

EASEMENT NOTE:

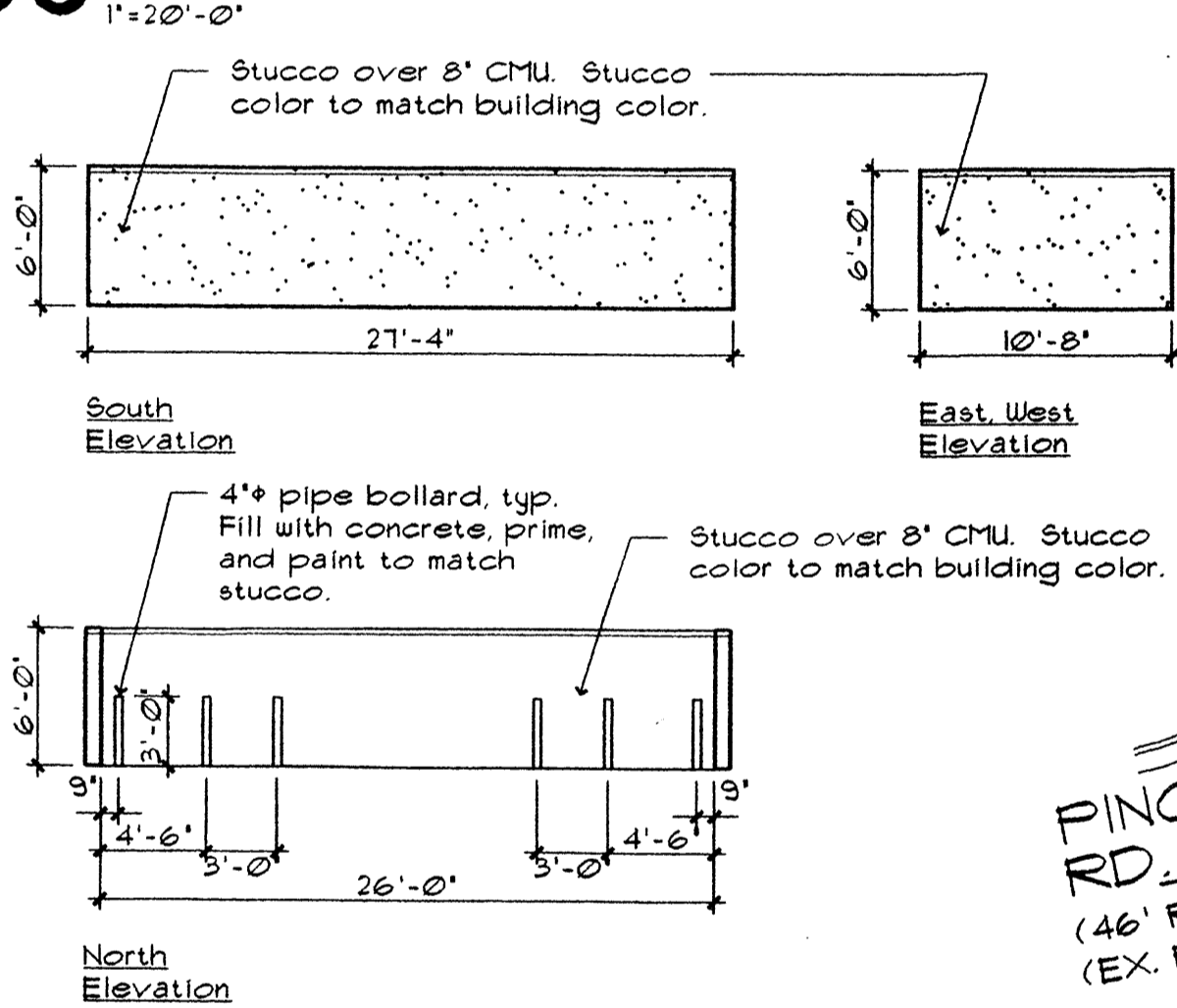
There is a Blanket Drainage Easement and a Temporary Drainage Pond Easement on Tracts A-2-A and Tract E. These Easements are described in the Drainage Easement and Agreement Document filed in the Office of the County Clerk of Bernalillo County on April 21, 2004, in Book A16, Page 2524.

01 Vicinity Map

No Scale

- The location of the lighting fixture together with its cut-off angle shall be such that it does not directly shine on any public right-of-way or any other residential premises.
- Area lighting shall not have an off-site luminance greater than 1000 footcandle; it shall not have an off-site luminance greater than 200 footcandle measured from any private property in a residential zone.
- All lighting shall comply with the Night Sky Protection Act.
- Wall mounted light fixtures at backs of buildings to be shielded and dark sky compliant. Re: Elevations.
- Undercanopy pendant fixtures at building front canopies, typ.
- Site light fixture schedule:
 - A 16' light pole, metal halide lamp in dark sky compliant fixture.
 - B 20' light pole, metal halide lamp in dark sky compliant fixture.
 - C Architectural lowered light fixture mounted on concrete bollard.

06 General Site Lighting Notes



10 Dumpster Enclosure Elevations

- Bicycle rack: 5 bicycle capacity. "The Original Ribbon Rack" or eq. Galv. stl., paint to match standing seam metal roof. Inground anchor mount.
- Bench: Gardenside, Ltd. #210 "Avalon" bench. 5' wide, teak. Mount to sidewalk with (4) brass anchors, #5030.

15 Keyed Notes

PARKING CALCULATIONS

Total SF leasable = 27,892 SF
 Parking Spaces Required (1 space/200 SF leasable) = 140
 Parking Spaces Provided = 140

Small Car Spaces Allowed (25% total) = 35
 Small Car Spaces Provided = 23
 Small Car Spaces will have painted, COMPACT ONLY, on surface.
 Total H.C. Parking Spaces Required = 8
 H.C. Parking Spaces Provided = 8
 H.C. Van Parking Spaces Required = 1
 H.C. Van Parking Spaces Provided = 2

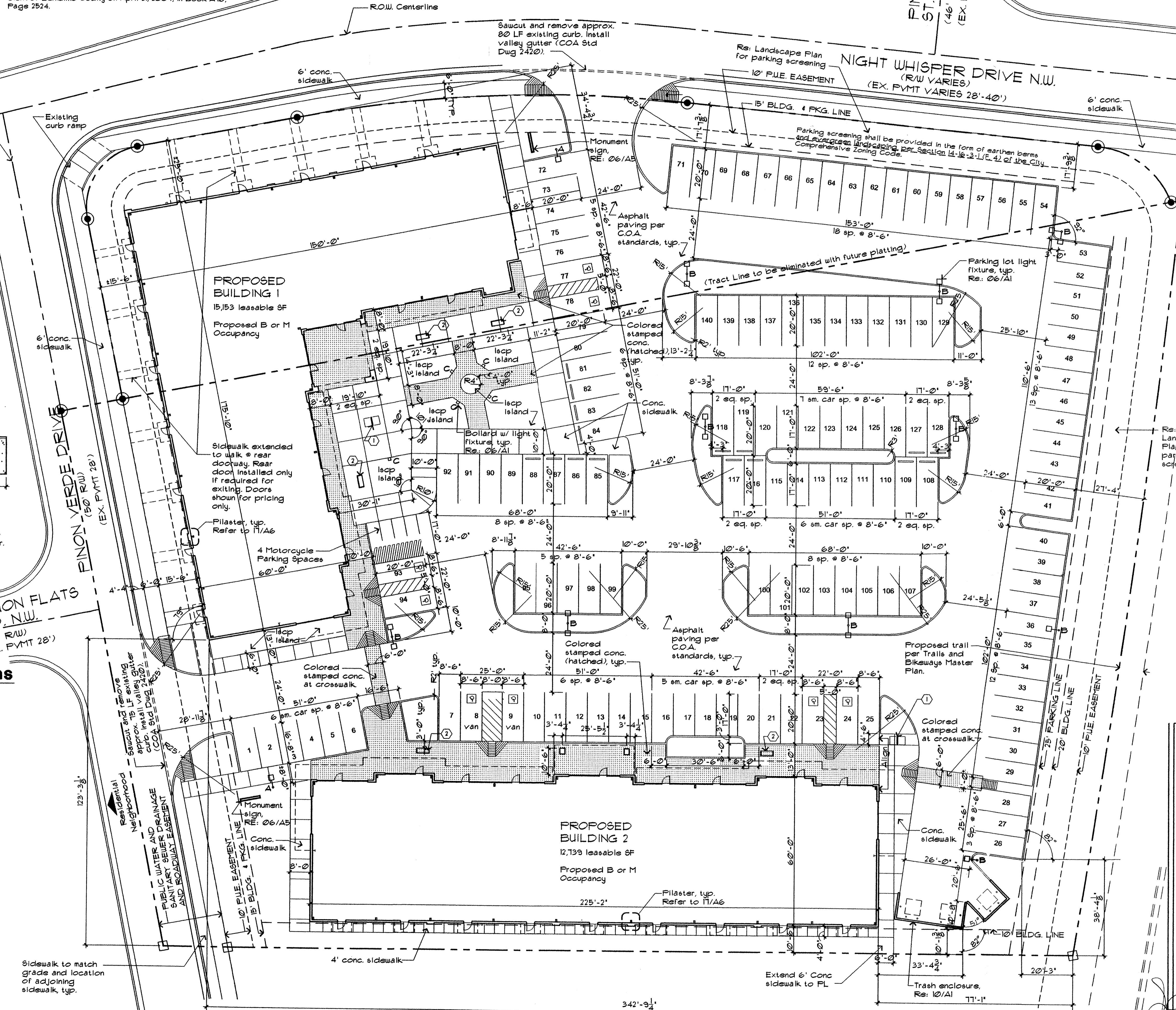
Bicycle Parking Required (1 rack space/20 parking spaces) = 8
 Bicycle Rack Spaces Provided = 10

Motorcycle Parking Spaces Provided = 4

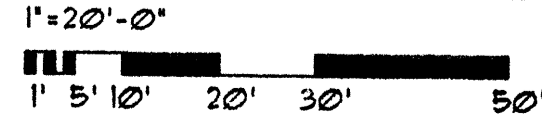
LEGEND

- colored (brown)
- stamped concrete
- property line
- easement or setback line

16 General Notes



17 Site Development Plan for Building Permit



Village Center
 Unser Blvd. and Night Whisper Dr.
 Albuquerque, New Mexico
 PROJECT # 1004676

FEHR GROSSMAN COX
 Architects, Inc.
 7400 Fennell, Suite 950 Houston, Texas 77054
 (713)797-0404 Fax (713)797-6740

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BUILDING CRITERIA

Project: Village Center North at Unser Blvd and Night Whisper Dr.
 Legal Description: Tract A-2-A, Ridgeview Village, Unit 1 and Tract E of Zolnik/Kunath Tres Esquinas, LLC, and Curb, Inc., City of Albuquerque
 Zoning: Tract A-2-A: SU-1 for C-1
 Tract E: SU-1 for Mixed use (C-1 uses)
 Zoning Atlas Map: A-11-Z
 Occupancy Group: B or M
 Construction Type: IIB
 Gross SF: Building 1 = 15,153 GSF
 Building 2 = 13,033 GSF
 Total Gross SF = 28,553 GSF
 Net Leasable SF: Building 1 = 15,151 SF
 Building 2 = 12,739 SF
 Total Leasable SF = 27,892 SF
 Required Parking: 1 space/200 SF Leasable = 140 spaces, 8 accessible
 1 bicycle space/20 car
 Provided Parking: 140 spaces, 8 accessible
 8 bicycle spaces
 Required Landscaping: 11,821 SF (15%)
 Excluded Landscaping: 29,550 SF (25%)
 Total Area Tabulation of Exterior Canopies: 3,804 SF

