

GENERAL NOTES

A. PROVIDE ONE H.C. RESERVED PARKING SIGN AT EACH H.C. PARKING SPACE, PER DETAIL A4/AS-403.

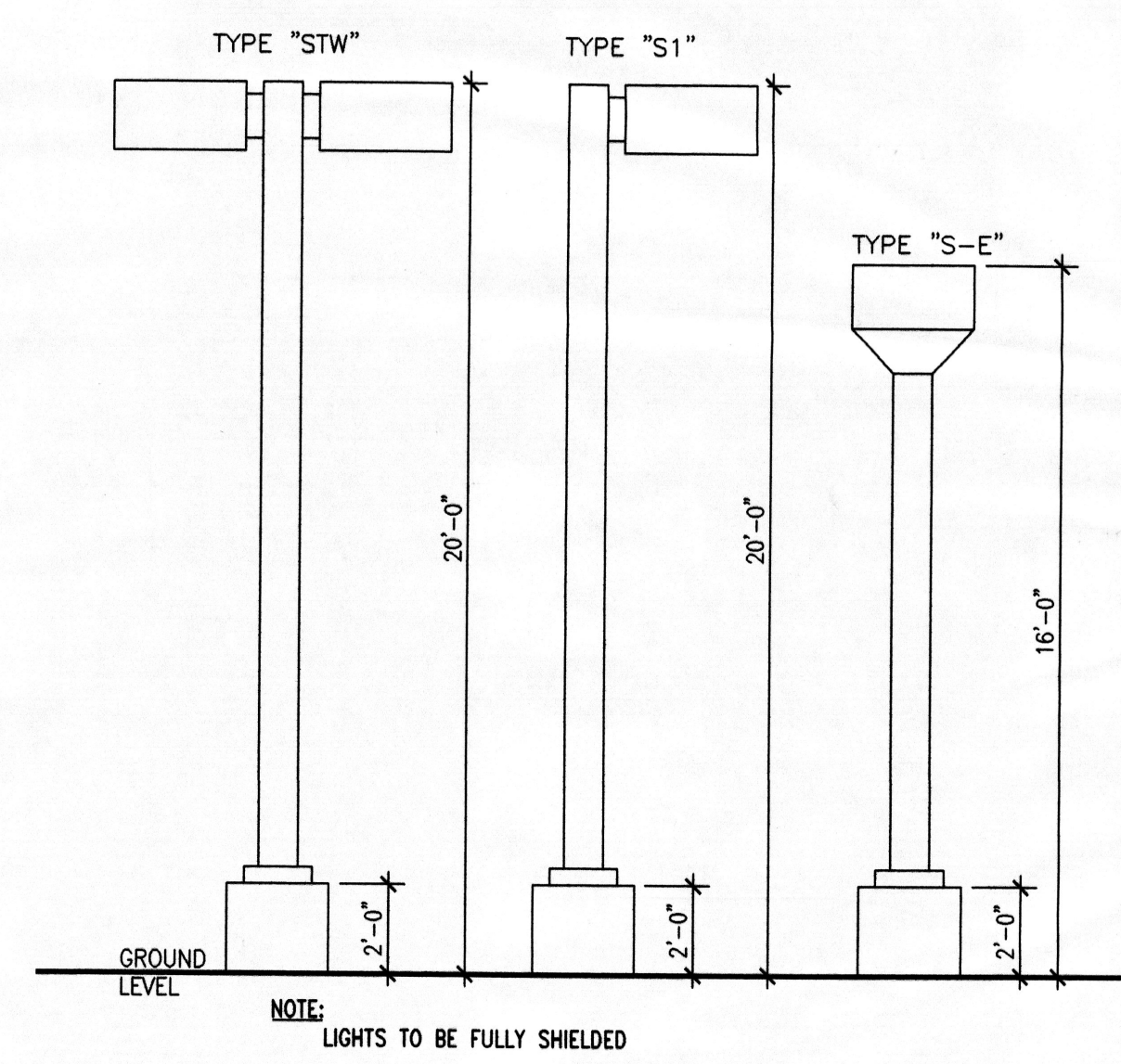
SITE CALCULATIONS

BUILDING SQUARE FOOTAGE	PARKING SPACES REQUIRED
1ST FLOOR TOTAL GROSS SF = 52,588 SF	263 SPACES @ 1 SPACE/200 SF
1ST FLOOR TOTAL NET SF = 50,726 SF	
2ND FLOOR TOTAL GROSS SF = 51,490 SF	172 SPACES @ 1 SPACE/300 SF
2ND FLOOR TOTAL NET SF = 48,413 SF	
3RD FLOOR TOTAL GROSS SF = 50,148 SF	167 SPACES @ 1 SPACE/300 SF
3RD FLOOR TOTAL NET SF = 47,652 SF	
	TOTAL REQUIRED = 602 SPACES
	TOTAL PROVIDED = 704 SPACES
	HC PROVIDED = 20 SPACES
	SMALL CAR SPACES PROVIDED = 145 SPACES OR 21% OF TOTAL

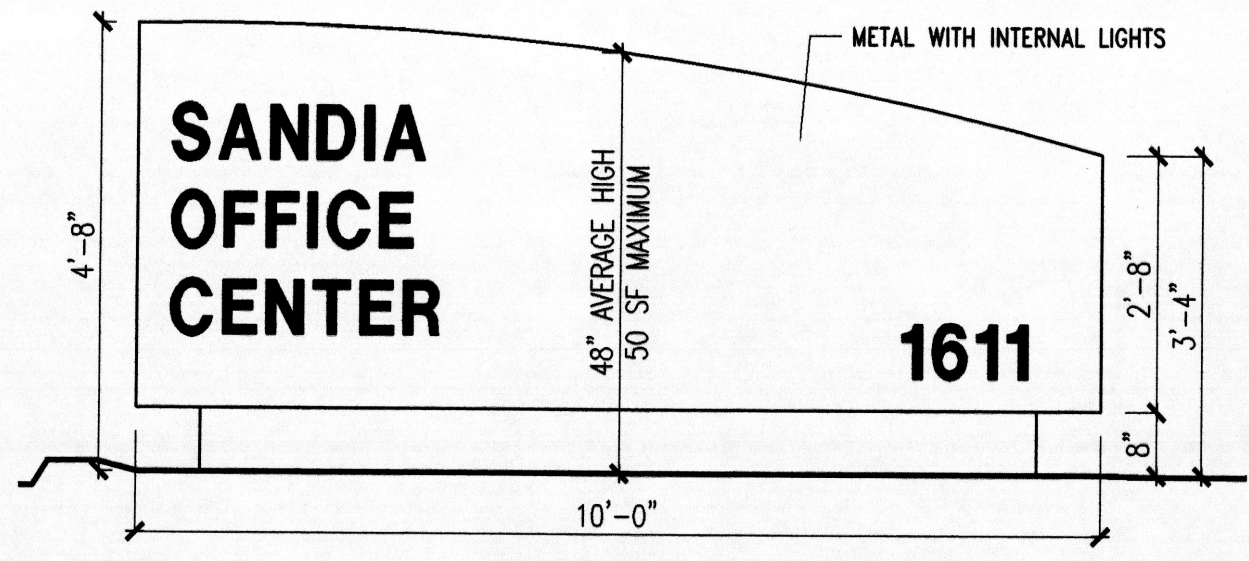
NOTE:
INTERIOR BIKE STORAGE AREA IS PROVIDED (200 SF) AND 1 SHOWER/SEX IS PROVIDED ON THE GROUND FLOOR.

SITE DATA

TOTAL SITE AREA, LESS 60' R.O.W. FOR INNOVATION PARKWAY	= 401,465 SF (9.22 ACRES)
BUILDING FOOTPRINT	= 52,588 SF
LANDSCAPE AREA	= 86,520 SF OR 21.551% OF TOTAL SITE AREA

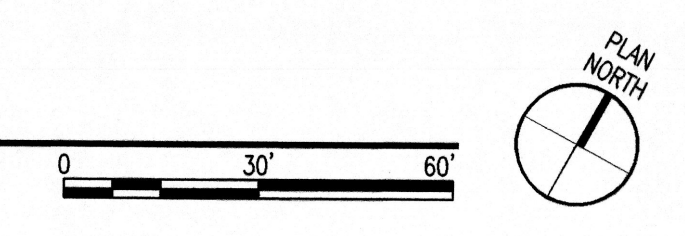


D5 SITE LIGHTING MAXIMUM MOUNTING HEIGHTS
SCALE 1/4"=1'-0"



C5 MONUMENT SIGN ELEVATION
SCALE 1/2"=1'-0"

C1 OVERALL SITE PLAN
SCALE 1"=30'-0"



