

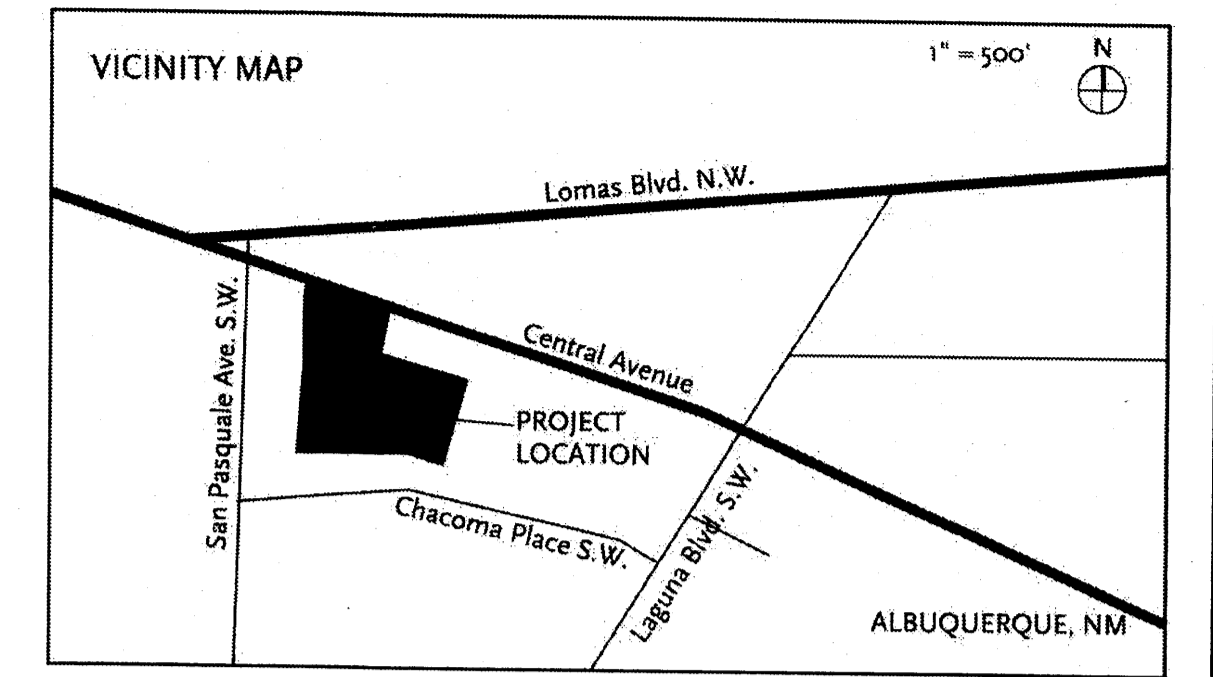
SITE DEVELOPMENT PLAN FOR SUBDIVISION & AMENDMENT



CENTRAL AVE PROPERTIES ABQ
ALBUQUERQUE, NEW MEXICO
REMBE COUNTRY CLUB L.L.C.

TITLE SHEET - DRB SIGNOFF

CENTRAL AVE PROPERTIES ABQ
ALBUQUERQUE, NEW MEXICO
REMBE COUNTRY CLUB L.L.C.



LEGAL DESCRIPTION
M.R.G.C.D. TRACTS 139-B-1-A, 131, 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT 8-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 04, 2007, IN MAP BOOK 3907C, PAGE 81. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS: (SEE LEGAL SURVEY FOR BEARINGS & DISTANCES).

ZONE ATLAS PAGE: J-22 Z
ZONE (EXISTING): SU-2/SU-1 ABQ LITTLE THEATRE & SU-2/CLD

TOTAL SITE AREA
AREA - TOTAL SITE DEVELOPMENT PLAN: 3.86 ACRES 167,962 S.F.

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PRIOR SITE PLAN
Project # 1004677
Case # 06EPC 00143

D.R.B. SIGNOFF BLOCK

PROJECT NUMBER: 1004677
Application Number: 08DRB 70101

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 12/20/07 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

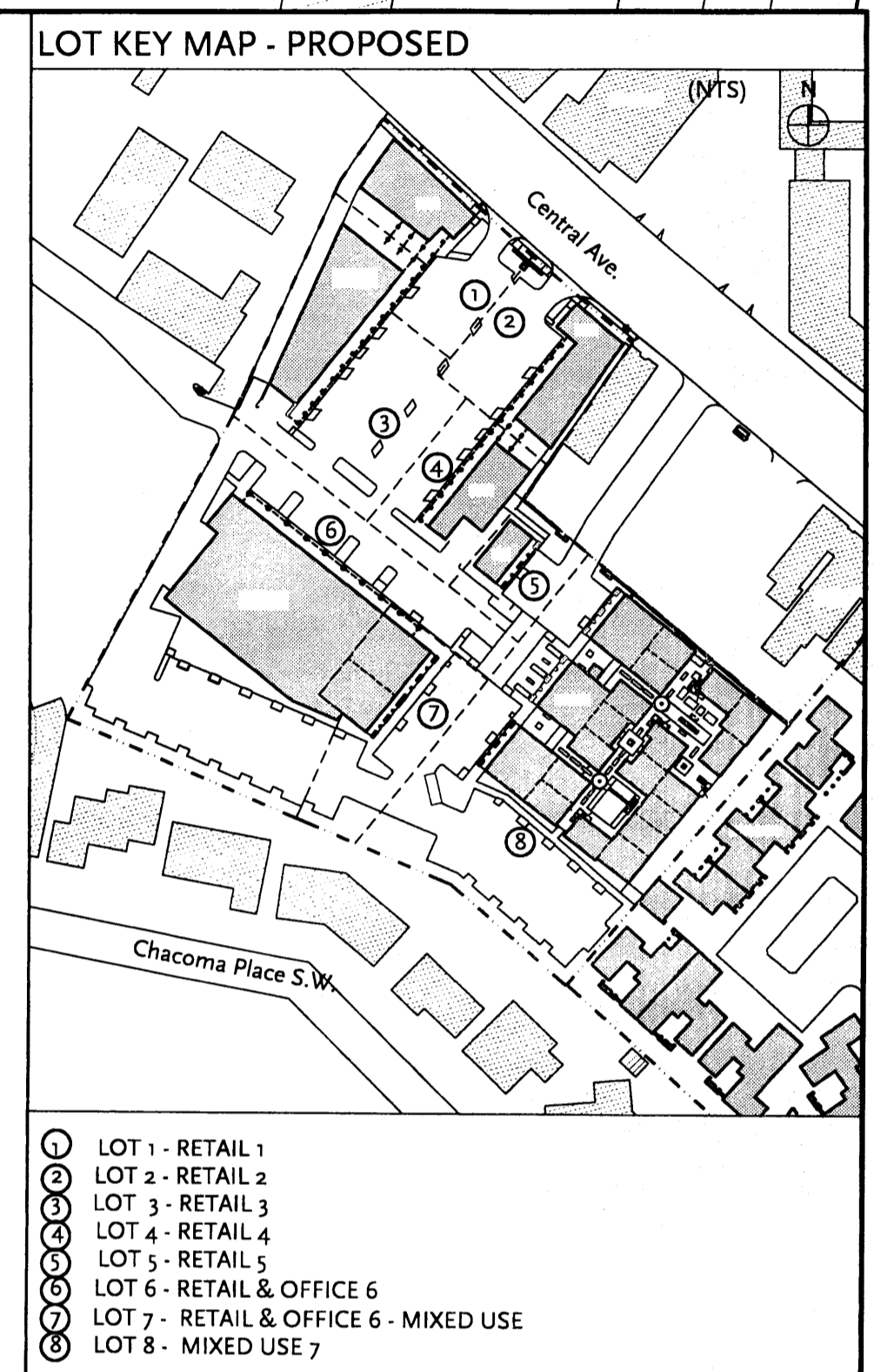
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ABCWA	4/9/08
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SITE DEVELOPMENT PLAN
FOR SUBDIVISION & ADMENDMENT

A-0

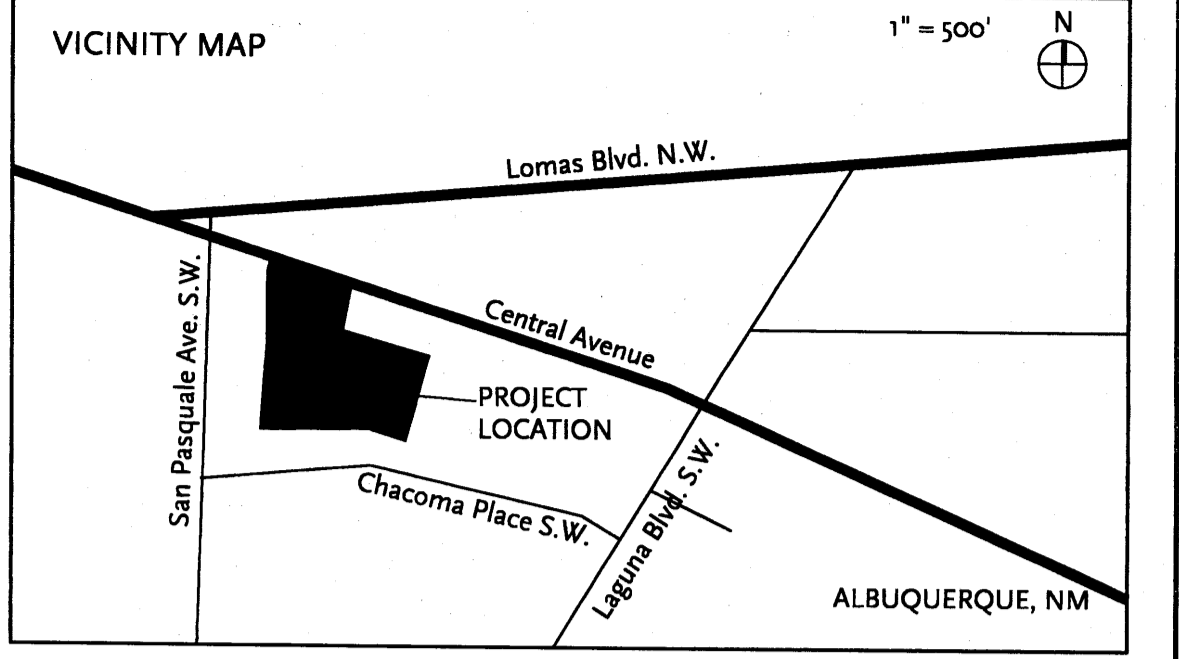
MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS
D.R.B. - 9 APRIL 2008

1004677



RESIDENTIAL DWELLING UNIT (D.U.) COUNT

UNIT SIZE	COUNT	SQ. FOOTAGE (NET)
600 S.F. UNIT	27	16,200
658 S.F. UNIT	1	658
740 S.F. UNIT	5	3,700
750 S.F. UNIT	2	1,500
762 S.F. UNIT	1	762
900 S.F. UNIT	2	1,800
1024 S.F. UNIT	2	2,048
1200 S.F. UNIT	4	4,800
TOTAL	44	31,468 x 15% net/gross = 37,000 gross s.f.



LEGAL DESCRIPTION
 M.R.C.D. TRACTS 129-B-1-A, 131, 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILLED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 04, 2007, IN MAP BOOK 2007C, PAGE 8, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GRID DISTANCES (US SURVEY FOOT) AS FOLLOWS: (SEE LEGAL SURVEY FOR BEARINGS & DISTANCES).

