

DATA

LAND AREA: 1.8728 ACRES  
 ZONING: SU-1 FRD, O-1, C-1 ALLOWED  
 MAX. BUILDING HEIGHT: 26'  
 FLOOR/AREA RATIO: 0.12  
 BUILDING AREA:  
 CARWASH 5,548 SF  
 RETAIL PAD 4,235 SF

GENERAL NOTES

A. ALL WHEELCHAIR RAMPS IN THE CITY RIGHT OF WAY SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND MUST HAVE A DETECTABLE WARNING SURFACE CONSISTING OF RAISED, TRUNCATED DOMES.

LEGAL DESCRIPTION:

TRACT LETTERED "J", PLAT OF VISTA DE LA LUZ, WITHIN SECTION 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 30, 2006, IN PLAT BOOK 2006C, FOLIO 331, AS DOCUMENT No. 2006165286

\* REQUIRED PARKING:

CARWASH + RETAIL PAD =  $9,783/200 = 48.9$  (49)  
 TOTAL: 49 SPACES REQUIRED AND 60 PROVIDED  
 2 MC SPACES REQUIRED AND PROVIDED  
 3 HC SPACES REQUIRED AND PROVIDED  
 3 BICYCLE SPACES REQUIRED AND PROVIDED

\* INCLUDES MC & HC SPACES

PROJECT NUMBER: 1004875  
 APPLICATION NUMBER: 16 ORR-70239

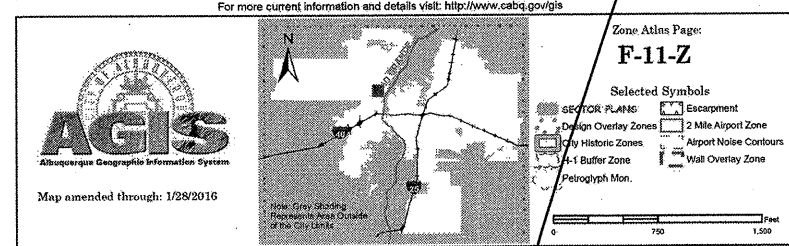
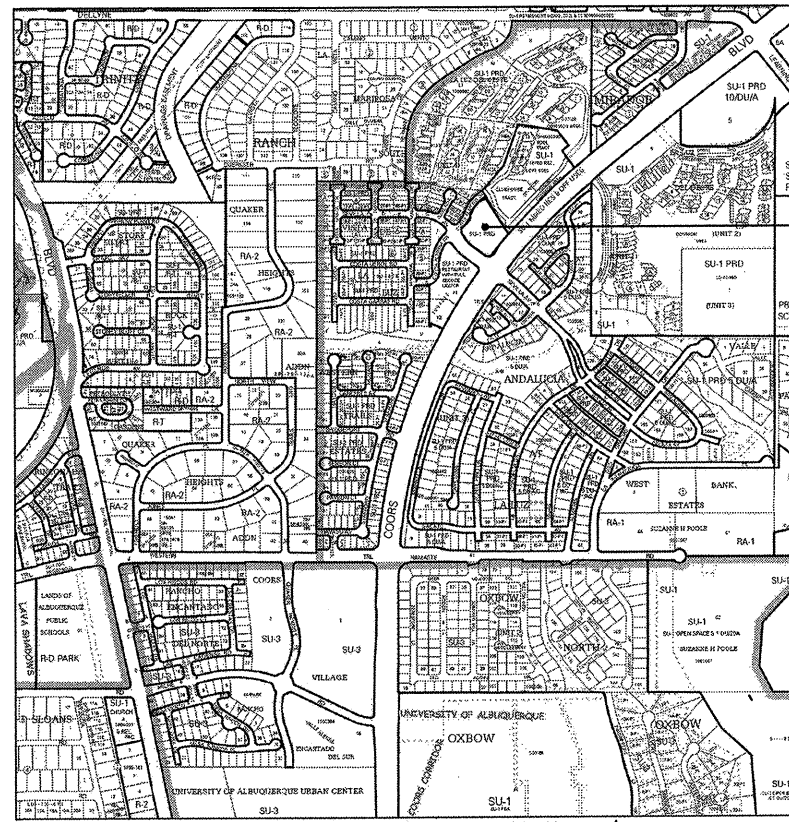
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO if yes, then a set of approved ORC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