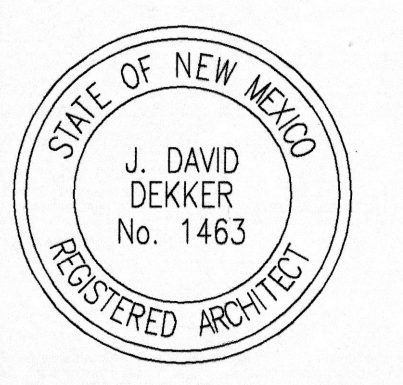
DESIGN COLLABORATIVE SOUTH-WEST, INC.
320 Central Ave., SW, Albuquerque, NM 87102
505.843.9639 Fax: 505.843.9683
Web Site: www.dcswwarchitects.com
E-Mail: dcsww@dcswwarchitects.com



CONSULTANTS

*The copy
Sharan
reviewed
8/22/09/106*

OWNER



Architect Engineer

150,000 SF
LEASED
OFFICE SPACE

SANDIA NATIONAL
LABORATORIES
RFQ# 7784

MARK	DATE	DESCRIPTION
		ISSUE: SHELL PERMIT SUBMITTAL
		PROJECT NO: 0520
		CAD DWG FILE: 0520AS-101.dwg
		DRAWN BY: DGP
		CHECKED BY: DD
		DATE: 1/19/2006

SHEET TITLE
OVERALL SITE PLAN

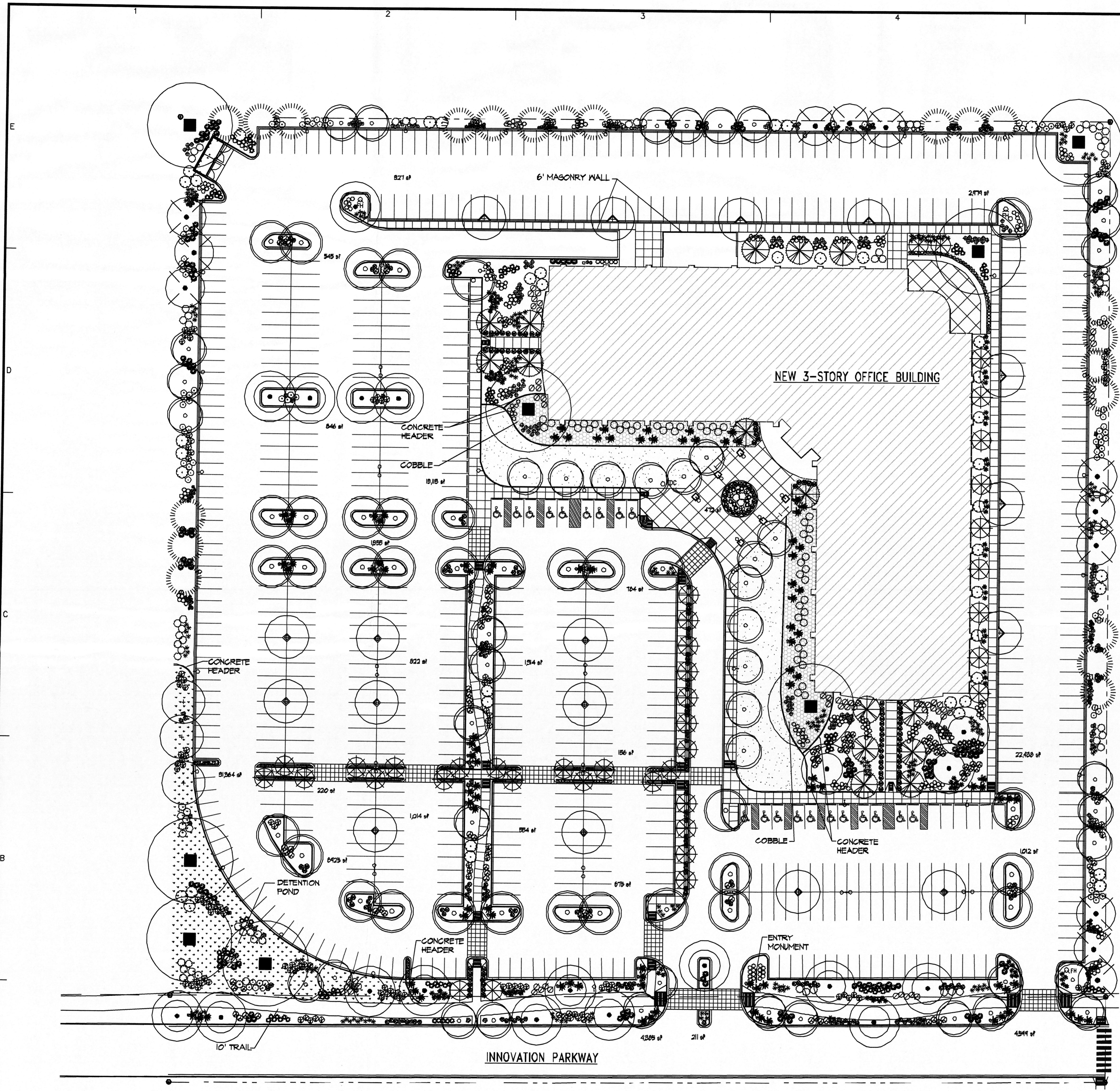
PROJECT NUMBER: _____

Application Number: _____

Master Developer Built New Mexico _____ Date _____

City Planning Director _____ Date _____

AS-101



PLANT LEGEND

Qty.	Symbol	Scientific Name / Common Name	Size	Installed Size / Mature Size	Water Use
Trees					
35	○	<i>Chitalpa tashkentensis</i> Chitalpa	2' B&B	8' ht. x 4' spr. 30' ht. x 30' spr.	Medium
20	○	<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2' B&B	14' ht. x 6' spr. 35' ht. x 30' spr.	Medium+
14	○	<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2' B&B	14' ht. x 6' spr. 40' ht. x 35' spr.	Medium+
47	○	<i>Koeleria paniculata</i> Goldenrod Tree	2' B&B	14' ht. x 6' spr. 25' ht. x 25' spr.	Medium
45	○	<i>Lagerstroemia indica</i> Crape Myrtle	15-Gal.	8' ht. x 4' spr. 15' ht. x 15' spr.	Medium +
21	○	<i>Pinus nigra</i> Austrian Pine	B4B	8' min. ht. 35' ht. x 25' spr.	Medium
8	○	<i>Pistacia chinensis</i> Chinese Pistache	2' B&B	14' ht. x 6' spr. 60' ht. x 60' spr.	Medium +
12	○	<i>Tilia cordata</i> Little-leaf Linden	2' B&B	14' ht. x 5' spr. 40' ht. x 30' spr.	Low
15	○	<i>Vitex agnus-castus</i> Chaste Tree	15-Gal.	6-8' ht. x 4' spr. 20' ht. x 20' spr.	Medium
Shrubs/Groundcovers					
104	○	<i>Baccharis 'Stam'</i> Thompson Baccharis	5-Gal.	4' o.c. 2' ht. x 4' spr.	Low +
128	○	<i>Buddleia davidii</i> 'Black Knight' Butterfly Bush	5-Gal.	5' o.c. 5' ht. x 5' spr.	Medium
134	○	<i>Caryopteris clandestina</i> Blue Mist	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
41	○	<i>Caesalpinia gilliesii</i> Yellow Bird of Paradise	5-Gal.	8' o.c. 8' ht. x 8' spr.	Low
34	○	<i>Chrysothamnus nauseosus</i> Chamisa	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
131	○	<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster	5-Gal.	4' o.c. 5' ht. x 4' spr.	Medium
154	○	<i>Ericameria laricina</i> 'Aguirre' Turpentine Bush	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
138	○	<i>Faiyuga paradoxa</i> Apache Plume	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
142	○	<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
48	○	<i>Juniperus sabinna</i> 'Buttala' Buttala Juniper (female)	5-Gal.	6' o.c. 2' ht. x 6' spr.	Low +
155	○	<i>Penstemon ambiguus</i> Sand Penstemon	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
54	○	<i>Ferovskia atriplicifolia</i> Russian Sage	1-Gal.	5' o.c. 4' ht. x 5' spr.	Medium
80	○	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
44	○	<i>Rhus trilobata</i> Three-leaf Sumac	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low+
131	○	<i>Rosmarinus officinalis</i> Rosemary	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
125	○	<i>Salvia greggii</i> Cherry Sage	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
164	○	<i>Santolina</i> sp. Santolina	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low
Ornamental Grasses					
120	○	<i>Muhlenbergia cap. 'Regal Mist'</i> Muhly Grass	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
41	○	<i>Nassella tenuissima</i> Threadgrass	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
Native Turf Grass Mix					
10250 SF (11%)	○	<i>Bouteloua gracilis</i> / Blue Grass <i>Buchloe dactyloides</i> / Buffalo Grass			Low+ Low+
Park Blend Turf Grass Mix					
11,274 SF (9%)	○	<i>Festuca elatior</i> / Tall Fescue <i>Lolium perenne</i> / Ryegrass <i>Poa pratensis</i> / Kentucky Bluegrass			High High High
7,612 SF	○	Cobble (2"-4" Santa Fe Brown)			
60	○	Moss Rock Boulder (3' min. dia.)			

MULCHES
All shrub planting areas shall be top dressed with Santa Fe Brown & Santa Ana Tan (1:1 ratio) Crusher Fines unless specified as Cobble (2" - 4" Santa Ana Tan).

