

LEGAL DESCRIPTION:	TR K-1 AND K-2 PLAT FOR VISTA DE LA LUZ COMMERCIAL
TOTAL ACREAGE:	2.7555 AC (120,030 SF)
EXISTING ZONING:	SU-1 FOR PRD AND ONE RESTAURANT WITH FULL-SERVICE LIQUOR
PROPOSED ZONING:	-
BUILDING SIZE/SEATS:	BUILDING 1 - COMMERCIAL 2,900 SF; RESTAURANT 202 SEATS W/ 48 PATIO SEATS
	BUILDING 2 - COMMERCIAL 6,500 SF
FAR:	0.1249
NUMBER OF STRUCTURES:	2
MAX BUILDING HEIGHT:	26' TO TOP OF PARAPET
TOTAL PARKING REQUIRED:	83 RESTAURANT + 47 RETAIL = 130 TOTAL
TOTAL PARKING PROVIDED:	150 (26 COMPACT)
HC REQUIRED:	8
HC PROVIDED:	8
BIKE REQUIRED:	8
BIKE PROVIDED:	15
MOTORCYCLE REQUIRED:	4
MOTORCYCLE PROVIDED:	4

- GENERAL NOTE:
- UTILITY PADS TRANSFORMERS AND TELEPHONE BOXES SHALL BE SCREENED WITH WALLS AND VEGETATION
  - ROOF MOUNTED EQUIPMENT AND EXTERIOR TRASH AND UTILITY BOXES SHALL BE SCREENED
  - THERE SHALL BE NO OUTDOOR STORAGE THAT FACES COORS BLVD. OR IS VISIBLE FROM THE PUBLIC ROW
  - ON-SITE LIGHTING LUMINANCE SHALL NOT EXCEED 1,000 LAMBERTS FROM ANY POINT AND 200 LAMBERTS FROM ANY RESIDENTIAL PROPERTY LINE
  - ALL ON-SITE HANDICAP RAMPS SHALL BE DESIGNED ACCORDING TO AASHTO SPECIFICATIONS
6. COMPACT PARKING SPACES SHALL HAVE THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE

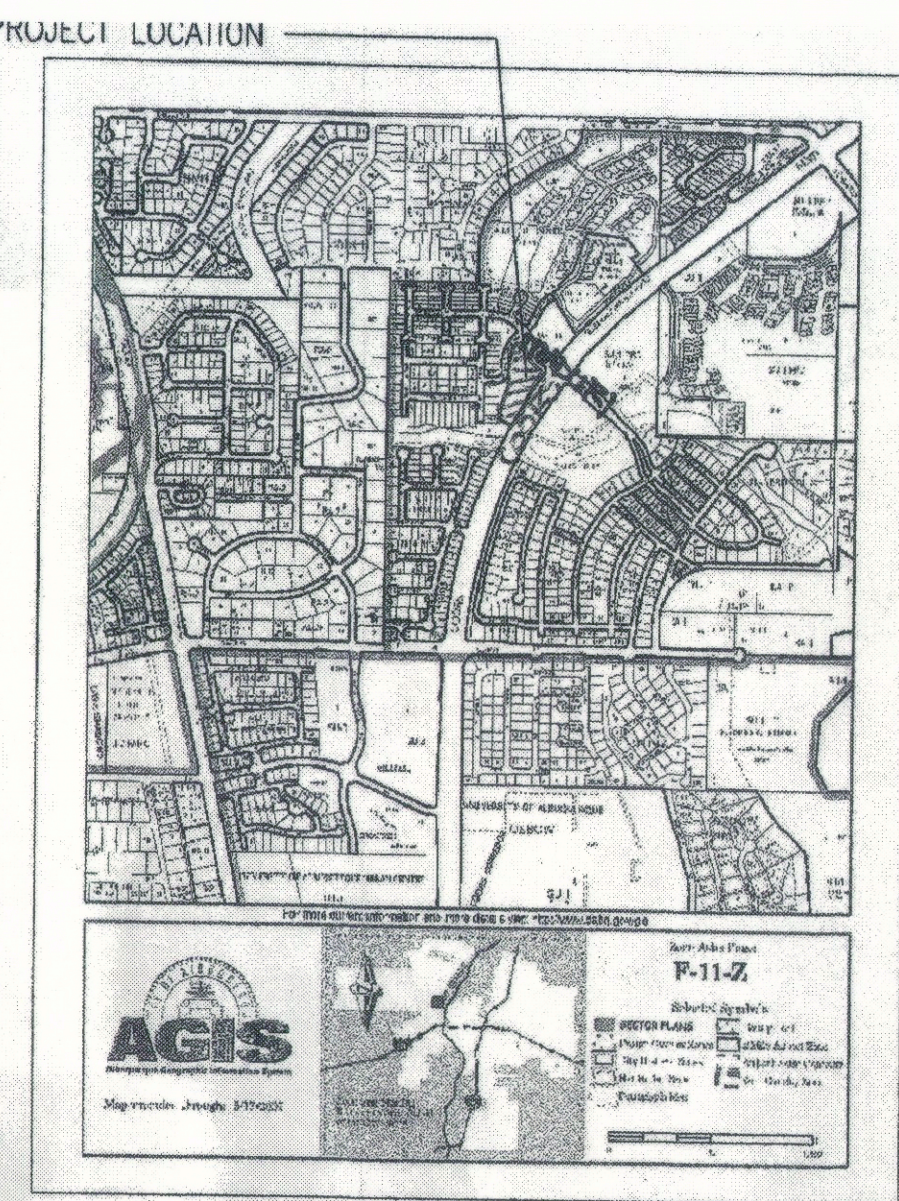
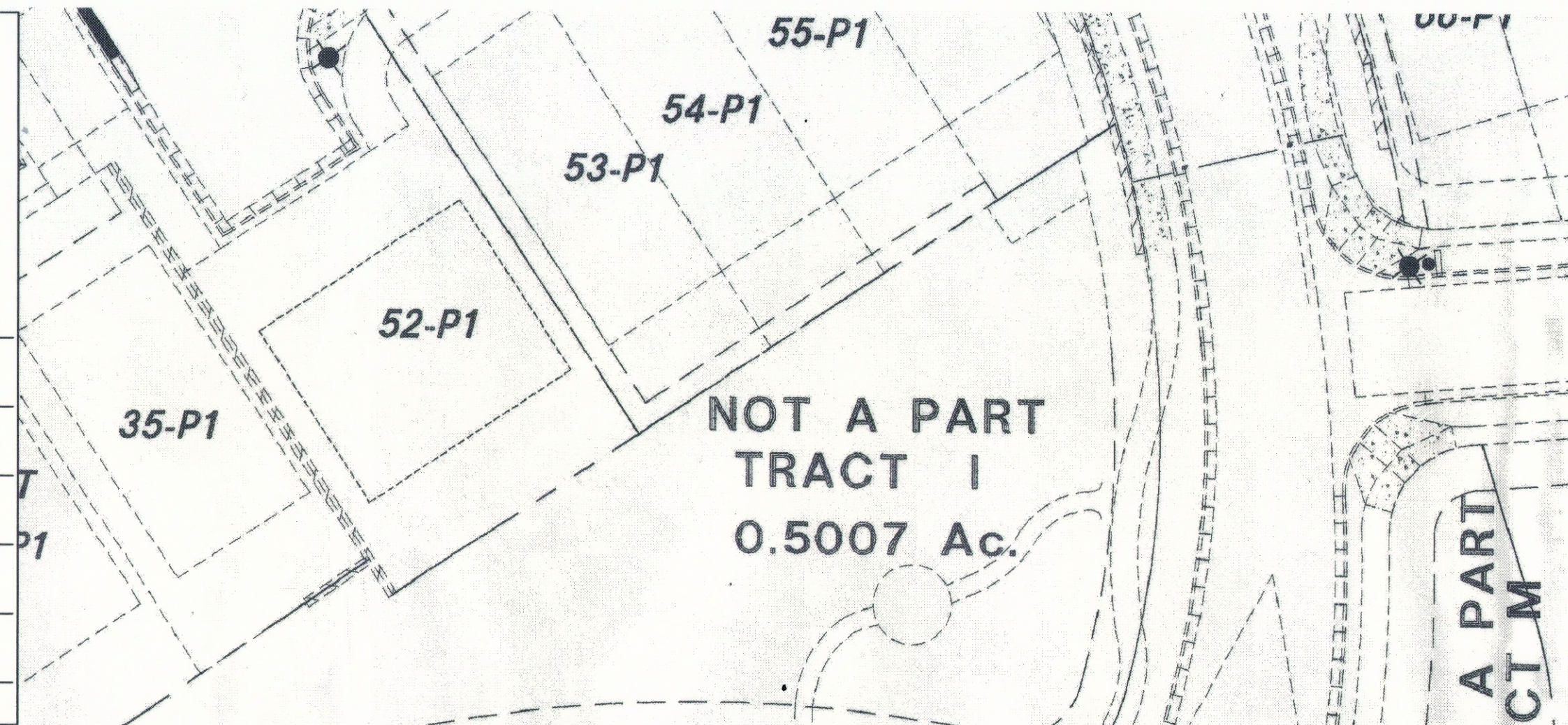
PROJECT NUMBER: 1004675  
Application Number: 17EPC-40036  
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated September 15, 2017 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

10-30-17



REV	DATE	BY	REVISION
1	12/17/2008		REVISED FACADES, WALLS AND LANDINGS
2	10/27/2017		PARKING, SIDEWALK AND LANDSCAPE IMPROVEMENTS

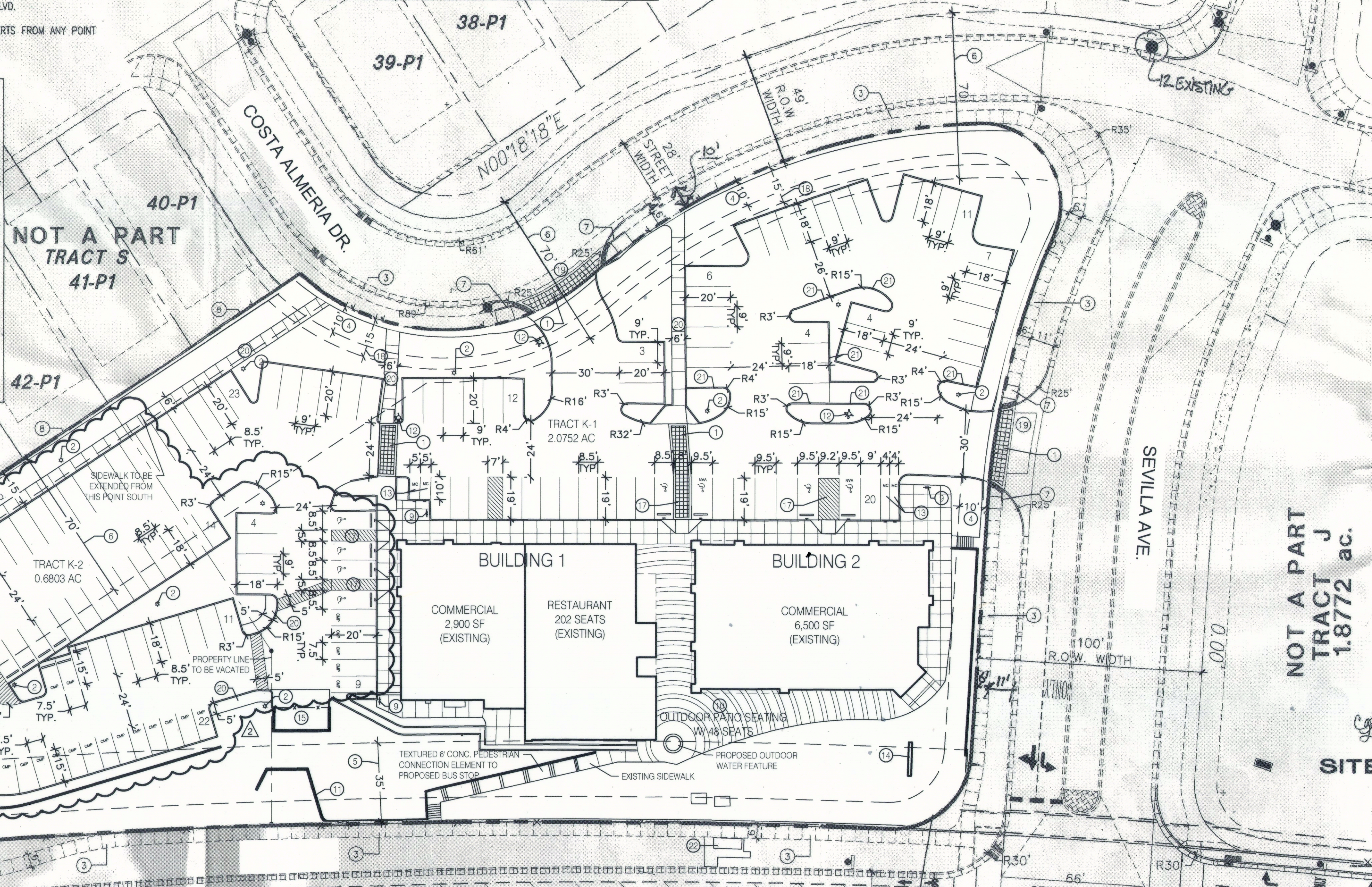
PROJECT NUMBER: 1004675  
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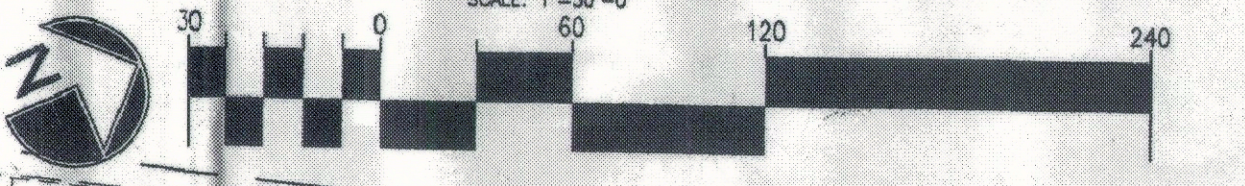
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Christine Santoral	Date
Parks and Recreation Department	Date
Bradley A. Bohn	Date
City Engineer	Date
Environmental Health Department	Date
Michael Holton	Date
Solid Waste Management	Date
Jack Cleary	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	Date

