

DATA

LAND AREA: 1.8728 ACRES
ZONING: SU-1 PRD, O-1, C-1 ALLOWED
MAX. BUILDING HEIGHT: 26'
FLOOR/AREA RATIO: 0.12
BUILDING AREA:
CARWASH 5548 SF
RETAIL PAD 4235 SF

REQUIRED PARKING:

CARWASH + RETAIL PAD = 9,783/200=48.9 (49)
TOTAL: 49 SPACES REQUIRED AND 60 PROVIDED
2 MC SPACES REQUIRED AND PROVIDED
3 HC SPACES REQUIRED AND PROVIDED
3 BICYCLE SPACES REQUIRED AND PROVIDED

INCLUDES MC 4 HC SPACES

GENERAL NOTES

A. ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.

LEGAL DESCRIPTION:

TRACT LETTERED "J", PLAT OF VISTA DE LA LUZ, WITHIN SECTION 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 30, 2006, IN PLAT BOOK 2006C, FOLIO 331, AS DOCUMENT No. 2006165286

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and the findings and conditions in the Official Notification of Decision are satisfied

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

KEYNOTES

- EXISTING CONC. SIDEWALK
- NEW CONC. SIDEWALK
- HC ACCESSIBLE RAMP
- MONUMENT SIGN PENDING GOVERNMENTAL APPROVALS
- HC ACCESS AISLES, PARKING SPACES, SIGNAGE
- MOTORCYCLE SPACES
- LANDSCAPED AREA
- TREE WELL
- STRIPING
- FUTURE RETAIL DUMPSTER ENCLOSURE
- TRANSFORMER
- ASPHALT PAVING
- NEW CURB CUT/ DRIVEPAD
- COLOR CONCRETE PATIO
- SHADE CANOPY ABOVE, COLOR TO MATCH BLDGS
- CARWASH DUMPSTER ENCLOSURE
- BIKE RACK 3 LOOPS
- 20' HIGH LIGHT POLE
- EMPLOYEE PARKING SIGNAGE
- DIRECTIONAL SIGNAGE
- BENCH
- TABLES AND CHAIRS
- 3' RETAINING WALL
- ABSORPTIVE SOUND ELEMENTS SHALL BE PROVIDED INSIDE THE TUNNEL SPRAY AREA
- WHEELSTOP
- 6' WIDE ADA ACCESSIBLE PATH
- MIN. 6", MAX. 8" HIGH CURB BETWEEN LANDSCAPE AREA AND PARKING/DRIVE AISLES, TYPICAL

* NOTE: -ADA PARKING SIGNAGE SHALL HAVE LANGUAGE: "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
-ADA ACCESS AISLE SHALL HAVE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH LETTER MIN. 1" HIGH X 2" WIDE

RADIUS INFORMATION:

- | | |
|-------------------|--------------------|
| 1 RADIUS = 2'-0" | 7 RADIUS = 25'-0" |
| 2 RADIUS = 3'-0" | 8 RADIUS = 30'-0" |
| 3 RADIUS = 5'-0" | 9 RADIUS = 40'-0" |
| 4 RADIUS = 10'-0" | 10 RADIUS = 50'-0" |
| 5 RADIUS = 15'-0" | 11 RADIUS = 60'-0" |
| 6 RADIUS = 20'-0" | 12 RADIUS = 8'-0" |

