

8. The design and materials of the perimeter wall shall be compatible with the architectural theme and materials of the buildings on the site and shall be earthtone colored and contain surface treatments.
9. An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
10. All plant materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List.
11. Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height for deciduous; 8-10 feet for evergreen
Shrubs & Groundcovers	1 gallon
Turf grasses	Complete ground coverage within 1 growing season after installation.

VIII. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within Vistas de La Luz. The goal is to provide a signage program that is of high quality, maintains a consistent style and complements the visual character of the property.

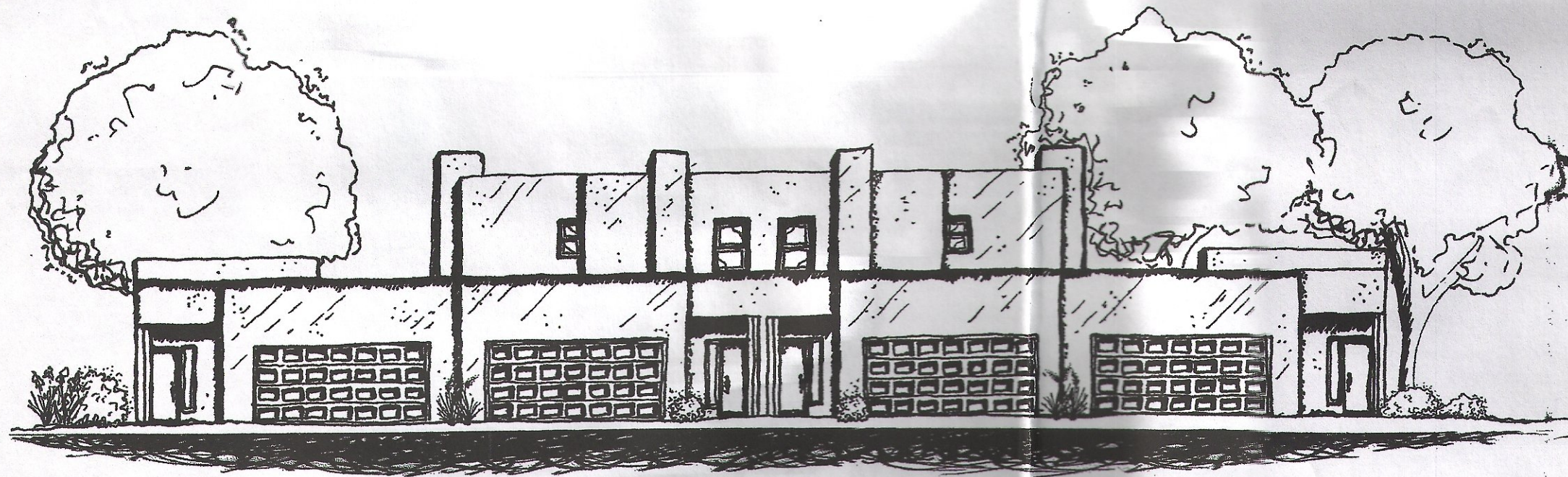
- A. All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Coors Corridor Sector Development Plan.
- B. Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings and shall not exceed 9 feet in height above grade, per the Coors Corridor Sector Development Plan, Issue 4, Visual Impressions and Urban Design Overlay Zone, Subsection (d), Signage.
- C. Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- D. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- E. Signs shall not overhang into the public right-of-way or extend above the building roof line, per the Coors Corridor Sector Development Plan, Issue 4, Visual Impressions and Urban Design Overlay Zone, Subsection (d), Signage.
- F. Off-premise signs are prohibited.
- G. Building-mounted signs shall not exceed 8 percent of the facade area and the lettering shall not exceed 2 feet in height and shall not be permitted on any elevation adjacent to residential zoning.
- H. No illuminated plastic panel signs are allowed except business logos within the non-residential areas of the property.

IX. ARCHITECTURE

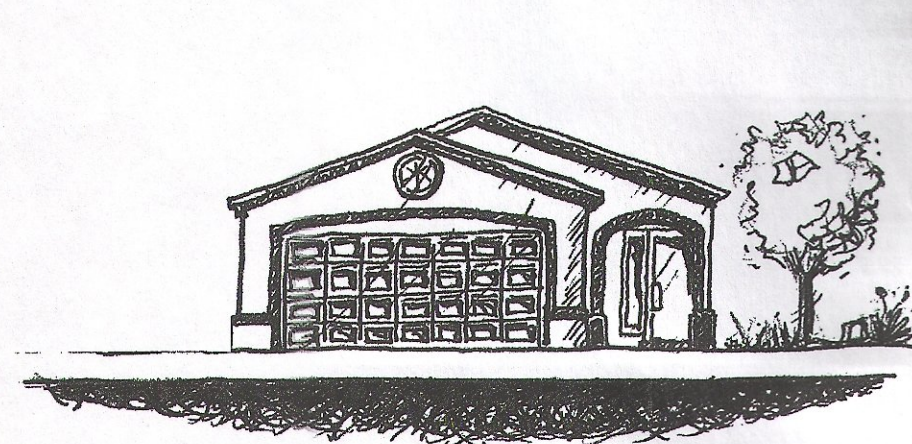
The following elevations are intended to illustrate the general styles permitted at Vistas de La Luz and shall reflect southwestern regional architecture. Minor variations to these styles are permitted. Refer to Section III of these Design Standards for building materials and roof styles.

A. RESIDENTIAL STYLES

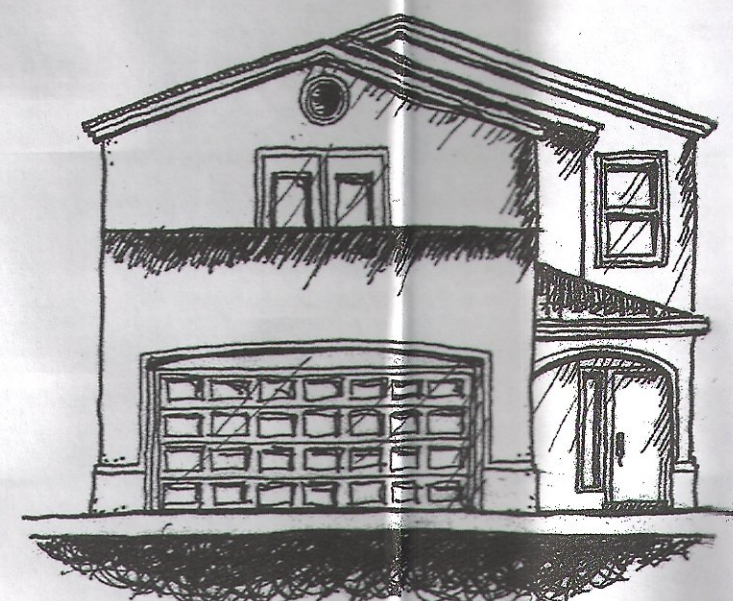
TOWNHOME AREA ELEVATIONS (north area)



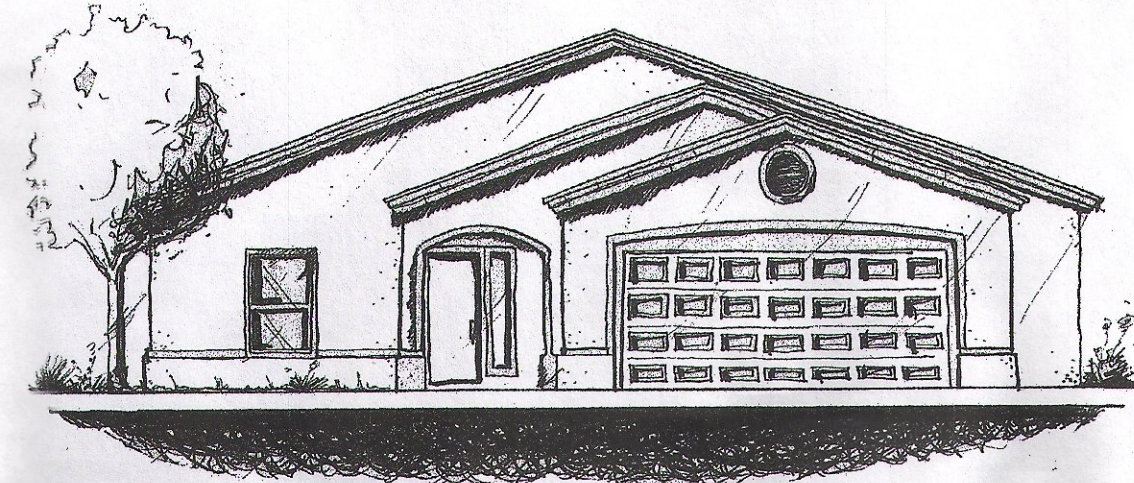
Townhome Elevations - Combination of One and Two Story Units



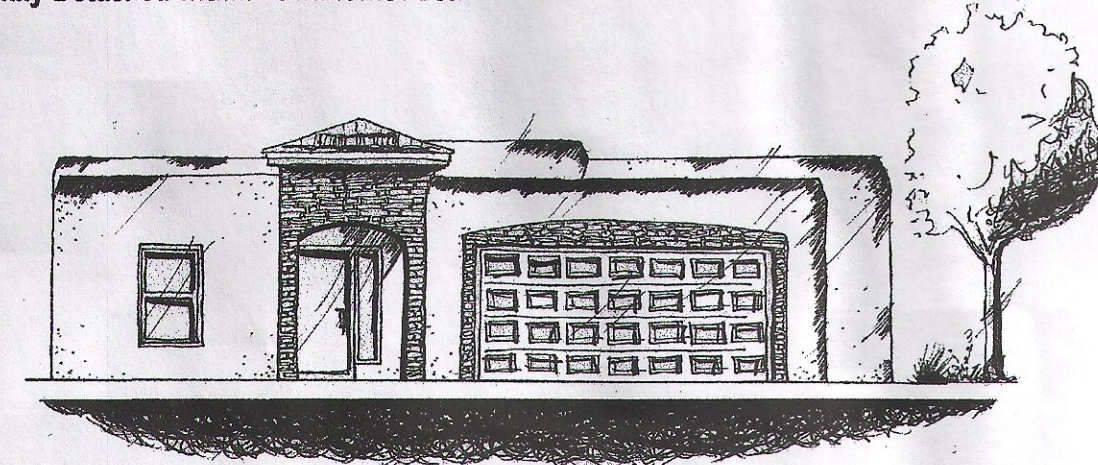
Alternate Roof Styles for Townhome Units



TOWNHOME AREA ELEVATIONS (north area)



Single-Family Detached within Townhome Area



Single-Family Detached within Townhome Area

SINGLE FAMILY DETACHED ELEVATIONS (south area)



Single-Family Detached - Two Story



Single-Family Detached - Single Story

Architectural styles for the dwelling units for the townhome area (north) and single family detached area (south) are shown below. There will be a combination of one and two story units in both areas.

B. NON-RESIDENTIAL

Architectural styles for non-residential buildings shall be Pueblo, Contemporary Pueblo, or Territorial. This section describes the typical characteristics of these different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the buildings contains the characteristics of one of the styles listed below and adheres to Section III, Building Standards.

1. **Pueblo Style** - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style may incorporate recessed set doors and windows, and dramatically recessed portals or patios (at front facades). The Pueblo style traditionally uses flat roofs, interesting massing, and soft edged smooth stucco.
 - a. Entry portals are a hallmark of the style.
 - b. Lintels over openings can be wood and exposed, but covered lintels are just as common.
 - c. Exterior wall finish is stucco from the approved color list.
 - d. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
 - e. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
 - f. Parapets are also used to emphasize forms.
 - g. The symmetrical form allows for formal courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
2. **Contemporary Pueblo Style** - Contemporary Pueblo Style is a more modern design which reflects much of the traditional Pueblo style architecture, combined with elements of modern architecture. The severe exterior walls are broken by large window openings that extend from floor to ceiling. Square large stuccoed columns replace the round columns of the Pueblo designs. Exterior colors range from earth tones to much lighter colors.
 - a. Flat roof is common to the style.
 - b. Square edge walls are also common to the style, along with square parapet walls.
 - c. Canales should be provided to direct rainwater from roof.
 - d. Deep window and door openings are typical of the style and can be used.
 - e. All openings should be placed away from corners.
 - f. Large square stucco posts can be provided to emphasize the style.
3. **Territorial Style** - has its roots in the Pueblo style and early Spanish buildings and is characterized by simple, if not symmetrical, massing; low sloped roofs (no pitched roofs); portals and courtyards often surrounded by low walls or gates; brick parapet caps, horizontal benches and/or chimneys; stucco walls with square corners of a limited color palette; and pedimented window and door head trim, usually of wood. Columns are generally square or square tapered and are typically painted, finished wood with painted wood trim forming the capital and base of the post (no corbels). Territorial style is typically straighter, more formal, and more finished than the Pueblo style.
 - a. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 8" per foot to 12". Low sloped roofs can also be combined with flat roof elements.
 - b. Entry portal is not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
 - c. Trim over and around openings can be tile or terracotta moldings, but untrimmed openings are just as common.
 - d. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
 - e. Parapets are also used to emphasize forms.
 - f. Exterior wall finish is stucco, from the approved color list; or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

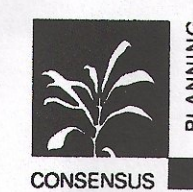
X. UTILITIES

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

- A. All new electric distribution lines shall be placed underground.
- B. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- C. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.

DESIGN STANDARDS Vistas de La Luz SUBDIVISION

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