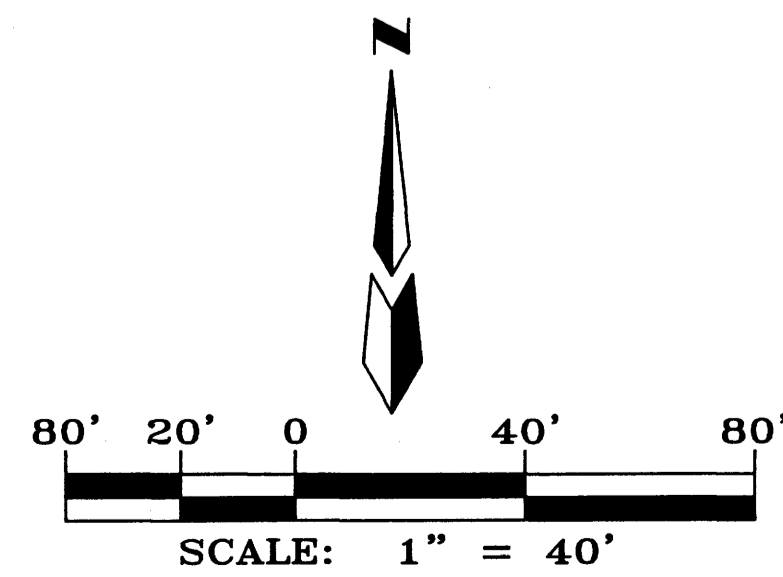
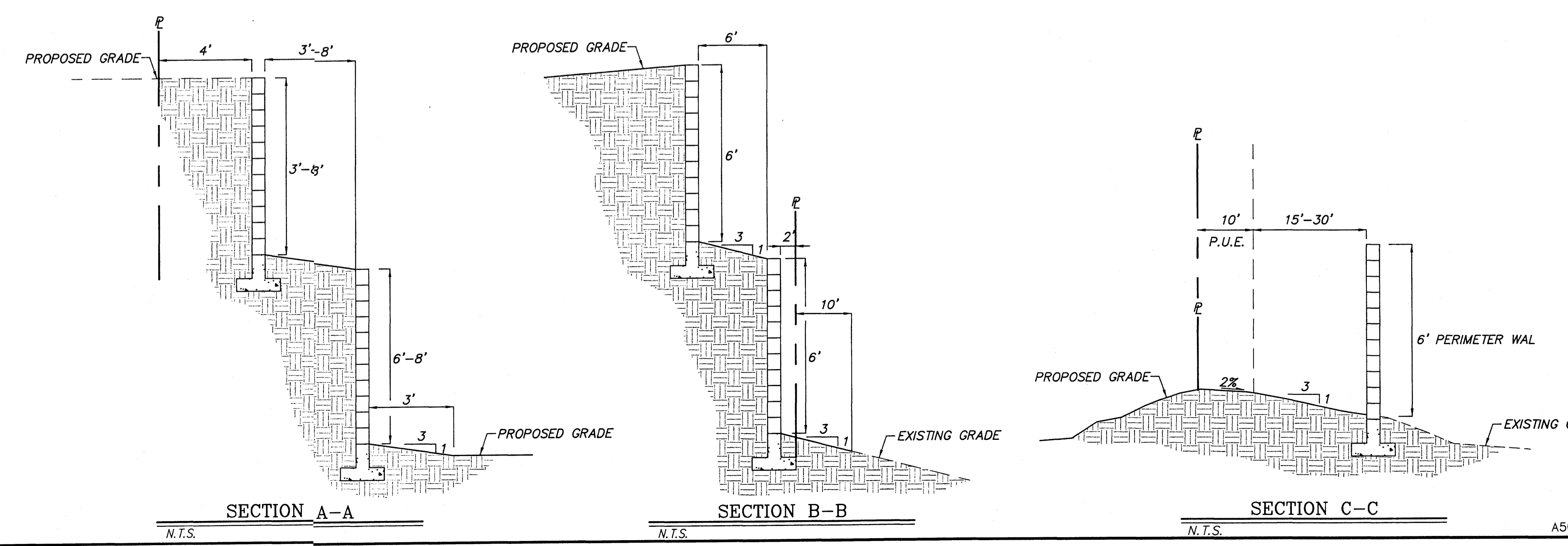


NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT OF WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (1985 EDITION).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24 HOUR BASIS.

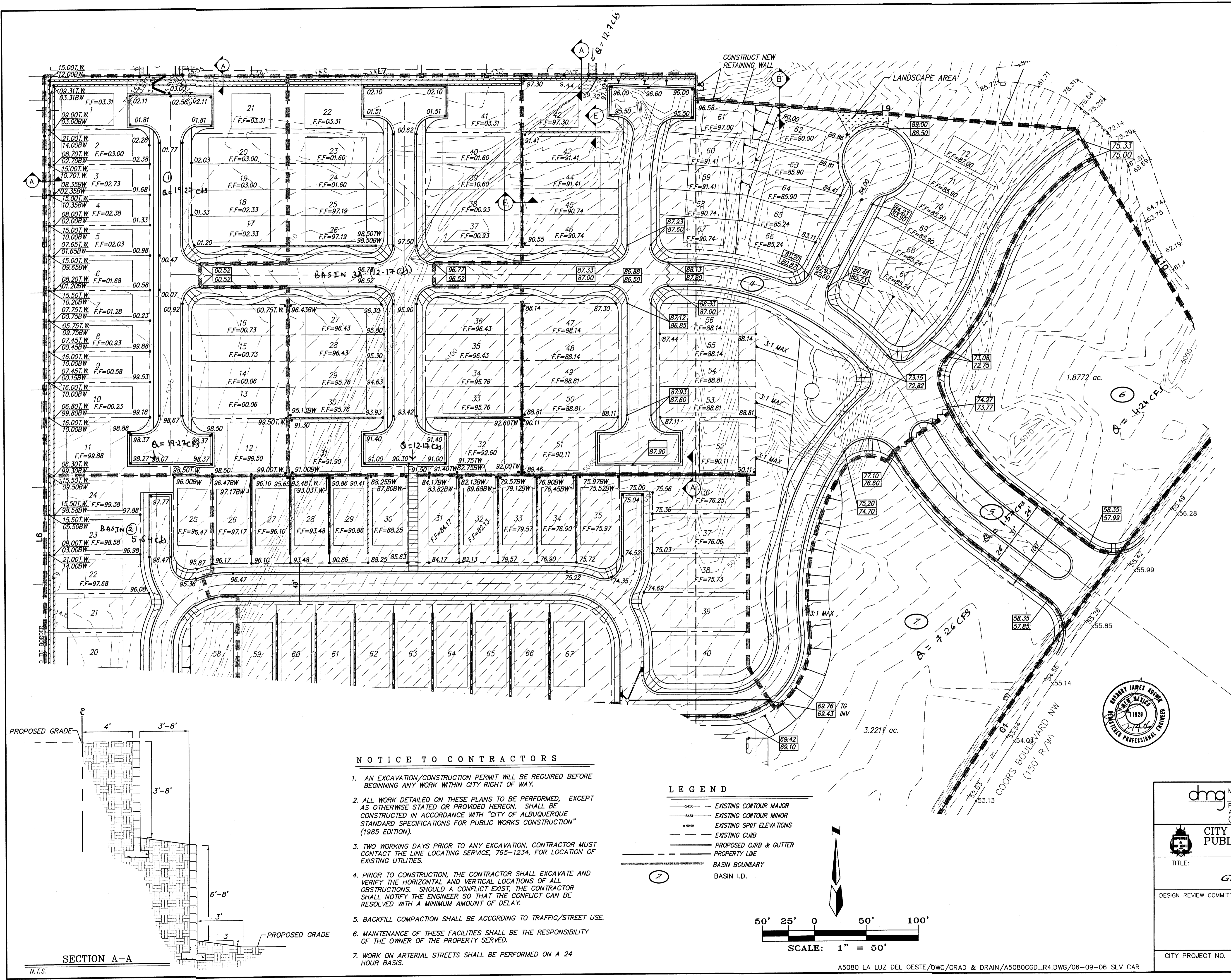


MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: VISTA DE LA LUZ GRADING & DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.
SHEET	OF
	7

AS BUILT INFORMATION	
CONTRACTOR	DATE
STAKED BY	DATE
INSPECTED BY	DATE
FIELD AS BUILT BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	
BENCH MARKS	
CENTERLINE OF ENTRANCE TO LA LUZ CONDOMINIUM	IN FEET 71'
GEOGRAPHIC POSITION (NAD 1983)	
FROM CENTERLINE OF COOPS BLVD. AND 3' FROM	
ACS BRASS CAP STAMPED "NH448-16-A"	
ELEVATION=5058.689 (NGVD29) IN FEET	
X=366640.72 Y=1507308.30 N.M. STATE PLANE	
COORDINATES (CENTRAL ZONE)	
SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	
ENGINEER'S SEAL	
NO.	
BY	
REMARKS	DATE
REVISIONS	DATE
DESIGN	01/06
	01/06
	01/06

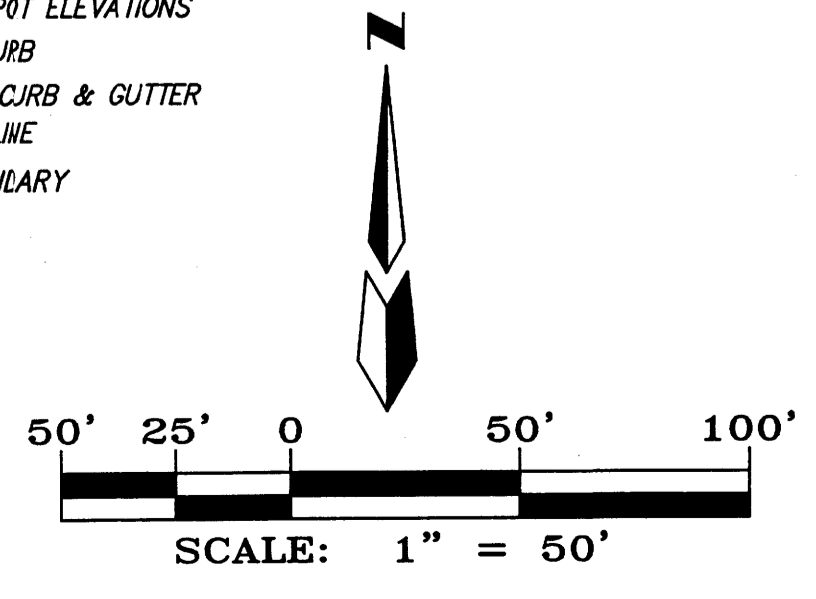
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- LEGEND**
- 5400 — EXISTING CONTOUR MAJOR
 - 545 — EXISTING CONTOUR MINOR
 - 1000 • EXISTING SPOT ELEVATIONS
 - — EXISTING CURB
 - — PROPOSED CURB & GUTTER
 - — PROPERTY LINE
 - — BASIN BOUNDARY
 - ② — BASIN I.D.



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **VISTA DE LA LUZ
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. _____ ZONE MAP NO. _____ SHEET **1** OF **1**

AS BUILT INFORMATION

CONTRACTOR	DATE
INSPECTOR'S NAME	DATE
FIELD PREPARE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS

CENTERLINE OF ENTRANCE TO LA LUZ CONDOMINIUM.
GEOGRAPHIC POSITION (NAD 1927), IN FEET 71'
FROM CENTERLINE OF COORS BLVD. AND 3' FROM
ACS BRASS CAP STAMPED "NM448-NB-A"
ELEVATION=5058.889 (NGVD29) IN FEET
X=366640.72 Y=1507308.30 N.M. STATE PLANE
COORDINATES (CENTRAL ZONE)

SURVEY INFORMATION

FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
DMG	01/06
SLV	01/06
DMG	01/06

PRELIMINARY PLAT FOR
VISTA DE LA LUZ
 WITHIN
 SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 July, 2006

ENGINEERS

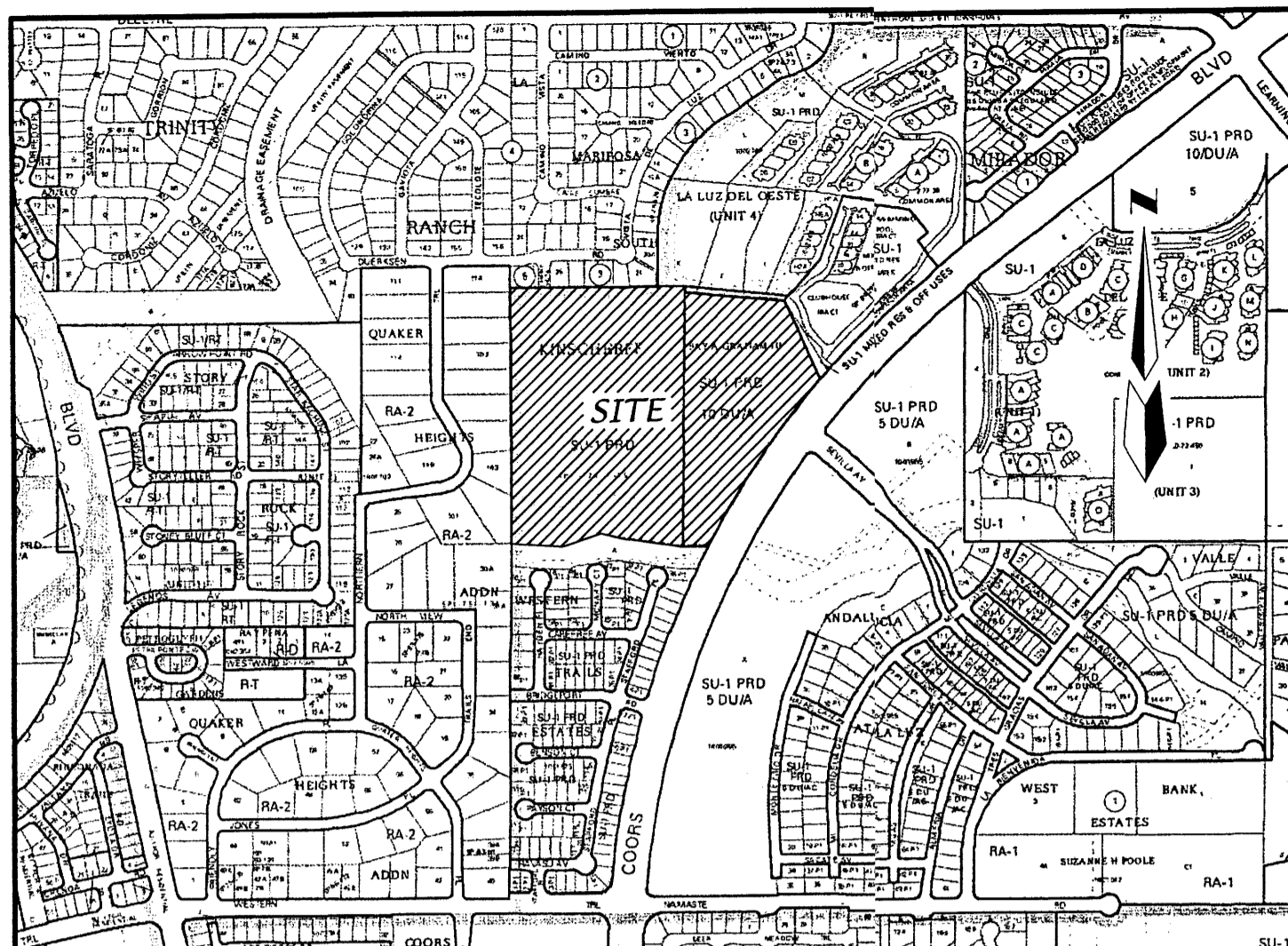
D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
 P.O. BOX 30701
 ALBUQUERQUE, NEW MEXICO 87190
 (505) 828-1990

OWNERS

MONTERREY LAND GROUP, LLC
 3 WIND ROAD NW,
 ALBUQUERQUE, N.M. 87120
 (505) 338-2286



LOCATION MAP
DESCRIPTION

A tract of land situated within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 1, SUMMARY PLAT OF KINSCHERRF LANDS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1978 in Volume B14, Folio 44, together with remaining portions of LANDS OF RAY A. GRAHAM III, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 13, 1981 and being more particularly particularly described as follows:

BEGINNING at a point of the herein described tract, from whence the Albuquerque Control Survey Monument "NM448-N6-A" bears N 57°57'43" E 741.17 feet;

THENCE 918.04 feet along a curve to the left, whose radius is 3894.72 feet through a central angle of 13°30'20" and whose chord bears S 34°19'21" W, 915.92 feet to a point;

THENCE N 89°43'20" W 116.93 feet to a point;

THENCE N 81°11'45" W 266.29 feet to a point;

THENCE N 76°03'18" W 93.12 feet to a point;

THENCE S 71°30'46" W 176.82 feet to a point;

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THENCE S 00°18'51" E 27.50 feet to a point;

THENCE S 85°09'22" E 440.14 feet to a point;

THENCE S 30°56'43" E 367.04 feet to the point of beginning and containing 29.3055 acres more or less.

EASEMENTS

EXISTING EASEMENTS

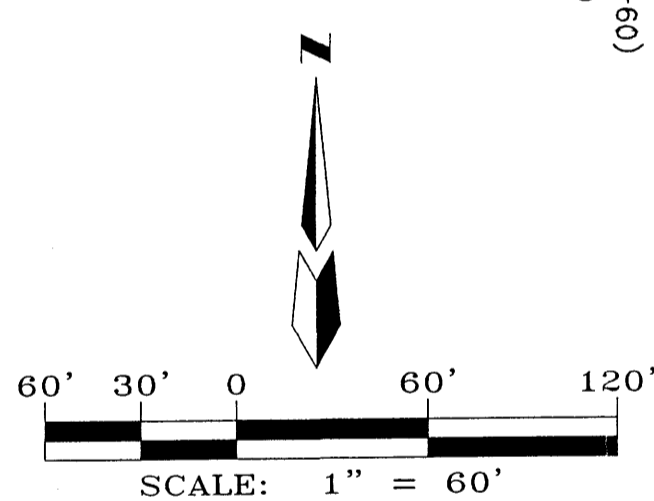
- ① EXISTING 7' PNM AND MST&T EASEMENT (03-04-75, BK.MISC.410, PG.37-39) (TO BE VACATED)
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NEW EASEMENTS

- (A) NEW PUBLIC DRAINAGE EASEMENT
- (B) NEW LANDSCAPE AND PUBLIC ACCESS EASEMENTS
- (C) NEW PRIVATE COMMON AREA
- (D) NEW LANDSCAPE EASEMENTS
- (E) NEW PUBLIC WATERLINE & SANITARY SEWER EASEMENT
- (F) NEW PUBLIC DRAINAGE & TRAIL ACCESS EASEMENT
- (G) NEW PUBLIC ACCESS, SANITARY SEWER & DRAINAGE EASEMENT
- (H) NEW PUBLIC ACCESS & WATERLINE EASEMENT

NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS ● SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719
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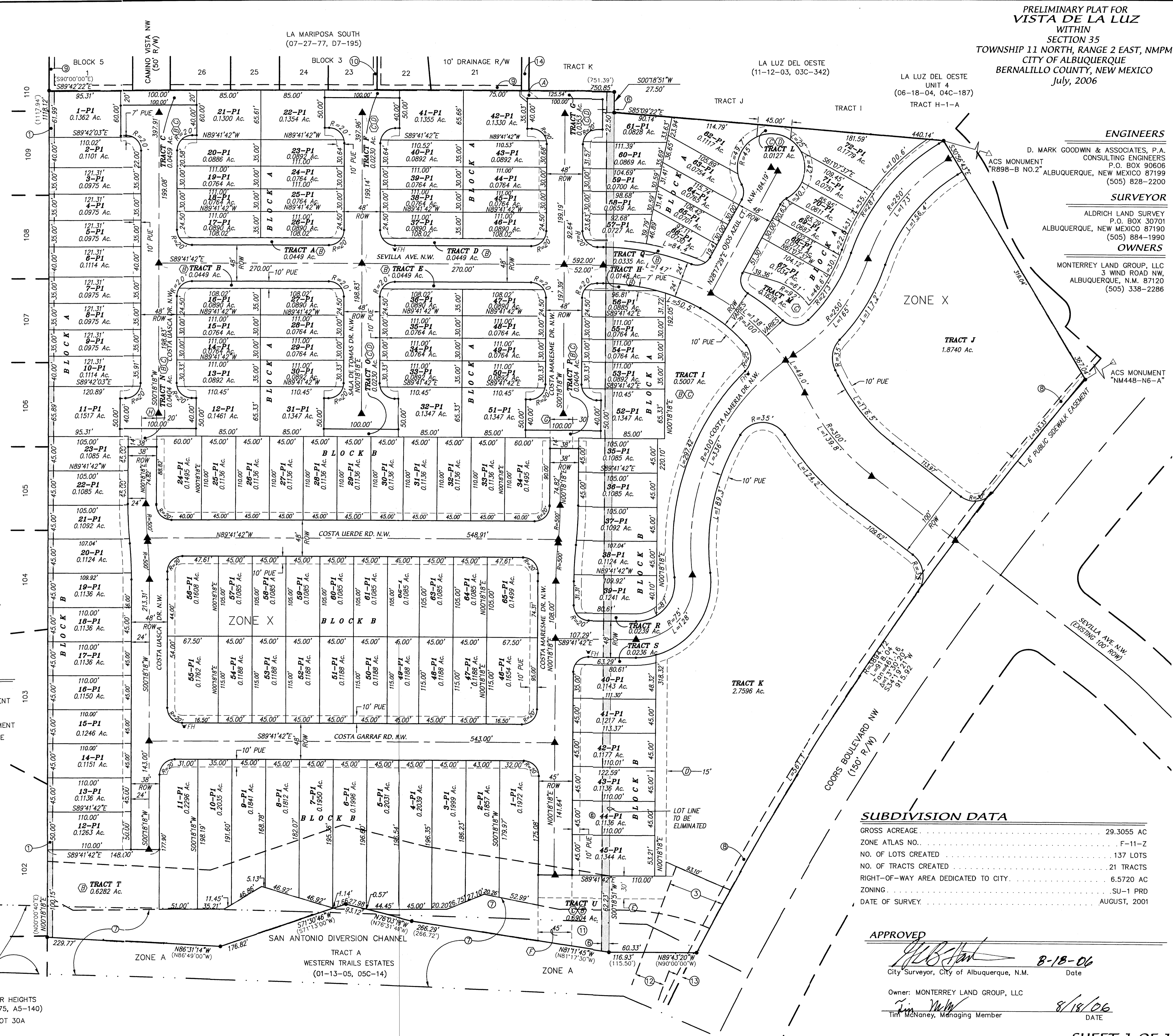


LEGEND

- 16 LOT NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY
- PUE PUBLIC UTILITY EASEMENT
- COA CITY OF ALBUQUERQUE
- EASEMENT VACATION

QUAKER HEIGHTS
 (09-25-63, C5-182)

QUAKER HEIGHTS
 (06-17-75, A5-140)
 LOT 30A



SUBDIVISION DATA

GROSS ACRES	29.3055 AC
ZONE ATLAS NO.	F-11-Z
NO. OF LOTS CREATED	137 LOTS
NO. OF TRACTS CREATED	6.5720 AC
RIGHT-OF-WAY AREA DEDICATED TO CITY	21 TRACTS
ZONING	SU-1 PRD
DATE OF SURVEY	AUGUST, 2001

APPROVED

[Signature] 8-18-06
 City Surveyor, City of Albuquerque, N.M. Date

Owner: MONTERREY LAND GROUP, LLC
[Signature] 8/18/06
 Tim McNamee, Managing Member DATE

PRELIMINARY PLAT FOR
VISTA DE LA LUZ
 WITHIN
 SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 July, 2006

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
 P.O. BOX 30701
 ALBUQUERQUE, NEW MEXICO 87130
 (505) 884-1990

OWNERS

MONTERREY LAND GROUP, LLC
 3 WIND ROAD NW,
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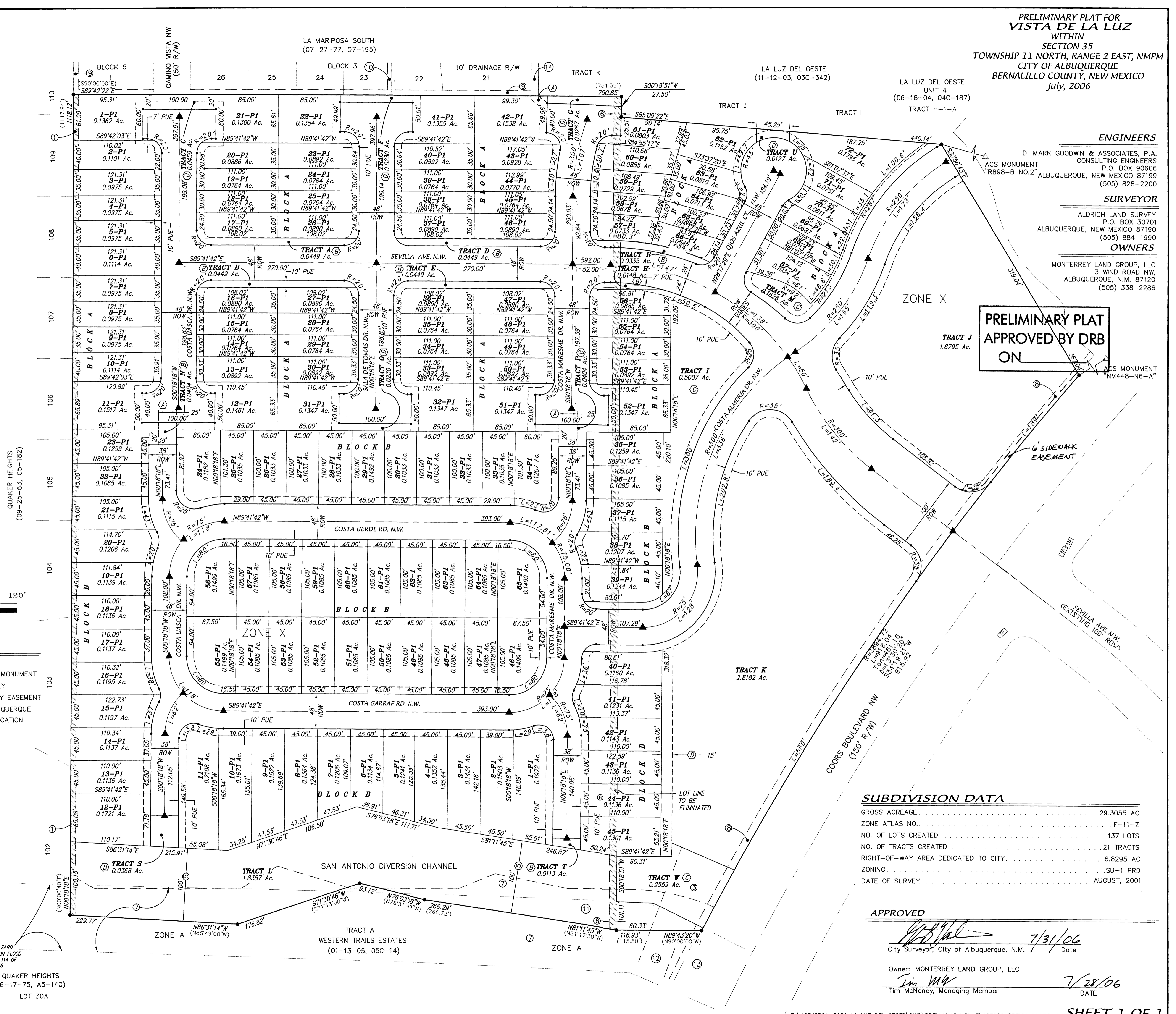
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 - NEW LANDSCAPE EASEMENTS

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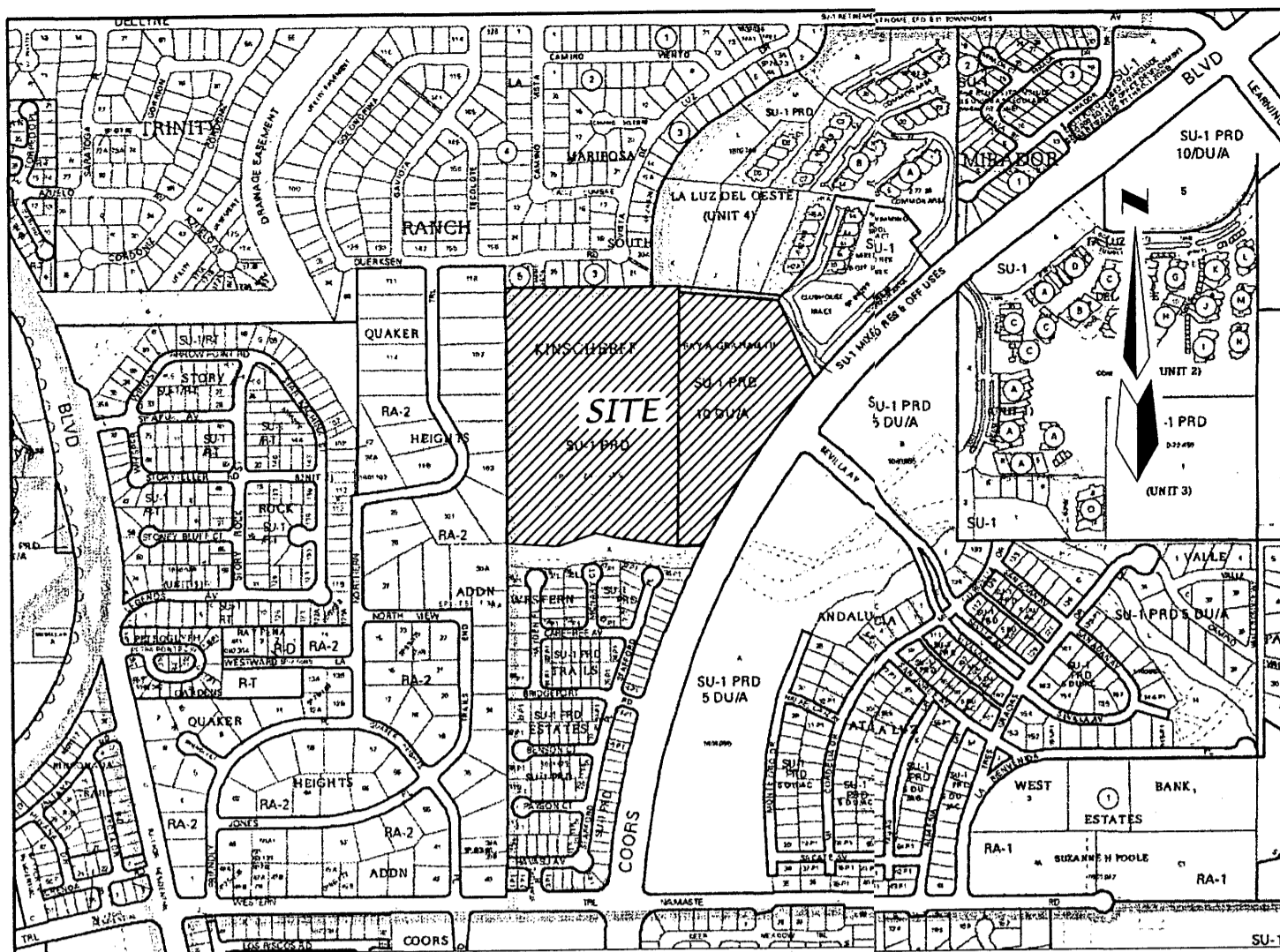
**PRELIMINARY PLAT
 APPROVED BY DRB
 ON**

SUBDIVISION DATA

GROSS ACREAGE	29.3055 AC
ZONE ATLAS NO.	F-11-Z
NO. OF LOTS CREATED	137 LOTS
NO. OF TRACTS CREATED	21 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY	6.8295 AC
ZONING	SU-1 PRD
DATE OF SURVEY	AUGUST, 2001

APPROVED
 City Surveyor, City of Albuquerque, N.M. 7/31/06
 Date

Owner: MONTERREY LAND GROUP, LLC
 Tim McNaney, Managing Member 7/28/06
 DATE

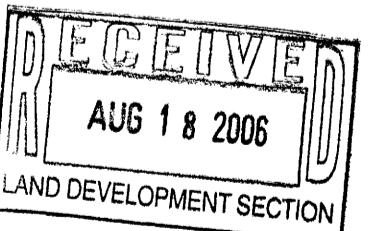
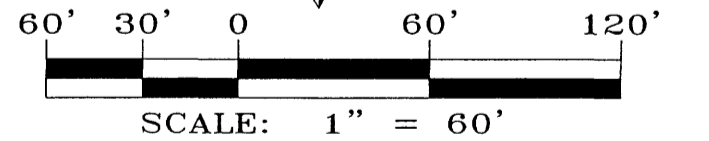
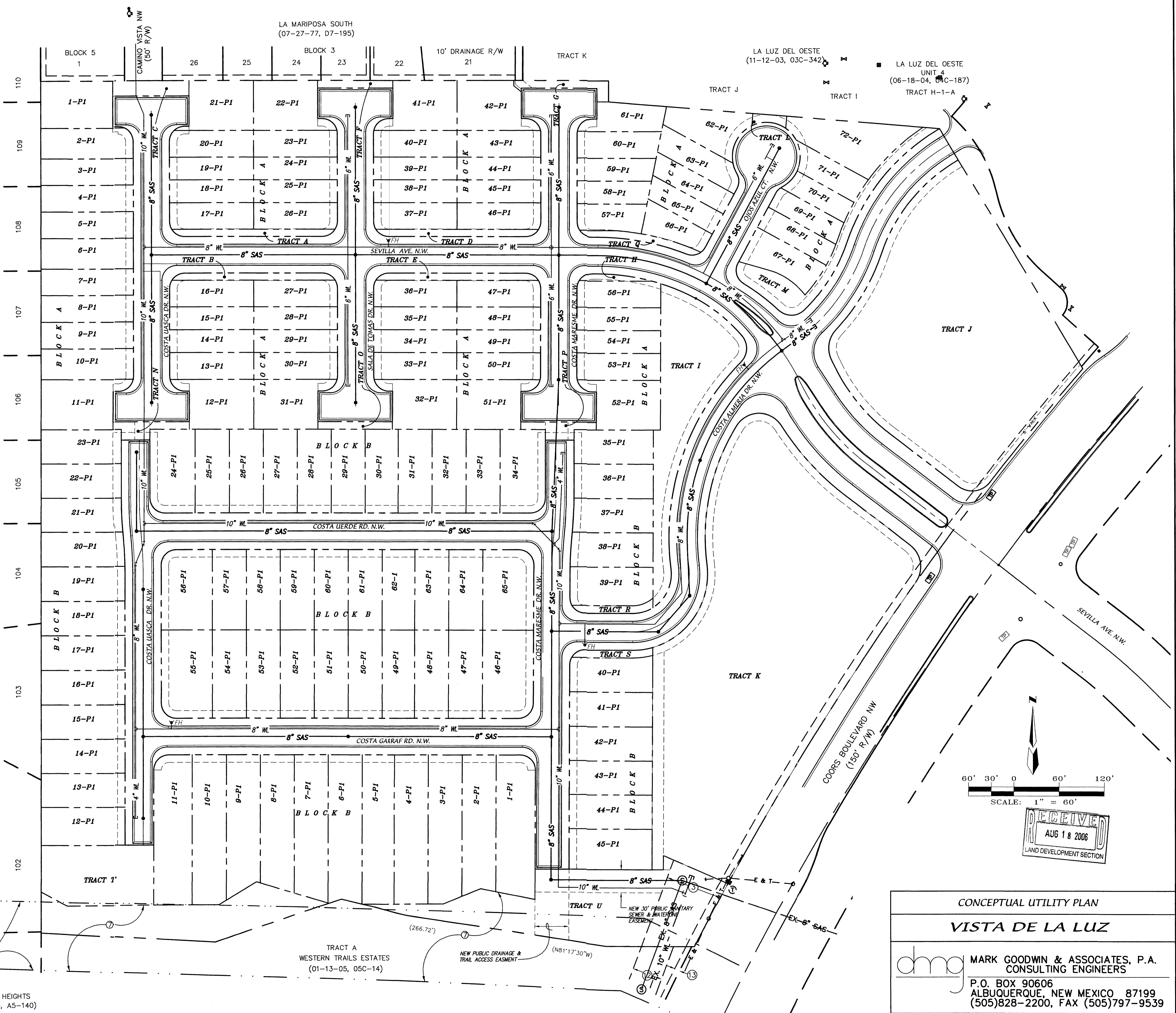


LOCATION MAP F-11-Z

QUAKER HEIGHTS
(09-25-63, CS-182)

LIMITS OF SPECIAL FLOOD HAZARD
AREA ZONE "A" AS SHOWN ON FLOOD
INSURANCE RATE MAP PANE 114 OF
825 EFFECTIVE SEPT. 20 1986

QUAKER HEIGHTS
(06-17-75, A5-140)
LOT 30A



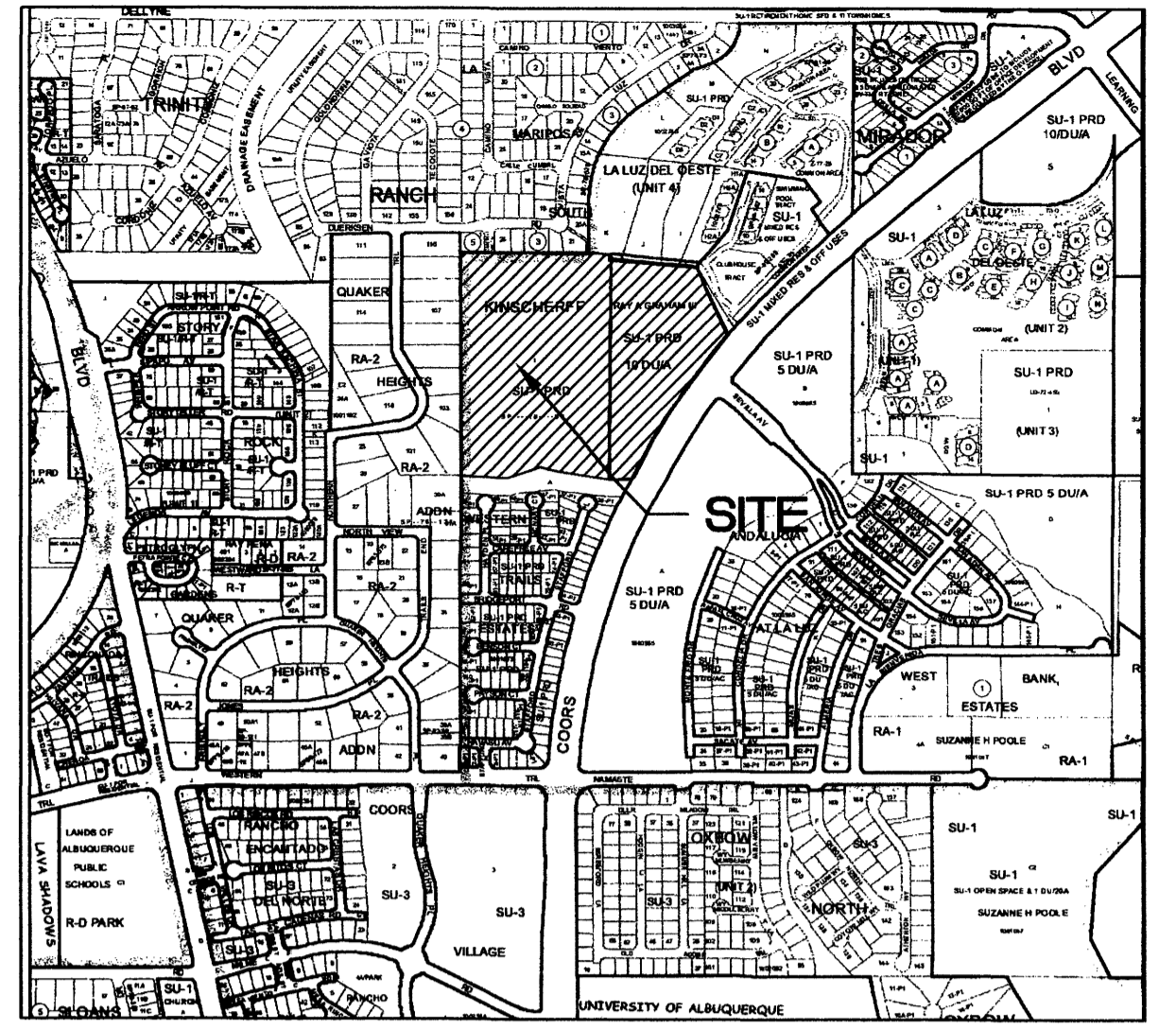
CONCEPTUAL UTILITY PLAN
VISTA DE LA LUZ

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GK	Drawn: RDQ	Checked: DMG	Sheet 1 of 1
Scale: 1" = 60'	Date: 08/06	Job: A05080	

LA LUZ DEL SOL
SU-1 PRD

SITE VICINITY



ZONE ATLAS F-11

SITE DATA:

SITE ACREAGE: 29.32 acres
 Zoning: SU-1 for PRD (10 du/ac)
 Land Use: 65 Single Family Residential Dwelling Units, 72 Townhomes, 5.1 acres O-1/C-1 Permissive (with exceptions), and 1.55 acres Private Commons Area.
 Gross Residential Density: 5.66 du/ac
 F.A.R. (O-1/C-1): 25 Max.
 Maximum Building Height: For Non-Residential - As allowed in the O-1 Zone per the City Comprehensive Zoning Code. For Residential - See General Note #3 and #4.
 Setbacks: See Design Standards, Sheet 5.
 Landscape: See Landscape Plan, Sheets 2 and 3.

PROJECT NUMBER: 1004675
 Application Number: 06EPC-1004675

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 20, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

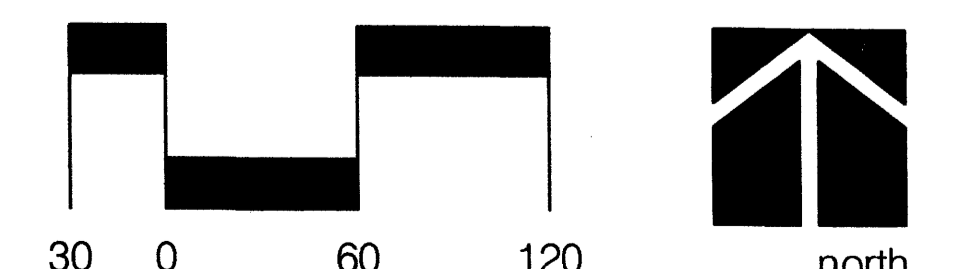
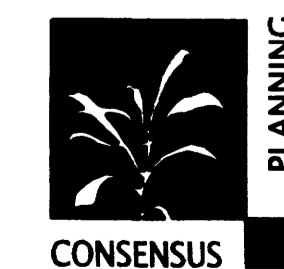
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

SITE PLAN FOR SUBDIVISION
VISTAS de LA LUZ
SUBDIVISION

Prepared for:
T.S. McNaney & Associates
3 Wind Road NW
Albuquerque, NM 87120

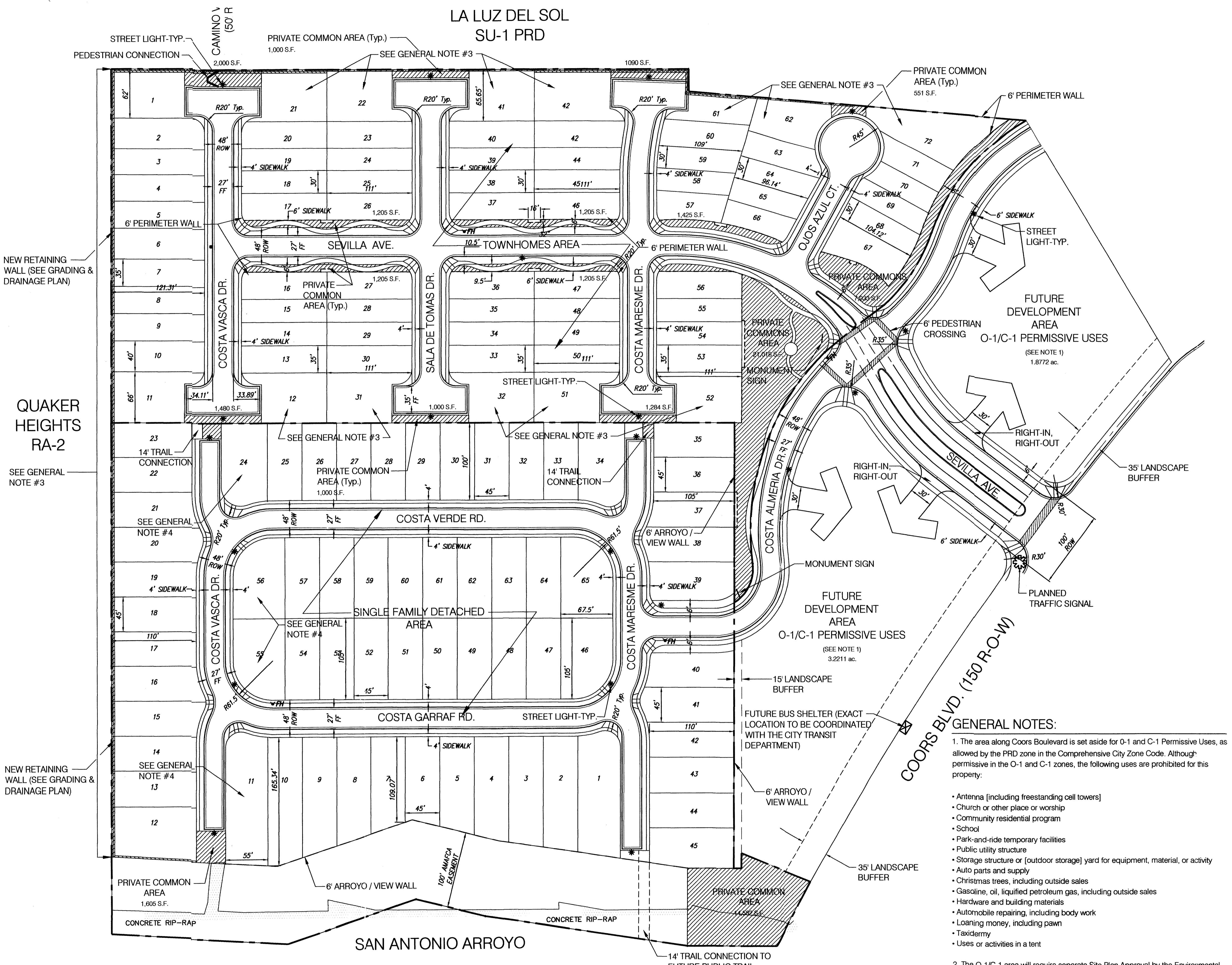
Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Scale 1" = 60'



August 1, 2006

Sheet 1 of 6

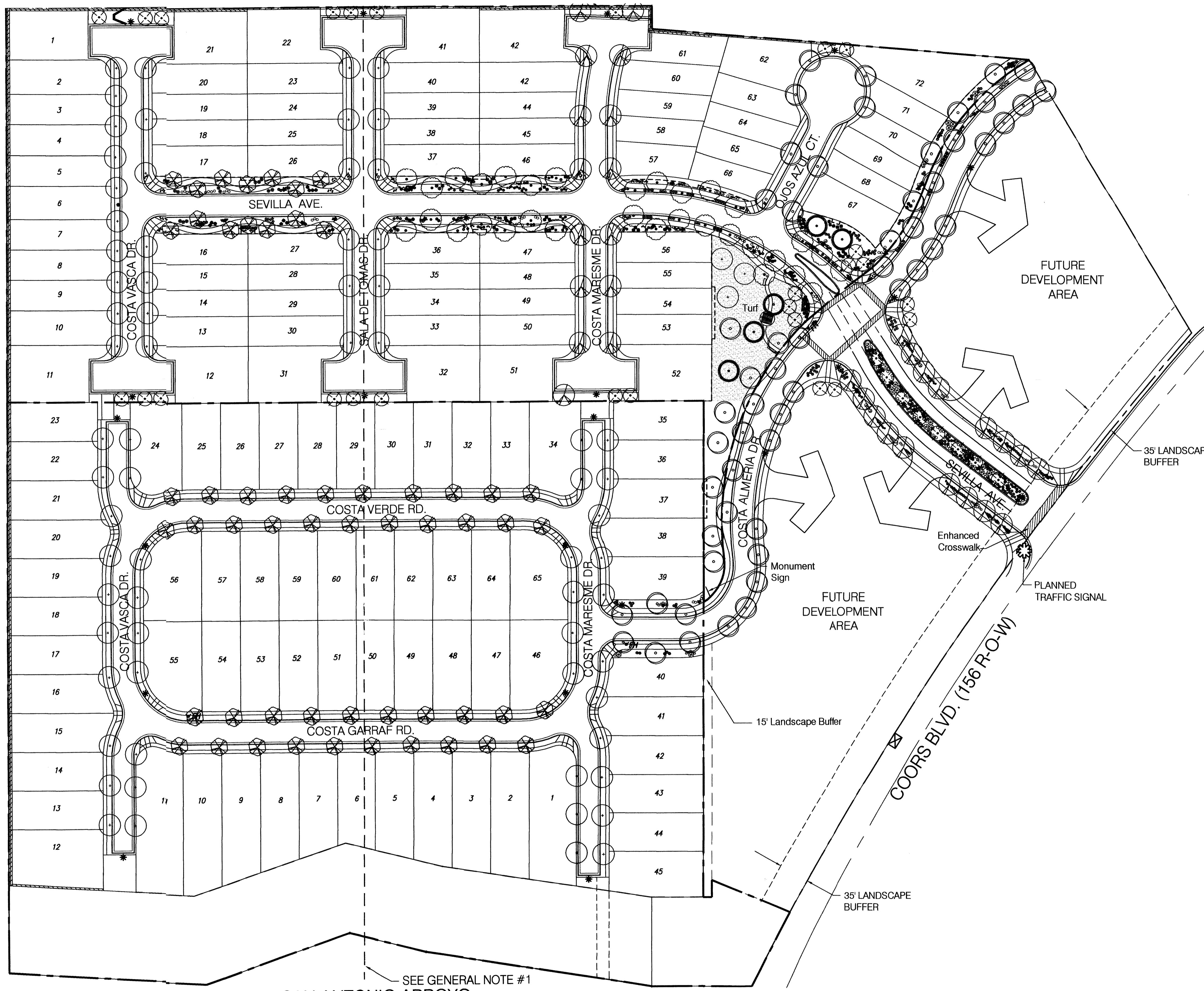


QUAKER HEIGHTS
RA-2
SEE GENERAL NOTE #3

NEW RETAINING WALL (SEE GRADING & DRAINAGE PLAN)

GENERAL NOTES:

- The area along Coors Boulevard is set aside for O-1 and C-1 Permissive Uses, as allowed by the PRD zone in the Comprehensive City Zone Code. Although permissive in the O-1 and C-1 zones, the following uses are prohibited for this property:
 - Antenna (including freestanding cell towers)
 - Church or other place of worship
 - Community residential program
 - School
 - Park-and-ride temporary facilities
 - Public utility structure
 - Storage structure or [outdoor storage] yard for equipment, material, or activity
 - Auto parts and supply
 - Christmas trees, including outside sales
 - Gasoline, oil, liquefied petroleum gas, including outside sales
 - Hardware and building materials
 - Automobile repairing, including body work
 - Lending money, including pawn
 - Taxidermy
 - Uses or activities in a tent
- The O-1/C-1 area will require separate Site Plan Approval by the Environmental Planning Commission when a specific development is proposed.
- All of the lots along the west boundary of the entire site shall be 1-story, flat-roofed, and not to exceed 15 feet in height. In addition, Lots 12, 21, 22, 31, 32, 41, 42, 51, 52, 61, 62, and 72 within the townhome area (North) shall be 1-story, flat-roofed, and not to exceed 15 feet in height.
- Lots 11, 24, 55, and 56 of the single family detached area (south) shall have a finished pad elevation 22 feet below the top of the western-most perimeter wall.



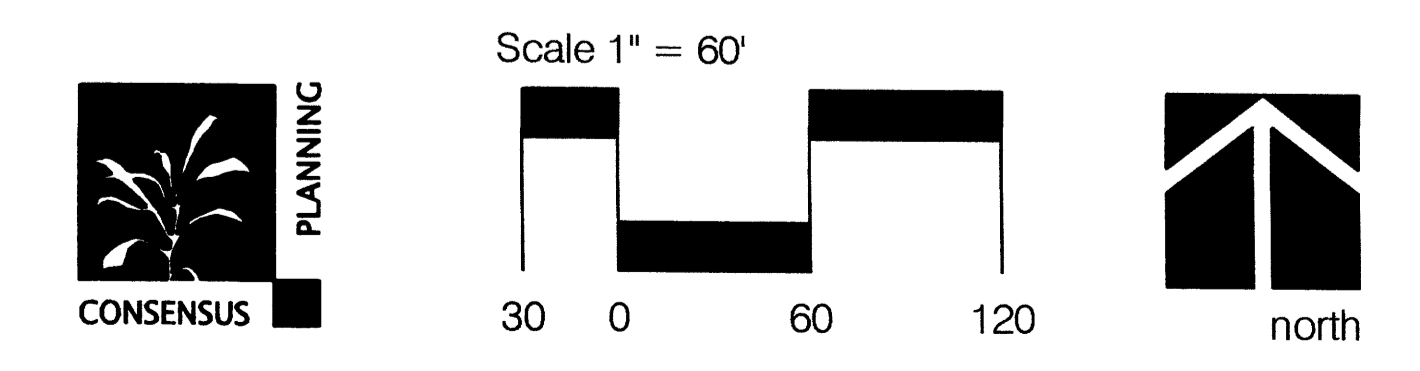
PLANT LEGEND

Symbol	Scientific Name Common Name	Water Use	Size
Trees			
	<i>Cercis occidentalis</i> Western Redbud (WR)	Medium	20'ht x 20'spr
	<i>Pyrus calleryana</i> 'Cleveland' Flowering Pear (FP)	Medium+	45'ht x 30'spr
	<i>Robinia ambigua</i> Purple Robe Locust (CP)	Medium	30'ht x 30'spr
	<i>Koeleria paniculata</i> Golden Rain Tree (GRT)	Low	25'ht x 25'spr
	<i>Gleditsia tricanthos</i> 'Moraine' Honey Locust 'Moraine' (HL)	Low+	30'ht x 30'spr
	<i>Pinus illecodermis</i> Boonian Pine (BP)	Low+	25'ht x 15'spr
	<i>Chilopsis linearis</i> Desert Willow (DW)	Low+	20'ht x 25'spr
Shrubs/Groundcovers			
	<i>Amorpha canescens</i> Leadplant (LP)	Medium	2'ht x 3'spr
	<i>Artemisia caucasicca</i> Silver Spreader (SS)	Medium	2'ht x 2'spr
	<i>Baccharis</i> 'Stam Thompson' Dwarf Coyotebush (DC)	Medium	2'ht x 4'spr
	<i>Berberis thunbergii</i> 'A. Nana' Crimson Pigmy Barberry (CB)	Low	2'ht x 2'spr
	<i>Caryopteris clandonensis</i> Blue Mist (BM)	Low+	3'ht x 3'spr
	<i>Nandina domestica</i> Dwarf Heavenly Bamboo (HB)	Low+	2'ht x 2'spr
	<i>Penstemon ambiguus</i> Sand Penstemon (SP)	Medium	2'ht x 2'spr
	<i>Pinus mugo mugo</i> Mugo Pine (MP)	Low+	4'ht x 4'spr
	<i>Potentilla fruticosa</i> Shrubby Cinquefoil (CF)	Medium	3'ht x 3'spr
	<i>Rhampholepis indica</i> India Hawthorn (IH)	Medium	3'ht x 4'spr
	<i>Rosmarinus officinalis</i> Rosemary (RM)	Low	3'ht x 3'spr
	<i>Salvia greggii</i> Cherry Sage (CS)	Medium	3'ht x 3'spr
	<i>Salvia lavandulifolia</i> Lavendar Sage (LS)	Low	2'ht x 2'spr
	<i>Santolina virens</i> Green Santolina (GS)	Medium	2'ht x 3'spr
	<i>Syringa patula</i> Lilac (LL)	Low	6'ht x 6'spr
Ornamental Grasses			
	<i>Aristida purpurea</i> Purple Threeawn (PT)	Low	2'ht x 1'spr
	<i>Muhlenbergia cap.</i> 'Regal Mist' Muhly Grass (MG)	Low	3'ht x 3'spr
	<i>Miscanthus sinensis</i> Maiden Hair Grass (MH)	Low	5'ht x 4'spr
	Moss Rock Boulder (3' x 3' min.)		