12-25-08  
6-25-08  
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6-25-08



- KEYED NOTE:
- 8' WIDE INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK
  - PROPOSED LIGHT POLE LOCATION RE: 6/A1.2 FOR POLE DETAIL
  - EXISTING 6' SIDEWALK
  - EXISTING RAMP
  - INDICATES MIN 10 FOOT LANDSCAPE BUFFER REQUIREMENT
  - INDICATES MIN 35' FOOT LANDSCAPE BUFFER REQUIREMENT
  - INDICATES 20 FOOT HIGH LIGHT POLE SETBACK REQUIREMENT. LIGHTPOLES PROVIDED WITHIN SETBACK SHALL BE A MAX OF 16 FOOT IN HEIGHT RE: DETAIL 6/A3.0 FOR INFO
  - HANDICAP RAMP PER COA STD DWG #2426 AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
  - INDICATES 6' HIGH CMU SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA NOTE: COLOR AND DESIGN APPROVED UNDER 06-EPC-1004675
  - INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 4/A3.0 FOR INFO
  - OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8' LONG X 3' WIDE BENCH SHADED BY BUILDING AND LANDSCAPING
  - PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLITFACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DET.)
  - INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
  - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
  - MONUMENT SIGN. RE: DETAIL 13/A3.0 FOR INFO
  - INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0 NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
  - PROPOSED RETAINING WALL, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN
  - H/C PARKING LOCATION RE: DETAIL 9/A3.0 AND 3/A3.0
  - INDICATES 15 FOOT PARKING SETBACK
  - INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
  - INDICATES SIDEWALK SECTION PER COA STD. DET. 2430
  - INDICATES 1' KNOTCH WITHIN PARKING AREA FOR ONSITE WATER HARVESTING. NOTE: LANDSCAPE AREA ADJACENT TO CURB KNOTCH SHALL BE DEPRESSED BELOW FLOWLINE TO ALLOW FOR INFILTRATION INTO LANDSCAPE AREAS
  - INDICATES BUS SHELTER PER STD. DET. 2535.01/02/06/08/09/10
  - STRIPED END ISLAND TO ALLOW FOR SOLID WALK ACCESS



ADMINISTRATIVE APPROVAL

08/11/10/13 Project # 1004675

Revised Facades, walls and Landings.

APPROVED BY: [Signature] DATE: 17 Dec 08

GEORGE RANHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO NE. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PD PLANS CHECKING OFFICE  
924-3611

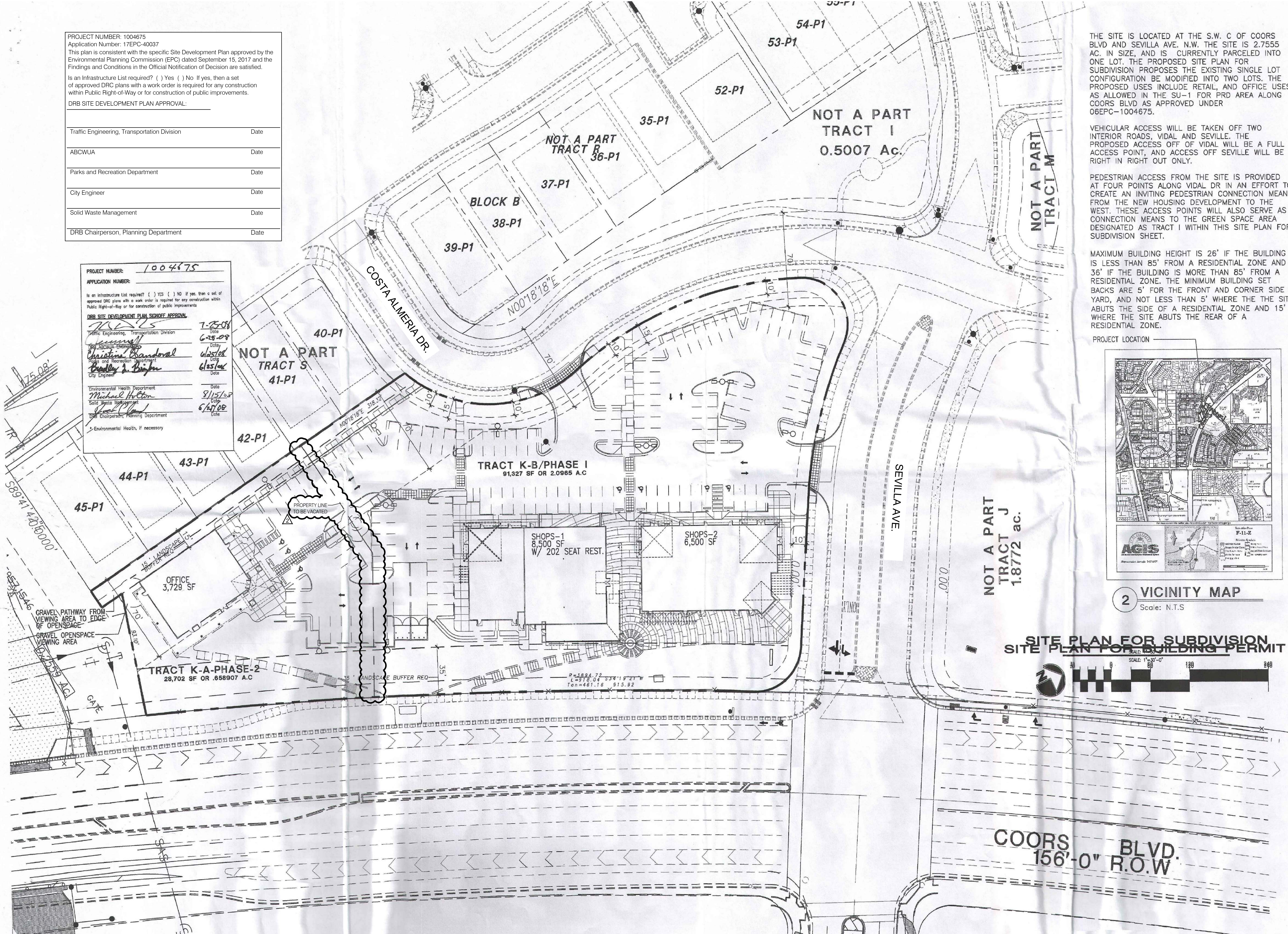
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
R.C. [Signature] 6-24-08  
SIGNATURE & DATE

PROJECT TITLE VISTAS DE LA LUZ COMMERCIAL N.W.C. OF COORS BLVD. AND LA LUZ ALBUQUERQUE NEW MEXICO	JOB NO. STEPHEN DUNBAR AA	DRAWN BY: S	SHEET TITLE SITE PLAN FOR BUILDING PERMIT
DATE: 9/1/06	SCALE: 1"=30'	sheet- A1.1	of-



PROJECT NUMBER: 1004675  
Application Number: 17EPC-40037  
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated September 15, 2017 and the Findings and Conditions in the Official Notification of Decision are satisfied.  
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
DRB SITE DEVELOPMENT PLAN APPROVAL:  
Traffic Engineering, Transportation Division Date  
ABCWUA Date  
Parks and Recreation Department Date  
City Engineer Date  
Solid Waste Management Date  
DRB Chairperson, Planning Department Date

PROJECT NUMBER: 1004675  
APPLICATION NUMBER:  
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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:  
Traffic Engineering, Transportation Division 7-25-08 Date  
ABCWUA 6-25-08 Date  
Parks and Recreation Department 6/25/08 Date  
City Engineer 6/25/08 Date  
Environmental Health Department 8/15/08 Date  
Solid Waste Management 6/25/08 Date  
DRB Chairperson, Planning Department 6/25/08 Date  
Environmental Health, if necessary



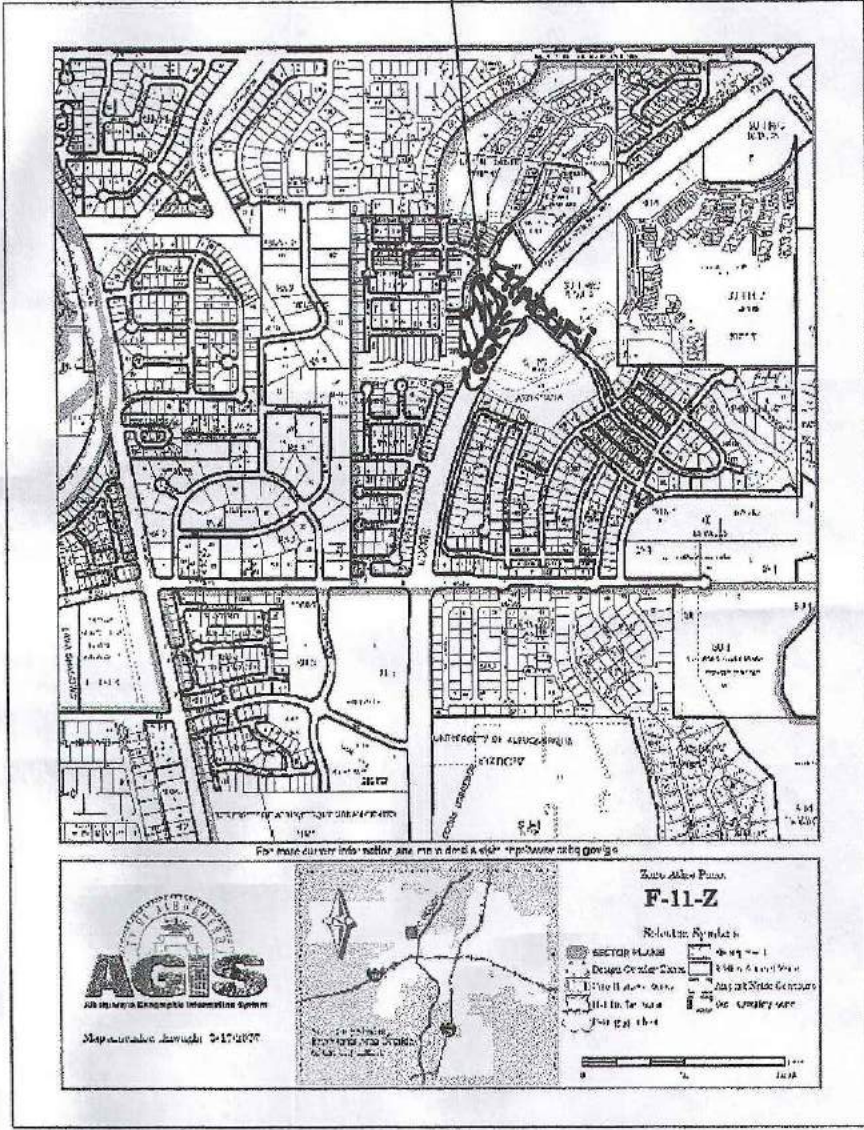
THE SITE IS LOCATED AT THE S.W. C OF COORS BLVD AND SEVILLA AVE. N.W. THE SITE IS 2.7555 AC. IN SIZE, AND IS CURRENTLY PARCELED INTO ONE LOT. THE PROPOSED SITE PLAN FOR SUBDIVISION PROPOSES THE EXISTING SINGLE LOT CONFIGURATION BE MODIFIED INTO TWO LOTS. THE PROPOSED USES INCLUDE RETAIL, AND OFFICE USES AS ALLOWED IN THE SU-1 FOR PRD AREA ALONG COORS BLVD AS APPROVED UNDER 06EPC-1004675.

VEHICULAR ACCESS WILL BE TAKEN OFF TWO INTERIOR ROADS, VIDAL DR IN AN EFFORT TO CREATE AN INVITING PEDESTRIAN CONNECTION MEANS FROM THE NEW HOUSING DEVELOPMENT TO THE WEST. THESE ACCESS POINTS WILL ALSO SERVE AS CONNECTION MEANS TO THE GREEN SPACE AREA DESIGNATED AS TRACT I WITHIN THIS SITE PLAN FOR SUBDIVISION SHEET.

PEDESTRIAN ACCESS FROM THE SITE IS PROVIDED AT FOUR POINTS ALONG VIDAL DR IN AN EFFORT TO CREATE AN INVITING PEDESTRIAN CONNECTION MEANS FROM THE NEW HOUSING DEVELOPMENT TO THE WEST. THESE ACCESS POINTS WILL ALSO SERVE AS CONNECTION MEANS TO THE GREEN SPACE AREA DESIGNATED AS TRACT I WITHIN THIS SITE PLAN FOR SUBDIVISION SHEET.

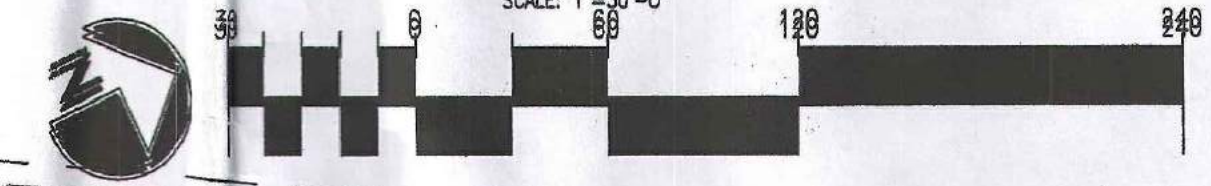
MAXIMUM BUILDING HEIGHT IS 26' IF THE BUILDING IS LESS THAN 85' FROM A RESIDENTIAL ZONE AND 36' IF THE BUILDING IS MORE THAN 85' FROM A RESIDENTIAL ZONE. THE MINIMUM BUILDING SET BACKS ARE 5' FOR THE FRONT AND CORNER SIDE YARD, AND NOT LESS THAN 5' WHERE THE THE SITE ABUTS THE SIDE OF A RESIDENTIAL ZONE AND 15' WHERE THE SITE ABUTS THE REAR OF A RESIDENTIAL ZONE.