ZONE ATLAS PAGE: 1-13-Z
 ZONE (EXISTING): SU-2/SU-1 ABQ LITTLE THEATRE & SU-2/CID

TOTAL SITE AREA
 AREA - TOTAL SITE DEVELOPMENT PLAN: 3.86 ACRES 167,962 S.F.

COMMERCIAL LOTS

LOT #	PRIMARY USE	ACRES	S.F.	BUILDING #	S.F.	F.A.R.	BLDG. SET-BACK
1	Retail, restaurant	0.25	11,351	RETAIL 1	3,114	.27	46' 5/15/0'
2	Retail, restaurant	0.27	11,562	RETAIL 2	3,417	.30	46' 5/15/0'
3	Retail, mixed use	0.52	22,226	RETAIL 3	L1: 5,347 + L2: 2,700 = 8,047	.34	46' 5/15/0'
4	Retail	0.21	9,369	RETAIL 4	2,320	.25	46' 5/15/0'
5	Retail	0.13	5,507	RETAIL 5	912	.17	46' 5/15/0'
6	Retail, office	1.02	44,373	RTL, OFFICE 6	L1: 13,090 + L2: 3,400 = 16,490	.37	46' 5/15/0'
7	Retail, mixed use	0.29	12,490		L1: 3,465 + L2: 3,465 = 6,930	.35	46' 5/15/0'
TOTALS		2.75	117,378		41,950	2.25 / 7 = .32	

DENSITY (F.A.R.): AVERAGE FOR LOTS = .32 + .83 / 2 = .58
 DENSITY (F.A.R.): AVERAGE FOR ENTIRE SITE = .32 + .83 / 2 = .58
 DENSITY (F.A.R.): ALLOWED = No Requirements
 *no buildings in 10' setback against south property line adjacent to R-1 zone.

MIXED USE RESIDENTIAL LOT

LOT #	PRIMARY USE	ACRES	S.F.	BUILDING #	S.F.	F.A.R.	BLDG. DWELL. SET-BACK
8	Res. mixed use	1.16	50,584	MIXED USE 7	4,762	.09	44' 3/15/150'
8	Residential	-	-	DWELLINGS	37,000	.73	50' 44'
TOTALS					41,762	.83	

DENSITY (F.A.R.): AVERAGE FOR LOT = .73
 DENSITY (F.A.R.): AVERAGE FOR DWELLINGS ONLY = .61
 DENSITY (F.A.R.): ALLOWED FOR RESIDENTIAL = .61
 DENSITY (F.A.R.): AVERAGE FOR ENTIRE SITE = .32 + .83 / 2 = .58
 *no buildings in 10' setback against south property line adjacent to R-1 zone
 ** 4' increase @ club house (1 unit, 600 s.f.); roof access stair enclosures & trellises, & elevator tower

USABLE OPEN SPACE (44 DU (dwelling units) total):
 1 36 RESIDENCES 1 BR. X 400 S.F. = REQUIRED 14,400 S.F.
 4 RESIDENCES 2 BR. X 500 S.F. = REQUIRED 2,000 S.F.
 4 RESIDENCES 3 BR. X 600 S.F. = REQUIRED 2,400 S.F.
TOTAL OPEN SPACE REQUIRED = 18,800 S.F.
TOTAL OPEN SPACE TO BE PROVIDED = 18,800 S.F.

PARKING

PARKING: PER CODE BASED ON NET LEASABLE S.F.:

RETAIL 1: 1 SPACE/3 PERSONS fire occupancy for restaurant	35 SPACES
RETAIL 2: 1 SPACE/3 PERSONS fire occupancy for restaurant	39 SPACES
RETAIL 3 - 6 LEVEL: 1 SPACE/200 S.F.	20 SPACES
RETAIL 3 - 6 LEVEL: 1 SPACE/200 S.F.	20 SPACES
MIXED U. 7: COMMERCIAL: 1 SPACE/200 S.F.	24 SPACES
232 X 25 TRANSIT/MIXED USE REDUCTION - REQUIRED	174 SPACES
MIXED U. 7: RESIDENTIAL: 1.5 SPACE/SMALL UNITS X 38	57 SPACES
2 SPACE/LARGE UNITS X 6	12 SPACES
TOTAL REQUIRED	243 SPACES
TOTAL PROVIDED	195 SPACES

(includes 8 H.C. spaces, (5 motorcycle, & 34 bicycle spaces provided but not included in total))

DEVELOPMENT PLAN NOTES

- PRIOR SUBMITTAL: COUNTRY CLUB SITE DEVELOPMENT PLAN FOR SUBDIVISION IS AN AMENDMENT, PRIOR PROJECT # 1004677, CASE# 06EPC 00043. IT IS CONCURRENTLY GOING THROUGH THE CITY D.R.B. PROCESS, AND WILL BE HEARD ON 11/28/07.
- PRIOR SUBMITTAL: EPC APPROVED CASE # 1004677.
- PRIOR SUBMITTAL: 07EPC40073 SITE DEVELOPMENT SUBDIVISION.
 - 07EPC40074 AMEND SITE DEVELOPMENT PLAN SUBDIVISION.
 - 07EPC40074 AMENDMENT TO SPECTO DEVELOPMENT PLAN (ZONE CHANGE).
- SHEETS A-1 AND A-2 ENLARGED FOR SPECIFIC PLAN INFORMATION, INCLUDING SETBACKS.
- PHASING: PROJECT WILL BE PHASED, & WILL BE BASED ON REAL ESTATE MARKET FORCES AT THE TIME EPC APPROVALS ARE IN PLACE AND OWNER IS READY TO DESIGN & BUILD.
- SITE LIGHTING: TO CONFORM WITH CITY OF ABQ STANDARDS
- USES: Prohibited: R-2 Community Residential Program.
 Prohibited: Drive-thru service windows

INDEX OF DRAWINGS

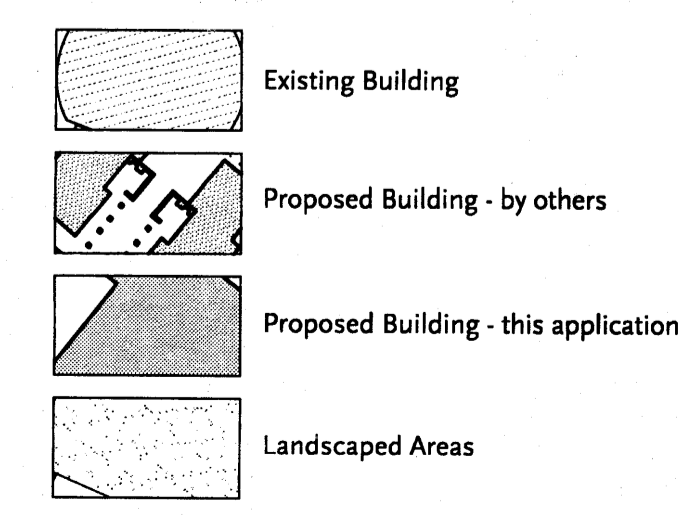
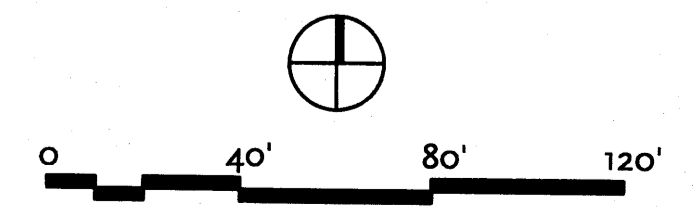
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A-4 SITE PLAN - ENLARGED - WEST, & REFUSE DETAILS	
A-5 SITE PLAN - ENLARGED - EAST, PEDESTRIAN DIAGRAM, BLDG. HT. DIAGRAM	
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C-1 GRADING & DRAINAGE PLAN PRELIMINARY	
C-2 UTILITY PLAN-CONCEPTUAL	
L-1 LANDSCAPE PLAN	

Legend:
 Existing Building (hatched pattern)
 Proposed Building - by others (dotted pattern)
 Proposed Building - this application (solid grey)
 Landscaped Areas (stippled pattern)