LANDSCAPE PLAN
VISTAS de LA LUZ
SUBDIVISION

Prepared for:
T.S. McNaney & Associates
3 Wind Road NW
Albuquerque, NM 87120

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



SEE GENERAL NOTE #1
SAN ANTONIO ARROYO

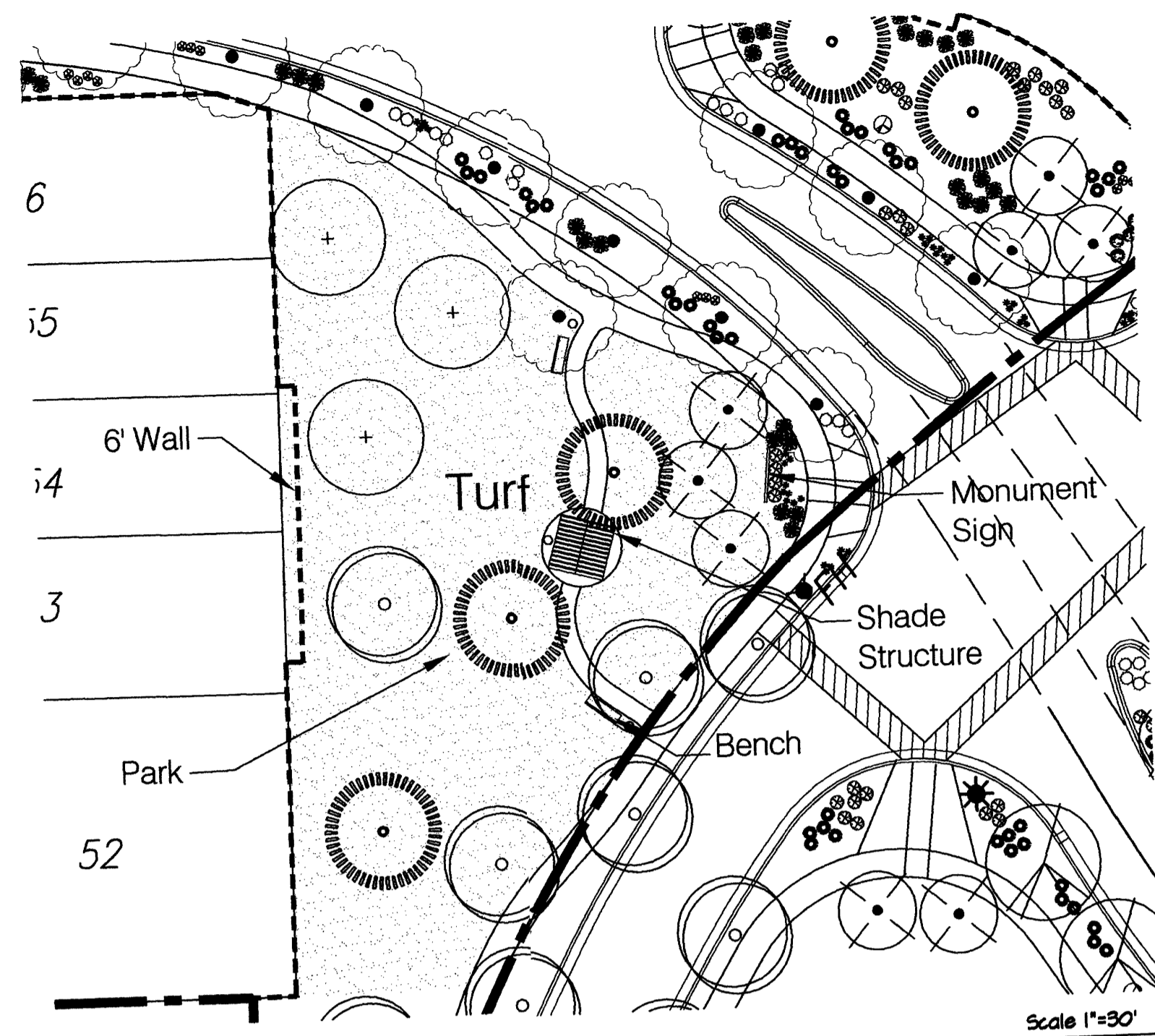
IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A temporary spray system will be provided to establish the native seeded areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

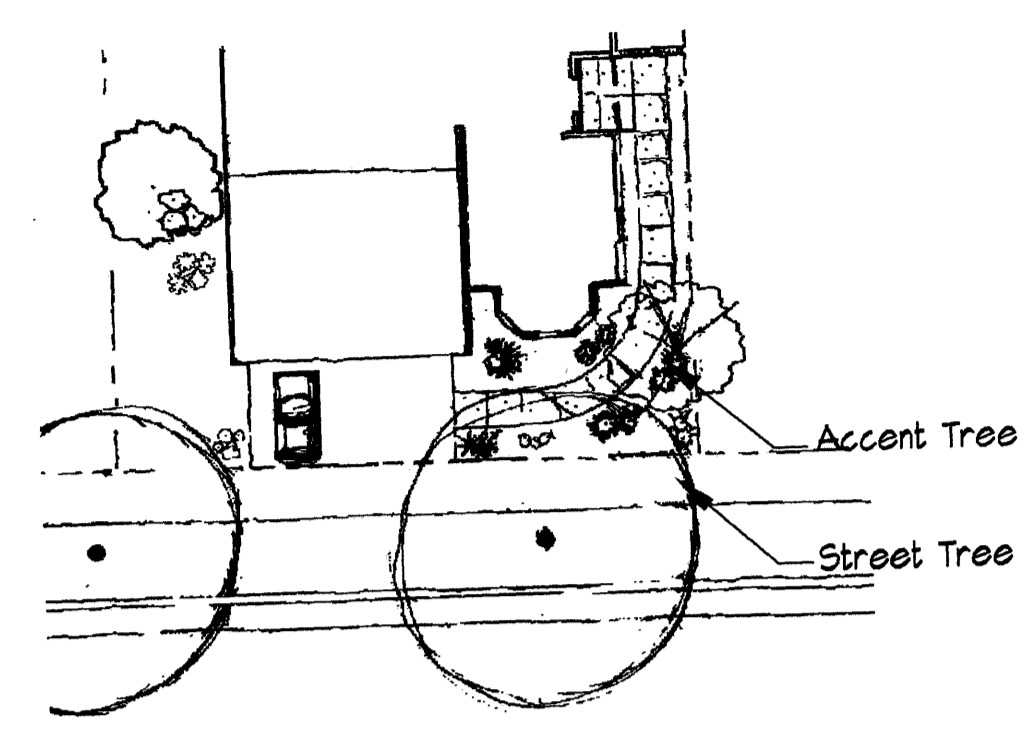
LANDSCAPE NOTE
Seventy-five percent of the landscape area shall be covered with living plant material, as measured by the mature canopy of the plant.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

GENERAL NOTE:
1. Trees west of the N-S dashed line shall be no greater than 25 feet in height at full maturity. Trees east of this line shall be no greater than 45 feet in height.



Plan View Neighborhood Park



Plan View Typical Single Family Lot Layout

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ SINGLE FAMILY HOMES.

- 2 Accent Tree
- 1 Street Tree
- 5 Shrubs (min. 5 gallon)
- 10 Shrubs (min. 1 gallon)
- 3 Landscape Boulders (3' x 3' min.)

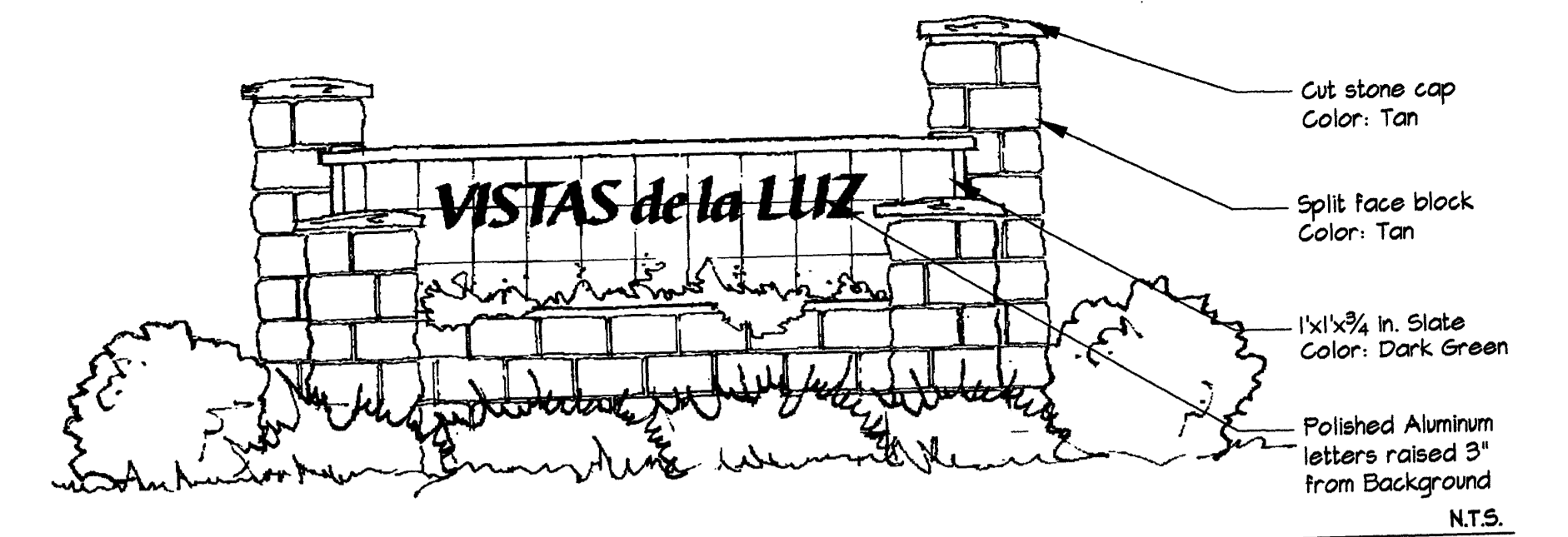
In addition, all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

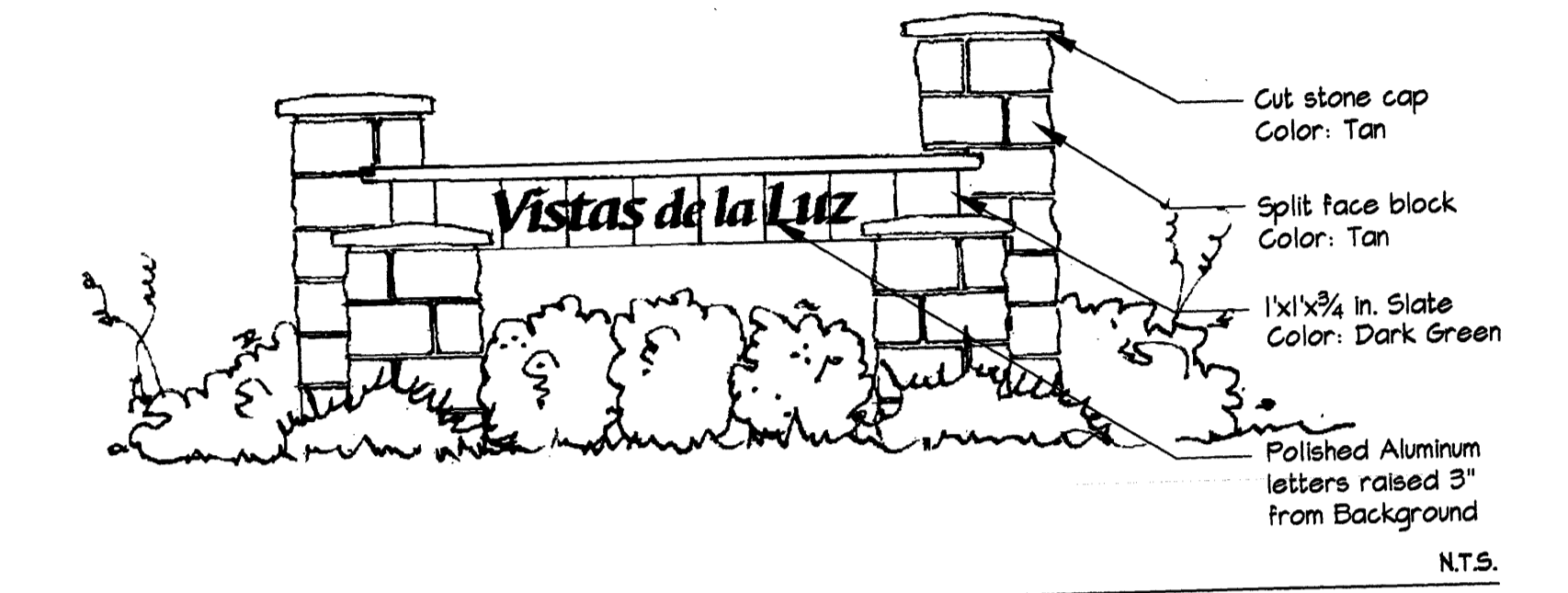
Irrigation System w/Automatic Timer will also include plantings within R-O-W.

The following approved accents can be used for front yard landscaping:

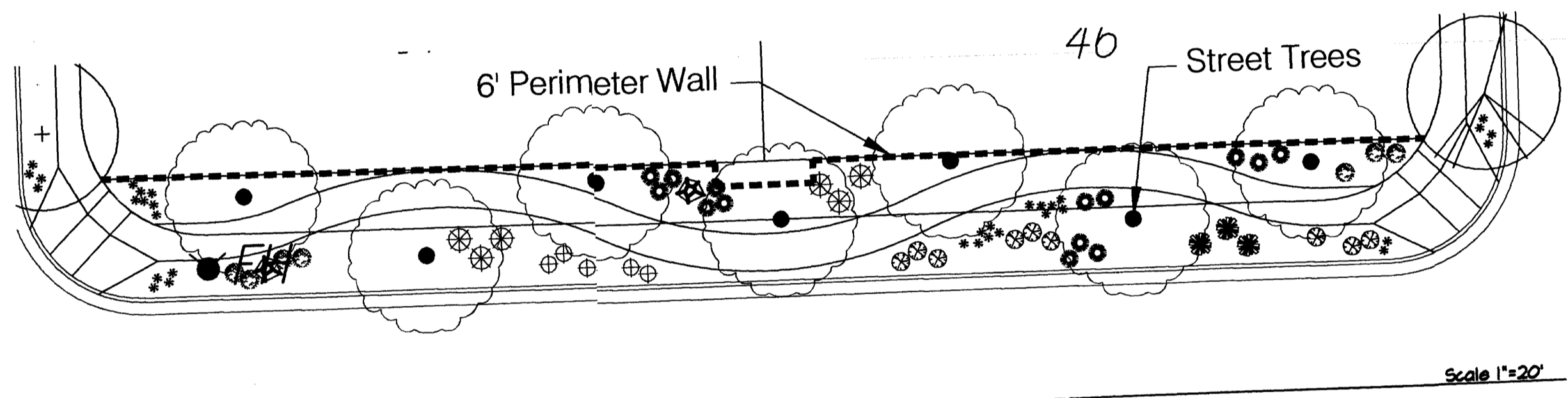
- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)



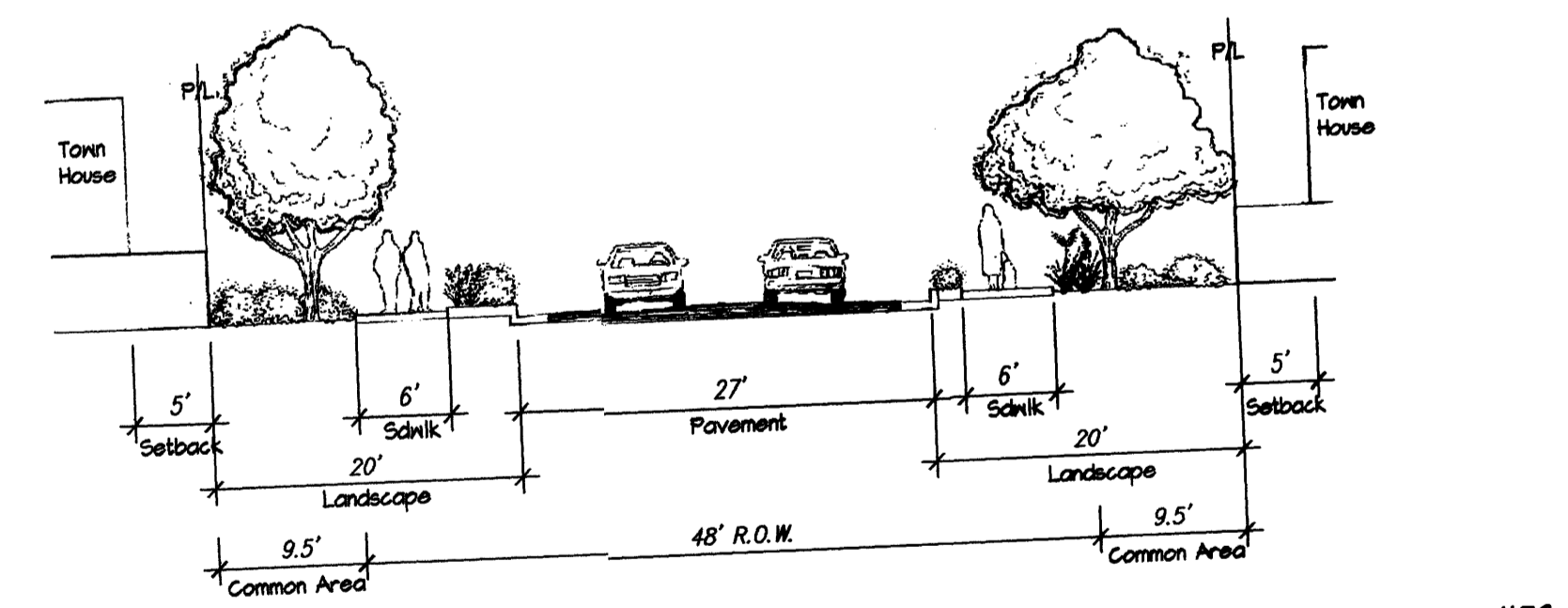
Main Entry Monument Sign



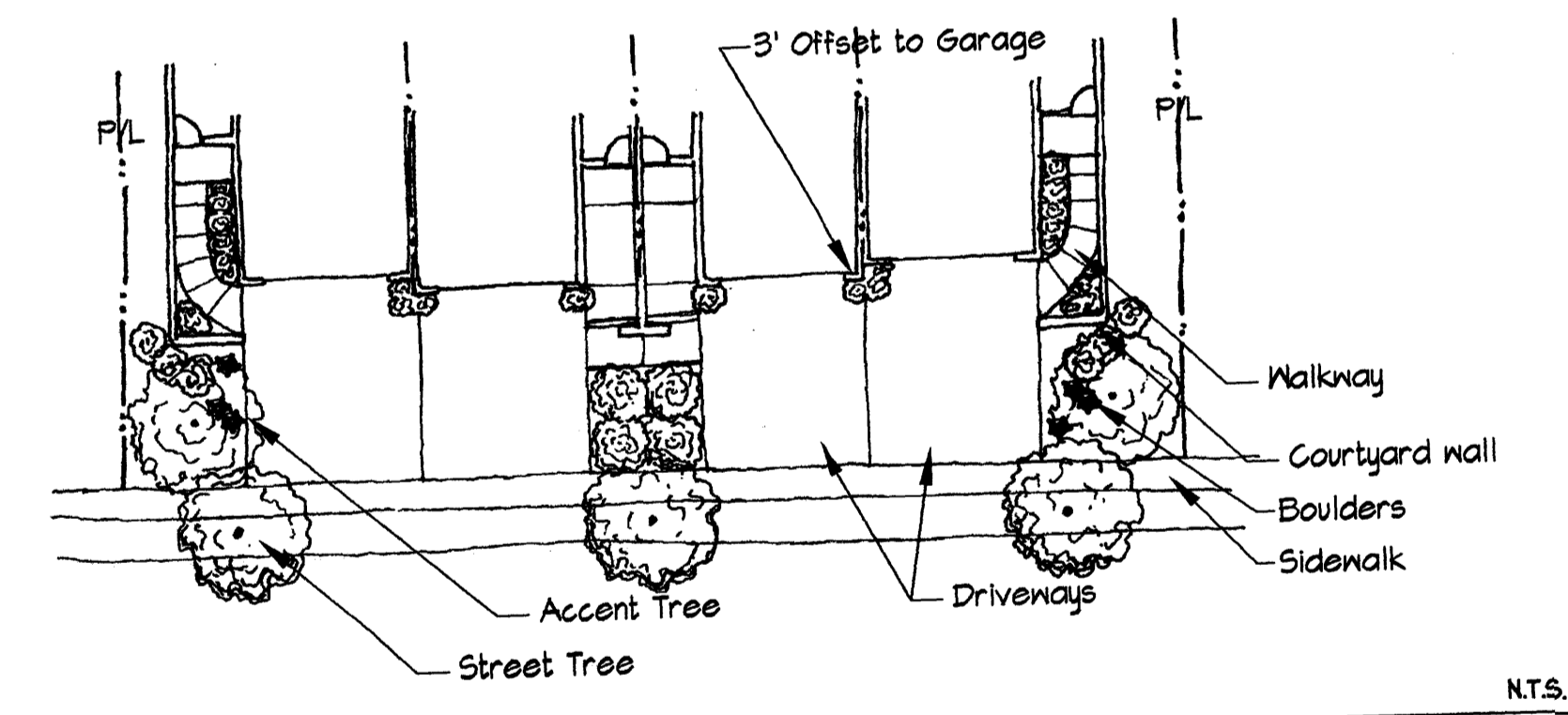
Single Family Entry Monument Sign Elevation



Planting Detail Along Maduri



Street Section at Maduri



Four-Plex Townhome - Planview

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ TOWNHOMES.

- 1 Accent Trees
- 1 Street Tree (not required in front of units with attached garages)
- 4 Shrubs (min. 5 gallon)
- 5 Shrubs (min. 1 gallon)
- 2 Landscape Boulders (3' x 3' min.)

In addition, all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

Irrigation System w/Automatic Timer will also include plantings within R-O-W.

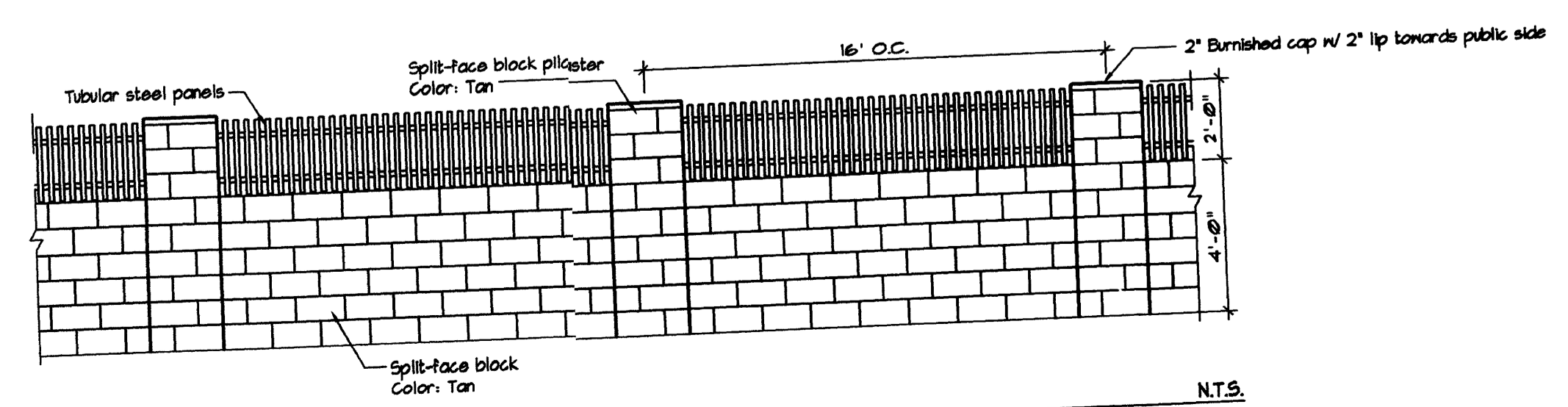
The following approved accents can be used for front yard landscaping:

- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)

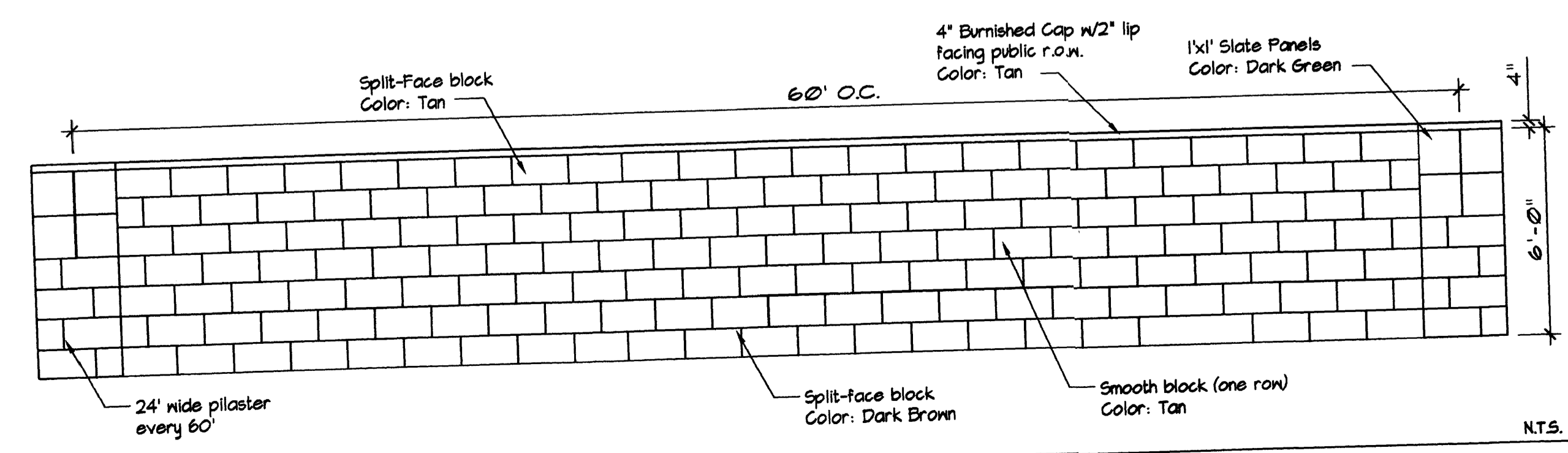
LANDSCAPE PLAN DETAILS
VISTAS de LA LUZ
SUBDIVISION

Prepared for:
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Albuquerque, NM 87120

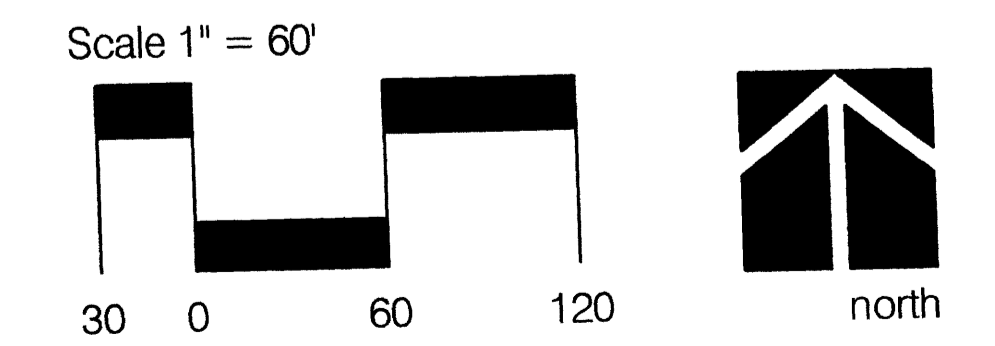
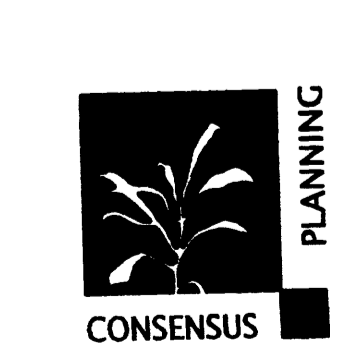
Prepared by:
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Arroyo / View Wall Elevation



Perimeter Wall Elevation



August 1, 2006

Vistas de La Luz Design Standards

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property. The primary goal for this property is to achieve a mixed use, mixed density community. The Design Standards are intended to help facilitate the design of buildings which respect the natural conditions of this site and maintain and highlight the views of the Sandia and Manzano Mountains.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, and signage that will create the visual image desired for Vistas de La Luz. They are intended to be complementary to the surrounding area. These standards address the entire project, which includes non-residential (i.e. commercial and office) and the residential (single-family and townhome) development. This Site Plan for Subdivision shall comply with all design regulations in the Coors Corridor Plan.

Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(6) Special Use Zone, and major amendments shall be approved by the Environmental Planning Commission.

I. PEDESTRIAN and SITE AMENITIES

The creation of a pedestrian-friendly environment will be a primary design objective for Vistas de La Luz. Objectives to achieve this goal include maintaining a high quality and consistency in style for site amenities including benches, walkways, lighting, etc. Landscaped private common areas shall be provided where the residents of the development can gather and enjoy the space.

Trails and sidewalk systems will be provided at Vistas de La Luz. The City's Trails and Bikeway's Facility Plan proposes a Primary Trail to cross underneath Coors Boulevard and follow the San Antonio Arroyo. Vistas de La Luz will provide a connection to this future trail from its southern property line, which will connect to the City's overall trail system.

- All pedestrian paths shall be designed to be handicapped accessible (see Americans with Disabilities Act Criteria for Barrier-Free Design, except where topography makes this unfeasible).
- Sidewalks along Maduri Avenue and Vidal Drive shall be six feet in width. All other sidewalks shall be 4 feet in width.
- Pedestrian connections to buildings shall be provided in parking lots with greater than 50 spaces and shall connect to adjacent roadways, sidewalks, and pathways.
- Pedestrian crossings shall be clearly demarcated with special paving treatment where they cross vehicular entrances and drive aisles.
- Restaurants shall provide outdoor patios and shall be shaded by trees and/or a shade structure that is architecturally integrated with building architecture.
- Non-residential projects shall provide secure bicycle storage racks that are conveniently located near building entrances. The minimum number of bicycle racks shall be determined by the number of parking spaces provided, consistent with the City Zoning Code.
- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to the public sidewalk.

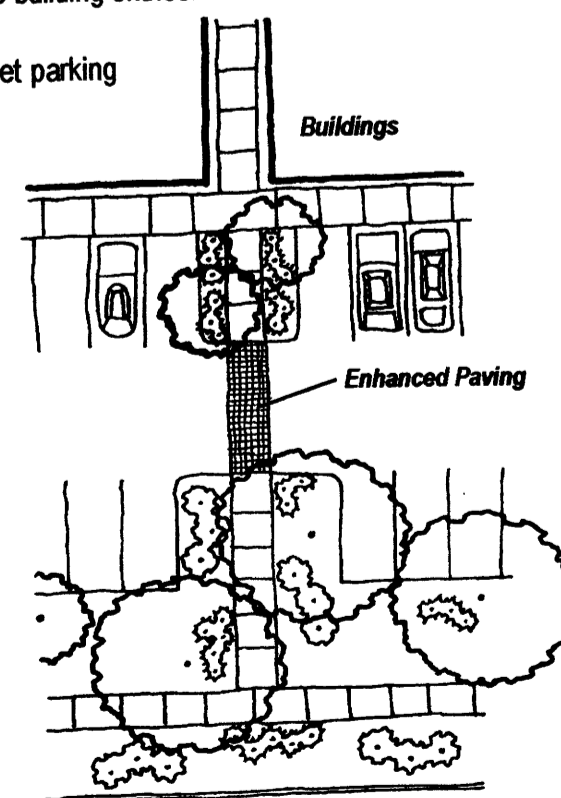


PEDESTRIAN AREAS - should include shade trees

II. PARKING

In order to support the goals for the property regarding pedestrian accessibility, careful attention should be paid to the parking design. An effort should be made by site designers to lessen the impact of parking facilities on the land.

- Handicapped parking spaces shall be provided adjacent to building entries.
- The total maximum amount of parking provided shall meet parking requirements in the City Zoning Code, plus 10 percent.
- Parking areas shall be designed to include a pedestrian link to buildings.
- Parking areas setback shall be a minimum of 15 feet to allow for an appropriately sized landscape buffer adjacent to roadways.
- Landscaping for screening purposes shall be provided where parking is adjacent to roadways. Screen walls, if used, shall be architecturally compatible with the surrounding buildings and shall not exceed 3 feet in height.
- Parking shall be placed on at least 2 sides of a building.
- Large parking areas shall not dominate street frontages.
- In order to lessen the visual impact of parking areas, parking facilities should be broken into a series of smaller areas.



PARKING - pedestrian links should be provided between parking areas and buildings

III. BUILDING STANDARDS

All development (non-residential, townhomes, and single-family residential) shall comply with the following building standards, except where noted.

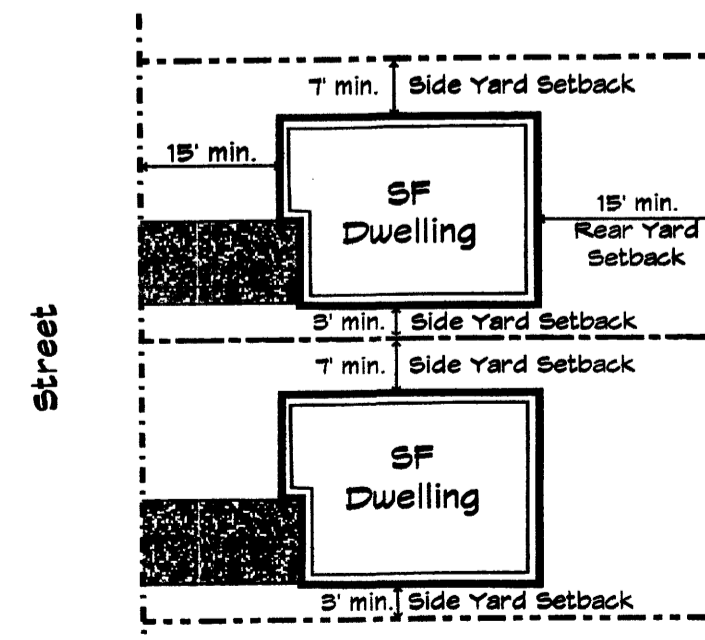
- ROOF COLORS AND MATERIALS**
 - Roofs may be flat, pitched, or combination of both and shall be made of non-reflective materials. Non-metal roof colors shall be limited to sand, tan, brown, and sage green.
 - Metal roofs may only be used on the non-residential buildings as accents and colors shall be limited to green, brown, and silver.
- ACCESSORY BUILDINGS AND REMODELS**
 - All accessory buildings and/or building remodeling under 200 square feet are permitted without special approval from the City. Projects that are larger than 200 square feet are required to apply for administrative approval from the City Planning Director.
- BUILDING HEIGHTS**
 - Non-residential building heights shall be limited to the regulations for the O-1 zoning district from the City Comprehensive Zoning Code.
 - Residential building heights shall not exceed 26 feet in height and shall be consistent with City Comprehensive Zoning Code, unless otherwise restricted as described below.
 - All of the lots along the west boundary of the entire site shall be 1-story, flat-roofed, and not to exceed 15 feet in height. In addition, Lots 12, 21, 22, 31, 32, 41, 42, 51, 52, 61, 62, and 72 shall be 1-story, flat-roofed, and not to exceed 15 feet in height.
 - Lots 11, 25, 57, and 58 of the single family detached area (south) shall have a finished pad elevation 22 feet below the top of the westernmost perimeter wall.
- Highly reflective surfaces shall be screened from public view.
- Stucco shall be the primary building material. Stucco colors shall be limited to shades of brown, tan, sage green, and sand. High intensity colors, such as metallics, black or fluorescent colors are prohibited as predominate colors on facades.
- Accent colors in entry portals, front door, window frames and trim, and other incidental elements shall be shades of white, blue, brown, and green.
- Windows may be wood, metal or solid vinyl. All windows on non-residential buildings that are visible from nearby streets and paths shall be glazed with clear, non-reflective glass. Reflective film is prohibited.
- Exterior doors, including garage doors, shall be stained or painted wood, or painted metal.
- The minimum residential lot size is 2,700 square feet for the townhouse lots in the north area of the subdivision and 4,500 square feet for the single family detached lots in the south area of the subdivision.
- NON-RESIDENTIAL**
Permissive land uses are per the PRD, O-1, and C-1 zones. Conditional uses in the O-1 and C-1 zones are prohibited. In addition, some permissive uses within the O-1 and C-1 zones have been further restricted as listed on Sheet 1, General Notes.
 - All non-residential buildings shall comply with Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses of the Comprehensive Zoning Code, as well as other local building and fire codes.
 - Finished building materials shall be applied to all exterior sides of buildings and structures and shall be consistent on all sides. Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
 - Generic franchise building elevations or canopies are prohibited.
 - No plastic or vinyl building panels, awnings, or canopies are allowed. Awnings and canopies, if used, shall be integrated with building architecture.
 - Maximum building height shall be per the O-1 zone in the Comprehensive Zoning Code.
 - Entry ways to non-residential buildings shall be clearly defined.
 - The maximum floor area ratio shall be 0.25.

IV. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks shall be pedestrian walkways and screening materials, including landscaping and walls. All development at Vistas de La Luz shall comply with the setback requirements of the Coors Corridor Plan.

A. SINGLE FAMILY DETACHED

- Minimum Front Yard Setbacks: 15 feet, except 20 feet for garage doors. For houses with a three car garage, the third garage shall meet the minimum front yard setback.
- Minimum Rear Yard Setbacks: 15 feet.
- Minimum Side Yard Setbacks: 3 feet on one side and 7 feet on the opposite side, for a total separation of 10 feet between single family units. 10 feet on the street side of corner lots.



SINGLE-FAMILY DETACHED SETBACKS

B. TOWNHOMES

- Minimum Front Yard Setbacks: 15 feet, except 20 feet for garages.
- Minimum Rear Yard Setbacks: 15 feet.
- Minimum Side Yard Setbacks: Zero lot line is allowed, 10 feet on the street side of corner lots and 5 feet from a side lot line separating the townhome area from the single-family detached area.

C. GARAGES

- In order to de-emphasize the garages, the building setbacks shall be staggered as follows:
 - In the single-family detached area (south), no more than 3 houses in a row with garages facing the street can have the same setback. The minimum off-set for houses shall be 3 feet.
 - For the townhouse area (north), architectural features (courtyard walls) have been added to the units that project in front of the garages and garages are offset by 3 feet.

D. NON-RESIDENTIAL

- Setbacks shall comply with the setback requirements of the O-1 zone in the Comprehensive City Zoning Code and the Coors Corridor Plan.

V. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the property. The goal is to provide a richly landscaped community with tree-lined streets and common landscaped areas. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance, and landscape regulations included in the City Comprehensive Zoning Code. Trees west of the north-south dashed line (see Sheet 2, Landscape Plan, General Note #1) shall be no greater than 25 feet in height at full maturity. Trees east of this line shall be no greater than 45 feet in height.

The following are minimum standards for the development of specific landscape plans:

A. RESIDENTIAL

- For single family residential projects, street trees shall be provided along roadways at a rate of approximately one tree per lot. For the townhome area, street trees shall be provided where they do not interfere with the driveways leading to attached garages.
- Individual lot owners will be responsible for the installation and maintenance of the landscape on their property, including the street tree planted in the right-of-way in front of the lot. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the lot owner in a living, attractive condition.
- Landscaping within the private common areas shall be maintained by the homeowners association.
- The homeowners association shall maintain trees planted in the right-of-way to ensure the trees' survival.

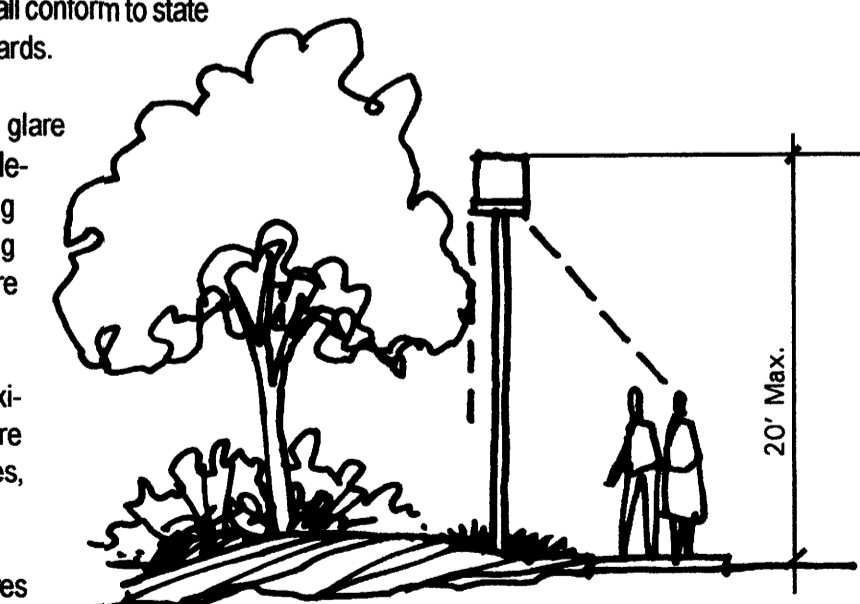
B. NON-RESIDENTIAL

- Landscape buffers along Coors Boulevard and the east side of Vidal Drive shall be the responsibility of the developer of the non-residential projects.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials.
- At least 20% of the parking lot area shall be landscaped.
- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet. Living, vegetative materials shall cover a minimum of 75 percent of the landscaped areas. The area and percentage is calculated based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of river rock, shredded bark, gravel mulch, or similar material which extends completely under the plant material. Bark shall only be utilized as mulch and not as a permanent ground cover.
- Appropriate landscape headers shall be used to separate any turf and groundcover areas.
- Interior parking areas shall have one tree for each 10 parking spaces with no space being more than 100 feet from a tree.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.

VI. LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and night-time appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source with glare cut off angles of a maximum of 75 degrees to prevent spillage onto adjoining properties or light pollution of the existing "dark sky". Cobra and sodium lights are prohibited.
- Parking lot light fixtures shall be a maximum of 20 feet in height, except where they are within 70 feet of residential uses, they shall be a maximum of 16 feet.
- All building-mounted exterior light fixtures in the non-residential areas shall be mounted at a height no greater than 16 feet from the finished floor of the building.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.



LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards

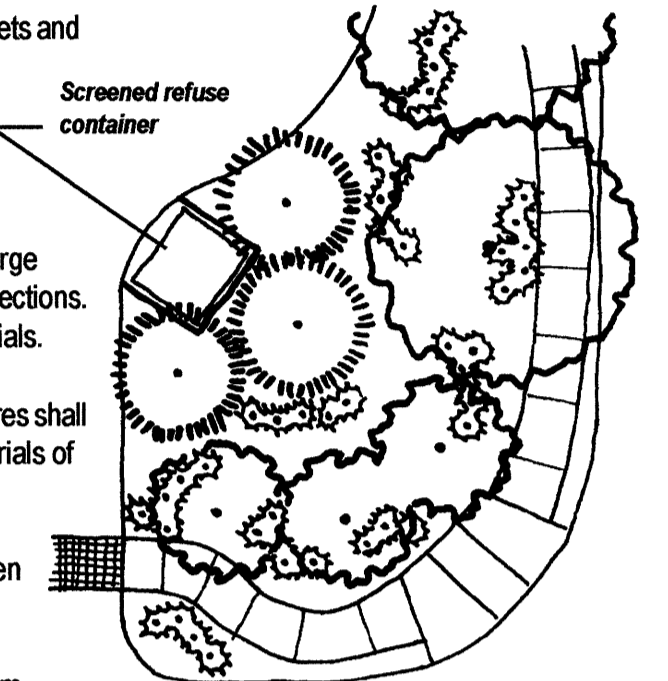
- Site lighting shall be restricted to a maximum off-site luminance of 1,000 lamberts from any point and 200 foot lamberts from any residential property line.
- Accent lighting is permitted, however, surface lighting is limited to an average of 2 footcandles measured 4 feet from the surface level of any point on the building surface being lighted.
- Average light levels shall be limited to 2 footcandles with maximum levels limited to 16 footcandles as measured from 4 feet above the surface level of any point on the site.

VII. SCREENING / WALLS and FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the property. The site orientation of these elements shall be away from any street or pedestrian area. The standards established in the landscape and setback sections will provide the main objectives to screening unattractive elements and activities.

A. SCREENING

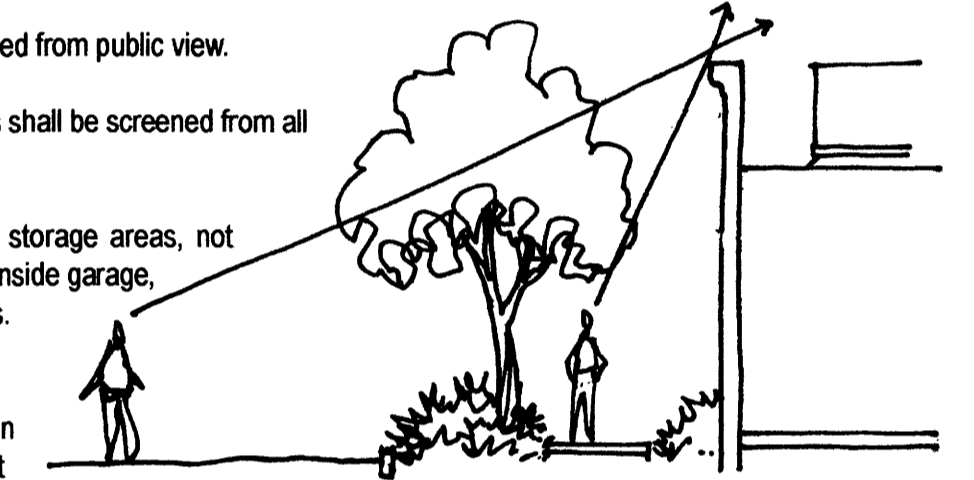
- Parking areas shall be located away from adjacent streets and properties and shall be screened with plant materials, walls, or earthen berms. Such screening shall have a minimum height of 3 feet.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections. Trash enclosures shall be screened with plant materials.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme and materials of the site and adjacent buildings.
- No refuse collection areas shall be allowed between streets and building fronts.
- All roof-mounted equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- Loading areas shall be screened from public view.
- Exterior trash and utility boxes shall be screened from all views.
- The development shall have storage areas, not visible from street or location inside garage, for residential automated carts.



REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials

B. WALLS/FENCES

- Perimeter walls are allowed on the property; however, an effort should be made by the site designer to lessen its visual impact through landscaping, providing insets, or openings.
- Walls and fences shall comply with Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls.
- Unfinished block walls and barbed wire, chain link, concertina wire, and plastic/vinyl fencing are prohibited.
- Development adjacent to the San Antonio Arroyo shall comply with Section F, Design Guidelines for Development Adjacent to Major Open Space Arroyos and Major Open Space Links of the Facility Plan for Arroyos.
- The maximum height of retaining walls is 8 feet. Areas requiring greater retainage are required to be terraced in 6 foot vertical segments with a 4 foot horizontal separation, as required in the City Wall Regulations.
- Yard walls shall be constructed of adobe, cast pumice, concrete masonry, rastra or stuccoed masonry block and shall be finished to match adjoining exterior house walls. Walls shall not exceed 6 feet in height except at the gate opening unless approved by the Architectural Control Committee and the City of Albuquerque.
- The maximum height of the wall adjoining the open space, private commons areas, or pathways is 6 feet.



MECHANICAL SCREENING - should be screened from public view

DESIGN STANDARDS Vistas de La Luz SUBDIVISION

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Prepared by:
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302 Eighth Street NW
Albuquerque, NM 87102

8. The design and materials of the perimeter wall shall be compatible with the architectural theme and materials of the buildings on the site and shall be earthtone colored and contain surface treatments.
9. An automatic underground irrigation system shall be provided to support all required landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
10. All plant materials shall be chosen from the City of Albuquerque's Water Conservation Ordinance Plant List.
11. Minimum plant sizes at time of installation shall be as follows:

Trees	1 1/2 inch caliper, or 10 to 12 feet in height for deciduous; 8-10 feet for evergreen
Shrubs & Groundcovers	1 gallon
Turf grasses	Complete ground coverage within 1 growing season after installation.

VIII. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within Vistas de La Luz. The goal is to provide a signage program that is of high quality, maintains a consistent style and complements the visual character of the property.

- A. All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Coors Corridor Sector Development Plan.
- B. Entry signs shall be monument type and shall complement the materials, color, and architectural character of the buildings and shall not exceed 9 feet in height above grade, per the Coors Corridor Sector Development Plan, Issue 4, Visual Impressions and Urban Design Overlay Zone, Subsection (d), Signage.
- C. Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.
- D. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- E. Signs shall not overhang into the public right-of-way or extend above the building roof line, per the Coors Corridor Sector Development Plan, Issue 4, Visual Impressions and Urban Design Overlay Zone, Subsection (d), Signage.
- F. Off-premise signs are prohibited.
- G. Building-mounted signs shall not exceed 8 percent of the facade area and the lettering shall not exceed 2 feet in height and shall not be permitted on any elevation adjacent to residential zoning.
- H. No illuminated plastic panel signs are allowed except business logos within the non-residential areas of the property.

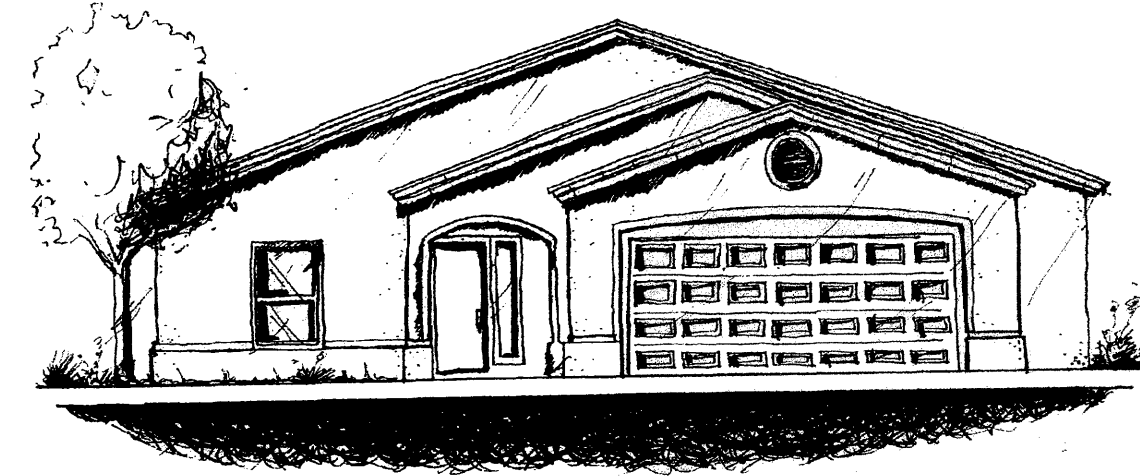
IX. ARCHITECTURE

The following elevations are intended to illustrate the general styles permitted at Vistas de La Luz and shall reflect southwestern regional architecture. Minor variations to these styles are permitted. Refer to Section III of these Design Standards for building materials and roof styles.

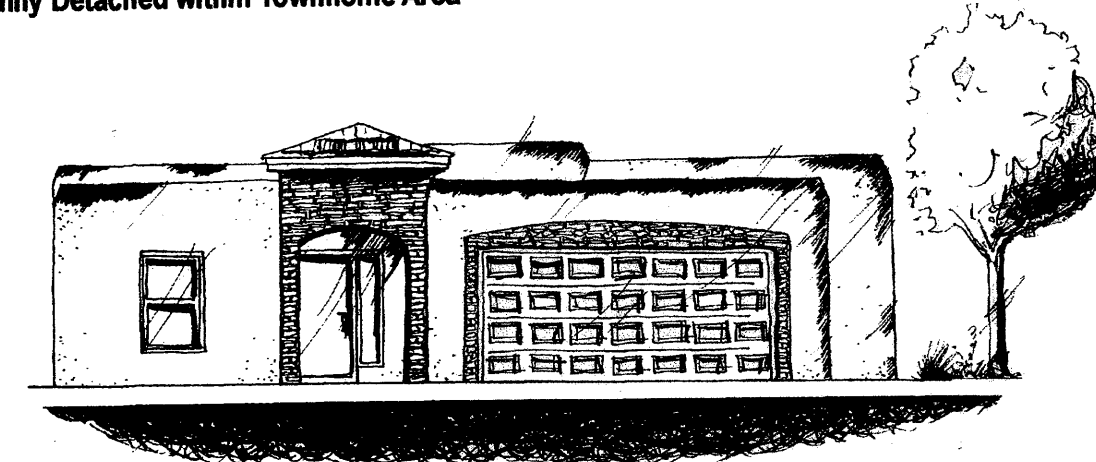
A. RESIDENTIAL STYLES

TOWNHOME AREA ELEVATIONS (north area)

TOWNHOME AREA ELEVATIONS (north area)



Single-Family Detached within Townhome Area

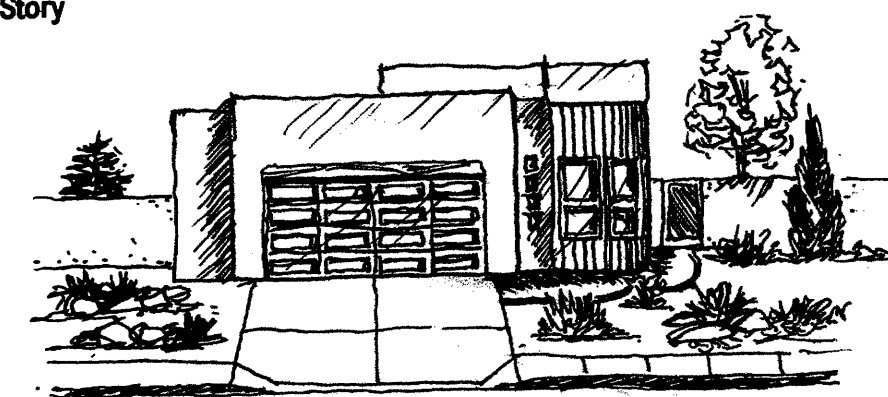


Single-Family Detached within Townhome Area

SINGLE FAMILY DETACHED ELEVATIONS (south area)



Single-Family Detached - Two Story



Single-Family Detached - Single Story

Architectural styles for the dwelling units for the townhome area (north) and single family detached area (south) are shown below. There will be a combination of one and two story units in both areas.

B. NON-RESIDENTIAL

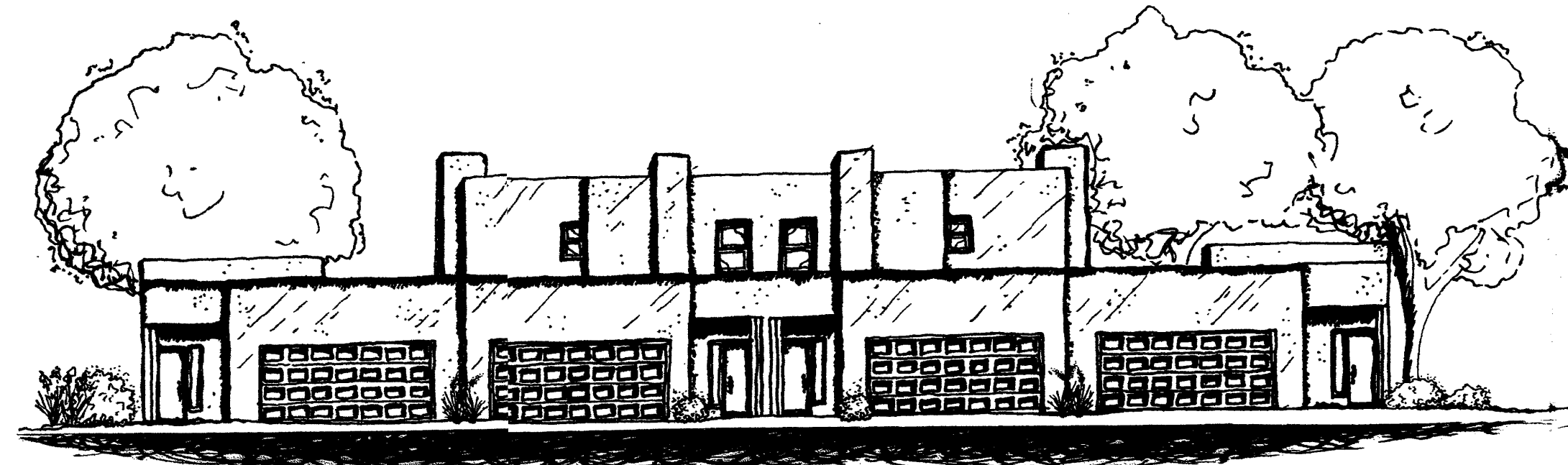
Architectural styles for non-residential buildings shall be Pueblo, Contemporary Pueblo, or Territorial. This section describes the typical characteristics of these different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the buildings contains the characteristics of one of the styles listed below and adheres to Section III, Building Standards.