PROJECT LOCATION



2 VICINITY MAP  
Scale: N.T.S.

SITE PLAN FOR SUBDIVISION  
SITE PLAN FOR BUILDING PERMIT



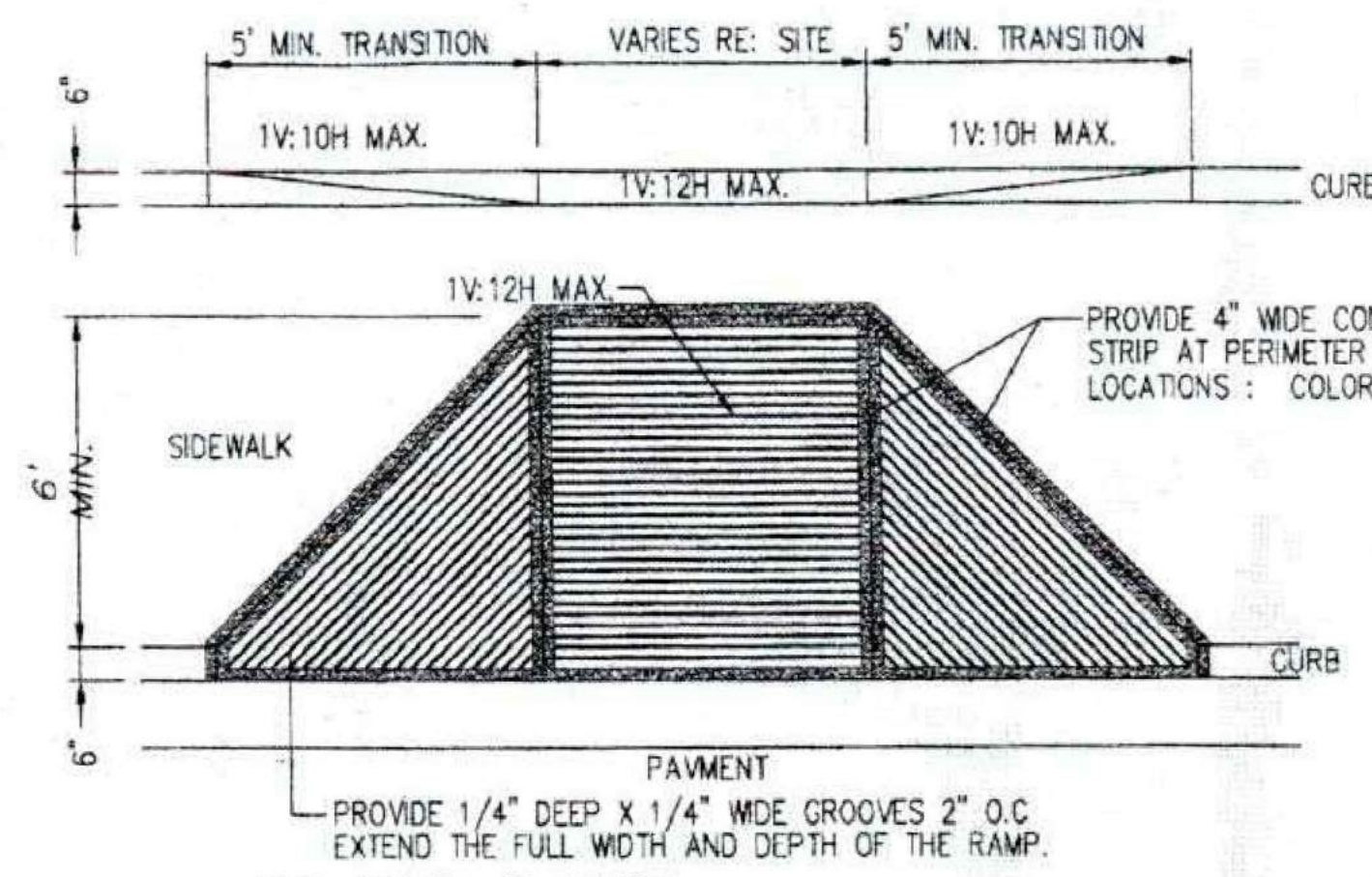
REV	DATE	BY	REVISION
1	10/27/2017		VACATION OF TRACT LINE AND CONSOLIDATION INTO ONE TRACT
2	12/17/2008		

GEORGE RANHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO NE. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

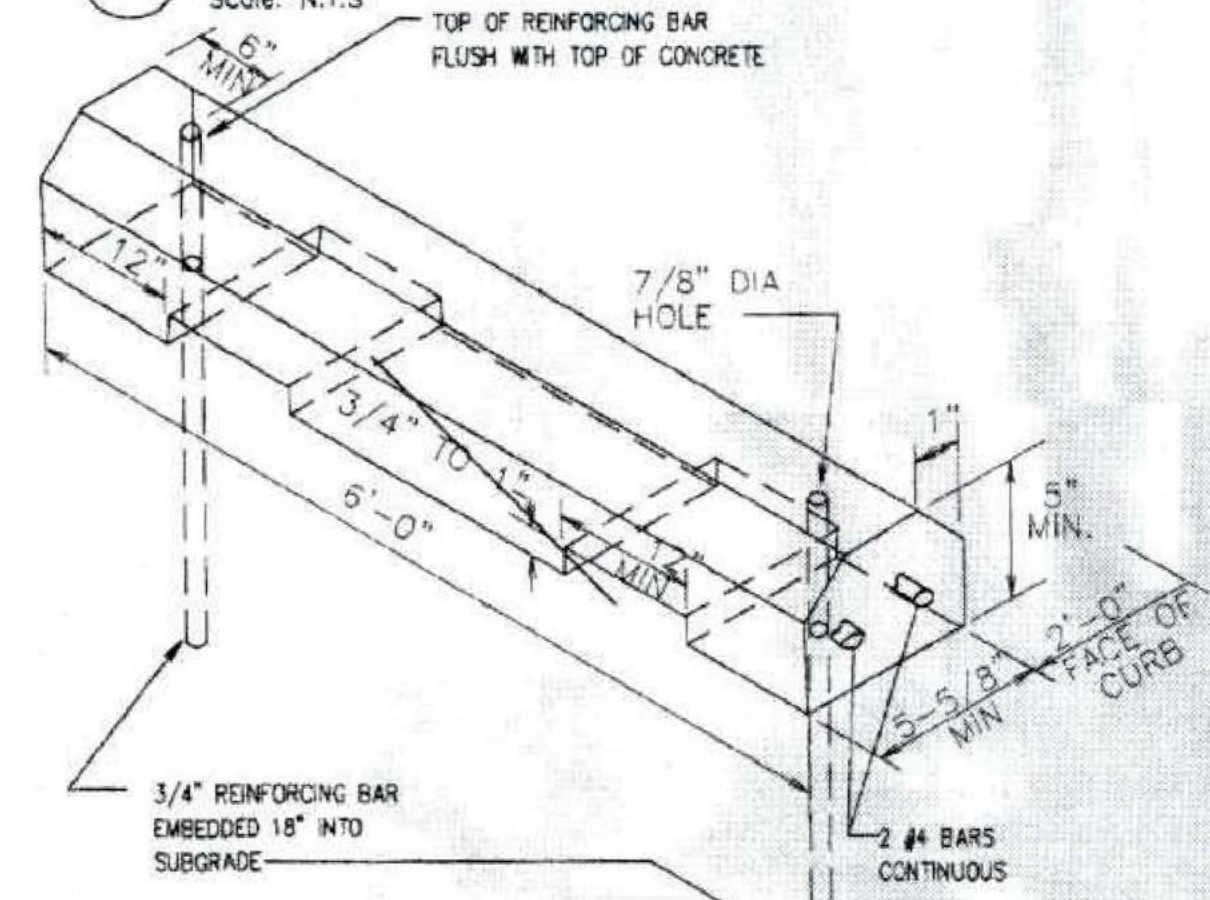
PROJECT TITLE  
VISTAS DE LA LUZ COMMERCIAL  
N.W.C. OF COORS BLVD. AND LA LUZ  
ALBUQUERQUE NEW MEXICO  
PROJECT MANAGER  
STEPHEN DUNBAR AIA  
JOB NO.  
DRAWN BY  
S  
SHEET TITLE  
SITE PLAN FOR SUBDIVISION

DATE: 9/1/06  
SCALE: 1"=30'  
sheet: A1.2  
of

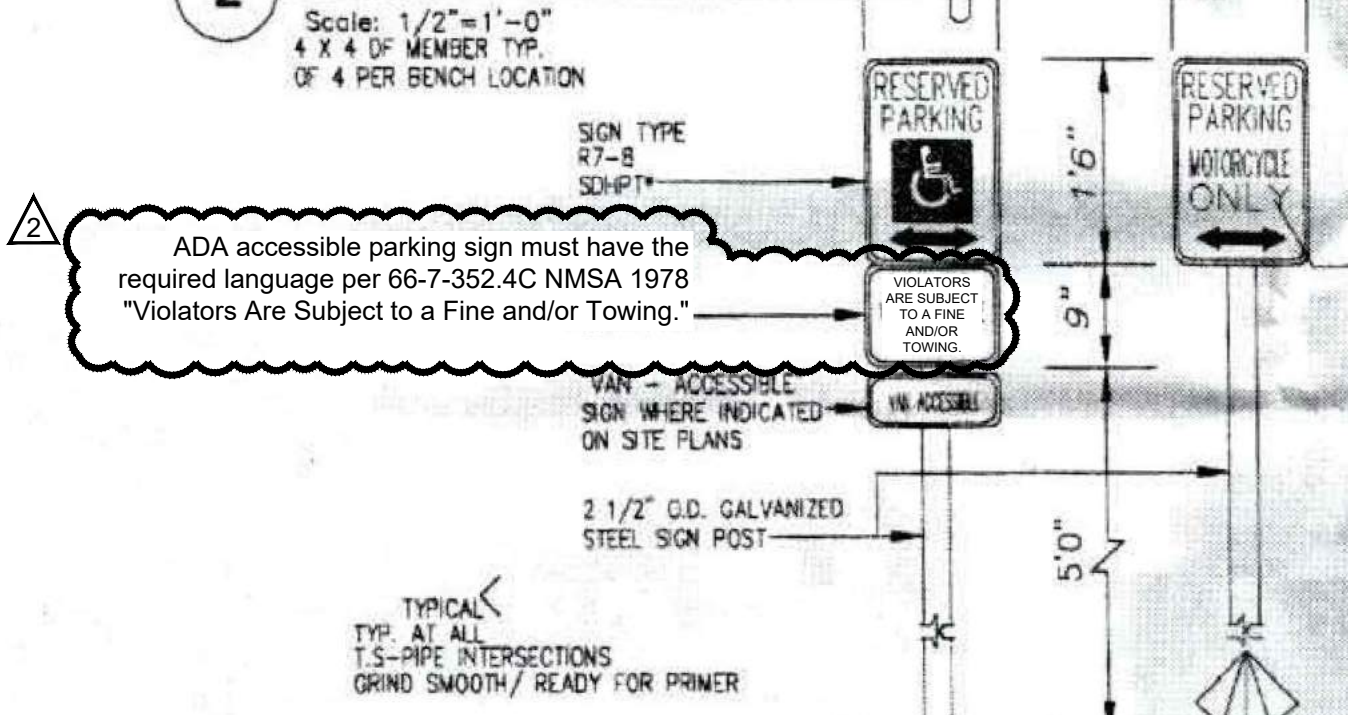




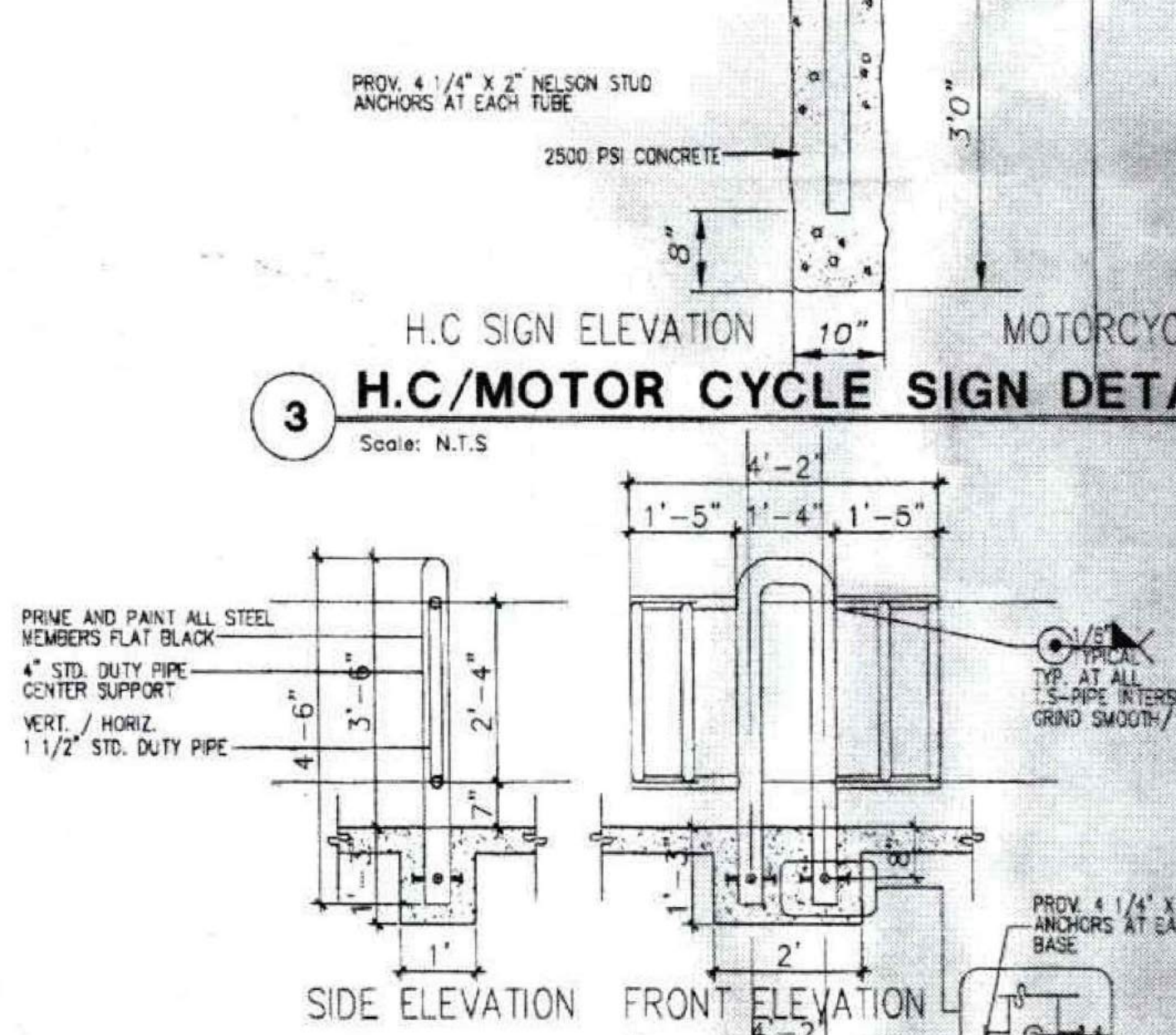
**1 H.C. RAMP**  
Scale: N.T.S.



