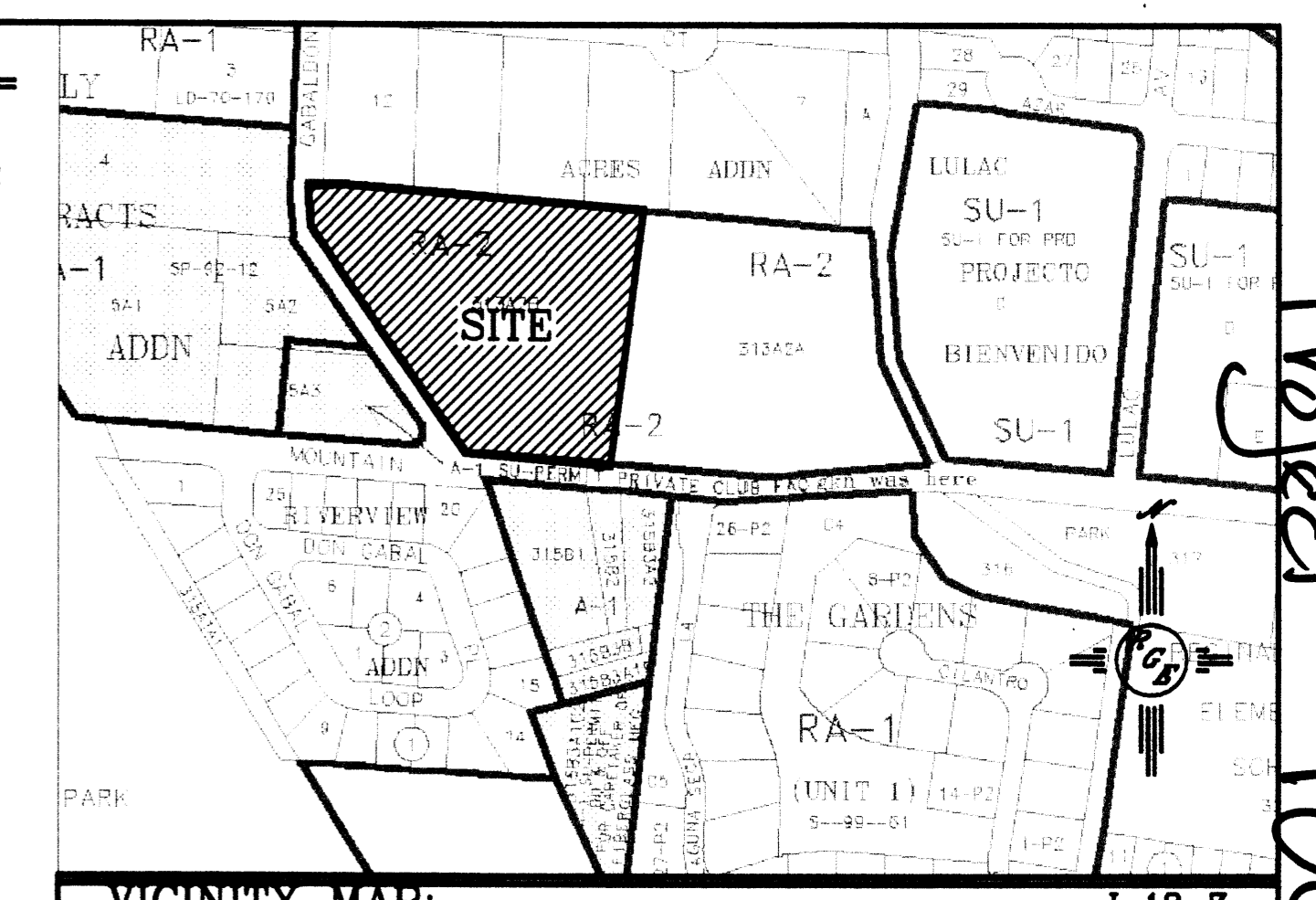


Project 1004639

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- FUTURE CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED 4' SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- FUTURE LOT LINES
- BUILDING ENVELOPE
- 6' SCREEN WALL
- COA ROW DEDICATION



VICINITY MAP: 1-12-7

LEGAL DESCRIPTION:
TRACT 313-A-2-B, ACRES ADDITION, MRGCD MAP #28

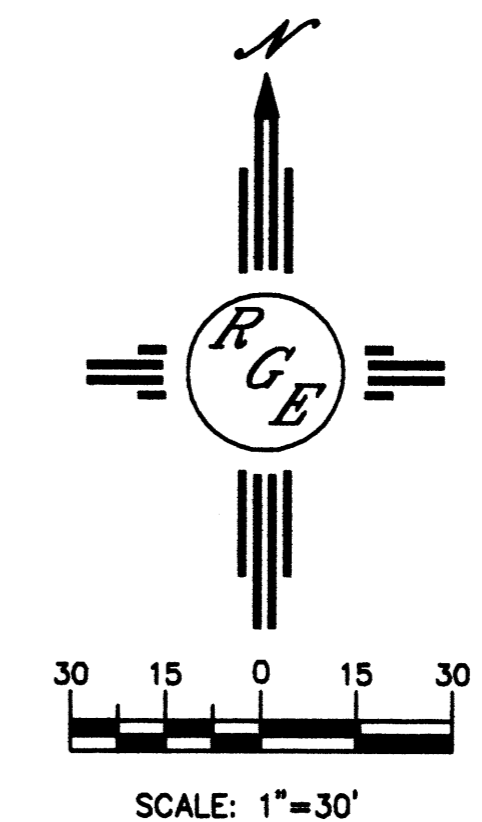
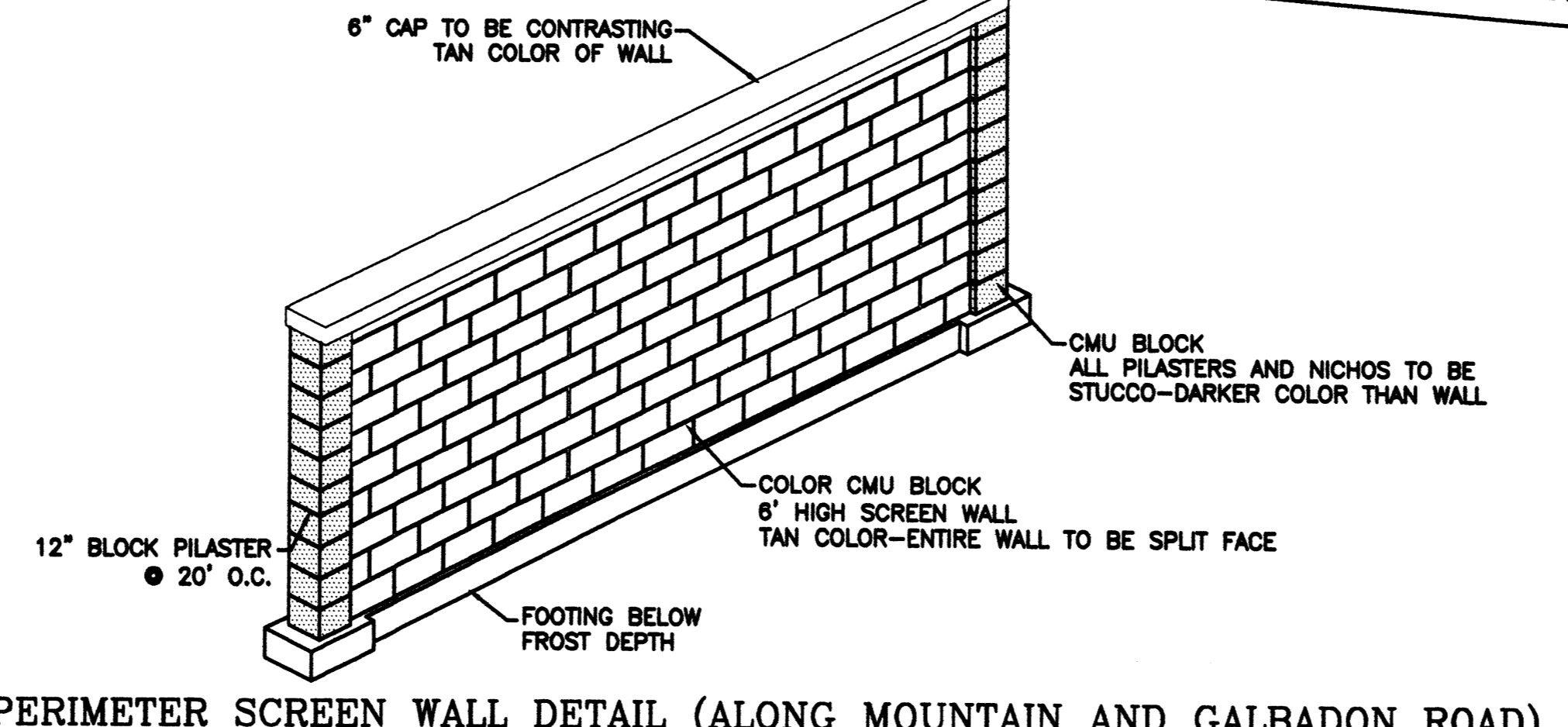
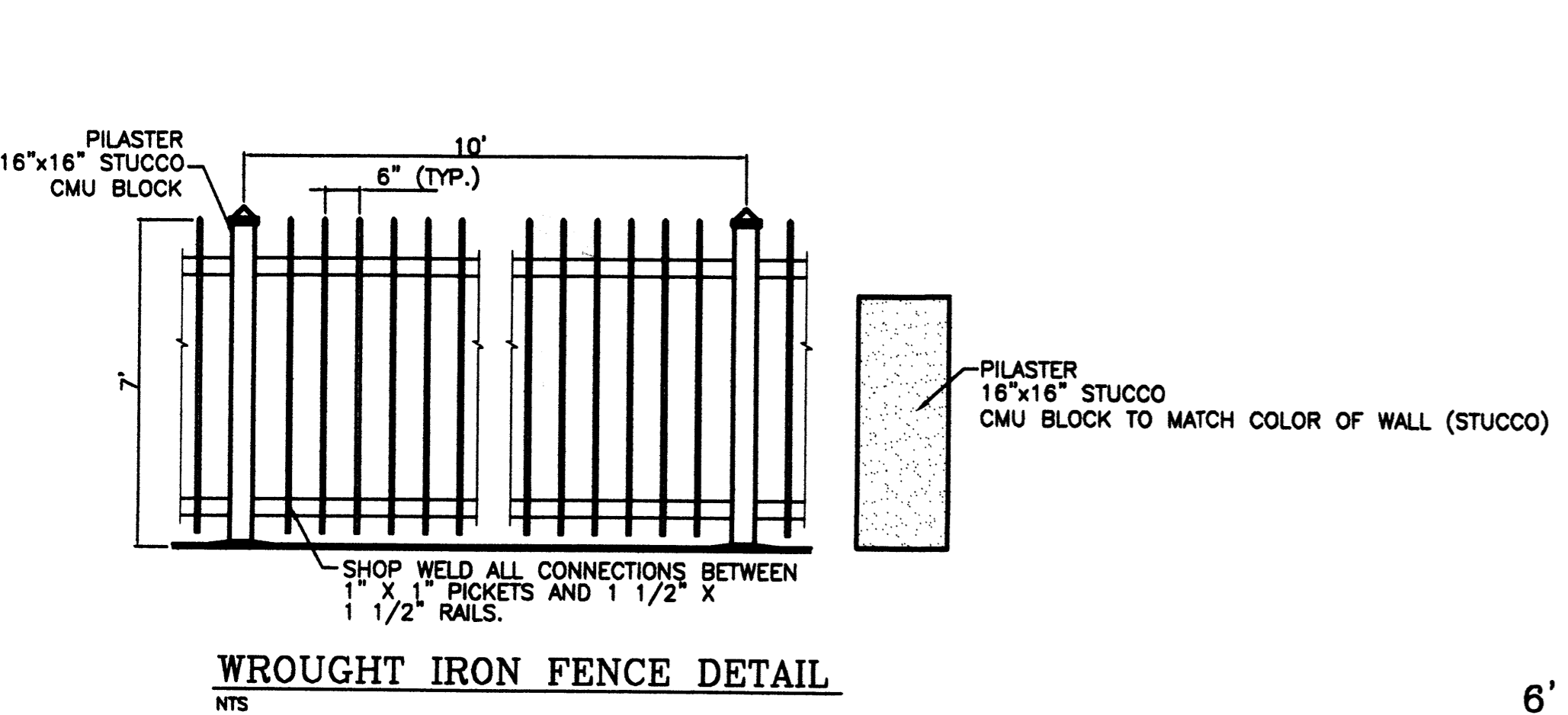
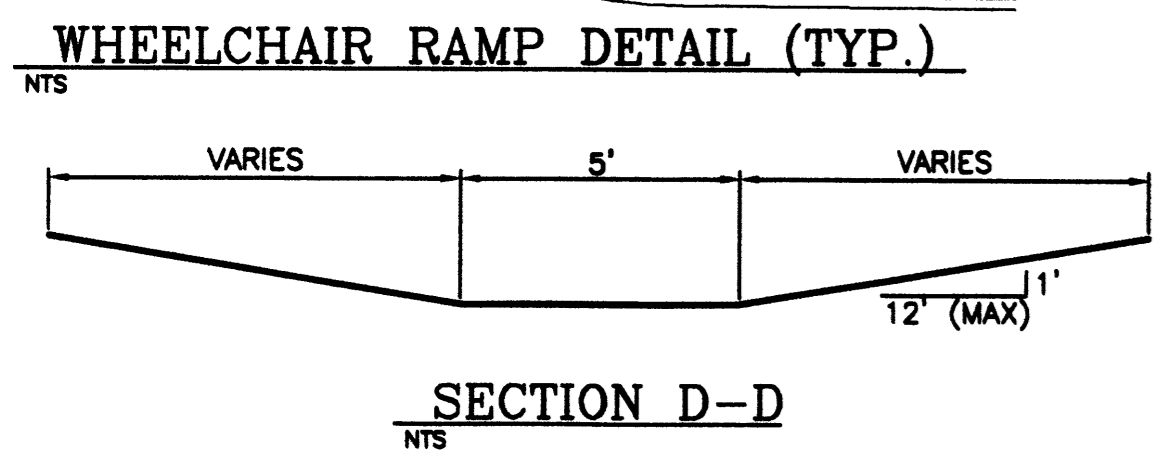
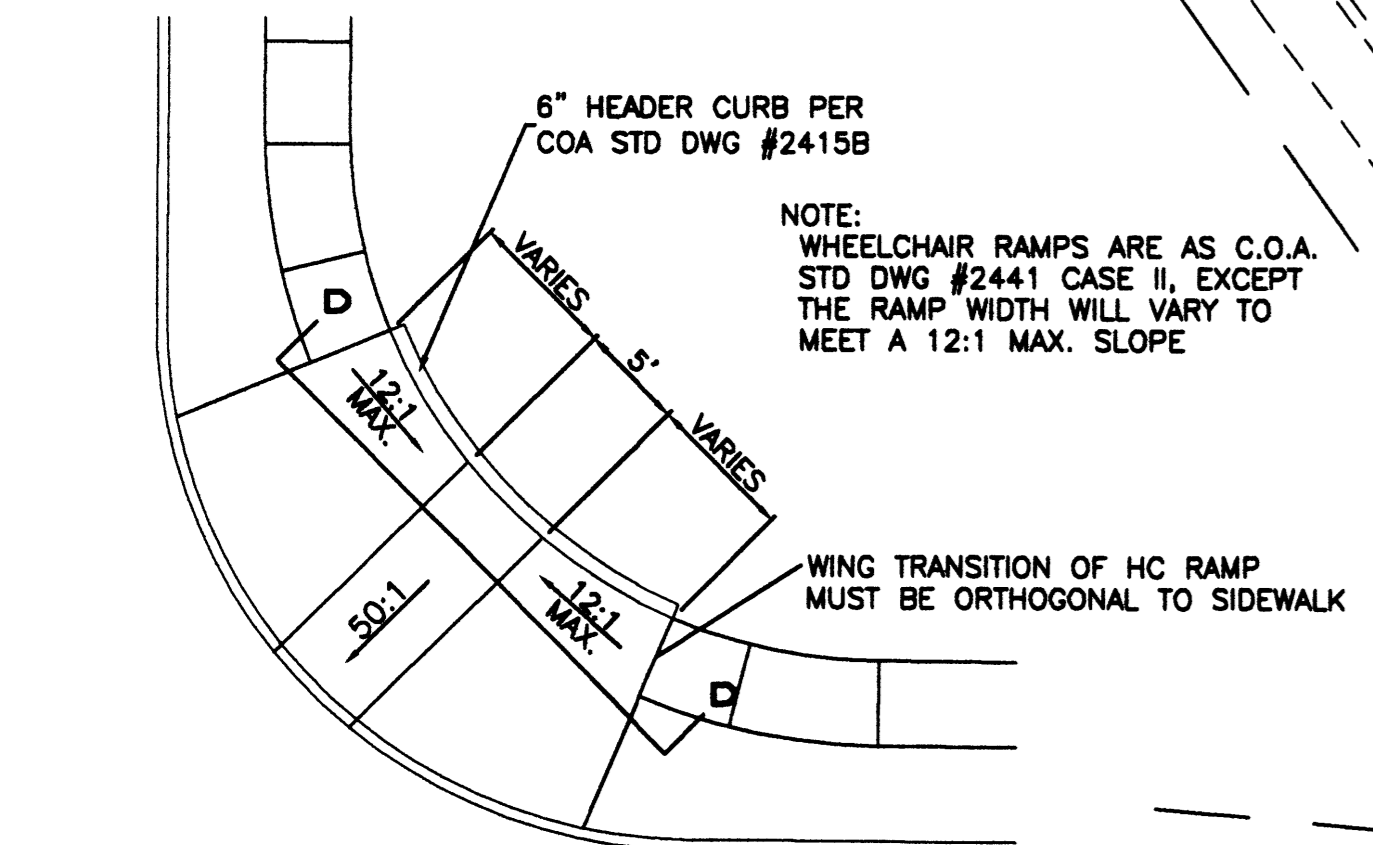
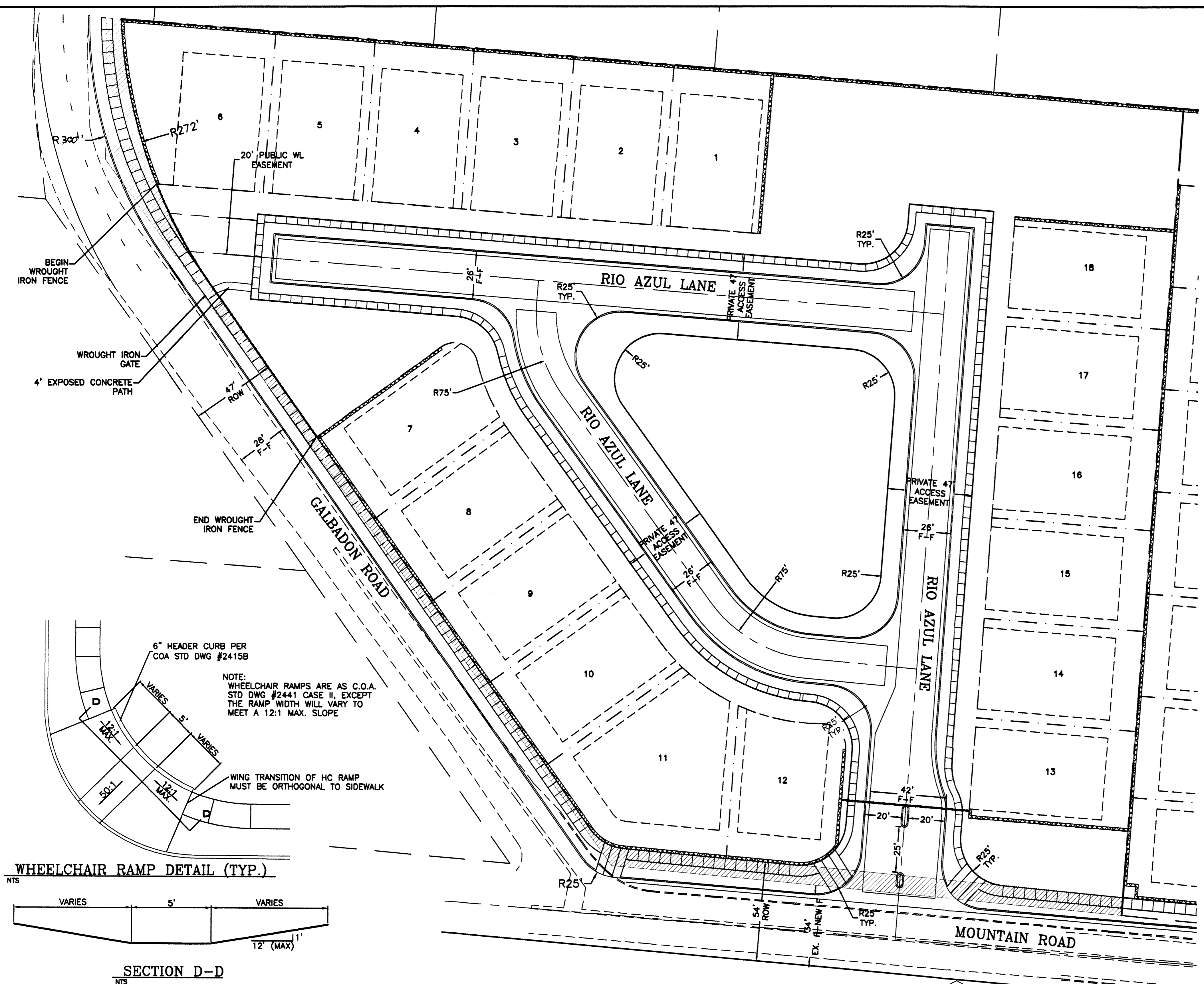
- NOTES:**
1. OPEN SPACE TRACT SHALL BE MAINTAINED BY THE DEL BOSQUE HOMEOWNERS ASSOCIATION.
 2. ALL WALLS AND FENCE MUST MEET THE DESIGN STANDARDS FOR WALLS, PER SECTION 14-16-3-19 OF THE ZONING CODE.
 3. ALL LIGHTING SHALL BE BUILT TO COA STANDARDS FOR PUBLIC RIGHT-OF-WAY, AND SHALL BE SHIELDED TO PROVIDE DOWNWARD LIGHT EMISSION AND PREVENT BOTH LIGHT TRESPASS AND UPWARD LIGHT POLLUTION, TO INCLUDE STREET LIGHTING WITHIN THE PRIVATE ROADWAY SYSTEM.
 4. FRONT SETBACK FROM STREET SHALL BE AT LOT LINE. DISTANCE OF LOT LINE TO BACK OF CURB IS 21.83'. ALL GARAGES MUST BE 20' FROM BACK OF SIDEWALK.
 5. REAR SETBACK SHALL BE 15'.
 6. SIDE YARD SETBACK SHALL BE 5' MIN.
 8. MAXIMUM BUILDING HEIGHT SHALL BE 26'

