

LEGAL DESCRIPTION:	TR K-1 AND K-2 PLAT FOR VISTA DE LA LUZ COMMERCIAL
TOTAL ACREAGE:	2.7555 AC (120,030 SF)
EXISTING ZONING:	SU-1 FOR PRD AND ONE RESTAURANT WITH FULL-SERVICE LIQUOR
PROPOSED ZONING:	-
BUILDING SIZE/SEATS:	BUILDING 1 - COMMERCIAL 2,900 SF, RESTAURANT 202 SEATS W/ 48 PATIO SEATS
	BUILDING 2 - COMMERCIAL 6,500 SF
FAR:	0.1249
NUMBER OF STRUCTURES:	2
MAX BUILDING HEIGHT:	28' TO TOP OF PARAPET
TOTAL PARKING REQUIRED:	83 RESTAURANT + 47 RETAIL = 130 TOTAL
TOTAL PARKING PROVIDED:	150 (26 COMPACT)
HC REQUIRED:	8
HC PROVIDED:	8
BIKE REQUIRED:	8
BIKE PROVIDED:	15
MOTORCYCLE REQUIRED:	4
MOTORCYCLE PROVIDED:	4

PROJECT NUMBER: 1004675
Application Number: 17EPC-40036
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated September 15, 2017 and the Findings and Conditions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Roguel M. Mint</i>	12/6/17
Traffic Engineering, Transportation Division	Date
<i>Jon Gutzgand</i>	12/6/17
ABCWUA	Date
<i>Debra M. ...</i>	12/6/17
Parks and Recreation Department	Date
<i>Renee Brumette</i>	11-6-17
City Engineer	Date
<i>Carla Wilkins</i>	10-30-17
Solid Waste Management	Date
<i>[Signature]</i>	12-18-2017
DRB Chairperson, Planning Department	Date

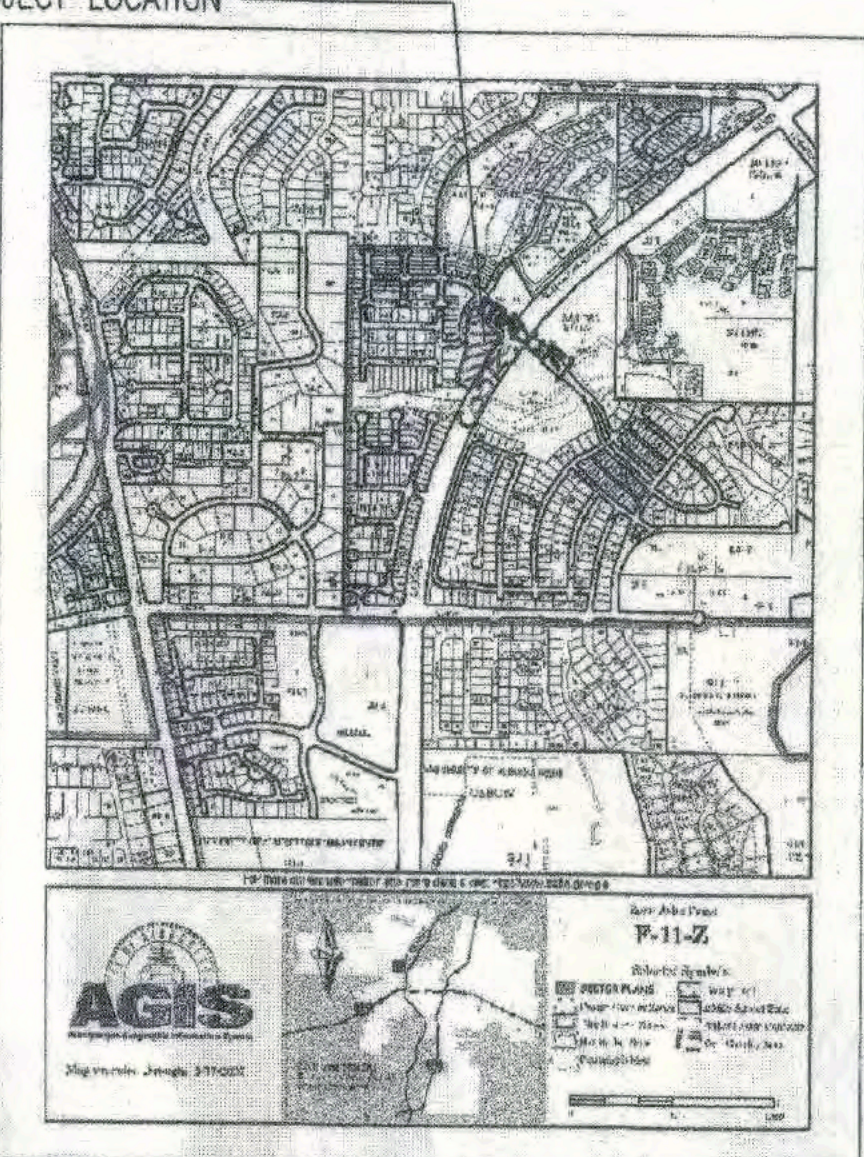
- GENERAL NOTE:
- UTILITY PADS TRANSFORMERS AND TELEPHONE BOXES SHALL BE SCREENED WITH WALLS AND VEGETATION
 - ROOF MOUNTED EQUIPMENT AND EXTERIOR TRASH AND UTILITY BOXES SHALL BE SCREENED
 - THERE SHALL BE NO OUTDOOR STORAGE THAT FACES COORS BLVD. OR IS VISIBLE FROM THE PUBLIC ROW
 - ON-SITE LIGHTING LUMINANCE SHALL NOT EXCEED 1,000 LAMBERTS FROM ANY POINT AND 200 LAMBERTS FROM ANY RESIDENTIAL PROPERTY LINE.
 - ALL ON-SITE HANDICAP RAMPS SHALL BE DESIGNED ACCORDING TO AASHTO SPECIFICATIONS
 - COMPACT PARKING SPACES SHALL HAVE THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE

PROJECT NUMBER: 1004675
APPLICATION NUMBER:

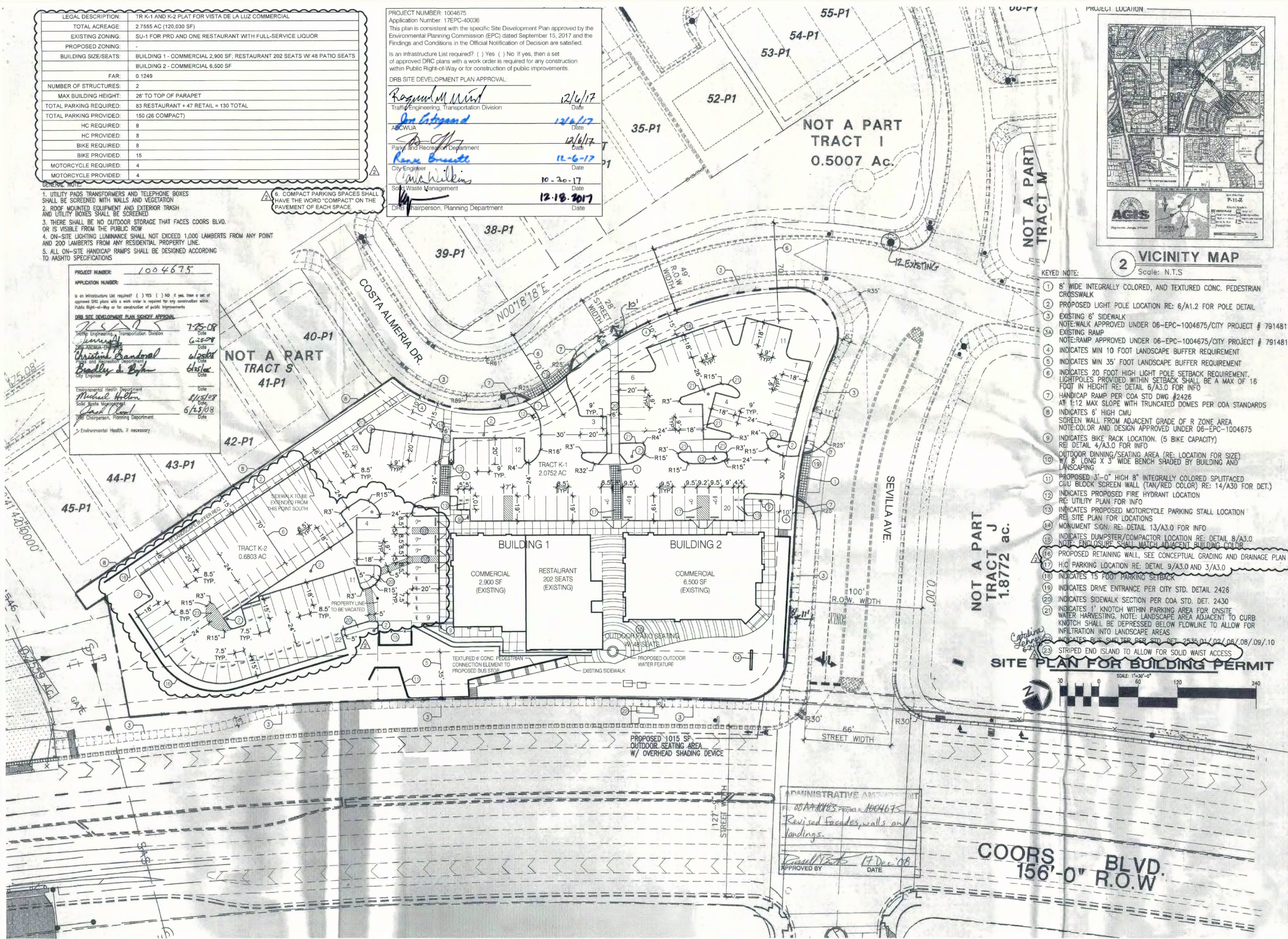
Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	7-25-08
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	6-25-08
ABCWUA	Date
<i>Christina ...</i>	6/25/08
Parks and Recreation Department	Date
<i>[Signature]</i>	6/25/08
City Engineer	Date
<i>[Signature]</i>	6/25/08
DRB Chairperson, Planning Department	Date
<i>[Signature]</i>	6/25/08
Environmental Health, if necessary	Date



- KEYED NOTE:
- 8' WIDE INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK
 - PROPOSED LIGHT POLE LOCATION RE: 6/A1.2 FOR POLE DETAIL
 - EXISTING 6' SIDEWALK
 - EXISTING RAMP
 - INDICATES MIN 10 FOOT LANDSCAPE BUFFER REQUIREMENT
 - INDICATES MIN 35' FOOT LANDSCAPE BUFFER REQUIREMENT
 - INDICATES 20 FOOT HIGH LIGHT POLE SETBACK REQUIREMENT. LIGHTPOLES PROVIDED WITHIN SETBACK SHALL BE A MAX OF 16 FOOT IN HEIGHT RE: DETAIL 6/A3.0 FOR INFO
 - HANDICAP RAMP PER COA STD DWG #2426 AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
 - INDICATES 6' HIGH CMU SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA NOTE-COLOR AND DESIGN APPROVED UNDER 06-EPC-1004675
 - INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 4/A3.0 FOR INFO
 - OUTDOOR DINNING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8' LONG X 3' WIDE BENCH SHADED BY BUILDING AND LANDSCAPING
 - PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLITFACED CHU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A30 FOR DET.
 - INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
 - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
 - MONUMENT SIGN, RE: DETAIL 13/A3.0 FOR INFO
 - INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0 NOTE- ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
 - PROPOSED RETAINING WALL, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN
 - H/C PARKING LOCATION RE: DETAIL 9/A3.0 AND 3/A3.0
 - INDICATES 15 FOOT PARKING SETBACK
 - INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
 - INDICATES SIDEWALK SECTION PER COA STD. DET. 2430
 - INDICATES 1" KNOTCH WITHIN PARKING AREA FOR ONSITE WATER HARVESTING. NOTE: LANDSCAPE AREA ADJACENT TO CURB KNOTCH SHALL BE DEPRESSED BELOW FLOWLINE TO ALLOW FOR INFILTRATION INTO LANDSCAPE AREAS
 - INDICATES BUS SHELTER PER STD. DET. 2535.01/02/06/08/09/10
 - STRIPED END ISLAND TO ALLOW FOR SOLID WAST ACCESS



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GEORGE RANHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

NO PLANS CHECKING OFFICE
924-3611
PROVIDED/DISAPPROVED
HYDRANT(S) ONLY
R.C. [Signature] 6-24-08
SIGNATURE & DATE

PROJECT TITLE: VISTAS DE LA LUZ COMMERCIAL
N.W.C. OF COORS BLVD. AND LA LUZ ALBUQUERQUE NEW MEXICO

PROJECT MANAGER: STEPHEN DUNBAR AA

JOB NO.:

DRAWN BY: S

SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 9/1/06

SCALE: 1"=30'

sheet: A1.1

of: 4

ADMINISTRATIVE AGREEMENT
F. 00 AA 11183 project 1004675
Revised Facades, walls and landings.
APPROVED BY: [Signature] DATE: 17 Dec 08

PROJECT NUMBER: 1004675
 Application Number: 17EPC-40037
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated September 15, 2017 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Rogun M. M. M. M.</i>	12/6/17
Traffic Engineering, Transportation Division	Date
<i>Jim Rodriguez</i>	12/6/17
ABCWUA	Date
<i>Sp. City</i>	12/6/17
Parks and Recreation Department	Date
<i>Rene Brunette</i>	12-6-17
City Engineer	Date
N/A	
Solid Waste Management	Date
<i>W. J.</i>	12-18-17
DRB Chairperson, Planning Department	Date

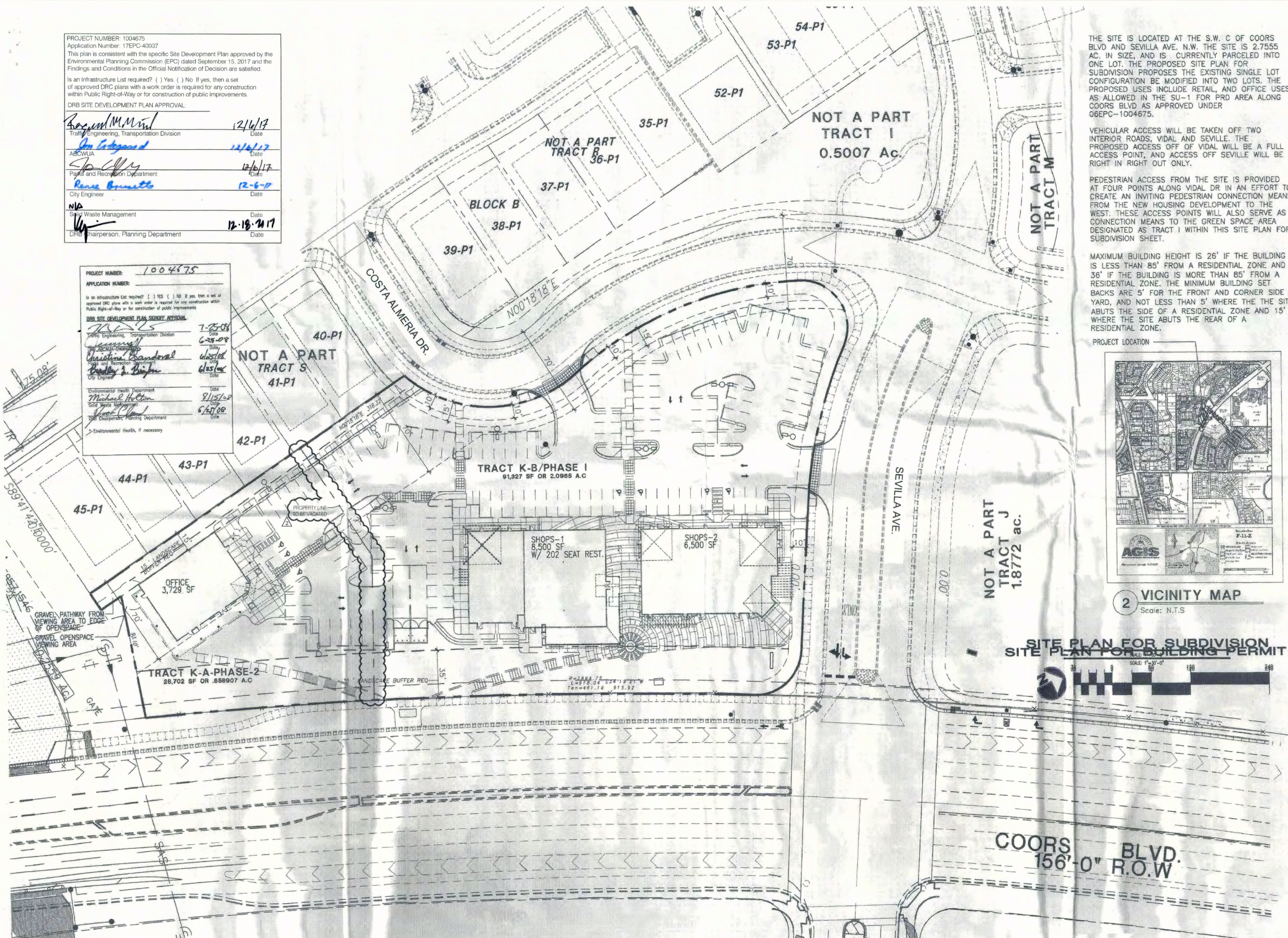
PROJECT NUMBER: 1004675
 APPLICATION NUMBER:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>M. J.</i>	7-25-08
Traffic Engineering, Transportation Division	Date
<i>Christina Brandoval</i>	6-25-08
ABCWUA	Date
<i>Christina Brandoval</i>	6/25/08
Parks and Recreation Department	Date
<i>David A. Brigh</i>	6/25/08
City Engineer	Date
Environmental Health Department	Date
<i>Michael Holton</i>	2/15/08
Solid Waste Management	Date
<i>W. J.</i>	6/25/08
DRB Chairperson, Planning Department	Date