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate trees, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

DETENTION POND
Pond shall be surrounded by a 4' wrought iron fence as defined in the site plan details.

LANDSCAPE REQUIREMENTS

Site Area:	10.13 acres	44113 SF
Building Total Area:		10000 SF
Building Footprint:		52592 SF
Total Area:		388521 SF
Required Landscape %:		15
Landscape Area Required:		58276 SF
Landscape Area Provided:		(23%) 90110 SF
Outdoor Patio Area Required:		(minimum) 250 SF
Outdoor Patio Area Provided:		1501 SF
1 tree per 20' along Innovation Parkway Required and Provided		



DESIGN COLLABORATIVE SOUTHWEST, INC.
320 Central Ave., SW, Albuquerque, NM 87102
505-843-9639 Fax: 505-843-9683
Web Site: www.dcswwest.com
E-Mail: dcsww@dcswest.com



CONSULTANTS

OWNER

Architect Engineer

NOT FOR CONSTRUCTION

150,000 SF
LEASED
OFFICE SPACE

SANDIA NATIONAL
LABORATORIES

RFQ# 7784

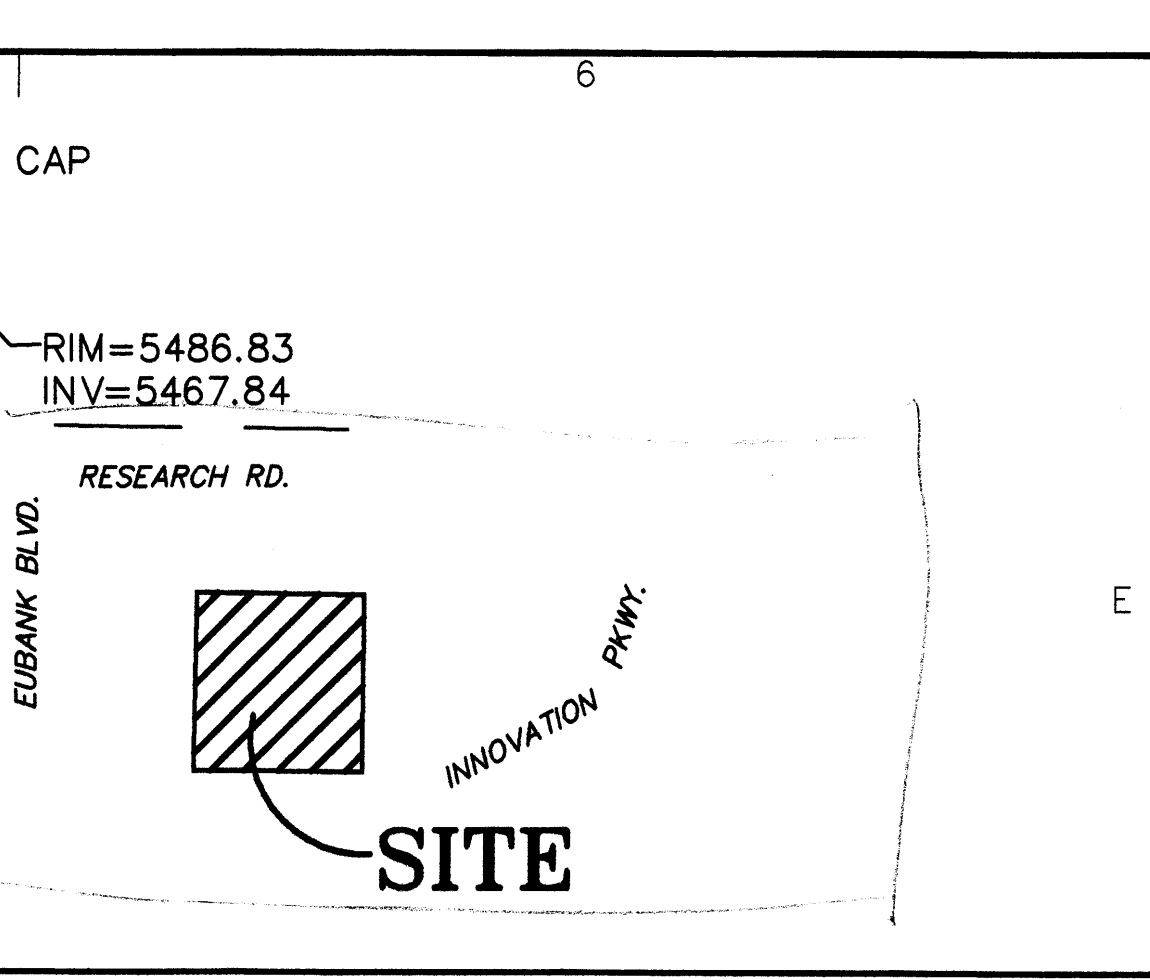
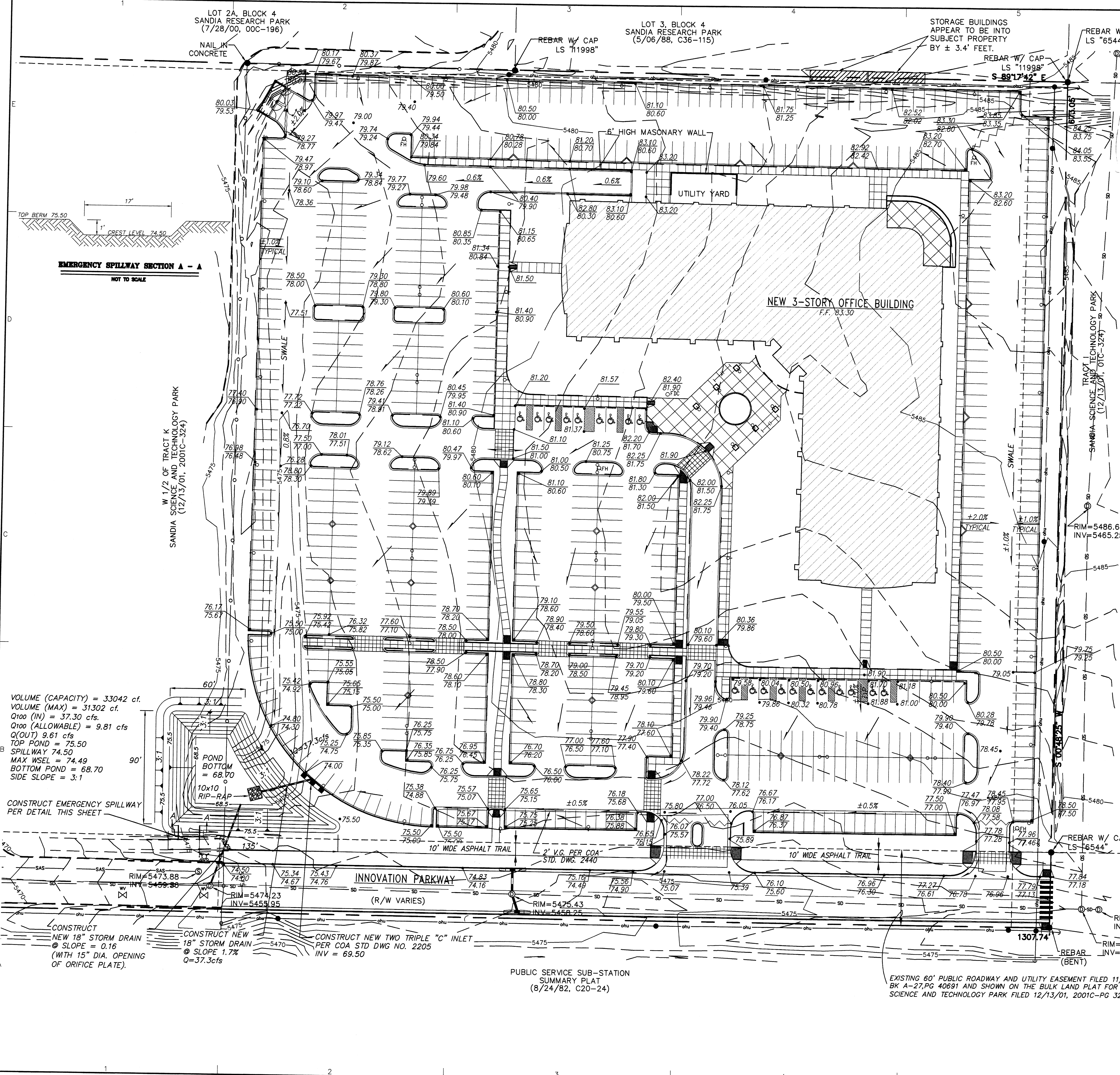
MARK	DATE	DESCRIPTION
ISSUE:		
PROJECT NO:	0520	
CAD DWG FILE:		
DRAWN BY:	LF	
CHECKED BY:	CG	
DATE:	01/20/2006	

SHEET TITLE

LANDSCAPE PLAN

L-101

L1 LANDSCAPE PLAN
SCALE 1"=30'-0"



VICINITY MAP ZONE MAP: M-21

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT OF WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (1985 EDITION).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24 HOUR BASIS.