PROJECT NUMBER: 1004639	
APPLICATION NUMBER: 06 DRB-00254	
Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
<i>April S...</i> Traffic Engineer, Transportation Division	5-4-06 Date
<i>Roger A. ...</i> Utilities Development	3-29-06 Date
<i>Christina ...</i> Parks & Recreation Department	3/29/06 Date
<i>Bradley ...</i> City Engineer	3/29/06 Date
<i>N/A</i> * Environmental Health Department (conditional)	Date
<i>N/A</i> Solid Waste Management	Date
<i>Andrew Garcia</i> DRB Chairperson, Planning Department	5-8-06 Date

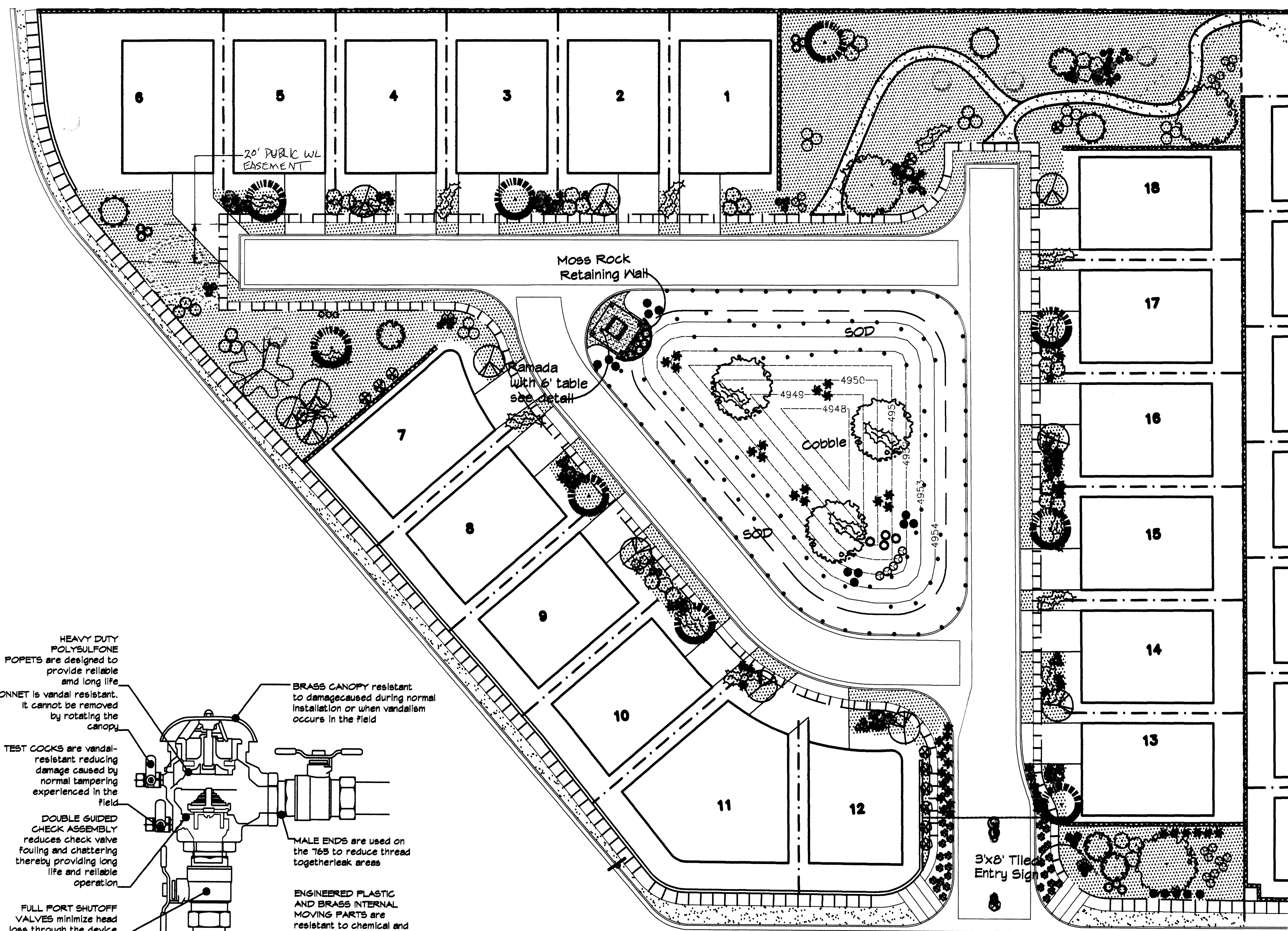
SITE DATA

PROPOSED USAGE:	RESIDENTIAL
ZONED:	RA-2
TRACT AREA:	4.6987 AC±
NUMBER OF LOTS:	18 LOTS
DENSITY UNITS:	3.83 DU'S
TRACT A (PCA) GROSS AREA:	106,309 SF (2.4405 AC±)
TRACT A (PCA) NET AREA:	63,926 SF (1.4675 AC±)

(LESS STREET, DRIVEWAYS, AND SIDEWALK)