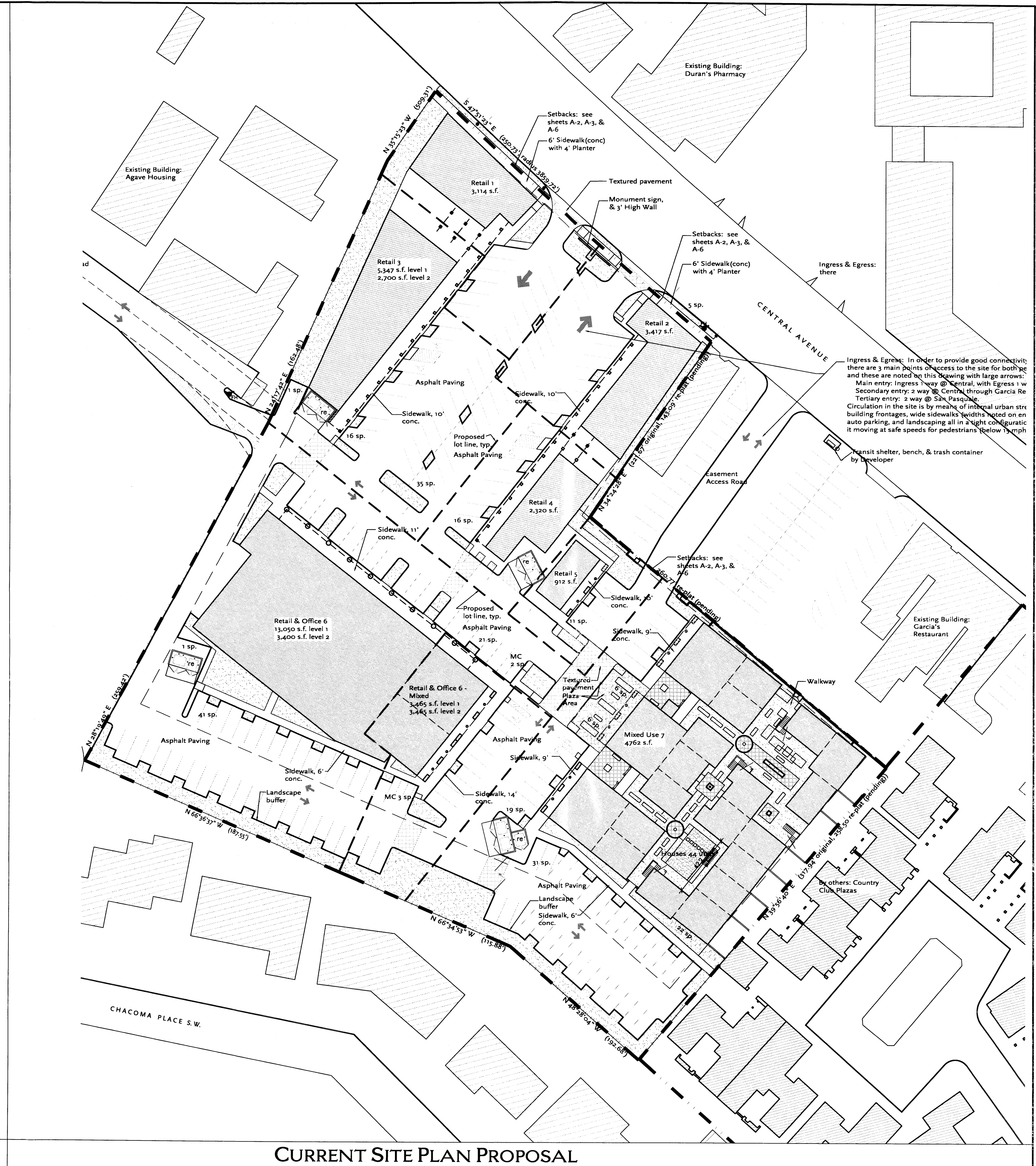
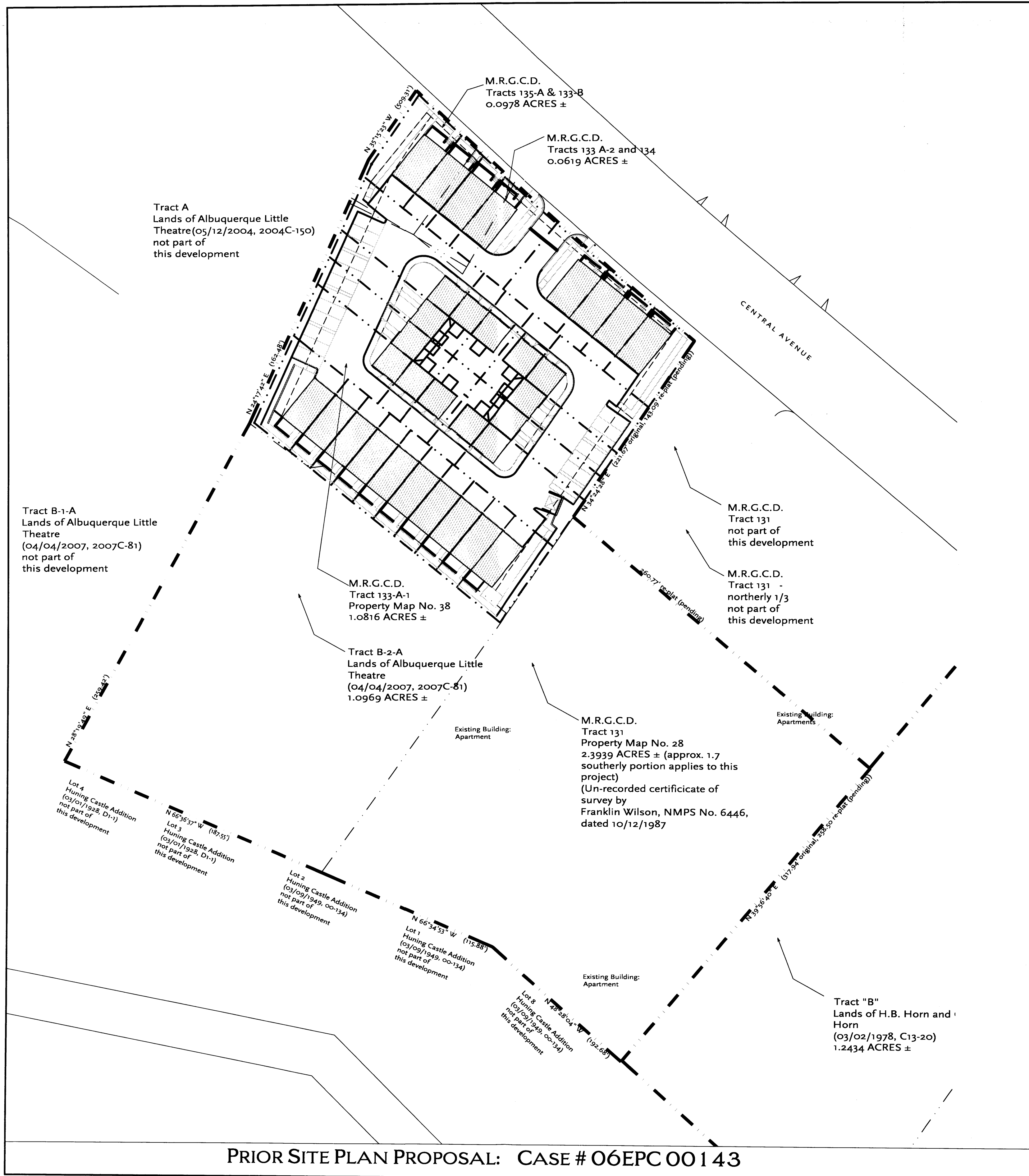
SITE DEVELOPMENT PLAN

FOR SUBDIVISION & AMENDMENT

CENTRAL AVE PROPERTIES ABQ
 ALBUQUERQUE, NEW MEXICO
 REMBE COUNTRY CLUB L.L.C.



4/10/08 change
SITE DEVELOPMENT PLAN
 FOR SUBDIVISION & ADMENDMENT
A-1
 MOULE & POLYZOIDES
 ARCHITECTS AND URBANISTS
 D.R.B. - 25 FEBRUARY 2008



SITE PLAN - PRIOR SITE PLAN COMPARISON

PRIOR SITE PLAN PROPOSAL: CASE # O6EPC 00143

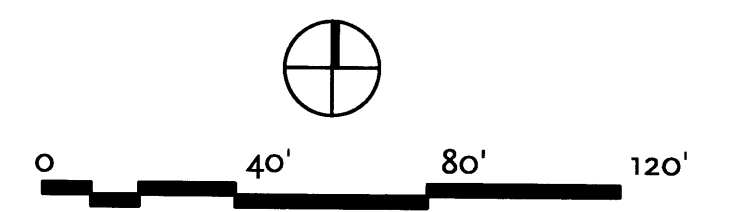
CURRENT SITE PLAN PROPOSAL

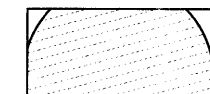


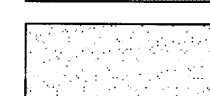
SITE DEVELOPMENT PLAN FOR SUBDIVISION & ADMENDMENT

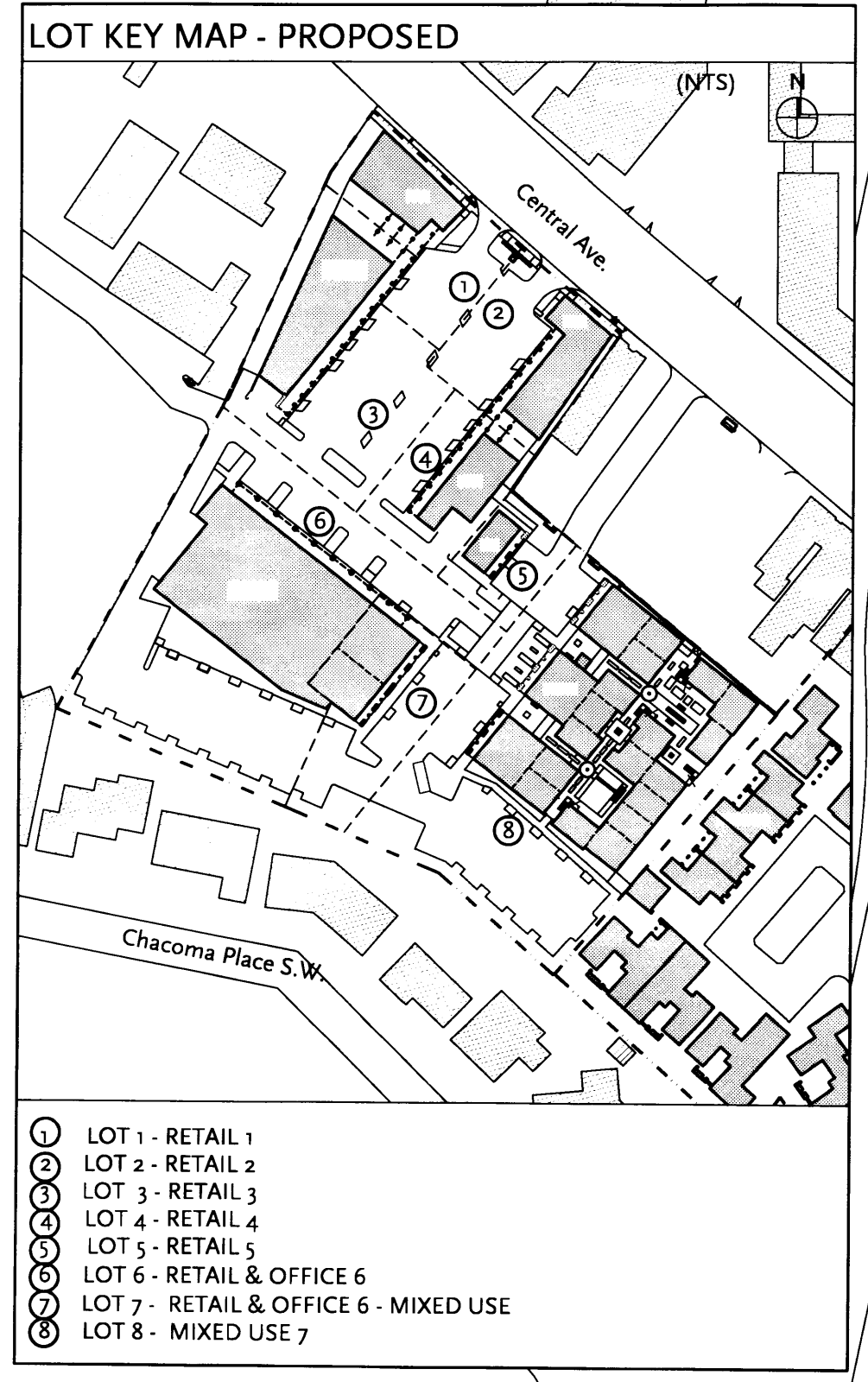
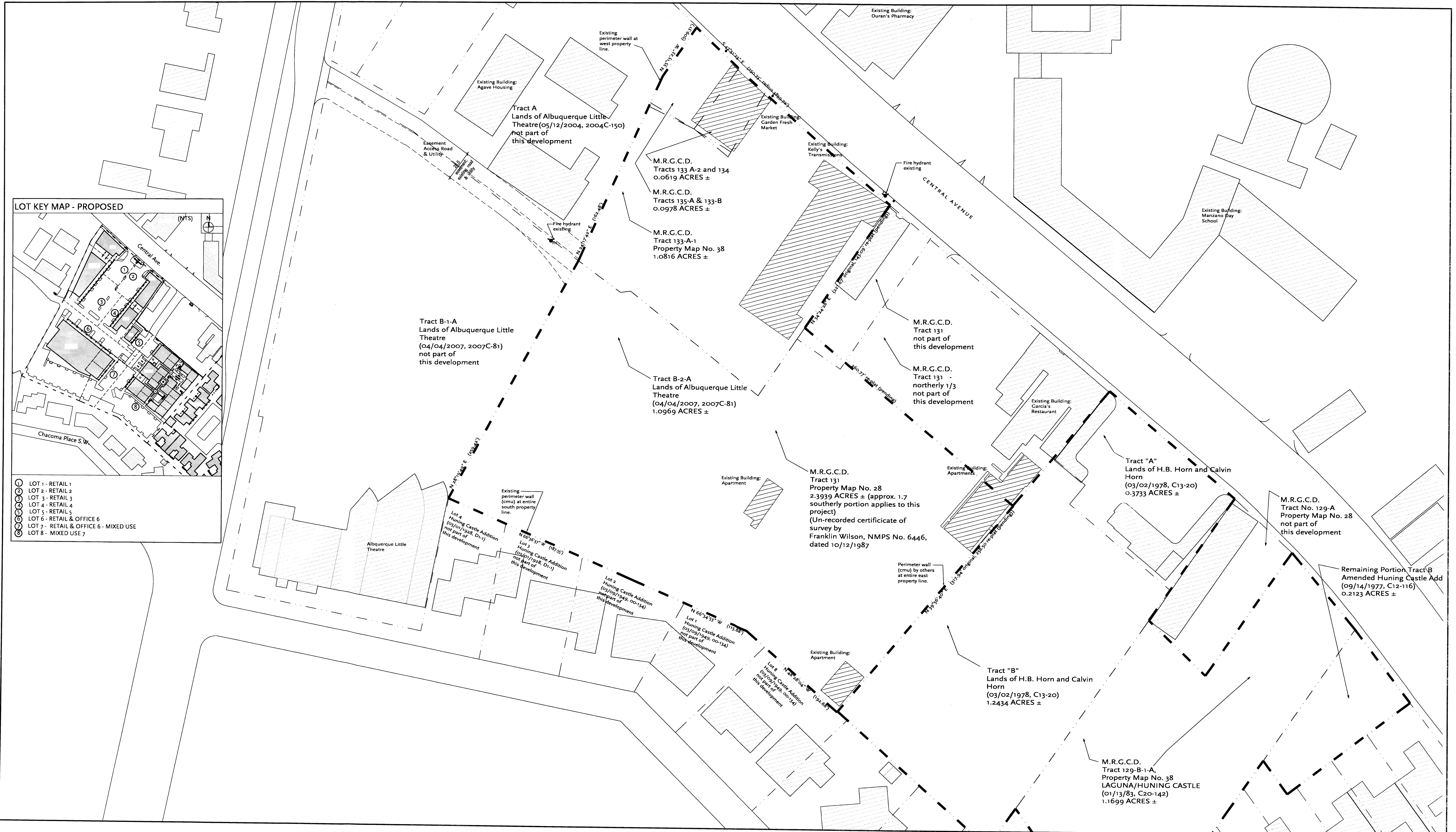
A-1B