Project Number: EPC# 1004676
 Case Number: EPC# 06-20142/04 DRB# 00747
 Application Number: 06DRB-00745_00746

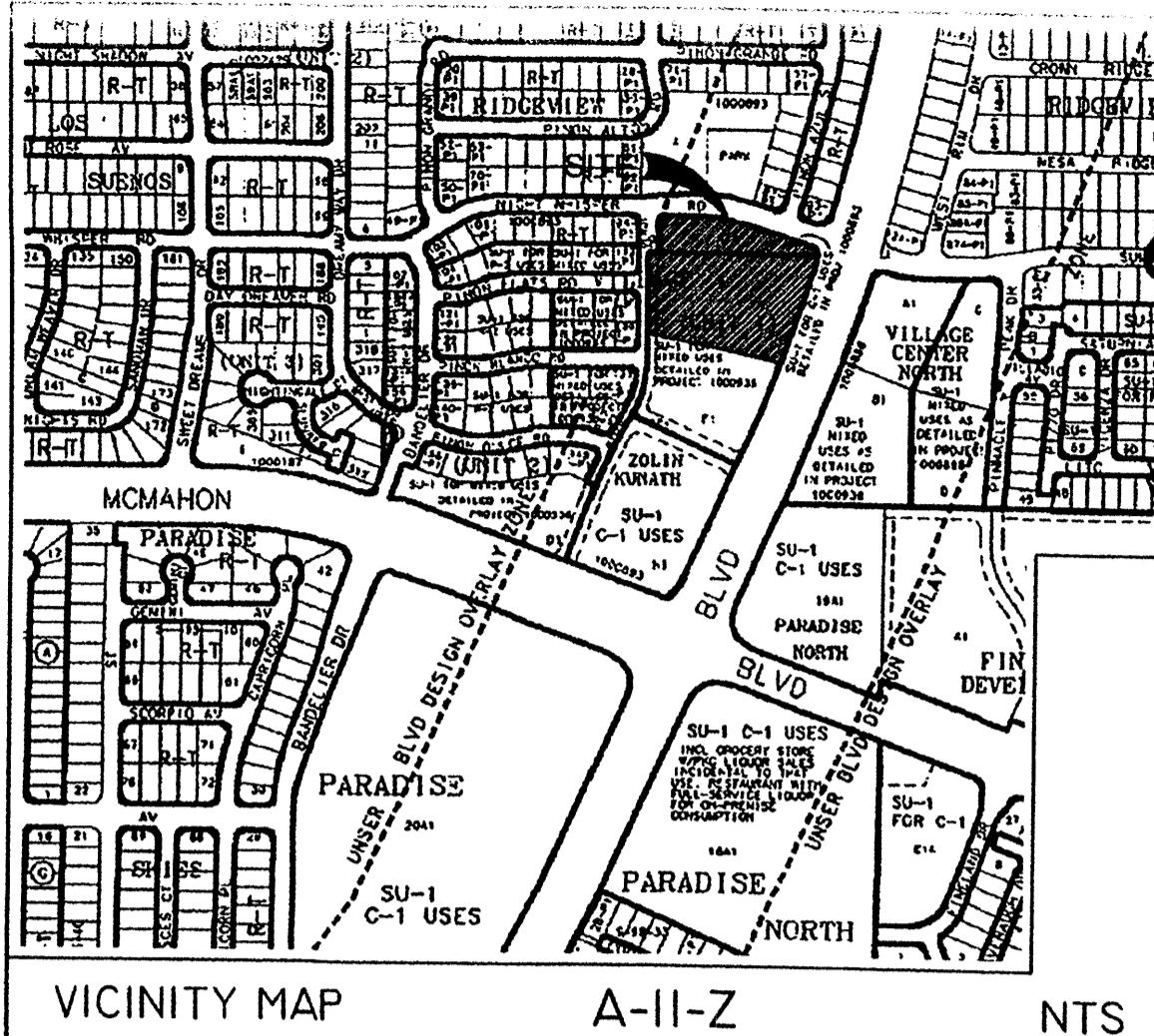
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 4/21/06 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure list required?
 (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any work within public right-of-way or for construction of public improvements.

DRB Site Development Plan approval:

<i>[Signature]</i>	6-21-06	Date
Christine Sandford		6/21/06
Parks & Recreation Department		Date
<i>[Signature]</i>	6-21-06	Date
Roy A. Kuen		6-21-06
Utilities Department		Date
<i>[Signature]</i>	9-13-06	Date
City Engineer, Engineering Division/AMARCA		Date
<i>[Signature]</i>	6/21/06	Date
Michael Holton		6/21/06
Solid Waste Management		Date
<i>[Signature]</i>	9/1/06	Date
DRB Chairperson, Planning Department		Date

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



PROPERTY DESCRIPTION
 2806692669
 6489232
 Page: 1 of 1
 06/23/2006 09:35R
 BK-2806C Pg-198

TRACT "E", LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, LLC AND CURB INC. LANDS AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 19, 2001 IN MAP BOOK 2001C, FOLIO 261.
 TOGETHER WITH
 TRACT "A-2-A" OF THE PLAT OF RIDGEVIEW VILLAGE UNIT 1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2002 IN MAP BOOK 2002C, FOLIO 180.

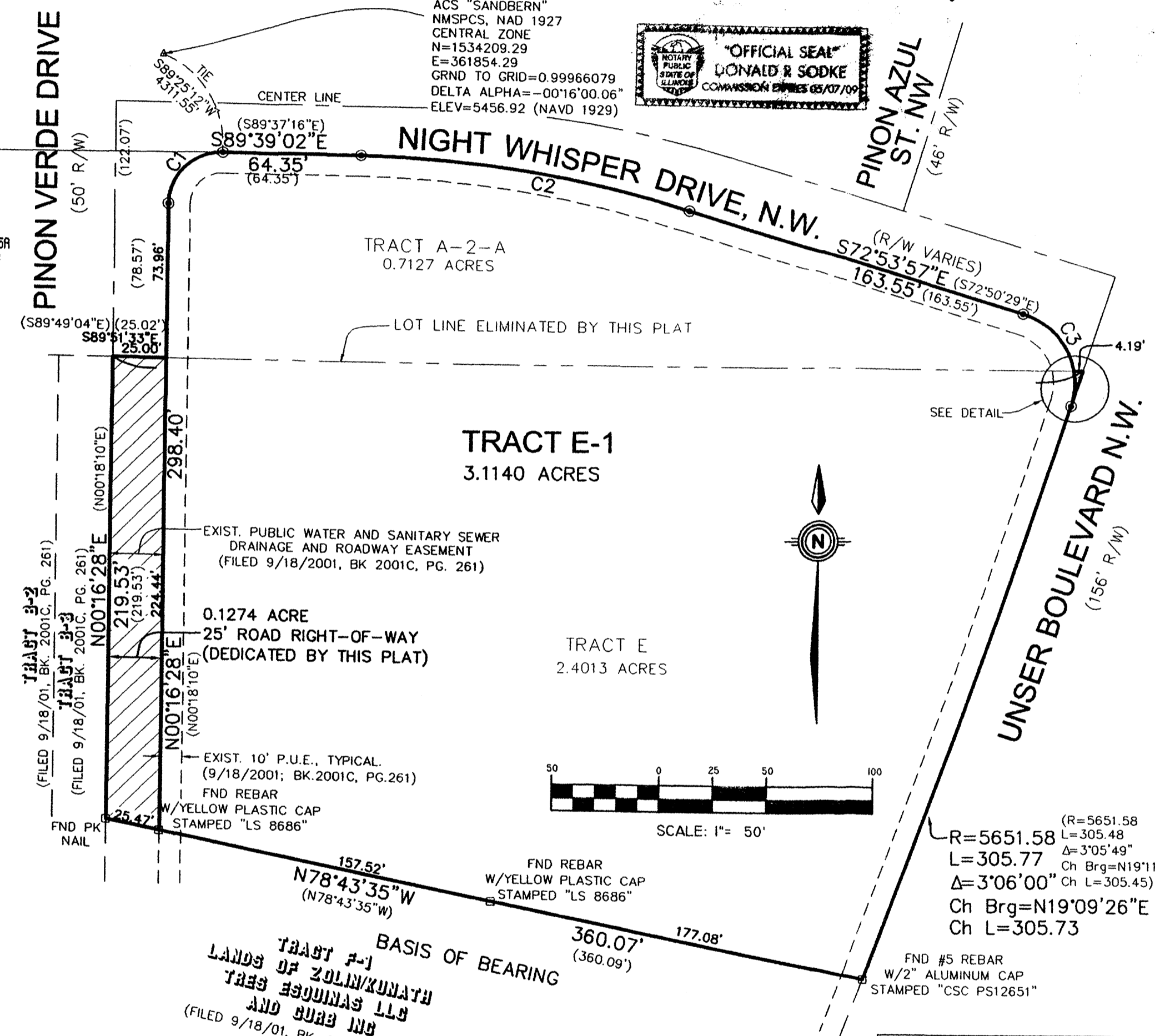
PURPOSE
 THE PURPOSE OF THIS PLAT IS TO CREATE ONE NEW TRACT FROM TWO EXISTING TRACTS AND TO DEDICATE NEW RIGHT-OF-WAY.

- NOTES
1. BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF TRACT E WHICH BEARS N78°43'35"W, AS SUCH LINE IS SHOWN AND DESIGNATED ON THE PLAT OF LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC. AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 18, 2001, BOOK 2001C, PAGE 261. BEARINGS SHOWN HEREON ARE NEW MEXICO STATE PLANE BEARINGS NAD 1927; DISTANCES ARE GROUND DISTANCES.
 2. BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () ARE PER THE PLAT OF RIDGEVIEW VILLAGE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2002 IN MAP BOOK 2002C, FOLIO 180, AND LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC. FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 18, 2001, BOOK 2001C, PAGE 261.
 3. DOCUMENTS USED
 - A) THE PLAT OF RIDGEVIEW VILLAGE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2002 IN MAP BOOK 2002C, FOLIO 180.
 - B) THE PLAT OF LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC. FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 18, 2001, BOOK 2001C, PAGE 261.
 - C) TITLE BINDER PROVED BY LANDAMERICA ALBUQUERQUE TITLE EFFECTIVE DATE SEPTEMBER 14, 2005, COMMITMENT NO.: 6220000196.
 4. THERE IS A BLANKET DRAINAGE EASEMENT AND A TEMPORARY DRAINAGE POND EASEMENT ON TRACTS A-2-A AND TRACT E. THESE EASEMENTS ARE DESCRIBED IN THE DRAINAGE EASEMENT AND AGREEMENT DOCUMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON APRIL 21, 2004, IN BOOK A76, PAGE 2524.