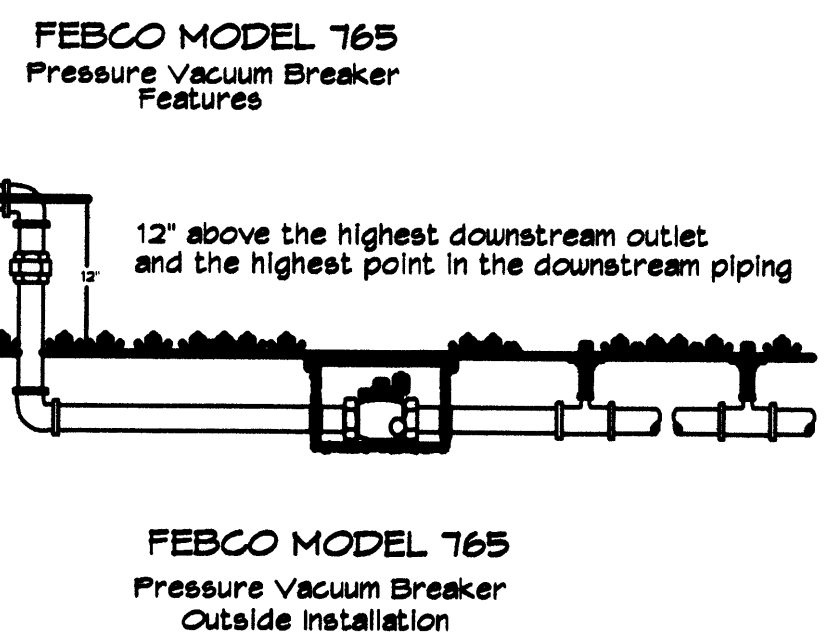
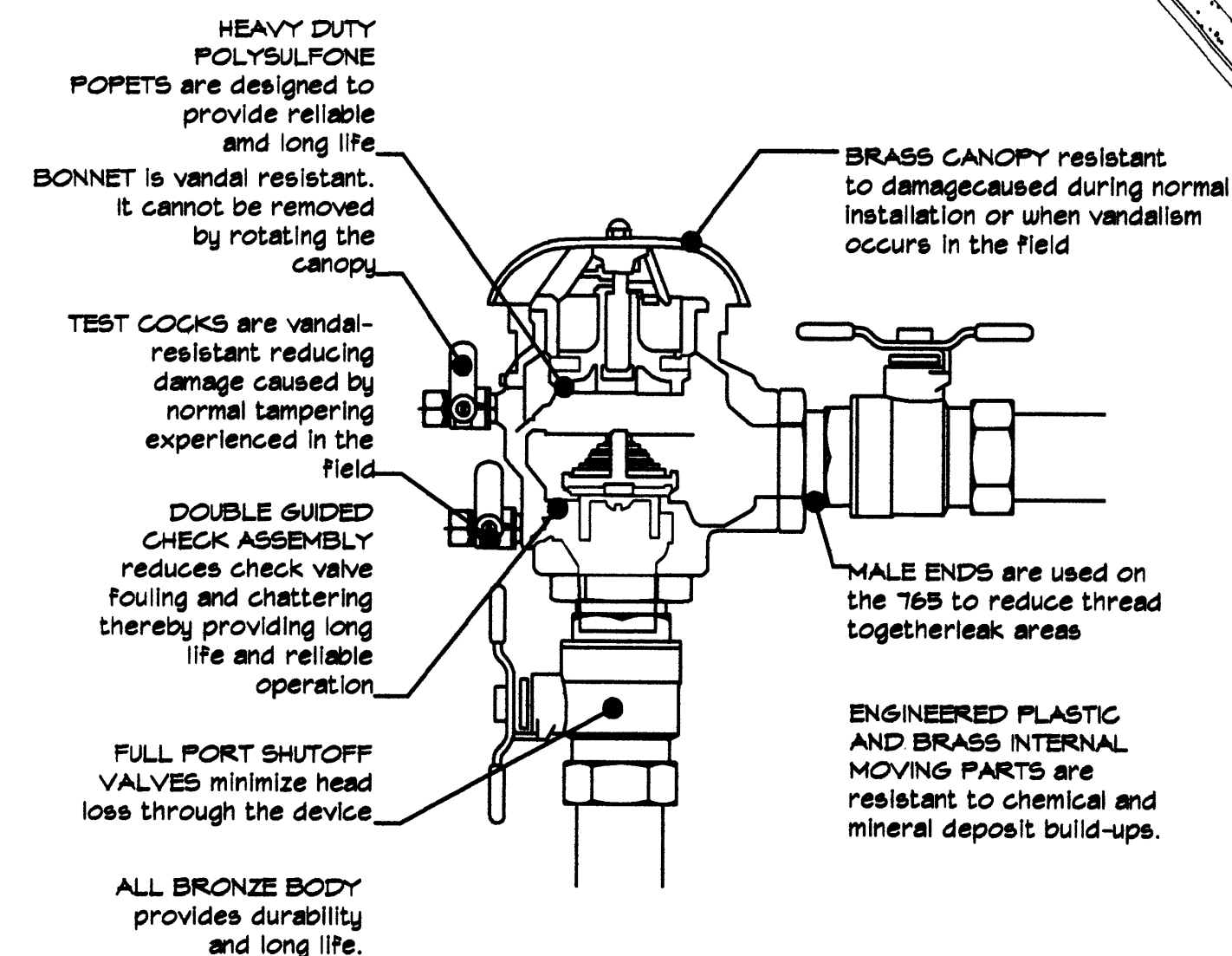


ENGINEER'S SEAL 	VENTANA DEL BOSQUE SITE PLAN FOR SUBDIVISION Rio Grande Engineering 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	DRAWN BY WCKJ DATE 3-24-06 2000-SF-1-10-06AX SHEET # JOB # 2600
DAVID SOULE P.E. #14522		



PLANT LEGEND

- EXISTING TREE
- ✿ CHINESE PISTACHE (M)
Pistachia chinensis
2" Gal.
- COTTONWOOD (H)
Populus fremontii
2" Gal.
- AUSTRIAN PINE (L)
Pinus spp.
6-8'
- DESERT WILLOW (L)
Chilopsis linearis
15 Gal.
- CRABAPPLE (M)
Malus cultivars
15 Gal.
- WASHINGTON HAWTHORN (M+)
Crataegus phaenopyrum
15 Gal.
- MUGO PINE (M)
Pinus mugo
5 Gal.
- BIRD OF PARADISE (L)
Caesalpinia gilliesii
5 Gal. 100sf
- BUTTERFLY BUSH (M)
Buddleia davidii
5 Gal. 100sf
- BLUE MIST SPIREA (M)
Caryopteris clandonensis
5 Gal. 4sf
- ✱ MAIDENGRASS (M)
Miscanthus sinensis
5 Gal. 16sf
- ⊗ INDIAN HAWTHORN (M)
Raphiolepis indica
5 Gal. 36sf
- ⊕ POTENTILLA (M)
Potentilla fruticosa
2 Gal.
- ROSEMARY (M)
Rosmarinus officinalis
2 Gal. 4sf
- APACHE PLUME (L)
Fallugia paradoxa
1 Gal. 25sf
- RUSSIAN SAGE (M)
Perovskia atriplicifolia
1 Gal. 36sf
- REGAL MIST (M)
Muhlenbergia capillaris
1 Gal. 4sf
- LAVENDER (M)
Lavandula angustifolia
1 Gal. 4sf
- THREADGRASS (M)
Stipa tenuissima
1 Gal. 4sf
- ✿ CREEPING ROSEMARY (L)
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- WILDFLOWER
1 Gal. 4sf
- BOULDERS
- ~ COMMERCIAL GRADE STEEL EDGING
- SANTA FE BROWN CRUSHER FINE WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
- 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"
- TAMPED COBBLE
- COBBLE
- SOD BUFFALO GRASS SOD WITH POP UP



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Santa Ana Tan Gravel or Santa Fe Brown Crusher Fine over Filter Fabric to a minimum depth of 3 inches shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

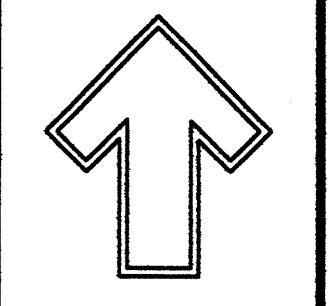
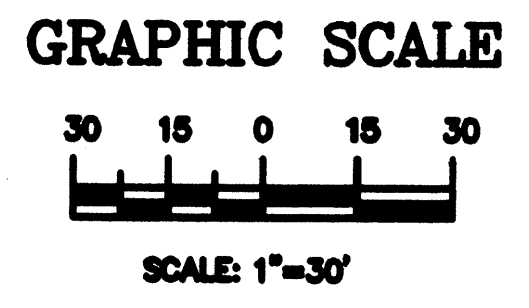
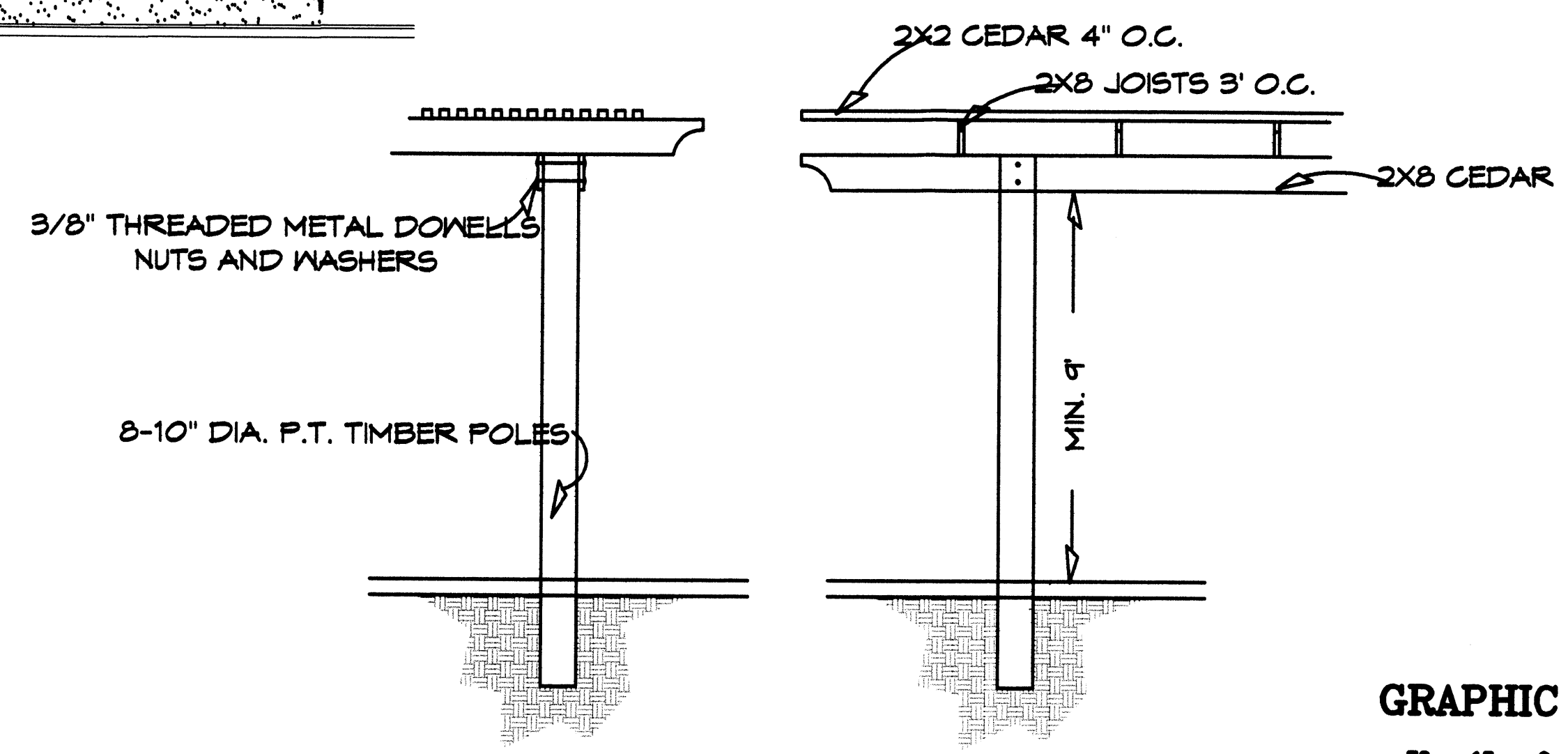
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



Cont. Lic. #26458
7809 Earth N.E.
Albuquerque, N.M. 87184
Phone: (505) 886-0600
Fax: (505) 886-7737
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLOJ
#0007

VENTANA DEL BOSQUE

LANDSCAPE PLAN

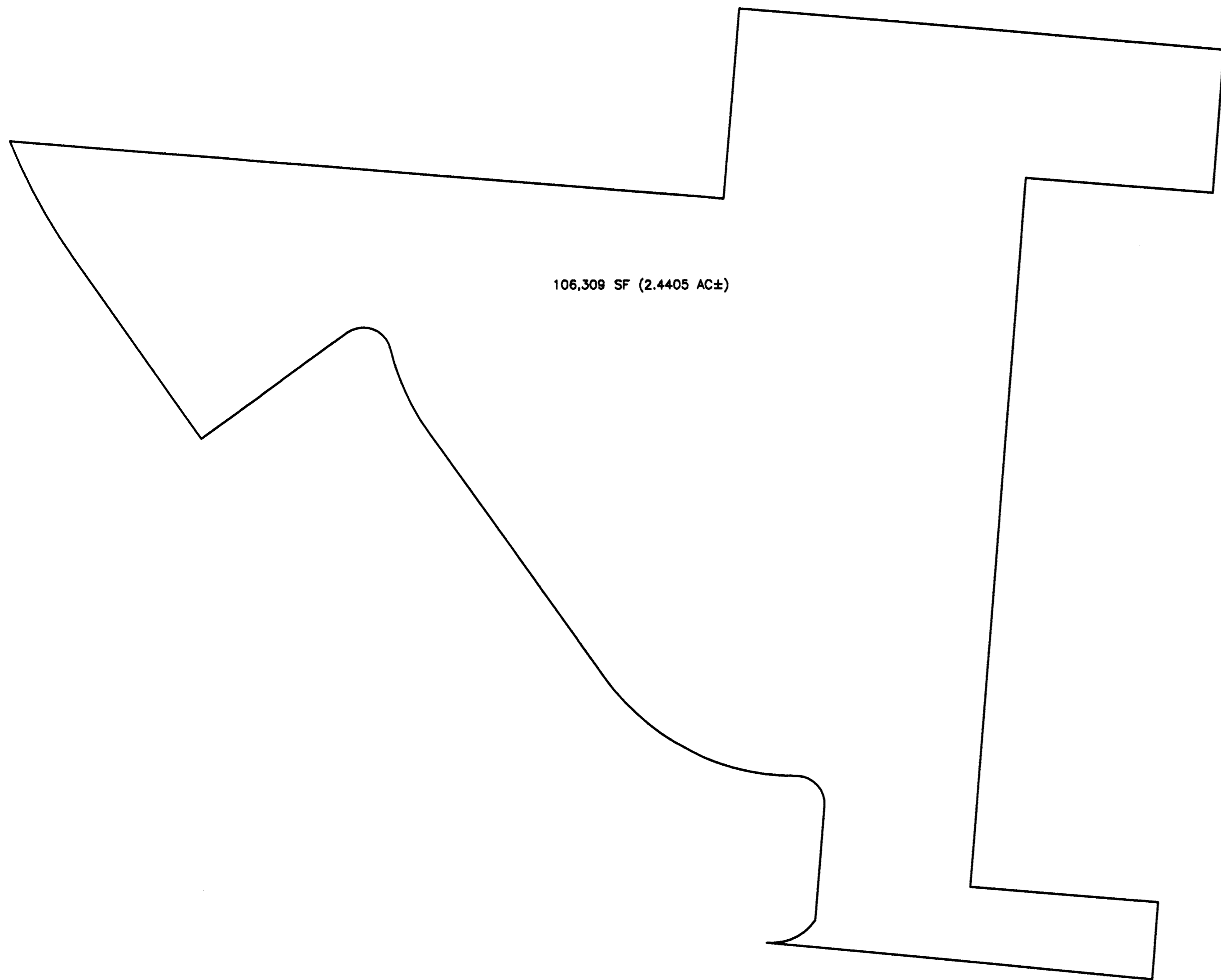
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable law have been met or prior written consent is obtained.