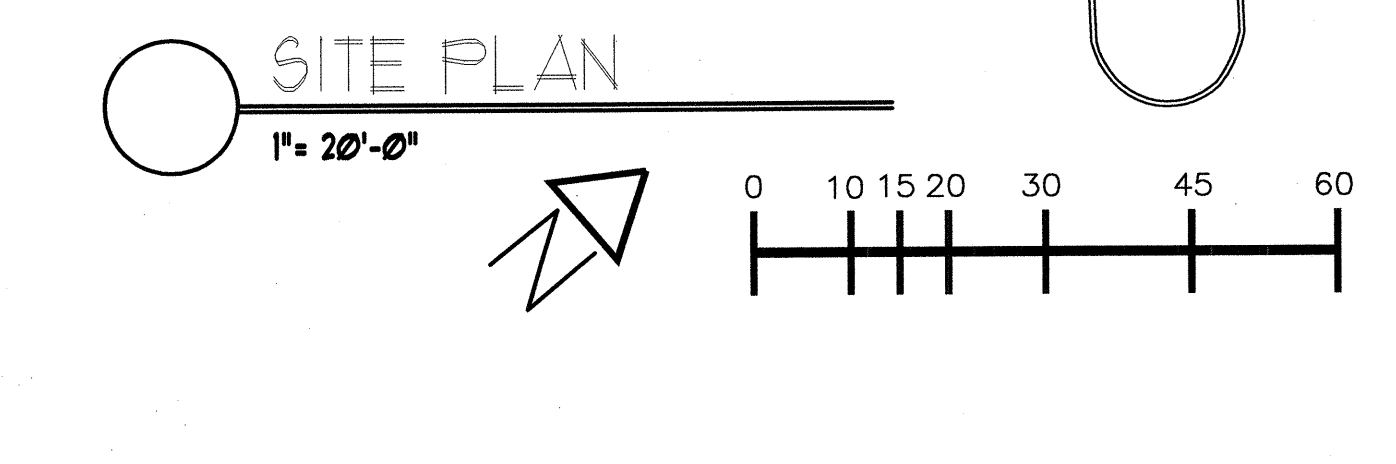


ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER

ALL SCREENING AND VEGETATION AROUND GROUND-MOUNTED TRANSFORMERS SHALL PROVIDE 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5 FEET OF CLEARANCE ON THE REMAINING 3 SIDES

THE SITE IS SERVED BY AN EXISTING PUBLIC TRANSIT ROUTE

SEE LANDSCAPE PLAN FOR LANDSCAPE WALLS



KEYNOTES

- ① EXISTING CONC. SIDEWALK
- ② NEW CONC. SIDEWALK
- ③ HC ACCESSIBLE RAMP
- ④ MONUMENT SIGN PENDING GOVERNMENTAL APPROVALS
- ⑤ HC ACCESS AISLES, PARKING SPACES, SIGNAGE
- ⑥ MOTORCYCLE SPACES
- ⑦ LANDSCAPED AREA
- ⑧ TREE WELL
- ⑨ STRIPING
- ⑩ FUTURE RETAIL DUMPSTER ENCLOSURE
- ⑪ TRANSFORMER
- ⑫ ASPHALT PAVING
- ⑬ NEW CURB CUT/ DRIVEPAD
- ⑭ COLORED CONCRETE PATIO
- ⑮ SHADE CANOPY ABOVE, COLOR TO MATCH BLDGS
- ⑯ CARWASH DUMPSTER ENCLOSURE
- ⑰ BIKE RACK 3 LOOPS
- ⑱ 20' HIGH LIGHT POLE
- ⑲ EMPLOYEE PARKING SIGNAGE
- ⑳ DIRECTIONAL SIGNAGE
- ㉑ BENCH
- ㉒ TABLES AND CHAIRS
- ㉓ 3' RETAINING WALL
- ㉔ ABSORPTIVE SOUND ELEMENTS SHALL BE PROVIDED INSIDE THE TUNNEL SPRAY AREA
- ㉕ WHEELSTOP
- ㉖ 6' WIDE ADA ACCESSIBLE PATH
- ㉗ MIN. 6", MAX. 8" HIGH CURB BETWEEN LANDSCAPE AREA AND PARKING/DRIVE AISLES, TYPICAL