> Environmental Health, if necessary

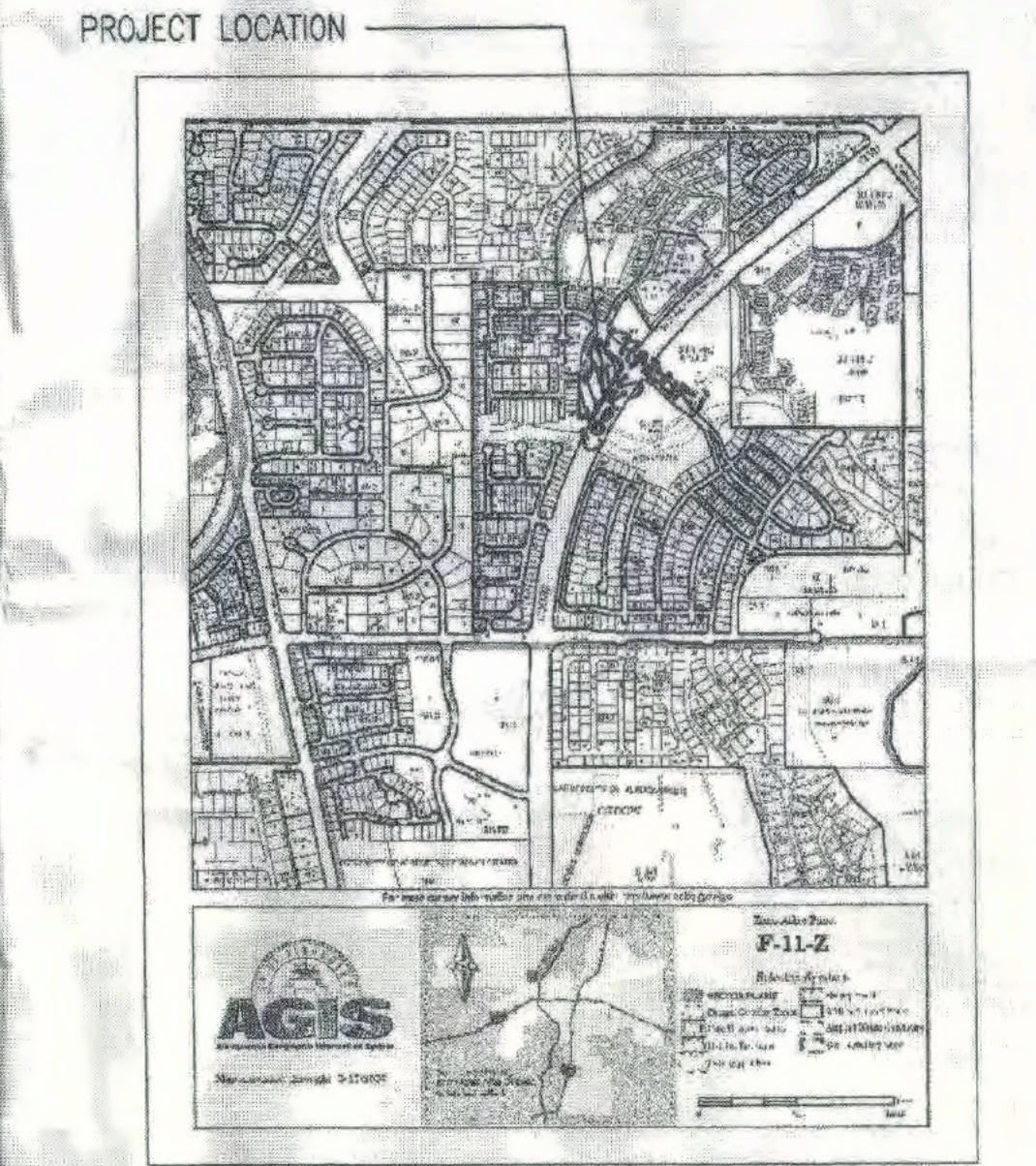


THE SITE IS LOCATED AT THE S.W. C OF COORS BLVD AND SEVILLA AVE. N.W. THE SITE IS 2.7555 AC. IN SIZE, AND IS CURRENTLY PARCELED INTO ONE LOT. THE PROPOSED SITE PLAN FOR SUBDIVISION PROPOSES THE EXISTING SINGLE LOT CONFIGURATION BE MODIFIED INTO TWO LOTS. THE PROPOSED USES INCLUDE RETAIL, AND OFFICE USES AS ALLOWED IN THE SU-1 FOR PRD AREA ALONG COORS BLVD AS APPROVED UNDER 06EPC-1004675.

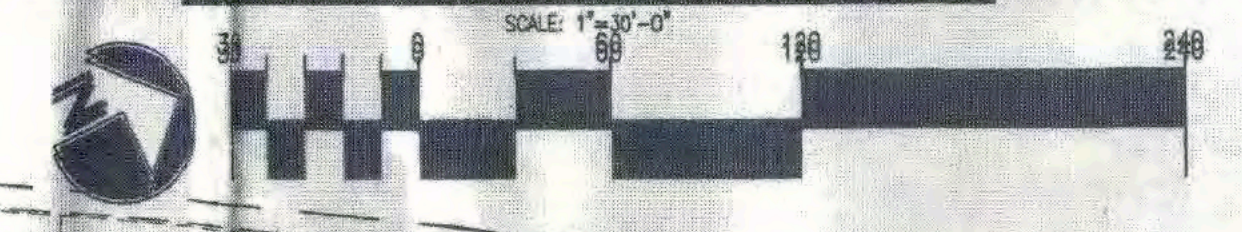
VEHICULAR ACCESS WILL BE TAKEN OFF TWO INTERIOR ROADS, VIDAL DR IN AN EFFORT TO CREATE AN INVITING PEDESTRIAN CONNECTION MEANS FROM THE NEW HOUSING DEVELOPMENT TO THE WEST. THESE ACCESS POINTS WILL ALSO SERVE AS CONNECTION MEANS TO THE GREEN SPACE AREA DESIGNATED AS TRACT I WITHIN THIS SITE PLAN FOR SUBDIVISION SHEET.

PEDESTRIAN ACCESS FROM THE SITE IS PROVIDED AT FOUR POINTS ALONG VIDAL DR IN AN EFFORT TO CREATE AN INVITING PEDESTRIAN CONNECTION MEANS FROM THE NEW HOUSING DEVELOPMENT TO THE WEST. THESE ACCESS POINTS WILL ALSO SERVE AS CONNECTION MEANS TO THE GREEN SPACE AREA DESIGNATED AS TRACT I WITHIN THIS SITE PLAN FOR SUBDIVISION SHEET.

MAXIMUM BUILDING HEIGHT IS 26' IF THE BUILDING IS LESS THAN 85' FROM A RESIDENTIAL ZONE AND 36' IF THE BUILDING IS MORE THAN 85' FROM A RESIDENTIAL ZONE. THE MINIMUM BUILDING SET BACKS ARE 5' FOR THE FRONT AND CORNER SIDE YARD, AND NOT LESS THAN 5' WHERE THE THE SITE ABUTS THE SIDE OF A RESIDENTIAL ZONE AND 15' WHERE THE SITE ABUTS THE REAR OF A RESIDENTIAL ZONE.



SITE PLAN FOR SUBDIVISION
SITE PLAN FOR BUILDING PERMIT



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VACATION OF TRACT LINE AND CONSOLIDATION INTO ONE TRACT

10/27/2017
12/17/2008

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
VISTAS DE LA LUZ COMMERCIAL
N.W.C OF COORS BLVD, AND LA LUZ ALBUQUERQUE NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR AIA

JOB NO.
S

DRAWN BY:
S

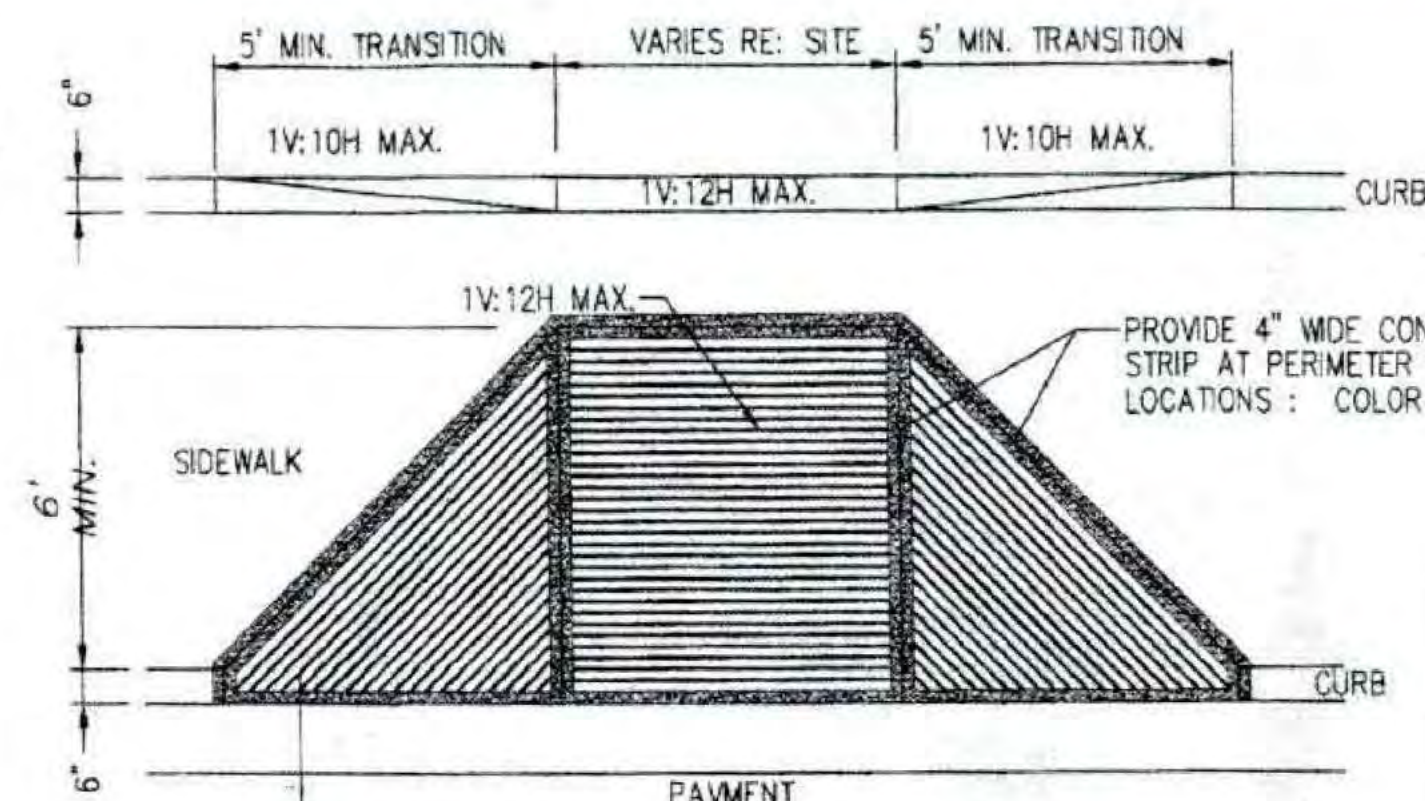
SHEET TITLE
SITE PLAN FOR SUBDIVISION

DATE
9/1/06

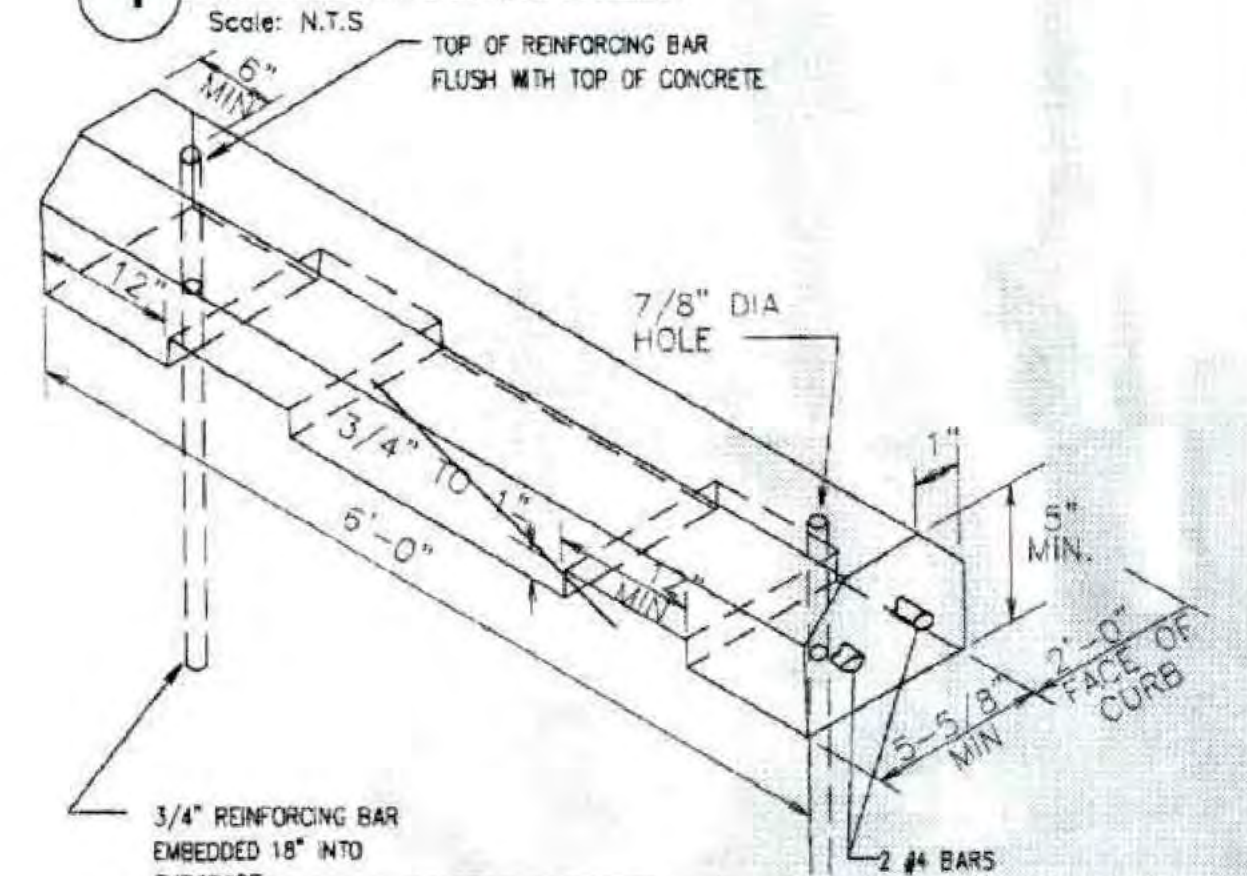
SCALE:
1"=30'

sheet-
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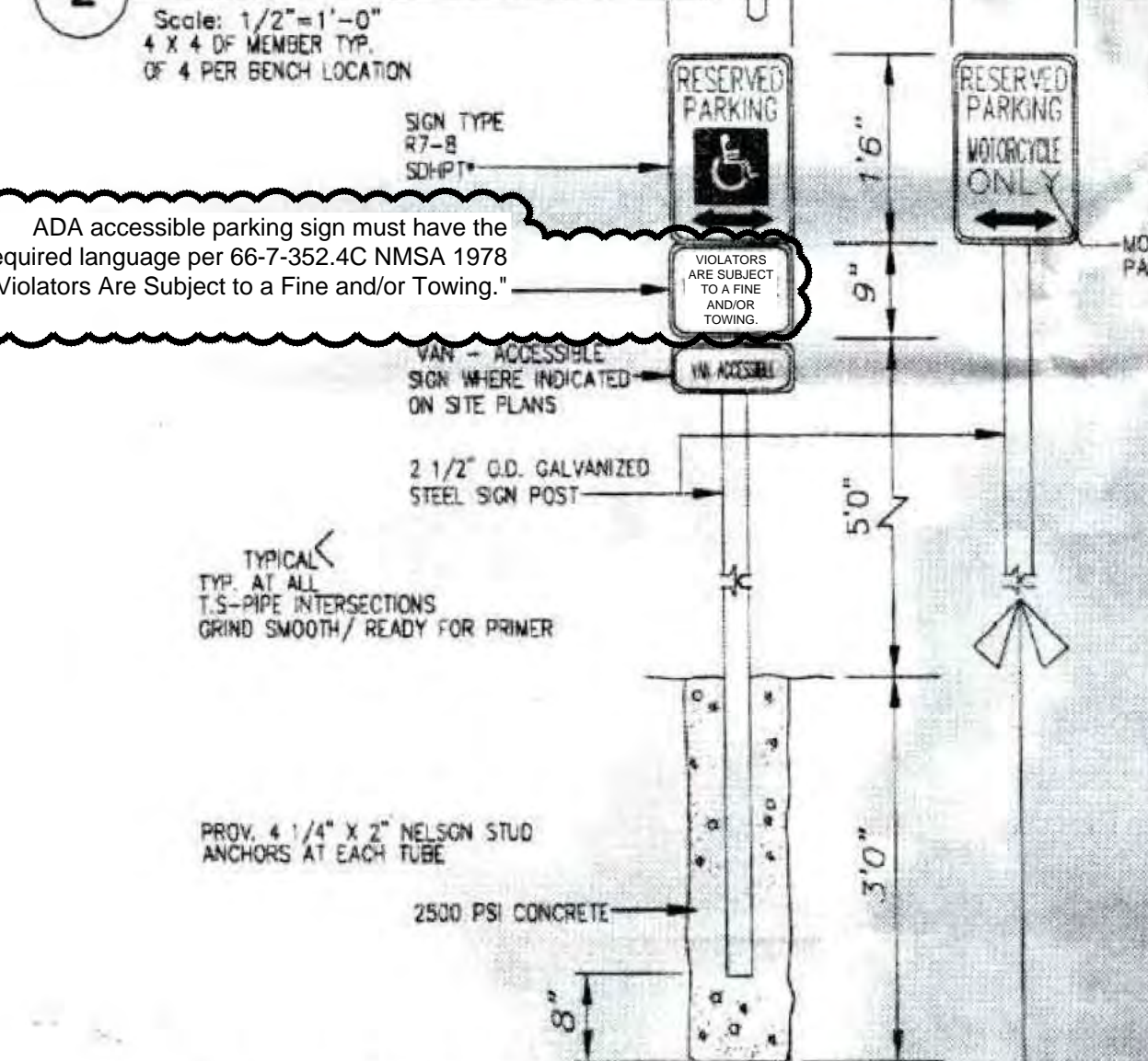
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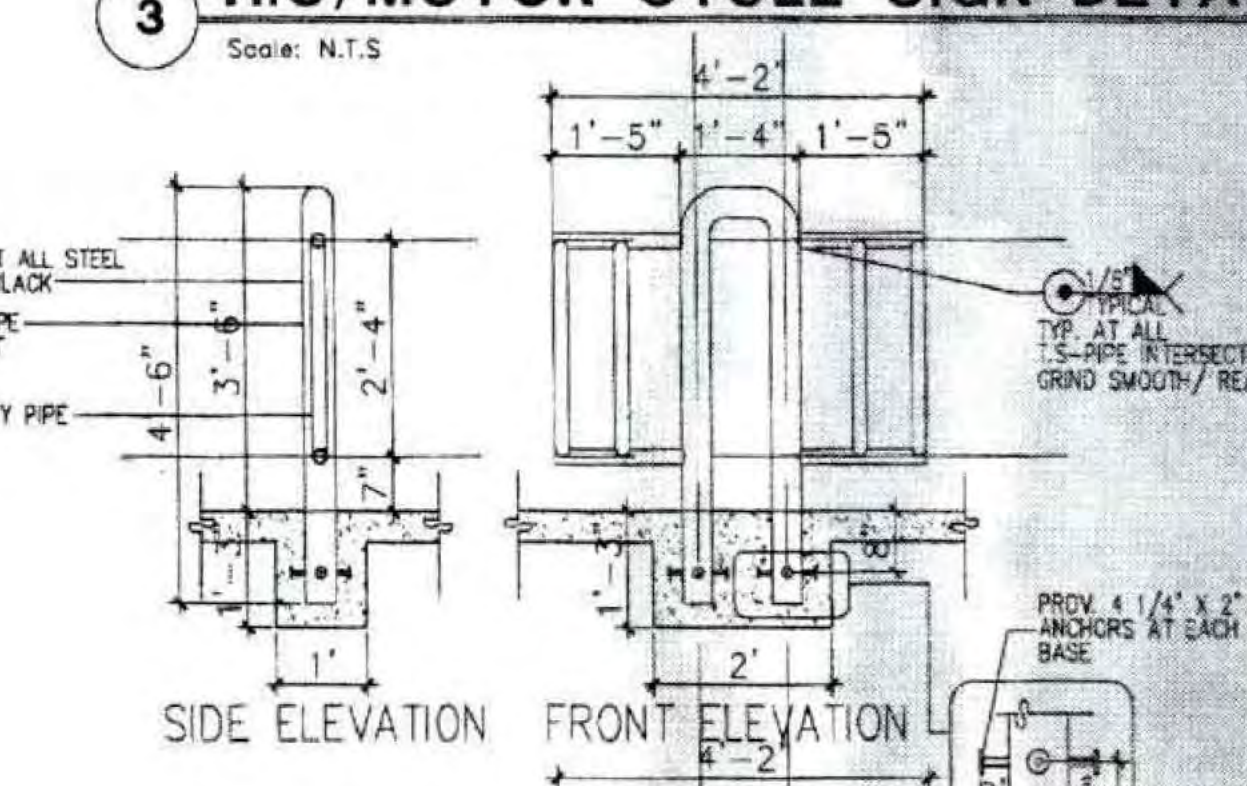
1 H.C RAMP
Scale: N.T.S.



