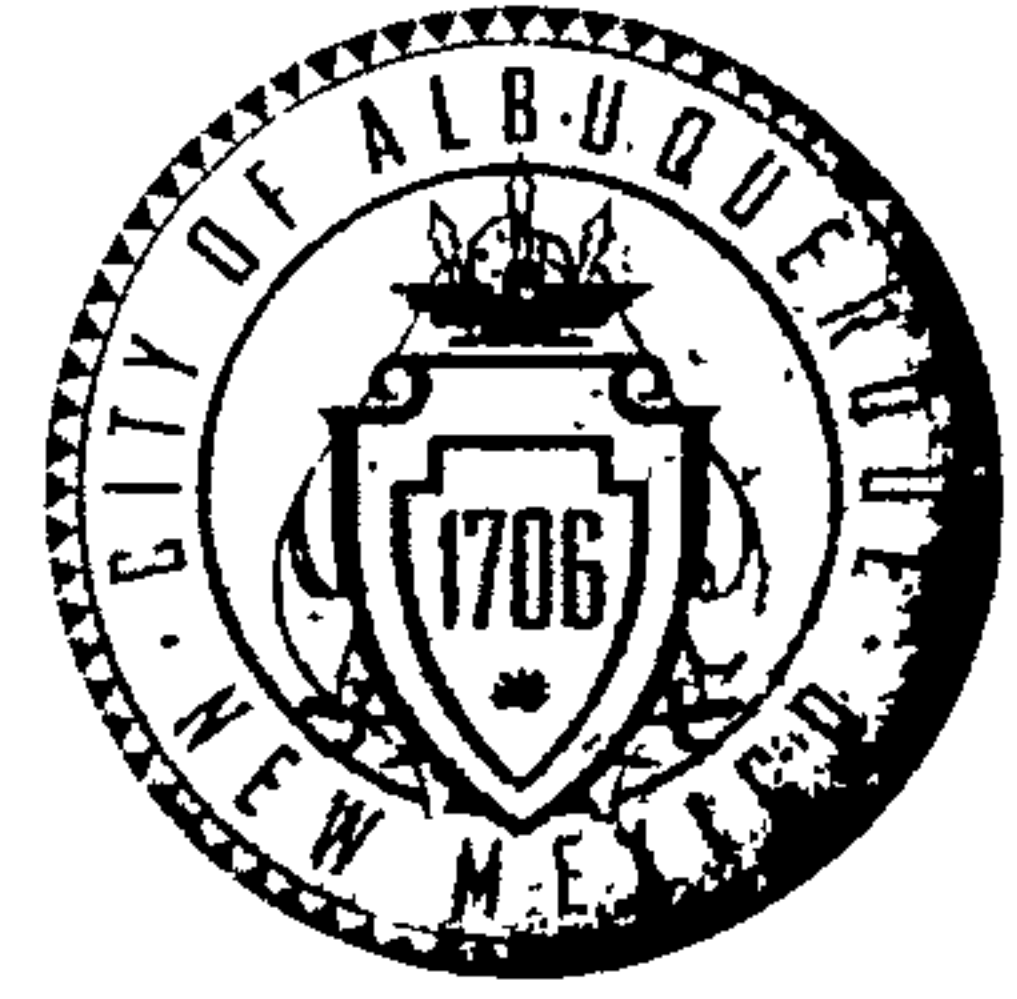
9. **Project# 1004575**
08DRB-70360 SKETCH PLAT REVIEW
AND COMMENT

JUAN F & BARBARA A DELGADO request(s) the above action(s) for all or a portion of Tract(s) D-1-A & D-1-B, **PEREA ACRES** zoned RA-2, located on DURANES RD NW BETWEEN GALBALDON NW AND LOS LUCEROS NW containing approximately .7467 acre(s). (H-12) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

10. Other Matters: None

ADJOURNED: 9:25

CITY OF ALBUQUERQUE



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004622

AGENDA ITEM NO: 7

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 20, 2008

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1004622

AGENDA ITEM NO: 7

SUBJECT:

SIA EXTENSION – 2 YEAR

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: AUGUST 20, 2008



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 16, 2008

Project# 1004622
08DRB-70310 EXT OF SIA FOR TEMP DEFR SDWK CONST

GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 W/ PORTIONS OF 15-17, Block(s) 21, **NORTH ALBUQUERQUE ACRES** zoned SU--2 /C-1, located on PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE containing approximately 1.4487 acre(s). (D-19)

At the July 16, 2008 Development Review Board meeting, a two year extension to the four-year agreement for the deferral of sidewalks was approved.

Jack Cloud, AICP, DRB Chair

Cc: George Rainhart Arch & Assoc. – 2325 San Pedro NE Ste 2B – Albuquerque, NM, 87110
Cc: New Mexico Educators Federal Credit Union – P.O. Box 3530 – Albuquerque, NM 87198
Cc: Marilyn Maldonado – 4th floor, Plaza Del Sol Building



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

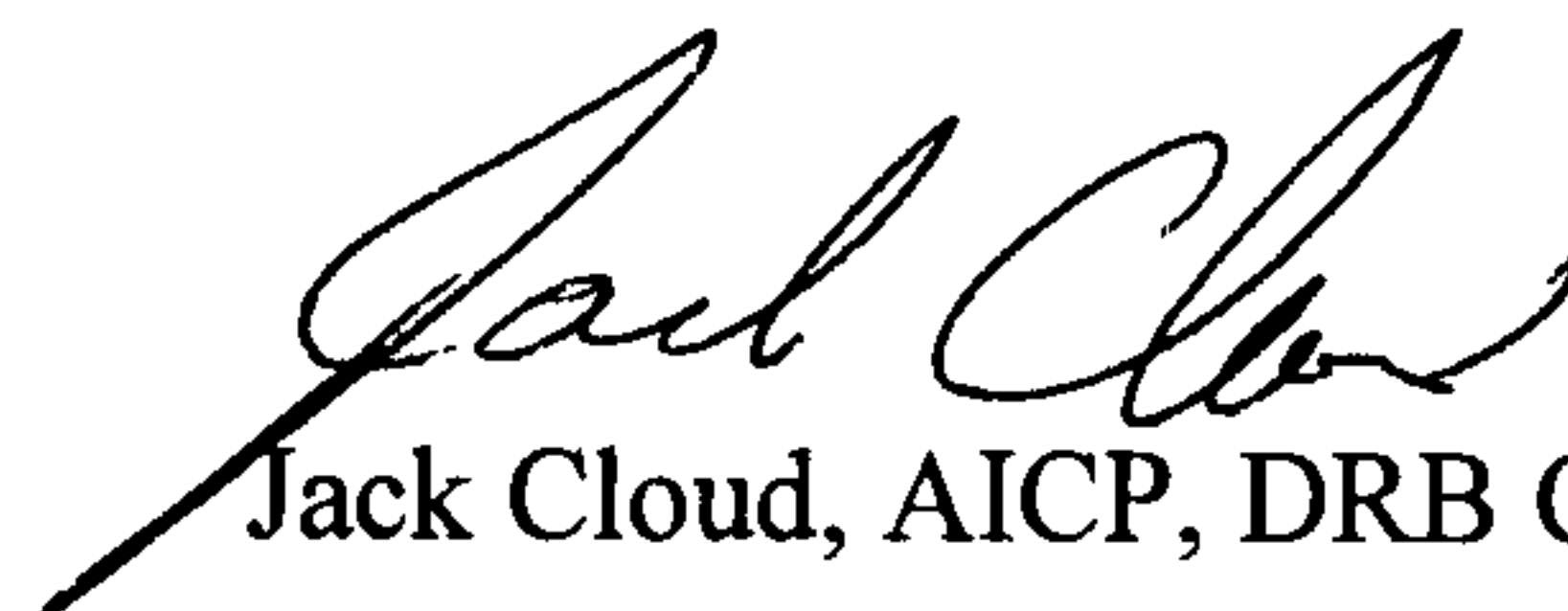
July 16, 2008

Project# 1004622

08DRB-70310 EXT OF SIA FOR TEMP DEFR SDWK CONST

GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 W/ PORTIONS OF 15-17, Block(s) 21, **NORTH ALBUQUERQUE ACRES** zoned SU--2 /C-1, located on PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE containing approximately 1.4487 acre(s). (D-19)

At the July 16, 2008 Development Review Board meeting, a two year extension to the four-year agreement for the deferral of sidewalks was approved.


Jack Cloud, AICP, DRB Chair

Cc: George Rainhart Arch & Assoc. – 2325 San Pedro NE Ste 2B – Albuquerque, NM, 87110
Cc: New Mexico Educators Federal Credit Union – P.O. Box 3530 – Albuquerque, NM 87198
Cc: Marilyn Maldonado – 4th floor, Plaza Del Sol Building



DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70195	Project # 1004622
Project Name: NORTH ALBUQUERQUE ACRES TRACT A, UNIT A	
Agent: CARTESIAN SURVEYS INC.	Phone No.: 896-3050

Your request was approved on 4-30-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Utilities sign-off
- 35' radius
- Solar Note

- Planning must record this plat: Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:



DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

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Project Name: NORTH ALBUQUERQUE ACRES TRACT A, UNIT A	
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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

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UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Utilities sign-off
- 35' radius
- Solar Note

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Created On:



**DEVELOPMENT REVIEW BOARD
Action Sheet**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 30, 2008 9:00AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

**Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer**

**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1005029
08DRB-70165 MAJOR - 2YR
EXTENSION OF SUBDIVISION
IMPROVEMENTS**

SUNCAL COMPANIES/ WESTLAND DevCo LP (f.k.a WESTLAND DEVELOPMENT CO. INC.). request(s) the above action(s) for the Mirehaven Arroyo as part of Tract(s) B & J, **THE CROSSING**, and Tract(s) R, **STORMCLOUD Unit(s) 3 & 4**, (to be known as **STORMCLOUD SUBDIVISION Unit(s) 4 & 5**), zoned SU-2/R-LT, located west of UNSER BLVD NW BETWEEN TIERRA PINTADA BLVD NW AND LADERA BLVD NW containing approximately 50 acre(s). (H-9) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

2. **Project# 1005108**
 08DRB-70059 MAJOR - PRELIMINARY
 PLAT APPROVAL
 08DRB-70105 SIDEWALK WAIVER
 08DRB-70138 SIDEWALK WAIVER

THE DESIGN GROUP agent(s) for RALPH CORRIZ request(s) the above/ referenced action(s) for all or a portion of Tract(s) 67-A-1 AND 67-A-2, **MRGCD MAP #29**, zoned R-1 and C-1, located on the east side of 4TH ST NW BETWEEN VINEYARD RD NW AND WILLOW RD NW containing approximately 2.4 acre(s). (E-15) *[Deferred from 2/27/08, 3/12/08, 3/26/08 & 4/2/08]* **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

3. **Project# 1006822**
 08DRB-70146 VACATION OF PUBLIC
 RIGHT-OF-WAY
 08DRB-70147 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for 2000 GOLD AVE LLC PHILLIP RABY PRINCIPAL request(s) the above action(s) for all or a portion of Lot(s) 1&2, Block(s) 76, **TERRACE ADDITION, TOGETHER WITH VACATED PORTIONS OF TERRACE ST GOLD AV & BUENA VISTA DR**, zoned SU-2 / PR, located on GOLD AV SE BETWEEN TERRACE ST SE AND BUENA VISTA DR SE containing approximately 0.411 acre(s). (R-15) *[Deferred from 4/16/08]* **DEFERRED TO 5/14/08 AT THE AGENT'S REQUEST.**

4. **Project# 1004354**
 08DRB-70048 SITE DEVELOPMENT
 PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) *[Deferred from 2/20/08,3/5/08, 3/12/08, 3/19/08, 3/26/08 & 4/2/08 & 4/16/08]*. **DEFERRED TO 5/7/08 AT THE AGENT'S REQUEST.**

5. **Project# 1006833**
 08DRB-70108 VACATION OF PUBLIC EASEMENT
 08DRB-70111 VACATION OF PRIVATE EASEMENT
 08DRB-70112 MAJOR - PRELIMINARY PLAT APPROVAL

SURV-TEK INC agent(s) for TABEL LUMBER CO request(s) the above/ referenced action(s) for all or a portion of Tracts S-1A and S-2A-2, **ATRISCO BUSINESS PARK, UNIT 2**, (TBK as Tract(s) A & B, MERIDIAN BUSINESS PARK II) together with Tract S-2A-1, **ATRISCO BUSINESS PARK, UNIT 2** (TBK as UNSER TOWNE CROSSING) zoned IP, located on the east side of UNSER BLVD NW BETWEEN LOS VOLCANES RD NW AND INTERSTATE ROUTE 40 containing approximately 70.3629 acre(s). (J-9, J-10) *[Deferred from 3/26/08, 4/9/08 & 4/16/08]*
THE PRELIMINARY PLAT WAS APPROVED. THE VACATION FOR PUBLIC EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE WITH THE CONDITION THAT COVENANCE DOCUMENT AND MAINTENANCE STATEMENT BE PROVIDED ON THE FINAL PLAT. THE VACATION FOR PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.

- 07DRB-70254 MAJOR - SDP FOR SUBDIVISION
 07DRB-70255 MAJOR - SDP FOR BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)** zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) *[Deferred from 10/10/07, 11/14/07, 12/12/07, 1/30/08, 2/27/08, 3/26/08 & 4/9/08 & 4/16/08]* **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO CHECK FOR WATER LINE EASEMENTS ON THE NORTH, AND TREE REMOVAL FROM NEW 20FT WATERLINE, AND FROM NORTH STRIP MALL AREA. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS DEFERRED TO 5/14/08.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project# 1002404**
08DRB-70023 EPC APPROVED SDP
FOR BUILD PERMIT
08DRB-70024 EPC APPROVED SDP
FOR SUBDIVISION

GEORGE RAINHART ARCHITECT & ASSOCIATES agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 1-B & 1-D, **LADERA INDUSTRIAL CENTER**, located on UNSER BLVD NW BETWEEN VISTA ORIENTE NW AND LADERA CHANNEL containing approximately 7.08 acre(s). (H-9) (*Deferred from 1/23/08, 1/30/08 & 2/13/08*)

THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. 3 COPIES OF THE APPROVED SITE PLAN MUST BE SUBMITTED TO PLANNING. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA. 3 COPIES OF THE APPROVED SITE PLAN MUST BE SUBMITTED TO PLANNING.

- Project# 1002404**
08DRB-70029 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for PETERSON INV-98TH/UNSER LLC request(s) the above action(s) for all or a portion of Lot(s) 1-B & 1-D, **LADERA INDUSTRIAL CENTER**, zoned SU-1 LIGHT INDUSTRIAL, located on UNSER BLVD NW AND VISTA ORIENTE ST NW containing approximately 7.0919 acre(s). (H-9) (*Deferred from 1/30/08 & 2/13/08*) **THE PRELIMINARY/FINAL PLAT WAS APPROVED. A COPY OF THE RECORDED PLAT MUST BE SUBMITTED TO PLANNING.**

7. **Project# 1003125**
08DRB-70183 MINOR - SDP FOR
BUILDING PERMIT

MOLZEN-CORBIN & ASSOCIATES agent(s) for TRI MOTOR LLC request(s) the above action(s) for all or a portion of Tract(s) S-1, **AEROSPACE TECHNOLOGY PARK IN DOUBLE EAGLE II AIRPORT** zoned SU-1 FOR AIRPORT & REL FAC, located on AEROSPACE PARKWAY NW BETWEEN SHOOTING RANGE PARK RD NW AND AREOSPACE PARKWAY NW containing approximately 2 acre(s). (G-6) **DEFERRED TO 5/7/08 AT THE AGENT'S REQUEST.**

8. **Project# 1002798**
08DRB-70191 MINOR - SDP FOR BUILDING PERMIT
- VINCENT SANCHEZ request(s) the above action(s) for all or a portion of Lot(s) O1-P1, **RANCHO DE CANDELARIA** zoned SU-1 FOR PRD, located on CANDELARIA NW BETWEEN 12TH ST NW AND RIO GRANDE NW containing approximately .2648 acre(s). (G-13) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR A REVISED GRADING PLAN BY P.E., AND TO PLANNING TO PROVIDE PLAT RECORDING INFORMATION ON PLAN, AND FOR 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1001129**
08DRB-70196 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- MRCOG request(s) the above action(s) for all or a portion of Lot(s) B, **MONTANO INDUSTRIAL SUBDIVISION** zoned M-1, located on MONTANO INDUSTRIAL SUBDIVISION containing approximately 4.3173 acre(s). (F-15) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR NOTE, COPIES OF DEEDS REGARDING EASEMENTS AND GRANT ACCESS EASEMNT – CALL OUT MAINTENANCE AND BENEFICIARIES.**
10. **Project# 1007214**
08DRB-70169 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for KENDALL SYKES C/O: TERRY SYKES request(s) the above action(s) for all or a portion of Lot(s) L-4, **COLES INDUSTRIAL SUBD #2** zoned M-1, located on STANFORD DR NE BETWEEN CANDELARIA RD NE AND VASSAR NE containing approximately 0.267 acre(s). (H-16) *[Deferred from 4/16/08]*. **DEFERRED TO 5/14/08 AT THE AGENT’S REQUEST.**
11. **Project# 1002200**
08DRB-70190 AMENDMENT TO PRELIMINARY PLAT
- SCOTT EVERETT agent(s) for PHYLLIS SMITH AND HARRISON SMITH request(s) the above action(s) for all or a portion of Block(s) 15D-1B-1C, **HIGH DESERT** zoned R-1, located on ACADEMY RD NE BETWEEN TRAMWAY NE AND FOREST SERVICE LINE containing approximately 0.6007 acre(s). (E-24) **THE AMENDMENT TO PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR HIGH DESERT ASSOCIATION SIGNATURE. A COPY OF THE RECORDED PLAT MUST BE SUBMITTED TO PLANNING.**

12. ~~Project# 1004622~~
08DRB-70195 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- CARTESIAN SURVEYS INC agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 & PORTIONS OF 15-17, Block(s) 21, Tract(s) A, **NORTH ALBUQUERQUE ACRES TRACT A, UNIT A** Unit(s) A, zoned SU-2/C-1, located on PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE containing approximately 1.6275 acre(s). (D-19) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 35FT RIGHT OF WAY RADIUS AND SOLAR NOTE.**
13. **Project# 1006989**
08DRB-70150 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- CARTESIAN SURVEYS INC agent(s) for TIMOTHY AND CHRISTINE HELMICK request(s) the above action(s) for all or a portion of Lot(s) 16-A, Block(s) 16, **NORTH ALBUQUERQUE ACRES TRACT A, UNIT B** zoned SU-2 FOR I-P, located on SAN PEDRO DR AND ANAHEIM AVE containing approximately 0.9994 acre(s). (C-18) [*Deferred from 4/2/08, 4/16/0/ & 4/23/08*]. **THE PRELIMINARY/FINAL PLAT WAS APPROVED. REQUIREMENTS ARE FOR AGIS DXF FILE AND A COPY OF THE RECORDED PLAT PROVIDED TO PLANNING.**
14. **Project# 1004677**
08DRB-70194 SIDEWALK VARIANCE
- ISAACSON AND ARFMAN PA agent(s) for INFILL SOLUTIONS LLC request(s) the above action(s) for all or a portion of Lot(s) A1A, Tract(s) A & B, 129B1A, B, **HB & CALVINHORN, HUNING CASTLE ADDITION & LUGUNA** (TBK zoned SU-2/CLD, located on CENTRAL AVE SW BETWEEN LAGUNA BLVD SW AND SAN PASQUALE AVE SW containing approximately 3.1303 acre(s). **THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE AND THE SIDEWALKS WERE WAIVERED ON THE NORTHSIDE OF THE COUNTRY CLUB PER THE SITE DEVELOPMENT PLAN.**
15. **Project# 1007081**
08DRB-70193 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- PULLMAN INVESTMENTS LLC agent(s) for CRIS DIGREGORY request(s) the above action(s) for all or a portion of Lot(s) C, **SHELL 1**, zoned R2, located on CENTRAL BLVD SW BETWEEN RIO GRANDE SW AND WILLIS PL SW containing approximately .63 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA FOR 40FT EASEMENT REVISION AND CENTERED, AND TO PLANNING FOR TWO MYLARS, RECORDING FEE AND CURRENT TAX INFORMATION.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project# 1004607**
08DRB-70181 SKETCH PLAT REVIEW
AND COMMENT

WILSON & COMPANY agent(s) for SALLS BROTHERS CONSTRUCTION request(s) the above action(s) for all or a portion of Block(s) 15, 16, Tract(s) 1-A-22A , 1A-22A, **VISTA VIEJA Unit(s) 3**, zoned RD, located on MOCK HEATHER RD NW BETWEEN VISTA TERRAZA DR NW AND METE SOL DR NW containing approximately 6.21 acre(s). (D-9) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Other Matters: None

ADJOURNED: 10:35



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 16, 2008 9:00 AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E. , Transportation Development

Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA

Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1007137**
08DRB-70097 VACATION OF PUBLIC RIGHT-OF-WAY
ISMELDA F. FLORES request(s) the above/ referenced action(s) for all or a portion of the alley at the rear of Lot(s) 1, Block B, **CACY SUBDIVISION** zoned R-2, located on the east side of CORONA DR NW BETWEEN PHEASANT AVE NW AND FLAMINGO AVE NW. (G-11) *[Deferred from 3/26/08 & 5/7/08]* **DEFERRED TO 7/30/08 AT THE AGENT'S REQUEST.**

2. **Project # 1005070**
06DRB-01154 MAJOR-PRELIMINARY PLAT APPROVAL
06DRB-01156 MINOR-SIDEWALK WAIVER
06DRB-01155 MINOR-TEMP DEFER SDWK
SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, **THE TRAILS, UNIT 2 (to be known as TAOS @ THE TRAILS, UNIT 2)** zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). (C-9) *[Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07, 08/22/07 & 09/05/07 & 09/26/07, 10/17/08 , 4/16/08 & 5/14/08].* **DEFERRED TO 7/23/08 AT THE AGENT'S REQUEST.**

3. **Project# 1006516**
07DRB-70030 BULK LAND VARIANCE
07DRB-70031 MAJOR - PRELIMINARY PLAT APPROVAL
07DRB-70032 MINOR - TEMP DEFR SWDK CONST
07DRB-70033 SIDEWALK WAIVER
07DRB-70034 VACATION OF PUBLIC EASEMENT
07DRB-70085 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL
BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) PORTION OF TRACT 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD. SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). (R15, R16, S15, AND S16) *[Deferred from 6/27/07, 7/25/07, 7/22/07, 8/22/07 & 9/26/07, 1/30/08, 3/5/08, 4/9/08, 5/14/08, 5/28/08, 6/4/08, 6/11/08 & 6/25/08]* **DEFERRED TO 8/6/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1000901**
08DRB-70312 EPC APPROVED SDP
FOR BUILD PERMIT
08DRB-70313 EPC APPROVED SDP
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for BOSQUE SCHOOL request(s) the above action(s) for all or a portion of **BOSQUE PREPARATORY SCHOOL & RELATED FACILITIES**, located on LEARNING RD NW BETWEEN COORS BLVD NW AND RIO GRANDE BOSQUE containing approximately 47.11 acre(s). (F-12) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLAN UXJX NINGCOPIES, AND TO TRANSPORTATION FOR COMMENTS. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES.**

- 08DRB-70315 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

PRECISION SURVEYS INC agent(s) for BOSQUE SCHOOL request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **BOSQUE PREPARATORY SCHOOL & LOT 9 ANDALUCIA @ LA LUZ** located on LEARNING RD NW BETWEEN COORS BLVD NW AND MIRANDELA ST NW containing approximately 31.3093 acre(s). (E-12/F-12) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN. FINAL PLAT WAS DEFERRED TO 7/23/08.**

5. **Project# 1001907**
08DRB-70309 EPC APPROVED SDP
FOR BUILD PERMIT

CONSENSUS PLANNING agent(s) for MED WEST 2008 LLC request(s) the above action(s) for all or a portion of Tract(s) 10-A, **EAGLE RANCH** zoned SU-1 FOR C-1, located on IRVING BLVD NW BETWEEN CONGRESS AVE NW ANDN BRYAN AVE NW containing approximately 1.6911 acre(s). (B-13) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING FOR EASEMENT TO FOR RIGHT TURN LANE IF NEEDED, AND FOR 3 COPIES.**

6. **Project# 1007017**
 08DRB-70255 EPC APPROVED SDP
 FOR BUILD PERMIT
 08DRB-70256 EPC APPROVED SDP
 FOR SUBDIVISION
 08DRB-70258 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL
- NMHCR LLC agent(s) for KASSAM HOSPITALITY request(s) the above action(s) for all or a portion of Lot(s) 2-A-1, 2-A-2, 2-A-3, **SUNPORT PARK** zoned IP, located on WOODWARD RD SE BETWEEN UNIVERSITY AND TRANSPORT SE containing approximately 4.45 acre(s). (M-15) [Deferred from 6/11/08, 6/25/08 & 7/9/08] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES AND TO COMPLY WITH WRITTEN COMMENTS. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO COMPLY WITH COMMENTS, SIGNATURE OF UTILITY COMPANIES AND ENVIRONMENTAL HEALTH.**
7. **Project# 1000650**
 08DRB-70237 EPC APPROVED SDP
 FOR BUILD PERMIT
- GEORGE RAINHART & ASSSOC. agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 2A, **LAMONICA & WENK**, zoned SU-1 / C-1, located on COORS BLVD AND RIO BRAVO containing approximately 1.55 acre(s). (P-10) [Deferred from 5/28/08, 6/4/08, 6/11/08 , 6/25/08 & 7/9/08] **DEFERRED TO 7/23/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project# 1004622**
 08DRB-70310 EXT OF SIA FOR TEMP
 DEFR SDWK CONST
- GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 W/ PORTIONS OF 15-17, Block(s) 21, **NORTH ALBUQUERQUE ACRES** zoned SU--2 /C-1, located on PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE containing approximately 1.4487 acre(s). (D-19) **A TWO YEAR EXTENSION TO THE 4-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
9. **PROJECT # 1004773**
 06DRB-00750 MINOR-PRELIM&FINAL
 PLAT APPROVAL
- ISAACSON & ARFMAN PA agent(s) for PASEO PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 12, 13, 20 & 21, Block(s) 18, **NORTH ALBUQUERQUE ACRES, UNIT B** (to be known as **PASEO PLACE**) zoned SU-1 for M-1, located on HOLLY AVE NE, between PASEO DEL NORTE NE and SAN PEDRO DR NE containing approximately 4 acre(s). [REF: 06DRB-00377] [Was Indef Deferred for the site plan.] (C-18) (Deferred from 6/21/08) **THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**

10. **Project# 1007335**
08DRB-70311 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

DOUG SMITH agent(s) for PATRICK APODACA request(s) the above action(s) for all or a portion of Tract(s) A, **ROMAC-JEAN ADDITION** zoned C-3, located on QUINCY ST NE BETWEEN MENAUL BLVD NE AND PROSPECT AVE NE containing approximately .279 acre(s). (H-17) **THE PRELIMINARY/FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR WRITTEN COMMENTS FOR COUNTY TREASURE SIGNATURE PRIOR TO RECORDING, SOLAR COLLECTORS NOTE, AND AGIS DXF.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project# 1007351**
08DRB-70289 SKETCH PLAT REVIEW
AND COMMENT

E. GILBERT & DOLORES SEDILLO request(s) the above action(s) for all or a portion of Lot(s) D & G, Block(s) 2, **BROADVIEW** zoned RA-2, located on BROADVIEW PL NW BETWEE CHEROKEE NW AND VALLE ALTO NW containing approximately .411 acre(s). (G-13)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project# 1007380**
08DRB-70308 SKETCH PLAT REVIEW
AND COMMENT

GEORGE DUGAS agent(s) for GEORGE DUGAS request(s) the above action(s) for all or a portion of Lot(s) 6, **VOLCANO CLIFFS Unit(s) 9**, zoned SU-2 ER15, ER18 & SU-1 FOR OPEN SPACE, located on VILLA REAL PL NW BETWEEN VILLA REAL RD NW AND RETBALO NW containing approximately 9 acre(s). (D-8) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Other Matters: None

ADJOURNED: 10:30 A.M.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004622

AGENDA ITEM NO: 8

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: July 16, 2008

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
July 16, 2008
DRB Comments**


ITEM # 8

PROJECT # 1004622

APPLICATION # 08-70310

RE: Lots 15-17, Block 21, N. Albuquerque Acres Tr. A, Unit A

Refer to comments from affected divisions regarding proposed extension.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004622

AGENDA ITEM NO: 12

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 30, 2008





#73A

DRB CASE ACTION LOG (SITE PLAN FOR BUILDING PERMIT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70197 (SBP)

Project # 1004622

Project Name: NM EDUCATORS FEDERAL CREDIT UNION

Agent: GEORGE RAINHART ARCHITECTS

Phone No: _____

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/27/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- ABCWUA: _____
- _____
- _____
- _____

- CITY ENGINEER / AMAFCA: SIA
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): re. plat
- 3 Copies
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. (Include all pages.)**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number

1004622



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 29, 2007

MEMBERS:

Sheran Matson, AICP, DRB Chair
Sandra Handley, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: 11:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1004172**
07DRB-70171 VACATION OF PUBLIC EASEMENT
07DRB-70172 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for DOROTHY GERALDINE SNOW request(s) the above action(s) for all or a portion of Lot(s) 6-12 & 13-19 & 50-feet of Lot 5, Block(s) C, **DURAN & ALEXANDER ADDITION**, zoned SU-2/C-2, located on GRANITE AVE NW BETWEEN 3RD ST NW AND 4TH ST NW containing approximately 1.223 acre(s). (J-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE, RADIUS DEDICATION, AGIS DXF FILE AND COPY OF THE RECORDED PLAT.**

2. **Project# 1006726**
07DRB-70173 MAJOR – AMENDED SDP
FOR BUILDING PERMIT
- BRAD KILLMAN AND/OR MAX KILLMAN agent(s) for ALLSTAR MOVING & STORAGE INC A NEW MEXICO CORP request(s) the above action(s) for all or a portion of Lot(s) 31, Tract(s) D-1, **RICHFIELD PARK**, zoned IP, located on WASHINGTON ST NE BETWEEN ALAMEDA NE AND PASEO DEL NORTE NE containing approximately 0.89 acre(s). (C-17) **DEFERRED AT THE AGENT’S REQUEST TO 10/24/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1006771**
07DRB-70210 MINOR - SDP FOR
BUILDING PERMIT
- TATE FISHBURN ARCHITECT agent(s) for BRUNACINI DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 17B, **MERIDIAN BUSINESS PARK**, zoned IP, located on UNSER BLVD NW BETWEEN I-40 NW AND CENTRAL AVE NW containing approximately 2 acre(s). (K-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CITY STANDARD DRAWING NUMBERS FOR WORK WITHIN THE RIGHT-OF-WAY, 6-FOOT SIDEWALK AND TO PLANNING FOR LANDSCAPE CALCULATIONS AND 3 COPIES OF THE PLAN.**

- 3.A **Project# 1004622**
07DRB-70197 EPC APPROVED SDP
FOR BUILD PERMIT
- GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18, PARCELS K, M & N, Tract(s) A, Block(s) 21, **NORTH ALBUQUERQUE ACRES, Unit(s) A**, zoned SU-2/C-1, located on PASEO DEL NORTE NE BETWEEN BARSTOW NE AND WYOMING BLVD NE containing approximately 1.45 acre(s). *[Deferred from 08/22/07]* **[Anna DiMambro, EPC Planner]** (D-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/29/07, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND PLANNING FOR REPLAT AND 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

4. **Project# 1002243**
07DRB-70198 EXT OF SIA FOR TEMP
DEFR SDWK CONST
- MARK GOODWIN AND ASSOCIATES PA agent(s) for TS MCNANNEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 463, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned RD/9DU/AC, located on 82ND ST NW BETWEEN SAGE RD SW AND SAN YGNACIO RD SW containing approximately 5.0051 acre(s). (L-10) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

5. **Project# 1002739**
07DRB-70207 MAJOR - FINAL PLAT
APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Parcels(s) 6 & 9, **ANDERSON HEIGHTS, UNIT 9**, zoned R-D, located on 118TH ST SW BETWEEN AMOLE MESA AVE SW AND COLOBEL AVE SW containing approximately 56.3327 acre(s). (N-8) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS TO MEET DETACHED OPEN SPACE REQUIREMENT AND TO PLANNING FOR SOLAR COLLECTOR LANGUAGE, ON SHEET 4 & 5 TO CALL OUT ALL EASEMENTS "EXCLUSIVELY TO THE CITY OF ALBUQUERQUE", AGIS DXF FILE AND TO RECORD.**

6. **Project# 1004240**
07DRB-70209 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 11-P2 & 12-P2, **VILLAS LAS MANANITAS**, zoned R-1, located on MANANITAS LN NW BETWEEN MEADOW VIEW DR NW AND RIO GRANDE BLVD NW containing approximately 0.2883 acre(s). (H-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

7. **Project# 1006764**
07DRB-70205 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for RONALD KELLERMAN, SARAH STUCKEY AND ALBERT L MCHIEL request(s) the above action(s) for all or a portion of Lot(s) 1, 2-A, 2 & 18, Block(s) A, **LIVINGSTON PLACE SUBDIVISION NO. 2**, zoned R-1, located on LOS ARBOLES AVE NW BETWEEN 12TH ST NW AND 4TH ST NW containing approximately 0.9778 acre(s). (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK ON LOS ARBOLES AND TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

8. **Project # 1003973**
07DRB-70213 Major-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or any portion of Tract(s) 5 & 7, THE TRAILS UNIT 2 (to be known as **TAOS AT THE TRAILS, UNIT 2**) zoned SU2-SRSL and SU2-UR, located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE BLVD NW containing approximately 34 acre(s). (C-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PNM CONCURRENCE ON UNIVERSE CROSS SECTION AND TO PLANNING FOR NMUI SIGNATURE, THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

9. **Project # 1003800**
07DRB-70212 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

LLAVE DEVELOPMENT INC. request(s) the above action(s) for all or any portion of Lot(s) 1-4, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **LA CUEVITA OESTE**) zoned R-D residential and related uses zone, developing area located on EAGLE ROCK NE between BARSTOW NE and VENTURA NE containing approximately 4 acre(s). [REF: 05DRB01906, 05DRB01907, 05DRB01908] (C-20) **THE PRELIMINARY PLAT APPROVAL OF MAY 3, 2006 WAS RE-AFFIRMED PURSUANT TO CITY COUNCIL ACTION OF AUGUST 20, 2007 AND SECOND JUDICIAL DISTRICT COURT REMAND AND REVERSAL ORDER CV-200608192. ACTION ON THE FINAL PLAT WAS DEFERRED TO SEPTEMBER 5, 2007.**

- 9.A **Project# 1006715**
07DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACK'S HIGH COUNTRY INC. agent(s) for ALVIN & NANCY ANDERSEN request(s) the above action(s) for all or a portion of Lot(s) 11, **RINCON DEL RIO ADDITION**, zoned RA-2, located on RINCON DEL RIO CT NW BETWEEN TRELIS DR NW AND GLENWOOD NW containing approximately 0.4719 acre(s). [Deferred from 08/08/07, 08/15/07, 08/22/07 & 08/22/07] (G-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LOT LINE CLARIFICATION ON THE PLAT, THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

10. **Project# 1006768**
07DRB-70208 SKETCH PLAT REVIEW
AND COMMENT
DOUG SMITH SURVEYING agent(s) for MICHAEL H. MUGEL request(s) the above action(s) for all or a portion of Tract(s) 29A-1, **HEIGHTS RESERVOIR ADDITION**, zoned C-2, located on LOMAS BLVD NE BETWEEN SAN MATEO NE AND MANZANO ST NE containing approximately 3.9814 acre(s). (K-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

11. **Project# 1006749**
07DRB-70199 SKETCH PLAT REVIEW
AND COMMENT
BRUNO MOROSIN request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 13, **FOUR HILLS VILLAGE ADDITION 14TH INSTALLMENT**, zoned R-1, located on HIDEAWAY LANE SE AND STAGECOACH SE containing approximately 1.706 acre(s). (M-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project# 1006751**
07DRB-70200 SKETCH PLAT REVIEW
AND COMMENT
PETER ARMIJO agent(s) for MRS IRMA V LOPEZ request(s) the above action(s) for all or a portion of Tract(s) 4, Map 40, zoned SU-2/R-1, located on PACIFIC AVE SW BETWEEN 4TH ST SW AND BARELAS RD SW containing approximately 0.2145 acre(s). (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project# 1006760**
07DRB-70204 SKETCH PLAT REVIEW
AND COMMENT
YOLANDA MONTOYA agent(s) for MICHAEL RAIOLA request(s) the above action(s) for all or a portion of Lot(s) 28, Tract(s) 1, Block(s) 27, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on OAKLAND AVE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 0.89 acre(s). (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project# 1006765**
07DRB-70206 SKETCH PLAT REVIEW
AND COMMENT
HAROLD SUNDERMAN request(s) the above action(s) for all or a portion of Lot(s) 2, **LANDS OF SAM BLAIR SUBDIVISION**, zoned R-1, located on GUADALUPE TRAIL NW BETWEEN JUANITA LANE NW AND MONTANO RD NW containing approximately 1 acre(s). (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

ADJOURNED: 11:00 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004622

AGENDA ITEM NO: 3A

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved SIA with Financial Guarantee(s) is required prior to site plan approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION: *signed I.L.*

APPROVED X; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

505-924-3986

DATE: AUGUST 29, 2007

(D-19/D027)

2. **Project# 1004355**
07DRB-70146 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON AND COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or a portion of **VISTA VIEJA, UNIT 2**, zoned R-D, located on VISTA TERRAZA DR NW BETWEEN BOUVARDIA RD NW AND MOCK HEATHER RD NW. (D-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

3. **Project# 1004607**
07DRB-70147 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON AND COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or a portion of Block(s) 12 & 14, 20, **VISTA VIEJA, UNITS 3 & 4**, zoned R-D, located on VISTA TERRAZA DR NW BETWEEN BOUVARDIA RD NW AND MOCK HEATHER RD NW (D-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

4. **Project# 1002739**
07DRB-70148 VACATION OF PUBLIC
EASEMENT
07DRB-70149 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70150 MINOR - SDP FOR
SUBDIVISION
07DRB-70151 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
07DRB-70152 SIDEWALK WAIVER
07DRB-70153 MINOR - TEMP DEFR
SWDK CONST

MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC. request(s) the above action(s) for all or a portion of Parcel(s) 4 & 6, **ANDERSON HEIGHTS, UNIT 4 & 6**, zoned R-D, located on 118th ST NW BETWEEN COLONEL AVE NW AND AMOLE MESA NW containing approximately 56.8675 acre(s). *[Deferred from 08/15/07]* (N-8) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH AN APPROVED GRADING PLAN ENGINEER STAMP DATED 07/20/07, THE PRELIMINARY PLAT WAS APPROVED. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE AND FOR 3 COPIES OF THE PLAN. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT D IN THE PLANNING FILE. THE SIDEWALK WAIVER AND THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WERE APPROVED AS SHOWN OF EXHIBIT C.**

5. **Project# 1006516**
07DRB-70030 BULK LAND VARIANCE
07DRB-70031 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70034 VACATION OF PUBLIC
EASEMENT
07DRB-70032 MINOR - TEMP DEFR
SWDK CONST
07DRB-70033 SIDEWALK WAIVER
07DRB-70085 MINOR-PRELIM&FINAL
PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). [Deferred from 06/27/07, 07/25/07, 07/22/07 & 08/22/07] (R-15, R-16, S-15 & S-16) **DEFERRED AT THE AGENT'S REQUEST TO 09/26/07.**

6. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat
Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07 & 08/22/07] (C-9) **Deferred at the agent's request to 09/05/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

7. **Project# 1004622**
07DRB-70197 EPC APPROVED SDP
FOR BUILD PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18, PARCELS K, M & N, Tract(s) A, Block(s) 21, **NORTH ALBUQUERQUE ACRES, Unit(s) A**, zoned SU-2/C-1, located on PASEO DEL NORTE NE BETWEEN BARSTOW NE AND WYOMING BLVD NE containing approximately 1.45 acre(s). [Deferred from 08/22/07] [Anna DiMambro, EPC Planner] (D-19) **DEFERRED AT THE AGENT'S REQUEST TO 08/29/07.**

8. **Project# 1005484**
07DRB-70196 EPC APPROVED SDP
FOR BUILD PERMIT

MULLEN HELLER ARCHITECTURE agent(s) for CAT STEVENS LLC request(s) the above action(s) for all or a portion of Tract(s) H-6A6A2A1, **RIVERVIEW PARCELS**, zoned SU-1 FOR IP USES, located on GOLF COURSE RD NW BETWEEN PASEO DEL NORTE NW AND SHELLY ROSE NW containing approximately 0.9607 acre(s). [Carol Toffaleti, EPC Planner] (C-12) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENT AND TO PLANNING FOR 3 COPIES.**

9. **Project# 1005389**
07DRB-70189 MINOR - SDP FOR
BUILDING PERMIT

SADLER CONSTRUCTION agent(s) for ALTUSA LLC request(s) the above action(s) for all or a portion of Tract(s) 7, **LAS LOMITAS BUSINESS PARK**, zoned SU-1/IP, located on EL PUEBLO NE BETWEEN EDITH NE AND JEFFERSON NE containing approximately 1.7015 acre(s). (D-16) **WITHDRAWN AT THE AGENT'S REQUEST.**

10. **Project# 1005282**
07DRB-70170 EPC APPROVED SDP
FOR BUILD PERMIT

ANISSA CONSTRUCTION INC agent(s) for MIKE HOSNI of M & F AUTO PARKING GARAGE request(s) the above action(s) for all or a portion of Lot(s) A-26-B1, CASY SUBDIVISION, zoned SU-1 FOR C-2 USES, located on COORS BETWEEN QUAIL NW AND PHEASANT NW containing approximately 2.4334 acre(s). [**Catalina Lehner, EPC Case Planner**] [*Deferred from 08/15/07*] (G-11) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CATALINA LEHNER'S INITIALS AND 3 COPIES OF THE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1005415**
07DRB-70188 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for LAWRENCE SEGURA request(s) the above action(s) for all or a portion of Tract(s) 43B1 ,43C1 & 43D1, TOWN OF ALBUQUERQUE GRANT (to be known as **LANDS OF JODI AND LAWRENCE SEGURA**, zoned RA-2, located on CARLOTA NW BETWEEN GABALDON RD NW AND LOS LUCEROS NW containing approximately 0.981 acre(s). (H-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

12. **Project# 1003125**
07DRB-70192 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

MOLZEN-CORBIN & ASSOCIATES agent(s) for CITY OF ALBUQUERQUE/AVIATION & ECLIPSE AVIATION INC request(s) the above action(s) for all or a portion of Tract(s) D-1 & S-1, **LANDS OF DOUBLE EAGLE II AIRPORT AEROSPACE TECHNOLOGY PARK**, zoned SU-1/ AIRPORT AND RELATED USES, located on DOUBLE EAGLE II AIRPORT NW BETWEEN PASEO DEL VOLCAN NW AND SHOOTING RANGE PARK RD NW containing approximately 251 acre(s). (F-G/6). **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT**

13. **Project# 1003613**
07DRB-70193 MAJOR - FINAL PLAT
APPROVAL

THOMPSON ENGINEERING CONSULTANTS, INC agent(s) for SUNSET VILLA, LLC request(s) the above action(s) for all or a portion of Lot(s) 11, 1-4, Tract(s) 34 (to be known as **SUNSET VILLA**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW BETWEEN ATRISCO RD SW AND SUNSET GARDENS RD SW containing approximately 14.7 acre(s). (K-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR MRGCD SIGNATURE, REVISE NOTE 11, SHOW ACCESS EASEMENT TO TRACT 11, DEDICATION ON SUNSET GARDENS TO MOVE MRGCD EASEMENT AND TO PLANNING TO RECORD THE PLAT.**

14. **Project# 1002837**
07DRB-70191 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for BARBARA JARVIS request(s) the above action(s) for all or a portion of Lot(s) 12 & 13, Block(s) 3, **BUENA VISTA HEIGHTS**, zoned SU-2/UC, located on LEAD AVE SE BETWEEN SILVER SE AND YALE SE containing approximately 0.326 acre(s). (K-15) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ISSUE ON LEAD AVENUE AND TO PLANNING FOR COPY OF THE RECORDED PLAT.**

15. **Project# 1006742**
07DRB-70194 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for JOE OLIVAS request(s) the above action(s) for all or a portion of Lot(s) 1 & 10, Block(s) 14, **EAST CENTRAL BUSINESS ADDITION**, with a portion of vacated Skyline Rd NE, zoned C-2, located on DOROTHY ST NE BETWEEN LINN AVE NE AND MARTHA ST NE containing approximately 0.5527 acre(s). (L-21) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 15-FOOT RADIUS ON LINN AND DOROTHY AND COPY OF THE RECORDED PLAT.**

16. **Project# 1006549**
07DRB-70195 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for BENCOR request(s) the above action(s) for all or a portion of Tract(s) Z, **MILLS & BOREN SUBDIVISION**, zoned C-2, located on CARLISLE BLVD NE BETWEEN MENAUL BLVD AND SOLANO NE containing approximately 1.66 acre(s). (H-17) **THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

17. **Project# 1005160**
07DRB-70178 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for MARK GONZALES request(s) the above action(s) for all or a portion of Lot(s) 2-A & 4-A, Tract(s) 246, **JESUS ROMERO ADDITION, UNIT 2**, and Tract 246, MRGCD Map 38, zoned C-1 W/CONDITIONAL USE FOR DWELLING UNITS, located on RIO GRANDE BLVD NW BETWEEN HOLLYWOOD AVE NW AND SOTO NW containing approximately 0.4309 acre(s). *[Deferred from 08/15/07]* (J-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CONDITIONAL USE REVISION, AGIS DXF FILE AND COPY OF THE RECORDED PLAT.**
18. **Project # 1004387**
07DRB-00335 Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for JUDITH C SCHAAB request(s) the above action(s) for all or any portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, together with a portion of LAS LOMAS RD NE, zoned O-1 located on LAS LOMAS RD NE between ENCINO PL NE and CEDAR CT NE containing approximately 1 acre(s). [REF: 06DRB00644, 05DRB01332] *[Deferred from 04/11/07, Indef defer 4/18/07]* (J-15) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REAL PROPERTY'S SIGNATURE AND COPY OF THE RECORDED PLAT.**
19. **Project #1003828**
07DRB-00717 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- WILLIAM T CANIGLIA, agent(s) for CANDELARIA VILLAGE COMPANY request(s) the above action(s) for all or a portion of Lot(s) 38, **CANDELARIA VILLAGE**, zoned R-1, located on 12TH ST NW and DON FRANCISCO PL NW containing approximately 0.338 acre(s). *[Defer from 06/20/07, 7/11/07 & 08/22/07]* (G-13) **Deferred at the agent's request to 10/17/07.**
20. **Project# 1003445**
07DRB-70054 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for Tract(s) B-1-A, C-1-A, D-1-A & Lot(s) 6-A-1-A, A and 10-A-2, Block(s) D, Unit 1, ALBUQUERQUE WEST, **FOUNTAIN HILLS** and Tract(s) B, RICHLAND HILLS, UNIT 1, zoned SU-1 FOR IP USES W/EXCEPTIONS & PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 39.9074 acre(s). *[Defer from 06/20/07]* [REF: 07DRB00261] (C-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SITE PLAN FOR SUBDIVISION AMENDMENT AND TO RECORD THE PLAT.**

21. **Project# 1006715**
07DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACK'S HIGH COUNTRY INC. agent(s) for ALVIN & NANCY ANDERSEN request(s) the above action(s) for all or a portion of Lot(s) 11, **RINCON DEL RIO ADDITION**, zoned RA-2, located on RINCON DEL RIO CT NW BETWEEN TRELIS DR NW AND GLENWOOD NW containing approximately 0.4719 acre(s). *[Deferred from 08/08/07,08/15/07 & 08/22/07]* (G-12) **Deferred at the agent's request to 08/29/07.**

22. **Project# 1003692**
07DRB-70035 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILSON AND COMPANY INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) A, B, AND C, LANDS OF ALBUQUERQUE PUBLIC SCHOOLS (to be known as **HEIGHTS COMMUNITY CENTER**) zoned SU-2 for O-1, located on BUENA VISTA AVE SE BETWEEN ST. CYR AVE SE AND COAL AVE SE containing approximately 7.916 acre(s)(K-15) *[Deferred from 6/13/07 & 08/22/07. Indef deferred on 06/20/07]* **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT AND TO RECORD.**

23. **Project# 1006507**
07DRB-70025 MINOR - FINAL PLAT
APPROVAL

COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19 & 20, Block(s) 30, RAYNOLDS ADDITION (to be known as **14TH & COAL SUBDIVISION, UNIT 1**) zoned SU-2/MFR, located on 14TH ST SW BETWEEN IRON SW AND LEAD SW containing approximately 0.33 acre(s). [REF: DRB 1005244] *[Indef deferred on 06/20/07]* (K-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

24. **Project# 1006509**
07DRB-70026 MINOR - FINAL PLAT
APPROVAL

COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC. request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 17, 18 AND 19, Block(s) 29, HUNING CASTLE ADDITION (to be known as **14TH & COAL SUBDIVISION, UNIT 2**) zoned SU-2 FOR MFR, located on 14TH ST SW BETWEEN IRON SW AND LEAD SW containing approximately 0.68 acre(s). [REF: 1005244] *[Indef deferred on 06/20/07]* (K-19)) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

25. **Project# 1005094**
07DRB-70190 SKETCH PLAT REVIEW
AND COMMENT
- ANTONIO BILOTTO request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, Block(s) A, **GRANDE HEIGHTS SUBDIVISION**, zoned R-1, located on WARD CT NW BETWEEN VISTA GRANDE NW AND SEQUOIA CT NW containing approximately 1.573 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
26. Approval of the Development Review Board Minutes for July 25, 2007. **THE DRB MINUTES FOR JULY 25, 2007 WERE APPROVED BY THE BOARD.**

Other Matters:

ADJOURNED: 11:15 A.M.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet

DRB- 1004622 Item No. 7 Zone Atlas D-19

DATE ON AGENDA 8-22-07

INFRASTRUCTURE REQUIRED YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- SKETCH PLAT PRELIMINARY PLAT FINAL PLAT
 SITE PLAN REVIEW AND COMMENT SITE PLAN FOR SUBDIVISION
 SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
------------	----------------

- | | |
|----|--|
| 1) | Infrastructure per the DPM is required. |
| 2) | Small car stalls need to be painted as such on the pavement. |
| 3) | Where is the replat and infrastructure list? |
| 4) | Why is the east drive misaligned with the drive on the south side? |
| 5) | What are the offsite mitigation measures? |
| 6) | Why are the entrance radii only 15+? |
| 7) | Why is there an end cap radius of 5'? |
| 8) | Where is the new queue analysis? |

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/08/2008 Issued By: PLNSDH

Permit Number: 2008 070 310

Category Code 910

Application Number: 08DRB-70310, Ext Of Sia For Temp Defr Sdwk Const

Address:

Location Description: PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE

Project Number: 1004822

Applicant

New Mexico Educators Federal Credit Union

Po Box 8530
Albuquerque NM 87198

Agent / Contact

George Rainhart Architects

William Johnson

2325 San Pedro Ne

Albuquerque NM 87110

bjohnson@gra-arch.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$50.00
TOTAL:		\$70.00

City Of Albuquerque
Treasury Division

7/8/2008 10:03AM LOC: ANHX
USE 00/ TRANSN 0004
RECEIPT# 00101019-00101019
PERMIT# 20030/0310 TRSLJS
Trans Amt \$70.00
Conflict Mgmt. Fee \$20.00
DRB Actions \$50.00
Vt \$70.00
CHANGE \$0.00

Thank You



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by. DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): George Rainhart Arch & Assoc PHONE: 338-1499 **Ext 106**
 ADDRESS: 2325 SAN PABLO N.E STE 25 FAX: 338-1498
 CITY: Abq STATE NM ZIP 87110 E-MAIL: SDUNBAR@MODULUSARCHITECTS.COM

APPLICANT: NEW MEXICO EDUCATORS FEDERAL CREDIT UNION PHONE: _____
 ADDRESS: Po Box 3530 FAX: _____
 CITY: Abq STATE NM ZIP 87198 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: (minor) SA Extension Request

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot-B's PORTIONS of 15-17 Block: 21 Unit: _____
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE APRES
 Existing Zoning: S-2/C-1 Proposed zoning: " "
 Zone Atlas page(s): D-19 UPC Code: 101906350249 510515 MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): DRB07-70197

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.4187
 LOCATION OF PROPERTY BY STREETS: On or Near: PALOMAS N.E
 Between: BARSTOW N.E and WYOMING N.E

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Stephen A Dunbar DATE 7/10/08
 (Print) STEPHEN A DUNBAR Applicant: Agent:

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input checked="" type="checkbox"/> Case history #s are listed <input checked="" type="checkbox"/> Site is within 1000ft of a landfill <input checked="" type="checkbox"/> F.H.D.P. density bonus <input checked="" type="checkbox"/> F.H.D.P. fee rebate	Application case numbers	Action	S.F.	Fees
	<u>08DRB</u> <u>70310</u>	<u>ESIA</u>	<u>V</u>	\$ <u>50.00</u>
	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
	_____	_____	_____	\$ _____
	_____	_____	_____	\$ _____
	_____	_____	_____	\$ _____
Hearing date <u>07/16/08</u>			Total	\$ <u>70.00</u>

Sandy Handley 07/08/08 Project # 1004622
 Planner signature / date

Form revised 4/07

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 - ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**


- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - ~~**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**~~
 - NA** Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

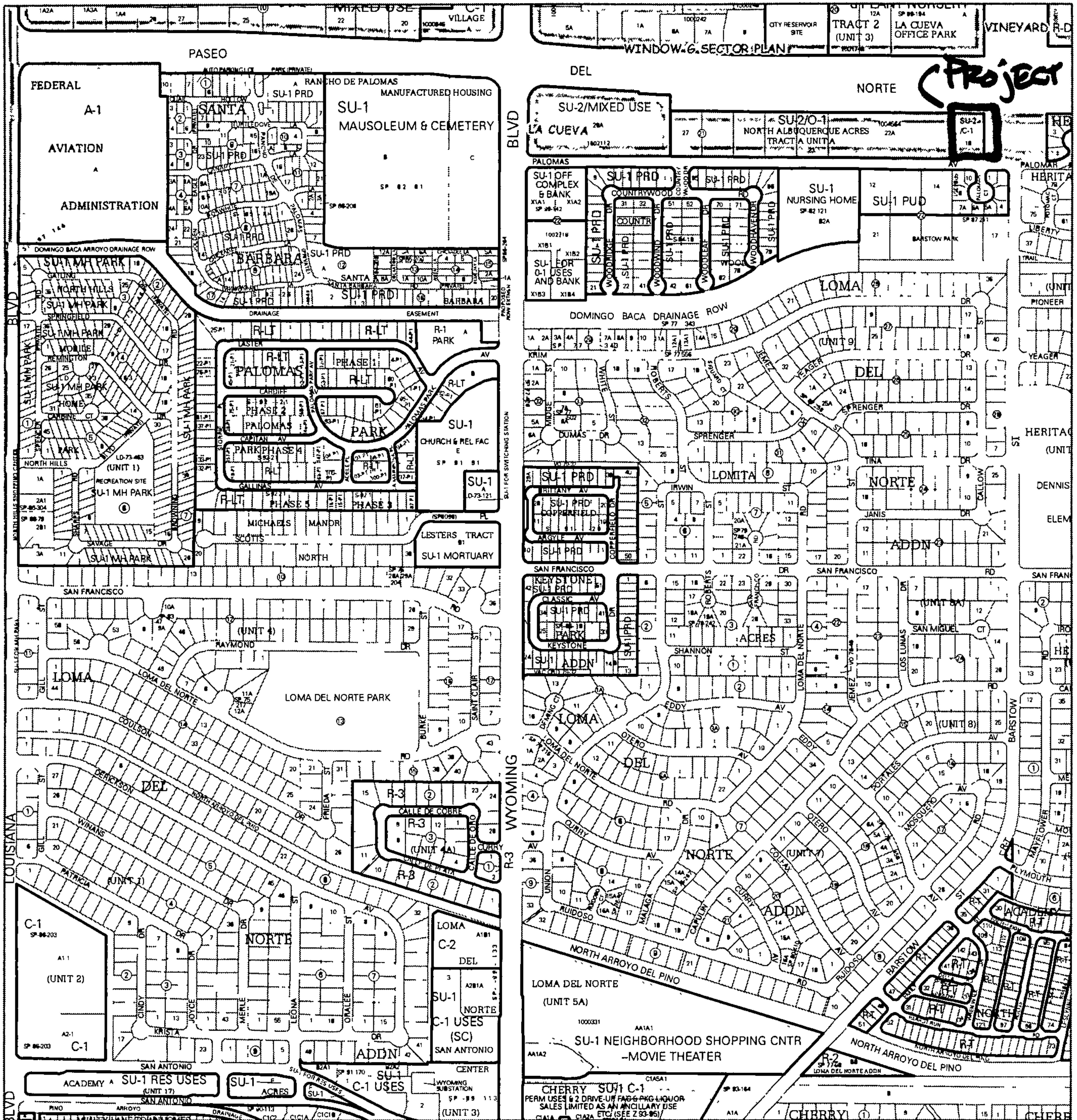
STEPHEN DUNBAR
Applicant name (print)

Stephen Dunbar 7/08/08
Applicant signature / date

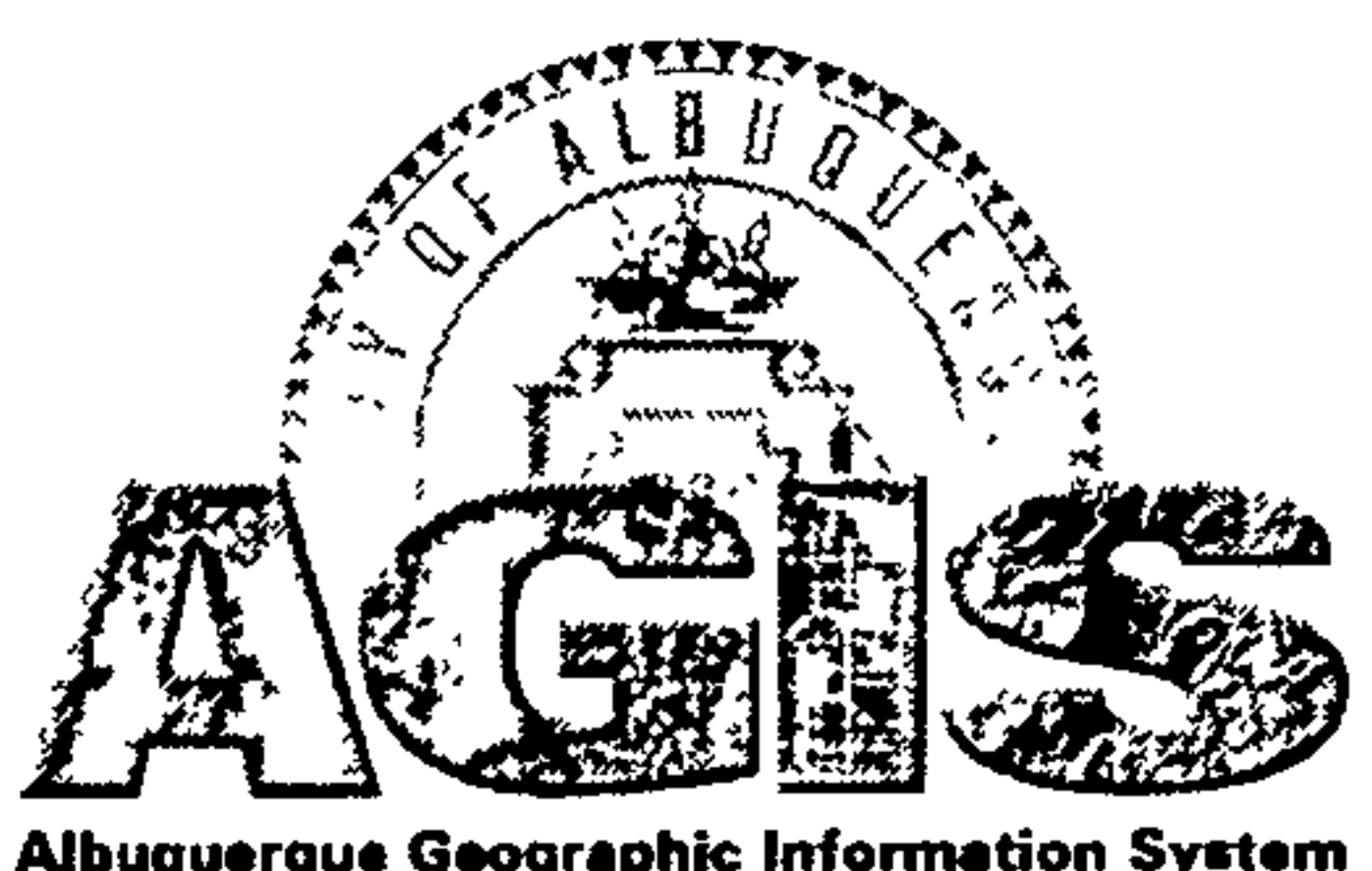
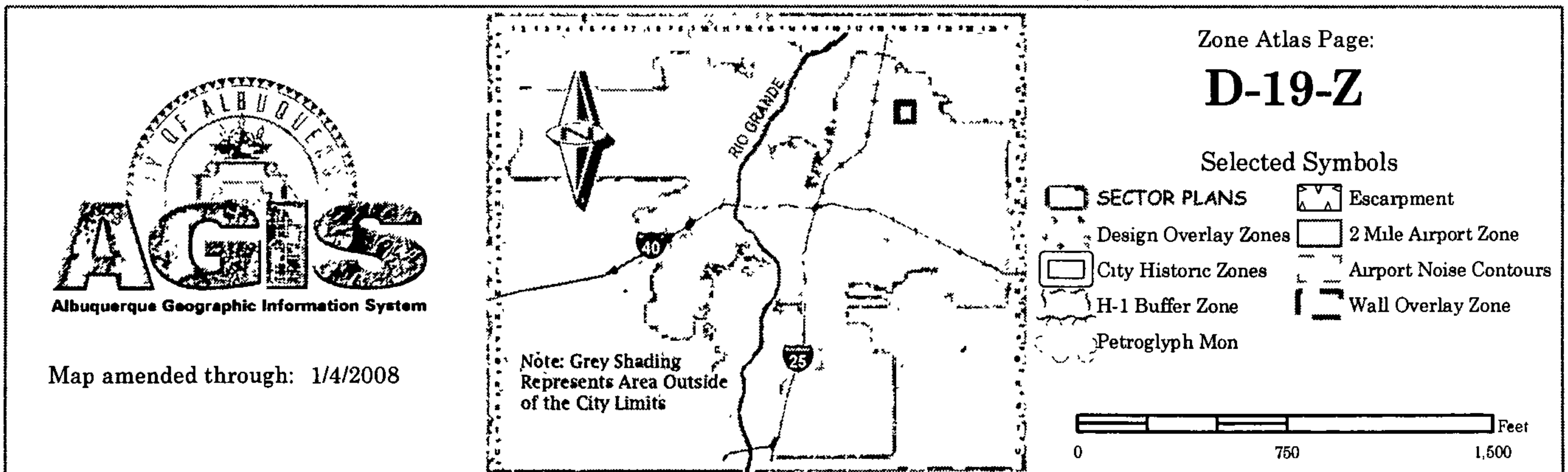


Form revised 4/07

<input checked="" type="checkbox"/> Checklists complete	Application case numbers		
<input checked="" type="checkbox"/> Fees collected	08DRB	-70310	<u>Sandy Handley 07/08/08</u> Planner signature / date
<input checked="" type="checkbox"/> Case #s assigned	_____	_____	Project # <u>1004622</u>
<input checked="" type="checkbox"/> Related #s listed	_____	_____	



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/4/2008

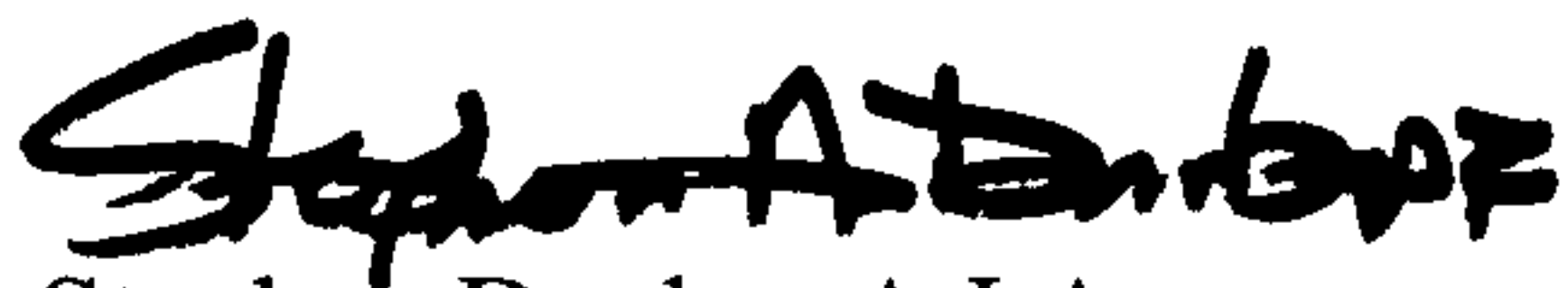
Jack Cloud
Drb Chair
City of Albuquerque
Planning department
600 2nd St. N.W
Albuquerque NM 87103

Re: SIA EXTENSION REQUEST:

Mr. Cloud

Based upon platting issues concerning portions of lots 15 and 16 as indicated within the final plat of lot 18-A, block 21 North Albuquerque Acres Tract A, unit A comprised of lot 18 and portions of lots 15-17, block 21 north Albuquerque Acres unit A tract A. City of Albuquerque New Mexico, we are requesting an extension to the SIA agreement attached as an exhibit to the submittal.

Thank you,



Stephen Dunbar A.I.A
Modulus Architects Inc.



Modulus Architects

2325 San Pedro NE, Suite 2b Albuquerque, NM 87110
p: 505-338-1499 f: 505-338-1498 Toll Free 1-866-224-2161

Att.: 884-1.09

No. of Lots: _____
Nearest Major Streets: _____

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

**AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 24th day of August, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and New Mexico Educators Federal Credit Union ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] a federally chartered credit union, whose address is 4100 Pan American Freeway NE, Building B, Albuquerque, NM 87107 and whose telephone number is 505-889-7755, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Lot 18, Block 21, Unit A, Tract A, North Albuquerque Acres, recorded on March 31, 2006 in the records of the Bernalillo County Clerk at Book A114, pages 6221 through 6221 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] New Mexico Educators Federal ("Owner")
Credit Union

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as N.M. Educators Federal Credit Union describing Subdivider's Property. Phase/Unit #1

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 31st day of July, 2008 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 788081.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

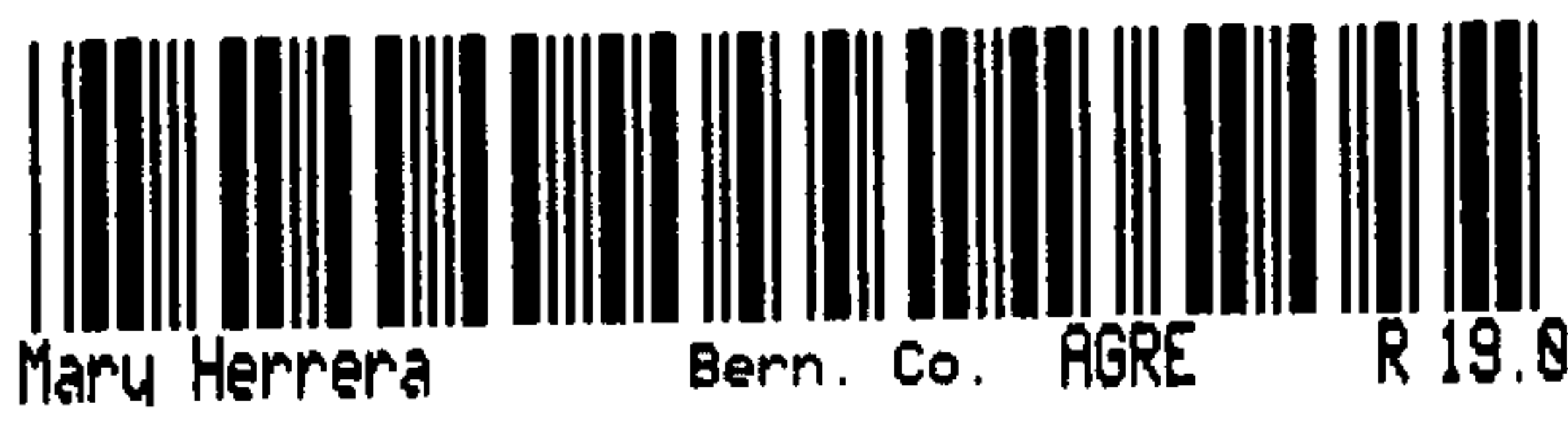
<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As per required City - approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by general contractor (TBD), and construction surveying of the private Improvements shall be performed by general contractor (TBD). If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by civil engineer (TBD), and inspection of the private Improvements shall be performed by civil engineer (TBD), both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by civil engineer (TBD), and field testing of the private Improvements shall be performed by civil engineer (TBD), both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Irrevocable letter of credit **CABQ2006-1**
Amount: \$ 54,723.13
Name of Financial Institution or Surety providing Guaranty: New Mexico Educators Federal Credit Union
Date City first able to call Guaranty: August 1, 2008
(Construction Completion Deadline): July 31, 20 08
If Guaranty other than a Bond, last day City able to call Guaranty is: September 30, 20 08
Additional Information: IRREVOCABLE LETTER OF CREDIT AND AGREEMENT No. CABQ2006-1

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange for a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



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44
44
44

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

- (1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;
- (2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.
- (3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 MMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety, which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER: New Mexico Educators
Federal Credit Union

CITY OF ALBUQUERQUE

By (Signature: Terry Laudick)
Name: Terry Laudick
Title: President/CEO
Dated: August 16, 2006

Paul Park
City Engineer

Dated: 8-24-06

KJ 82406

Ju 8-22-06

SUBDIVIDER'S NOTARY

STATE OF New Mexico)
COUNTY OF Bernalillo) ss.

This instrument was acknowledged before me on 16th day of August, 20 06 by [name of person:] Terry Laudick, [title or capacity, for instance, "President" or "Owner":] President/CEO of [Subdivider:] New Mexico Educators Federal Credit Union

[Signature]
Notary Public

My Commission Expires: 5-4-08

CITY'S NOTARY

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss.

This instrument was acknowledged before me on 24th day of August, 20 06 by Richard Tourte, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

[Signature]
Notary Public

My Commission Expires: 11-25-2007

XX



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6517088
Page: 6 of 6
08/25/2006 01:57P
Bk-A122 Pg-9178

POWER OF ATTORNEY

Note: Must be signed and notarized

ORIGINAL

INFRASTRUCTURE LIST

Current DRC
Project Number: _____

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENT AGREEMENT

DATE SUBMITTED: 4/13/2006
 DATE SITE PLAN APPROVED: 4/19/06
 DATE PRELIMINARY PLAT APPROVED: 4/19/06
 DATE PRELIMINARY PLAT EXPIRES: 4/19/06
 DRB PROJECT NO.: 100XXXXX 1004622
 DRB APPLICATION NO.: 06-00490

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

NEW MEXICO EDUCATOR FEDERAL CREDIT UNION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 18, BLOCK 21, UNIT A, NAA.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

SIA Sequence	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		20'	Permanent Pavement and Standard Curb and Gutter *	Palomas	west PL Lot 18	Barstow EAST PL LOT 18	/	/	/
							/	/	/
		6'	Sidewalk *	Palomas	West PL Lot 18	Barstow EAST PL LOT 18	/	/	/
		6'	Sidewalk *	Paseo del Norte	West PL Lot 18	Barstow EAST PL LOT 18	/	/	/
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ORIGINAL

NOTES

- 1 Engineer Certification of grading and drainage plan required prior to release of SIA and Financial Guarantee.
- 2 * If lot 17 and lot 15, lot 16 are privately held, this document will be modified to end street improvements at East Fl of lot 18.
- 3 If lot 15 is privately held no sidewalk will be required along Paseo del Norte.

DAVID A AUBE
NAME

[Signature] 4/19/06
DRC CHAIR - DATE

Christina Sandoval 4/19/06
PARKS & GENERAL SERVICES - DATE

DESIGN GROUP
FIRM

[Signature] 4-19-06
TRANSPORTATION DEVELOPMENT - DATE

AMAFCA - DATE

[Signature] 4-18-06
SIGNATURE DATE

[Signature] 4/19/06
UTILITY DEVELOPMENT - DATE

- Date

MAXIMUM TIME ALLOWED TO CONSTRUCT HE IMPROVEMENTS

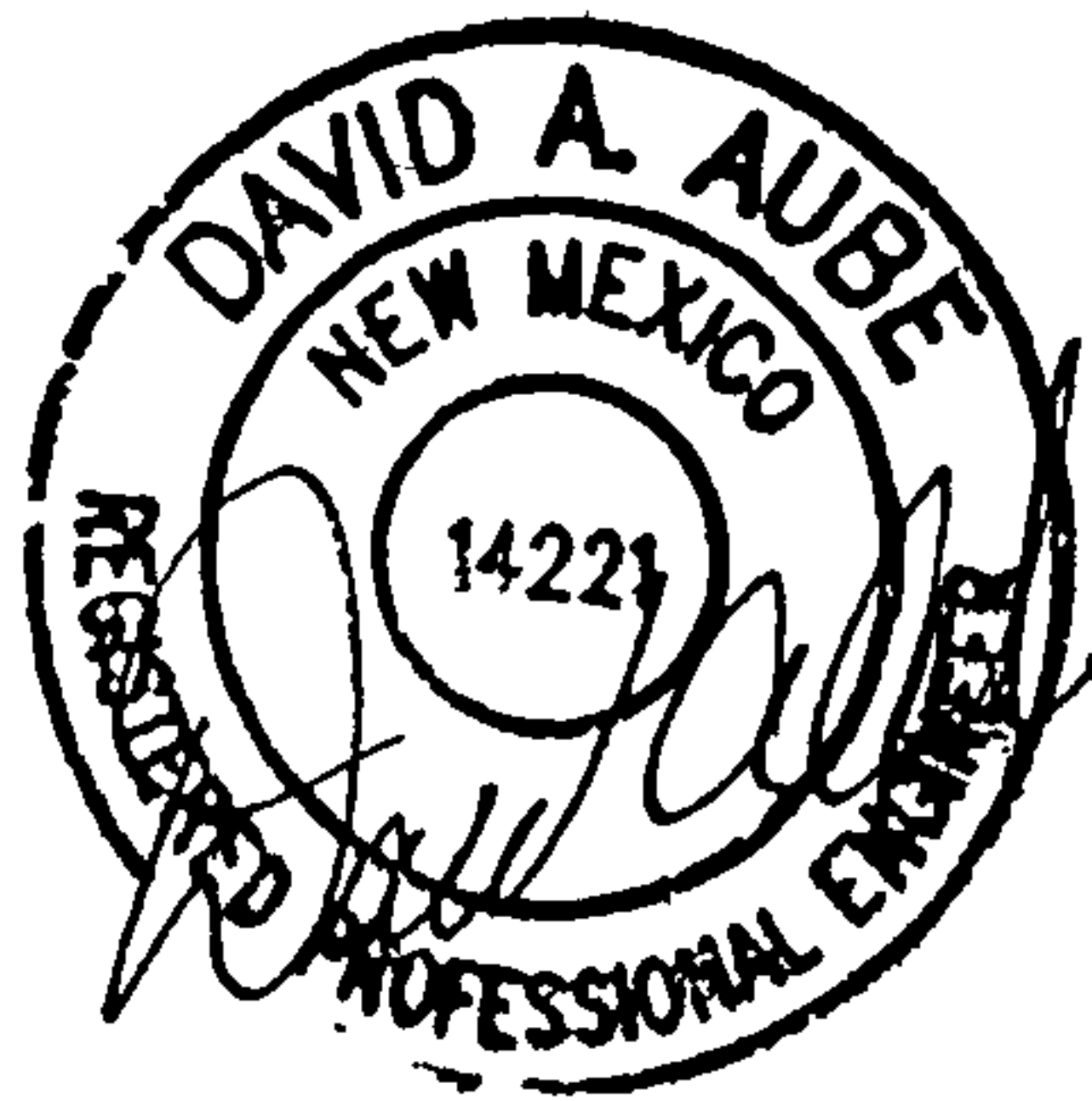
Bradley J. Bingham 4/19/06
CITY ENGINEER - DATE
INFRASTRUCTURE LIST

- Date

DATE SUBMITTED: _____
DATE SITE PLAN APPROVED: _____
DATE PRELIMINARY PLAT APPROVED: _____

Curent DRC

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
1	7-28-06	[Signature]	[Signature]	[Signature]



4-18-06

FINANCIAL GUARANTY AMOUNT

08/10/2006

Type of Estimate: SIA Procedure - B w/F.G.

Project Description:

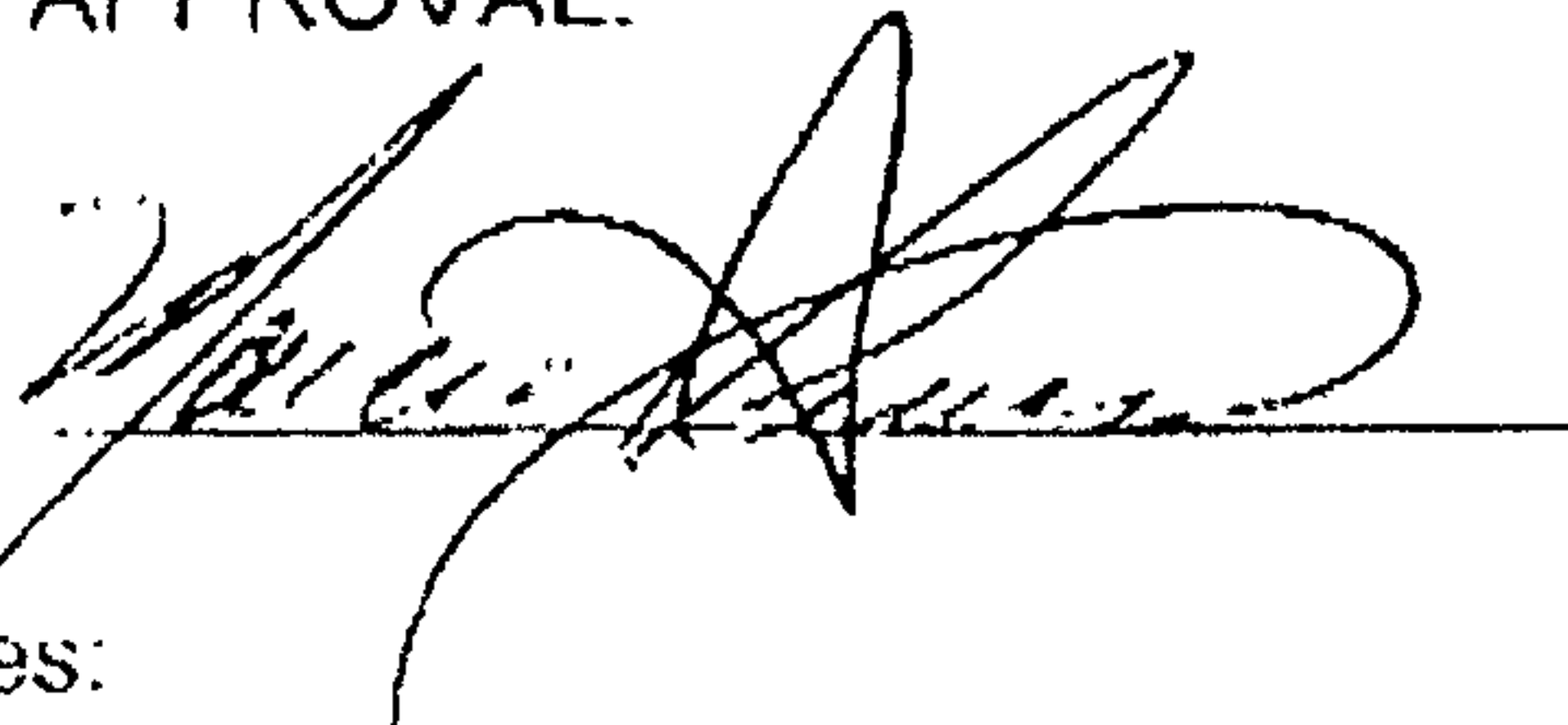
Project ID #: 788081, N. M. Educator's Cr. Union, Phase/Unit #: 1

Requested By: Anton Dattilo; George Rainhart Architect

Approved estimate amount:		\$32,205.63
Contingency Amount:	15.00%	\$4,830.84
Subtotal:		\$37,036.47
NMGRT	6.875%	\$2,546.26
Subtotal:		\$39,582.73
Engineering Fee	6.60%	\$2,612.46
Testing Fee	4.00%	\$1,583.31
Subtotal:		\$43,778.50
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$54,723.13</u>

APPROVAL:

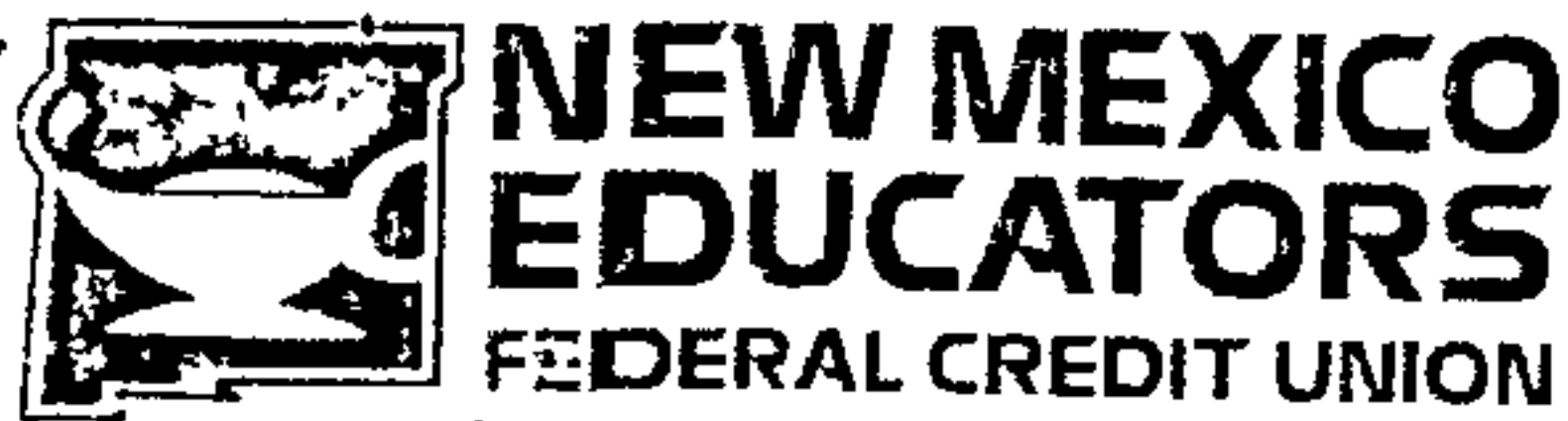
DATE:



August 10, 2006

Notes:

NATURE SAVER™ FAX MEMO 01616		Date: 8/10/2006	Page: 1
To: Anton Dattilo	From: Mary Ann Pines	Co: LPA	Phone: #
Fax # 37-9877			



**NEW MEXICO
EDUCATORS
FEDERAL CREDIT UNION**

The power of WE.

Box 8530
Albuquerque, NM 87198
505-889-7755
800-347-2838
www.nmefcu.org

August 16, 2006

IRREVOCABLE LETTER OF CREDIT AND AGREEMENT No. CABQ2006-1
AMOUNT: \$54,723.13

Bruce J. Perlman, Ph.D.
Chief Administrative Officer
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

RE: Letter of Credit for New Mexico Educators Federal Credit Union
City of Albuquerque Project No.: 788081
Project Name: N.M. Educators Federal Credit Union Phase/Unit #1

Dear Mr. Perlman:

This letter is to advise the City of Albuquerque ("City") that, at the request of New Mexico Educators Federal Credit Union, [name of "Subdivider":] New Mexico Educators Federal Credit Union ("Financial Institution") in [city:] Albuquerque [state:] New Mexico, has established an Irrevocable Letter of Credit in the sum of [written amount:] FIFTY FOUR THOUSAND SEVEN HUNDRED TWENTY THREE DOLLARS AND 13 CENTS ([amount in figures:] \$54,723.13) ("Letter of Credit") for the exclusive purpose of providing the financial guarantee which the City requires, [subdivider's name as stated in agreement:] New Mexico Educators Federal Credit Union ("Subdivider") to provide for the installation of the improvements which must be constructed at [name of subdivision:] N.M. Educators Federal Credit Union Phase/Unit #1 Project No.788081("Project"). The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on [date, leave blank:] Aug. 25, 2006 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. [leave blank:] A122, at pages [leave blank:] 9178 to [leave blank:] 9178, as amended ("Agreement").

A Draft or Drafts for any amount up to, but not in excess of [written amount:] FIFTY FOUR THOUSAND SEVEN HUNDRED TWENTY THREE DOLLARS AND 13 CENTS ([amount in figures:] \$54,723.13) is/are available at sight at [name of financial institution:] New Mexico Educators Federal Credit Union [street address:] 6501 Indian School Rd. NE, [city:] Albuquerque [state:] New Mexico between [Construction Completion Deadline date established in Agreement:] July 31 2008 and [60 days thereafter:] September 30, 2008.

When presented for negotiation, the Draft(s) is/are to be accompanied by the City's notarized certification stating: "1) [name of subdivider:] New Mexico Educators Federal Credit Union has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements."

We hereby agree with the drawer of Draft(s) drawn under and in compliance with the terms of this credit that such Draft(s) will be duly honored upon presentation to the drawee if negotiated between [Construction Completion Deadline date established in the Agreement:] July 31, 2008 and [60 days thereafter:] September 30, 2008.

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit and Agreement No. CABQ2006-1" of [name of financial institution:] New Mexico Educators Federal Credit Union, [city:] Albuquerque, [state:] New Mexico, dated August 16, 2006 and the original Letter of Credit must be endorsed on the reverse side

The Power
of WE™

with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the draft which exhausts this credit.

This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until:

1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of [Subdivider's name:] New Mexico Educators Federal Credit Union failure to comply with the terms of the Agreement, and payment by Certified Check from [Financial Institution:] New Mexico Educators Federal Credit Union to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement; or
3. Expiration of the date [60 days after Construction Completion Deadline September 30, 2008]; or
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

This Letter of Credit will terminate at 5:00 o'clock p.m., New Mexico time, [date 60 days after Construction Completion Deadline September 30, 2008].

This credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision), International Chamber of Commerce Publication No. 500.

Very truly yours,
New Mexico Educators Federal Credit Union

By: 
Title: Terry Laydick, President/CEO

ACCEPTED:
CITY OF ALBUQUERQUE
By:
Chief Administrative Officer

Date

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

04/22/2008 Issued By: E08375

Permit Number: 2008 070 195 **Category Code 910**

Application Number: 08DRB-70195, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE

Project Number: 1004622

Applicant

New Mexico Educators Federal Credit Union

Po Box 8530
Albuquerque NM 87198
331-1062

Agent / Contact

Cartesian Surveys Inc
Jada Plotner
P.O. Box 44414
Albuquerque NM 87124

wplotnerjr@aol.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4963000	DRB Actions	\$215.00
TOTAL:		\$235.00

City Of Albuquerque
Treasury Division

4/22/2008 11:15AM LOC: ANM
WS# 006 TRANS# 0025
RECEIPT# 00091034-00091034
PERMIT# 2008070195 (RSJX)
Trans Amt \$235.00
Conflict Manag. Fee \$20.00
DRB Actions \$215.00
CK \$235.00
CHANGE \$0.00

Thank You



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Cartesian Surveys Inc. PHONE: 890-3050
 ADDRESS: PO Box 44414 FAX: 891-0244
 CITY: Rio Rancho STATE NM ZIP 87174 E-MAIL: wplotner jr@aol.com
 APPLICANT: New Mexico Educators Federal Credit Union PHONE: 331-10102
 ADDRESS: PO Box 8530 FAX: 855-5998
 CITY: Albuquerque STATE NM ZIP 87198 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: COMBINE PORTIONS OF 3 LOTS AND 1 LOT INTO 1, DEDICATE R/W, GRANT EASEMENTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 18 and portions of lots 15-17 Block: 21 Unit: _____
 Subdiv/Addn/TBKA: North Albuquerque Acres Tract A, Unit A
 Existing Zoning: SU-2/C-1 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): D-19 UPC Code: 101900350249510515

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
1004622 RE 1005586

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 4 No. of proposed lots: 1 Total area of site (acres): 1.0275
 LOCATION OF PROPERTY BY STREETS: On or Near: Palomas NE
 Between: Burston NE and Wyoming NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Charles Calderon DATE 4-22-08
 (Print) Charles Calderon Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>DRB - 70195</u>	<u>D&F</u>		\$ <u>215.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>April 30, 2008</u>			Total \$ <u>235.00</u>

Randy 4/22/08 Project # 1004622
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- N/A 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- N/A Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- N/A Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- N/A Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

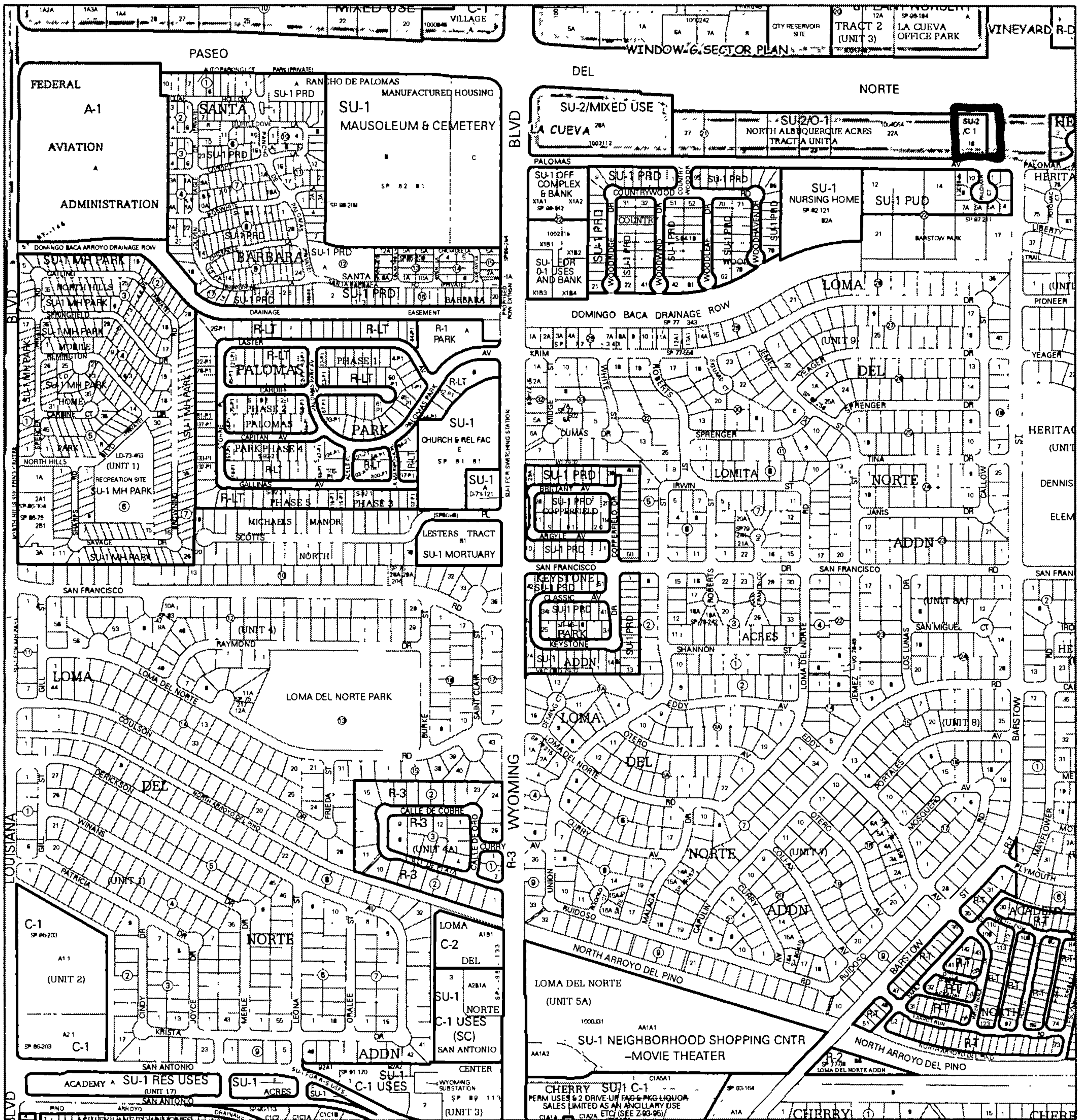
Charles Celderon
Applicant name (print)
Cher Colon 4-22-08
Applicant signature / date




Form revised October 2007

[Signature] 4/22/08
Planner signature / date
Project # 1004622

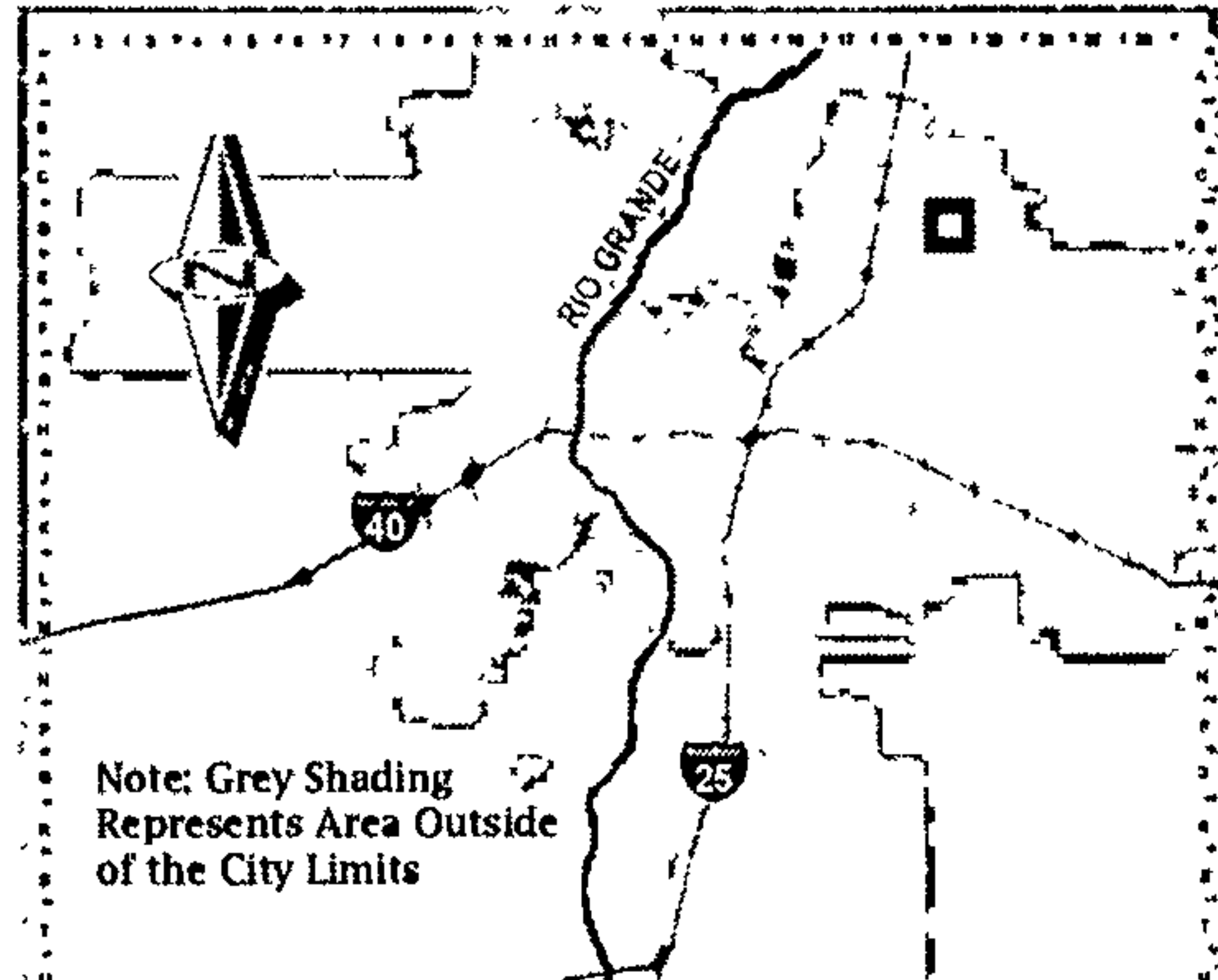
- | | |
|---|---------------------------|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers |
| <input checked="" type="checkbox"/> Fees collected | <u>DRB</u> - <u>70195</u> |
| <input checked="" type="checkbox"/> Case #s assigned | _____ |
| <input checked="" type="checkbox"/> Related #s listed | _____ |



For more current information and more details visit <http://www.cabq.gov/gis>



Map amended through: 1/4/2008



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-19-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1,500 Feet

Cartesian Surveys Inc.
PO Box 44414, Rio Rancho, NM 87174
896-3050 Fax 891-0244

April 16, 2008

Development Review Board
City of Albuquerque

Re: Lot 18 and Portions of Lots 15-17, North Albuquerque Acres, Tract A, Unit A

Members of the Board:

Cartesian Surveys is acting as an agent for the owner and requests a hearing for a subdivision platting action. Whereas the existing four lots be platted to one lot, dedicate right of way and grant new easements.

Thank you for your time and consideration.

Will Plotner Jr., NMLS 14271

ORIGINAL

INFRASTRUCTURE LIST

Curent DRC
Project Number: _____

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENT AGREEMENT

DATE SUBMITTED: 8/28/2007
 DATE SITE PLAN APPROVED: 8/29/07
 DATE PRELIMINARY PLAT APPROVED: N/A
 DATE PRELIMINARY PLAT EXPIRES: N/A
 DRB PROJECT NO.: ~~10090000~~ 1009622
 DRB APPLICATION NO.: 07DRB-70197

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

NEW MEXICO EDUCATOR FEDERAL CREDIT UNION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 18-A, BLOCK 21, UNIT A, NAA.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

SIA Sequence	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		20'	Permanent Pavement and Standard Curb and Gutter	Palomas	west PL Lot 18	Barstow	/	/	/
							/	/	/
		6'	Sidewalk	Palomas	West PL Lot 18	Barstow	/	/	/
		6'	Sidewalk	Paseo del Norte	West PL Lot 22	Barstow	/	/	/
							/	/	/
			Fire Hydrant	Palomas			/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES

1 ~~Engineer Certification of grading and drainage plan required prior to release of OIA and Financial Guarantee.~~

2

3

DAVID A AUBE
NAME

[Signature] 8/29/07
DRC CHAIR - DATE

Christina Sandoval 8/29/07
PARKS & GENERAL SERVICES - DATE

DESIGN GROUP
FIRM

[Signature] 8-29-07
TRANSPORTATION DEVELOPMENT - DATE

AMAFCA - DATE

[Signature] 8-28-07
SIGNATURE DATE

[Signature] 8/29/07
UTILITY DEVELOPMENT - DATE

- Date

MAXIMUM TIME ALLOWED TO
CONSTRUCT HE IMPROVEMENTS

[Signature] 8/29/07
CITY ENGINEER - DATE
INFRASTRUCTURE LIST

- Date

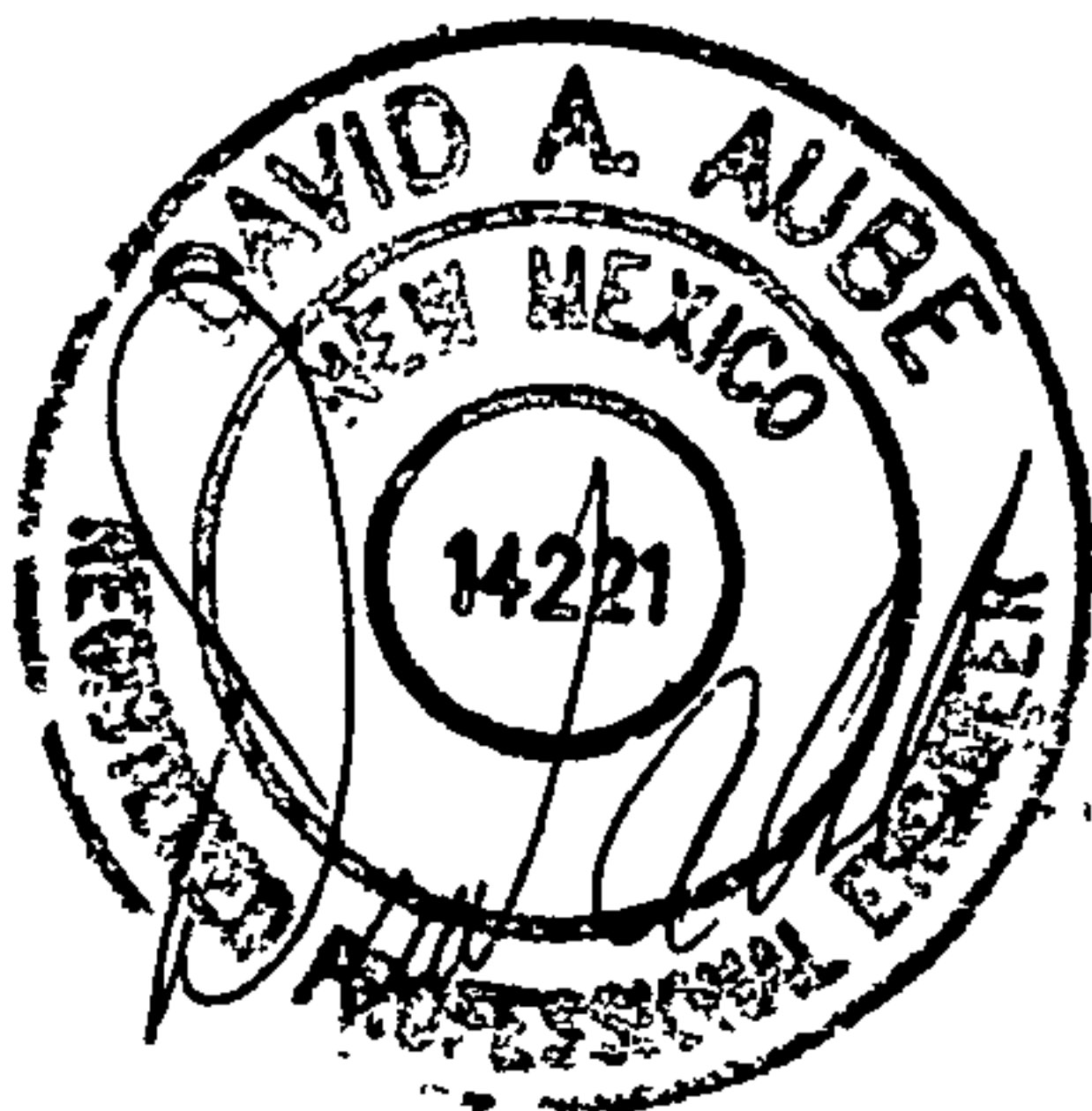
DATE SUBMITTED: _____

DATE SITE PLAN APPROVED: _____

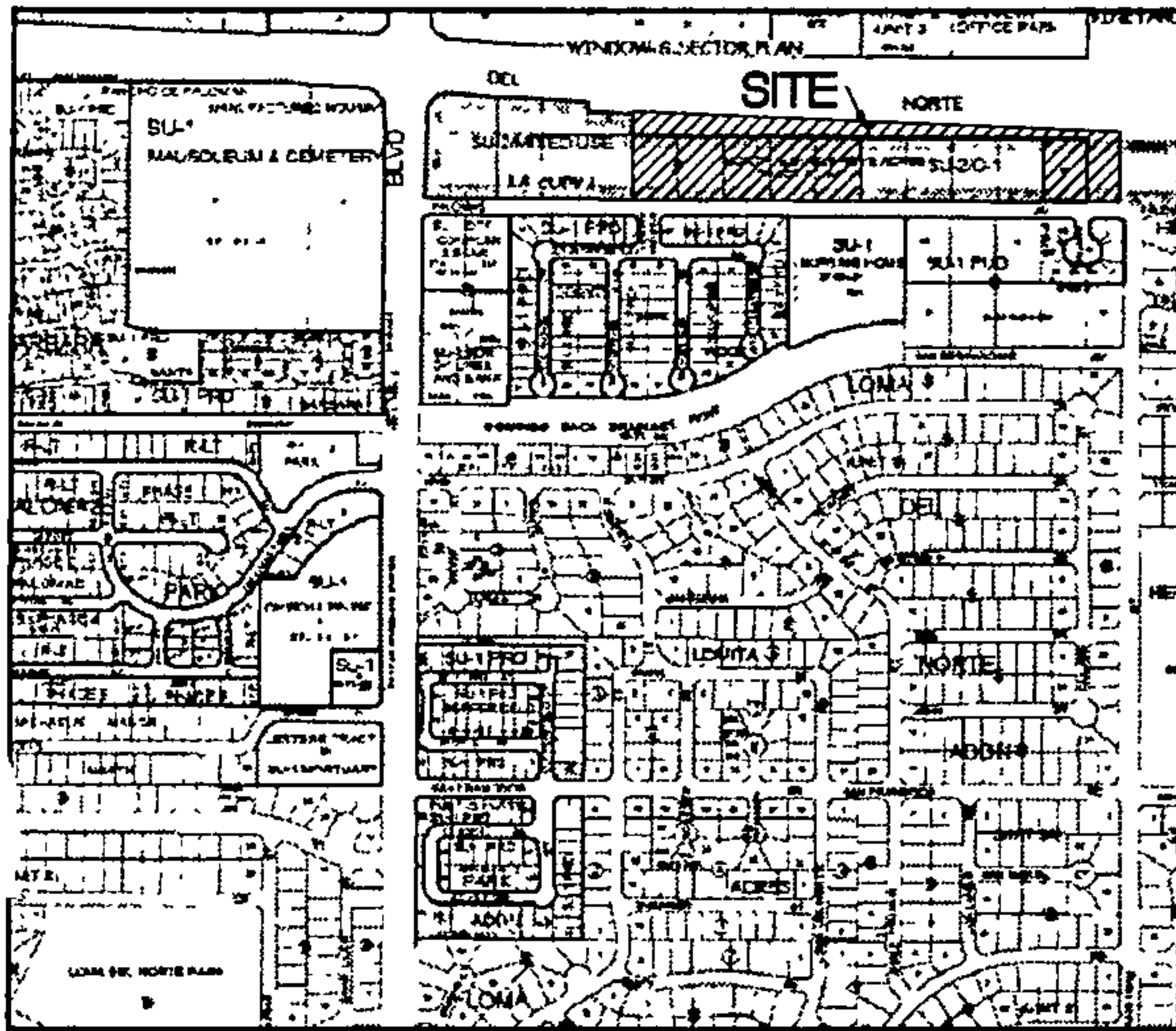
DATE PRELIMINARY PLAT APPROVED: _____

Curent DRC

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



8-28-07



Vicinity Map Zone Atlas D-19-Z n.t.s.

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY DEDICATE IN FEE SIMPLE TO THE CITY OF ALBUQUERQUE, THE NORTHERLY 30 FEET OF PALOMAS AVE., NE AS SHOWN HEREON AND GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN, AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THE FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED

PORTIONS OF LOTS 6-17
 DRAGONFLY DEVELOPMENT INC
 PHIL LINDBURG
 MANAGING MEMBER

DATE

Acknowledgment

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____
 BY PHIL LINDBURG, MANAGING MEMBER, DRAGONFLY DEVELOPMENT INC A NEW MEXICO CORPORATION
 ON BEHALF OF SAID CORPORATION

NOTARY PUBLIC MY COMMISSION EXPIRES _____

LOTS 23-27
 ESMAIL HAIDARI AND GHAMAR AZGHARZEDEN
 HUSBAND AND WIFE

DATE

DATE

Acknowledgment

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____
 BY ESMAIL HAIDARI AND GHAMAR AZGHARZEDEN, HUSBAND AND WIFE

NOTARY PUBLIC MY COMMISSION EXPIRES _____

Legal

A CERTAIN PARCEL OF LAND COMPRISING PORTIONS OF LOTS 6-17 AND ALL OF LOTS 18, AND 23-27, BLOCK NUMBERED 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THERE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1931 AND AS DESCRIBED BY METES AND BOUNDS AS FOLLOWS

BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING A POINT ON THE SOUTHERLY RIGHT OF WAY OF PASEO DEL NORTE NE, MARKED BY A BATHEY MAKER WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "HEAVEN", BEARS N 83°45'43" W, 1336.13 FEET DISTANT,

THENCE, FROM THE POINT OF BEGINNING, COINCIDING SAID SOUTHERLY RIGHT OF WAY, THE FOLLOWING 3 CORNERS, S 87°29'46" E, A DISTANCE OF 1150.34 FEET TO AN ANGLE POINT OF SAID RIGHT OF WAY, S 89°37'45" E, A DISTANCE OF 501.33 FEET TO AN ANGLE POINT IN SAID RIGHT OF WAY, S 89°38'58" E, A DISTANCE OF 70.50 FEET TO A POINT OF CURVATURE;

THENCE, 27.49 FEET ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 17.50 FEET A DELTA OF 90°01'04" AND A CHORD BEARING OF S 44°38'26" E, 24.75 FEET DISTANT TO A POINT ON THE WESTERLY RIGHT OF WAY OF BARSTOW STREET NE;

THENCE, S 00°22'06" W, A DISTANCE OF 263.04 FEET,

THENCE, N 89°37'21" W, A DISTANCE OF 252.98 FEET,

THENCE, N 00°22'15" E, A DISTANCE OF 263.94 FEET TO A POINT MARKED BY A 1/2" REBAR,

THENCE, N 88°39'07" W, A DISTANCE OF 659.77 FEET TO A POINT MARKED BY A REBAR WITH CAP "LS 6126";

THENCE, S 00°22'15" W, A DISTANCE OF 263.60 FEET

THENCE, N 89°37'21" W, A DISTANCE OF 826.14 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL,

THENCE, N 00°22'18" E, A DISTANCE OF 323.13 FEET TO THE POINT OF BEGINNING CONTAINING 7.7621 ACRES (338,118 SQ FT) MORE OR LESS

Purpose of Plat

- 1 COMBINE 18 LOTS INTO 2
- 2 DEDICATE RIGHT OF WAY AS SHOWN HEREON
- 3 GRANT EASEMENTS AS SHOWN HEREON

Subdivision Data

GROSS ACREAGE _____ 7.7621 ACRES
 ZONE ATLAS PAGE NO _____ D-19-Z
 NUMBER OF EXISTING TRACTS _____ 18
 NUMBER OF TRACTS CREATED _____ 2
 NUMBER OF TRACTS ELIMINATED _____ 0
 MILES OF FULL WIDTH STREETS _____ 0.00
 MILES OF HALF WIDTH STREETS _____ 0.00
 STREET DEDICATED TO THE CITY OF ALBUQUERQUE _____ 0
 DATE OF SURVEY _____ APRIL 2007
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER _____ 2005152558
 ZONING _____ SU-2

LOT 18
 NEW MEXICO EDUCATORS FEDERAL CREDIT UNION

DATE

Acknowledgment

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____

NOTARY PUBLIC MY COMMISSION EXPIRES _____

LOTS 23-27
 FIROZ VAGH AND JABEEN VAGH
 HUSBAND AND WIFE

DATE

DATE

Acknowledgment

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____
 BY FIROZ VAGH AND JABEEN VAGH, HUSBAND AND WIFE

NOTARY PUBLIC MY COMMISSION EXPIRES _____

Plat of
Lots 18-A and 23-A, Block 21
North Albuquerque Acres
Tract A, Unit A
 comprised of
Lots 18, 23-27 and Portions of Lots 6-17, Block 21
North Albuquerque Acres Unit A, Tract A
City of Albuquerque
Bernalillo County, New Mexico
 May 2007

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994

Project Number _____

Application Number _____

Plat approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest _____ Date _____

Cemcast _____ Date _____

City approvals:

City Surveyor _____ Date _____

Traffic Engineer _____ Date _____

Water Utilities Development _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF"

WILL PLOTNER JR. _____ DATE _____
 N.M.P.S. No 14271

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Plat of
Lots 18-A and 23-A, Block 21
North Albuquerque Acres
Tract A, Unit A
 comprised of

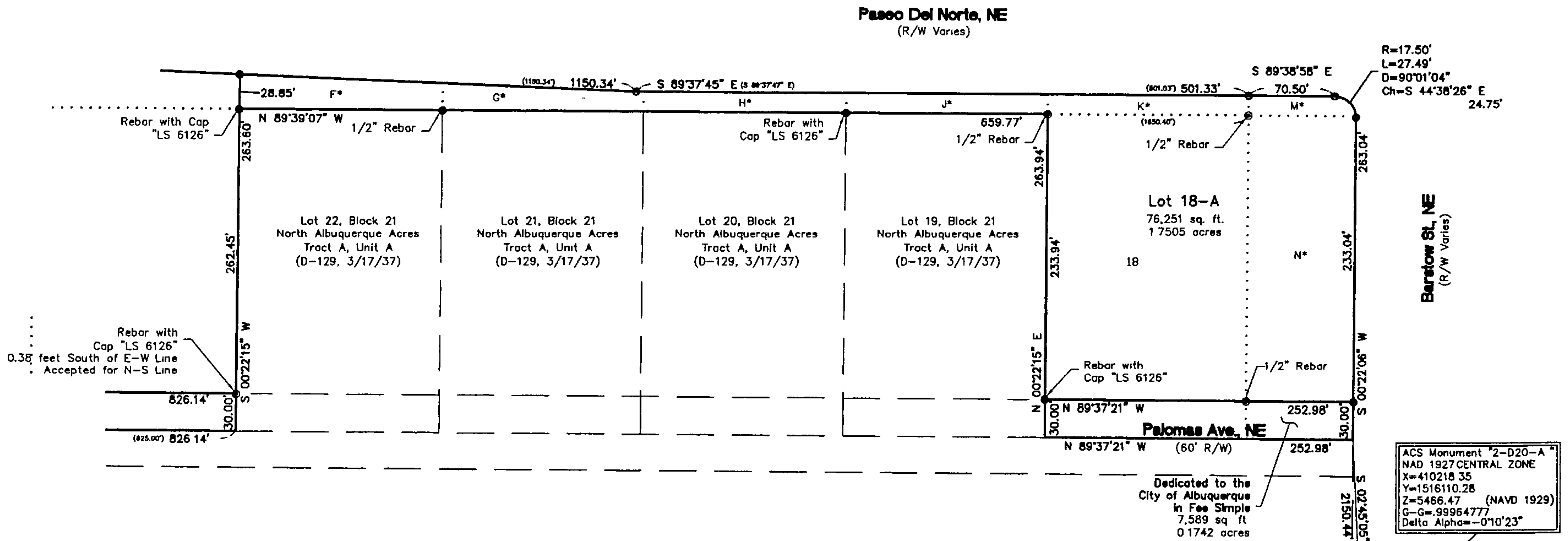
Lots 18, 23-27 and Portions of Lots 6-17, Block 21
 North Albuquerque Acres Unit A, Tract A
 City of Albuquerque
 Bernalillo County, New Mexico
 May 2007

Notes

- 1 FIELD SURVEY PERFORMED IN MAY 2006
- 2 ALL DISTANCES ARE GROUND DISTANCES U.S. SURVEY FOOT
- 3 BENCHMARK-REFERENCES ACS MONUMENT "9-B17" HAVING AN ELEVATION OF 5433.02 (NAVD 1929).
- 4 THE BASIS OF BEARINGS IS BETWEEN THE ACS MONUMENTS AS SHOWN HEREON AND REFERENCES N M S.P. GRID (NAD 1927).
- 5 THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 19, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT
- 6 LOT LINE BEING ELIMINATED BY THIS PLAT SHOWN AS THUS

Legend

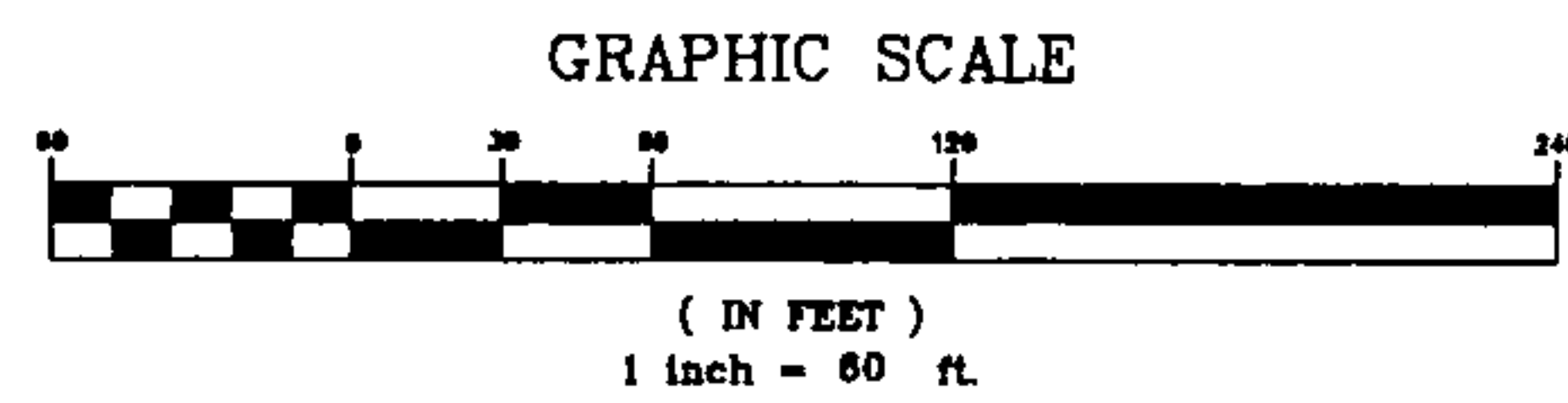
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARING AND DISTANCES
●	FOUND MONUMENT AS INDICATED
○	SET BATHY MARKER WITH CAP "LS 14271"



ACS Monument #2-D20-A
 NAD 1927 CENTRAL ZONE
 X=410218.35
 Y=1516110.28
 Z=5466.47 (NAVD 1929)
 G-C=99964777
 Delta Alpha=-0°10'23"

• LOT IDENTIFICATION

A	PORTION OF LOT 6
B	PORTION OF LOT 7
C	PORTION OF LOT 8
D	PORTION OF LOT 9
E	PORTION OF LOT 10
F	PORTION OF LOT 11
G	PORTION OF LOT 12
H	PORTION OF LOT 13
J	PORTION OF LOT 14
K	PORTION OF LOT 15
M	PORTION OF LOT 16
N	PORTION OF LOT 17



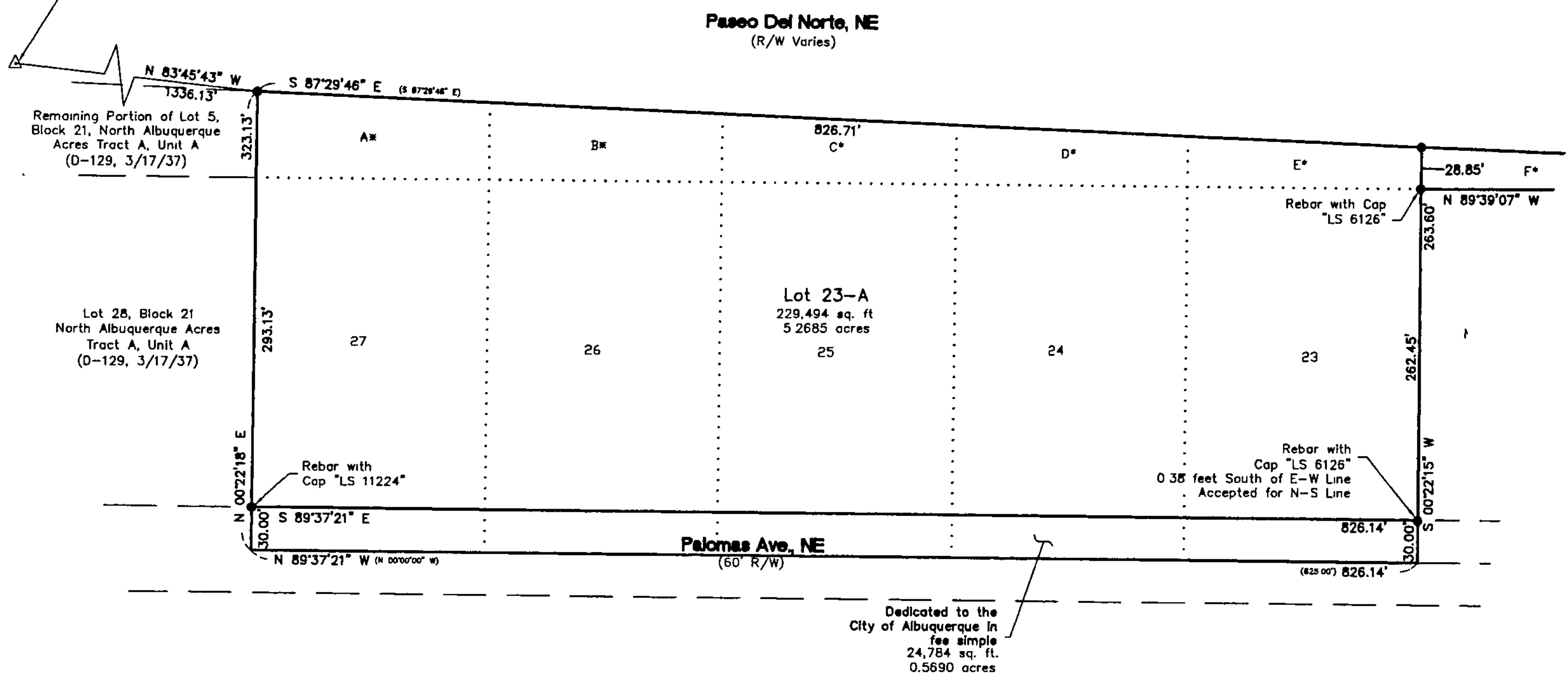
CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Plat of
Lots 18-A and 23-A, Block 21
North Albuquerque Acres
Tract A, Unit A
 comprised of
Lots 18, 23-27 and Portions of Lots 6-17, Block 21
North Albuquerque Acres Unit A, Tract A
 City of Albuquerque
 Bernalillo County, New Mexico
 May 2007

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 00°00'00" E)	RECORD BEARING AND DISTANCES
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER WITH CAP "LS 14271"

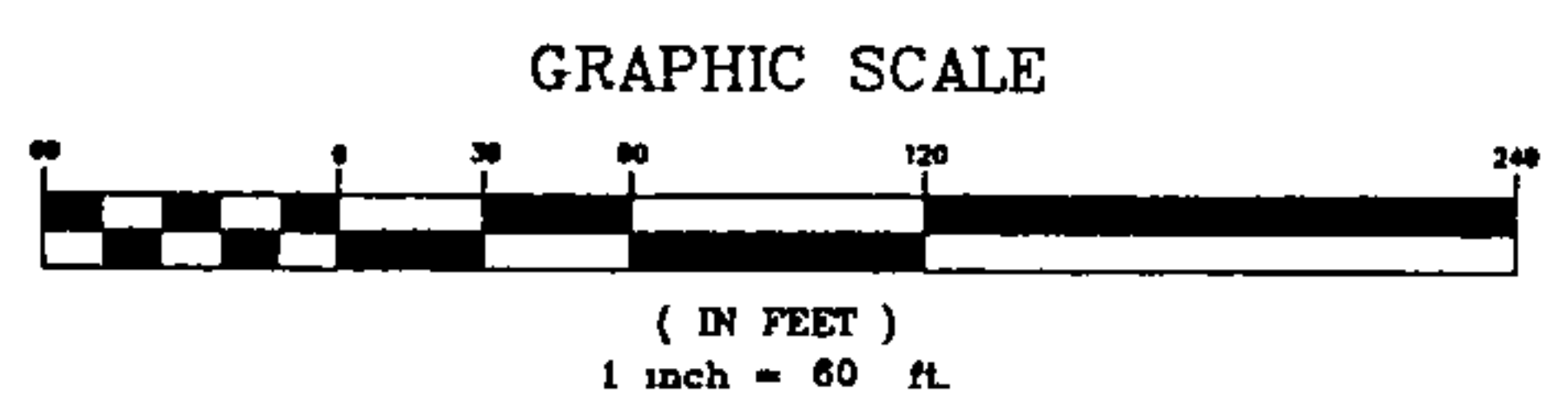
ACS Monument "HEAVEN"
 NAD 1927 CENTRAL ZONE
 X=407,051.31
 Y=1,518,737.03
 Z=5375.62 (NAVD 1929)
 G-G=0.99985263
 Delta Alpha=-00°10'45"



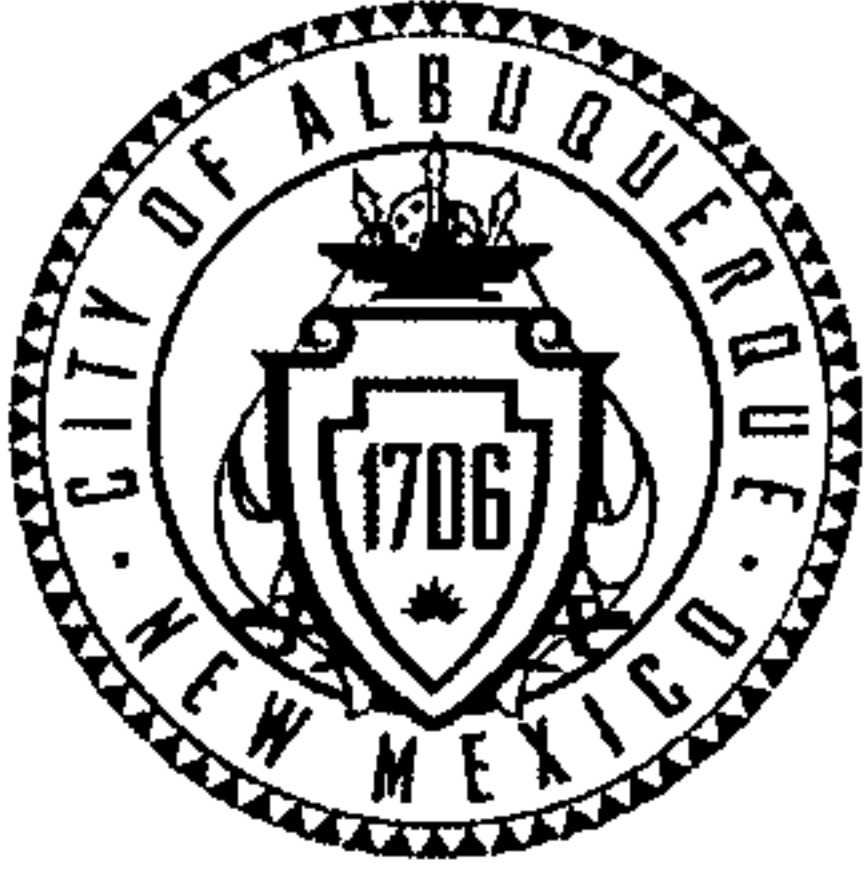
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N	PORTION OF LOT 17

- Notes**
- 1 FIELD SURVEY PERFORMED IN MAY 2006
 - 2 ALL DISTANCES ARE GROUND DISTANCES. U.S. SURVEY FOOT
 - 3 BENCHMARK-REFERENCES ACS MONUMENT "9-817" HAVING AN ELEVATION OF 5433.02 (NAVD 1929)
 - 4 THE BASIS OF BEARINGS IS BETWEEN THE ACS MONUMENTS AS SHOWN HEREON AND REFERENCES N.M.S.P. GRID (NAD 1927).
 - 5 THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 19, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT
 - 6 LOT LINE BEING ELIMINATED BY THIS PLAT SHOWN AS THIS



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 Phone (505) 896-3050 Fax (505) 891-0244



**City of Albuquerque
Planning Department
Interoffice Memo**

Date: 21 August 2007

To: Sheran Matson, DRB Chair

From: Russell Brito, Dev. Rvw. Div. Mngr.

RE: Project # 1004622

The applicant's agent met with EPC staff to review the site development plan and the EPC conditions of approval. The current DRB submittal appears to meet all EPC conditions of approval.

Please ensure that the elements of Condition #5 are met to the satisfaction of the City Engineer.

Condition #14, replat of the site into one lot, should accompany this site development plan sign-off.

ORIGINAL

INFRASTRUCTURE LIST

Curent DRC
Project Number: _____

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENT AGREEMENT

DATE SUBMITTED: 8/28/2007
 DATE SITE PLAN APPROVED: 8/29/07
 DATE PRELIMINARY PLAT APPROVED: N/A
 DATE PRELIMINARY PLAT EXPIRES: N/A
 DRB PROJECT NO.: ~~1004622~~ 1004622
 DRB APPLICATION NO.: 07DRB-70197

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

NEW MEXICO EDUCATOR FEDERAL CREDIT UNION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 18-A, BLOCK 21, UNIT A, NAA.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

SIA Sequence	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		20'	Permanent Pavement and Standard Curb and Gutter	Palomas	West PL Lot 18	Barstow	/	/	/
							/	/	/
		6'	Sidewalk	Palomas	West PL Lot 18	Barstow	/	/	/
		6'	Sidewalk	Paseo del Norte	West PL Lot 22	Barstow	/	/	/
							/	/	/
			Fire Hydrant	Palomas			/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES

- 1 Engineer Certification of grading and drainage plan required prior to release of STA and Financial Guarantee.
- 2 _____
- 3 _____

DAVID A AUBE
NAME

[Signature] 8/29/07
DRC CHAIR - DATE

Christina Sandoval 8/29/07
PARKS & GENERAL SERVICES - DATE

DESIGN GROUP
FIRM

[Signature] 8-29-07
TRANSPORTATION DEVELOPMENT - DATE

AMAFCA - DATE

[Signature] 8-28-07
SIGNATURE DATE

[Signature] 8/29/07
UTILITY DEVELOPMENT DATE

- Date

MAXIMUM TIME ALLOWED TO
CONSTRUCT HE IMPROVEMENTS

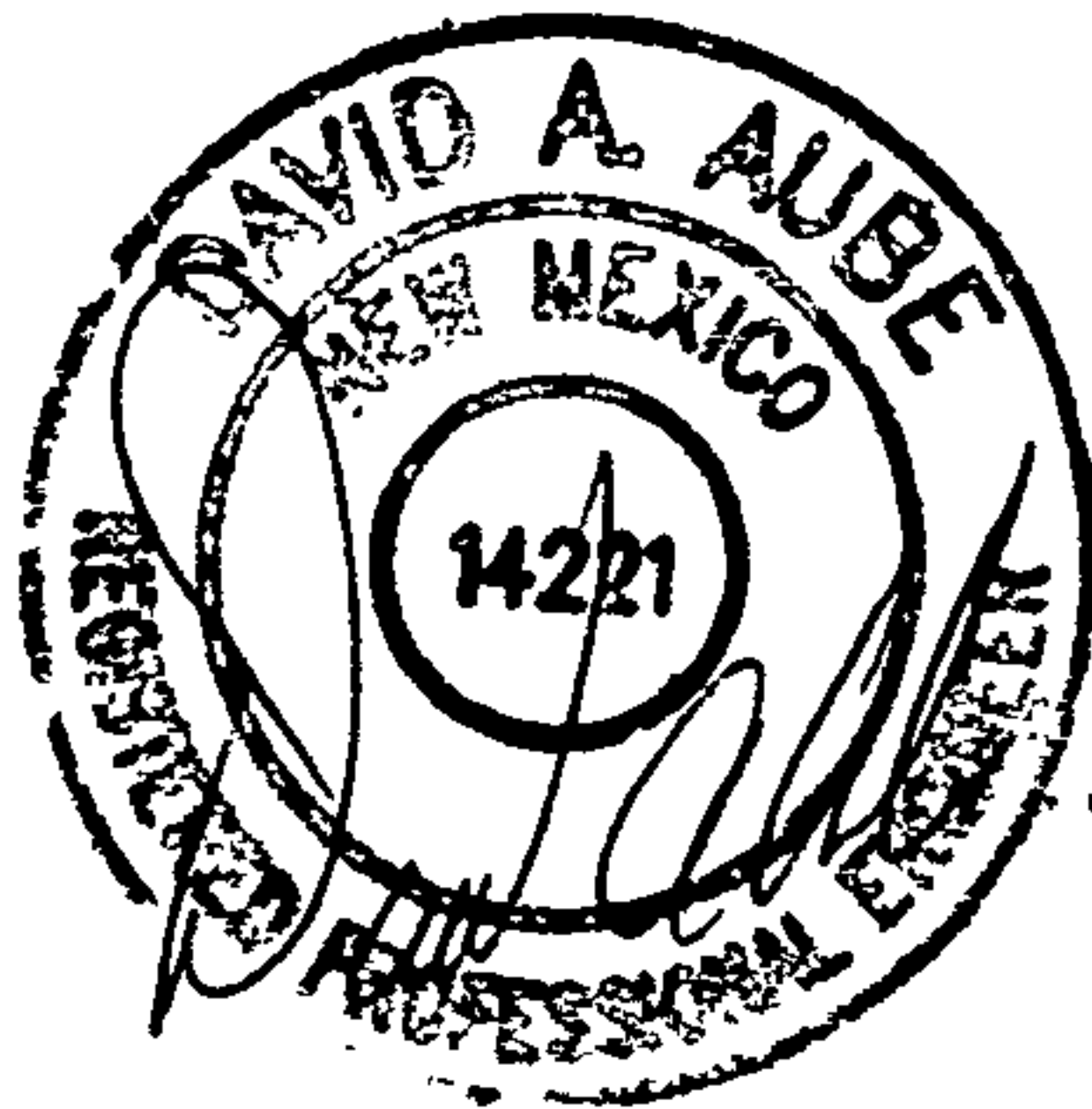
[Signature] 8/29/07
CITY ENGINEER - DATE
INFRASTRUCTURE LIST

- Date

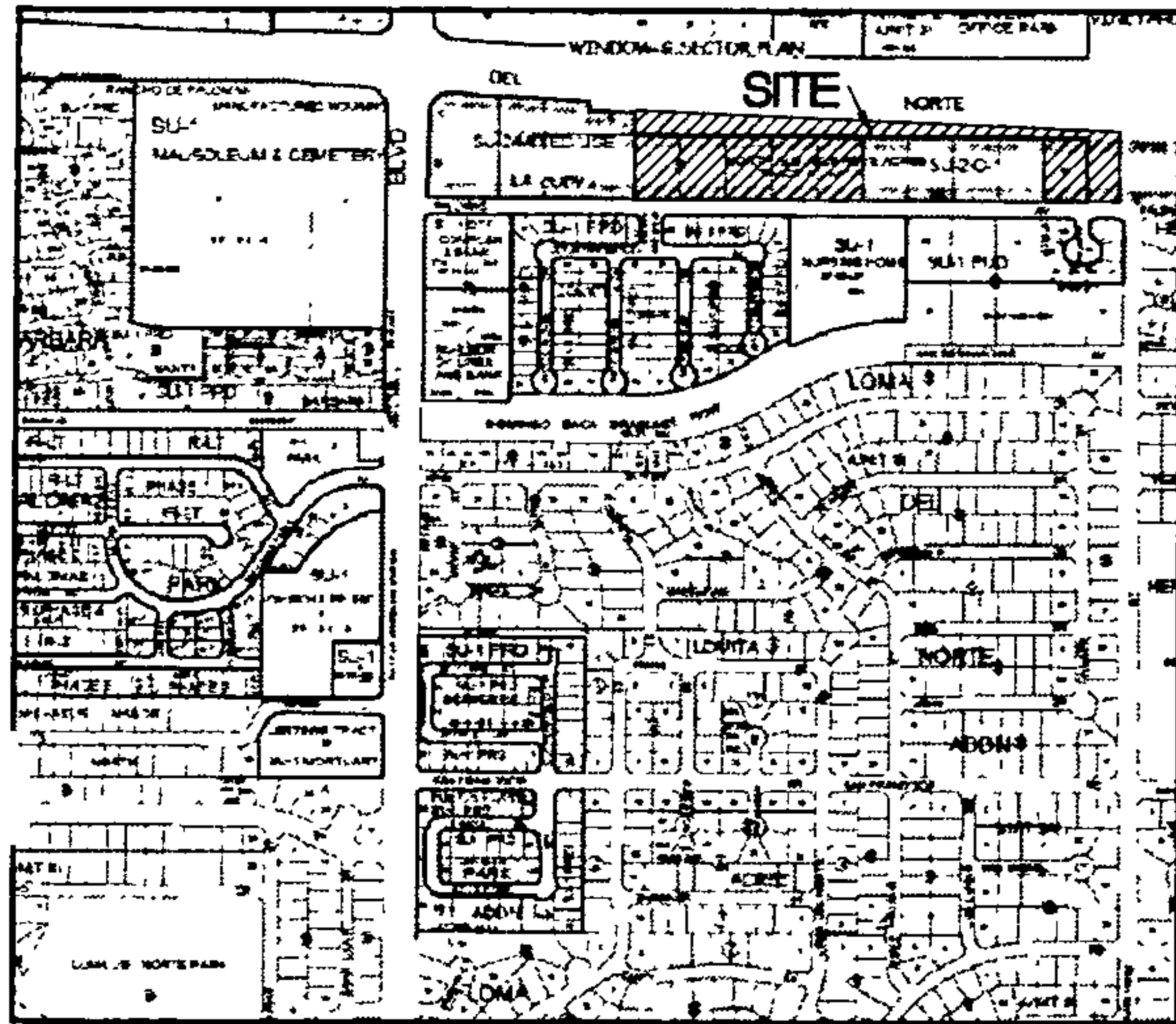
DATE SUBMITTED: _____
DATE SITE PLAN APPROVED: _____
DATE PRELIMINARY PLAT APPROVED: _____

Curent DRC

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



8-28-07



Vicinity Map Zone Atlas D-19-Z nts

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY DEDICATE IN FEE SIMPLE, TO THE CITY OF ALBUQUERQUE, THE NORTHERLY 30 FEET OF PALOMAS AVE., NE AS SHOWN HEREON AND GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN, AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THE FREE ACT AND DEED SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED

PORTIONS OF LOTS 6-17
 DRAGONFLY DEVELOPMENT INC
 PHIL LUNDBURG
 MANAGING MEMBER

DATE

Acknowledgment

STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____
 BY PHIL LUNDBURG, MANAGING MEMBER, DRAGONFLY DEVELOPMENT INC A NEW MEXICO CORPORATION
 ON BEHALF OF SAID CORPORATION

NOTARY PUBLIC MY COMMISSION EXPIRES

LOTS 23-27
 ESMAIL HAIDARI AND GHAMAR AZGHARZEDEH
 HUSBAND AND WIFE

DATE

DATE

Acknowledgment

STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____
 BY ESMAIL HAIDARI AND GHAMAR AZGHARZEDEH, HUSBAND AND WIFE

NOTARY PUBLIC MY COMMISSION EXPIRES

Legal

A CERTAIN PARCEL OF LAND COMPRISING PORTIONS OF LOTS 6-17 AND ALL OF LOTS 18, AND 23-27, BLOCK NUMBERED 21, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THERE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 17, 1931 AND AS DESCRIBED BY METES AND BOUNDS AS FOLLOWS

BEGINNING AT THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING A POINT ON THE SOUTHERLY RIGHT OF WAY OF PASEO DEL NORTE NE, MARKED BY A BATHEY MAKER WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "HEAVEN", BEARS N 83°45'43" W, 1336.13 FEET DISTANT,

THENCE, FROM THE POINT OF BEGINNING, COINCIDING SAID SOUTHERLY RIGHT OF WAY, THE FOLLOWING 3 CORNERS, S 87°29'46" E, A DISTANCE OF 1150.34 FEET TO AN ANGLE POINT OF SAID RIGHT OF WAY, S 89°37'45" E, A DISTANCE OF 501.33 FEET TO AN ANGLE POINT IN SAID RIGHT OF WAY, S 89°38'58" E, A DISTANCE OF 70.50 FEET TO A POINT OF CURVATURE,

THENCE, 27.49 FEET ALONG AN ARC TO THE RIGHT HAVING A RADIUS OF 17.50 FEET A DELTA OF 90°01'04" AND A CHORD BEARING OF S 44°38'26" E, 24.75 FEET DISTANT TO A POINT ON THE WESTERLY RIGHT OF WAY OF BARSTOW STREET NE,

THENCE, S 00°22'06" W, A DISTANCE OF 263.04 FEET,

THENCE, N 89°37'21" W, A DISTANCE OF 252.98 FEET,

THENCE, N 00°22'15" E, A DISTANCE OF 263.94 FEET TO A POINT MARKED BY A 1/2" REBAR,

THENCE, N 89°39'07" W, A DISTANCE OF 659.77 FEET TO A POINT MARKED BY A REBAR WITH CAP "LS 6126",

THENCE, S 00°22'15" W, A DISTANCE OF 263.60 FEET

THENCE, N 89°37'21" W, A DISTANCE OF 826.14 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL,

THENCE, N 00°22'18" E, A DISTANCE OF 323.13 FEET TO THE POINT OF BEGINNING CONTAINING 7.7621 ACRES (338,119 SQ. FT.) MORE OR LESS