**2 WHEEL STOP**  
Scale: 1/2"=1'-0"



**3 H.C./MOTOR CYCLE SIGN DETAIL**  
Scale: N.T.S.

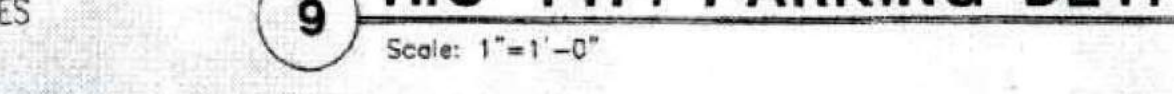


**4 BIKE RACK**  
Scale: N.T.S.

**6 LIGHT POLE DETAIL**  
Scale: N.T.S.



**9 H.C. TYP. PARKING DET.**  
Scale: 1"=1'-0"



**4A BENCH DET.**  
Scale: N.T.S.



**8 DUMPSTER PLAN**  
Scale: 1/2"=1'-0"



**10 DUMPSTER SEC**  
Scale: 1/2"=1'-0"



**11 DUMPSTER SEC**  
Scale: 1/2"=1'-0"



**12 GATE ELEV.**  
Scale: 1/2"=1'-0"



**14 SCREEN WALL ELEV (TYP 30' SECTION).**  
Scale: 1/2"=1'-0"



**13 MONUMENT SIGN ELEVATIONS**  
Scale: N.T.S.



**9A H.C. SYMBOL**  
Scale: N.T.S.



**7 ENCLOSURE NOTES**  
Scale: N.T.S.



**5 BOLLARD DETAIL**  
Scale: 1/2"=1'-0"



**10 DUMPSTER SEC**  
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**9A H.C. SYMBOL**  
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**7 ENCLOSURE NOTES**  
Scale: N.T.S.



**5 BOLLARD DETAIL**  
Scale: 1/2"=1'-0"



**10 DUMPSTER SEC**  
Scale: 1/2"=1'-0"



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**5 BOLLARD DETAIL**  
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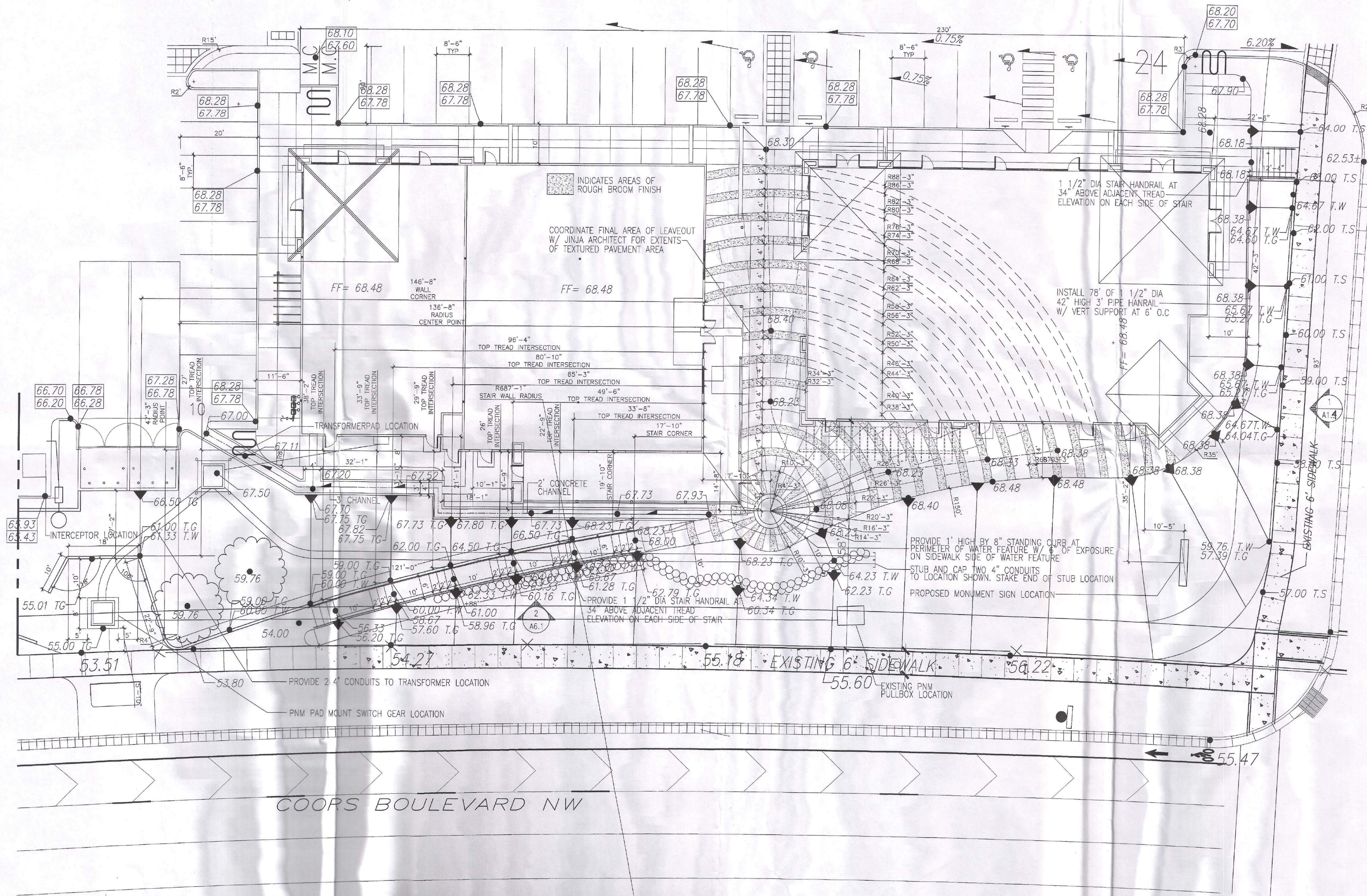


**1**









REV	DATE	BY	REVISION
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**PROJECT TITLE**  
VISTAS DE LA LUZ COMMERCIAL  
N.W.C. OF COORS BLVD. AND LA LUZ  
ALBUQUERQUE, NEW MEXICO

**PROJECT MANAGER**  
STEPHEN DUNBAR, AIA

**JOB NO.**  
S

**DRAWN BY**  
S

**DATE:**  
11/13/08

**SCALE:**  
1"=10'

**SHEET TITLE**  
ENLARGED SITE PLAN

**sheet-**  
A1.3

**of-**  
1

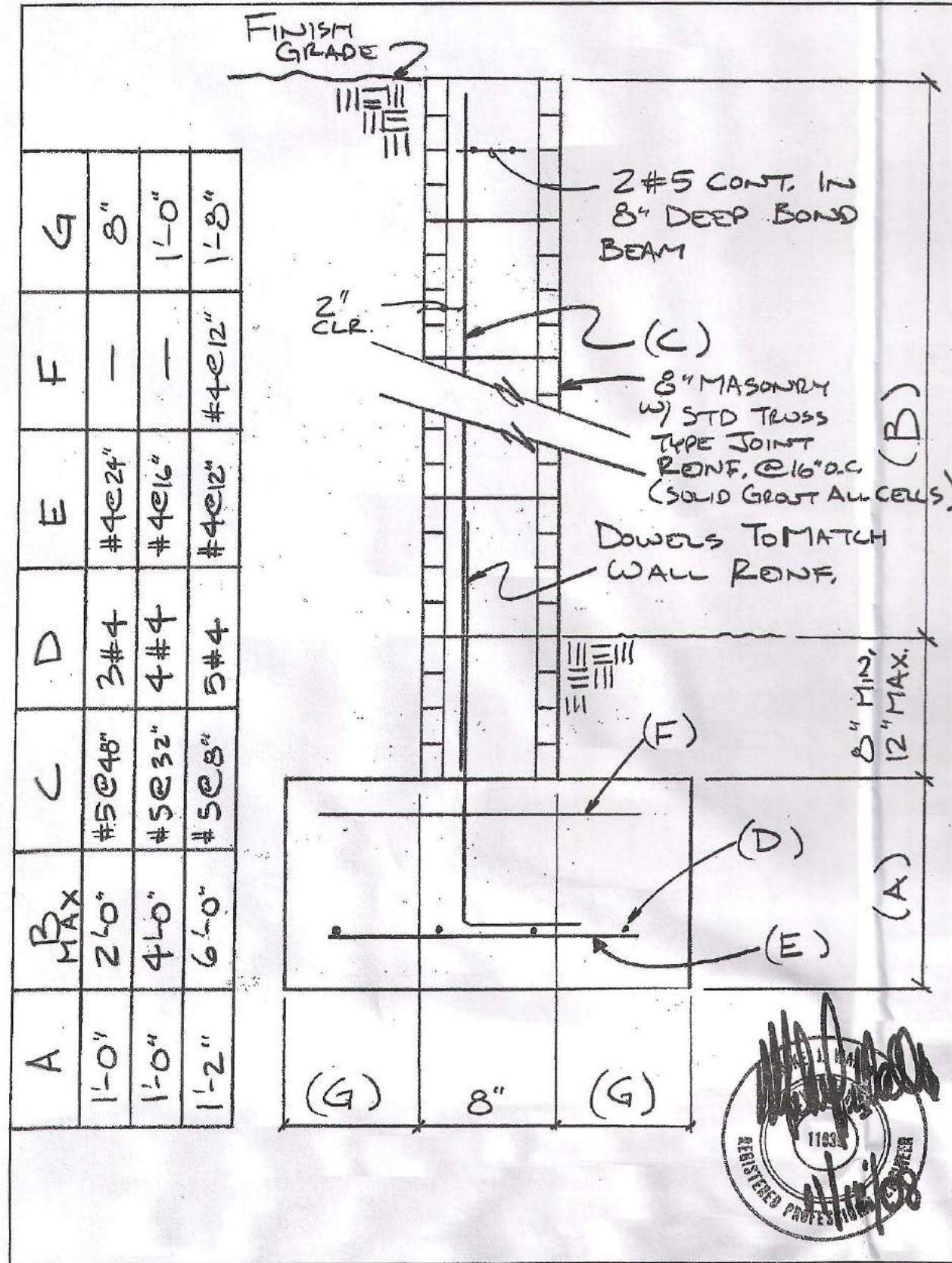
**GEORGE RANHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877