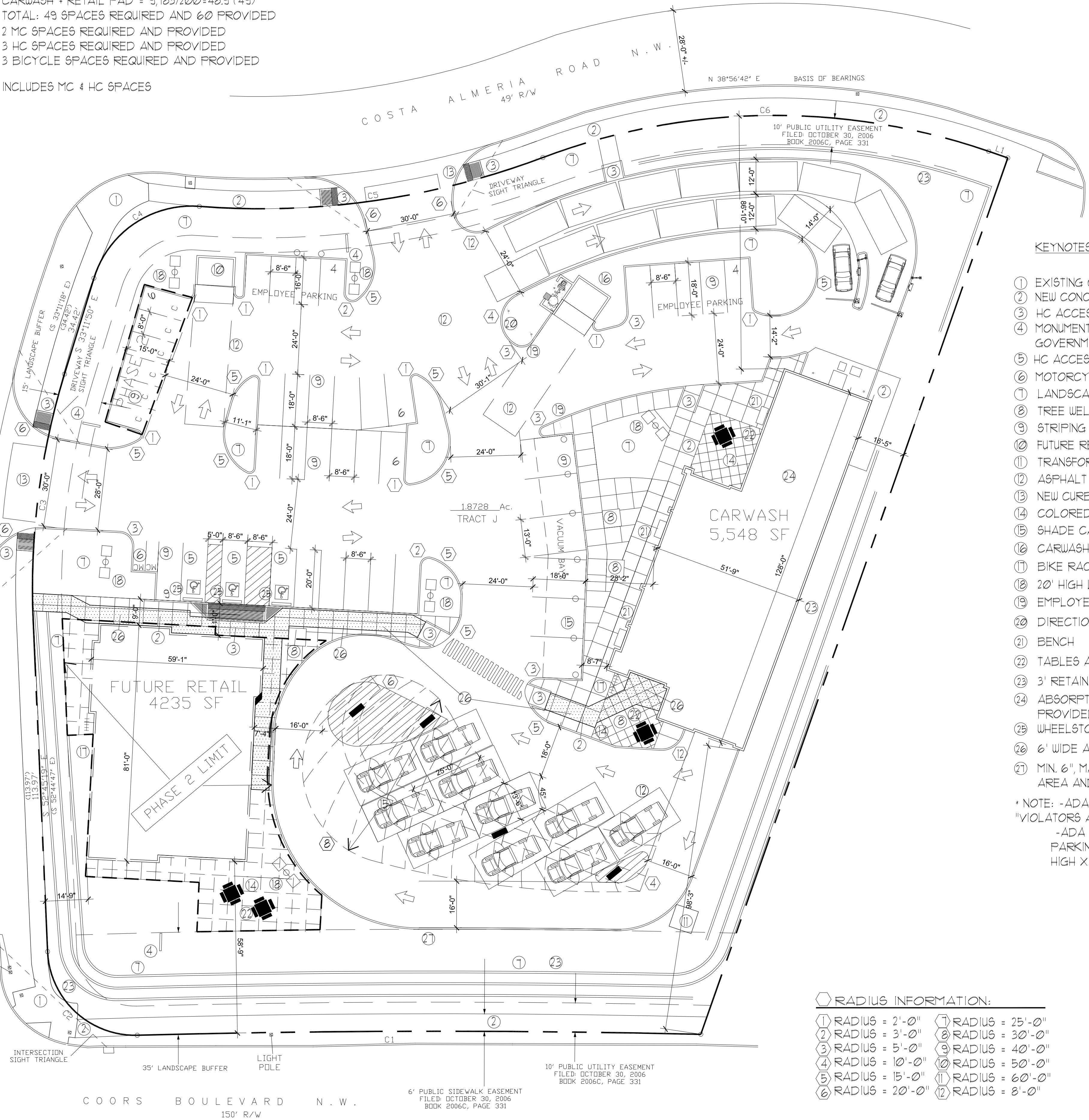
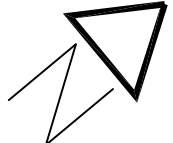
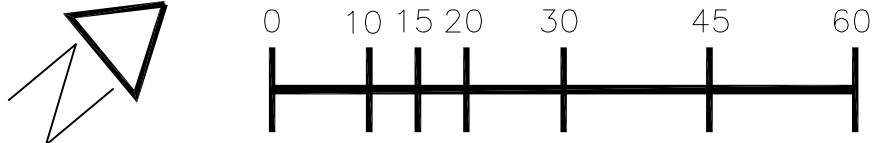
NUMBER	BELTA ANGLE	CHORD	DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	02°50'39"	S 39°38'45" W		3694.72	193.33	193.31
C1(1)	02°50'39"	S 39°39'12" W		3694.72	193.33	193.31
C2	89°01'20"	N 82°44'01" E		30.00	46.61	42.06
C2(1)	89°01'20"	N 82°44'33" E		30.00	46.61	42.06
C3	19°33'29"	S 42°58'34" E		250.00	85.34	84.92
C3(1)	19°33'29"	S 42°58'03" E		250.00	85.34	84.92
C4	77°21'34"	S 05°28'58" W		35.00	47.26	43.75
C4(1)	77°21'34"	S 05°29'29" W		35.00	47.26	43.75
C5	25°02'32"	N 31°38'29" E		274.50	119.98	119.02
C5(1)	25°02'32"	N 31°39'00" E		274.50	119.98	119.02
C6	39°38'58"	S 38°56'42" W		225.50	156.05	152.95
C6(1)	39°38'58"	S 38°57'14" W		225.50	156.05	152.95

ALL SCREENING AND VEGETATION AROUND GROUND-MOUNTED TRANSFORMERS SHALL PROVIDE 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 FEET OF CLEARANCE ON THE REMAINING 3 SIDES

THE SITE IS SERVED BY AN EXISTING PUBLIC TRANSIT ROUTE

SEE LANDSCAPE PLAN FOR LANDSCAPE WALLS

SITE PLAN
1" = 20'-0"



REV	DATE	BY	REVISION
6			
5			
4			
3			
2			

MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE 5401 SEVILLA AVE. NW COORS & SEVILLA ALBUQUERQUE, NM	JOB NO. -	DRAWN BY: JS	SHEET TITLE ARCHITECTURAL SITE PLAN
DATE: 6/15/16	SHEET: AS101	SCALE: AS NOTED	DATE: