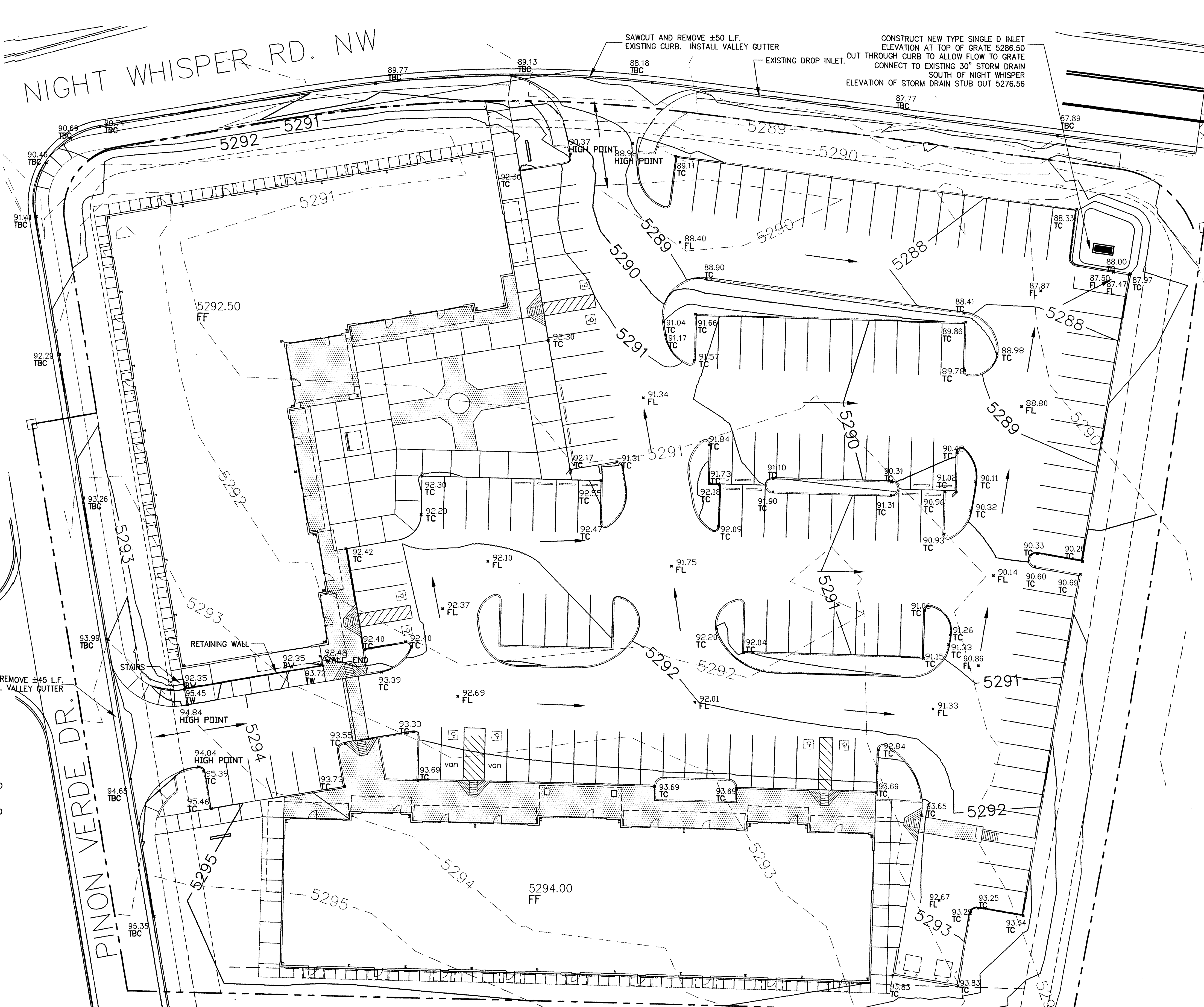
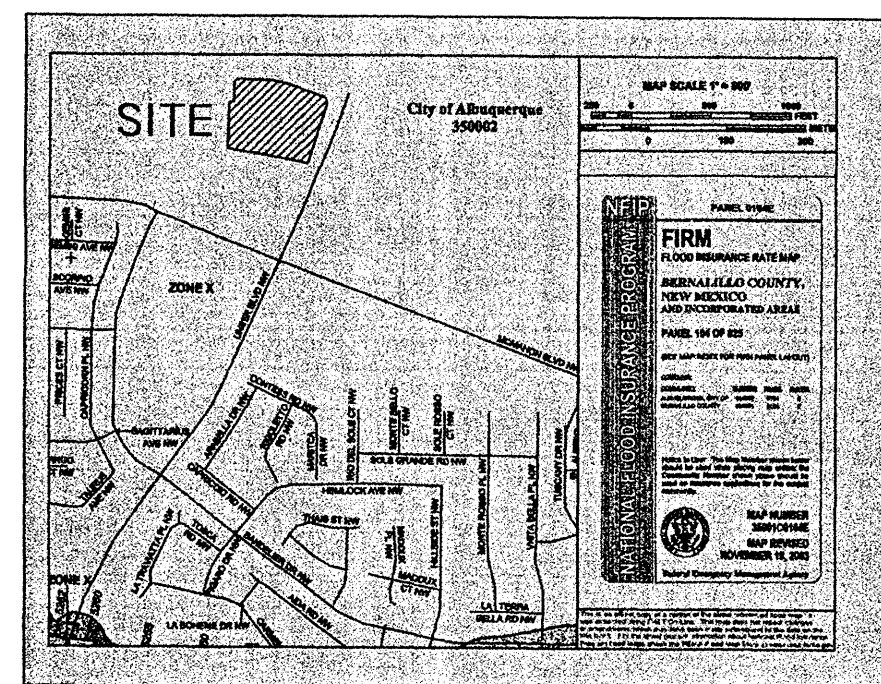


VICINITY MAP A-II-Z NTS



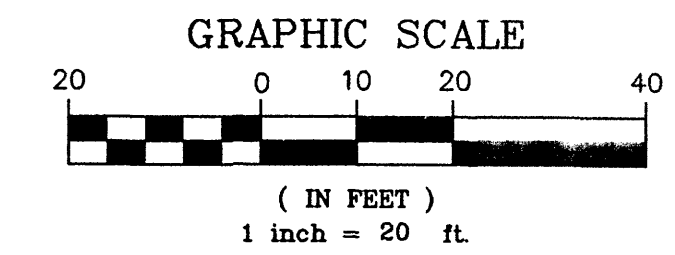
**GRADING PLAN**  
**VILLAGE CENTER**  
**UNSER BLVD. AND**  
**NIGHT WHISPER DR.**  
 SITUATE WITHIN PROJECTED SECTION 2,  
 TOWNSHIP 11 NORTH, RANGE 2 EAST  
 OF THE NEW MEXICO PRINCIPAL MERIDIAN,  
 BERNALILLO COUNTY, NEW MEXICO  
 DECEMBER 2005

**GENERAL NOTES:**  
 A) CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER (AT 897-0000) OF ANY CONFLICTS OR DISCREPANCIES DISCOVERED IN THE FIELD.  
 B) THE IMPROVEMENTS AS SHOWN ON THESE PLANS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, UPDATE 7.

**UTILITY NOTES:**  
 IF ANY UTILITY LINES OR PIPELINES (ABOVE OR BELOW GROUND) ARE DEPICTED HEREON, THEY ARE DEPICTED APPROXIMATELY AND ARE NOT TO BE RELIED UPON FOR EXACT LOCATION. FURTHERMORE, EXISTING LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE DEPICTED HEREON, THEIR LOCATIONS ARE BASED ON INFORMATION PROVIDED BY RESPECTIVE UTILITY AND/OR PIPELINE COMPANIES, THE OWNER, OR OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITIES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE WORK AREA IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS OR HER FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. THE CONTRACTOR IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF SUCH LINES, IN THE PLANNING OF AND CONDUCTING EXCAVATION.

**SITE DESCRIPTION:**  
 THE SITE IS CURRENTLY UNDEVELOPED AND CONSISTS OF SPARSE NATIVE VEGETATION. THE NORTH AND WEST IS BOUNDED BY PAVED STREETS WITH CURB & GUTTER, BUT NO SIDEWALK, UNSER BOULEVARD, TO THE EAST, CURRENTLY HAS NO CURB & GUTTER ADJACENT TO THE SITE. TO THE SOUTH IS ANOTHER UNDEVELOPED TRACT; HOWEVER THERE IS A DEVELOPMENT CURRENTLY PROPOSED FOR THIS TRACT. THE SITE AND SURROUNDING TRACTS SLOPE TO THE EAST WITH MODERATE SLOPES. THE ADJACENT STREETS SLOPE GRADUALLY TO THE NORTH AND EAST.



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HYDROLOGY RIDGEVIEW VILLAGE			
100 YEAR-6 HOUR STORM (AHYMO)			
P60=1.87"	P360=2.2"	P1440=2.66"	
DA = 32,429 SF		TC= 12 MINUTES	
LAND TREATMENT TYPES	A	B	C D
EXISTING CONDITIONS(SF)	140,601	8,740	0 0
DEVELOPED CONDITIONS(SF)	0	24,255	0 125,086
DRAINAGE BASIN (149,341 s.f.)			
EXISTING CONDITIONS	Q=4.59 CFS V=.129 AC-FT		
DEVELOPED CONDITIONS	Q=13.71 CFS V=.502 AC-FT		
NOTE: DEVELOPED CONDITIONS ARE BASED UPON FINAL BUILD-OUT			

**Community Sciences Corporation**  
 LAND PLANNING ENGINEERING SURVEYING  
 P.O. Box 1328 Corrales, New Mexico 87048

JOB NO.: N742-02

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

TITLE:  
 VILLAGE CENTER  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./Day/Yr	Mo./Day/Yr

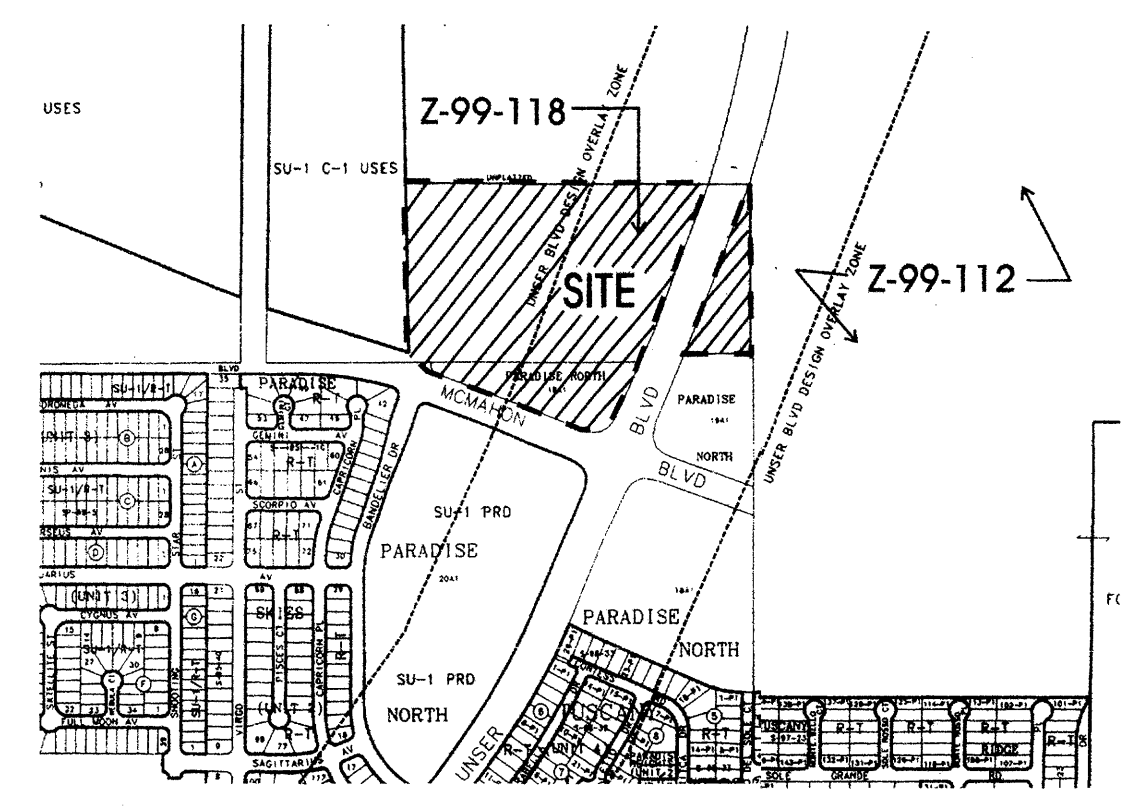
City Project No. A-11-Z Zone Map No. Sheet 3 of 8

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S	DATE	ACS STATION "SANDBERN"	DATE				
FIELD MANAGER BY	DATE	NAD 1927 NMSP C					
FORWARDER BY	DATE	X=361854.29					
CORRECTED BY	DATE	Y=1534209.29					
		NAD 1983 NMSP C CORPSCON					
		X=1502101.6571					
		Y=1534274.4482					
		CONVERGENCE 16' 01.4" (1983)					
		COMB SCALE FACTOR = 0.99966079					
		ELEV. (NAVD 1929) 5456.92 (2ND ORD.)					

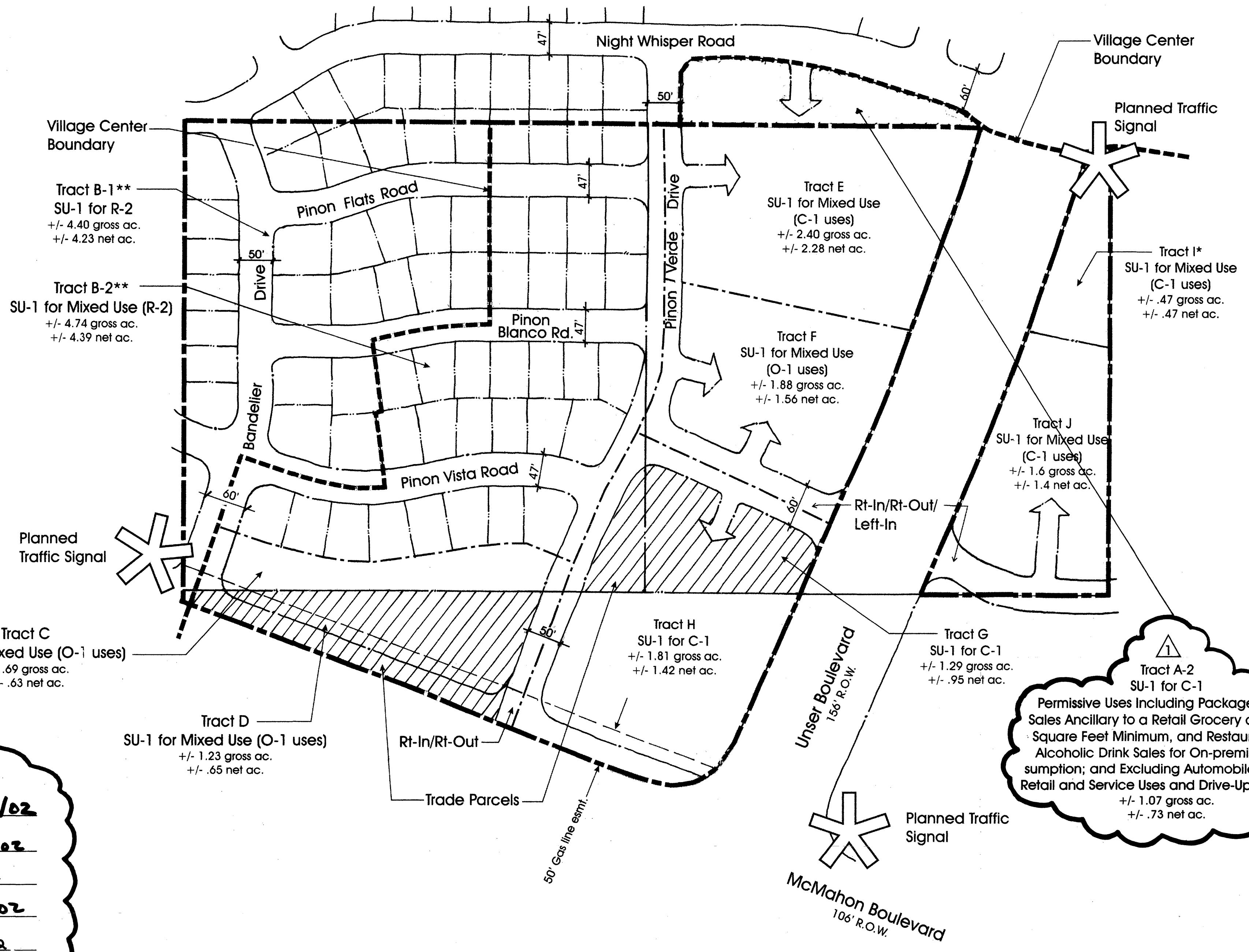


PROPERTY COVERED BY THIS SITE PLAN FOR SUBDIVISION  
TOTAL ACREAGE:  
20.6 GROSS ACRES  
1.07 GROSS ACRES

30' ACCESS POINTS



SITE VICINITY



SITE PLAN FOR SUBDIVISION

REQUIRED INFORMATION:

The Site: The site consists of 16.2 acres within the Unser/McMahon Village Center and 4.4 acres (Tract B-1) outside the Village Center.

Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on September 18, 1997 and January 18, 2001 as follows:

- SU-1 for Mixed Use Development: 13.2 acres
  - C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 4.5 acres);
  - O-1 Permissive and Conditional Uses; and
  - R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).

SU-1 for R-2: 4.4 acres

Tres Esquinas (Z-97-47)  
Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on April 17, 1997 as follows:

SU-1 for C-1 Permissive Uses: 3.0 acres

Pedestrian and Vehicular Ingress and Egress:  
Trails: There are proposed trails along Unser and McMahon Boulevards per the Trails and Bikeways Master Plan.

Vehicular Access: In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

Pedestrian Access: Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood west of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

Bicycle Access: Bicycle trails are planned along Unser and McMahon Boulevards west and south of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

Transit: As property develops within this portion of the Village Center, coordination shall with the City Transit Department regarding placement of transit stops in order to provide access and service to this area.

Landscape Plan: The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

The Site Plan for Subdivision is amended to include Tract A-2 within the Village Center (Project 1000893; 01110-01668)

**AMENDMENT- PROJECT #1000893**  
EPC # 01110-01668 DRB# 02 DRB- 00318

Planning Department	Date
3/21/02	
Transportation Department	Date
3/27/02	
City Engineer	Date
3/27/02	
Utility Department	Date
3/27/02	
Parks and Recreation Department	Date

**APPROVALS - PROJECT #1000936**  
EPC Application #00110-00000-01639/00128-00000-01640  
DRB Application #01450-00000-00888  
THIS SITE PLAN FOR SUBDIVISION IS GENERALLY CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

Planning Department	Date
7/27/01	
Transportation Department	Date
7-25-01	
City Engineer / AMAFCA	Date
7/25/01	
Utility Development	Date
7/25/01	
Parks and Recreation Department	Date

GENERAL NOTES:

- In order to achieve the goals of this plan, a plat is required that implements the proposed land trades between this property and the property to the south and east, and establishes zone boundaries. The purpose of this trade is to provide each landowner with a developable tract with reasonable access.
- The SU-1 for R-2 zoned area (Tract B-1) and the residential portion of the SU-1 for Mixed Use area (Tract B-2) are delegated to the Development Review Board if they are developed at RT densities or less (per R-T zoning regulations), as determined by the Environmental Planning Commission's Notice of Decision dated January 18, 2001.

Tract	Land Use	Gross Acres
A-2	C-1	1.07
B-2	R-2	1.75
C	O-1	.70
D	O-1	1.23
E	C-1	2.40
F	O-1	1.88
G	C-1	1.29
H	C-1	1.82
I*	C-1	.47
J	C-1	1.63
<b>TOTAL VILLAGE CENTER</b>		<b>16.2</b>

\*Tract I is proposed to be traded with an equal sized parcel in Z-99-112. Tracts D and G are proposed as a trade.

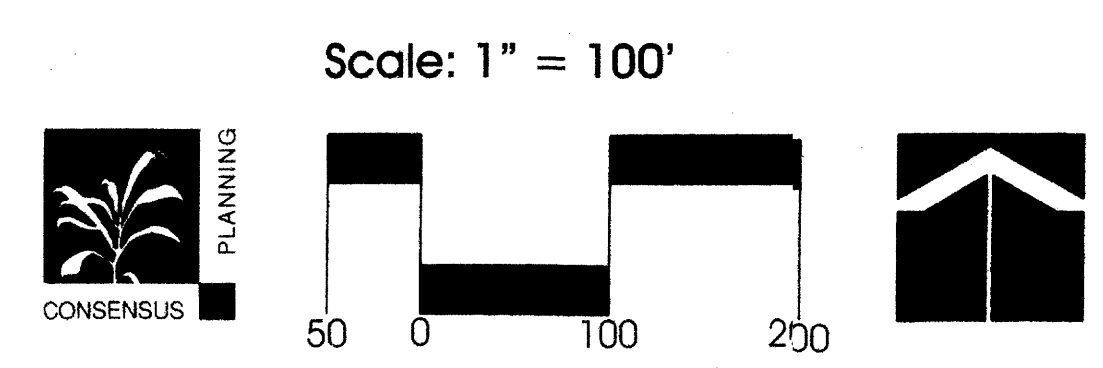
\*\*Tracts B-1 and B-2 are zoned SU-1 for R-2 uses and SU-1 for Mixed Use, respectively. Tract B-2 fulfills the required residential component of the SU-1 for Mixed Use area (minimum 35%), as approved by the Environmental Planning Commission. The illustrated residential lots are a permissive use in both zones.

SITE PLAN FOR SUBDIVISION  
**Unser/McMahon Village Center North**

Prepared For: Unser/McMahon Group  
82 Mark Drive  
Hawthorn Woods, IL 60047

Prepared By: Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

July 18, 2001 February 28, 2002





## DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Unser McMahon Village Center. Additional guidelines are also provided for the adjacent R-2 areas outside of the Village Center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the conditions of approval set by the Environmental Planning Commission on September 18, 1998 (Z-97-119; Z-97-120); the Westside/McMahon Corridor Transportation and Land Use Guide, April, 1999; and the West Side Strategic Plan.

Each category is organized in terms of Standards (items which are required) and Guidelines (items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

### SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

#### General

##### Standards:

Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of Village Center than a one-building per lot configuration.

A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. The plaza should be attractive, lively, and a useful asset to the community. Plaza areas are appropriate for outdoor dining.

Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

Parking located adjacent to Unser Boulevard, McMahon Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berms. Screening shall be compatible with edge treatments at adjacent properties.

Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.

The adopted wall design guidelines by the City shall apply.

All loading docks shall be screened and covered with architecturally integrated walls and roofs.

Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.

Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.

Buildings shall be oriented to front on internal streets to reinforce the street edge.

##### Guidelines:

Open courtyard designs shall be used to form transitions between parking areas and building facades.

Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly environment.



SHADED PEDESTRIAN AREAS

Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.

- Public entries to the project shall be designed to:
  - be compatible with one another
  - create a sense of arrival
  - provide strong visual impact
  - provide a unified project identification

- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

#### Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

##### Standards:

The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.

Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

Entrances and exits to buildings shall be flush.

A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

Interior public areas shall have visual access to exterior activity areas for additional surveillance.

##### Guidelines:

Exterior children's play areas shall be located where surveillance can occur from multiple directions.

#### Circulation

##### Standards:

Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.

Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle rack space per 20 parking spaces
- Multi-Family residential: for residents, 1 space per 2 dwelling units

Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.

Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

Trail connections shall be provided within the interior roadway to the City-planned trail along Unser Boulevard.

Pedestrian connections shall be provided to the major transit stop along the new, eastern-most, north-south roadway (see Sheet 1).

A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactily for safe pedestrian crossing.

Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per unit, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-1 zoning requirements.

There shall be no parking requirement applied to any second floor housing above retail.

The parking requirements shall be the minimum is the maximum.

Landscaped islands shall be distributed throughout parking areas.

There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

##### Guidelines:

Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

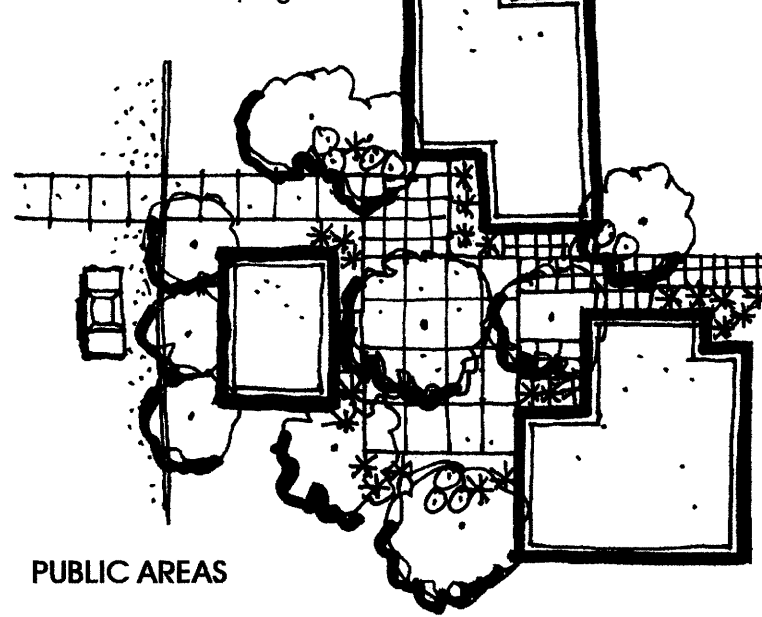
#### Transportation Demand Management (TDM)

Future employers that locate within the Unser McMahon Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Unser McMahon Village Center:

On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Unser McMahon Village Center.

Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.

Defined by building edges, differentiation of paving, variety of scales of landscaping



PUBLIC AREAS

Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit should:

Provide bus routes off of McMahon Boulevard and into the interior of the project once McMahon and Unser Boulevards are constructed.

Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to the Unser McMahon Village Center that address their specific needs.

#### Setbacks

##### Standards:

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).

Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Unser and McMahon Boulevards.

- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.

- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from the R.O.W. of interior roads.

#### Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

##### Standards:

Perimeter walls shall be provided for multi-family residential development. They shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

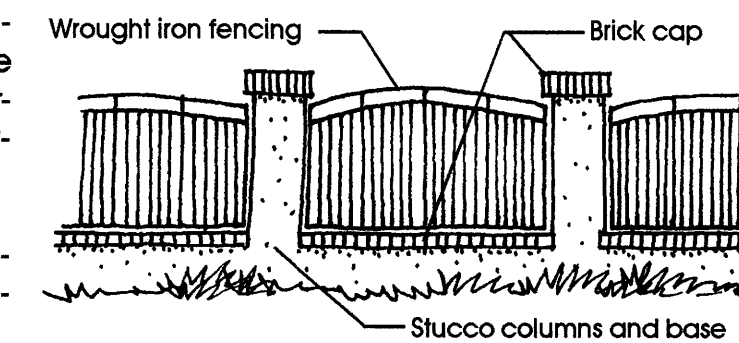
Pedestrian openings shall be provided for access at key locations within single family residential developments.

Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

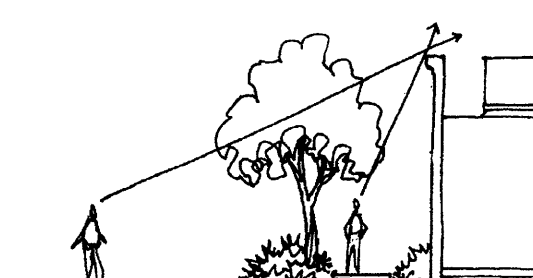
All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.

Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.



PERIMETER WALL DESIGN



MECHANICAL SCREENING

#### SIGNAGE & GRAPHICS

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

##### Standards:

The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

No off-premise signs.

##### Signage SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location

be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is non-glare on the street or upon adjacent property or that the light does not distract motorists

##### Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights
- overhang into the public right-of-way, property line, or extend above the building roof line
- intrude upon any architectural features, including windows, columns, moldings or any decorative features

Two monument village signs are allowed on both sides of Unser and one monument sign is allowed on McMahon as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument village signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.

All freestanding signs shall be monument signs only.

Monument signs are allowed for individual projects within the Village Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

No backlit plastic/vinyl signage shall be permitted except for logo designs.

##### Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

##### Signs SHOULD:

identify only the name and business of the occupant or of those offering the premises for sale or lease;

be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere;

be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

not have too many different colors (too many colors can be confusing and usually fails to communicate the intended message);

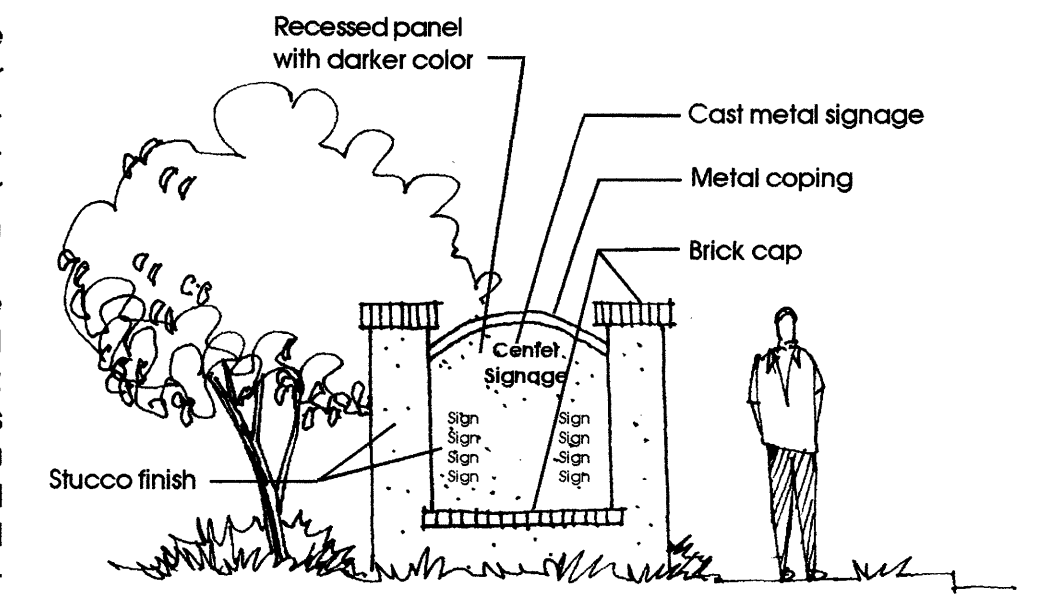
have a significant contrast between the background and the text (if the colors are too close in value or hue the sign will be difficult to read);

have a minimum of words (a brief message is easier to read and is usually more attractive);

avoid unusual shapes (the viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey);

have letters that do not appear to occupy more than 75 percent of the sign area (the sign is harder to read if the type takes up too much of the sign area); and

should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).



MONUMENT SIGN DESIGN

# SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group  
92 Mark Drive  
Hawthorn Woods, IL 60047

Prepared By:

Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

June 26, 2001

Sheet 2 of 3



## LIGHTING, OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

### Standards:

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".
- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

The maximum height for lighting fixtures shall be:

- 16 feet high for walkways and entry plazas
- 20 feet for street lights and parking area lights (restricted to 16 feet within 70 feet of residential, except residential located above retail shops)

- Sodium lighting is prohibited.

- Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

- Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

- At primary activity areas (such as at the Unser/McMahon intersection), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

- Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

- The major transit stops shall include shelter facilities, benches, lighting, and bicycle storage (see sheet 2).

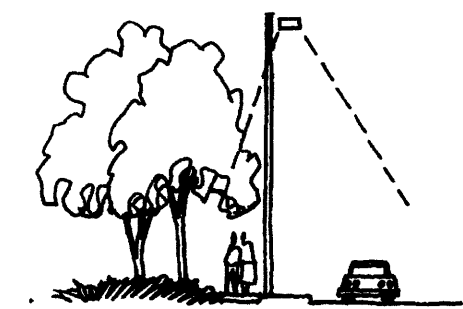
### Guidelines:

- Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.

- Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.

- Outdoor materials shall be chosen for their durability and resistance to weathering.

- Exterior elevations of any building fronting a street shall be feature lighted to enhance the identity of the building and the appealing ambiance of the Village Center.



LIGHTING

## Facades

### Standards:

- No plastic or vinyl building panels or awnings shall be permitted.

- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

### Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment
- be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces
- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures
- be treated with a consistent level of detail at all sides of all buildings and structures
- have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

### Guidelines:

- Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

## Roofs & Parapets

### Guidelines:

- Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.
- Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.
- The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.
- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.
- The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

## Entryways

### Standards:

- Entries shall be clearly defined and connect to pedestrian linkages.

- Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.

- Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

### Guidelines:

- Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.

- Entryways shall be accented with lighting to enhance the perception of surface variety.

## Fenestration & Shading

### Guidelines:

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

- Buildings shall not obstruct solar access to neighboring residential structures.

## Building Materials & Colors

### Standards:

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

### Guidelines:

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

- Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.

- Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.

- Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

## UTILITIES

### Standards:

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.

- Any cell towers shall be concealed and architecturally integrated.

## LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

### Standards:

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.

- Street trees shall be provided along Unser and McMahon Boulevards, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single family or townhouse developments, there shall be one tree per lot.

- Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

- The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.

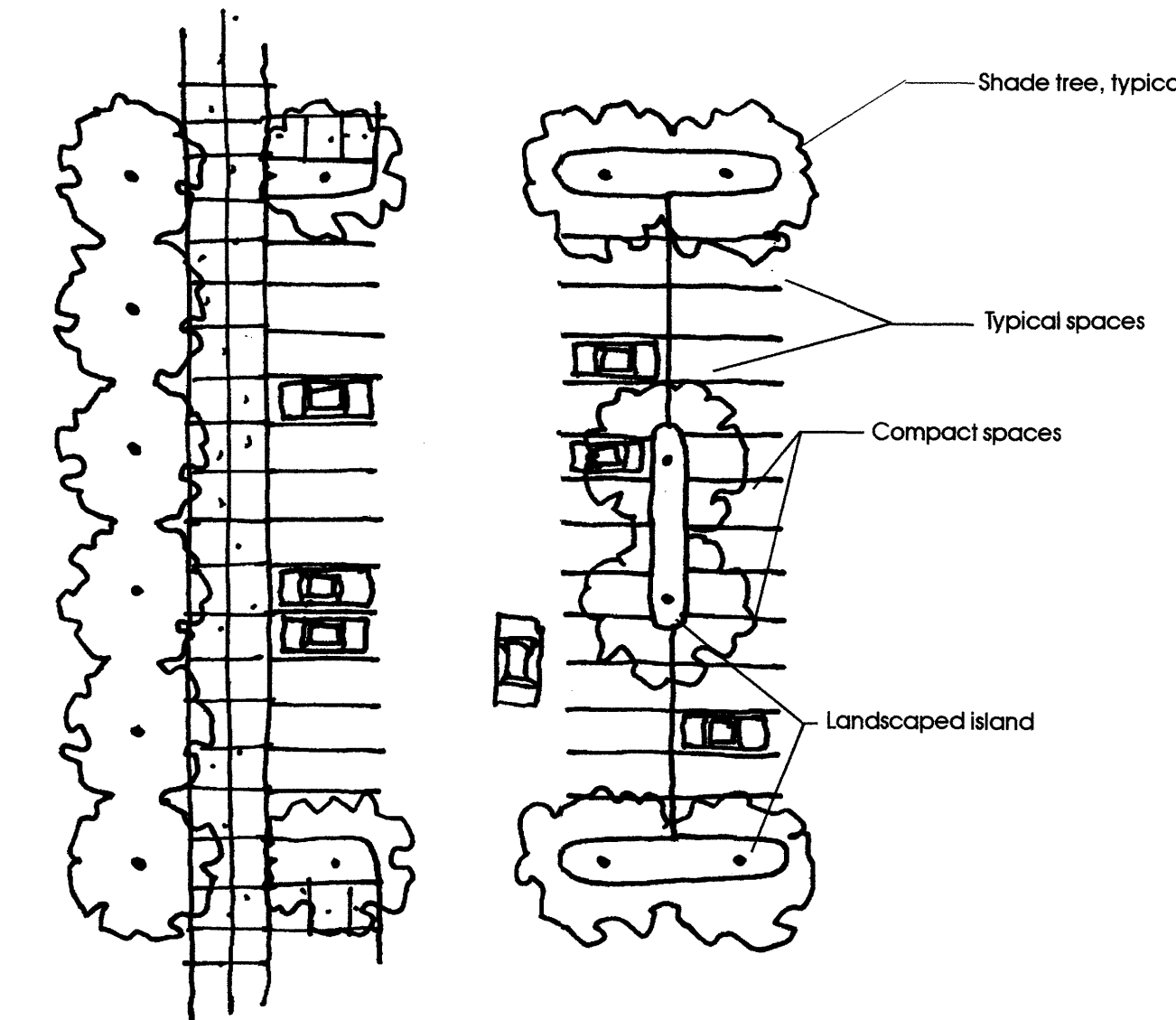
- All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.

- Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.

- Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.

- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 8 parking spaces with no space being more than 80 feet from a tree.



TYPICAL PARKING LOT LANDSCAPING

- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.

- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

- An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

- Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- |                       |   |
|-----------------------|---|
| Trees                 | 2 inch caliper, or 10 to 12 feet in height                                    |
| Shrubs & Groundcovers | 1 gallon  |
| Turf Grasses          | provide complete ground coverage within one growing season after installation |

The following street trees shall be used at the respective locations:

- |                           |                                    |
|---------------------------|------------------------------------|
| Unser & McMahon Boulevard | Ash sp., Honey Locust sp.          |
| Internal Streets          | Golden Rain tree, Chinese Pistache |

## R-2 PORTIONS OUTSIDE VILLAGE CENTER

The following exceptions to the previous guidelines and standards apply to those residential parcels outside the Village Center, but which are still covered by this Site Plan for Subdivision.

## Circulation

### Standards

- Direct pedestrian connections shall be provided between R-2 development and the Village Center. Connections may be gated and secured for use by apartment residents only.

## Setbacks

### Standards

- Buildings shall have a maximum setback of 70 feet.

## Perimeter Walls, Screening & Fences

### Standards

- Design of perimeter walls, where used, shall be compatible with the architectural theme of the site.

- Visual openings shall be provided in perimeter walls every 100 feet at residential areas for visual relief.

- Unfinished block walls, chain link, barbed or concertina wire, or wood fencing is prohibited.

- The adopted wall design guidelines by the City shall apply.

### Guidelines

- Perimeter walls shall be used at multi-family residential development. They shall have a maximum height of 6 feet and, where used, are encouraged to meander within the landscape setback.

## Signage & Graphics

### Standards

- One monument sign shall be permitted per each roadway frontage for each development. Such signs shall be of similar design and materials as the buildings and shall not exceed an area of 40 square feet.

## Architectural Design

### Standards

- The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainage right-of-way center line.

## Landscape

### Guidelines

- Street tree types are not restricted to those required within the Village Center.

# SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

Prepared For:

Unser/McMahon Group  
92 Mark Drive  
Hawthorn Woods, IL 60047

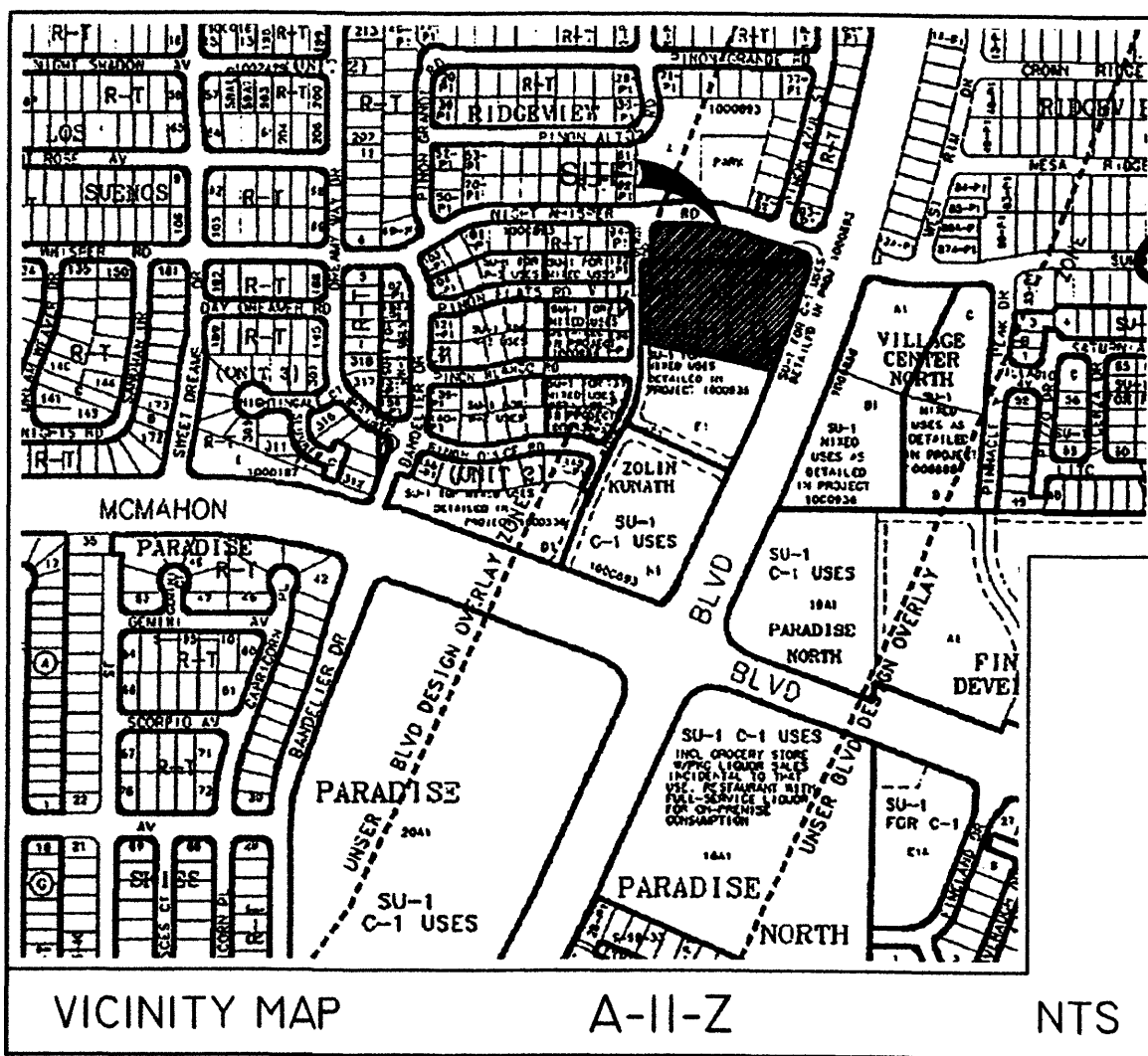
Prepared By:

Consensus Planning, Inc.  
924 Park Avenue SW  
Albuquerque, NM 87102

June 26, 2001

Sheet 3 of 3





**PROPERTY DESCRIPTION**

TRACT "E", LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, LLC AND CURB INC., LANDS AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 19, 2001 IN MAP BOOK 2001C, FOLIO 261.

**TOGETHER WITH**

TRACT "A-2-A" OF THE PLAT OF RIDGEVIEW VILLAGE UNIT 1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2002 IN MAP BOOK 2002C, FOLIO 180.

**PURPOSE**

THE PURPOSE OF THIS PLAT IS TO CREATE ONE NEW TRACT FROM TWO EXISTING TRACTS AND TO DEDICATE NEW RIGHT-OF-WAY.

**NOTES**

1. BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF TRACT E WHICH BEARS N78°43'35"W, AS SUCH LINE IS SHOWN AND DESIGNATED ON THE PLAT OF LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC. AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 18, 2001, BOOK 2001C, PAGE 261. BEARINGS SHOWN HEREON ARE NEW MEXICO STATE PLANE BEARINGS NAD 1927; DISTANCES ARE GROUND DISTANCES.
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  - C) TITLE BINDER PROVED BY LANDAMERICA ALBUQUERQUE TITLE EFFECTIVE DATE SEPTEMBER 14, 2005, COMMITMENT NO.: 6220000196.
4. THERE IS A BLANKET DRAINAGE EASEMENT AND A TEMPORARY DRAINAGE POND EASEMENT ON TRACTS A-2-A AND TRACT E, THESE EASEMENTS ARE DESCRIBED IN THE DRAINAGE EASEMENT AND AGREEMENT DOCUMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON APRIL 21, 2004, IN BOOK A76, PAGE 2524.

**SURVEYORS CERTIFICATION**

I, THOMAS W. PATRICK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND MEETS THE "MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO" AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THOMAS W. PATRICK  
NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651. DATE: 4-25-06



**FREE CONSENT AND DEDICATION**

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY DEDICATE PUBLIC RIGHT-OF-WAY AS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS OF THEIR FREE ACT AND DEED AND WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

John Hamilton Date: 2/21/06  
for: Night Whisper, LP (Contract Purchaser)

**ACKNOWLEDGEMENT**

STATE OF Texas ss  
COUNTY OF Harris

The foregoing instrument was acknowledged before me this 21 day, of February 2006, by John Hamilton for Night Whisper, LP

Notary Public: George I. Rudoff

My Commission Expires: 7/17/06

Robert Kunath, Manager Date: 2-13-06  
Alexander Samuels Realty Group (Owner)

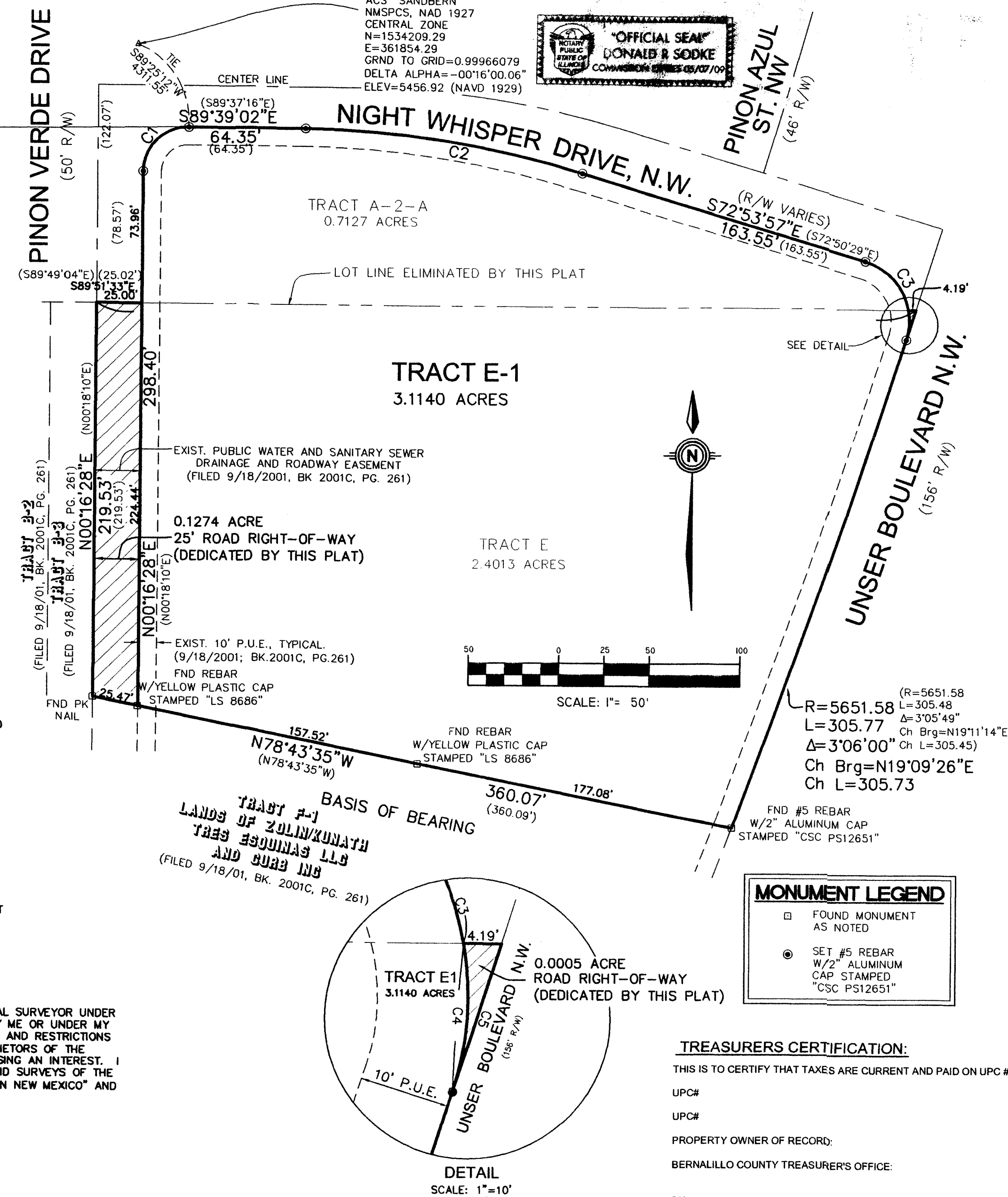
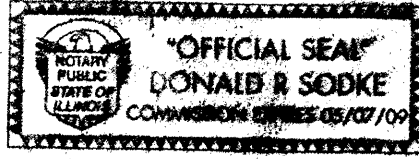
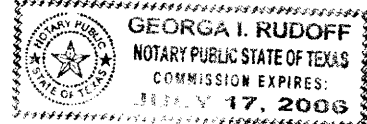
**ACKNOWLEDGEMENT**

STATE OF TX ss  
COUNTY OF EL PASO

The foregoing instrument was acknowledged before me this 13 day, of FEB 2006, by John Hamilton for Night Whisper, LP

Notary Public: Donald N. Sobke

My Commission Expires: 05/07/09



PLAT OF  
**TRACT E-1, LANDS OF ZOLIN/KUNATH,  
TRES ESQUINAS AND CURB INC.**

BEING A REPLAT OF  
TRACT A-2-A, RIDGEVIEW VILLAGE, UNIT 1  
AND TRACT E, LANDS OF ZOLIN/KUNATH,  
TRES ESQUINAS, LLC AND CURB, INC.  
SITUATE WITHIN PROJECTED SECTION 2,  
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM  
TOWN OF ALAMEDA GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
3.1140 ACRES  
JANUARY, 2006

**SITE DATA**

CASE NUMBER: 1391  
FEMA MAP NO.: 1391  
ZONING: A-11-Z  
ZONE ATLAS INDEX: 1391  
MILES OF FULL WIDTH STREET: 0  
NO. OF EXISTING TRACTS: 0  
NO. OF TRACTS CREATED: 1  
NO. OF PARCELS CREATED: 0  
TOTAL AREA: 3.1140 ACRES +/-  
ACREAGE OF DEDICATED RIGHT-OF-WAY: 0.1279 ACRES +/-  
S.P. TALOS LOG: 2005551021

**PRELIMINARY PLAT**  
**APPROVED BY DRB**  
ON 6/01/06

**PLAT APPROVAL:**

- Utility Approvals:
- PNM GAS AND ELECTRIC SERVICES: Leon D. Mart DATE: 3-3-06
- QWEST TELECOMMUNICATIONS: Scott Crabtree DATE: 3/3/06
- COMCAST: John Barber DATE: 2-27-06
- NEW MEXICO UTILITIES: [Signature] DATE: 3-3-06
- City Approvals:
- CITY SURVEYOR: [Signature] DATE: 4-25-06

- TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
- UTILITIES DEVELOPMENT DATE
- PARKS AND RECREATION DEPARTMENT DATE
- AMAFCA DATE
- CITY ENGINEER DATE
- DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.30'	90°04'30"	N45°18'43"E	35.38'
	(25.00')	(39.31')	(90°05'19")	(N45°20'04"E)	(35.38')
C2	530.00'	155.38'	16°47'52"	S81°05'00"E	154.83'
	(530.00')	(155.22')	(16°46'47")	(S81°13'53"E)	(154.66')
C3	35.00'	38.36'	62°47'22"	S41°19'41"E	36.47'
	(35.00')	(38.44')	(62°55'19")	(S41°22'50"E)	(36.53')
C4	35.00'	16.93'	27°43'06"	N03°55'34"E	16.77'
C5	4492.28'	17.55'	0°13'26"	N17°42'30"E	17.55'

**MONUMENT LEGEND**

- FOUND MONUMENT AS NOTED
- SET #5 REBAR W/2" ALUMINUM CAP STAMPED "CSC PS12651"

**TREASURERS CERTIFICATION:**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #s:

UPC# \_\_\_\_\_

UPC# \_\_\_\_\_

PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE: \_\_\_\_\_

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PLAT  
TRACT E-1, LANDS OF ZOLIN/KUNATH,  
TRES ESQUINAS AND CURB INC.