**Walla**  
ARCHITECTS LLP

6100 Indian School Road NE • Suite 105  
Albuquerque • New Mexico • 87110  
857-5268 • Fax: 857-4024

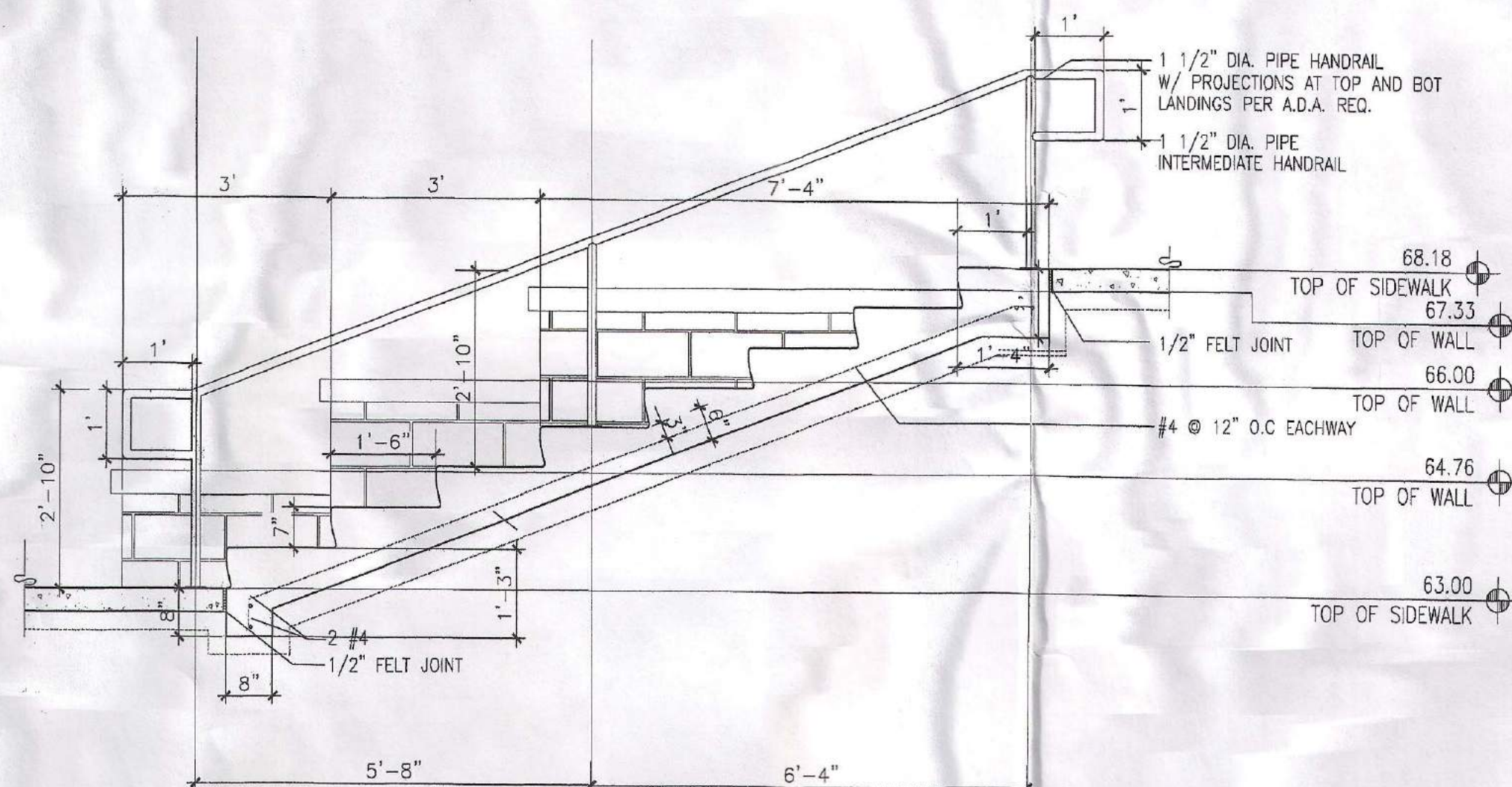
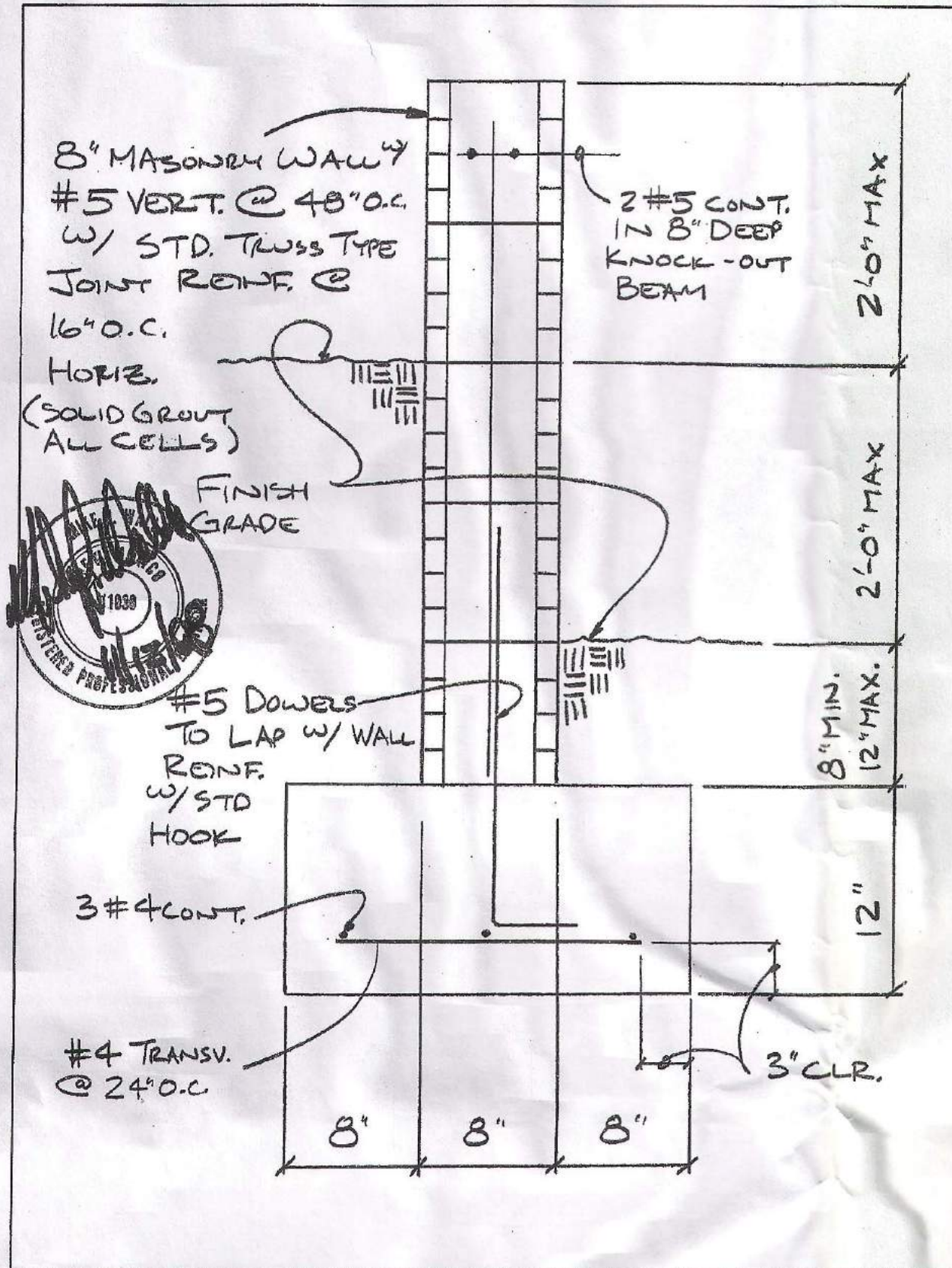
SHEET NO. **2** OF **2**  
JOB: **VISTA DE LA LUZ**  
SUBJECT: **RETAINING WALL**  
CLIENT: **MODULUS** JOB NO. **2091308**  
BY: **JE** DATE: **12 NOV 08**  
CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



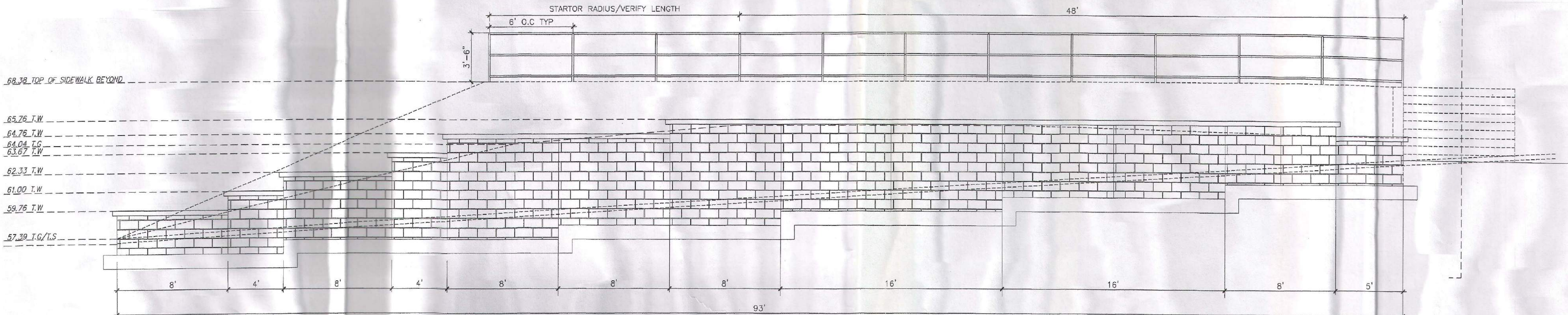
**Walla**  
ARCHITECTS LLP

6100 Indian School Road NE • Suite 105  
Albuquerque • New Mexico • 87110  
857-5268 • Fax: 857-4024

SHEET NO. **1** OF **2**  
JOB: **VISTA DE LA LUZ**  
SUBJECT: **RETAINING WALL**  
CLIENT: **MODULUS** JOB NO. **2091308**  
BY: **JE** DATE: **12 NOV 08**  
CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



**2 STAIR DETAIL**  
Scale: N.T.S.



**1 WALL ELEVATION**  
Scale: 1/4"=1'

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

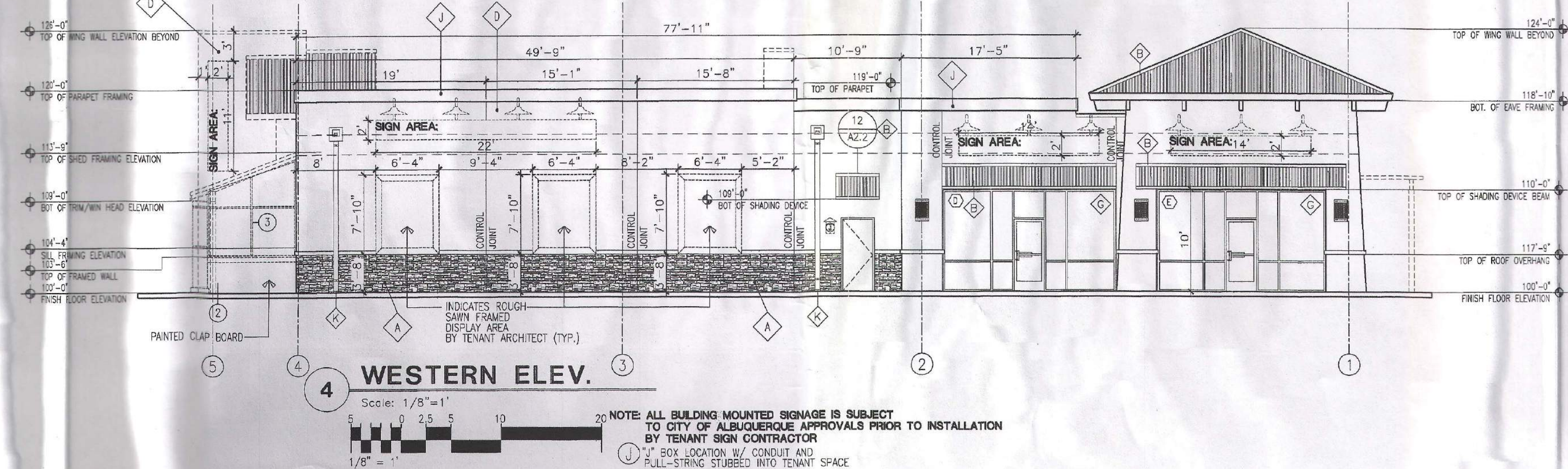
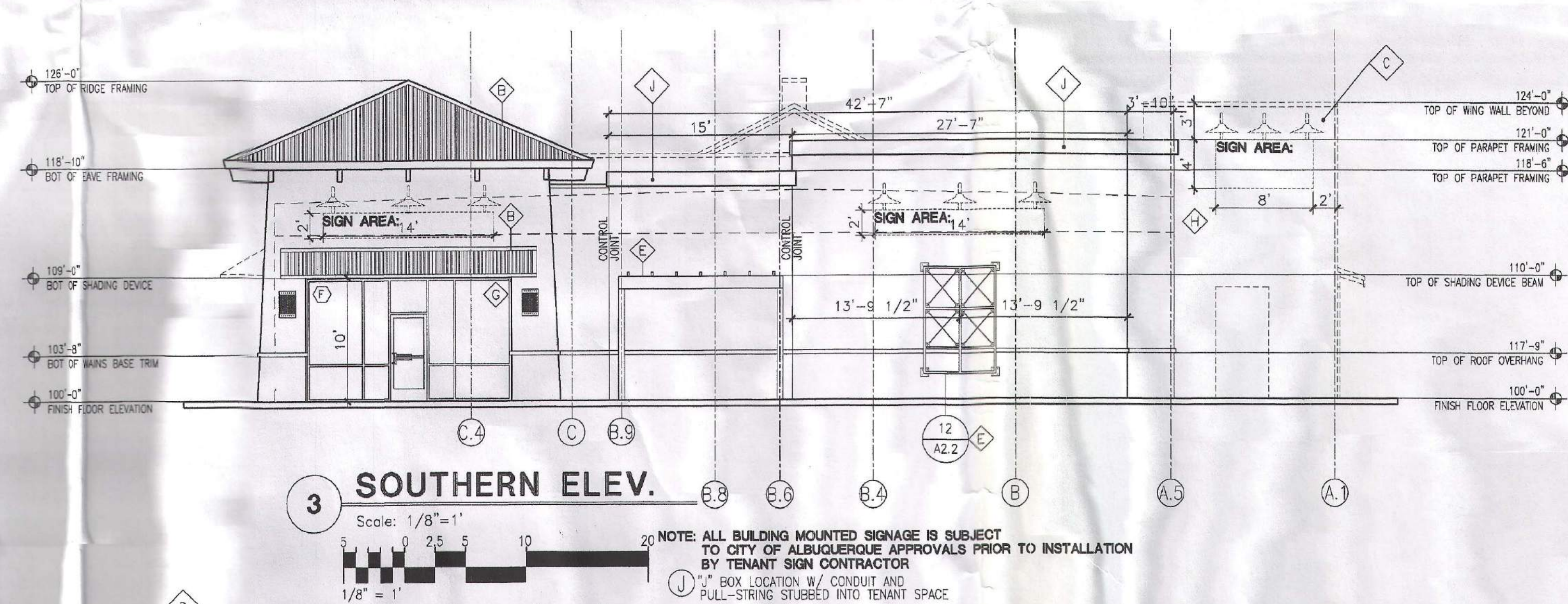
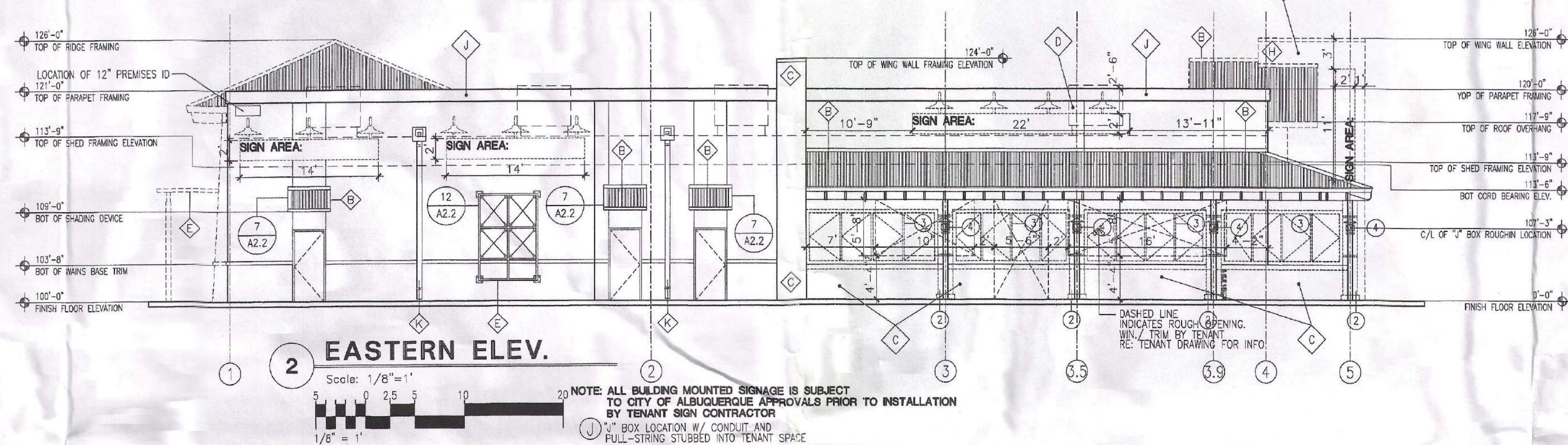
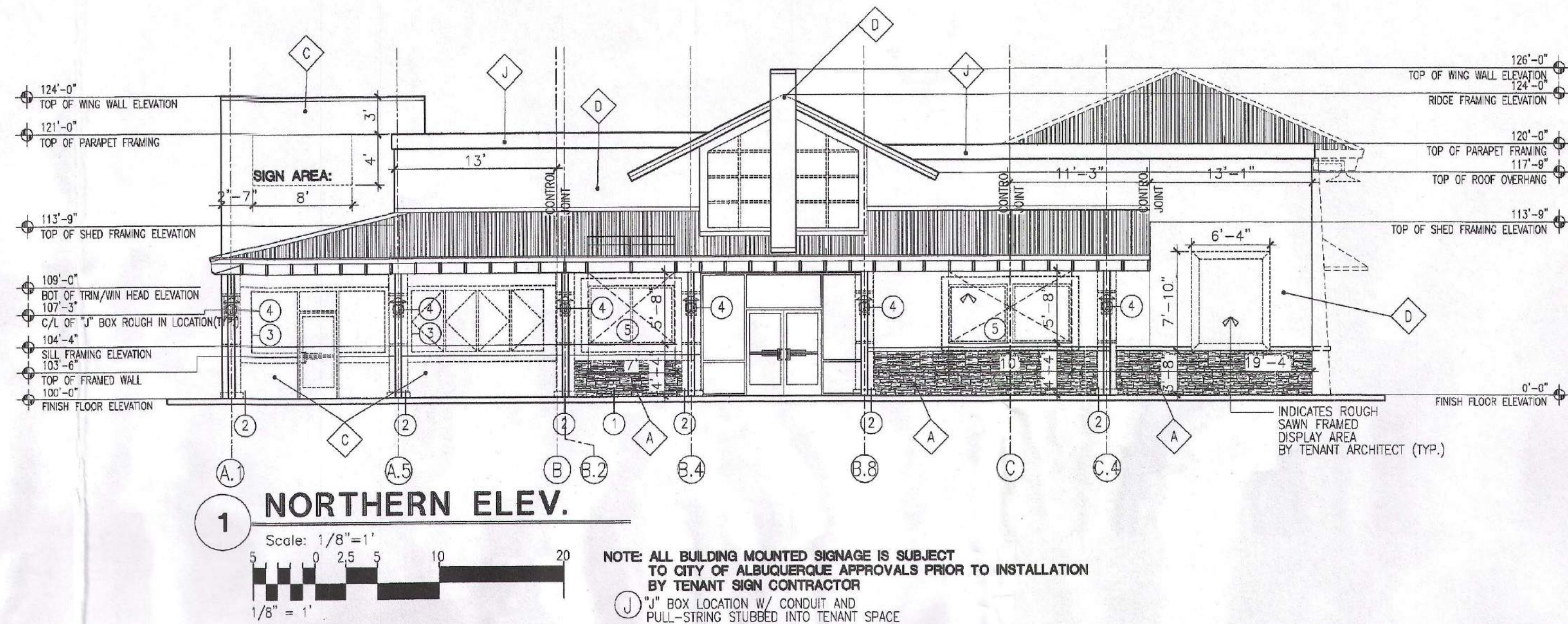
**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO NE. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE <b>VISTAS DE LA LUZ COMMERCIAL</b> N.W.C. OF CORPS BLVD. AND LA LUZ ALBUQUERQUE NEW MEXICO	PROJECT MANAGER STEPHEN DUNBAR AIA	JOB NO.	DRAWN BY: S
SHEET TITLE <b>DETAILS</b>			
DATE: 9/1/06	sheet: <b>A1.4</b>		
SCALE: 1"=30'	of:		