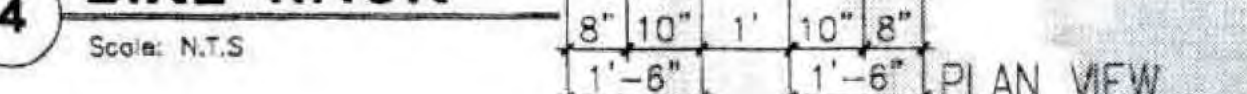
2 WHEEL STOP
Scale: 1/2"=1'-0"



3 H.C/MOTOR CYCLE SIGN DETAIL
Scale: N.T.S.

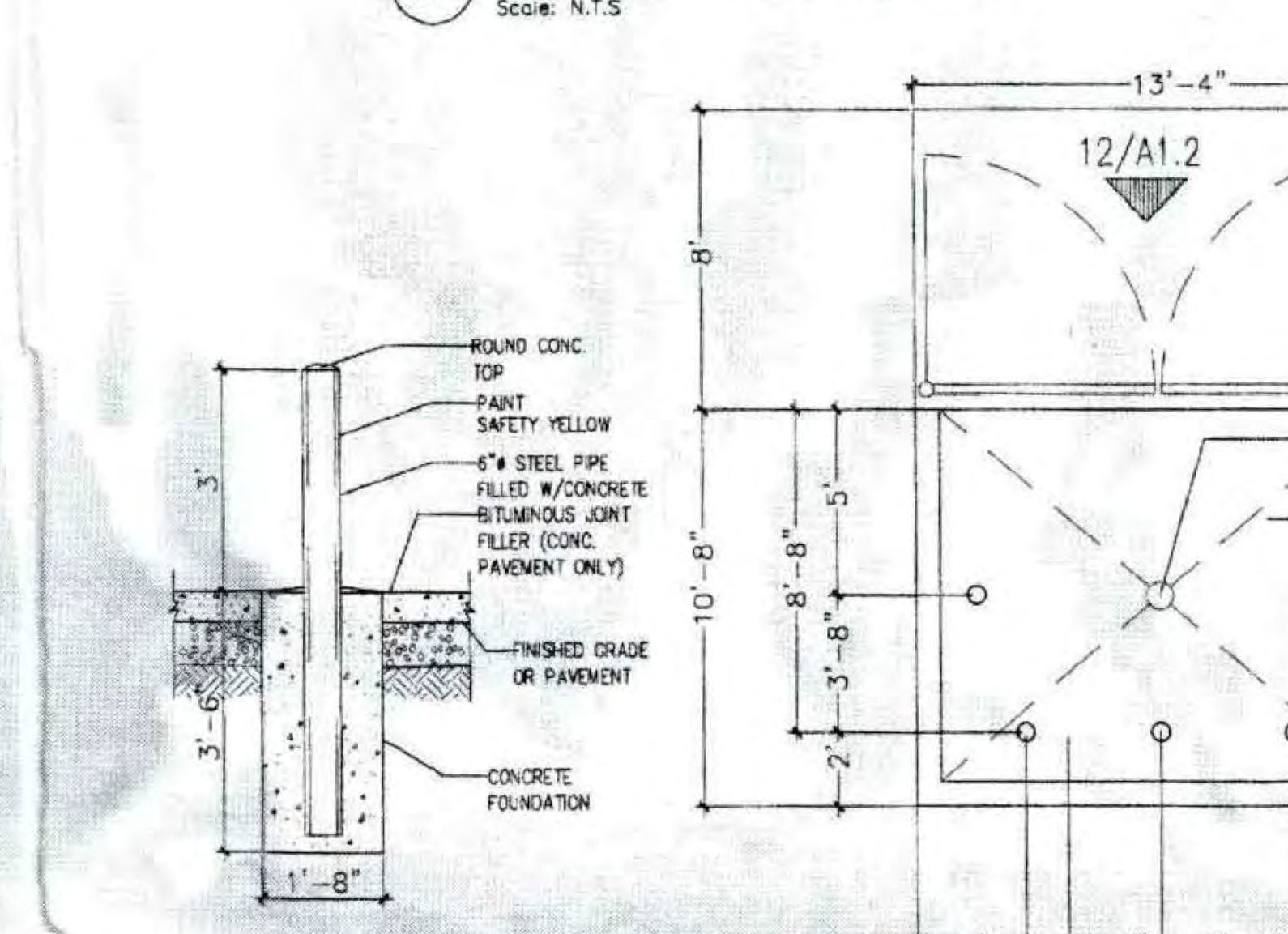


4 BIKE RACK
Scale: N.T.S.

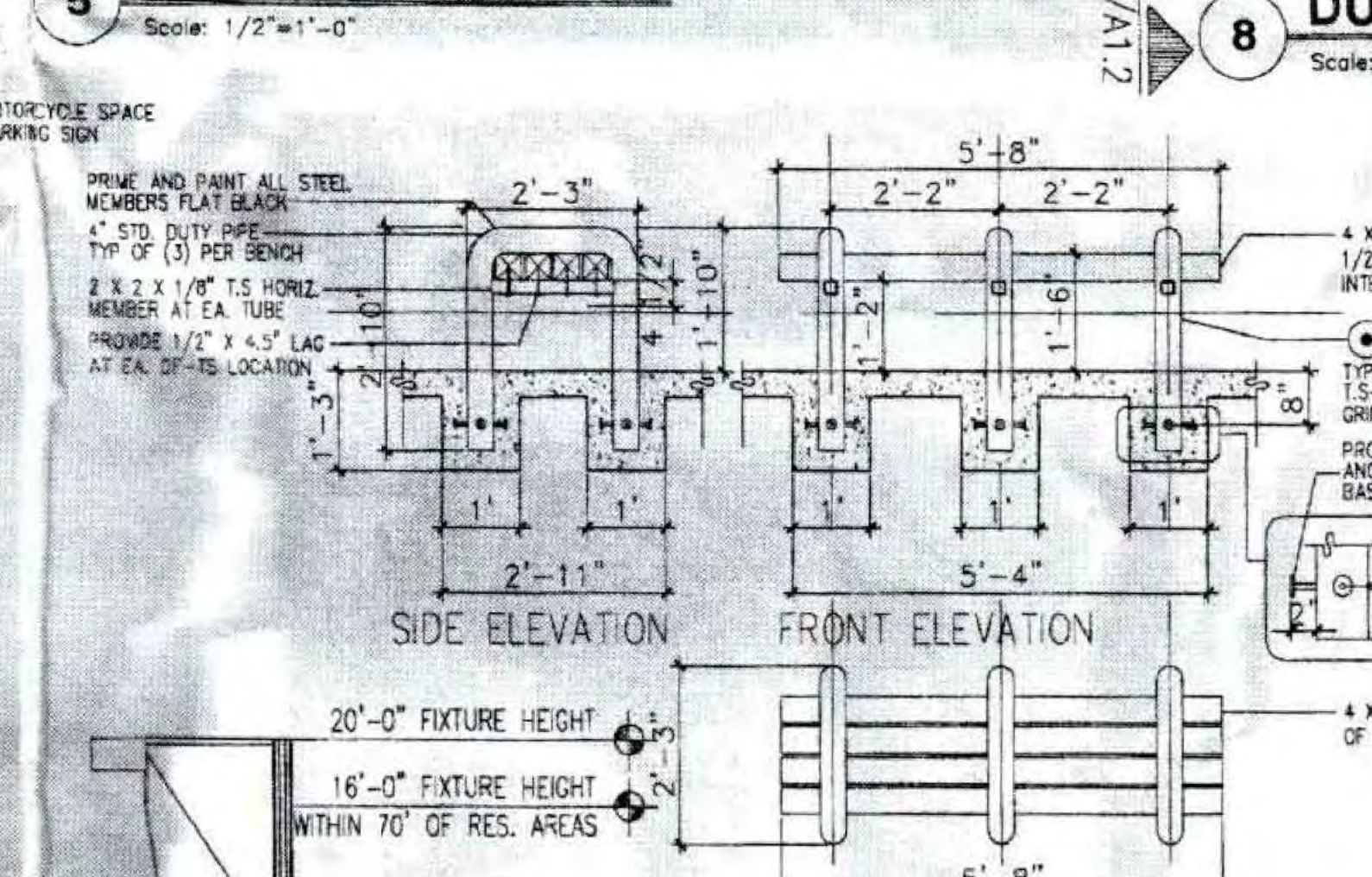


- KEYED NOTES**
- 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH ADJACENT BUILDING. COLOR (DARK TAN FINISH COLOR)
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.W.
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.W. W/ TURNDOWN EDGE.
 - 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

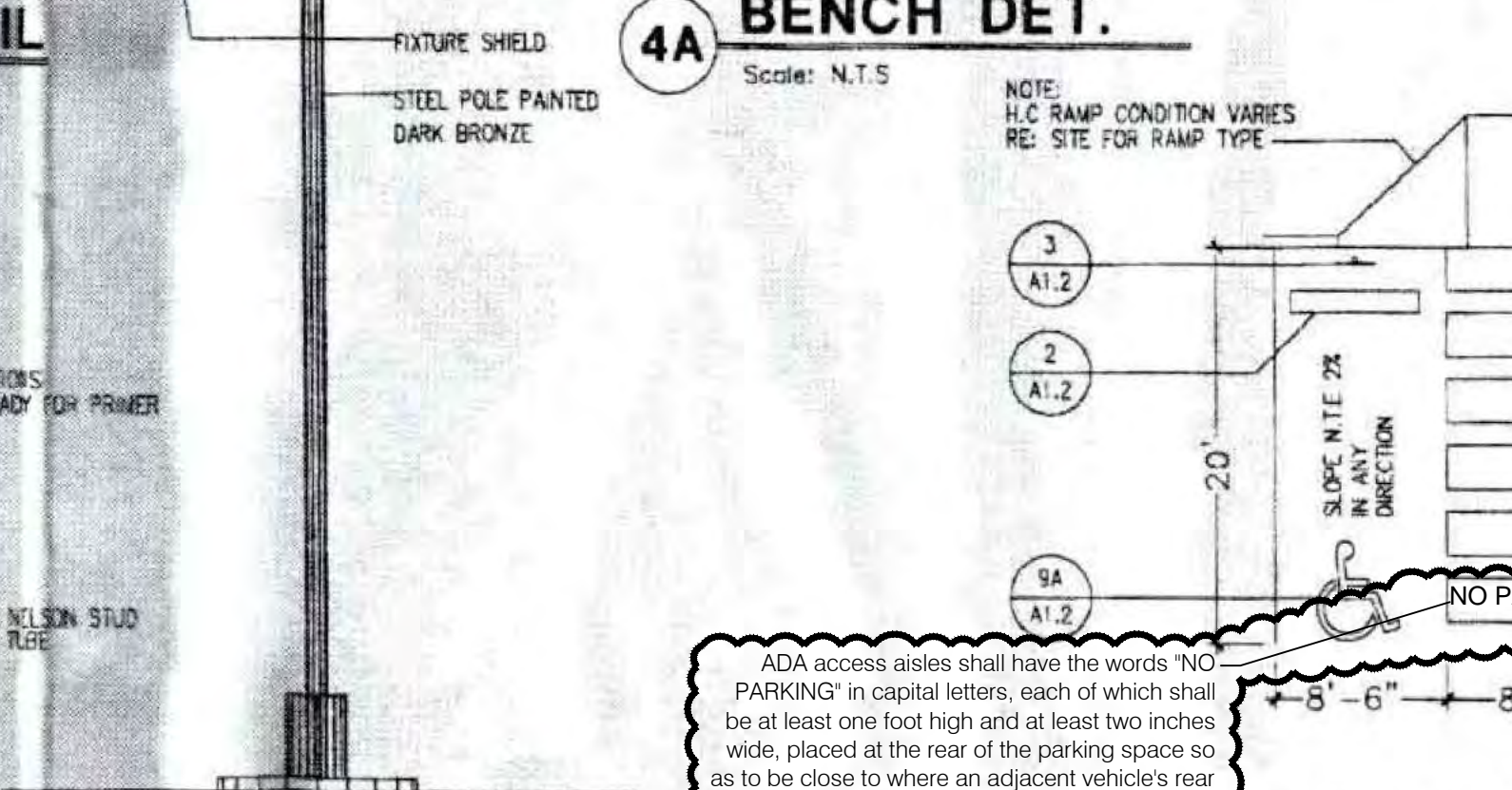
7 ENCLOSURE NOTES
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5 BOLLARD DETAIL
Scale: 1/2"=1'-0"

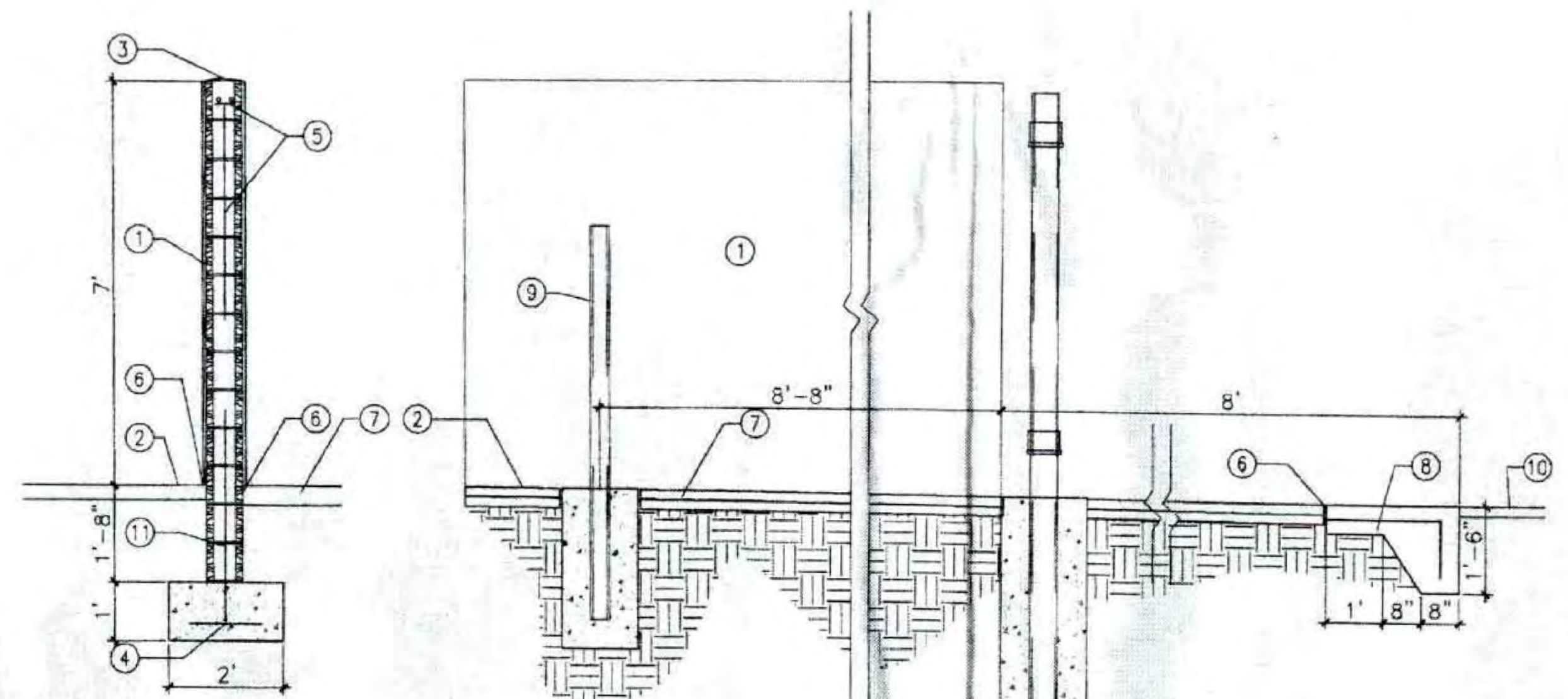


4A BENCH DET.
Scale: N.T.S.