MOULE & POLYZOIDES ARCHITECTS AND URBANISTS D.R.B. - 25 FEBRUARY 2008

CENTRAL AVE PROPERTIES ABQ ALBUQUERQUE, NEW MEXICO REMBE COUNTRY CLUB L.L.C.



-  Existing Building
-  Proposed Building - by others
-  Proposed Building - this application
-  Landscaped Areas



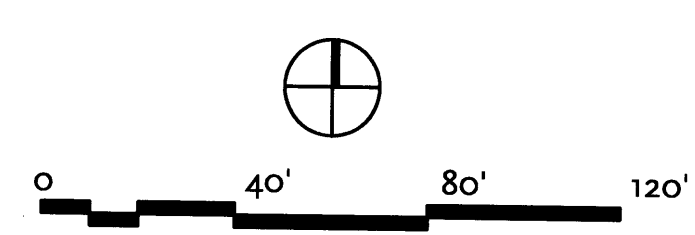
SITE PLAN - EXISTING CONDITIONS

SITE DEVELOPMENT PLAN
FOR SUBDIVISION & ADMENDMENT

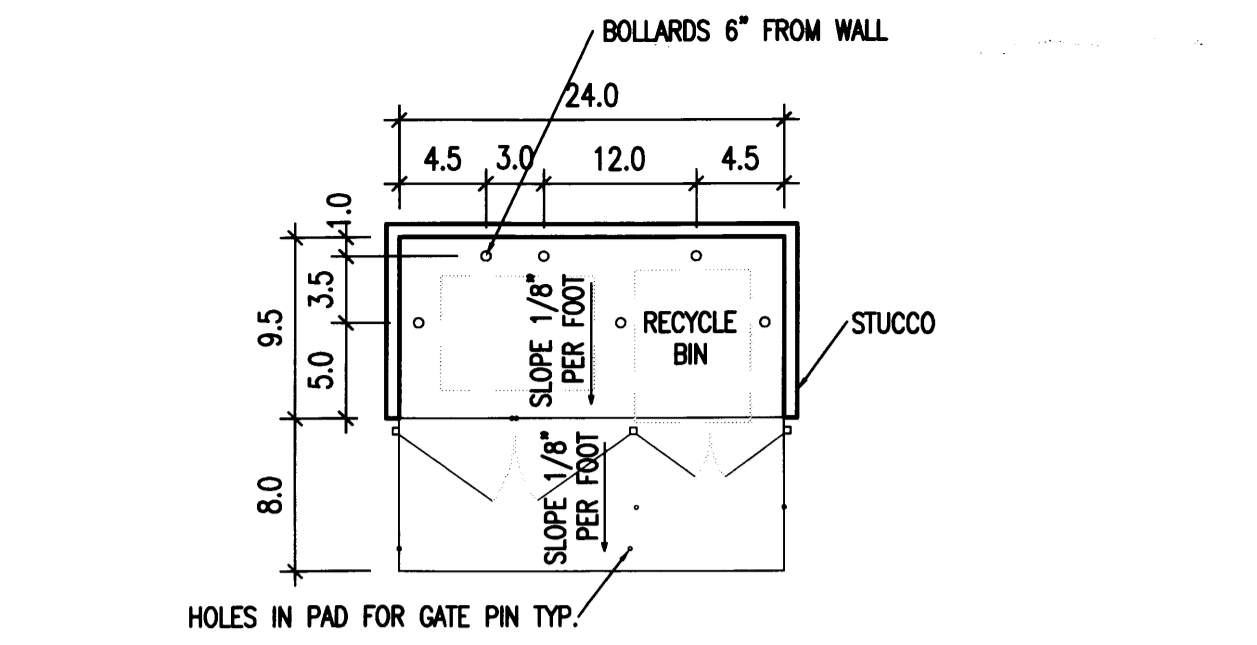
A-1C

MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS
D.R.B. - 25 FEBRUARY 2008

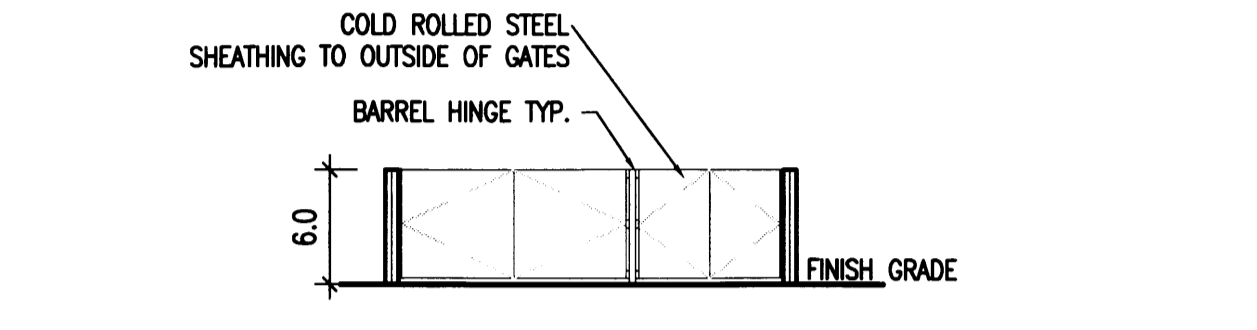
CENTRAL AVE PROPERTIES ABQ
ALBUQUERQUE, NEW MEXICO
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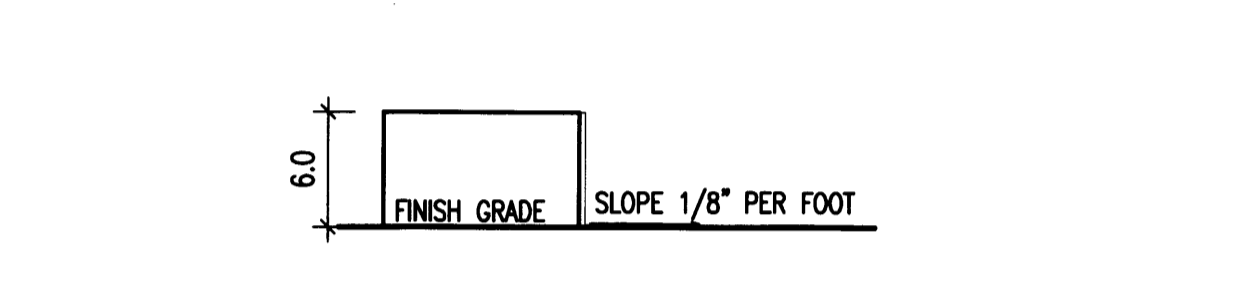
- Existing Building
- Proposed Building - by others
- Proposed Building - this application
- Landscaped Areas



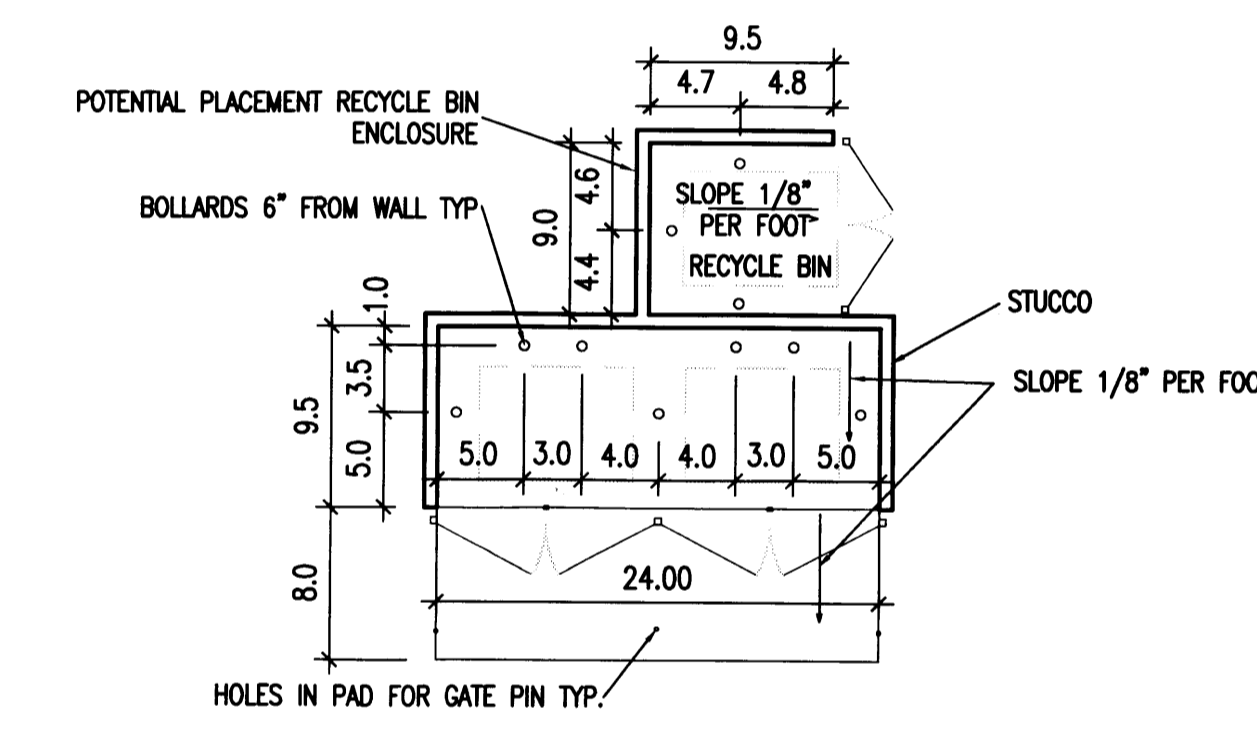
2- BAY TRASH ENCLOSURE - PLAN
1"=10'-0"