- ① INDICATES STONE VENEER BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK RE: TENANT DRAWINGS FOR INFO
- ② INDICATES COLUMN FURRING BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK RE: TENANT DRAWINGS FOR INFO
- ③ INDICATES SILL CAP AND WINDOW SYSTEM BY OTHERS TO BE COMPLETED UNDER TENANT IMPROVEMENT WORK RE: TENANT DRAWINGS FOR INFO
- ④ INDICATES 'J' BOX ROUGH IN LOCATION AT 7'-3" A.F.F. FOR FUTURE FIXTURE BY OTHERS RE: TENANT DRAWINGS FOR FIXTURE INFO
- ⑤ INDICATES WINDOW BY OTHER WITHIN ROUGH OPENING LOCATION RE: TENANT DRAWINGS FOR FIXTURE INFO

#### Keyed Color / Material Schedule

① CULTURED STONE	3 NORTH NATURAL STONE PRODUCTS
② SYNTHETIC STONE VENEER	AMAZON RUSTIC LEDGE
③ METAL ROOFING	W/ MILSTONE, INC. "MOROCOCO" STONE SILL/CAP
④ STO-STUCCO SYSTEM	RECLA MATERIALS HD TIN VARIOUS COLORS (NON REFLECTIVE)
⑤ STO-STUCCO SYSTEM	STO-COLOR 20516 (BROWN)
⑥ WALL FINISH COLOR	SHERWIN WILLIAMS OR BENJAMIN MOORE CARBOBOARD SW 6124 BM AC-6 (LIGHT BROWN)
⑦ MISC METAL	SHERWIN WILLIAMS PACER WHITE SW 6098 (WHITE COLOR)
⑧ WALL FINISH COLOR	SHERWIN WILLIAMS MINDFUL GRAY SW 6144 (LIGHT GREY COLOR)
⑨ POWER COAT WHITE ALUMINUM STOREFRONT W/ CLEAR NON-REFLECTIVE GLAZING	WHITE FINISH WIN SYSTEM
⑩ WALL FINISH COLOR	SHERWIN WILLIAMS DAPPER TAN SW 6144 (DARK BROWN)
⑪ WALL FINISH COLOR	SHERWIN WILLIAMS UNIVERSAL KAKI SW 6150 (BROWN)
⑫ STO-STUCCO SYSTEM	(DARK RED)
⑬ MISC.	CALVALUME(SILVER) (NON REFLECTIVE)

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO NE SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
SHOPS-I/VISTAS DE LA LUZ  
S.W.C. OF COOKS AND SEVILLE  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
STEPHEN DUNBAR AIA  
JOB NO.  
DRAWN BY  
S

SHEET TITLE  
ELEVATIONS

DATE:  
12/05/08  
SCALE:  
VARIES

sheet-  
A4.0  
of-

REVISION

BY

DATE

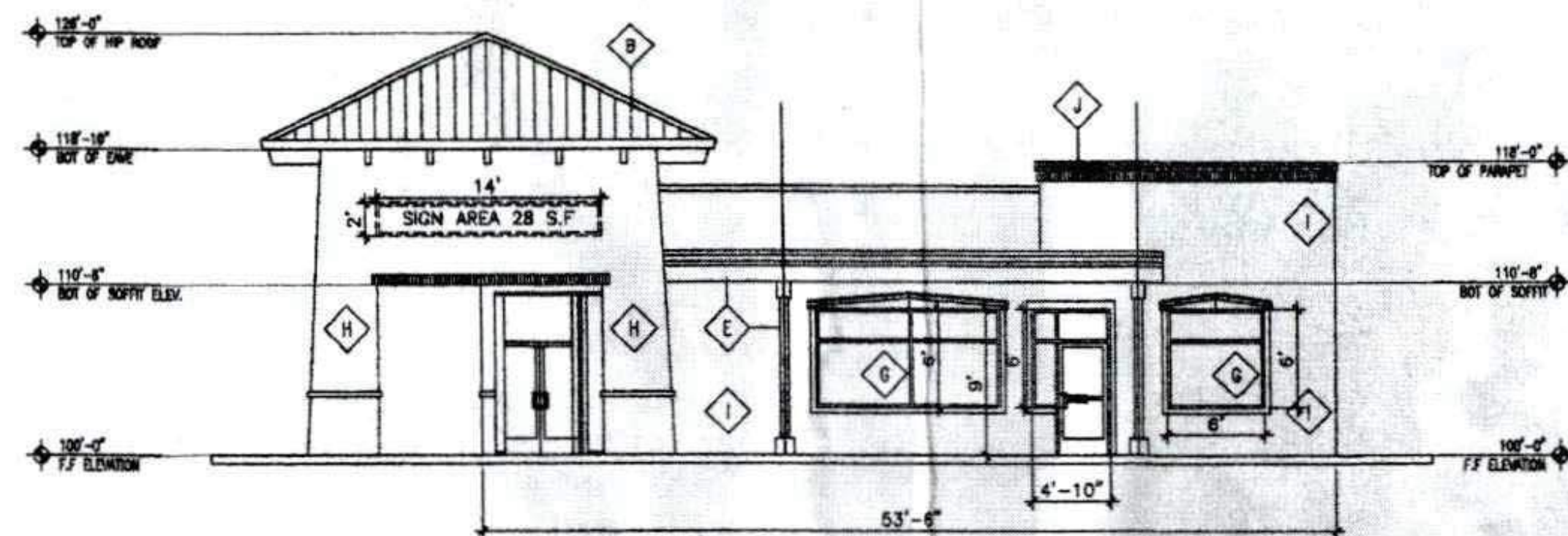
REV

CLIENT REVISION

12/10/08

MSW



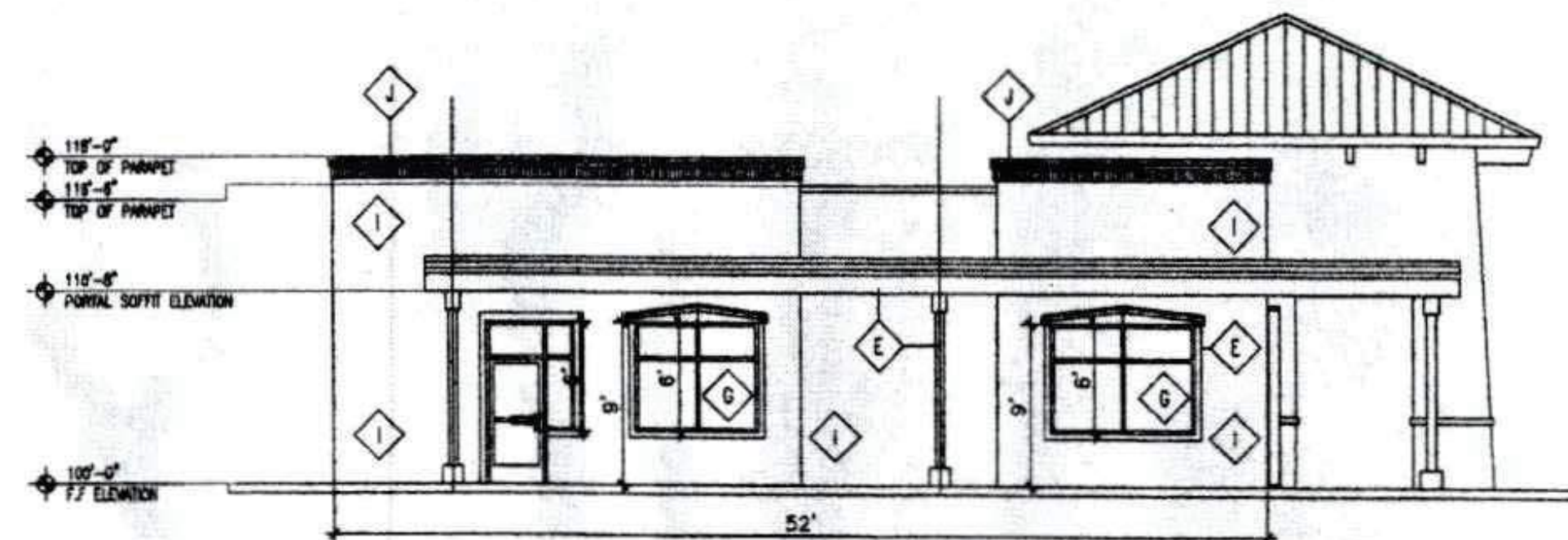


1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



GENERAL NOTE:  
SIGNAGE-BUILDING MOUNTED:  
1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA  
2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED



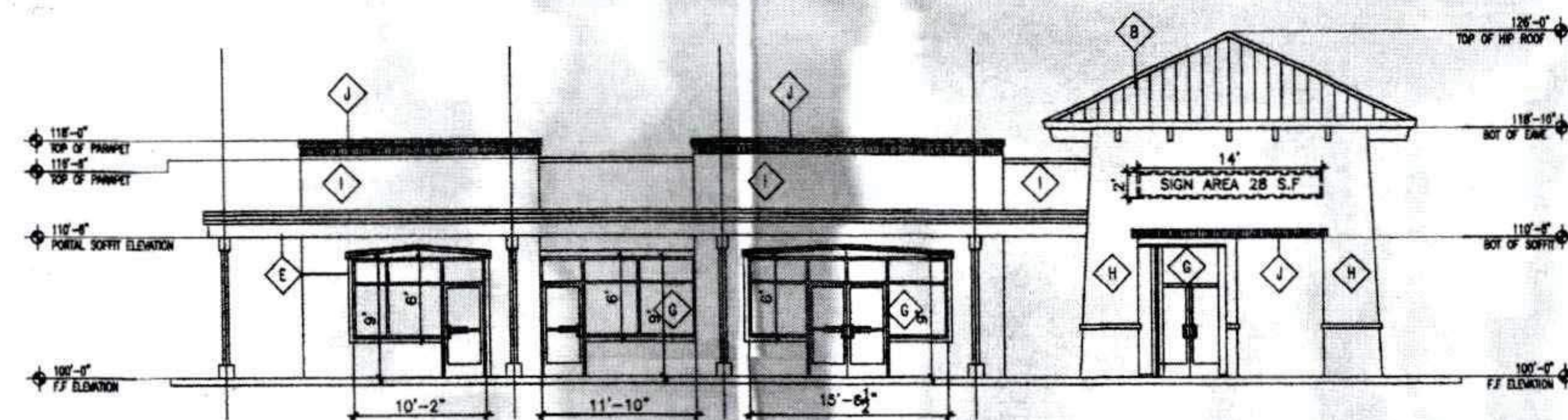
1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