\* NOTE: -ADA PARKING SIGNAGE SHALL HAVE LANGUAGE: "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"  
 -ADA ACCESS AISLE SHALL HAVE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH LETTER MIN. 1" HIGH X 2" WIDE

NUMBER	DIRECTION	DISTANCE
LT	S 58°46'11" W	15.93'
(LT)	(S 58°46'43" W)(6.93')	

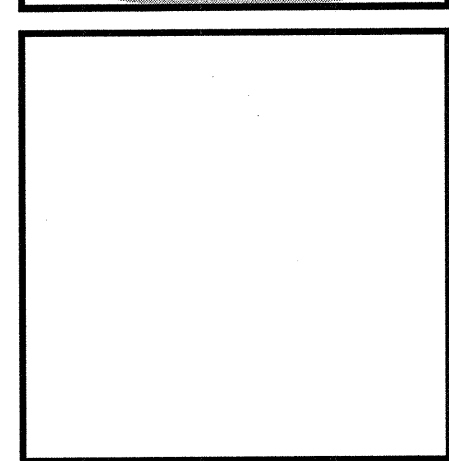
RADIUS INFORMATION:

- ① RADIUS = 2'-0"
- ② RADIUS = 3'-0"
- ③ RADIUS = 5'-0"
- ④ RADIUS = 10'-0"
- ⑤ RADIUS = 15'-0"
- ⑥ RADIUS = 20'-0"
- ⑦ RADIUS = 25'-0"
- ⑧ RADIUS = 30'-0"
- ⑨ RADIUS = 40'-0"
- ⑩ RADIUS = 50'-0"
- ⑪ RADIUS = 60'-0"
- ⑫ RADIUS = 8'-0"

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	02°50'39"	S 39°38'45" W	3894.72	193.33	193.31
(C1)	(02°50'39")	(S 39°39'12" W)	(3894.72)	(193.33)	(193.31)
C2	09°01'20"	N 82°44'01" E	30.00	46.61	42.06
(C2)	(09°01'20")	(N 82°44'33" E)	(30.00)	(46.61)	(42.06)
C3	19°33'29"	S 42°58'34" E	250.00	85.34	84.92
(C3)	(19°33'29")	(S 42°58'03" E)	(250.00)	(85.34)	(84.92)
C4	77°21'34"	S 05°28'58" W	35.00	47.26	43.75
(C4)	(77°21'34")	(S 05°29'29" W)	(35.00)	(47.26)	(43.75)
C5	25°02'32"	N 31°38'29" E	274.50	119.98	119.02
(C5)	(25°02'32")	(N 31°39'00" E)	(274.50)	(119.98)	(119.02)
C6	39°38'58"	S 38°56'42" W	225.50	156.05	152.95
(C6)	(39°38'58")	(S 38°57'14" W)	(225.50)	(156.05)	(152.95)

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE <b>5401 SEVILLA AVE. NW</b>	DRAWN BY J.S.
COORS & SEVILLA ALBUQUERQUE, NY	JOB NO.
PROJECT MANAGER JONATHAN STERN	SHEET TITLE ARCHITECTURAL SITE PLAN

DATE 6/15/16	SCALE AS NOTED
-----------------	-------------------