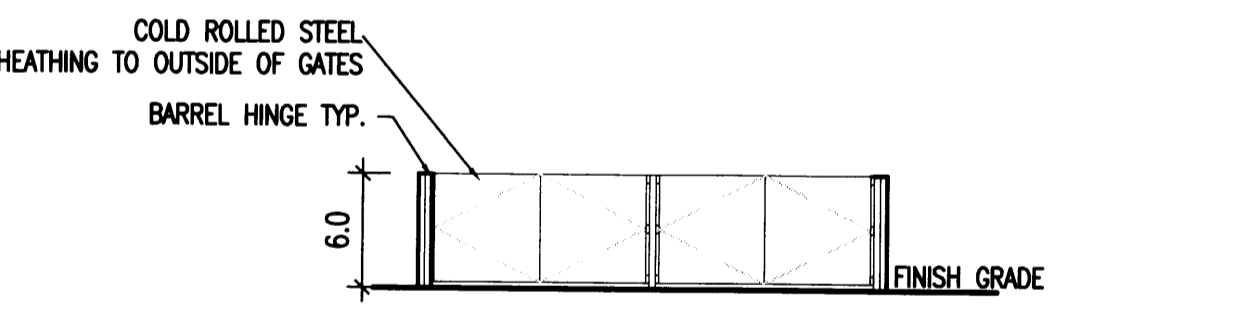
2- BAY TRASH ENCLOSURE - FRONT
1"=10'-0"



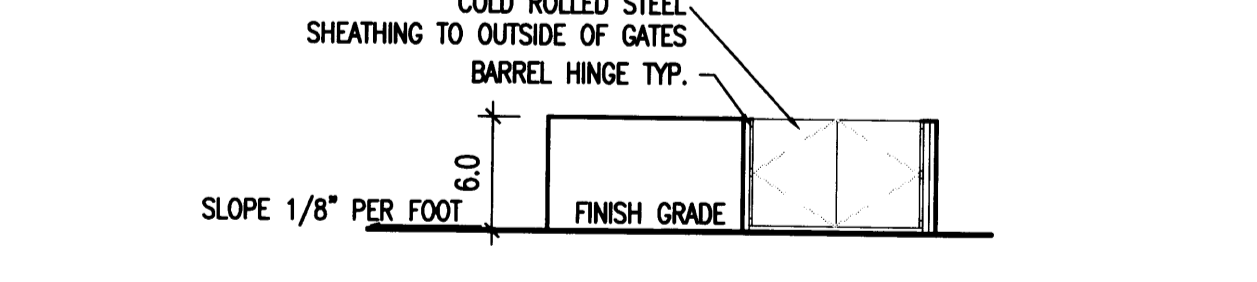
2- BAY TRASH ENCLOSURE - SIDE
1"=10'-0"



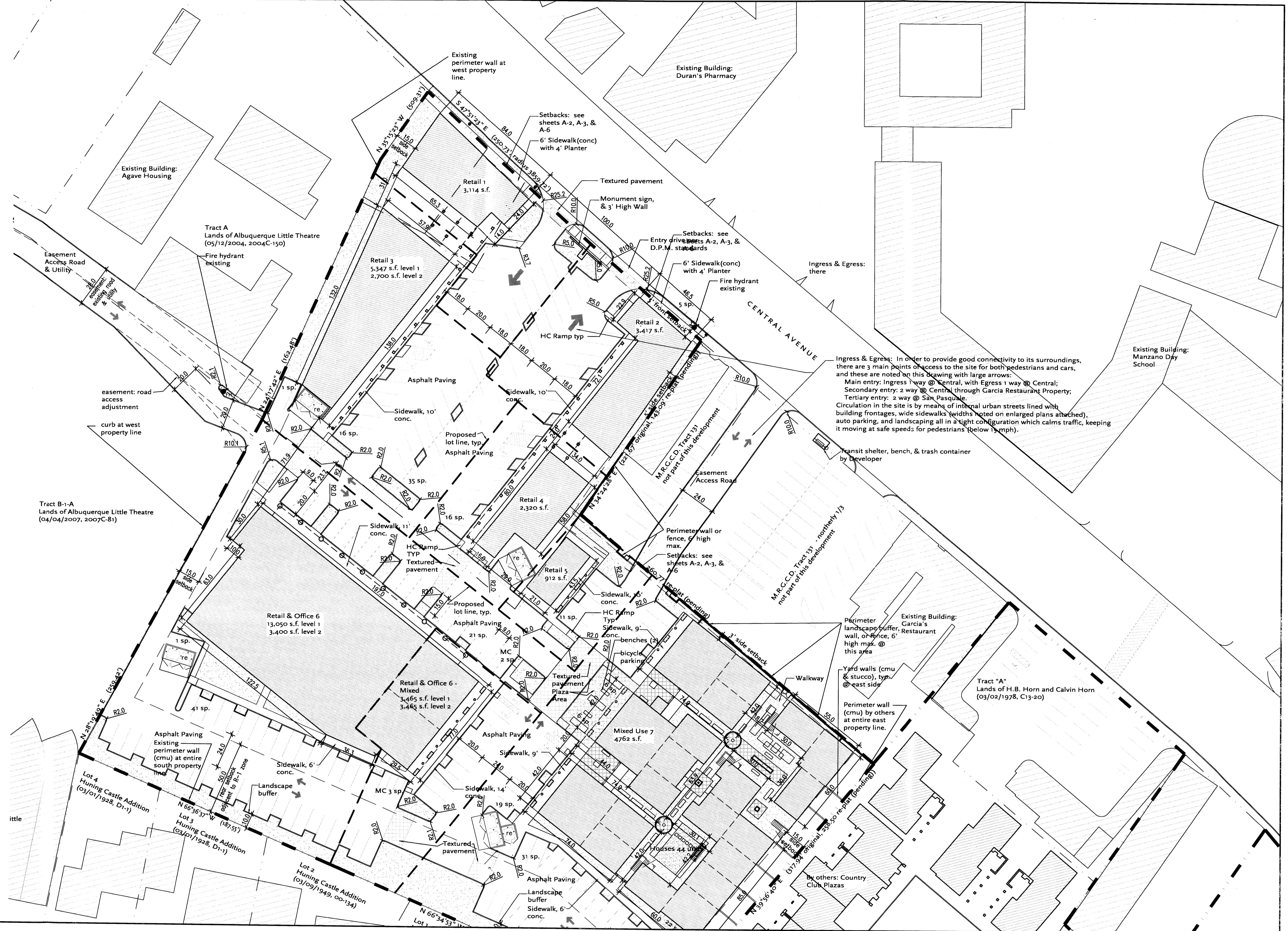
3- BAY TRASH ENCLOSURE - PLAN
1"=10'-0"



3- BAY TRASH ENCLOSURE - FRONT
1"=10'-0"



3- BAY TRASH ENCLOSURE - SIDE
1"=10'-0"