Purpose of Plat

1. COMBINE 18 LOTS INTO 2
2. DEDICATE RIGHT OF WAY AS SHOWN HEREON
3. GRANT EASEMENTS AS SHOWN HEREON

Subdivision Data

GROSS ACREAGE _____ 7.7621 ACRES
 ZONE ATLAS PAGE NO _____ D-19-Z
 NUMBER OF EXISTING TRACTS _____ 18
 NUMBER OF TRACTS CREATED _____ 2
 NUMBER OF TRACTS ELIMINATED _____ 0
 MILES OF FULL WIDTH STREETS _____ 0.00
 MILES OF HALF WIDTH STREETS _____ 0.00
 STREET DEDICATED TO THE CITY OF ALBUQUERQUE _____ 0
 DATE OF SURVEY _____ APRIL 2007
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER _____ 2005152558
 ZONING _____ SU-2

LOT 18
 NEW MEXICO EDUCATORS FEDERAL CREDIT UNION

DATE

Acknowledgment

STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____

NOTARY PUBLIC MY COMMISSION EXPIRES

LOTS 23-27
 FIROZ VAGH AND JABEEN VAGH
 HUSBAND AND WIFE

DATE

DATE

Acknowledgment

STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____
 BY FIROZ VAGH AND JABEEN VAGH, HUSBAND AND WIFE

NOTARY PUBLIC MY COMMISSION EXPIRES

Plat of
Lots 18-A and 23-A, Block 21
North Albuquerque Acres
Tract A, Unit A

comprised of
Lots 18, 23-27 and Portions of Lots 6-17, Block 21
North Albuquerque Acres Unit A, Tract A
 City of Albuquerque
 Bernalillo County, New Mexico
 May 2007

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994

Project Number _____

Application Number _____

Plat approvals:

PNM Electric Services _____ Date

PNM Gas Services _____ Date

OWest _____ Date

Comcast _____ Date

City approvals:

City Surveyor _____ Date

Traffic Engineer _____ Date

Water Utilities Development _____ Date

Parks and Recreation Department _____ Date

AMAFCA _____ Date

City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

Surveyor's Certificate

I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

WILL PLOTNER JR. _____ DATE
 N.M.P.S. No. 14271

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Plat of
Lots 18-A and 23-A, Block 21
North Albuquerque Acres
Tract A, Unit A

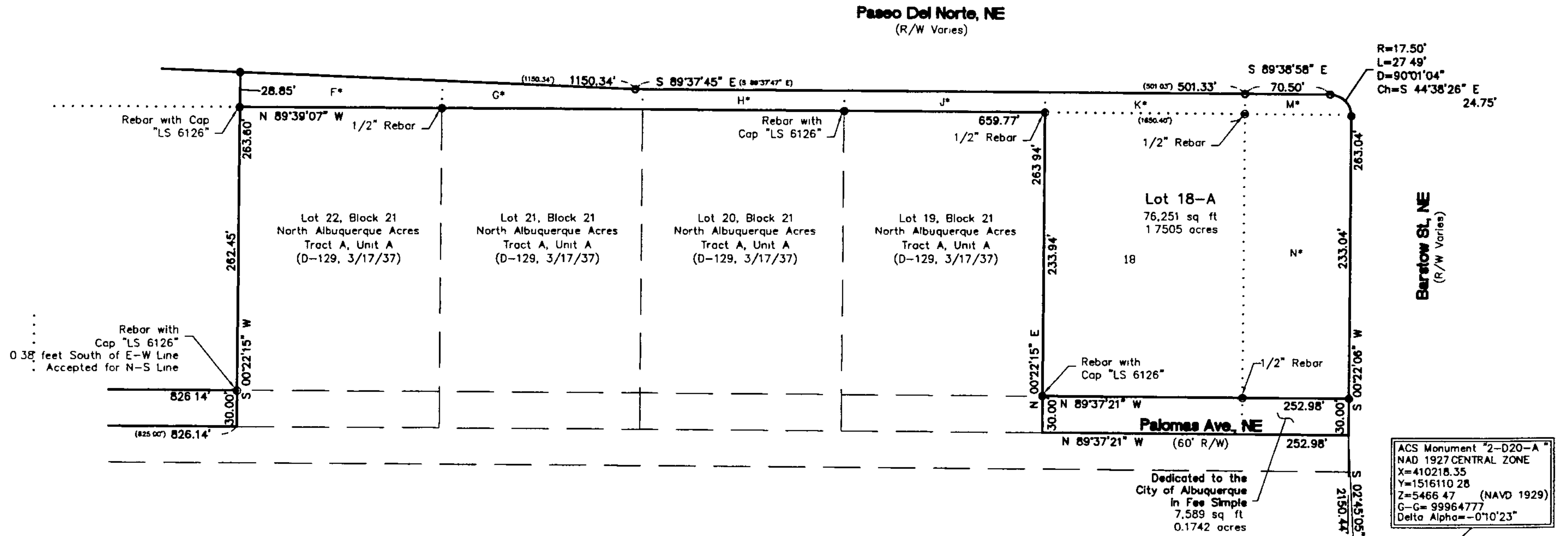
comprised of
Lots 18, 23-27 and Portions of Lots 6-17, Block 21
North Albuquerque Acres Unit A, Tract A
 City of Albuquerque
 Bernalillo County, New Mexico
 May 2007

Notes

- 1 FIELD SURVEY PERFORMED IN MAY 2006
- 2 ALL DISTANCES ARE GROUND DISTANCES U.S. SURVEY FOOT
- 3 BENCHMARK-REFERENCES ACS MONUMENT "9-B17" HAVING AN ELEVATION OF 5433.02 (NAVD 1929)
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- 5 THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 19, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT
- 6 LOT LINE BEING ELIMINATED BY THIS PLAT SHOWN AS THUS

Legend

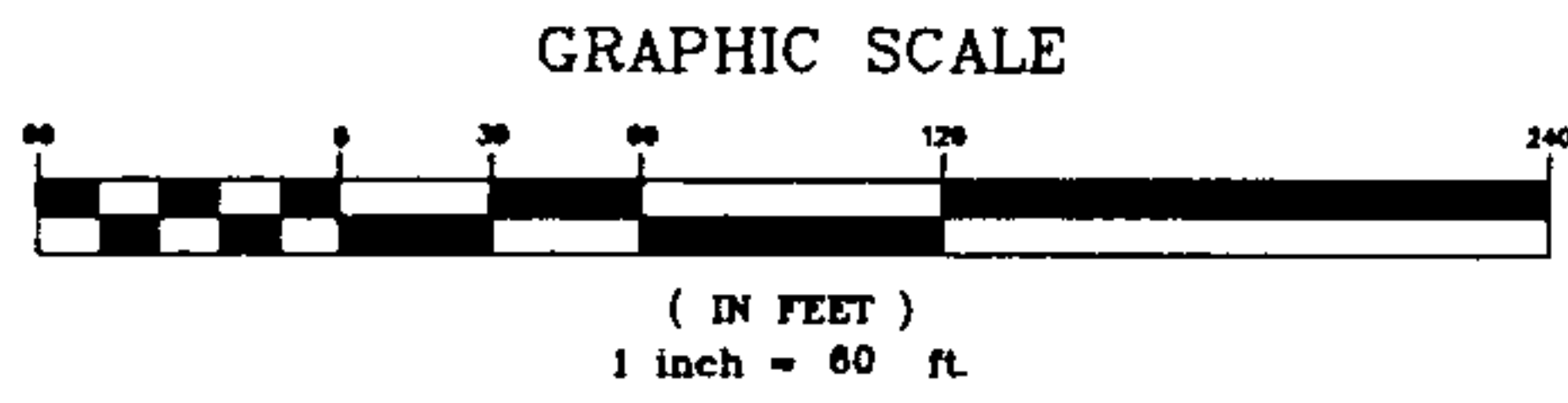
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARING AND DISTANCES
●	FOUND MONUMENT AS INDICATED
○	SET BATHY MARKER WITH CAP "LS 14271"



ACS Monument "2-D20-A"
 NAD 1927 CENTRAL ZONE
 X=410218.35
 Y=1516110.28
 Z=5466.47 (NAVD 1929)
 G-G= 99964777
 Delta Alpha=-0°10'23"

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Plat of
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North Albuquerque Acres
Tract A, Unit A

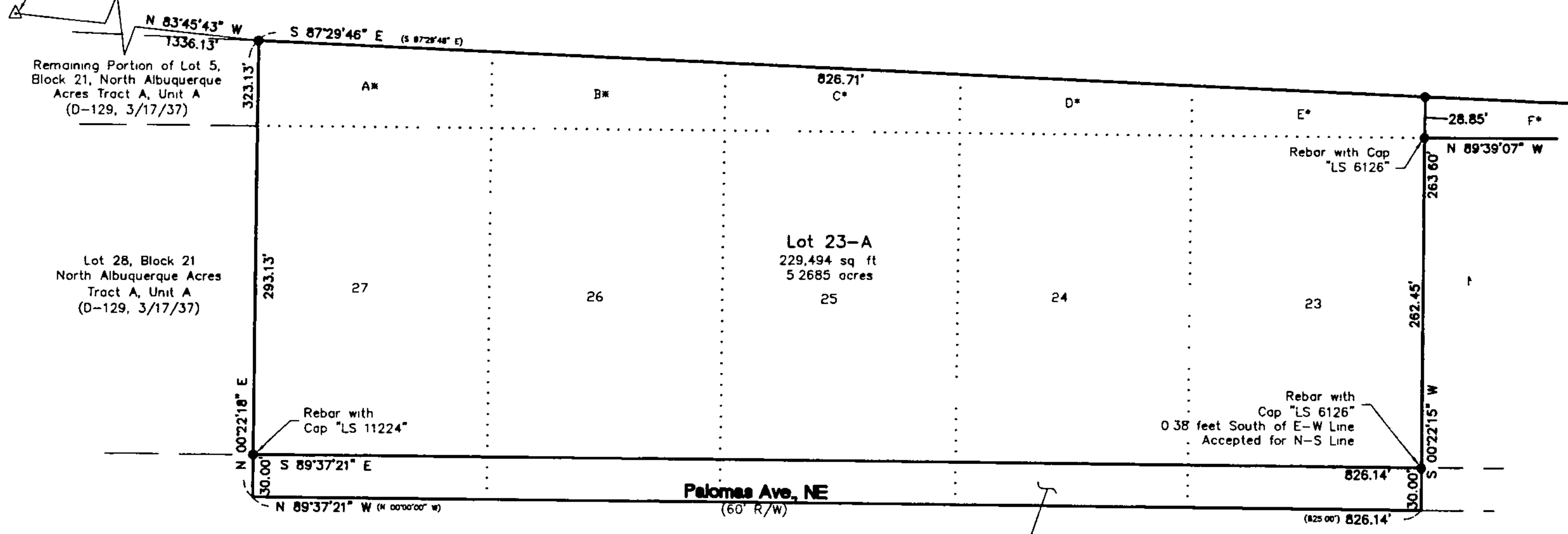
comprised of
Lots 18, 23-27 and Portions of Lots 6-17, Block 21
North Albuquerque Acres Unit A, Tract A
 City of Albuquerque
 Bernalillo County, New Mexico
 May 2007

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARING AND DISTANCES
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER WITH CAP "LS 14271"

ACS Monument "HEAVEN"
 NAD 1927 CENTRAL ZONE
 X=407,051.31
 Y=1,518,737.03
 Z=5375.62 (NAVD 1929)
 G-G=0.99965263
 Delta Alpha=-00°10'45"

Paseo Del Norte, NE
 (R/W Varies)

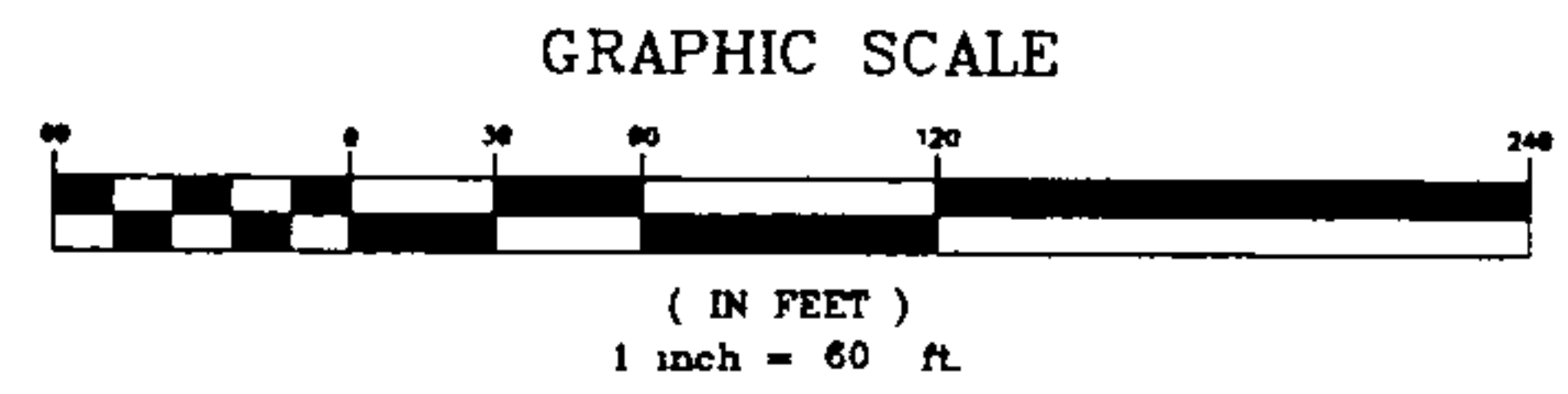


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Notes

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5. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 19, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT
6. LOT LINE BEING ELIMINATED BY THIS PLAT SHOWN AS THIS



Dedicated to the
 City of Albuquerque in
 fee simple
 24,784 sq ft
 0.5690 acres

CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

#7

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

08/14/2007 Issued By: PLNABG

Permit Number: 2007 070 197 **Category Code 910**

Application Number: 07DRB-70197, Epc Approved Sdp For Build Permit

Address:

Location Description: PASEO DEL NORTE NE BETWEEN BARSTOW NE AND WYOMING BLVD NE

Project Number: 1004622

Applicant
 New Mexico Educators Federal Credit Union

 4100 Pan American Freeway Ne
 Albuquerque, NM 87108
 888-7502

Agent / Contact
 George Rainhart Architects
 William Johnson
 2325 San Pedro Ne
 Albuquerque, NM 87110

 bjohnson@gra-arch.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

8/14/2007 12:01PM LOC: ANNX
 WSH 007 TRANSH 0021
 RECEIPT# 00086501-00086501
 PERMIT# 2007070197 TRSMF
 Trans Amt \$20.00
 Conflict Manag. Fee \$20.00
 CK \$20.00
 CHANGE \$0.00

Thank You



Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	L A APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE (Form D)	
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): GEORGE RAINHART ARCH ASSOC PHONE: 884-9110
 ADDRESS: 2325 SAN PEDRO NE FAX: 837-9877
 CITY: ALBUQUERQUE STATE: NM ZIP: 87110 E-MAIL: ANTON@GRA-ARCH.COM

APPLICANT: NEW MEXICO EDUCATION FEDERAL CREDIT UNION PHONE: 889-7502
 ADDRESS: 4100 PAN AMERICAN FRONT NE FAX: 992-2660
 CITY: ALBUQUERQUE STATE: NM ZIP: 87198 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: SITE PLAN FOR BUILDING PERMIT, FINAL SIGN OFF

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 10 PARCELS K.M IN TRACT A Block 21 Unit: A
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES
 Existing Zoning SU-2/G-1 Proposed zoning: - MRGCD Map No _____
 Zone Atlas page(s): D-19-2 UPC Code: 1-019-063-502-495-10515

CASE HISTORY: ANNA DIMAMBRO (EPC PLANNER)
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots. 4 No. of proposed lots. 1 Total area of site (acres): 1.45 ACRES
 LOCATION OF PROPERTY BY STREETS: On or Near ON PASEO DEL NORTE
 Between: BARSTON N.E. and WYOMING N.E.

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Anton Dattilo DATE 08-14-07
 (Print) ANTON DATTILO Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	SE	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>01DRB 70197</u>	<u>SBP</u>	<u>(3)</u>	\$ <u>20.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMW</u>	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>20.00</u>

Hearing date 8-22-07
Andrew Jimenez 8-14-07
 Planner signature / date

Project # 1004622

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ANTONIO DATTICO
Applicant name (print)

Antonio Dattico
Applicant signature / date



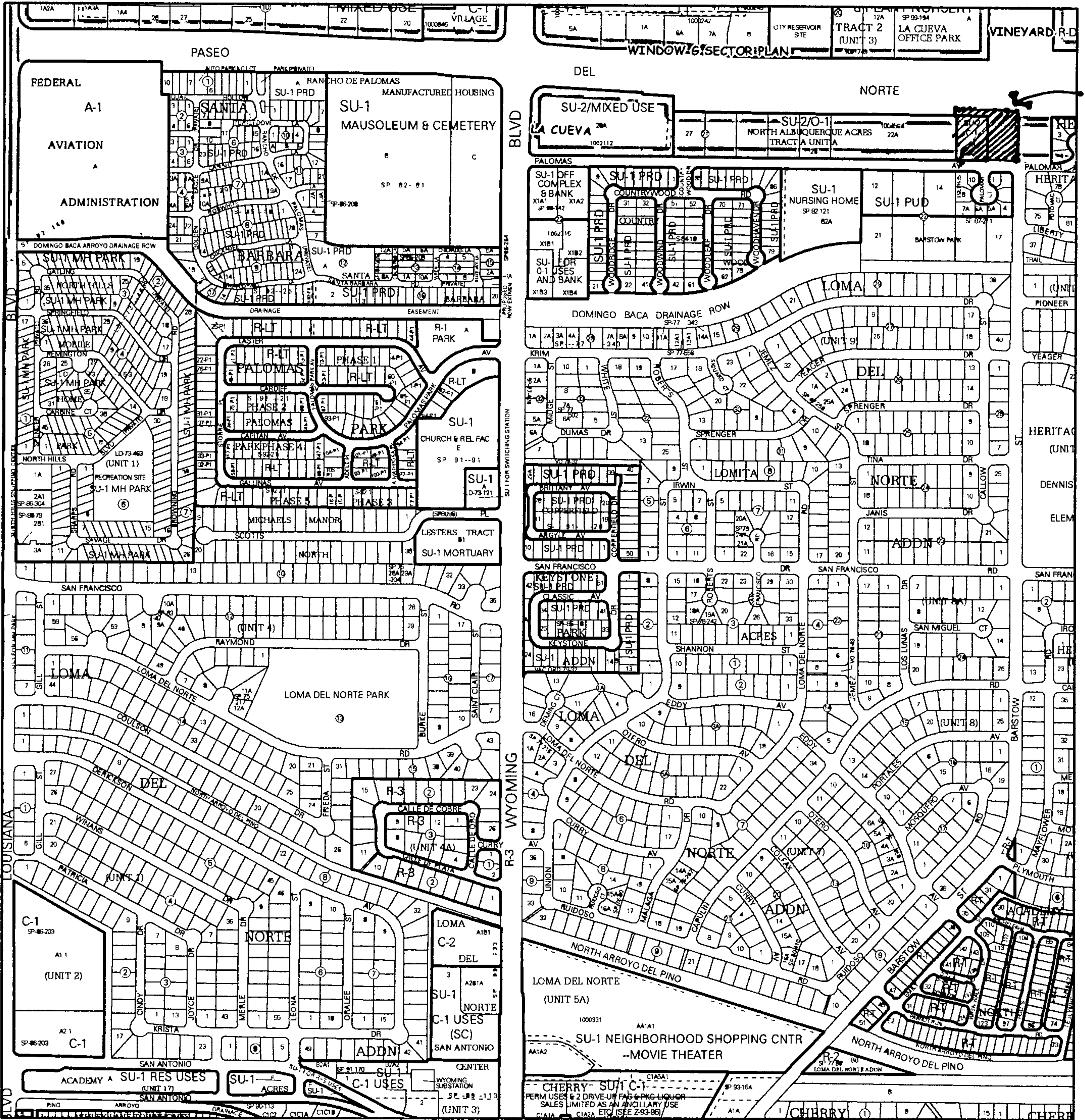
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
07DRS - 70197

Form revised APRIL 2007

Andrew Garcia 8-14-07
Planner signature / date

Project # 1004622



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 5/17/2007

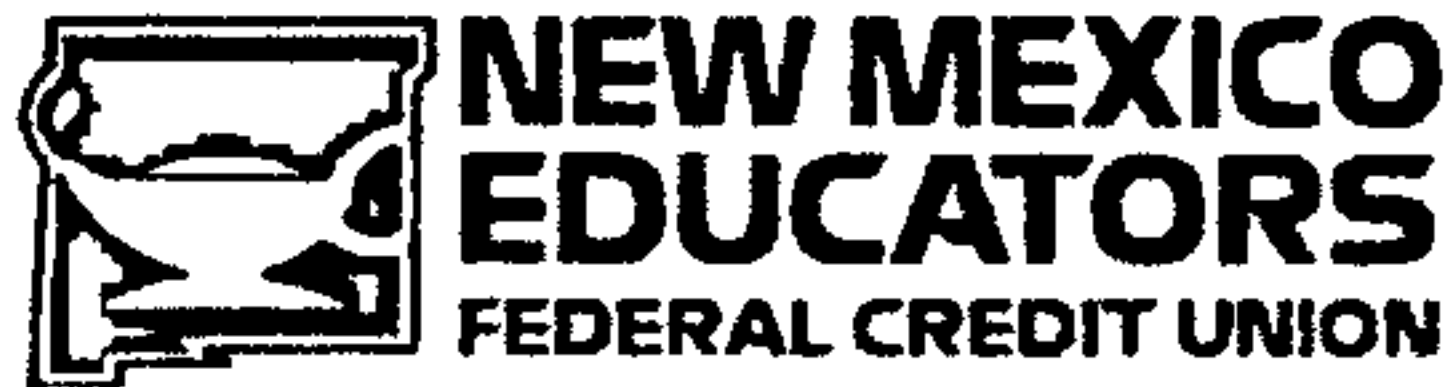
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-19-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



The power of WE.

PO Box 8530
Albuquerque, NM 87198
505-889-7755
800-347-2838
www.nmefcu.org

August 13, 2007

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

RE: Letter of Authorization for George Rainhart & Associates on behalf of New Mexico Educators Federal Credit Union for Paseo del Norte and Barstow, NE

To Whom It May Concern:

By this letter, we authorize the architectural firm of George Rainhart & Associates to act on behalf of New Mexico Educators Federal Credit Union. George Rainhart and Associates will represent us in front of the Development Review Board for the City of Albuquerque in regards to our property located on the southwest corner at Paseo del Norte and Barstow.

Any questions concerning this should be addressed to the undersigned at the letterhead address. Your attention to this matter is appreciated.

Sincerely,

A handwritten signature in black ink, appearing to read "Vince McKee".

Vince McKee
SVP Facilities

The Power
of WE.

August 10, 2007

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

**Re: OFFICIAL NOTICE OF DECISION (February 16, 2006)
Condition corrections
New Mexico Educators Federal Credit Union**

Project Summary:

Project No. 1004622*
07EPC-00569 EPC Sector Development Plan
07EPC-00568 EPC Site Development Plan-Building Permit

LEGAL DESCRIPTION: for all or a portion of Lot 18 and Parcels K, M and N, Block 21, Tract A, Unit A, **North Albuquerque Acres**, a zone map amendment from SU-2/O-1 to SU-2/C-1, locates PASEO DEL NORTE NE, between BARSTOW NE and WYOMING NE, containing approximately 1 acre. (D-19) Anna DiMambro, Staff Planner

Conditions:

Item no. 1. A letter shall accompany the submittal, specifying all modifications that have been made prior to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions.

Responses: This is to serve as the requested letter.

Item no. 2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that the conditions of approval are adequately met.

Responses: Anton Dattilo met with Anna DiMambro (Staff Planner) Friday August 10, 2007

Item no. 3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.

Responses: This is addressed on the Grading and Drainage civil drawings showing some water holding areas in the landscape areas.

Item no. 4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.

Response: The building is insulated 6” walls, u-e double pane storefront system 4” rigid insulated with TPO 45 roofing system is the envelope energy package.

Item no. 5. City Engineer conditions

- a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easement shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg, 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Department Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Provide current queuing analysis for new location of drive thru window.
- e. Site plan shall comply and be designed per DPM Standards.

Response: a & b will be complied with during construction. c & d has been prepared and provided by Terry Brown. E has been satisfied with both the civil and architectural site plans.

Item no. 6. Parking

- a. The applicant shall correct the parking count on the north row of parking.
- b. The applicant shall remove two parking spaces.
- c. Signage shall be provided for all motorcycle spaces.
- d. The applicant shall remove the Parking Note that states “1 motorcycle space”.
- e. A handicap ramp shall be provided at the south side of the building.

Response:

- a. This has been corrected.
- b. Two spaced have been removed along the south of the property.
- c. Signs have been located at all motorcycle space.
- d. This note has been eliminated.
- e. The handicap ramp is on the west side of the parking along the south of the building.

Item no. 7. Pedestrian amenities.

- a. Benches or tables shall be provided on the west patio.

- b. 25% shading shall be provided on the west patio area and the bench on the south side of the building.
- c. All pedestrian walkways shall be of raised/textured concrete.

Response:

- a. A bench has been added to the west patio.
- b. This will be completed on the landscape plan.
- c. All crosswalks are to be raised/textured concrete.

Item no. 8. A sign shall be provided at the north side of the drive-thru teller lanes stating “One-way. Do not enter”.

Response: This sign has been added per note 21 A2.1.

Item no. 9. Landscaping

- a. The applicant shall add to key note 4 on sheet A2.1 a statement indicating that tree planters will have 75% live groundcover.
- b. The landscaping plan shall be made to match the site plan.
- c. The Special Buffering note on sheet A2.1 shall be revised to state that drive-thru areas are to be screened with a 6’ wide minimum landscape area.
- d. The plant list shall indicate evergreen species.
- e. The note stating “Final landscaping layout and design to be determined upon receipt of final grading plan” shall be removed.
- f. The applicant shall provide for all landscape areas.
- g. The south landscape buffer shall be increased to 10’. The east landscape buffer shall be increased to 6’
- h. Planting located in vehicle overhang areas shall be low-growing so as not to be damaged by the vehicles.
- i. Trees and other vegetation shall be moved to landscape strips between curb and sidewalk on Palomas.
- j. The applicant shall provide sufficient irrigation for tree needs.
- k. Thread Grass shall be replaced with Deer Grass.
- l. Plan beds shall achieve 80% live groundcover at maturity on page L1 of the plan.
- m. Two more Desert Willows shall be added between the existing Desert Willows and the east walkway.

Response:

- a. This note has been revised.
- b. This has been updated.
- c. This note has been revised.
- d. This will be corrected on the landscape plan.
- e. This note has been deleted.
- f. This has been updated.
- g. These areas have been revised.
- h. The landscape plan will reflect this.
- i. This will be reflected on the landscape plan.

- j. This will be reflected on the landscape plan.
- k. This will be reflected on the landscape plan.
- l. This will be reflected on the landscape plan.
- m. This will be reflected on the landscape plan.

Item no. 10. The lighting note on sheet A2.1 shall be revised to state “Lighting not to exceed 16’ high” and all lights on the southern half of the site from the buildings southward shall be limited to 12’ feet.

Response: This note has been corrected.

Item no. 11. The applicant shall provide a detail drawing of the proposed retaining wall.

Response: This detail has been delivered to the planner for the file.

Item no. 12. The applicant shall ensure that lighting will not be in conflict with proposed trees.

Response: This will be coordinated with the landscape plan.

Item no. 13. The applicant shall comply with all Solid Waste Management Department ordinances and requirements.

Response: This will be reviewed and signed of prior to the DRB hearing.

Item no. 14. A replat of the subject site to create one cohesive lot at DRB is required.

Response: This will be completed in concurrent with the DRB..

Item no. 15. The previous site development plan is hereby cancelled.

Response: This was agreed to during the EPC approval.

Sincerely,

George Rainhart Architects and Associates


Anton M. Dattilo
Project Manager



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: June 22, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1004622*
07EPC-00569 Sector Development Plan Map
Amendment
07EPC-00568 EPC Site Development Plan-
Building Permit

New Mexico Educators Federal Credit Union
4100 Pan American Frwy NE
Albuq. NM 87198

LEGAL DESCRIPTION: for all or a portion of
Lot 17 and Parcels K, M and N, Block 21, Unit
A, **North Albuquerque Acres**, a sector
development plan map amendment from SU-2/O-
1 to SU-2/C-1, located on PASEO DEL NORTE
NE, between BARSTOW NE and WYOMING
NE, containing approximately 2 acres. (D-19)
Anna DiMambro, Staff Planner

On June 21, 2007 the Environmental Planning Commission voted to approve Project 1004622/ 07EPC 00568, a request for a Sector Development Plan Map Amendment from SU-2/O-1 to SU-2/C-1 for Parcels K, M, and N, Block 21, Tract A, Unit A, North Albuquerque Acres, following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a sector development plan map amendment to the La Cueva Sector Development Plan from SU-2/O-1 to SU-2/C-1 for Parcels K, M, and N, Block 21, Tract A, Unit A, North Albuquerque Acres, approximately 0.56 acres.
2. The subject site is located on Palomas Avenue NE between Barstow and Wyoming NE in the Established Urban Area and within the boundaries of the La Cueva Sector Development Plan.
3. The applicant proposes to construct an approximately 9,552 square foot building containing an approximately 4,069 square foot credit union and approximately 5,483 square feet of leasable space. The accompanying site development plan for building permit request is dependent upon the sector development plan map amendment request.

4. The proposed use is permissive in the requested zone category.
5. This request furthers the following Comprehensive Plan policies for Developing and Established Urban Areas:
 - a. The requested zone category will allow a full range of urban land uses (Policy II.B.5a).
 - b. The subject site is located contiguous to existing urban facilities and services. Site plan review will ensure the integrity of existing neighborhoods (Policy II.B.5e).
 - c. This proposed commercial zoning will allow employment and service uses to be conveniently located to residential areas. Site plan review will ensure that adverse effects of noise, lighting, and traffic on residential environments are minimized (Policy II.B.5i).
6. This request conflicts with Comprehensive Plan II.B.5j for Developing and Established Urban Areas because the subject site is not located in a small neighborhood center or larger area shopping center. It is also not located in an older neighborhood.
7. This request furthers Zoning Principles of the La Cueva Sector Development Plan:
 - a. The proposed zoning will increase the variety of retail and service businesses located to serve the needs of the growing population (Principle 2).
 - b. The proposed zoning will increase the number of urban uses located along Paseo del Norte (Principle 5).
8. The applicant has adequately justified this request per R-270-1980:
 - a. This request is consistent with the health, safety, morals, and general welfare of the City. Credit unions are not generally considered to be detrimental to their communities (A).
 - b. The applicant has provided sound justification for the requested zone change. The proposed zoning is identical to the zoning on Lot 17, which is a part of the associated site development plan for building permit request. Allowing the four subject parcels to develop cohesively will contribute to stability of land use and zoning (B).
 - c. The proposed zone change is not in significant conflict with adopted elements of the Comprehensive Plan or the La Cueva Sector Development Plan as indicated in Findings 5 and 7 (C).
 - d. The existing SU-2/O-1 zoning is no longer appropriate for the subject site due to the recent zone change of the neighboring Lot 18 from SU-2/O-1 to SU-2/C-1 (06 EPC 00018). Also, due to the size of Parcel N, it will be very difficult to accommodate an office use on the site along with required parking and landscaping. Access will also be difficult due to the dimensions of Parcel N. Allowing Parcels K, M, and N to develop cohesively with Lot 18 will alleviate these site issues and will allow these parcels to develop efficiently (D).
 - e. Permissive uses in the proposed zone will not be harmful to adjacent property, the neighborhood, or the community. There is no known neighborhood opposition to this request, although there is a concern regarding traffic. A previous and similar request for a zone change on the subject site was supported by the affected neighborhood associations (E).
 - f. The proposed zoning will not require capital expenditures by the City (F).
 - g. The applicant's economic situation is not a factor in analyzing this zone change (G.)

OFFICIAL NOTICE OF DECISION
JUNE 21, 2007
PROJECT #1004622
PAGE 3 OF 8

- h. The subject site is already zoned for office uses (H).
 - i. This request does not constitute a spot zone and in fact eliminates a spot zone (I).
 - j. This request does not constitute a strip zone (J).
9. The applicant has submitted a site development plan for building permit concurrently with this request.
10. There is no known neighborhood or other opposition to this request. The Heritage Hills Neighborhood Association has expressed a concern regarding traffic on Barstow and Palomas.

CONDITION:

- 1. The applicant shall obtain DRB sign-off of the accompanying site development plan for building permit (07EPC 00569).
- 2. The previous site development plan is hereby cancelled.

On June 21, 2007 the Environmental Planning Commission voted to approve Project 1004622/ 07EPC 00569, a request for approval of a site development plan for building permit for Lot 18 and Parcels K, M, and N, Block 21, Tract A, Unit A, North Albuquerque Acres, based on the preceding Findings and subject to the following Conditions of Approval.

FINDINGS:

- 1. This is a request for approval of a site development plan for building permit for Lot 18 and Parcels K, M, and N, Block 21, Tract A, Unit A, North Albuquerque Acres, approximately 1.45 acres.
- 2. The subject site is located on Palomas Avenue NE between Barstow and Wyoming NE in the Established Urban Area and within the boundaries of the La Cueva Sector Development Plan.
- 3. The subject site is currently zoned SU-2/O-1 and SU-2/C-1. The proposed use is not allowable in the SU-2/O-1 zone. The applicant has submitted a concurrent request for a sector development plan map amendment to change the SU-2/O-1 zone to SU-2/C-1. This site development plan request is dependent upon approval of the accompanying sector development plan map amendment request (07EPC 00568).

4. The applicant proposes to construct an approximately 9,552 square foot building containing an approximately 4,069 square foot credit union and approximately 5,483 square feet of leasable space.
5. This request furthers the following Comprehensive Plan policies for Developing and Established Urban Areas:
 - a. The design of the proposed credit union building is respectful of its neighbors, and the intensity of the proposed use is appropriate for this location (Policy II.B.5d).
 - b. This service use is located to complement residential areas and is sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments (Policy II.B.5i).
 - c. High quality materials are proposed for this development, and the style and design are very fitting for this Plan area (Policy II.B.5l).
6. This request partially furthers the following Comprehensive Plan policies for Developing and Established Urban Areas
 - a. The proposed use will buffer the residential area to the south of the subject site from the noise, pollution, and heavy traffic of Paseo del Norte, but will increase traffic on Palomas (Policy II.B.5k).
 - b. The proposed 30-foot tower may detract from the views in this area. However, it is not out of proportion to building heights of nearby properties, and the proposed credit union building has an appealing design that helps improve the quality of the built visual environment (Policy II.B.5m).
7. This request partially conflicts with Principle 8 of the La Cueva Sector Development Plan because the proposed 30-foot tower may obstruct some residents' views.
8. This request furthers Principle 9 of the La Cueva Sector Development Plan because the proposed development is designed to be compatible for the plan area and blend in with existing buildings and natural surroundings.
9. The applicant has submitted a view analysis for this request, which shows that views are not affected by the proposed development.
10. This proposal complies with most applicable regulations of the La Cueva Sector Development Plan and the Zoning Code.
11. There is no known neighborhood or other opposition to this request. The Heritage Hills Neighborhood Association has expressed a concern regarding traffic on Barstow and Palomas.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered.
4. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered.
5. City Engineer conditions:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Provide current queuing analysis for new location of drive thru windows.
 - e. Site Plan shall comply and be designed per DPM Standards.
6. Parking:
 - a. The applicant shall correct parking count on the north row of parking.
 - b. The applicant shall remove two parking spaces.
 - c. Signage shall be provided for all motorcycle spaces.
 - d. The applicant shall remove the Parking Note that states "1 motorcycle space."
 - e. A handicap ramp shall be provided at the south side of the building.
7. Pedestrian amenities:
 - a. Benches or tables shall be provided on the west patio.

- b. 25% shading shall be provided on the west patio area and the bench on the south side of the building.
 - c. All pedestrian walkways shall be of raised/textured concrete.
8. A sign shall be provided at the north side of the drive-thru teller lanes stating "One-way. Do not enter."
9. Landscaping:
 - a. The applicant shall add to Keyed Note 4 on sheet A2.1 a statement indicating that tree planters will have 75% live groundcover.
 - b. The landscaping plan shall be made to match the site plan.
 - c. The Special Buffering note on Sheet A2.1 shall be revised to state that drive-thru areas are to be screened with a 6' wide minimum landscape area.
 - d. The plant list shall indicate evergreen species
 - e. The note stating "Final landscaping layout and design to be determined upon receipt of final grading plan" shall be deleted.
 - f. The applicant shall provide dimensions for landscape areas.
 - g. The south landscape buffer shall be increased to 10'. The east landscape buffer shall be increased to 6'.
 - h. Plantings located in vehicle overhang areas shall be low-growing so as not to be damaged by the vehicles.
 - i. Trees and other vegetation shall be moved to landscape strip between curb and sidewalk on Palomas.
 - j. The applicant shall provide sufficient irrigation for tree needs.
 - k. Thread Grass shall be replaced with Deer Grass.
 - l. Plant beds shall achieve 80% live groundcover at maturity on page L1 of the plan.
 - m. Two more Desert Willows shall be added between the existing Desert Willows and east of the walkway.
10. The lighting note on sheet A2.1 shall be revised to state, "Lighting not to exceed 16' high" and all lighting on the southern half of the site from the buildings southward shall be limited to 12 feet.
11. The applicant shall provide a detail drawing of the proposed retaining wall.
12. The applicant shall ensure that lighting will not be in conflict with proposed trees.
13. The applicant shall comply with all Solid Waste Management Department ordinances and requirements.
14. A replat of the subject site to create one cohesive lot at DRB is required.)
15. The previous site development plan is hereby cancelled.

OFFICIAL NOTICE OF DECISION
JUNE 21, 2007
PROJECT #1004622
PAGE 7 OF 8

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JULY 6, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

CMarone

for Richard Dineen
Planning Director

#7



COMPLETED 09/14/06 STH DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00490 (SBP)
Project Name NEW MEXICO EDUCA. FED C.U.
Agent: George Rainhart Architect

Project # 1004622
Phone No.: 884-9110

Project Number 1004622

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/19/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: side walk location
- sidewalk width
-
-
-

- UTILITIES:
-
-
-

- CITY ENGINEER / AMAFCA: SIA
- 3 copies
-
-

- PARKS / CIP:
-
-
-

- PLANNING (Last to sign): [Signature]
-
-
-

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

#7



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00490 (SBP)

Project # 1004622

Project Name NEW MEXICO EDUCA. FED C.U.

Agent: George Rainhart Architect

Phone No.: 884-9110

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4/19/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: ~~SDP~~ *side walk location*
sidewalk width

UTILITIES:

CITY ENGINEER / AMAFCA: *SIA*
3 copies

PARKS / CIP:

PLANNING (Last to sign) ~~George Rainhart~~

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk); RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Project Number 1004622

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

7

INTER-OFFICE MEMO

DATE: April 17, 2006
TO: Sheran Matson, DRB Chair
FROM: Catalina Lehner, Planner *cl*
RE: Project #1004622, NM Educators Federal Credit Union

On February 16th, 2006, the EPC approved, with conditions, a Site Development Plan for Building Permit for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres. Staff met with the applicant, Anton Dattilo of George Rainhart Architects & Associates, on April 4th, 2006 to check for compliance with the Conditions of Approval.

The Site Development Plan for Building Permit (dated January 5, 2005-incorrect date?) satisfactorily meets the EPC conditions as elaborated in the Official Notification of Decision.

If you have any questions regarding this case, please call me at 924-3935.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 19, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 1:05 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002202**
06DRB-00362 Major-Vacation of Public Easements
06DRB-00363 Major-Preliminary Plat Approval

HUITT-ZOLLARS INC agent(s) for PRU WINROCK LLC request(s) the above action(s) for all or a portion of Lot(s) A-1-A, A-2, A-3, B, C-2A, D-1A, E-1, WINROCK CENTER ADDITION and Lot(s) B, MONROE (to be known as **WINROCK MARKET CENTER**), zoned SU-3, located on LOUISIANA BLVD NE, between INDIAN SCHOOL NE and INTERSTATE 40 containing approximately 80 acre(s). [REF: 05EPC-00876, 05EPC-00877] (J-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE**

INFRASTRUCTURE LIST DATED 4/19/06 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: (1) ALL EASEMENTS OF RECORD AND EASEMENT AGREEMENTS SHALL BE REFLECTED ON THE FINAL PLAT. (2) ANY FINAL PLAT APPROVED WILL PROVIDE FOR A "BLANKET" EASEMENT PENDING FINAL CONSTRUCTION AND LOCATION OF FINAL PUBLIC EASEMENTS. (3) LABEL ACCESS EASEMENT FOR TOYS R US. "TEMPORARY ACCESS EASEMENT TO BENEFIT PARCEL D-1A, PARCEL E-1 AND PARCEL A-1-A TO BE MAINTAINED BY PARCEL A-1-A". (4) MAINTAIN 10-FOOT DISTANCE FROM FACE OF CURB TO RIGHT-OF-WAY BOUNDARIES. CREATE PUBLIC ACCESS EASEMENTS WHERE NECESSARY. (5) RESEARCH ORIGINAL PLAT FOR ACCESS EASEMENT MAINTENANCE AT AMERICAS PARKWAY. (6) RELOCATE LEADER FOR EASEMENT '5' ON SHEET 5 OF 6 TO CLARIFY IDENTIFICATION. (7) SHOW 100-FOOT ACCESS CONTROL LIMITS ON THE PLAT. (AT THE INTERSTATE 40 ACCESS RAMP ENTRANCE). (8) VERIFY LOCATION OF THE 84-INCH STORM DRAIN BEHIND THE MACARONI GRILL AND IF NECESSARY, ADJUST THE EASEMENT. (9) CREATE A PUBLIC ACCESS EASEMENT AT ALL SIDEWALKS AND HANDICAP RAMPS ALONG INDIAN SCHOOL ROAD AND ALONG AMERICAS PARKWAY. (10) RESEARCH EASEMENT '17'.

06DRB-00526 Minor-SiteDev Plan
BldPermit/EPC
06DRB-00525 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for PRUWINROCK request(s) the above action(s) for all or a portion of Lot(s) A-1A, A-2, A-3, B, C-2A, D-1A E-1, WINROCK CENTER ADDITION and Lot(s) B (MONROE) (to be known as **WINROCK MARKET CENTER**) zoned SU-3/ C-3, and SU-2/C-2, O-1 & R-2, located on LOUISIANA BLVD NE, between INDIAN SCHOOL RD NE and I-40 NE containing approximately 81 acre(s). [REF: 05EPC-00876, 05EPC-00877] [Russell Brito for Juanita Garcia, EPC Case Planner] (J-19) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/19/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND

TRANSPORTATION DEVELOPMENT FOR
COMMENTS PER HANDOUT SHEET. WITH THE
SIGNING OF THE INFRASTRUCTURE LIST DATED
4/19/06 THE SITE PLAN FOR SUBDIVISION WAS
APPROVED WITH FINAL SIGN OFF DELEGATED
TO CITY ENGINEER FOR SIA AND
TRANSPORTATION DEVELOPMENT FOR
COMMENTS PER HANDOUT SHEET.