DWG PATH: F:\N742-02(FEHR GROSSMAN)\02-001-201\SURVEY\PRELIMPLAT.DWG

DATE: 11/28/05

SCALE: 1" = 50'

CREW: \_\_\_\_\_

DRAWN: SLN/JEG

JOB NO: N742-02-001-201

LAND PLANNING P.O. Box 1328

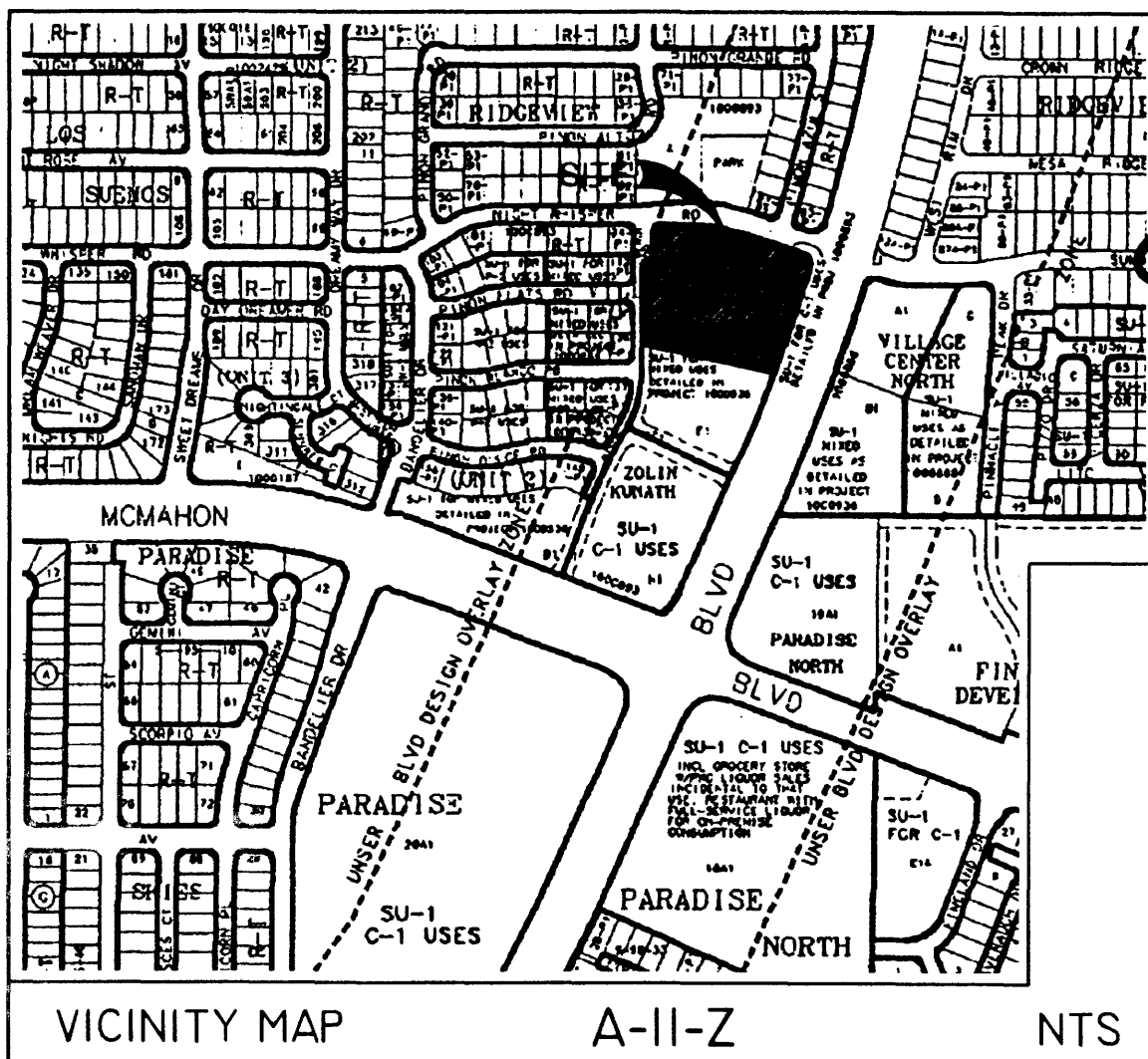
ENGINEERING Corrales, N.M. 87048

SHEET 1 OF 1

community sciences corporation



COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO (505) 897-0000



PROPERTY DESCRIPTION: lary Herrera Bern. Co. PLAT R 7.08

TRACT "E", LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, LLC AND CURB INC., LANDS AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 19, 2001 IN MAP BOOK 2001C, FOLIO 261.

TOGETHER WITH

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THOMAS W. PATRICK NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651. DATE: 6/23/06

FREE CONSENT AND DEDICATION

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John Hamilton for: Night Whisper, LP (Contract Purchaser)

ACKNOWLEDGEMENT

STATE OF TEXAS COUNTY OF HARRIS The foregoing instrument was acknowledged before me this 21 day, of February 2006, by John Hamilton for Night Whisper, LP

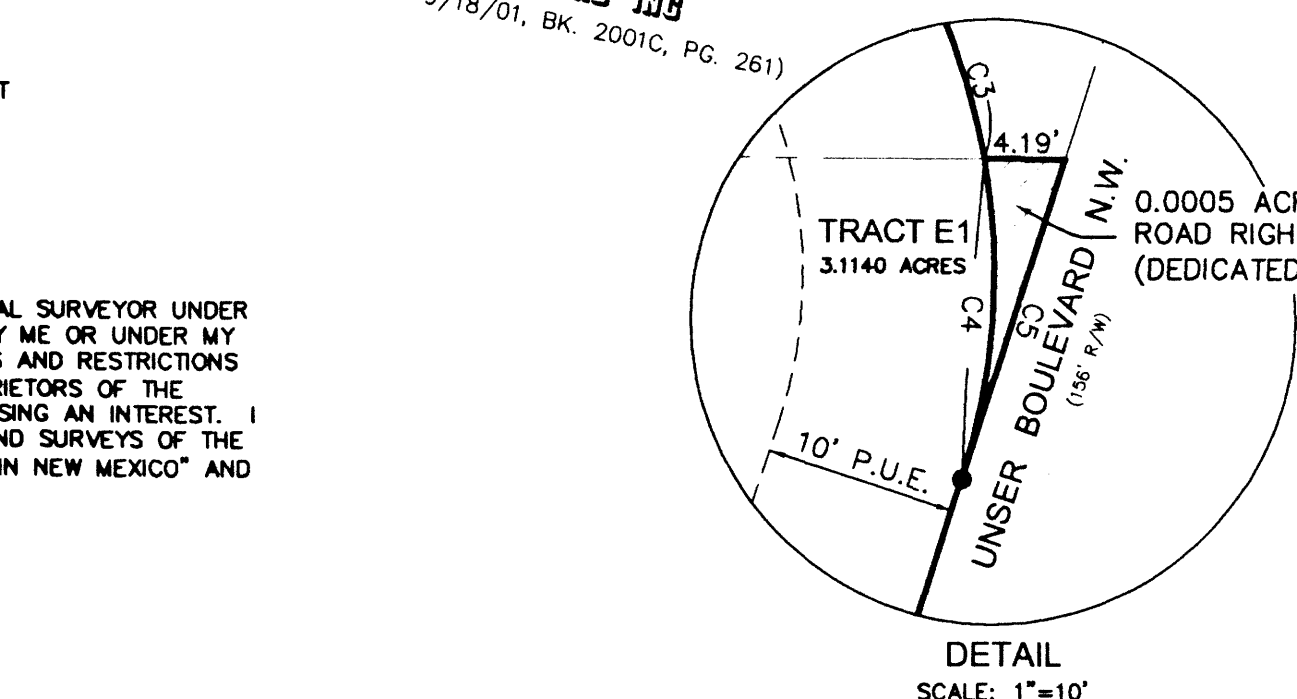
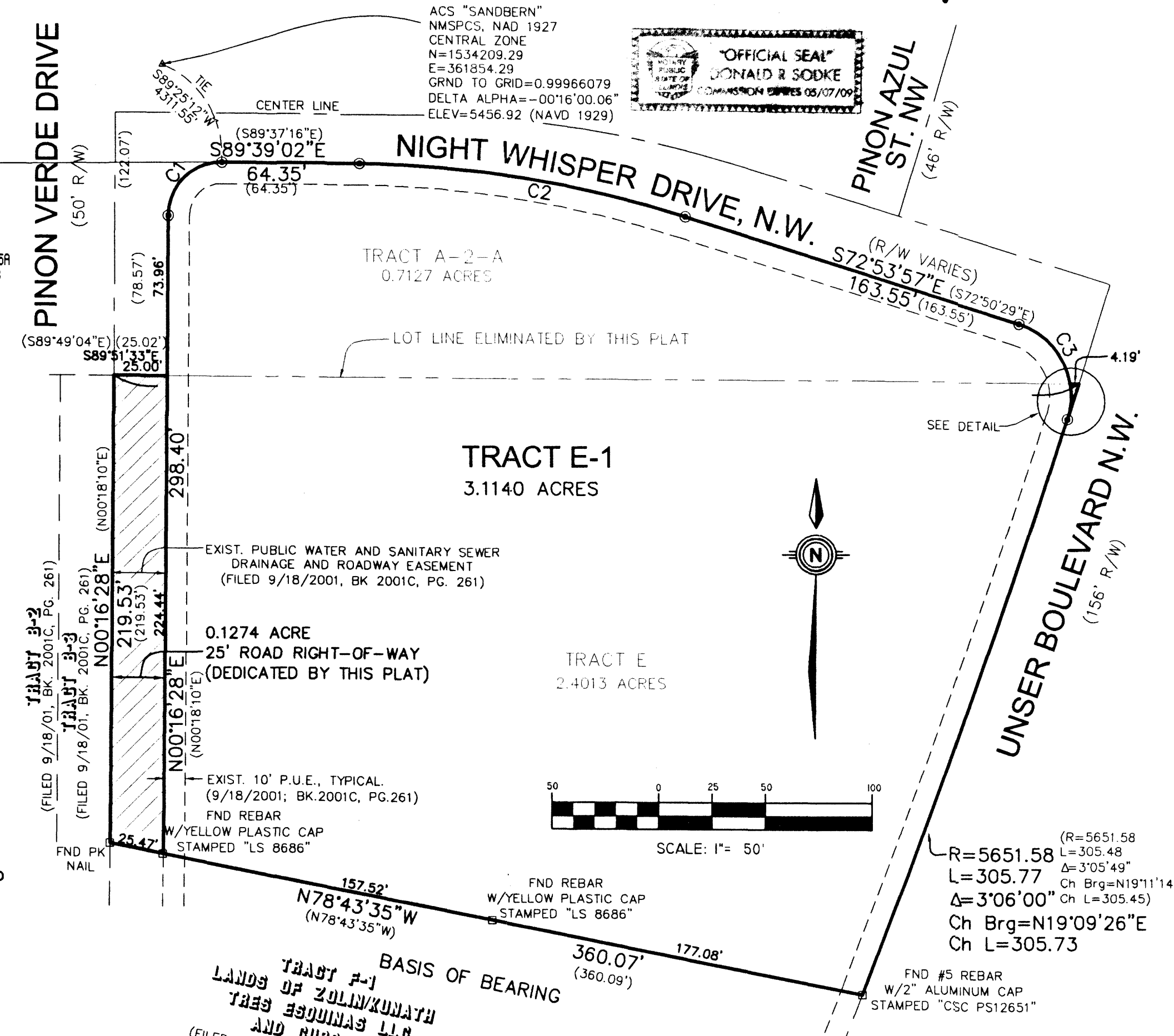
My Commission Expires: 7/17/06

Robert Kunath, Manager Alexander Samuels Realty Group (Owner)

ACKNOWLEDGEMENT

STATE OF ARIZONA COUNTY OF MARICOPA The foregoing instrument was acknowledged before me this 13 day, of Feb 2006, by John Hamilton for Night Whisper, LP

My Commission Expires: 05/07/09



MONUMENT LEGEND: FOUND MONUMENT AS NOTED, SET #5 REBAR W/2" ALUMINUM CAP STAMPED "CSC P512651"

TREASURERS CERTIFICATION:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #S: UPC# 245411 is, UPC# 1-011-000-350-454-10530. PROPERTY OWNER OF RECORD: Alexander Samuel S. Samuels, BERNALILLO COUNTY TREASURER'S OFFICE. BY: P. Rodriguez 6/23/06 DATE

PLAT OF TRACT E-1, LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC.

BEING A REPLAT OF TRACT A-2-A, RIDGEVIEW VILLAGE, UNIT 1 AND TRACT E, LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, LLC AND CURB, INC. SITUATE WITHIN PROJECTED SECTION 2, TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO 3.1140 ACRES JANUARY, 2006

SITE DATA

Table with columns: CASE NUMBERS, FEMTA MAP NO., ZONING, ZONE ATLAS INDEX, MILES OF FULL WIDTH STREETS CREATED, NO. OF EXISTING TRACTS, NO. OF TRACTS CREATED, NO. OF PARCELS CREATED, TOTAL AREA, ACREAGE OF DEDICATED RIGHT-OF-WAY, S.P. TALOS LOG.

PLAT APPROVAL: Project # 1004676 App # 06 DRB-00745

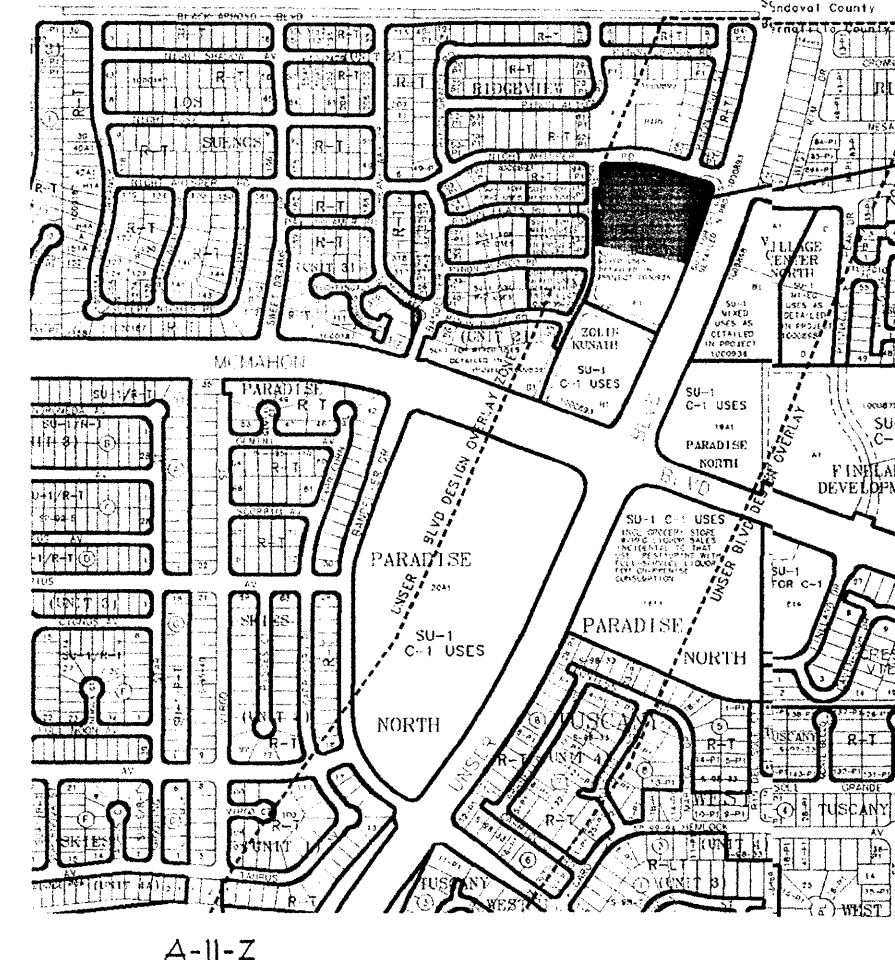
Utility Approvals:

- Lenal D. Mart 3-3-06
PNM GAS AND ELECTRIC SERVICES: DATE
West Telecommunications: DATE
COMCAST: DATE
NEW MEXICO UTILITIES: DATE
City Approvals: M. B. Hall 4-25-06
CITY SURVEYOR
DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION: DATE
Utilities Development: DATE
Parks and Recreation Department: DATE
AMAFCA: DATE
CITY ENGINEER: DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT: DATE

CURVE TABLE with columns: CURVE, RADIUS, LENGTH, DELTA, CHORD BEARING, CHORD LENGTH. Lists curves C1 through C5 with their respective measurements.

PLAT TRACT E-1, LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC. community sciences corporation SHEET 1 OF 1. Includes drawing and job numbers.





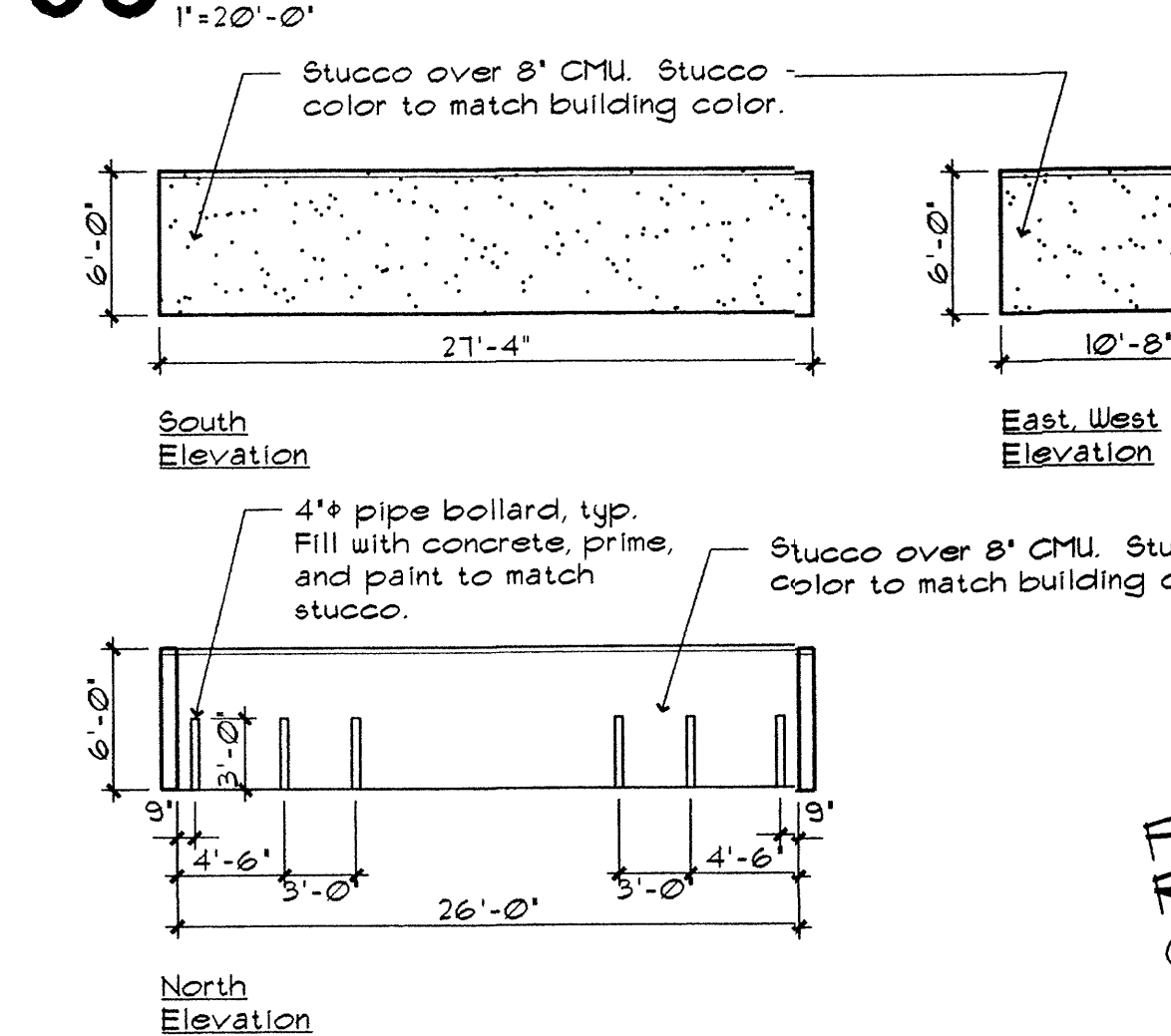
**EASEMENT NOTE:**

There is a Blanket Drainage Easement and a Temporary Drainage Pond Easement on Tracts A-2-A and Tract E. These Easements are described in the Drainage Easement and Agreement Document filed in the Office of the County Clerk of Bernalillo County on April 21, 2004, in Book 476, Page 2524.

**01 Vicinity Map**

- No Scale
- The location of the lighting fixture together with its cut-off angle shall be such that it does not directly shine on any public right-of-way or any other residential premises.
  - Area lighting shall not have an off-site luminance greater than 1,000 footcandle; it shall not have an off-site luminance greater than 200 footcandle measured from any private property in a residential zone.
  - All lighting shall comply with the Night Sky Protection Act.
  - Wall mounted light fixtures at backs of buildings to be shielded and dark sky compliant. Re: Elevations.
  - Undercanopy pendant fixtures at building front canopies, typ.
  - Site light fixture schedule:
    - A 16' light pole, metal halide lamp in dark sky compliant fixture.
    - B 20' light pole, metal halide lamp in dark sky compliant fixture.
    - C Architectural lowered light fixture mounted on concrete bollard.

**06 General Site Lighting Notes**



**10 Dumpster Enclosure Elevations**

- 1/8"=1'-0"
- Bicycle rack: 5 bicycle capacity. 'The Original Ribbon Rack' or eq. Galv. stl, paint to match standing seam metal roof. Inground anchor mount.
  - Bench: Gardenside, Ltd. #2310 'Avalon' bench. 5' wide, teak. Mount to sidewalk with (4) brass anchors, #3030.

**15 Keyed Notes**

**PARKING CALCULATIONS**  
 Total SF leasable = 27,892 SF  
 Parking Spaces Required (1 space/200 SF leasable) = 140  
 Parking Spaces Provided = 140

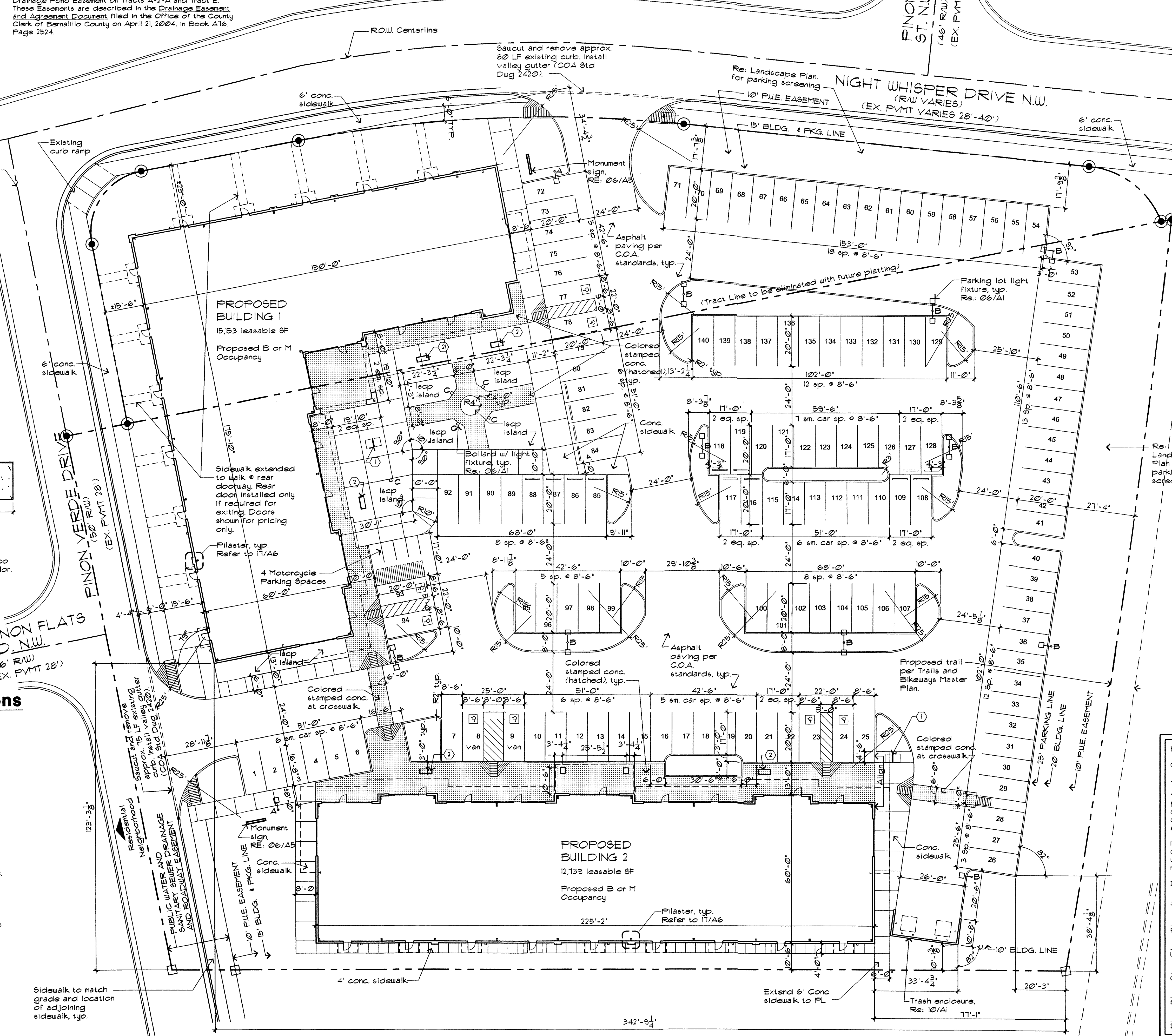
Small Car Spaces Allowed (25% total) = 35  
 Small Car Spaces Provided = 23  
 Small Car Spaces will have painted, COMPACT ONLY, on surface.  
 Total H.C. Parking Spaces Required = 8  
 H.C. Parking Spaces Provided = 8  
 H.C. Van Parking Spaces Required = 1  
 H.C. Van Parking Spaces Provided = 2

Bicycle Parking Required (1 rack space/20 parking spaces) = 8  
 Bicycle Rack Spaces Provided = 10

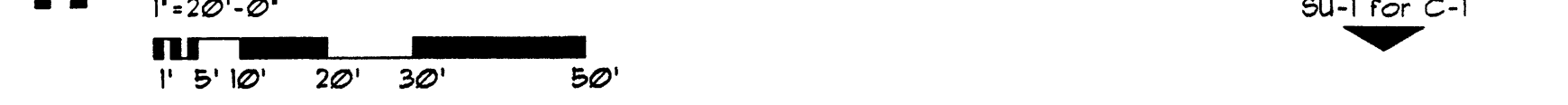
Motorcycle Parking Spaces Provided = 4

**LEGEND**  
 colored (brown) stamped concrete  
 - - - - - property line  
 - - - - - easement or setback line

**16 General Notes**



**17 Site Development Plan for Building Permit**



**Village Center**  
**Unser Blvd. and Night Whisper Dr.**  
 Albuquerque, New Mexico

**FEHR GROSSMAN COX**  
 Architects, Inc.  
 7400 Fannin, Suite 950 Houston, Texas 77054  
 (713)797-0404 Fax (713)797-0740

Copyright © 2005 Fehr Grossman Cox Architects, Inc. All drawings and specifications, ideas and designs appearing herein constitute the original and unpublished work of the Firm, and the same may not be duplicated, used, or disclosed other than for the purpose of the original contract without the express written consent of the Firm.

**BUILDING CRITERIA**

Project: Village Center North at Unser Blvd. and Night Whisper Dr.  
 Tract A-2-A, Ridgeview Villages, Unit 1, and Tract E of Zolink/Kanath, Tres Esquinas, LLC, and Curb, Inc. City of Albuquerque  
 Zoning: Tract A-2-A: SU-1 for C-1  
 Tract E: SU-1 for Mixed use (C-1 uses)  
 Zoning Atlas Map: A-11-2  
 Occupancy Group: B or M  
 Construction Type: IIB  
 Gross SF:  
 Building 1 = 15,520 GSF  
 Building 2 = 12,033 GSF  
 Total Gross SF = 28,553 GSF  
 Net Leasable SF:  
 Building 1 = 15,131 SF  
 Building 2 = 12,139 SF  
 Total Leasable SF = 27,270 SF  
 Required Parking:  
 1 space/200 SF Leasable = 140 spaces, 8 accessible  
 1 bicycle space/20 car provided parking:  
 140 spaces, 8 accessible  
 8 bicycle spaces  
 Required Landscaping:  
 1797 SF (15%)  
 Provided Landscaping:  
 29,356 SF (25%)

Project Number: EPC# 1004676  
 Case Number: EPC# 06-00142  
 Application Number: 06DRB-00145, 00146

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure list required?  
 (x) Yes ( ) No If yes, then a set of approved DRP plans with a work order is required for any work within public right-of-way or for construction of public improvements.

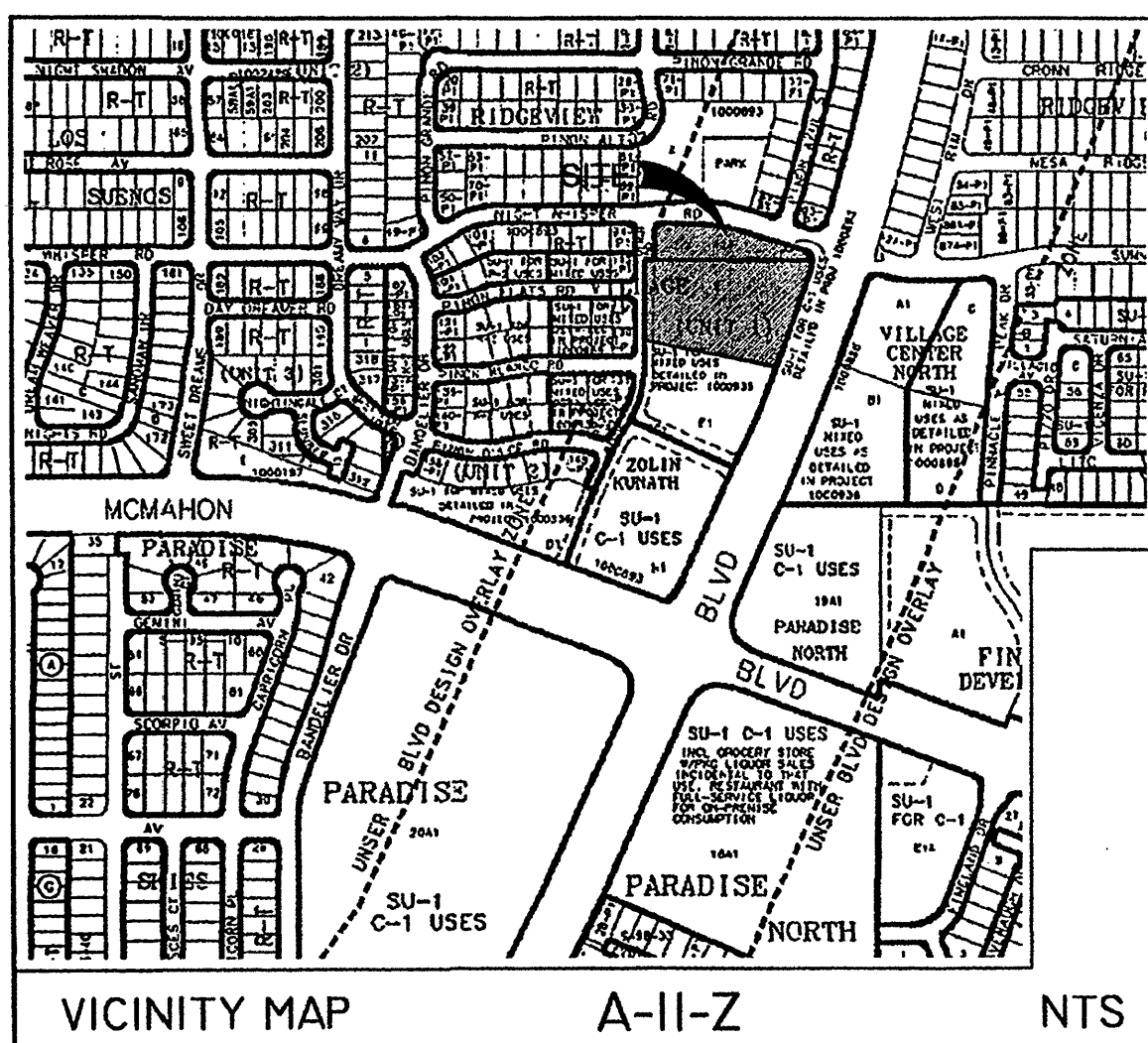
DRB Site Development Plan approval:

Traffic Engineering, Transportation Division	Date
Parks & Recreation Department	Date
Utilities Development	Date
City Engineer, Engineering Division/AMA/CA	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

Revisions per DRB Comments 6/21/06



COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



**PROPERTY DESCRIPTION**

TRACT "E", LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, LLC AND CURB INC., LANDS AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 19, 2001 IN MAP BOOK 2001C, FOLIO 261.

TOGETHER WITH TRACT "A-2-A" OF THE PLAT OF RIDGEVIEW VILLAGE UNIT 1 AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2002 IN MAP BOOK 2002C, FOLIO 180.

**PURPOSE**

THE PURPOSE OF THIS PLAT IS TO CREATE ONE NEW TRACT FROM TWO EXISTING TRACTS AND TO DEDICATE NEW RIGHT-OF-WAY.

**NOTES**

- BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF TRACT E WHICH BEARS N78°43'35"W, AS SUCH LINE IS SHOWN AND DESIGNATED ON THE PLAT OF LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC. AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 18, 2001, BOOK 2001C, PAGE 261.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ( ) ARE PER THE PLAT OF RIDGEVIEW VILLAGE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2002 IN MAP BOOK 2002C, FOLIO 180, AND LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC. FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 18, 2001, BOOK 2001C, PAGE 261.
- DOCUMENTS USED
  - THE PLAT OF RIDGEVIEW VILLAGE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2002 IN MAP BOOK 2002C, FOLIO 180.
  - THE PLAT OF LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC. FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 18, 2001, BOOK 2001C, PAGE 261.
  - TITLE BINDER PROVIDED BY LANDAMERICA ALBUQUERQUE TITLE EFFECTIVE DATE SEPTEMBER 14, 2005, COMMITMENT NO. 622000196.
- THERE IS A BLANKET DRAINAGE EASEMENT AND A TEMPORARY DRAINAGE POND EASEMENT ON TRACTS A-2-A AND TRACT E. THESE EASEMENTS ARE DESCRIBED IN THE DRAINAGE EASEMENT AND AGREEMENT DOCUMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON APRIL 21, 2004, IN BOOK A76, PAGE 2524.

**SURVEYORS CERTIFICATION**

I, THOMAS W. PATRICK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND MEETS THE "MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO" AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THOMAS W. PATRICK  
NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651. DATE \_\_\_\_\_

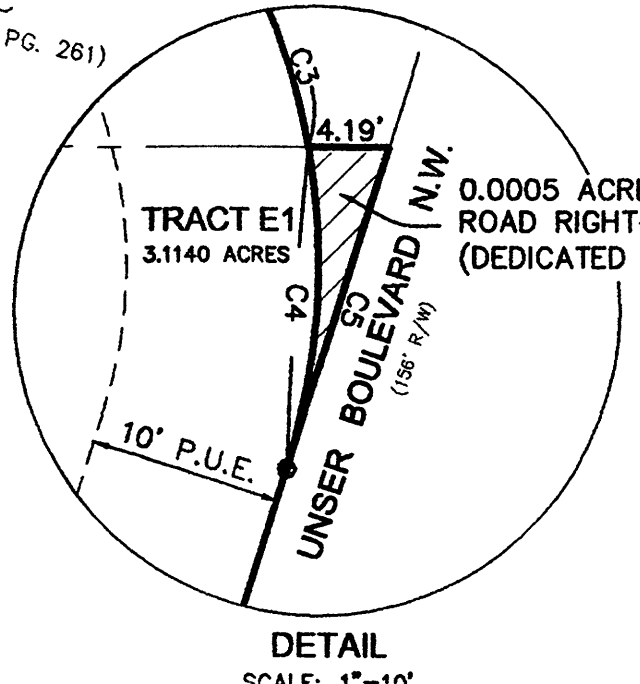
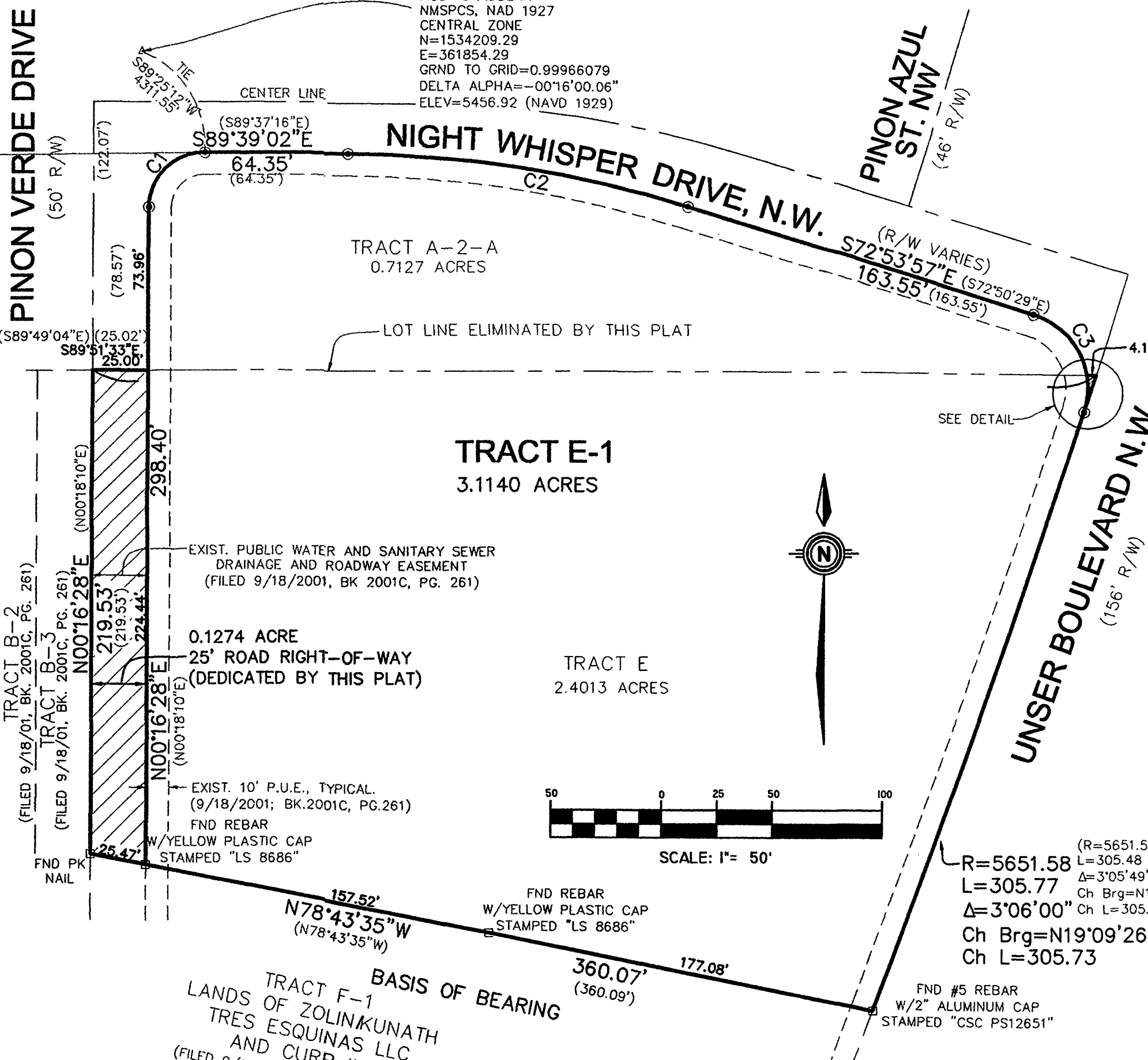
**FREE CONSENT AND DEDICATION**

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY DEDICATE PUBLIC RIGHT-OF-WAY AS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS OF THEIR FREE ACT AND DEED AND WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

John Hamilton for: Night Whisper, LP (Contract Purchaser) Date \_\_\_\_\_  
**ACKNOWLEDGEMENT** } ss  
 STATE OF \_\_\_\_\_  
 COUNTY OF \_\_\_\_\_  
 The foregoing instrument was acknowledged before me this \_\_\_\_\_ day, of \_\_\_\_\_ 2006, by John Hamilton for Night Whisper, LP  
 Notary Public \_\_\_\_\_

Robert Kunath, Manager Alexander Samuels Realty Group (Owner) Date \_\_\_\_\_  
**ACKNOWLEDGEMENT** } ss  
 STATE OF \_\_\_\_\_  
 COUNTY OF \_\_\_\_\_  
 The foregoing instrument was acknowledged before me this \_\_\_\_\_ day, of \_\_\_\_\_ 2006, by John Hamilton for Night Whisper, LP  
 Notary Public \_\_\_\_\_

My Commission Expires: / / My Commission Expires: / /



**MONUMENT LEGEND**

- FOUND MONUMENT AS NOTED
- SET #5 REBAR W/2" ALUMINUM CAP STAMPED "CSC PS12651"

**TREASURERS CERTIFICATION:**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #s:  
 UPC# \_\_\_\_\_  
 UPC# \_\_\_\_\_  
 PROPERTY OWNER OF RECORD:  
 BERNALILLO COUNTY TREASURER'S OFFICE:  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PLAT OF  
**TRACT E-1, LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC.**

BEING A REPLAT OF TRACT A-2-A, RIDGEVIEW VILLAGE, UNIT 1 AND TRACT E, LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, LLC AND CURB INC. SITUATE WITHIN PROJECTED SECTION 2, TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO 3.1140 ACRES JANUARY, 2006

**SITE DATA**

CASE NUMBERS	
FEMA MAP NO.	35001C0104E
ZONING	X
ZONE ATLAS INDEX	A-11-Z
MILES OF FULL WIDTH STREETS CREATED	0 MILES
NO. OF EXISTING TRACTS	2
NO. OF TRACTS CREATED	1
NO. OF PARCELS CREATED	0
TOTAL AREA	3.1140 ACRES +/-
ACREAGE OF DEDICATED RIGHT-OF-WAY	0.1279 ACRES +/-
S.P. TALOS LOG	2005531021

**PLAT APPROVAL:**

Utility Approvals:

PNM GAS AND ELECTRIC SERVICES:	DATE
QWEST TELECOMMUNICATIONS:	DATE
COMCAST:	DATE
NEW MEXIC UTILITIES	DATE

City Approvals:

CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**CURVE TABLE**

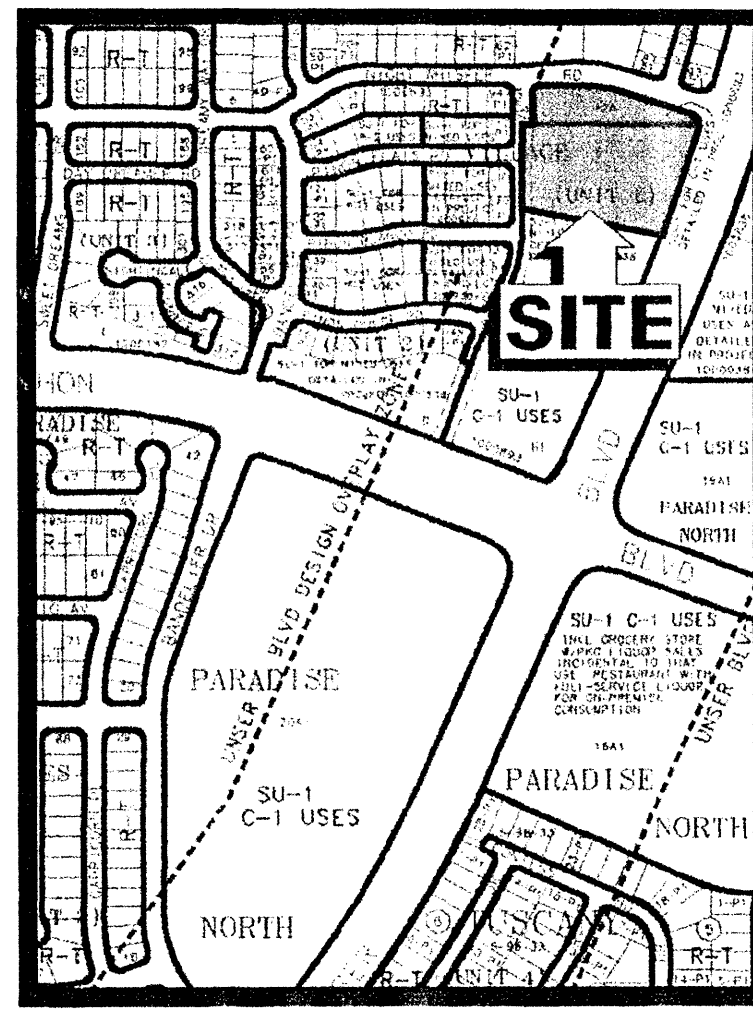
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.30'	90°04'30"	N45°18'43"E	35.38'
(25.00')	(39.31')	(39.31')	(90°05'19")	(N45°20'04"E)	(35.38')
C2	530.00'	155.38'	16°47'52"	S81°05'00"E	154.83'
(530.00')	(155.22')	(155.22')	(16°46'47")	(S81°13'53"E)	(154.66')
C3	35.00'	38.36'	62°47'22"	S41°19'41"E	36.47'
(35.00')	(38.44')	(38.44')	(62°55'19")	(S41°22'50"E)	(36.53')
C4	35.00'	16.93'	27°43'06"	N03°55'34"E	16.77'
C5	4492.28'	17.55'	0°13'26"	N17°42'30"E	17.55'

**PLAT (EXHIBIT)**

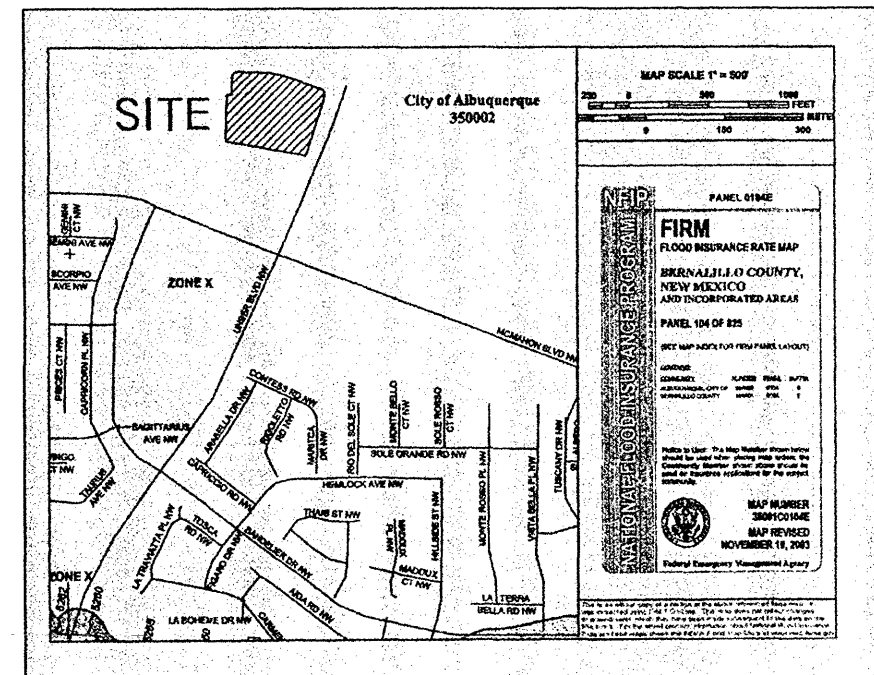
TRACT E-1, LANDS OF ZOLIN/KUNATH, TRES ESQUINAS AND CURB INC.

DWG PATH: F:\N742-02\FEHR_GROSSMAN\02-001-201\SURVEY\PRELIM\PLAT.DWG	community sciences corporation	SHEET 1 OF 1
DATE: 11/28/05		
SCALE: 1" = 50'	LAND PLANNING P.O. Box 1326	ENGINEERING Corrales, N.M. 87048
CREW: SI N/JEG		
DRAWN: SI N/JEG	DATE: _____	
JOB NO: N742-02-001-20		





VICINITY MAP A-II-Z NTS



**GENERAL NOTES:**

- A) CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER (AT 897-0000) OF ANY CONFLICTS OR DISCREPANCIES DISCOVERED IN THE FIELD.
- B) THE IMPROVEMENTS AS SHOWN ON THESE PLANS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, UPDATE 7.

**UTILITY NOTES:**

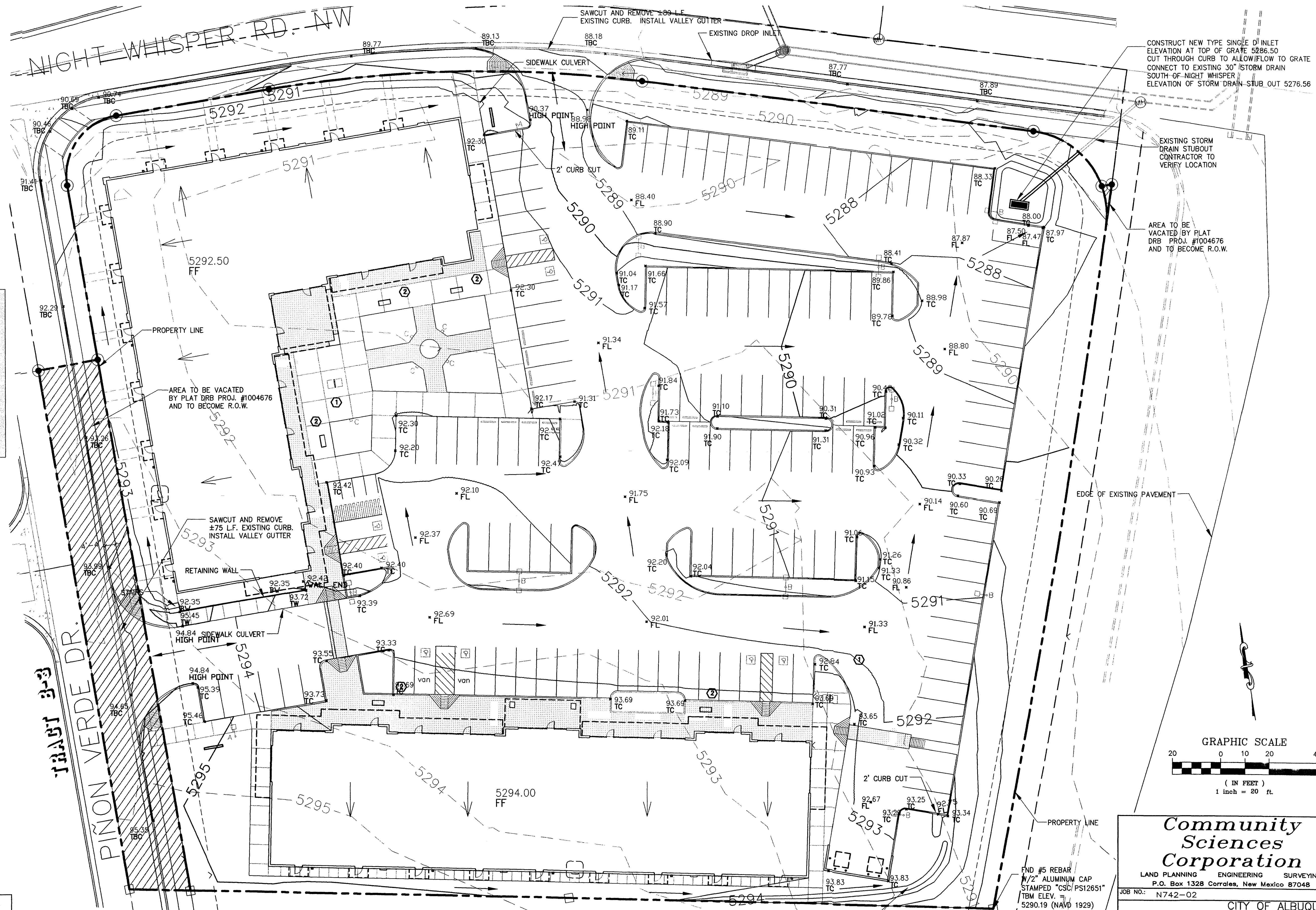
IF ANY UTILITY LINES OR PIPELINES (ABOVE OR BELOW GROUND) ARE DEPICTED HEREON, THEY ARE DEPICTED APPROXIMATELY AND ARE NOT TO BE RELIED UPON FOR EXACT LOCATION. FURTHERMORE, EXISTING LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE DEPICTED HEREON, THEIR LOCATIONS ARE BASED ON INFORMATION PROVIDED BY RESPECTIVE UTILITY AND/OR PIPELINE COMPANIES, THE OWNER, OR OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITIES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE WORK AREA IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS OR HER FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. THE CONTRACTOR IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF SUCH LINES, IN THE PLANNING OF AND CONDUCTING EXCAVATION.