SURVEYORS CERTIFICATION
 I, THOMAS W. PATRICK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND MEETS THE "MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO" AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 THOMAS W. PATRICK
 NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651
 DATE 4-19-06

FREE CONSENT AND DEDICATION
 THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY DEDICATE PUBLIC RIGHT-OF-WAY AS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS OF THEIR FREE ACT AND DEED AND WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.
 John Hamilton Date 2/21/06
 for: Night Whisper, LP (Contract Purchaser)
 Robert Kunath, Manager Date 2-13-06
 Alexander Samuels Realty Group (Owner)
 ACKNOWLEDGEMENT
 STATE OF Texas
 COUNTY OF Harris
 The foregoing instrument was acknowledged before me this 21 day, of February, 2006, by John Hamilton for Night Whisper, LP
 Notary Public George J. Rudoff
 My Commission Expires: 7/17/06
 ACKNOWLEDGEMENT
 STATE OF Texas
 COUNTY OF Harris
 The foregoing instrument was acknowledged before me this 13 day, of February, 2006, by John Hamilton for Night Whisper, LP
 Notary Public Donald N. Sobbe
 My Commission Expires: 05/07/09

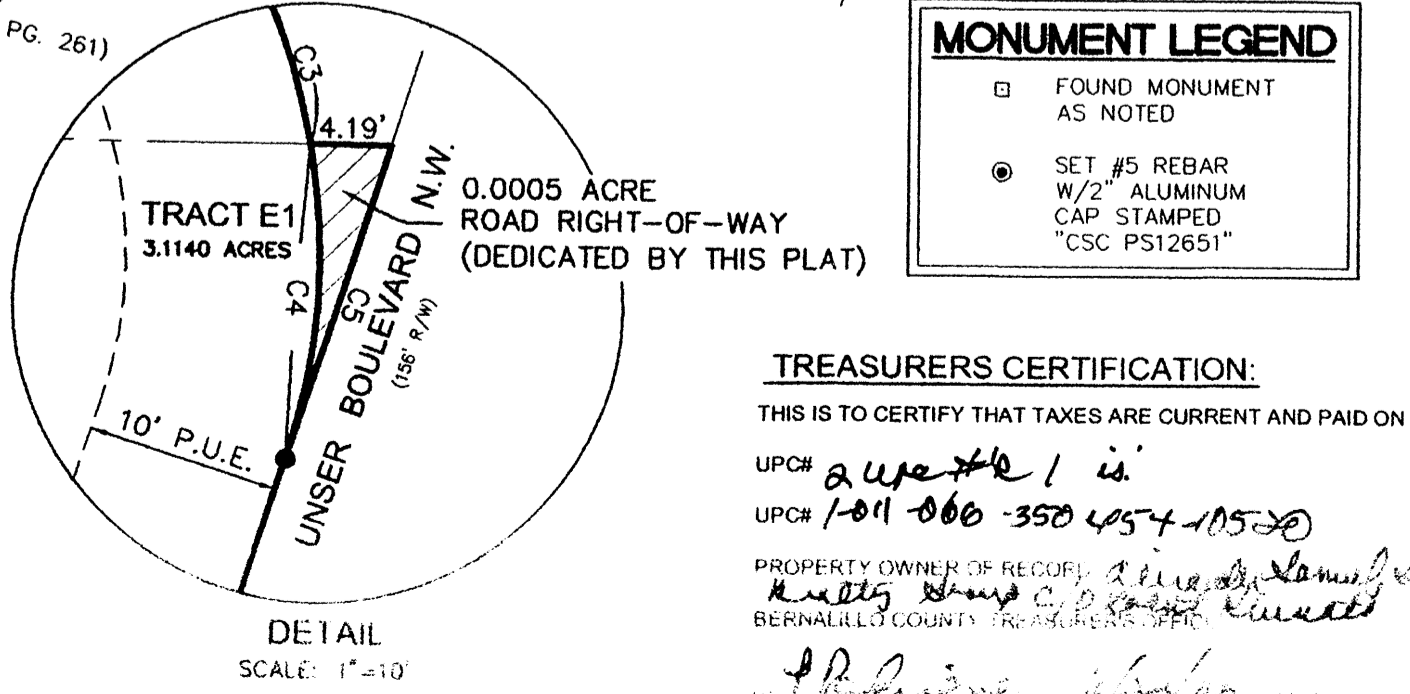
PLAT OF
 TRACT E-1, LANDS OF ZOLIN/KUNATH,
 TRES ESQUINAS AND CURB INC.
 BEING A REPLAT OF
 TRACT A-2-A, RIDGEVIEW VILLAGE, UNIT 1
 AND TRACT E, LANDS OF ZOLIN/KUNATH,
 TRES ESQUINAS, LLC AND CURB, INC.
 SITUATE WITHIN PROJECTED SECTION 2,
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 TOWN OF ALAMEDA GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 3.1140 ACRES
 JANUARY, 2006



SITE DATA

CASE NUMBERS	35001C0104E
FEMA MAP NO.	SU-1 FOR C-1
ZONING	A-11-Z
ZONE ATLAS INDEX	0 MILES
MILES OF FULL WIDTH STREETS CREATED	2
NO. OF EXISTING TRACTS	1
NO. OF TRACTS CREATED	0
NO. OF PARCELS CREATED	0
TOTAL AREA	3.1140 ACRES +/-
ACREAGE OF DEDICATED RIGHT-OF-WAY	0.1279 ACRES +/-
S.P. TALOS LOG	2005531021

- PLAT APPROVAL: Project # 1004676
 App # 06 DRB-00745
- Utility Approvals:
- | | |
|--------------------------------------|---------|
| PNM GAS AND ELECTRIC SERVICES: | DATE |
| Qui Crabb | 3/3/06 |
| QUEST TELECOMMUNICATIONS: | DATE |
| Yann Barber | 2-27-06 |
| COMCAST: | DATE |
| 3-3-06 | |
| NEW MEXICO UTILITIES | DATE |
| City Approvals: | DATE |
| 4-25-06 | |
| CITY SURVEYOR | DATE |
| 6-21-06 | |
| TRANSPORTATION DIVISION | DATE |
| 6-21-06 | |
| UTILITIES DEVELOPMENT | DATE |
| 6/7/06 | |
| PARKS AND RECREATION DEPARTMENT | DATE |
| 6/21/06 | |
| AMAFCA | DATE |
| 6/21/06 | |
| CITY ENGINEER | DATE |
| 06/23/06 | |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | DATE |

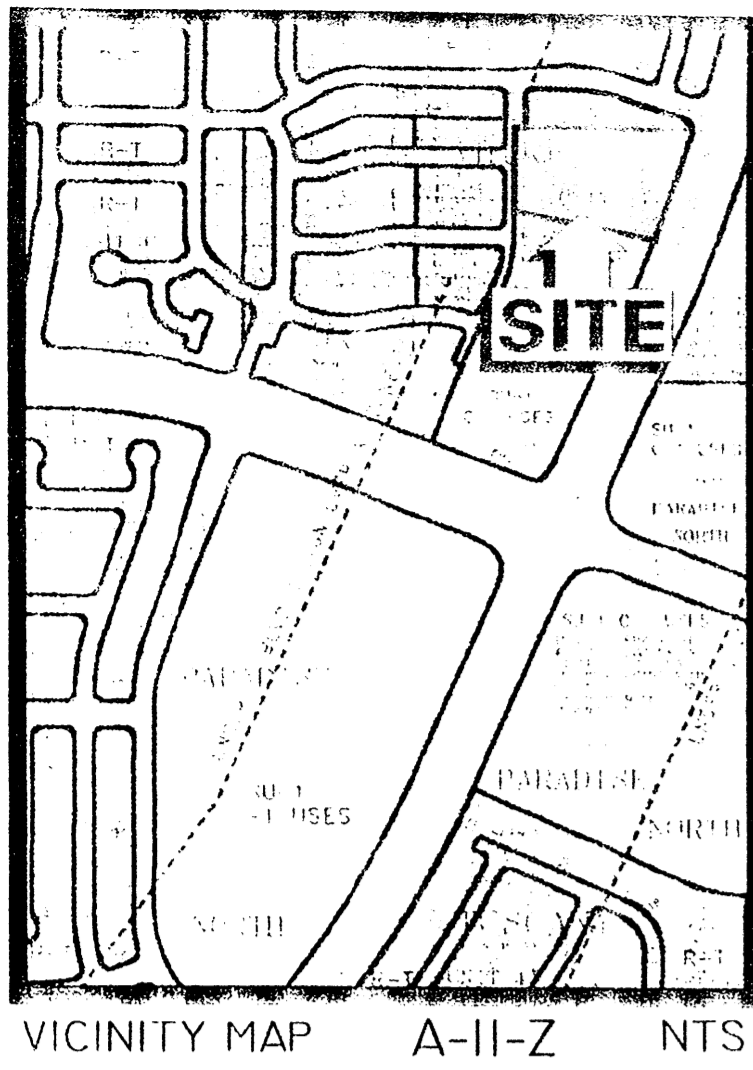


CURVE TABLE

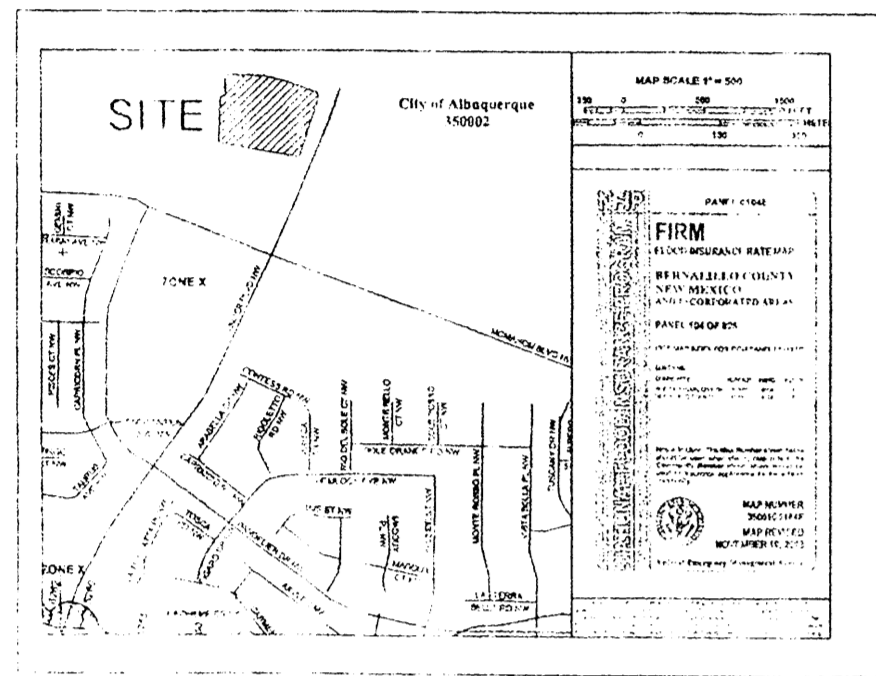
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.30'	90°04'30"	N45°18'43"E	35.38'
	(25.00')	(39.31')	(90°05'19")	(N45°20'04"E)	(35.38')
C2	530.00'	155.38'	16°47'52"	S81°05'00"E	154.83'
	(530.00')	(155.22')	(16°46'47")	(S81°13'53"E)	(154.66')
C3	35.00'	38.36'	62°47'22"	S41°19'41"E	36.47'
	(35.00')	(38.44')	(62°55'19")	(S41°22'50"E)	(36.53')
C4	35.00'	16.93'	27°43'06"	N03°55'34"E	16.77'
C5	4492.28'	17.55'	0°13'26"	N17°42'30"E	17.55'

PLAT
 TRACT E-1, LANDS OF ZOLIN/KUNATH,
 TRES ESQUINAS AND CURB INC.
 DWG PATH: F:\N742-02(FEHR GROSSMAN)\02-001-201\SURVEY\PREL\PLAT.DWG
 ORS:
 DATE: 11/28/05
 SCALE: 1"=50'
 SHEET
 community sciences corporation

TREASURERS CERTIFICATION:
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:
 UPC# 20070111
 UPC# 1-011-000-350-454-1050
 PROPERTY OWNER OF RECORD: Alexander Samuels Realty Group
 BERNALILLO COUNTY, NEW MEXICO



VICINITY MAP A-11-Z NTS



GENERAL NOTES:

A) CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER (AT P97-0000) OF ANY CONFLICTS OF DISCREPANCIES DISCOVERED IN THE FIELD.