ACS BENCHMARK

ACS MONUMENT "7-120" HAVING AN ELEVATION OF 5468.798 FEET.

LEGAL DESCRIPTION

TRACT K, SANDIA SCIENCE AND TECHNOLOGY PARK, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2001, IN BK. 2001C, PAGE 324.

LEGEND

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATIONS
- EXISTING GUARDRAIL
- EXISTING CURB
- EXISTING OVERHEAD ELECTRIC
- PROPOSED CURB & GUTTER
- EXISTING EASEMENT
- PROPERTY LINE
- FOUND AS INDICATED
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- OHU OVERHEAD UTILITY LINES
- UTILITY POLE
- GUY WIRE
- CHAIN LINK FENCE
- EXISTING STORM DRAIN
- WATER BLOCK
- STREET LIGHT

SANDIA NATIONAL LAB OFFICE BLDG

SANDIA SCIENCE & TECH PARK

GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90608
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

THIS CONTRACT
CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 1/26/06
will use 30 yard compactor
M.H.

MARK	DATE	DESCRIPTION
ISSUE: SHELL PERMIT SUBMITTAL		
PROJECT NO: 0520		
CAD DWG FILE:		
DRAWN BY: CAD		
CHECKED BY: PROJECT ARCH		
DATE: 1/19/2006		

SHEET TITLE
GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'

DCSW ARCHITECTS
DESIGN COLLABORATIVE SOUTHWEST, INC.
320 Central Ave., SW, Albuquerque, NM 87102
505.843.9639 Fax: 505.843.9683
Web Site: www.dcswwarchitects.com
E-Mail: dcsww@dcswwarchitects.com

Cameron SWINERTON

CONSULTANTS

OWNER

Architect Engineer

150,000 SF
LEASED
OFFICE SPACE

SANDIA NATIONAL LABORATORIES
RFQ# 7784

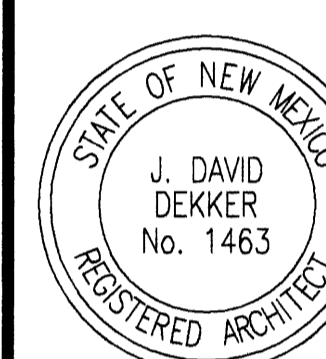
MARK DATE DESCRIPTION
ISSUE: SHELL PERMIT SUBMITTAL
PROJECT NO: 0520
CAD DWG FILE:
DRAWN BY: CAD
CHECKED BY: PROJECT ARCH
DATE: 1/19/2006

SHEET TITLE
GRADING AND DRAINAGE PLAN

C-101

CONSULTANTS

OWNER



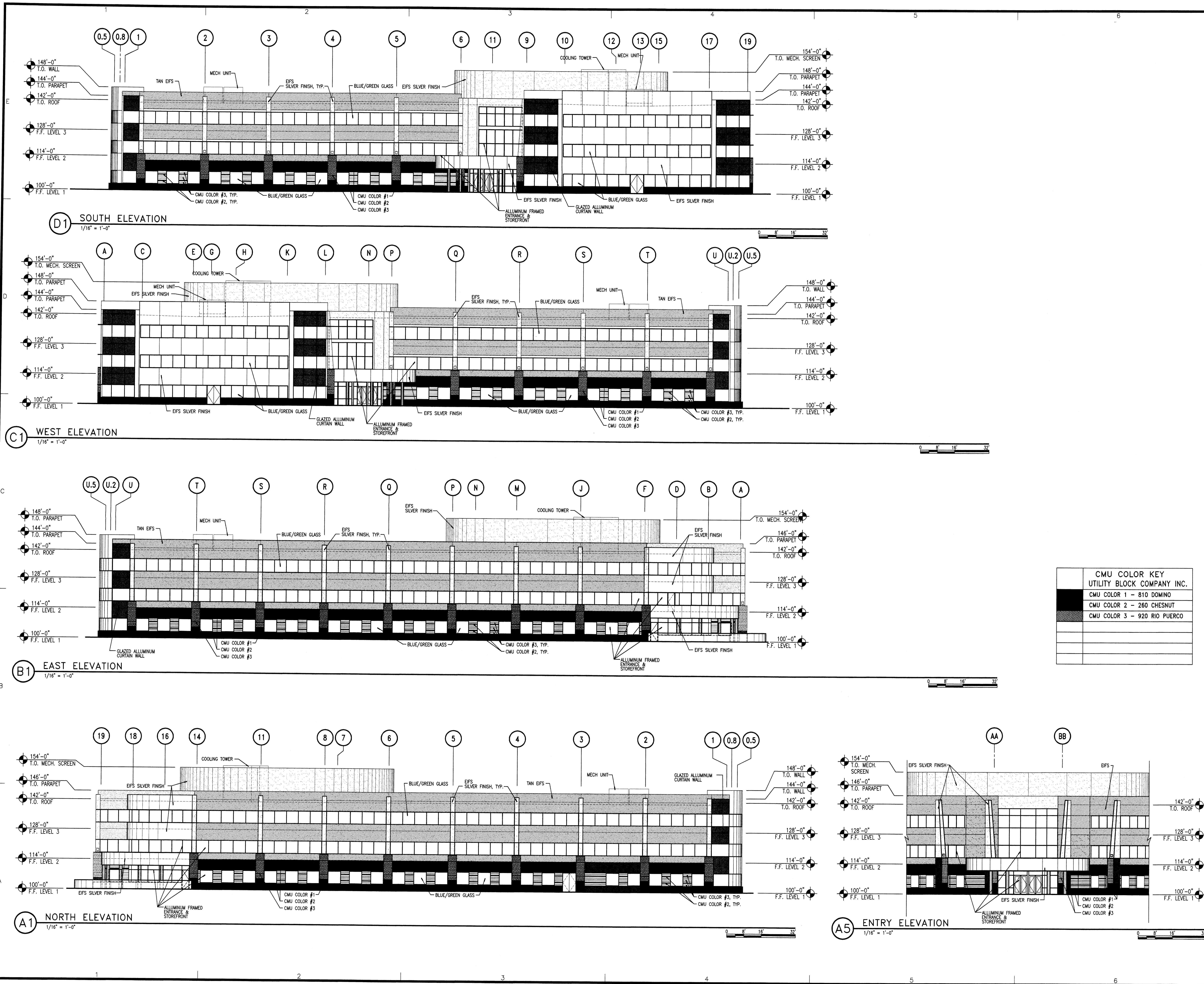
Architect Engineer

150,000 SF
LEASED
OFFICE SPACE

SANDIA NATIONAL
LABORATORIES
RFQ# 7784

MARK	DATE	DESCRIPTION
ISSUE:	SHELL PERMIT SUBMITTAL	
PROJECT NO:	0520	
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:	1/17/2006	

SHEET TITLE
OVERALL BUILDING ELEVATIONS



GENERAL NOTES

A. ALL DIMENSIONS ARE TO MASONRY ROUGH OPENINGS, UNLESS NOTED OTHERWISE.



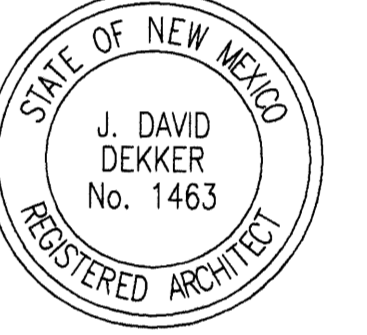
DESIGN COLLABORATIVE SOUTHWEST, INC.
320 Central Ave., SW, Albuquerque, NM 87102
505.843.9639 Fax: 505.843.9683
Web Site: www.dcswwarchitects.com
E-Mail: dcsww@dcswwarchitects.com

©2005, DCSW, Inc. Qualification or reproduction by any means without the express written consent of DCSW, Inc. is a violation of Federal and international law. The information contained on this document is the intellectual property of DCSW, Inc. and all rights thereto are reserved. For exceptions, refer to the Owner-Architect Agreement.

Cameron SWINERTON

CONSULTANTS

OWNER



Architect Engineer

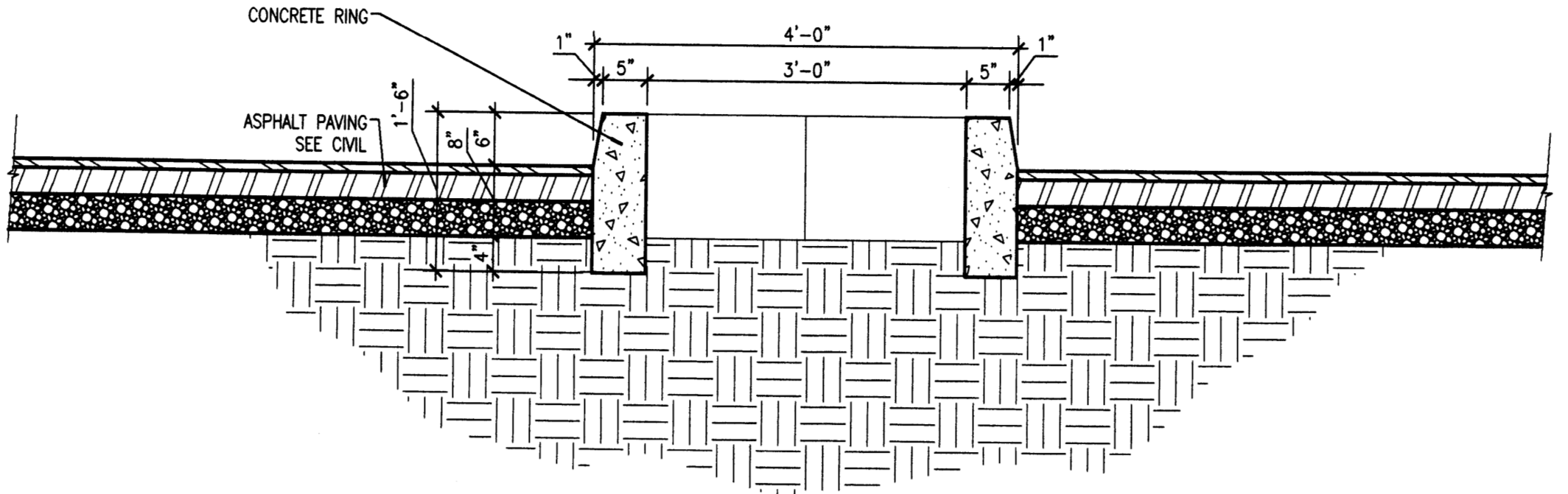
150,000 SF
LEASED
OFFICE SPACE

SANDIA NATIONAL
LABORATORIES
RFQ# 7784

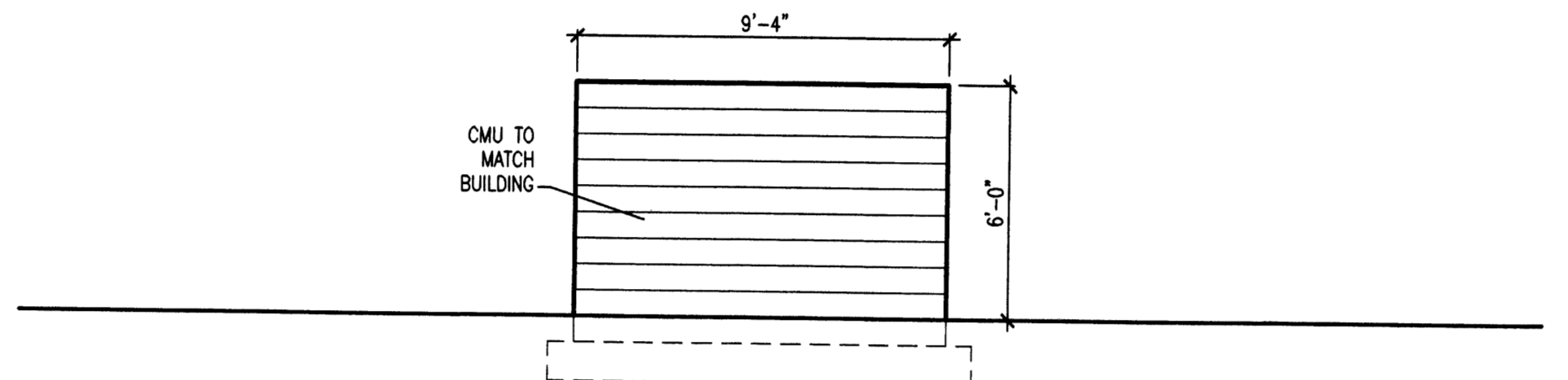
MARK	DATE	DESCRIPTION
ISSUE:		SHELL PERMIT SUBMITTAL
PROJECT NO:		0520
CAD DWG FILE:		0520AS-404.dwg
DRAWN BY:		DGP
CHECKED BY:		DD
DATE:		1/17/2006

SHEET TITLE
SITE DETAILS

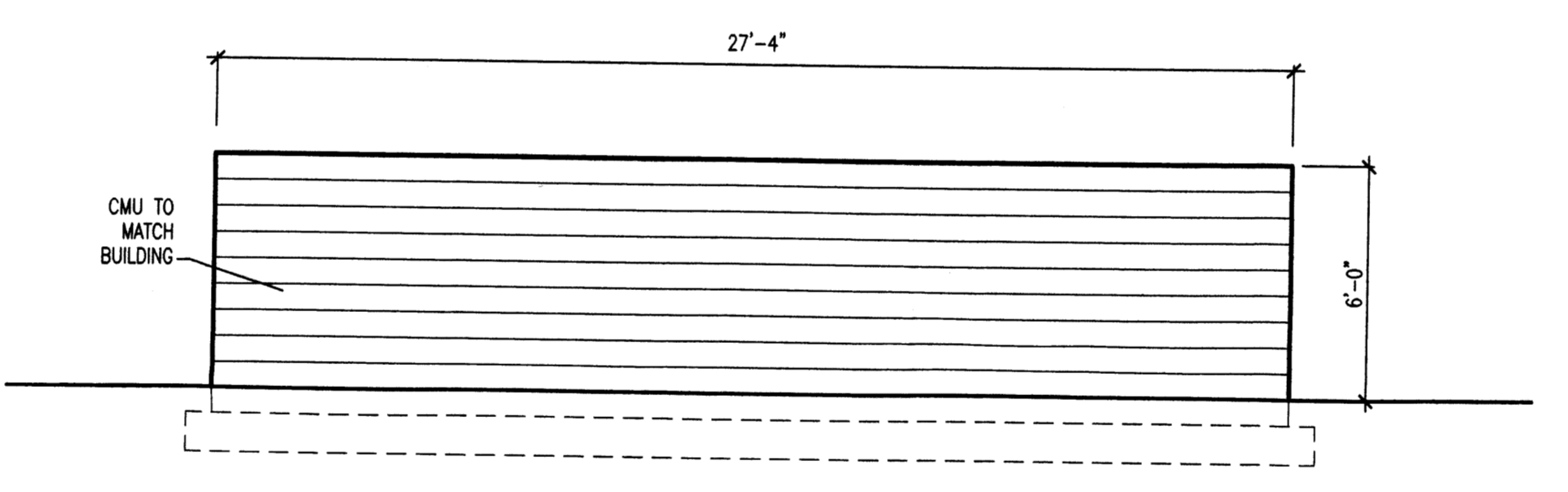
AS-404



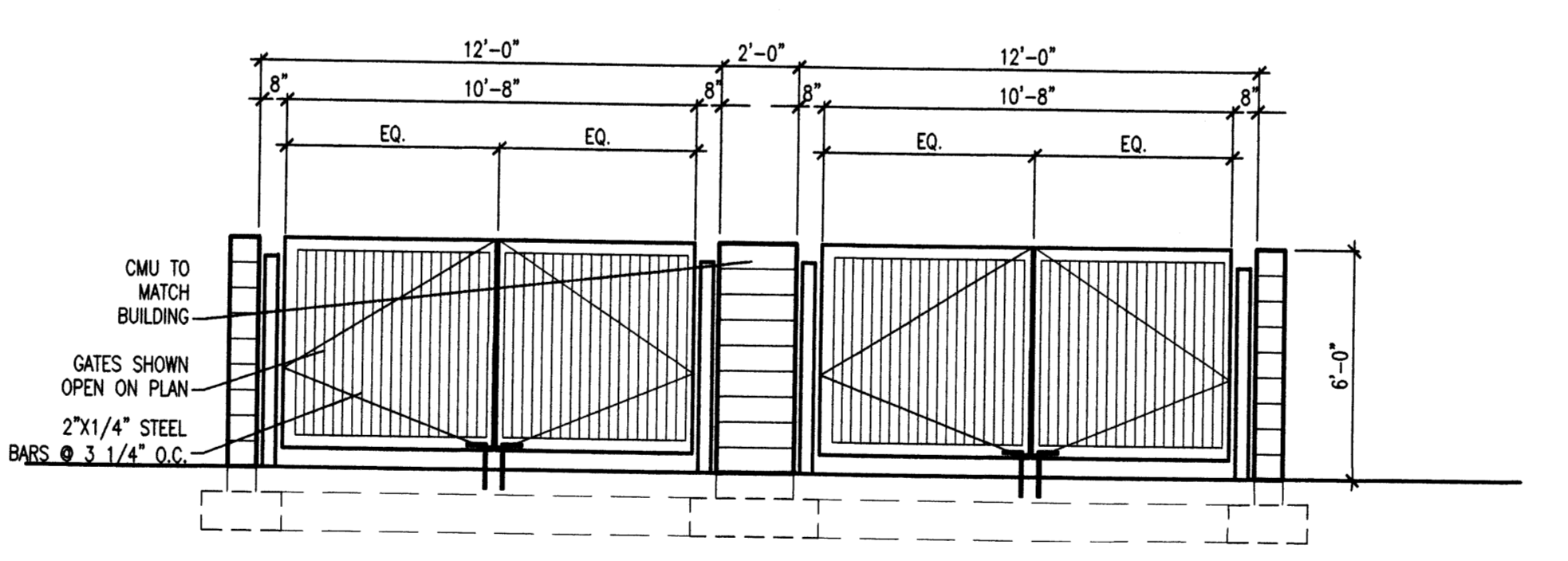
E3 TYPICAL TREE WELL SECTION DETAIL, REFER TO D1/AS-402 FOR PLAN
3/4" = 1'-0"