SITE PLAN - ENLARGED - WEST

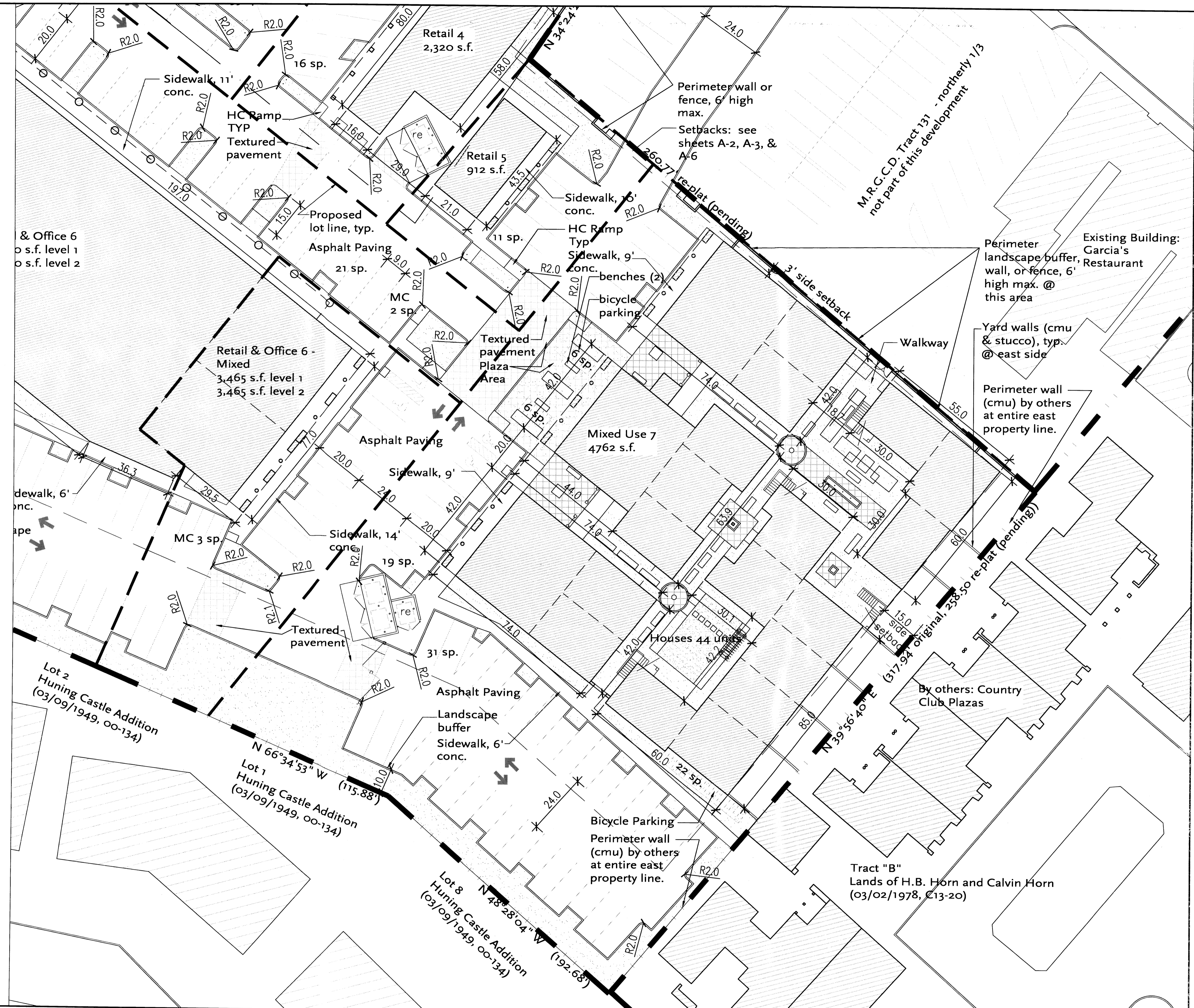
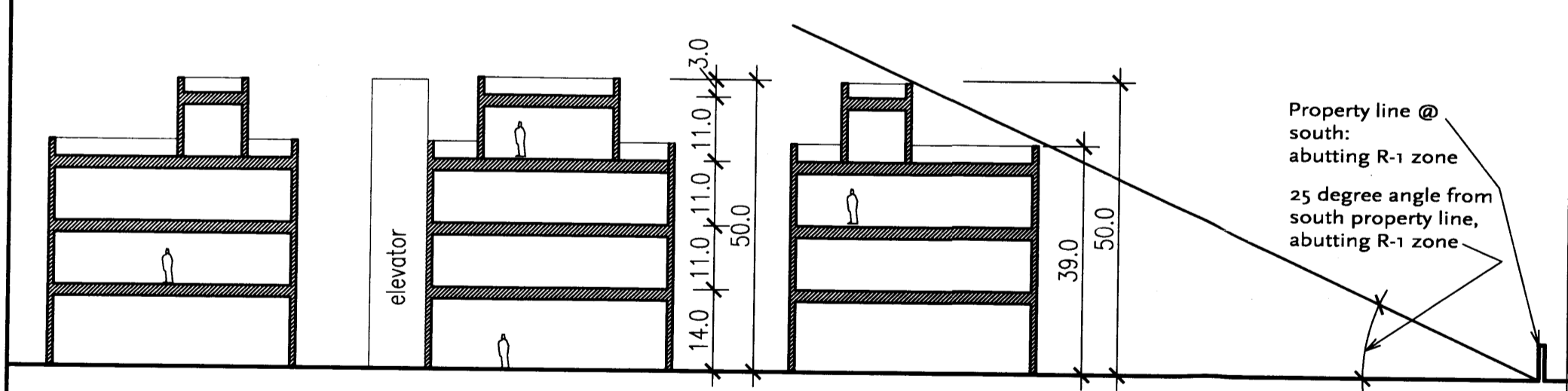
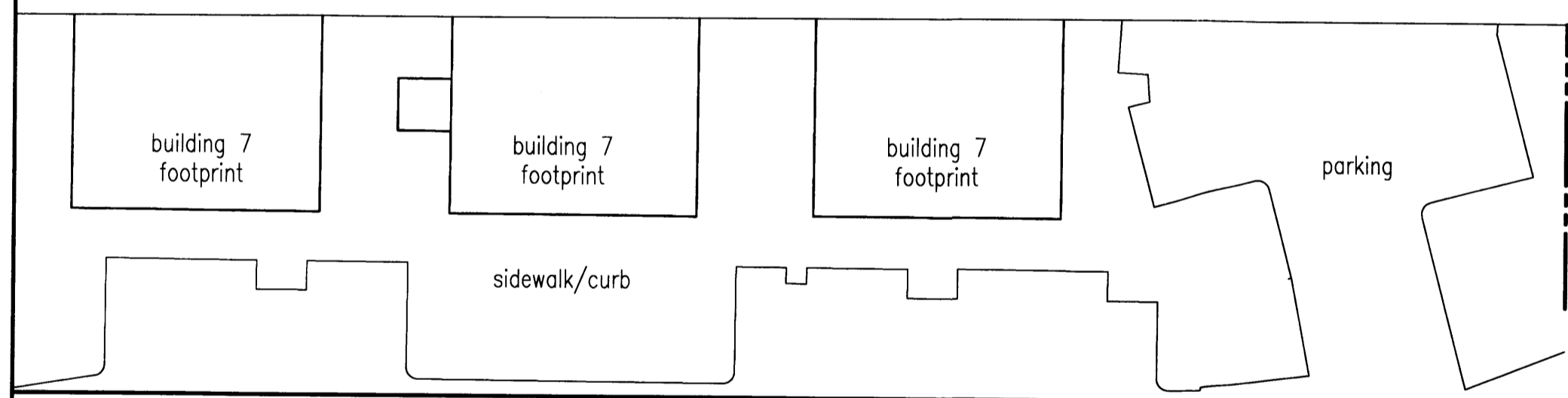
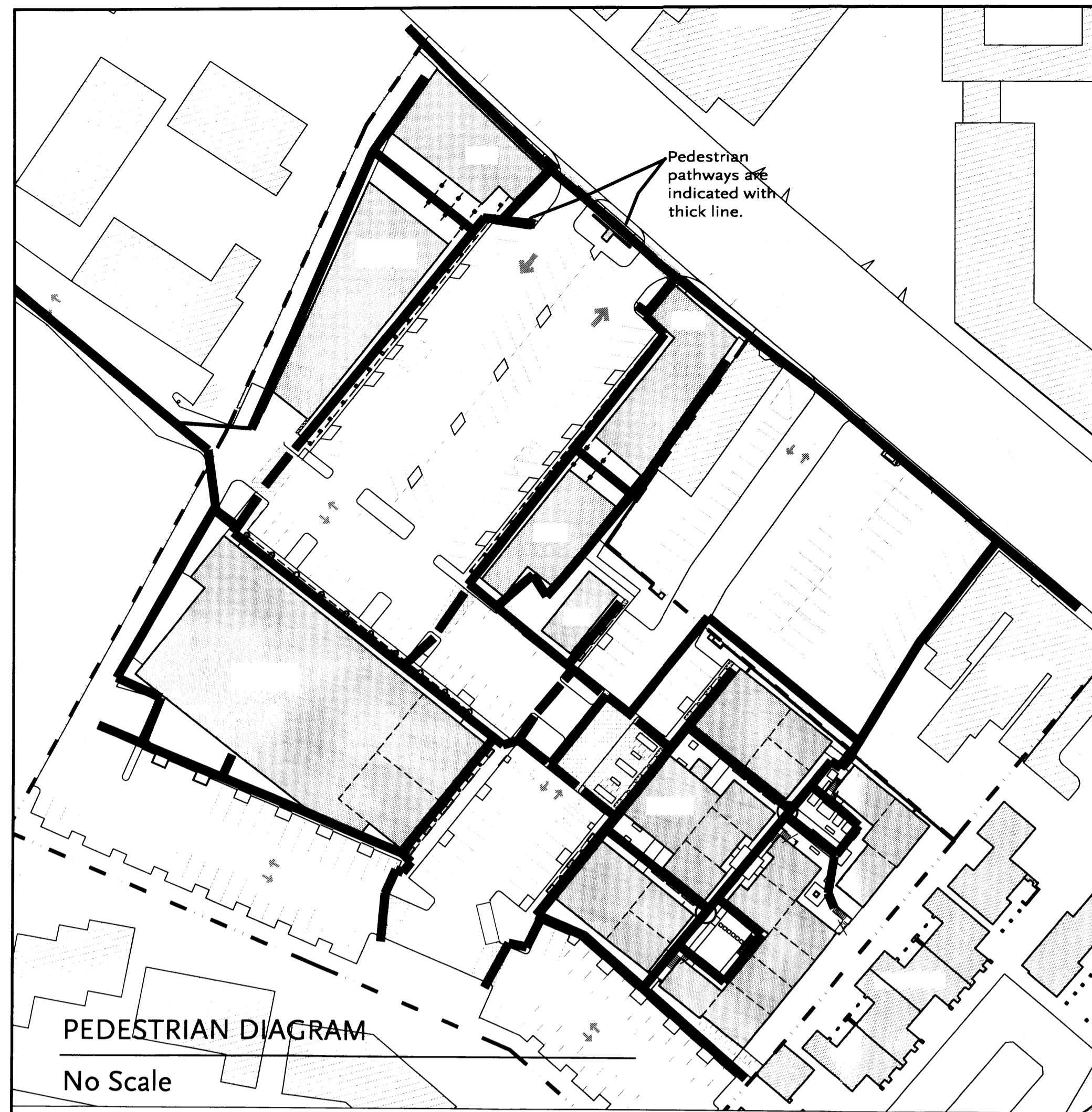
- Existing Building
- Proposed Building - by others
- Proposed Building - this application
- Landscaped Areas

SITE DEVELOPMENT PLAN
FOR SUBDIVISION & ADMENDMENT

A-2

MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS
D.R.B. - 25 FEBRUARY 2008

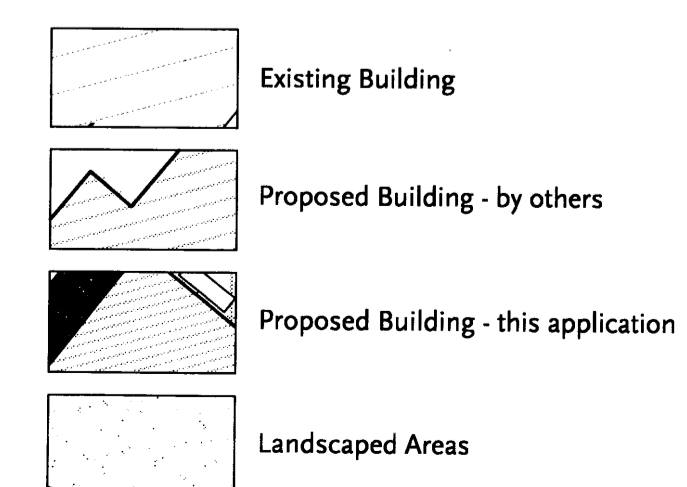
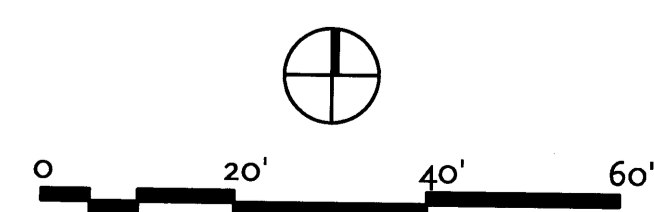
CENTRAL AVE PROPERTIES ABQ
ALBUQUERQUE, NEW MEXICO
REMBE COUNTRY CLUB L.L.C.



SITE PLAN - ENLARGED - EAST

SITE DEVELOPMENT PLAN FOR SUBDIVISION & ADMENDMENT

CENTRAL AVE PROPERTIES ABQ
ALBUQUERQUE, NEW MEXICO
REMBE COUNTRY CLUB L.L.C.