**CALL BEFORE YOU DIG!**

STATEWIDE  
1-800-321-2537

ALBUQUERQUE  
260-1990



HYDROLOGY RIDGEVIEW VILLAGE				
100 YEAR-6 HOUR STORM (AHYMO)				
P60=1.87"	P360=2.2"	P1440=2.66"		
DA = 32,429 SF	TC = 12 MINUTES			
LAND TREATMENT TYPES	A	B	C	D
EXISTING CONDITIONS(SF)	140,601	8,740	0	0
DEVELOPED CONDITIONS(SF)	0	24,255	0	125,086
DRAINAGE BASIN (149,341 s.f.)				
EXISTING CONDITIONS	Q=4.59 CFS	V=.129 AC-FT		
DEVELOPED CONDITIONS	Q=13.71 CFS	V=.502 AC-FT		
NOTE: DEVELOPED CONDITIONS ARE BASED UPON FINAL BUILD-OUT				

**LEGEND**

	ROOF FLOW ARROWS
	FLOW ARROWS
	PROPERTY LINE/ RIGHT-OF-WAY LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	CURB & GUTTER

**SITE DESCRIPTION:**

THE SITE IS CURRENTLY UNDEVELOPED AND CONSISTS OF SPARSE NATIVE VEGETATION. THE NORTH AND WEST IS BOUNDED BY PAVED STREETS WITH CURB & GUTTER, BUT NO SIDEWALK. UNSER BOULEVARD, TO THE EAST, CURRENTLY HAS NO CURB & GUTTER ADJACENT TO THE SITE. TO THE SOUTH IS ANOTHER UNDEVELOPED TRACT; HOWEVER THERE IS A DEVELOPMENT CURRENTLY PROPOSED FOR THIS TRACT. THE SITE AND SURROUNDING TRACTS SLOPE TO THE EAST WITH MODERATE SLOPES. THE ADJACENT STREETS SLOPE GRADUALLY TO THE NORTH AND EAST. THERE IS NO OFFSITE RUNOFF THAT ENTERS THIS SITE.

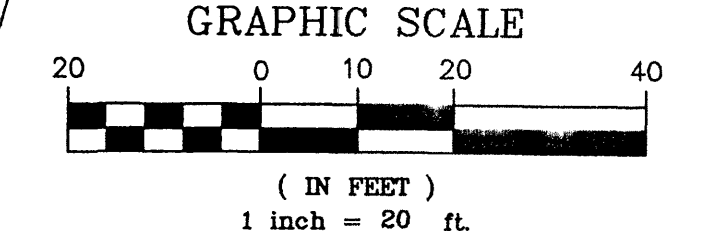
**GRADING PLAN  
VILLAGE CENTER  
UNSER BLVD. AND  
NIGHT WHISPER DR.**

SITUATE WITHIN PROJECTED SECTION 2, TOWNSHIP 11 NORTH, RANGE 2 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO DECEMBER 2005

CONSTRUCT NEW TYPE SINGLE D INLET ELEVATION AT TOP OF GRATE 5286.50 CUT THROUGH CURB TO ALLOW FLOW TO GRATE CONNECT TO EXISTING 30" STORM DRAIN SOUTH OF NIGHT WHISPER ELEVATION OF STORM DRAIN STUB OUT 5276.56

EXISTING STORM DRAIN STUBOUT CONTRACTOR TO VERIFY LOCATION

AREA TO BE VACATED BY PLAT DRB PROJ. #1004676 AND TO BECOME R.O.W.



**Community Sciences Corporation**  
LAND PLANNING ENGINEERING SURVEYING  
P.O. Box 1328 Corrales, New Mexico 87048

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: VILLAGE CENTER SITE DEVELOPMENT PLAN FOR BUILDING PERMIT	
Design Review Committee	City Engineer Approval
Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.
	Sheet 3 of 8

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAGED BY	DATE
INSPECTOR'S NAME	DATE
FIELD CHECKED BY	DATE
PLANNING BY	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
ELEV. (NAVD 1929) 5456.92 (2ND ORD.)	

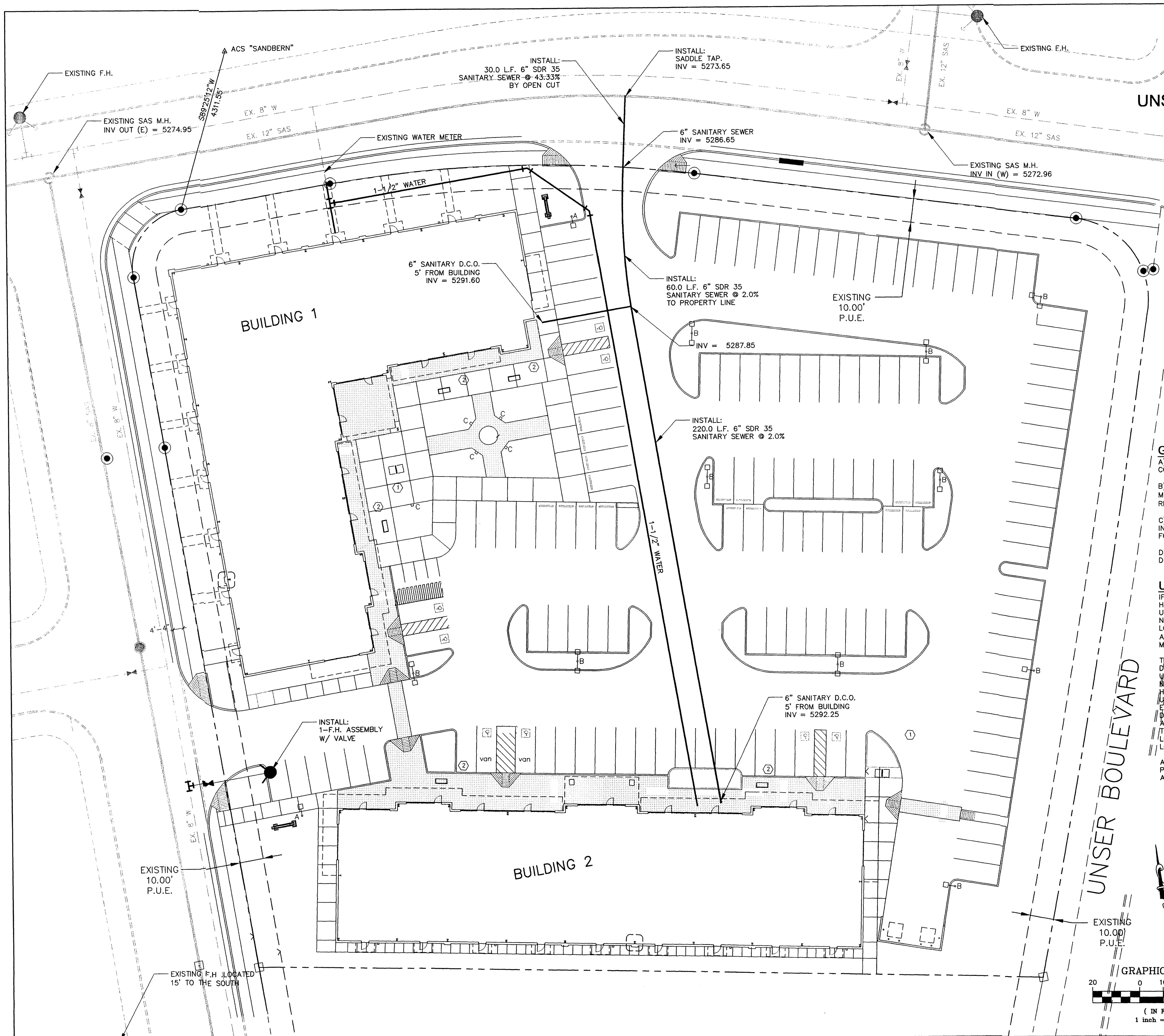
  

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL	
DATE	BY
REVISIONS	DESIGN
NO.	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE





# UTILITY PLAN

## VILLAGE CENTER

### UNSER BLVD. AND NIGHT WHISPER DR.

SITUATE WITHIN PROJECTED SECTION 2,  
TOWNSHIP 11 NORTH, RANGE 2 EAST  
OF THE NEW MEXICO PRINCIPAL MERIDIAN,  
BERNALILLO COUNTY, NEW MEXICO  
MAY 2006

#### GENERAL NOTES:

- A) CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER (AT 897-0000) OF ANY CONFLICTS OR DISCREPANCIES DISCOVERED IN THE FIELD.
- B) ALL UTILITY WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW MEXICO UTILITY SPECIFICATIONS FOR WATER AND WASTEWATER FACILITIES (MOST RECENT REVISIONS).
- C) THE IMPROVEMENTS AS SHOWN ON THESE PLANS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, UPDATE 7.
- D) CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES (898-2661) 3 WORKING DAYS PRIOR TO BEGINNING THE CONSTRUCTION OF THE UTILITIES.

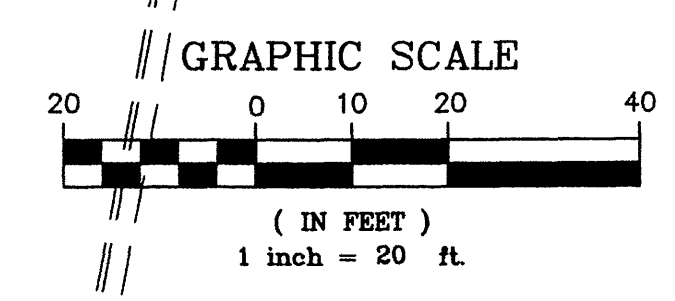
#### UTILITY NOTES:

IF ANY UTILITY LINES OR PIPELINES (ABOVE OR BELOW GROUND) ARE DEPICTED HEREON, THEY ARE DEPICTED APPROXIMATELY AND ARE NOT TO BE RELIED UPON FOR EXACT LOCATION. FURTHERMORE, EXISTING LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE DEPICTED HEREON, THEIR LOCATIONS ARE BASED ON INFORMATION PROVIDED BY RESPECTIVE UTILITY AND/OR PIPELINE COMPANIES, THE OWNER, OR OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITIES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE WORK AREA IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS OR HER FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. THE CONTRACTOR IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF SUCH LINES, IN THE PLANNING OF AND CONDUCTING EXCAVATION.

A SEPARATE IRRIGATION LINE WILL BE REQUIRED FOR ALL SITE LANDSCAPE. POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

UNSER BOULEVARD



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	DATE	DATE
CONTRACTOR		ACS STATION "SANDBERN"					
INSPECTOR'S		NAD 1927 NMSP C					
FIELD		X=361854.29					
VERIFICATION		NAD 1983 NMSP C CORPSCON					
BY		X=1502101.6571					
DATE		CONVERGENCE 16' 01.4" (1983)					
DATE		COMB SCALE FACTOR = 0.999966079					
DATE		ELEV. (NAVD 1929) 5456.92 (2ND ORD.)					

**Community Sciences Corporation**  
LAND PLANNING ENGINEERING SURVEYING  
P.O. Box 1328 Corrales, New Mexico 87048

JOB NO.: N742-02

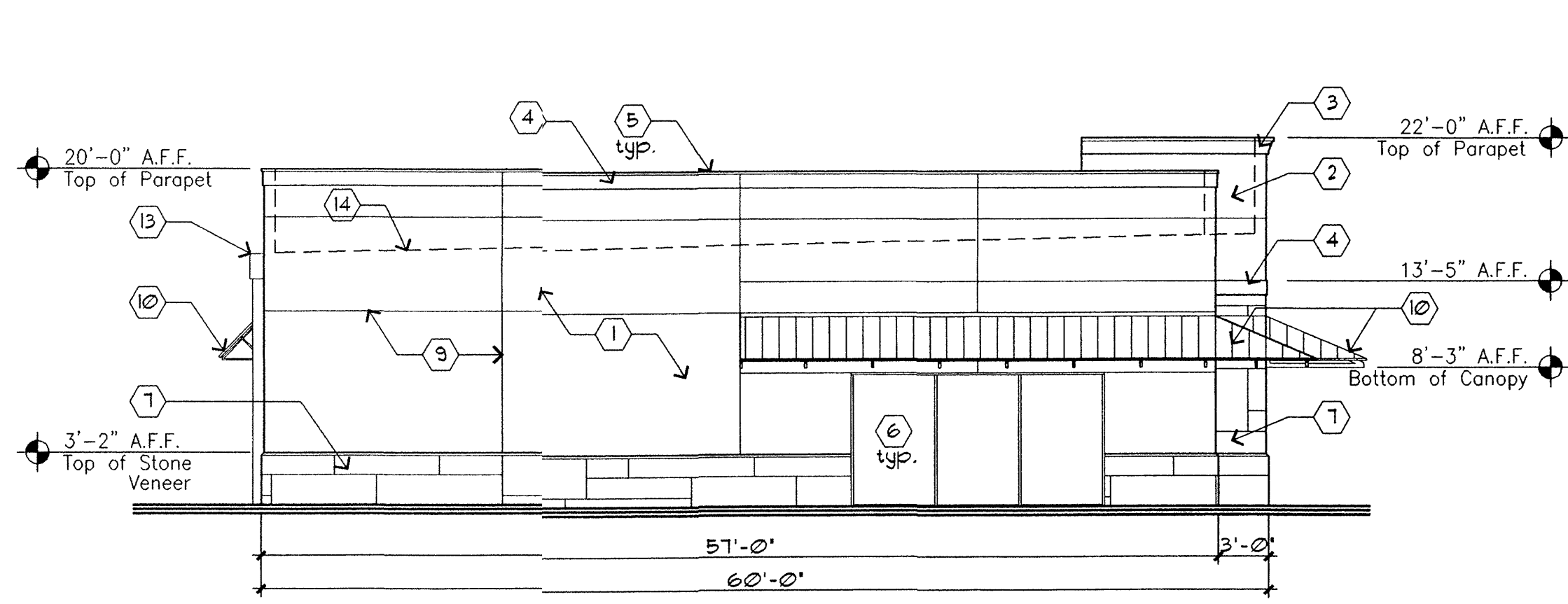
CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

TITLE:  
VILLAGE CENTER  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr

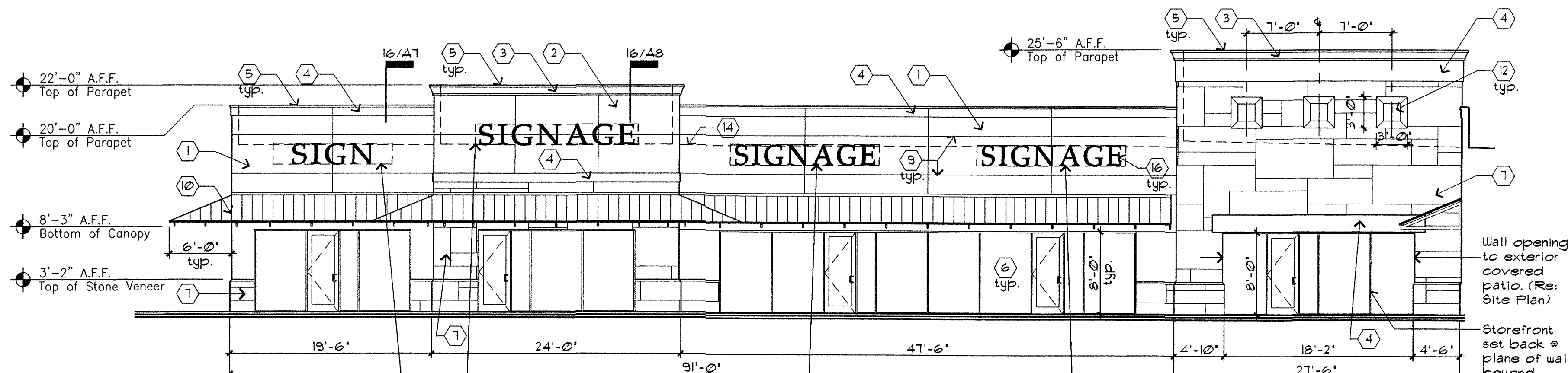
City Project No. \_\_\_\_\_ Zone Map No. A-11-Z Sheet 4 of 8





**01 Building 1 - South Elevation**

1/8"=1'-0"



**03 Building 1 - East Elevation**

1/8"=1'-0"

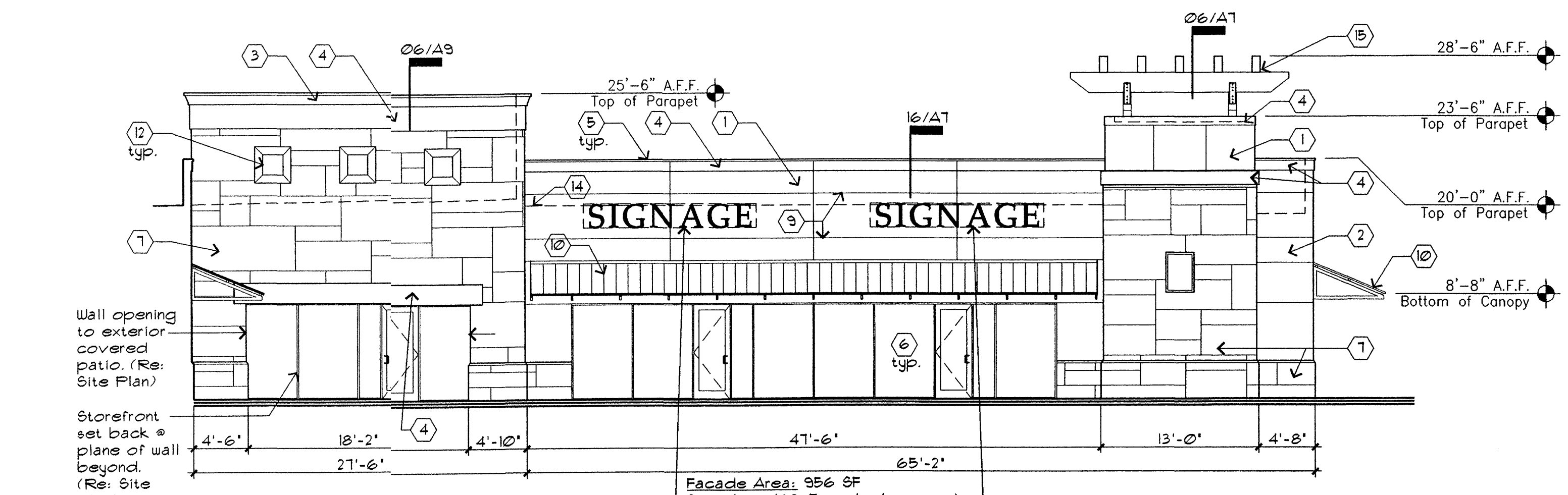
Facade Area: 390 SF  
Sign Area (6% Facade Area max.) = 23 SF = 2'-0" h. x 11'-6" w.  
Internally illuminated channel letters. Font: Palatino.

Facade Area: 522 SF  
Sign Area (6% Facade Area max.) = 31 SF = 2'-0" h. x 15'-6" w.  
Internally illuminated channel letters. Font: Palatino.

Facade Area: 956 SF  
Sign Area (6% Facade Area max.) = 57 SF  
= 2 signs @ 2'-0" h. x 14'-3" w.  
Internally illuminated channel letters. Font: Palatino.

Wall opening to exterior covered patio. (Re: Site Plan)

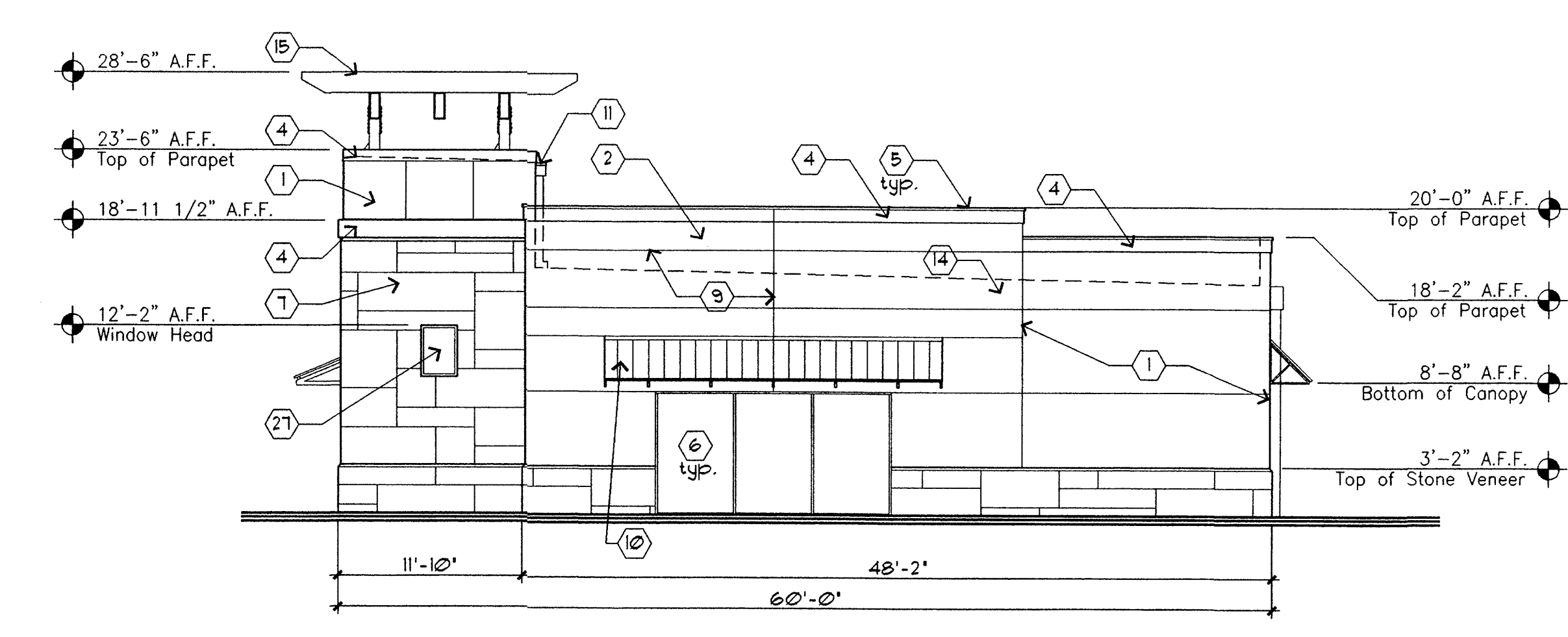
Storefront set back @ plane of wall beyond. (Re: Site Plan)



**06 Building 1 - South Elevation**

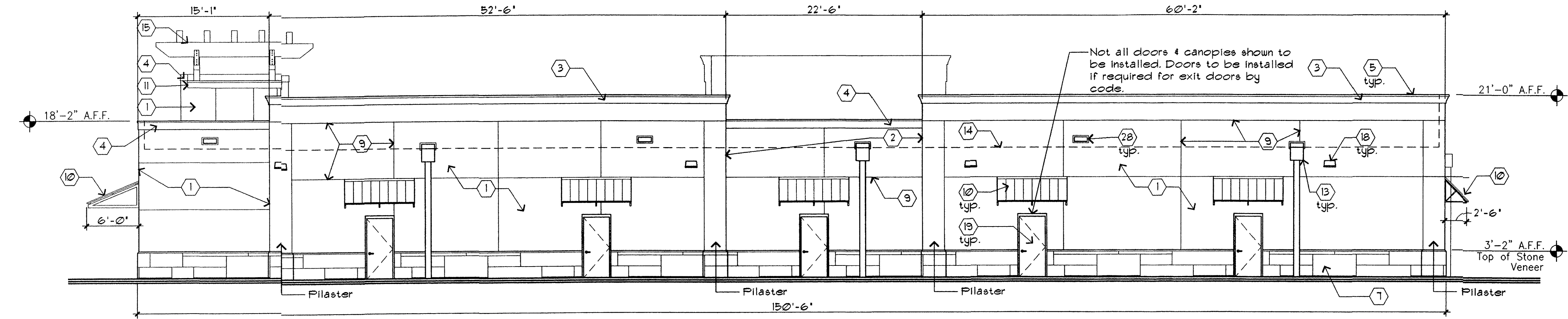
1/8"=1'-0"

Facade Area: 956 SF  
Sign Area (6% Facade Area max.) = 57 SF  
= 2 signs @ 2'-0" h. x 14'-3" w.  
Internally illuminated channel letters. Font: Palatino.