6 LIGHT POLE DETAIL
Scale: N.T.S.

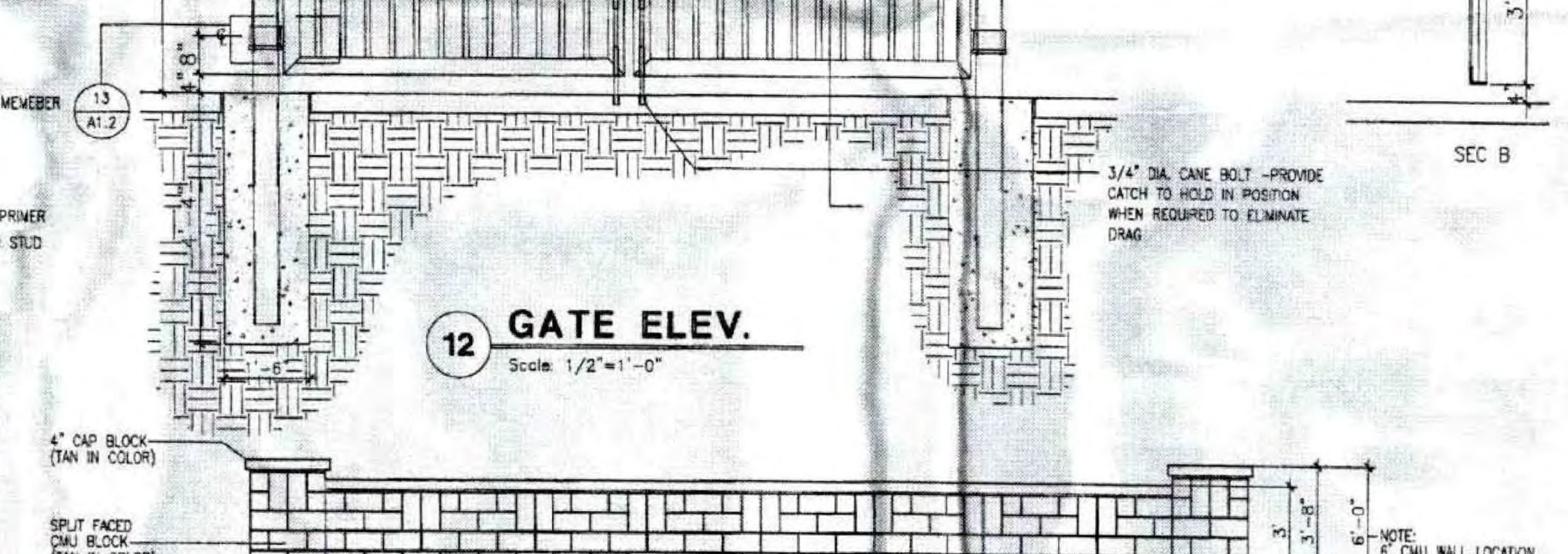
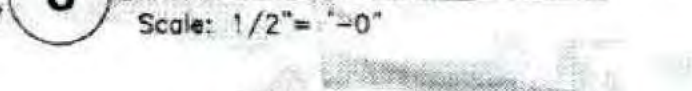
9 H.C TYP. PARKING DET.
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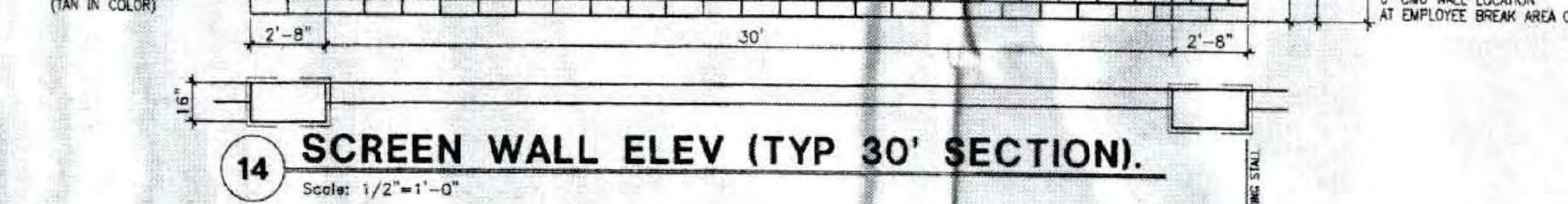
10 DUMPSTER SEC
Scale: 1/2"=1'-0"

11 DUMPSTER SEC
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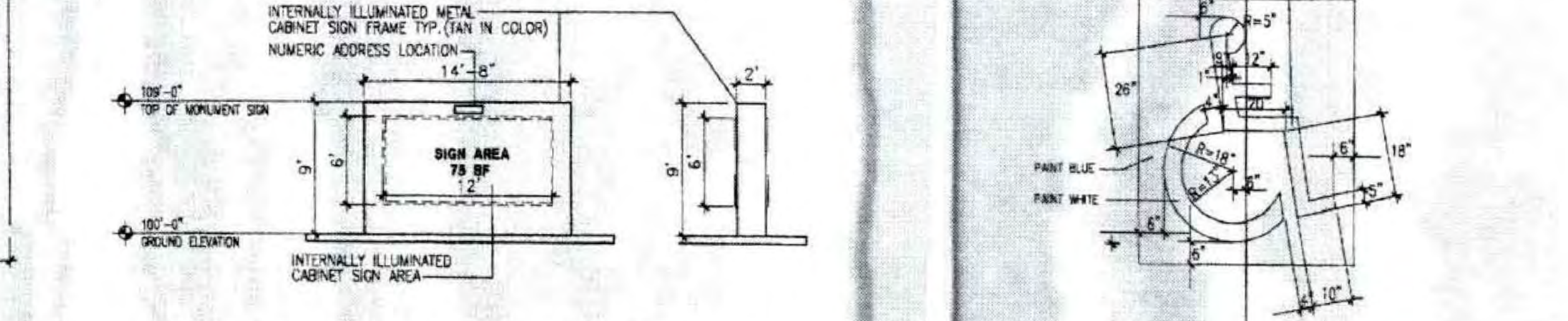
8 DUMPSTER PLAN
Scale: 1/2"=1'-0"



12 GATE ELEV.
Scale: 1/2"=1'-0"



14 SCREEN WALL ELEV (TYP 30' SECTION).
Scale: 1/2"=1'-0"



13 MONUMENT SIGN ELEVATIONS
Scale: N.T.S.

9A H.C SYMBOL
Scale: N.T.S.

REV	DATE	BY	REVISION
1	10/27/2017		ADA ACCESSIBLE PARKING DETAIL MODIFICATIONS
2	12/17/2008		

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	VISTAS DE LA LUZ COMMERCIAL	DRAWN BY	S
	N.W.C. OF COORS BLVD. AND LA LUZ ALBUQUERQUE NEW MEXICO	JOB NO.	
		PROJECT MANAGER	STEPHEN DUNBAR, AIA
DATE	9/1/06	SHEET TITLE	SITE DETAILS
SCALE	1"=30'		

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	19936
TOTAL BUILDING AREA (sf)	5951
TOTAL LOT AREA (sf)	14379
LANDSCAPE REQUIREMENT	X .35
TOTAL LANDSCAPE REQUIRED (%)	5651
TOTAL EXISTING LANDSCAPING	26951
NEW LANDSCAPE ADDED	22030
TOTAL LANDSCAPE AREA PROVIDED	48981
REQUIRED GROUND COVER 30%	14696
PROVIDED GROUND COVER	10689
REQUIRED LIVE PLANTS 75%	36740
PROVIDED LIVE PLANTS	68614

LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
10	2" cal	Chinese Flatcch <i>Pistacia chinensis</i>	1225 12500 M+
3	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	2025 6075 M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	20x25 625 625 M
11	15 Gal	Desert Willow <i>Chilopsis linearis</i>	625 6075 M 26075
Shrubs & Groundcovers			
31	5 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	25x2 4 124 M
12	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	5x5 25 300 M
9	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12 144 1296 M
8	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 1152 M
14	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1 49 686 L
19	5 Gal	Chamaea <i>Chrysothamnus nauseosus</i>	5x1 49 931 L
9	2-3cf	Boulders To be placed at contractor discretion	4489
5105		Landscape Gravel / Filter Fabric 7/8" Santa Fe Brown Match Existing Gravel	
26951		Existing Landscaping	
10192		City ROW Santa fe Brown Crusher Fine	
6193		Oversize Landscape Gravel / Filter Fabric 2-4" Santa Ana Tan Match Existing Gravel	
Total Ldscp.			4898100

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Bernalillo Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Gray Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

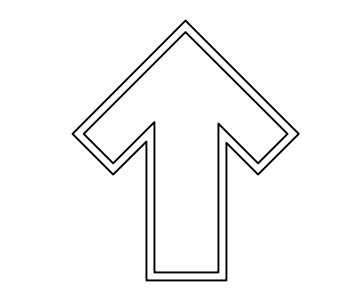
FEBCO MODEL 765
Costa Almeria Dr. NW

EXISTING BUILDING
8740

EXISTING BUILDING
6767

Sevilla Av. NW

Coors Blvd. NW



The Hilltop
1209 Edith NE
Albuquerque, NM 87113
Cont. Lic. #16-458
PH: (505) 898-3630
FAX: (505) 898-1131
danny@hilltoplandscaping.com

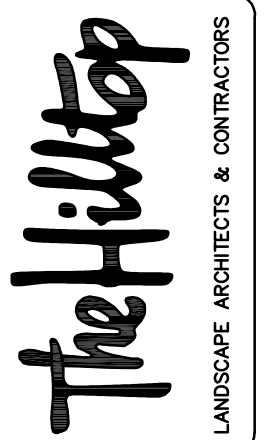
Landscape Architect



Vista de la Luz Commercial
Coors Blvd. and Sevilla
Albuquerque, NM

LANDSCAPE PLAN

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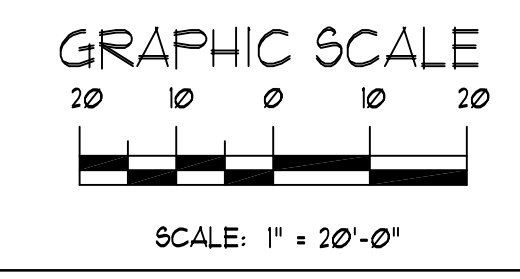


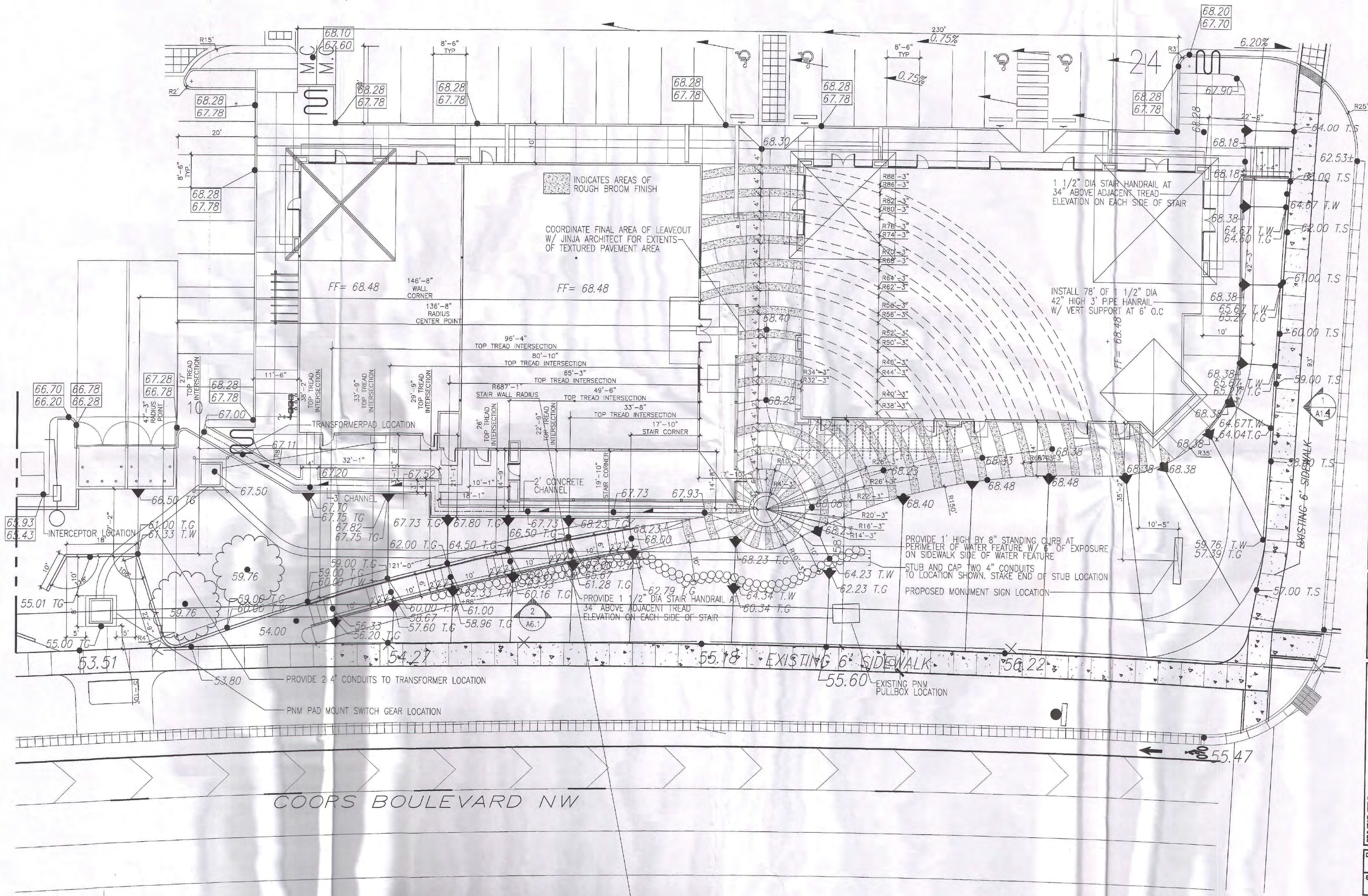
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ca

REVISION
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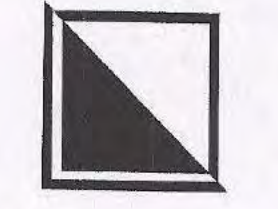
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8/27/2011

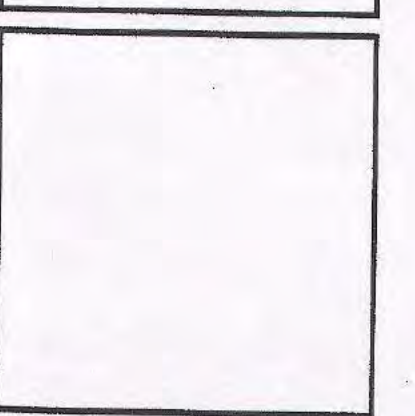
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

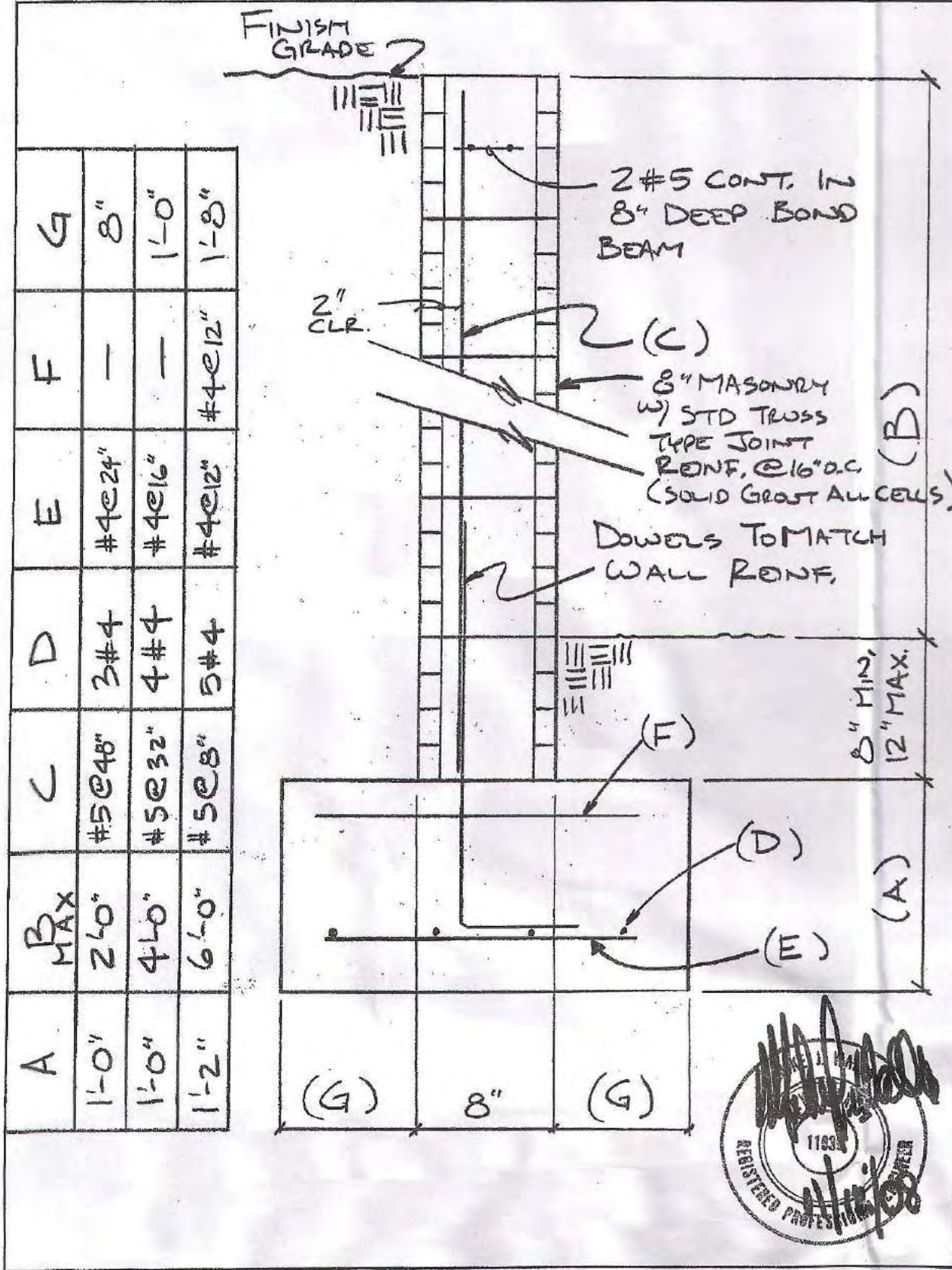


PROJECT TITLE VISTAS DE LA LUZ COMMERCIAL N.W.C OF COORS BLVD. AND LA LUZ ALBUQUERQUE NEW MEXICO	DRAWN BY: S
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO.
SHEET TITLE ENLARGED SITE PLAN	
DATE: 11/13/08	sheet- A1.3
SCALE: 1"=10'	of-