B) THE IMPROVEMENTS AS SHOWN ON THESE PLANS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, UPDATE 7.

UTILITY NOTES:

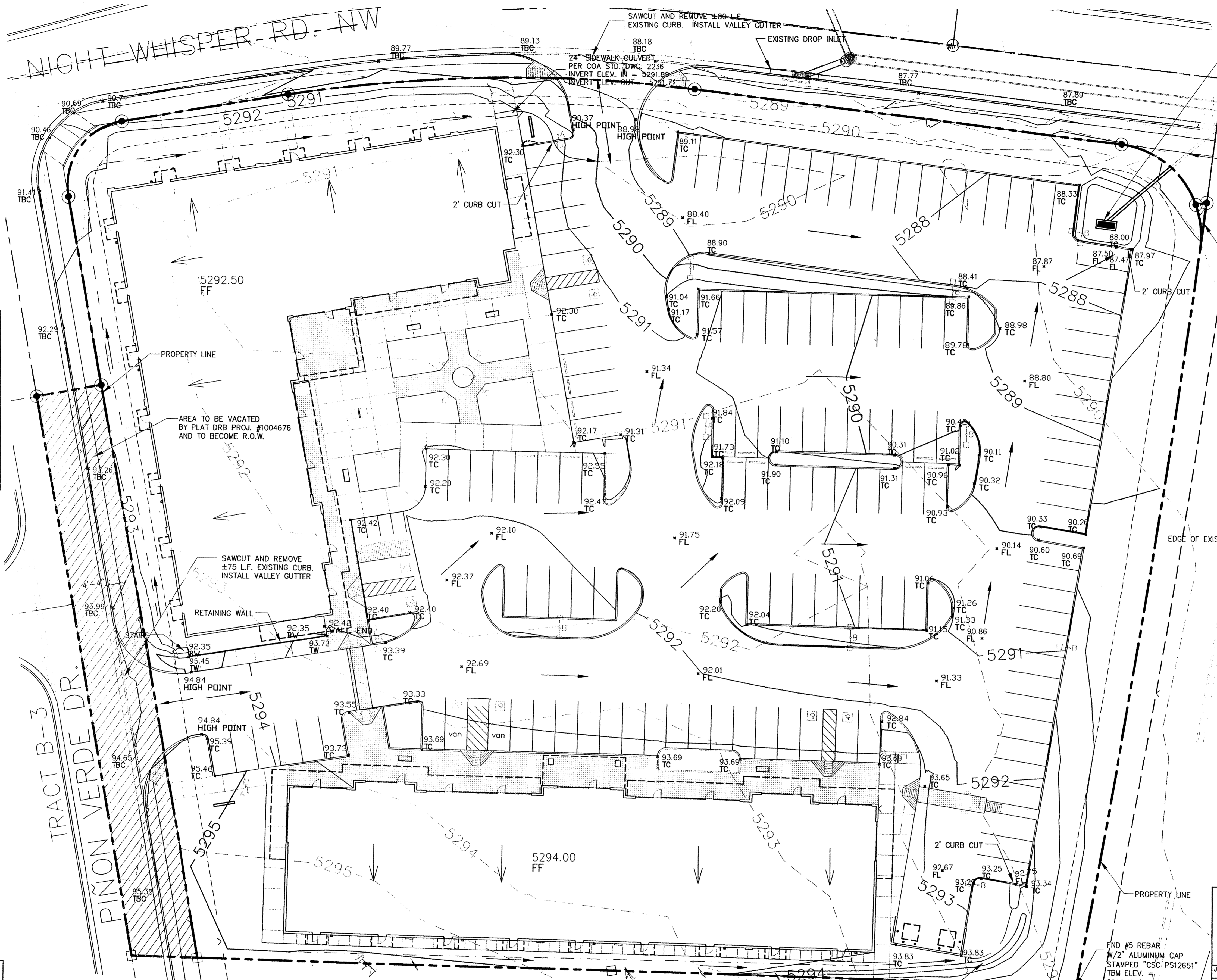
IF ANY UTILITY LINES OR PIPELINES (ABOVE OR BELOW GROUND) ARE DEPICTED HEREON, THEY ARE DEPICTED APPROXIMATELY AND ARE NOT TO BE RELIED UPON FOR EXACT LOCATION. FURTHERMORE, EXISTING LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE DEPICTED HEREON, THEIR LOCATIONS ARE BASED ON INFORMATION PROVIDED BY RESPECTIVE UTILITY AND/OR PIPELINE COMPANIES, THE OWNER, OR OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITIES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE WORK AREA IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS OR HER FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. THE CONTRACTOR IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF SUCH LINES, IN THE PLANNING OF AND CONDUCTING EXCAVATION.

CALL BEFORE YOU DIG!

STATEWIDE
1-800-321-2537

ALBUQUERQUE
260-1990



HYDROLOGY RIDGEVIEW VILLAGE			
100 YEAR-6 HOUR STORM (AHYMO)			
P60=1.87"	P360=2.2"	P1440=2.66"	
DA = 32,429 SF	TC = 12 MINUTES		
LAND TREATMENT TYPES	A	B	C
EXISTING CONDITIONS(SF)	140,601	8,740	0
DEVELOPED CONDITIONS(SF)	0	24,255	125,086
DRAINAGE BASIN (149,341 s.f.)			
EXISTING CONDITIONS	Q=4.59 CFS	V=.129 AC-FT	
DEVELOPED CONDITIONS	Q=13.71 CFS	V=.502 AC-FT	
NOTE: DEVELOPED CONDITIONS ARE BASED UPON FINAL BUILD-OUT			

- LEGEND**
- ← ROOF FLOW ARROWS
 - FLOW ARROWS
 - PROPERTY LINE/ RIGHT-OF-WAY LINE
 - EXISTING COUNTERS
 - PROPOSED COUNTERS
 - CURB & GUTTER
 - SWALE

SITE DESCRIPTION:

THE SITE IS CURRENTLY UNDEVELOPED AND CONSISTS OF SPARSE NATIVE VEGETATION. THE NORTH AND WEST IS BOUNDED BY PAVED STREETS WITH CURB & GUTTER, BUT NO SIDEWALK. UNSER BOULEVARD, TO THE EAST, CURRENTLY HAS NO CURB & GUTTER ADJACENT TO THE SITE. TO THE SOUTH IS ANOTHER UNDEVELOPED TRACT; HOWEVER THERE IS A DEVELOPMENT CURRENTLY PROPOSED FOR THIS TRACT. THE SITE AND SURROUNDING TRACTS SLOPE TO THE EAST WITH MODERATE SLOPES. THE ADJACENT STREETS SLOPE GRADUALLY TO THE NORTH AND EAST. THERE IS NO OFFSITE RUNOFF THAT ENTERS THIS SITE.

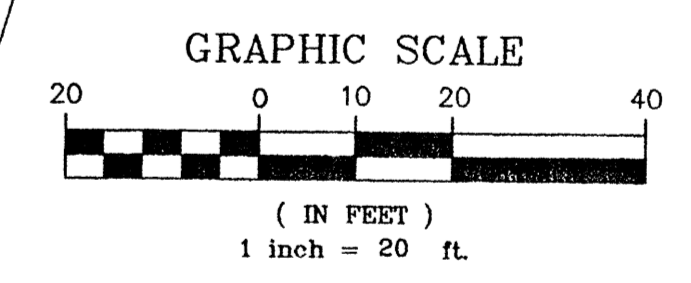
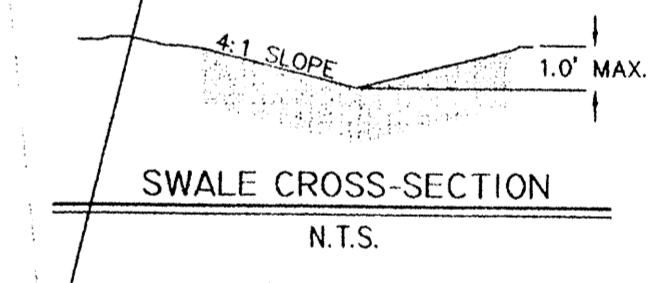
**GRADING PLAN
VILLAGE CENTER
UNSER BLVD. AND
NIGHT WHISPER DR.**

SITUATE WITHIN PROJECTED SECTION 2,
TOWNSHIP 11 NORTH, RANGE 2 EAST
OF THE NEW MEXICO PRINCIPAL MERIDIAN,
BERNALILLO COUNTY, NEW MEXICO

CONSTRUCT NEW TYPE SINGLE D INLET (COA STD. DWG. 2236) ELEVATION AT TOP OF GRATE 5286.50 (INVERT ELEV. = 5285.88) CUT THROUGH CURB TO ALLOW FLOW TO GRATE. CONNECT TO EXISTING 30" STORM DRAIN SOUTH OF NIGHT WHISPER ELEVATION OF STORM DRAIN STUB OUT 5276.56

EXISTING STORM DRAIN STUBOUT CONTRACTOR TO VERIFY LOCATION

AREA TO BE VACATED BY PLAT DRB PROJ. #1004676 AND TO BECOME R.O.W.



Community Sciences Corporation

LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, New Mexico 87048
JOB NO.: N742-02

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: RIDGEVIEW VILLAGE CENTER GRADING PLAN	
Design Review Committee	City Engineer Approval
Mo./Day/Yr	Mo./Day/Yr
City Project No.	Zone Map No.
DRB 1004676	A-11-Z
Sheet	of
3	8

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S NAME	DATE
FIELD CHECKED BY	DATE
FIELD CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL	
DATE	BY
2/9/2006	REH
5/31/2006	BLS