1. **Pueblo Style** - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style may incorporate recessed set doors and windows, and dramatically recessed portals or patios (at front facades). The Pueblo style traditionally uses flat roofs, interesting massing, and soft edged smooth stucco.
 - a. Entry portals are a hallmark of the style.
 - b. Lintels over openings can be wood and exposed, but covered lintels are just as common.
 - c. Exterior wall finish is stucco from the approved color list.
 - d. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
 - e. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
 - f. Parapets are also used to emphasize forms.
 - g. The symmetrical form allows for formal courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
2. **Contemporary Pueblo Style** - Contemporary Pueblo Style is a more modern design which reflects much of the traditional Pueblo style architecture, combined with elements of modern architecture. The severe exterior walls are broken by large window openings that extend from floor to ceiling. Square large stuccoed columns replace the round columns of the Pueblo designs. Exterior colors range from earth tones to much lighter colors.
 - a. Flat roof is common to the style.
 - b. Square edge walls are also common to the style, along with square parapet walls.
 - c. Canales should be provided to direct rainwater from roof.
 - d. Deep window and door openings are typical of the style and can be used.
 - e. All openings should be placed away from corners.
 - f. Large square stucco posts can be provided to emphasize the style.
3. **Territorial Style** - has its roots in the Pueblo style and early Spanish buildings and is characterized by simple, if not symmetrical, massing; low sloped roofs (no pitched roofs); portals and courtyards often surrounded by low walls or gates; brick parapet caps, horizontal benches and/or chimneys; stucco walls with square corners of a limited color palette; and pedimented window and door head trim, usually of wood. Columns are generally square or square tapered and are typically painted, finished wood with painted wood trim forming the capital and base of the post (no corbels). Territorial style is typically straighter, more formal, and more finished than the Pueblo style.
 - a. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 8" per foot to 12". Low sloped roofs can also be combined with flat roof elements.
 - b. Entry portal is not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
 - c. Trim over and around openings can be tile or terracotta moldings, but untrimmed openings are just as common.
 - d. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
 - e. Parapets are also used to emphasize forms.
 - f. Exterior wall finish is stucco, from the approved color list, or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

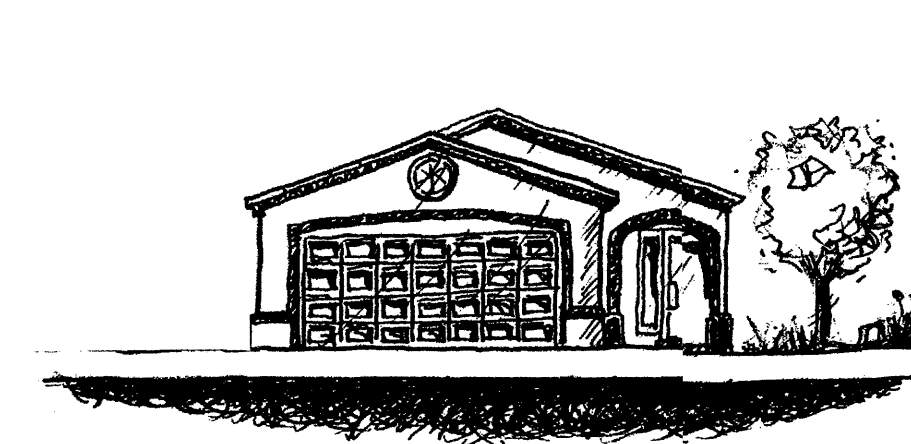
X. UTILITIES

To ensure the overall aesthetic quality of the property and the natural environment, the visual impact of utilities and equipment shall be minimized by the following:

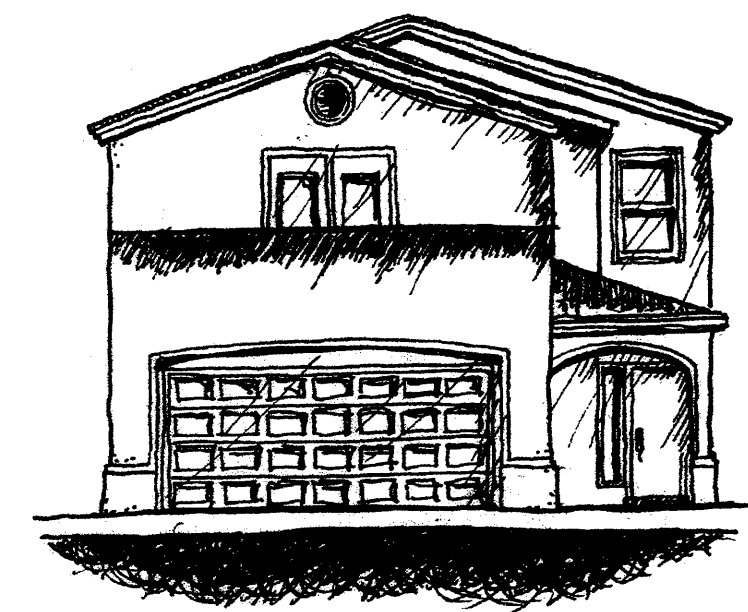
- A. All new electric distribution lines shall be placed underground.
- B. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- C. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.



Townhome Elevations - Combination of One and Two Story Units



Alternate Roof Styles for Townhome Units



DESIGN STANDARDS Vistas de La Luz SUBDIVISION

Prepared for:
T.S. McNaney & Associates
3 Wind Road NW
Albuquerque, NM 87120

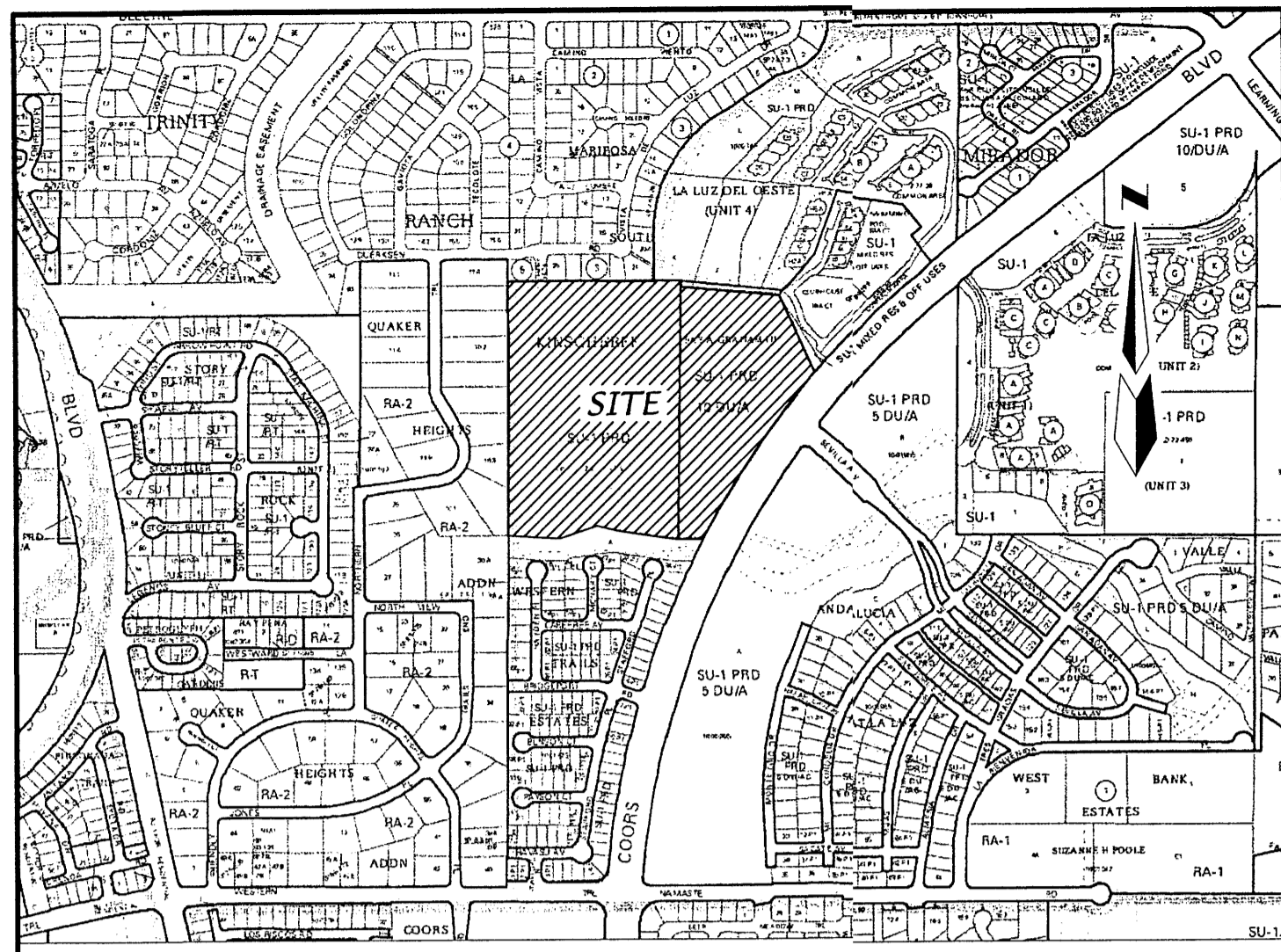
Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

PRELIMINARY PLAT FOR
VISTA DE LA LUZ
 WITHIN
 SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 July, 2006

ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90806
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SURVEYOR
 ALDRICH LAND SURVEY
 P.O. BOX 30701
 ALBUQUERQUE, NEW MEXICO 87190
 (505) 884-1990

OWNERS
 MONTERREY LAND GROUP, LLC
 3 WIND ROAD, NW
 ALBUQUERQUE, N.M. 87120
 (505) 338-2286



LOCATION MAP
DESCRIPTION

A tract of land situated within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 1, SUMMARY PLAT OF KINSCHERFF LANDS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1978 in Volume B14, Folio 44, together with remaining portions of LANDS OF RAY A. GRAHAM III, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 13, 1981 and being more particularly particularly described as follows:

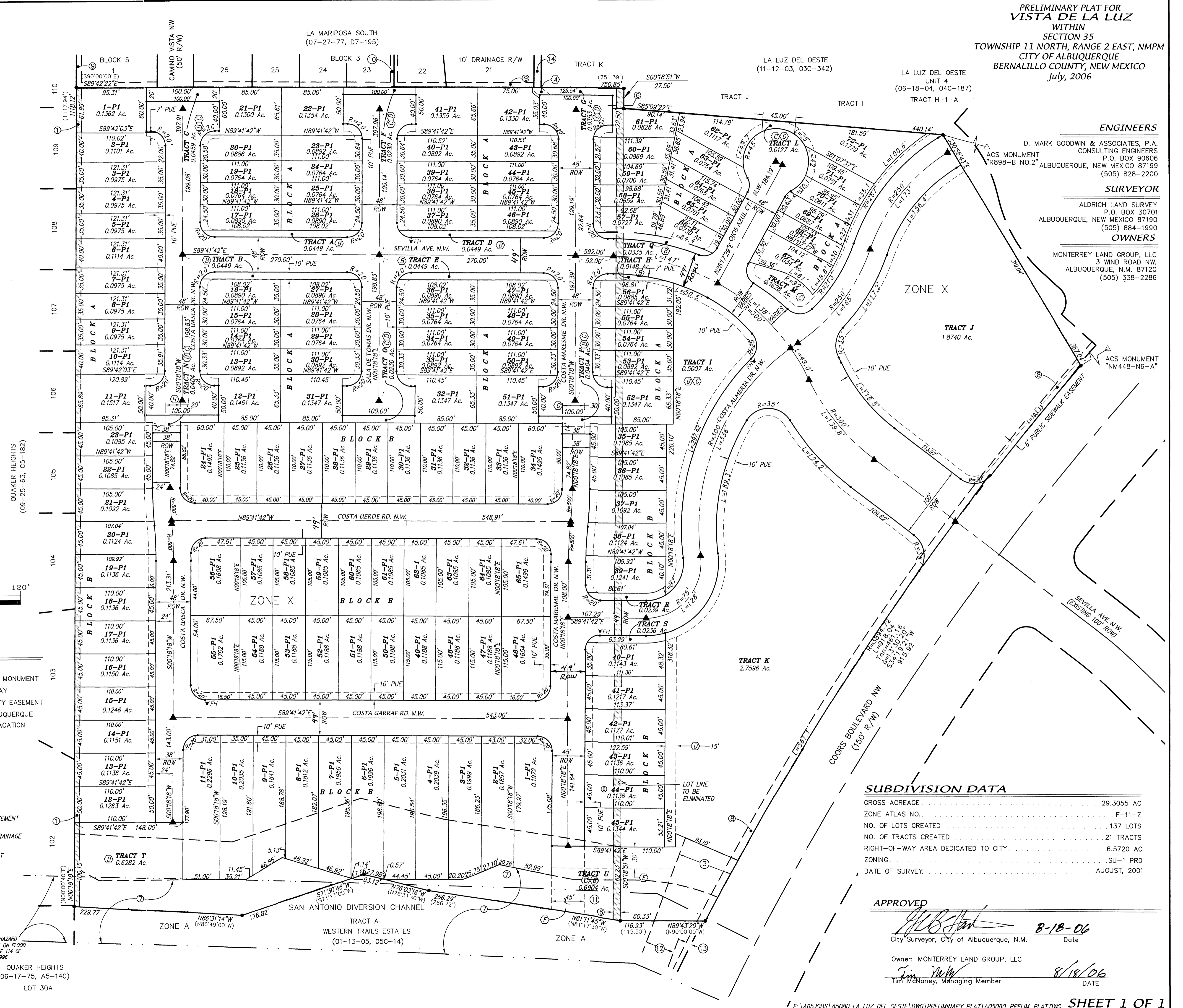
BEGINNING at a point of the herein described tract, from whence the Albuquerque Control Survey Monument "NM448-N6-A" bears N 57°57'43" E 741.17 feet;
 THENCE 918.04 feet along a curve to the left, whose radius is 3894.72 feet through a central angle of 13°30'20" and whose chord bears S 34°19'21" W, 915.92 feet to a point;
 THENCE N 89°43'20" W 116.93 feet to a point;
 THENCE N 81°11'45" W 266.29 feet to a point;
 THENCE N 76°03'18" W 93.12 feet to a point;
 THENCE S 71°30'46" W 176.82 feet to a point;
 THENCE N 86°31'14" W 229.77 feet to a point;
 THENCE N 00°18'18" E 1118.12 feet to a point;
 THENCE S 89°42'22" E 750.85 feet to a point;
 THENCE S 00°18'51" W 27.50 feet to a point;
 THENCE S 85°09'22" E 440.14 feet to a point;
 THENCE S 30°56'43" E 367.04 feet to the point of beginning and containing 29.3055 acres more or less.

EASEMENTS

- EXISTING EASEMENTS**
- EXISTING 7' PNM AND MST&T EASEMENT (03-04-75, BK.MISC.410, PG.37-39) (TO BE VACATED)
 - EXISTING FLOOD AND STORM DRAINAGE EASEMENT (10-31-80, BK.D131A, PG.110-111)
 - EXISTING COA WATER AND SANITARY SEWER EASEMENT (05-07-04, BK.A77, PG.2627)
 - EXISTING 10' PNM AND TELEPHONE EASEMENT (09-14-78, BK. MISC.637, PG.899)
 - EXISTING 10' COA DRAINAGE AND UTILITY EASEMENT (01-25-78, B14-44) (TO BE VACATED)
 - EXISTING AMAFCA FLOODWAY AND STORM DRAINAGE EASEMENT (10-31-80, BK.D131A, PG.110-111) (10-27-80, BK.MISC.808, PG.75-76)
 - EXISTING 10' UNDERGROUND PNM AND MST&T EASEMENT (09-14-78, BK.MISC.637, PG.899)
 - EXISTING 7' PUBLIC UTILITY AND DRAINAGE EASEMENT (07-27-77, D7-195)
 - EXISTING 10' PUBLIC UTILITY AND DRAINAGE EASEMENT (07-27-77, D7-195)
 - EXISTING AMAFCA FLOODWAY AND STORM DRAINAGE EASEMENT (09-25-81, BK.MISC.881, PG.94-97)
 - EXISTING 40' COA WATER AND SEWER EASEMENT (01-13-05, 05C-14)
 - EXISTING 7' PNM AND MST&T EASEMENT (09-20-78, BK.MISC.639, PG.170)
 - EXISTING 10' COA DRAINAGE ROW (07-27-77, 07-195)
- NEW EASEMENTS**
- (A) NEW PUBLIC DRAINAGE EASEMENT
 - (B) NEW LANDSCAPE AND PUBLIC ACCESS EASEMENTS
 - (C) NEW PRIVATE COMMON AREA
 - (D) NEW LANDSCAPE EASEMENTS
 - (E) NEW PUBLIC WATERLINE & SANITARY SEWER EASEMENT
 - (F) NEW PUBLIC DRAINAGE & TRAIL ACCESS EASEMENT
 - (G) NEW PUBLIC ACCESS, SANITARY SEWER & DRAINAGE EASEMENT
 - (H) NEW PUBLIC ACCESS & WATERLINE EASEMENT

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲. WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED: "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" PS#7719
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.



SUBDIVISION DATA

GROSS ACREAGE	29.3055 AC
ZONE ATLAS NO.	F-11-Z
NO. OF LOTS CREATED	137 LOTS
NO. OF TRACTS CREATED	21 TRACTS
RIGHT-OF-WAY AREA DEDICATED TO CITY	6.5720 AC
ZONING	SU-1 PRD
DATE OF SURVEY	AUGUST, 2001

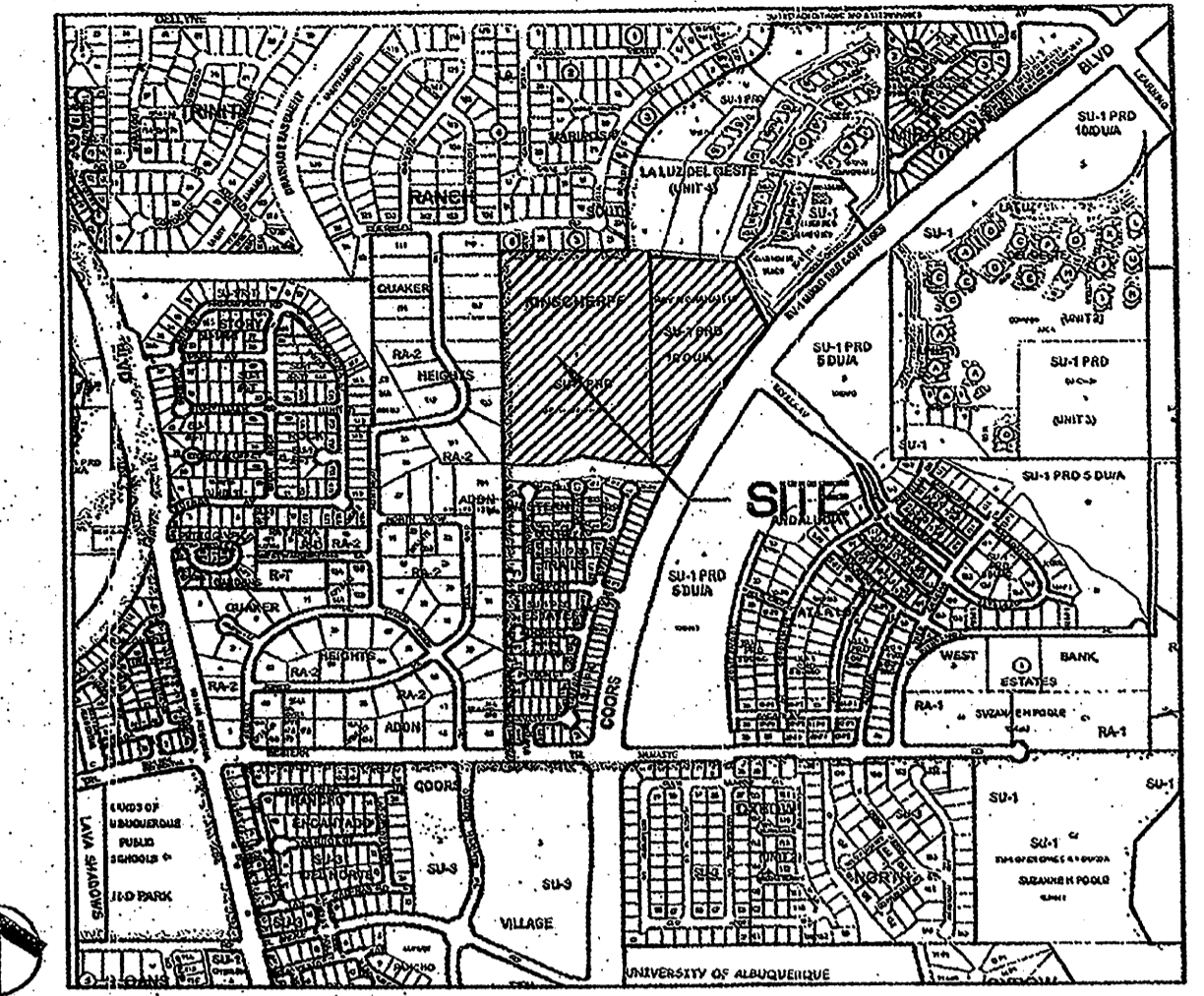
APPROVED

 City Surveyor, City of Albuquerque, N.M. 8-18-06 Date

Owner: MONTERREY LAND GROUP, LLC

 Tim McNaney, Managing Member 8/18/06 DATE

SITE VICINITY



SITE DATA:

SITE ACREAGE: 29.32 acres
 Zoning: SU-1 for PRD (10 du/ac)
 Land Use: 65 Single Family Residential Dwelling Units, 72 Townhomes, 5.1 acres O-1/C-1 Permissive (with exceptions), and 1.55 acres Private Commons Area.
 Gross Residential Density: 5.66 du/ac
 F.A.R. (O-1/C-1): .26 Max.
 Maximum Building Height: For Non-Residential - As allowed in the O-1 Zone per the City Comprehensive Zoning Code; For Residential - See General Note #3 and #4.
 Setbacks: See Design Standards, Sheet 5.
 Landscape: See Landscape Plan, Sheets 2 and 3.

PROJECT NUMBER: 1004675
 Application Number: 06EPC1004675 06DRB-01097
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 20, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

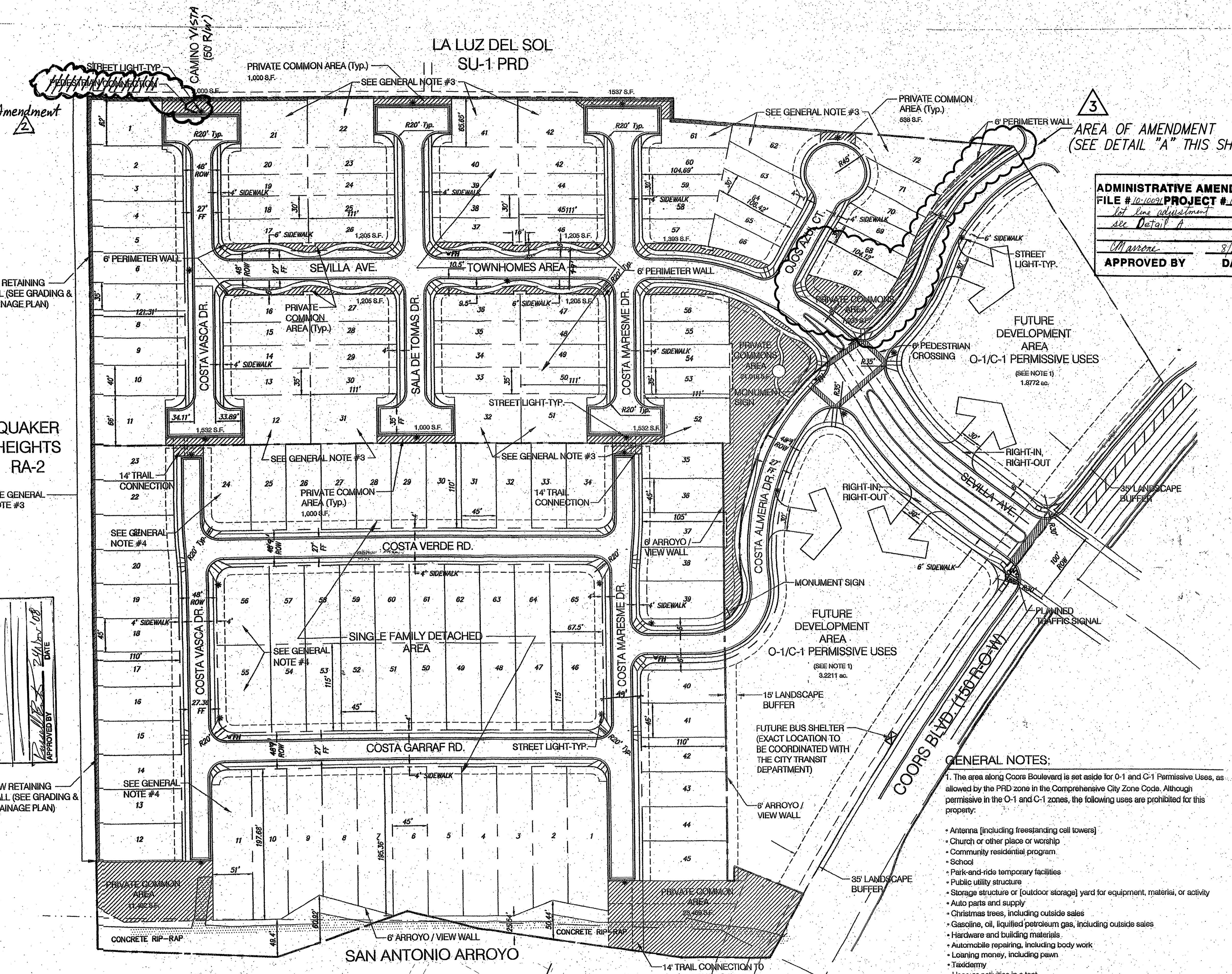
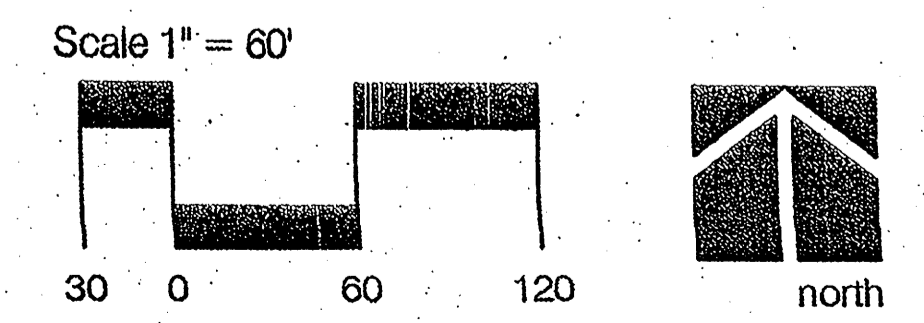
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Engineering, Transportation Division	8-30-06 Date
<i>[Signature]</i> Water Utility Department	8/30/06 Date
<i>[Signature]</i> Parks and Recreation Department	8/30/06 Date
<i>[Signature]</i> City Engineer	8/30/06 Date
<i>[Signature]</i> Solid Waste Management	Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8/31/06 Date

**AMENDED
 SITE PLAN FOR SUBDIVISION
 VISTAS de LA LUZ
 SUBDIVISION**

Prepared for:
 T.S. McNaney & Associates
 302 Wind Road NW
 Albuquerque, NM 87120

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102

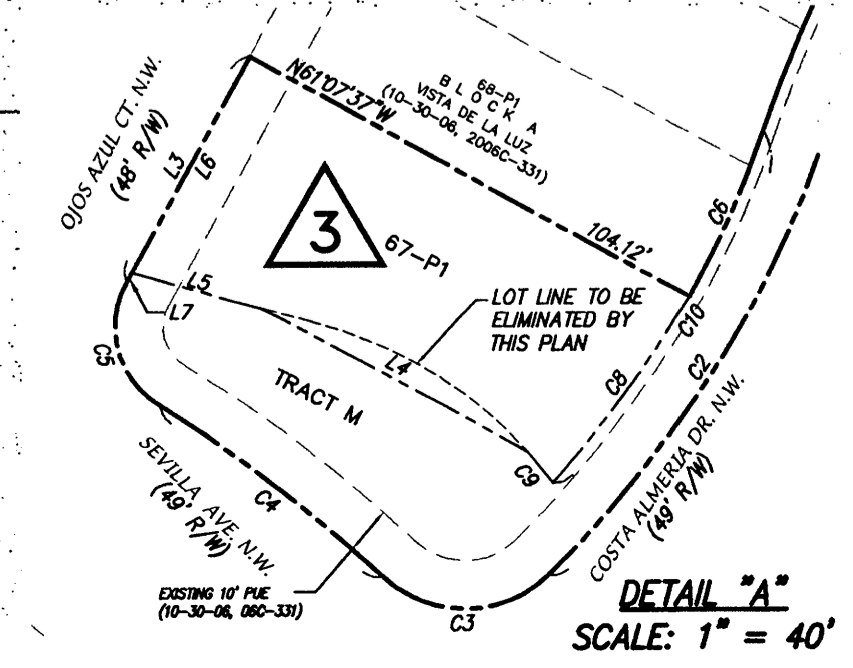


ADMINISTRATIVE AMENDMENT
 FILE # 10-10091 PROJECT # 1004675
 Not line adjustment
 see Detail A
 Approved by *[Signature]* DATE 8/2/10

ADMINISTRATIVE AMENDMENT
 File # 07-00630 Project # 1004675
 Amend finished pad elevation
 for lots 10, 11, 24, 25, 55 & 56
 Approved by *[Signature]* DATE 6/22/07

ADMINISTRATIVE AMENDMENT
 File # 07-00630 Project # 1004675
 Amend finished pad elevation
 for lots 10, 11, 24, 25, 55 & 56
 Approved by *[Signature]* DATE 6/22/07

210 sf. of Tract M is given to Lot 67-P1 With this Amendment.



CURVE TABLE

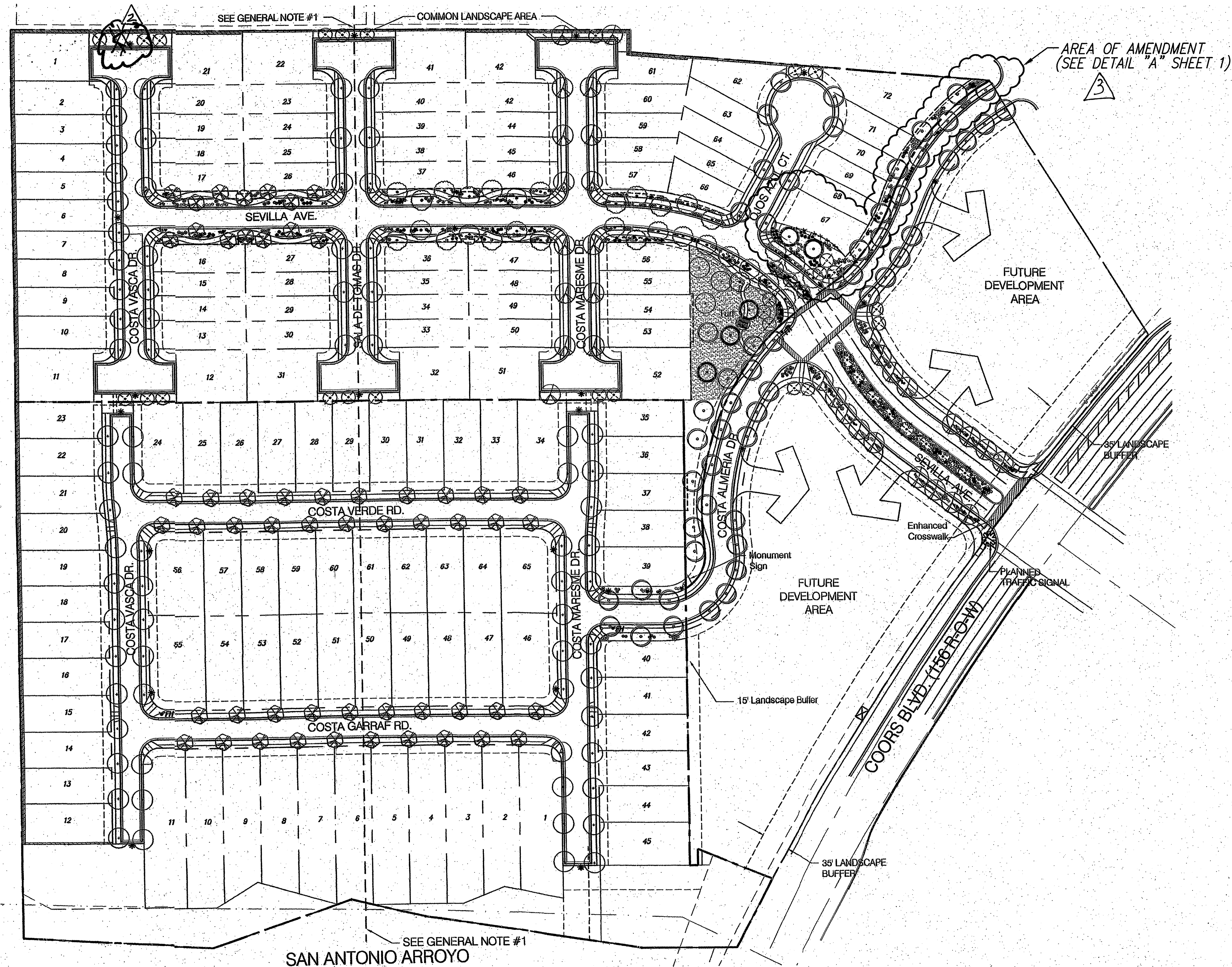
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-SEARING	CH-DIST
C1	108.31	225.50	270.42°	54.16	N32°38'02"	105.33
C2	57.79	25.00	89°23'21"	23.40	N82°22'27"	34.23
C3	58.55	324.00	102°11'17"	28.38	N52°38'15"W	58.48
C4	30.26	30.00	88°41'17"	18.69	S14°28'15"E	27.46
C5	17.92	213.00	107°15'41"	18.01	N43°15'43"E	17.87
C6	48.59	213.00	132°14'24"	24.40	N32°51'47"E	48.48
C7	8.18	92.39	170°32'32"	4.09	N39°28'46"W	8.18
C10	88.50	213.00	127°08'04"	43.69	N20°54'58"E	83.91

LINE TABLE

LINE	BEARING	DISTANCE
L3	S 28°52'21" W	51.52
L4	S 81°02'37" E	63.15
L5	S 23°57'18" E	28.15
L6	S 28°52'21" W	51.52
L7	N 28°52'21" E	2.21

- GENERAL NOTES:**
- The area along Coors Boulevard is set aside for O-1 and C-1 Permissive Uses, as allowed by the PRD zone in the Comprehensive City Zone Code. Although permissive in the O-1 and C-1 zones, the following uses are prohibited for this property:
 - Antenna (including freestanding cell towers)
 - Church or other place of worship
 - Community residential program
 - School
 - Park-and-ride temporary facilities
 - Public utility structure
 - Storage structure or [outdoor storage] yard for equipment, material, or activity
 - Auto parts and supply
 - Christmas trees, including outside sales
 - Gasoline, oil, liquefied petroleum gas, including outside sales
 - Hardware and building materials
 - Automobile repairing, including body work
 - Lending money, including pawn
 - Taxidermy
 - Uses or activities in a tent
 - The O-1/C-1 area will require separate Site Plan Approval by the Environmental Planning Commission when a specific development is proposed.
 - All of the lots along the west boundary of the entire site shall be 1-story, flat-roofed, and not to exceed 15 feet in height. In addition, Lots 12, 21, 22, 31, 32, 41, 42, 51, 52, 61, 62, and 72 within the townhome area (North) shall be 1-story, flat-roofed, and not to exceed 15 feet in height.
 - Lots 10, 11, 24, 25, 55, and 56 of the single-family detached area (south) shall have a finished pad elevation a minimum of 18 feet below the top of the waste-most perimeter wall. In addition, Lots 10, 11, 24, 25, 55, and 56 of the single family detached area (south) shall be 1-story.

Remove Pedestrian Connection



PLANT LEGEND

Symbol	Scientific Name Common Name	Water Use	Size
Trees			
⊗	<i>Cercis occidentalis</i> Western Redbud (WR)	Medium	20'ht x 20'spr
⊕	<i>Pyrus calleryana</i> 'Cleveland' Flowering Pear (FP)	Medium+	45'ht x 30'spr
⊙	<i>Robinia ambigua</i> Purple Robe Locust (CP)	Medium	30'ht x 30'spr
⊕	<i>Koeleruteria paniculata</i> Golden Rain Tree (GRT)	Low	25'ht x 25'spr
⊕	<i>Gleditsia tricanthos</i> 'Moraine' Honey Locust 'Moraine' (HL)	Low+	30'ht x 30'spr
⊕	<i>Pinus illecodermis</i> Bosnian Pine (BP)	Low+	25'ht x 15'spr
⊗	<i>Chilopsis linearis</i> Desert Willow (DW)	Low+	20'ht x 25'spr
Shrubs / Groundcovers			
⊙	<i>Amorpha canescens</i> Leadplant (LP)	Medium	2'ht x 3'spr
⊙	<i>Artemisia caucasicca</i> Silver Spreader (SS)	Medium	2'ht x 2'spr
⊙	<i>Baccharis</i> 'Starn Thompson' Dwarf Coyotebush (DC)	Medium	2'ht x 4'spr
⊙	<i>Berberis thunbergii</i> 'A. Nana' Crimson Pigny Barberry (CB)	Low	2'ht x 2'spr
⊗	<i>Caryopteris clandonensis</i> Blue Mist (BM)	Low+	3'ht x 3'spr
⊕	<i>Nandina domestica</i> Dwarf Heavenly Bamboo (HB)	Low+	2'ht x 2'spr
⊕	<i>Penstemon ambiguus</i> Sand Penstemon (SP)	Medium	2'ht x 2'spr
⊗	<i>Pinus mugo mugo</i> Mugo Pine (MP)	Low+	4'ht x 4'spr
⊙	<i>Potentilla fruticosa</i> Shrubby Cinquefoil (CF)	Medium	3'ht x 3'spr
⊕	<i>Raphiolepis indica</i> India Hawthorn (IH)	Medium	3'ht x 4'spr
⊙	<i>Rosmarinus officinalis</i> Rosemary (RM)	Low	3'ht x 3'spr
⊕	<i>Salvia greggii</i> Cherry Sage (CS)	Medium	3'ht x 3'spr
⊙	<i>Salvia lavandulifolia</i> Lavendar Sage (LS)	Low	2'ht x 2'spr
⊙	<i>Santolina virens</i> Green Santolina (GS)	Medium	2'ht x 3'spr
⊗	<i>Syringa patula</i> Lilac (LL)	Low	6'ht x 6'spr
Ornamental Grasses			
*	<i>Aristida purpurea</i> Purple Threeawn (PT)	Low	2'ht x 1'spr
⊙	<i>Muhlenbergia cap.</i> 'Regal Mist' Muhly Grass (MG)	Low	3'ht x 3'spr
⊙	<i>Miscanthus sinensis</i> Maiden Hair Grass (MH)	Low	5'ht x 4'spr
⊗	Moss Rock Boulder (3' x 3' min.)		

**AMENDED
LANDSCAPE PLAN
VISTAS de LA LUZ
SUBDIVISION**

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A temporary spray system will be provided to establish the native seeded areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

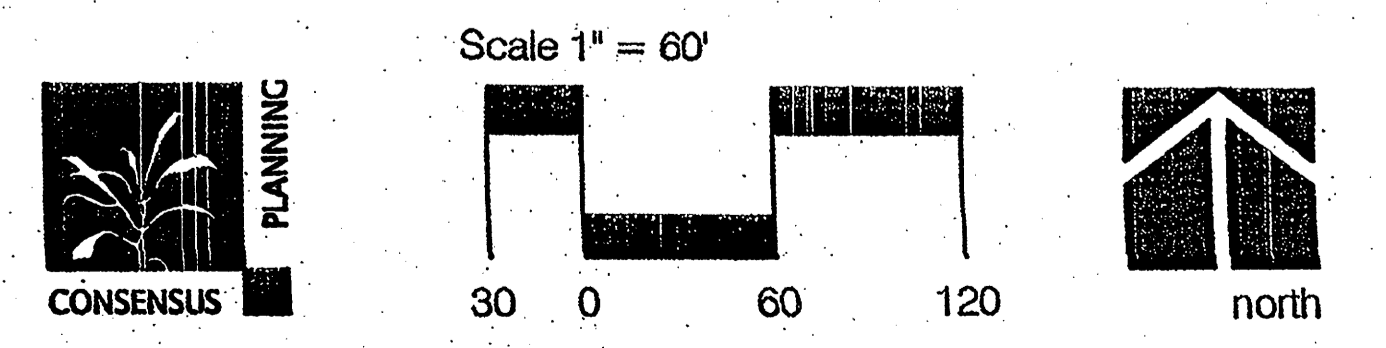
LANDSCAPE NOTE
Seventy-five percent of the landscape area shall be covered with living plant material, as measured by the mature canopy of the plant.

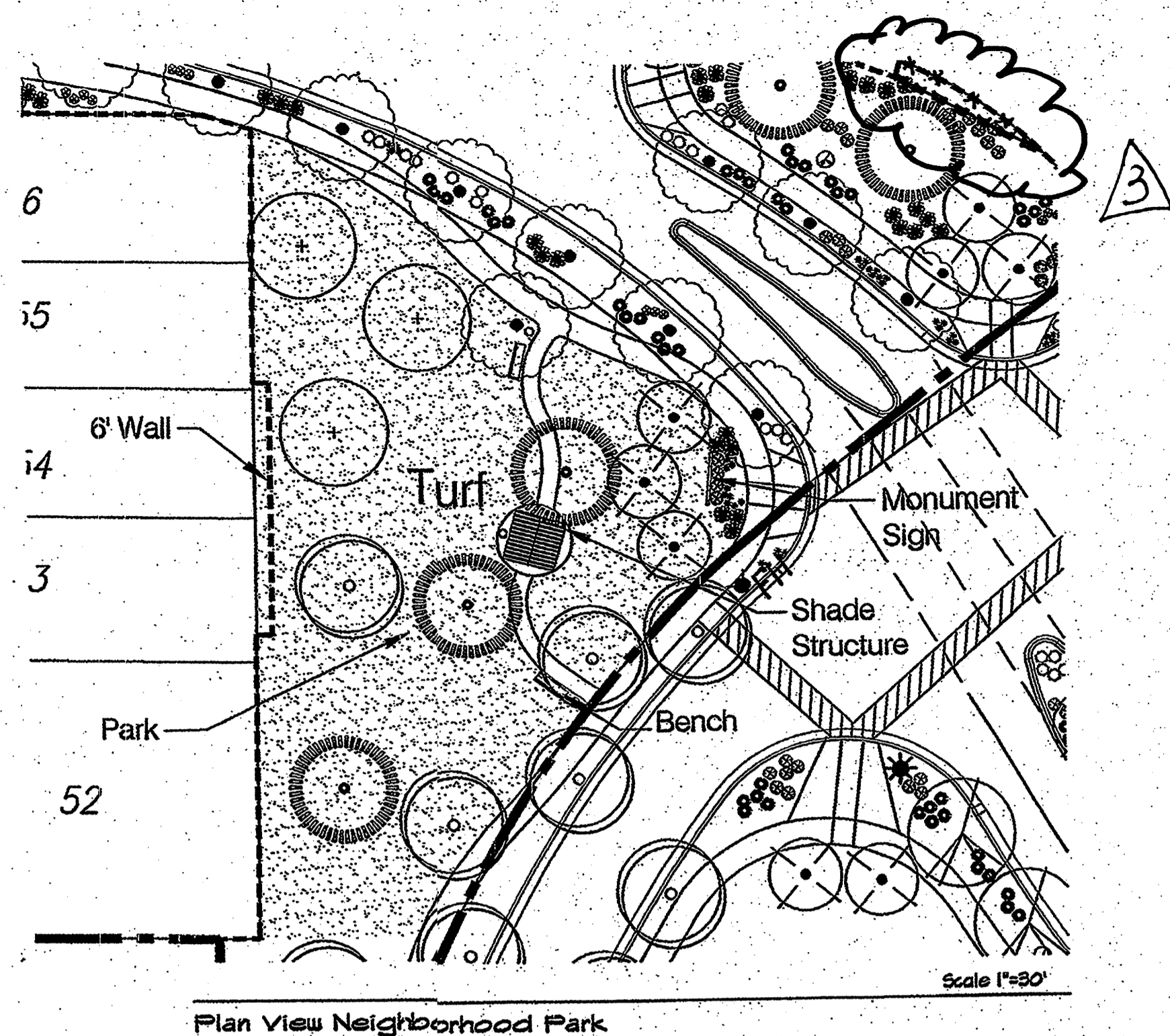
STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

GENERAL NOTE:
1. Trees west of the N-S dashed line shall be no greater than 25 feet in height at full maturity. Trees east of this line shall be no greater than 45 feet in height.

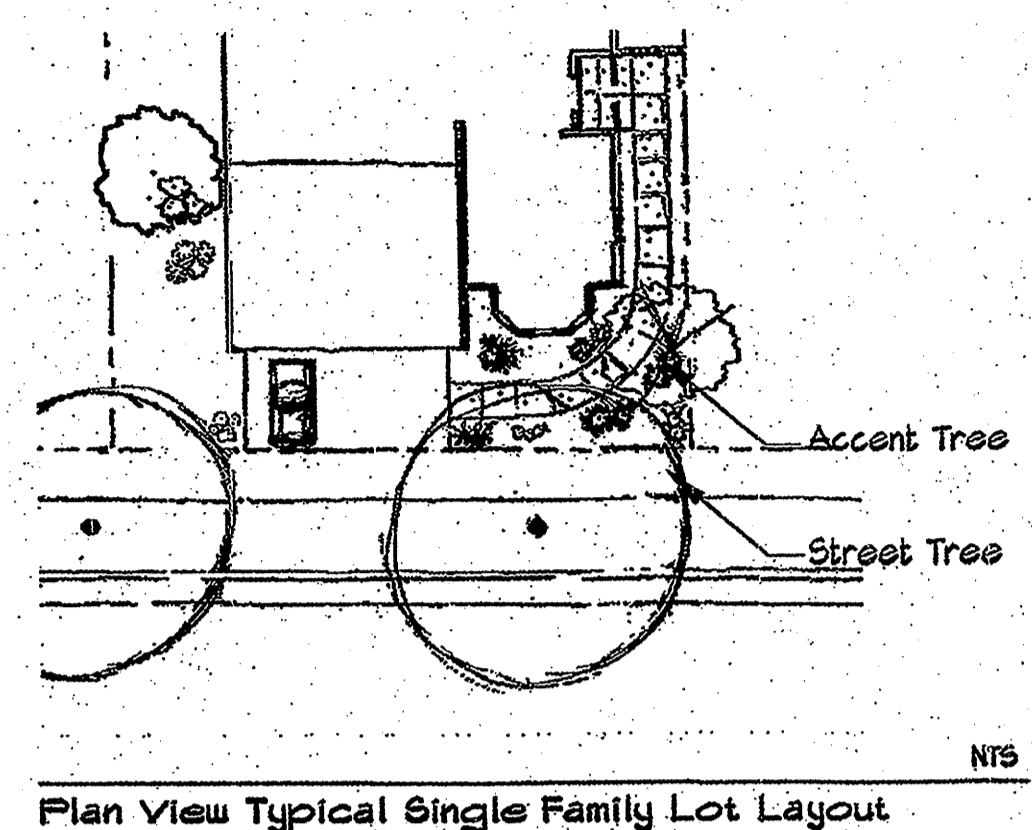
Prepared for:
T.S. McNaney & Associates
5111 San Mateo Blvd. NE Suite A-1
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102





Plan View Neighborhood Park



Plan View Typical Single Family Lot Layout

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ SINGLE FAMILY HOMES.

- 2 Accent Tree
- 1 Street Tree
- 5 Shrubs (min. 5 gallon)
- 10 Shrubs (min. 1 gallon)
- 3 Landscape Boulders (3' x 3' min.)

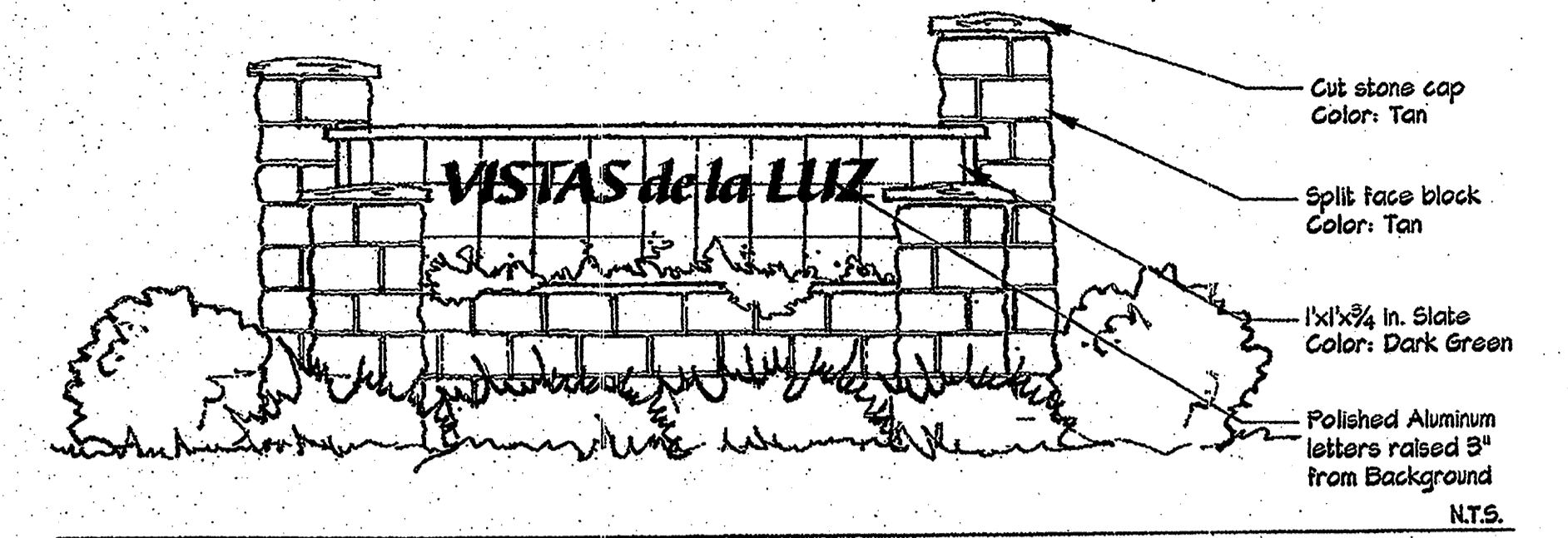
In addition, all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

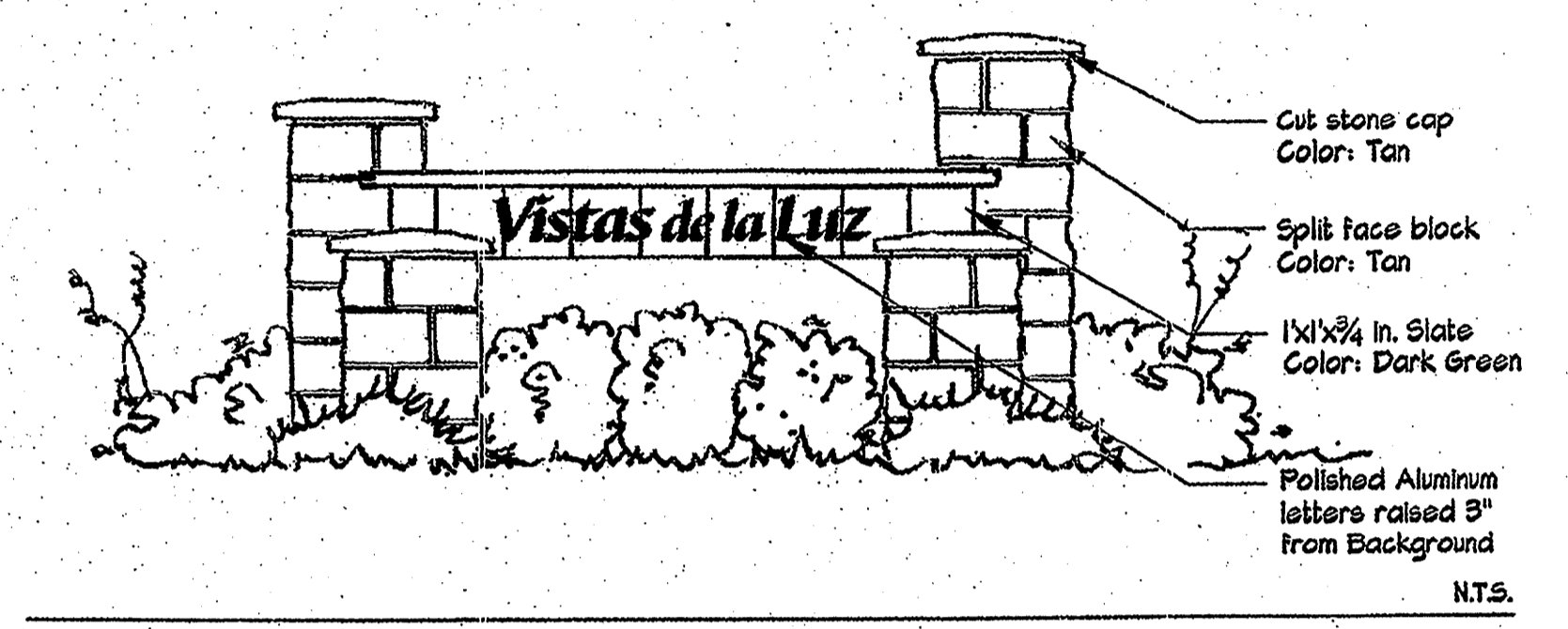
Irrigation System w/Automatic Timer will also include plantings within R-O-W.

The following approved accents can be used for front yard landscaping:

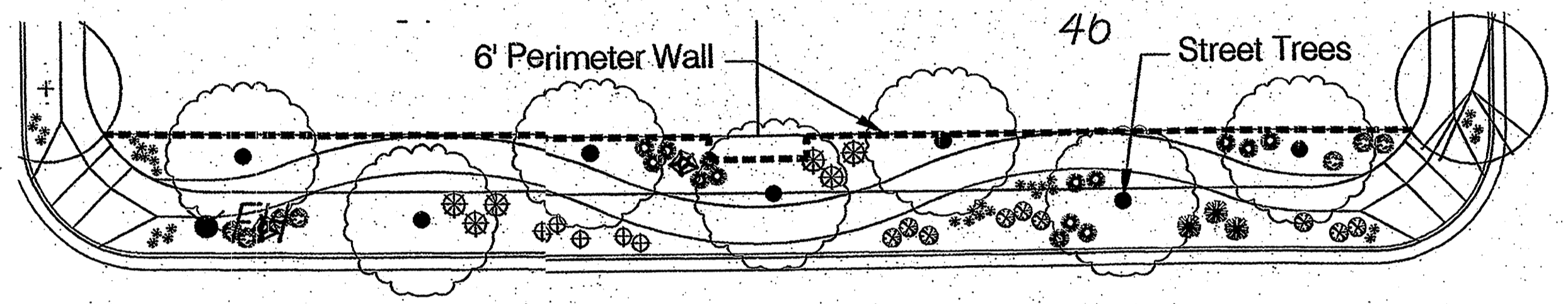
- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)



Main Entry Monument Sign

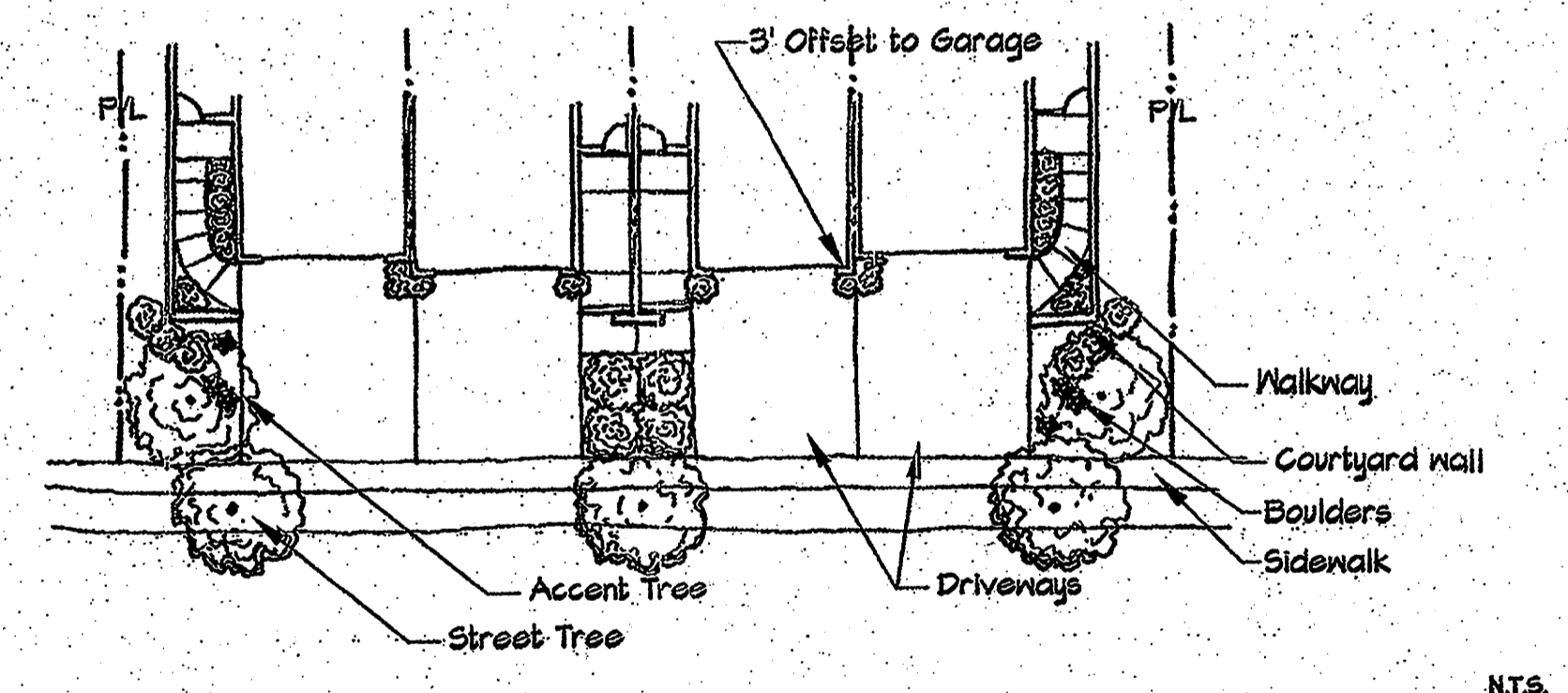


Single Family Entry Monument Sign Elevation



Planting Detail Along Maduri

Scale 1"=20'



Four-Plex Townhome - Planview

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR VISTAS DE LA LUZ TOWNHOMES.

- 1 Accent Trees
- 1 Street Tree (not required in front of units with attached garages)
- 4 Shrubs (min. 5 gallon)
- 5 Shrubs (min. 1 gallon)
- 2 Landscape Boulders (3' x 3' min.)