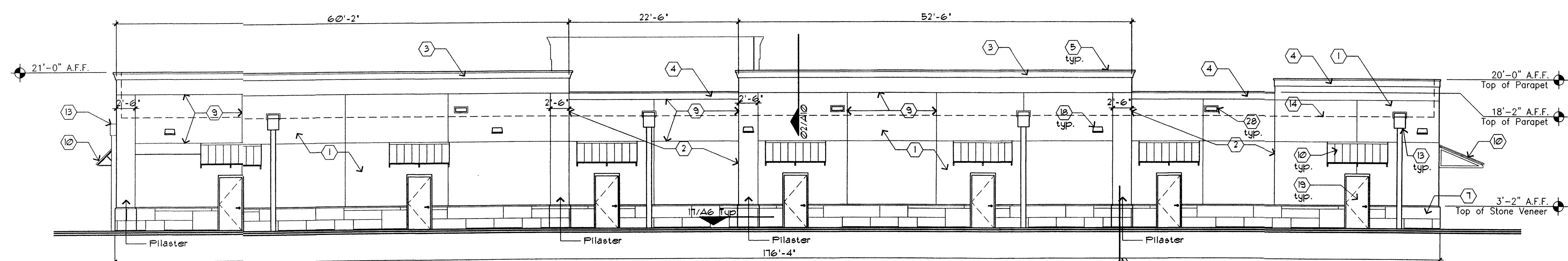
**08 Building 1 - East Elevation**

1/8"=1'-0"



**11 Building 1 - North Elevation**

1/8"=1'-0"



**16 Building 1 - West Elevation**

1/8"=1'-0"

- 15 General Notes**
1. Building-mounted signs shall not exceed 6% of the facade area, and shall not face abutting single-family residential.
  2. Wall mounted signs shall not project more than 1 foot or exceed an area of 20% of that wall, or 60 SF whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs.

- 20 Keyed Notes**
1. Stucco on metal lath. Color: Tan - between joint lines where indicated as such.
  2. Stucco control joint, typ.
  3. Stucco control joint, typ.
  4. Stucco control joint, typ.
  5. Stucco control joint, typ.
  6. Stucco control joint, typ.
  7. Stucco control joint, typ.
  8. Stucco control joint, typ.
  9. Stucco control joint, typ.
  10. Stucco control joint, typ.
  11. Stucco control joint, typ.
  12. Stucco control joint, typ.
  13. Stucco control joint, typ.
  14. Stucco control joint, typ.
  15. Stucco control joint, typ.
  16. Stucco control joint, typ.
  17. Stucco control joint, typ.
  18. Stucco control joint, typ.
  19. Stucco control joint, typ.
  20. Stucco control joint, typ.
  21. Stucco control joint, typ.
  22. Stucco control joint, typ.
  23. Stucco control joint, typ.
  24. Stucco control joint, typ.
  25. Stucco control joint, typ.
  26. Stucco control joint, typ.
  27. Stucco control joint, typ.
  28. Stucco control joint, typ.

**Village Center**  
**Unser Blvd. and Night Whisper Dr.**  
**Albuquerque, New Mexico**

**FEHR GROSSMAN COX**  
Architects, Inc.

7400 Fannin, Suite 950 Houston, Texas 77054  
(713)797-0404 Fax (713)797-6740

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Consultants

Project

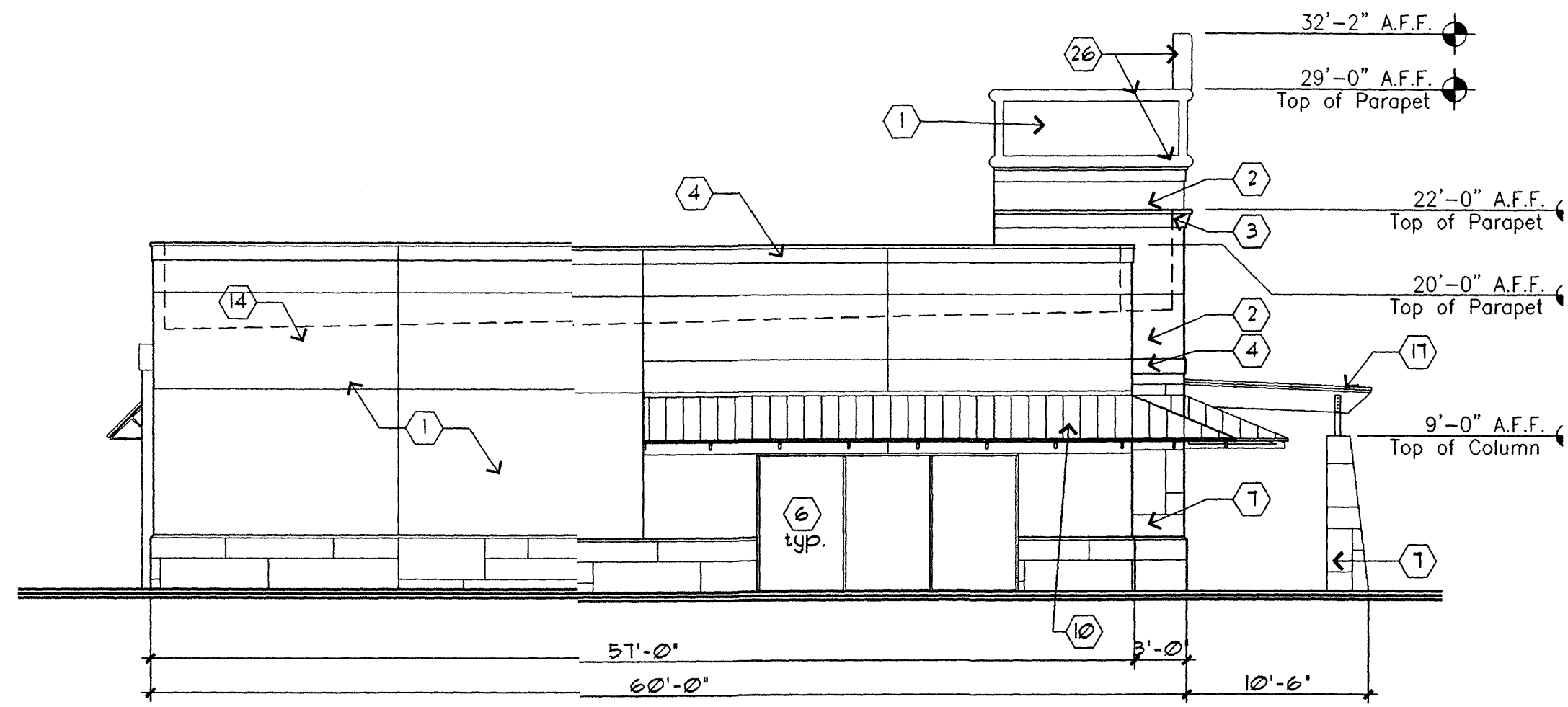
050280

04-03-08  
**Environmental Planning  
 Commission Review**  
 04-06-08  
**For Pricing Only**  
 05-22-08  
**DRB Final Sign-off**

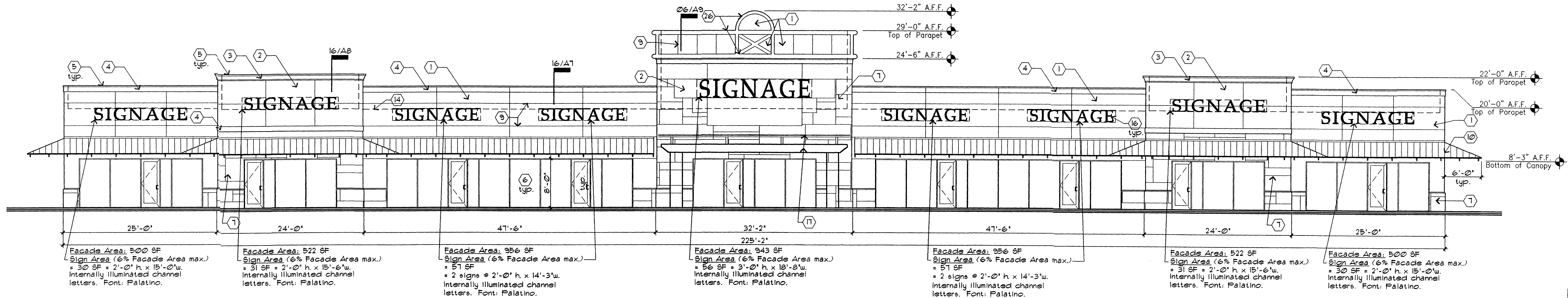
**A5**

Sheet  
 Building 1 Elevations

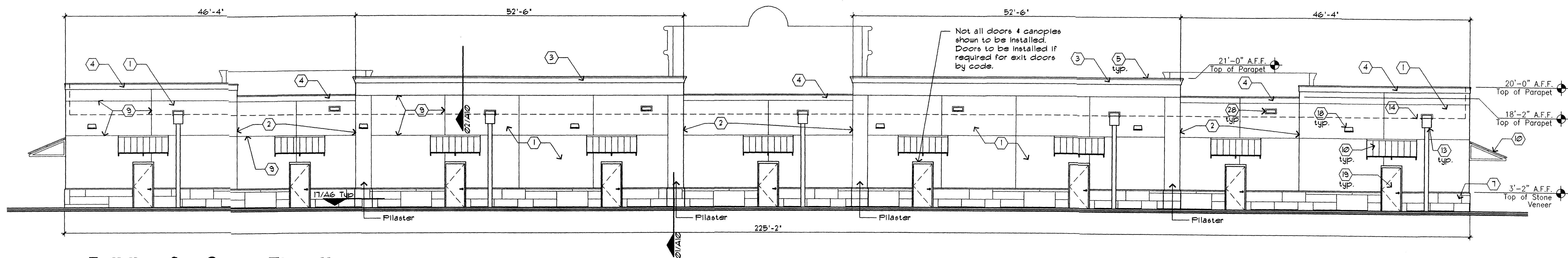




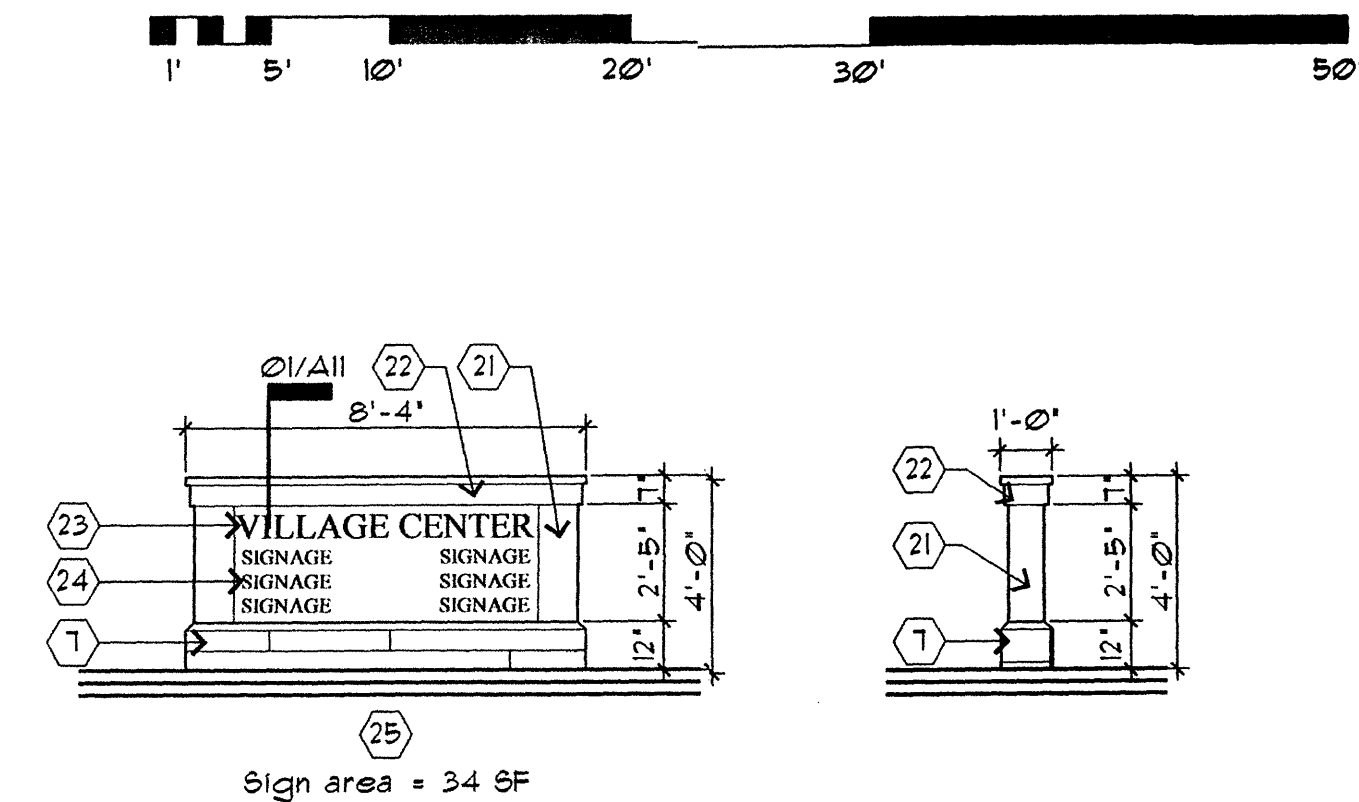
**01 Bldg. 2 - East & West Elevation**  
1/8"=1'-0"



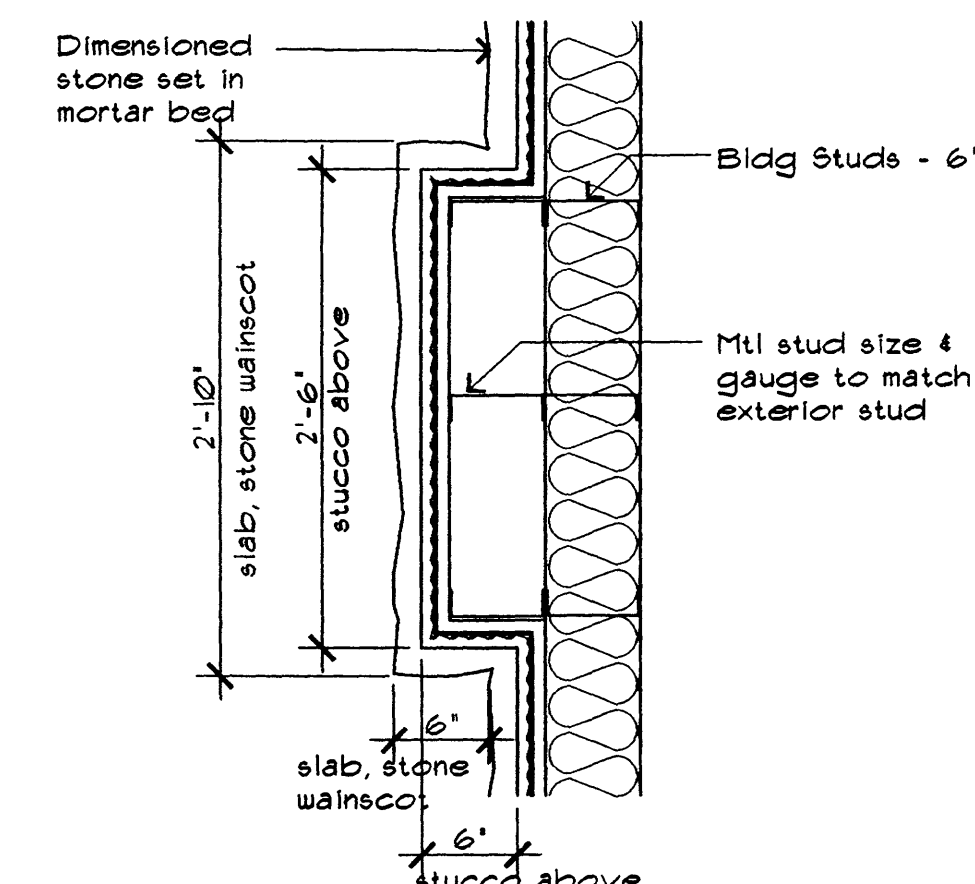
**06 Building 2 - North Elevation**  
1/8"=1'-0"



**11 Building 2 - South Elevation**  
1/8"=1'-0"



**16 Monument Sign Elevation**  
1/4"=1'-0"



**17 Plan Detail at Pilaster**  
N.T.S.

**18 General Notes**

**19 Keyed Notes**

- Building-mounted signs shall not exceed 6% of the facade area, and shall not face abutting single-family residential.
- Wall mounted signs shall not project more than 1 foot or exceed an area of 20% of that wall, or 60 SF, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs.

- Stucco on metal lath. Color: Tan - between joint lines where indicated as such.
- Stucco on metal lath. Color: Dark Tan - between joint lines where indicated as such.
- Stucco cornice. Color: Light Tan.
- Stucco accent color trim. Color: Light Tan.
- Metal coping. Fld. to match stucco, typ.
- 8'-0" storefront. Tempered storefront glass typical. Frame finish: Light bronze anodized. Glass color: Bronze.
- Applied stone veneer in mortar bed. Color: Warm earth tones.
- Expansion joint.
- Stucco control joint, typ.
- Canopy. Architectural standing seam roof over ptd. sq. tube purlins over ptd. mtl. tube trusses. Roof color: Brown-Black. Furlins and trusses painted to match gutter routed to downspout to main roof. Color: Match adjacent stucco.
- Stucco recess at wall. Color: Light Tan.
- Sheet mtl. scupper to conductor head with 8' downspout. Color: Match adjacent stucco.
- Line of roof beyond.
- Metal trellis. Painted rectangular structural tubing. Color: Brown-Black.
- Tenant Signage. Internally illuminated channel letters. Font: Palatino.
- Canopy. Architectural standing seam roof over ptd. sq. tube purlins over ptd. mtl. tube trusses. Roof color: Brown-Black. Furlins and trusses painted to match gutter routed to downspout to main roof. Color: Match adjacent stucco.
- Stucco on CHU @ monument sign. Color: Tan
- Stucco on CHU @ monument sign. Color: Light Tan
- Monument sign letters. Brown-Black anodized aluminum pin-mounted letters - 6" Font: Palatino.
- Monument sign letters. Brown-Black anodized aluminum pin-mounted letters - 3 1/2" Font: Palatino.
- Sign illuminated by small spot light with cut off shield.
- Stucco accent color trim. Color: Brown-Black.
- 3'-4" x 2'-4" storefront with spandrel glass.
- Overflow scupper.

**Village Center**  
 Unser Blvd. and Night Whisper Dr.  
 Albuquerque,  
 New Mexico

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Consultants

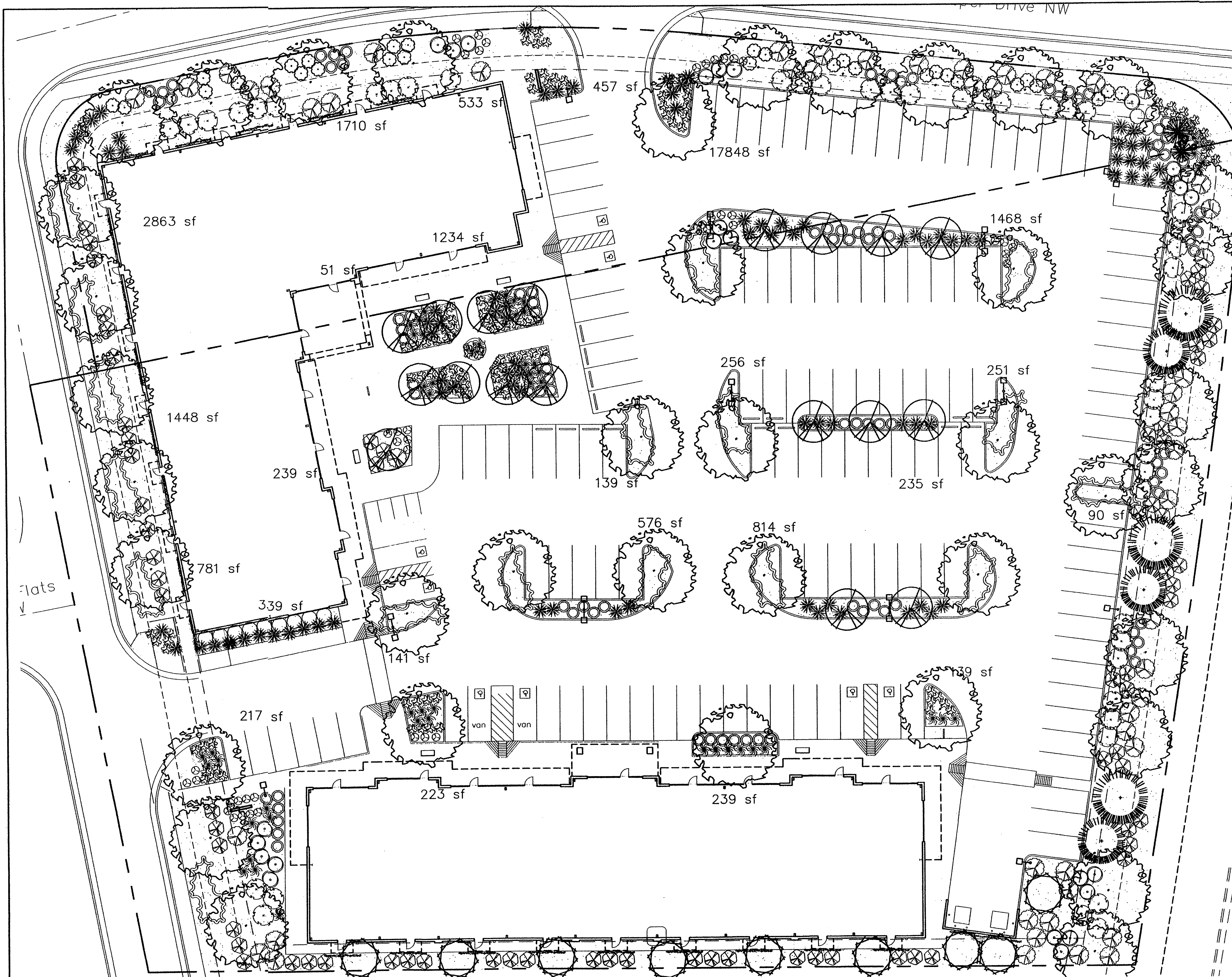
Project

**050280**  
Issue  
**04-03-08**  
**Environmental Planning**  
**Commission Review**  
**05-11-08**  
**For Pricing Only**  
**05-22-08**  
**DRB Final Sign-off**

Sheet  
Building 2 Elevations

**A6**





### PLANT LEGEND

- TREES**
- ARIZONA ASH (M) 40  
Fraxinus velutina  
2" Gal.
  - AUSTRIAN PINE (M) 6  
Pinus nigra  
6-8"
  - FLOWERING PEAR (M+) 18  
Pyrus calleryana  
2" Gal.
  - DESERT MILLOW (L) 9  
Chilopsis linearis  
15 Gal.
- ACCENTS**
- \* PALM YUCCA (L) 2
- SHRUBS AND ORNAMENTAL GRASSES**
- \* PHOTINIA (M+) 44  
Photinia fraseri  
5 Gal. 64sf
  - \* RED YUCCA (L) 88  
Hesperaloe parviflora  
5 Gal. 48f
  - \* MAIDENGRASS (M) 45  
Miscanthus sinensis  
5 Gal. 16sf
  - \* INDIAN HAWTHORN (M) 74  
Raphiolepis indica  
5 Gal. 36sf
  - \* APACHE PLUME (L) 10  
Fallugia paradoxa  
5 Gal. 42sf
  - \* NANDINA (M) 29  
Nandina domestica  
5 Gal. 25sf
  - \* RUSSIAN SAGE (M) 11 25  
Perovskia atriplicifolia  
5 Gal. 36sf
  - \* ARP ROSEMARY (M) 95  
Rosmarinus officinalis  
2 Gal. 36sf
  - \* HONEYSUCKLE (M) 52  
Lonicera japonica 'Halliana'  
1 Gal. 144sf  
Unstaked-Groundcover
  - \* WILDFLOWER 45  
1 Gal. 4sf
  - \* THREADGRASS (M) 99  
Stipa tenuissima  
1 Gal. 4sf
- VINES/GROUNDCOVERS**
- \* HONEYSUCKLE (M) 2  
Lonicera japonica 'Halliana'  
1 Gal. 200sf
  - \* LADY BANKS ROSE (M) 21  
Rosa banksiae  
5 Gal.
  - \* GREYLEAF COTONEASTER (M) 18  
Cotoneaster buxifolius  
5 Gal. 81sf  
Symbol indicates 3 plants
- HARDSCAPES**
- NATURAL EDGE
  - OVERSIZED GRAVEL & 3 BOULDERS
  - VERTICAL BOULDER MONOLITH
  - SANTA FE BROWN GRAVEL WITH FILTER FABRIC
  - NO TURF/SOD
  - \* DENOTES EVERGREEN

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS**  
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

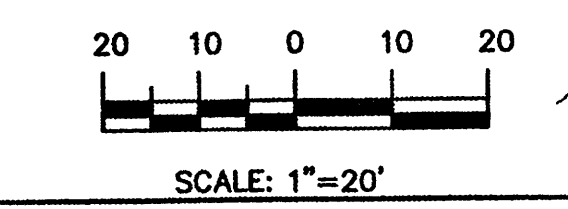
Name of Street Unser Blvd.  
Required # 11 Provided # 14

### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	149341	square feet
TOTAL BUILDINGS AREA	29426	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	119915	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	17987	square feet
TOTAL BED PROVIDED	32391	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	24219	square feet
TOTAL GROUND COVER PROVIDED	25866 (80%)	square feet
TOTAL TURF/SOD PROVIDED	0 (0%)	square feet
TOTAL LANDSCAPE PROVIDED	32391	square feet

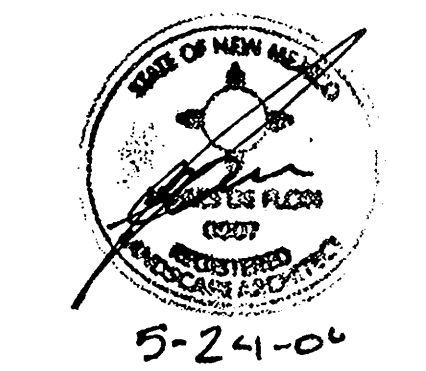
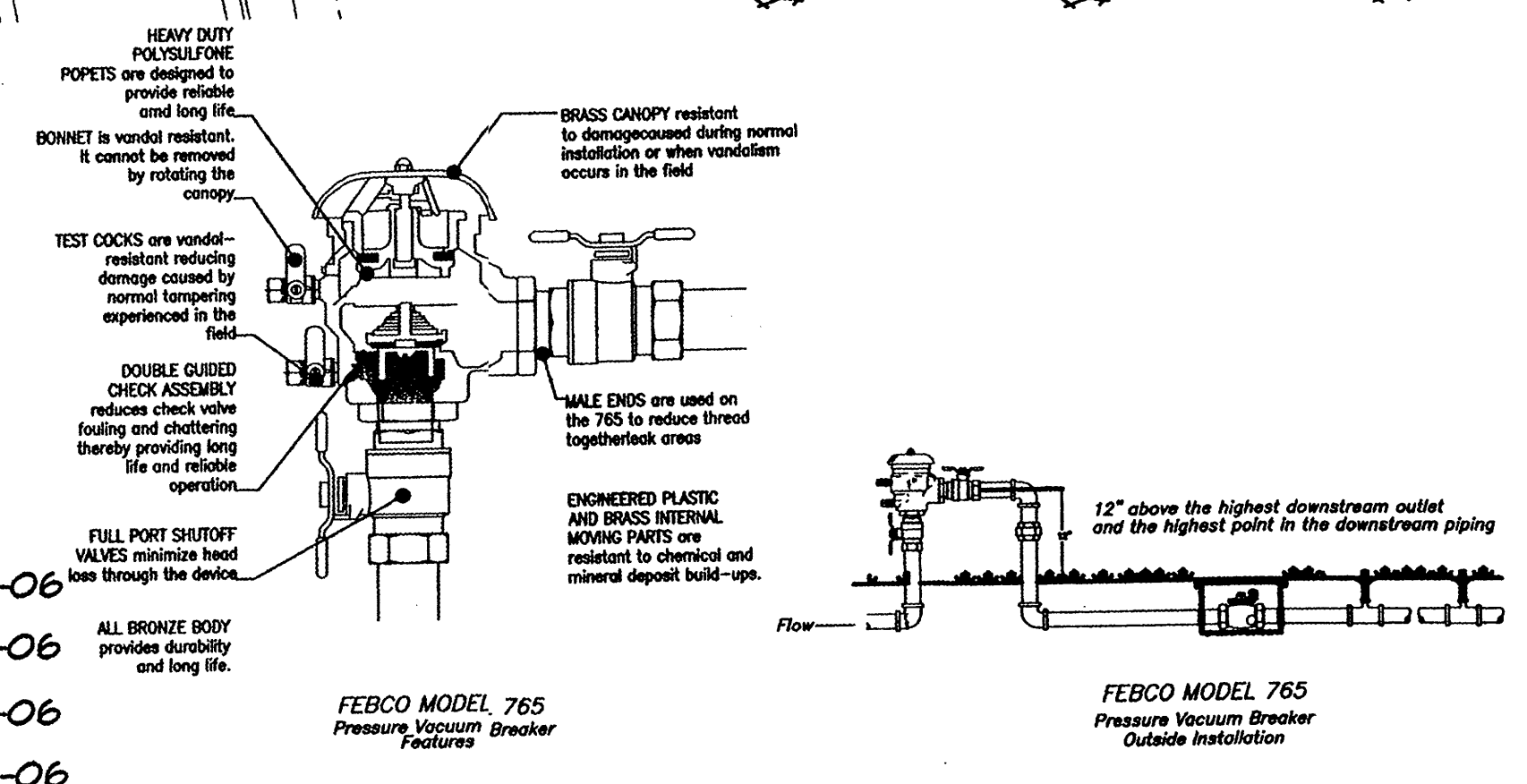
**EVERGREEN SCREENING FOR PARKING**  
The parking areas are screened by groups of evergreen shrubs, each with different growth characteristics. Area groups include plant material of different width, height, texture and color, utilizing 3, 4, 5 different evergreen species, maintaining a growing screen. In this way, the plant variety creates a dynamic landscape palette and plants can be replaced without affecting the group while providing a living screen for the parking areas. A separate water line only for landscape and active maintenance assures continued growth.

### GRAPHIC SCALE



### 16 Landscape Plan

SCALE: 1"=20'



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cjohnson@hilltoplandscaping.com  
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reissued or copied unless applicable fees have been paid or job order placed.

**FEHR GROSSMAN COX**  
Architects, Inc.

Fehr Grossman Cox Architects, Inc.  
Bruce T. Fehr  
# 6615  
Not For Construction,  
Regulatory Approval, or Permitting.

7400 Fannin, Suite 950 Houston, Texas 77054  
(713)797-0404 Fax (713)797-6740

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Consultants

Project

050280

Issue

01-05-06  
Progress

Sheet

Landscape Plan

L1

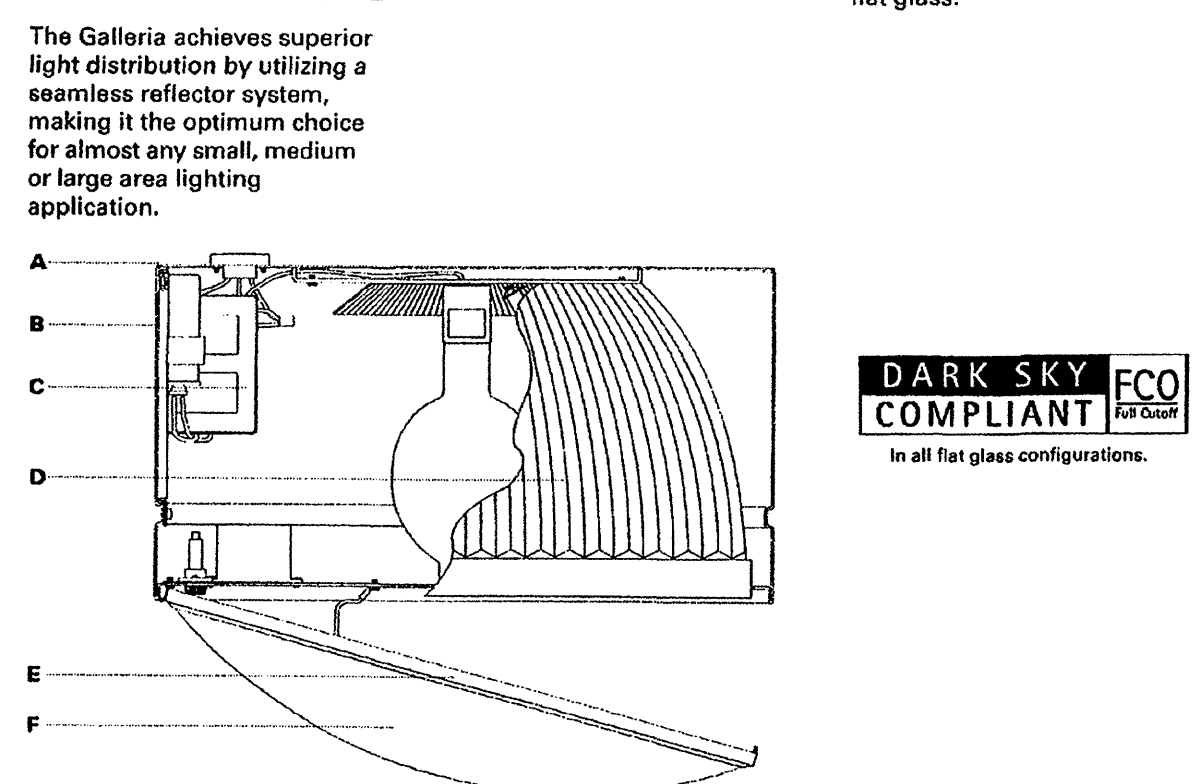
Unser Blvd.  
and Night Whisper Dr.  
Albuquerque,  
New Mexico



**DESCRIPTION**  
McGraw-Edison's Galleria combines beauty and versatility to make it an excellent choice for architects, specifiers and contractors in today's energy- and design-conscious environment. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility. The AIRAIS mounting option provides contractor friendly, single shipment of fixture with the arm-in-box.

**APPLICATION**  
The Galleria achieves superior light distribution by utilizing a seamless reflector system, making it the optimum choice for almost any small, medium or large area lighting application.

**SPECIFICATION FEATURES**  
A - Housing Formed aluminum housing with stamped reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. U.L. listed and CSA certified for wet locations.  
B - Ballast Tray Ballast tray is hard-mounted to housing interior for cooler operation.  
C - Ballast Long-life core and coil ballast.  
D - Reflector Spun and stamped aluminum reflector in vertical lamp units, or hydroformed anodized aluminum reflector in horizontal lamp units. Rotatable optics standard.  
E - Door Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)  
F - Lens Convex tempered glass lens or flat glass.

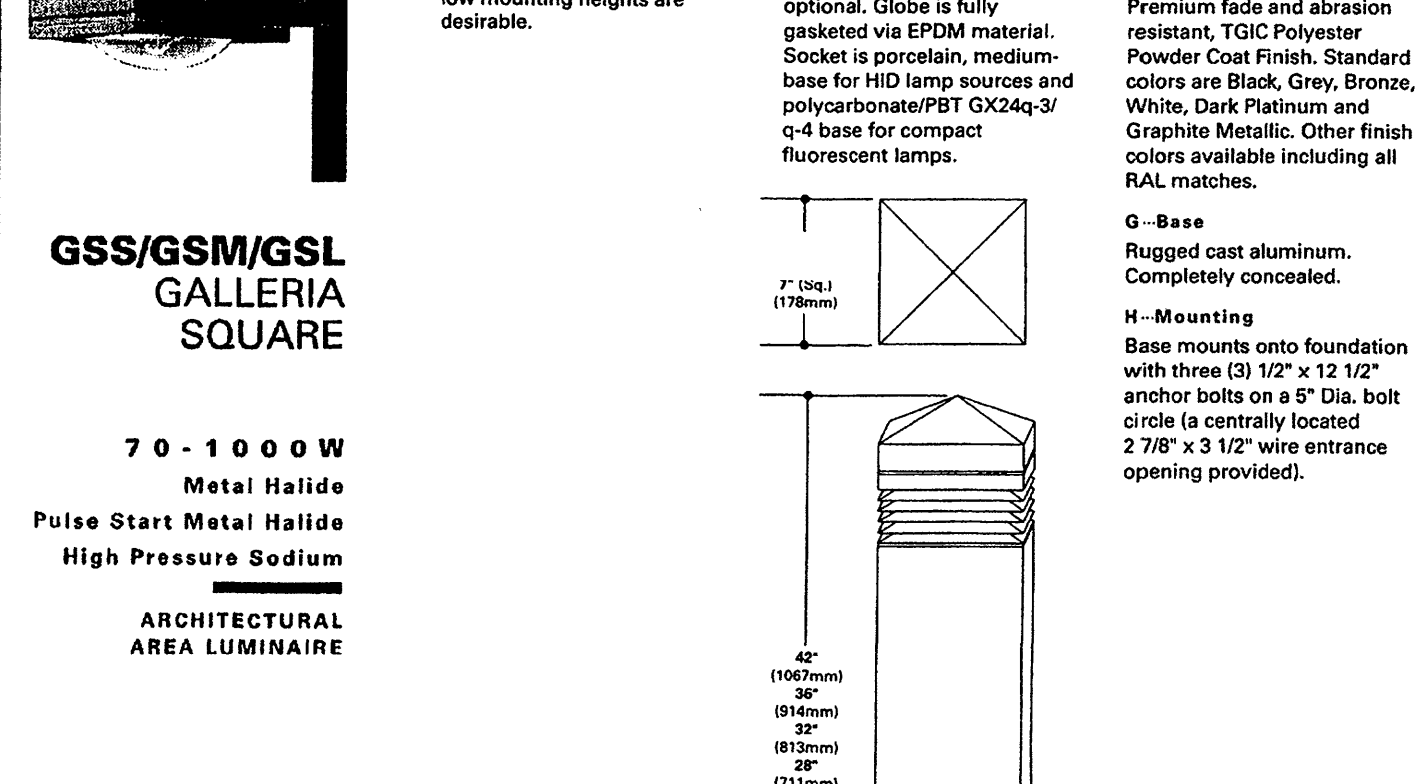


**DARK SKY COMPLIANT**  
In all flat glass configurations.

**DESCRIPTION**  
The McGraw-Edison BSL / BRL Bollard Series, available in heights from 24" to 42", has crisp, clean lines which blend with any architectural setting. Constructed of seamless, heavy-duty aluminum and finished with a tough polyester powder coat finish, the McGraw-Edison Louvered Bollard Series is gasketed to seal out external contaminants. U.L. 1998 listed and CSA certified for wet locations.

**APPLICATION**  
Bollards are designed for walkways, entrances, drives and other small-area lighting applications where low mounting heights are desirable.

**SPECIFICATION FEATURES**  
A - Top Rugged, minimum 5/32" thick cast aluminum top cap secured via a concealed stainless steel allen screw with twist removal mechanism for lamp access. Flow through ventilation assure cool to the touch top.  
B - Louvers Cast Aluminum Louver blades provide sharp cutoff delivering no direct light above 90°. Louvers are secured to the shaft via tamper stainless steel rods and fasteners.  
C - Lamp Enclosure One piece tempered glass with internal flutes for even distribution of illumination. Decorative colored glass optional. Globe is fully gasketed via EPDM material. Socket is porcelain, medium-base for HID lamp sources and polycarbonate/PET GX24q-3/4-base for compact fluorescent lamps.  
D - Lower Housing Nominal 1/8" thick aluminum extruded housing. Bollard housing is secured to the base with threaded, counter-sunk screws for smooth, uncluttered appearance.  
E - Electrical HID High Power Factor ballast for 20°F starting. CFL Electronic ballast for 0°F starting. Product is factory mounted to the base. Quick disconnects provided between lamp and electrical assembly. Metal Halide and High Pressure Sodium lamp sources up to 100W and up to 42W Compact Fluorescent sources.  
F - Finish Premium fade and abrasion resistant, TGIC Polyester Powder Coat Finish. Standard colors are Black, Grey, Bronze, White, Dark Platinum and Graphite Metallic. Other finish colors available including all RAL matches.  
G - Base Rugged cast aluminum. Completely concealed.  
H - Mounting Base mounts onto foundation with three (3) 1/2" x 12 1/2" anchor bolts on a 5" Dia. bolt circle (a centrally located 2 7/8" x 3 1/2" wire entrance opening provided).

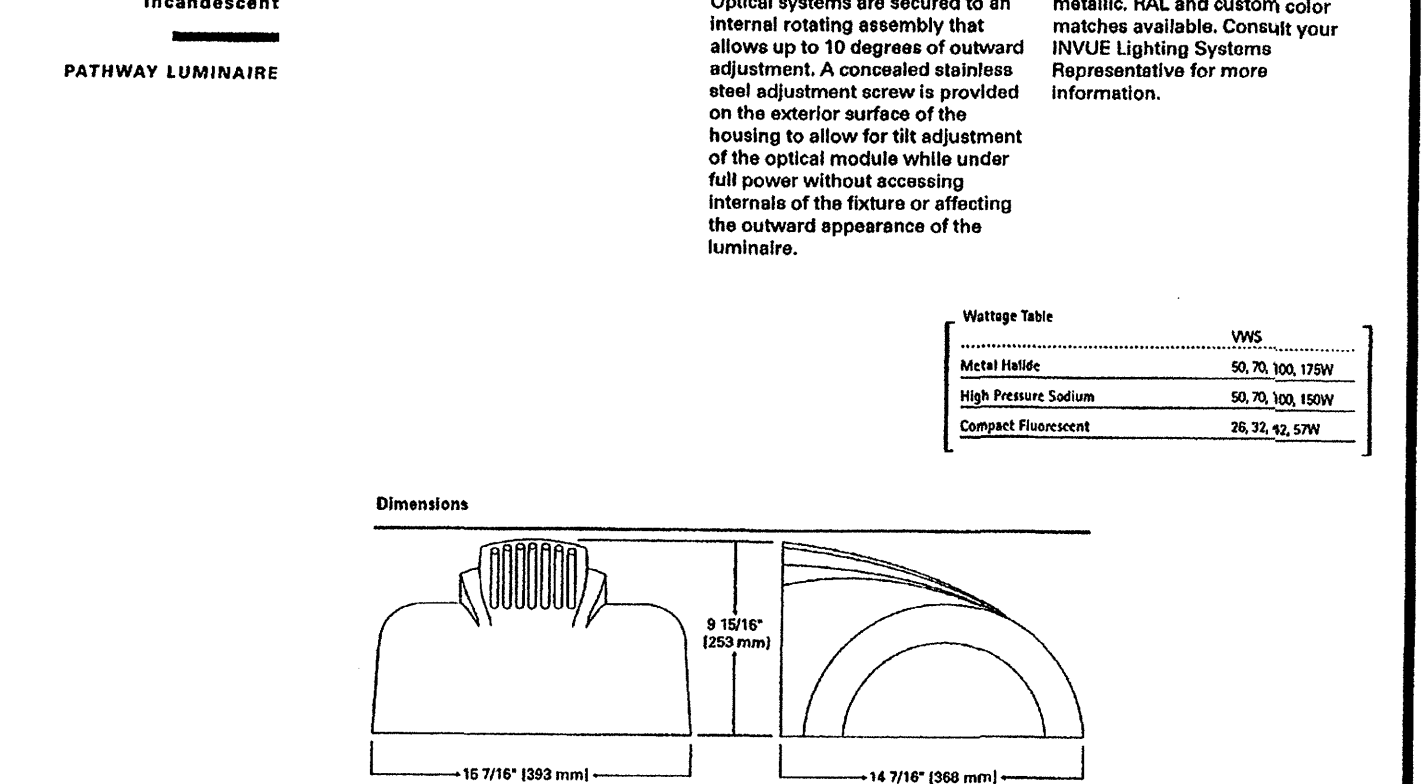


**GSS/GSM/GSL GALLERIA SQUARE**  
Metal Halide  
Pulse Start Metal Halide  
High Pressure Sodium  
ARCHITECTURAL WALL LUMINAIRE

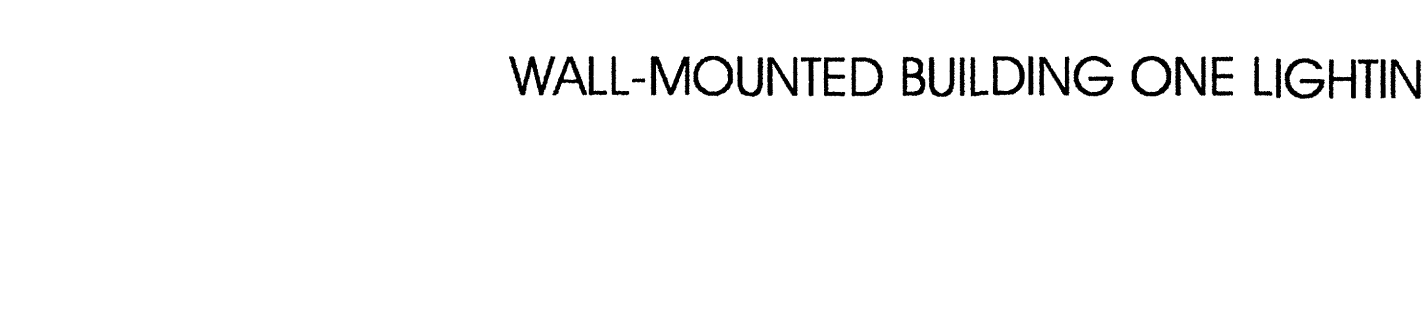
**DESCRIPTION**  
The McGraw-Edison BSL / BRL Bollard Series, available in heights from 24" to 42", has crisp, clean lines which blend with any architectural setting. Constructed of seamless, heavy-duty aluminum and finished with a tough polyester powder coat finish, the McGraw-Edison Louvered Bollard Series is gasketed to seal out external contaminants. U.L. 1998 listed and CSA certified for wet locations.

**APPLICATION**  
Bollards are designed for walkways, entrances, drives and other small-area lighting applications where low mounting heights are desirable.

**SPECIFICATION FEATURES**  
A - Housing One piece die-cast aluminum with continuous silicone gasket accommodates either up or down mounting configurations. Door frame is hinged and secured to the housing via four (4) captive stainless steel Allen head fasteners. Lens is impact-resistant 1/8" thick tempered clear or optional frosted flat glass, sealed to the door with a one-piece silicone gasket.  
B - Door Housing and door finished in a 5 stage premium TGIC polyester powder coat paint. 25 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum, and graphite metallic. RAL and custom color matches available. Consult your NRVUE Lighting Systems Representative for more information.  
C - Optical System Choice of five (5) high efficiency optical systems. Type II, III, IV, and FX optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted housing a heavy-well aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs, or other means of attachment which may cause streaking in the light distribution. TS optic constructed of spun and polished specular anodized aluminum. All reflector modules feature toolless removal, quick disconnect wiring plugs, and are field rotatable in 90 degree increments. HID lamp sources in WWS small housing optic feature medium-base lampholders.  
D - Optical Assembly Optical systems are secured to an internal rotating assembly that allows up to 10 degrees of outward adjustment. A concealed stainless steel adjustment screw is provided on the exterior surface of the housing to allow for its adjustment. The optical module while under full power without exceeding intensity of the fixture or affecting the outward appearance of the luminaire.  
E - Mounting Standard zinc plated attachment plate fits directly to 4" x 3/8" Two (2) threaded studs with locking nuts allow for fixture mounting via keyhole slots on backside of housing. Mounting plate features one-piece EPDM gasket on either side of plate to firmly seal fixture to wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements include an embedded mount bracket, or cast aluminum surface conduit adapter, each available as accessories.  
F - Finish Housing and door finished in a 5 stage premium TGIC polyester powder coat paint. 25 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum, and graphite metallic. RAL and custom color matches available. Consult your NRVUE Lighting Systems Representative for more information.  
G - Ballast Tray Ballast tray is hard-mounted to housing interior for cooler operation.  
H - Reflector Spun and stamped aluminum reflector in vertical lamp units, or hydroformed anodized aluminum reflector in horizontal lamp units. Rotatable optics standard.  
I - Door Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)  
J - Lens Convex tempered glass lens or flat glass.



**BSL / BRL BOLLARD**  
26 - 100 W  
Metal Halide  
High Pressure Sodium  
Compact Fluorescent  
INCANDESCENT  
PATHWAY LUMINAIRE

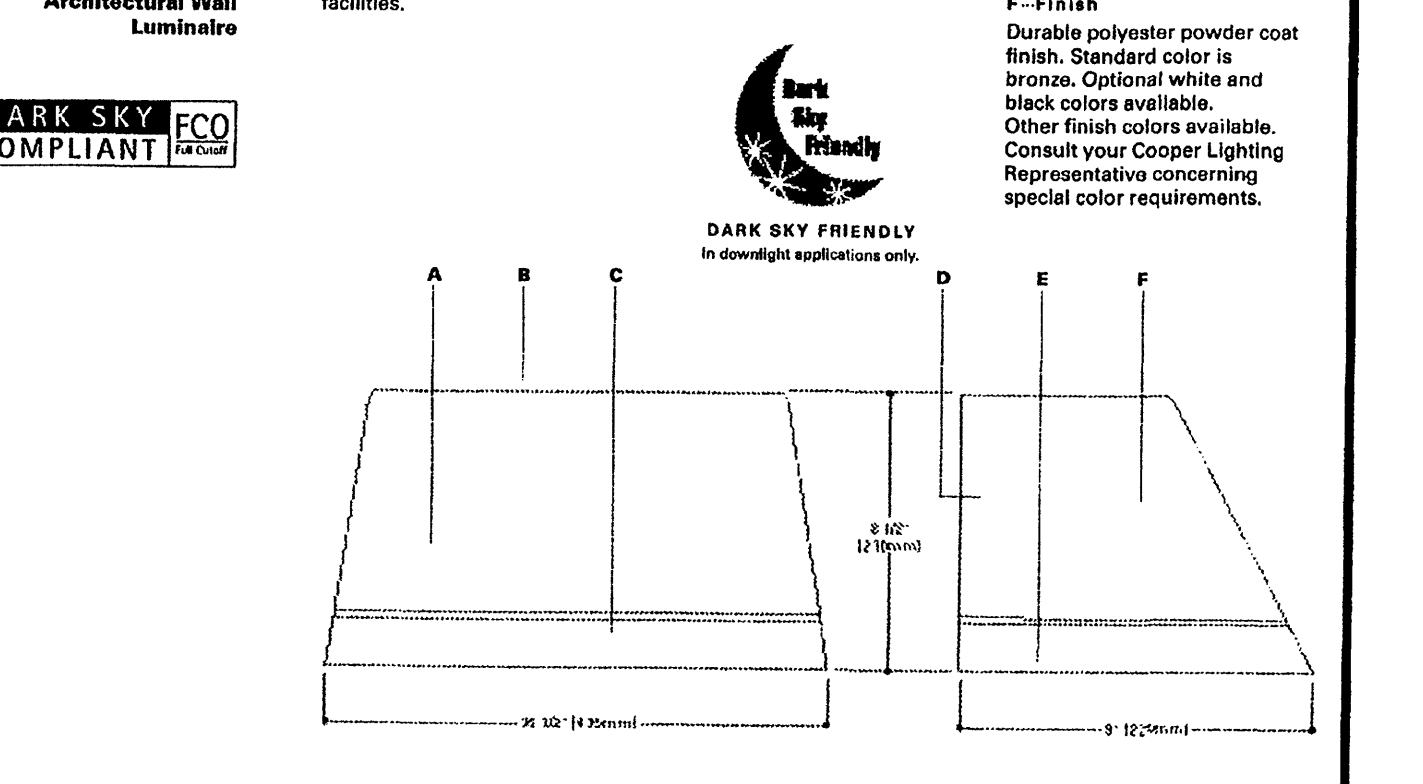


WALL-MOUNTED BUILDING ONE LIGHTING

**DESCRIPTION**  
The McGraw-Edison BSL / BRL Bollard Series, available in heights from 24" to 42", has crisp, clean lines which blend with any architectural setting. Constructed of seamless, heavy-duty aluminum and finished with a tough polyester powder coat finish, the McGraw-Edison Louvered Bollard Series is gasketed to seal out external contaminants. U.L. 1998 listed and CSA certified for wet locations.