REVISIONS	
NO.	DATE
1	2/9/2006
2	5/31/2006

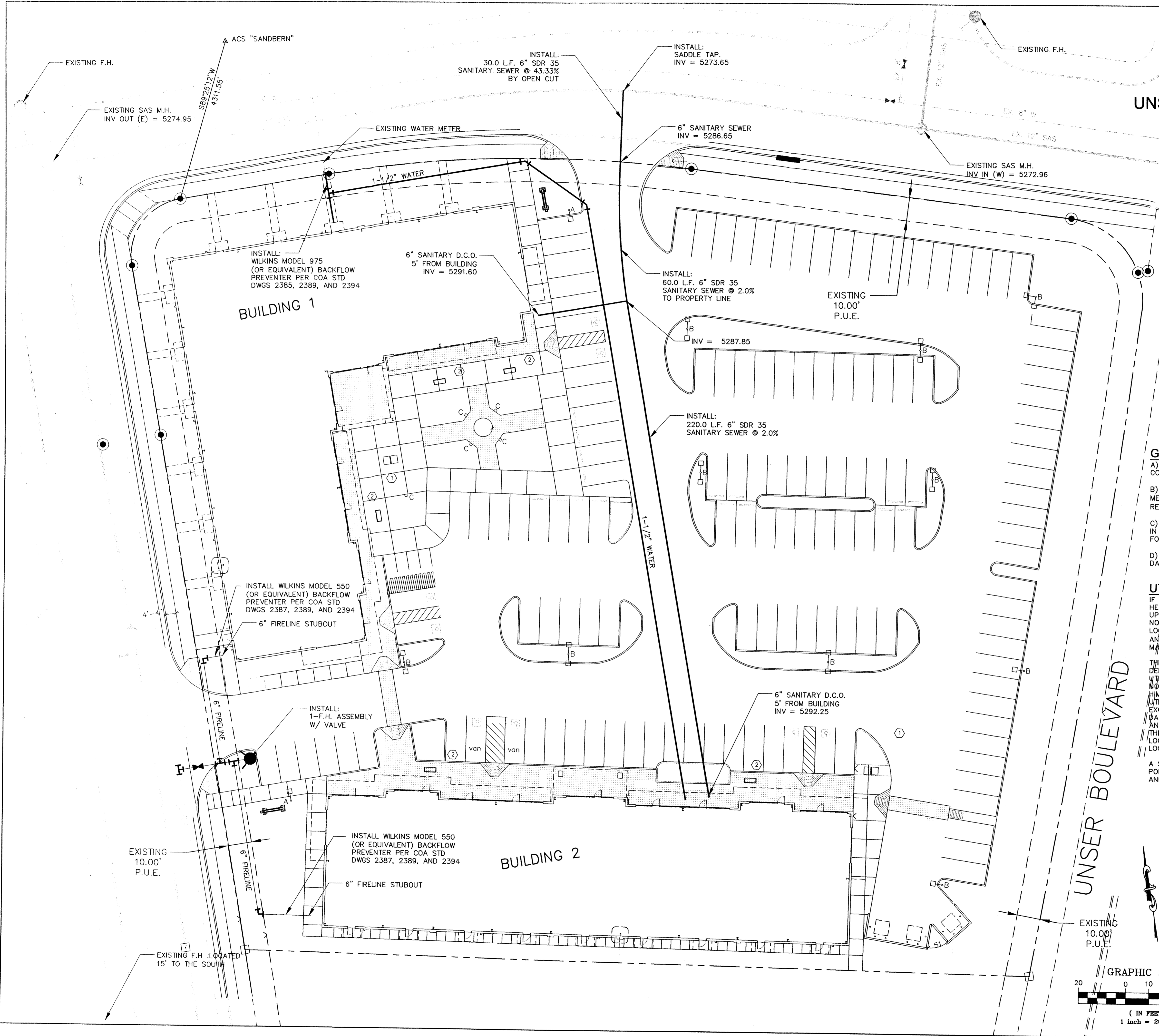
BENCH MARKS	
ACS STATION	DATE
NAD 1927 NMSP C	
X=361854.29 Y=1534209.29	
NAD 1983 NMSP C CORPSCON	
X=1502101.6571 Y=1534274.4482	
CONVERGENCE 16' 01.4" (1983)	
COMB SCALE FACTOR = 0.99966079	
ELEV. (NAVD 1929) 5456.92 (2ND ORD.)	

UTILITY PLAN

VILLAGE CENTER

UNSER BLVD. AND NIGHT WHISPER DR.

SITUATE WITHIN PROJECTED SECTION 2,
TOWNSHIP 11 NORTH, RANGE 2 EAST
OF THE NEW MEXICO PRINCIPAL MERIDIAN,
BERNALILLO COUNTY, NEW MEXICO
MAY 2006



- GENERAL NOTES:**
- CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER (AT 897-0000) OF ANY CONFLICTS OR DISCREPANCIES DISCOVERED IN THE FIELD.
 - ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO UTILITY SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
 - THE IMPROVEMENTS AS SHOWN ON THESE PLANS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, UPDATE 7.
 - CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES (898-2661) 3 WORKING DAYS PRIOR TO BEGINNING THE CONSTRUCTION OF THE UTILITIES.

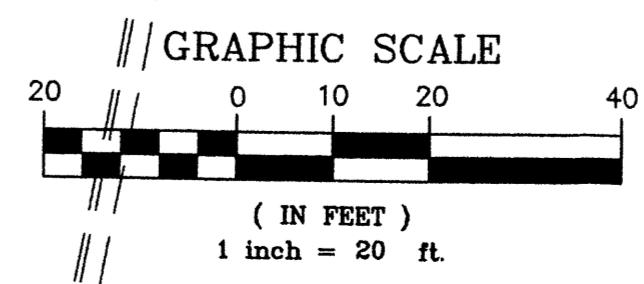
UTILITY NOTES:

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THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITIES, PIPELINES, OR UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE WORK AREA IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS OR HER FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. THE CONTRACTOR IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF SUCH LINES, IN THE PLANNING OF AND CONDUCTING EXCAVATION.

A SEPARATE IRRIGATION LINE WILL BE REQUIRED FOR ALL SITE LANDSCAPE. POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

UNSER BOULEVARD



Community Sciences Corporation
LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, New Mexico 87048

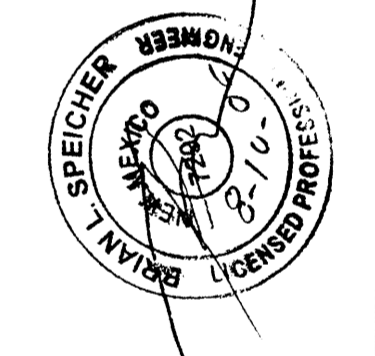
JOB NO.: N742-02
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

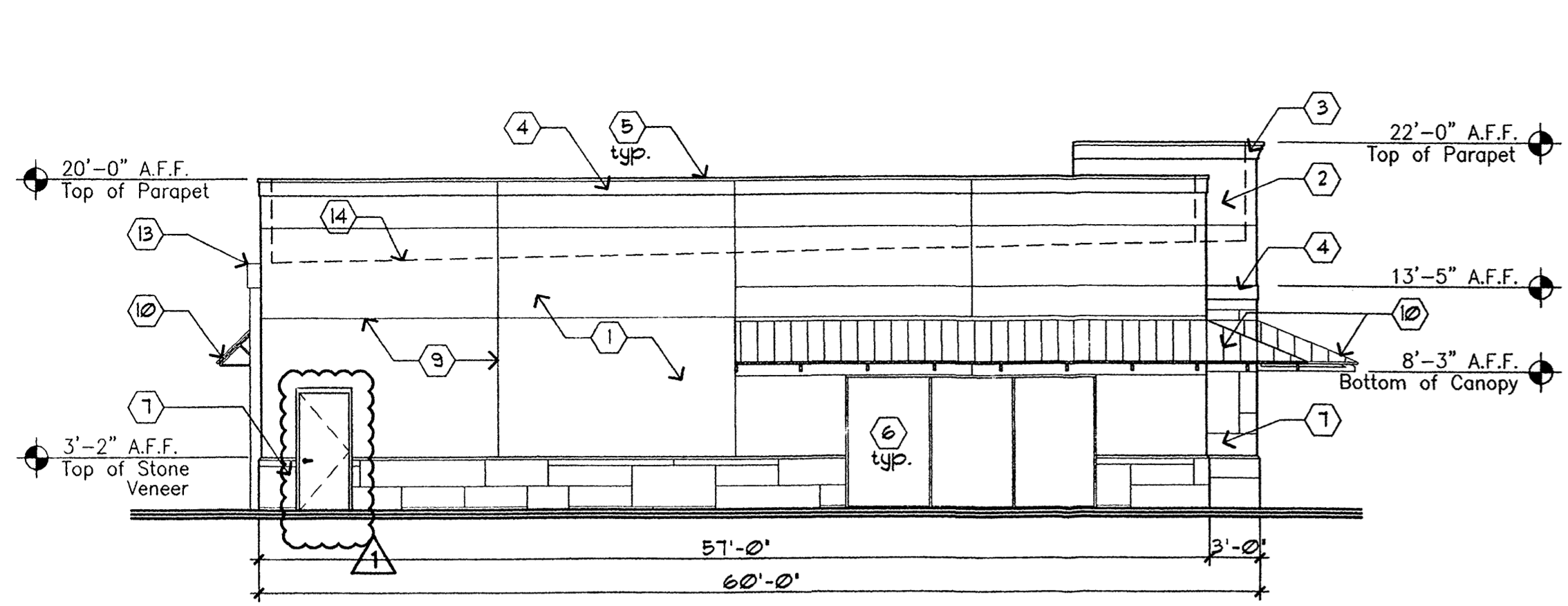
TITLE:
VILLAGE CENTER
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr

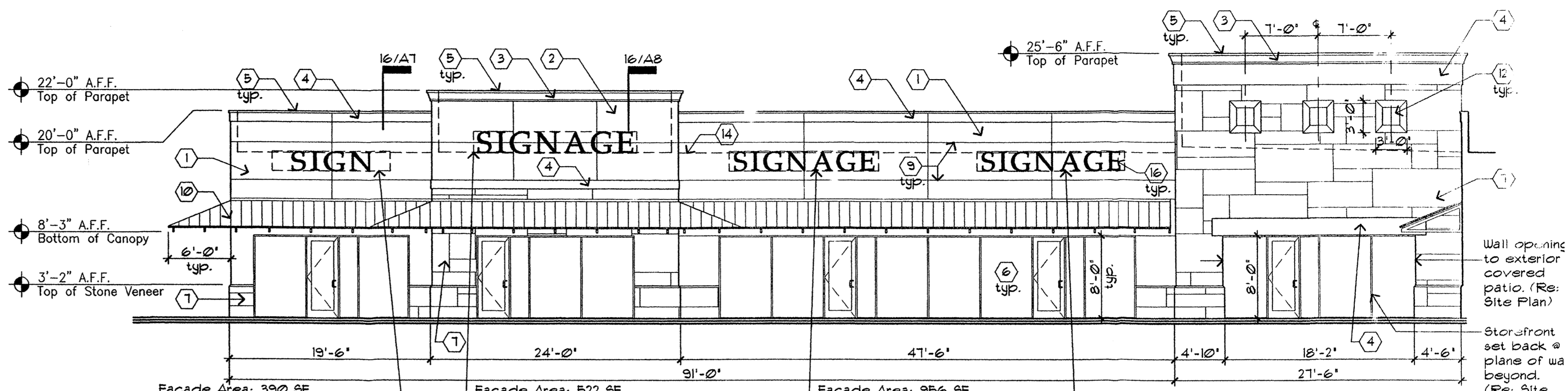
City Project No. _____ Zone Map No. _____ Sheet 4 of 8

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	NO.	BY	DATE	DATE
		ACS STATION "SANDBERN"		1	JTS			8/14/06	8/10/2006
		NAD 1927 NMSP C							8/10/2006
		X=361854.29							8/10/2006
		Y=1534209.29							8/10/2006
		NAD 1983 NMSP C CORPSCON							
		X=1502101.6571							
		Y=1534274.4482							
		CONVERGENCE 16' 01.4" (1983)							
		COMB SCALE FACTOR = 0.99966079							
		ELEV. (NAVD 1929) 5456.92 (2ND ORD.)							