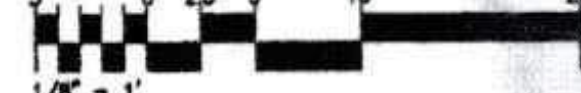
Keyed Color / Material Schedule

A	CULTURED STONE	LEDGE STONE PF 8016
B	STANDING SEAM METAL ROOFING	GALVALUME(SILVER) (NON REFLECTIVE)
C	WALL FINISH COLOR	SHERVIN WILLIAMS BASKET BEIGE SW 6143 (LIGHT TAND)
D	WALL FINISH COLOR	SHERVIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT BROWN)
E	WALL FINISH COLOR	SHERVIN WILLIAMS PACER WHITE SW 6098 (WHITE COLOR)
F	WALL FINISH COLOR	SHERVIN WILLIAMS MINDFUL GRAY SW 6144 (LIGHT GREY COLOR)
G	POWER COAT WHITE ALUMINUM STOREFRONT W/ CLEAR NON-REFLECTIVE GLAZING	WHITE FINISH VIN SYSTEM
H	WALL FINISH COLOR	SHERVIN WILLIAMS DAPPER TAN SW 6144 (DARK BROWN)
I	WALL FINISH COLOR	SHERVIN WILLIAMS UNIVERSAL KAKI SW 6150 (BROWN)
J	BRICK COPING	FACE BRICK DARK RED INCOLOR
K	AWNING	GALVALUME(SILVER) (NON REFLECTIVE)

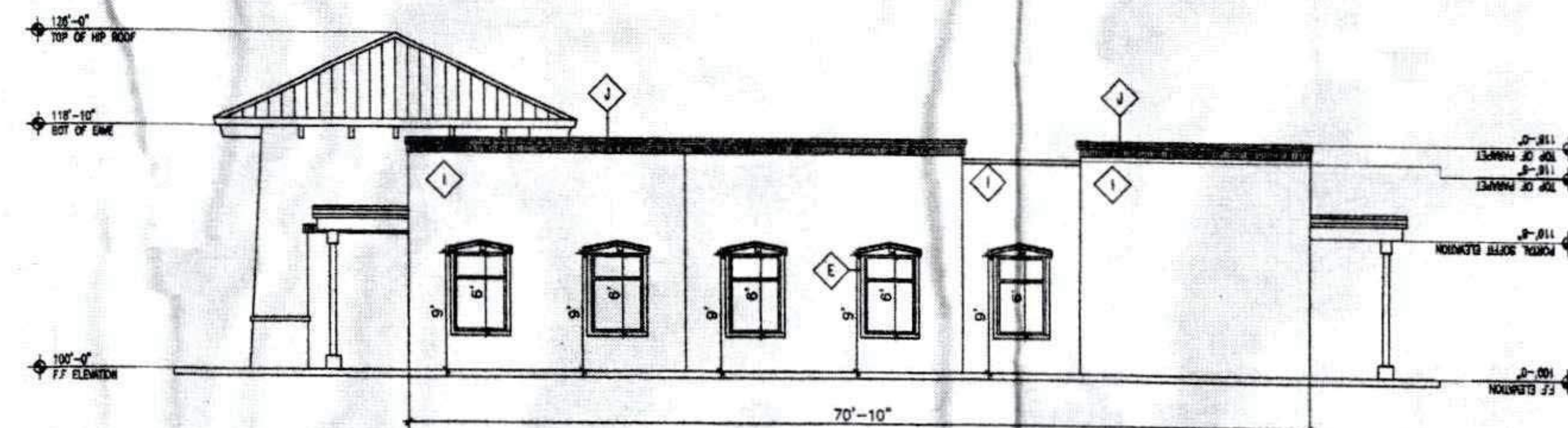


1 OFFICE EASTERN ELEVATION

Scale: 1/8"=1'



GENERAL NOTE:  
SIGNAGE-BUILDING MOUNTED:  
1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA  
2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED



1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



REV	DATE	BY	REVISION
1			
2			
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO NE SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

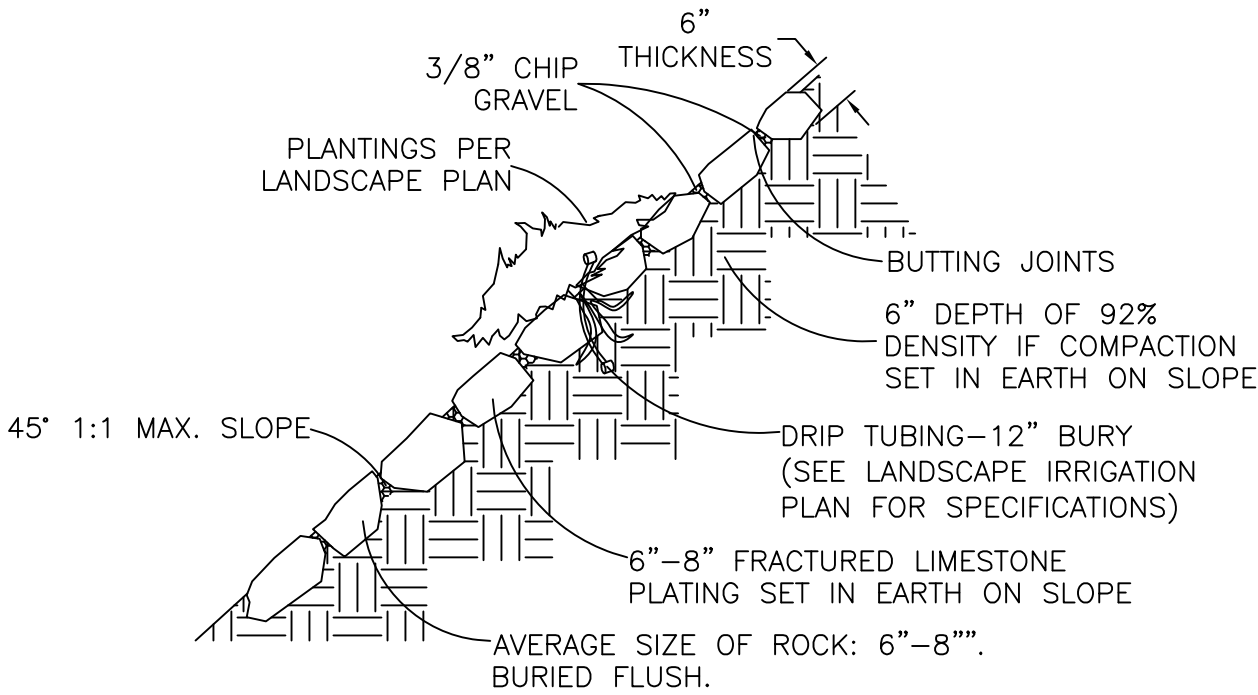
PROJECT TITLE	VISTAS DE LA LUZ
ALBUQUERQUE NEW MEXICO	
PROJECT MANAGER	Stephen Dunbar AA
JOB NO.	
DRAWN BY	S
SHEET TITLE	OFFICE ELEVATIONS

DATE	7/4/07
SCALE	N.T.S.
SHEET	A4.1
OF	



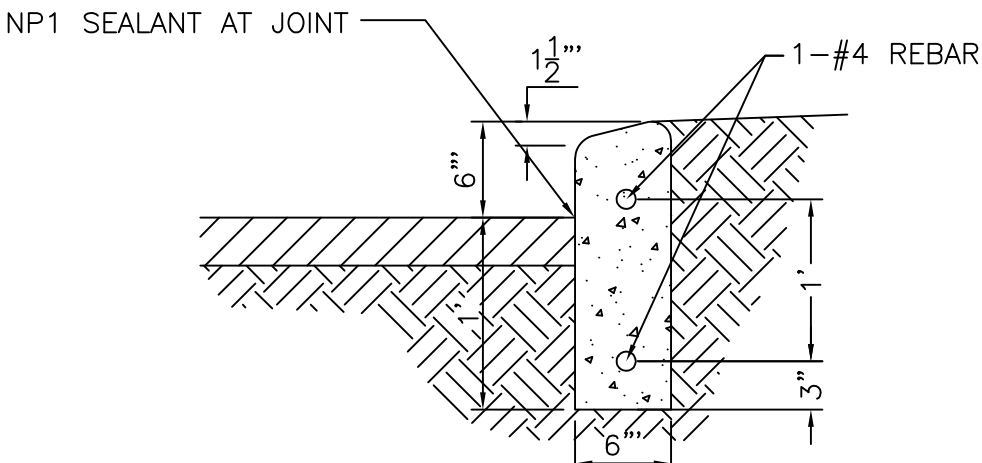
DRAINAGE NARRATIVE

THIS SITE IS GOVERNED BY THE MASTER DRAINAGE PLAN PREPARED BY MARK GOODWIN AND ASSOCIATED (6/14/08). THE PER THE GOVERNING PLAN, THIS SITE DRAINS TO THE SAN ANTONIO ARROYO VIA A PRIVATELY MAINTAINED STORM DRAIN. THE ORIGINAL PLAN DID NOT INCORPORATE 'FIRST FLUSH' FEATURES. THE AREA OF NEW IMPROVEMENT WILL INCORPORATE THE REQUIRED FIRST FLUSH. THE REMAINING SITE WILL CONTINUE TO DRAIN IN ACCORDANCE WITH THE APPROVED PLAN. THE PROPOSED PARKING LOT HAS AN INCREASE IN PAVEMENT OF 16420 SF THEREFOR THE SITE WILL RETAIN ONSITE 465 CUBIC FEET.



ROCK PLATING DETAIL

NTS



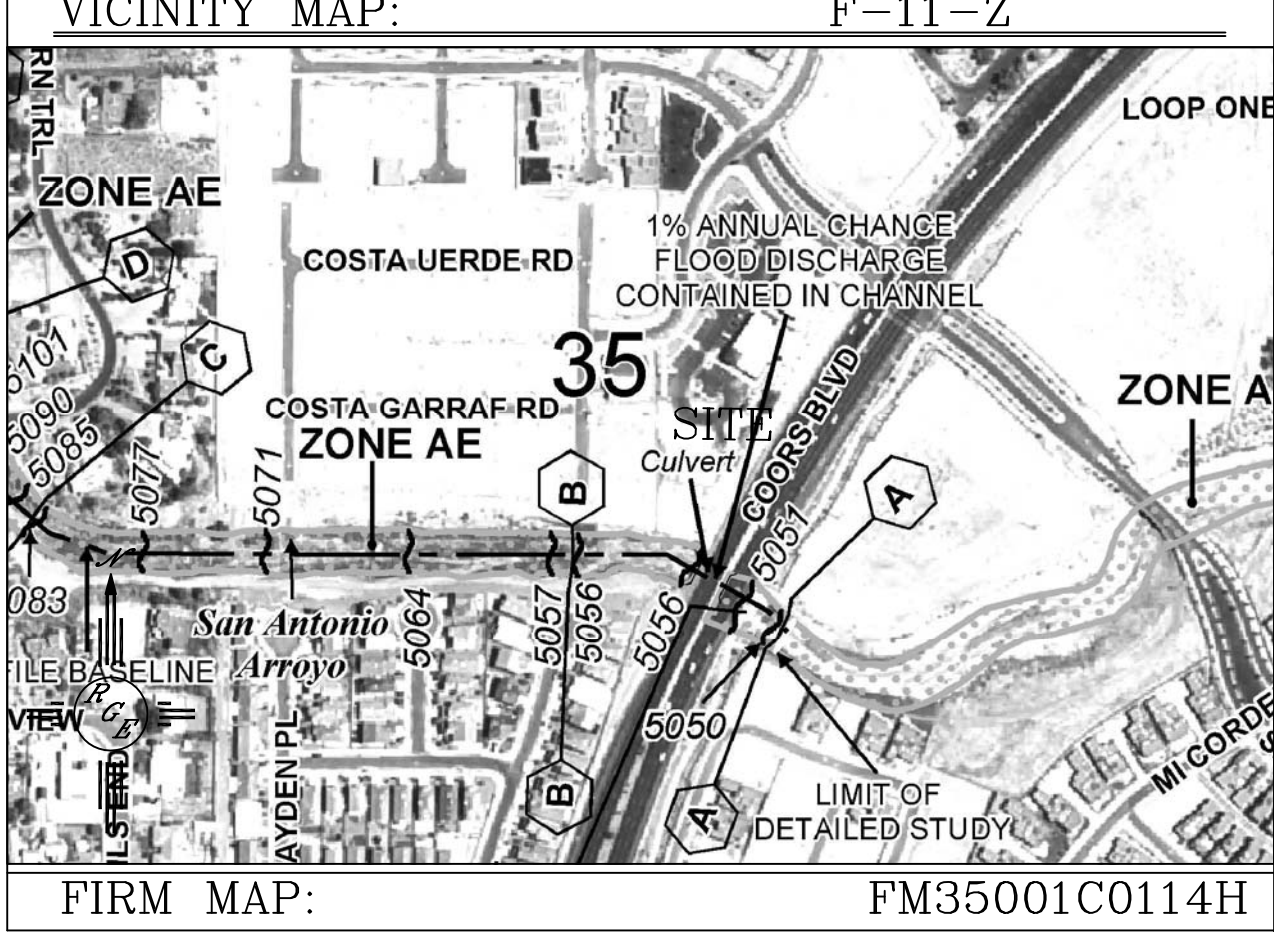
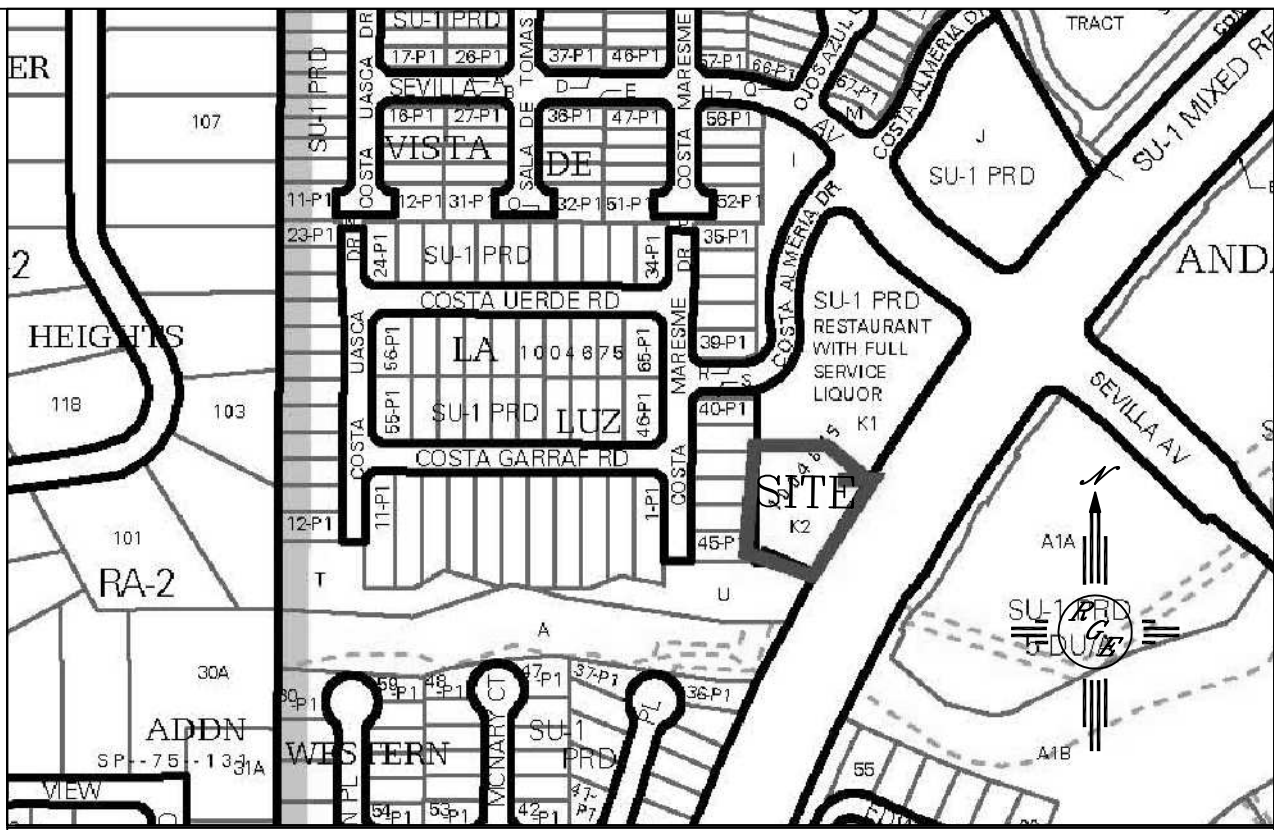
6" HEADER CURB DETAIL