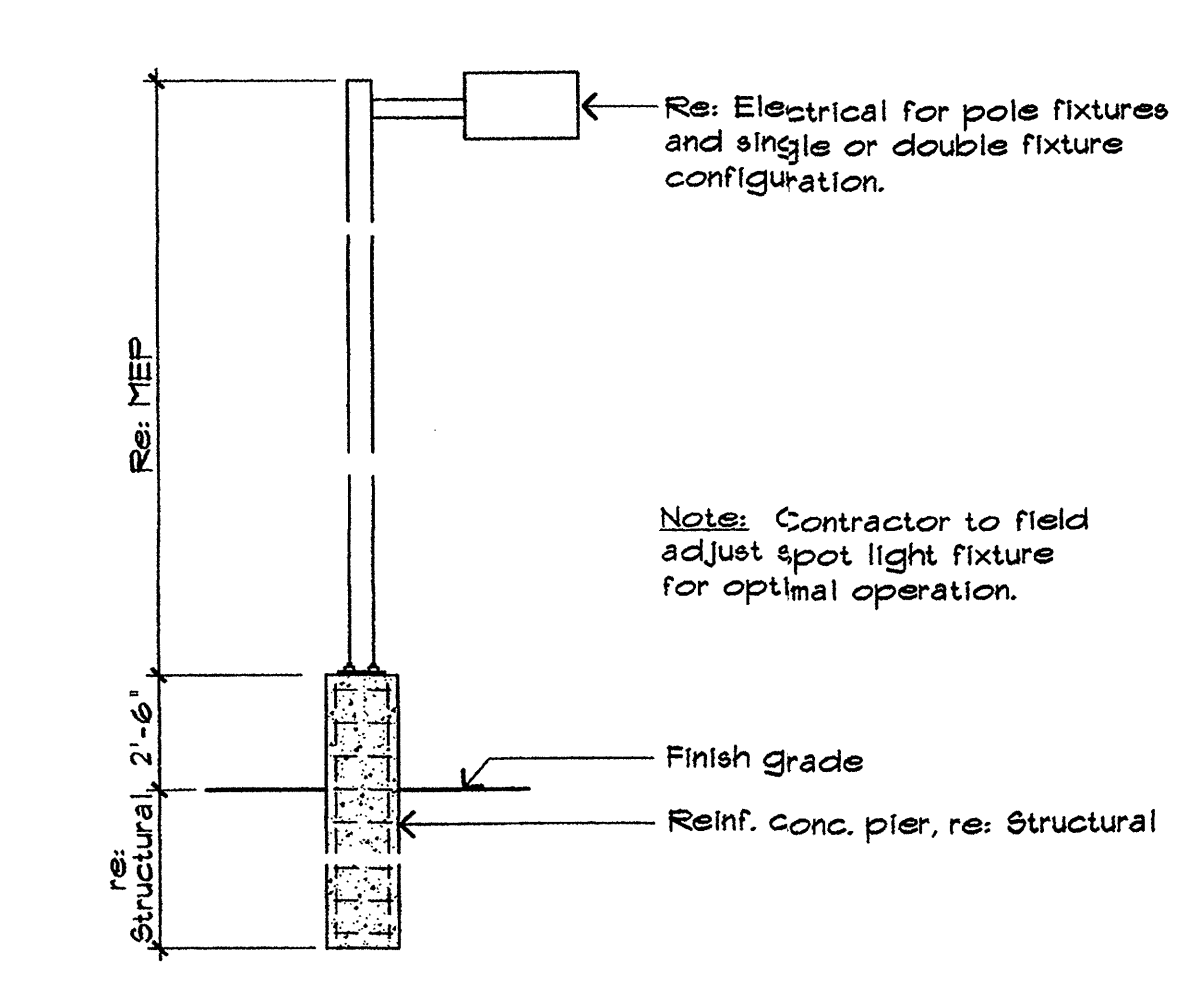
**APPLICATION**  
Bollards are designed for walkways, entrances, drives and other small-area lighting applications where low mounting heights are desirable.

**SPECIFICATION FEATURES**  
A - Housing One piece die-cast aluminum with continuous silicone gasket accommodates either up or down mounting configurations. Door frame is hinged and secured to the housing via four (4) captive stainless steel Allen head fasteners. Lens is impact-resistant 1/8" thick tempered clear or optional frosted flat glass, sealed to the door with a one-piece silicone gasket.  
B - Door Housing and door finished in a 5 stage premium TGIC polyester powder coat paint. 25 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum, and graphite metallic. RAL and custom color matches available. Consult your NRVUE Lighting Systems Representative for more information.  
C - Optical System Choice of five (5) high efficiency optical systems. Type II, III, IV, and FX optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted housing a heavy-well aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs, or other means of attachment which may cause streaking in the light distribution. TS optic constructed of spun and polished specular anodized aluminum. All reflector modules feature toolless removal, quick disconnect wiring plugs, and are field rotatable in 90 degree increments. HID lamp sources in WWS small housing optic feature medium-base lampholders.  
D - Optical Assembly Optical systems are secured to an internal rotating assembly that allows up to 10 degrees of outward adjustment. A concealed stainless steel adjustment screw is provided on the exterior surface of the housing to allow for its adjustment. The optical module while under full power without exceeding intensity of the fixture or affecting the outward appearance of the luminaire.  
E - Mounting Standard zinc plated attachment plate fits directly to 4" x 3/8" Two (2) threaded studs with locking nuts allow for fixture mounting via keyhole slots on backside of housing. Mounting plate features one-piece EPDM gasket on either side of plate to firmly seal fixture to wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements include an embedded mount bracket, or cast aluminum surface conduit adapter, each available as accessories.  
F - Finish Housing and door finished in a 5 stage premium TGIC polyester powder coat paint. 25 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum, and graphite metallic. RAL and custom color matches available. Consult your NRVUE Lighting Systems Representative for more information.  
G - Ballast Tray Ballast tray is hard-mounted to housing interior for cooler operation.  
H - Reflector Spun and stamped aluminum reflector in vertical lamp units, or hydroformed anodized aluminum reflector in horizontal lamp units. Rotatable optics standard.  
I - Door Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)  
J - Lens Convex tempered glass lens or flat glass.



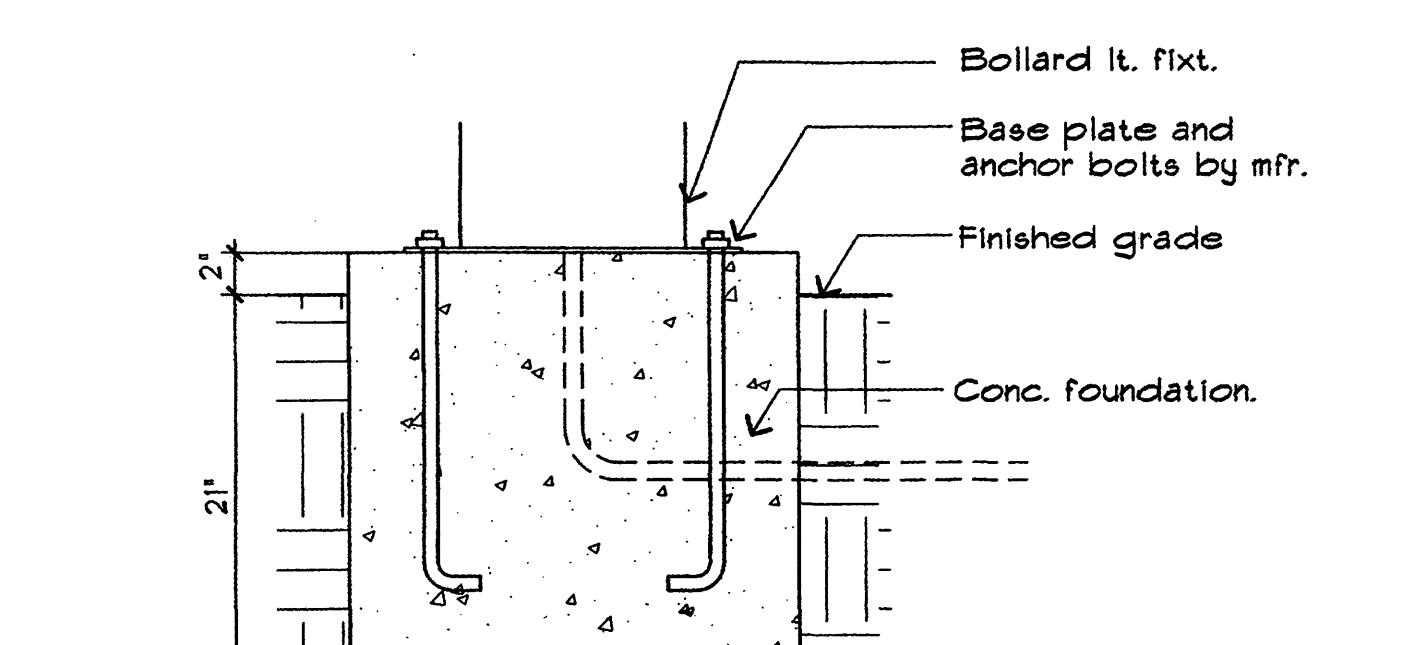
WALL-MOUNTED BUILDING TWO LIGHTING

20' & 16' POLE-MOUNTED METAL HALIDE LAMPS



LIGHT POLE AND BASE

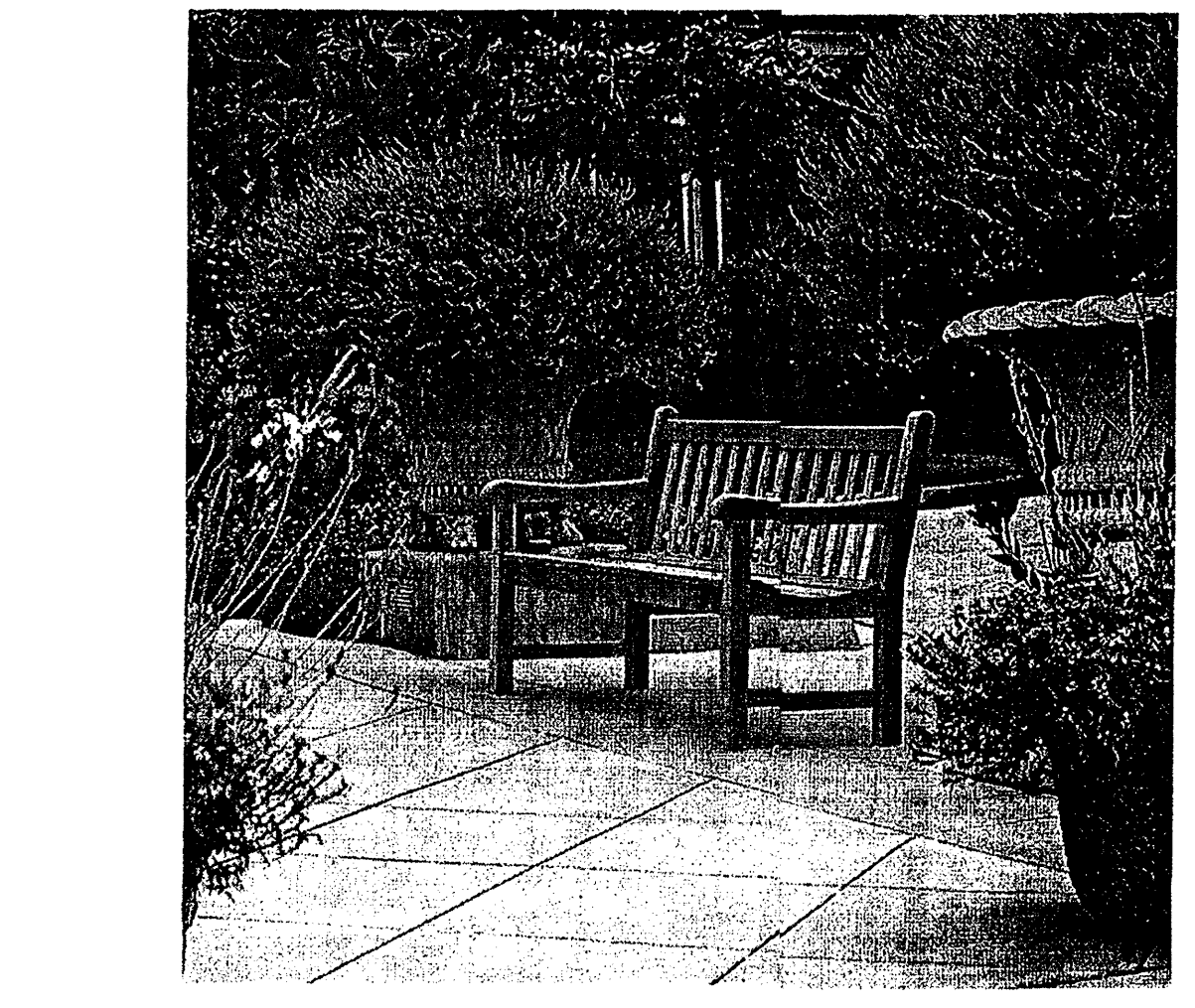
ARCHITECTURAL LOUVERED LIGHTED BOLLARD



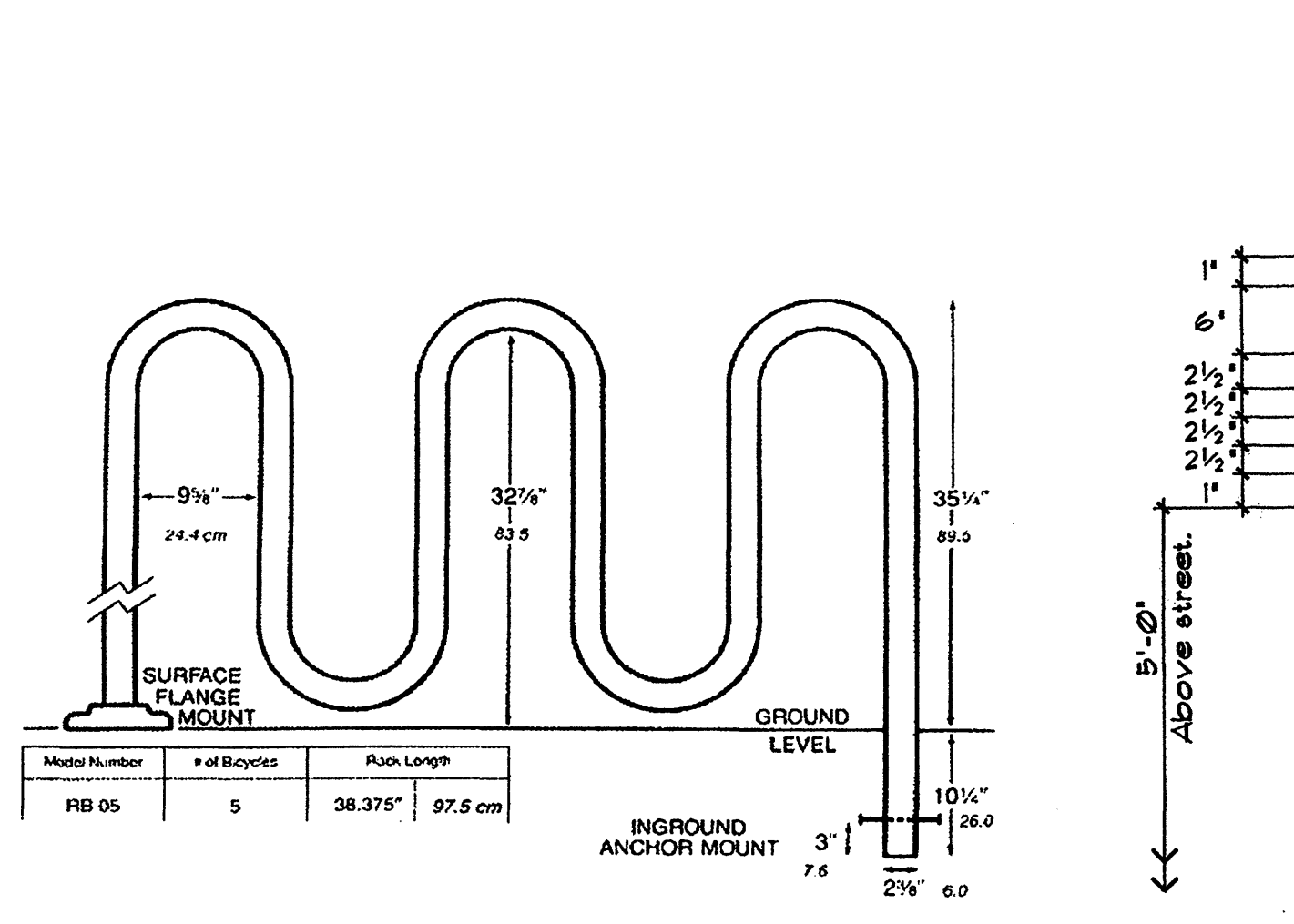
LIGHTED BOLLARD BASE

SITE LIGHTING FIXTURE SCHEDULE

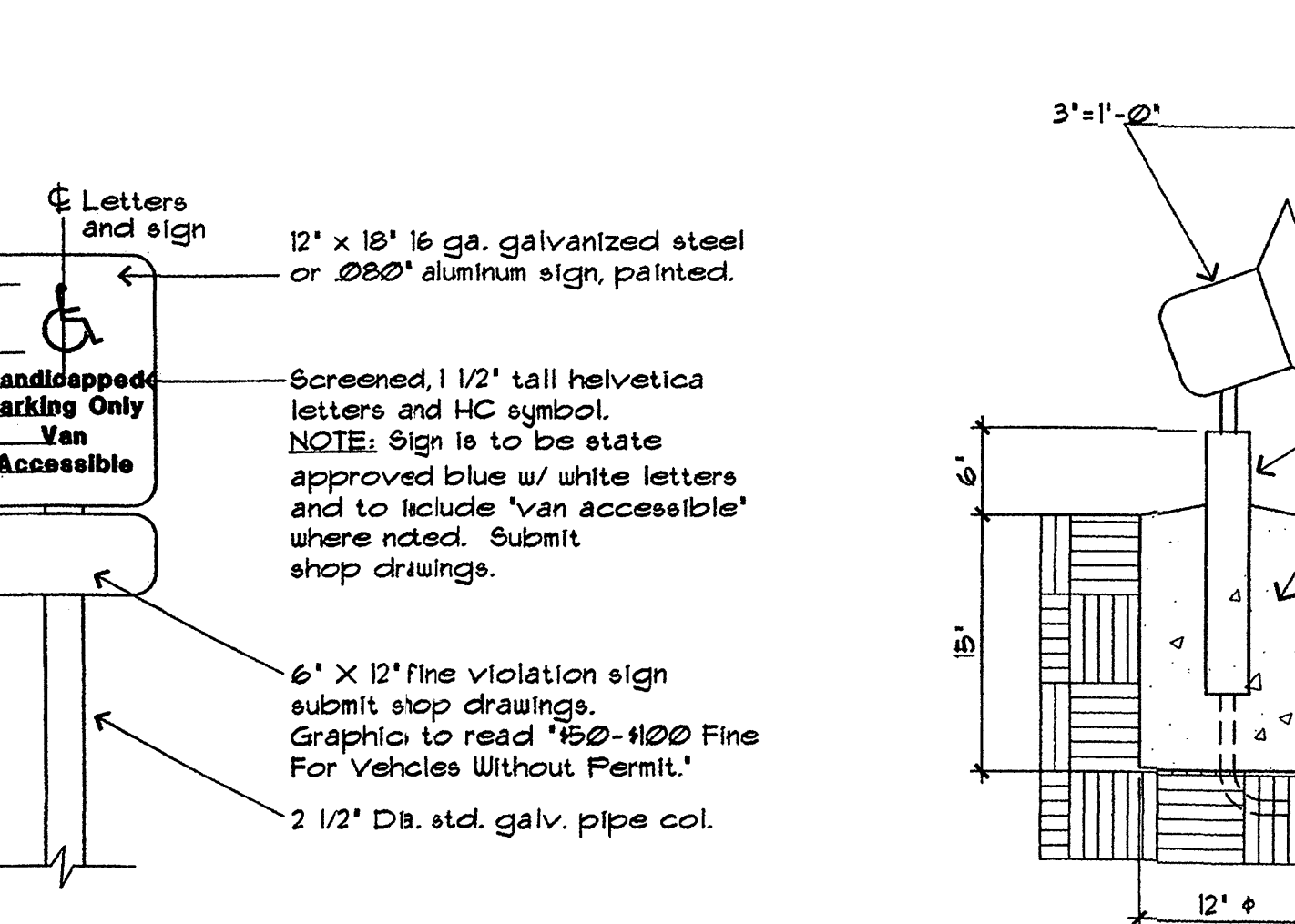
Mark	Manufacturer and Catalog Number	Mounting	Lamps	Volts	Watts/Fixture	Remarks
Site Plan Sheet A	McGraw Edison GSM-AM-250-MH-MT-3V-FG "KW Industries" #SSP 30-5.0-7-DM10 BC	16' Pole	1 250 W.M.H. MH 58	208	295	Formed Aluminum Housing Formed Aluminum Door Rotatable Optics, Double Fused E.P.A.; 2.4 Color per the Architect
Site Plan Sheet B	McGraw Edison GSM-AM-250-MH-MT-3R-FG "KW Industries" #SSP 30-5.0-7-DM10 BC	20' Pole	1 & 2 250 W.M.H. MH 58	208	295	Formed Aluminum Housing Formed Aluminum Door Rotatable Optics, Double Fused E.P.A.; 2.4 Color per the Architect
Site Plan Sheet C	McGraw Edison BSL-XX-70-MH	Bollard	1 70 W.M.H.	208	95	
Elevation Sheet A6 - 18	"Invue" #WWS-175-MH-208-25	Wall	1 175 W.	208	220	Die Cast Architectural Wall Luminaire Full Cut-off Down Only
Elevation Sheet A6 - 18	"Lumark" #MHIP-C-175-208V	Wall	1 175 W.	208	220	Die Cast Wall Pack with Glass Refractor Cut-off Down Only
Detail Sheet	Greenlee Lighting #SLS-70MH-120V-HF-BRZ	Stanchion	1 70 W.			Die Cast Aluminum Housing Adjustable Knuckle Mount Rotatable Optics, Barn Doors Color: Bronze



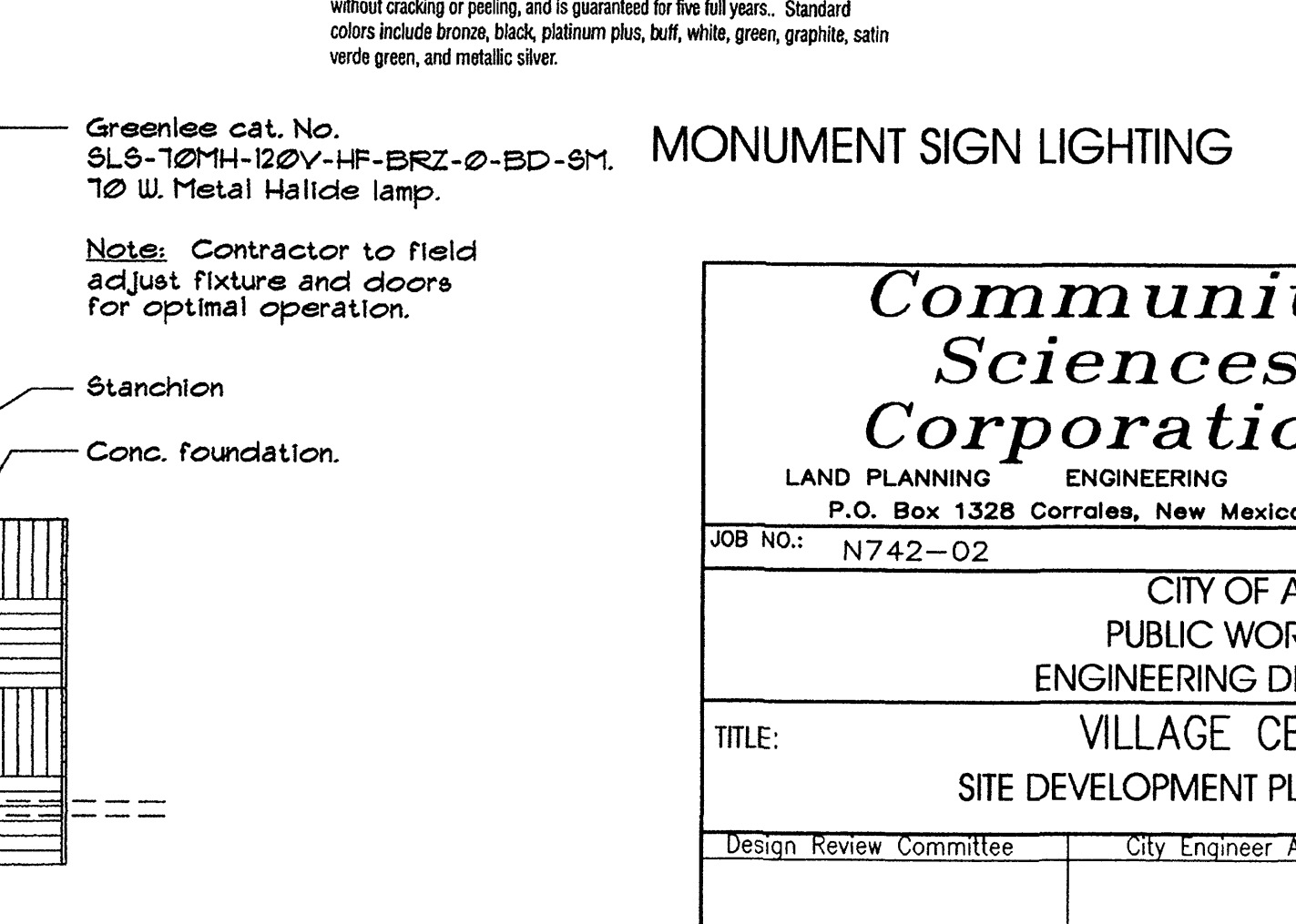
COURTYARD/PEDESTRIAN TEAK BENCH



BICYCLE RACK - 5 SPACES



ADA ACCESSIBLE PARKING SIGN



MONUMENT SIGN BASE

**AS BUILT INFORMATION**

CONTRACTOR	DATE
INSPECTOR	DATE
FIELD NOTES BY	DATE
VERIFICATION BY	DATE
CONTRACT BY	DATE
RECORDED BY	DATE
NO.	

**MICRO-FILM INFORMATION**

NO.	
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**BENCH MARKS**

NO.	DATE
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**SURVEY INFORMATION**

NO.	DATE
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**FIELD NOTES**

NO.	DATE
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**ENGINEER'S SEAL**

NO.	DATE
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**Community Sciences Corporation**  
LAND PLANNING ENGINEERING SURVEYING  
P.O. Box 1328 Corrales, New Mexico 87048

JOB NO.: N742-02

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

TITLE: VILLAGE CENTER DETAILS  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr
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City Project No. A-11-Z Zone Map No. 8 of 8