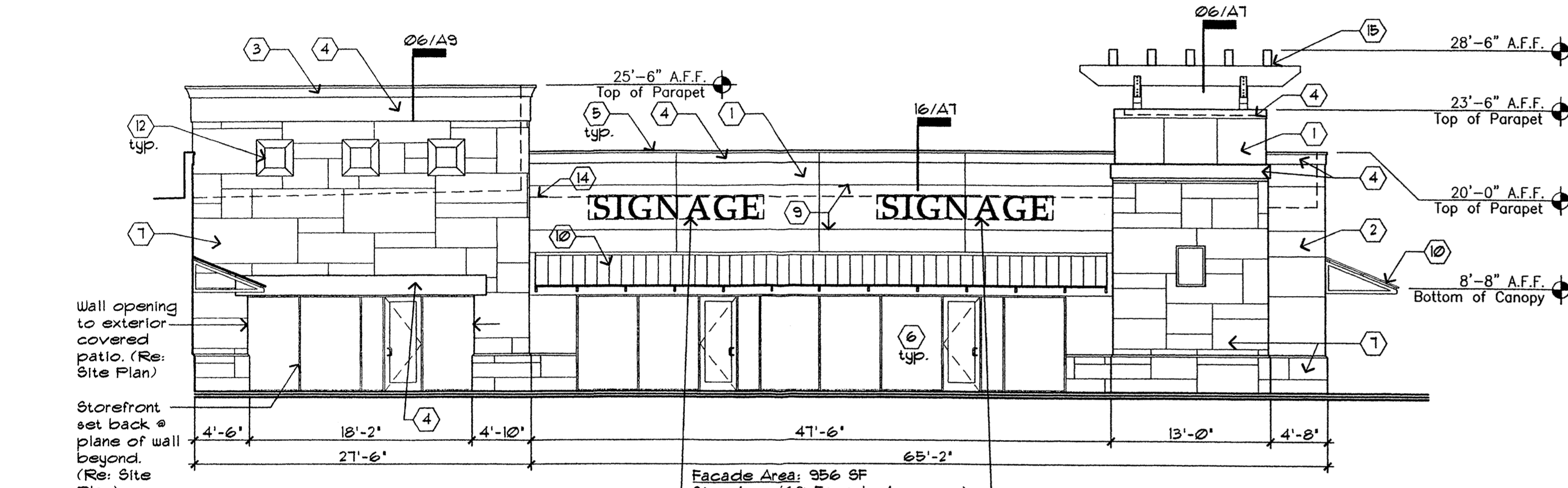




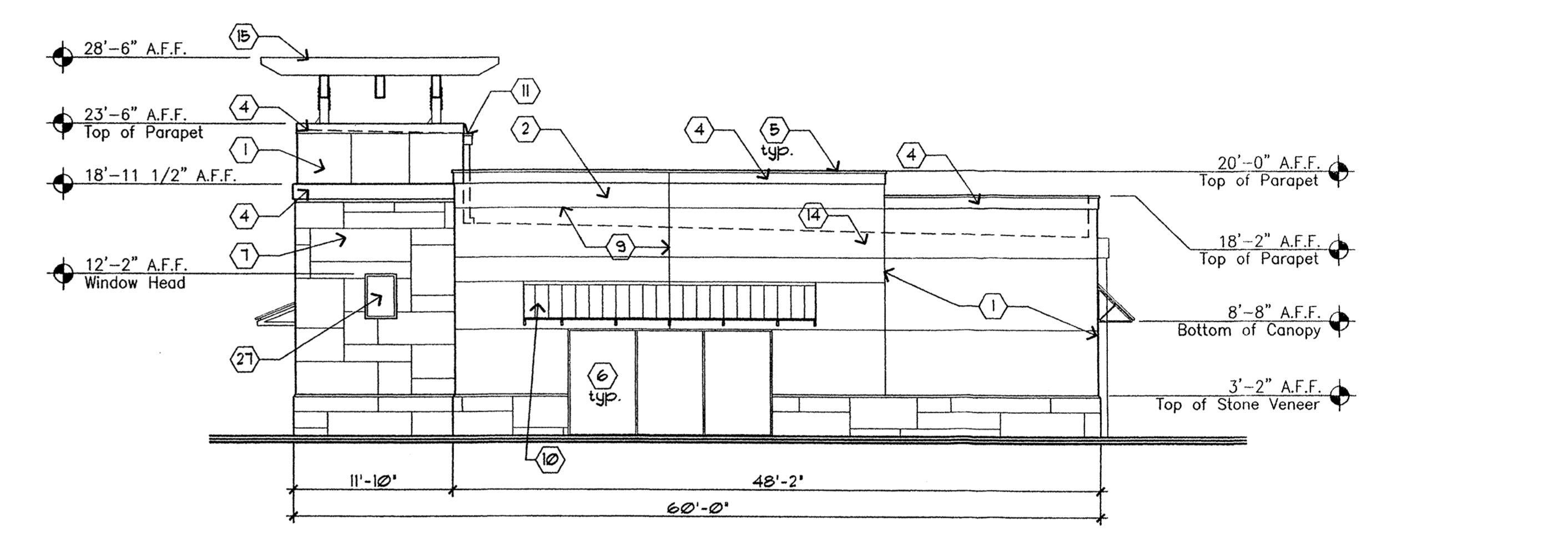
01 Building 1 - South Elevation
1/8"=1'-0"



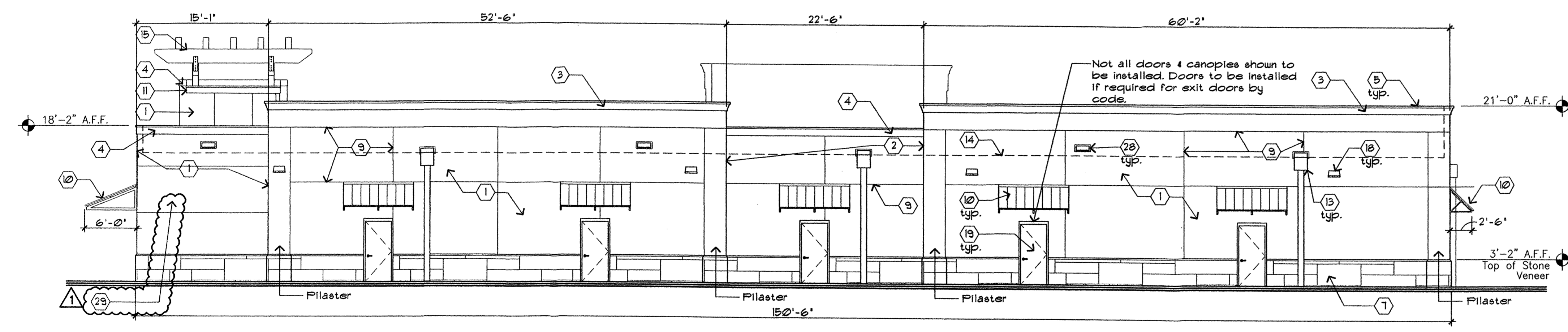
03 Building 1 - East Elevation
1/8"=1'-0"



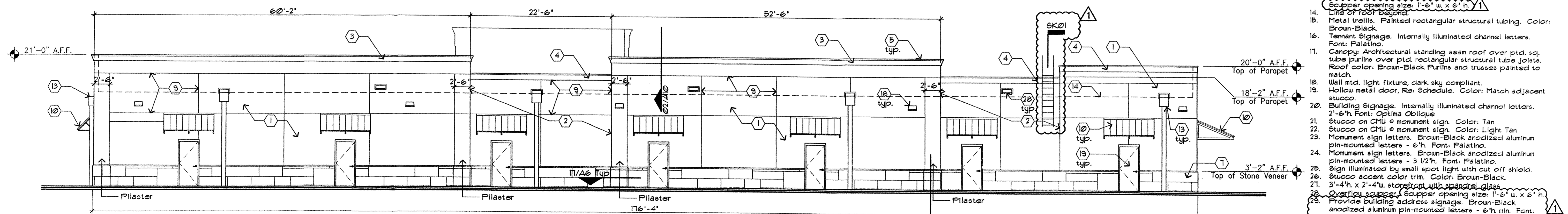
06 Building 1 - South Elevation
1/8"=1'-0"



08 Building 1 - East Elevation
1/8"=1'-0"



11 Building 1 - North Elevation
1/8"=1'-0"



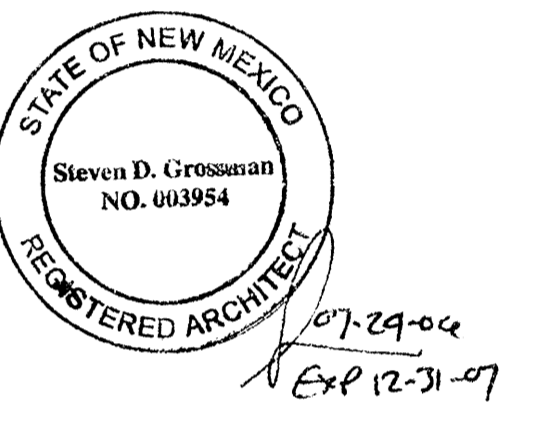
16 Building 1 - West Elevation
1/8"=1'-0"

20 Keyed Notes

1. Building-mounted signs shall not exceed 6% of the facade area, and shall not face abutting single-family residential.
 2. Wall mounted signs shall not project more than 1 foot or exceed an area of 20% of that wall, or 60 SF, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs.
- 15 General Notes**
1. Stucco on metal lath. Color: Tan - between joint lines where indicated as such.
 2. Stucco on metal lath. Color: Dark Tan - between joint lines where indicated as such.
 3. Stucco cornice. Color: Light Tan.
 4. Stucco accent color trim. Color: Light Tan.
 5. Metal coping. Ptd. to match stucco, typ.
 6. 8'-0" h storefront. Tempered storefront glass typical. Frame finish: Light bronze anodized. Glass color: Bronze.
 7. Applied stone veneer in mortar bed. Color: Warm earth tones.
 8. Expansion joint.
 9. Stucco control joint, typ.
 10. Canopy. Architectural standing seam roof over ptd. sq. tube purlins over ptd. mtl. tube trusses. Roof color: Brown-Black. Purlins and trusses painted to match. Gutter routed to downspout to main roof. Color: Match adjacent stucco.
 11. Stucco recess at wall. Color: Light Tan.
 12. Sheet mtl. scupper to conductor head with 8" downspout. Color: Match adjacent stucco.
 13. Scupper opening size: 1'-6" w. x 6" h.
 14. Line of roof begins.
 15. Metal trellis. Painted rectangular structural tubing. Color: Brown-Black.
 16. Tenant signage. Internally illuminated channel letters. Font: Palatino.
 17. Canopy. Architectural standing seam roof over ptd. sq. tube purlins over ptd. rectangular structural tube joists. Roof color: Brown-Black. Purlins and trusses painted to match.
 18. Wall mtd. light fixture, dark sky compliant.
 19. Hollow metal door, Res: Schedule. Color: Match adjacent stucco.
 20. Building signage. Internally illuminated channel letters. 2'-6" h. Font: Optima Oblique.
 21. Stucco on CMU @ monument sign. Color: Tan.
 22. Stucco on CMU @ monument sign. Color: Light Tan.
 23. Monument sign letters. Brown-Black anodized aluminum pin-mounted letters - 6" h. Font: Palatino.
 24. Monument sign letters. Brown-Black anodized aluminum pin-mounted letters - 3 1/2" h. Font: Palatino.
 25. Sign illuminated by small spot light with cut off shield.
 26. Stucco accent color trim. Color: Brown-Black.
 27. 3'-4" h x 2'-4" w. storefront with tempered glass.
 28. Overflow scupper. Scupper opening size: 1'-6" w. x 6" h.
 29. Provide building address signage. Brown-Black anodized aluminum pin-mounted letters - 6" h min. Font: Palatino.

Village Center
 Unser Blvd. and Night Whisper Dr.
 Albuquerque, New Mexico

FEHR GROSSMAN COX
Architects, Inc.