DRAWN BY: ADF
REVISION: #1
DATE: 2/23/06

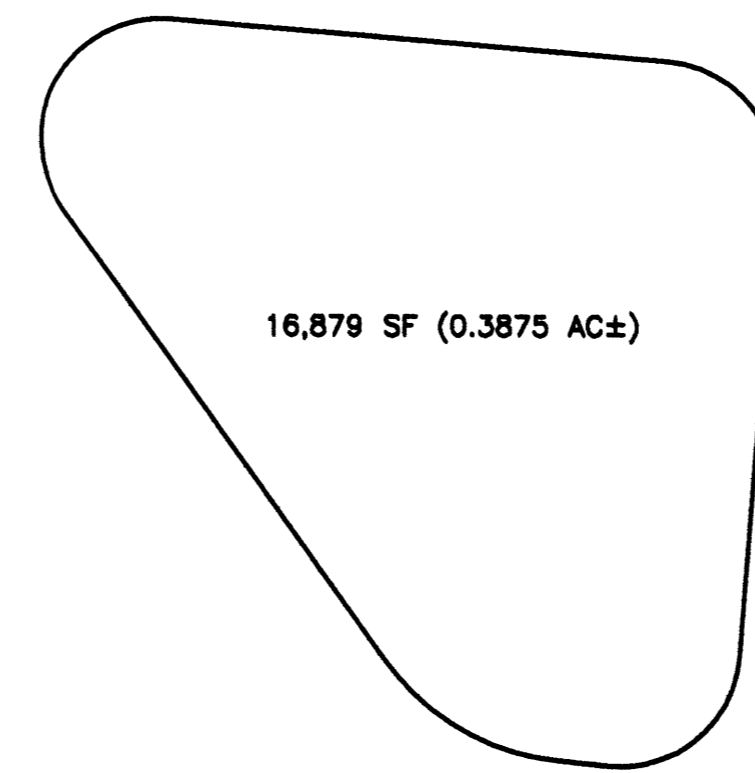
SHEET #
L1 of L1

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



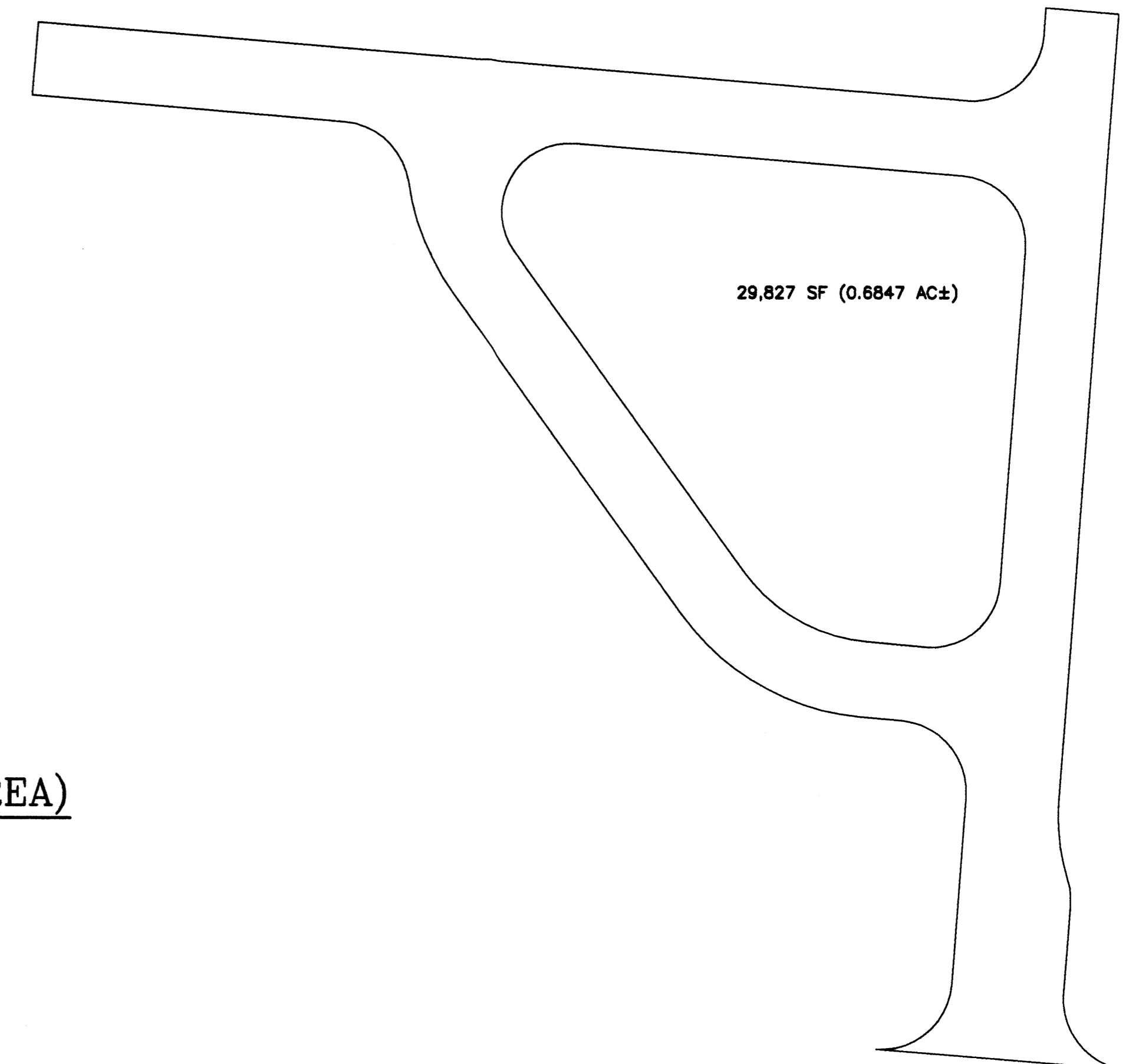
106,309 SF (2.4405 AC±)

PCA (TRACT A OVERALL)



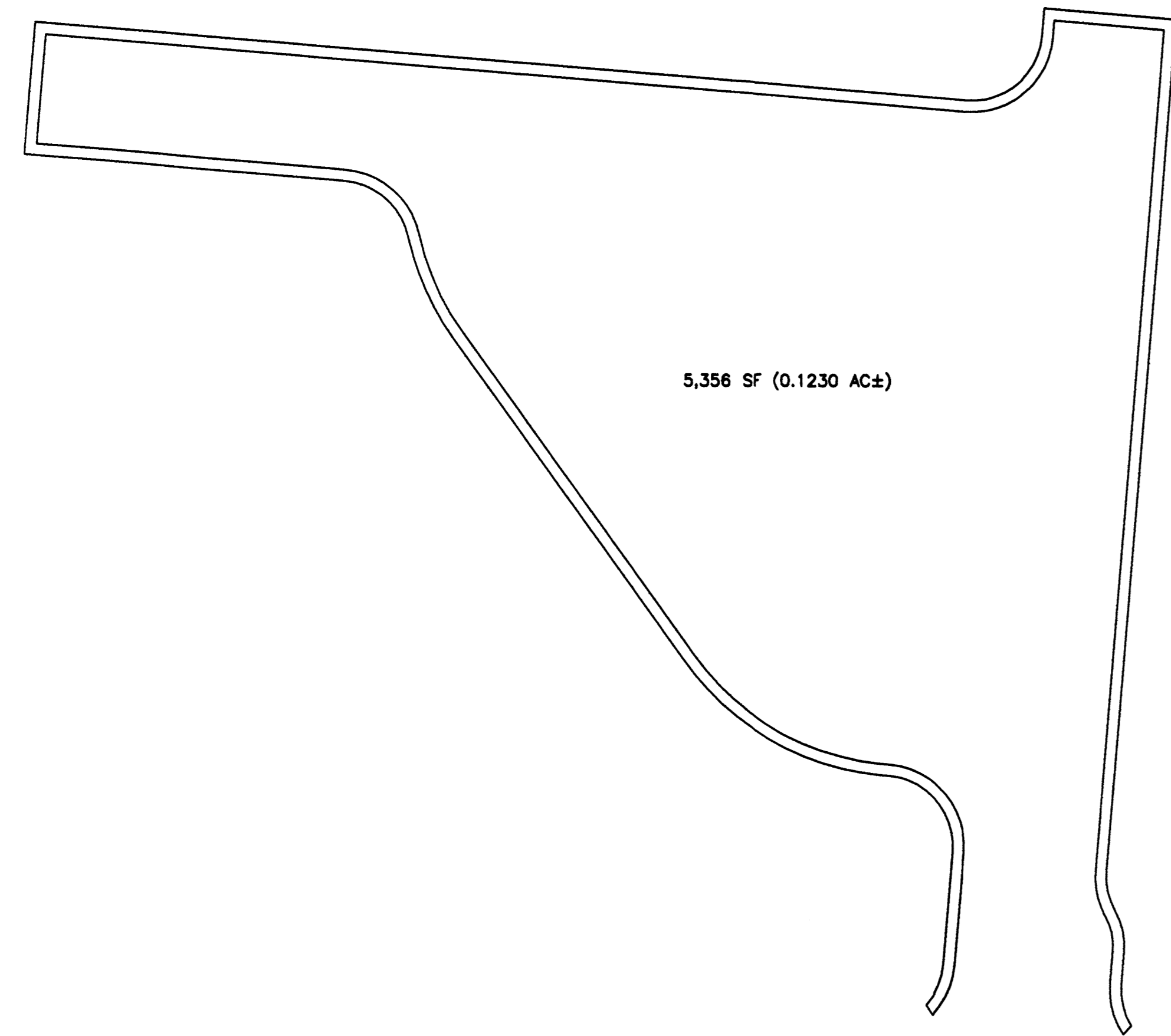
16,879 SF (0.3875 AC±)

PCA (CENTRAL COMMON AREA)



29,827 SF (0.6847 AC±)

PCA (ROAD WAY)

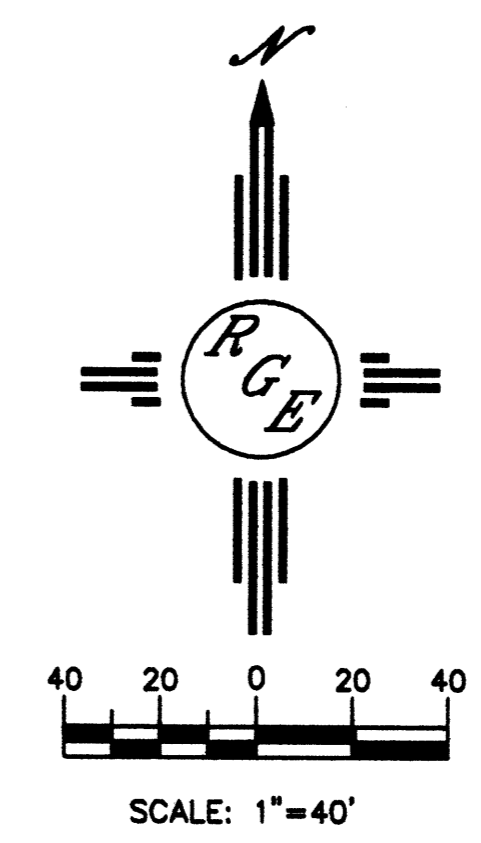


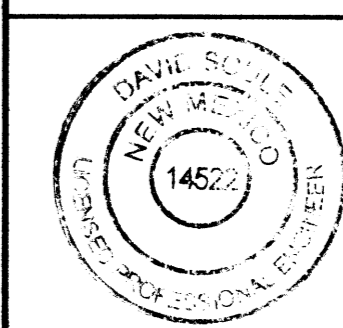
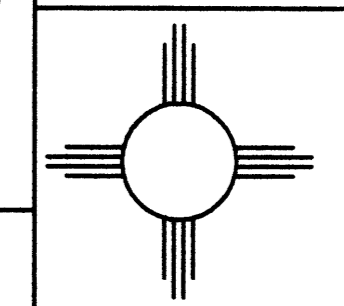
5,356 SF (0.1230 AC±)