NTS

CAUTION:  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

Tract K-2 and a portion of Tract K-1, Plat for Vista De La Luz Commercial


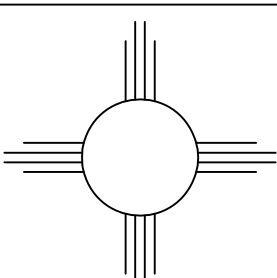
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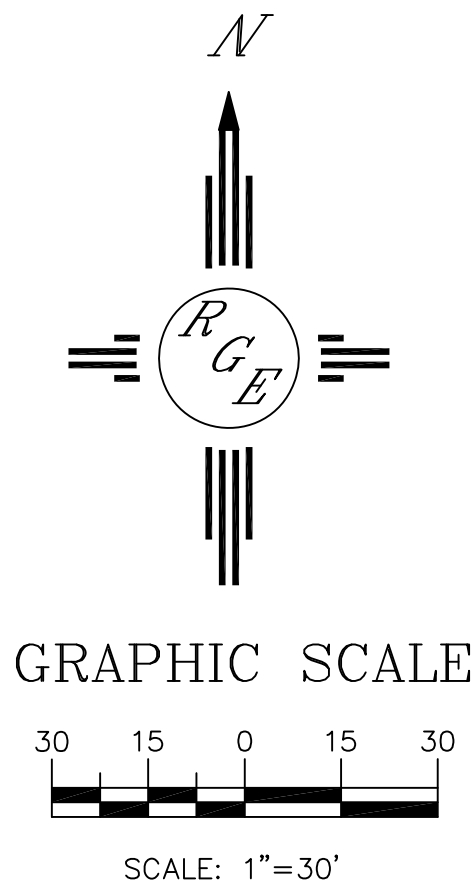
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
5. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

LEGEND

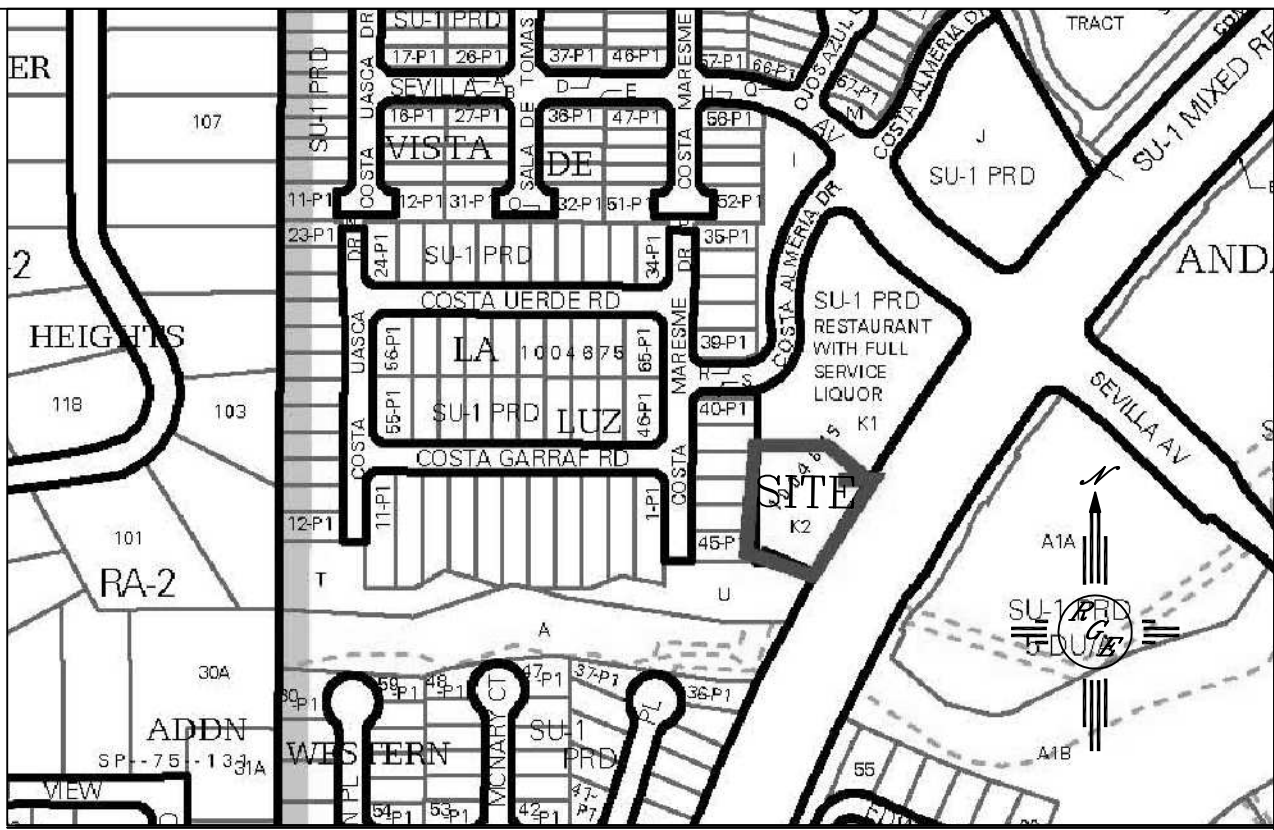
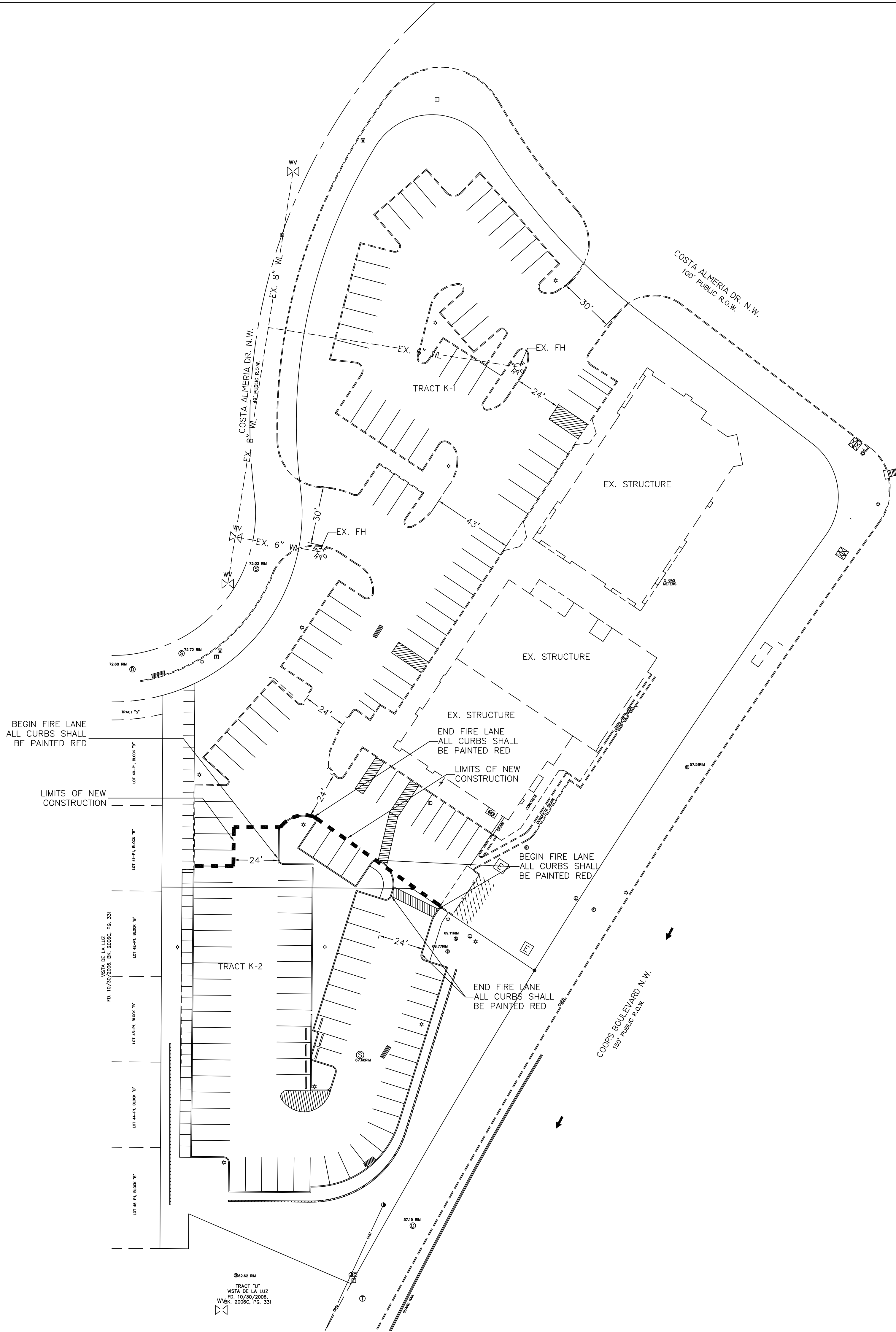
- 5414--- EXISTING CONTOUR
- 5415--- EXISTING INDEX CONTOUR
- 5414--- PROPOSED CONTOUR
- 5415--- PROPOSED INDEX CONTOUR
- SLOPE TIE
- × 4048.25 EXISTING SPOT ELEVATION
- × 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED CURB
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED RETAINING WALL (SEE STRUCTURAL DRAWINGS)
- ROCK PLATING SEE DETAIL THIS SHEET
- LIMITS OF EXISTING PAVEMENT TO BE REMOVED AND REPLACED

CONCEPTUAL- NOT FOR CONSTRUCTION

ENGINEER'S SEAL  10/31/17 DAVID SOULE P.E. #14522	VISTAS DE LA LUZ COMMERCIAL GRADING AND DRAINAGE PLAN	DRAWN BY WCWJ DATE 10-31-17 21644-LAYOUT-1-06-17
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET #
		JOB # 21644







LEGAL DESCRIPTION:  
Tract K-2 and a portion of Tract K-1, Plat for Vista De La Luz Commercial

NOTES:  
1. THERE SHALL BE NO NEW BUILDING CONSTRUCTION PROPOSED WITH THIS PROJECT.

- LEGEND
- BOUNDARY
  - CENTERLINE
  - RIGHT-OF-WAY
  - PROPOSED CURB
  - EXISTING CURB AND GUTTER

<div>ENGINEER'S SEAL</div> <div></div> <div>10/23/17</div> <div>DAVID SOULE P.E. #14522</div>	VISTAS DE LA LUZ COMMERCIAL FIRE ONE	DRAWN BY WCWJ
		DATE 10-23-17
		21644-LAYOUT-1-06-17
	<i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET #
		JOB # 21644