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(713) 797-0404 Fax (713) 797-0740

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Consultants

Project

050280

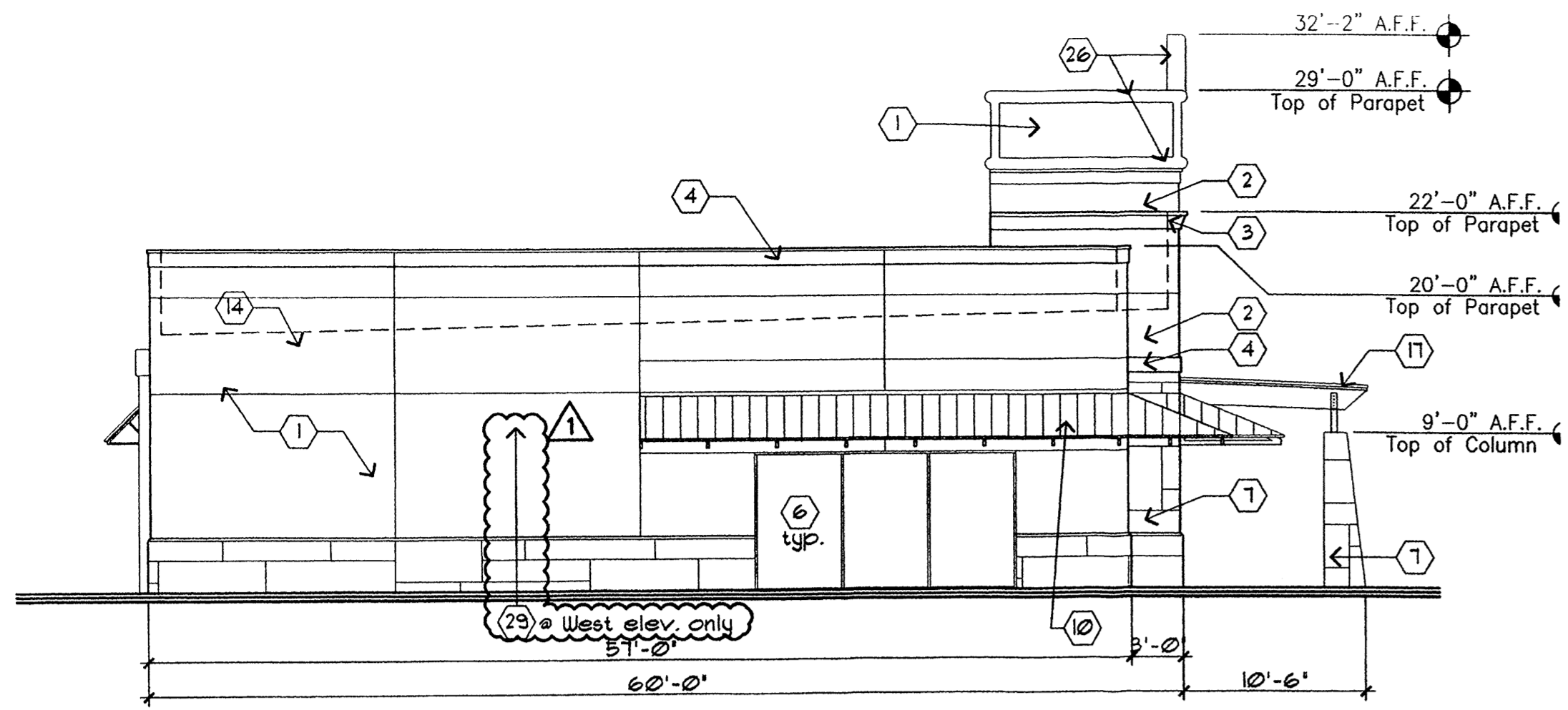
Issue

04-03-06 Environmental Planning Commission Review
04-06-06 For Pricing Only
05-22-06 Permit

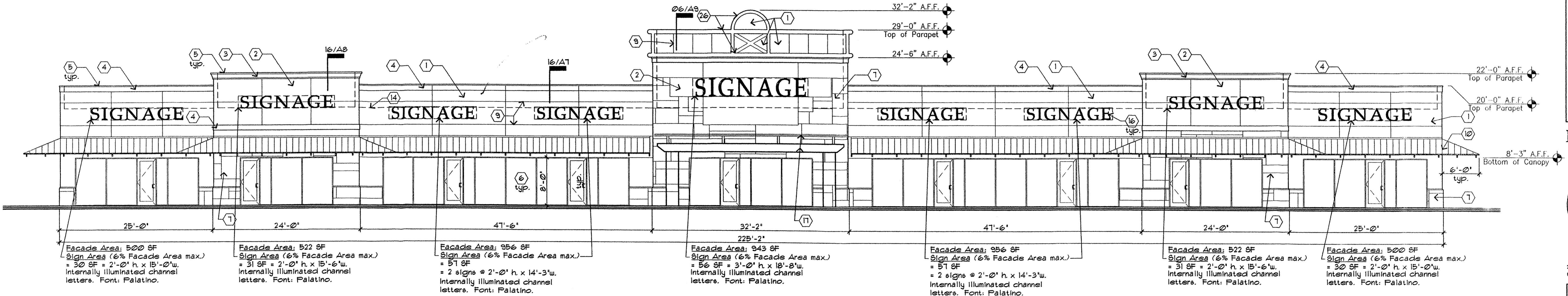
07-24-06 City of Albuquerque Revisions

Sheet Building 1 Elevations

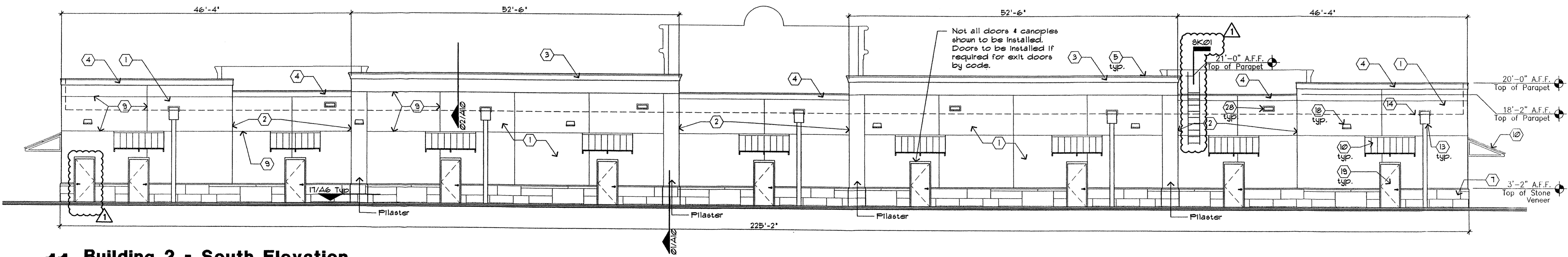
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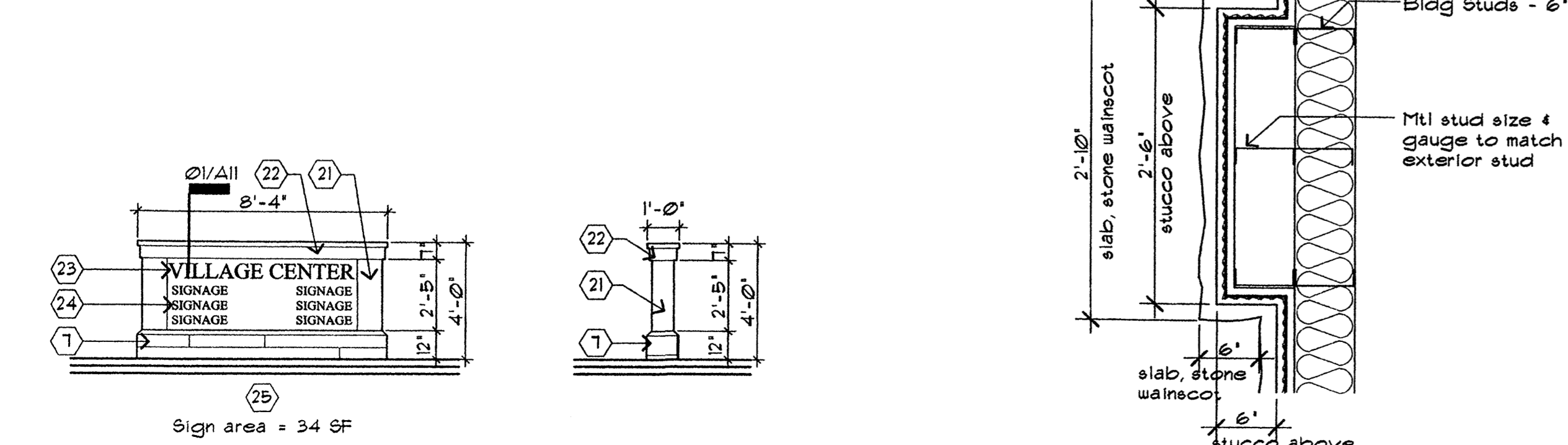
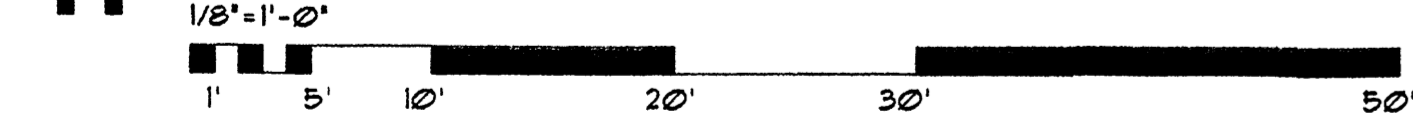
01 Bldg. 2 - East & West Elevation
1/8"=1'-0"



06 Building 2 - North Elevation
1/8"=1'-0"



11 Building 2 - South Elevation
1/8"=1'-0"



16 Monument Sign Elevation
1/4"=1'-0"

17 Plan Detail at Pilaster
NTS

18 General Notes

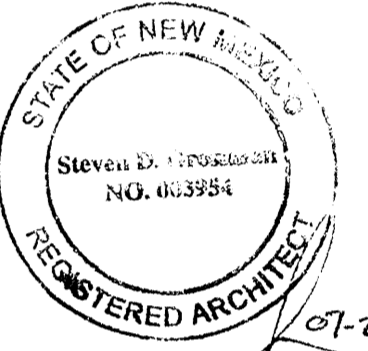
19 Keyed Notes

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- Stucco recess at wall. Color: Light Tan.
- Sheet mtl. scupper to conductor head with 8" diameter. Color: Match adjacent stucco. Scupper opening size: 1'-0" x 8".
- Line of roof beyond.
- Metal trellis. Painted rectangular structural tubing. Color: Brown-Black.
- Tenant signages. Internally illuminated channel letters. Font: Palatino.
- Canopy. Architectural standing seam roof over ptd. sq. tube purlins over ptd. rectangular structural tube joists. Roof color: Brown-Black. Furlins and trusses painted to match.
- Wall mtd. light fixture, dark sky compliant.
- Hollow metal door, Rse. Schedule. Color: Match adjacent stucco.
- Building Signage. Internally illuminated channel letters. 2'-6" h. Font: Optima Oblique.
- Stucco on CMU @ monument sign. Color: Tan.
- Stucco on CMU @ monument sign. Color: Light Tan.
- Monument sign letters. Brown-Black anodized aluminum pin-mounted letters - 6" h. Font: Palatino.
- Monument sign letters. Brown-Black anodized aluminum pin-mounted letters - 3 1/2" h. Font: Palatino.
- Sign illuminated by small spot light with cut off shield.
- Stucco accent color trim. Color: Brown-Black.
- 3'-4" x 2'-4" stone sign with anodized glass.
- Overlook scupper. Scupper opening size: 1'-0" x 6" h.
- Provide building address signage. Brown-Black anodized aluminum pin-mounted letters - 6" h. min. Font: Palatino.

Village Center
Unser Blvd. and Night Whisper Dr.
Albuquerque, New Mexico

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Architects, Inc.