A-3

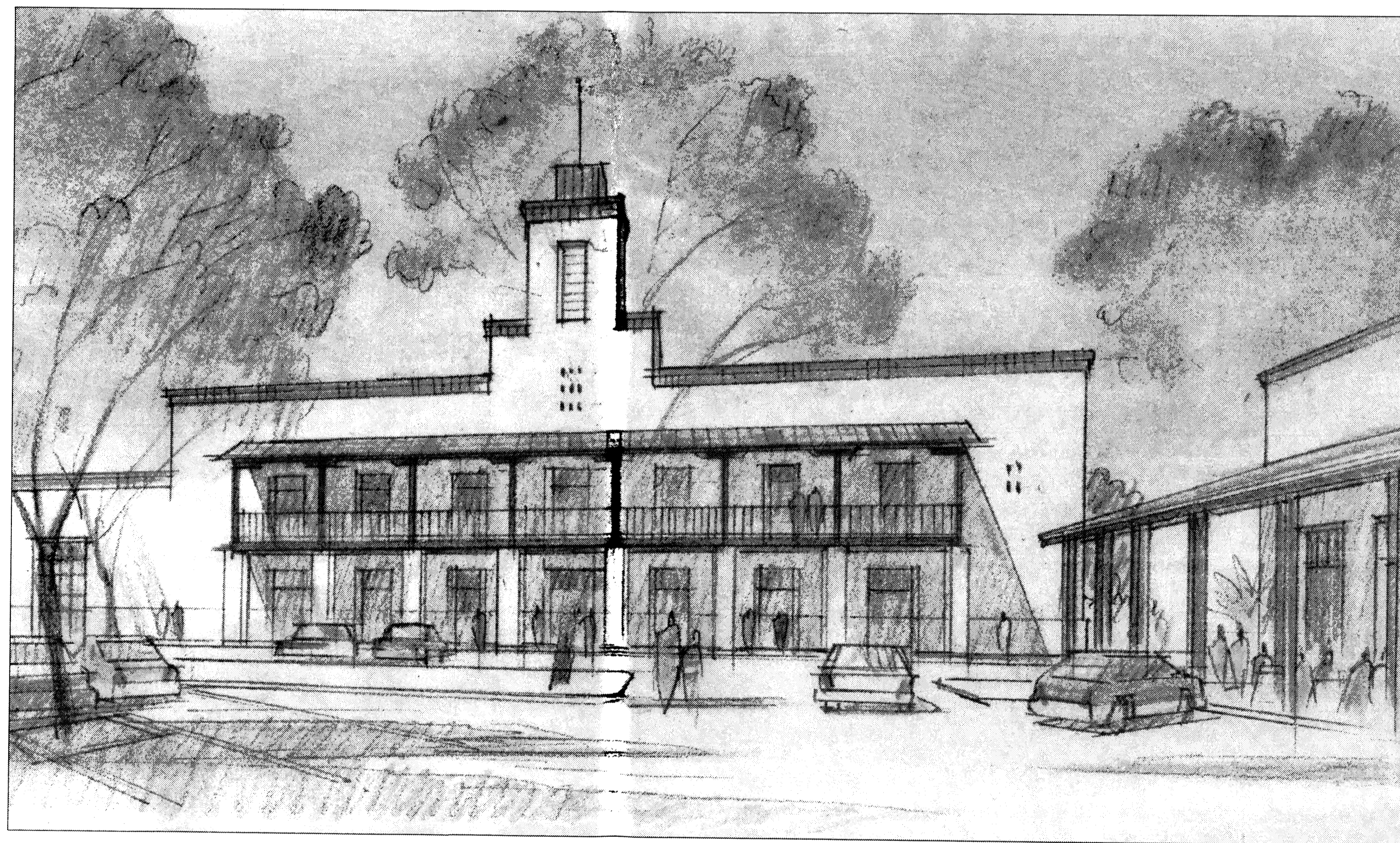
MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS
D.R.B. - 25 FEBRUARY 2008



Commercial areas - the sketch illustrates the potential character created by the design guidelines - a Moderne or Territorial hybrid building with portales.



Residential Courtyard - the sketch illustrates the potential character created by the design guidelines - a hybrid of the Mediterranean and Pueblo styles.



Commercial areas - the sketch illustrates the potential character created by the design guidelines - Territorial style building with 2 story portales (gallery).



Commercial areas - the sketch illustrates the potential character created by the design guidelines - a Moderne or Territorial hybrid building.

ILLUSTRATIVE SKETCHES - CHARACTER OF PROJECT

SITE DEVELOPMENT PLAN
FOR SUBDIVISION & ADMENDMENT

A-4

MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS
29 OCTOBER 2007

DESIGN STANDARDS

CENTRAL AVE. PROPERTIES

1700 BLOCK CENTRAL AVE. S.W.
ALBUQUERQUE, NEW MEXICO 87104

Introduction

These Design Standards apply to the 3.86 acre Central Avenue Properties development to be built on the 1700 block of Central Ave. S.W. on lands between Laguna Blvd. S.W. and San Pasquale Avenue S.W.. Procedurally, future projects built on site shall submit Site Development Plans for Building Permits which will be reviewed by the Planning Director, who may delegate the project to the City D.R.B. (Development Review Board). The project will then be reviewed and enforced by City Code Enforcement Division. The intention of the Standards is to ensure that all buildings within this development be designed and constructed with quality and in compliance with these Design Standards.

Design Theme/Land Use Concept

The project infills a major hole in its neighborhood with a design theme of a small Route 66 neighborhood center that transitions to the residences at the south. The design theme matches with the eclectic context: Central Ave. & its Route 66 heritage of Moderne design; the adjacency of the site to the Country Club with its Mediterranean and revival styles; and the adjacency of the site to historic Old Town with its walkable scale and Pueblo and Territorial styles. The theme uses the walkable, urban scale of Old Town with a style mix of all the styles listed in this description. It is intended that there would be a mix of these styles on site to reflect the context and the realities of buildings occurring over time by different designers and builders, which is just as any good neighborhood would evolve naturally.

The land use concept proposes creation of a vibrant neighborhood center with a full menu of uses- retail, office, live-work, and residential. This mixed of uses is arranged in a walkable, neighborhood-scaled area of shops, offices, and a wide range of sizes of urban, attached homes. The site's proximity to our City's main mass transportation route will encourage ridership and reduce traffic, and the arrangement of building types will help protect residential areas to the south. Parking and circulation are arranged in an urban manner, with buildings, wide walks, and urban landscape framing the public realm of a parking court in front, and internal drives designed as urban streets that create highly a highly connective system of circulation within the site and to the surrounding streets. The design of the court and drives reveals dimensions and layouts appropriate and similar to any urban street.

Walkability & Neighborhood pedestrian scale: the design's entire modus operandi is based on the New Urbanist standard for creating a neighborhood using a pedestrian walking shed from center to edge, which is 1/4 mile (1320'), and is how much ground an average person walks in 5 minutes. Using this dictum, the walking distances to the project from surrounding lots are: from San Pasquale to the site is 309' (1.1 minute walk); from County Club 1 property on Central is 630' (2.3 9 minute walk), from County Club 1 property on Laguna, along the sidewalk is 1319' (4.9 minute walk). Thus, the site is completely walkable and fits with the neighborhood definition.

A. Architectural Character & Styles

The Central Avenue Properties development requires architectural design which respects and creatively uses the existing styles prevalent along Central Ave., and the neighborhoods adjacent to the project - Old Town, and the Country Club. The prevalent styles are Route 66-inspired Moderne, Mediterranean Revival (Spanish Colonial), Pueblo Revival, and Territorial. Lots 1 & 2, fronting directly onto Central Ave., shall employ Moderne or Territorial, or a hybrid (Nob Hill Shopping Center is encouraged as a reference). The other lots may implement any of the styles, and variation amongst buildings is encouraged to reflect the realities of differing phases and project teams. Generic, franchise architecture is prohibited.

A1. Moderne Style

The Moderne style originates with the earliest and purist modernism, which was then tempered by the stylistic Art Deco movement. The movements all focus on the machine age and streamlined design. Many examples are found on Central Ave., or Route 66 which co-opted the style to express American's passion with car travel.

Principal characteristics of the Moderne style include simple massing, stepped massing at towers and/or parapets, vertical or horizontal flow lines and zigzag patterns, rounded corners or windows, cantilevered awnings and pylons, and flat roofs. Facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details. Entry elements are often the prominent architectural feature on the building.

A2. Mediterranean Style

Mediterranean Revival style is a composite of revival styles focused on the Spanish Colonial, Mission, and Italianate styles. The style is one of many parts of the Eclectic movement of 1890 - 1940 which was inspired by architectural precedents from original Spanish, Italian, Greek and North African Moorish cultures, and their colonial progeny (with indigenous influences) in North and South America. The style came into prominence in the 1920's and 1930's, and is found extensively in the Country Club and University areas along Central Ave.

Principal characteristics of the Mediterranean Revival (Spanish Colonial) are its simplistic horizontal massing, usually in a rectangular or L-shaped configuration, arranged in asymmetrical fashion with well-defined projecting and receding forms, which enhance play of light and shadow. The masses are defined with smooth plaster walls, deeply recessed windows/doors, and generally have very low pitch (3:12) tile roofs, or flat roofs with tile accents. The basic mass is punctuated by rhythmic placement of windows and doors, and detail is sparingly applied to these openings with decorative tile or stone surrounds and window grilles. Both color and decoration are somewhat restrained as compared to other styles, and are reserved for such details as wrought iron railings, grilles, and gates, fabric awnings, and stone or colorful tile surrounds at doors, windows, and fountains. Shading devices such as arcades, recessed entries, balconies, overhangs, and awnings are arranged as counterpoints to the massive forms.

A3. Pueblo Style

The Pueblo style originates with the native Anasazi and Puebloan cultures of the S.W., who built in load-bearing stone or adobe.

Principal characteristics are walls of adobe [or framing detailed like adobe mass], earth or stucco plaster, soft rounded edges, and flat roofs. There is a hand-crafted quality to finishes and details, which are kept very simple. Compositions of rooms are massed simply in stacked forms which create light & shadow pattern. The simplicity of massing generates from equally simple plans; rectangular, L-shaped floor plans, or rooms surrounding a square courtyard. The style's massive nature is suited to the drastic diurnal temperature swings of the desert and mountainous S.W. Door and window openings gain special importance, given the simple nature of the style- their small proportion to the larger wall mass, and their recess within the plane of that mass are critical details. Massing and shading devices are very important to the style's response to the high desert climate.

A4. Territorial Style

Origins of the Territorial style build upon the Pueblo style which preceding it. Principal characteristics include simple massing of stone or adobe rectangular volumes is enhanced with wooden details made possible by the arrival of the railroad to the New Mexican Territory in the 1800's to 1900's. Newcomers embellished the pueblo style buildings with stepped brick parapet coping, Greek Revival pedimented window trim, and Greek Revival wood columns and detailing for portales (arcades) and porches. The door & window trim is elaborate, in wood or steel.

B. Incorporated Architectural Design Elements

The principal characteristics of the styles mentioned here are outlined in the following six major design elements which shall be incorporated into the design of buildings constructed in the Central Ave. Properties development.

B1. Massing :

A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three walls. Massing for buildings in the Central Ave. Properties development shall be well proportioned and consistent with the architectural character of each building's style. Particular consideration shall be taken to preserve natural view corridors at the site, as well as terminating major vistas within the site. The following refer to traditional or modern interpretations/inspirational designs:

- Moderne: typically asymmetrical, horizontally proportioned & 1 story in ABQ. Corner towers (round, square, or octagonal stepped form) are common, and signage may incorporate building signage into its massing. Entry elements are often the prominent architectural feature on the building.
- Mediterranean: symmetrical or asymmetrical, but the latter is more typical. Masses may step horizontally and vertically for light/shadow effect. Tower elements may occur, typically kept to 30% of the size of the main mass.
- Pueblo: symmetrical or asymmetrical, but the latter is more typical. Tower elements may occur, typically kept to 30% of the size of the main mass. Masses may step horizontally and vertically for light/shadow effect.
- Territorial: symmetrical or asymmetrical, but the latter is more typical. Masses may step horizontally and vertically for light/shadow effect. Tower elements may occur, typically kept to 30% of the size of the main mass.

B2. Roofs :

- Moderne: flat roofs with parapets that are simple, stepped or streamlined, and may incorporate stylized building signage into its parapet or roof form.
- Mediterranean: very low pitch, 3:12 to 5:12 in hip or gable. Typically no overhangs, but when used, are kept shallow to 9 inches or less, with brackets or plaster transitions.
- Pueblo: flat roof with rounded or eased parapets.
- Territorial: flat roof with parapet. Parapet is detailed with brick cornice & coping. Pitched roofs, 5:12 to 8:12 are allowed only by special exception.