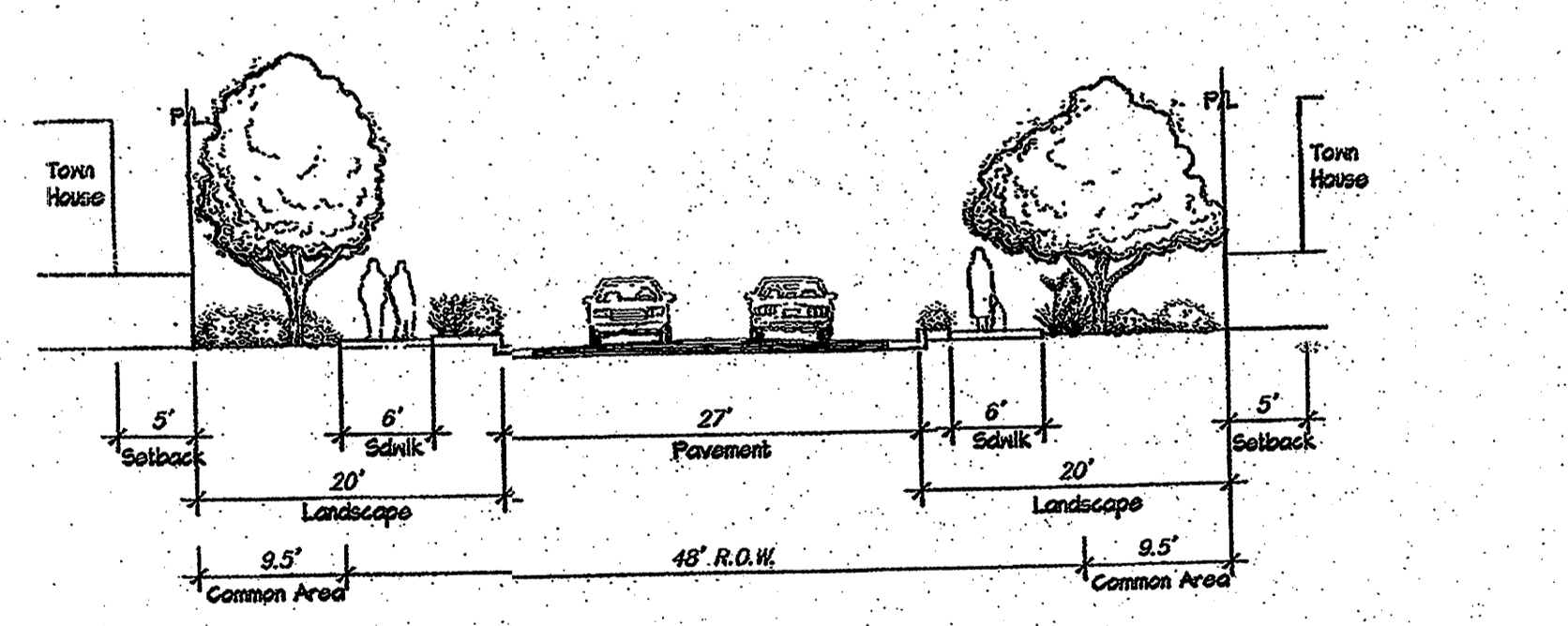
In addition, all front yard landscaping shall be required to have the following:

3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover.

Irrigation System w/Automatic Timer will also include plantings within R-O-W.

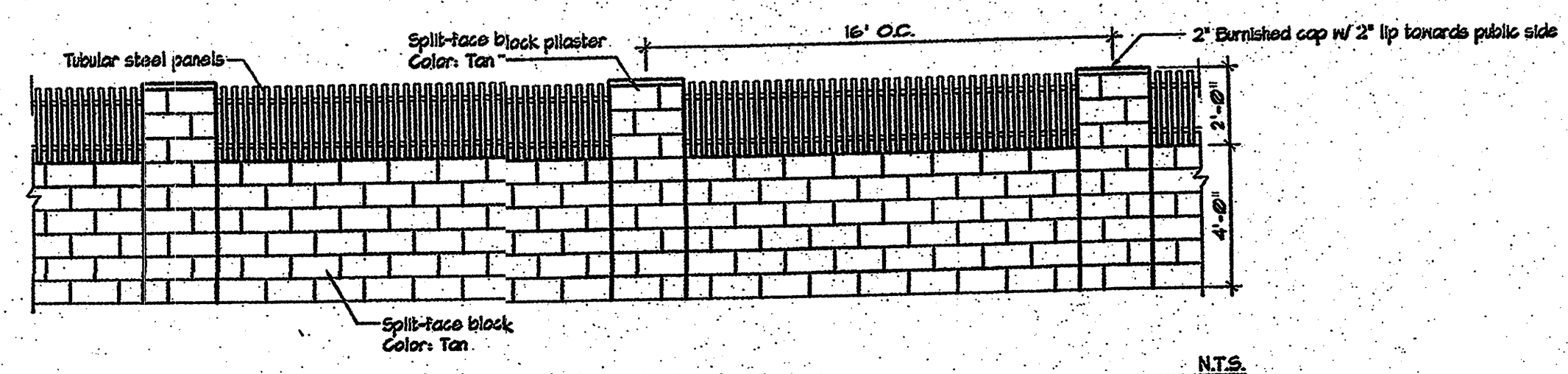
The following approved accents can be used for front yard landscaping:

- River Rock (max. 25% of area)
- Bark Mulch (in tree wells only)



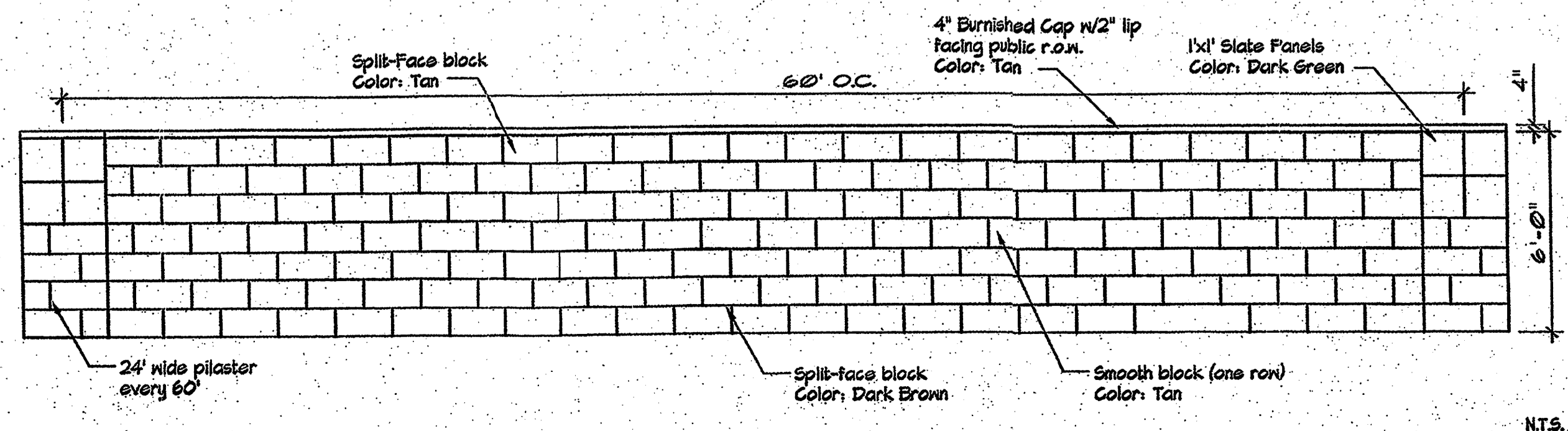
Street Section at Maduri

N.T.S.



Arroyo / View Wall Elevation

N.T.S.



Perimeter Wall Elevation

N.T.S.

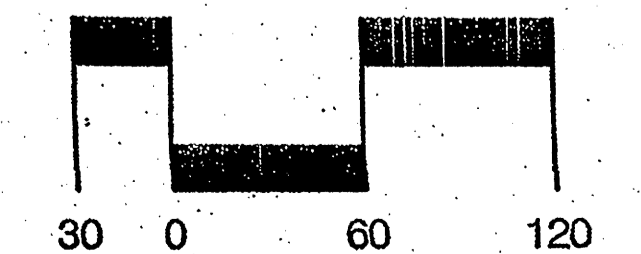
AMENDED LANDSCAPE PLAN DETAILS VISTAS de LA LUZ SUBDIVISION

Prepared for:
T.S. McNaney & Associates
3 Wind Road NW
Albuquerque, NM 87120

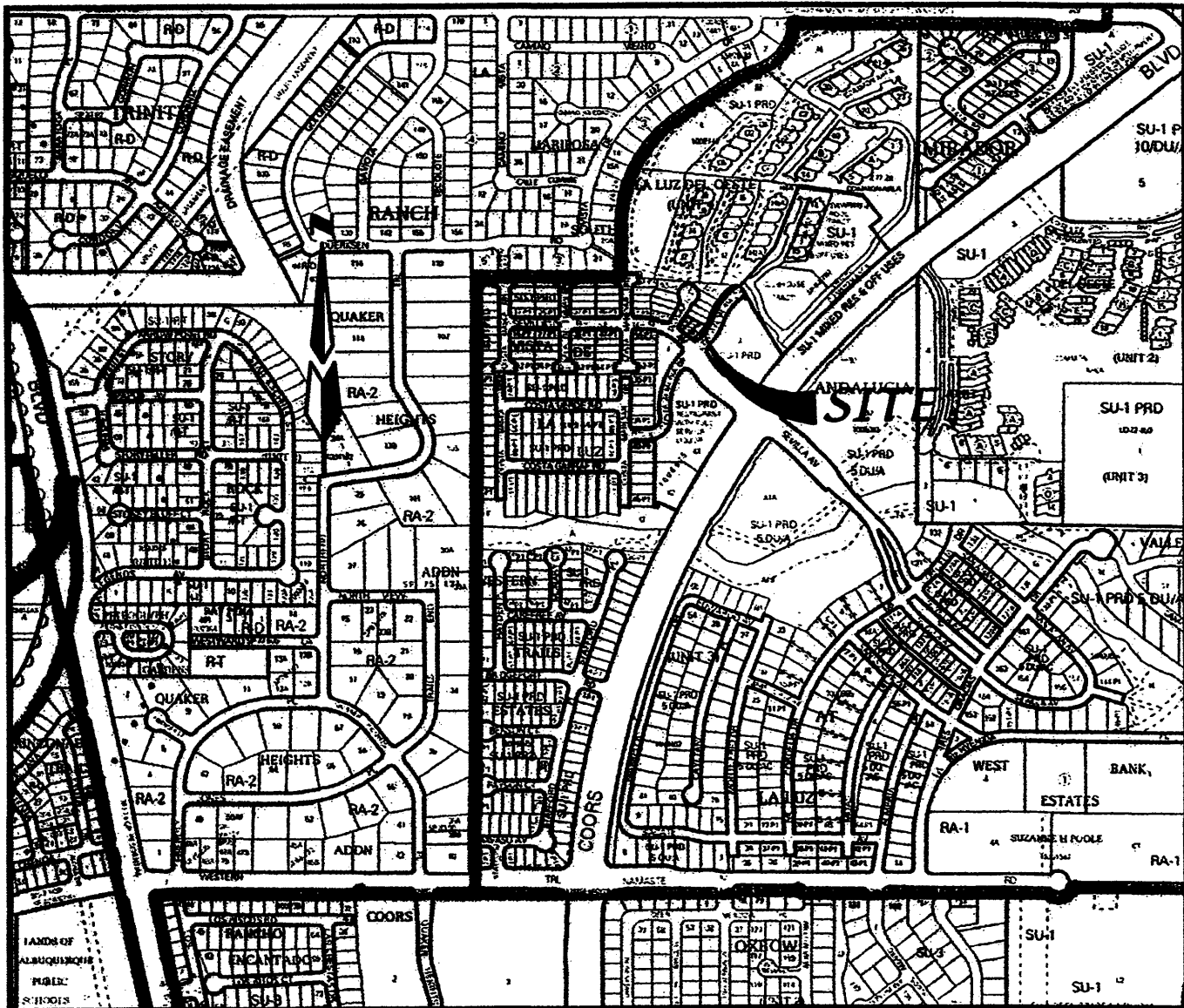
Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



Scale 1" = 60'



August 1, 2006



LOCATION MAP

F-11-Z

SUBDIVISION DATA

1. DRB Case No.:
2. Zone Atlas Index No.: F-11-Z
3. Total Number of Lots/Tracts created: 1/1
4. Total Number of existing Lots/Tracts: 1/1
5. Total Number of Tracts created: 0
6. Gross Subdivision Acreage: 0.2623 Acres

NOTES

1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone), (NAD83)
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled: "ANASAZI RIDGE UNIT 2", (03-05-07, 07C-52) all being records of Bernalillo County, New Mexico.
5. Field Survey performed in August, 2005.
6. Utility Council Location System Log No.: 2005480220
7. All points are set 5/8" rebar w/cap marked "LS 7719"

SOLAR NOTE: No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being install on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the adjustment of lot lines as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Owner: KCRW LLC - Lot 67-A-P1 and Tract M-1

Keith Cheshire, Managing Member, KCRW, LLC.

STATE OF NEW MEXICO)
BERNALILLO COUNTY)

On this 7th day of July, 2010, this instrument was acknowledged before me by Keith Cheshire, Managing Member, KCRW, LLC.

Notary Public



PURPOSE OF PLAT

1. To create Lot 67-A-P1 And Tract M-1 as shown hereon.
2. To adjust lot lines to fit constructed infrastructure and improvements.

DESCRIPTION

A tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Lot 67-P1, and Tract M, Vista Del Luz, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 10, 2006 in Book 2006C, Page 331, and being more particularly described as follows:

BEGINNING at the northeast corner of the herein described tract, from whence AGRS Monument "NM_448_N6A" bears N84°31'50"E, 821.61 feet;

THENCE S58°46'43"W, 6.47 feet to a point of curvature;

THENCE 189.96 feet along a curve to the left whose radius is 274.50 feet through a central angle of 39°38'58", and whose long chord bears S38°57'14"W, 186.19 feet, to a point of reverse curvature;

THENCE 106.31 feet along a curve to the right whose radius is 225.50 feet through a central angle of 27°00'42", and whose long chord bears S32°38'05"W, 105.33 feet, to a point of reverse curvature;

THENCE 37.70 feet along a curve to the right whose radius is 25.00 feet through a central angle of 86°23'57", and whose long chord bears S89°20'25"W, 34.23 feet, to a point of reverse curvature;

THENCE 58.55 feet along a curve to the left whose radius is 324.00 feet through a central angle of 10°21'17", and whose long chord bears N52°38'15"W, 58.48 feet, to a point of reverse curvature;

THENCE 30.26 feet along a curve to the right whose radius is 20.00 feet through a central angle of 86°41'17", and whose long chord bears N14°28'15"W, 27.46 feet, to a point of tangency;

THENCE N28°52'23"E, 53.52 feet to an angle point;

THENCE S61°07'37"E, 104.12 feet to a point on a curve;

THENCE 37.92 feet along a curve to the left whose radius is 213.00 feet through a central angle of 10°11'56", and whose long chord bears N24°13'43"E, 37.87 feet, to a point of reverse curvature;

THENCE 188.18 feet along a curve to the right whose radius is 287.00 feet through a central angle of 37°34'00", and whose long chord bears N37°54'45"E, 184.82 feet, to a point being the northwest corner;

THENCE S85°09'22"E, 20.91 feet to the northeast corner and the point of beginning and containing 0.2623 acres more or less.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1011013953503310 1011013953503310
PROPERTY OWNER OF RECORD
KCRW Properties LLC
BERNALILLO COUNTY TREASURER'S OFFICE
Doug Holt 9/14/10

LINE	BEARING	DISTANCE
L1	S 58° 46' 43" W	6.47
L2	S 38° 57' 14" W	186.19
L3	S 32° 38' 05" W	105.33
L4	S 89° 20' 25" W	34.23
L5	S 89° 20' 25" W	34.23
L6	N 52° 38' 15" W	58.48
L7	N 14° 28' 15" W	27.46
L8	N 24° 13' 43" E	37.87
L9	N 37° 54' 45" E	184.82
L10	S 85° 09' 22" E	20.91

DOC# 2010078417
09/03/2010 02:10 PM Page: 1 of 2
Toulouse Olivere, Bernalillo Co
PLAT R 512 00 B 2010C P 0051 M

PLAT FOR
LOT 67-A-P1, BLOCK A
AND TRACT M-1
VISTA DE LA LUZ
WITHIN SECTION 35
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2010

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1004675

Application Number: 10DRB-70203

PLAT APPROVAL

Utility Approvals:

	7-23-2010
Public Service Company of New Mexico	Date
	7-23-2010
New Mexico Gas Company	Date
	07-23-10
Qwest Telecommunications	Date
	7-26-10
Comcast	Date

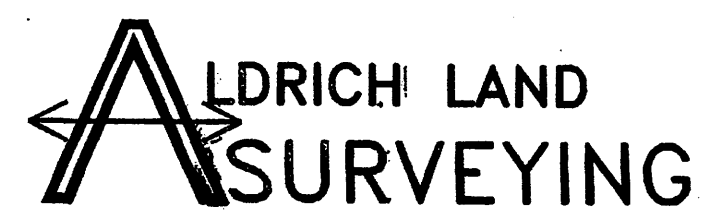
City Approvals:

	7-15-10
City Surveyor	Date
N/A	
Real Property Division	Date
	07-28-10
Traffic Engineering, Transportation Division	Date
	07/29/10
Albuquerque Bernalillo Water Utility Authority	Date
	7/28/10
Parks and Recreation Department	Date
	7/28/10
AMAFCA	Date
	7/28/10
City Engineer	Date
	8-3-10
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719 Date 07/12/10



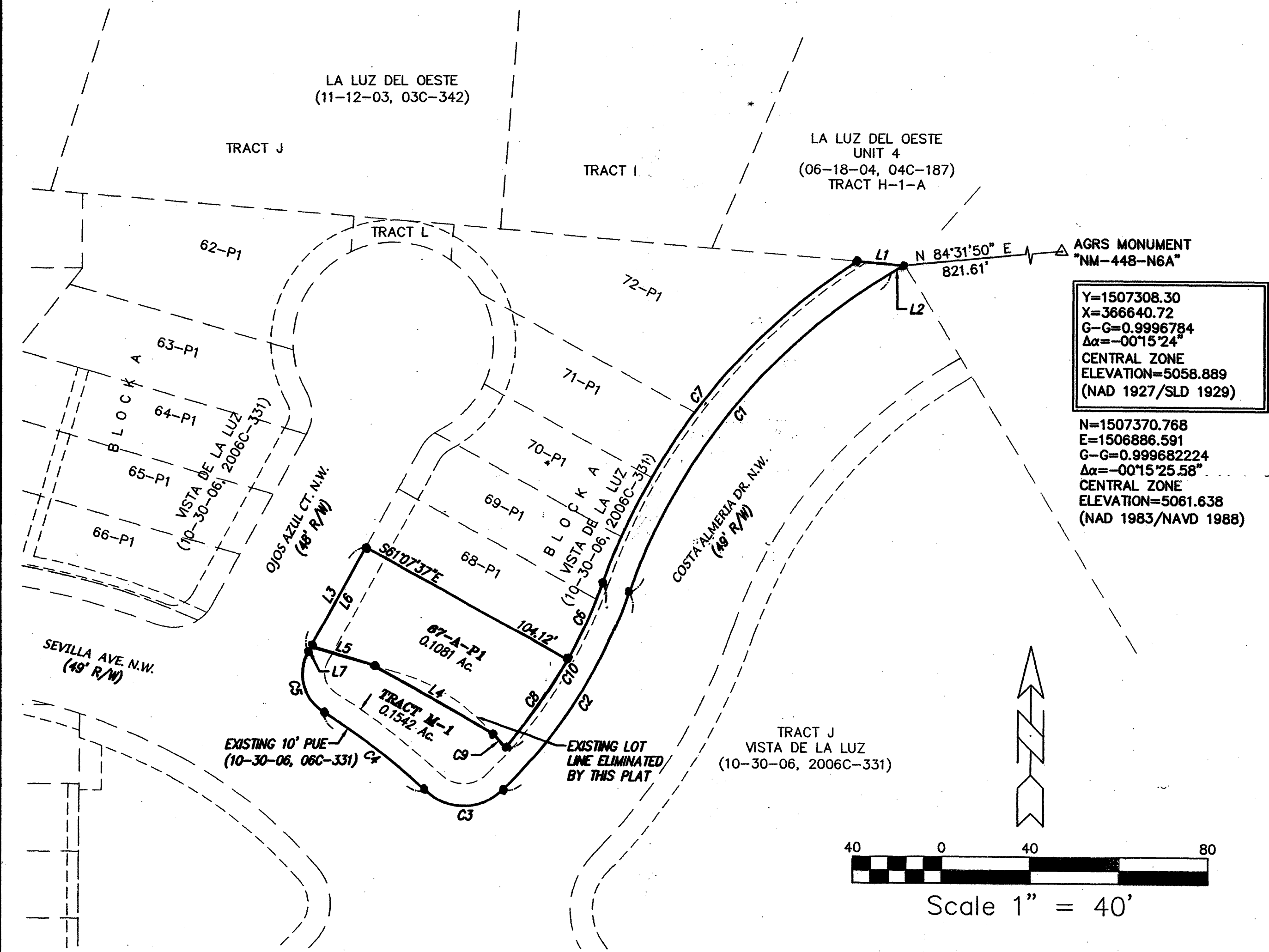
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Drawn: SPS	Checked: WWP	Sheet 1 of 2
Date: 7/7/2010	Job: A10038	

PLAT FOR
 LOT 67-A-P1, BLOCK A
 AND TRACT M-1
 VISTA DE LA LUZ
 WITHIN SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2010

DOCH 2010078417

08/03/2010 02:10 PM Page: 2 of 2
 CityPLAT R: \$12.00 B: 2010C P: 0091 M: Toulous Oliveira, Bernalillo Cou



Y=1507308.30
 X=366640.72
 G-G=0.9996784
 Δα=-00°15'24"
 CENTRAL ZONE
 ELEVATION=5058.889
 (NAD 1927/SLD 1929)

N=1507370.768
 E=1506886.591
 G-G=0.999682224
 Δα=-00°15'25.58"
 CENTRAL ZONE
 ELEVATION=5061.638
 (NAD 1983/NAVD 1988)

← FOR INFORMATION ONLY

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. **Public Service Company of New Mexico (PNM)** for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. **New Mexico Gas Company (NMGC)** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. **Qwest** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. **Comcast** for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

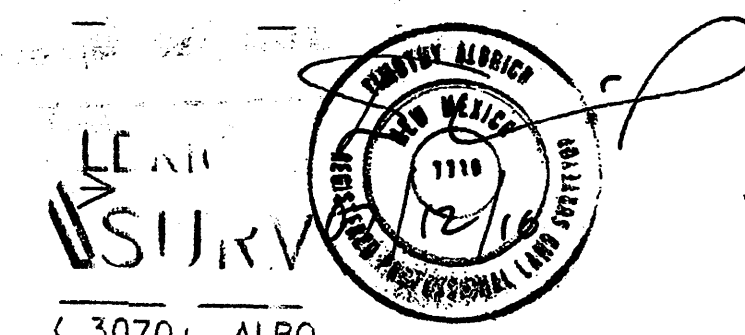
Disclaimer:

In approving this plat, PNM and NMGC did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

● = SET 5/8" REBAR W/CAP "LS 7719"

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	189.96	274.50	39°38'58"	98.96	S38°57'14"W	186.19
C2	106.31	225.50	27°00'42"	54.16	S32°38'05"W	105.33
C3	37.70	25.00	86°23'57"	23.48	S89°20'25"W	34.23
C4	58.55	324.00	10°21'17"	29.36	N52°39'15"W	58.48
C5	30.26	20.00	86°41'17"	18.88	N14°28'15"W	27.46
C6	37.92	213.00	10°11'56"	19.01	N24°13'43"E	37.87
C7	188.18	287.00	37°34'00"	97.61	N37°54'45"E	184.82
C8	48.59	213.00	13°04'12"	24.40	N35°51'47"E	48.48
C9	8.18	92.39	5°04'32"	4.09	N39°26'45"W	8.18
C10	86.50	213.00	23°16'08"	43.86	N30°45'49"E	85.91

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 85°09'22" E	20.91
L2	S 58°46'43" W	6.47
L3	N 28°52'23" E	53.52
L4	S 61°07'37" E	63.15
L5	S 73°51'18" E	28.15
L6	S 28°52'23" W	51.30
L7	N 28°52'23" E	2.21



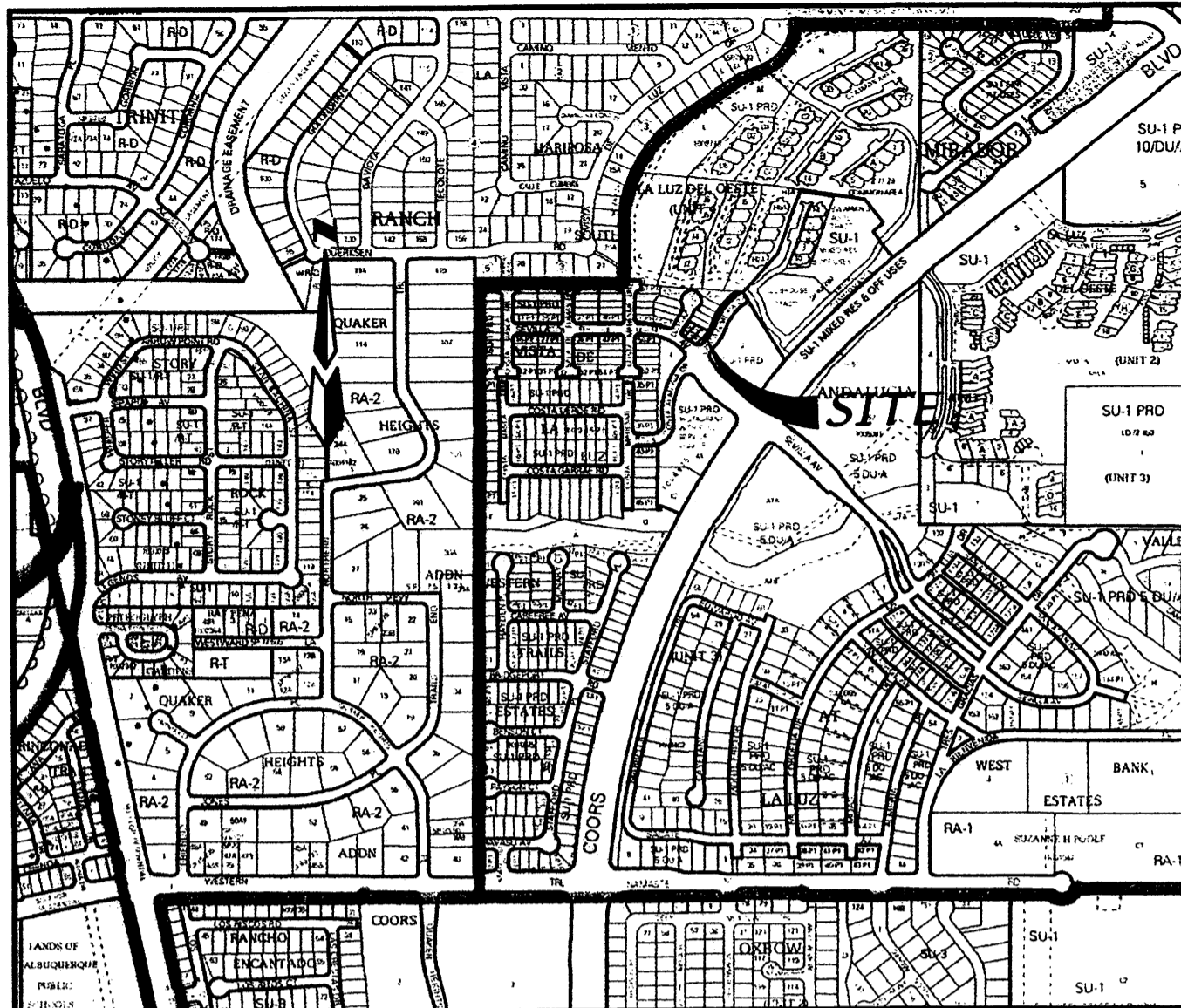
ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

30701, ALBQ
 1-1990

Dwg: A10038 FP_dwg	Drawn: SFS	Checked: WWP	Sheet 2 of 2
Scale: AS SHOWN	Date: 7/7/2010	Job: A10038	

1:10.00BS\A10038 Vista de la Luz, Lot 67\PLAT\FINAL PLATS\A10038 FP_dwg, 7/7, 1:33:27 PM, PC



LOCATION MAP

F-11-Z

SUBDIVISION DATA

1. DRB Case No.:
2. Zone Atlas Index No.: F-11-Z
3. Total Number of Lots/Tracts created: 1/1
4. Total Number of existing Lots/Tracts: 1/1
5. Total Number of Tracts created: 0
6. Gross Subdivision Acreage: 0.2623 Acres

NOTES

1. Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone). **(NAD83)**
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
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5. Field Survey performed in August, 2005.
6. Utility Council Location System Log No.: 2005480220
7. All points are **set** 5/8" rebar w/cap marked "LS 7719"

SOLAR NOTE: No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being install on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

FREE CONSENT AND DEDICATION

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Owner: **KCRW LLC** - Lot 67-A-P1 and Tract M-1

Keith Cheshire, Managing Member, KCRW, LLC.

STATE OF NEW MEXICO)
BERNALILLO COUNTY)

On this 7th day of July, 2010, this instrument was acknowledged before me by Keith Cheshire, Managing Member, KCRW, LLC.

Notary Public



PURPOSE OF PLAT

1. To create Lot 67-A-P1 And Tract M-1 as shown hereon.
2. To adjust lot lines to fit constructed infrastructure and improvements.

DESCRIPTION

A tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Lot 67-P1, and Tract M, Vista Del Luz, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 10, 2006 in Book 2006C, Page 331, and being more particularly described as follows:

BEGINNING at the northeast corner of the herein described tract, from whence AGRS Monument "NM_448_N6A" bears N84°31'50"E, 821.61 feet;

THENCE S58°46'43"W, 6.47 feet to a point of curvature;

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PLAT FOR
**LOT 67-A-P1, BLOCK A
AND TRACT M-1
VISTA DE LA LUZ
WITHIN SECTION 35
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2010**

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14, Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1004675

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico _____ Date _____

New Mexico Gas Company _____ Date _____

Qwest Telecommunications _____ Date _____

Comcast _____ Date _____

City Approvals:

City Surveyor [Signature] _____ Date 7-15-10

Real Property Division _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Albuquerque Bernalillo Water Utility Authority _____ Date _____

Parks and Recreation Department _____ Date _____

AMA FCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] _____ Date 07/12/10
Timothy Aldrich, P.S. No. 7719

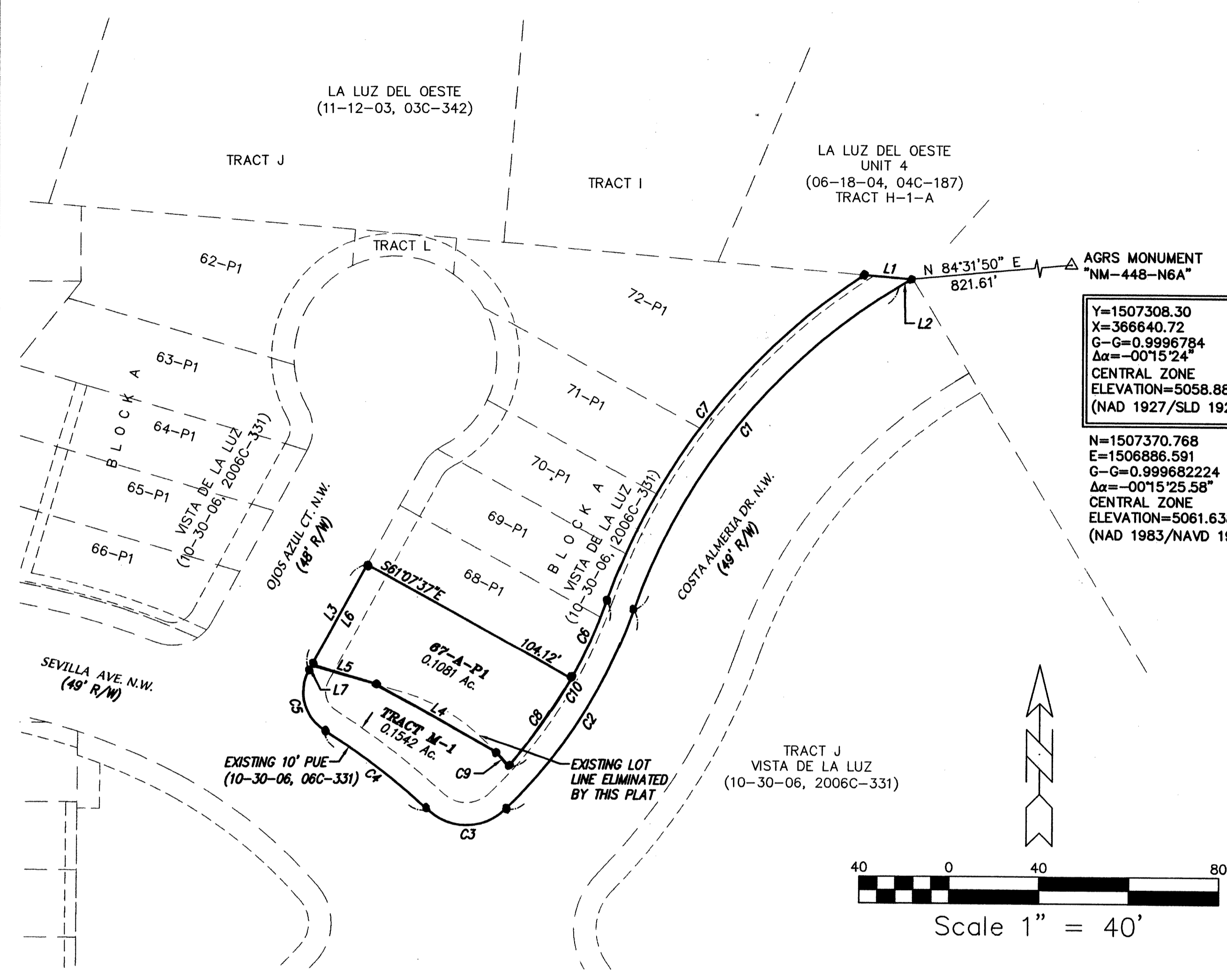


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: A10038 FP.dwg	Drawn: SPS	Checked: WWP	Sheet 1 of 2
Scale: AS SHOWN	Date: 7/7/2010	Job: A10038	

PLAT FOR
 LOT 67-A-P1, BLOCK A
 AND TRACT M-1
 VISTA DE LA LUZ
 WITHIN SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2010



Y=1507308.30
 X=366640.72
 G-G=0.9996784
 $\Delta\alpha=-00^{\circ}15'24''$
 CENTRAL ZONE
 ELEVATION=5058.889
 (NAD 1927/SLD 1929)

FOR INFORMATION ONLY

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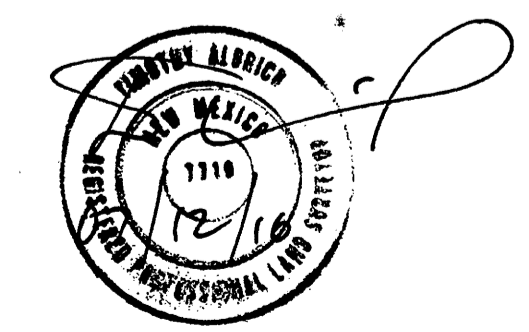
Disclaimer

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● = SET 5/8" REBAR W/CAP "LS 7719"

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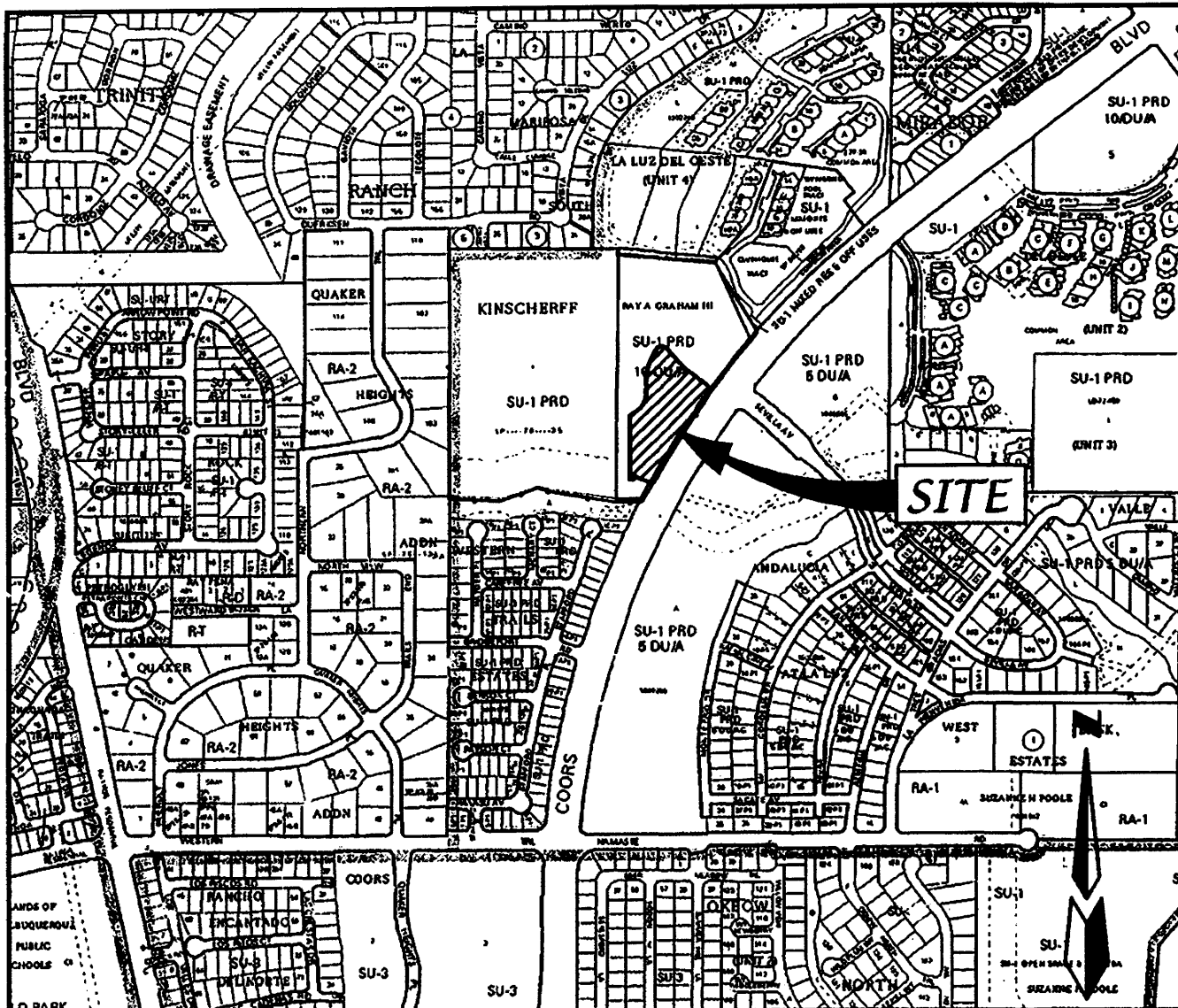


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
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Dwg: A10038 FP.dwg	Drawn: SPS	Checked: WWP	Sheet 2 of 2
Scale: AS SHOWN	Date: 7/7/2010	Job: A10038	

F:\A10038\A10038 Vista de la Luz, Lot 67\PLATS\FINAL PLATS\A10038 FP.dwg, 7/7/2010 4:33:27 PM, SPS



PLAT FOR
VISTA DE LA LUZ COMMERCIAL
TRACT K-1 and TRACT K-2
 WITHIN SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2008

LEGAL DESCRIPTION

A tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT K, PLAT OF VISTA DE LA LUZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 30, 2006 in Volume 2006c, Folio 331, containing 2.7555 acres more or less.

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: **1004675**
 Application Number: **08DRB-70269**

PLAT APPROVAL

Utility Approvals:

<i>Fernando Vigil</i> PNM Electric Services	6-20-08 Date
<i>Fernando Vigil</i> PNM Gas Services	6-20-08 Date
<i>Gregg Hunt</i> Qwest Telecommunications	5-27-08 Date
<i>Donna Bowen</i> Comcast	6-23-08 Date

City Approvals:

<i>[Signature]</i> City Surveyor	6-12-08 Date
<i>N/A</i> Real Property Division	
<i>[Signature]</i> Traffic Engineering, Transportation Division	7/9/08 Date
<i>[Signature]</i> Water Utility Department	6-25-08 Date
<i>Christina Sandoval</i> Parks and Recreation Department	6/25/08 Date
<i>Bradley J. Bingham</i> AMA/CA	6/25/08 Date
<i>Bradley J. Bingham</i> City Engineer	6/25/08 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	12-1-08 Date

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

- Subdivide "TRACT K, VISTA DE LA LUZ" into 2 Tracts..

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The PNM Gas Services Division for installation, maintenance, and service of natural gas, lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature]
 Timothy Aldrich, N.M.P.S. No. 7719



ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBU., N.M. 87130
 505-884-1990

VICINITY MAP SCALE: 1"=750' ZONE ATLAS: F-11-Z

SUBDIVISION DATA

Gross Acreage.....2.7555 Acres
 Zone Atlas No.....F-11-Z
 No. of Existing Tracts.....1
 No. of Tracts Created.....2 Tracts
 No. of Tracts Eliminated.....1
 Miles of Full Width Streets Created.....0
 Area Dedicated to the City of Albuquerque.....0.0000 Acres
 Date of Survey.....August, 2005
 Utility Control Location System Log Number.....2005480220

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: LAMBO, LLC.

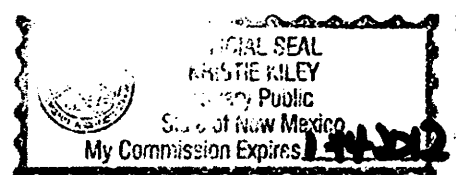
Tim McNaney
 Managing Member
 Tim McNaney
 Date: **4/30/08**

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on **4-30-2008**
 by *Tim McNaney*, Managing Member of LAMBO, LLC, a New Mexico Limited Liability Company on behalf of said company.

Timothy Aldrich
 NOTARY PUBLIC
 MY COMMISSION EXPIRES **1-14-2012**



DOCH 2008127469
 12/02/2008 11:12 AM Page: 1 of 2
 PLAT: R \$12.00 B: 2006C P: 0257 R: Toulouse Ollivere, Bernalillo Cour

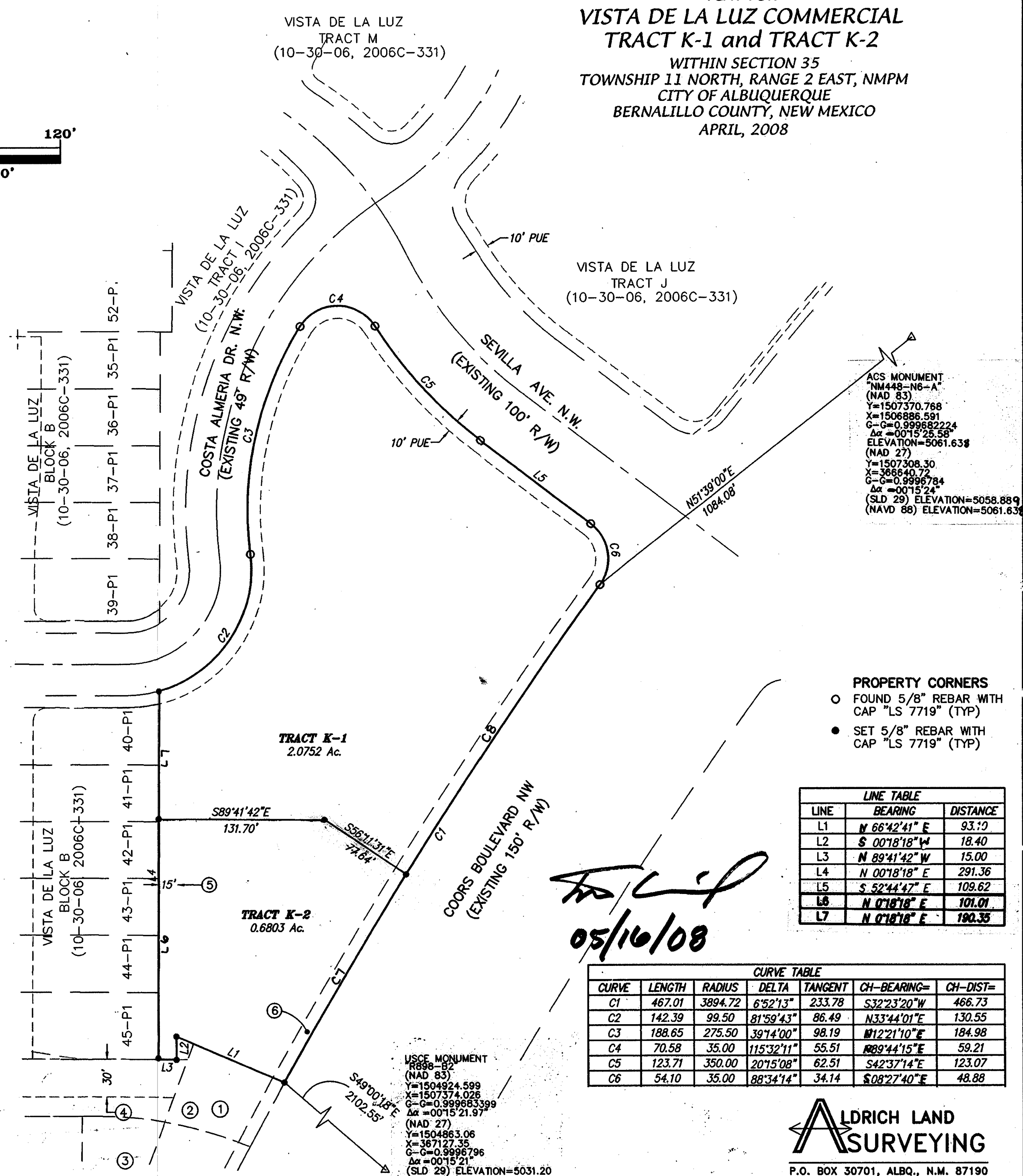
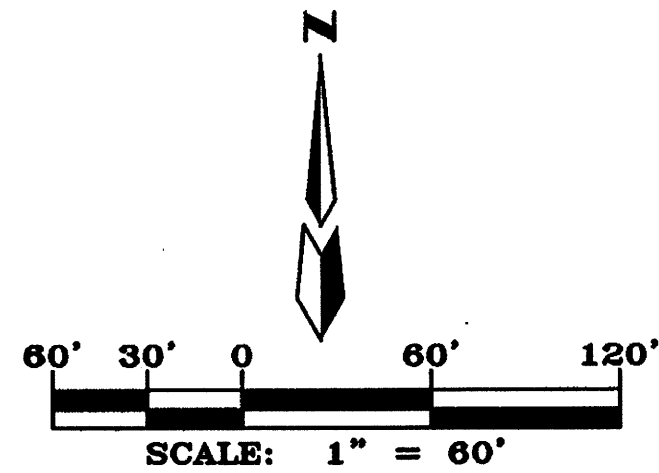
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID ON UPC # **101100129734522044**
 PROPERTY OWNER OF RECORD:
MONTEREY LAND GROUP LLC
 BERNALILLO COUNTY TREASURER'S OFFICE
12-2-08

Dwg: A07050-Cover.dwg	Drawn: RICK	Checked: ALS	Sheet 1 of 2
Scale: AS SHOWN	Date: 4/10/2008	Job: A07050	

PLAT FOR
VISTA DE LA LUZ COMMERCIAL
TRACT K-1 and TRACT K-2
 WITHIN SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2008

NOTES:

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT OF "VISTA DE LA LUZ", (10-30-06, 06C-331)
 PLAT OF "KINSCHERFF LANDS", (01-25-78, B14-44)
 PLAT OF "QUAKER HEIGHTS", (09-25-63, C5-182)
 PLAT OF "QUAKER HEIGHTS ADDITION", (06-17-75, A5-140)
 PLAT OF "LA MARIPOSA SOUTH", (07-27-77, D7-195)
 PLAT OF "LA LUZ DEL OESTE", (11-12-03, 03C-342)
 PLAT OF "LA LUZ DEL OESTE, UNIT 4", (06-18-04, 04C-187)
 PLAT OF "WESTERN TRAILS ESTATES", (01-13-05, 05C-14)
 all being records of Bernalillo County, New Mexico.
- Title Report: Provided by First American Title Insurance Co. No. NM03163693-AL02, VC (Effective date: 06-01-05)
- Flood Zone Designation: Zone X and A (100-Year Flood Confined To Constructed Channel) of Panel 114 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)
- Unless otherwise noted all boundary corners are set #5 rebar with cap "ALS LS 7719" (TYP).
- A reciprocal cross lot access, parking, utility and drainage easement for the benefit of and to be jointly maintained by the owners of Tracts K-1 and K-2, (excluding buildings) granted by this plat.
- SOLAR NOTE:** No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being install on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.



AGS MONUMENT
 "M448-N6-A"
 (NAD 83)
 Y=1507370.768
 X=1506886.591
 G-G=0.999682224
 Δα=0°15'25.58"
 ELEVATION=5061.638
 (NAD 27)
 Y=1507308.30
 X=368840.72
 G-G=0.9996784
 Δα=0°15'24"
 (SLD 29) ELEVATION=5058.889
 (NAVD 88) ELEVATION=5061.638

EXISTING EASEMENTS

- EXISTING COA WATER AND SANITARY SEWER EASEMENT (05-07-04, BK.A77, PG.2627)
- EXISTING 40' COA WATER AND SEWER EASEMENT (01-13-05, 05C-14)
- EXISTING AMAFCA FLOODWAY AND STORM DRAINAGE EASEMENT (09-25-81, BK.MISC.881, PG.94-97)
- EXISTING 30' PUBLIC WATERLINE & SANITARY SEWER EASEMENT (10-30-06, 2006C-331)
- EXISTING LANDSCAPE EASEMENT (10-30-06, 2006C-331)
- EXISTING 10' UNDERGROUND PNM AND MST&T EASEMENT (09-14-78, BK.MISC.637, PG.899)

ABBREVIATIONS

R/W = RIGHT-OF-WAY

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)
 - SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 66°42'41" E	93.10
L2	S 00°18'18" W	18.40
L3	N 89°41'42" W	15.00
L4	N 00°18'18" E	291.36
L5	S 52°44'47" E	109.62
L6	N 0°18'18" E	101.01
L7	N 0°18'18" E	190.35

Tom Culp
 05/16/08

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C7	191.17	3894.72	2°48'44"	95.60	S30°21'36" W	191.15
C8	275.84	3894.72	04°10'28"	137.98	S33°47'42" W	275.78

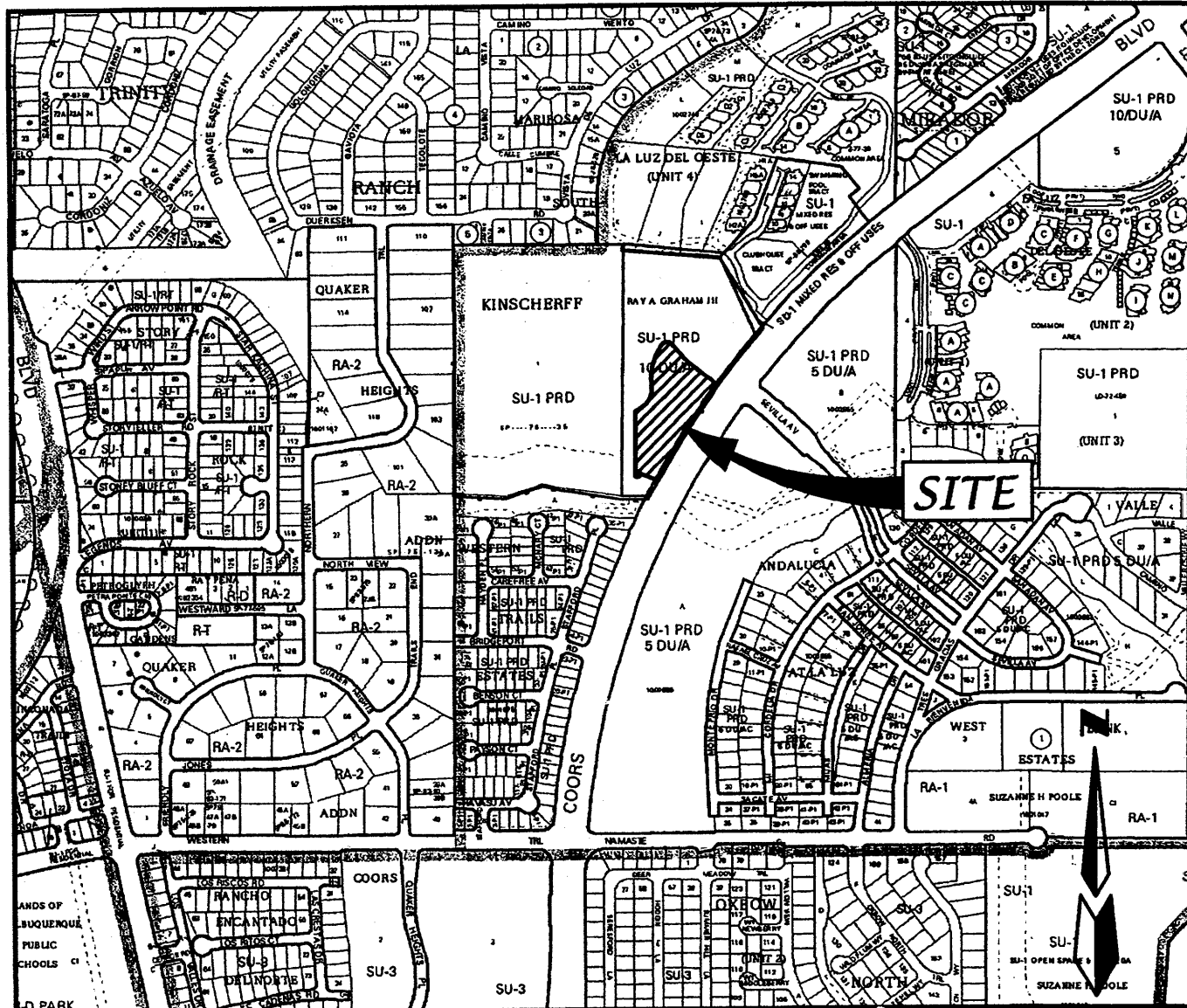
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	467.01	3894.72	6°52'13"	233.78	S32°23'20" W	466.73
C2	142.39	99.50	81°59'43"	86.49	N33°44'01" E	130.55
C3	188.65	275.50	39°14'00"	98.19	N12°21'10" E	184.98
C4	70.58	35.00	115°32'11"	55.51	N89°44'15" E	59.21
C5	123.71	350.00	20°15'08"	62.51	S42°37'14" E	123.07
C6	54.10	35.00	88°34'14"	34.14	S08°27'40" E	48.88

USCE MONUMENT
 R898-B2
 (NAD 83)
 Y=1504924.599
 X=1507374.026
 G-G=0.999683399
 Δα=0°15'21.97"
 (NAD 27)
 Y=1504863.06
 X=367127.35
 G-G=0.9996796
 Δα=0°15'21"
 (SLD 29) ELEVATION=5031.20

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

DOC# 2008127469
 12/02/2008 11:12 AM Page: 2 of 2
 PLAT R: \$12.00 B: 2006C P: 0267 M: Toulous Olivera, Bernalillo Cour

F:\A07050\A07050 Vista Commercial\FINAL PLAT\A07050-FP-SHT 2.dwg, 4/16/2008 10:35:47 AM, PLOTTED BY: RFH



VICINITY MAP SCALE: 1"=750' ZONE ATLAS: F-11-Z

SUBDIVISION DATA

Gross Acreage.....2.7555 Acres
 Zone Atlas No.....F-11-Z
 No. of Existing Tracts.....1
 No. of Tracts Created.....2 Tracts
 No. of Tracts Eliminated.....1
 Miles of Full Width Streets Created.....0
 Area Dedicated to the City of Albuquerque.....0.0000 Acres
 Date of Survey.....August, 2005
 Zoning.....SU-1 PRD
 Utility Control Location System Log Number.....2005480220

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: LAMBO, LLC.

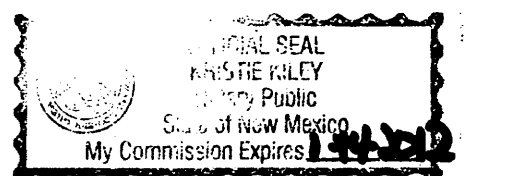
BY: *Tim McNaney*
 TITLE: *Managing Member*
Tim McNaney Date *4/30/08*

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on *4-30-2008*
 By *Tim McNaney*, *Managing Member* of LAMBO, LLC, a New Mexico Limited Liability Company on behalf of said company.

Tim Kirtukley *1-14-2012*
 NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Tract K, PLAT OF VISTA DE LA LUZ as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 30, 2006 in Volume 2006c, Folio 331, containing 2.7555 acres more or less.

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide "TRACT K, VISTA DE LA LUZ" into 2 Tracts..