2. **Project # 1004354**
06DRB-00392 Major-Vacation of Pub
Right-of-Way

TIERRA WEST LLC agent(s) for PETE DASKALOS request(s) the above action(s) for all or a portion of Lot(s) 22-26 and a portion of Lot(s) 27, Tract(s) O, Block(s) 9, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 FOR C-2, IP, located on 98TH ST NW, between VOLCANO RD NW and CENTRAL AVE NW containing approximately 9 acre(s). [REF: ZA-88-3701, ZA-90-276, ZA-96-227, ZA-87-308, 05DRB-01229, 05EPC-01234] *[Deferred from 4/19/06]* (K-9) **DEFERRED AT THE AGENT'S REQUEST TO 5/3/06.**

3. **Project # 1004779**
06DRB-00393 Major-Vacation of Pub
Right-of-Way

ISAACSON & ARFMAN PA agent(s) for 207 ALISO DRIVE LLC, SHEFFIELD PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) 3-A & 4, Block(s) 3, GRANADA HEIGHTS (to be known as **ALISO LOFTS, PHASE II**) zoned R-2 residential zone, located on ALISO DR SE, between SILVER AVE SE and ARLOTE AVE SE. [REF: V-77-8, ZA-76-152] *[Deferred from 4/19/06]* (K-17) **DEFERRED AT AGENT'S REQUEST TO 4/26/06.**

4. **Project # 1004778**
06DRB-00391 Major-Vacation of
Public Easements
06DRB-00390 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for BLAINE ROBERTS request(s) the above action(s) for all or a portion of Lot(s) 2-B & 2-C, **LANDS OF FOREST PRODUCTS CO.**, zoned S-MI, located on ASPEN AVE NW, between 12TH ST NW and A.T. & S.F. RAILROAD containing approximately 7 acre(s). [REF: DRB-95-360, ZA-89-365] (H-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD.**
5. **Project # 1000696**
05DRB-01529 Major-Preliminary Plat
Approval
05DRB-01530 Minor-Sidewalk Waiver
05DRB-01531 Minor-Temp Defer
SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s). [Deferred from 10/26/05 & 11/9/05 & 11/23/05 & 11/30/05 & 1/4/06 & 1/25/06 & 2/22/06 & 3/15/06 & 4/5/06 & 4/19/06] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 5/17/06.**
6. **Project # 1003096**
04DRB-01344 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST LTD agent(s) for EILEEN DEVEREUX AND STEFAN WATSON request(s) the above action(s) for all or a portion of Lot(s) 53-58, **J. M. MOORE REALTY COMPANY, UNIT 1**, zoned S-R, SAWMILL RESIDENTIAL, located between 8TH ST NW and MOUNTAIN RD NW containing approximately 1 acre(s). [REF: 03DRB-01901, 05CC01786] **REMANDED BACK TO DRB FROM CITY COUNCIL (J-14) THE MINOR PLATTING ACTION OF 9/24/04 STANDS AS APPROVED.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1004622**
06DRB-00490 Minor-SiteDev Plan
BldPermit/EPC
- GEORGE RAINHART ARCHITECT & ASSOCIATES agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 21, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT A (to be known as **NEW MEXICO EDUCATORS FEDERAL CREDIT UNION**) zoned SU-2/C-1, located on PASEO DEL NOTRE NE, between BARSTOW NE and WYOMING NE containing approximately 1 acre(s). **[Catalina Lehner, EPC Case Planner] (D-19) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN AND TRANSPORTATION DEVELOPMENT FOR SIDEWALK LOCATION AND WIDTH OF PALOMAS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1002739**
06DRB-00513 Minor-Extension of
Preliminary Plat
- MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) B-1, PARCEL 2-D & A, LANDS OF RIO BRAVO PARTNERS, ROSNER TRACT, ANDERSON HEIGHTS (to be known as **ANDERSON HEIGHTS, UNITS 2-9**) zoned R-D residential and related uses zone, developing area, located on 118TH ST SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 248 acre(s). **[REF: 05DRB-01832, 06DRB-00268] (N-8/P-8) A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

9. **Project # 1002478**
06DRB-00509 Minor-Temp Defer
SDWK
- RAYMOND LEE DENNIS, PE agent(s) for PASEO PARTNERSHIP LLC request(s) the above action(s) for all or a portion of Tract(s) T-4, VISTA DEL NORTE, **BLUE SKY BUSINESS PARK**, zoned M-2, located on EL PUEBLO NE, between EDITH NE and JEFFERSON NE containing approximately 23 acre(s).[REF: 05DRB-01344] (D-16) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
10. **Project # 1001778**
06DRB-00518 Minor-Prelim&Final
Plat Approval
- WAYJOHN SURVEYING INC agent(s) for PHILIP LINDBORG, DRAGONFLY DEVELOPMENT INC., request(s) the above action(s) for all or a portion of Lot(s) 9-P1 & 10-P1, **TRAMWAY CROSSING**, zoned R-T, located on WOODLAND AVE NE, between MARIE PARK DR NE and TRAMWAY BLVD NE containing approximately 1 acre(s). [REF: 05DRB-01793] (H-22) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**
11. **Project # 1004655**
06DRB-00519 Minor-Prelim&Final
Plat Approval
- WAYJOHN SURVEYING INC agent(s) for JESUS & MARIA VIZCAINO request(s) the above action(s) for all or a portion of Lot(s) 8 & 9, Block(s) 10, **LOWER BROADWAY ADDITION**, zoned SU-2/MR, located on ALAMO AVE SE, between HINKLE ST SE and MECHEM ST SE containing approximately 1 acre(s). [REF: 06DRB-00080] (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1004845**
06DRB-00523 Minor-Prelim&Final
Plat Approval

DOUG SMITH agent(s) for DANIEL FITCHELL & DAVID LEVIN request(s) the above action(s) for all or a portion of Lot(s) 105 & 106, **HERITAGE HILLS, UNIT 4**, zoned R-1, located on SUPREME CT NE, between OPPORTUNITY DR NE and PIONEER TRAIL NE containing approximately 1 acre(s). (D-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1003257**
06DRB-00508 Major-Final Plat
Approval – **UNIT 1**
06DRB-00528 Minor-Amnd Prelim
Plat Approval
06DRB-00536 Major-Final Plat
Approval – **UNIT 2**

MARK GOODWIN & ASSOCIATES PA agent(s) for SALTILLO COMMUNITIES LLC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 48-55, 1-7, 10-14, 1-8, 2-45, 1-16, 1-10 & 12-14, 7-12, 1-62 Block(s) 4, 6, 9, 12, 14, 15, 16, 7, 8, 10, 11, 13 & 17 AND Block(s) 1-4 (to be known as **SALTILLO, UNITS 1 & 2**) and Lot(s) 1-16, Block(s) 5, **PARADISE HEIGHTS, UNIT 5**, zoned R-1 residential zone, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 171 acre(s). [REF: 05DRB-00929, 05DRB-00933, 05DRB-00934, 05DRB-00935, 05DRB-00936] (A-10) **THE FINAL PLAT FOR UNIT 1 WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ALL WATER/SEWER EASEMENTS MUST BE GRANTED EXCLUSIVELY TO CITY OF ALBUQUERQUE AND PLANNING FOR REAL PROPERTY SIGNATURE, AMAFCA'S SIGNATURE AND TO RECORD THE PLAT. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/19/6 THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT. THE FINAL PLAT FOR UNIT 2 WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ALL WATER/SEWER EASEMENTS MUST BE GRANTED EXCLUSIVELY TO CITY OF ALBUQUERQUE AND PLANNING FOR REAL PROPERTY SIGNATURE, AMAFCA'S SIGNATURE AND TO RECORD THE PLAT.**

14. **Project # 1004355**
06DRB-00527 Minor-Amnd Prelim
Plat Approval

WILSON & COMPANY INC agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA SUBDIVISION**, zoned R-D, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB-00825, 04DRB-01460, 05DRB-01235, 05DRB-01236] (D-9) **WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 4/19/06 AND APPROVAL OF THE AMENDED GRADING PLAN ENGINEER STAMP DATED 4/17/06 THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH THE SAME CONDITIONS GIVEN ON 8/31/05 AS FOLLOW: THE HOME OWNER'S ASSOCIATION PRESIDENT MUST SIGN THE FINAL PLAT. IF NO SUCH PERSON IS AVAILABLE, THEN THE OWNER OF THE PROPERTY CAN SIGN. DRAINAGE EASEMENTS IN PARCELS B, C AND E SHALL BE VACATED AND REPLACED WITH THE NEW ALIGNMENT.**

15. **Project # 1004388**
06DRB-00529 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 14, **VENTANA AL SOL @ VENTANA RANCH WEST**, zoned R-LT residential zone, located on VENTANA RIDGE NW and DEL OESTE DR NW and containing approximately 20 acre(s). [REF: 05DRB-01336] (B-8) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

16. **Project # 1004462**
06DRB-00517 Minor-Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) A & C, **ANDALUCIA @ LA LUZ, UNIT 3**, zoned SU-1 special use zone, located on COORS BLVD NW, between NAMASTE RD NW and

MONTE FRIO DR NW containing approximately 23 acre(s). [REF: 05DRB-01524] (F-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR WALL EASEMENT ALONG NAMASTE, MAINTENANCE NOTE FOR THE PEDESTRIAN PATH AND PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

17. **Project # 1004522**
06DRB-00520 Minor-Prelim&Final
Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for VANGIE PAVLAKOS request(s) the above action(s) for all or a portion of Lot(s) 1-6, Block(s) 2, Tract(s) A, **MESA VERDE ADDITION**, zoned C-2 community commercial zone, located on RHODE ISLAND ST NE, between CENTRAL AVE NE and TENNESSEE ST NE containing approximately 1 acre(s). [REF:ZA-94-315, 05DRB-01667] (K-19) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

18. **Project # 1004541**
06DRB-00516 Minor-Prelim&Final
Plat Approval

SURV-TEK INC agent(s) for CORE REALTY HOLDINGS LLC request(s) the above action(s) for all or a portion of Tract(s) B-9J-1A, **SEVEN BAR RANCH**, zoned SU-1 for R-2 uses, located on GIBOLA LOOP NW, between ELLISON NW and COORS BLVD NW containing approximately 36 acre(s). (A-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SECOND ACCESS AND PLANNING TO RECORD THE PLAT.**

19. **Project # 1004771**
06DRB-00373 Minor-Prelim&Final
Plat Approval

RON GARNER agent(s) for GARBAC, LLC request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 41, **RAYNOLDS ADDITION**, zoned SU-2/NCR, located on COAL AVE SW, between 10TH ST SW and 11TH ST SW containing approximately 1 acre(s). [Deferred from 3/29/06 & 4/5/06 & 4/12/06] (K-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

20. **Project # 1004814**
06DRB-00460 Minor-Sketch Plat or
Plan

SURVEYS SOUTHWEST LTD agent(s) for CARLOS ESTRADA request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, Block(s) B, **EASTERN ADDITION**, zoned SU-2/MR, located on PACIFIC AVE SE, between JOHN ST SE and BROADWAY BLVD SE containing approximately 1 acre(s). [REF: Z-72-70] (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1000771**
06DRB-00522 Minor-Sketch Plat or
Plan

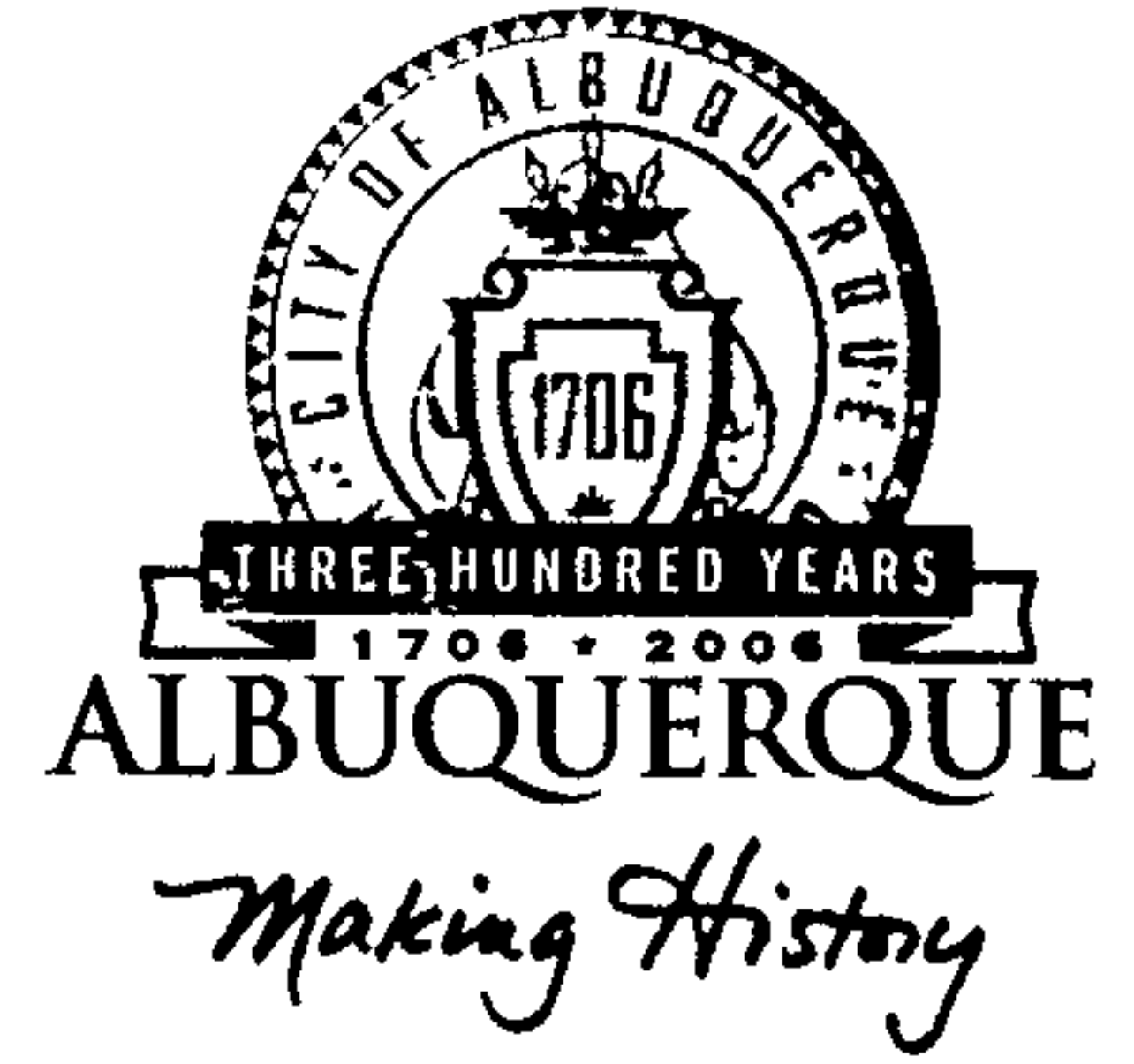
TIERRA WEST LLC agent(s) for BCG LLC request(s) the above action(s) for all or a portion of Tract(s) C, **COTTONWOOD POINTE**, zoned SU-1 for R-2, C-2, IP, located on IRVING BLVD NW, between EAGLE RANCH RD NW and the CALABACILLAS ARROYO NW containing approximately 7 acre(s). (B-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1004829**
06DRB-00486 Minor-Sketch Plat or Plan
- JOHN BLOCK request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 4, **VOLCANO CLIFFS, UNIT 2**, zoned R-1 residential zone, located on CLIFF RD NW, between POPO DR NW and RIMROCK NW containing approximately 1 acre(s). **(E-10) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
23. **Project # 1004844**
06DRB-00514 Minor-Sketch Plat or Plan
- MARK HOLMEN request(s) the above action(s) for all or a portion of Tract(s) 31, **ALVARDO GARDENS # 1**, zoned RA-2, located on MATTHEW NW, between RIO GRANDE NW and MEADOWVIEW NW containing approximately 1 acre(s). **(G-13) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
24. **Project # 1004846**
06DRB-00524 Minor-Sketch Plat or Plan
- FERNANDO & NORMA ARAGON request(s) the above action(s) for all or a portion of Lot(s) 337 and 364, **RIO GRANDE HEIGHTS**, zoned C-3 heavy commercial zone, located on OLD COORS DR SW, between SUNSET GARDENS RD SW and DOLORES DR SW. [REF: ZA-98-436] **(C-3) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
25. Approval of the Development Review Board Minutes for April 5 and April 12, 2006. **THE DEVELOPMENT REVIEW BOARD MINUTES WERE APPROVED BY THE BOARD.**

26. Other Matters: Project #1004073 – Approval of Amended Infrastructure List with Major changes. THE AMENDED INFRASTRUCTURE LIST WAS APPROVED.

ADJOURNED: 1:05 P.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004622

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved Subdivision Improvements Agreement with financial guarantees is required for Site Development Plan sign-off.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: April 19, 2006

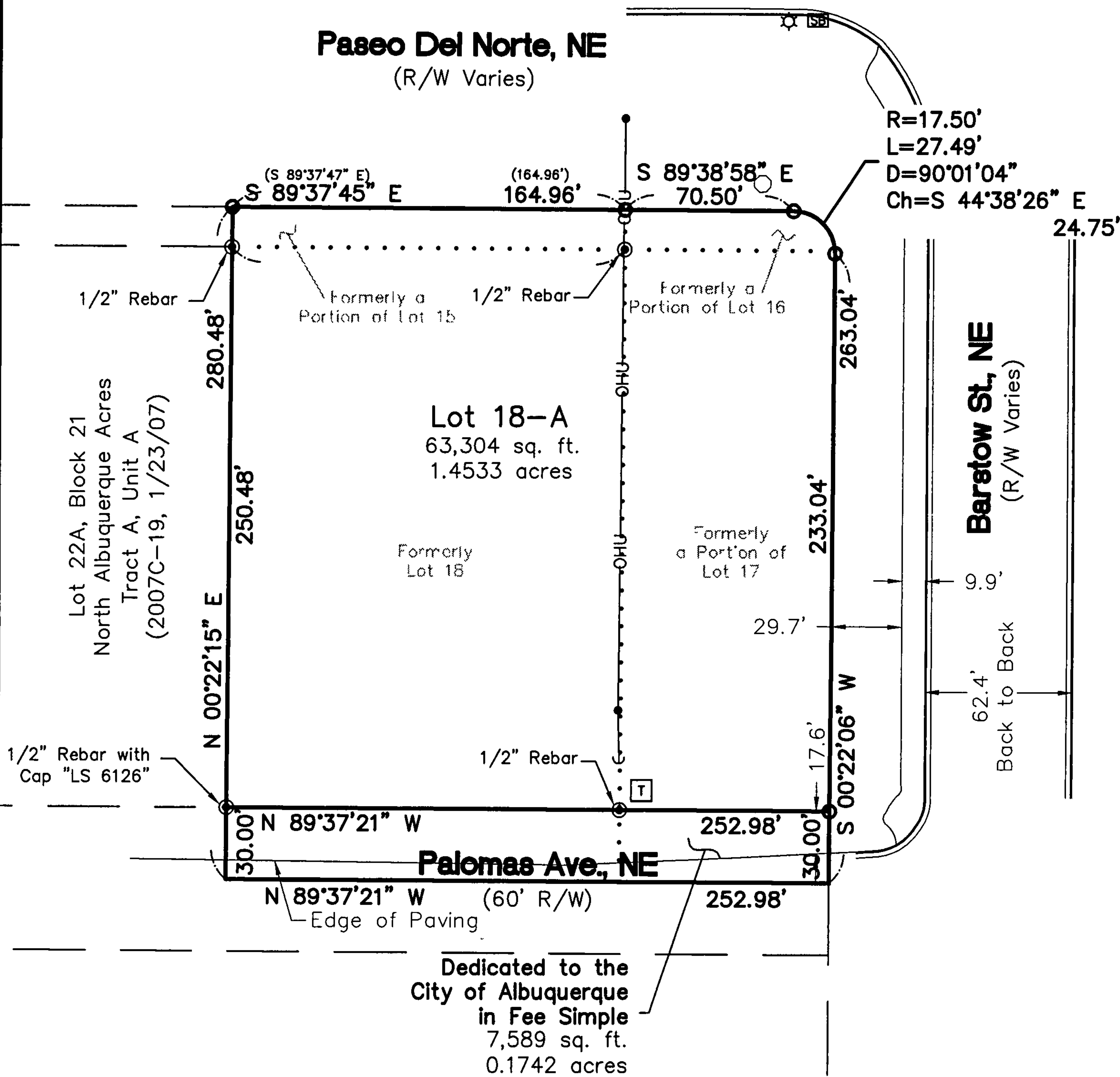
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Site Sketch





OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 20, 2008

1. Project# 1004622
08DRB-70310 2YR SUBD IMP AGMT EXT (2YR SIA)

GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 W/ PORTIONS OF 15-17, Block(s) 21, **NORTH ALBUQUERQUE ACRES** zoned SU--2 /C-1, located on PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE containing approximately 1.4487 acre(s). (D-19)

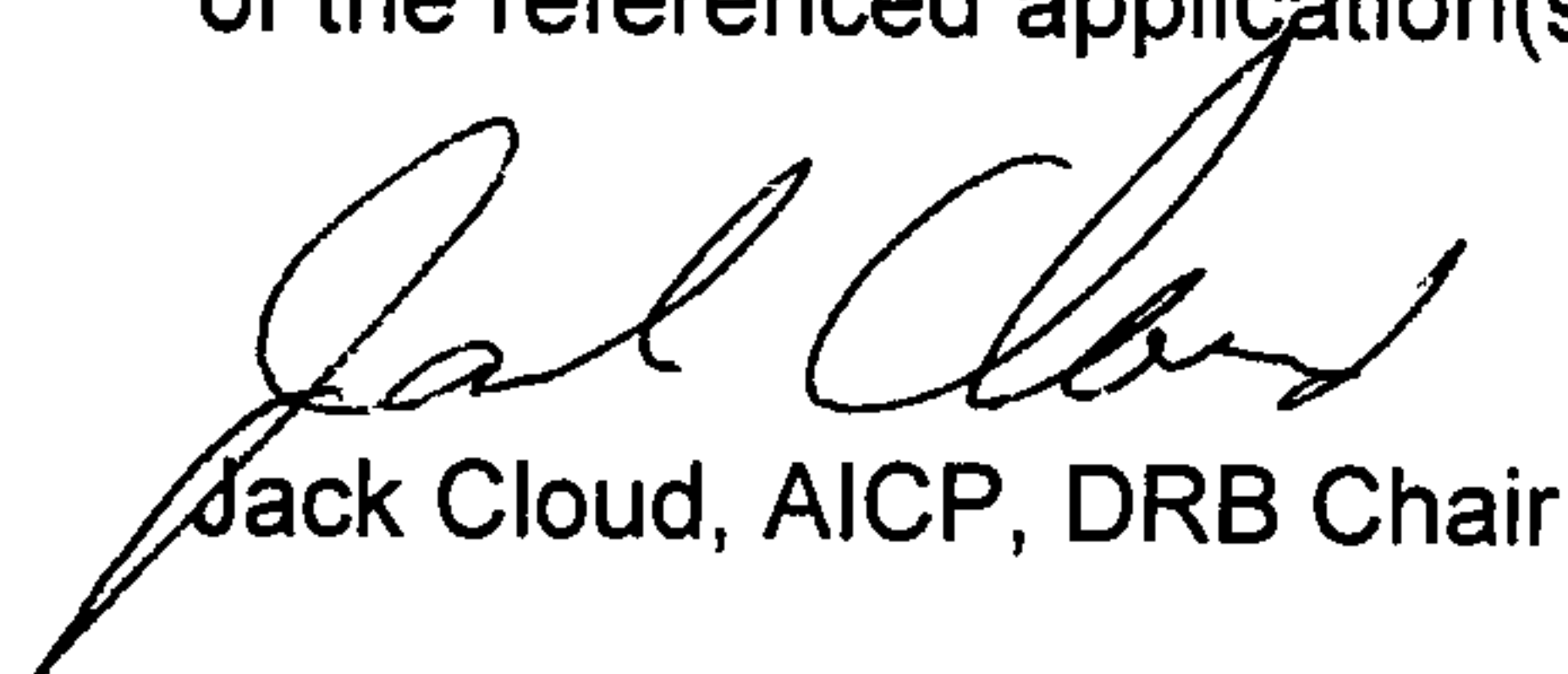
At the August 20, 2008 Development Review Board meeting, the two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by September 4, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

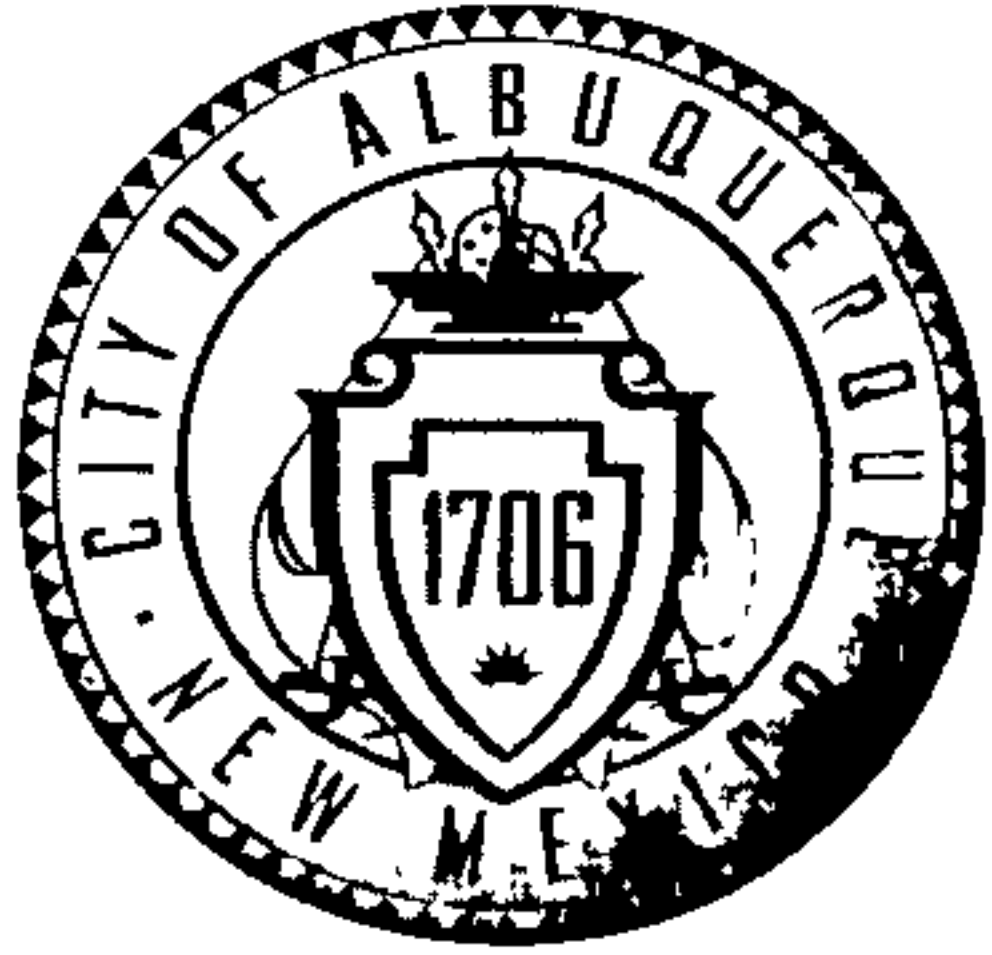
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: George Rainhart Architects & Associates – 2325 San Pedro NE Ste 2B –
Albuquerque, NM 87110

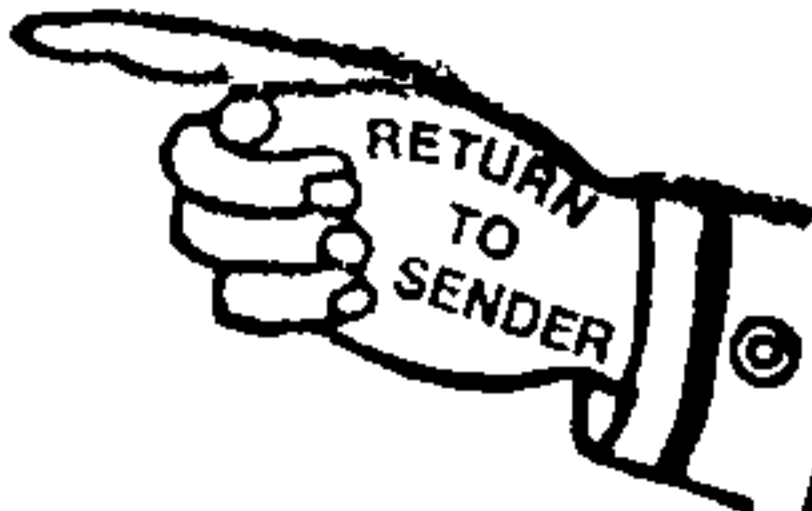
Cc: New Mexico Educators Federal Credit Union – P.O. Box 3530 – Albuquerque, NM
87198

Marilyn Maldonado
File

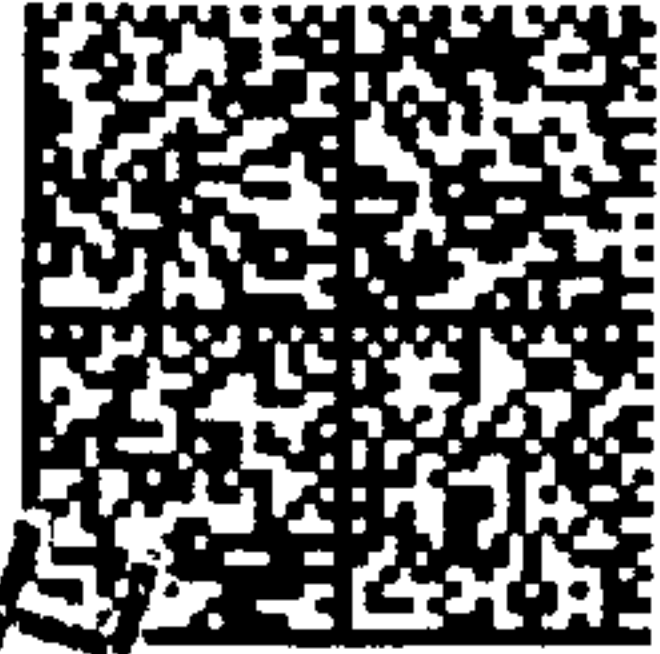


Planning Department

CITY OF ALBUQUERQUE



NO SUCH NUMBER



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0004261639 AUG 29 2008
MAILED FROM ZIP CODE 87102

New Mexico Educators Federal Credit Union
P.O. Box 3530
Albuquerque, NM 87108

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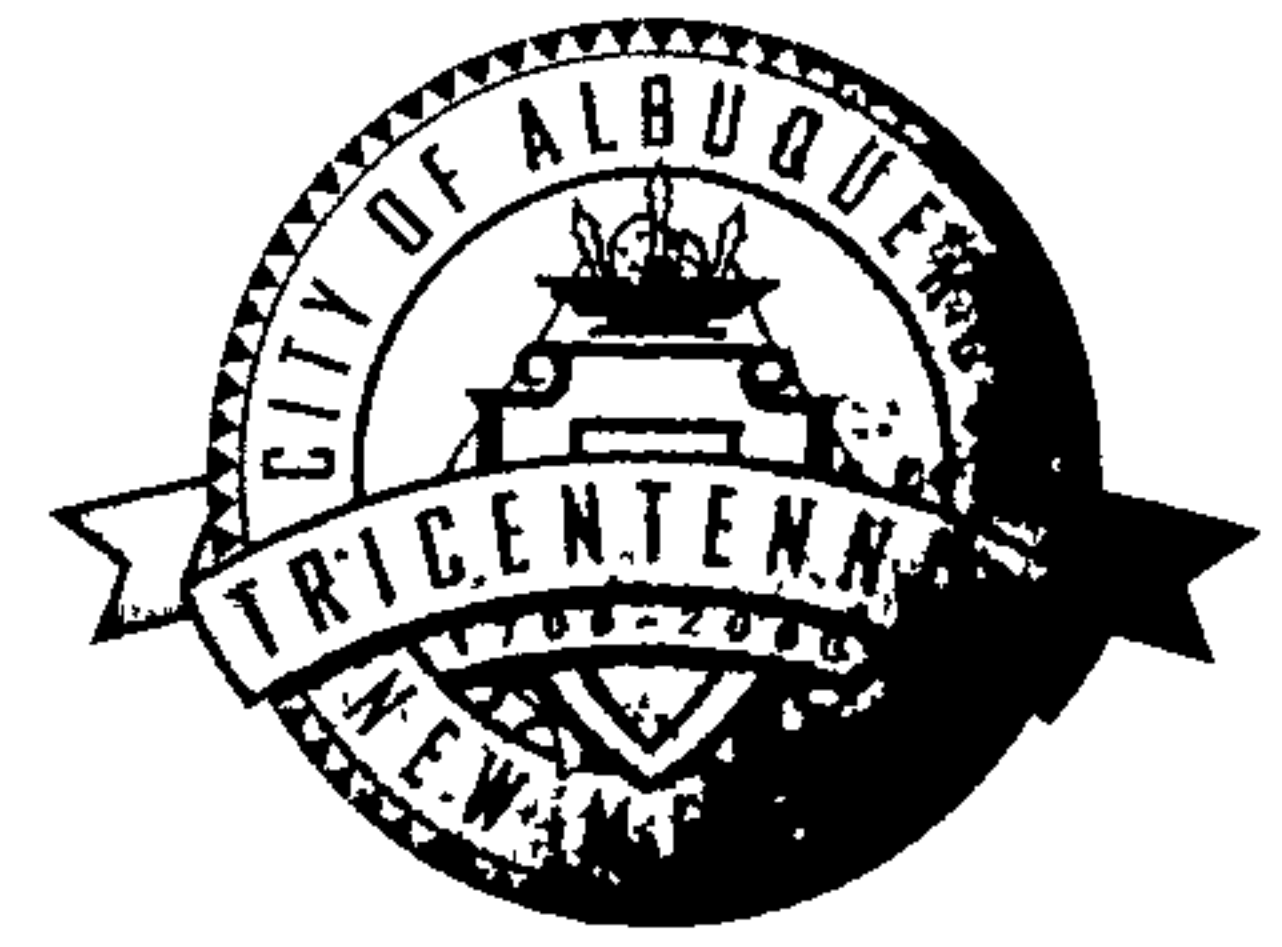
8719042530



P O Box 1293 Albuquerque New Mexico 87103

RETURN TO
NO RETURN
NO RETURN

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004622

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

Revised infrastructure list required.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

8-29-07

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham

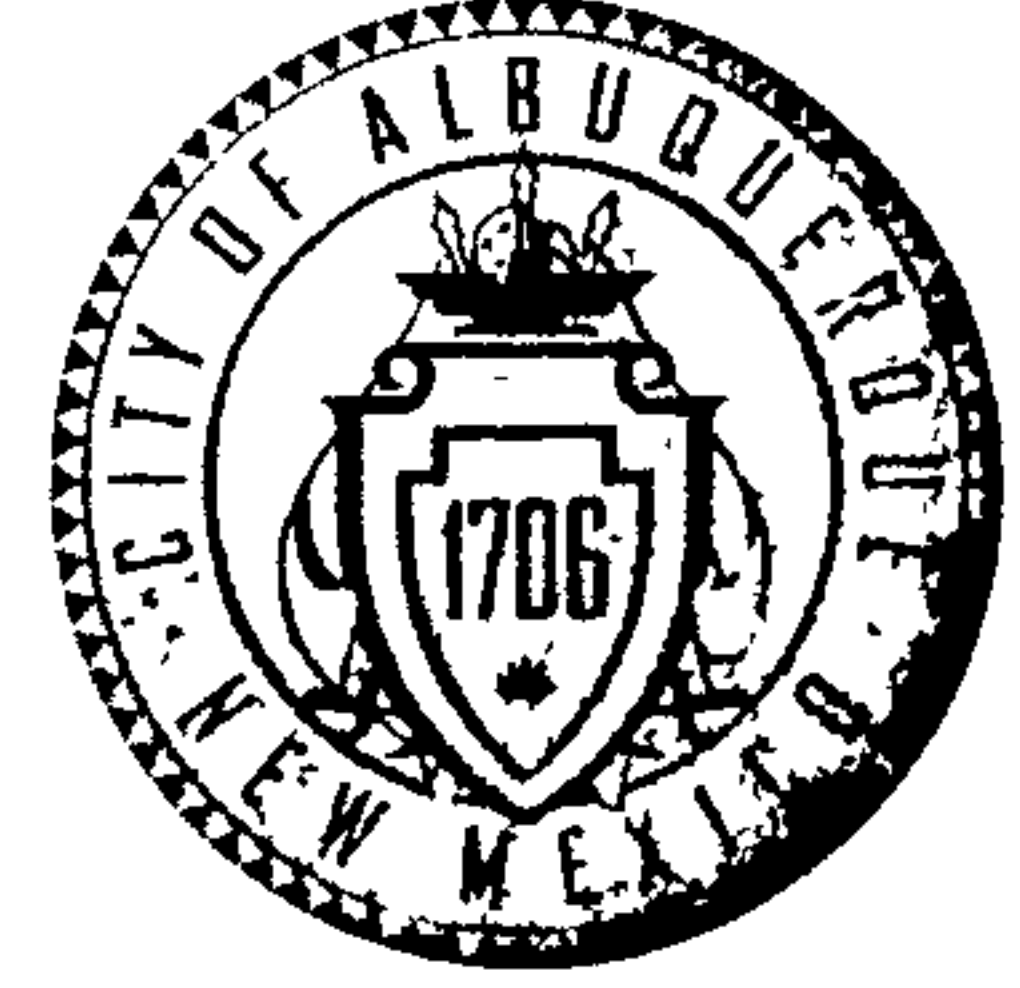
DATE: AUGUST 22, 2007

City Engineer / AMAFCA Designee

505-924-3986

(D-19/D027)

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004622

AGENDA ITEM NO: 7

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

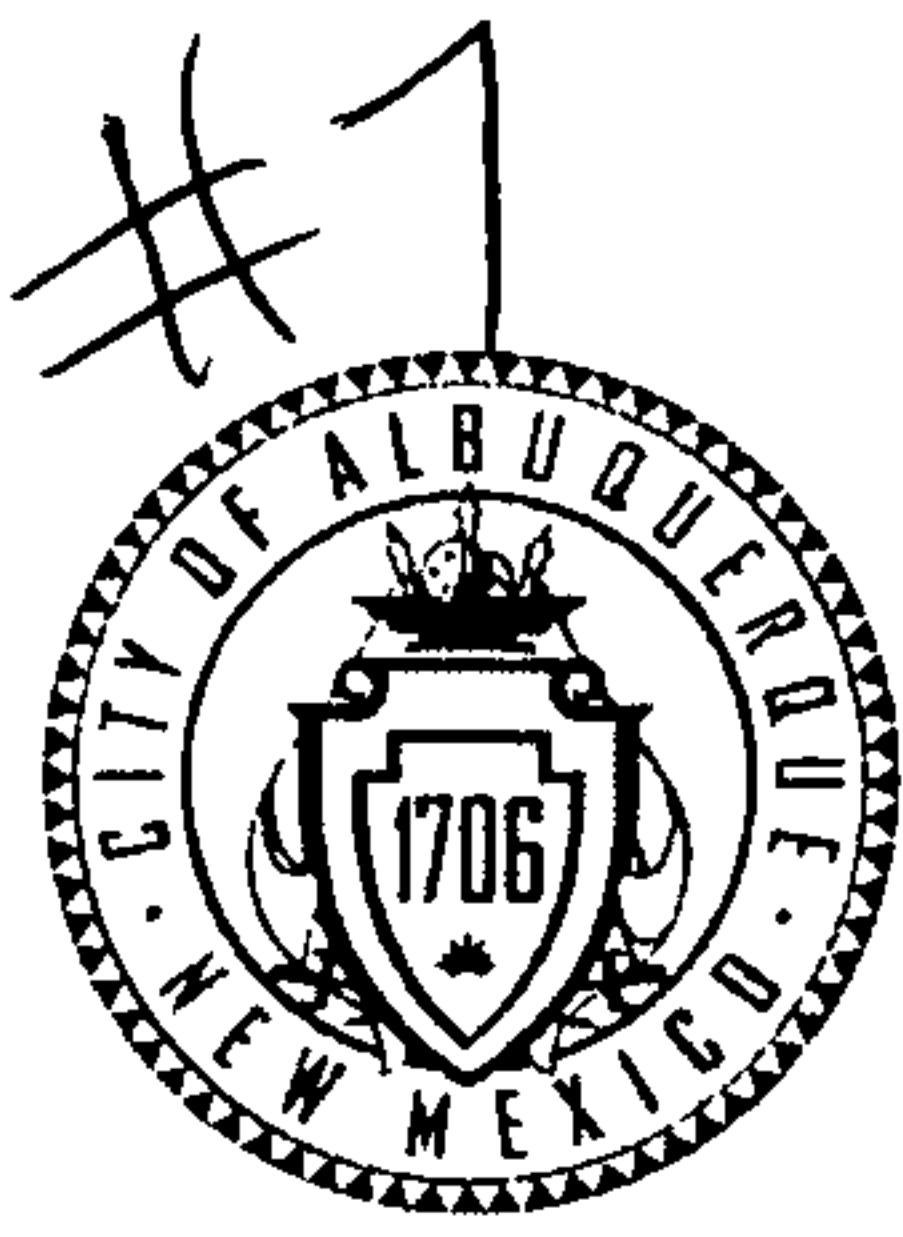
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 20, 2008



**City of Albuquerque
Planning Department
Interoffice Memo**

Date: 21 August 2007

To: Sheran Matson, DRB Chair

From: Russell Brito, Dev. Rvw. Div. Mngr.

A handwritten signature in black ink, appearing to be 'RB' or similar initials, positioned to the right of the 'From:' field.

RE: Project # 1004622

The applicant's agent met with EPC staff to review the site development plan and the EPC conditions of approval. The current DRB submittal appears to meet all EPC conditions of approval.

Please ensure that the elements of Condition #5 are met to the satisfaction of the City Engineer.

Condition #14, replat of the site into one lot, should accompany this site development plan sign-off.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**April 30, 2008
DRB Comments**

ITEM # 12

PROJECT # 1004622

APPLICATION # 08-70195

RE: Lots 15-18, Block 21, Tr A Unit A, North Albuquerque Acres

The following Solar Access Note must be included on the plat:

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

For future reference, please do not identify the property's zoning on the plat.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov

DEBAA

Can be 9/11/06
JMM

APPLICATION NO. L100AA 00868	PROJECT NO. 1004622
PROJECT NAME NEW MEXICO EDUCATOR'S FEDERAL CREDIT UNION	
EPC APPLICATION NO.	
APPLICANT / AGENT GEORGE RINHART ARCH ANTON PATTILO	PHONE NO. 884-9110
ZONE ATLAS PAGE	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
ONE STOP COMMENT FORM LOG	

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
<p>WG 6-14-06 WB 9-14-06</p> <p>THE CITY HAS NOT REVIEWED 4-DRIVE THRU LANES ONLY 3-LANES HAVE BEEN APPROVED</p>		

PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		
<p>JMM 9/11/06</p>		

Revised 3/3/04

(Return form with plat / site plan)

DRB

APPLICATION NO. 06AA00868	PROJECT NO. 1004622
PROJECT NAME NEW MEXICO EDUCATORS FEDERAL CREDIT UNION	
APPLICANT / AGENT ^{GEORGE RAINHART AROFF} ANTON DATTILO	PHONE NO. 884-9110
ZONE ATLAS PAGE D-19	DATE SUBMITTED 06/13/06

ONE STOP CASE TRACKING LOG

(This tracking log is for DRB Delegation Actions / Over the Counter Routing)
(rev. 7/03)

TYPE OF APPROVAL	TRANSP DEV	UTILITY DEV	PARKS & REC	HYD DEV (City Engr)	PLANNING	
					CASE PLANNER	DRB CHAIR
SDP-Building Permit / SDP-Subdivision	F: 6/14/06 D: _____ F: _____ D: _____ A: 9/14/06	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: 06/14/06 D: _____ F: _____ D: _____ A: 9/14/06
Administrative Amendments (AA's)	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	
Minor Plat / Major Final Plat	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____
Vacation-Private Easement	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____	F: _____ D: _____ F: _____ D: _____ A: _____		F: _____ D: _____ F: _____ D: _____ A: _____

Project Number 1004622

First Review- Total City Days	
Second Review- Total City Days	
Third Review- Total City Days	
Subtotal	
Total Number of Developer Days (from back of form)	
Total Days	

6-14-06 Called agent to address transportation comments.
 6-21-06 TONY Spoke w/ AGENT & WE ARE WAITING ON TIS/ FROM AGENT \$5 6-21-06
 9-14-06 Called Anton to pick up approved AA. Jam

*Business Days
 **Pulled by Agent (P)
 F = forwarded
 D = disapproved
 A = approved

PLANS RELEASED TO APPLICANT OR AGENT TO CORRECT REJECTS

Called Applicant: _____	First Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Second Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Third Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

Called Applicant: _____	Fourth Review	Developer Days: _____
Date Released: _____	Date Returned: _____	
Print Name: _____		
Signed: _____		

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form	
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> S	<input type="checkbox"/> Z	ZONING & PLANNING
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Vacation			<input type="checkbox"/> County Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> EPC Submittal
SITE DEVELOPMENT PLAN			<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<input type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/> V		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Building Permit			<input checked="" type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> P		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)			<input type="checkbox"/> Street Name Change (Local & Collector)
STORM DRAINAGE			APPEAL / PROTEST of...
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	<input type="checkbox"/> L	<input type="checkbox"/> A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
	<input type="checkbox"/> D		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: NEW MEXICO EDUCATOR'S FEDERAL CREDIT UNION PHONE: 889 2562
 ADDRESS: 4100 PAN AMERICAN FRWY NE FAX: 998-2680
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: NEW BANK FACILITY List all owners: STERLING DEVELOPMENT CO
 AGENT (if any): GEORGE RAINHART ARCH & ASSOC. PHONE: 884 9110
 ADDRESS: 2325 SAN PEDRO NE SUITE 2B FAX: 837-9817
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: ANTON@GRA-ARCH.COM

DESCRIPTION OF REQUEST: TO ADD FOURTH DRIVE THRU TELLER

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 18 TRACT A Block: 21 Unit: A
 Subdiv. / Addn. NORTH ALBUQUERQUE ACRES
 Current Zoning: SU-2/C-1 Proposed zoning: _____
 Zone Atlas page(s): D-19-2 No. of existing lots: _____ No. of proposed lots: _____
 Total area of site (acres): .886 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 1-019-043-502-495-10515 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: ON PASO DEL NORTE NE
 Between: BARSTOW ST NE and WYOMING BLVD NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plan/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Anton M. Datilo DATE 6/13/06
 (Print) ANTON M DATILO _____ Applicant _____ Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 AA - 00868</u>	<u>AA</u>	<u>P(4)</u>	\$ <u>45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>AA</u>			Total \$ <u>45.00</u>

Sandy Handley 06/13/06 Project # 1004622
 PLANNER SIGNATURE/DATE

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- ___ Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- ___ Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing and justifying the request
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- ___ Infrastructure List, if relevant to the site plan
- ___ Completed Site Plan for Building Permit Checklist
- ___ Solid Waste Management Department signature on Site Plan if relevant
- ___ Blue-line copy of Site Plan with Fire Marshal's stamp
- ___ Copy of the LUCC approval if the site is in an historic overlay zone
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

- Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 1 copy
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of EPC or DRB Notice of Decision (not required for WTF)
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area

- ___ Notifying letter & certified mail receipts addressed to owners of adjacent properties
- ___ Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- ___ Co-location evidence as described in *Zoning Code* §14-16-3-17(A)(5)
- ___ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- ___ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- ___ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- ___ Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- ___ Registered Engineer's stamp on the Site Development Plans
- ___ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

PLEASE NOTE: If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

ANTON M. DATTILO
Applicant name (print)
Anton M. Dattilo
Applicant signature / date



Form revised June 04, October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
016DRB - _____ - 008608
_____-_____-_____
_____-_____-_____

Sandy Handley 06/13/06
Planner signature / date
Project # 1004622

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
AGENT GEORGE RAINHART ARCH & ASSOC
ADDRESS 2325 SAN PEDRO NE STE 2-B
PROJECT & APP # 1004622/06AA00868
PROJECT NAME _____

\$ _____ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ 45.00 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 45.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

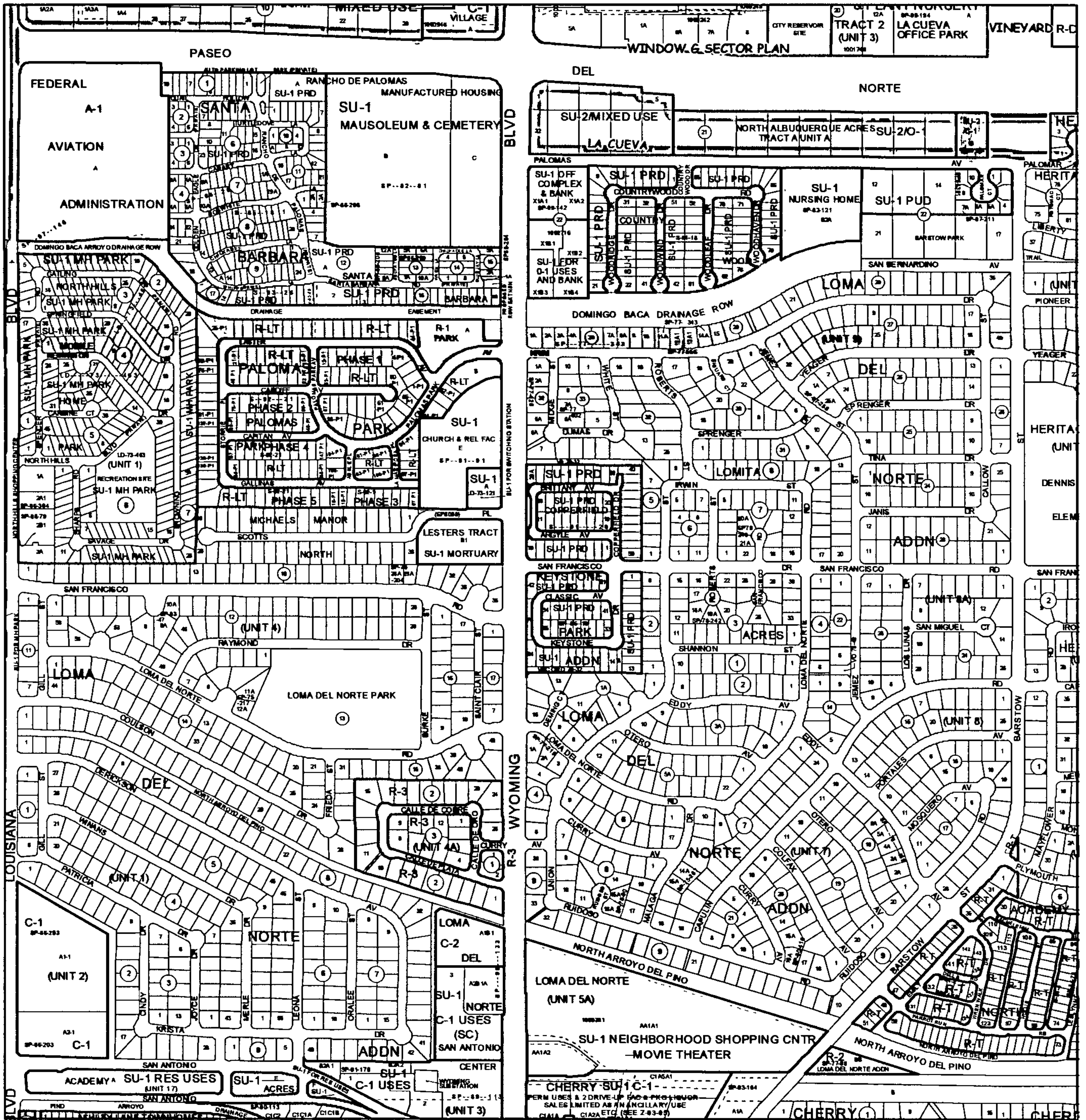
City Of Albuquerque
Treasury Division

6/13/2006 11:13AM LOC: ANNX
RECEIPT# 00061954 WS# 006 TRANSH 0023
Account 441006 Fund 0110
Activity 4971000 TRSEJA
Trans Amt \$45.00
J24 Misc

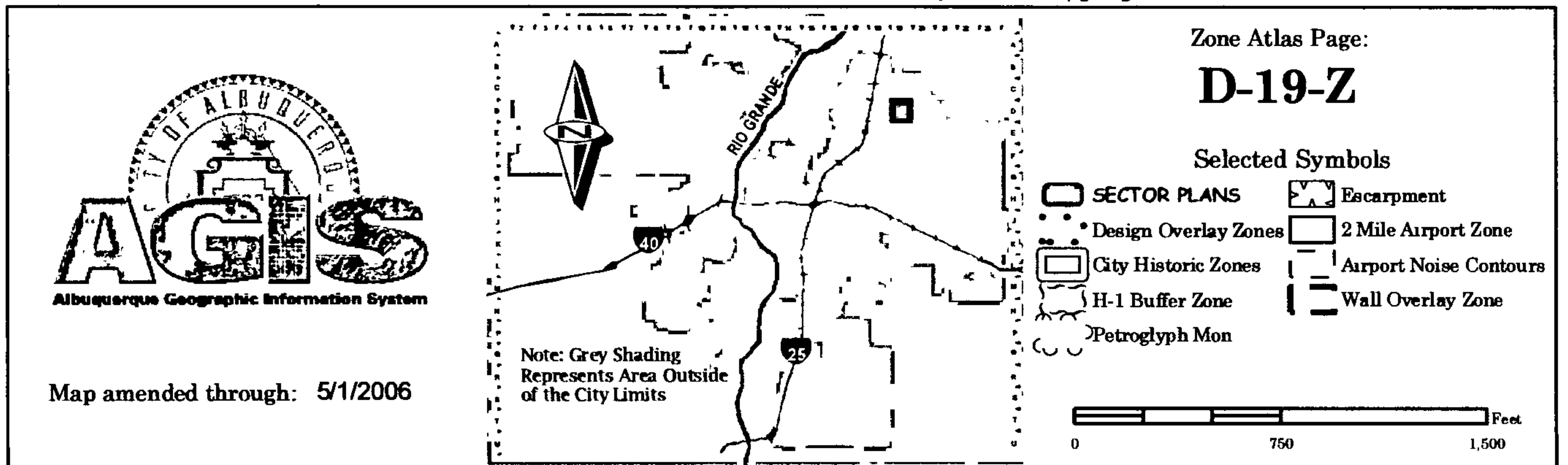
\$45.00

CA \$45.00
CHANGE \$0.00

Thank You



For more current information and more details visit: <http://www.cabq.gov/gis>



June 15, 2006

City of Albuquerque
600 Second St.
Albuquerque, NM 87102

**Re: Administrative Amendment for
New Mexico Educator's Federal Credit Union
Southwest corner of Paseo del Norte and Barstow NE**

To Whom It May Concern:

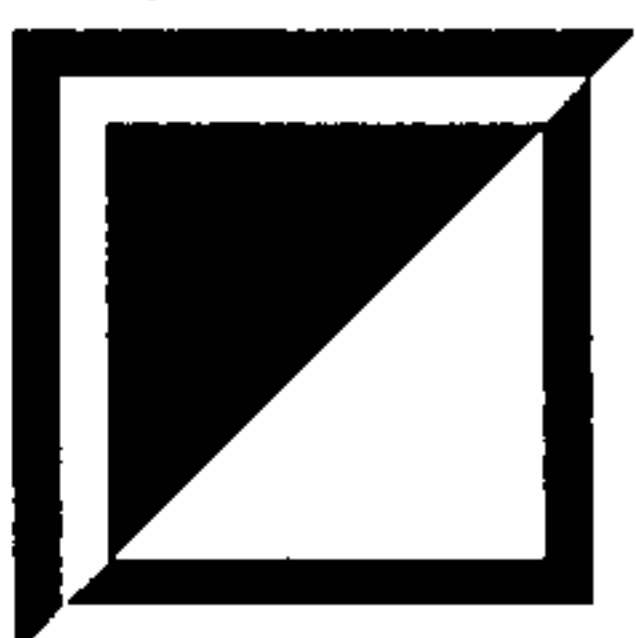
The attached DRB Site Plan for Building Permit approved has not received the Traffic and City Engineers signatures. These departments have approved this Site Plan and agreed to sign when the SIA is completed. The SIA is to be submitted in conjunction with this Administrative Amendment submittal.