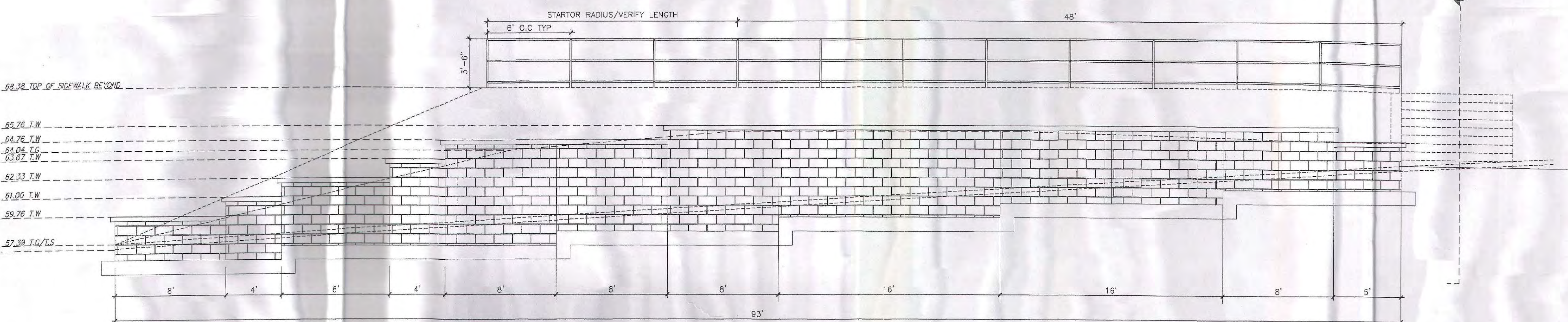
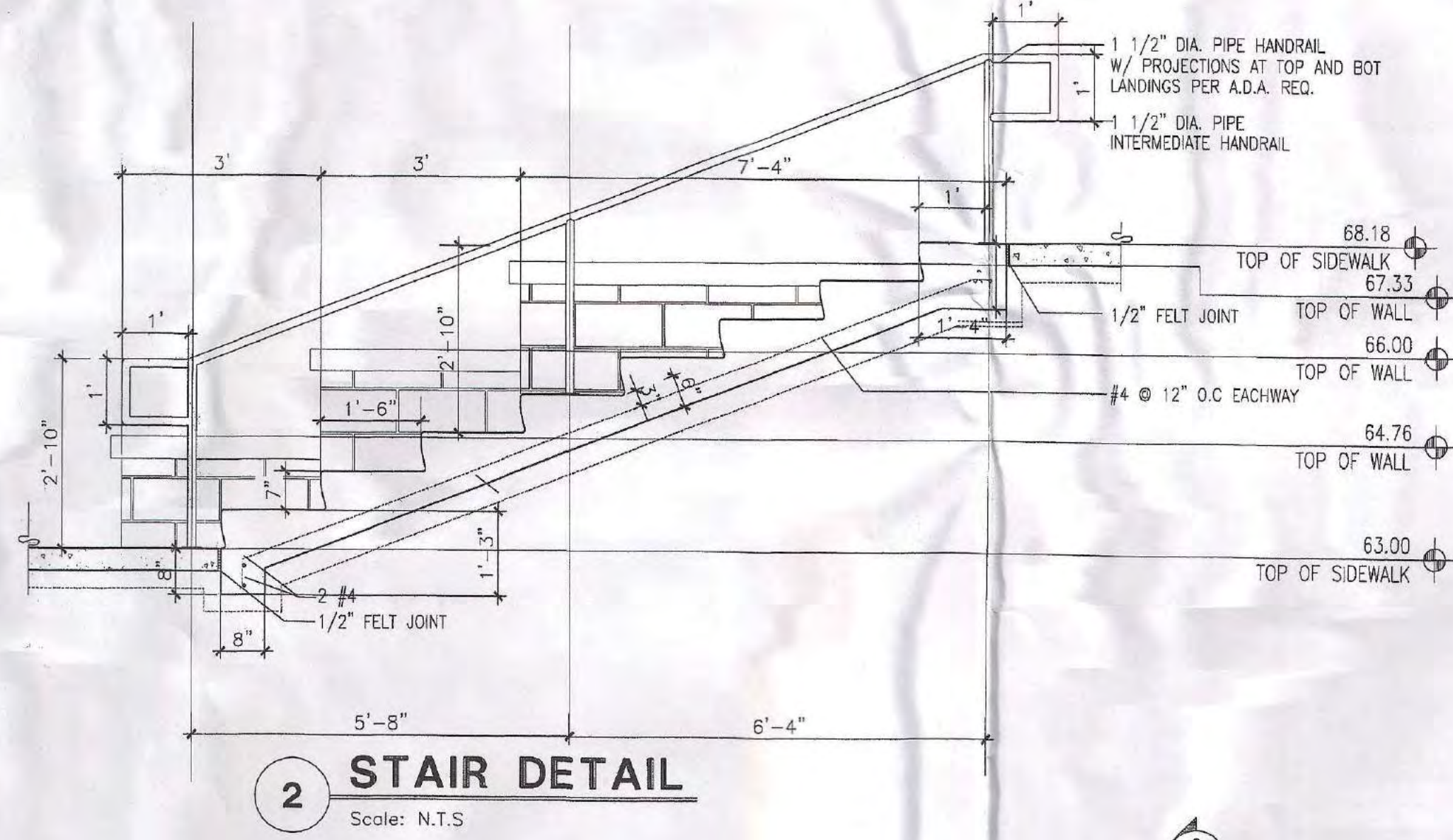
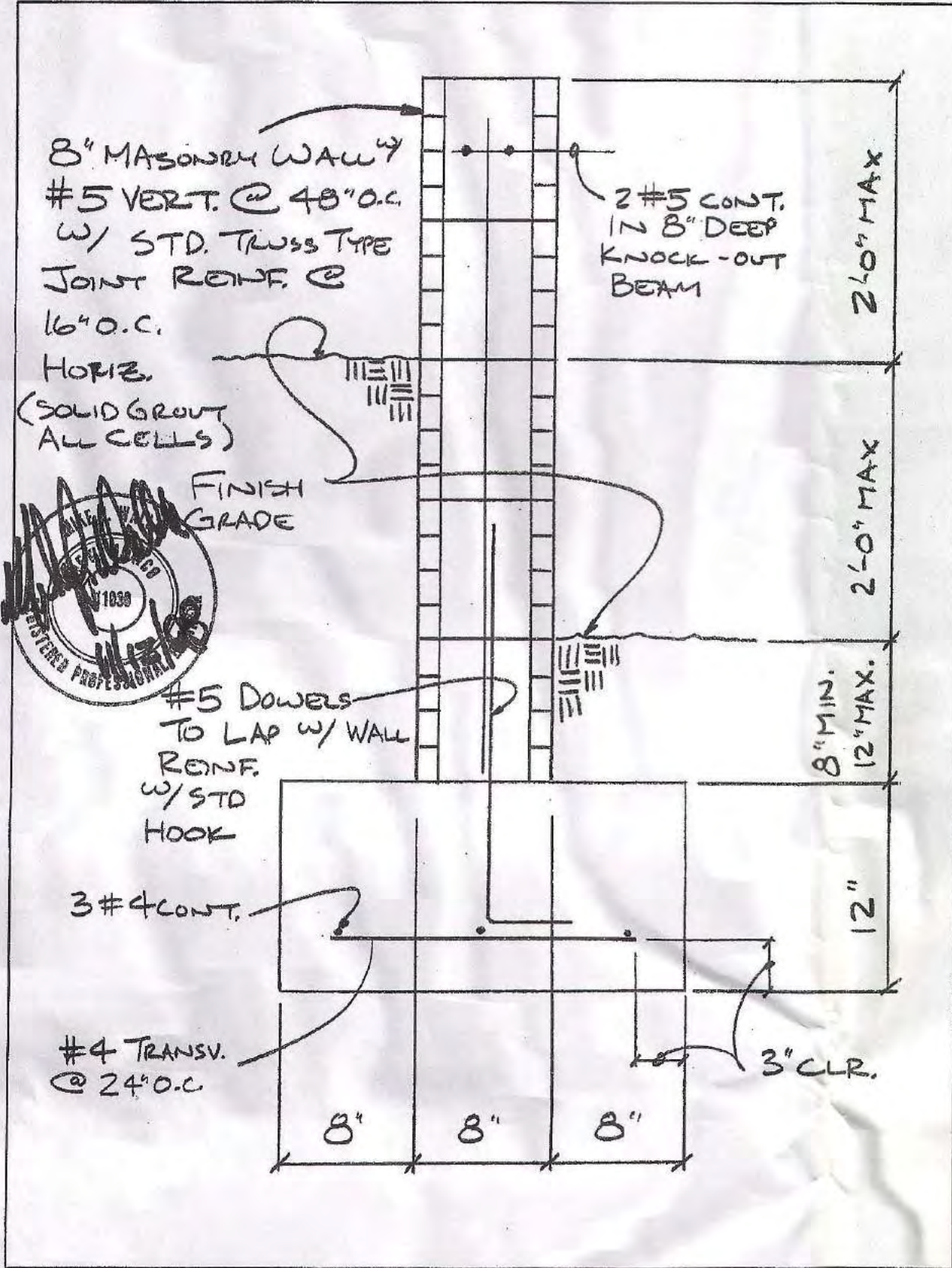
6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
881-2886 • Fax: 881-4224

SHEET NO. 2 OF 2
JOB: VISTA DE LA LUZ
SUBJECT: RETAINING WALL
CLIENT: MODULUS
JOB NO: 2091308
BY: JR DATE: 12 NOV 08
CHECKED BY: DATE:



6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
881-2886 • Fax: 881-4224

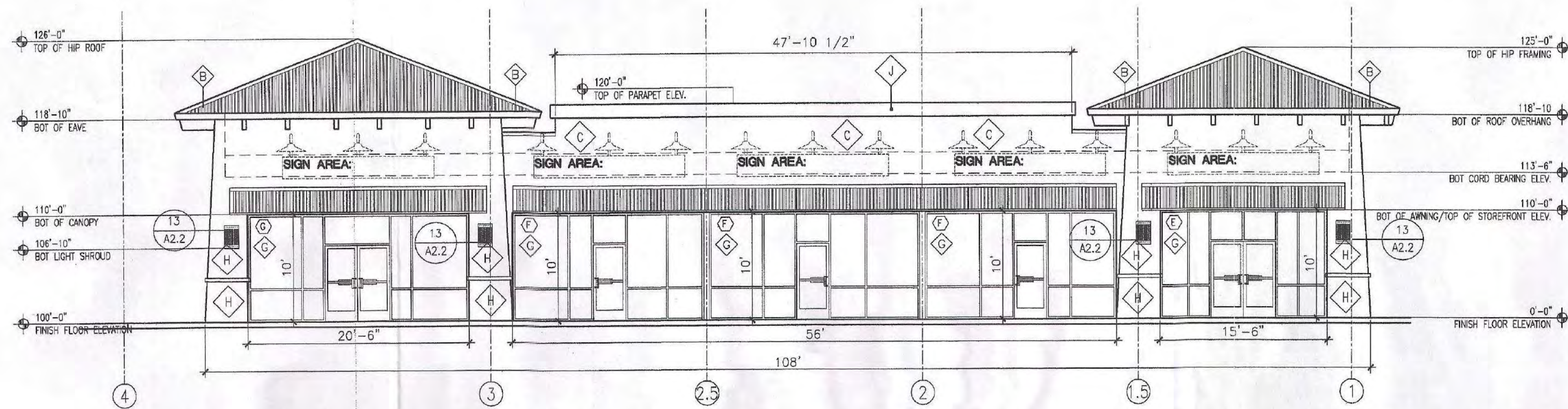
SHEET NO. 1 OF 2
JOB: VISTA DE LA LUZ
SUBJECT: RETAINING WALL
CLIENT: MODULUS
JOB NO: 2091308
BY: JR DATE: 12 NOV 08
CHECKED BY: DATE:



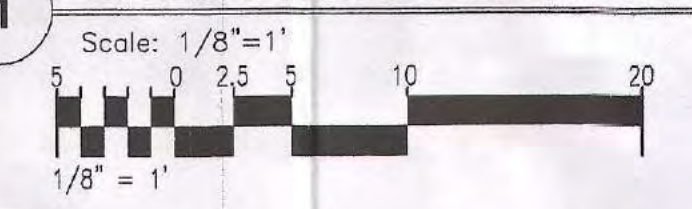
REV	DATE	BY	REVISION
6			
5			
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2			
1			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

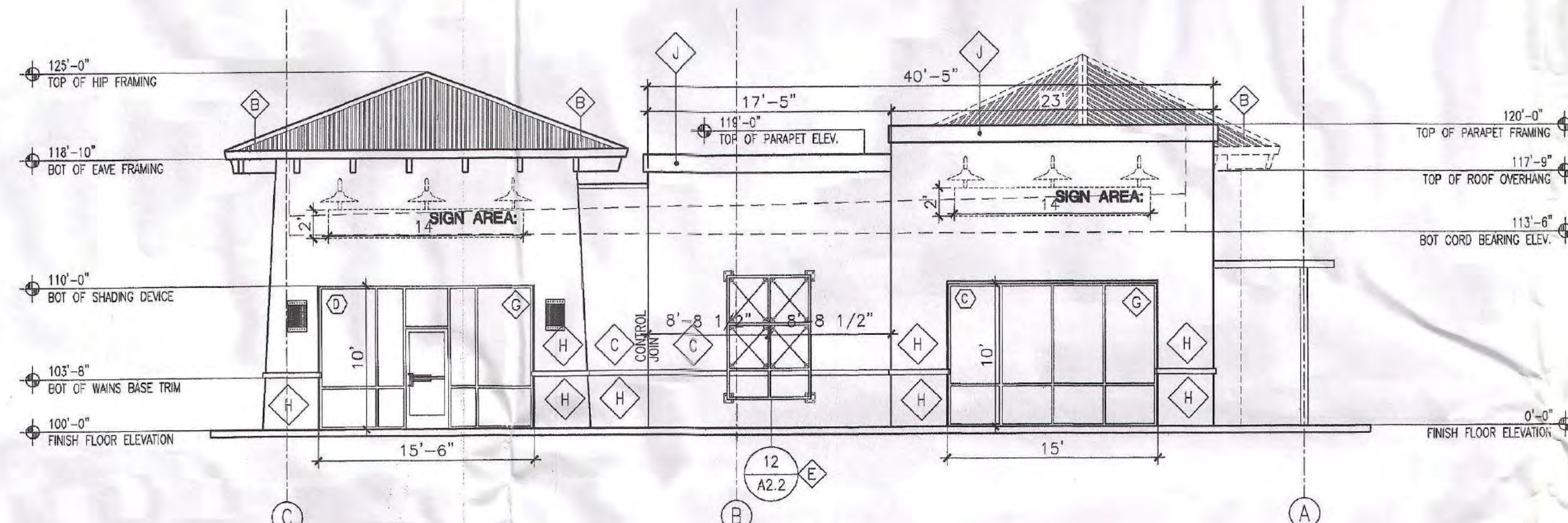
PROJECT TITLE VISTAS DE LA LUZ COMMERCIAL N.W.C OF COORS BLVD. AND LA LUZ ALBUQUERQUE NEW MEXICO	JOB NO.	DRAWN BY: S
PROJECT MANAGER STEPHEN DUNBAR AIA		
SHEET TITLE DETAILS		
DATE: 9/1/06	sheet-	
SCALE: 1"=30'	A1.4	of-



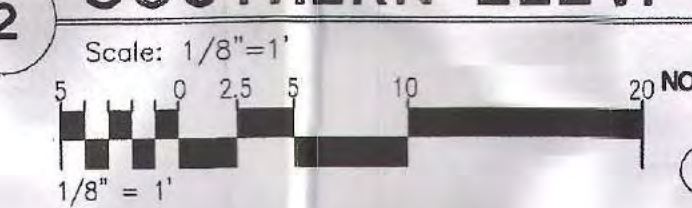
1 WESTERN ELEV.



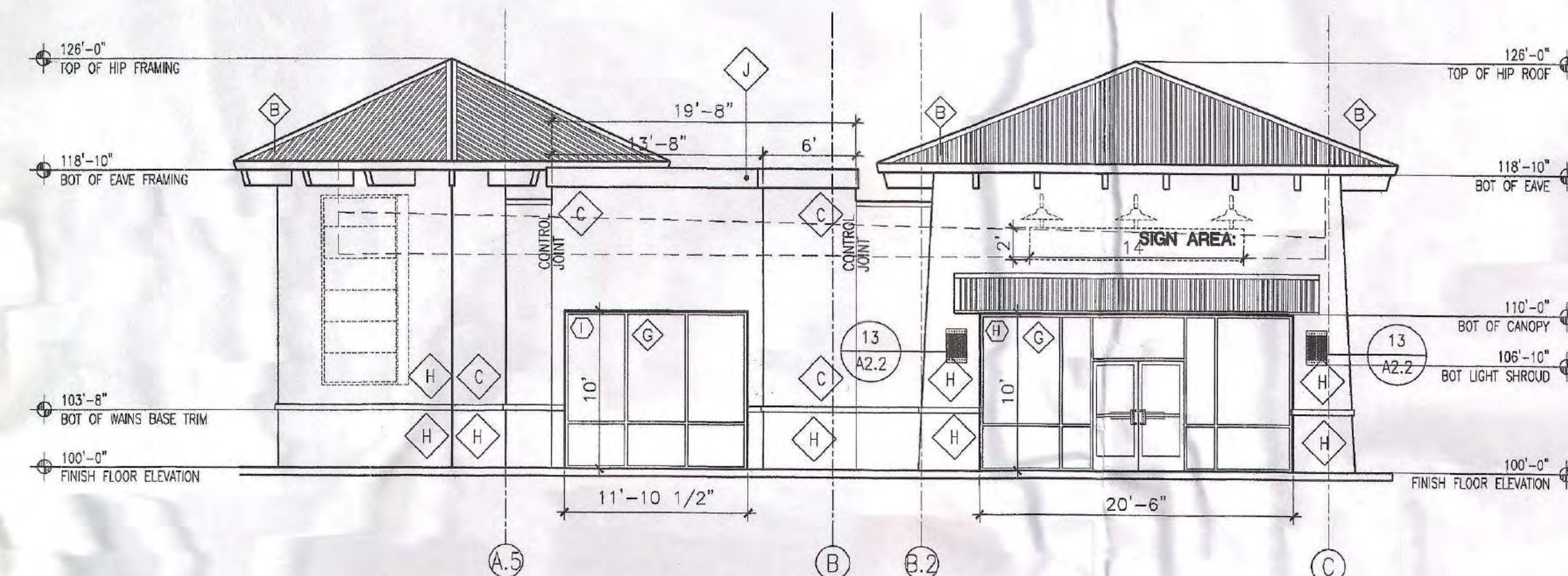
NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 J BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE



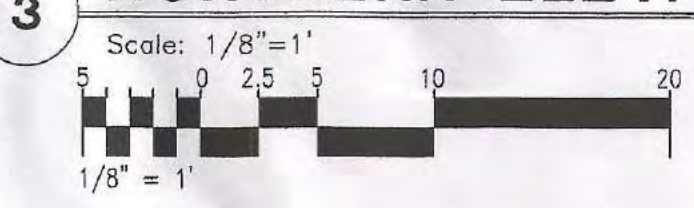
2 SOUTHERN ELEV.



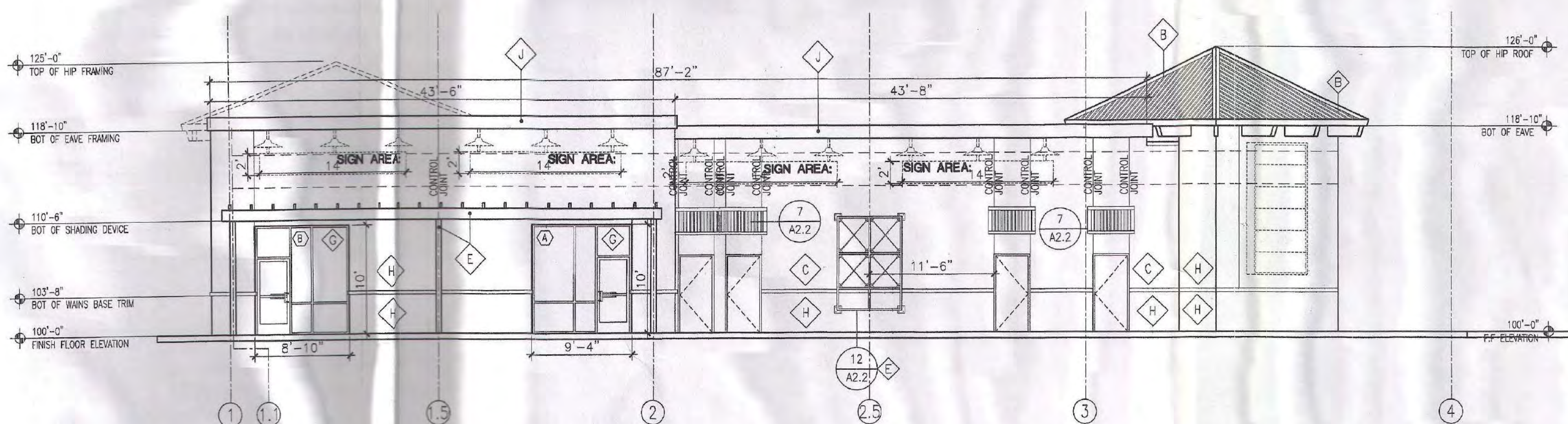
NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 J BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE



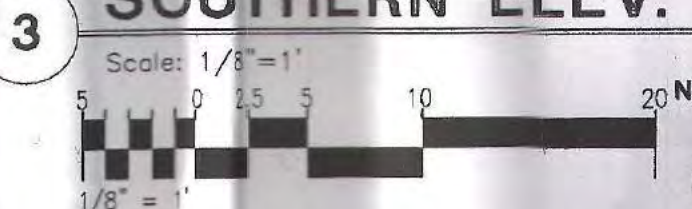
3 NORTHERN ELEV.



NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 J BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE



3 SOUTHERN ELEV.



NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 J BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE

Keyed Color / Material Schedule		
A	CULTURED STONE SYNTHETIC STONE VENEER	3 NORTH NATURAL STONE PRODUCTS "AMAZON RUSTIC LEDGE" W/ MILSTONE INC. "MOROCCO" STONE SILL/CAP
B	METAL ROOFING	RECLA MATERIALS HD TIN VARIOUS COLORS (NON REFLECTIVE)
C	STO-STUCCO SYSTEM	STO-COLOR 20516 (BROWN)
D	STO-STUCCO SYSTEM	SHERWIN WILLIAMS OR BENJAMIN MOORE CARDBOARD SW 6124 EM AC-6 (LIGHT BROWN) (LIGHT BROWN)
E	WALL FINISH COLOR	SHERWIN WILLIAMS FACER WHITE SW 6098 (WHITE COLOR)
F	WALL FINISH COLOR	SHERWIN WILLIAMS MINDFUL GRAY SW 6144 (LIGHT GREY COLOR)
G	POWER COAT WHITE ALUMINUM STOREFRONT W/ CLEAR NON-REFLECTIVE GLAZING	WHITE FINISH WIN SYSTEM
H	WALL FINISH COLOR	SHERWIN WILLIAMS DAPPER TAN SW 6144 (DARK BROWN)
I	WALL FINISH COLOR	SHERWIN WILLIAMS UNIVERSAL KAKI SW 6150 (BROWN)
J	STO-STUCCO SYSTEM	(DARK RED)
K	MISC.	GALVALUME(SILVER) (NON REFLECTIVE)

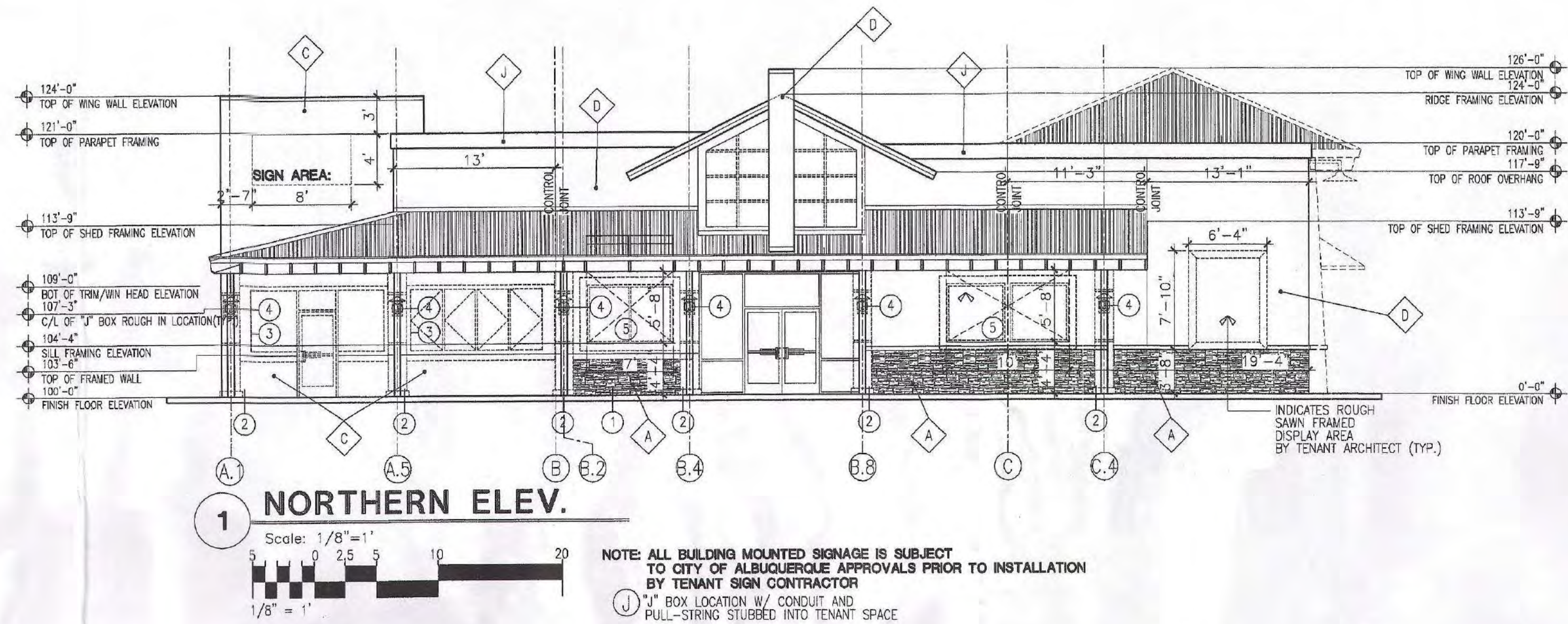
REV	DATE	BY	REVISION
A			
B			
C			
D			
E			
F			

MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

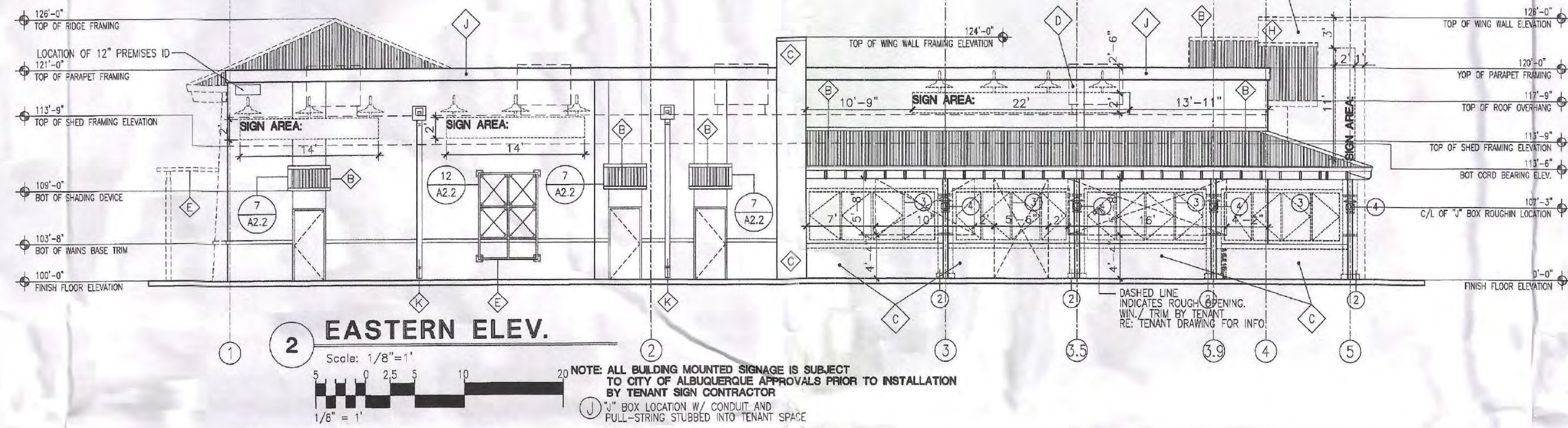


PROJECT TITLE	SHOPS-2 VISTAS DE LA LUZ
CLIENT	S.W.C. OF COOKS AND SEVILLE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	VISTAS-SZ
DRAWN BY:	S
SHEET TITLE	ELEVATIONS

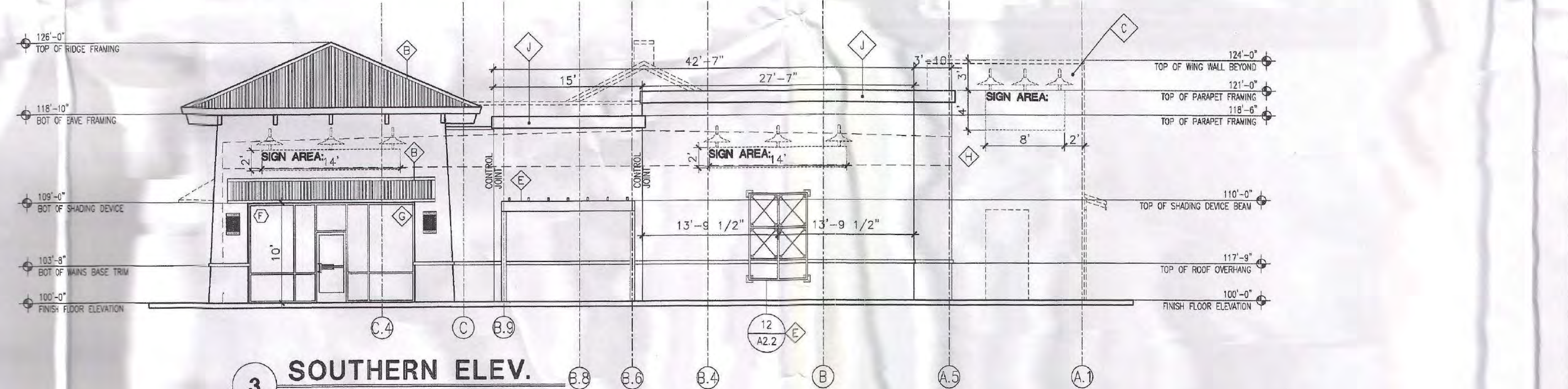
DATE	sheet
SCALE	A4.0
VARIES	of



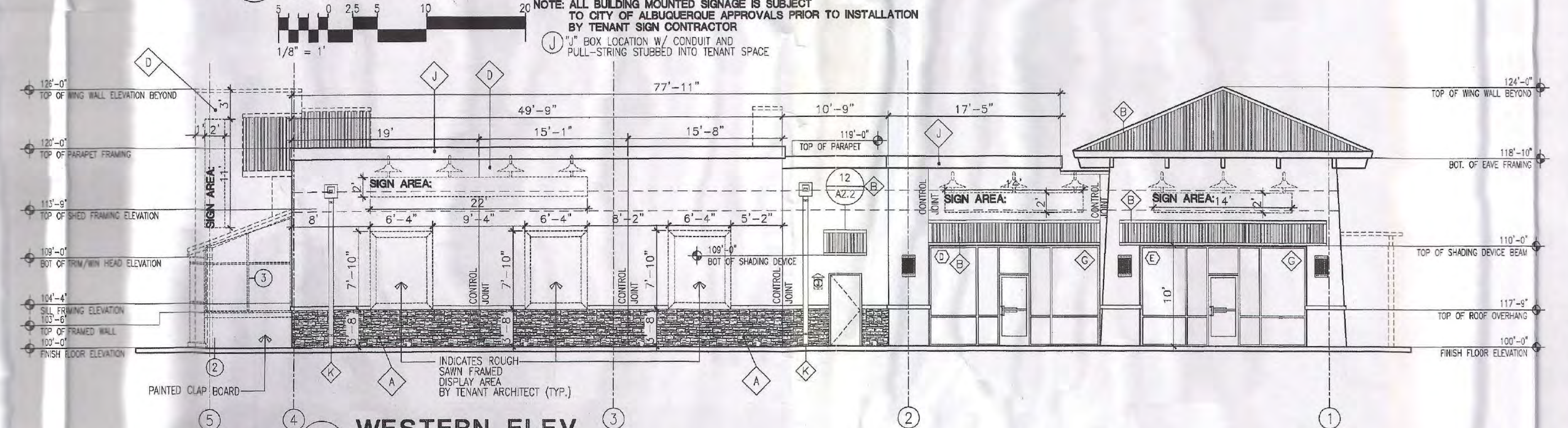
1 NORTHERN ELEV.



2 EASTERN ELEV.



3 SOUTHERN ELEV.



4 WESTERN ELEV.

- ① INDICATES STONE VENEER BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK RE: TENANT DRAWINGS FOR INFO
- ② INDICATES COLUMN FURRING BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK RE: TENANT DRAWINGS FOR INFO
- ③ INDICATES SILL CAP AND WINDOW SYSTEM BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK RE: TENANT DRAWINGS FOR INFO
- ④ INDICATES 12" BOX ROUGH IN LOCATION AT 7'-3" A.F.F. FOR FUTURE FIXTURE BY OTHERS RE: TENANT DRAWINGS FOR FIXTURE INFO
- ⑤ INDICATES WINDOW BY OTHER WITHIN ROUGH OPENING LOCATION RE: TENANT DRAWINGS FOR FIXTURE INFO

Keyed Color / Material Schedule		
A	CULTURED STONE SYNTHETIC STONE VENEER	3/4" NORTH NATURAL STONE PRODUCTS AMAZON RUSTIC LEDGE W/ MILSTONE, INC. "MOROCOCO" STONE SILL/CAP
B	METAL ROOFING	RECLA MATERIALS HD TIN VARIOUS COLORS (NON REFLECTIVE)
C	STO-STUCCO SYSTEM	STO-COLOR 20516 -
D	STO-STUCCO SYSTEM	SHERWIN WILLIAMS OR BENJAMIN MOORE CARBOBOARD SW 6124 BM AC-6 (LIGHT BROWN)
E	WALL FINISH COLOR MISC METAL	SHERWIN WILLIAMS PACER WHITE SW 6098 (WHITE COLOR)
F	WALL FINISH COLOR MISC METAL	SHERWIN WILLIAMS MINDFUL GRAY SW 6144 (LIGHT GREY COLOR)
G	POWER COAT WHITE ALUMINUM STOREFRONT W/ CLEAR NON-REFLECTIVE GLAZING	WHITE FINISH WIN SYSTEM
H	WALL FINISH COLOR	SHERWIN WILLIAMS DAPPER TAN SW 6144 (DARK BROWN)
I	WALL FINISH COLOR	SHERWIN WILLIAMS UNIVERSAL KAKI SW 6150 (BROWN)
J	STO-STUCCO SYSTEM	- (DARK RED)
K	MISC.	GALVALUME(SILVER) (NON REFLECTIVE)

REV	DATE	BY	REVISION
6			
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
SHOPS-11/VISTAS DE LA LAZ
 S.W.C. OF COOKS AND SEVILLE
 ALBUQUERQUE, NEW MEXICO

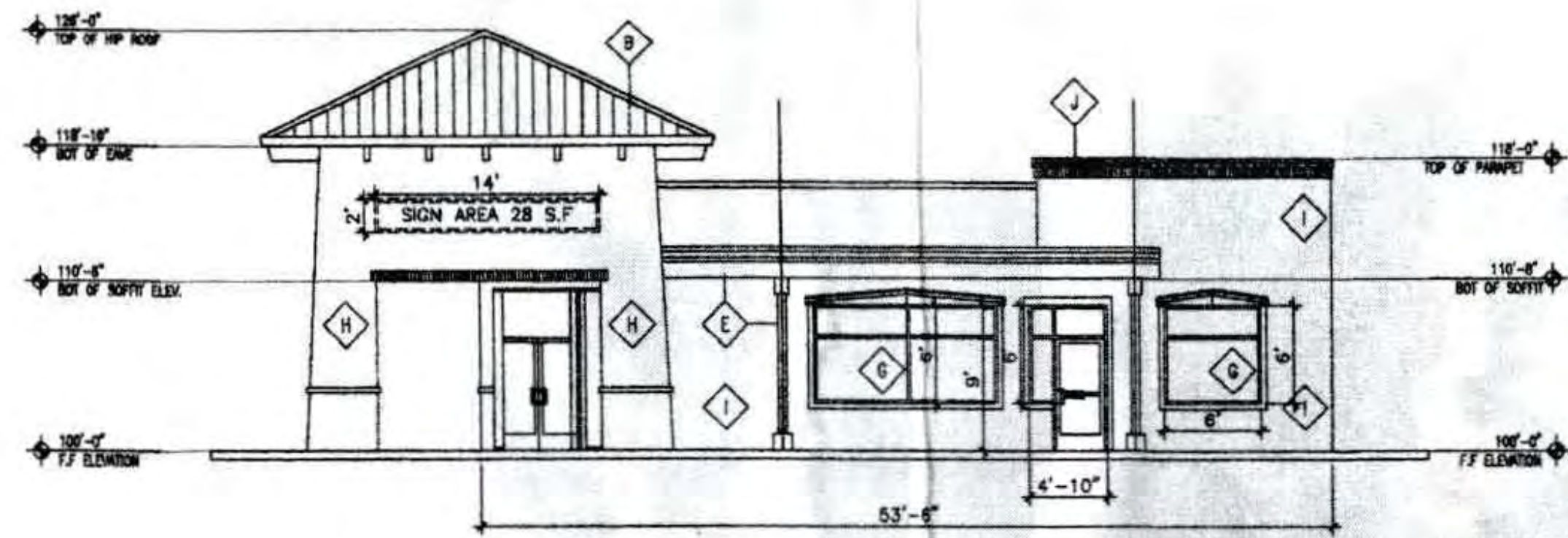
PROJECT MANAGER
 STEPHEN DUNBAR AIA

JOB NO.
 S

DRAWN BY
 S

SHEET TITLE
ELEVATIONS

DATE: 12/05/08 sheet-
 SCALE: VARIES **A4.0**
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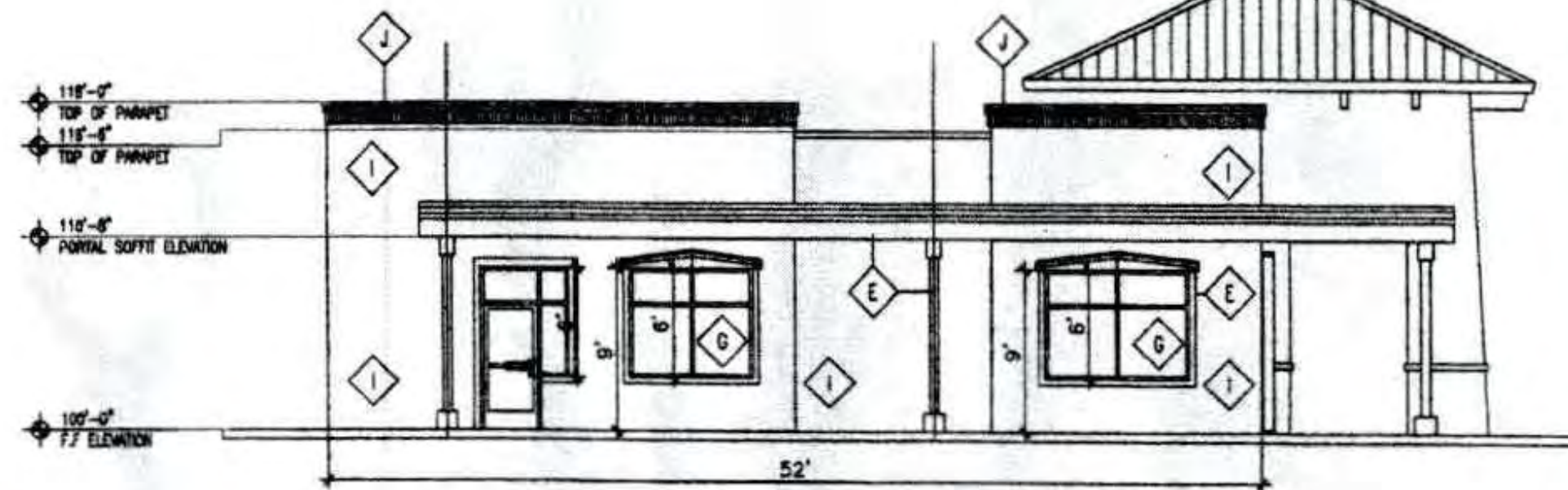
1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