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment; and facilities reasonably necessary to provide natural gas.
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In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
VISTA DE LA LUZ COMMERCIAL
TRACT K-1 and TRACT K-2
 WITHIN SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2008

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

Greg Hunt
 Qwest Telecommunications _____ *5-27-08*
 Date

Comcast _____ Date _____

City Approvals: *U. B. J. Tal*
 City Surveyor _____ *6-12-08*
 Date

Real Property Division _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Water Utility Department _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

SURVEYOR'S CERTIFICATION

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Timothy Aldrich *05/16/08*
 Timothy Aldrich, N.M.P.S. No. 7719 Date



ALDRICH LAND
SURVEYING

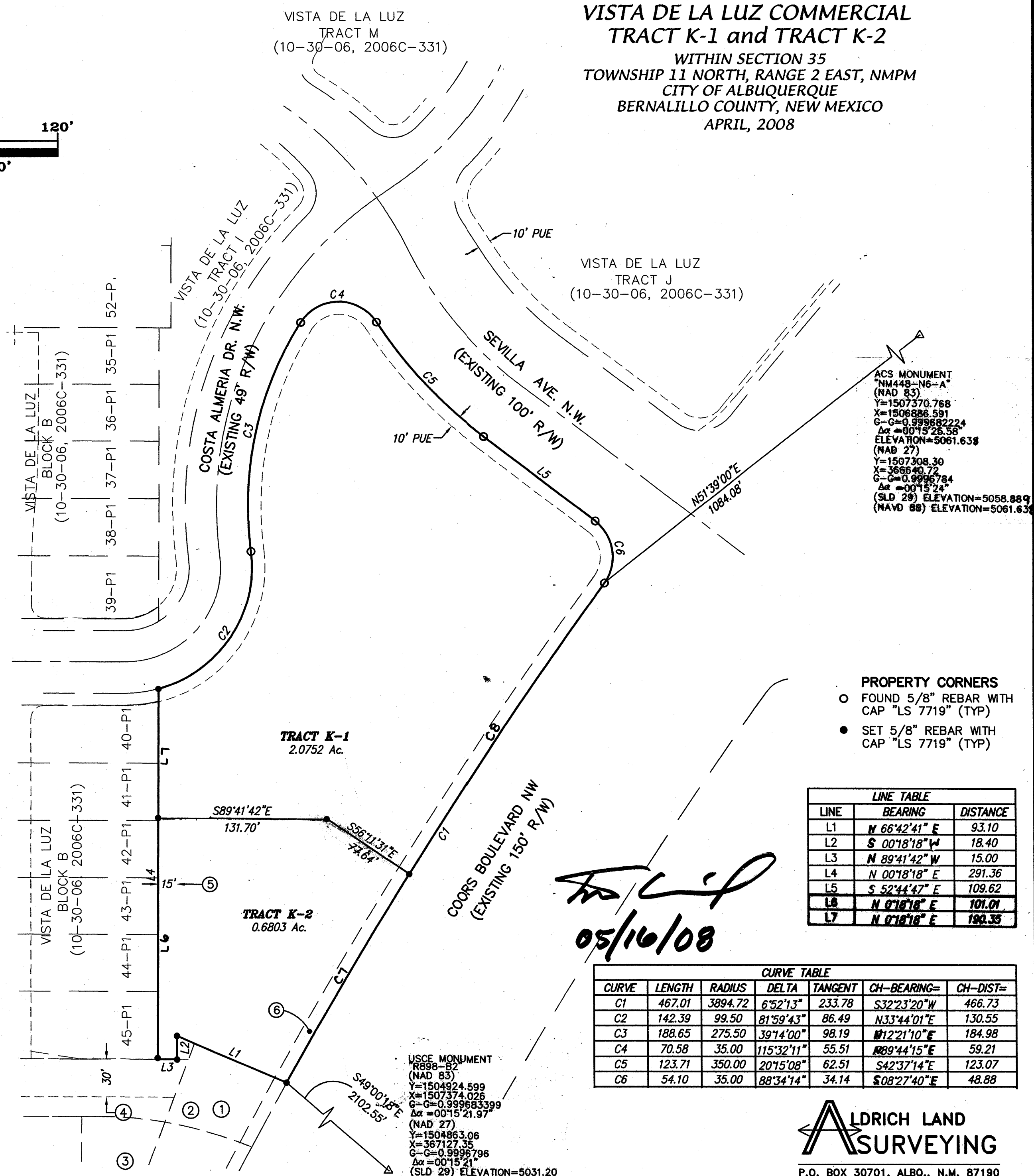
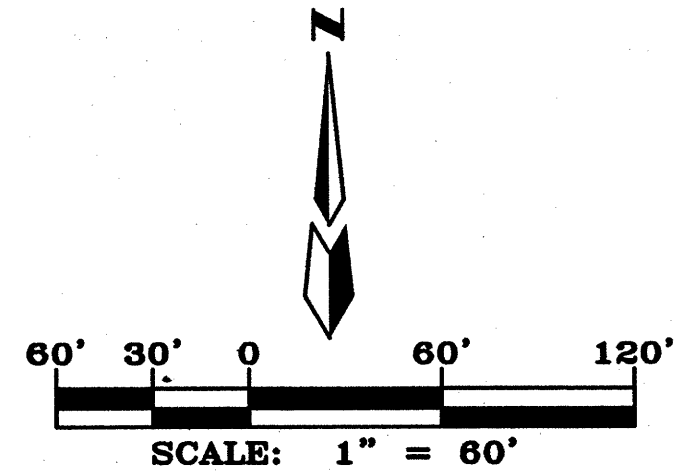
P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: A07050-Cover.dwg	Drawn: RICK	Checked: ALS	Sheet 1 of 2
Scale: AS SHOWN	Date: 4/10/2008	Job: A07050	

PLAT FOR
VISTA DE LA LUZ COMMERCIAL
TRACT K-1 and TRACT K-2
 WITHIN SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
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- Unless otherwise noted all boundary corners are set #5 rebar with cap "ALS LS 7719" (TYP).
- A reciprocal cross lot, access, parking, utility and drainage easement Tract K-1 and K-2 (excluding buildings) is hereby granted by this plat.



ABBREVIATIONS

R/W = RIGHT-OF-WAY

EXISTING EASEMENTS

- EXISTING COA WATER AND SANITARY SEWER EASEMENT (05-07-04, BK.A77, PG.2627)
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- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "LS 7719" (TYP)
 - SET 5/8" REBAR WITH CAP "LS 7719" (TYP)

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C4	70.58	35.00	115°32'11"	55.51	N89°44'15" E	59.21
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CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
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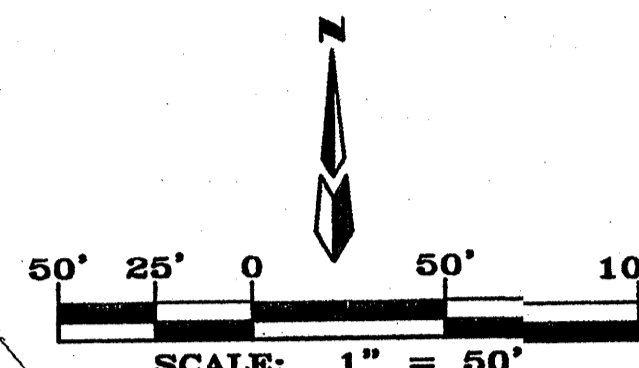
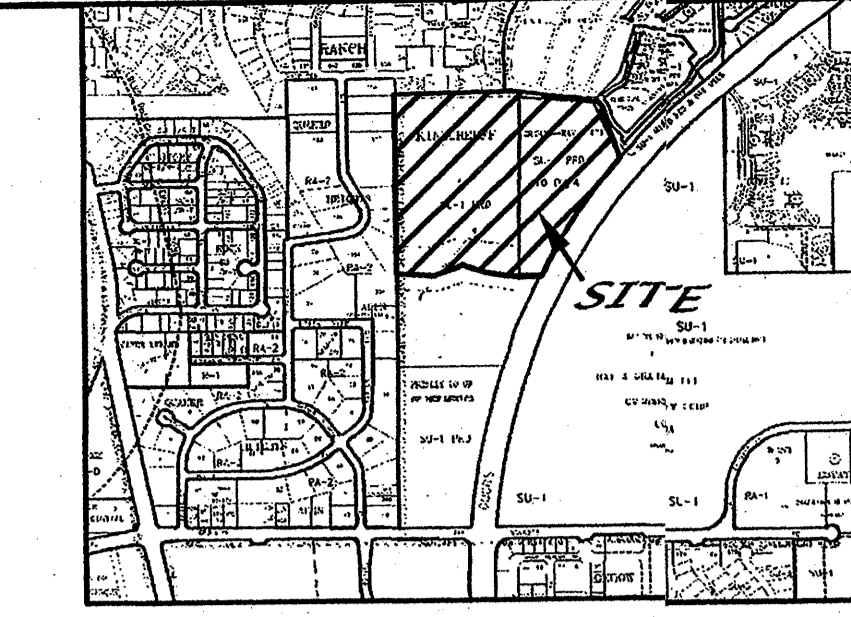
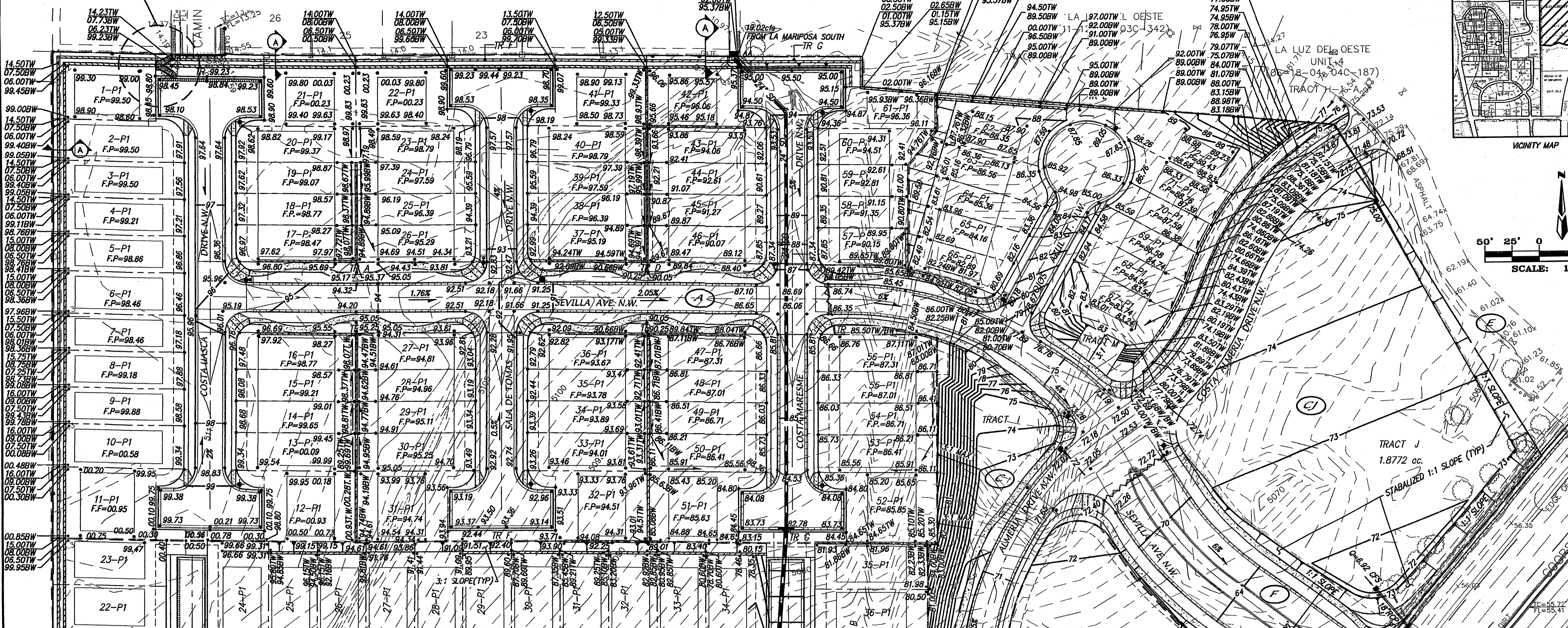
USCE MONUMENT
 R898-B2
 (NAD 83)
 Y=1504924.599
 X=1507374.026
 G-C=0.999683399
 Δα=00°15'21.97"
 (NAD 27)
 Y=1504863.06
 X=367127.35
 G-C=0.9996796
 Δα=00°15'21"
 (SLD 29) ELEVATION=5031.20

ALDRICH LAND SURVEYING

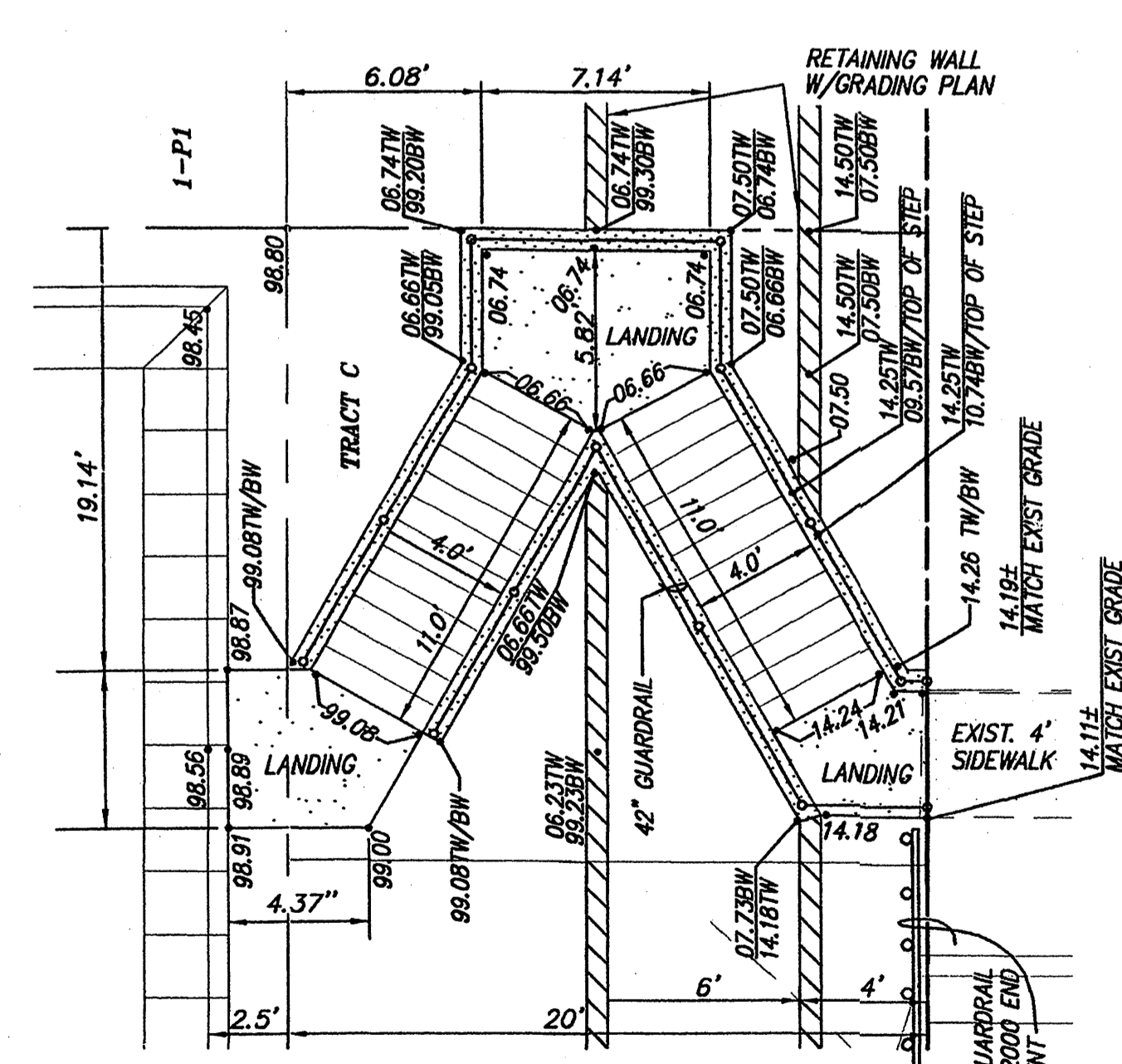
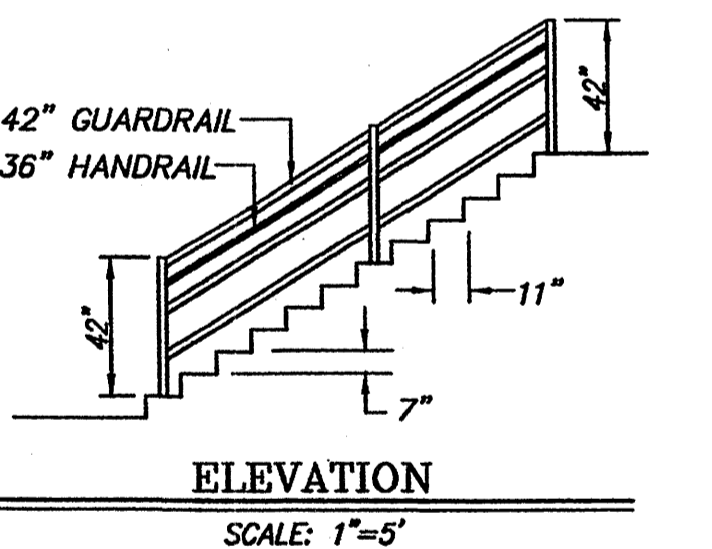
P.O. BOX 30701, ALBUQ., N.M. 87190
 505-884-1990

Dwg: A07050-FP-SHT 2.dwg	Drawn: RICK	Checked: ALS	Sheet 2 of 2
Scale: 1"=60'	Date: 04/16/08	Job: A07050	

SEE DETAIL THIS SHEET



SEE SHEET 6



NOTES:

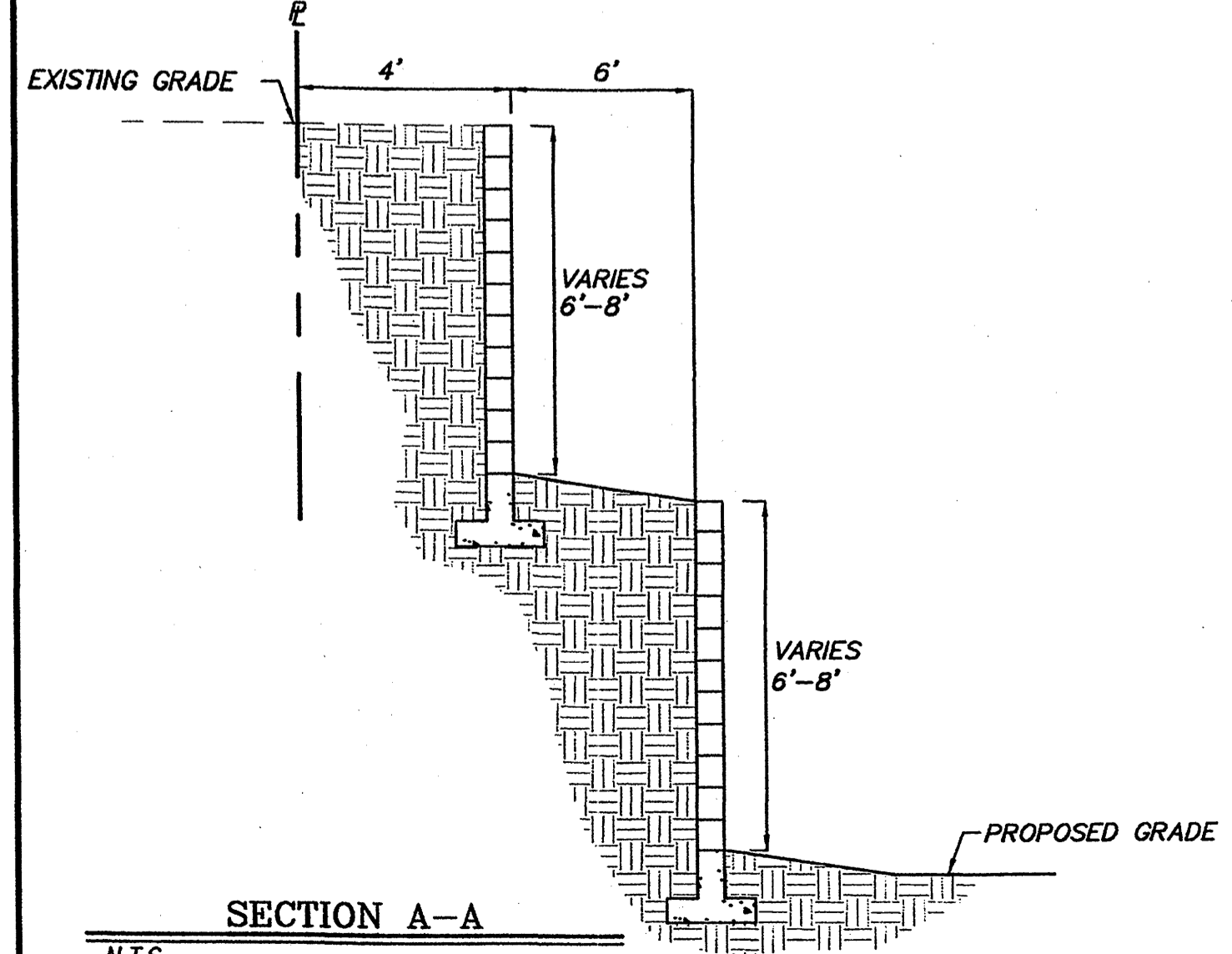
1. ALL LOT RUNOFF DRAIN TO STREET IN FRONT OF THE LOT EXCEPT AS NOTED.
2. RETAINING WALL REQUIRED WHEN THE DIFFERENCE BETWEEN PAD ELEVATIONS IS GREATER THAN 1.5'.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT OF WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (1985 EDITION).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24 HOUR BASIS.

LEGEND

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATIONS
- EXISTING CURB
- PROPOSED 5/8" CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPERTY LINE
- DRAINAGE BASIN BOUNDARY
- DRAINAGE BASIN I.D.
- NEW RETAINING WALL
- PROPOSED GRADE
- PROPOSED CONTOURS
- PROPOSED WATER BLOCK
- PROPOSED TOP OF WALL
- PROPOSED BOTTOM OF WALL

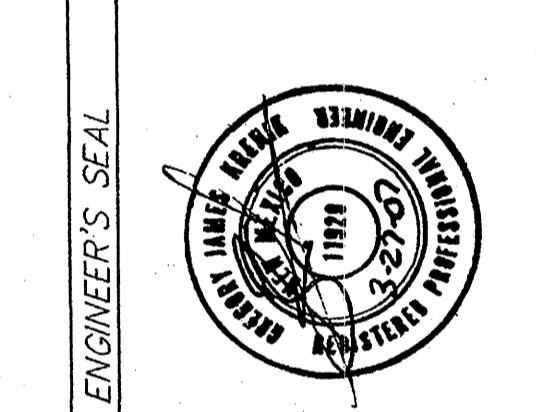


- SCALE: 1"=5"
- NOTE: A 42" GUARDRAIL IS TO BE INSTALLED AROUND BOTH SIDES OF STEPS AND LANDINGS. THE HANDRAIL IS TO BE ATTACHED TO THE GUARDRAIL BUT NO MORE THAN 36" HIGH.
- LEGEND
- RETAINING WALL AS PART OF STEP CONSTRUCTION
 - RETAINING WALL AS PART OF GRADING PLAN

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S NAME	DATE
FIELD ENGINEER'S NAME	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE

SURVEY INFORMATION	
FIELD NOTES	BY
NO.	DATE

ENGINEER'S SEAL	
NO.	DATE



REVISIONS	
NO.	DATE
BY	DATE
REVISIONS	DATE
DESIGN	DATE
DMG	01/06
SLV	01/06
DMG	01/06

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

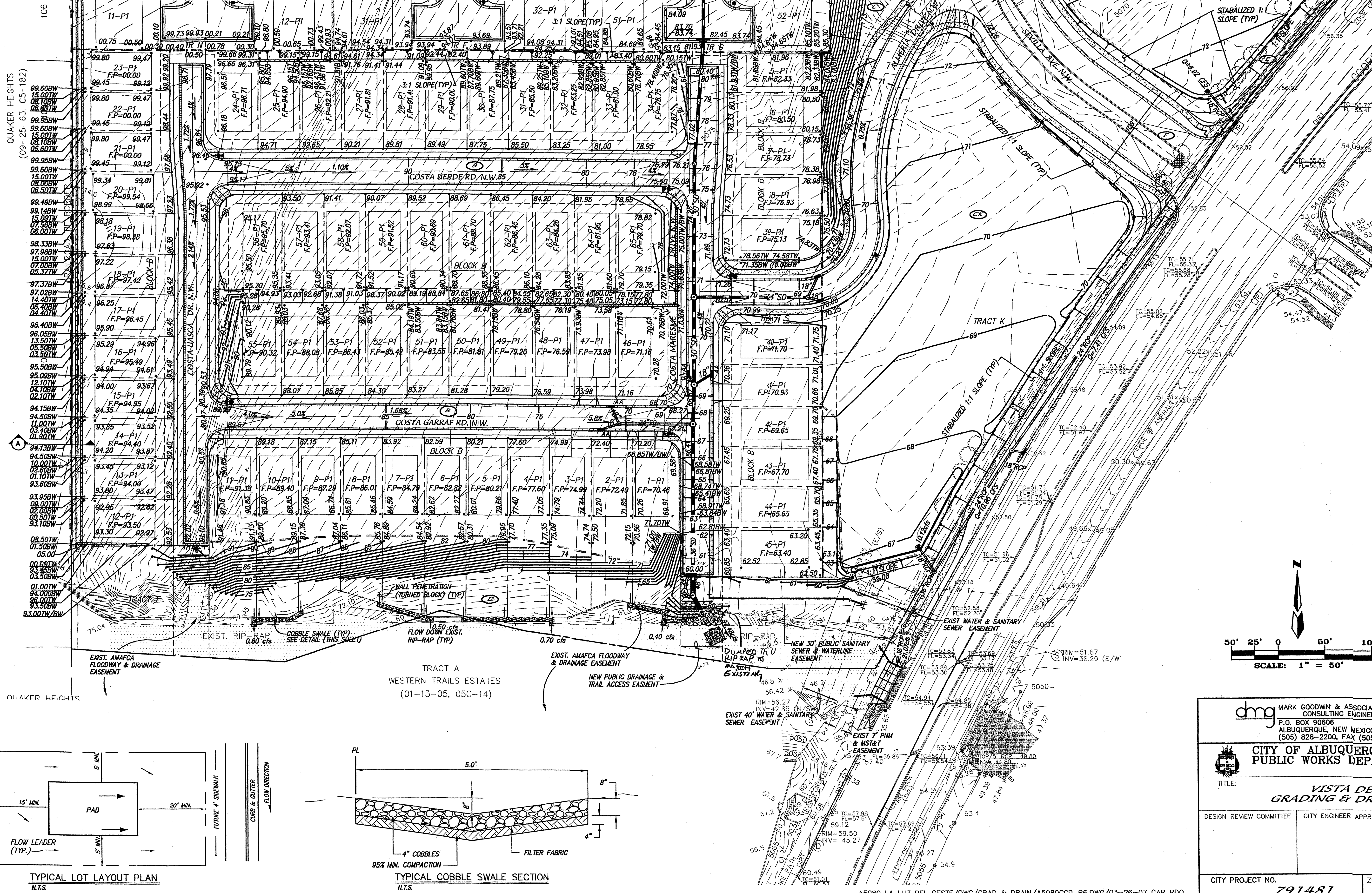
TITLE: **VISTA DE LA LUZ
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. **791481** ZONE MAP NO. **F-11** SHEET **5** OF **24**

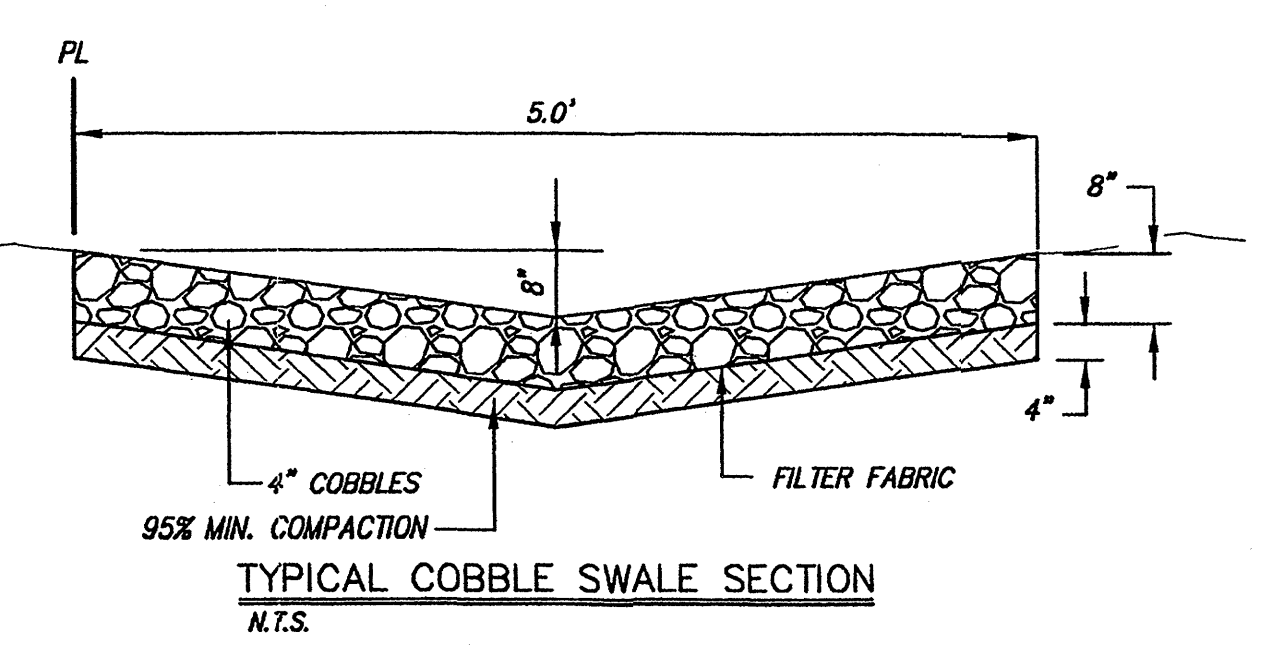
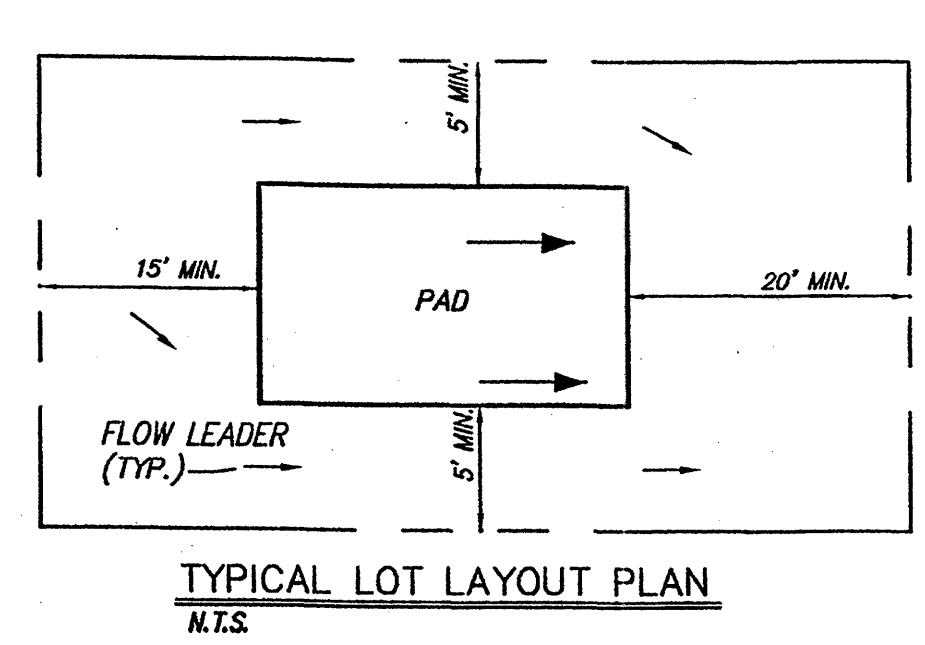
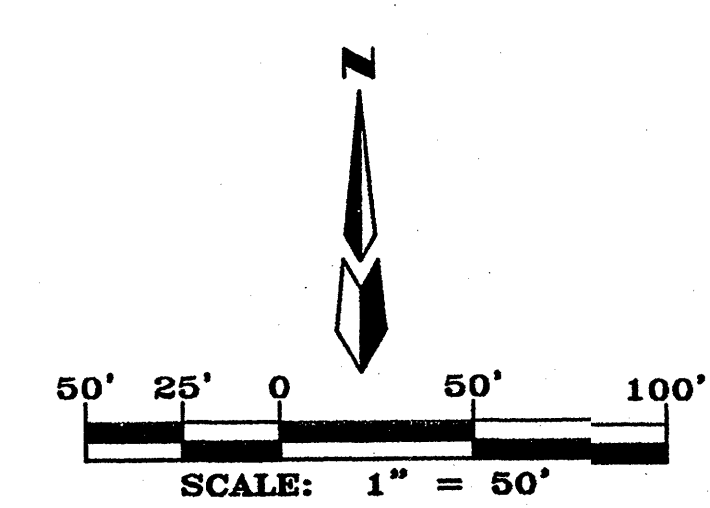
AP - For 1004675

SEE SHEET 5



QUAKER HEIGHTS (09-25-63, C5-182)

99.80	99.47
99.60W	99.12
15.00TW	99.47
08.10W	99.12
06.00W	99.47
99.55W	99.12
99.60W	99.47
15.00TW	99.12
08.10W	99.47
06.00W	99.12
99.95W	99.47
99.60W	99.12
15.00TW	99.47
08.10W	99.12
06.00W	99.47
99.45W	99.12
99.60W	99.47
15.00TW	99.12
08.10W	99.47
06.00W	99.12
99.34	99.01
99.14W	99.66
15.80TW	99.66
07.50W	99.34
08.00TW	99.66
98.33W	99.66
97.98W	99.66
15.00TW	99.66
07.00W	99.66
05.37TW	99.66
97.37W	99.66
97.02W	99.66
14.40TW	99.66
06.40W	99.66
04.40TW	99.66
96.40W	99.66
96.05W	99.66
13.50TW	99.66
05.50W	99.66
03.50TW	99.66
95.50W	99.66
95.09W	99.66
12.10TW	99.66
04.10W	99.66
02.10TW	99.66
94.15W	99.66
94.50W	99.66
11.00TW	99.66
03.40W	99.66
01.30TW	99.66
94.13W	99.66
94.50W	99.66
10.00TW	99.66
02.50W	99.66
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93.10W	99.66
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05.00	99.66
00.00TW	99.66
93.25W	99.66
03.50W	99.66
01.00TW	99.66
94.00W	99.66
93.50W	99.66
93.00TW	99.66



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CENTERLINE OF ENTRANCE TO LA LUZ CONDOMINIUM.	DATE	NO.	BY		NO. DATE REMARKS REVISIONS DESIGN DATE 01/06 DRAWN BY SLV DATE 01/06 CHECKED BY DMG DATE 01/06
INSPECTOR'S NAME	DATE	GEOGRAPHIC POSITION (NAD 1982), IN FEET 71'	DATE				
FIELD VERIFICATION BY	DATE	FROM CENTERLINE OF COORS BLVD. AND 3' FROM					
DATE CORRECTED	DATE	ACS BRASS CAP STAMPED "NM4448-N6-A"					
MICRO-FILM INFORMATION	DATE	ELEVATION-5056.889 (NGVD89) IN FEET					
RECORDED BY	DATE	X-366640.72 Y=1507308.30 N.M. STATE PLANE					
		COORDINATES (CENTRAL ZONE)					

dmg MARK GOODWIN & ASSOCIATES, P.A.
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ALBUQUERQUE, NEW MEXICO 87199
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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **VISTA DE LA LUZ
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. **791481** ZONE MAP NO. **F-11** SHEET **6** OF **24**

5A5080 LA LUZ DEL OESTE/DWG/GRAD & DRAIN/5A5080CGD_R6.DWG/03-26-07 CAR RDQ

LEGAL DESCRIPTION:	TRACT K-A	TRACT K-B	TOTALS
PROPOSED TRACT NUMBER:	TRACT K-A	TRACT K-B	TOTALS
TOTAL ACREAGE:	AREA= .6589 AC	AREA= 2.0965 AC	
EXISTING ZONING:	O-1 / C-1 PERMISSIVE USES		
PROPOSED ZONING:			
BUILDING SIZE/ REQ DINNING SEATS:	± 4,000SF/OFFICE	SHOPS-1 8,500 SF W/ 200 SEATS	
FAR:	.1279	.1728	
PROPOSED NUMBER OF STRUCTURES:	1	1	
PROPOSED USE:	OFFICE	RETAIL/FOOD USES	
TOTAL PARKING PROVIDED:	19 SPACES	90 SPACES	110 PROVIDED
TOTAL PARKING REQ (INC. EMPLOYEE):	20 SPACES	83 CARS	103 REQUIRED
H.C PROVIDED:	2 H.C (INC. 2 VAN ACCESIBLE)	4 H.C (INC. 4 VAN ACCESIBLE)	
H.C REQUIRED:	2 H.C SPACES	4 H.C SPACES	
BIKE SPACES PROVIDED:	5 BIKE SPACES	5 BIKE SPACES	
BIKE SPACES REQUIRED:	1 BIKE SPACES	4 BIKE SPACES	
MOTORCYCLE SPACES PROVIDED:	2 MOTORCYCLE SPACE	2 MOTORCYCLE SPACE	
MOTORCYCLE SPACES REQUIRED:	1 MOTORCYCLE SPACE	2 MOTORCYCLE SPACE	
MAX BUILDING HT	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	

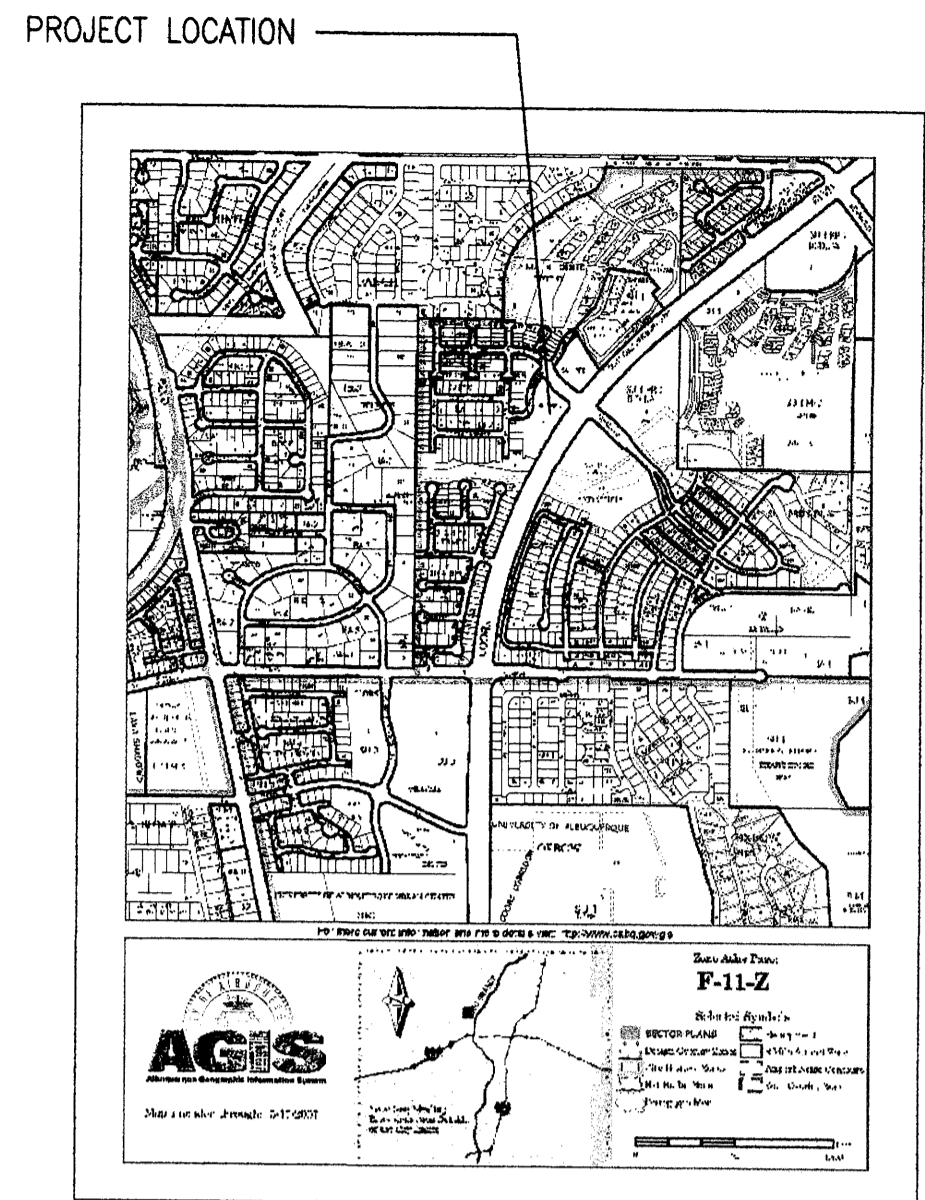
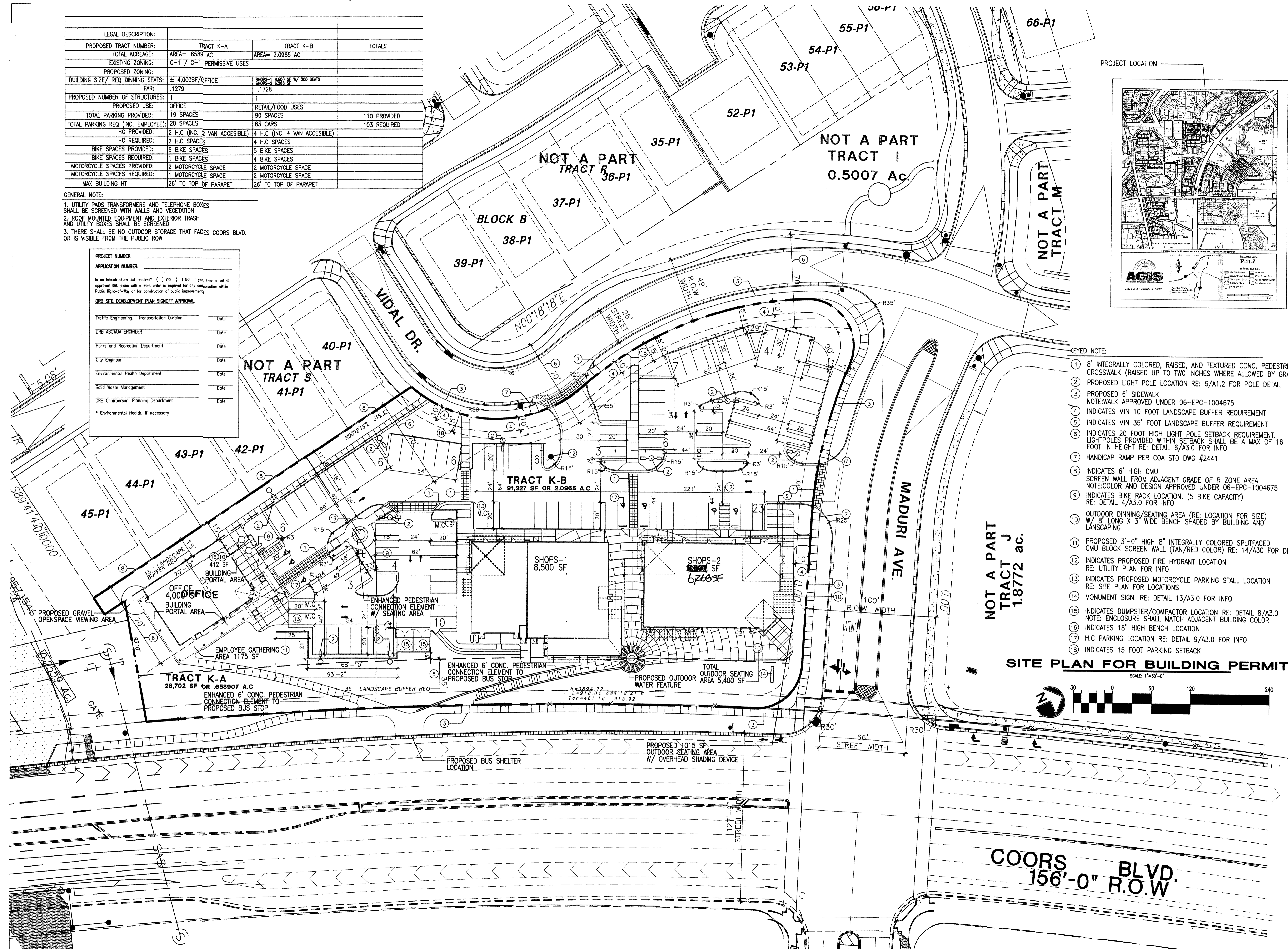
GENERAL NOTE:
 1. UTILITY PADS TRANSFORMERS AND TELEPHONE BOXES SHALL BE SCREENED WITH WALLS AND VEGETATION
 2. ROOF MOUNTED EQUIPMENT AND EXTERIOR TRASH AND UTILITY BOXES SHALL BE SCREENED
 3. THERE SHALL BE NO OUTDOOR STORAGE THAT FACES COORS BLVD. OR IS VISIBLE FROM THE PUBLIC ROW

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If YES, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

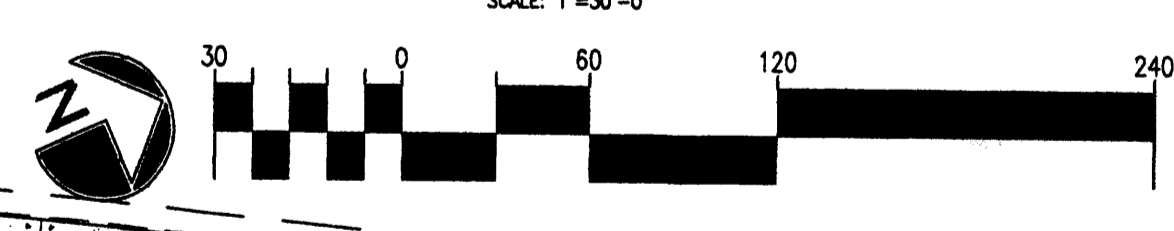
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCWIA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	



- KEYED NOTE:
- 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK (RAISED UP TO TWO INCHES WHERE ALLOWED BY GRADES)
 - PROPOSED LIGHT POLE LOCATION RE: 6/A1.2 FOR POLE DETAIL
 - PROPOSED 6' SIDEWALK NOTE: WALK APPROVED UNDER 06-EPC-1004675
 - INDICATES MIN 10 FOOT LANDSCAPE BUFFER REQUIREMENT
 - INDICATES MIN 35' FOOT LANDSCAPE BUFFER REQUIREMENT
 - INDICATES 20 FOOT HIGH LIGHT POLE SETBACK REQUIREMENT. LIGHTPOLES PROVIDED WITHIN SETBACK SHALL BE A MAX OF 16 FOOT IN HEIGHT RE: DETAIL 6/A3.0 FOR INFO
 - HANDICAP RAMP PER COA STD DWG #2441
 - INDICATES 6' HIGH CMU SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA NOTE: COLOR AND DESIGN APPROVED UNDER 06-EPC-1004675
 - INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 4/A3.0 FOR INFO
 - OUTDOOR DINNING/SEATING AREA (RE: LOCATION FOR SIZE) W/ 8' LONG X 3' WIDE BENCH SHADED BY BUILDING AND LANDSCAPING
 - PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLITFACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A30 FOR DET.
 - INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
 - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
 - MONUMENT SIGN. RE: DETAIL 13/A3.0 FOR INFO
 - INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0 NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
 - INDICATES 18" HIGH BENCH LOCATION
 - H.C PARKING LOCATION RE: DETAIL 9/A3.0 FOR INFO
 - INDICATES 15 FOOT PARKING SETBACK

SITE PLAN FOR BUILDING PERMIT



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
VISTAS DE LA LUZ COMMERCIAL
 N.W.C. OF COORS BLVD. AND LA LUZ
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
 STEPHEN DUNBAR, AIA

JOB NO.

DRAWN BY:
 S

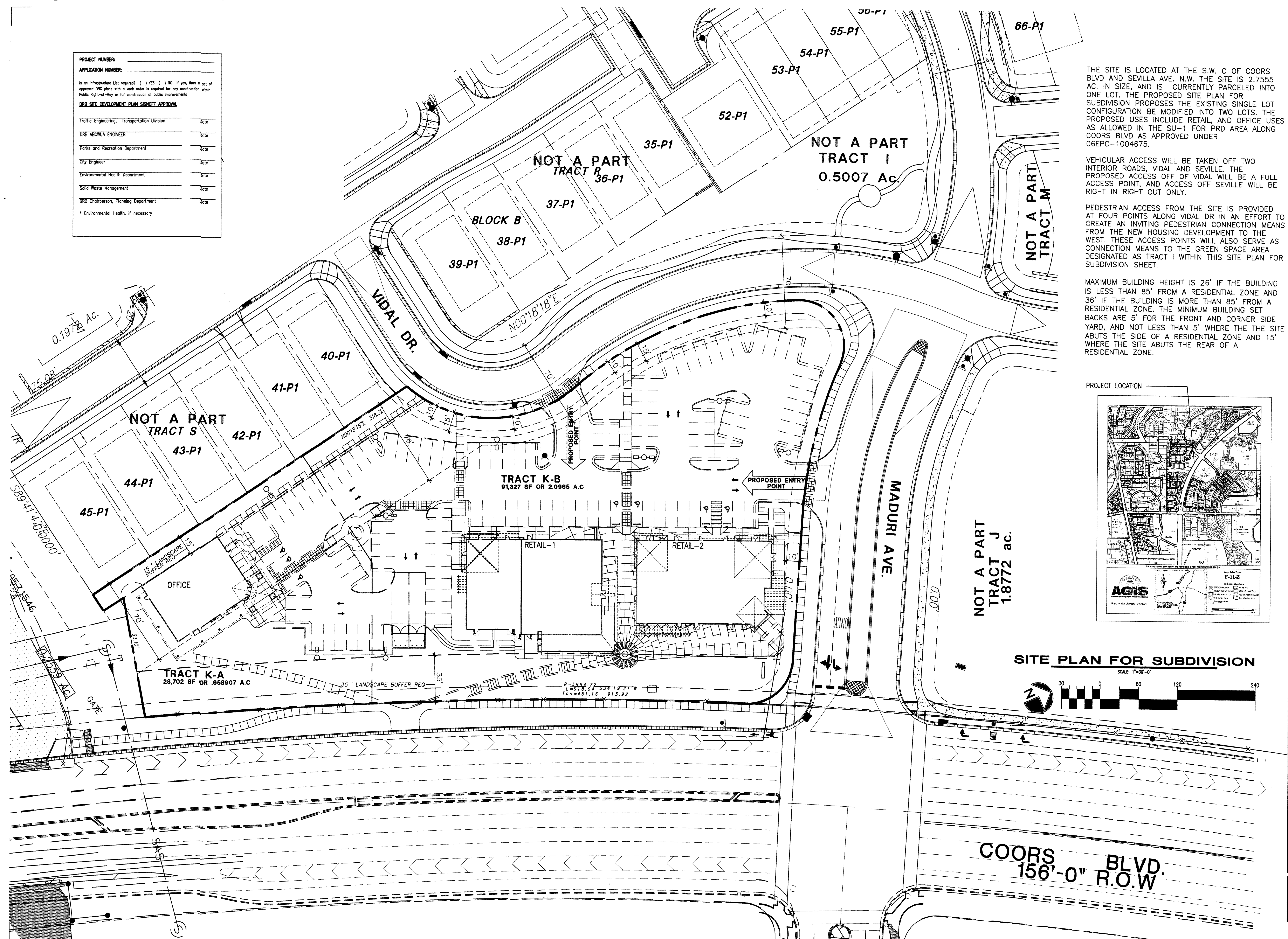
SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

DATE:
 9/1/06

SCALE:
 1"=30'

Sheet:
A1.1
 of

PROJECT NUMBER:	
APPLICATION NUMBER:	
Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
Traffic Engineering, Transportation Division	Date
DRB ARCHITECT ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	



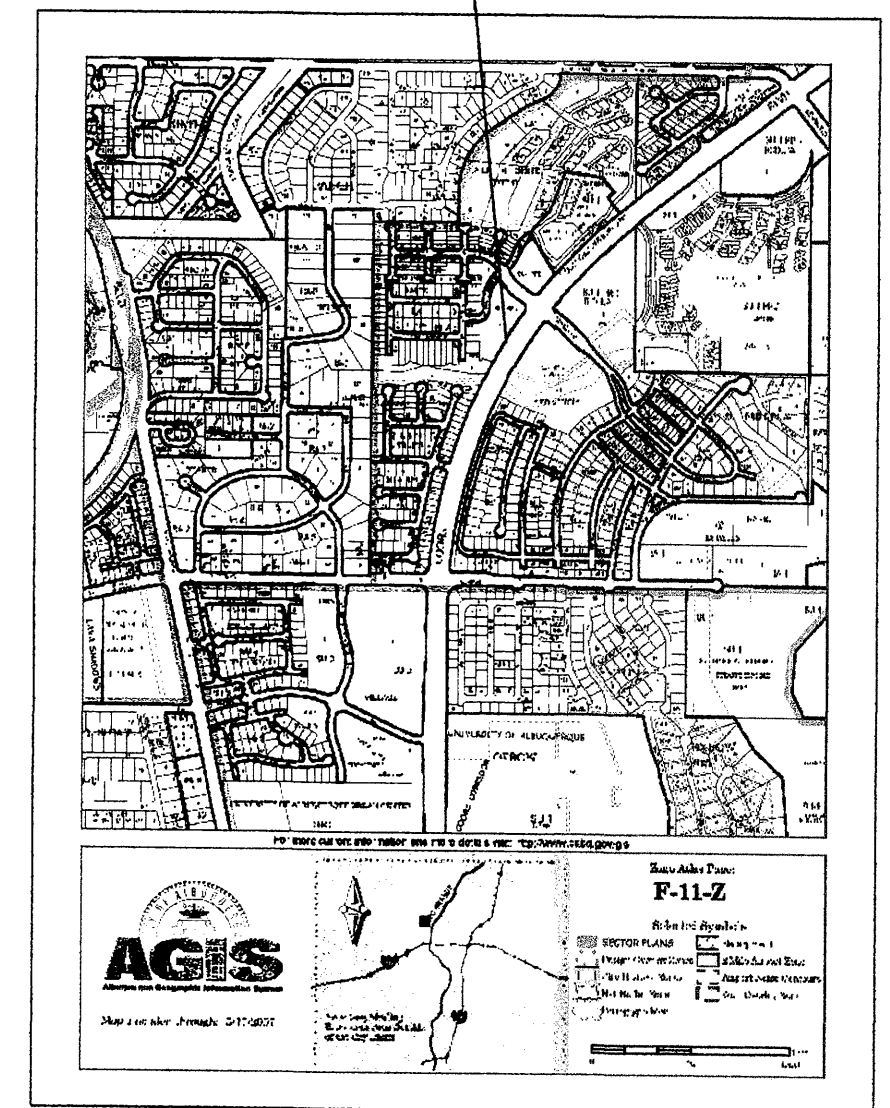
THE SITE IS LOCATED AT THE S.W. C OF COORS BLVD AND SEVILLA AVE. N.W. THE SITE IS 2.7555 AC. IN SIZE, AND IS CURRENTLY PARCELED INTO ONE LOT. THE PROPOSED SITE PLAN FOR SUBDIVISION PROPOSES THE EXISTING SINGLE LOT CONFIGURATION BE MODIFIED INTO TWO LOTS. THE PROPOSED USES INCLUDE RETAIL, AND OFFICE USES AS ALLOWED IN THE SU-1 FOR PRD AREA ALONG COORS BLVD AS APPROVED UNDER 06EPC-1004675.

VEHICULAR ACCESS WILL BE TAKEN OFF TWO INTERIOR ROADS, VIDAL AND SEVILLE. THE PROPOSED ACCESS OFF OF VIDAL WILL BE A FULL ACCESS POINT, AND ACCESS OFF SEVILLE WILL BE RIGHT IN RIGHT OUT ONLY.

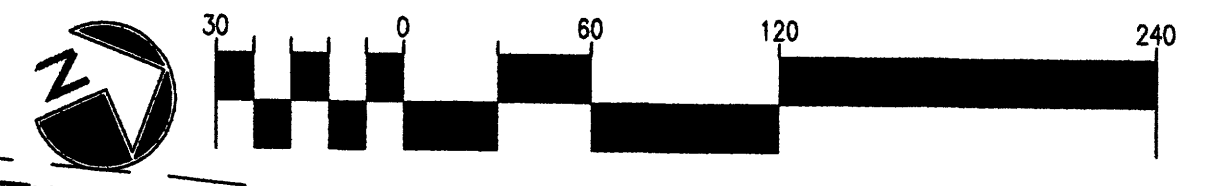
PEDESTRIAN ACCESS FROM THE SITE IS PROVIDED AT FOUR POINTS ALONG VIDAL DR IN AN EFFORT TO CREATE AN INVITING PEDESTRIAN CONNECTION MEANS FROM THE NEW HOUSING DEVELOPMENT TO THE WEST. THESE ACCESS POINTS WILL ALSO SERVE AS CONNECTION MEANS TO THE GREEN SPACE AREA DESIGNATED AS TRACT I WITHIN THIS SITE PLAN FOR SUBDIVISION SHEET.