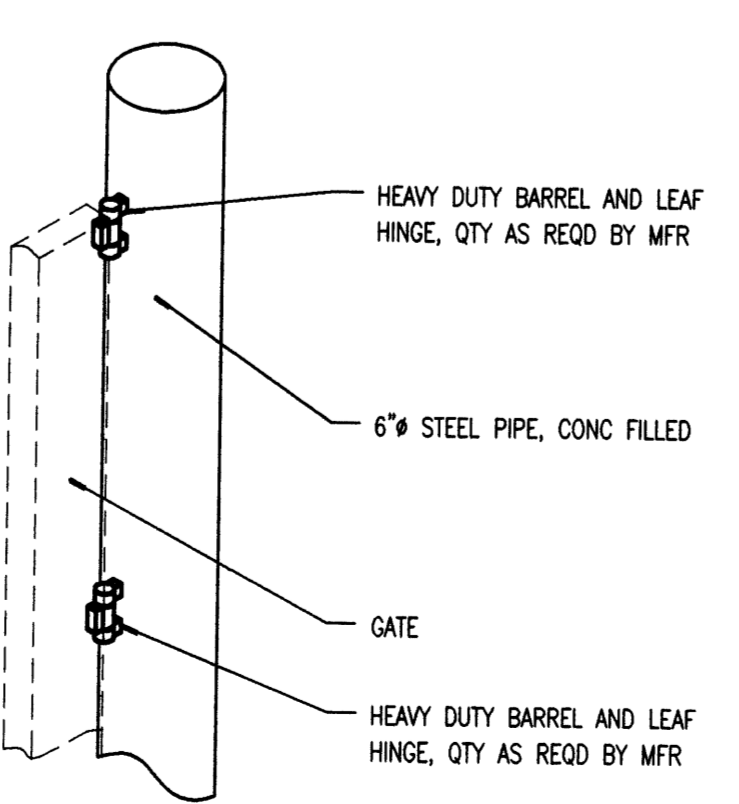
D3 REFUSE ENCLOSURE SIDE ELEVATION
1/4" = 1'-0"



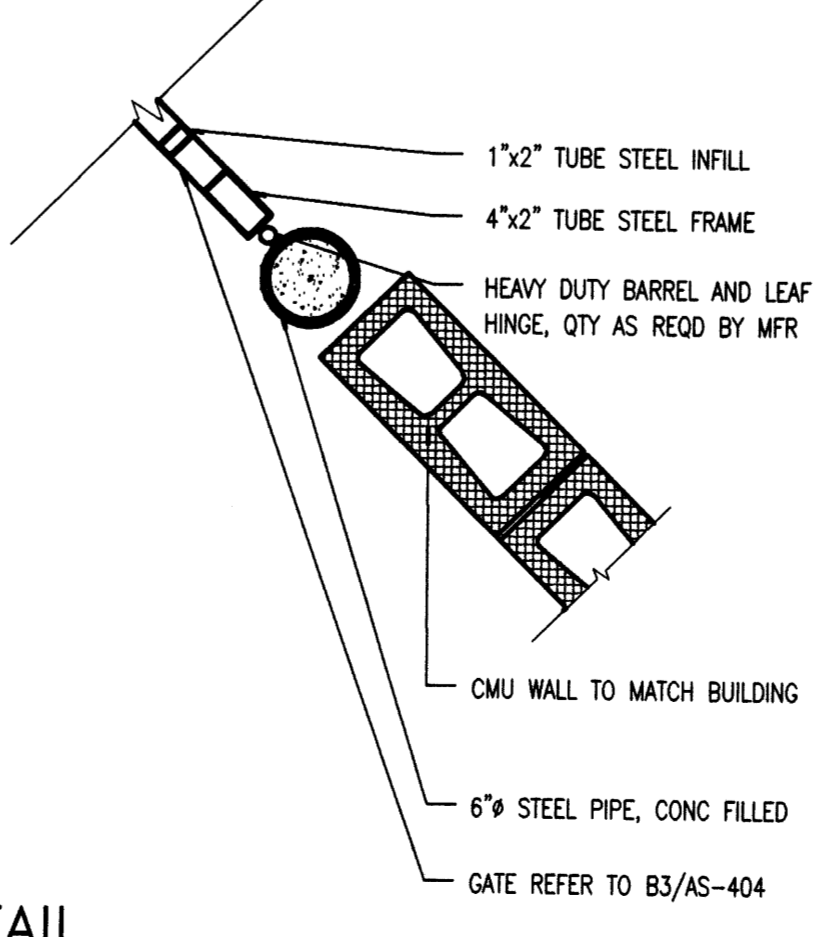
C3 REFUSE ENCLOSURE BACK ELEVATION
1/4" = 1'-0"



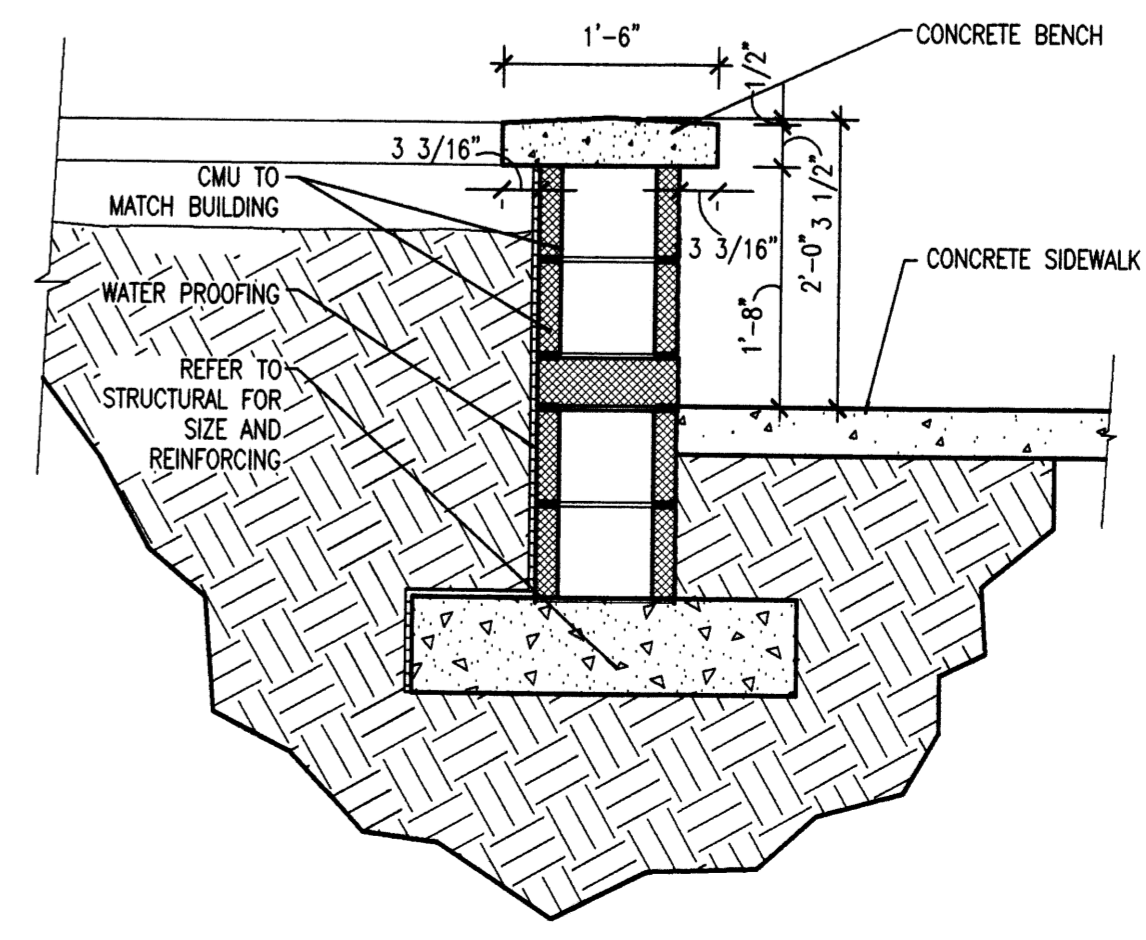
B3 REFUSE ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



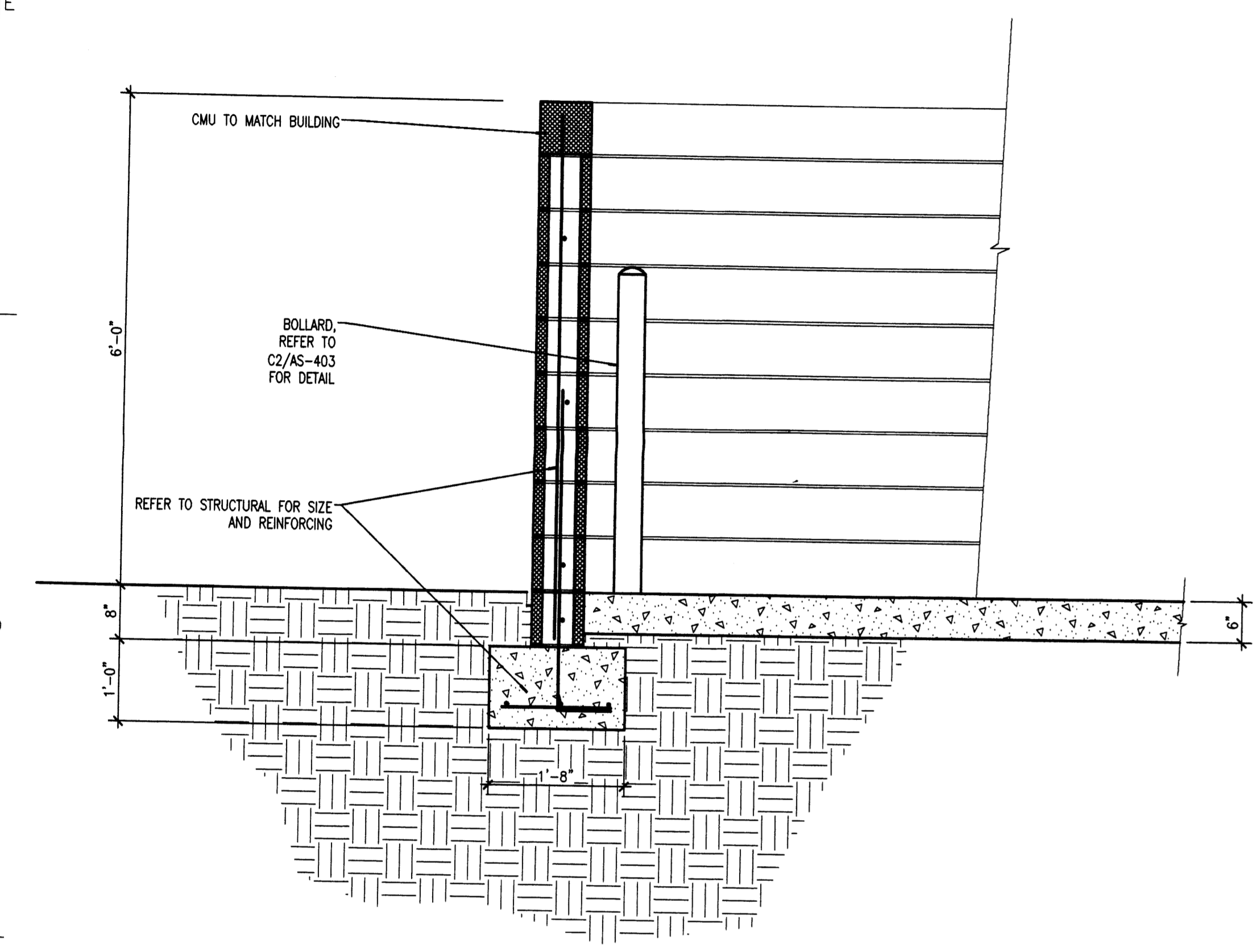
A3 GATE HINGE
N.T.S.



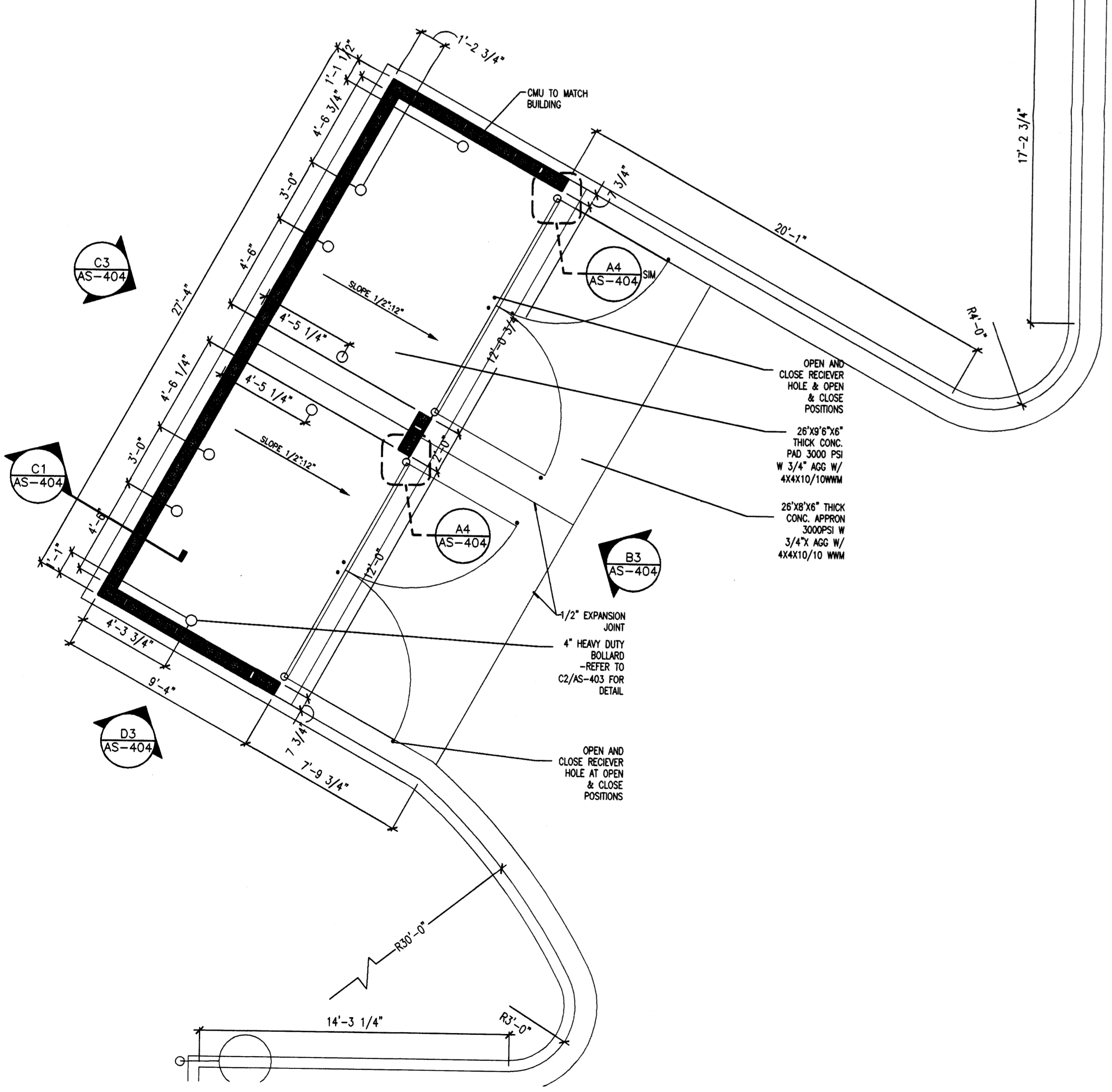
A4 DETAIL
1" = 1'-0"