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Consultants

Project

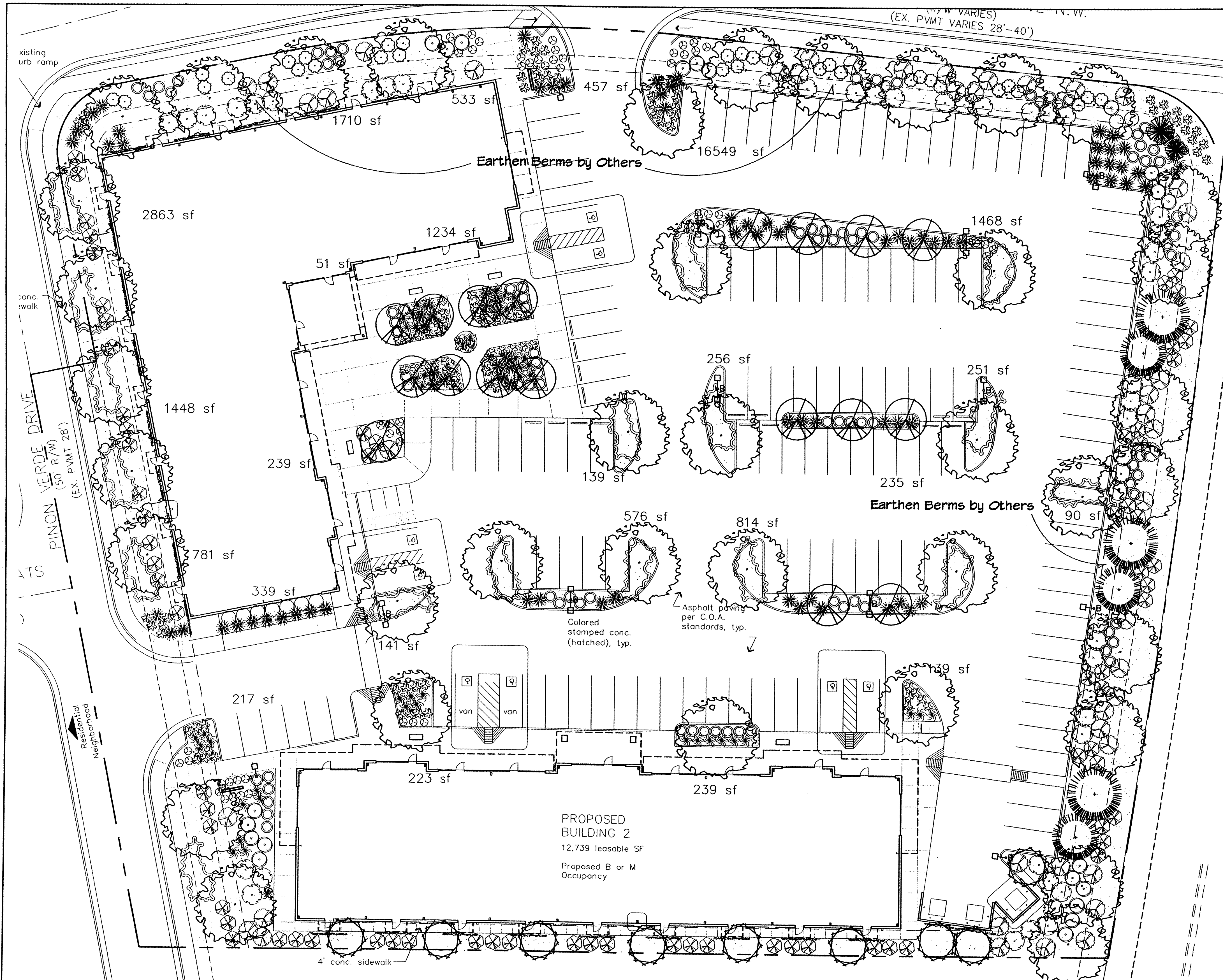
050260

04-03-06
Environmental Planning
Commission Review
04-06-06
For Pricing Only
05-22-06
Permit
07-24-06
City of Albuquerque
Revisions

07-24-06
City of Albuquerque
Revisions

Sheet
Building Elevations

A6



PLANT LEGEND

- TREES**
- ARIZONA ASH (M) 39
Fraxinus velutina
2' Cal.
 - AUSTRIAN PINE (M) 6
Pinus nigra
6'-8'
 - FLOWERING PEAR (M+) 18
Pyrus calleryana
2' Cal.
 - DESERT WILLOW (L) 9
Chilopsis linearis
15 Gal.
- ACCENTS**
- * PALM YUCCA (L) 2
- SHRUBS AND ORNAMENTAL GRASSES**
- * PHOTINIA (M+) 48
Photinia Fraseri
5 Gal. 64sf
 - * RED YUCCA (L) 88
5 Gal. 45f
Hesperaloe parviflora
 - MAIDENGRASS (M) 45
Miscanthus sinensis
5 Gal. 16sf
 - * INDIAN HAWTHORN (M) 74
Raphiolepis indica
5 Gal. 36sf
 - * APACHE PLUME (L) 10
Fallugia paradoxa
5 Gal. 42sf
 - * NANDINA (M) 31
Nandina domestica
5 Gal. 25sf
 - RUSSIAN SAGE (M) 11 25
Perovskia atriplicifolia
5 Gal. 36sf
 - * ARP ROSEMARY (M) 45
Rosmarinus officinalis
2 Gal. 36sf
 - * HONEYSUCKLE (M) 45
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
 - WILDFLOWER 55
1 Gal. 4sf
 - THREADGRASS (M) 99
Stipa tenuissima
1 Gal. 4sf
- VINES/GROUNDCOVERS**
- * HONEYSUCKLE (M) 2
Lonicera japonica 'Halliana'
1 Gal. 200sf
 - * LADY BANKS ROSE (M) 21
Rosa banksiae
5 Gal.
 - * GREYLEAF COTONEASTER (M) 18
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- HARDSCAPES**
- NATURAL EDGE
 - OVERSIZED GRAVEL & 3 BOULDERS
 - VERTICAL BOULDER MONOLITH
 - SANTA FE BROWN GRAVEL WITH FILTER FABRIC
 - NO TURF/SOD
 - * DENOTES EVERGREEN

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Parking screening shall be provided by earthen berms and evergreen landscaping, per Section 14-16-3-1 of City Comprehensive Zoning Code.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

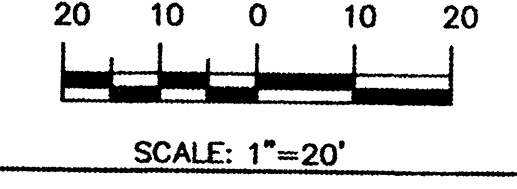
Name of Street Unser Blvd.
Required # 11 Provided # 14

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

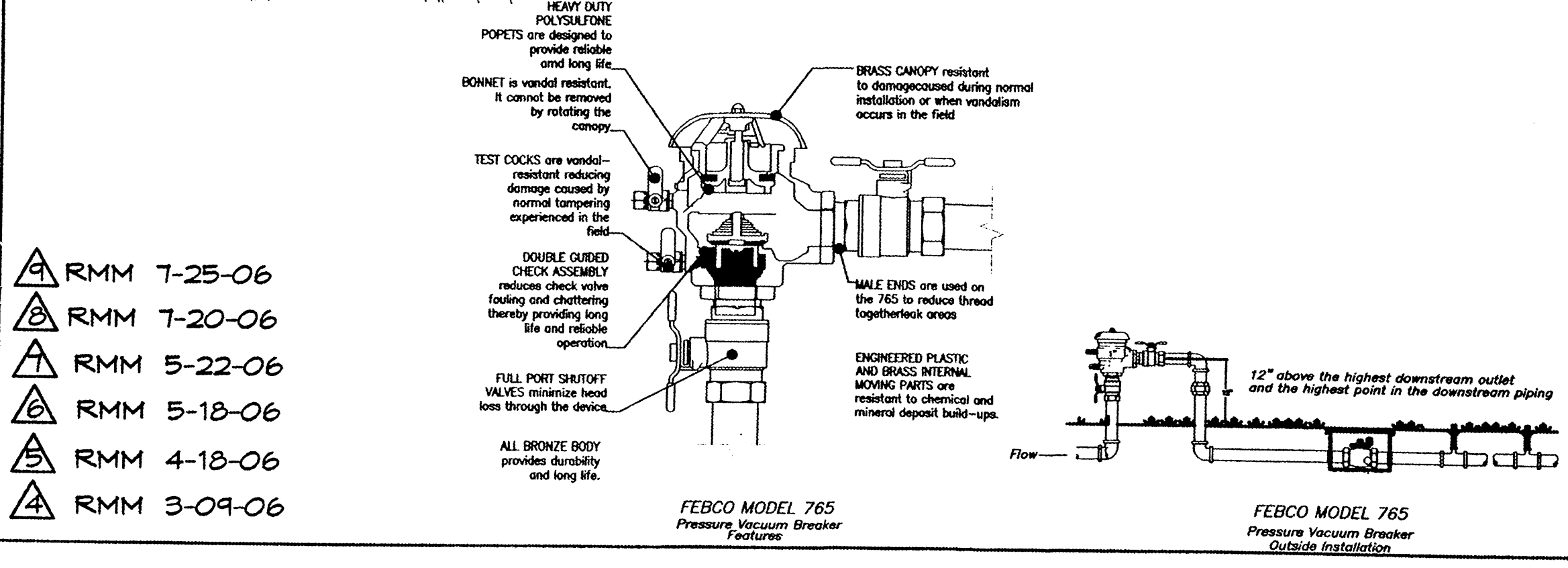
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	149341	square feet
TOTAL BUILDINGS AREA	29426	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	119915	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	17987	square feet
TOTAL BED PROVIDED	30271	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	23153	square feet
TOTAL GROUND COVER PROVIDED	25204 (82%)	square feet
TOTAL TURF/SOD PROVIDED	0 (0%)	square feet
TOTAL LANDSCAPE PROVIDED	30271	square feet

GRAPHIC SCALE



16 Landscape Plan
1"=20'-0"



- RMM 7-25-06
- RMM 7-20-06
- RMM 5-22-06
- RMM 5-18-06
- RMM 4-18-06
- RMM 3-04-06

Unser Blvd. and Night Whisper Dr. Albuquerque, New Mexico

Fehr Grossman Cox Architects Inc.

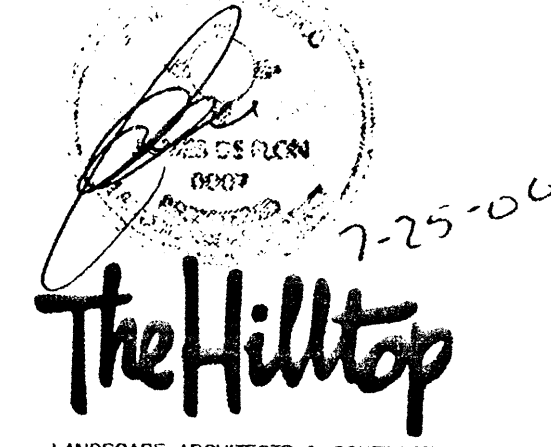
Fehr Grossman Cox Architects, Inc.
Bruce T. Fehr
5615
Not For Construction, Regulatory Approval, or Permitting.

7400 Fannin, Suite 950 Houston, Texas 77056
(713)797-0404 Fax (713)797-6140

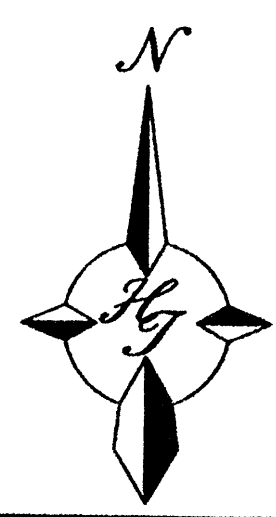
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Consultants

Project
050280
Issue
01-05-06
Progress



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com



Sheet
Landscape Plan
L1