MAXIMUM BUILDING HEIGHT IS 26' IF THE BUILDING IS LESS THAN 85' FROM A RESIDENTIAL ZONE AND 36' IF THE BUILDING IS MORE THAN 85' FROM A RESIDENTIAL ZONE. THE MINIMUM BUILDING SET BACKS ARE 5' FOR THE FRONT AND CORNER SIDE YARD, AND NOT LESS THAN 5' WHERE THE THE SITE ABUTS THE SIDE OF A RESIDENTIAL ZONE AND 15' WHERE THE SITE ABUTS THE REAR OF A RESIDENTIAL ZONE.

PROJECT LOCATION



SITE PLAN FOR SUBDIVISION
SCALE: 1"=30'-0"



REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
VISTAS DE LA LUZ COMMERCIAL
 N.W.C. OF COORS BLVD. AND LA LUZ
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER
 STEPHEN DUNBAR AIA

JOB NO.
 S

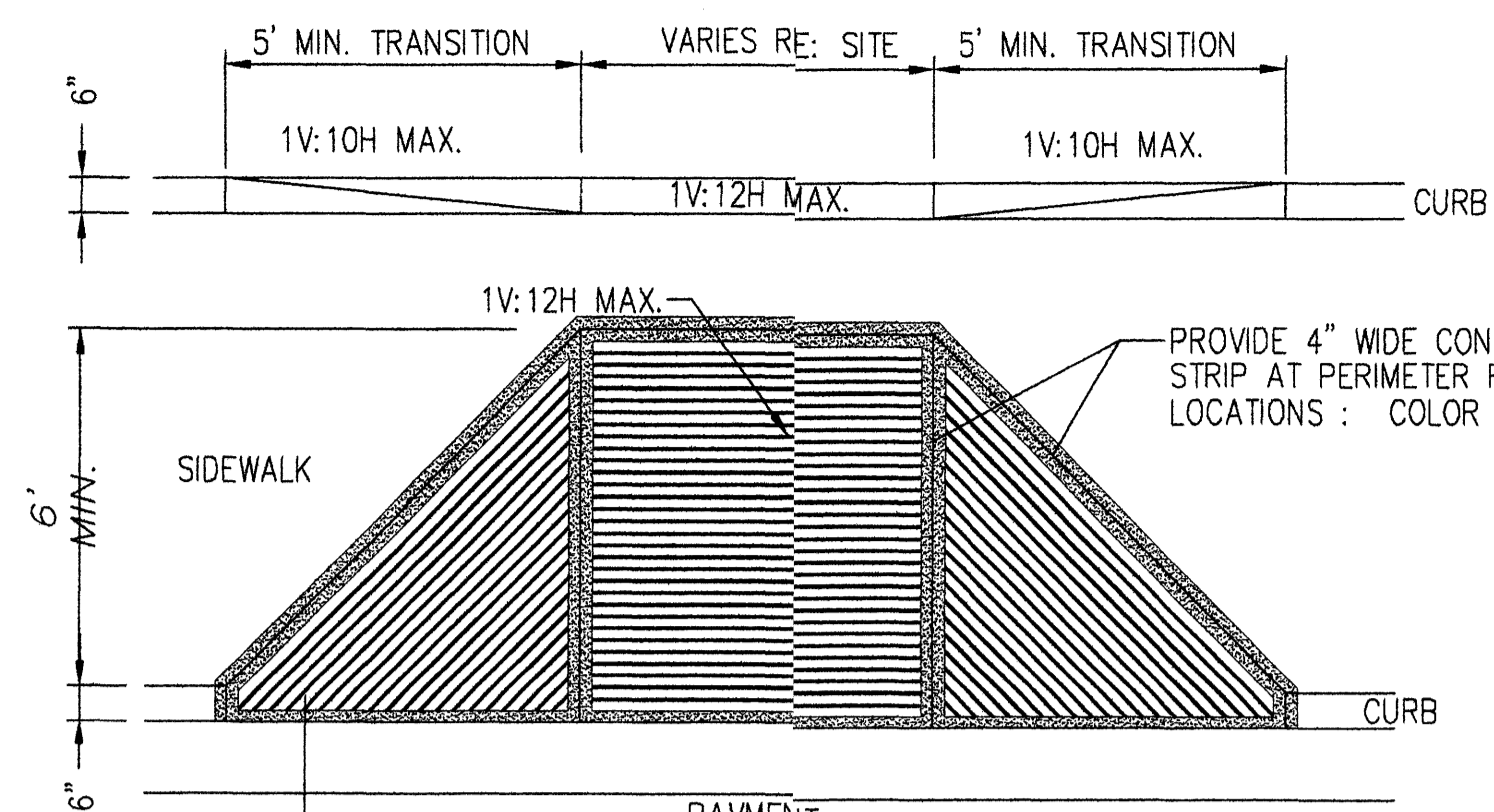
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SHEET TITLE
SITE PLAN FOR SUBDIVISION

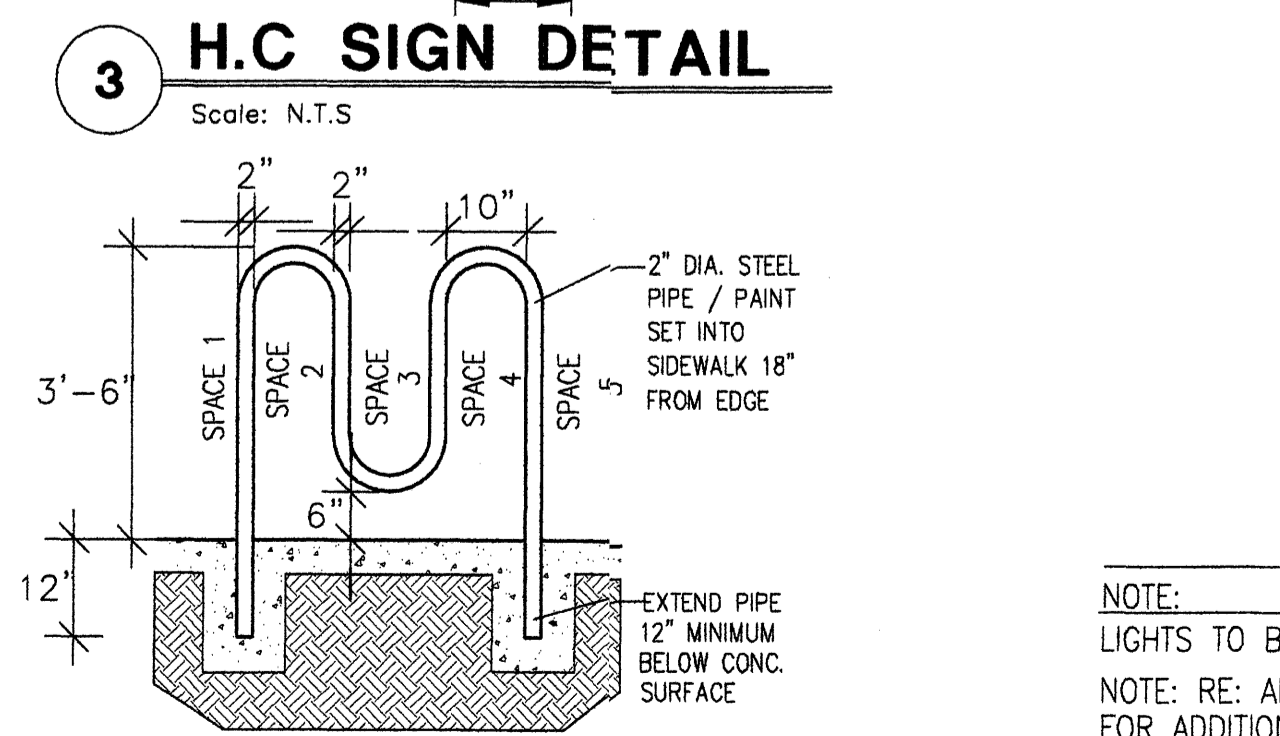
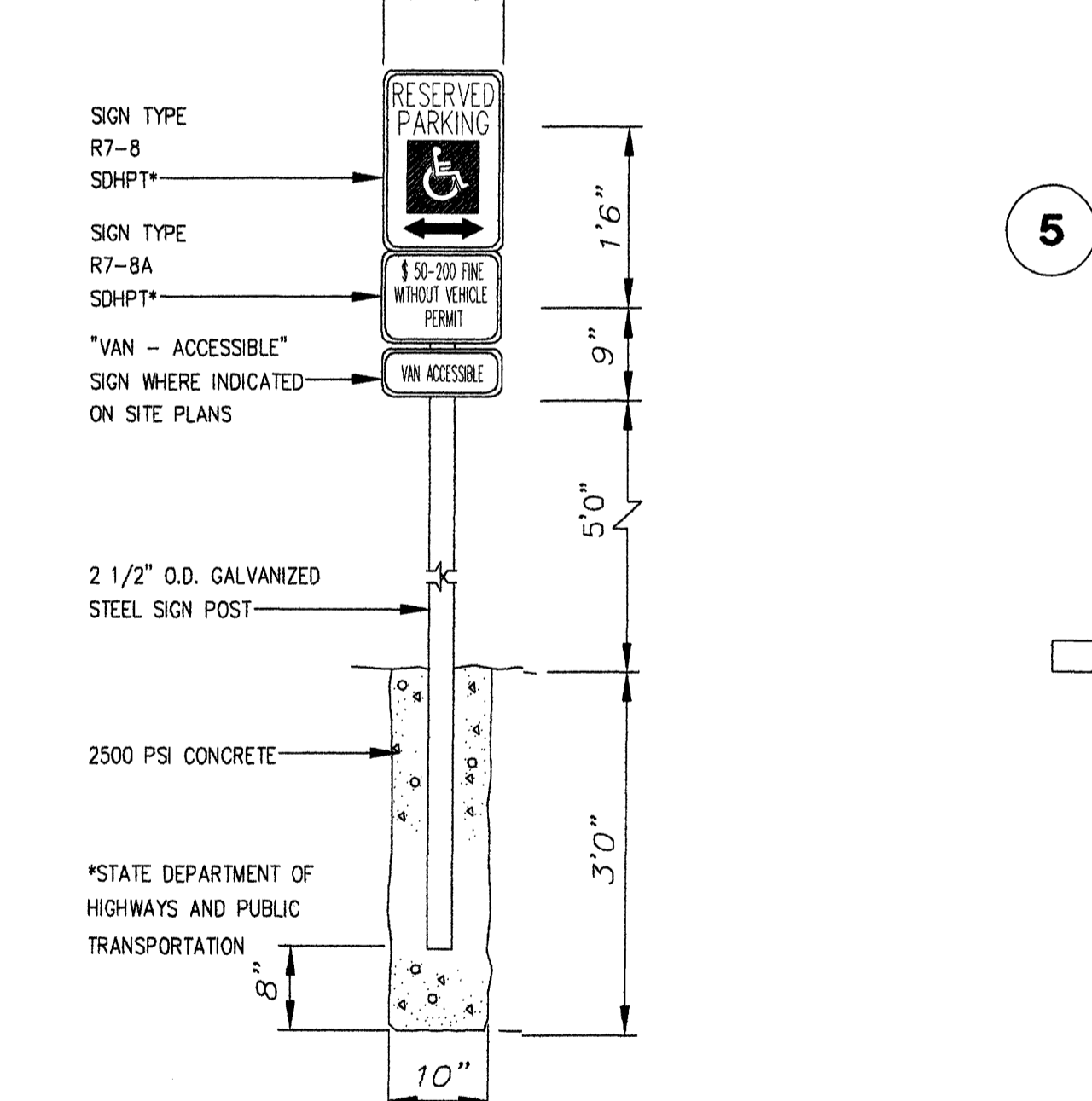
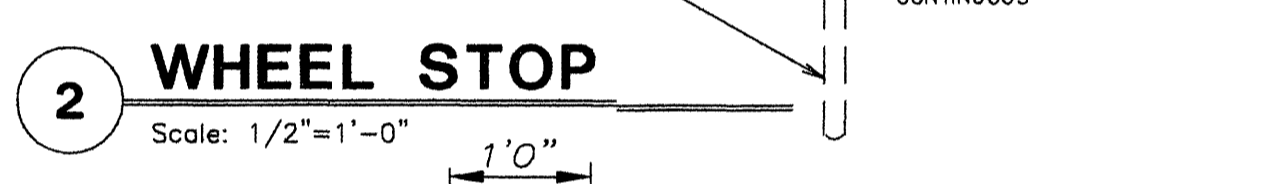
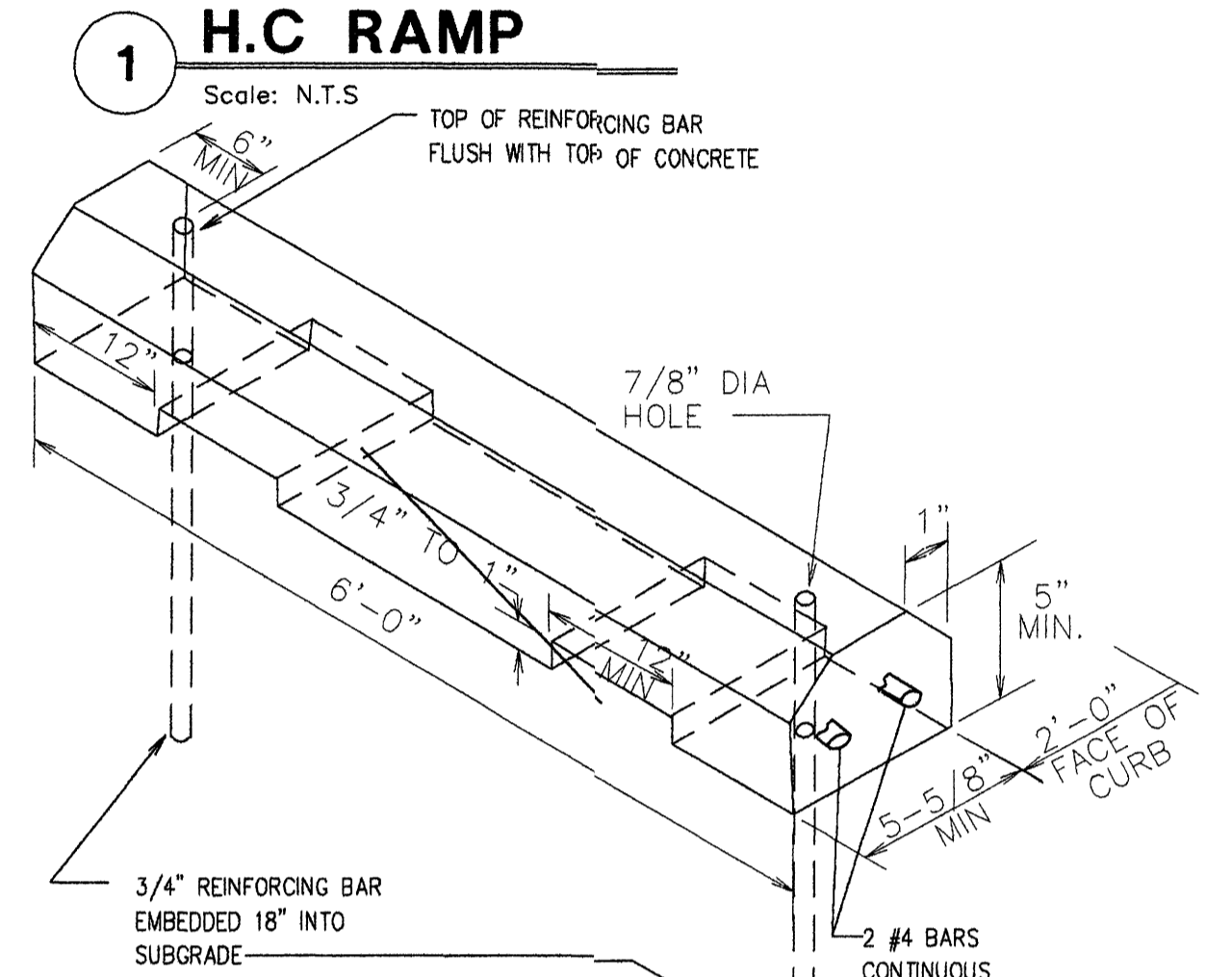
DATE
 9/1/06

SCALE
 1"=30'

SHEET NO.
A1.2

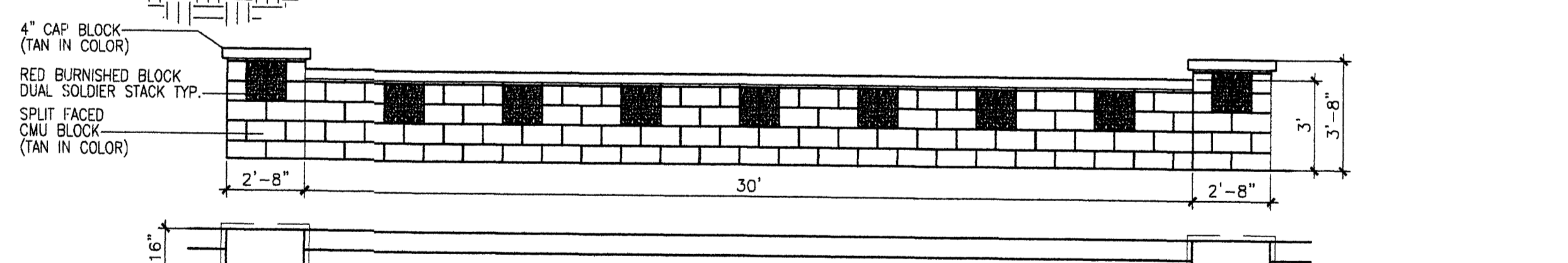
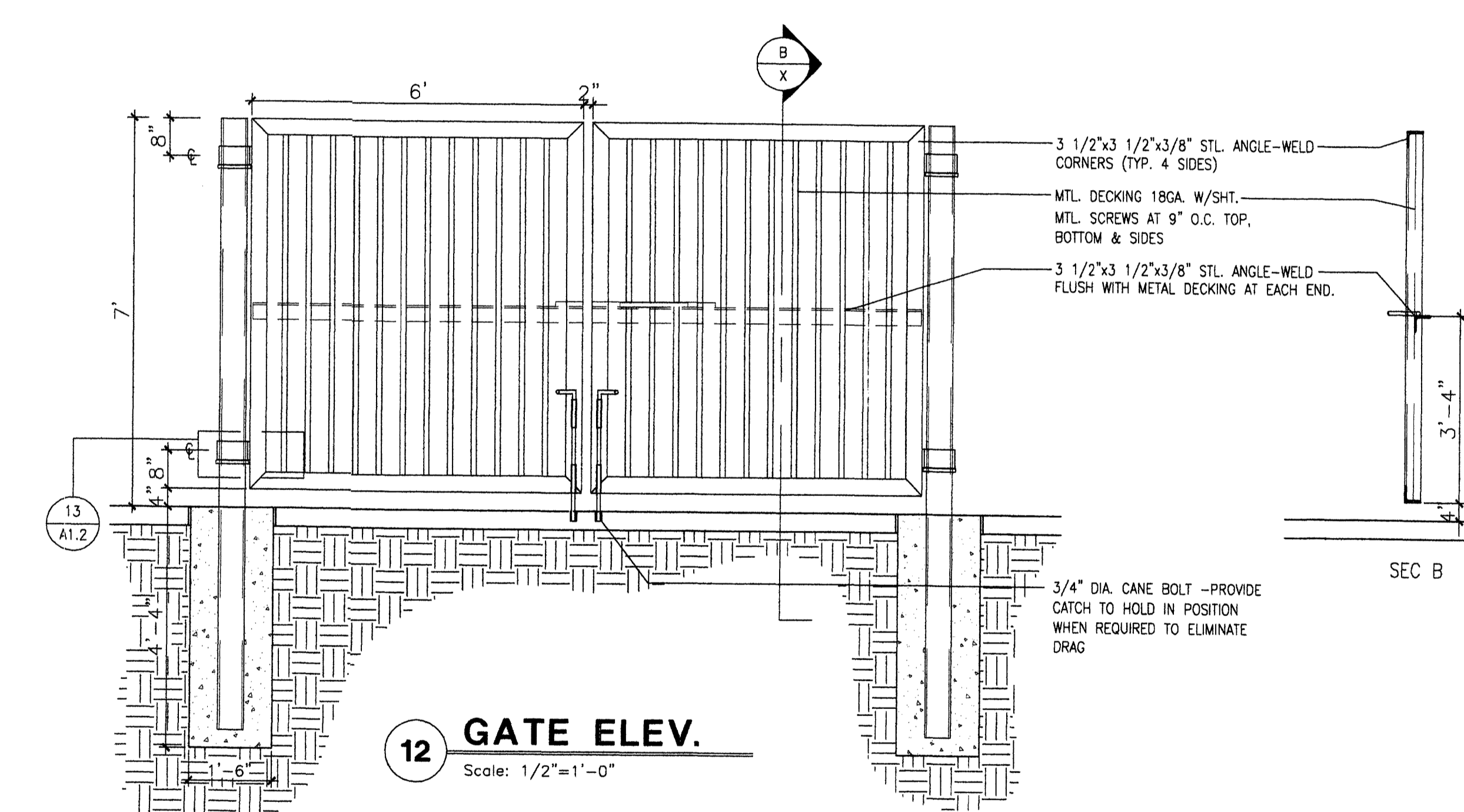
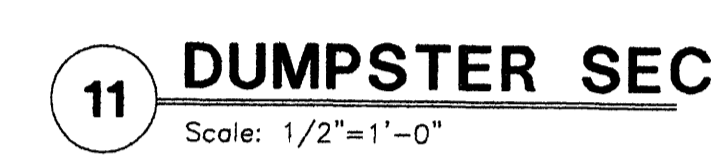
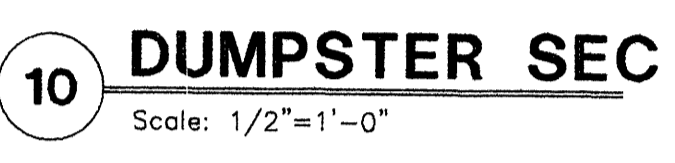
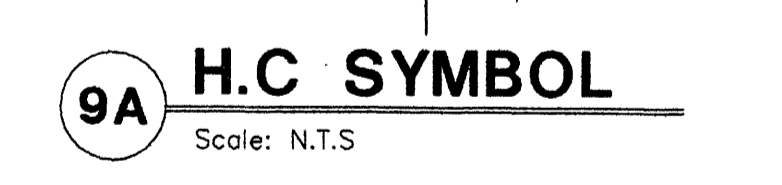
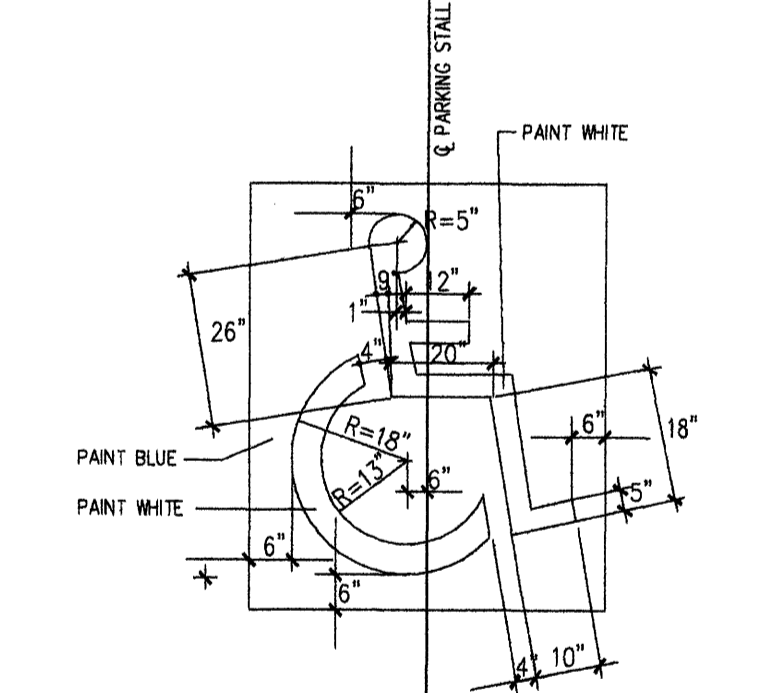
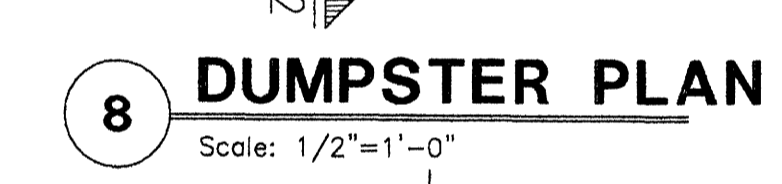
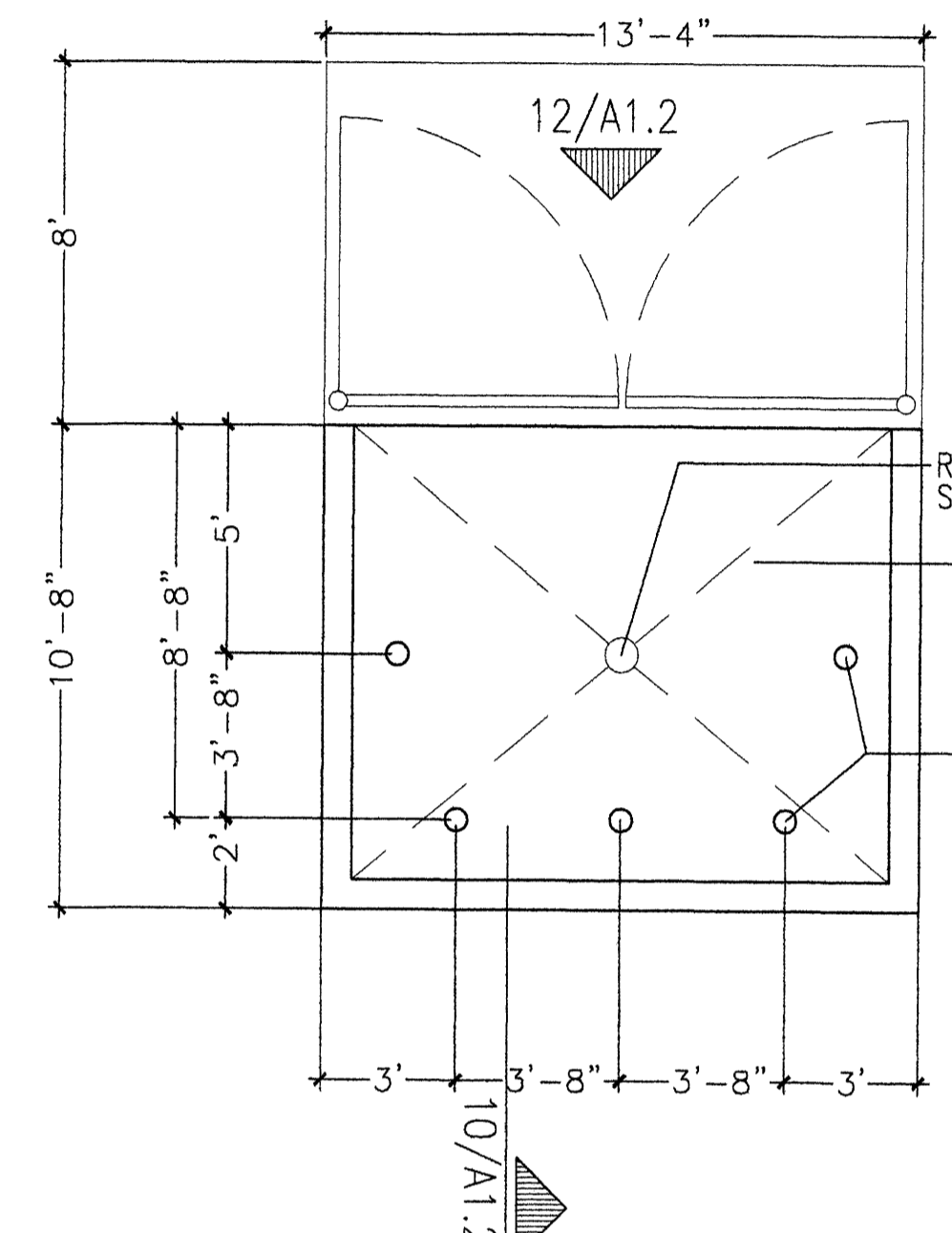


PROVIDE 1/4" DEEP X 1/4" WIDE GROOVES 2" O.C. EXTEND THE FULL WIDTH AND DEPTH OF THE RAMP.



- KEYED NOTES**
- 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH ADJACENT BUILDING, COLOR (DARK TAN FINISH COLOR)
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURA-WALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
 - 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

7 ENCLOSURE NOTES
Scale: N.T.S.



NOTE:
LIGHTS TO BE HORIZONTAL LAMPS WITH SHIELDED FIXTURES
NOTE: RE: ARCHITECTURAL DESIGN GUIDELINE DRAWING FOR ADDITIONAL LIGHTING INFORMATION



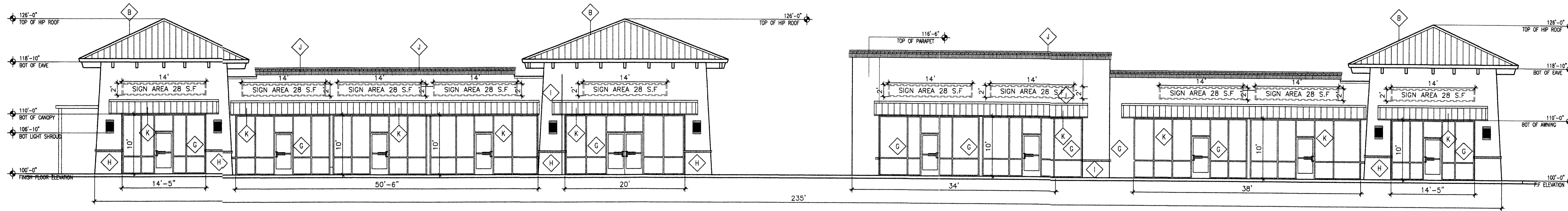
REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

VISTAS DE LA LUZ
ALBUQUERQUE, NEW MEXICO

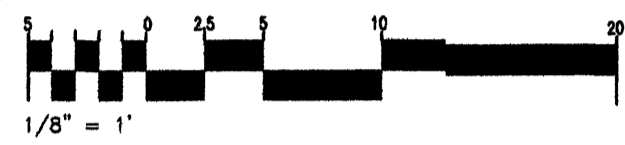
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ALBUQUERQUE, NEW MEXICO
JOB NO. [blank]
PROJECT MANAGER: Stephen Dunbar AIA
DRAWN BY: S
SHEET TITLE: SITE DETAILS

DATE: 7/4/07
SCALE: N.T.S.
sheet: A3.0
of: [blank]



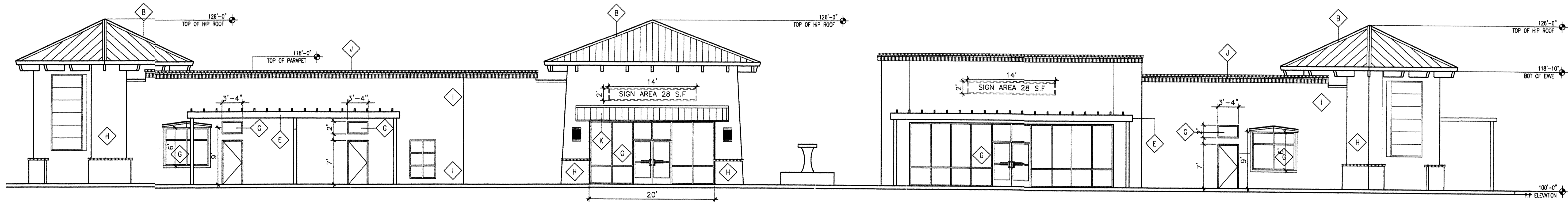
1 WESTERN ELEVATION

Scale: 1/8"=1'



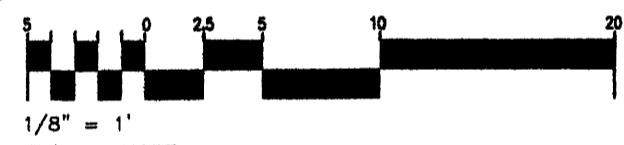
GENERAL NOTE:

- SIGNAGE-BUILDING MOUNTED:
 1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA
 NORTH AND SOUTH EASTERN SIGNAGE ARCHITECTURAL ELEMENTS SHALL NOT EXCEED 8% OF THE EASTERLY ELEVATION FACADE AREA
 2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED
- LIGHTING
 1. WALL PACK LIGHTING SHALL BE LIMITED TO DOWN-LIGHT TYPE ONLY



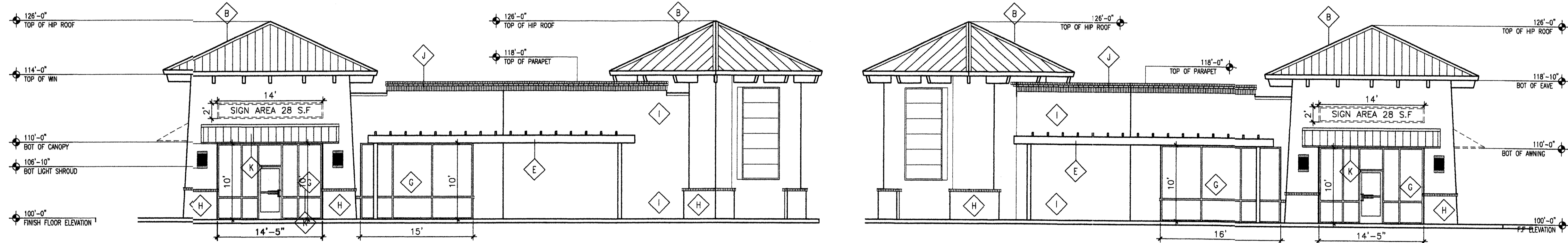
2 EASTERN ELEVATION

Scale: 1/8"=1'



GENERAL NOTE:

- SIGNAGE-BUILDING MOUNTED:
 1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA
 NORTH AND SOUTH EASTERN SIGNAGE ARCHITECTURAL ELEMENTS SHALL NOT EXCEED 8% OF THE EASTERLY ELEVATION FACADE AREA
 2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED
- LIGHTING
 1. WALL PACK LIGHTING SHALL BE LIMITED TO DOWN-LIGHT TYPE ONLY



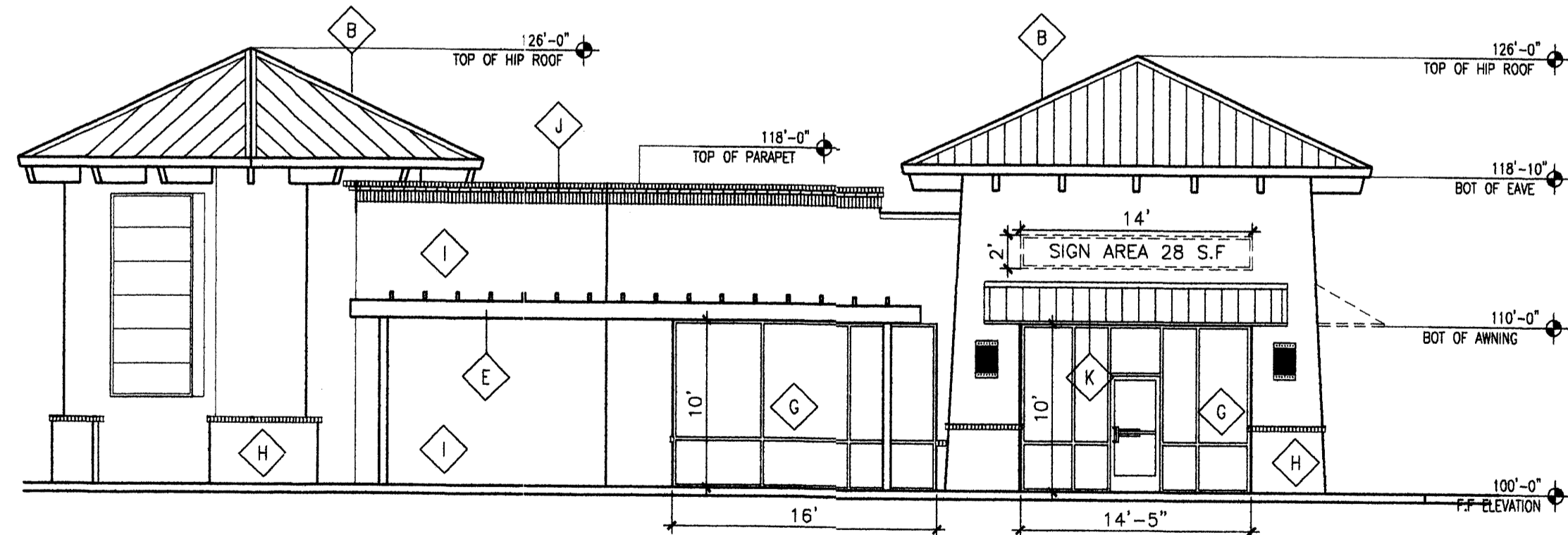
3 SOUTHERN ELEVATION

Scale: 1/8"=1'



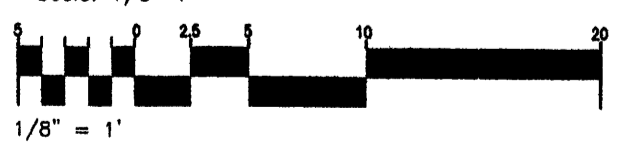
GENERAL NOTE:

- SIGNAGE-BUILDING MOUNTED:
 1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA
 NORTH AND SOUTH EASTERN SIGNAGE ARCHITECTURAL ELEMENTS SHALL NOT EXCEED 8% OF THE EASTERLY ELEVATION FACADE AREA
 2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED
- LIGHTING
 1. WALL PACK LIGHTING SHALL BE LIMITED TO DOWN-LIGHT TYPE ONLY



4 NORTHERN ELEVATION

Scale: 1/8"=1'



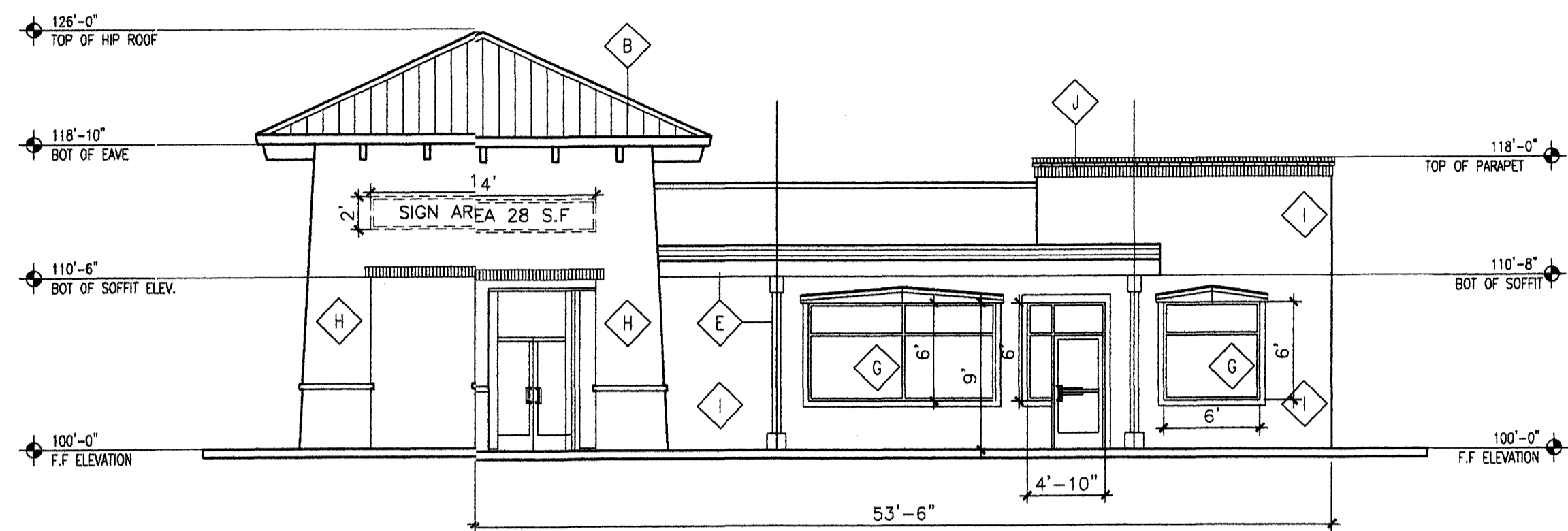
Keyed Color / Material Schedule

A	CULTURED STONE	LEDGE STONE PF 8016
B	STANDING SEAM METAL ROOFING	SYNTHETIC STONE VENEER
C	WALL FINISH COLOR	SHERWIN WILLIAMS BASKET BEIGE SW 6143 (LIGHT TAN)
D	WALL FINISH COLOR	SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT BROWN)
E	WALL FINISH COLOR	SHERWIN WILLIAMS PACER WHITE SW 6098 (WHITE COLOR)
F	WALL FINISH COLOR	SHERWIN WILLIAMS MINDFUL GRAY SW 6144 (LIGHT GREY COLOR)
G	POWER COAT WHITE ALUMINUM STOREFRONT W/ CLEAR NON-REFLECTIVE GLAZING	WHITE FINISH WIN SYSTEM
H	WALL FINISH COLOR	SHERWIN WILLIAMS DAPPER TAN SW 6144 (DARK BROWN)
I	WALL FINISH COLOR	SHERWIN WILLIAMS UNIVERSAL KAKI SW 6150 (BROWN)
J	BRICK COPING	FACE BRICK DARK RED INCOLOR
K	AWNING	GALVALUME(SILVER) (NON REFLECTIVE)

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

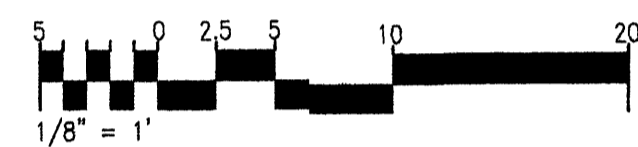
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	VISTAS DE LA LUZ
ALBUQUERQUE NEW MEXICO	
PROJECT MANAGER	Stephen Dunbar AIA
JOB NO.	
DRAWN BY	S
SHEET TITLE	SHOPS ELEVATIONS
DATE	7/4/07
SCALE	N.T.S
SHEET	A4.0
OF	



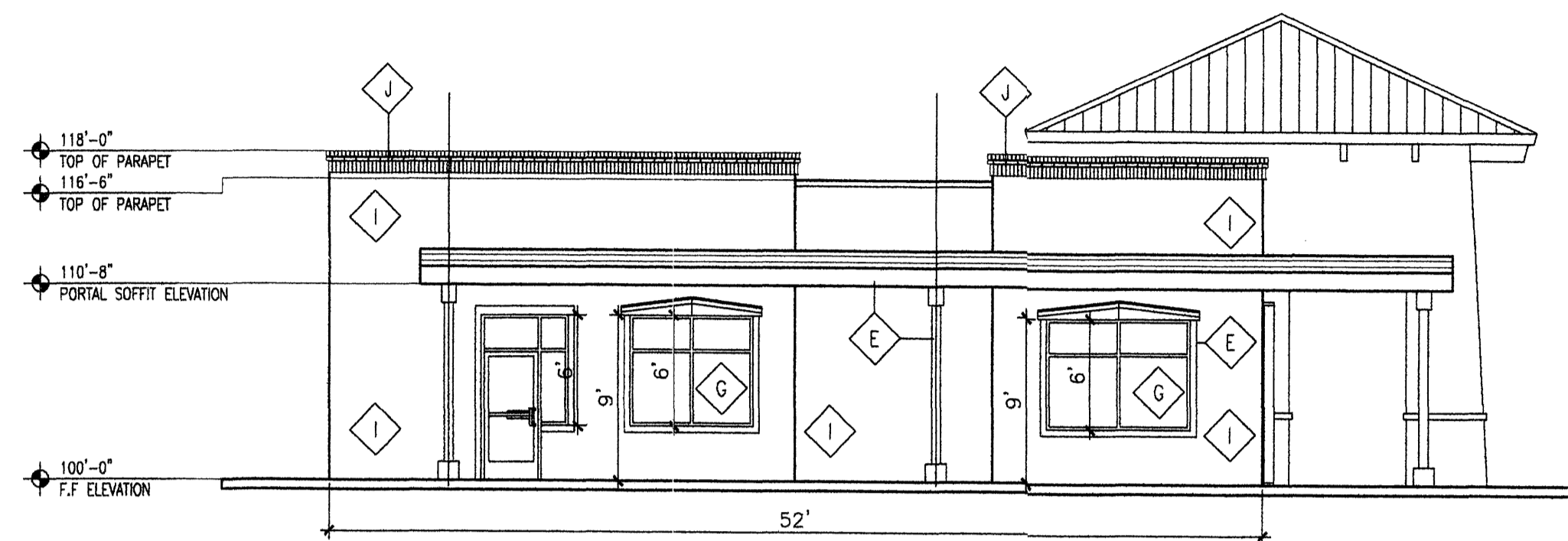
1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



GENERAL NOTE:

- SIGNAGE-BUILDING MOUNTED:
 1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA
 2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED

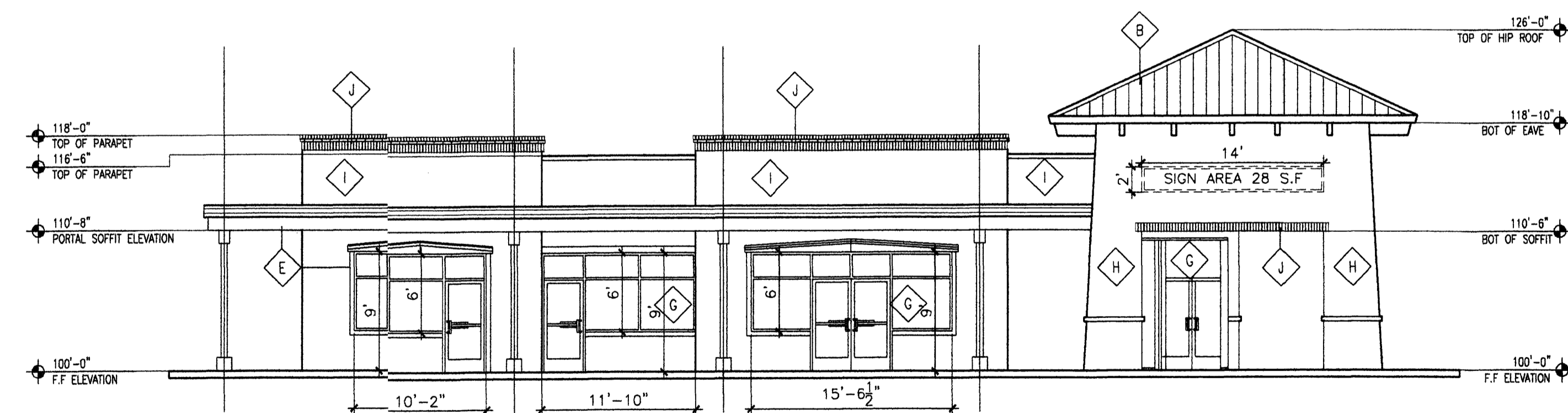


1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



Keyed Color / Material Schedule	
A	CULTURED STONE SYNTHETIC STONE VENEER LEDGE STONE PF 8016
B	STANDING SEAM METAL ROOFING GALVALUME(SILVER) (NON REFLECTIVE)
C	WALL FINISH COLOR SHERWIN WILLIAMS BASKET BEIGE SW 6143 (LIGHT TAN)
D	WALL FINISH COLOR SHERWIN WILLIAMS WOOL SKEIN SW 6148 (LIGHT BROWN)
E	WALL FINISH COLOR SHERWIN WILLIAMS PAPER WHITE SW 6098 (WHITE COLOR)
F	WALL FINISH COLOR SHERWIN WILLIAMS MINDFUL GRAY SW 6144 (LIGHT GREY COLOR)
G	POWER COAT WHITE ALUMINUM STOREFRONT W/ CLEAR NON-REFLECTIVE GLAZING WHITE FINISH WIN SYSTEM
H	WALL FINISH COLOR SHERWIN WILLIAMS DAPPER TAN SW 6144 (DARK BROWN)
I	WALL FINISH COLOR SHERWIN WILLIAMS UNIVERSAL KAKI SW 6150 (BROWN)
J	BRICK COPING FACE BRICK DARK RED INCOLOR
K	AWNING GALVALUME(SILVER) (NON REFLECTIVE)



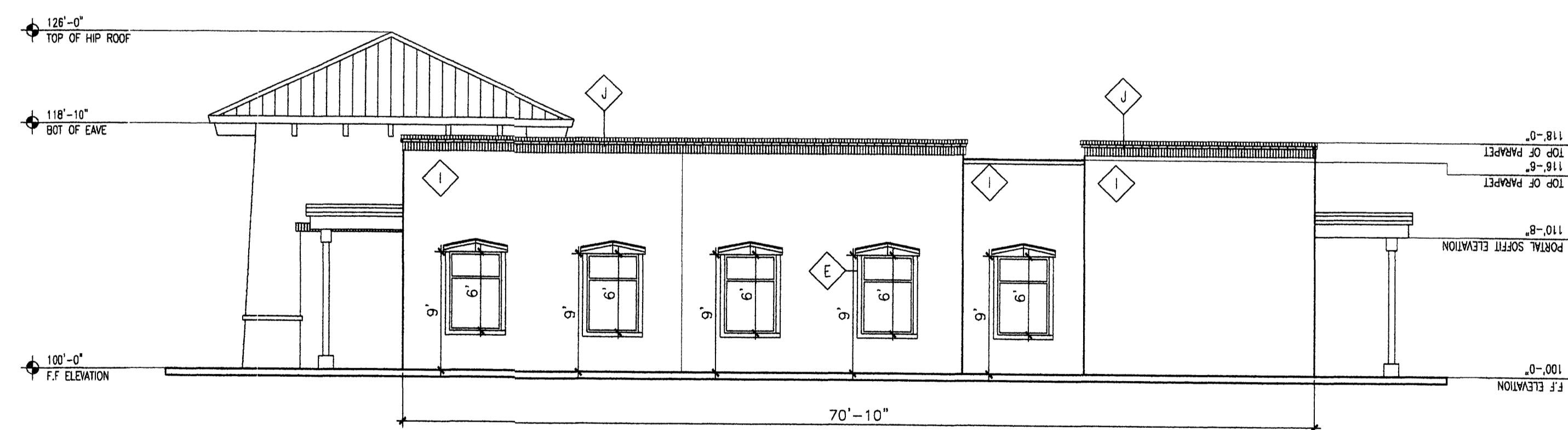
1 OFFICE EASTERN ELEVATION

Scale: 1/8"=1'



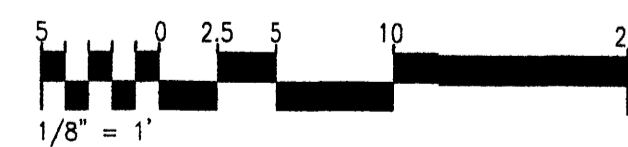
GENERAL NOTE:

- SIGNAGE-BUILDING MOUNTED:
 1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 8% OF EACH FACADE AREA
 2. ILLUMINATED PLASTIC SIGNS SHALL BE PROHIBITED

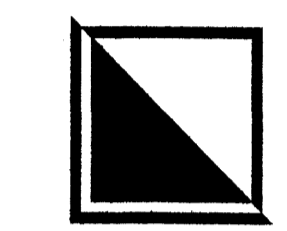


1 OFFICE NORTHERN ELEVATION

Scale: 1/8"=1'



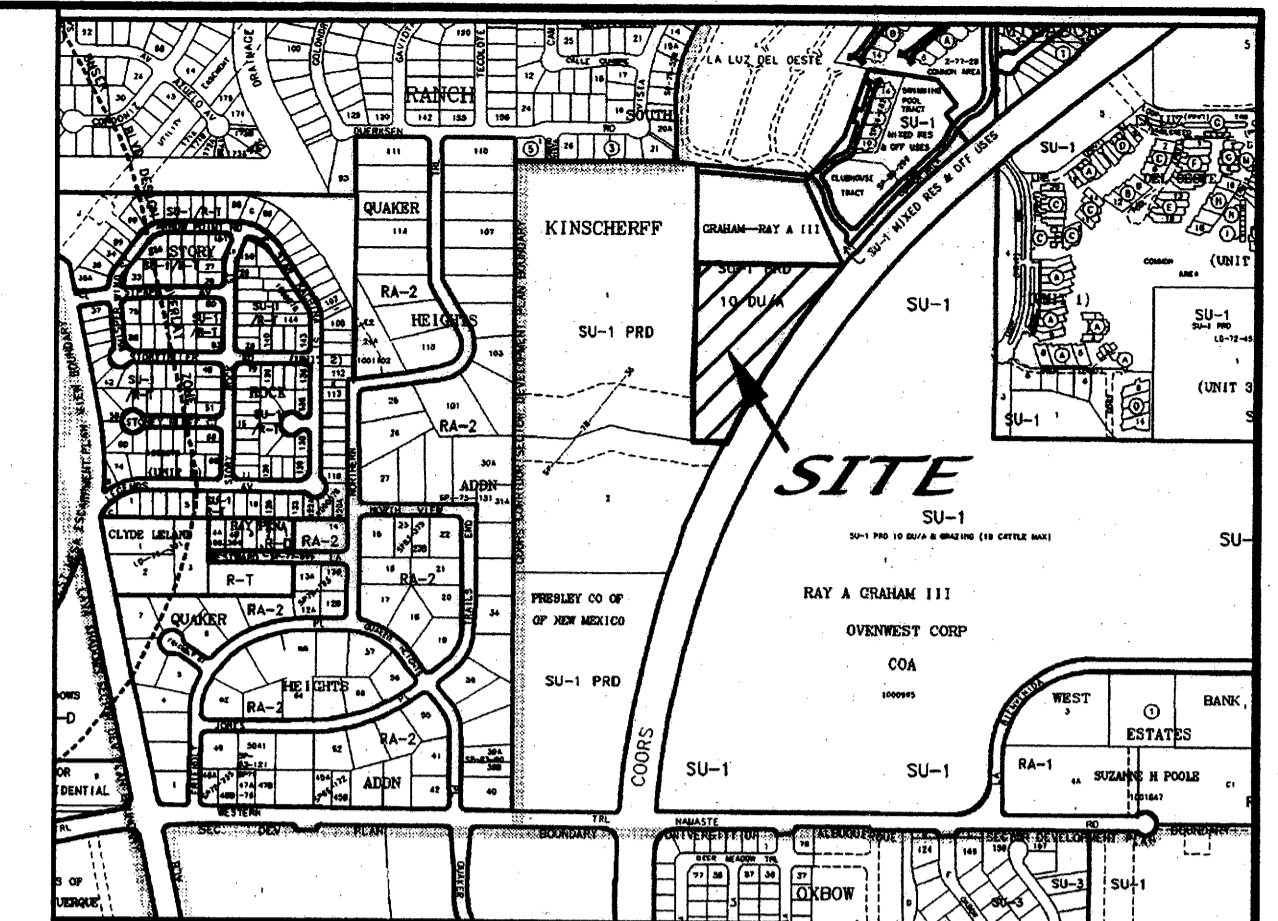
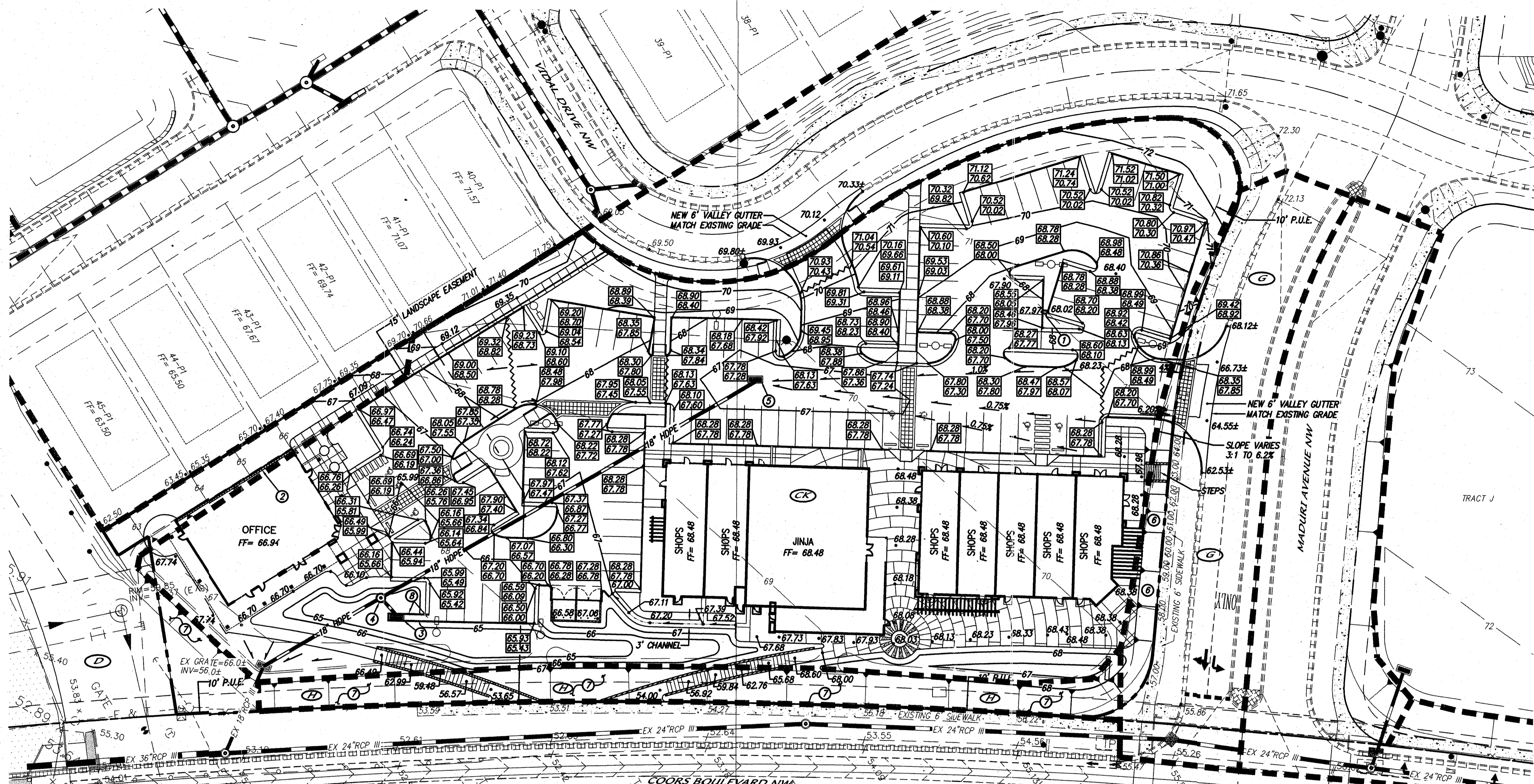
REV	DATE	BY	REVISION
1			
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	VISTAS DE LA LUZ
ALBUQUERQUE NEW MEXICO	
PROJECT MANAGER	Stephen Dunbar AIA
JOB NO.	
DRAWN BY:	S
SHEET TITLE	OFFICE ELEVATIONS

DATE:	7/4/07	sheet-
SCALE:	N.T.S.	A4.1
		of-



VICINITY MAP ZONE MAP: Z-11-F

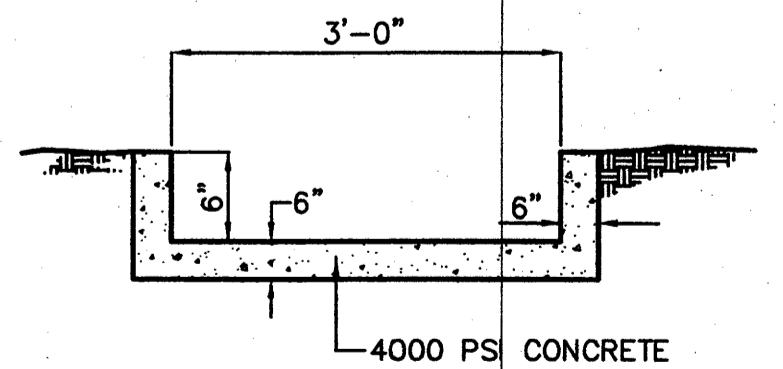
ACS BENCHMARK
 ACS Brass Cap stamped "NM448-N6-A" 71" from centerline of Coors Blvd. and 3' from centerline of entrance to La Luz condominium. Geographic Position (NAD 1927), in feet N.M. State Plane Coordinates (Central Zone) X=366840.72, Y=1507308.30 Elevation=5053.889 (NGVD29) in feet

ACS BENCHMARK
 A tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT K, Vista De La Luz.