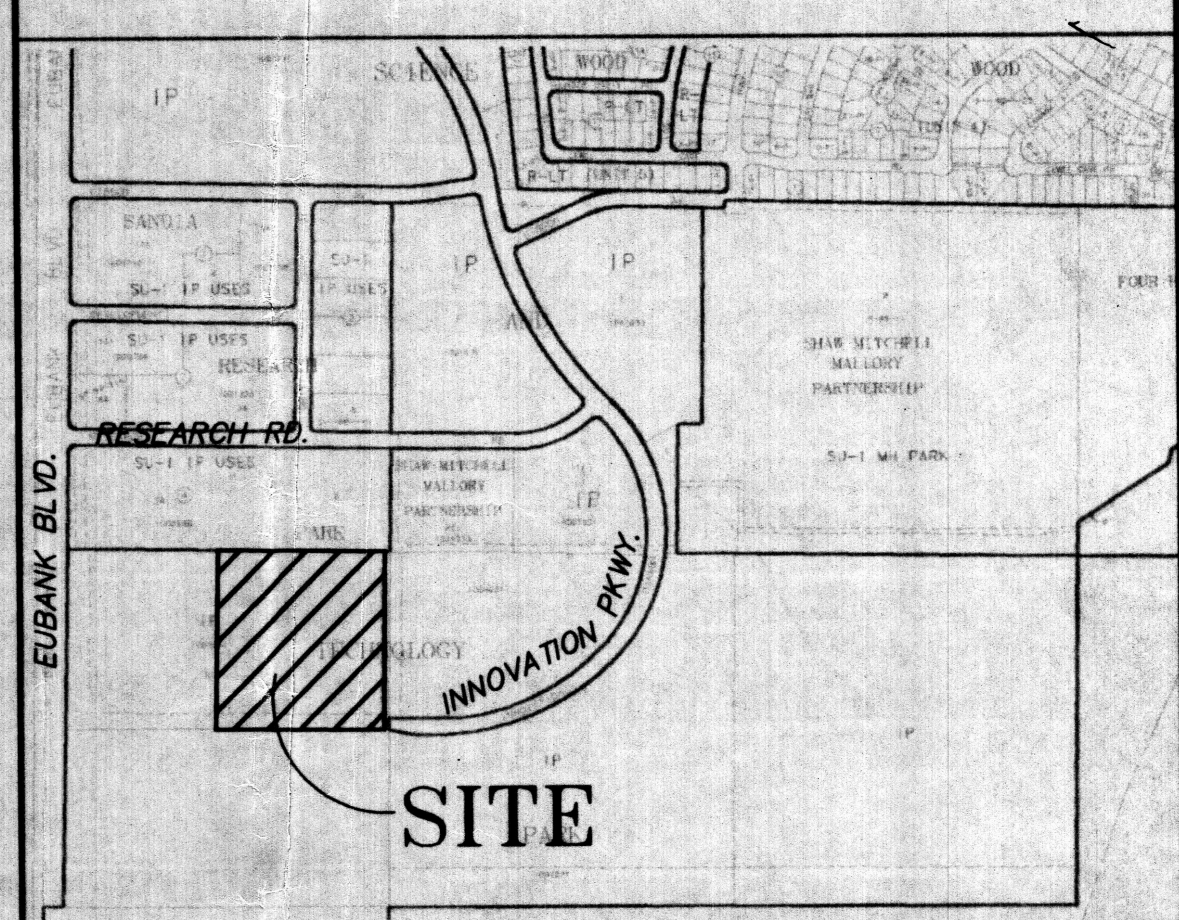
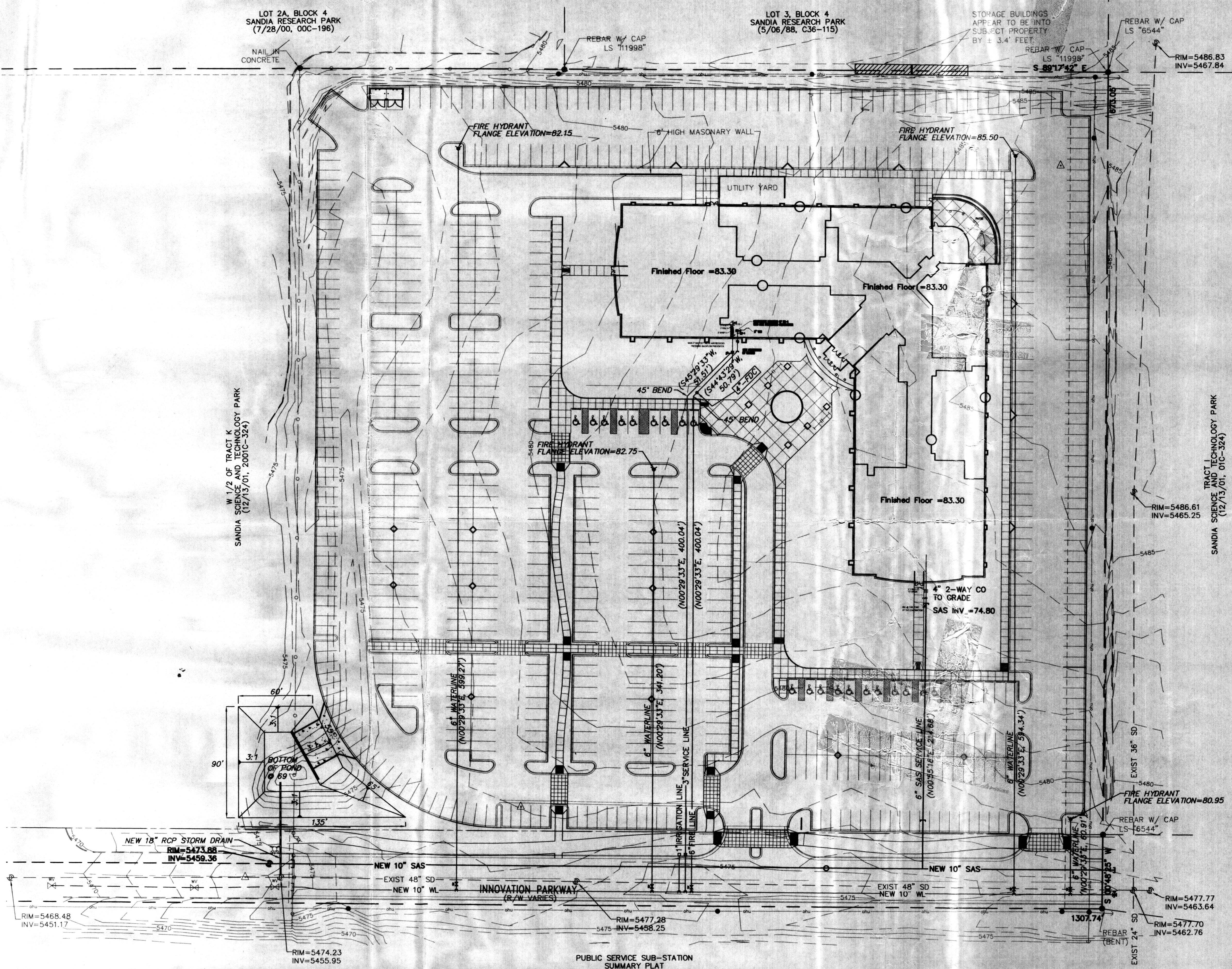
A5 TYPICAL 24" RAISED PLANTER SECTION DETAIL
3/4" = 1'-0"



C1 REFUSE ENCLOSURE WALL SECTION
3/4" = 1'-0"



A1 ENLARGED REFUSE ENCLOSURE PLAN
1/4" = 1'-0"



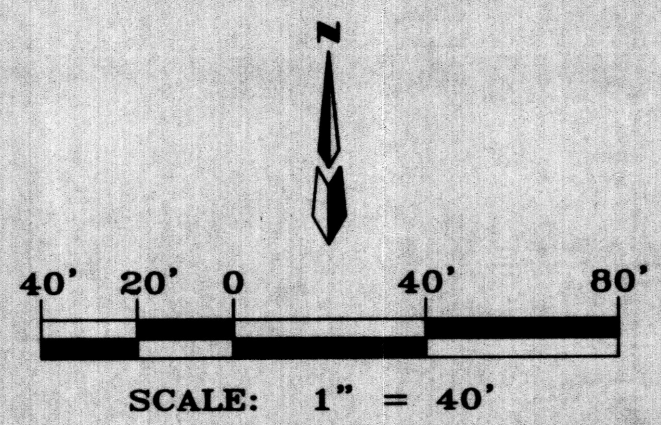
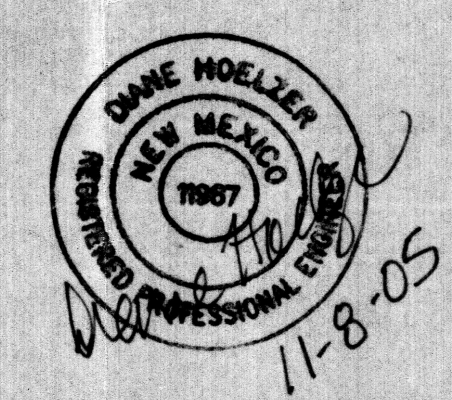
VICINITY MAP ZONE MAP: M-21

ACS BENCHMARK
ACS MONUMENT "7-L20" HAVING AN ELEVATION OF 5468.798 FEET.

LEGAL DESCRIPTION
THE EAST HALF (E 1/2) OF TRACT K, SANDIA SCIENCE AND TECHNOLOGY PARK, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2001, IN BK. 2001C, PAGE 324.

- LEGEND
- 5480- EXISTING CONTOUR MAJOR
 - 5483- EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATIONS
 - - - - - EXISTING GUARDRAIL
 - - - - - EXISTING CURB
 - - - - - EXISTING OVERHEAD ELECTRIC
 - - - - - PROPOSED CURB & GUTTER
 - - - - - PROPOSED EASEMENT
 - FOUND AS INDICATED
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - FIRE HYDRANT
 - OVERHEAD UTILITY LINES
 - UTILITY POLE
 - GUY WIRE
 - CHAIN LINK FENCE
 - SD- EXISTING STORM DRAIN

- NOTES
1. ALL WATERLINE IS C-900 SERIES PVC PIPE.
 2. ALL SAS IS SDR 35 PVC PIPE.
 3. ALL WATERLINE SHALL BE BURIED 3 FEET BELOW GROUND.
 4. ALL DISTANCES ON WATERLINES AND SANITARY SEWER SERVICE ARE MEASURED FROM MAIN LINE CONNECTIONS IN INNOVATIVE PARKWAY.



SANDIA SCIENCE & TECH PARK
SANDIA NATIONAL LAB OFFICE BLD.
ONSITE UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DLH Drawn: SLV Checked: DMG Sheet of
Scale: 1" = 1' Date: 10-14-05 Job: A5089STP