GENERAL NOTE:

- SIGNAGE-BUILDING MOUNTED:
 1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA
 2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED



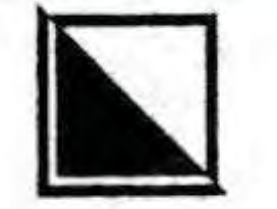
1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



Keyed Color / Material Schedule		
A	CULTURED STONE SYNTHETIC STONE VENEER	LEDGE STONE PF 8016
B	STANDING SEAM METAL ROOFING	GALVALUME(SILVER) (NON REFLECTIVE)
C	WALL FINISH COLOR	SHERVIN WILLIAMS BASKET BEIGE SW 6143 (LIGHT TAND)
D	WALL FINISH COLOR	SHERVIN WILLIAMS VOIL SKEIN SW 6148 (LIGHT BROWN)
E	WALL FINISH COLOR MISC METAL	SHERVIN WILLIAMS PAPER WHITE SW 6098 (WHITE COLOR)
F	WALL FINISH COLOR MISC METAL	SHERVIN WILLIAMS MINDFUL GRAY SW 6144 (LIGHT GREY COLOR)
G	POWER COAT WHITE ALUMINUM STOREFRONT W/ CLEAR NON-REFLECTIVE GLAZING	WHITE FINISH VIN SYSTEM
H	WALL FINISH COLOR	SHERVIN WILLIAMS DAPPER TAN SW 6144 (DARK BROWN)
I	WALL FINISH COLOR	SHERVIN WILLIAMS UNIVERSAL KAKI SW 6150 (BROWN)
J	BRICK COPING	FACE BRICK DARK RED INCOLOR
K	AWNING	GALVALUME(SILVER) (NON REFLECTIVE)

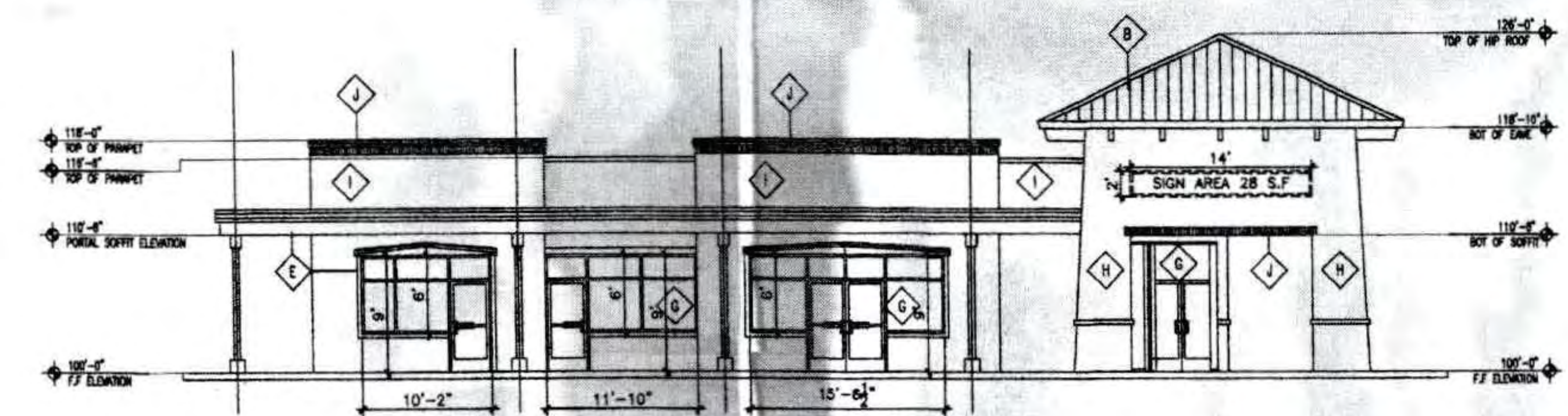
REV	DATE	BY	REVISION
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	VISTAS DE LA LUZ
ALBUQUERQUE NEW MEXICO	
PROJECT MANAGER	Stephen Dunbar AA
JOB NO.	
DRAWN BY	S
SHEET TITLE	OFFICE ELEVATIONS

DATE	7/4/07	SHEET	A4.1
SCALE	N.T.S.	OF	



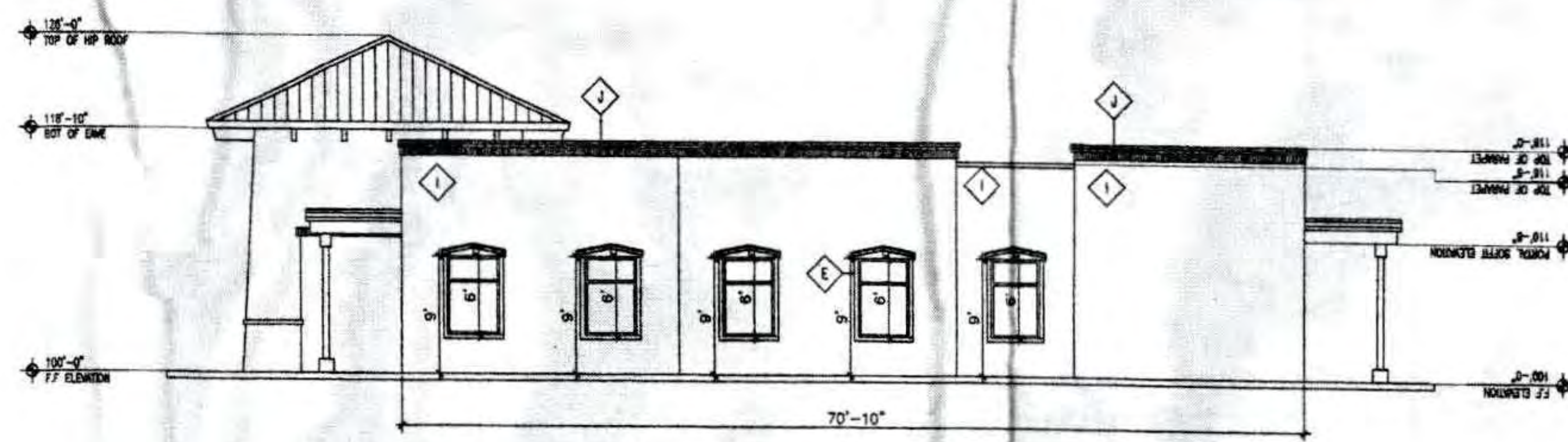
1 OFFICE EASTERN ELEVATION

Scale: 1/8"=1'



GENERAL NOTE:

- SIGNAGE-BUILDING MOUNTED:
 1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA
 2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED



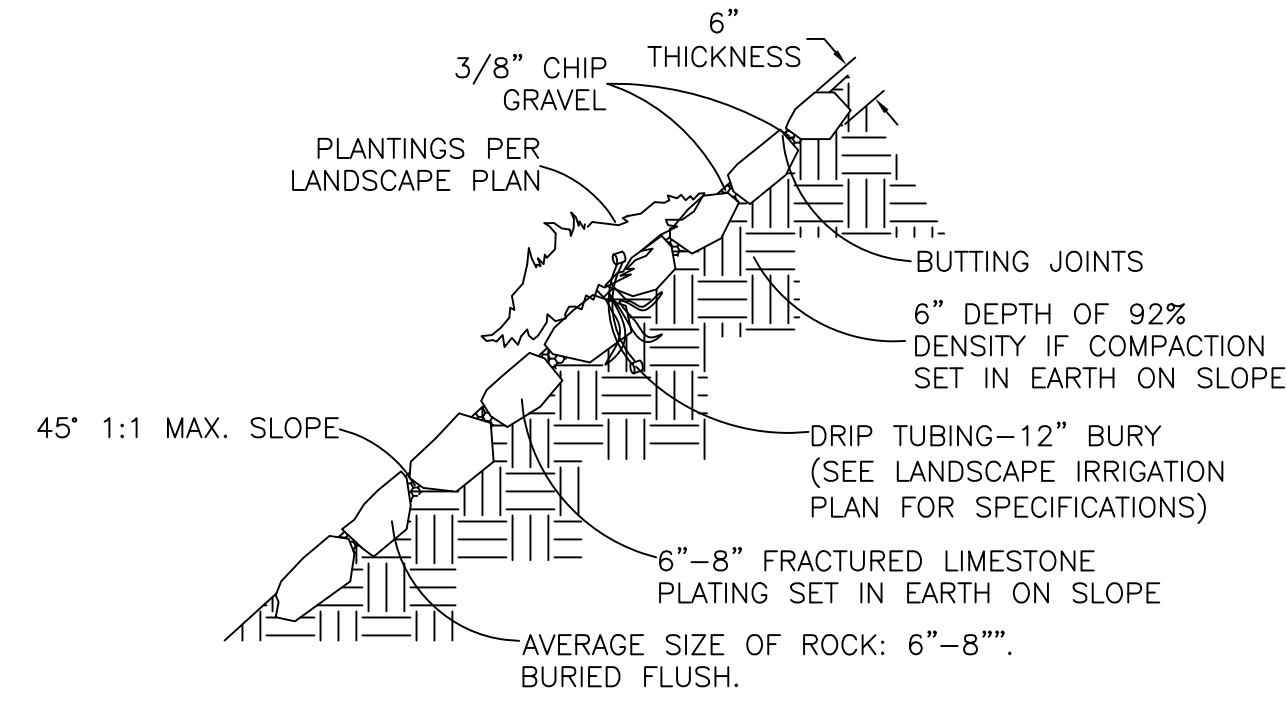
1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



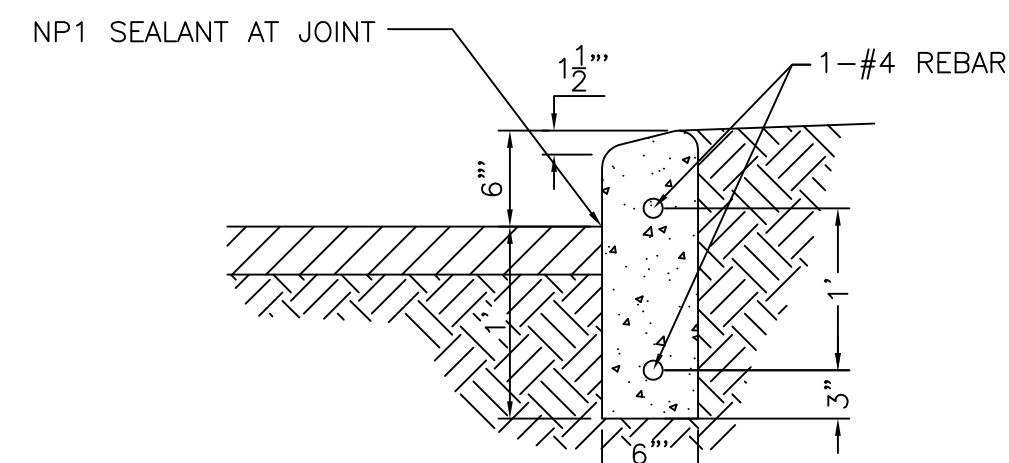
DRAINAGE NARRATIVE

THIS SITE IS GOVERNED BY THE MASTER DRAINAGE PLAN PREPARED BY MARK GOODWIN AND ASSOCIATED (6/14/08). THE PER THE GOVERNING PLAN, THIS SITE DRAINS TO THE SAN ANTONIO ARROYO VIA A PRIVATELY MAINTAINED STORM DRAIN. THE ORIGINAL PLAN DID NOT INCORPORATE 'FIRST FLUSH' FEATURES. THE AREA OF NEW IMPROVEMENT WILL INCORPORATE THE REQUIRED FIRST FLUSH. THE REMAINING SITE WILL CONTINUE TO DRAIN IN ACCORDANCE WITH THE APPROVED PLAN. THE PROPOSED PARKING LOT HAS AN INCREASE IN PAVEMENT OF 16420 SF THEREFOR THE SITE WILL RETAIN ONSITE 465 CUBIC FEET.



ROCK PLATING DETAIL

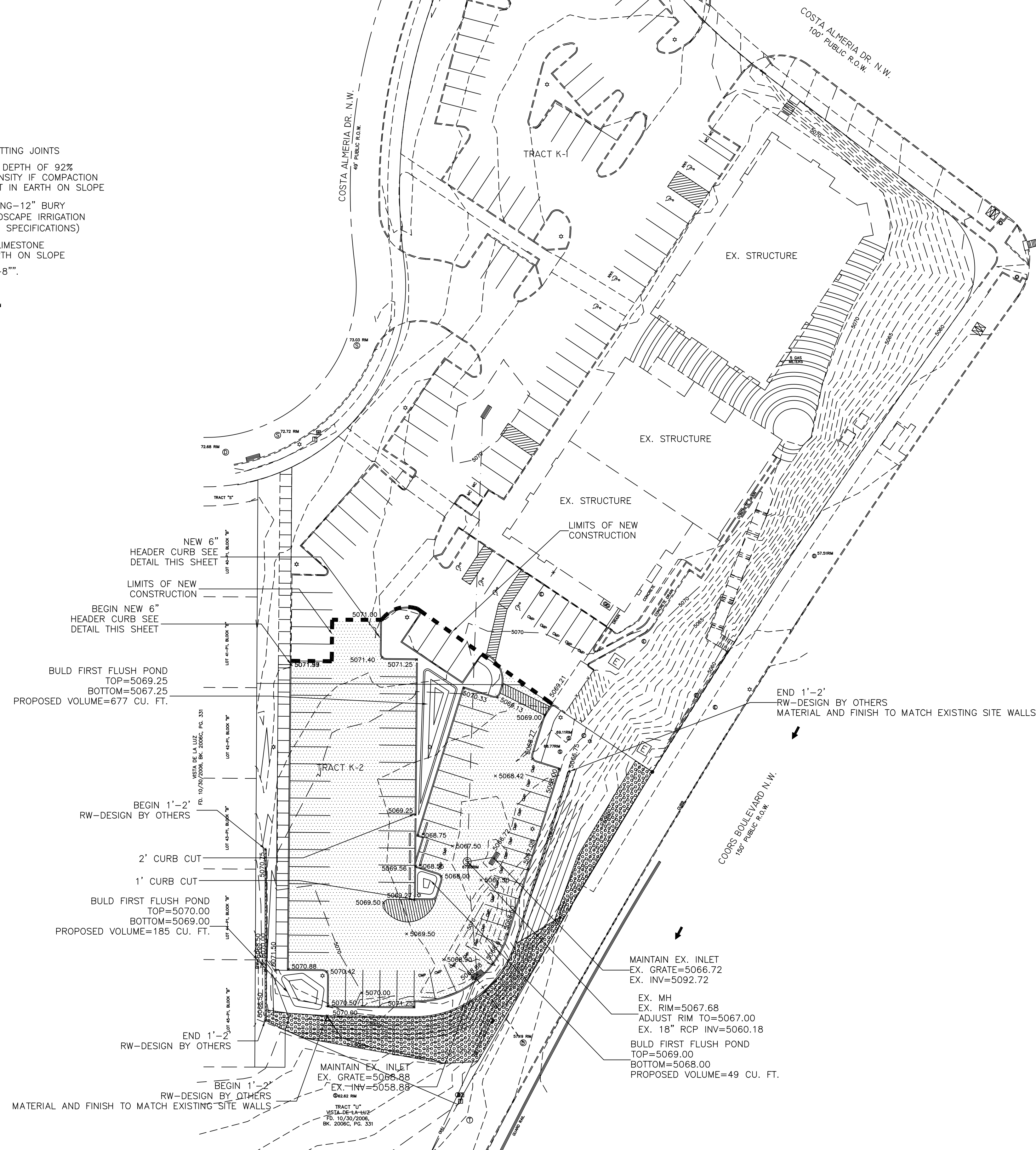
NTS



6\"/>

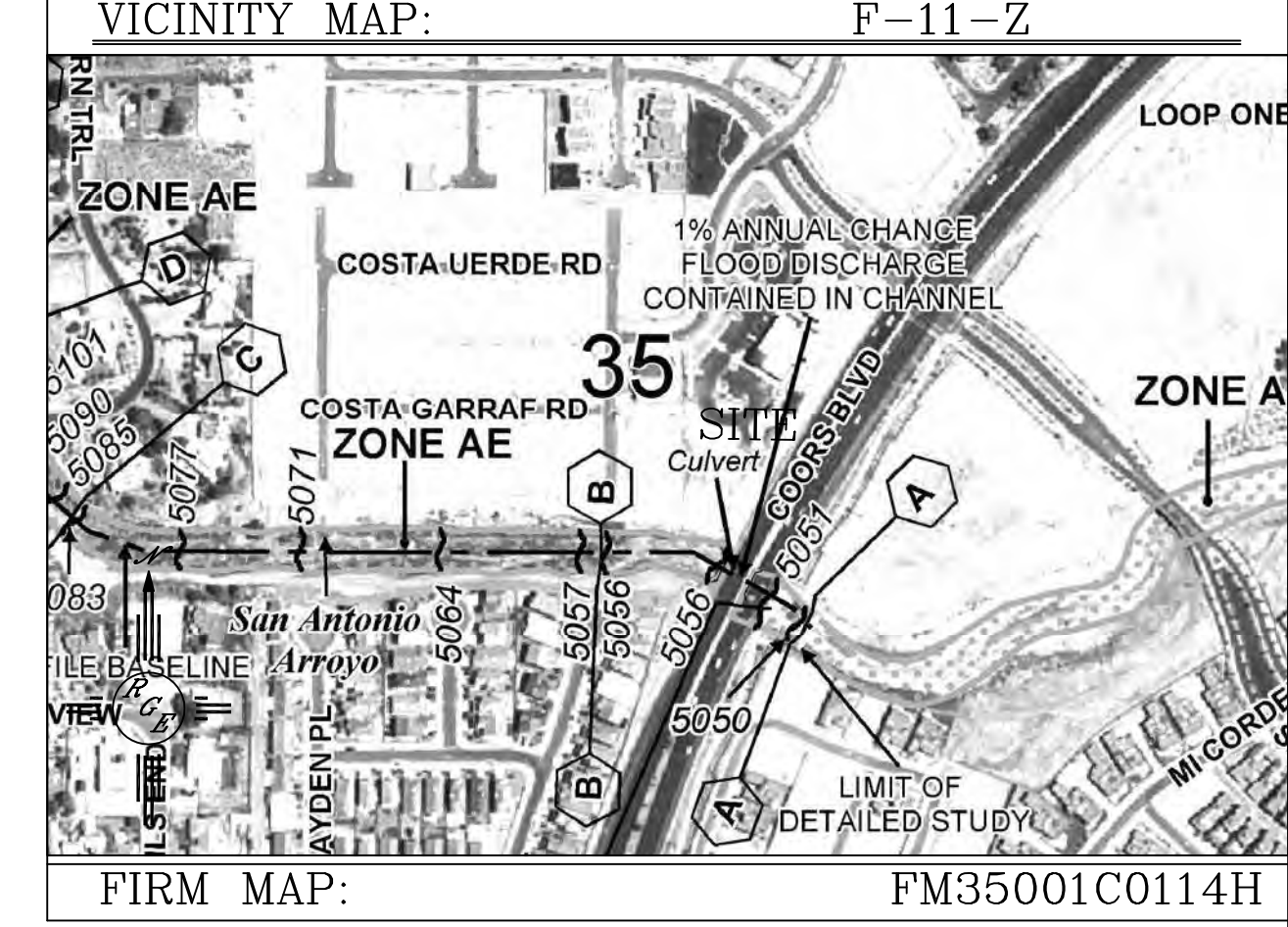
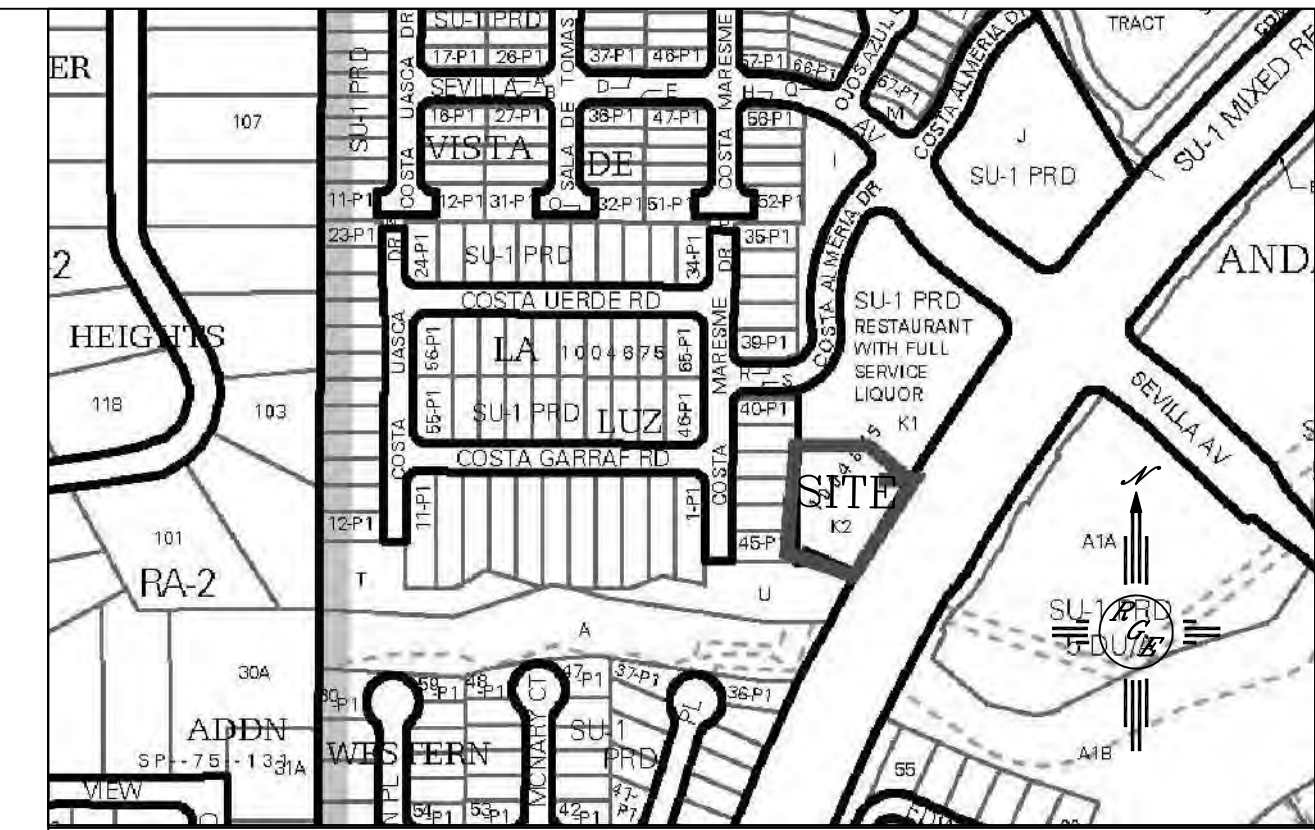
NTS

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



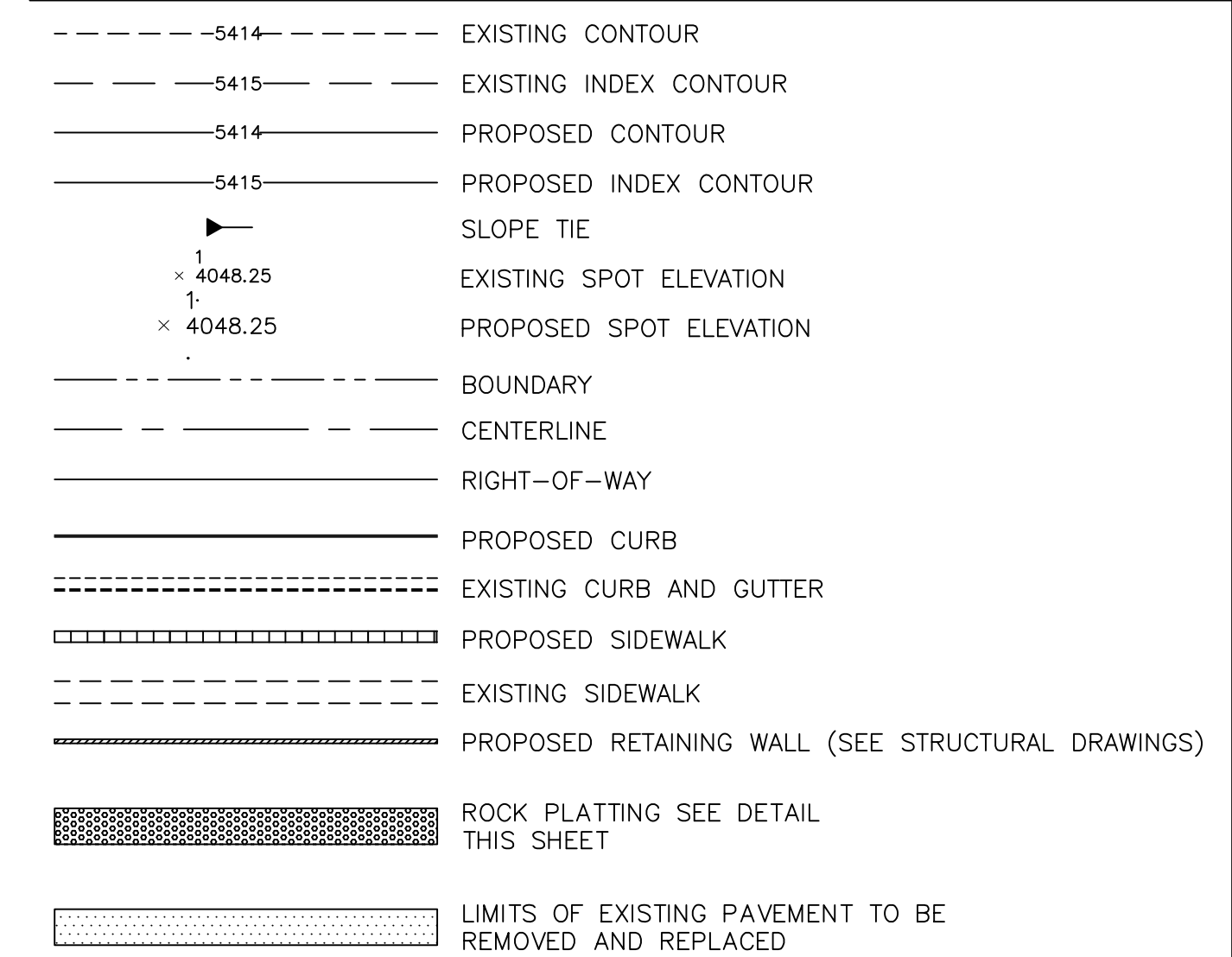
LEGAL DESCRIPTION:

Tract K-2 and a portion of Tract K-1, Plat for Vista De La Luz Commercial

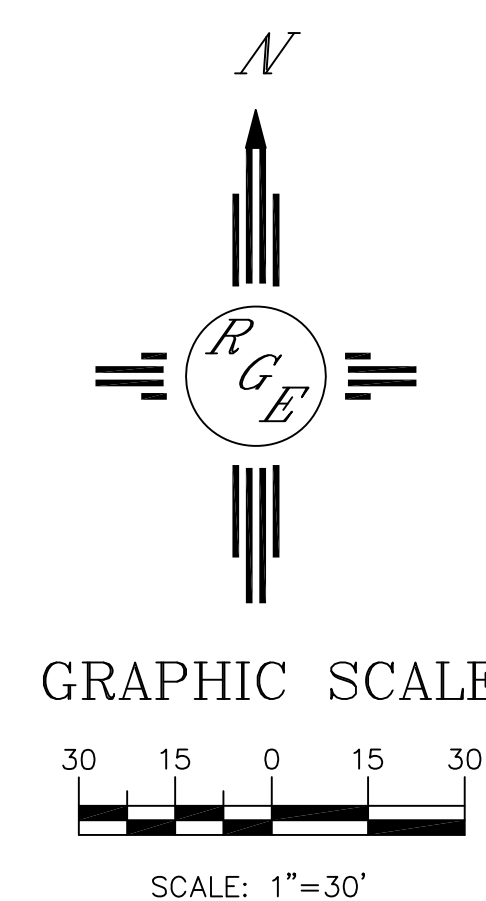
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6\"/>

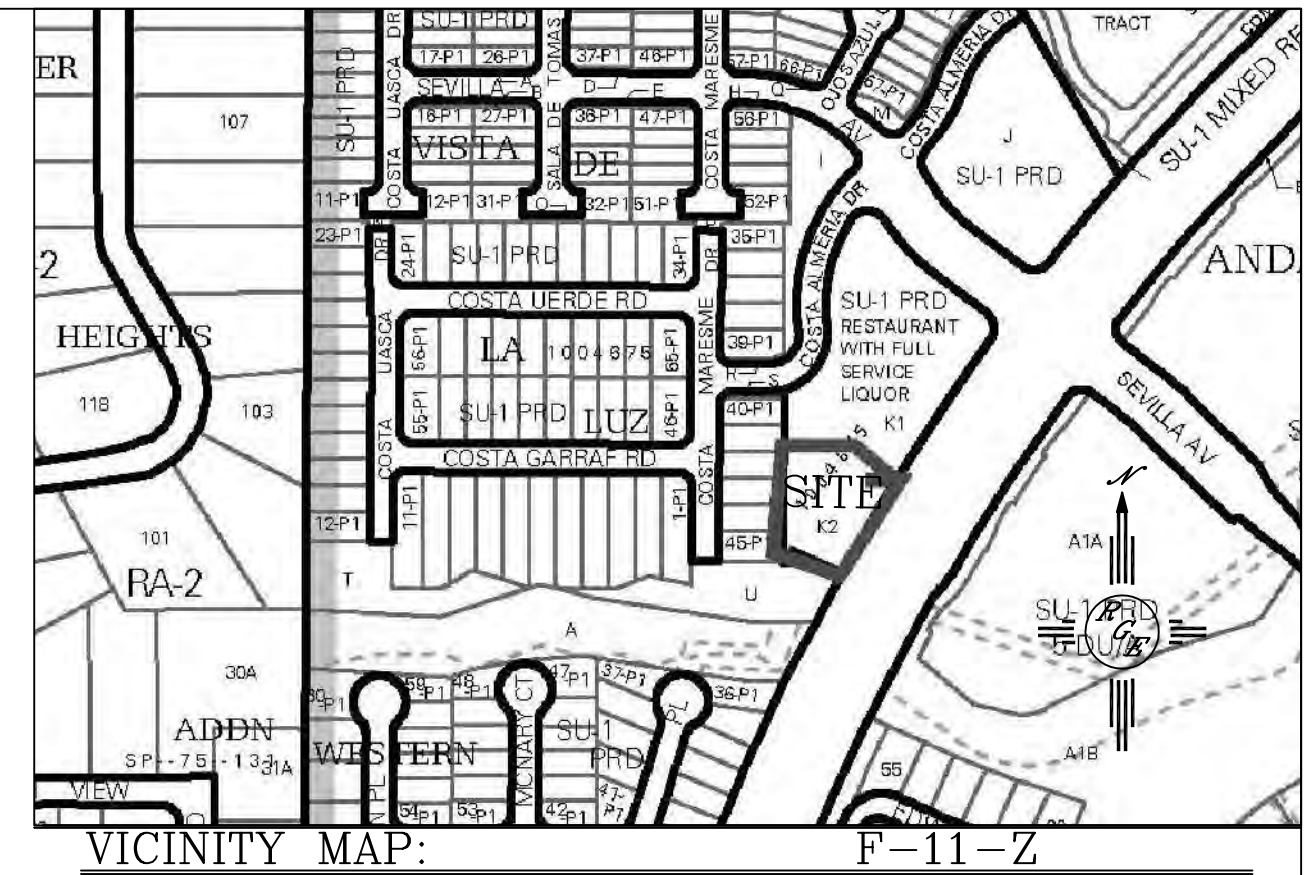
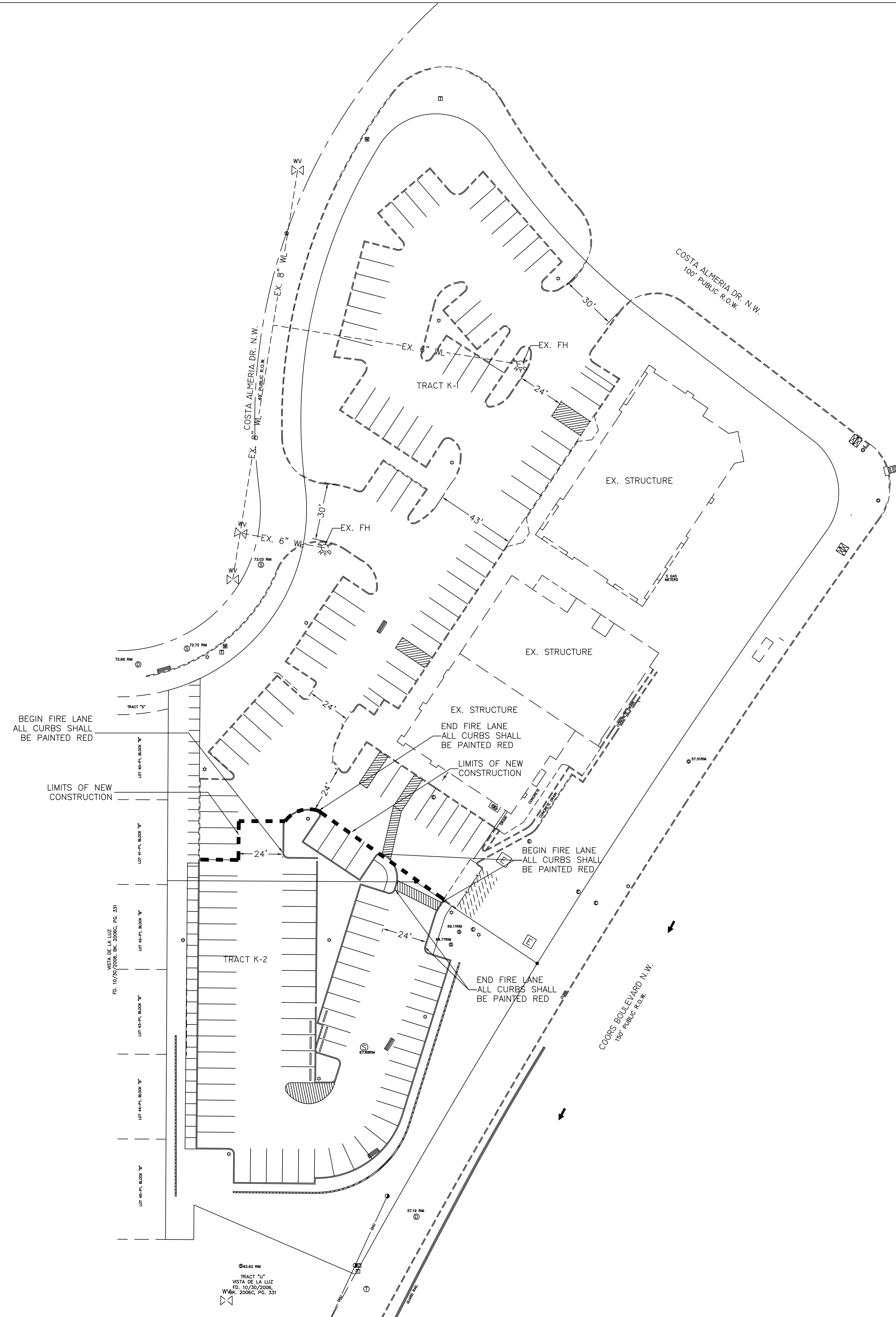
LEGEND



CONCEPTUAL- NOT FOR CONSTRUCTION



	VISTAS DE LA LUZ COMMERCIAL GRADING AND DRAINAGE PLAN	DRAWN BY WCWJ
		DATE 10-31-17
10/31/17		SHEET #
DAVID SOULE P.E. #14522		JOB # 21644

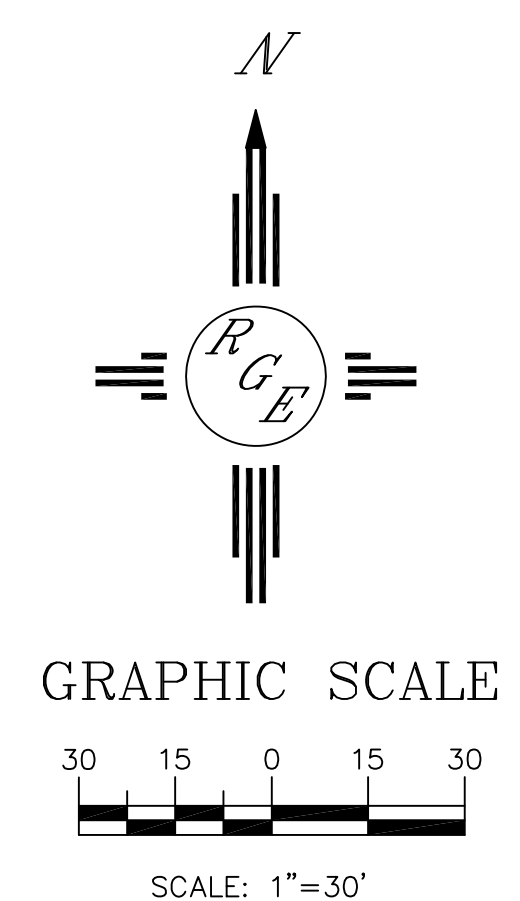


LEGAL DESCRIPTION:
 Tract K-2 and a portion of Tract K-1, Plat for Vista De La Luz Commercial

NOTES:
 1. THERE SHALL BE NO NEW BUILDING CONSTRUCTION PROPOSED WITH THIS PROJECT.

LEGEND

	BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED CURB
	EXISTING CURB AND GUTTER



ENGINEER'S SEAL 10/23/17 DAVID SOULE P.E. #14522	VISTAS DE LA LUZ COMMERCIAL FIRE ONE	DRAWN BY WCWJ
		DATE 10-23-17
		21644-LAYOUT-1-06-17
		SHEET #
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 21644