LEGEND

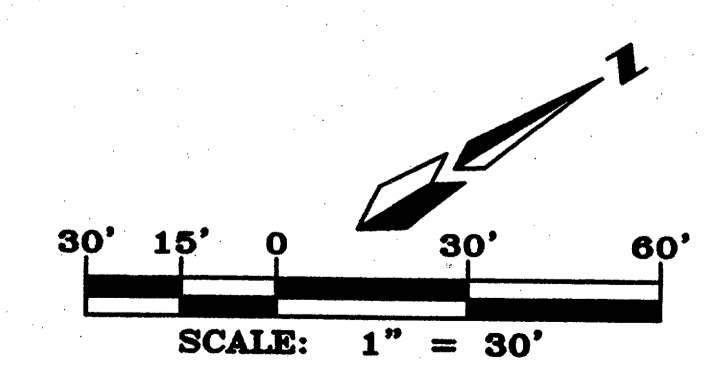
	EXISTING GUARDRAIL
	EXISTING GABION RIP-RAP
	EXISTING CONCRETE/SIDEWALK
	EXISTING CONCRETE CURB
	EXISTING TOP CURB
	EXISTING TOP WALL
	EXISTING SPOT ELEV
	EXISTING CHAINLINK FENCE
	EXISTING BOLLARD
	EXISTING FIRE HYDRANT
	EXISTING GUY WIRE
	EXISTING POWER POLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING TRAFFIC SIGNAL PULLBOX
	EXISTING CABLE PEDESTAL
	EXISTING TELEPHONE PEDESTAL
	EXISTING TELEPHONE MANHOLE
	EXISTING UG TELEPHONE MARKER
	EXISTING WATER VALVE
	EXISTING UG GAS MARKER
	EXISTING SIGN
	EXISTING ELECTRIC MANHOLE
	EXISTING STORMDRAIN
	EXISTING STORMDRAIN MANHOLE
	EXISTING ELECTRIC CONDUIT
	EXISTING TELEPHONE MANHOLE
	EXISTING SANITARY SEWER
	FLOW ARROW
	NEW TOP OF CURB ELEVATION
	NEW TOP LINE ELEV
	NEW SPOT ELEVATION
	NEW CONTOUR LINE
	HIGH POINT
	NEW FINISHED FLOOR ELEVATION
	DRAINAGE BASIN ID
	DRAINAGE BASIN LINE
	NEW RETAINING WALL

- KEYED NOTES:**
- NEW 1.0' WIDE CURB OPENING
 - NEW STEM-WALL
 - NEW DOUBLE "D" INLET GRATE=64.00 INV=60.00
 - NEW 4' DIA. TYPE "C" MH RIM=65.00 INV=57.40
 - NEW DOUBLE "D" INLET GRATE=66.43 INV=61.80
 - STABILIZED 1:1 SLOPE
 - EXISTING 1:1 SLOPE ALONG COORS BOULEVARD NEEDS TO BE STABILIZED
 - NEW 3.0' WIDE CURB OPENING WITH 3.0' WIDE CONCRETE CHANNEL TO NEW DOUBLE "D" INLET.



3' CONCRETE CHANNEL DETAIL
 SCALE: 1" = 30'

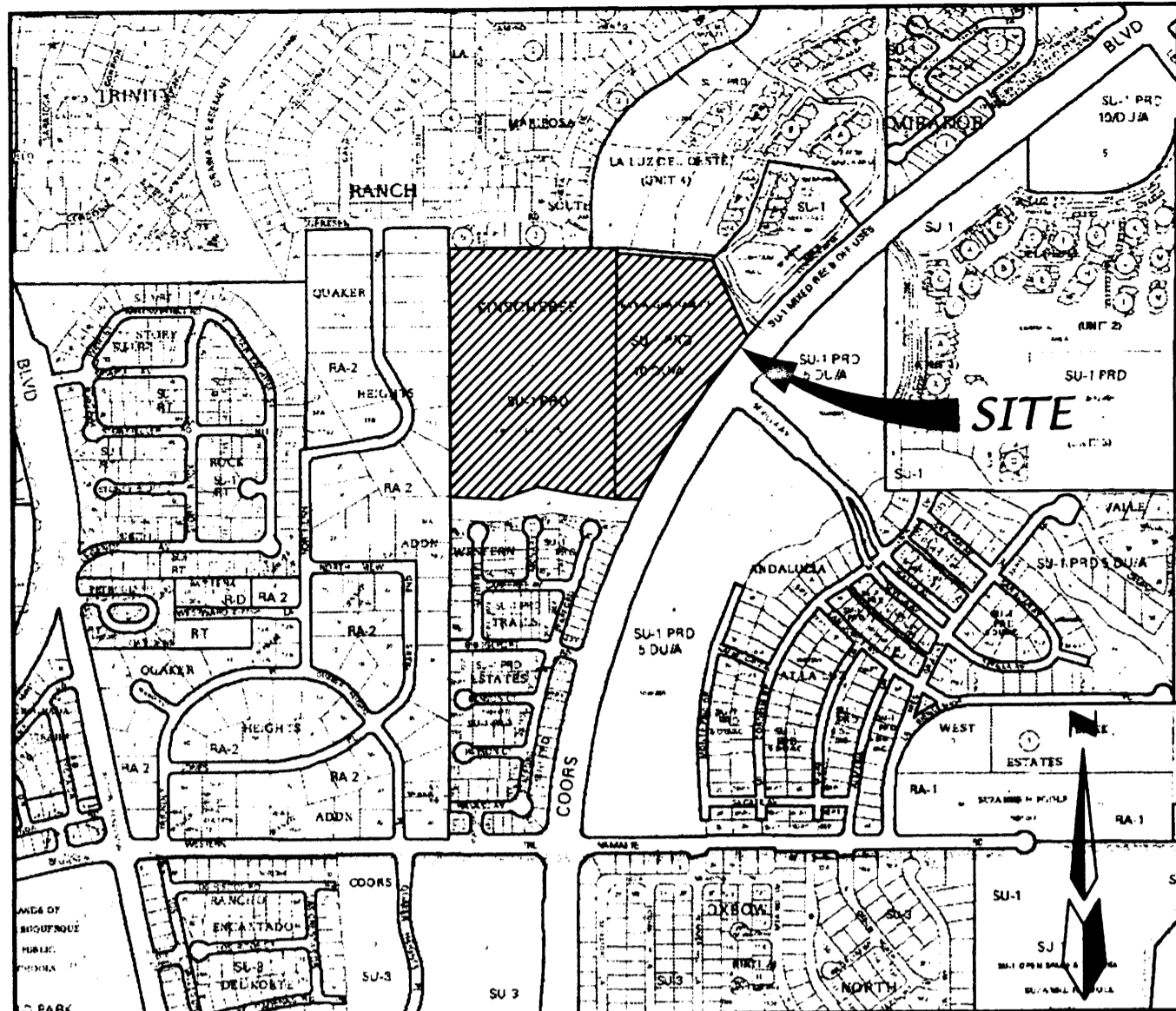
- NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 - SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.



VISTA DE LA LUZ COMMERCIAL
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)823-2200, FAX (505)797-9539

Designed: G.K. Drawn: DER Checked: DMG Sheet 1 of 2
 Scale: 1" = 30' Date: 04-10-08 Job: A07050



VICINITY MAP SCALE: 1"=750' ZONE ATLAS: F-11-Z

SUBDIVISION DATA

Gross Acreage	29.3055 Acres
Zone Atlas No.	F-11-Z
No. of Existing Tracts	2
No. of Lots/Tracts Created	137 Lots/21 Tracts
No. of Tracts Eliminated	2
Miles of Full Width Streets Created	1.08
Area Dedicated to the City of Albuquerque	6.6420 Acres
Date of Survey	August, 2006
Zoning	SU-1 PRD
Utility Control Location System Log Number	2005480220

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: MONTEREY LAND GROUP, LLC.

BY: Tim McNaney

TITLE: Managing Member

Tim McNaney
Tim McNaney

10/11/06
Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on October 11, 2006
By Tim McNaney, Managing Member of MONTEREY LAND GROUP, LLC, a New Mexico Limited Liability Company on behalf of said company.

Susan Pasinski 9.10.2008
NOTARY PUBLIC MY COMMISSION EXPIRES

OFFICIAL SEAL
NOTARY PUBLIC - STATE OF NEW MEXICO

My commission expires: 9.10.2008

LEGAL DESCRIPTION

A tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 1, SUMMARY PLAT OF KINSCHERFF LANDS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1978 in Volume B14, Folio 44, together with remaining portions of LANDS OF RAY A. GRAHAM III, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 28, 1967 in Book D838, Page 89-92 and being more particularly described as follows:

BEGINNING at a point of the herein described tract, from whence the Albuquerque Control Survey Monument "NM448-N6-A" bears N 57°57'43" E 741.17 feet;

THENCE 918.04 feet along a curve to the left, whose radius is 3894.72 feet through a central angle of 13°30'20" and whose chord bears S 34°19'21" W, 915.92 feet to a point;

THENCE N 89°43'20" W 116.93 feet to a point;

THENCE N 81°11'45" W 266.29 feet to a point;

THENCE N 76°03'18" W 93.12 feet to a point;

THENCE S 71°30'46" W 176.82 feet to a point;

THENCE N 86°31'14" W 229.77 feet to a point;

THENCE N 00°18'18" E 1118.12 feet to a point;

THENCE S 89°42'22" E 750.85 feet to a point;

THENCE S 00°18'51" W 27.50 feet to a point;

THENCE S 85°09'22" E 440.14 feet to a point;

THENCE S 30°56'43" E 367.04 feet to the point of beginning and containing 29.3055 acres more or less.

NOTES

(SEE SHEET 4)

PURPOSE OF PLAT

1. Create 137 Residential Lots, 2 Commercial Tracts and 19 HOA Tracts.
2. Grant easements as shown hereon.
3. Dedicate Right-of-way as shown hereon.
4. Vacate Easements as shown hereon.

PUBLIC UTILITY EASEMENTS:

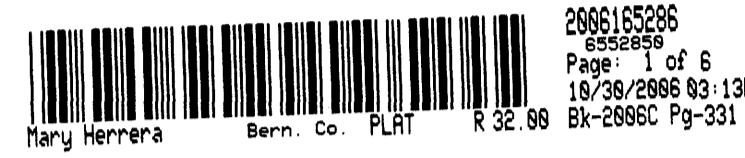
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



PLAT FOR
VISTA DE LA LUZ
WITHIN SECTION 35
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1004675

Application Number: 06DRB-01518

PLAT APPROVAL

Utility Approvals:

<i>Leah G. Mark</i> PNM Electric Services	10-27-06 Date
<i>Leah G. Mark</i> PNM Gas Services	10-27-06 Date
<i>Walter Delila</i> Qwest Telecommunications	10/20/06 Date
<i>Donna Barber</i> Comcast	10.27.06 Date

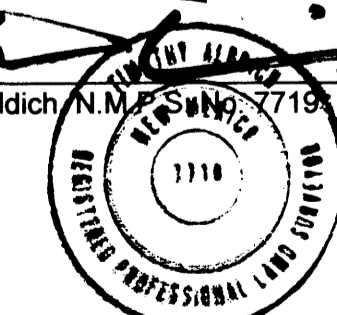
City Approvals:

<i>W.B. Jant</i> City Surveyor	10-17-06 Date
N/A Real Property Division	Date
<i>Will Cox</i> Traffic Engineering/Transportation Division	10-25-06 Date
<i>Rose A. Sheen</i> Water Utility Department	10-25-06 Date
<i>Christina Sandoval</i> Parks and Recreation Department	10/25/06 Date
<i>Lynn M. Mager</i> AMAFCA	10-25-06 Date
<i>Bradley D. Bingham</i> City Engineer	10/25/06 Date
<i>Andrew Garcia</i> DRB Chairperson, Planning Department	10/30/06 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 10-13-06
Timothy Aldrich, N.M.P.S. 7719 Date



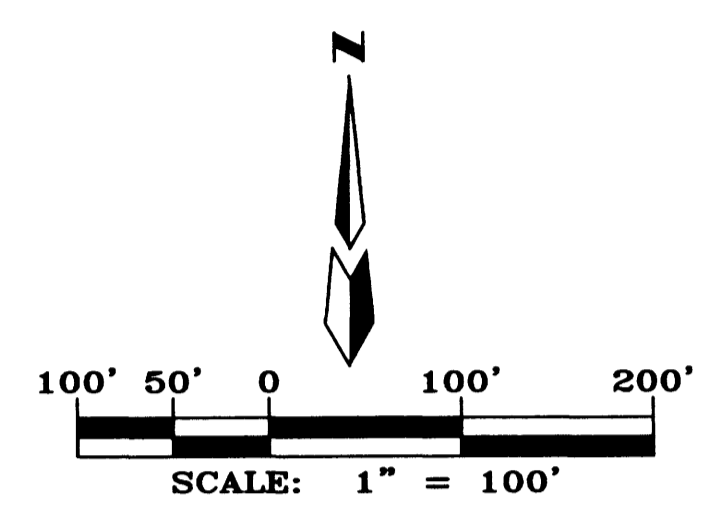
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #: 10106123035820310 + 10106124937710116 PROPERTY OWNER OF RECORD: Ray A. Graham III

BERNALILLO COUNTY TREASURER'S OFFICE
F. Jullius 10-30-06

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

Dwg: A5080-Cover.dwg	Drawn: Richard	Checked: ALS	Sheet 1 of 6
Scale: AS SHOWN	Date: 10/5/2006	Job: A05080	

**PLAT FOR
VISTA DE LA LUZ**
WITHIN
SECTION 35
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006



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Page: 2 of 6
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Bk-2086C Pg-331

Mary Herrera Bern. Co. PLAT R 32.00

EXISTING EASEMENTS

- ① EXISTING 7' PNM AND MST&T EASEMENT (03-04-75, BK.MISC.410, PG.37-39)
VACATED PER 06DRB-01027
- ③ EXISTING COA WATER AND SANITARY SEWER EASEMENT (05-07-04, BK.A77, PG.2627)
- ④ EXISTING 10' PNM AND TELEPHONE EASEMENT (09-14-78, BK. MISC.637, PG.899)
- ⑥ EXISTING 10' COA DRAINAGE AND UTILITY EASEMENT (01-25-78, B14-44)
VACATED PER 06DRB-01027
- ⑦ EXISTING AMAFCA FLOODWAY AND STORM DRAINAGE EASEMENT (10-31-80, BK.D131A, PG.110-111) (10-27-80, BK.MISC.808, PG.75-76)
- ⑧ EXISTING 10' UNDERGROUND PNM AND MST&T EASEMENT (09-14-78, BK.MISC.637, PG.899)
- ⑨ EXISTING 7' PUBLIC UTILITY AND DRAINAGE EASEMENT (07-27-77, D7-195)
- ⑩ EXISTING 10' PUBLIC UTILITY AND DRAINAGE EASEMENT (07-27-77, D7-195)
- ⑪ EXISTING AMAFCA FLOODWAY AND STORM DRAINAGE EASEMENT (09-25-81, BK.MISC.881, PG.94-97)
- ⑫ EXISTING 40' COA WATER AND SEWER EASEMENT (01-13-05, 05C-14)
- ⑬ EXISTING 7' PNM AND MST&T EASEMENT (09-20-78, BK.MISC.639, PG.170)
- ⑭ EXISTING 10' COA DRAINAGE ROW (07-27-77, 07-195)

┌───┐ DENOTES EASEMENT VACATION

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719"

USCE MONUMENT
"R.898-B No.2"
Y=1504863.06
X=367127.35
G-G=0.9996796
Δα=-00°15'21"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5031.20

LIMITS OF SPECIAL FLOOD HAZARD
AREA ZONE "A" AS SHOWN ON FLOOD
INSURANCE RATE MAP PANE 114 OF
825 EFFECTIVE SEPT. 20 1996

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	3894.72'	918.04'	915.92'	S 34°19'21" W	13°30'20"

LINE	BEARING	DISTANCE
L1	N 89°43'20" W (N 90°00'00" W)	116.93' (115.50')
L2	N 81°11'45" W (N 81°17'30" W)	266.29' (266.72')
L3	N 76°03'18" W (N 76°31'40" W)	93.12'
L4	S 71°30'46" W (S 71°13'00" W)	176.82'
L5	N 86°31'14" W (N 86°49'00" W)	229.77'
L6	N 00°18'18" E (N 00°00'40" E)	1118.12' (1117.94')
L7	S 89°42'22" E (S 90°00'00" E)	750.85' (751.39')
L8	S 00°18'51" W	27.50'
L9	S 85°09'22" E	440.14'
L10	S 30°56'43" E	367.04'

QUAKER HEIGHTS
(09-25-63, C5-182)

LOT 30A
QUAKER HEIGHTS
(06-17-75, A5-140)

29.3055 ACRES

LOT LINE TO BE ELIMINATED
BY THIS PLAT

POINT OF BEGINNING

ACS MONUMENT
"NM448-N6-A"
Y=1507308.30
X=366640.72
G-G=0.9996784
Δα=-00°15'24"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5058.889

COORS BOULEVARD NW
(150' R/W)

TRACT A
WESTERN TRAILS ESTATES
(01-13-05, 05C-14)

LA MARIPOSA SOUTH
(07-27-77, D7-195)

LA LUZ DEL OESTE
(11-12-03, 03C-342)

TRACT H-1-A
LA LUZ DEL OESTE
(06-18-04, 04C-187)

BLOCK 5

BLOCK 3

TRACT K

TRACT J

TRACT I

①

110

109

108

107

106

105

104

103

102

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P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

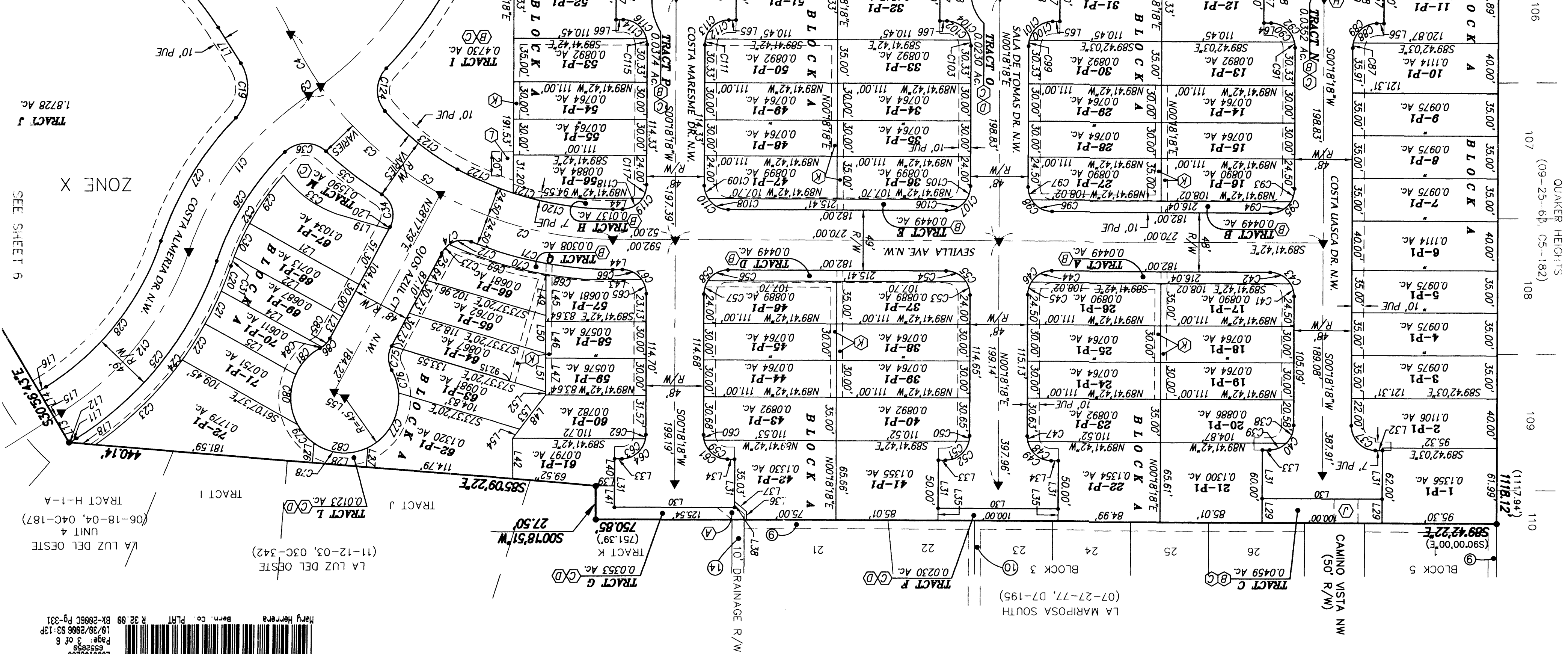
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY (RIGHT-OF-WAY)

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY (RIGHT-OF-WAY)

SEE SHEET 4

A5080 La Luz Del Oeste (dwg\Final Plans\A5080-FP-SHT 3-6.dwg (10-28-06, RD))
 Scale: 1" = 60'
 Dwg: A5080-FP-SHT 3-6.dwg
 Drawn: RICHARD
 Date: 10/30/06
 Job: A05080
 Checked: ALS
 P.O. BOX 30701, ALBUQ., N.M. 87190
 505-884-1990

SEE SHEETS 3-6 FOR LINE & CURVE DATA
 SHEET 3 of 6



CURVE TABLE

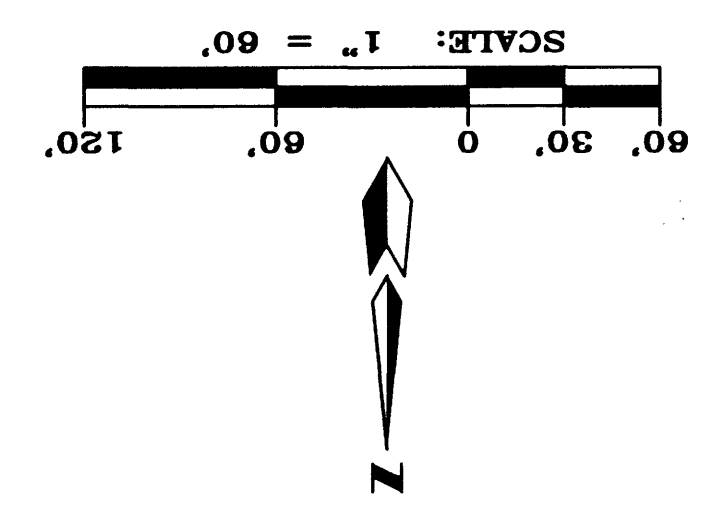
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BRG
C25	189.96	274.50	39.38	58.58	98.96	186.19
C24	188.18	287.00	37.34	60.00	97.61	184.82
C23	100.56	200.43	20.04	34.00	50.80	100.05
C22	35.12	287.00	7.00	39.00	17.58	35.10
C21	31.73	287.00	6.20	40.00	15.88	31.71
C20	22.46	287.00	4.29	49.00	11.23	22.45
C19	47.26	35.00	77.21	34.00	28.02	43.75
C18	85.34	250.00	19.33	29.00	43.09	84.92
C17	46.61	30.00	89.01	20.00	29.49	42.06
C16	193.33	3894.72	2.50	39.00	96.68	193.31
C15	79.49	3894.72	1.10	10.00	39.75	79.49
C14	84.14	3894.72	1.14	16.00	42.07	84.14
C13	467.01	3894.72	6.52	13.00	233.78	466.73
C12	173.00	250.00	39.38	58.00	90.13	169.57
C11	164.97	250.00	37.48	29.00	85.61	161.99
C10	336.16	300.00	64.12	04.00	188.19	318.84
C9	12.30	300.00	2.21	00.00	6.15	12.30
C8	333.85	300.00	61.51	04.00	179.73	308.35
C7	127.72	75.00	97.34	09.00	85.63	112.84
C6	139.78	300.00	26.41	43.00	71.18	138.52
C5	333.24	300.00	63.38	37.00	186.17	316.37
C4	49.02	300.00	9.21	42.00	24.56	48.96
C3	134.64	300.00	25.42	50.00	68.47	133.51
C2	149.58	300.00	28.34	05.00	76.38	148.04
C1	918.04	3894.72	13.30	20.00	461.16	915.92

CURVE TABLE

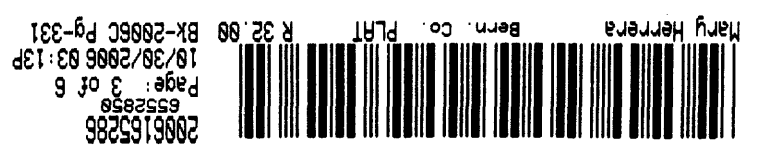
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BRG
C50	4.39	20.00	12.34	20.00	20.00	4.38
C49	31.42	20.00	90.00	40.00	20.00	28.29
C48	27.01	20.00	77.23	18.00	15.00	25.01
C47	4.41	20.00	12.37	23.00	20.00	4.40
C46	31.42	20.00	90.00	00.00	20.00	28.28
C45	11.05	20.00	31.40	06.00	5.67	10.91
C44	20.36	20.00	58.19	54.00	11.16	19.49
C43	31.42	20.00	90.00	00.00	20.00	28.28
C42	20.36	20.00	58.19	54.00	11.16	19.49
C41	11.05	20.00	31.40	06.00	5.67	10.91
C40	31.41	20.00	89.58	20.00	20.00	28.28
C39	15.33	20.00	43.54	28.00	8.06	14.95
C38	16.09	20.00	46.04	51.00	8.51	15.66
C37	31.42	20.00	90.00	40.00	20.00	28.29
C36	37.00	25.00	86.23	57.00	23.48	34.23
C35	58.55	324.00	10.21	17.00	29.36	58.48
C34	30.26	20.00	86.41	17.00	18.88	27.46
C33	61.19	92.39	55.52	52.00	31.76	60.07
C32	86.50	213.00	23.16	08.00	43.86	85.91
C31	7.83	213.00	2.06	24.00	3.92	7.83
C30	30.08	213.00	8.05	33.00	15.07	30.06
C29	48.59	213.00	13.04	17.00	24.40	48.48
C28	156.05	225.50	39.38	58.00	81.30	152.95
C27	119.98	274.50	25.02	32.00	60.96	119.02
C26	106.31	225.50	27.00	42.00	54.16	105.33
C25	20.00	20.00	12.34	20.00	2.20	4.38
C24	20.00	20.00	14.44	02.00	20.00	28.29
C23	27.01	20.00	15.00	43.00	16.02	25.01
C22	4.41	20.00	12.37	23.00	2.21	4.40
C21	31.42	20.00	90.00	00.00	20.00	28.28
C20	11.05	20.00	31.40	06.00	5.67	10.91
C19	20.36	20.00	58.19	54.00	11.16	19.49
C18	31.42	20.00	90.00	00.00	20.00	28.28
C17	20.36	20.00	58.19	54.00	11.16	19.49
C16	11.05	20.00	31.40	06.00	5.67	10.91
C15	31.41	20.00	89.58	20.00	20.00	28.28
C14	15.33	20.00	43.54	28.00	8.06	14.95
C13	16.09	20.00	46.04	51.00	8.51	15.66
C12	31.42	20.00	90.00	40.00	20.00	28.29
C11	37.00	25.00	86.23	57.00	23.48	34.23
C10	58.55	324.00	10.21	17.00	29.36	58.48
C9	30.26	20.00	86.41	17.00	18.88	27.46
C8	61.19	92.39	55.52	52.00	31.76	60.07
C7	86.50	213.00	23.16	08.00	43.86	85.91
C6	7.83	213.00	2.06	24.00	3.92	7.83
C5	30.08	213.00	8.05	33.00	15.07	30.06
C4	48.59	213.00	13.04	17.00	24.40	48.48
C3	156.05	225.50	39.38	58.00	81.30	152.95
C2	119.98	274.50	25.02	32.00	60.96	119.02
C1	106.31	225.50	27.00	42.00	54.16	105.33

LINE TABLE

LINE	LENGTH	BEARING
L1	116.93	N89.43.20"W
L2	266.29	N81.11.45"W
L3	93.12	N76.03.18"W
L4	176.87	S71.30.46"W
L5	229.77	N86.31.14"W
L6	1118.12	N00.18.18"E
L7	750.85	S89.42.22"E
L8	27.50	S00.18.51"W
L9	440.13	S85.09.22"E
L10	367.04	S30.56.43"E
L11	6.47	N58.46.43"E
L12	0.85	S85.09.22"E
L13	24.00	S30.56.43"E
L14	24.50	S30.56.43"E
L15	7.04	N58.46.43"E
L16	6.93	N58.46.43"E
L17	34.42	S33.11.18"E
L18	20.91	S85.09.22"E
L19	39.36	S73.51.18"E
L20	2.21	N28.52.23"E
L21	104.12	S61.07.37"E
L22	102.23	S61.07.37"E
L23	20.63	N28.52.23"E
L24	95.79	S61.07.37"E
L25	85.95	S61.07.37"E



PLAT FOR
 VISTA DE LA LUZ
 WITHIN
 SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2006



**PLAT FOR
VISTA DE LA LUZ
WITHIN
SECTION 35
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006**

NOTES:

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
 PLAT OF "KINSCHERFF LANDS", (01-25-78, B14-44)
 PLAT OF "QUAKER HEIGHTS", (09-25-63, C5-182)
 PLAT OF "QUAKER HEIGHTS ADDITION", (06-17-75, A5-140)
 PLAT OF "LA MARIPOSA SOUTH", (07-27-77, D7-195)
 PLAT OF "LA LUZ DEL OESTE", (11-12-03, 03C-342)
 PLAT OF "LA LUZ DEL OESTE, UNIT 4", (06-18-04, 04C-187)
 PLAT OF "WESTERN TRAILS ESTATES", (01-13-05, 05C-14)
 all being records of Bernalillo County, New Mexico.
5. Title Report: Provided by First American Title Insurance Co. No. NM03163693-AL02, VC (Effective date: 06-01-05)
6. Flood Zone Designation: Zone X and A (100-Year Flood Confined To Constructed Channel) of Panel 114 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)
7. Unless otherwise noted all boundary corners are set #5 rebar with cap "ALS LS 7719" (TYP).
8. All street centerline Monumentation shall be installed at all pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped:
 "CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION
 DO NOT DISTURB PS 7719"
9. All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
10. Tracts A, B, C, D, E, F, G, H, L, M, N, O, P, Q, R, S, T, and U are for the benefit of and to be owned and maintained by the Homeowners Association.
11. Tracts J and K are reserved for future development.

NEW EASEMENTS

- (A) NEW 10' PUBLIC DRAINAGE EASEMENT GRANTED TO THE COA WITH THIS PLAT.
- (B) NEW LANDSCAPE AND PUBLIC ACCESS EASEMENTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- (C) NEW PRIVATE COMMON AREA TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- (D) NEW LANDSCAPE EASEMENTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- (E) NEW 30' PUBLIC WATERLINE & SANITARY SEWER EASEMENT GRANTED TO COA WITH THIS PLAT.
- (F) NEW 45' PUBLIC DRAINAGE & TRAIL ACCESS EASEMENT GRANTED TO COA WITH THIS PLAT.
- (G) NEW 30' PUBLIC ACCESS, SANITARY SEWER & DRAINAGE EASEMENT GRANTED TO THE COA WITH THIS PLAT
- (H) NEW PUBLIC ACCESS & WATERLINE EASEMENT GRANTED TO THE COA WITH THIS PLAT,
- (I) NEW 38' PUBLIC TRAIL ACCESS EASEMENT GRANTED TO COA WITH THIS PLAT.
- (J) NEW 20' PUBLIC WATERLINE EASEMENT GRANTED TO COA WITH THIS PLAT.
- (K) NEW 5' PRIVATE CROSS LOT DRAINAGE EASEMENT GRANTED TO THE ADJOINING LOTS WITH THIS PLAT.
- (L) NEW 10'x20' UTILITY EASEMENT GRANTED EXCLUSIVELY TO QWEST WITH THIS PLAT.

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 R/W = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C51	27.02	20.00	77°24'59"	16.03	S51°35'08"W	25.01
C52	31.41	20.00	89°59'20"	20.00	S45°17'58"W	28.28
C53	11.65	20.00	33°22'01"	5.99	S16°22'42"E	11.48
C54	19.77	20.00	56°37'59"	10.78	S61°22'42"E	18.97
C55	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C56	19.77	20.00	56°37'59"	10.78	N61°59'19"E	18.97
C57	11.65	20.00	33°22'01"	5.99	N16°59'19"E	11.48
C58	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C59	27.07	20.00	77°32'38"	16.06	N50°56'03"W	25.05
C60	4.35	20.00	12°28'03"	2.18	N05°55'43"W	4.34
C61	31.42	20.00	90°00'40"	20.00	N44°42'02"W	28.29
C62	3.45	20.00	9°53'19"	1.73	S05°14'58"W	3.45
C63	27.96	20.00	80°06'01"	16.81	S50°14'37"W	25.74
C64	31.41	20.00	89°59'20"	20.00	S45°17'58"W	28.28
C65	12.71	20.00	36°24'21"	6.58	S17°53'52"E	12.50
C66	18.71	20.00	53°35'39"	10.10	S62°53'52"E	18.03
C67	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C68	31.98	333.50	5°29'36"	16.00	N82°50'18"W	31.96
C69	84.11	333.50	14°27'02"	42.28	N72°51'59"W	83.89
C70	116.09	333.50	19°56'39"	58.64	N75°36'47"W	115.50
C71	120.24	324.50	21°13'48"	60.82	N79°04'48"W	119.55
C72	19.28	20.00	55°13'57"	10.46	N83°55'08"E	18.54
C73	9.57	20.00	27°25'46"	4.88	N42°35'16"E	9.48
C74	28.85	20.00	82°39'43"	17.59	N70°12'15"E	26.42
C75	20.38	20.00	58°22'27"	11.17	N00°18'50"W	19.51
C76	19.69	45.00	25°04'00"	10.00	S16°58'04"E	19.53
C77	54.41	45.00	69°16'42"	31.09	S30°12'17"W	51.16
C78	47.12	45.00	60°00'00"	25.98	N85°09'22"W	45.00
C79	20.62	45.00	26°15'04"	10.49	N42°01'50"W	20.44
C80	42.31	45.00	53°52'01"	22.86	N01°58'18"W	40.77
C81	29.74	45.00	37°51'59"	15.44	N43°53'42"E	29.20
C82	213.89	45.00	272°19'45"	43.21	N73°20'12"W	62.33
C84	2.10	20.00	6°00'10"	1.05	S59°49'36"W	2.09
C85	9.76	20.00	27°57'08"	4.98	S42°50'57"W	9.66
C86	11.85	20.00	33°57'18"	6.11	S45°51'02"W	11.68
C87	4.12	20.00	11°48'43"	2.07	N06°12'40"E	4.12
C88	27.29	20.00	78°11'17"	16.25	N51°12'40"E	25.22
C89	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C90	26.70	20.00	76°29'14"	15.76	S51°27'04"E	24.76
C91	4.72	20.00	13°30'46"	2.37	S06°27'04"E	4.71
C92	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C93	11.05	20.00	31°40'06"	5.67	S16°08'21"W	10.91
C94	20.36	20.00	58°19'54"	11.16	S81°08'21"W	19.49
C95	31.42	20.00	90°00'00"	20.00	S45°18'18"W	28.28
C96	20.36	20.00	58°19'54"	11.16	N60°31'44"W	19.49
C97	11.05	20.00	31°40'06"	5.67	N15°31'44"W	10.91
C98	31.42	20.00	90°00'00"	20.00	N44°41'42"W	28.28
C99	4.72	20.00	13°30'46"	2.37	N07°03'41"E	4.71
C100	26.70	20.00	76°29'14"	15.76	N52°03'41"E	24.76
C101	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C102	26.70	20.00	76°29'14"	15.76	S51°27'04"E	24.76
C103	4.72	20.00	13°30'46"	2.37	S06°27'04"E	4.71
C104	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C105	11.65	20.00	33°22'01"	5.99	S16°59'19"W	11.48
C106	19.77	20.00	56°37'59"	10.78	S61°59'19"W	18.97
C107	31.42	20.00	90°00'00"	20.00	S45°18'18"W	28.28
C108	19.77	20.00	56°37'59"	10.78	N61°22'42"W	18.97
C109	11.65	20.00	33°22'01"	5.99	N16°22'42"W	11.48
C110	31.42	20.00	90°00'00"	20.00	N44°41'42"W	28.28

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 Page: 6 of 6
 18/38/2886 63-13P
 Bx-2886C Pg-331

Mary Herrera Bern. Co. PLAT R 32.88



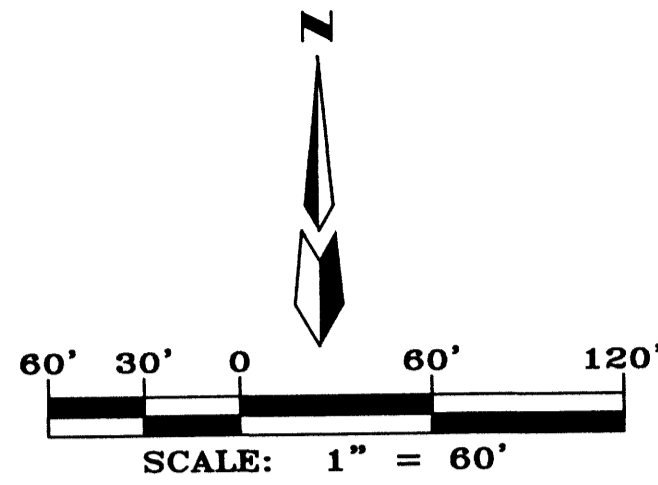
P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

SEE SHEETS 3-6 FOR LINE & CURVE DATA

Dwg: A5080-FP-SHT 3-6.dwg	Drawn: RICHARD	Checked: ALS	Sheet 5 of 6
Scale: 1"=60'	Date: 10/30/06	Job: A05080	

PLAT FOR
VISTA DE LA LUZ
 WITHIN
 SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2006

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C111	4.72	20.00	13°30'46"	2.37	N07°03'41"E	4.71
C112	26.70	20.00	76°29'14"	15.76	N52°03'41"E	24.76
C113	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C114	26.70	20.00	76°29'14"	15.76	S51°27'04"E	24.76
C115	4.72	20.00	13°30'46"	2.37	S06°27'04"E	4.71
C116	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C117	11.65	20.00	33°22'01"	5.99	S16°59'19"W	11.48
C118	19.77	20.00	56°37'59"	10.78	S61°59'19"W	18.97
C119	31.42	20.00	90°00'00"	20.00	S45°18'18"W	28.28
C120	70.61	275.50	14°41'08"	35.50	N82°21'08"W	70.42
C121	13.70	275.50	2°50'54"	6.85	N73°35'07"W	13.70
C122	50.26	275.50	10°27'08"	25.20	N66°56'05"W	50.19
C123	78.22	214.14	20°55'45"	39.55	N51°14'39"W	77.79
C124	37.54	25.00	86°02'02"	23.33	N02°14'14"E	34.11
C125	297.44	324.50	52°31'05"	160.09	S18°59'42"W	287.14
C126	57.85	50.50	65°37'56"	32.57	N25°33'08"E	54.74
C127	28.15	50.50	31°56'12"	14.45	N74°20'12"E	27.79
C128	86.00	50.50	97°34'09"	57.65	N41°31'14"E	75.98
C129	27.05	99.50	15°34'25"	13.61	N82°31'06"E	26.96
C130	142.39	99.50	81°59'43"	86.49	N33°44'01"E	130.55
C131	169.44	99.50	97°34'09"	113.60	N41°31'14"E	149.70
C132	188.65	275.50	39°14'00"	98.19	S12°21'10"W	184.98
C133	70.58	35.00	115°32'11"	55.51	S89°44'15"W	59.21
C134	123.71	350.00	20°15'08"	62.51	S42°37'14"E	123.07
C135	54.10	35.00	88°34'14"	34.14	N08°27'40"W	48.88
C136	26.99	109.00	14°11'11"	13.56	N83°12'43"E	26.92
C137	29.09	41.00	40°39'32"	15.19	N69°58'33"E	28.49
C138	20.36	20.00	58°19'54"	11.16	S60°31'44"E	19.49
C139	11.05	20.00	31°40'06"	5.67	S15°31'44"E	10.91
C140	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C141	8.69	475.50	1°02'50"	4.35	S00°49'43"W	8.69
C142	38.88	475.50	4°41'05"	19.45	S03°41'41"W	38.87
C143	47.57	475.50	5°43'55"	23.80	S03°10'16"W	47.55
C144	6.23	524.50	0°40'49"	3.11	N05°41'49"E	6.23
C145	45.06	524.50	4°55'20"	22.54	N02°53'44"E	45.05
C146	1.18	524.50	0°07'46"	0.59	N00°22'11"E	1.18
C147	52.47	524.50	5°43'55"	26.26	N03°10'16"E	52.45
C148	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C149	45.25	500.00	5°11'06"	22.64	N02°53'51"E	45.23
C150	4.77	500.00	0°32'50"	2.39	N05°45'49"E	4.77
C151	50.02	500.00	5°43'55"	25.03	N03°10'16"E	50.00
C152	50.02	500.00	5°43'55"	25.03	S03°10'16"W	50.00
C153	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C154	31.42	20.00	90°00'00"	20.00	N44°41'42"W	28.28
C155	31.42	20.00	90°00'00"	20.00	S45°18'18"W	28.28
C156	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C157	9.82	524.00	1°04'24"	4.91	N00°13'54"W	9.82
C158	31.79	20.00	91°04'24"	20.38	S44°46'06"W	28.55
C159	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C160	31.79	20.00	91°04'20"	20.38	N44°09'31"W	28.55
C161	9.82	524.50	1°04'20"	4.91	S00°50'29"W	9.82
C162	50.02	500.00	5°43'55"	25.03	N02°33'39"W	50.00
C163	4.77	500.00	0°32'50"	2.39	S05°09'12"E	4.77
C164	45.25	500.00	5°11'06"	22.64	S02°17'14"E	45.23
C165	8.69	476.00	1°02'46"	4.35	N00°13'05"W	8.69
C166	38.93	476.00	4°41'09"	19.48	N03°05'02"W	38.92
C167	47.62	476.00	5°43'55"	23.83	N02°33'39"W	47.60
C168	1.18	524.00	0°07'46"	0.59	S00°14'25"W	1.18
C169	45.06	524.00	4°55'37"	22.54	S02°17'17"E	45.05
C170	6.18	524.00	0°40'31"	3.09	S05°05'21"E	6.18
C171	52.42	524.00	5°43'55"	26.23	S02°33'39"E	52.40
C172	94.08	3894.72	1°23'03"	47.04	S28°15'43"W	94.08

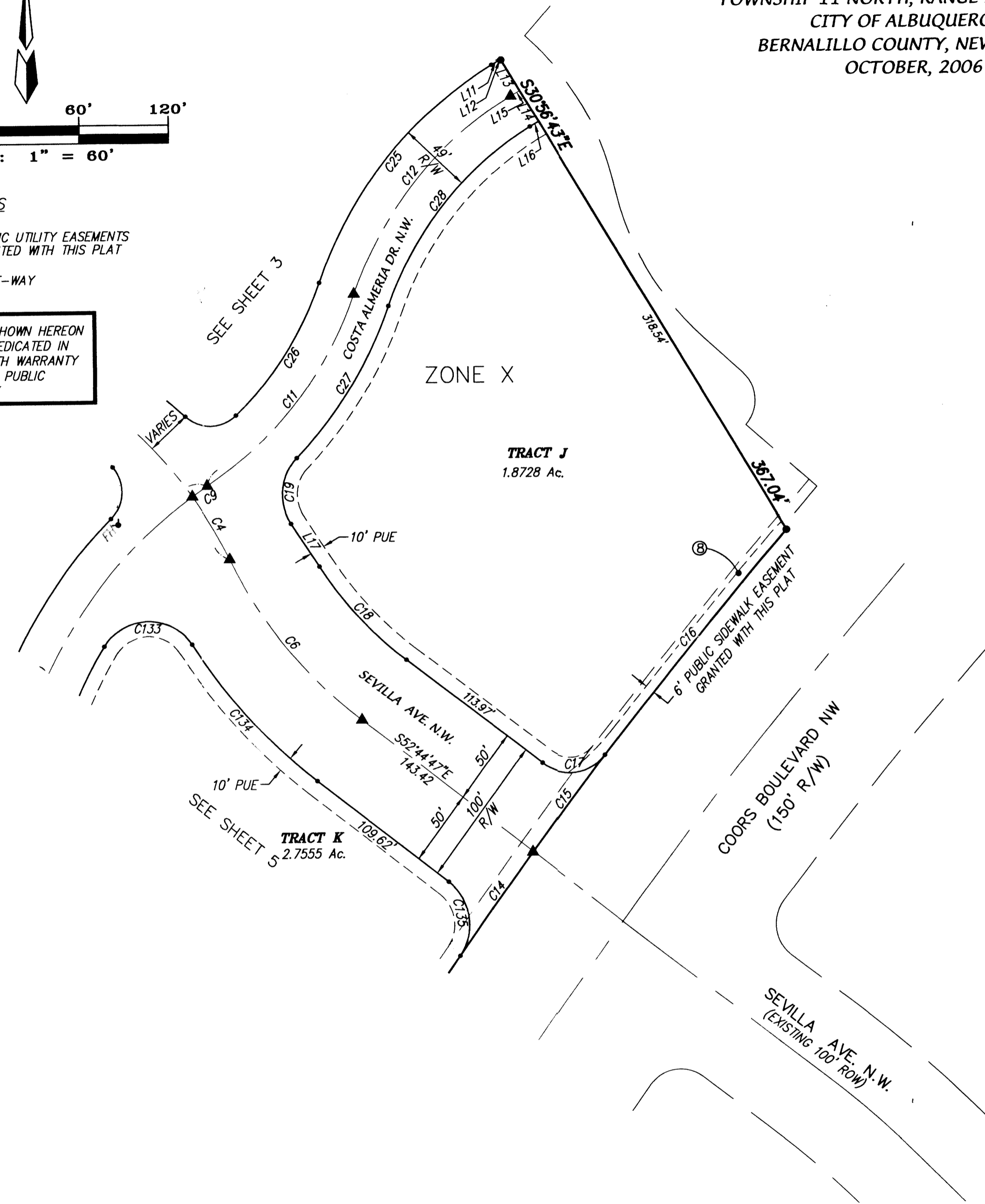


ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT

R/W = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON
 ARE HEREBY DEDICATED IN
 FEE SIMPLE WITH WARRANTY
 COVENANTS AS PUBLIC
 RIGHT-OF-WAY



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 Page: 6 of 6
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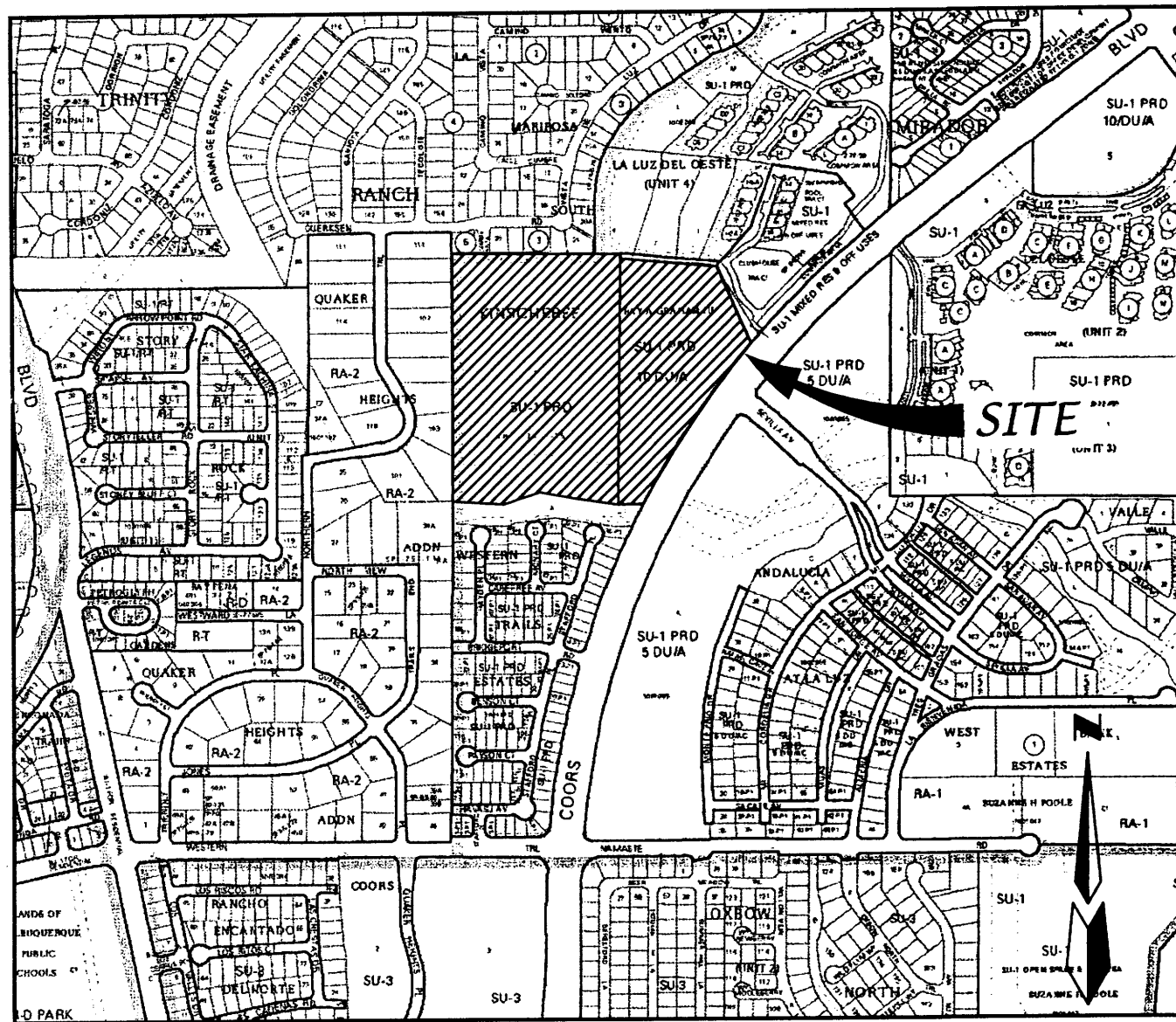
Mary Herrera Bern. Co. PLAT R 32.86



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

SEE SHEETS 3-6 FOR LINE & CURVE DATA

Dwg: A5080-FP-SHT 3-5.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 6 of 6
Scale: 1"=60'	Date: 10/16/06	Job: A05080	



VICINITY MAP SCALE: 1"=750' ZONE ATLAS: F-11-Z

SUBDIVISION DATA

Gross Acreage	29.3055 Acres
Zone Atlas No.	F-11-Z
No. of Existing Tracts	2
No. of Lots/Tracts Created	137 Lots/21 Tracts
No. of Tracts Eliminated	2
Miles of Full Width Streets Created	1.08
Area Dedicated to the City of Albuquerque	6.6420 Acres
Date of Survey	August, 2005
Zoning	SU-1 PRD
Utility Control Location System Log Number	2005480220

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: MONTEREY LAND GROUP, LLC.
 BY: Tim McNaney
 TITLE: Managing Member

Tim McNaney 10/11/06
 Tim McNaney Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on October 11, 2006
 By Tim McNaney, Managing Member of MONTEREY LAND GROUP, LLC, a New Mexico Limited Liability Company on behalf of said company.

Susan Rasinski 9.10.2008
 NOTARY PUBLIC MY COMMISSION EXPIRES

OFFICIAL SEAL
 SUSAN RASINSKI
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires: 9.10.2008

LEGAL DESCRIPTION

A tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 1, SUMMARY PLAT OF KINSCHERFF LANDS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1978 in Volume B14, Folio 44, together with remaining portions of LANDS OF RAY A. GRAHAM III, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 13, 1981 and being more particularly described as follows:

BEGINNING at a point of the herein described tract, from whence the Albuquerque Control Survey Monument "NM448-N6-A" bears N 57°57'43" E 741.17 feet;

THENCE 918.04 feet along a curve to the left, whose radius is 3894.72 feet through a central angle of 13°30'20" and whose chord bears S 34°19'21" W, 915.92 feet to a point;

THENCE N 89°43'20" W 116.93 feet to a point;

THENCE N 81°11'45" W 266.29 feet to a point;

THENCE N 76°03'18" W 93.12 feet to a point;

THENCE S 71°30'46" W 176.82 feet to a point;

THENCE N 86°31'14" W 229.77 feet to a point;

THENCE N 00°18'18" E 1118.12 feet to a point;

THENCE S 89°42'22" E 750.85 feet to a point;

THENCE S 00°18'51" W 27.50 feet to a point;

THENCE S 85°09'22" E 440.14 feet to a point;

THENCE S 30°56'43" E 367.04 feet to the point of beginning and containing 29.3055 acres more or less.

NOTES (SEE SHEET 4)

PURPOSE OF PLAT

1. Create 137 Residential Lots, 2 Commercial Tracts and 19 HOA Tracts.
2. Grant easements as shown hereon.
3. Dedicate Right-of-way as shown hereon.
4. Vacate Easements as shown hereon.