If you have any questions or concerns about this proposed please do not hesitate to call me (505) 884-9110 extension 109.

Sincerely,

George Rainhart Architects and Associates


Anton Dattilo
Project Manager



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

June 15, 2006

City of Albuquerque
600 Second St.
Albuquerque, NM 87102

**Re: Administrative Amendment for
New Mexico Educator's Federal Credit Union
Southwest corner of Paseo del Norte and Barstow NE**

To Whom It May Concern:

We herewith wish to submit an application to the City of Albuquerque for Administration Amendment to an approved Site Development Plan for review and possible approval.

The proposed project is located on Paseo del Norte, between Barstow NE and Wyoming NE. The legal for all or a portion of Block 21, Lot 18, Tract a, Unit A, North Albuquerque Acres, Albuquerque Bernalillo County, New Mexico.

The requested change is to add a fourth Drive-thru Teller lane to the proposed 5,000 Square Foot Banking Facility (New Mexico Educators Federal Credit Union).

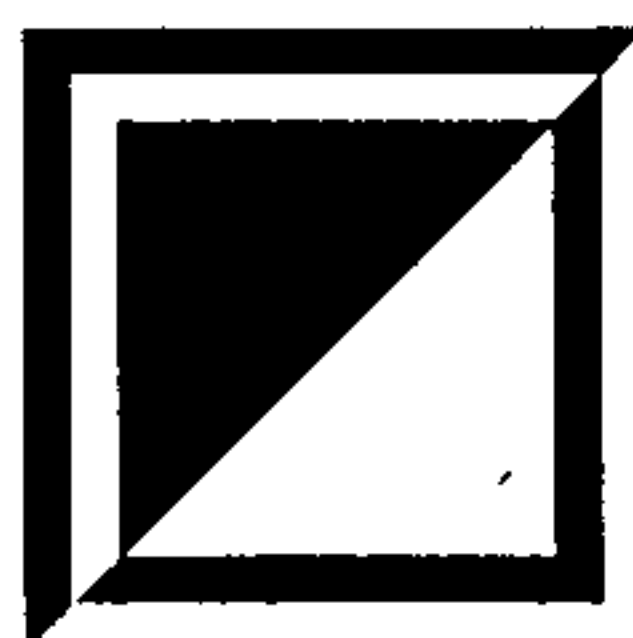
After completing the traffic impact studies there was no significant impact to the trip generation data. This study was not completed with significant time to analyze the data to justify four drive-thru teller lanes when submitted for EPC and DRP approvals. The credit union facility desires to add the fourth lane to better service the clientele in a timely fashion and feel that this is not cause an increase in traffic volume.

If you have any questions or concerns about this proposed please do not hesitate to call me (505) 884-9110 extention109.

Sincerely,

George Rainhart Architects and Associates


Anton Dattilo
Project Manager



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com



**NEW MEXICO
EDUCATORS
FEDERAL CREDIT UNION**

Discover the Credit Union...Difference.

June 12, 2006

City of Albuquerque
Planning Department
600 Second Street
Albuquerque, NM 87102

Re: Administrative amendment for Southwest corner of Barstow and Paseo Del Norte

To Whom It May Concern:

Please note George Rainhart Architects and Associates P.C. are authorized to submit the site plan for approval of a 4th drive-thru teller lane at the captioned location on behalf of New Mexico Educators Federal Credit Union.

If you should have any questions please do not hesitate to contact our office. Thank you.

Sincerely,

Michael Buehler, Vice President, Senior Analyst
New Mexico Educators Federal Credit Union

April 10, 2006

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

**Re: OFFICAL NOTICE OF DECISION (February 16, 2006)
Condition corrections
New Mexico Educators Federal Credit Union**

Project Summary:

Project No. 1004622*

06EPC-00018 Zone Map Amendment

06EPC-00020 EPC Sector Development Plan

06EPC-00021 EPC Site Development Plan-Building Permit

LEGAL DESCRIPTION: for all or a portion of Block 21, Lot 18, Tract A, Unit A, **North Albuquerque Acres**, a zone map amendment from SU-2/o-1 to SU-2/C-1, locates PASEO DEL NORTE NE, between BARSTOW NE and WYOMING NE, containing approximately 1 acre. (D-19) Catalina Lehner, Staff Planner

Conditions:

Item no. 1. A letter shall accompany the submittal, specifying all modifications that have been made prior to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions.

Responses: This is to serve as the requested letter.

Item no. 2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that the conditions of approval are adequately met.

Responses: Anton Dattilo met with Catalina Lehner (Staff Planner) Tuesday 4 April 2006.

Item no. 3. The following proposed conditions are intended to address the La Cueva Sector Development Plan Design Regulations that the proposed does not fully meet:

- a. 5R-7: Architectural Character, Non-Residential Buildings. The entrances (both door and storefront) shall be more articulated so that they are clear defined and highly visible.

- b. 13R-1: Signage. A detail of the building-mounted signs, with information regarding colors and materials, shall be provided.
- c. 13R-7: Signage. A note shall be added to the site plan stating that the lighting on the monument sign and building-mounted signs will not change in brightness.
- d. 14R-2: Lighting. A note shall be added to the site plan to ensure that all outdoor fixtures will have automatic timers.

Responses: a. this has been addressed with canopies, window recesses and pilaster articulations.

b. a note has been added on sheet A2-1 (clouded) which comments black in color with anodized aluminum and Back lit. The background color will match the building.

c. a note has been added to sheet AS1 under BUILDING SIGNAGE (clouded).

d. a note has been added to sheet AS1 under LIGHTING (clouded).

Item no. 4. The following proposed conditions are intended to address the La Cuerva Development Plan Design Regulations that the proposal clearly does not meet:

- a. 4R-2: Non-Residential Building Orientation. Landscaping shall be provided on the south side of the building, which faces Palomas Avenue NE.
- b. 13R-9 Signage. The Logo designs shall not exceed two feet in height or width.

Response: a. on the site plan sheet AS1 four landscape areas (note 6, clouded) have been added and on the Landscape Plan 4-New Mexico Olives had been added (clouded).

b. the elevations sheet A2-1 all wall mounted Logo signs have been corrected to 2'-0" x 2'-0" and dimensioned as such.

Item no. 5. The note referencing 20 feet for commercial light poles shall be removed from the site plan.

Response: On the site plan detail 7 sheet AS1 this note has been removed.

Item no. 6. Keyed Note # 15 shall be changed to indicate that the garden wall is six feet high.

Response: On sheet AS1 Note# 15 has been corrected to read 6'-0" high (clouded).

Item no. 7. The applicant shall work with Solid Waste Management Division (SWMD) regarding dumpster location since the layout was reconfigured after the agency comment period.

Response: This will be reviewed and approved Thursday April 6, 2006.

Item no. 8. Bollards for the refuse enclosure shall be located outside the enclosure wall.

Response: This correction appears on sheet AS1.

Item no. 9. The applicant shall work with the Traffic Engineering regarding provisions of striping and or one-way signage on the western drive isle.

Response: See below.

Item no. 10. A crosswalk, made of textured colored concrete, shall connect the building and the walkway.

Response: Reference site plan sheet AS1 KEYED NOTES # 2.

Item no. 11. The following note shall be deleted from the landscape plan: “Final landscaping layout and design to be determined upon receipt of final grading plan.

Response: This note has been deleted from the landscape plan.

Item no. 12. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY AND NMDOT: Conditions of approval for the proposed Sector Development Plan, Zone Map Amendment and Site Development Plan for Building Permit shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructures constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441)
- b. Label ATM lane and location adjacent to drive through lanes.
- c. Label outside lane as by-pass lane and locate adjacent to ATM lane.
- d. Change square footage of lease space to 1,500 square feet.
- e. Queuing analysis required to determine length of drive through lanes and their location (i.e. no queuing in Palomas). The drive through lanes may need to be located on the east side or north side of building depending on the results (building would need to be oriented accordingly).
- f. East site drive –shift sidewalk east to property line (28'+drive o.k. and desired).
- g. West site drive – may need to shift east or share with previously approved site drive for retirement complex to west depending on its location (28'+ drive o.k. and desirable).
- h. 22' drive aisle adjacent to building will need to be striped and signed for one way operation.
- i. Site plan shall comply and be designed per DPM Standards.

- j. A statement from the Fire Marshall's Office must be presented to Utility Department for verification of system adequacy.

Response: Most of these have been addressed prior to EPC by locating the drive through to the north, reorienting the building and eliminating the ATM from the exterior location. The other comments are address on the site plan sheet AS1 or will be complied with the mention Department.

- j. Has been approved and signed off Thursday April 6, 2006.

Item no 13. The ATM will not operate on a twenty four hour basis and will be located internally.

Response: As per commitment to the neighborhood associations. The ATM shall only be open for use during business hours.

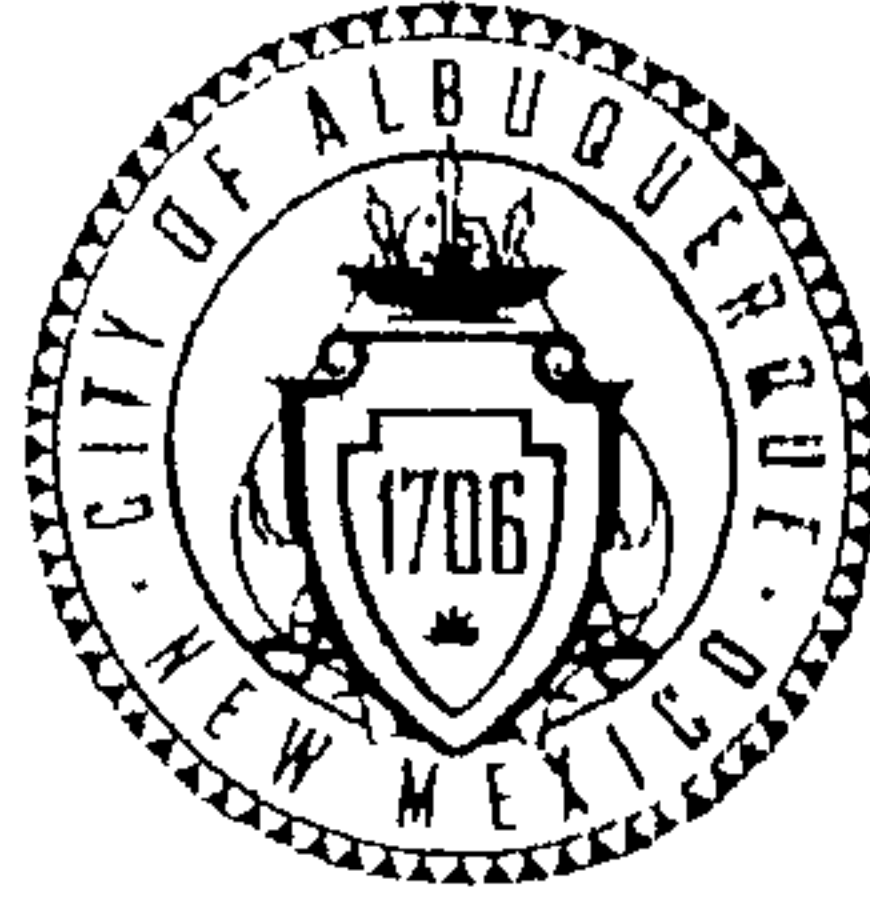
Addition to the conditions as agreed to with the Neighborhood Associations a vehicle speed bump and exit stoop signs have been added, reference notes 18 and 19 on the site plan sheet AS1.

- There will be no signage on the south elevation to conform to the La Cueva Sector Development Plan.
- The lease space must respect existing neighborhood values when leased.

Sincerely,

George Rainhart Architects and Associates

Anton M. Dattilo
Project Manager



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: February 16, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004622***
06EPC-00018 Zone Map Amendment
06EPC-00020 EPC Sector Development Plan
06EPC-00021 EPC Site Development Plan-
Building Permit

New Mexico Educators Federal Credit Union
100 Pan American Frwy NE
Albuq. NM 87198

LEGAL DESCRIPTION: for all or a portion of Block 21, Lot 18, Tract A, Unit A, **North Albuquerque Acres**, a zone map amendment from SU-2/O-1 to SU-2/C-1, located on PASEO DEL NORTE NE, between BARSTOW NE and WYOMING NE, containing approximately 1 acre. (D-19) Catalina Lehner, Staff Planner

On February 16, 2006 the Environmental Planning Commission voted to approve Project 1004622/ 06EPC 00020, a Sector Development Plan Amendment for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, zoned SU-2/O-1, based on the following Findings:

FINDINGS:

1. This three-part proposal consists of a request for a zone map amendment, a corresponding sector development plan amendment and a site development plan for building permit. The sector plan amendment is dependent upon the zone map amendment request.
2. This request is for an amendment to the zoning map (Exhibit 4) of the La Cueva Sector Development Plan, for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, located on Palomas Ave NE, between Barstow & Wyoming, just south of Paseo Del Norte Blvd., approximately 0.89 acre.
3. The subject site lies within the boundaries of the La Cueva Sector Development Plan (LCSDP), which established most of the area's zoning upon its adoption in 2000.
4. The proposal *further*s the intent of the following Comprehensive Plan policies:
 - Policy II.B.5a-full range of urban land uses, because the proposed development would be located in an area characterized by land use variety.

- Policy II.B.5e-programmed facilities/neighborhood integrity, because the use of existing facilities and services is not likely to compromise neighborhood integrity.
 - Policy II.B.5i: Employment/service use location. By locating the drive-thru lanes away from nearby residences, this commercial use is sited to minimize the effects of noise and traffic.
5. The proposal *mostly furthers* the intent of the following Comprehensive Plan policies:
- Policy II.B.5l-design quality/innovation. The proposed building is appropriate for the area in terms of color and design, though the design is not particularly innovative.
 - Policy II.B.5d-neighborhood values/natural environmental conditions. The location, intensity and design of new development shall respect existing neighborhood values and environmental conditions. The proposed design is appropriate and the use is moderately intense, but the location is challenging in terms of access.
6. The proposal *conflicts* with the following Comprehensive Plan policy and goal:
- Policy II.B.5j-location of new commercial development, because the subject site is not in a small-neighborhood center or larger area shopping center.
 - Goal 7-Activity Centers. The development would not be located within a designated Activity Center and therefore does not strengthen concentrations of mixed-land use and economic activities with the Centers.
7. Regarding the Guiding Land Use Principles in the La Cueva Sector Development Plan (LCSDP), the proposal:
- *Furthers* Principles 2 and 9 because the Plan area is intended to be urban with a variety of businesses and the proposed design is appropriate.
 - *Partially furthers* Principle 5. This urban use will be located close to Paseo del Norte, but cannot be accessed from it.
 - *Partially conflicts* with Principle 8 because it is possible that the tower may obstruct some views.
8. Per Resolution 270-1980, the applicant must provide sound justification for a zone change. Principal justification is changed neighborhood and community conditions. Recent EPC approvals in the area have contributed to a mix of commercial and office uses.
9. The applicant has done a satisfactory job of demonstrating that the proposal is not in significant conflict with adopted elements of the Comprehensive Plan and the La Cueva Sector Development Plan (LCSDP). He has developed an adequate nexus between the policies he cited and the zone change request.
10. The applicant states that the proposed credit union will not be harmful because it is close to an O-1 use. However, the Zoning Code clearly distinguishes between O-1 banking and C-1 banking. The perceived magnitude of a zone change is not a useful argument for justifying a zone change.

11. The applicant uses applicable policies to demonstrate that the proposal is consistent with the City's health, safety, morals and general welfare, and that it will help create land use stability in the area. Staff finds the explanation acceptable.
12. Overall, the applicant has done a satisfactory job of substantiating the zone change request. The nexus with relevant policies is acceptable and the arguments made with respect to R270-1980 provide adequate justification.
13. The five affected Neighborhood Associations have expressed general support for the proposal and have worked with the applicant to address their concerns.
14. This request should not be considered a precedent or a changed condition for future zone change requests to SU-2 for C-1 in the area.
15. Parcels to the north and east are Bernalillo County right-of-way.

On February 16, 2006 the Environmental Planning Commission voted to approve Project 1004622/06EPC 00018, a request for a zone map amendment from SU-2/O-1 to SU-2/C-1 for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, based on the following Findings.

FINDINGS:

1. This request is for a zone map amendment from SU-2/O-1 to SU-2/C-1 for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, located on Palomas Ave NE, between Barstow & Wyoming, just south of Paseo Del Norte Blvd., approximately 0.89 acre.
2. The applicant proposes to construct a 5,000 square foot building containing a 3,000 square foot credit union and a 1,500 square foot leasable space. The accompanying sector development plan amendment and site development plan for building permit requests are dependent upon the zone map amendment request.
3. The subject site lies within the boundaries of the La Cueva Sector Development Plan.
4. The proposal *further*s the intent of the following Comprehensive Plan policies:
 - Policy II.B.5a-full range of urban land uses, because the proposed development would be located in an area characterized by land use variety.
 - Policy II.B.5e-programmed facilities/neighborhood integrity, because the use of existing facilities and services is not likely to compromise neighborhood integrity.

- Policy II.B.5i: Employment/service use location. By locating the drive-thru lanes away from nearby residences, this commercial use is sited to minimize the effects of noise and traffic.
5. The proposal *mostly furthers* the intent of the following Comprehensive Plan policies:
 - Policy II.B.5l-design quality/innovation. The proposed building is appropriate for the area in terms of color and design, though the design is not particularly innovative.
 - Policy II.B.5d-neighborhood values/natural environmental conditions. The location, intensity and design of new development shall respect existing neighborhood values and environmental conditions. The proposed design is appropriate and the use is moderately intense, but the location is challenging in terms of access.
 6. The proposal *conflicts* with the following Comprehensive Plan policy and goal:
 - Policy II.B.5j-location of new commercial development, because the subject site is not in a small-neighborhood center or larger area shopping center.
 - Goal 7-Activity Centers. The development would not be located within a designated Activity Center and therefore does not strengthen concentrations of mixed-land use and economic activities with the Centers.
 7. Regarding the Guiding Land Use Principles in the La Cueva Sector Development Plan (LCSDP), the proposal:
 - *Furthers* Principles 2 and 9 because the Plan area is intended to be urban with a variety of businesses and the proposed design is appropriate.
 - *Partially furthers* Principle 5. This urban use will be located close to Paseo del Norte, but cannot be accessed from it.
 - *Partially conflicts* with Principle 8 because it is possible that the tower may obstruct some views.
 8. Per Resolution 270-1980, the applicant must provide sound justification for a zone change. Principal justification is changed neighborhood and community conditions. Recent EPC approvals in the area have contributed to a mix of commercial and office uses.
 9. The applicant has done a satisfactory job of demonstrating that the proposal is not in significant conflict with adopted elements of the Comprehensive Plan and the La Cueva Sector Development Plan (LCSDP). He has developed an adequate nexus between the policies he cited and the zone change request.
 10. The applicant states that the proposed credit union will not be harmful because it is close to an O-1 use. However, the Zoning Code clearly distinguishes between O-1 banking and C-1 banking. The perceived magnitude of a zone change is not a useful argument for justifying a zone change.
 11. The applicant uses applicable policies to demonstrate that the proposal is consistent with the City's health, safety, morals and general welfare, and that it will help create land use stability in the area. Staff finds this explanation acceptable.

12. Overall, the applicant has done a satisfactory job of substantiating the zone change request. The nexus with relevant policies is acceptable and the arguments made with respect to R270-1980 provide adequate justification.
13. The five affected Neighborhood Associations have expressed general support for the proposal and have worked with the applicant to address their concerns.
14. This request should not be considered a precedent or a changed condition for future zone change requests to SU-2 for C-1 in the area.
15. Parcels to the north and east are Bernalillo County right-of-way.

On February 16, 2006 the Environmental Planning Commission voted to approve Project 1004622/06EPC 00021, a Site Development Plan for Building Permit for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, zoned SU-2/C-1, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, an approximately 0.89 acre site located on Palomas Ave NE, between Barstow & Wyoming, just south of Paseo Del Norte Blvd..
2. The applicant proposes to construct a 5,000 square foot building containing a 3,000 square foot credit union and a 1,500 square foot leasable space. The accompanying site development plan for building permit request is dependent upon the zone map amendment request.
3. The subject site lies within the boundaries of the La Cueva Sector Development Plan.
4. The proposal *further*s the intent of the following Comprehensive Plan policies:
 - Policy II.B.5a-full range of urban land uses, because the proposed development would be located in an area characterized by land use variety.
 - Policy II.B.5e-programmed facilities/neighborhood integrity, because the use of existing facilities and services is not likely to compromise neighborhood integrity.
 - Policy II.B.5i: Employment/service use location. By locating the drive-thru lanes away from nearby residences, this commercial use is sited to minimize the effects of noise and traffic.

12. The five affected Neighborhood Associations have expressed general support for the proposal and have worked with the applicant to address their concerns.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed. *TUESDAY APRIL 4, 2006 230PM.*
3. The following proposed conditions are intended to address the La Cueva Sector Development Plan Design Regulations that the proposal *does not fully meet*:
 - a. 5R-7: Architectural Character, Non-Residential Buildings. The customer entrances (both door and storefront) shall be more articulated so that they are clearly defined and highly visible.
 - ✓ b. 13R-1: Signage. A detail of the building-mounted signs, with information regarding colors and materials, shall be provided.
 - ✓ c. 13R-7: Signage. A note shall be added to the site plan stating that lighting on the monument sign and building-mounted signs will not change brightness.
 - ✓ d. 14R-2: Lighting. A note shall be added to the site plan to ensure that all outdoor light fixtures will have automatic timers.
- ✓ 4. The following proposed conditions are intended to address the La Cueva Sector Development Plan Design Regulations that the proposal *clearly does not meet*:
 - ✓ a. 4R-2: Non-Residential Building Orientation. Landscaping shall be provided on the south side of the building, which faces Palomas Avenue NE.
 - ✓ b. 13R-9: Signage. The logo designs shall not exceed two feet in height or width. *7 5 7 5*
- ✓ 5. The note referencing 20 feet for commercial light poles shall be removed from the site plan.
- ✓ 6. Keyed Note #15 shall be changed to indicate that the garden wall is six feet high.
7. The applicant shall work with the Solid Waste Management Division (SWMD) regarding dumpster location since the layout was reconfigured after the agency comment period.

5. The proposal *mostly furthers* the intent of the following Comprehensive Plan policy:
 - Policy II.B.5l-design quality/innovation. The proposed building is appropriate for the area in terms of color and design, though the design is not particularly innovative.
 - Policy II.B.5d-neighborhood values/natural environmental conditions. The location, intensity and design of new development shall respect existing neighborhood values and environmental conditions. The proposed design is appropriate and the use is moderately intense, but the location is challenging in terms of access.
6. The proposal *conflicts* with the following Comprehensive Plan policy and goal:
 - Policy II.B.5j-location of new commercial development, because the subject site is not in a small-neighborhood center or larger area shopping center.
 - Goal 7-Activity Centers. The development would not be located within a designated Activity Center and therefore does not strengthen concentrations of mixed-land use and economic activities with the Centers.
7. Regarding the Guiding Land Use Principles in the La Cueva Sector Development Plan (LCSDP), the proposal:
 - *Furthers* Principles 2 and 9 because the Plan area is intended to be urban with a variety of businesses and the proposed design is appropriate.
 - *Partially furthers* Principle 5. This urban use will be located close to Paseo del Norte, but cannot be accessed from it.
 - *Partially conflicts* with Principle 8 because it is possible that the tower may obstruct some views.
8. The proposed site plan generally meets the intent of the LCSDP design regulations, but *does not fully comply* with the following:
 - 5R-7: Architectural Character, Non-Residential Buildings
 - 13R-1: Signage
 - 13R-7: Signage
 - 14R-2: Lighting
9. The proposed site plan *clearly does not comply* with the following LCSDP design regulations:
 - 4R-2: Non-Residential Building Orientation
 - 13R-9: Signage
10. A full Traffic Impact Study (TIS), including the required queuing analysis, has been completed. TIS results indicate that the proposed development will present no significant adverse impact on the adjacent transportation system provided the recommendations are followed.
11. The submittal will comply with applicable policies and regulations with the modifications outlined in the recommended conditions of approval.

8. Bollards for the refuse enclosure shall be located outside of the enclosure wall.
9. The applicant shall work with Traffic Engineering regarding provision of striping and/or "one-way" signage on the western drive aisle.
10. A crosswalk, made of textured colored concrete, shall connect the building and the walkway.
11. The following note shall be deleted from the landscape plan "Final landscaping layout and design to be determined upon receipt of final grading plan".
12. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Sector Development Plan, Zone Map Amendment and Site Development Plan for Building Permit shall include
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - ~~b. Label ATM lane and locate adjacent to drive through lanes.~~
 - ~~c. Label outside lane as by-pass lane and locate adjacent to ATM lane.~~
 - d. Change square footage of lease space to 1500 square feet.
 - e. Queuing analysis required to determine length of drive through lanes and their location (i.e. no queuing in Palomas). The drive through lanes may need to be located on the east side or north side of building depending on the results (building would need to be oriented accordingly).
 - f. East site drive - shift sidewalk east to property line (28' + drive o.k. and desirable).
 - g. West site drive - may need to shift east or share with previously approved site drive for retirement complex to west depending on its location (28+ drive o.k. and desirable).
 - h. 22' drive aisle adjacent to building will need to be striped and signed for one-way operation.
 - i. Site plan shall comply and be designed per DPM Standards.
 - j. A statement from the Fire Marshal's Office must be presented to Utility Development for verification of system adequacy.
13. The ATM will not operate on a twenty-four hour basis and will be located internally.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 3, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

OFFICIAL NOTICE OF DECISION

FEBRUARY 16, 2006

PROJECT #1004622

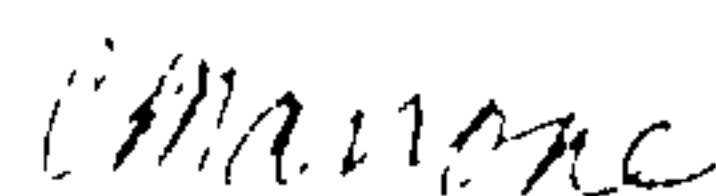
PAGE 8 OF 8

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as defined in the Merit System Ordinance, the next working day is considered as the deadline for filing an appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, must be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH FIRST AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions of the Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generalists plan approval is terminated 7 years after approval by the EPC

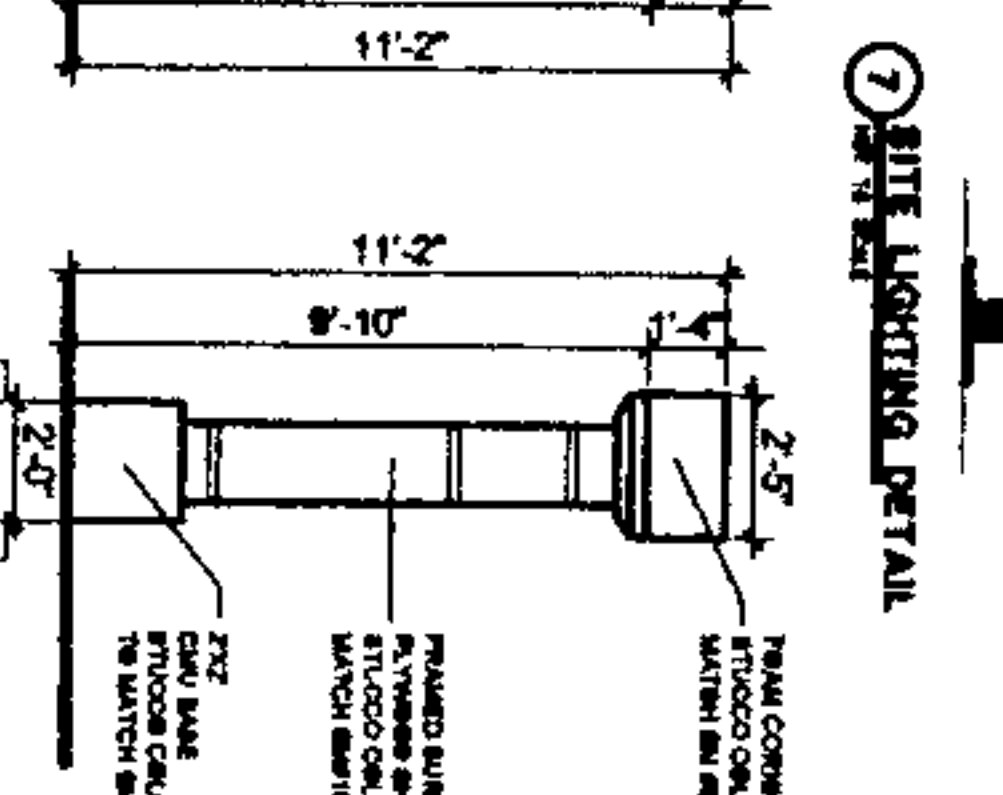
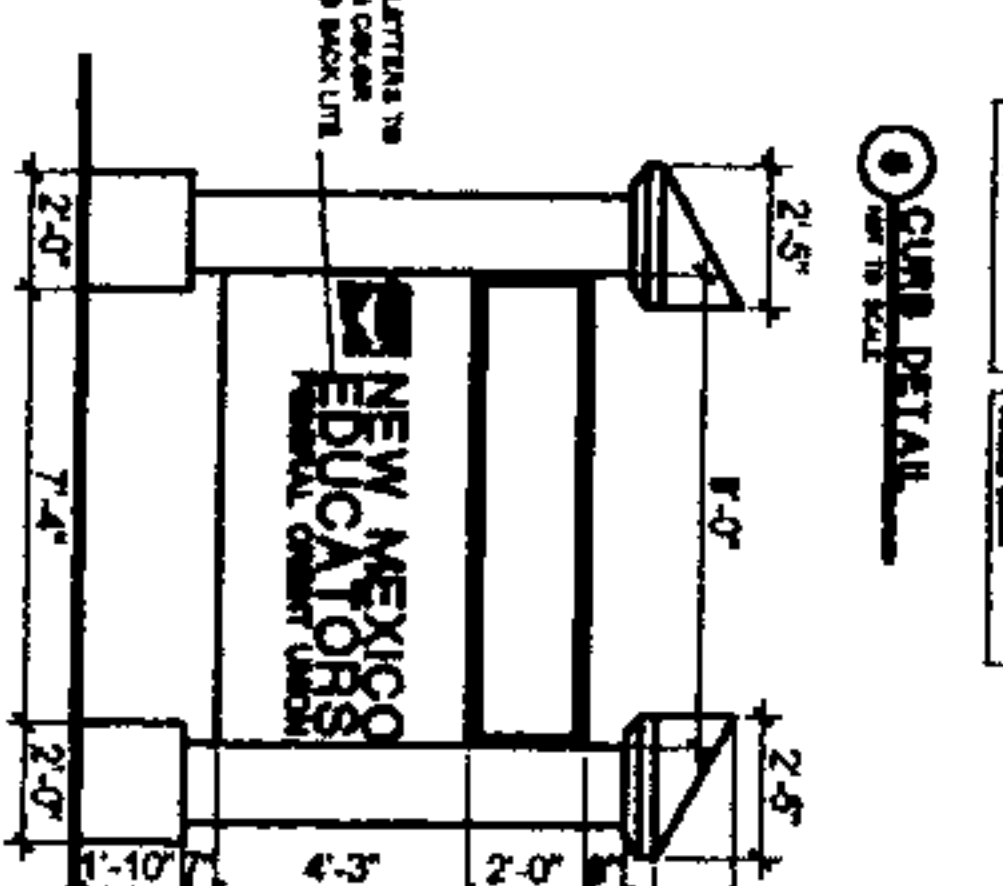
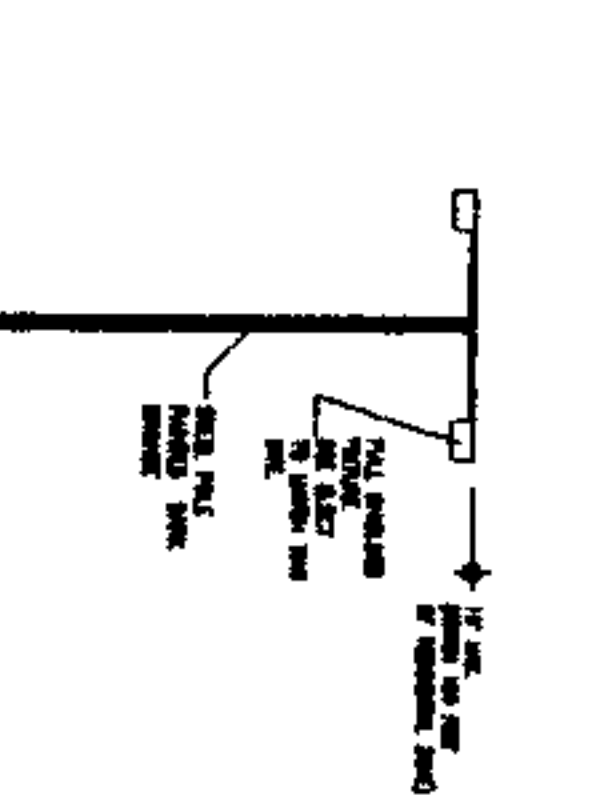
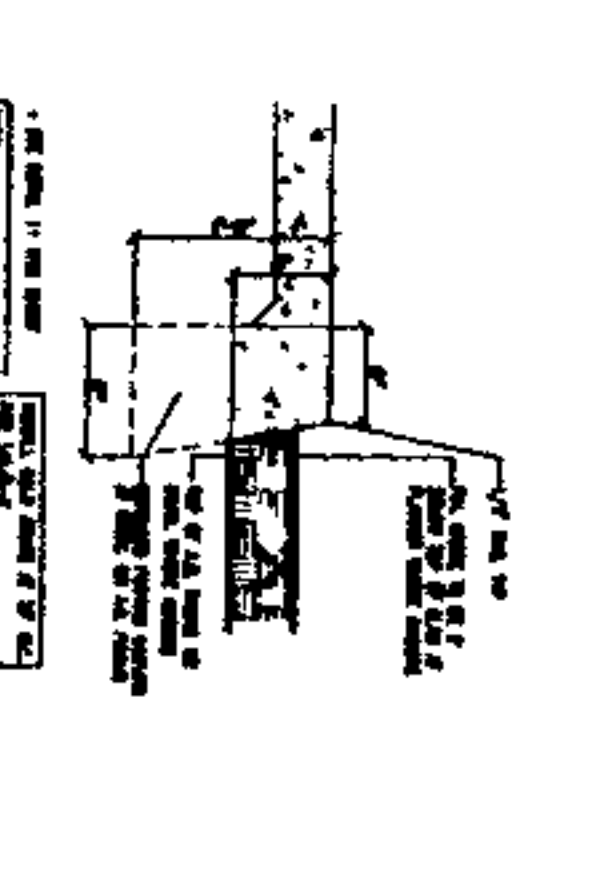
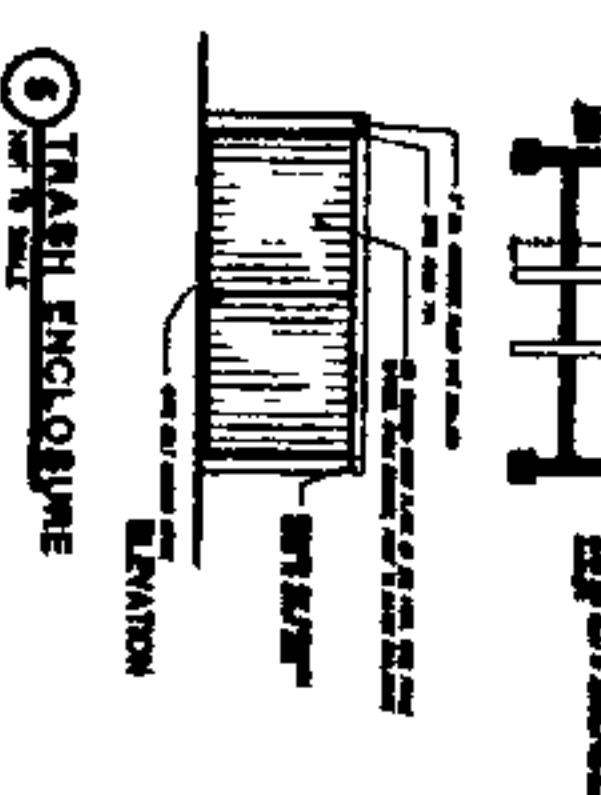
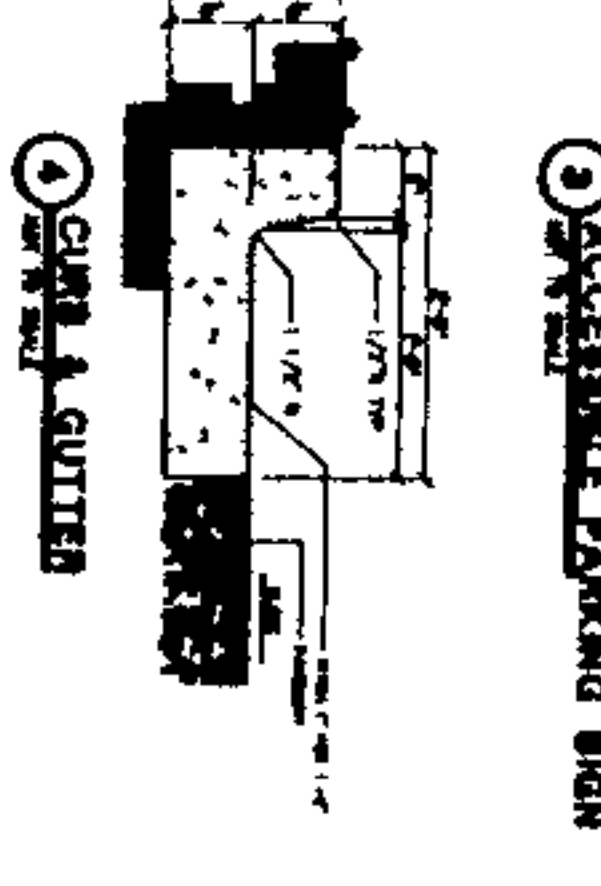
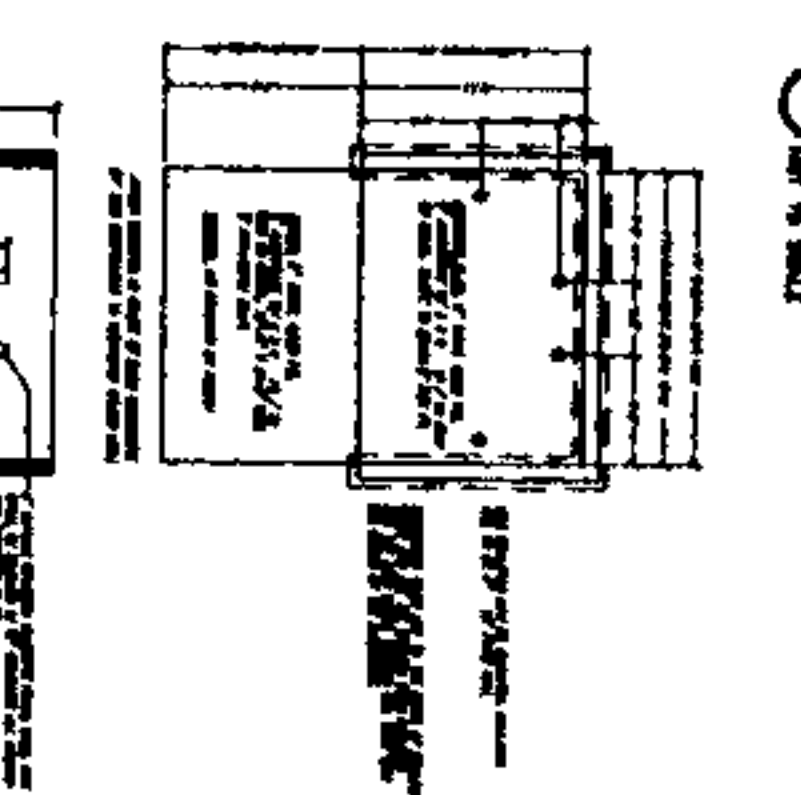
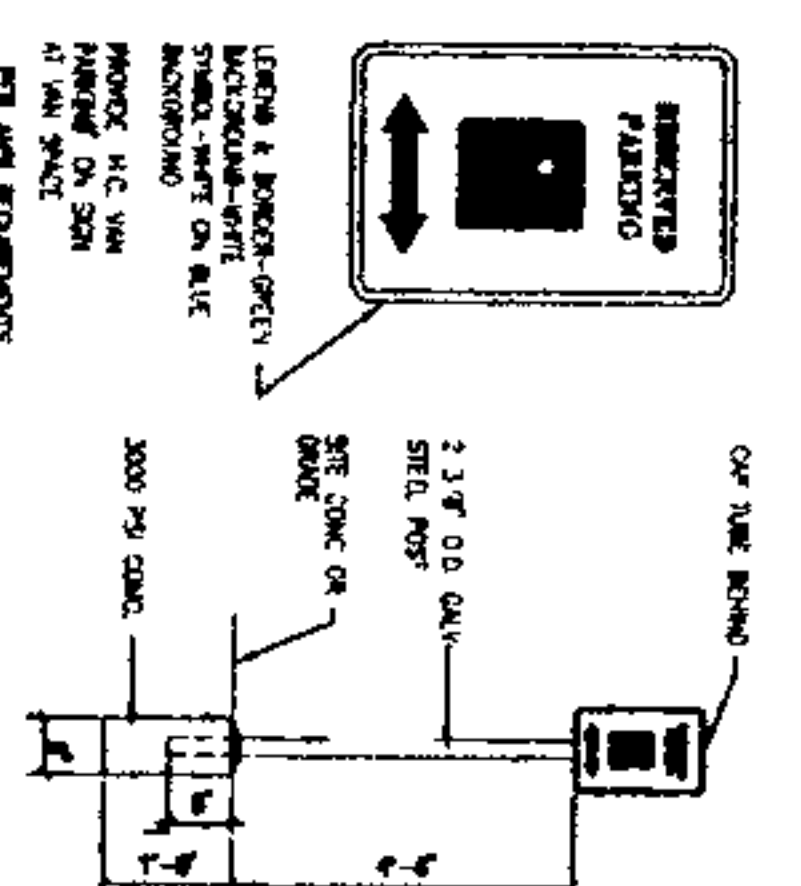
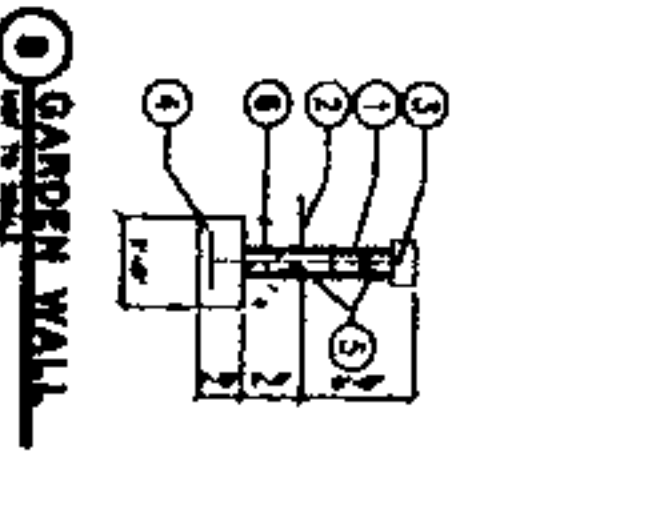
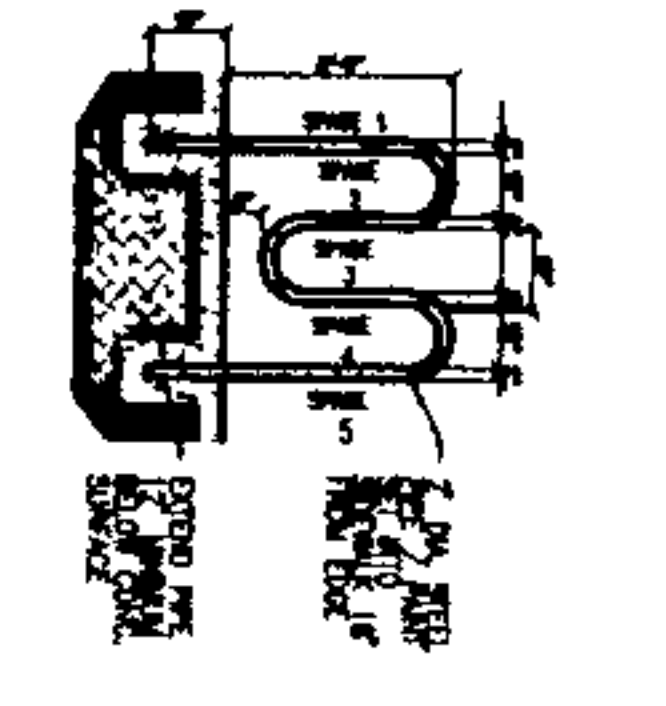
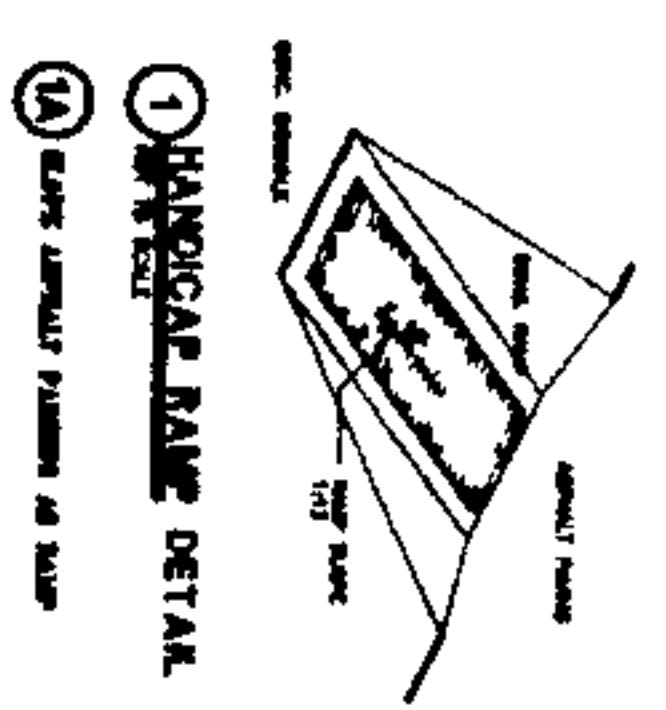
Sincerely,



for Richard Dineen
Planning Director

RD/CL/ac

cc: George Ramhart Architect & Assoc., 2325 San Pedro NE, Albuquerque, NM 887110
Mark Smith, Countrywood Area NA, 7916 Woodleaf Dr. NE, Albuquerque, NM 87109
Fred Schwab, Countrywood Area NA, 7912 Woodwind Dr. NE, Albuquerque, NM 87109
Peggy Carnett, Heritage Hills NA, 8904 San Francisco NE, Albuquerque, NM 87109
Pat Roehm, Heritage Hills NA, 8913 Rough Rider NE, Albuquerque, NM 87109
Lelan McGranahan, Nor Este Na, 7600 Rio Guadalupe NE, Albuquerque, NM 87122
Joe Yardumian, Nor Este NA, 7801 RC Gorman Ave. NE, Albuquerque, NM 87122
Doug Fenton, North Wyoming NA, 7408 Sulky NE, Albuquerque, NM 87109
Dawne Settecerri, North Wyoming NA, 7704 White NE, Albuquerque, NM 87109
Pat Verrelle, Vineyard Estates NA, 8415 Vintage Dr. NE, Albuquerque, NM 87122
Keith Coulter, Vineyard Estates NA, 8500 Vina Del Sol NE, Albuquerque, NM 87122
Lance DeYoung, 7920 Palomar Ct. NE, Albuquerque, NM 87109
Lana Hutchison, 7908 Palomar Ct. NE, Albuquerque, NM 87109
Jim Greenslate, 7920 Woodwind Dr. NE, Albuquerque, NM 87109
Tippy Sneddon, 7916 Woodwind NE, Albuquerque, NM 87109