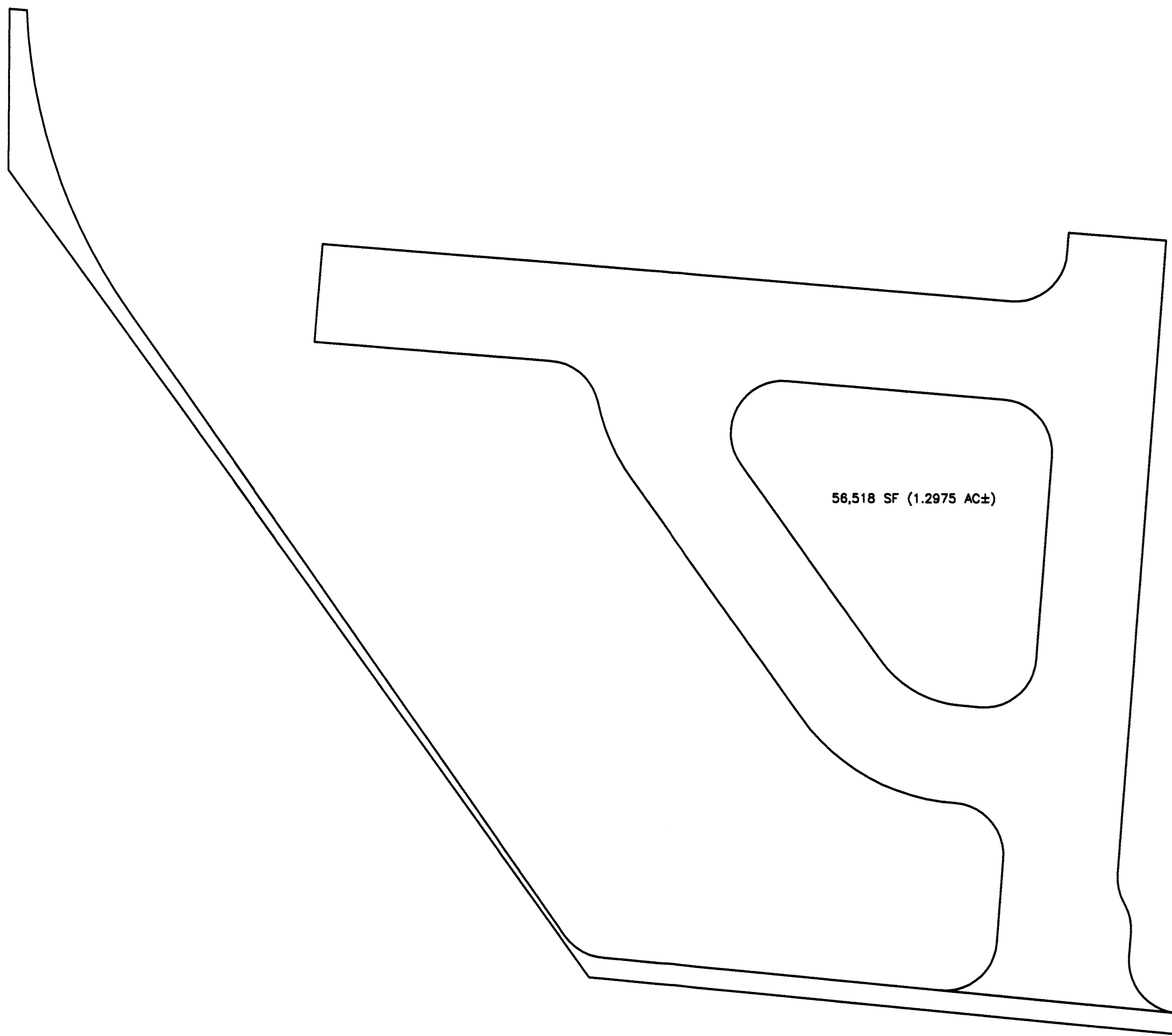
PCA (SIDEWALK)

PCA DATA

TRACT A (PCA) GROSS AREA:	106,309 SF (2.4405 AC±)
SIDEWALK AREA:	5,356 SF (0.1230 AC±)
ROADWAY AREA:	29,827 SF (0.6847 AC±)
DRIVEPAD AREA (18 LOTS X 400 SF):	7,200 SF (0.1653 AC±)
TRACT A (PCA) NET AREA:	63,928 SF (1.4675 AC±)
REQUIRED (PCA) NET AREA:	61,403 SF (1.4096 AC±)

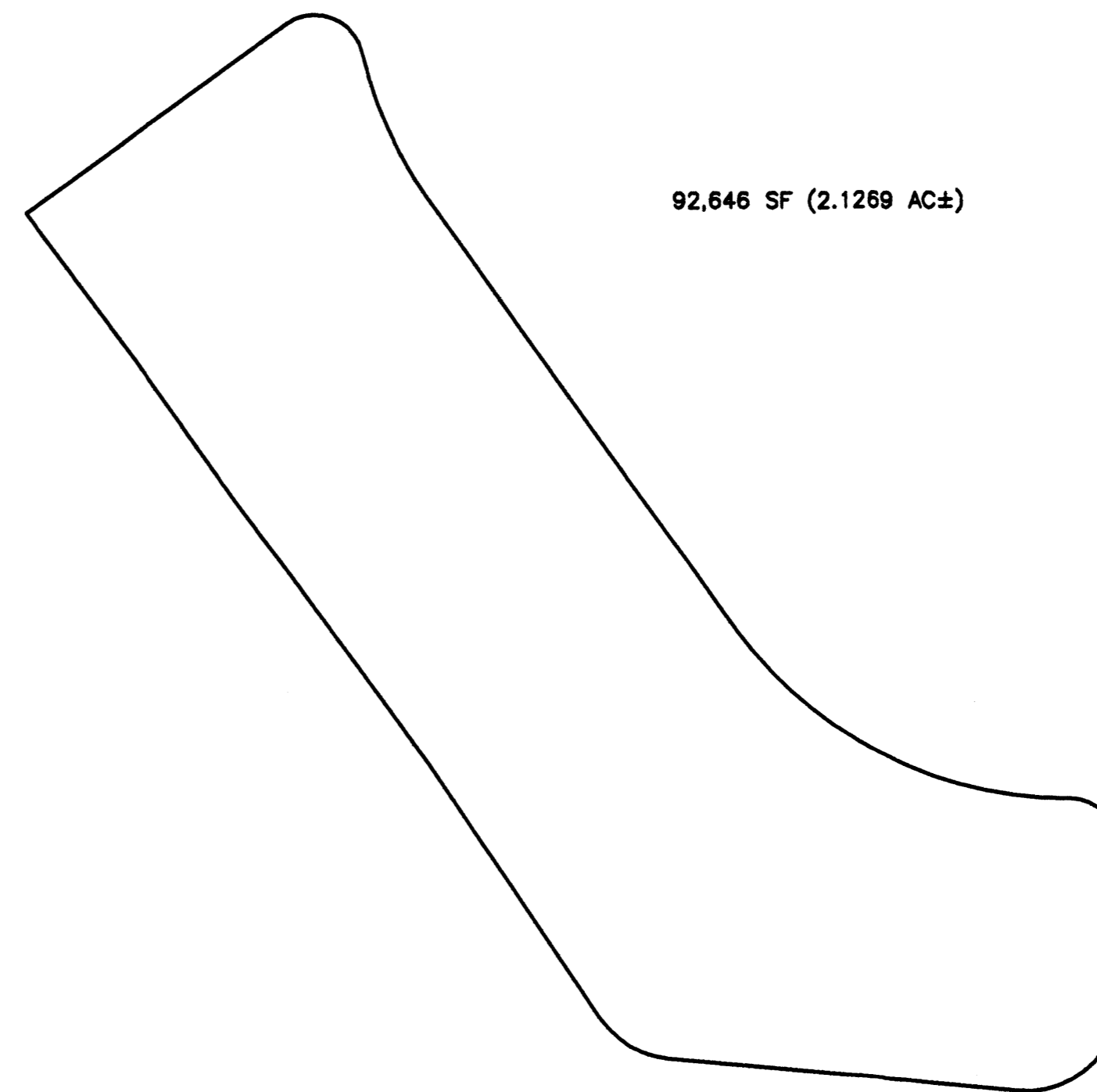
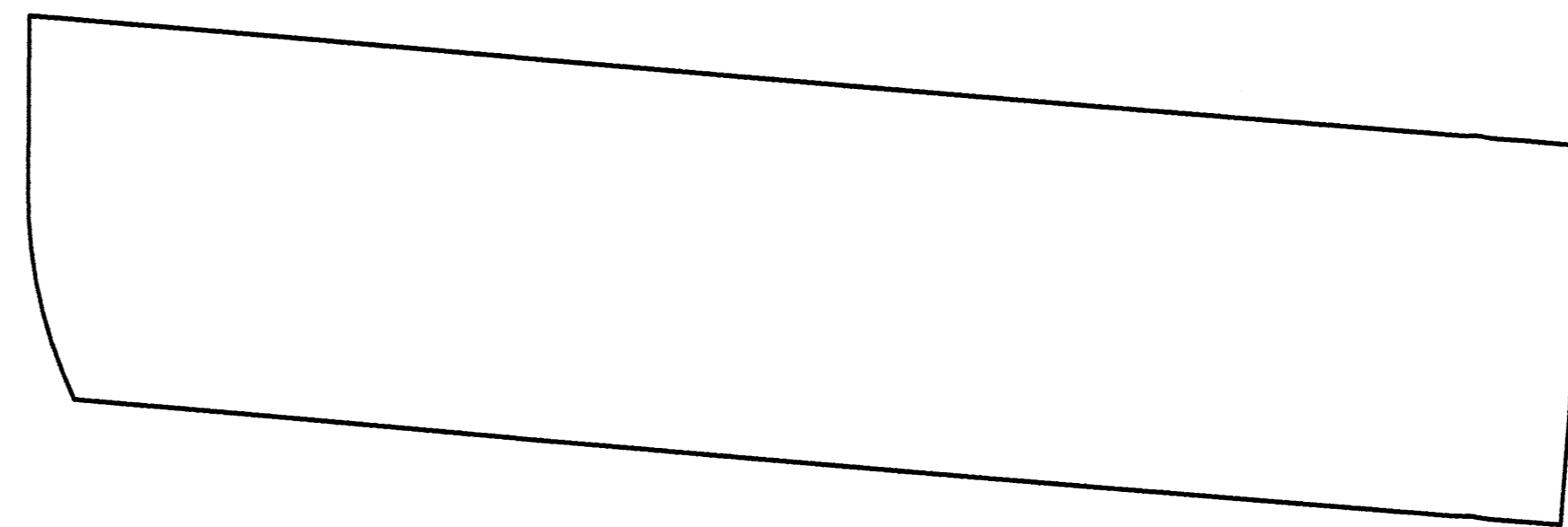


ENGINEER'S SEAL 	VENTANA DEL BOSQUE PCA EXHIBIT	DRAWN BY WCVJ DATE 2-22-06 2600-SP-1-10-06AX
	 Rio Grande Engineering 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	SHEET # —
DAVID SOULE P.E. #14522		JOB # 2600

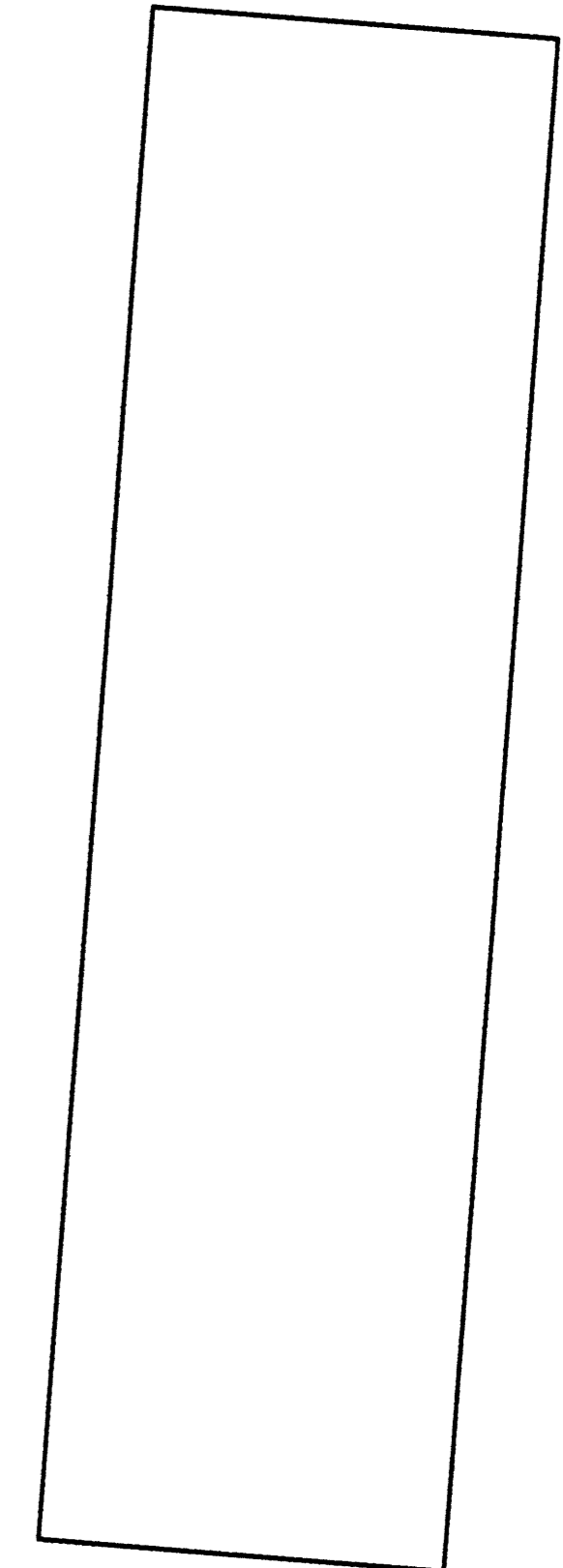


56,518 SF (1.2975 AC±)

ROW AREA



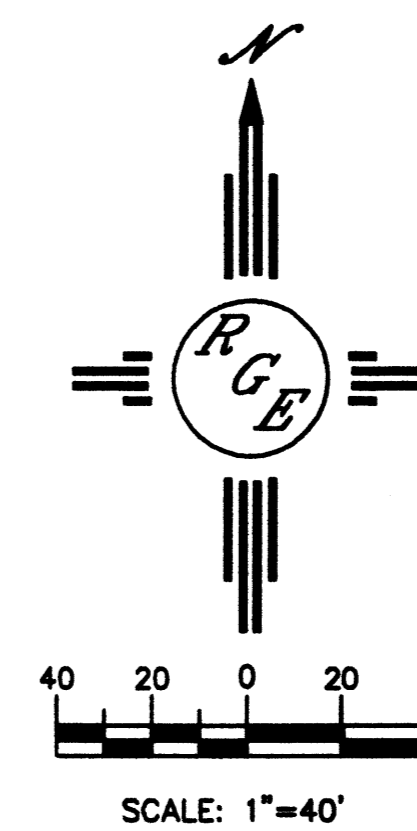
92,646 SF (2.1269 AC±)