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
VISTA DE LA LUZ
 WITHIN SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2006

APPROVED AND ACCEPTED BY:

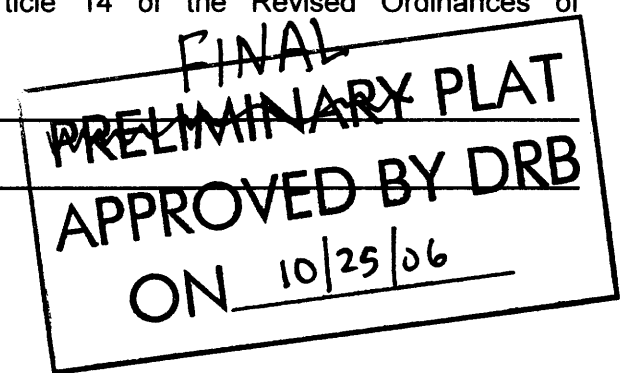
APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1004675

Application Number:

PLAT APPROVAL

Utility Approvals:

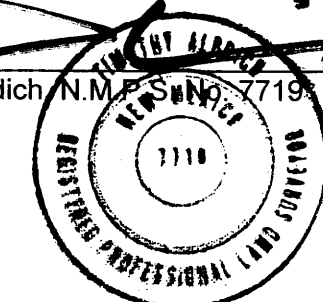


PNM Electric Services	Date
PNM Gas Services	Date
Qwest Telecommunications	Date
Comcast	Date
City Approvals: <i>[Signature]</i>	10-17-06
City Surveyor	Date
Real Property Division	Date
Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] 10-13-06
 Timothy Aldrich, N.M.P.S. No. 7719 Date

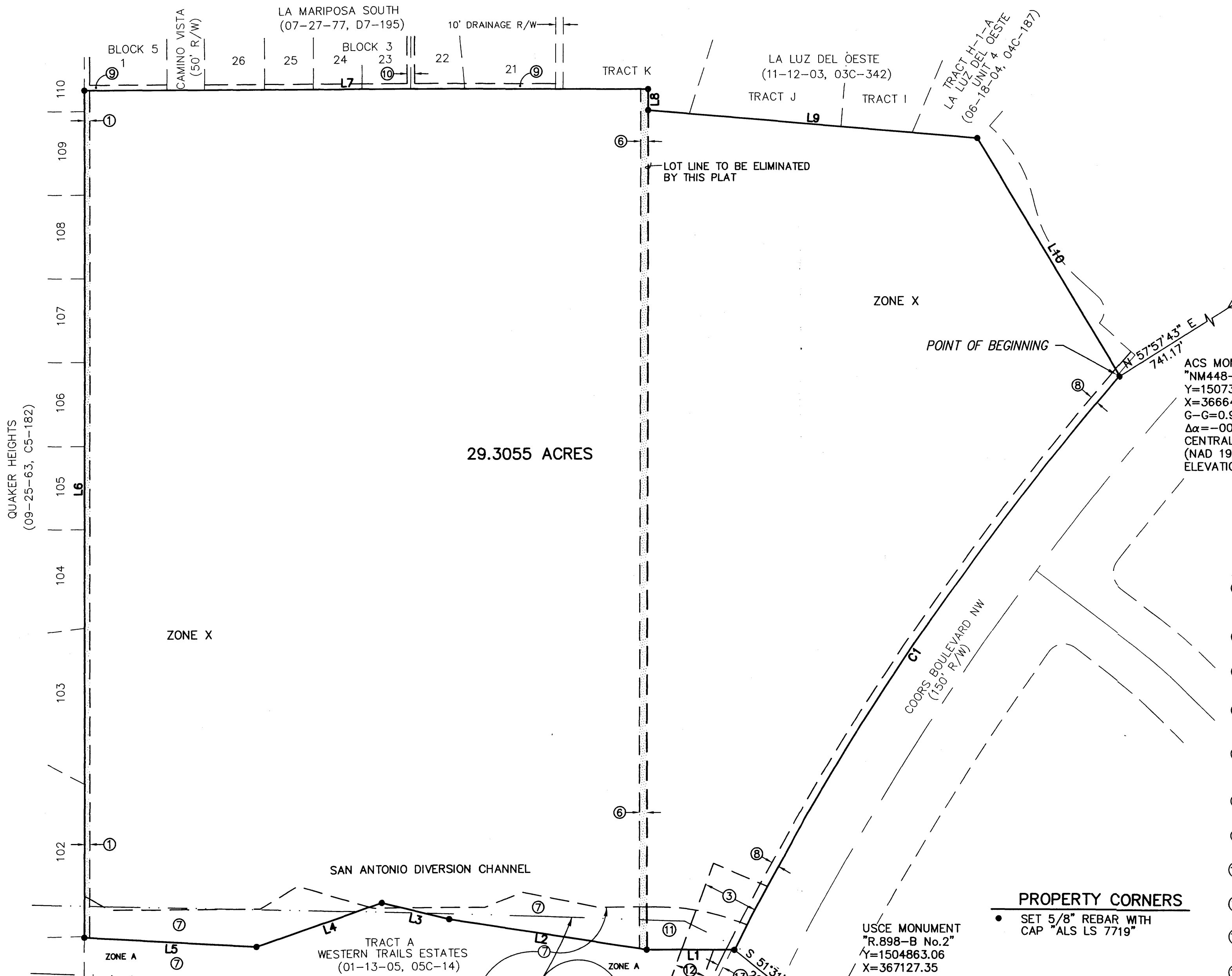
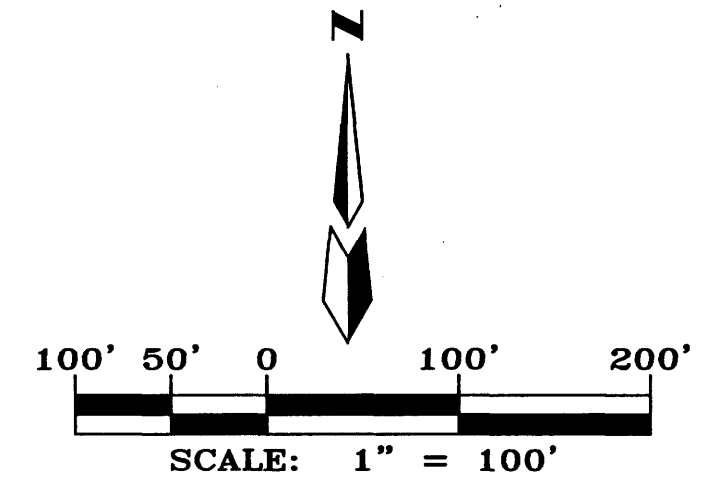


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: A5080-Cover.dwg	Drawn: Richard	Checked: ALS	Sheet 1 of 6
Scale: AS SHOWN	Date: 10/5/2006	Job: A05080	

PLAT FOR
VISTA DE LA LUZ
 WITHIN
 SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2006



29.3055 ACRES

EXISTING EASEMENTS

- ① EXISTING 7' PNM AND MST&T EASEMENT (03-04-75, BK.MISC.410, PG.37-39)
VACATED PER 06DRB-01027
- ③ EXISTING COA WATER AND SANITARY SEWER EASEMENT (05-07-04, BK.A77, PG.2627)
- ④ EXISTING 10' PNM AND TELEPHONE EASEMENT (09-14-78, BK. MISC.637, PG.899)
- ⑥ EXISTING 10' COA DRAINAGE AND UTILITY EASEMENT (01-25-78, B14-44)
VACATED PER 06DRB-01027
- ⑦ EXISTING AMAFCA FLOODWAY AND STORM DRAINAGE EASEMENT (10-31-80, BK.D131A, PG.110-111) (10-27-80, BK.MISC.808, PG.75-76)
- ⑧ EXISTING 10' UNDERGROUND PNM AND MST&T EASEMENT (09-14-78, BK.MISC.637, PG.899)
- ⑨ EXISTING 7' PUBLIC UTILITY AND DRAINAGE EASEMENT (07-27-77, D7-195)
- ⑩ EXISTING 10' PUBLIC UTILITY AND DRAINAGE EASEMENT (07-27-77, D7-195)
- ⑪ EXISTING AMAFCA FLOODWAY AND STORM DRAINAGE EASEMENT (09-25-81, BK.MISC.881, PG.94-97)
- ⑫ EXISTING 40' COA WATER AND SEWER EASEMENT (01-13-05, 05C-14)
- ⑬ EXISTING 7' PNM AND MST&T EASEMENT (09-20-78, BK.MISC.639, PG.170)
- ⑭ EXISTING 10' COA DRAINAGE ROW (07-27-77, 07-195)

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719"

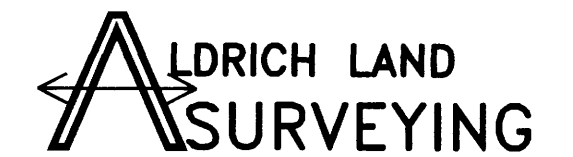
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 X=367127.35
 G-C=0.9996796
 $\Delta\alpha=-00^{\circ}15'21''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5031.20

LIMITS OF SPECIAL FLOOD HAZARD
 AREA ZONE "A" AS SHOWN ON FLOOD
 INSURANCE RATE MAP PANE 114 OF
 825 EFFECTIVE SEPT. 20 1996

LINE	BEARING	DISTANCE
L1	N 89°43'20" W (N 90°00'00" W)	116.93' (115.50')
L2	N 81°11'45" W (N 81°17'30" W)	266.29' (266.72')
L3	N 76°03'18" W (N 76°31'40" W)	93.12'
L4	S 71°30'46" W (S 71°13'00" W)	176.82'
L5	N 86°31'14" W (N 86°49'00" W)	229.77'
L6	N 00°18'18" E (N 00°00'40" E)	1118.12' (1117.94')
L7	S 89°42'22" E (S 90°00'00" E)	750.85' (751.39')
L8	S 00°18'51" W	27.50'
L9	S 85°09'22" E	440.14'
L10	S 30°56'43" E	367.04'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	3894.72'	918.04'	915.92'	S 34°19'21" W	13°30'20"

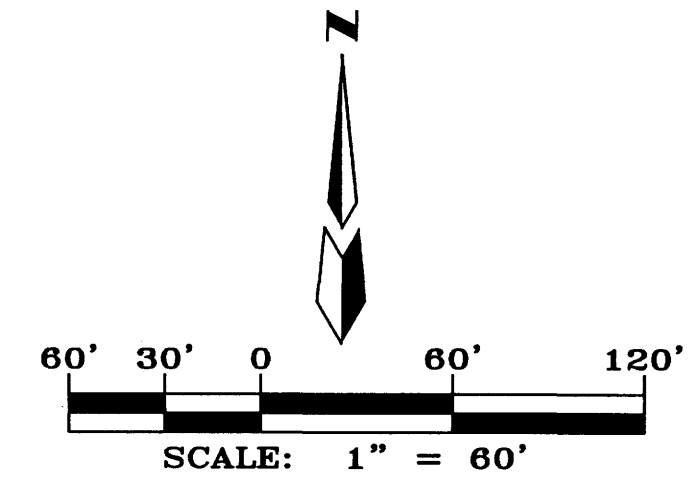
--- DENOTES EASEMENT VACATION



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 505-884-1990

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Scale: 1"=100'	Date: 10/16/06	Job: A05080	

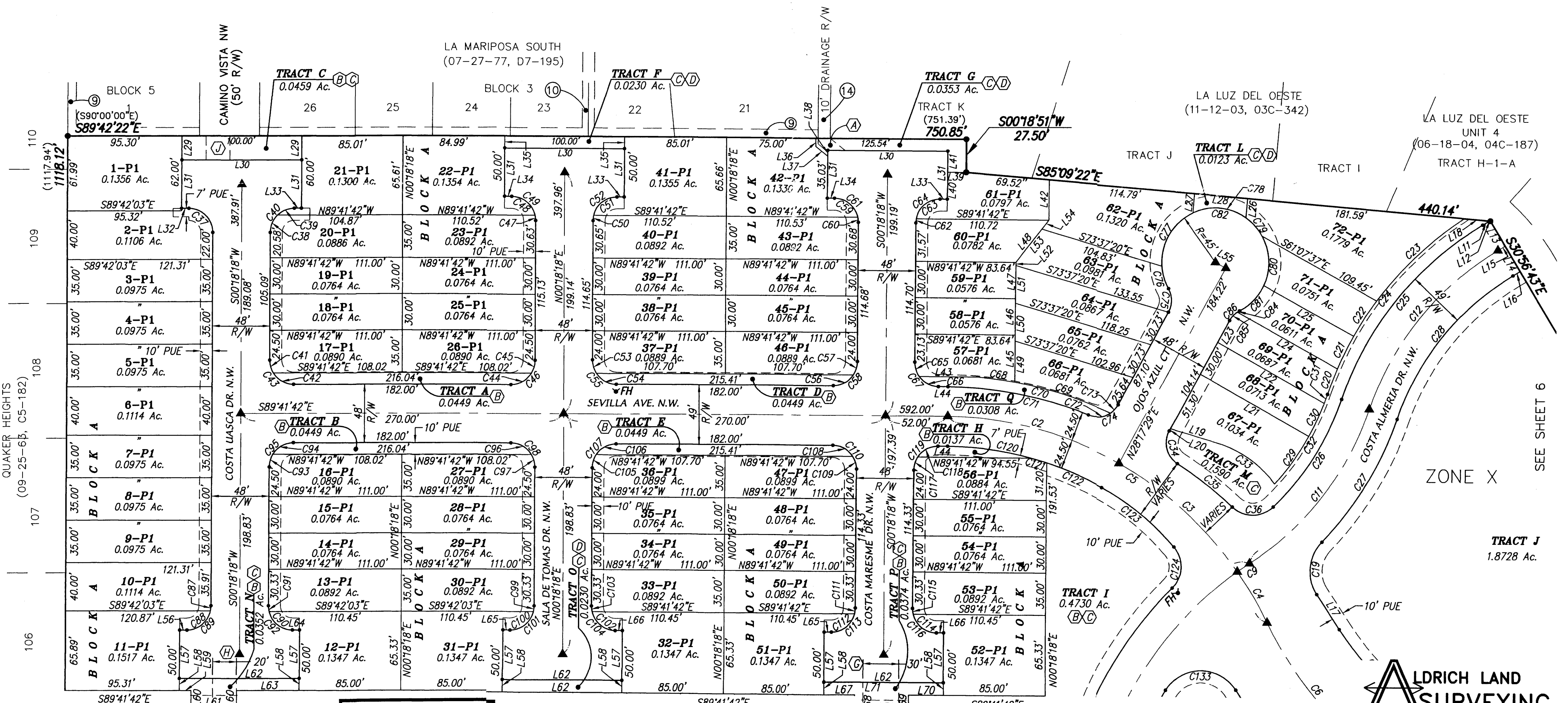
PLAT FOR
VISTA DE LA LUZ
 WITHIN
 SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2006



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C1	918.04	3894.72	13°30'20"	461.16	S34°19'21"W	915.92
C2	149.58	300.00	28°34'05"	76.38	N75°24'39"W	148.04
C3	134.64	300.00	25°42'50"	68.47	N48°16'12"W	133.51
C4	49.02	300.00	9°21'42"	24.56	N30°43'55"W	48.96
C5	333.24	300.00	63°38'37"	186.17	N57°52'23"W	316.37
C6	139.78	300.00	26°41'43"	71.18	S39°23'56"E	138.52
C7	127.72	75.00	97°34'09"	85.63	N41°31'14"E	112.84
C8	323.85	300.00	61°51'04"	179.73	S23°39'42"E	308.35
C9	12.30	300.00	2°21'00"	6.15	S55°45'44"W	12.30
C10	336.16	300.00	64°12'04"	188.19	S24°50'12"W	318.84
C11	164.97	250.00	37°48'29"	85.61	N38°01'59"E	161.99
C12	173.00	250.00	39°38'58"	90.13	S38°57'14"W	169.57
C13	467.01	3894.72	6°52'13"	233.78	S32°23'20"W	466.73
C14	84.14	3894.72	1°14'16"	42.07	S36°26'35"W	84.14
C15	79.49	3894.72	1°10'10"	39.75	S37°38'48"W	79.49
C16	193.33	3894.72	2°50'39"	96.68	S39°39'12"W	193.31
C17	46.61	30.00	89°01'20"	29.49	N82°44'33"E	42.06
C18	85.34	250.00	19°33'29"	43.09	S42°58'03"E	84.92
C19	47.26	35.00	77°21'34"	28.02	S05°29'29"W	43.75
C20	22.46	287.00	4°29'00"	11.23	S21°22'14"W	22.45
C21	31.73	287.00	6°20'04"	15.88	S26°46'46"W	31.71
C22	35.12	287.00	7°00'39"	17.58	S33°06'51"W	35.10
C23	100.56	287.00	20°04'34"	50.80	S46°39'28"W	100.05
C24	188.18	287.00	37°34'00"	97.61	S37°54'45"W	184.82
C25	189.96	274.50	39°38'58"	98.96	S38°57'14"W	186.19

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C26	106.31	225.50	27°00'42"	54.16	N32°38'05"E	105.33
C27	119.98	274.50	25°02'32"	60.96	N31°39'00"E	119.02
C28	156.05	225.50	39°38'58"	81.30	S38°57'14"W	152.95
C29	48.59	213.00	13°04'12"	24.40	N35°51'47"E	48.48
C30	30.08	213.00	8°05'33"	15.07	N25°16'55"E	30.06
C31	7.83	213.00	2°06'24"	3.92	N20°10'56"E	7.83
C32	86.50	213.00	23°16'08"	43.86	N30°45'49"E	85.91
C33	61.19	92.39	37°56'46"	31.76	N55°52'52"W	60.07
C34	30.26	20.00	86°41'17"	18.88	S14°28'15"E	27.46
C35	58.55	324.00	10°21'17"	29.36	N52°38'15"W	58.48
C36	37.70	25.00	86°21'59"	23.48	N89°20'25"E	34.23
C37	31.42	20.00	90°00'40"	20.00	N44°42'02"W	28.29
C38	16.09	20.00	46°04'51"	8.51	S23°20'44"W	15.66
C39	15.33	20.00	43°54'28"	8.06	S68°20'24"W	14.95
C40	31.41	20.00	89°59'20"	20.00	S45°17'58"W	28.28
C41	11.05	20.00	31°40'06"	5.67	S15°31'44"E	10.91
C42	20.36	20.00	58°19'54"	11.16	S60°31'44"E	19.49
C43	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C44	20.36	20.00	58°19'54"	11.16	N61°08'21"E	19.49
C45	11.05	20.00	31°40'06"	5.67	N16°08'21"E	10.91
C46	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C47	4.41	20.00	12°37'23"	2.21	N06°00'23"W	4.40
C48	27.01	20.00	77°23'18"	16.02	N51°00'43"W	25.01
C49	31.42	20.00	90°00'40"	20.00	N44°42'02"W	28.29
C50	4.39	20.00	12°34'20"	2.20	S06°35'28"W	4.38

LINE TABLE		
LINE	LENGTH	BEARING
L1	116.93	N89°43'20"W
L2	266.29	N81°11'45"W
L3	93.12	N76°03'18"W
L4	176.82	S71°30'46"W
L5	229.77	N86°31'14"W
L6	1118.12	N00°18'18"E
L7	750.85	S89°42'22"E
L8	27.50	S00°18'51"W
L9	440.13	S85°09'22"E
L10	367.04	S30°56'43"E
L11	6.47	N58°46'43"E
L12	0.85	S85°09'22"E
L13	24.00	S30°56'43"E
L14	24.50	S30°56'43"E
L15	7.04	N58°46'43"E
L16	6.93	N58°46'43"E
L17	34.42	S33°11'18"E
L18	20.91	S85°09'22"E
L19	39.36	S73°51'18"E
L20	2.21	N28°52'23"E
L21	104.12	S61°07'37"E
L22	102.23	S61°07'37"E
L23	20.63	N28°52'23"E
L24	95.79	S61°07'37"E
L25	85.95	S61°07'37"E



ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 R/W = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

SEE SHEET 4

SEE SHEET 5

SEE SHEETS 3-6 FOR LINE & CURVE DATA

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

Dwg: A5080-FP-SHT 3-5.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 6
Scale: 1"=60'	Date: 10/16/06	Job: A05080	

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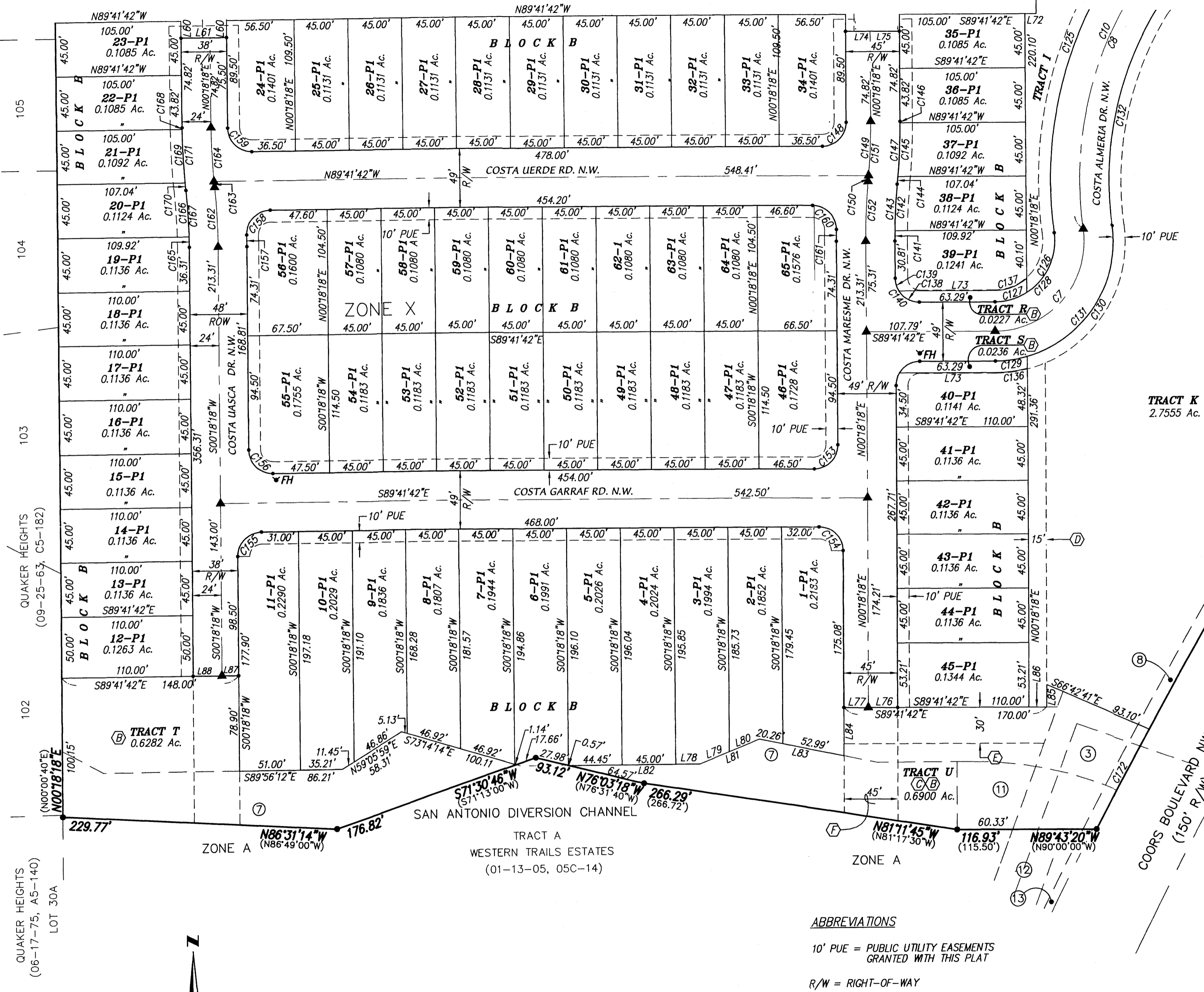
PLAT FOR
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 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2006

SEE SHEET 3

SEE SHEET 6

LINE TABLE		
LINE	LENGTH	BEARING
L26	16.03	N04°50'38"E
L27	16.03	N04°50'38"E
L28	45.00	S85°09'22"E
L29	20.00	N00°17'38"E
L30	100.00	S89°42'22"E
L31	40.00	N00°17'38"E
L32	5.99	S89°42'22"E
L33	6.01	S89°42'22"E
L34	5.99	S89°42'22"E
L35	10.00	N00°17'38"E
L36	6.92	S00°17'38"W
L37	12.83	S50°51'14"E
L38	4.97	N00°19'27"E
L39	15.53	S89°42'22"E
L40	22.50	N00°17'38"E
L41	17.50	N00°17'38"E
L42	33.57	N00°00'00"E
L43	48.00	S89°42'35"E
L44	8.00	S89°41'42"E
L45	38.81	N00°18'18"E
L46	30.00	N00°18'18"E
L47	30.00	N00°18'18"E
L48	44.44	N38°20'32"E
L49	33.75	N00°18'18"E
L50	31.22	N00°18'18"E
L51	31.22	N00°18'18"E
L52	2.62	N00°18'18"E
L53	35.03	N38°20'32"E
L54	9.41	N38°20'32"E
L55	9.92	N61°42'31"W
L56	6.00	S89°41'42"E
L57	40.00	N00°18'18"E
L58	10.00	S00°18'18"W
L59	9.69	S89°41'42"E
L60	14.00	S00°18'18"W
L61	38.00	S89°41'42"E
L62	100.00	S89°41'42"E
L63	52.31	S89°41'42"E
L64	6.00	N89°41'42"W
L65	6.00	S89°41'42"E
L66	6.00	N89°41'42"W
L67	25.69	S89°41'42"E
L68	14.00	S00°18'18"W
L69	14.00	N00°18'18"E
L70	29.31	S89°41'42"E
L71	45.00	S89°41'42"E
L72	9.31	S89°41'42"E
L73	80.31	S89°41'42"E
L74	20.50	S89°41'42"E
L75	24.50	S89°41'42"E
L76	24.50	S89°41'42"E
L77	20.50	S89°41'42"E
L78	20.20	S89°56'12"E
L79	26.75	N68°15'43"E
L80	27.10	N68°15'43"E
L81	53.85	N68°15'43"E
L82	109.65	S89°56'12"E
L83	73.25	S78°37'36"E
L84	39.91	N00°18'18"E
L85	18.40	N00°18'18"E
L86	15.00	S89°41'42"E
L87	14.00	N89°41'42"W
L88	24.00	N89°41'42"W

SEE SHEET 5



**PLAT FOR
VISTA DE LA LUZ
WITHIN
SECTION 35
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006**

NOTES:

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT OF "KINSCHERFF LANDS", (01-25-78, B14-44)
 PLAT OF "QUAKER HEIGHTS", (09-25-63, C5-182)
 PLAT OF "QUAKER HEIGHTS ADDITION", (06-17-75, A5-140)
 PLAT OF "LA MARIPOSA SOUTH", (07-27-77, D7-195)
 PLAT OF "LA LUZ DEL OESTE", (11-12-03, 03C-342)
 PLAT OF "LA LUZ DEL OESTE, UNIT 4", (06-18-04, 04C-187)
 PLAT OF "WESTERN TRAILS ESTATES", (01-13-05, 05C-14)
 all being records of Bernalillo County, New Mexico.
- Title Report: Provided by First American Title Insurance Co. No. NM03163693-AL02, VC (Effective date: 06-01-05)
- Flood Zone Designation: Zone X and A (100-Year Flood Confined To Constructed Channel) of Panel 114 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)
- Unless otherwise noted all boundary corners are set #5 rebar with cap "ALS LS 7719" (TYP).
- All street centerline Monumentation shall be installed at al pc's, pt's, angle points and street intersections and shown thus (▲) and will be marked by (4") Aluminum Cap stamped:
 "CITY OF ALBUQUERQUE
 CENTERLINE MONUMENTATION
 DO NOT DISTURB"
- All lots shown with the P-1 designation shall conform to intermittent parking design criteria.
- Tracts A, B, C, D, E, F, G, H, L, M, N, O, P, Q, R, S, T, and U are for the benefit of and to be owned and maintained by the Homeowners Association.
- Tracts J and K are reserved for future development.

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C51	27.02	20.00	77°24'59"	16.03	S51°35'08"W	25.01
C52	31.41	20.00	89°59'20"	20.00	S45°17'58"W	28.28
C53	11.65	20.00	33°22'01"	5.99	S16°22'42"E	11.48
C54	19.77	20.00	56°37'59"	10.78	S61°22'42"E	18.97
C55	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C56	19.77	20.00	56°37'59"	10.78	N61°59'19"E	18.97
C57	11.65	20.00	33°22'01"	5.99	N16°59'19"E	11.48
C58	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C59	27.07	20.00	77°32'38"	16.06	N50°56'03"W	25.05
C60	4.35	20.00	12°28'03"	2.18	N05°55'43"W	4.34
C61	31.42	20.00	90°00'40"	20.00	N44°42'02"W	28.29
C62	3.45	20.00	9°53'19"	1.73	S05°14'58"W	3.45
C63	27.96	20.00	80°06'01"	16.81	S50°14'37"W	25.74
C64	31.41	20.00	89°59'20"	20.00	S45°17'58"W	28.28
C65	12.71	20.00	36°24'21"	6.58	S17°53'52"E	12.50
C66	18.71	20.00	53°35'39"	10.10	S62°53'52"E	18.03
C67	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C68	31.98	333.50	5°29'36"	16.00	N82°50'18"W	31.96
C69	84.11	333.50	14°27'02"	42.28	N72°51'59"W	83.89
C70	116.09	333.50	19°56'39"	58.64	N75°36'47"W	115.50
C71	120.24	324.50	21°13'48"	60.82	N79°04'48"W	119.55
C72	19.28	20.00	55°13'57"	10.46	N83°55'08"E	18.54
C73	9.57	20.00	27°25'46"	4.88	N42°35'16"E	9.48
C74	28.85	20.00	82°39'43"	17.59	N70°12'15"E	26.42
C75	20.38	20.00	58°22'27"	11.17	N00°18'50"W	19.51
C76	19.69	45.00	25°04'00"	10.00	S16°58'04"E	19.53
C77	54.41	45.00	69°16'42"	31.09	S30°12'17"W	51.16
C78	47.12	45.00	60°00'00"	25.98	N85°09'22"W	45.00
C79	20.62	45.00	26°15'04"	10.49	N42°01'50"W	20.44
C80	42.31	45.00	53°52'01"	22.86	N01°58'18"W	40.77
C81	29.74	45.00	37°51'59"	15.44	N43°53'42"E	29.20
C82	213.89	45.00	272°19'45"	43.21	N73°20'12"W	62.33
C84	2.10	20.00	6°00'10"	1.05	S59°49'36"W	2.09
C85	9.76	20.00	27°57'08"	4.98	S42°50'57"W	9.66
C86	11.85	20.00	33°57'18"	6.11	S45°51'02"W	11.68
C87	4.12	20.00	11°48'43"	2.07	N06°12'40"E	4.12
C88	27.29	20.00	78°11'17"	16.25	N51°12'40"E	25.22
C89	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C90	26.70	20.00	76°29'14"	15.76	S51°27'04"E	24.76
C91	4.72	20.00	13°30'46"	2.37	S06°27'04"E	4.71
C92	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C93	11.05	20.00	31°40'06"	5.67	S16°08'21"W	10.91
C94	20.36	20.00	58°19'54"	11.16	S61°08'21"W	19.49
C95	31.42	20.00	90°00'00"	20.00	S45°18'18"W	28.28
C96	20.36	20.00	58°19'54"	11.16	N60°31'44"W	19.49
C97	11.05	20.00	31°40'06"	5.67	N15°31'44"W	10.91
C98	31.42	20.00	90°00'00"	20.00	N44°41'42"W	28.28
C99	4.72	20.00	13°30'46"	2.37	N07°03'41"E	4.71
C100	26.70	20.00	76°29'14"	15.76	N52°03'41"E	24.76
C101	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C102	26.70	20.00	76°29'14"	15.76	S51°27'04"E	24.76
C103	4.72	20.00	13°30'46"	2.37	S06°27'04"E	4.71
C104	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C105	11.65	20.00	33°22'01"	5.99	S16°59'19"W	11.48
C106	19.77	20.00	56°37'59"	10.78	S61°59'19"W	18.97
C107	31.42	20.00	90°00'00"	20.00	S45°18'18"W	28.28
C108	19.77	20.00	56°37'59"	10.78	N61°22'42"W	18.97
C109	11.65	20.00	33°22'01"	5.99	N16°22'42"W	11.48
C110	31.42	20.00	90°00'00"	20.00	N44°41'42"W	28.28

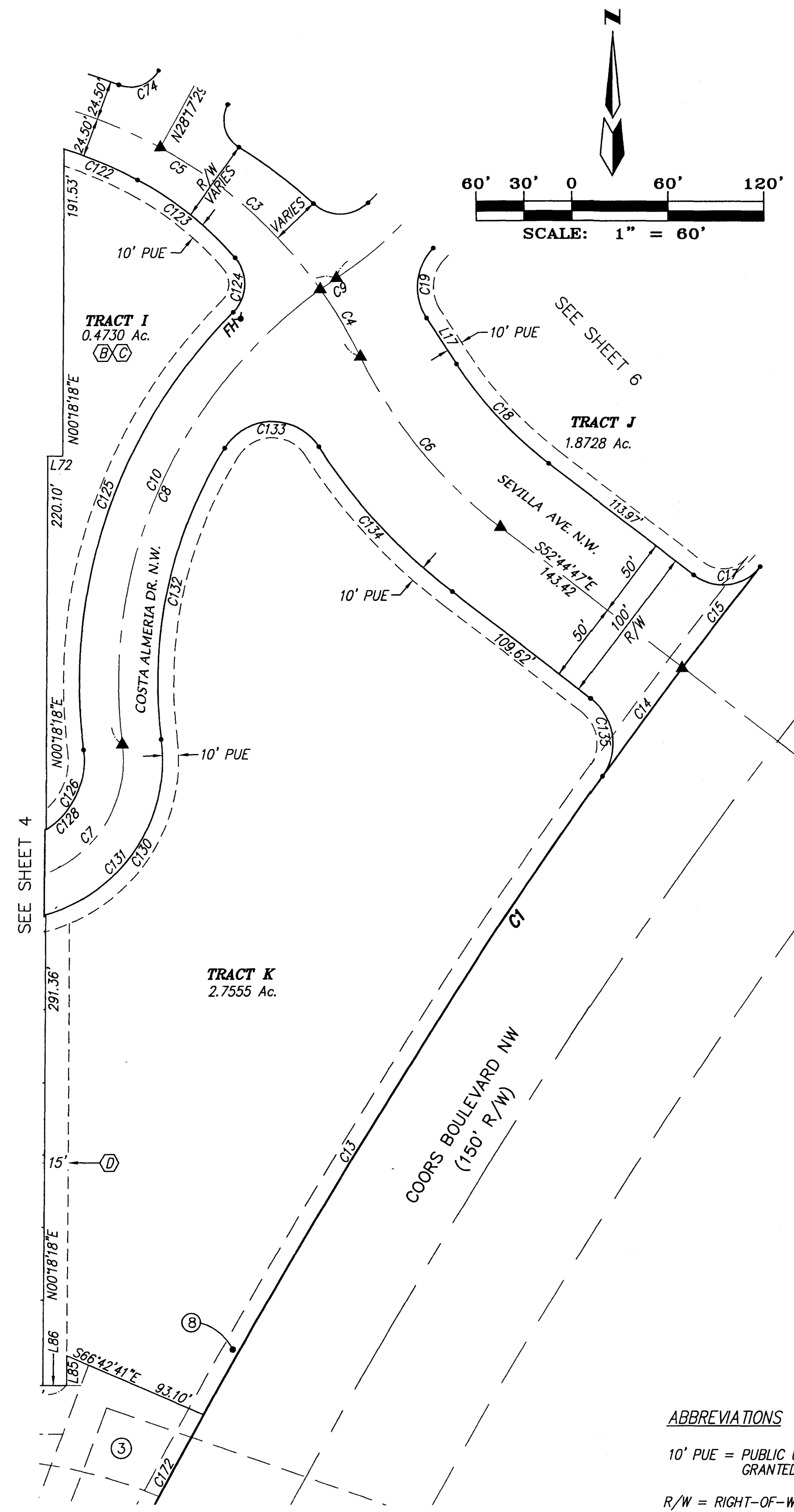
NEW EASEMENTS

- (A) NEW 10' PUBLIC DRAINAGE EASEMENT GRANTED TO THE COA WITH THIS PLAT.
- (B) NEW LANDSCAPE AND PUBLIC ACCESS EASEMENTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION
- (C) NEW PRIVATE COMMON AREA TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION
- (D) NEW LANDSCAPE EASEMENTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION
- (E) NEW 30' PUBLIC WATERLINE & SANITARY SEWER EASEMENT GRANTED TO COA WITH THIS PLAT
- (F) NEW 45' PUBLIC DRAINAGE & TRAIL ACCESS EASEMENT GRANTED TO COA WITH THIS PLAT.
- (G) NEW 30' PUBLIC ACCESS, SANITARY SEWER & DRAINAGE EASEMENT GRANTED TO THE COA WITH THIS PLAT
- (H) NEW PUBLIC ACCESS & WATERLINE EASEMENT GRANTED TO THE COA WITH THIS PLAT.
- (J) NEW 20' PUBLIC WATERLINE EASEMENT GRANTED TO COA WITH THIS PLAT.

ABBREVIATIONS

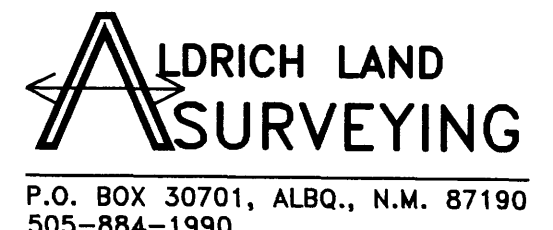
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 R/W = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY



SEE SHEETS 3-6 FOR LINE & CURVE DATA

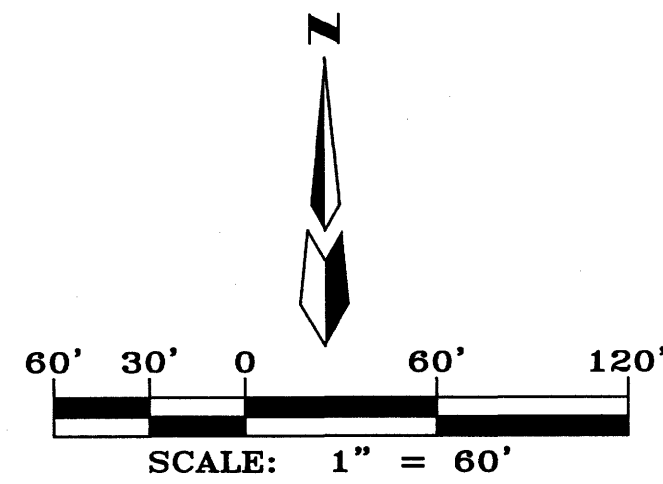
Dwg: A5080-FP-SHT 3-5.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 6
Scale: 1"=60'	Date: 10/16/06	Job: A05080	



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PLAT FOR
VISTA DE LA LUZ
 WITHIN
 SECTION 35
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2006

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD
C111	4.72	20.00	13°30'46"	2.37	N07°03'41"E	4.71
C112	26.70	20.00	76°29'14"	15.76	N52°03'41"E	24.76
C113	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C114	26.70	20.00	76°29'14"	15.76	S51°27'04"E	24.76
C115	4.72	20.00	13°30'46"	2.37	S06°27'04"E	4.71
C116	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C117	11.65	20.00	33°22'01"	5.99	S16°59'19"W	11.48
C118	19.77	20.00	56°37'59"	10.78	S61°59'19"W	18.97
C119	31.42	20.00	90°00'00"	20.00	S45°18'18"W	28.28
C120	70.61	275.50	14°41'08"	35.50	N82°21'08"W	70.42
C121	13.70	275.50	2°50'54"	6.85	N73°35'07"W	13.70
C122	50.26	275.50	10°27'08"	25.20	N66°56'05"W	50.19
C123	78.22	214.14	20°55'45"	39.55	N51°14'39"W	77.79
C124	37.54	25.00	86°02'02"	23.33	N02°14'14"E	34.11
C125	297.44	324.50	52°31'05"	160.09	S18°59'42"W	287.14
C126	57.85	50.50	65°37'56"	32.57	N25°33'08"E	54.74
C127	28.15	50.50	31°56'12"	14.45	N74°20'12"E	27.79
C128	86.00	50.50	97°34'09"	57.65	N41°31'14"E	75.98
C129	27.05	99.50	15°34'25"	13.61	N82°31'06"E	26.96
C130	142.39	99.50	81°59'43"	86.49	N33°44'01"E	130.55
C131	169.44	99.50	97°34'09"	113.60	N41°31'14"E	149.70
C132	188.65	275.50	39°14'00"	98.19	S12°21'10"W	184.98
C133	70.58	35.00	115°32'11"	55.51	S89°44'15"W	59.21
C134	123.71	350.00	20°15'08"	62.51	S42°37'14"E	123.07
C135	54.10	35.00	88°34'14"	34.14	N08°27'40"W	48.88
C136	26.99	109.00	14°11'11"	13.56	N83°12'43"E	26.92
C137	29.09	41.00	40°39'32"	15.19	N69°58'33"E	28.49
C138	20.36	20.00	58°19'54"	11.16	S60°31'44"E	19.49
C139	11.05	20.00	31°40'06"	5.67	S15°31'44"E	10.91
C140	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C141	8.69	475.50	1°02'50"	4.35	S00°49'43"W	8.69
C142	38.88	475.50	4°41'05"	19.45	S03°41'41"W	38.87
C143	47.57	475.50	5°43'55"	23.80	S03°10'16"W	47.55
C144	6.23	524.50	0°40'49"	3.11	N05°41'49"E	6.23
C145	45.06	524.50	4°55'20"	22.54	N02°53'44"E	45.05
C146	1.18	524.50	0°07'46"	0.59	N00°22'11"E	1.18
C147	52.47	524.50	5°43'55"	26.26	N03°10'16"E	52.45
C148	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C149	45.25	500.00	5°11'06"	22.64	N02°53'51"E	45.23
C150	4.77	500.00	0°32'50"	2.39	N05°45'49"E	4.77
C151	50.02	500.00	5°43'55"	25.03	N03°10'16"E	50.00
C152	50.02	500.00	5°43'55"	25.03	S03°10'16"W	50.00
C153	31.42	20.00	90°00'00"	20.00	N45°18'18"E	28.28
C154	31.42	20.00	90°00'00"	20.00	N44°41'42"W	28.28
C155	31.42	20.00	90°00'00"	20.00	S45°18'18"W	28.28
C156	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C157	9.82	524.00	1°04'24"	4.91	N00°13'54"W	9.82
C158	31.79	20.00	91°04'24"	20.38	S44°46'06"W	28.55
C159	31.42	20.00	90°00'00"	20.00	S44°41'42"E	28.28
C160	31.79	20.00	91°04'20"	20.38	N44°09'31"W	28.55
C161	9.82	524.50	1°04'20"	4.91	S00°50'29"W	9.82
C162	50.02	500.00	5°43'55"	25.03	N02°33'39"W	50.00
C163	4.77	500.00	0°32'50"	2.39	S05°09'12"E	4.77
C164	45.25	500.00	5°11'06"	22.64	S02°17'14"E	45.23
C165	8.69	476.00	1°02'46"	4.35	N00°13'05"W	8.69
C166	38.93	476.00	4°41'09"	19.48	N03°05'02"W	38.92
C167	47.62	476.00	5°43'55"	23.83	N02°33'39"W	47.60
C168	1.18	524.00	0°07'46"	0.59	S00°14'25"W	1.18
C169	45.06	524.00	4°55'37"	22.54	S02°17'17"E	45.05
C170	6.18	524.00	0°40'31"	3.09	S05°05'21"E	6.18
C171	52.42	524.00	5°43'55"	26.23	S02°33'39"E	52.40
C172	94.08	3894.72	1°23'03"	47.04	S28°15'43"W	94.08

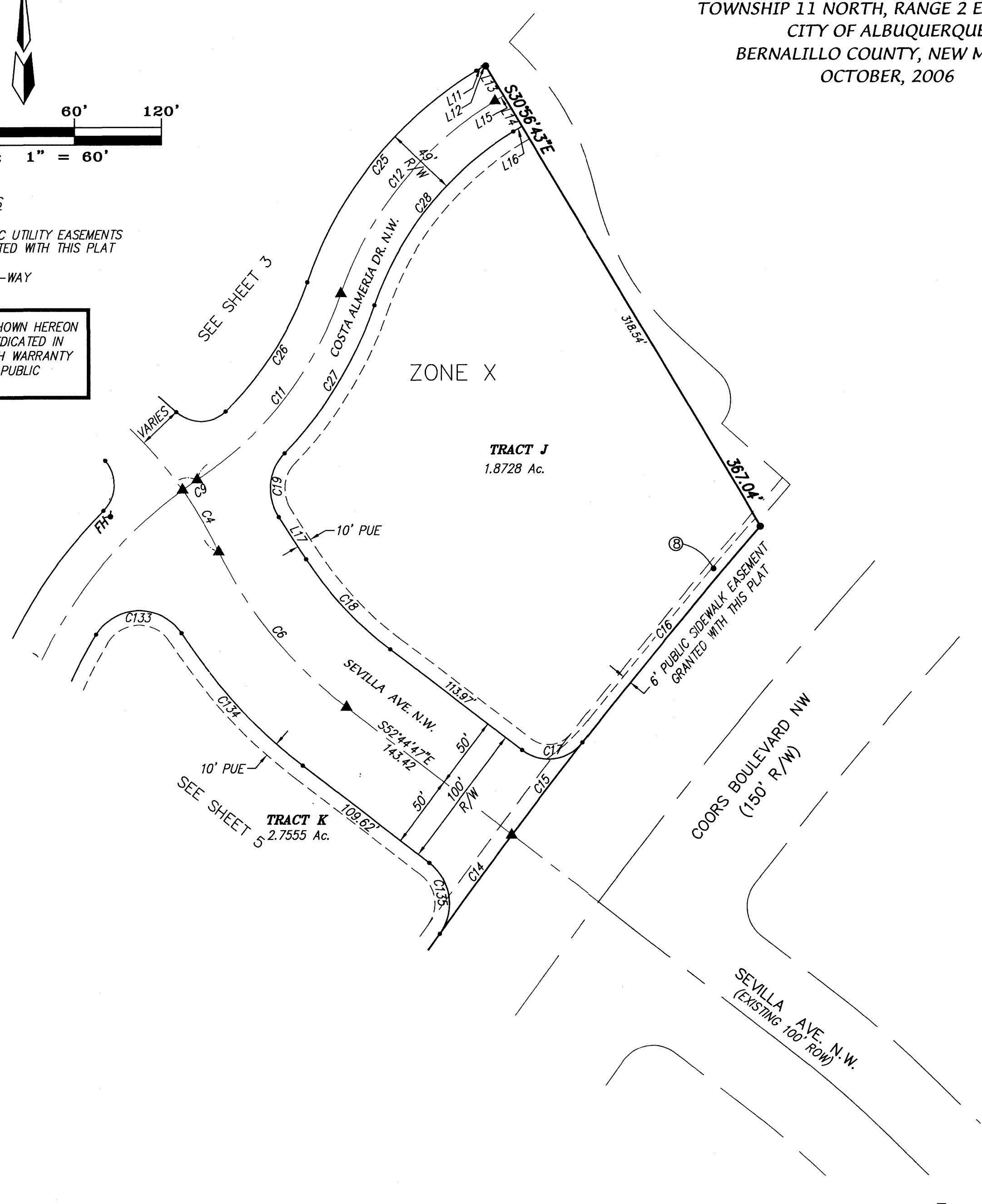


ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT

 R/W = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON
 ARE HEREBY DEDICATED IN
 FEE SIMPLE WITH WARRANTY
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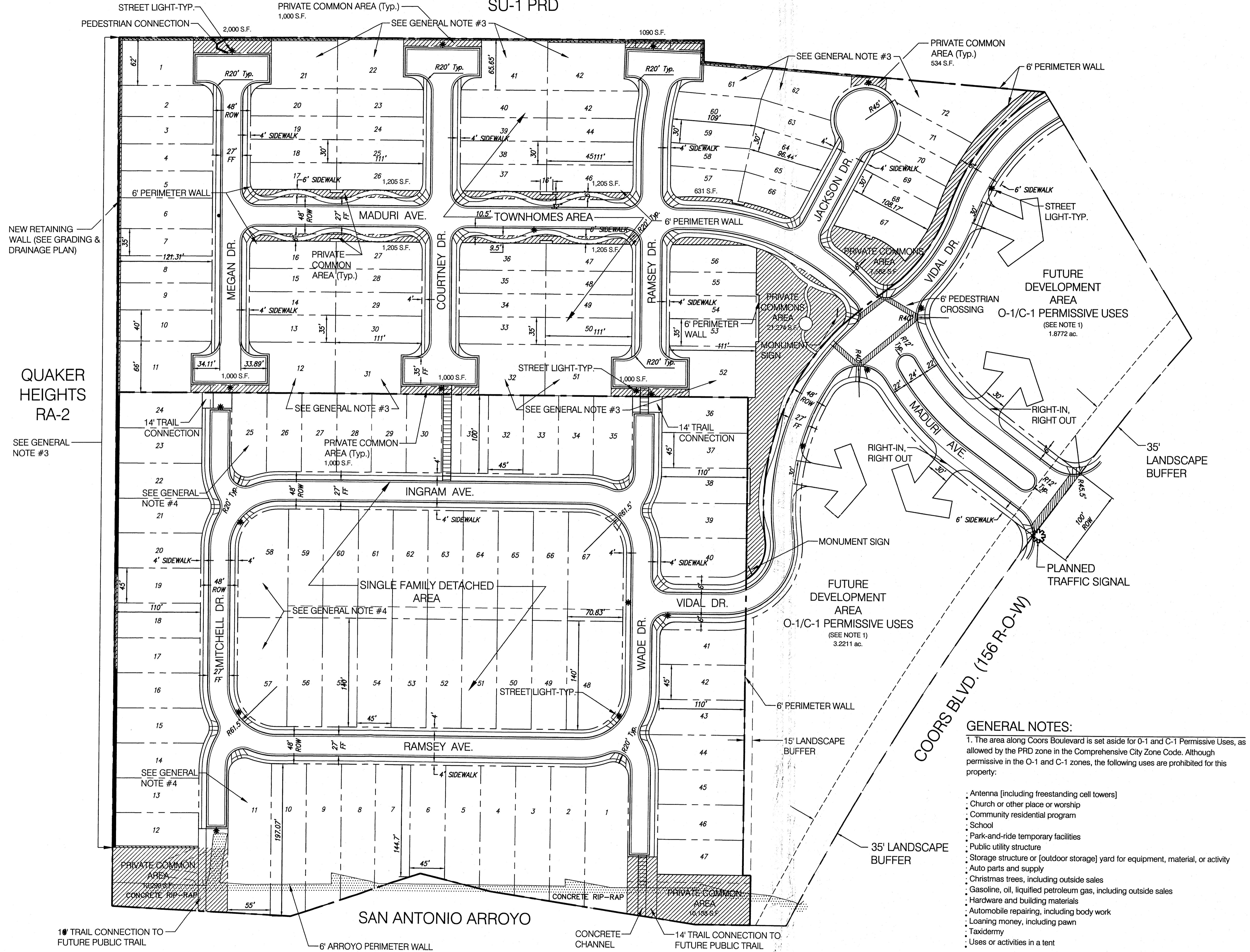
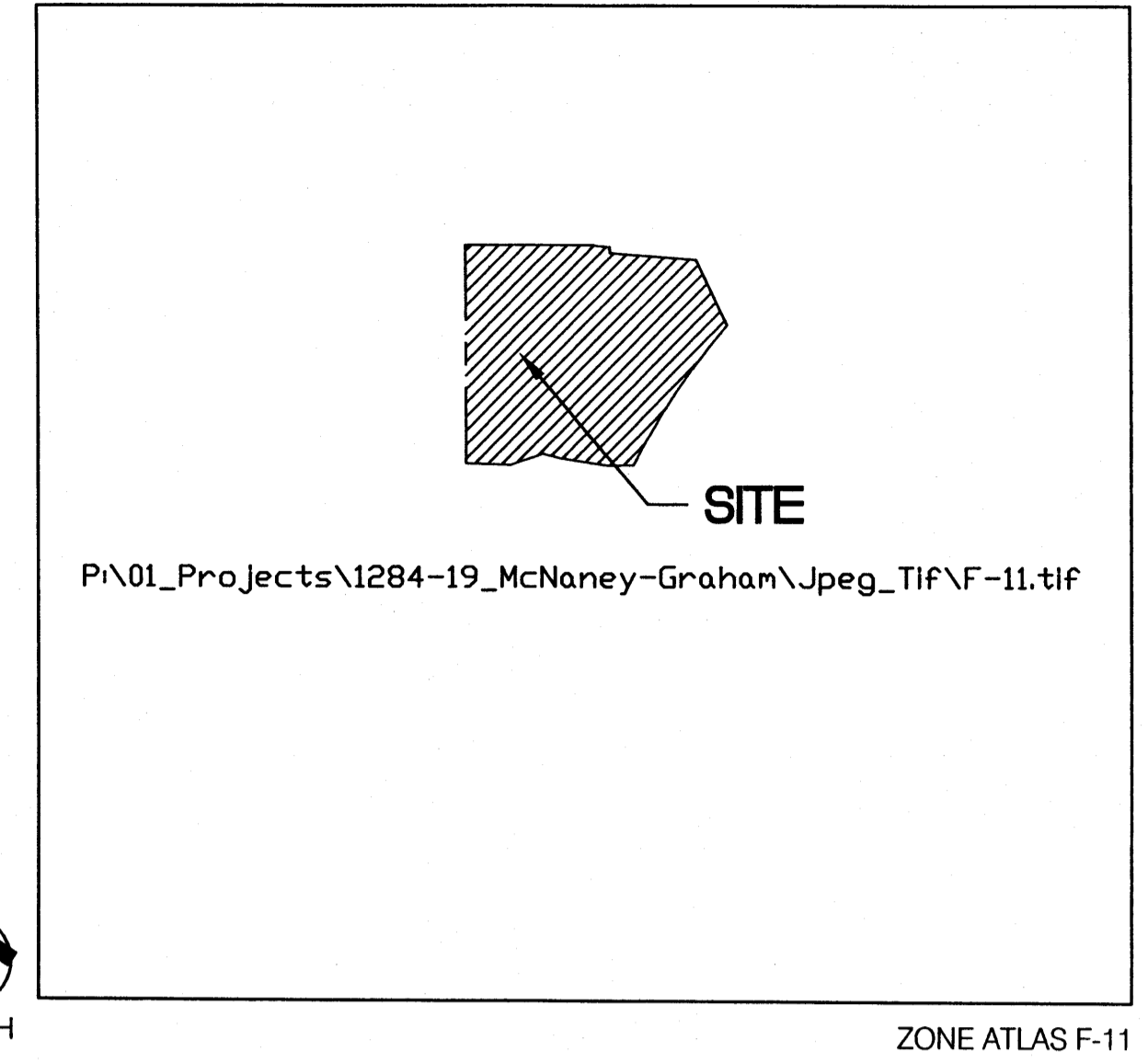
P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

SEE SHEETS 3-6 FOR LINE & CURVE DATA

Dwg: A5080-FP-SHT 3-5.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 6 of 6
Scale: 1"=60'	Date: 10/16/06	Job: A05080	

LA LUZ DEL SOL
SU-1 PRD

SITE VICINITY



SITE DATA:

SITE ACREAGE: 29.32 acres
 Zoning: SU-1 for PRD (10 du/ac)
 Land Use: 67 Single Family Residential Dwelling Units, 72 Townhomes, 5.1 acres O-1/C-1 Permissive (with exceptions), and 1.55 acres Private Commons Area.
 Gross Residential Density: 6.07 du/ac
 F.A.R. (O-1/C-1): .25 Max.
 Maximum Building Height: For Non-Residential - As allowed in the O-1 Zone per the City Comprehensive Zoning Code. See General Note #3 and #4.
 Setbacks: See Design Standards, Sheet 5.
 Landscape: See Landscape Plan, Sheets 2 and 3.

PROJECT NUMBER: 1004675
 Application Number: 06EPC-1004675
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

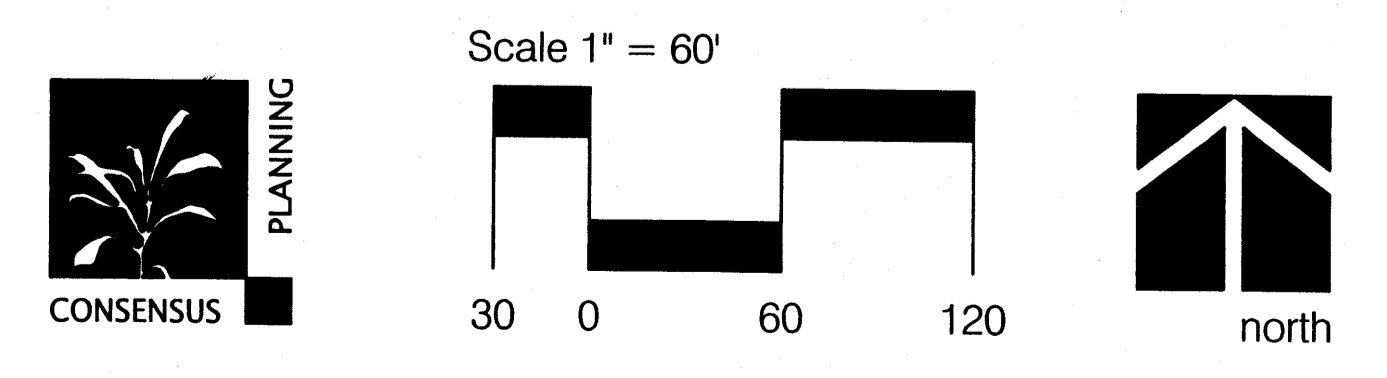
GENERAL NOTES:

- The area along Coors Boulevard is set aside for O-1 and C-1 Permissive Uses, as allowed by the PRD zone in the Comprehensive City Zone Code. Although permissive in the O-1 and C-1 zones, the following uses are prohibited for this property:
 - Antenna [including freestanding cell towers]
 - Church or other place of worship
 - Community residential program
 - School
 - Park-and-ride temporary facilities
 - Public utility structure
 - Storage structure or [outdoor storage] yard for equipment, material, or activity
 - Auto parts and supply
 - Christmas trees, including outside sales
 - Gasoline, oil, liquefied petroleum gas, including outside sales
 - Hardware and building materials
 - Automobile repairing, including body work
 - Loaning money, including pawn
 - Taxidermy
 - Uses or activities in a tent
- The O-1/C-1 area will require separate Site Plan Approval by the Environmental Planning Commission when a specific development is proposed.
- All of the lots along the west boundary of the entire site shall be 1-story, flat-roofed, and not to exceed 15 feet in height. In addition, Lots 12, 21, 22, 31, 32, 41, 42, 51, 52, 61, 62, and 72 shall be 1-story, flat-roofed, and not to exceed 15 feet in height.
- Lots 11, 25, 57, and 58 of the single family detached area (south) shall have a finished pad elevation 22 feet below the top of the western-most perimeter wall.

SKETCH PLAT
VISTAS de LA LUZ
SUBDIVISION

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