CODE REFERENCES

MECHANICAL CODE: 2007
 ELECTRICAL CODE: 2007
 ACCESSIBILITY CODE: 2007
 FIRE CODE: 2007

CODE DATA

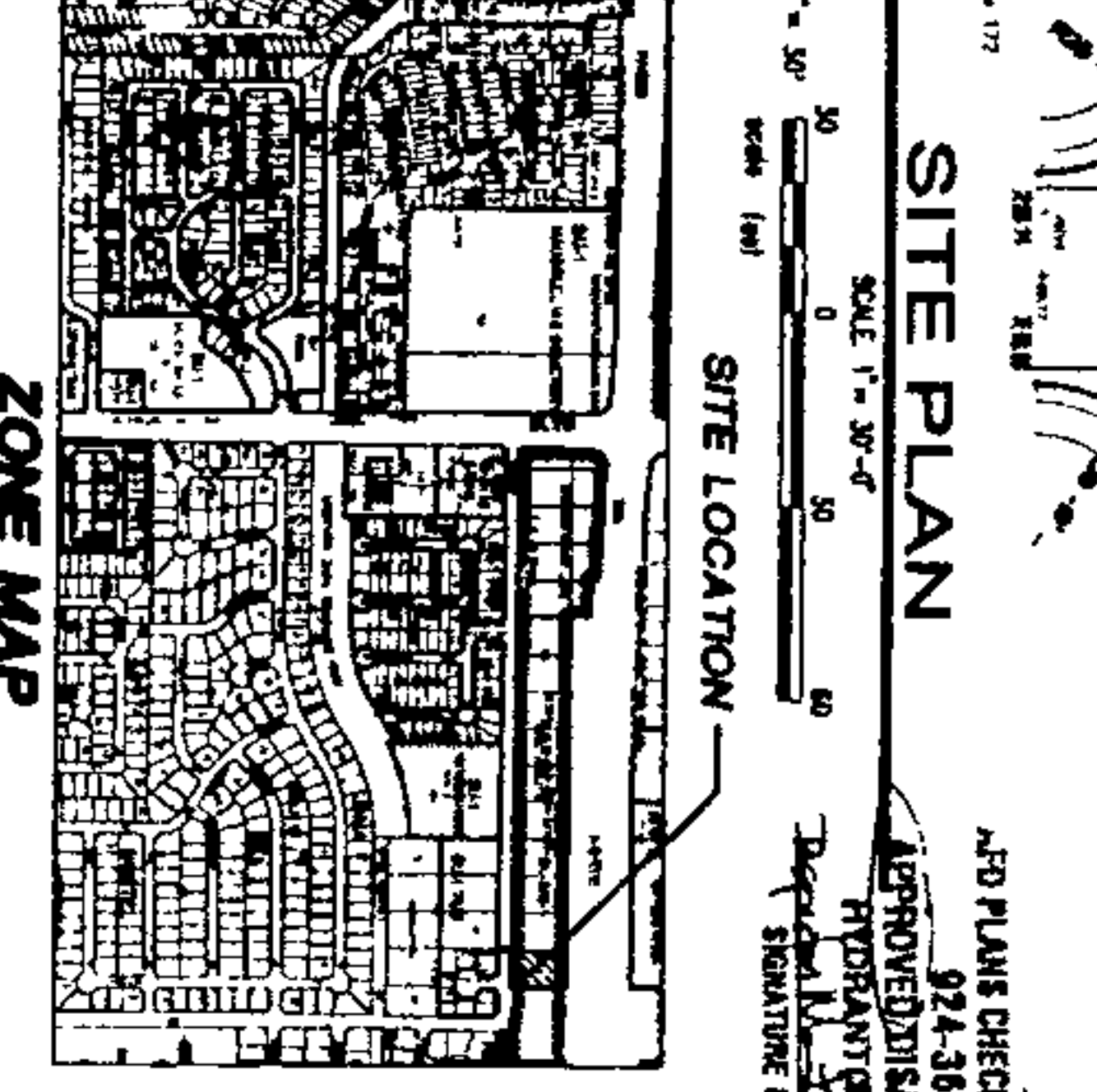
ADDRESS: 2325 SAN PEDRO NE
 ZONING: AS1
 BUILDING USE: EDUCATIONAL
 OCCUPANCY: GROUP B
 BUILDING TYPE: TYPE 2B
 SEISMIC ZONE: 2B
 ALLOWABLE AREA: 12,500 SF
 # OF STORES: ONE
 FIRE PROTECTION: NON-SMOKED

KEYED NOTES

1. ALL CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% MINIMUM REINFORCEMENT.
 2. ALL CONCRETE SHALL BE FINISHED WITH A BROOM FINISH.
 3. ALL WALLS SHALL BE 8\"/>

LEGEND

EXISTING PROPERTY LINE
 EXISTING CURB
 EXISTING DRIVE
 EXISTING SIDEWALK
 PROPOSED SIDEWALK
 PROPOSED DRIVE
 PROPOSED SIDEWALK
 PROPOSED DRIVE
 PROPOSED SIDEWALK
 PROPOSED DRIVE



BUILDING AREA & PARKING CALC

5,000 SF BUILDING AREA
 1,000 SF PARKING AREA
 1,000 SF SIDEWALK AREA
 1,000 SF DRIVE AREA

PARKING NOTES

1. ALL PARKING SPACES SHALL BE 8' X 20' WITH 5' CLEARANCE.
 2. ALL PARKING SPACES SHALL BE PAVED WITH ASPHALT.
 3. ALL PARKING SPACES SHALL BE LIGHTED.

LEGAL DESCRIPTION:
 For all or a portion of Block 21, Sub 2 to C-1, Lot 18, Block 21, Tract A, Unit A, North Albuquerque Acres, TOTAL ACRES: 0.10

GENERAL ARCHITECTURAL DESIGN REQUIREMENTS

GENERAL ARCHITECTURAL
 General architectural character is to follow the general design concept depicted on the site plan. The building shall be constructed in accordance with the following requirements:
 (1) The building shall be constructed in accordance with the site plan.
 (2) The building shall be constructed in accordance with the site plan.
 (3) The building shall be constructed in accordance with the site plan.

Mechanical Equipment Screening
 All mechanical equipment shall be screened from view of the adjacent parking area and shall be screened from view of the adjacent street. The screening shall be constructed in accordance with the site plan.

Color Palette
 The color palette for the building shall be as follows:
 - Exterior walls: Light gray
 - Interior walls: White
 - Floors: Light gray
 - Ceilings: White

Special Buffering
 The building shall be buffered from the adjacent street by a minimum of 10 feet.

Building Signage
 The building shall be signified in accordance with the site plan.

Landscaping
 The building shall be landscaped in accordance with the site plan.

Glazing
 The building shall be glazed in accordance with the site plan.

Lighting
 The building shall be lighted in accordance with the site plan.

Free Standing Signage
 The building shall be signified in accordance with the site plan.

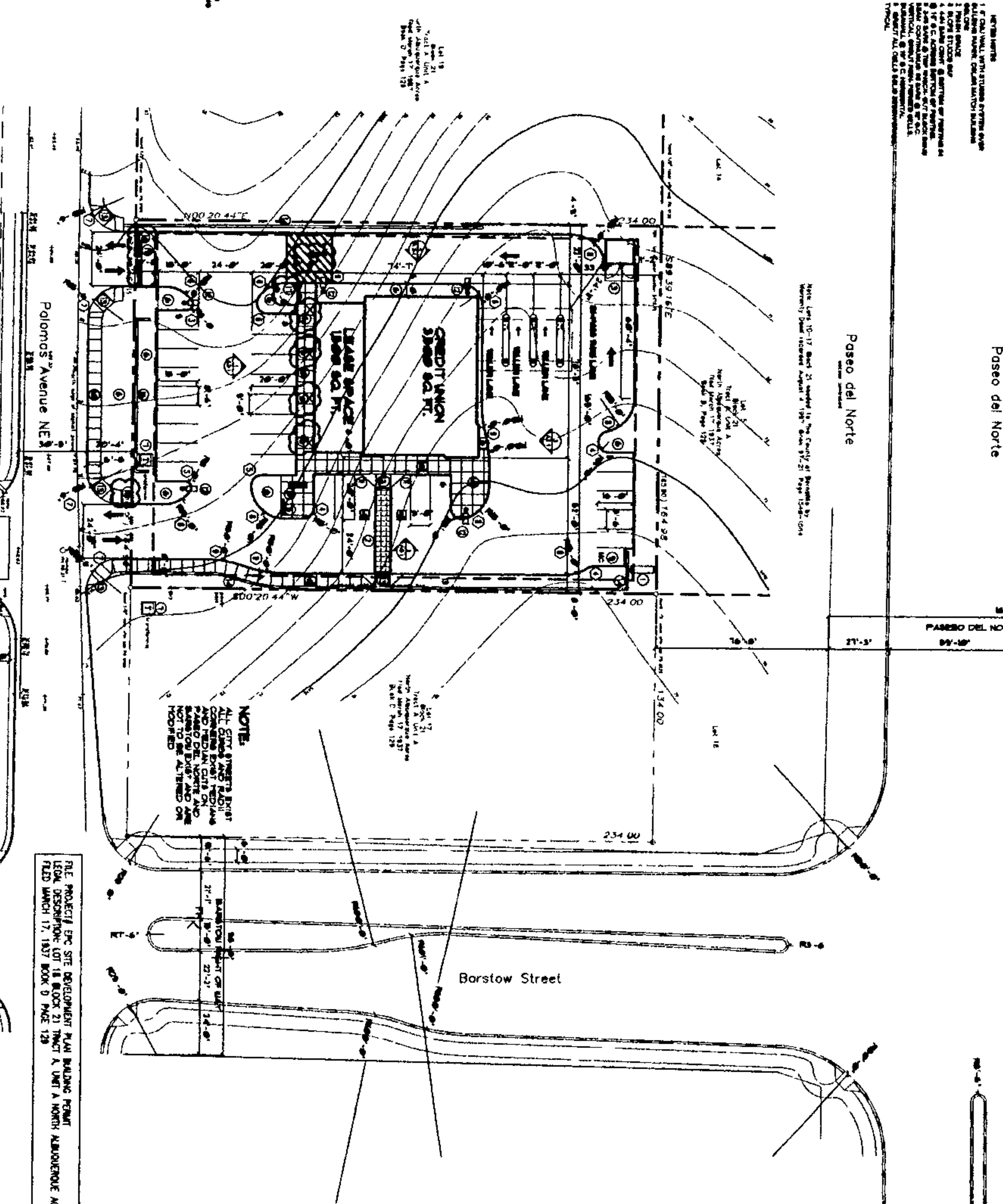
Traffic Requirements
 The building shall be signified in accordance with the site plan.

Parking
 The building shall be signified in accordance with the site plan.

PROJECT NUMBER: 06-00490

DATE: 11/11/11

SCALE: AS1



FILE PROJECT FOR SITE DEVELOPMENT PLAN BUILDING PERMIT
 FILED IN BLOCK 21 TRACT A UNIT A NORTH ALBUQUERQUE ACRES
 FILED IN BLOCK 21 TRACT A UNIT A NORTH ALBUQUERQUE ACRES

NOTE:
 ALL CONCRETE SHALL BE 3000 PSI STRENGTH WITH 4% MINIMUM REINFORCEMENT.
 ALL WALLS SHALL BE 8\"/>

PRELIMINARY NOT FOR CONSTRUCTION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
1			
2			
3			
4			

ORIGINAL

Claire

INFRASTRUCTURE LIST

Current DRC
Project Number: _____

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENT AGREEMENT

DATE SUBMITTED: 4/13/2006
DATE SITE PLAN APPROVED: 4/19/06
DATE PRELIMINARY PLAT APPROVED: 4/19/06
DATE PRELIMINARY PLAT EXPIRES: 4/19/11
DRB PROJECT NO.: 100XXXXX, 1004622
DRB APPLICATION NO.: 06-00490

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

NEW MEXICO EDUCATOR FEDERAL CREDIT UNION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 18, BLOCK 21, UNIT A, NAA.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

SIA Sequence	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		20'	Permanent Pavement and Standard Curb and Gutter *	Palomas	West PL Lot 18	Barstow EAST PL LOT 18	/	/	/
							/	/	/
		6'	Sidewalk *	Palomas	West PL Lot 18	Barstow EAST PL LOT 18	/	/	/
		6'	Sidewalk *	Paseo del Norte	West PL Lot 18	Barstow	/	/	/
							/	/	/
							/	/	/
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							/	/	/
							/	/	/

ORIGINAL

NOTES

1 Engineer Certification of grading and drainage plan required prior to release of SIA and Financial Guarantee.

2 * If lot 17 and lot 15, lot 16 are privately held, this document will be modified to end street improvements at East E of lot 18.

3 If lot 15 is privately held no sidewalk will be required along Paseo del Norte.

DAVID A AUBE
NAME

[Signature] 4/19/06
DRG CHAIR - DATE

Christina Sandoval 4/19/06
PARKS & GENERAL SERVICES - DATE

DESIGN GROUP
FIRM

[Signature] 4-19-06
TRANSPORTATION DEVELOPMENT - DATE

AMAFCA - DATE

[Signature] 4-18-06
SIGNATURE DATE

[Signature] 4/19/06
UTILITY DEVELOPMENT - DATE

- Date

MAXIMUM TIME ALLOWED TO CONSTRUCT HE IMPROVEMENTS

Bradley J. Bingham 4/19/06
CITY ENGINEER - DATE
INFRASTRUCTURE LIST

- Date

Curent DRC

DATE SUBMITTED: _____
DATE SITE PLAN APPROVED: _____
DATE PRELIMINARY PLAT APPROVED: _____

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT/OWNER
1	7-28-06	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>



4-18-06

ORIGINAL

INFRASTRUCTURE LIST

Curent DRC
Project Number: _____

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENT AGREEMENT

DATE SUBMITTED: 4/13/2006
 DATE SITE PLAN APPROVED: 4/19/06
 DATE PRELIMINARY PLAT APPROVED: 4/19/06
 DATE PRELIMINARY PLAT EXPIRES: 12/12
 DRB PROJECT NO.: 100XXXXX 1004622
 DRB APPLICATION NO.: 06-00490

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

NEW MEXICO EDUCATOR FEDERAL CREDIT UNION

~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

LOT 18, BLOCK 21, UNIT A, NAA.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

SIA Sequence	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
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							/	/	/
		6'	Sidewalk *	Palomas	West PL Lot 18	Barstow	/	/	/
		6'	Sidewalk *	Paseo del Norte	West PL Lot 18	Barstow	/	/	/
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ORIGINAL

NOTES

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3 If lot 15 is privately held no sidewalk will be required along Paseo del Norte.

DAVID A AUBE
NAME

[Signature] 4/19/06
DRC CHAIR - DATE

Christina Sandoval 4/19/06
PARKS & GENERAL SERVICES - DATE

DESIGN GROUP
FIRM

[Signature] 4-19-06
TRANSPORTATION DEVELOPMENT - DATE

AMAFCA - DATE

[Signature] 4-18-06
SIGNATURE DATE

[Signature] 4/19/06
UTILITY DEVELOPMENT - DATE

- Date

Bradley J. Bingham 4/19/06
CITY ENGINEER - DATE
INFRASTRUCTURE LIST

- Date

MAXIMUM TIME ALLOWED TO
CONSTRUCT HE IMPROVEMENTS

DATE SUBMITTED: _____

DATE SITE PLAN APPROVED: _____

Curent DRC

DATE PRELIMINARY PLAT APPROVED: _____

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



4-18-06

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form		ZONING & PLANNING	
<input type="checkbox"/>	Major Subdivision action	S	Z	<input type="checkbox"/>	Annexation
<input type="checkbox"/>	Minor Subdivision action			<input type="checkbox"/>	County Submittal
<input type="checkbox"/>	Vacation	V		<input type="checkbox"/>	EPC Submittal
<input type="checkbox"/>	Variance (Non-Zoning)			<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN		P		<input type="checkbox"/>	Sector Plan (Phase I, II, III)
<input type="checkbox"/>	for Subdivision Purposes			<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/>	for Building Permit	L	A	<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/>	IP Master Development Plan	D		<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)	APPEAL / PROTEST of...			
STORM DRAINAGE				<input type="checkbox"/>	Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan				

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: NEW MEXICO EDUCATORS FEDERAL CREDIT UNION PHONE: 889-2562
 ADDRESS: 4100 PAN AMERICAN FRWY NE FAX: 998-2680
 CITY: ALBUQUERQUE STATE NM ZIP 87198 E-MAIL: _____
 Proprietary interest in site: NEW BANK FACILITY List all owners: STERLING DEVELOPMENT, INC
 AGENT (if any): GEORGE RAINHART ARCHITECT ASSOC. PHONE: 884-9110
 ADDRESS: 2325 SAN PEDRO NE FAX: 837-9877
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: ANTON@GRA-ARCH.COM

DESCRIPTION OF REQUEST: SITE PLAN FOR BUILDING PERMIT FINAL SIGNOFF

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 18 TRACT A Block: 21 Unit: A
 Subdiv. / Addn. NORTH ALBUQUERQUE ACRES TRK. NIMEFCU
 Current Zoning: SU-2/C-1 Proposed zoning: -
 Zone Atlas page(s): D-19-2 No. of existing lots: _____ No. of proposed lots: _____
 Total area of site (acres): .806 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 1-019-063-502-495-10515 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: ON PASEO DEL NORTE
 Between: BARSTOW and WYOMING NE

CASE HISTORY: Catalina Lehner EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
06EPC-00018, 06EPC 00020, 06EPC-00021

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Anton Dattilo DATE 04-09-06
 (Print) ANTON DATILLO Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/>	All checklists are complete	<u>06DRB</u> - <u>00490</u>	<u>SBP</u>	<u>2(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/>	All fees have been collected	_____	<u>cmf</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/>	All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/>	F.H.D.P. fee rebate	Hearing date <u>4-19-06</u>	_____	_____	\$ <u>20.00</u>

Kim Sim 4/10/06

Project # 1004622

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

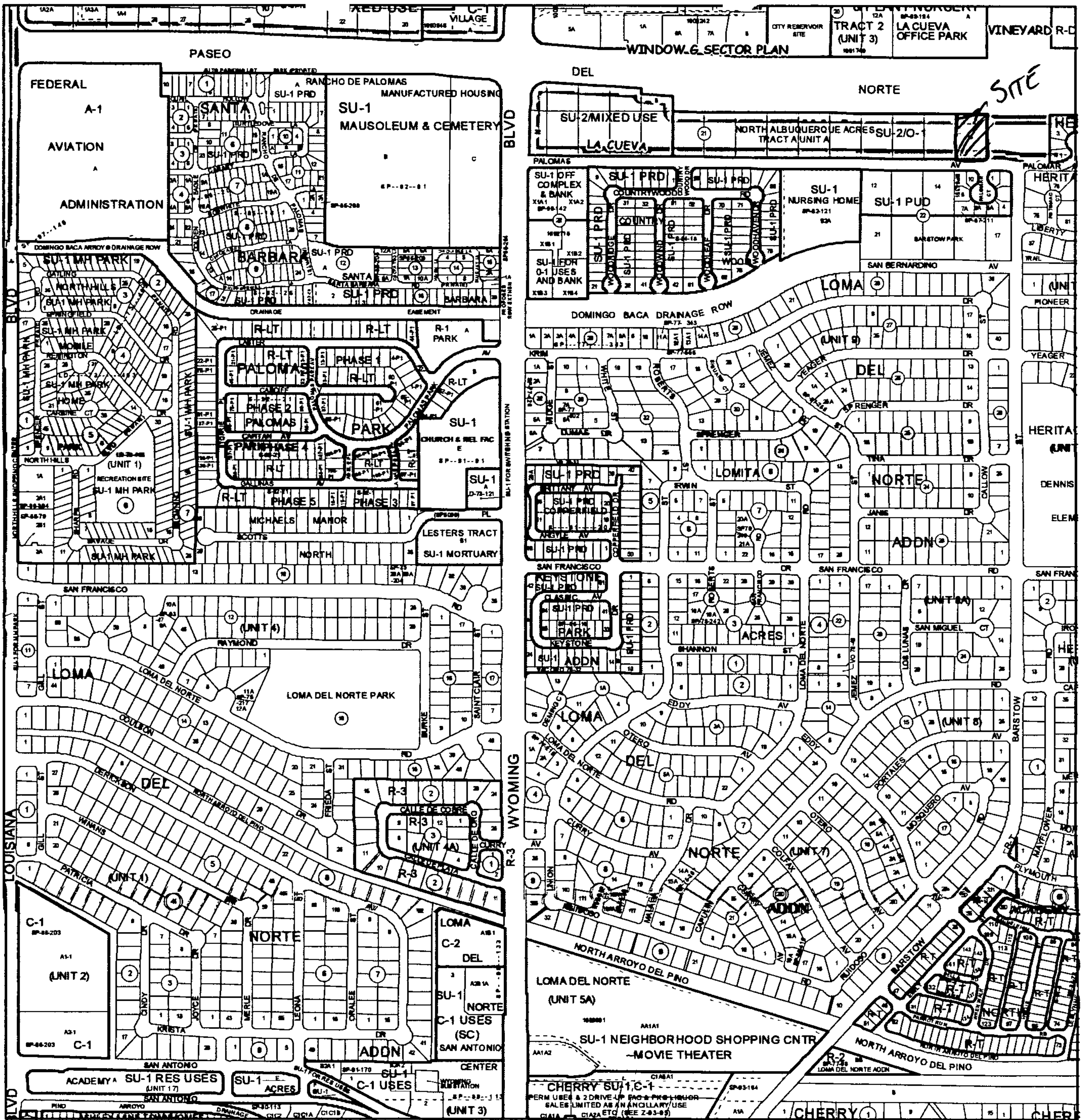
ANTON DATILO
 Applicant name (print)
Anton M. Dattilo 04/09/06
 Applicant signature / date



Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 06073 - - 00490

Kim Sui 4/10/06
 Planner signature / date
Project # 1004622



For more current information and more details visit <http://www.cabq.gov/gis>

Map amended through: 3/14/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-19-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N W, 8TH Floor. Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER D-19-Z

REFERRAL # _____

SITE ADDRESS _____

LEGAL DESCRIPTION: SUBJECT TRACT G ~~AP~~ LOT 18 Block 21 TRACT A,
Unit A North Albuquerque ACRES

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 1

INSTANTANEOUS FLOW REQUIRED 1018

SQUARE FOOTAGE - LARGEST BUILDING 5600

TYPE CONSTRUCTION II B

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

- ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.
- ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 1

DATE: 4-6-06

FIRE DEPARTMENT INSPECTOR: Tony MANTILLI

RECEIVED BY: ANTON DATILO TELEPHONE: 505 9110 x 109

NOTES

- 1 ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI. UNDER REQUIRED FIRE FLOW CONDITIONS.
- 2 DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987). BASED ON PEAK DAY CRITERIA
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION

WHITE - INDIVIDUAL YELLOW - FILE



STERLING DEVELOPMENT, INC.
8101 San Pedro NE, Suite I
Albuquerque, New Mexico 87113
505-217-1396

December 30, 2005

To: City of Albuquerque

Project: Barstow/Paseo Del Norte
Lots 18-22, Block 21, Tract A, North Albuquerque Acres
Albuquerque, New Mexico

Transmittal

RE: Letter of Authorization

Please accept this letter as authorization that Sterling Development, Inc., as contract owner, allows Vogel, Campbell and Blueher, P.C. and George Rainhart Architect and Associates, Inc. to be authorized to submit the site plan and elevations for EPC and/or DRB approval and that of the Site Plan for Building Permit on behalf of New Mexico Educators Federal Credit Union on the EPC/DRB application for the Southwest Corner of Barstow and Paseo Del Norte:

By: Philip J. Sterling, President / Sterling Development, Inc.



April 6, 2006

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

Re: DRB application for Southwest corner of Barstow and Paseo Del Norte

To Whom it May Concern:

Please note George Rainhart Architects and Associates P.C. are authorized to submit the site plan and elevations for DRB approval and that of the Site Plan for Building Permit on behalf of New Mexico Educators Federal Credit Union on the above referenced project.

If you should have any questions please do not hesitate to contact our office. Thank you.

Sincerely,

A handwritten signature in black ink that reads "Terry Laudick".

Terry Laudick, President/CEO
New Mexico Educators Federal Credit Union

April 10, 2006

City of Albuquerque
Attn: DRB Committee
600 Second Street
Albuquerque, NM 87102

**Re: OFFICIAL NOTICE OF DECISION (February 16, 2006)
Condition corrections
New Mexico Educators Federal Credit Union**

Project Summary:

Project No. 1004622*
06EPC-00018 Zone Map Amendment
06EPC-00020 EPC Sector Development Plan
06EPC-00021 EPC Site Development Plan-Building Permit

LEGAL DESCRIPTION: for all or a portion of Block 21, Lot 18, Tract A, Unit A, **North Albuquerque Acres**, a zone map amendment from SU-2/o-1 to SU-2/C-1, locates PASEO DEL NORTE NE, between BARSTOW NE and WYOMING NE, containing approximately 1 acre. (D-19) Catalina Lehner, Staff Planner

Conditions:

Item no. 1. A letter shall accompany the submittal, specifying all modifications that have been made prior to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions.

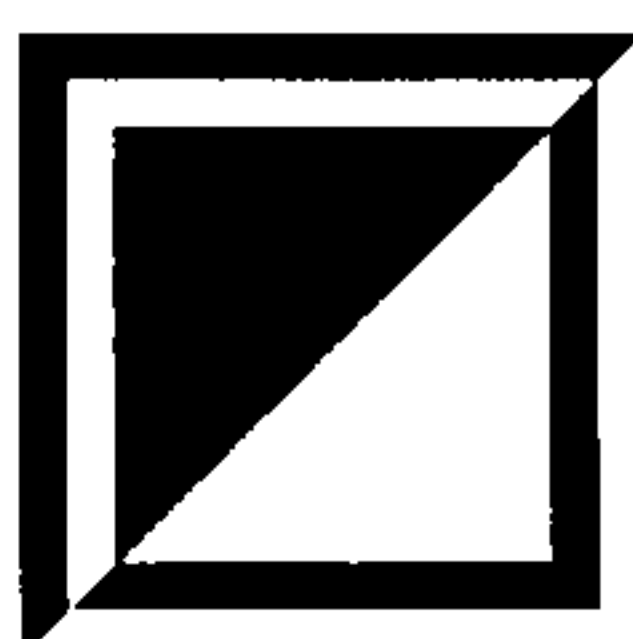
Responses: This is to serve as the requested letter.

Item no. 2. Prior to DRB sign off, the applicant shall meet with the staff planner to ensure that the conditions of approval are adequately met.

Responses: Anton Dattilo met with Catalina Lehner (Staff Planner) Tuesday 4 April 2006.

Item no. 3. The following proposed conditions are intended to address the La Cueva Sector Development Plan Design Regulations that the proposed does not fully meet:

- a. 5R-7: Architectural Character, Non-Residential Buildings. The entrances (both door and storefront) shall be more articulated so that they are clear defined and highly visible.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

- b. 13R-1: Signage. A detail of the building-mounted signs, with information regarding colors and materials, shall be provided.
- c. 13R-7: Signage. A note shall be added to the site plan stating that the lighting on the monument sign and building-mounted signs will not change in brightness.
- d. 14R-2: Lighting. A note shall be added to the site plan to ensure that all outdoor fixtures will have automatic timers.

Responses: a. this has been addressed with canopies, window recesses and pilaster articulations.

b. a note has been added on sheet A2-1 (clouded) which comments black in color with anodized aluminum and Back lit. The background color will match the building.

c. a note has been added to sheet AS1 under BUILDING SIGNAGE (clouded).

d. a note has been added to sheet AS1 under LIGHTING (clouded).

Item no. 4. The following proposed conditions are intended to address the La Cuerva Development Plan Design Regulations that the proposal clearly does not meet:

- a. 4R-2: Non-Residential Building Orientation. Landscaping shall be provided on the south side of the building, which faces Palomas Avenue NE.
- b. 13R-9 Signage. The Logo designs shall not exceed two feet in height or width.

Response: a. on the site plan sheet AS1 four landscape areas (note 6, clouded) have been added and on the Landscape Plan 4-New Mexico Olives had been added (clouded).

b. the elevations sheet A2-1 all wall mounted Logo signs have been corrected to 2'-0" x 2'-0" and dimensioned as such.

Item no. 5. The note referencing 20 feet for commercial light poles shall be removed from the site plan.

Response: On the site plan detail 7 sheet AS1 this note has been removed.

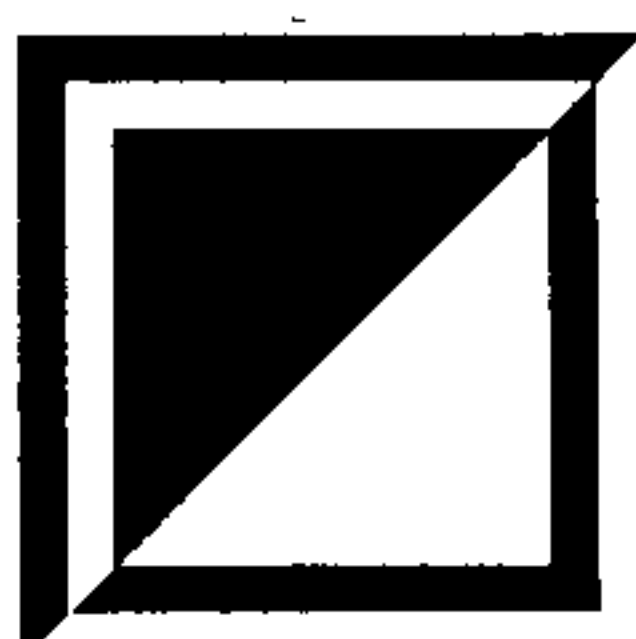
Item no. 6. Keyed Note # 15 shall be changed to indicate that the garden wall is six feet high.

Response: On sheet AS1 Note# 15 has been corrected to read 6'-0" high (clouded).

Item no. 7. The applicant shall work with Solid Waste Management Division (SWMD) regarding dumpster location since the layout was reconfigured after the agency comment period.

Response: This will be reviewed and approved Thursday April 6, 2006.

Item no. 8. Bollards for the refuse enclosure shall be located outside the enclosure wall.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
 2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
 PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

Response: This correction appears on sheet AS1.

Item no. 9. The applicant shall work with the Traffic Engineering regarding provisions of striping and or one-way signage on the western drive isle.

Response: See below.

Item no. 10. A crosswalk, made of textured colored concrete, shall connect the building and the walkway.

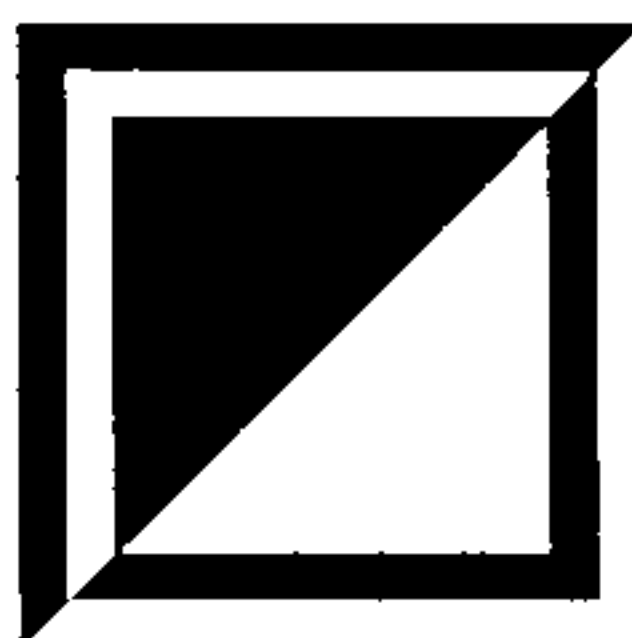
Response: Reference site plan sheet AS1 KEYED NOTES # 2.

Item no. 11. The following note shall be deleted from the landscape plan: "Final landscaping layout and design to be determined upon receipt of final grading plan.

Response: This note has been deleted from the landscape plan.

Item no. 12. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY AND NMDOT:
Conditions of approval for the proposed Sector Development Plan, Zone Map Amendment and Site Development Plan for Building Permit shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructures constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441)
- b. Label ATM lane and location adjacent to drive through lanes.
- c. Label outside lane as by-pass lane and locate adjacent to ATM lane.
- d. Change square footage of lease space to 1,500 square feet.
- e. Queuing analysis required to determine length of drive through lanes and their location (i.e. no queuing in Palomas). The drive through lanes may need to be located on the east side or north side of building depending on the results (building would need to be oriented accordingly).
- f. East site drive –shift sidewalk east to property line (28'+drive o.k. and desired).
- g. West site drive – may need to shift east or share with previously approved site drive for retirement complex to west depending on its location (28'+ drive o.k. and desirable).
- h. 22' drive aisle adjacent to building will need to be striped and signed for one way operation.
- i. Site plan shall comply and be designed per DPM Standards.



- j. A statement from the Fire Marshall's Office must be presented to Utility Department for verification of system adequacy.

Response: Most of these have been addressed prior to EPC by locating the drive through to the north, reorienting the building and eliminating the ATM from the exterior location. The other comments are address on the site plan sheet AS1 or will be complied with the mention Department.

- j. Has been approved and signed off Thursday April 6, 2006.

Item no 13. The ATM will not operate on a twenty four hour basis and will be located internally.

Response: As per commitment to the neighborhood associations. The ATM shall only be open for use during business hours.

Addition to the conditions as agreed to with the Neighborhood Associations a vehicle speed bump and exit stoop signs have been added, reference notes 18 and 19 on the site plan sheet AS1.

- There will be no signage on the south elevation to conform to the La Cueva Sector Development Plan.
- The lease space must respect existing neighborhood values when leased.

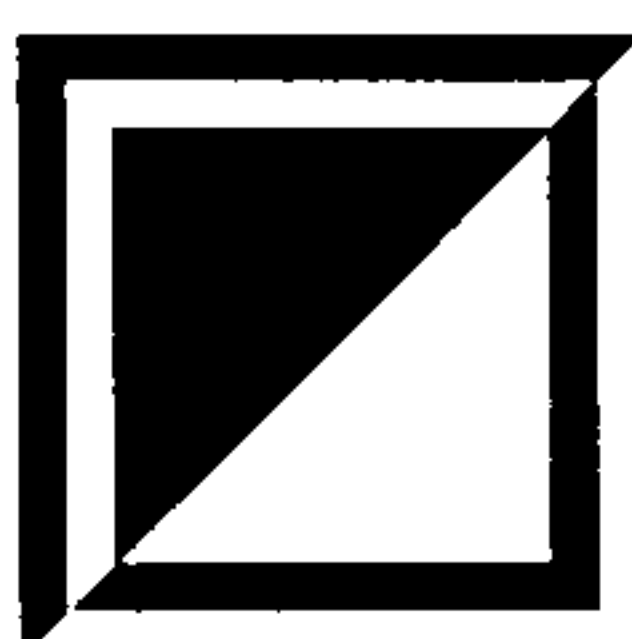
Sincerely,

George Rainhart Architects and Associates

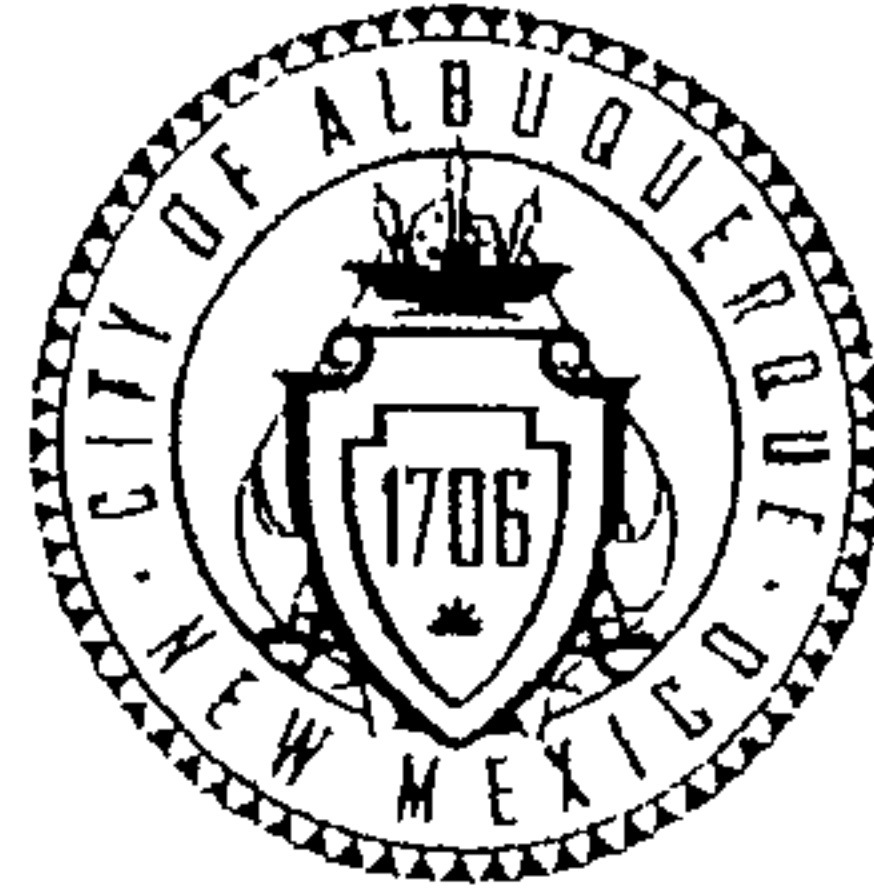


Anton M. Dattilo

Project Manager



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: February 16, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004622***
06EPC-00018 Zone Map Amendment
06EPC-00020 EPC Sector Development Plan
06EPC-00021 EPC Site Development Plan-
Building Permit

New Mexico Educators Federal Credit Union
100 Pan American Frwy NE
Albuq. NM 87198

LEGAL DESCRIPTION: for all or a portion of Block 21, Lot 18, Tract A, Unit A, **North Albuquerque Acres**, a zone map amendment from SU-2/O-1 to SU-2/C-1, located on PASEO DEL NORTE NE, between BARSTOW NE and WYOMING NE, containing approximately 1 acre. (D-19) Catalina Lehner, Staff Planner

On February 16, 2006 the Environmental Planning Commission voted to approve Project 1004622/06EPC 00020, a Sector Development Plan Amendment for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, zoned SU-2/O-1, based on the following Findings:

FINDINGS:

1. This three-part proposal consists of a request for a zone map amendment, a corresponding sector development plan amendment and a site development plan for building permit. The sector plan amendment is dependent upon the zone map amendment request.
2. This request is for an amendment to the zoning map (Exhibit 4) of the La Cueva Sector Development Plan, for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, located on Palomas Ave NE, between Barstow & Wyoming, just south of Paseo Del Norte Blvd., approximately 0.89 acre.
3. The subject site lies within the boundaries of the La Cueva Sector Development Plan (LCSDP), which established most of the area's zoning upon its adoption in 2000.
4. The proposal *further*s the intent of the following Comprehensive Plan policies:
 - Policy II.B.5a-full range of urban land uses, because the proposed development would be located in an area characterized by land use variety.

- Policy II.B.5e-programmed facilities/neighborhood integrity, because the use of existing facilities and services is not likely to compromise neighborhood integrity.
 - Policy II.B.5i: Employment/service use location. By locating the drive-thru lanes away from nearby residences, this commercial use is sited to minimize the effects of noise and traffic.
5. The proposal *mostly furthers* the intent of the following Comprehensive Plan policies:
- Policy II.B.5l-design quality/innovation. The proposed building is appropriate for the area in terms of color and design, though the design is not particularly innovative.
 - Policy II.B.5d-neighborhood values/natural environmental conditions. The location, intensity and design of new development shall respect existing neighborhood values and environmental conditions. The proposed design is appropriate and the use is moderately intense, but the location is challenging in terms of access.
6. The proposal *conflicts* with the following Comprehensive Plan policy and goal:
- Policy II.B.5j-location of new commercial development, because the subject site is not in a small-neighborhood center or larger area shopping center.
 - Goal 7-Activity Centers. The development would not be located within a designated Activity Center and therefore does not strengthen concentrations of mixed-land use and economic activities with the Centers.
7. Regarding the Guiding Land Use Principles in the La Cueva Sector Development Plan (LCSDP), the proposal:
- *Furthers* Principles 2 and 9 because the Plan area is intended to be urban with a variety of businesses and the proposed design is appropriate.
 - *Partially furthers* Principle 5. This urban use will be located close to Paseo del Norte, but cannot be accessed from it.
 - *Partially conflicts* with Principle 8 because it is possible that the tower may obstruct some views.
8. Per Resolution 270-1980, the applicant must provide sound justification for a zone change. Principal justification is changed neighborhood and community conditions. Recent EPC approvals in the area have contributed to a mix of commercial and office uses.
9. The applicant has done a satisfactory job of demonstrating that the proposal is not in significant conflict with adopted elements of the Comprehensive Plan and the La Cueva Sector Development Plan (LCSDP). He has developed an adequate nexus between the policies he cited and the zone change request.
10. The applicant states that the proposed credit union will not be harmful because it is close to an O-1 use. However, the Zoning Code clearly distinguishes between O-1 banking and C-1 banking. The perceived magnitude of a zone change is not a useful argument for justifying a zone change.

11. The applicant uses applicable policies to demonstrate that the proposal is consistent with the City's health, safety, morals and general welfare, and that it will help create land use stability in the area. Staff finds the explanation acceptable.
12. Overall, the applicant has done a satisfactory job of substantiating the zone change request. The nexus with relevant policies is acceptable and the arguments made with respect to R270-1980 provide adequate justification.
13. The five affected Neighborhood Associations have expressed general support for the proposal and have worked with the applicant to address their concerns.
14. This request should not be considered a precedent or a changed condition for future zone change requests to SU-2 for C-1 in the area.
15. Parcels to the north and east are Bernalillo County right-of-way.

On February 16, 2006 the Environmental Planning Commission voted to approve Project 1004622/06EPC 00018, a request for a zone map amendment from SU-2/O-1 to SU-2/C-1 for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, based on the following Findings.

FINDINGS:

1. This request is for a zone map amendment from SU-2/O-1 to SU-2/C-1 for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, located on Palomas Ave NE, between Barstow & Wyoming, just south of Paseo Del Norte Blvd., approximately 0.89 acre.
2. The applicant proposes to construct a 5,000 square foot building containing a 3,000 square foot credit union and a 1,500 square foot leasable space. The accompanying sector development plan amendment and site development plan for building permit requests are dependent upon the zone map amendment request.
3. The subject site lies within the boundaries of the La Cueva Sector Development Plan.
4. The proposal *further*s the intent of the following Comprehensive Plan policies:
 - Policy II.B.5a-full range of urban land uses, because the proposed development would be located in an area characterized by land use variety.
 - Policy II.B.5e-programmed facilities/neighborhood integrity, because the use of existing facilities and services is not likely to compromise neighborhood integrity.

- Policy II.B.5i: Employment/service use location. By locating the drive-thru lanes away from nearby residences, this commercial use is sited to minimize the effects of noise and traffic.
5. The proposal *mostly furthers* the intent of the following Comprehensive Plan policies:
 - Policy II.B.5l-design quality/innovation. The proposed building is appropriate for the area in terms of color and design, though the design is not particularly innovative.
 - Policy II.B.5d-neighborhood values/natural environmental conditions. The location, intensity and design of new development shall respect existing neighborhood values and environmental conditions. The proposed design is appropriate and the use is moderately intense, but the location is challenging in terms of access.
 6. The proposal *conflicts* with the following Comprehensive Plan policy and goal:
 - Policy II.B.5j-location of new commercial development, because the subject site is not in a small-neighborhood center or larger area shopping center.
 - Goal 7-Activity Centers. The development would not be located within a designated Activity Center and therefore does not strengthen concentrations of mixed-land use and economic activities with the Centers.
 7. Regarding the Guiding Land Use Principles in the La Cueva Sector Development Plan (LCSDP), the proposal:
 - *Furthers* Principles 2 and 9 because the Plan area is intended to be urban with a variety of businesses and the proposed design is appropriate.
 - *Partially furthers* Principle 5. This urban use will be located close to Paseo del Norte, but cannot be accessed from it.
 - *Partially conflicts* with Principle 8 because it is possible that the tower may obstruct some views.
 8. Per Resolution 270-1980, the applicant must provide sound justification for a zone change. Principal justification is changed neighborhood and community conditions. Recent EPC approvals in the area have contributed to a mix of commercial and office uses.
 9. The applicant has done a satisfactory job of demonstrating that the proposal is not in significant conflict with adopted elements of the Comprehensive Plan and the La Cueva Sector Development Plan (LCSDP). He has developed an adequate nexus between the policies he cited and the zone change request.
 10. The applicant states that the proposed credit union will not be harmful because it is close to an O-1 use. However, the Zoning Code clearly distinguishes between O-1 banking and C-1 banking. The perceived magnitude of a zone change is not a useful argument for justifying a zone change.
 11. The applicant uses applicable policies to demonstrate that the proposal is consistent with the City's health, safety, morals and general welfare, and that it will help create land use stability in the area. Staff finds this explanation acceptable.

12. Overall, the applicant has done a satisfactory job of substantiating the zone change request. The nexus with relevant policies is acceptable and the arguments made with respect to R270-1980 provide adequate justification.
13. The five affected Neighborhood Associations have expressed general support for the proposal and have worked with the applicant to address their concerns.
14. This request should not be considered a precedent or a changed condition for future zone change requests to SU-2 for C-1 in the area.
15. Parcels to the north and east are Bernalillo County right-of-way.

On February 16, 2006 the Environmental Planning Commission voted to approve Project 1004622/06EPC 00021, a Site Development Plan for Building Permit for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, zoned SU-2/C-1, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Lot 18, Block 21, Tract A, Unit A-North Albuquerque Acres, an approximately 0.89 acre site located on Palomas Ave NE, between Barstow & Wyoming, just south of Paseo Del Norte Blvd..
2. The applicant proposes to construct a 5,000 square foot building containing a 3,000 square foot credit union and a 1,500 square foot leasable space. The accompanying site development plan for building permit request is dependent upon the zone map amendment request.
3. The subject site lies within the boundaries of the La Cueva Sector Development Plan.
4. The proposal *further*s the intent of the following Comprehensive Plan policies:
 - Policy II.B.5a-full range of urban land uses, because the proposed development would be located in an area characterized by land use variety.
 - Policy II.B.5e-programmed facilities/neighborhood integrity, because the use of existing facilities and services is not likely to compromise neighborhood integrity.
 - Policy II.B.5i: Employment/service use location. By locating the drive-thru lanes away from nearby residences, this commercial use is sited to minimize the effects of noise and traffic.

5. The proposal *mostly furthers* the intent of the following Comprehensive Plan policy:
 - Policy II.B.5l-design quality/innovation. The proposed building is appropriate for the area in terms of color and design, though the design is not particularly innovative.
 - Policy II.B.5d-neighborhood values/natural environmental conditions. The location, intensity and design of new development shall respect existing neighborhood values and environmental conditions. The proposed design is appropriate and the use is moderately intense, but the location is challenging in terms of access.
6. The proposal *conflicts* with the following Comprehensive Plan policy and goal:
 - Policy II.B.5j-location of new commercial development, because the subject site is not in a small-neighborhood center or larger area shopping center.
 - Goal 7-Activity Centers. The development would not be located within a designated Activity Center and therefore does not strengthen concentrations of mixed-land use and economic activities with the Centers.
7. Regarding the Guiding Land Use Principles in the La Cueva Sector Development Plan (LCSDP), the proposal:
 - *Furthers* Principles 2 and 9 because the Plan area is intended to be urban with a variety of businesses and the proposed design is appropriate.
 - *Partially furthers* Principle 5. This urban use will be located close to Paseo del Norte, but cannot be accessed from it.
 - *Partially conflicts* with Principle 8 because it is possible that the tower may obstruct some views.
8. The proposed site plan generally meets the intent of the LCSDP design regulations, but *does not fully comply* with the following:
 - 5R-7: Architectural Character, Non-Residential Buildings
 - 13R-1: Signage
 - 13R-7: Signage
 - 14R-2: Lighting
9. The proposed site plan *clearly does not comply* with the following LCSDP design regulations:
 - 4R-2: Non-Residential Building Orientation
 - 13R-9: Signage
10. A full Traffic Impact Study (TIS), including the required queuing analysis, has been completed. TIS results indicate that the proposed development will present no significant adverse impact on the adjacent transportation system provided the recommendations are followed.
11. The submittal will comply with applicable policies and regulations with the modifications outlined in the recommended conditions of approval.

8. Bollards for the refuse enclosure shall be located outside of the enclosure wall.
9. The applicant shall work with Traffic Engineering regarding provision of striping and/or "one-way" signage on the western drive aisle.
10. A crosswalk, made of textured colored concrete, shall connect the building and the walkway.
11. The following note shall be deleted from the landscape plan: "Final landscaping layout and design to be determined upon receipt of final grading plan".
12. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Sector Development Plan, Zone Map Amendment and Site Development Plan for Building Permit shall include:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - ~~b. Label ATM lane and locate adjacent to drive through lanes.~~
 - c. Label outside lane as by-pass lane ~~and locate adjacent to ATM lane.~~
 - d. Change square footage of lease space to 1500 square feet.
 - ~~e. Queuing analysis required to determine length of drive through lanes and their location (i.e. no queuing in Palomas). The drive through lanes may need to be located on the east side or north side of building depending on the results (building would need to be oriented accordingly).~~
 - f. East site drive - shift sidewalk east to property line (28'+ drive o.k. and desirable).
 - g. West site drive - may need to shift east or share with previously approved site drive for retirement complex to west depending on its location (28+ drive o.k. and desirable).
 - h. 22' drive aisle adjacent to building will need to be striped and signed for one-way operation.
 - i. Site plan shall comply and be designed per DPM Standards.
 - j. A statement from the Fire Marshal's Office must be presented to Utility Development for verification of system adequacy.
13. The ATM will not operate on a twenty-four hour basis and will be located internally.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 3, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

OFFICIAL NOTICE OF DECISION

FEBRUARY 16, 2006

PROJECT #1004622

PAGE 8 OF 8

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/CL/ac

cc: George Rainhart Architect & Assoc., 2325 San Pedro NE, Albuquerque, NM 887110
Mark Smith, Countrywood Area NA, 7916 Woodleaf Dr. NE, Albuquerque, NM 87109
Fred Schwab, Countrywood Area NA, 7912 Woodwind Dr. NE, Albuquerque, NM 87109
Peggy Carnett, Heritage Hills NA, 8904 San Francisco NE, Albuquerque, NM 87109
Pat Roehm, Heritage Hills NA, 8913 Rough Rider NE, Albuquerque, NM 87109
Lelani McGranahan, Nor Este Na, 7600 Rio Guadalupe NE, Albuquerque, NM 87122
Joe Yardumian, Nor Este NA, 7801 RC Gorman Ave. NE, Albuquerque, NM 87122
Doug Fenton, North Wyoming NA, 7408 Sulky NE, Albuquerque, NM 87109
Dawne Settecerri, North Wyoming NA, 7704 White NE, Albuquerque, NM 87109
Pat Verrelle, Vineyard Estates NA, 8415 Vintage Dr. NE, Albuquerque, NM 87122
Keith Coulter, Vineyard Estates NA, 8500 Vina Del Sol NE, Albuquerque, NM 87122
Lance DeYoung, 7920 Palomar Ct. NE, Albuquerque, NM 87109
Lana Hutchison, 7908 Palomar Ct. NE, Albuquerque, NM 87109
Jim Greenslate, 7920 Woodwind Dr. NE, Albuquerque, NM 87109
Tippy Sneddon, 7916 Woodwind NE, Albuquerque, NM 87109

April 10, 2006

City of Albuquerque
Attn: DRB Committee
600 Second St.
Albuquerque, NM 87102

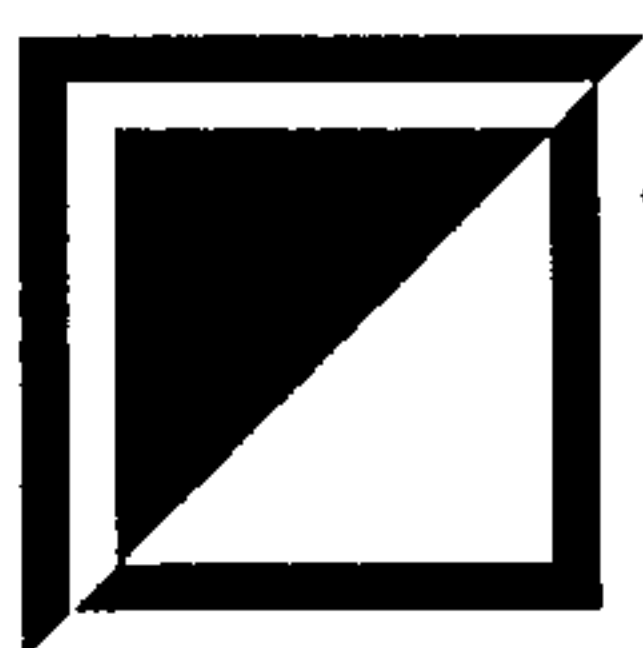
Project Summary:

We herewith wish to inform you that we are submitting a DRB application for Tuesday, April 18, 2006. The proposed project is located at the SW corner of Paseo Del Norte NE and Barstow NE between Barstow and Wyoming. Block 21, lot 18, Tract A, Unit A, **North Albuquerque Acres**, zone map #D-19-Z. The proposed Building is a 3,500 credit union facility with additional 1,500 lease space for financial related services, totaling to 5,000 square feet. The height and size of the buildings will be appropriate for the site, and the use is appropriate for C-1 use. The finishes of the buildings will blend in with the architecture around the site, as well as condoning to similar landscaping.

Sincerely,


George Rainhart Architects and Associates


Anton Dattilo
Project Manager



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

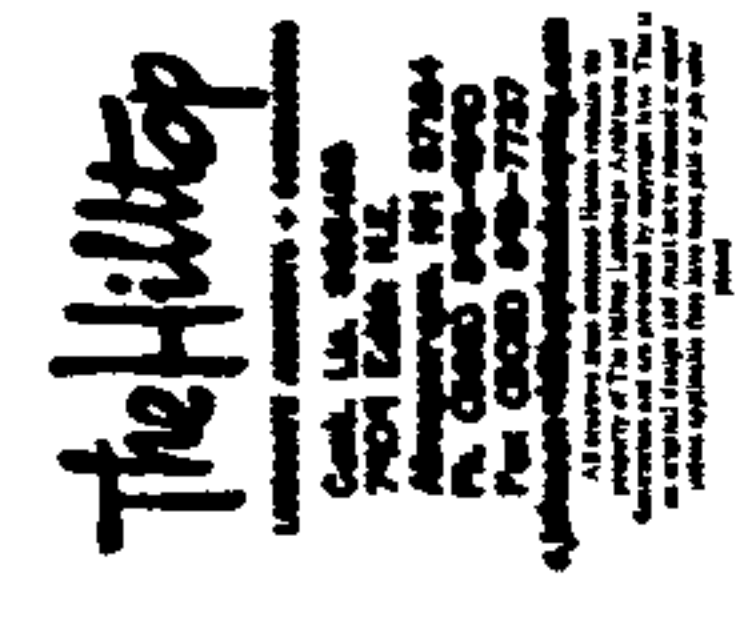
REV	DATE	BY	REVISION



 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY
NOT FOR
CONSTRUCTION**

LANDSCAPE PLAN
 PROJECT TITLE: NEW MEXICO EDUCATORS' FEDERAL CREDIT UNION
 ARCHITECT: GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 ADDRESS: 2325 SAN PEDRO NE, SUITE 2-B, ALBUQUERQUE, NM 87110
 DATE: 02-06-08
 SCALE: 1"=30'
 SHEET NO. 1 OF 1




















LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque's Ordinance 11-1-1-100 regarding Water Waste Ordinance. Planting restrictions apply. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.
 Water management is the sole responsibility of the Property Owner. All landscaping will be in accordance with the City of Albuquerque's Greening Code, Street Tree Ordinance, Palen and Water Waste Ordinance. In general, water conserving, environmentally sound landscape plants shall be favored in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Santa Fe Brown Gravel over Filter Fabric shall be installed in all areas where erosion control is required to receive native seed.

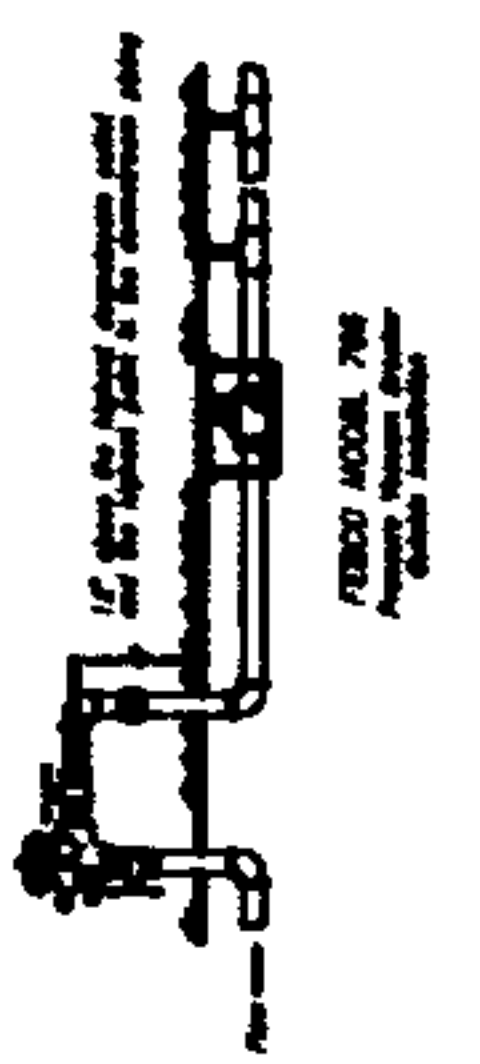
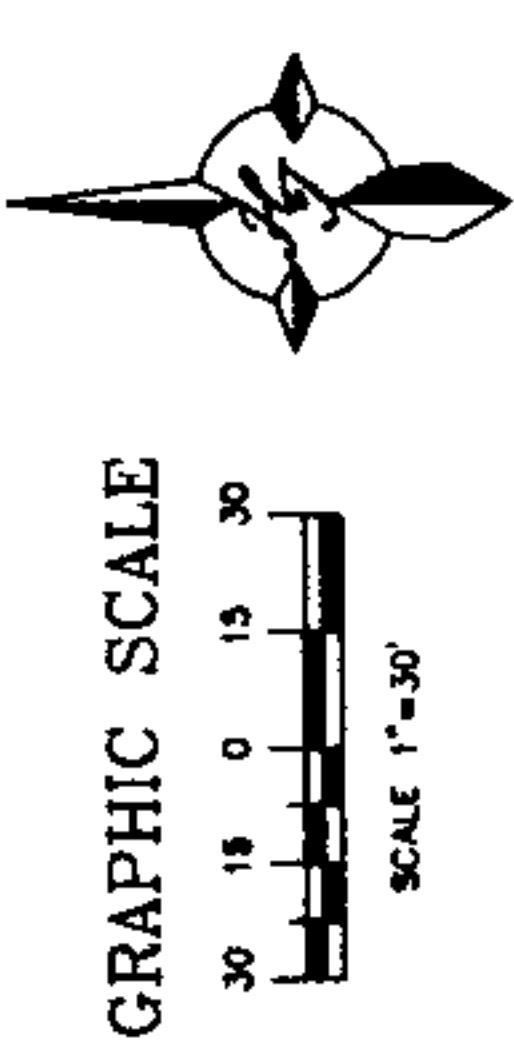
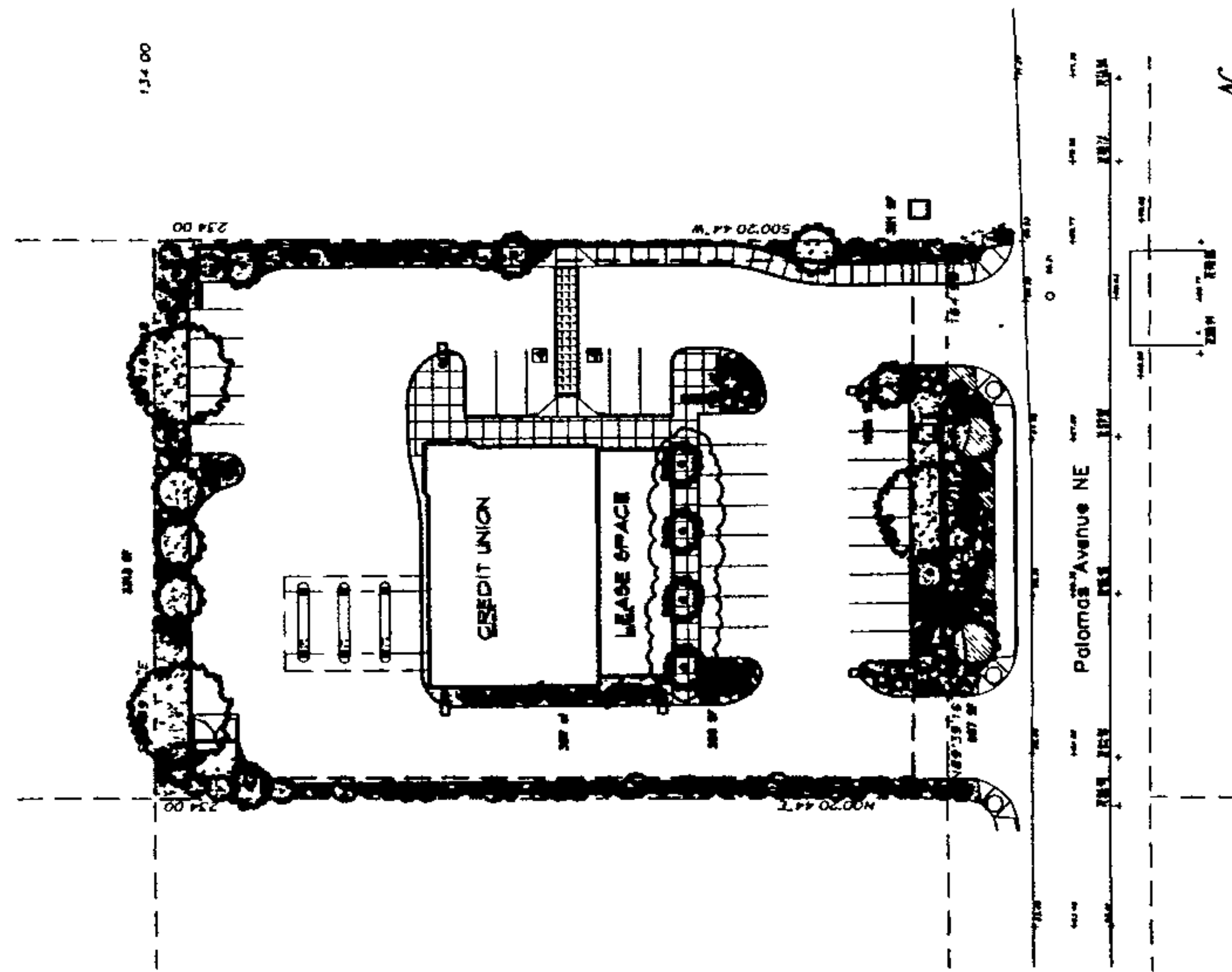
IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be laid to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
 Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

	square feet
TOTAL LOT AREA	37723
TOTAL BUILDINGS AREA	18500
OFFSITE AREA	0
NET LOT AREA	19223
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	2883
TOTAL BED PROVIDED	8822
GROUND COVER REQ	75%
TOTAL GROUND COVER REQUIREMENT	5182
TOTAL GROUND COVER PROVIDED	5201 (75%)
TOTAL LANDSCAPE PROVIDED	8922 (30%)

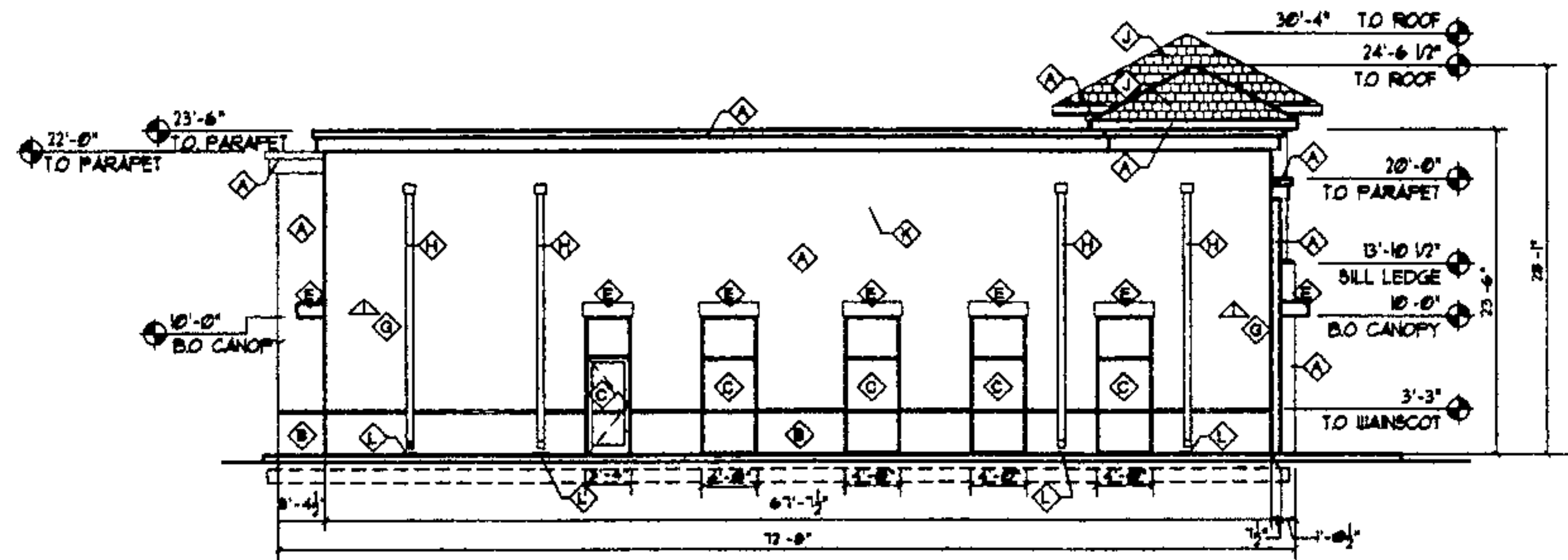
PLANT LIST

-  HONEY LOCUST (M) 3
Gleditsia tricanthos
2" Cal.
-  NEW MEXICO OLIVE (L) 6
Forestiera neomexicana
15 Gal.
-  DESERT WILLOW (L) 6
Chilopsis linearis
5 Gal. 225af
-  MAIDEN GRASS (M) 6
Miscanthus sinensis
5 Gal.
-  INDIAN HAWTHORN (M) 32
Raphanopsis trifida
5 Gal. 38af
-  LANAI BROOM (M) 6
Cylindropuntia
5 Gal. 9af
-  RED YUCCA (L) 13
Yucca elata
5 Gal. 3af
-  POTTENTILLA (M) 36
Potentilla fruticosa
1 Gal. 9af
-  REGAL MIST (M) 10
Nubigenbergia capillaris
5 Gal. 8af
-  THREADGRASS (M) 26
Stipa tenuissima
1 Gal. 4af
-  HALLS HONEYSUCKLE (M) 10
Jepsonia 'Halliana'
1 Gal. 144af
Unstaked-Groundcover
-  LAVENDER (M) 15
Lavandula angustifolia
1 Gal. 9af
-  GREEN LAVENDER COTTON (M) 39
Santolina Yvona
1 Gal. 8af
-  NATURAL EDGE
-  OVERSIZED GRAVEL & 15 BOULDERS
-  SANTA FE BROWN GRAVEL WITH FILTER FABRIC
-  COBBLE WITH FILTER FABRIC

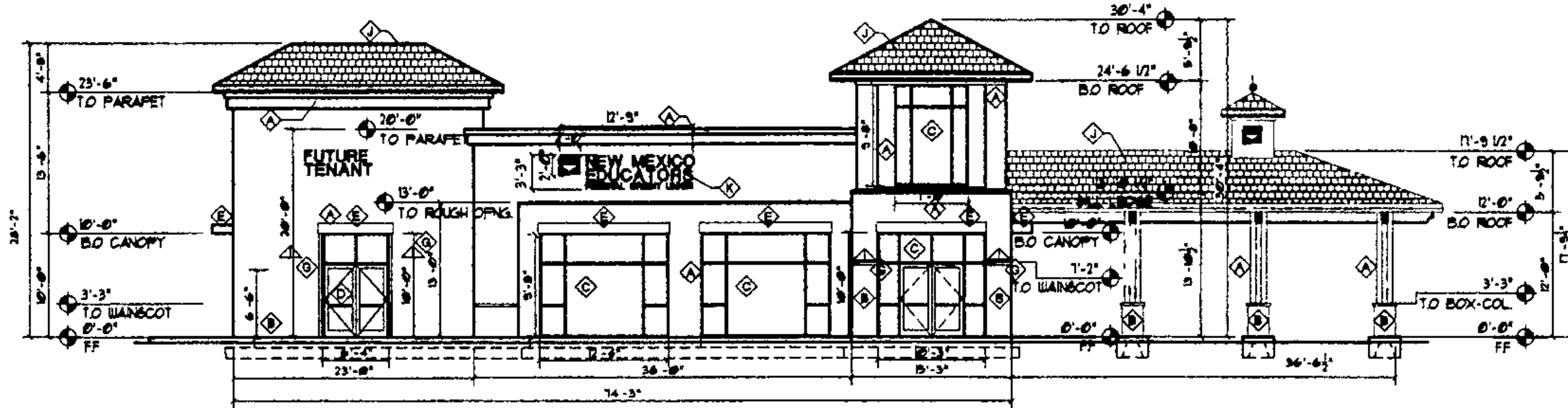


BACKFLOW PREVENTER DETAIL

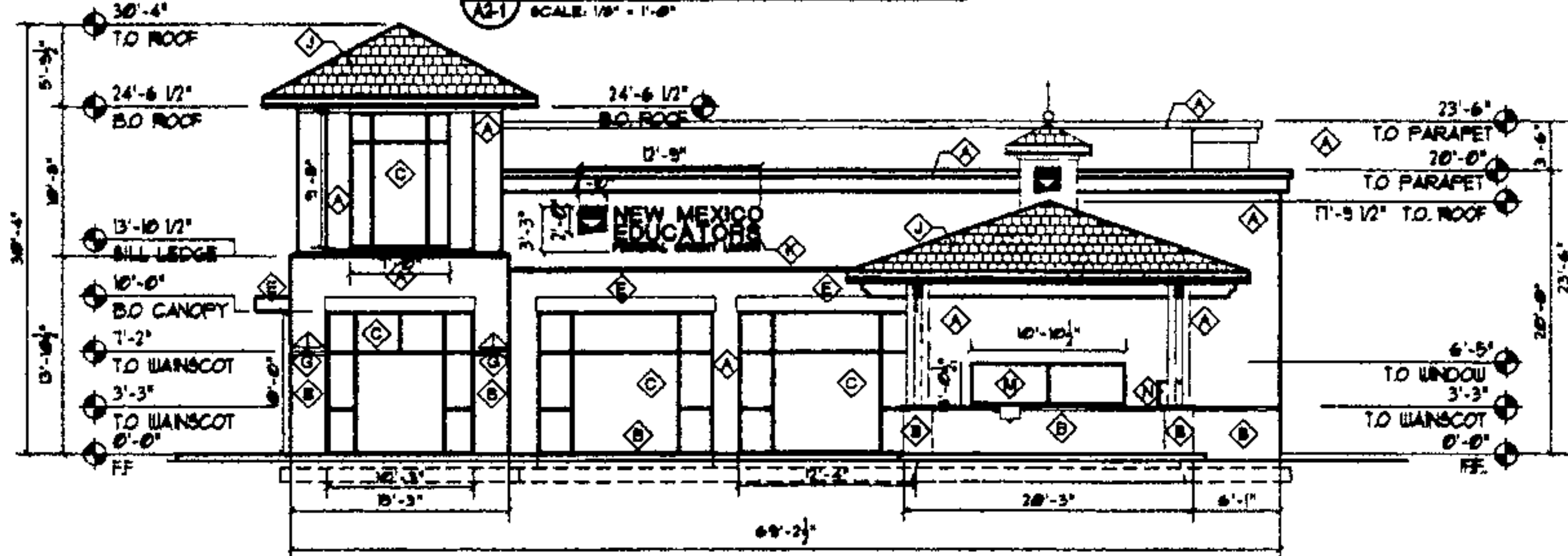
not to scale



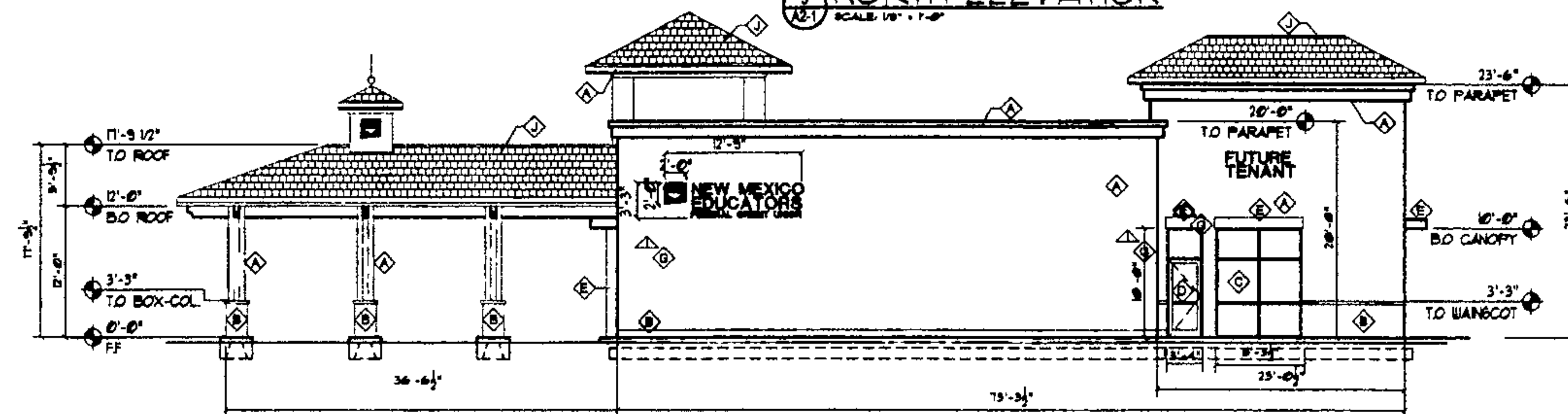
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



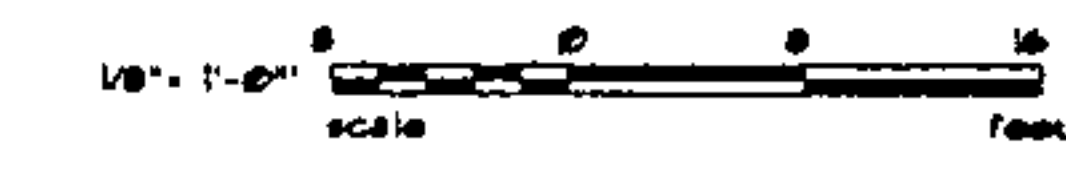
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Keyed Color / Material Schedule		Common Name
◆ STUCCO	EL REY 101 NAVAJO WHITE	WHITE
◆ STUCCO	EL REY 118 ADOBE	DARK BROWN
◆ ALUM STOREFRONT	BRONZE	BRONZE
◆ HOLLOW METAL DOOR	PAINT TO MATCH ADJACENT FINISH	
◆ TUBE STEEL CANOPY	SLATE GREY	SLATE GREY
◆ TUBE STEEL	PAINT TO MATCH EL REY #118 (ADOBE)	
◆ LIGHT FIXTURE	BLACK	BLACK
◆ DOWNSPOUT	PAINT TO MATCH ADJACENT FINISH	
◆ CONCRETE ROOF TILE	SLATE GREY	SLATE GREY
◆ BANK SIGNAGE	BANK LOGO COLOR	BY SIGN MNF
◆ CONCRETE SPLASH BLOCK		
◆ BANK DRIVE-THRU WINDOW	SECURITY GLASS & FRAME BY MNF	BRONZE
◆ DEPOSIT BOX	STAINLESS STEEL	BRONZE

BUILDING SIGNAGE:

Except as noted under settings all signage will be internally illuminated individual type letters not to exceed 10 percent of the wall area of each building elevation. Letters are to be back lit. No exposed neon. Signs must be visible from adjacent streets and parking areas. All signs are prohibited. The Credit Union logo is to be integral part of the overall sign. The sign will be black in color, anodized aluminum and back lighted.

NOTES
ALL MECH EQUIP SHALL BE SHIELDED
ALUM STOREFRONT SHALL BE RECESSED 2"
FROM FACE OF STUCCO
SIGN AREA TO BE DETERMINED BY LOCAL
CODE



REV	DATE	BY	REVISION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P C
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877


PRELIMINARY
NOT FOR
CONSTRUCT

PROJECT TITLE
NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
BANKTOWN AND PASO DEL NORTE
ALBUQUERQUE, NEW MEXICO
PROJECT ARCHITECT
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P C
DATE
1.5.2005
SCALE
1/8" = 1'-0"

DRAWN BY
WMS
CHECKED BY
GSR
PROJECT TITLE
NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
BANKTOWN AND PASO DEL NORTE
ALBUQUERQUE, NEW MEXICO
PROJECT ARCHITECT
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P C
DATE
1.5.2005
SCALE
1/8" = 1'-0"

EXTERIOR ELEVATIONS
A2-1

REV	DATE	BY	REVISION



 GEORGE RAINHART, ARCHITECT AND ASSOCIATES, P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
 14000 EAST PALOMAS AVENUE, ALBUQUERQUE, NEW MEXICO 87110
 JOB NO.: 112506
 SHEET TITLE: OVERALL GRADING PLAN

DATE: 11/25/06
 SCALE: 1" = 20'
 SHEET NO.: C2.1

- GENERAL NOTES:**
- See sheet C2.1 for proposed site plan. All work shall be in accordance with the approved site plan.
 - Surface features shown on this plan are for informational purposes only. The contractor shall verify the location and depth of all existing utilities before construction.
 - All retaining walls shall be constructed in accordance with the approved specifications.

SITE 

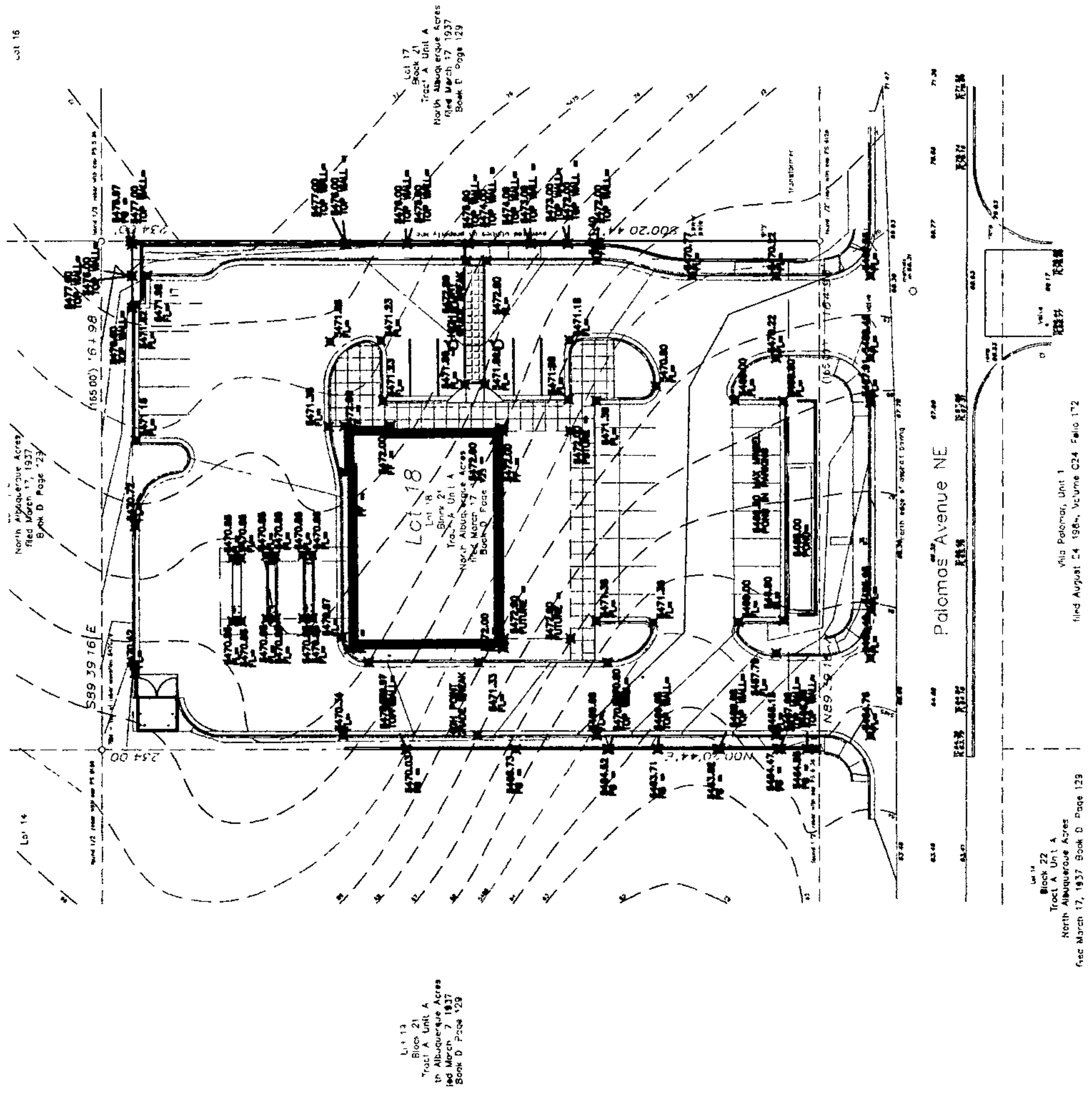
VICINITY MAP
 SCALE NOT TO SCALE


DRAINAGE NARRATIVE

The property currently flows from East to the West. The site has a small 1/2 acre parcel to the east which is part of the Berleson ROW that drains into the site. This water shed is small and will not have adverse effects on the proposed development. The water from offsite will either be diverted into Palomas on the south side of the site or into the Pease Del Norte ROW.

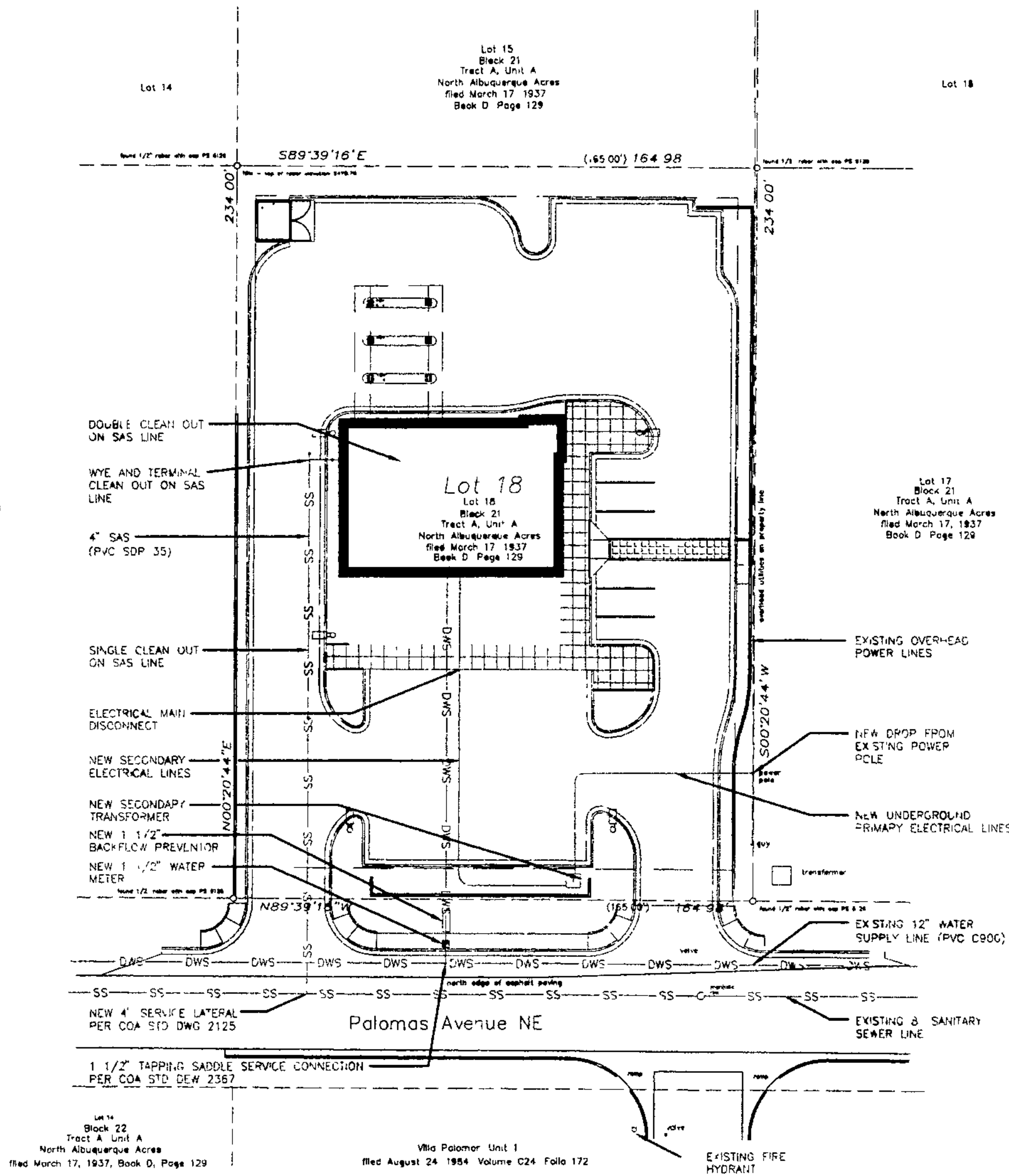
The proposed site improvements include the construction of a new New Mexico Educators Federal Credit Union building and associated parking, drive lanes, and drive up trailers under a canopy. The parking areas will drain toward the south into the Palomas ROW. Retaining walls along the east and west sides will be utilized to reduce the slopes on the parking areas and to add in compliance with ADA requirements. The retaining walls will be less than 4' in height.

New curb and gutter will be installed along the site frontage within the Palomas ROW.



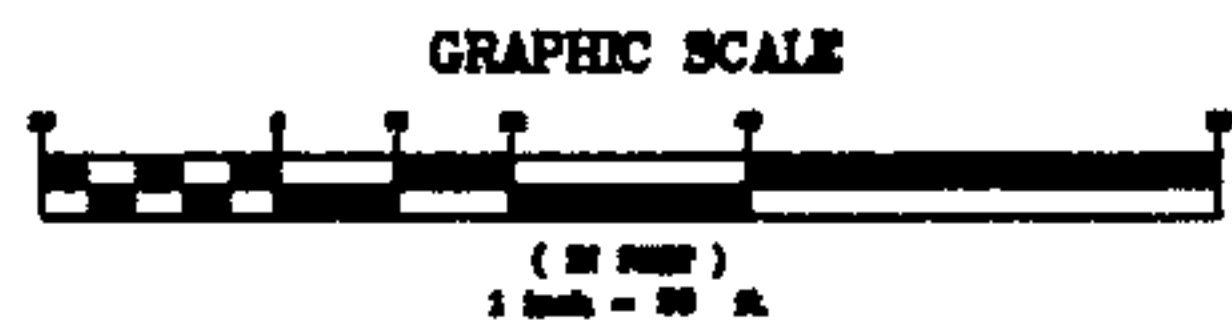
OVERALL GRADING PLAN
 SCALE: 1" = 20'
 SHEET NO.: A1

THE DESIGN GROUP
 ARCHITECTS, PLANNERS, ENGINEERS
 1100 UNIVERSITY AVENUE, SUITE 100
 ALBUQUERQUE, NEW MEXICO 87102



A1 CONCEPTUAL UTILITY PLAN

SCALE 1" = 20'-0"



THE DESIGN GROUP
 ARCHITECTS PLANNERS INTERIORS
 201 CENTRAL AVENUE SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE (505) 884-9110 FAX (505) 884-9111

REV	DATE	BY	REVISION
1		DKK	
2			
3			
4			
5			
6			
7			
8			
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10			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
 201 CENTRAL AVENUE SUITE 200
 ALBUQUERQUE, NM
 PROJECT NUMBER
 AREA COVERED
 SHEET TITLE
CONCEPTUAL UTILITY PLAN

DATE
 11/25/06
 SCALE
 1" = 20'
 SHEET NO.
C3.1

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME NEW MEXICO FEDERAL EDUCATORS CREDIT UNION

AGENT GEORGE RAINHART

ADDRESS _____

PROJECT & APP # 1004622 / 06DRB-00490

PROJECT NAME NEW MEXICO FEDERAL EDU. CREDIT UNION

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

4/10/2006 9:45AM LOC: ANNX
RECEIPT# 00055863 WSH 008 TRAN# 0004
Account: 441032 Fund 0110
Activity 3424000 TRSCCS
Trans Amt \$20.00
J24 Misc

\$20.00

CR \$20.00

CHANGE \$0.00