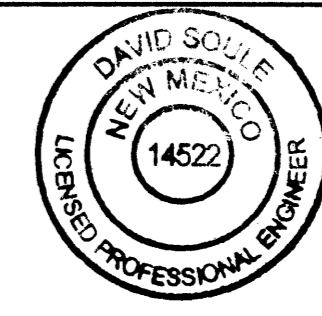
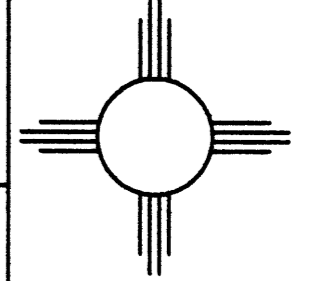


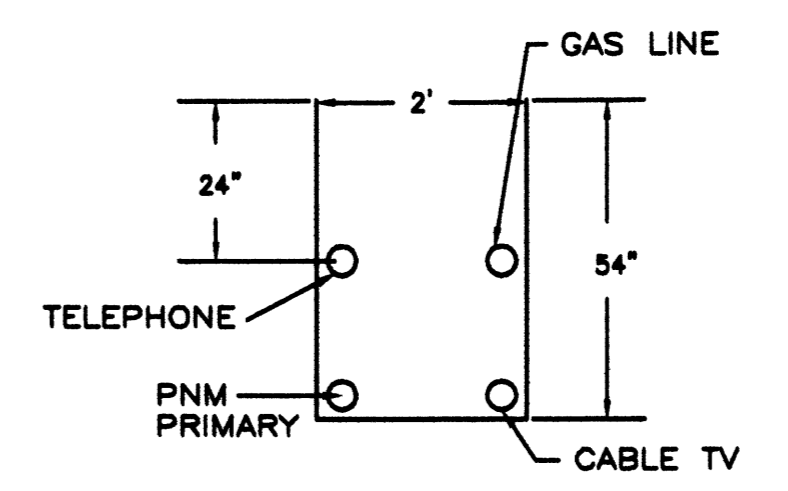
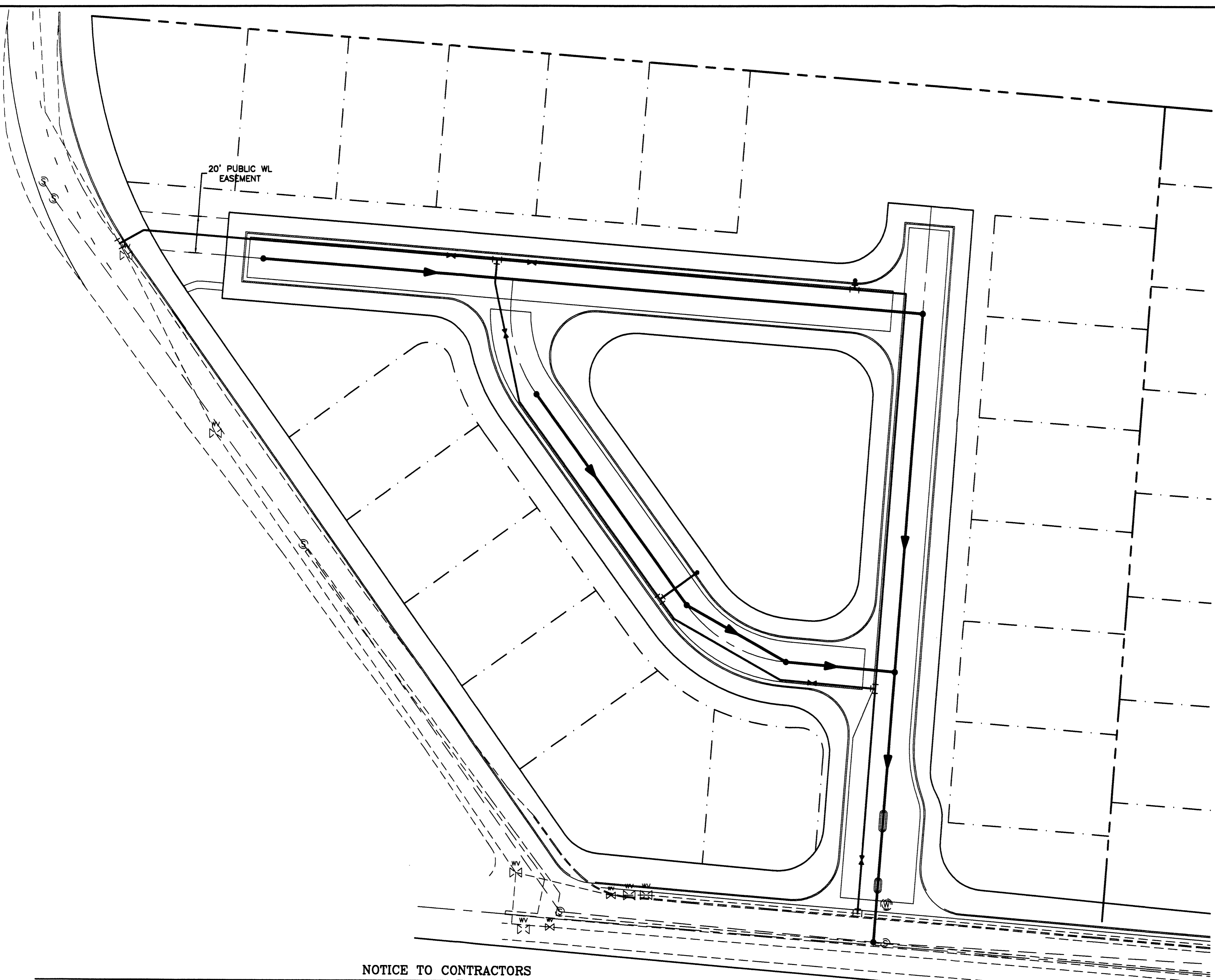
PROPOSED LOT AREA

PCA DATA

TOTAL SUBDIVISION AREA:	204,675 SF (4.6987 AC±)
ROW AREA:	56,518 SF (1.2975 AC±)
STRAIGHT ZONED NET LOT AREA:	148,157 SF (3.4012 AC±)
PROPOSED LOT AREA:	92,646 SF (2.1269 AC±)
LOT AREA REDUCTION:	55,511 SF (1.2744 AC±)
TRACT A (PCA) NET AREA:	83,926 SF (1.4675 AC±)



	VENTANA DEL BOSQUE	DRAWN BY WCVJ DATE 3-24-06
	PCA EXHIBIT	2800-SP-1-10-06AX
 Rio Grande Engineering 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0998	SHEET # -	JOB # 2600
	DAVID SOULE P.E. #14522	



UTILITY TRENCH DETAIL
NTS

WATER SHUTOFF PLAN SHUTOFF VALVES: _____

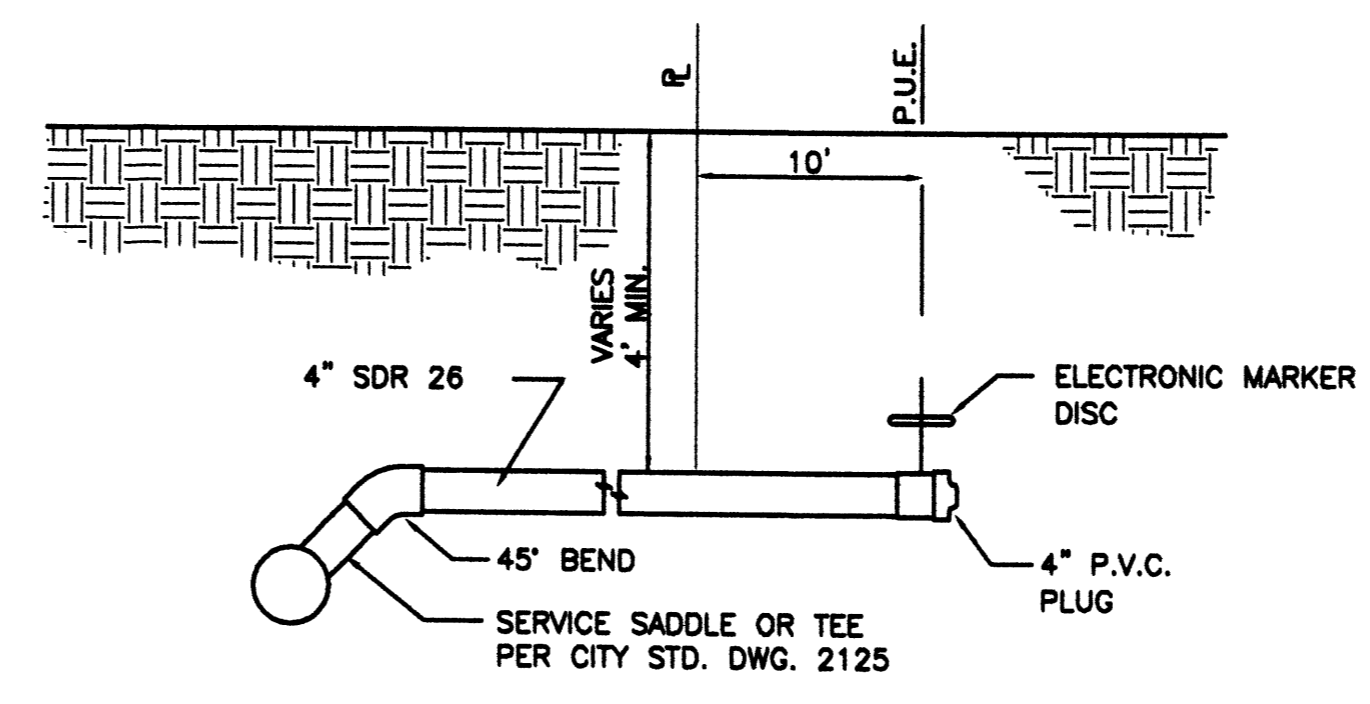
- WATER SHUTOFF NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

LEGEND

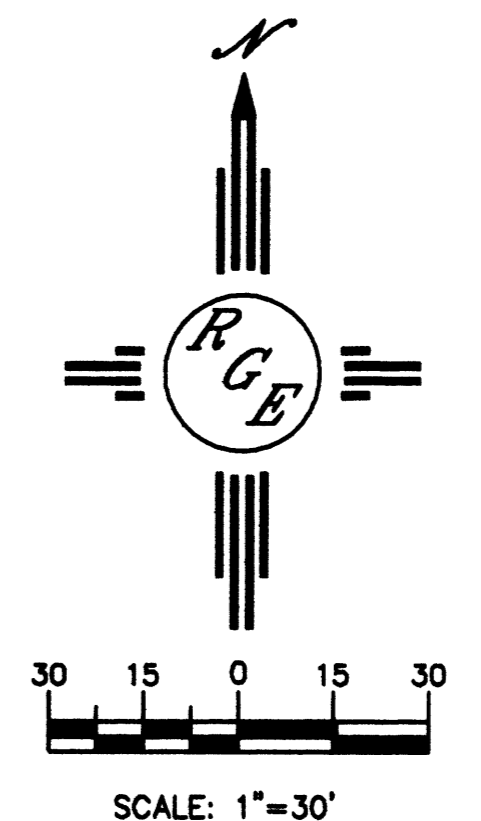
○	EXISTING SAS MANHOLE
— EX. 8" SAS —	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
— 8" SAS —	PROPOSED SANITARY SEWER LINE
—	SANITARY SEWER SERVICE LINE
— EX. 12" WL —	EXISTING WATER LINE
⊠	PROPOSED METER
⊠	PROPOSED VALVE W/BOX
⊠	PROPOSED FIRE HYDRANT
—	WATER SERVICE LINE
— 8" WL —	PROPOSED WATER LINE
—	PROPOSED STORM SEWER LINE
=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
—	CENTERLINE
—	RIGHT-OF-WAY
—	DRY UTILITY TRENCH
—	BOUNDARY LINE
- - - - -	EASEMENT

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

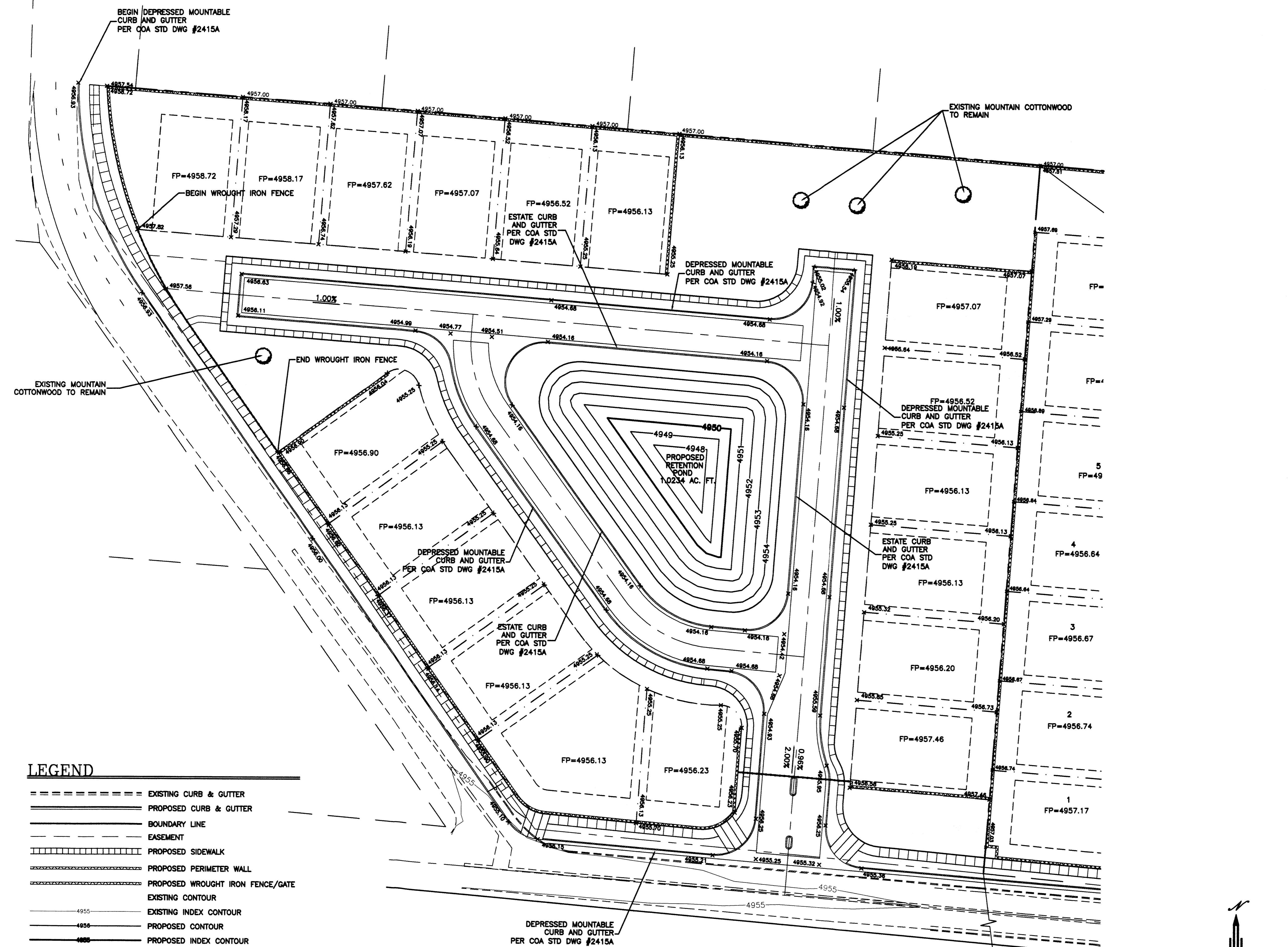


TYP. SANITARY SYSTEM
SERVICE CONNECTION
NTS



- GENERAL NOTES:**
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 5. ALL PIPE MATERIAL TO BE USED PER UPC.

	VENTANA DEL BOSQUE CONCEPTUAL MASTER UTILITY PLAN	DRAWN BY: WCWJ DATE: 2-22-06 2800-MU-1-10-06AX
	 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0699	SHEET # — JOB # 2600

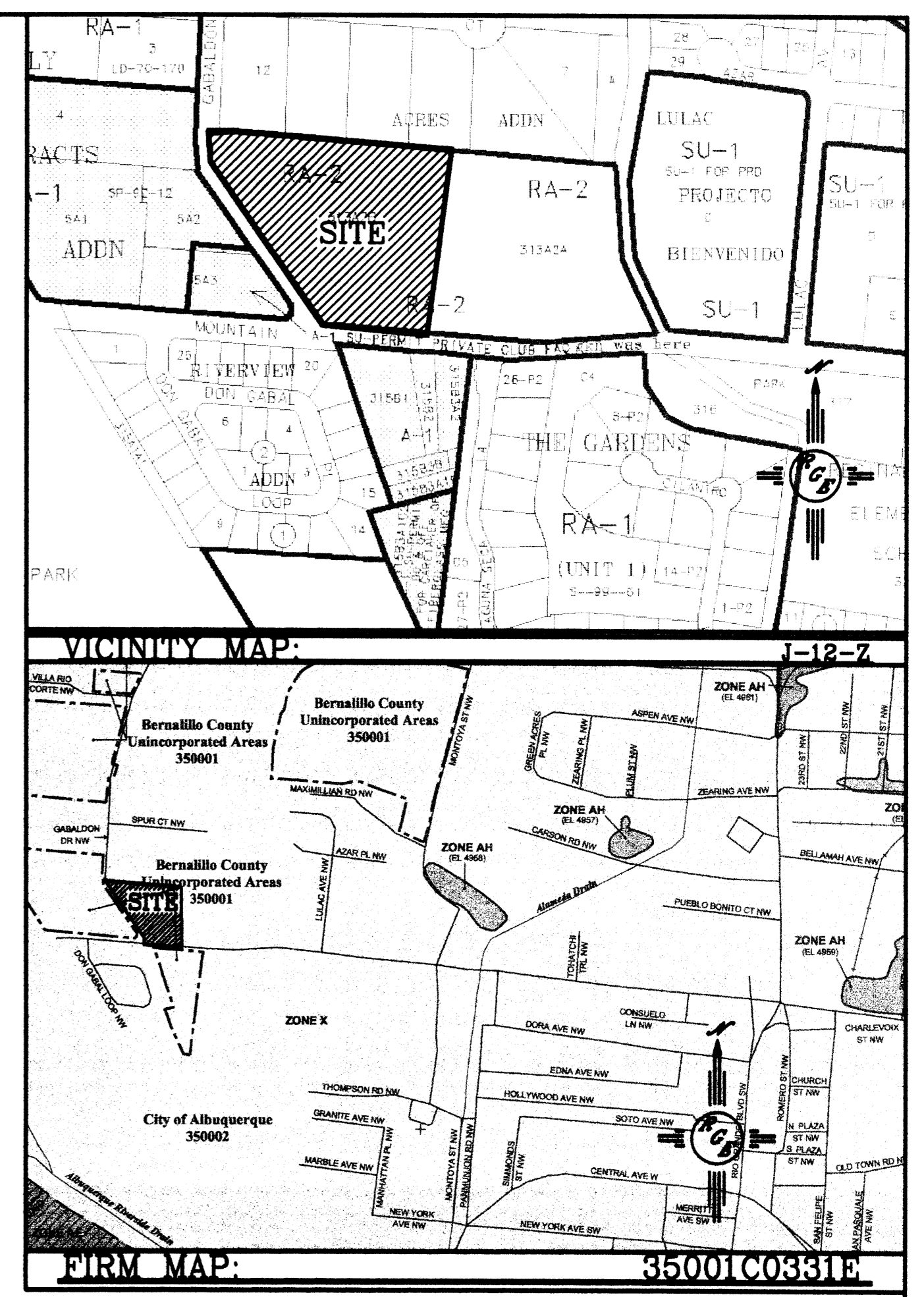
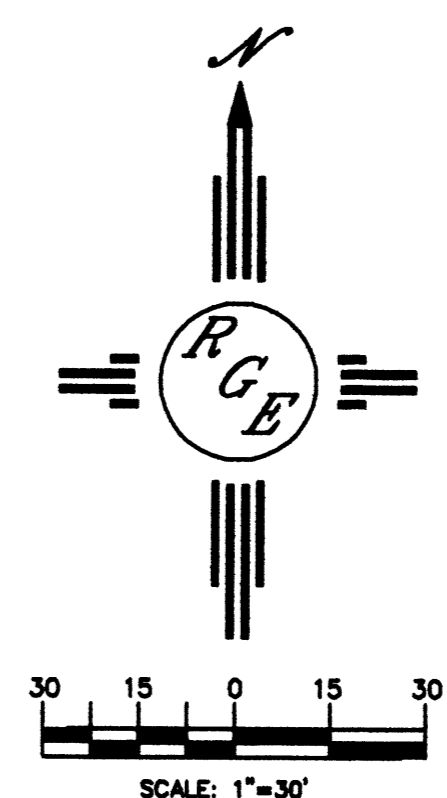


LEGEND

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED PERIMETER WALL
	PROPOSED WROUGHT IRON FENCE/GATE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	5048.25 PROPOSED SPOT ELEVATION
	5048.25 EXISTING SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	SETBACK LINE

ACS Monument
NAD 1927 CENTRAL ZONE
X=
Y=
Z=
(NAVD 1929)

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



FIRM MAP: 3500100831E

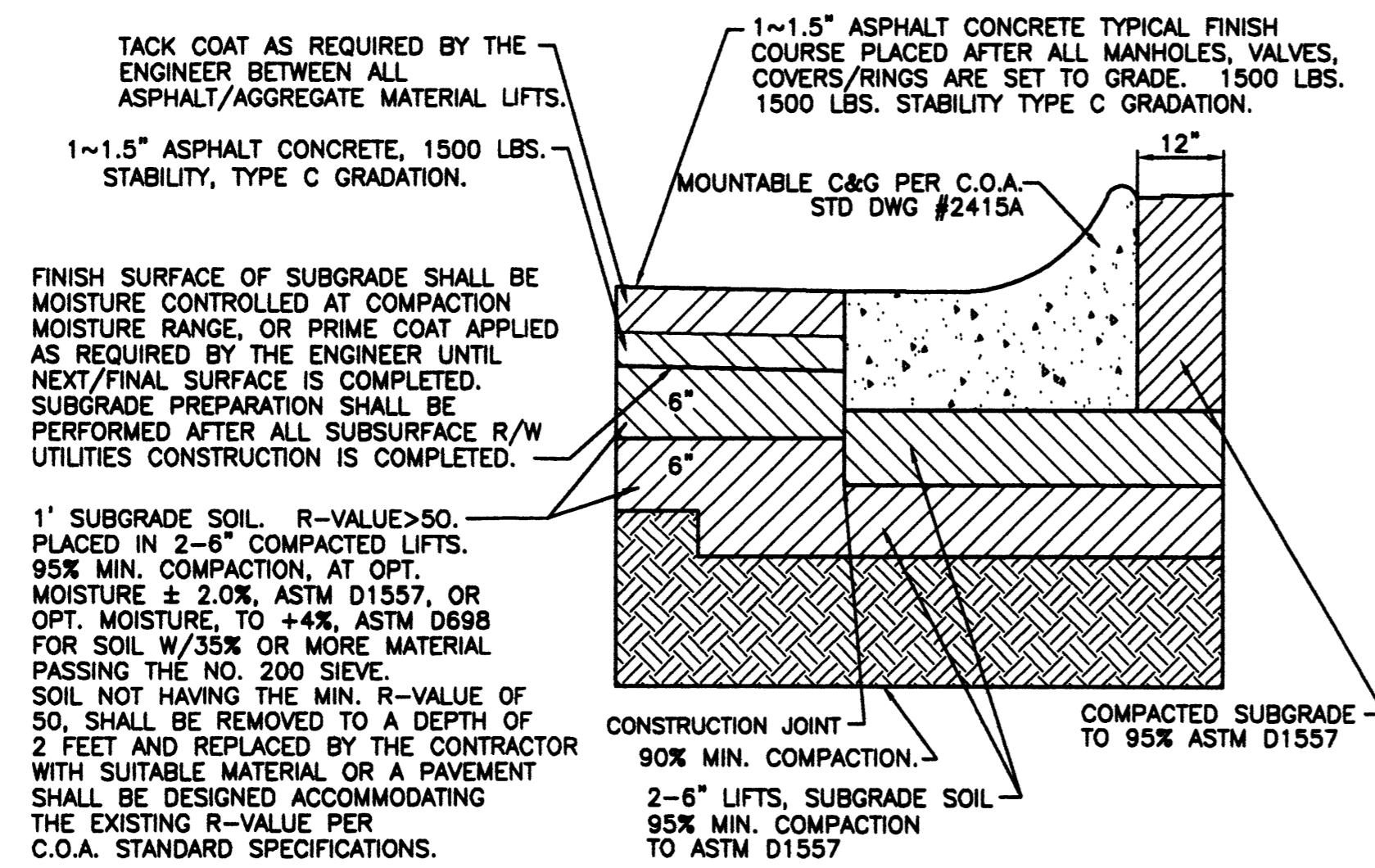
LEGAL DESCRIPTION:
TRACTS 313A2A

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER TO BE MOUNTABLE PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
 3. ALL PADS SHALL BE BUILT PER FOOTPRINT SHOWN.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

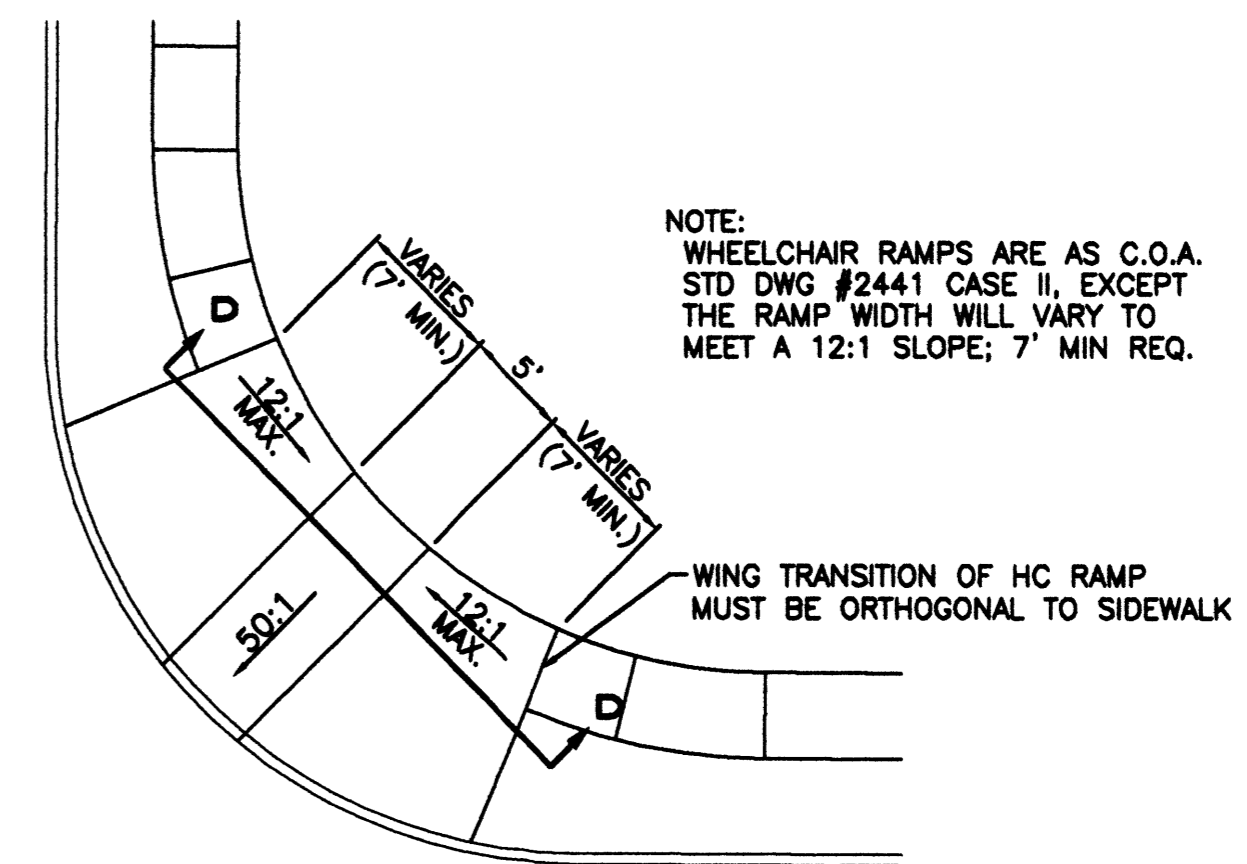
ROUGH GRADING APPROVAL _____ DATE _____

	VENTANA DEL BOSQUE	DRAWN BY WCVJ
	AMENDED GRADING AND DRAINAGE PLAN	DATE 2-17-06
		2600-GRB-1-10-06AX
		SHEET # 1 OF 2
DAVID SOULE P.E. #14522		JOB # 2600

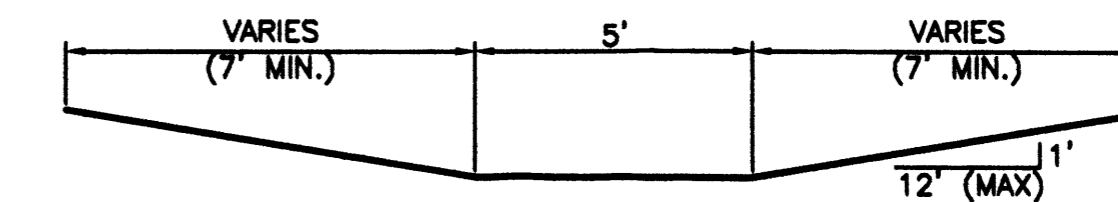


RESIDENTIAL PAVING SECTION (MOUNTABLE CURB)

NTS

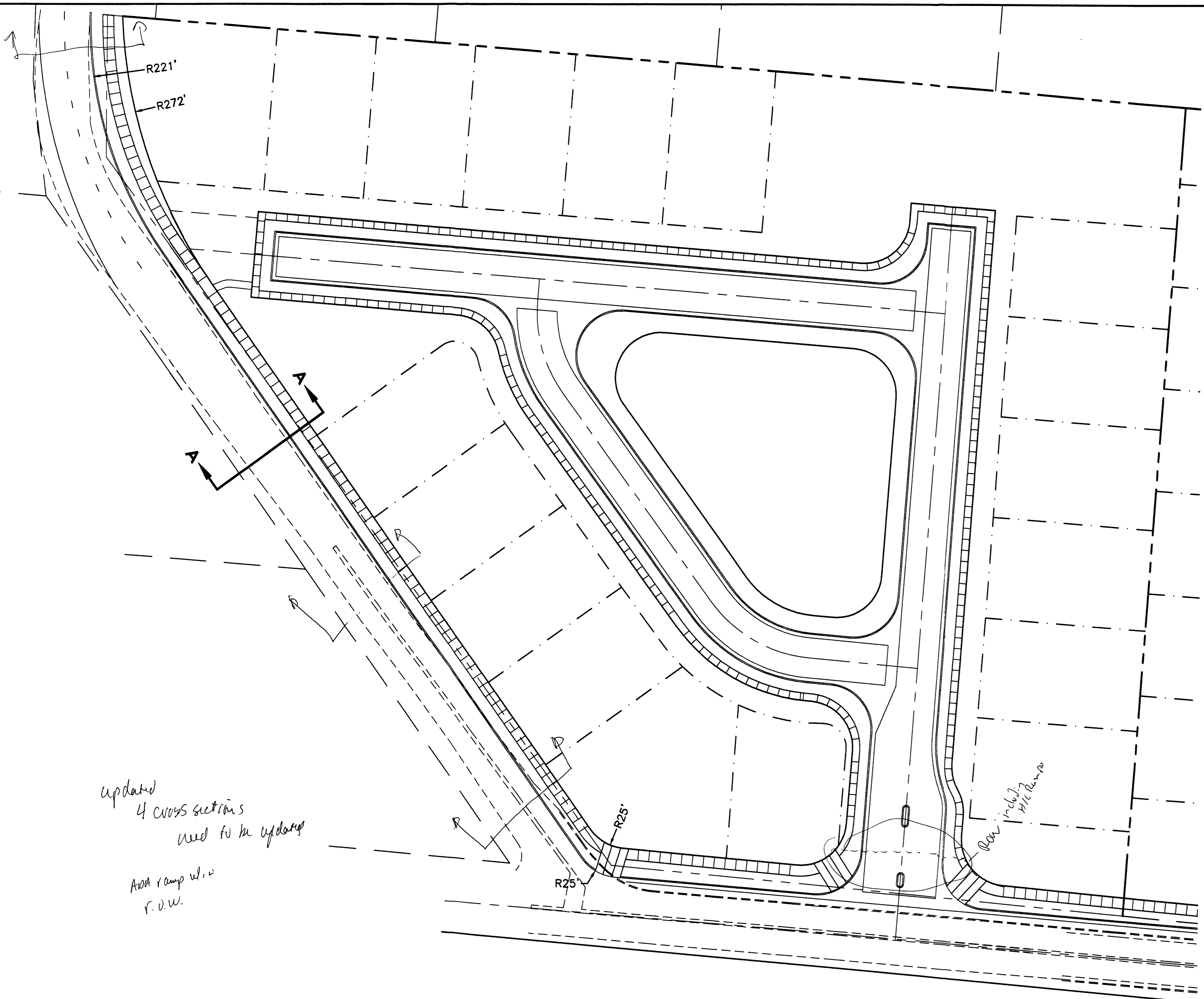


WHEELCHAIR RAMP DETAIL (TYP.)

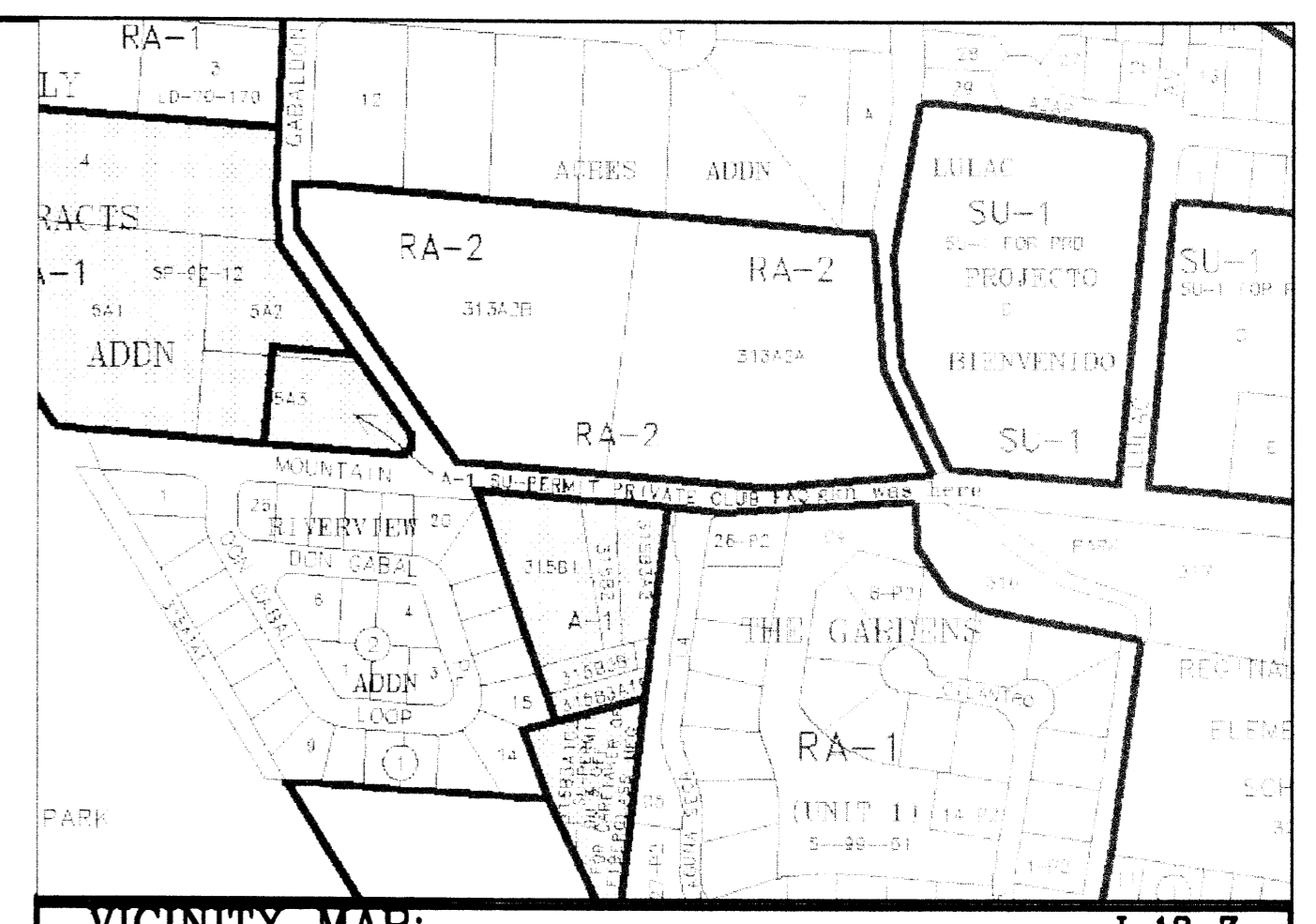


SECTION D-D

ENGINEER'S SEAL	VENTANA DEL BOSQUE	DRAWN BY WCUJ
	AMENDED GRADING AND DRAINAGE PLAN	DATE 2-17-06
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0998	2000-GRB-1-10-06AX
DAVID SOULE P.E. #14522		SHEET # 2 OF 2
		JOB # 2600



- LEGEND**
- EXISTING CURB & GUTTER
 - ==== PROPOSED CURB & GUTTER
 - ==== FUTURE CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - ==== PROPOSED 4' SIDEWALK
 - CENTERLINE
 - RIGHT-OF-WAY
 - LOT LINES
 - FUTURE LOT LINES
 - BUILDING ENVELOPE
 - 6' SCREEN WALL
 - COA ROW DEDICATION

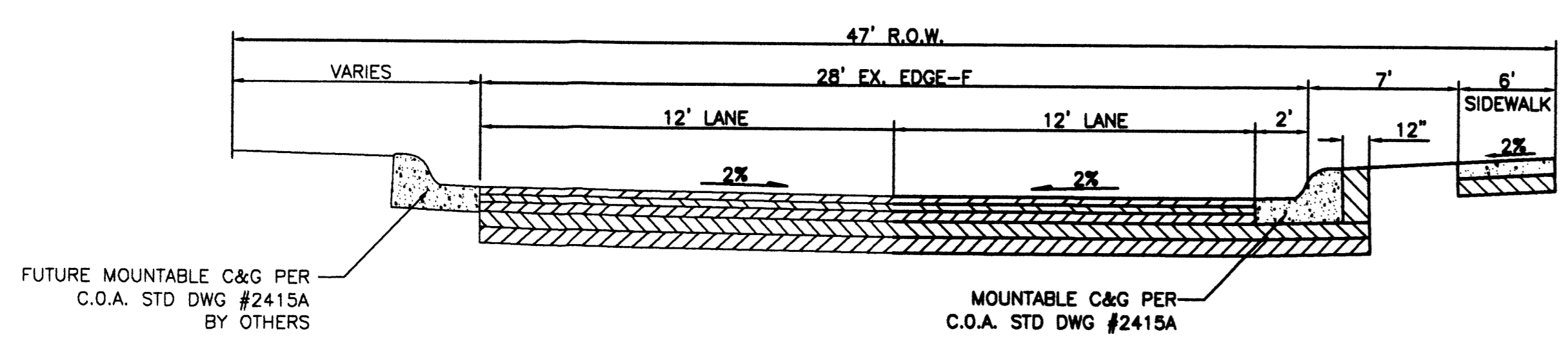


VICINITY MAP: 1-12-7
LEGAL DESCRIPTION:
 TRACT 313-A-2-B, ACRES ADDITION, MRGCD MAP #28

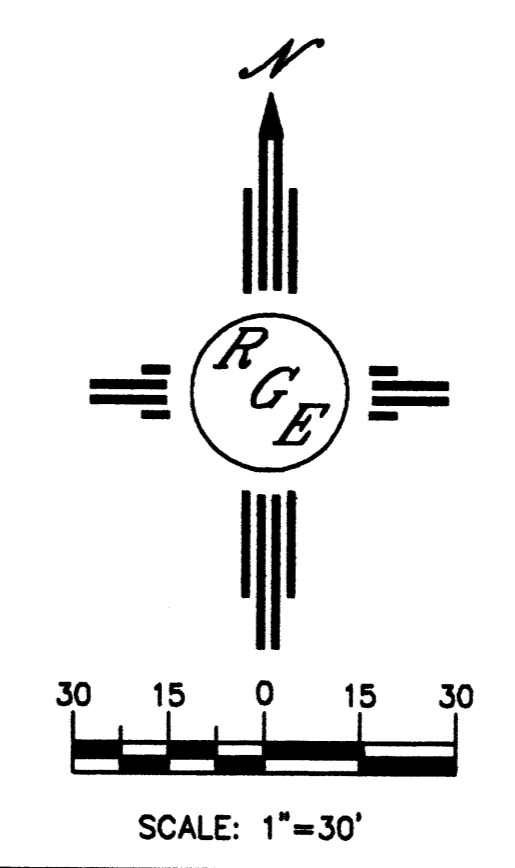
Site triash Per Asto manual

*updated
 4 cross sections
 need to be updated
 ADA ramp w/ w
 r.o.w.*

ROW including sidewalk



SECTION A-A
TYPICAL 28' STREET SECTION W/ MOUNTABLE C&G
 NTS



ENGINEER'S SEAL	VENTANA DEL BOSQUE GALBADON ROAD EXHIBIT	DRAWN BY WCUJ
		DATE 3-24-06
		2000-SP-1-10-08AX
DAVID SOULE P.E. #14522		SHEET # -
	JOB # 2600	