B3. Windows & Doors :

- Moderne: Facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings compliment the accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details, and incorporate large expanses of glass, metal window and metal storefront frames, especially at public streets. Glass block may be used as accents.
- Mediterranean: rhythmic placement of windows and doors punctuates the wall, and detail is sparingly applied to these openings with decorative tile or stone surrounds and occasional window grilles of iron or wood. Openings are deeply recessed to suggest thick wall structure. Wood or clad wood windows with divided lites or double hung configurations are typical. Arched openings are allowed at the ground floor.,
- Pueblo: same as Mediterranean, but decorative detail at openings is reserved for wood lintels and frames, or metal clad wood. All openings to have exposed or concealed lintels, no arched openings allowed.
- Territorial: Facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings compliment the accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. The door & window trim is elaborate with a pediment used in the vernacular - that is, applied to the surface of the wall, and detailed carefully at head, jamb, & sill trim, along with a pediment of very low pitch (1.5 to 12 max.), or flat lintel w/ dentils.

B4. Shading & Entries :

- Moderne: typically have awnings or canopies at openings. One may incorporate a tower or stylized mass of overhang at entries. Balconies may also provide shading.
- Mediterranean: typically incorporate side and rear courts and outdoor rooms. Entries are recessed into the main facade, and galleries (portales) and arcades (habitable space above the covered area) are appropriate to use. Portales and arcades may match the building mass in material, or contrast with it. Balconies may also provide shading.
- Pueblo: same as Mediterranean.
- Territorial: same as Mediterranean. In addition, galleries and arcades may either match the building mass, contrast with it, or take on more formal proportions related to the style's Greek Revival roots- that is, wood columns (base & simple chamfered shaft, & simple capitals), railings, and balusters rendered in vertical proportions to match window & door trim.

B5. Building Details :

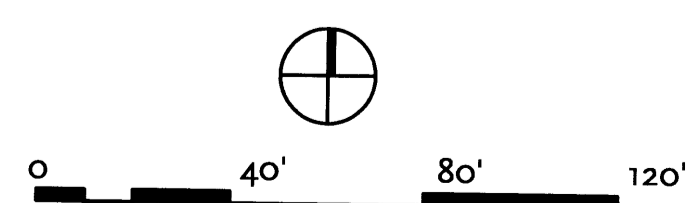
- Moderne: details may include wall relief moldings, pilasters, articulated bases to walls, and detailed parapets. Other detailing would include the shading devices mentioned above placed at openings and entryways or used to distinguish volume or massing elements. Designs may incorporate stylized elements of signage or lighting into their detailing.
- Mediterranean: detailing and ornament is reserved, and placed at main doors or unique windows via tile or stone surrounds, or iron grille work. Balconies of steel/iron are also used to add ornamentation.
- Pueblo: detailing is spare, and is limited to window and door frame or lintel colors and textures, iron or wood grilles at the openings. Wooden details at portales, arcades or porches may include the columns, beams, corbels, and ramadas.
- Territorial: detail is seen in the parapet cornice (brick), portales details (per section B5), door & window trim (may be wood, wood with Greek revival style, or creative interpretation), and iron details such as lamps, grilles, or balconies.

B6. Building Materials & Colors:

Building materials and colors for the Central Ave. Properties development shall be consistent with the architectural character of each buildings style. Quality materials, architectural features, and craftsmanship shall be employed in the execution of each building. Building materials approved, but not limited to, shall include stucco, brick, stone (laid horizontally in load-bearing fashion), concrete, split-faced concrete masonry unit, glass, glass block, ceramic tile, decorative tile, clay tile, wood, copper, galvanized metal, aluminum, and neon (lighting).

- Moderne: may use generous amounts of exposed metals and glass incorporated into the wall design, or on awnings, canopies, and towers. Designs may incorporate stylized elements of metal signage or lighting. Colors include cream, off-white, or warm earth-toned saturated color for walls, and saturated colors for accents.
- Mediterranean: primarily utilizes stucco, tile roofing (barrel or flat tiles) or tile roofing accents, tile decoration, and wrought-iron grilles, railings, and misc. details. Colors include cream, off-white, and other warm earth tone colors for walls, and more saturated natural colors for accents.
- Pueblo: may use stucco, with wood detailing at windows, doors, portales/arcades. Wrought iron details may occur sparingly. Colors are specific to warm, earth-toned tans and browns, with saturated accents at window & door frames, and door panels.
- Territorial: may use stucco, brick accents, wood or steel detailing at doors & windows, and occasional wrought iron details. Colors are specific to warm, earth-toned off-whites, tans, and browns, with saturated accents at window & door frames, and door panels.

DESIGN STANDARDS



CENTRAL AVE PROPERTIES ABQ
ALBUQUERQUE, NEW MEXICO
REMBE COUNTRY CLUB L.L.C.

SITE DEVELOPMENT PLAN
FOR SUBDIVISION & ADMENDMENT

A-5

MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS
D.R.B. - 25 FEBRUARY 2008

C. Building Density and Height

C1. Building Density:

Floor Area Ratio (F.A.R.) is the ratio of the heated gross floor area of structures to the total premises. It is measured from outside surface of outside walls, including multiple stories, in square feet. Separate areas are to be calculated individually and then averaged out.

Commercial use buildings: no requirements.

Residential use buildings: there are 2 FAR's for the residential project at Lot 8 shown on sheet A-1:

- 1) A maximum F.A.R. of .83 for the residential project, including its live/work space.
 - 1) A maximum F.A.R. of .73 for the residential project, excluding its live/work space.
- This Development plan seeks a F.A.R. greater than allowed in the current Huning Castle & Raynolds Addition Neighborhood Sector Plan (F.A.R. of .61).

C2. Building Heights:

For Central Ave. Properties Lots:

- Lots 1-2: one story volume retail spaces, 46' max..
- Lot 3: 2 story volume mixed-use space, 46' max..
- Lot 4: one story volume retail spaces, 46' max..
- Lot 5: one story volume retail spaces, 46' max..
- Lot 6: 2 story volume retail space, 46' max., and no buildings in 50' setback along south property abutting R-1 zone.
- Lot 7: 2 story volume mixed-use space, 46' max., and no buildings in 50' setback along south property abutting R-1 zone.
- Lot 8: 4 story volume mixed-use space, 46' max, with 50' max. for:
 - 1] 1 club house w/ roof deck trellis- 1 unit, 600 s.f.;
 - 2] roof deck access stair enclosures & trellises - 4 units;
 - 3] elevator tower to access club house;
 and 0' max. in 50' setback along south property abutting R-1 zone.

D. Building Setbacks

Setbacks apply to the exterior edges of the Property. Fronts of lots are @ northern edge of lots facing towards Central Ave.

- Lot 1:
Front yard setback: 5' min. from property line @ Central Ave., and 11' min. from intersection of drive or alley and sidewalk
Side yard setback: 15' min. @ west side of lot
Rear yard setback: 0'
- Lot 2:
Front yard setback: 5' min. from property line @ Central Ave., and 11' min. from intersection of drive or alley and sidewalk
Side yard setback: 5' min. @ east side of lot
Rear yard setback: 0'
- Lot 3:
Front yard setback: 0'
Side yard setback: 15' min. @ west side of lot
Rear yard setback: 0'
- Lot 4:
Front yard setback: 0'
Side yard setback: 5' min. @ east side of lot
Rear yard setback: 0'
- Lot 5:
Front yard setback: 5' min.
Side yard setback: 0'
Rear yard setback: 0'
- Lot 6:
Front yard setback: 0'
Side yard setback: 15' min. @ west side of lot
Rear yard setback: 50' min. due to abutting R-1 zone
- Lot 7:
Front yard setback: 0'
Side yard setback: 0'
Rear yard setback: 50' min. due to abutting R-1 zone
- Lot 8:
Front yard setback: 3' @ north side of the site
Side yard setback: 15' min. @ east side of lot
Rear yard setback: 50' min. where abutting R-1 zone

E. Parking

The parking strategy is integral to the design theme and intentions of the project. Parking is arranged in an urban manner, with buildings, wide walks, and urban landscape framing the public realm of a parking court in front, and internal drives designed as urban streets that create highly a highly connective system of circulation within the site and to the surrounding streets. The design of the court and drives reveals dimensions and layouts appropriate and similar to any urban street. Care was taken to balance the need for pedestrian scale (defined in Design Theme, sheet A-5) with functional parking.

Ingress & Egress: In order to provide good connectivity to its surroundings, there are 3 main points of access to the site for both pedestrians and cars, and these are noted on site plans A-1 and A-2 with large arrows:

- Main entry: Ingress 1 way @ Central, with Egress 1 way @ Central;
- Secondary entry: 2 way @ Central through Garcia Restaurant Property;
- Tertiary entry: 2 way @ San Pasquale.

Circulation in the site is by means of internal urban streets lined with building frontages, wide sidewalks (widths noted on enlarged plans attached), auto parking, and landscaping all in a tight configuration which calms traffic, keeping it moving at safe speeds for pedestrians (below 15 mph).

The parking count was based on parking count reductions allowed pursuant to Zoning Code for such urban site plans such as this which accesses Central Ave. (a transit corridor), and mixes uses which encourages sharing of parking, walking, biking, and bus lines. HC, bicycle, and motorcycle parking counts, and all stall sizes are pursuant to Zoning Code. Parking counts are based on net leasable s.f. per code.

Parking per Lot

Lot 1, Retail 1: 1 space /3 persons per fire occupancy for restaurant	35 spaces
Lot 2, Retail 2: 1 space /3 persons per fire occupancy for restaurant	39 spaces
Note: 3 of 5 on-street spaces on Central shall be allowed in count, and may be utilized at all times.	
Lots 3-6, Retail 3-6: level 1, 1 space/200 s.f.....	118 spaces
Lots 3-6 Retail 3-6: level 2, 1 space/300 s.f.....	20 spaces
Lot 8, Mixed U. 7, comm.: 1 space/200 s.f.....	20 spaces
Reduction for mass transit proximity and mixed uses: 232 X .25	174 spaces

Lot 8, Mixed U. 7 residential: 1.5 spaces/small units (38).....	57 spaces
2 spaces/large units (6).....	12 spaces
Total Required.....	243 spaces
Total Provided	196 spaces

Parking arrangement with Albuquerque Little Theatre will be negotiated.

Parking for Lots 1 & 2 (restaurant spaces on Central)

Parking for lots 1 and 2 is a calculation required pursuant to Zoning Code and involves interpreting of the code by means of a hypothetical floor plan, as well as conferring with the Fire Department. Those items produced the following calculation based on the assumed use as a restaurant for each building. The IBC indicates an occupancy A2 - assembly, with 15 net s.f./occupant allowed maximum. Parking counts are based on net leasable s.f. per code, which is typically 15% less than gross. The dining space includes the dining room, waiting areas, and bathroom areas. It should be noted that kitchens can occupy up to 66% of a restaurant, so we used the conservative 40% to ensure there would be adequate parking. It should be noted as well that the retail spaces could have been calculated as simply retail at the rate of 1 space/200 s.f., yielding 13 spaces for Retail 1, and 14 spaces for Retail 2, but as restaurant use is intended, the following figures are more appropriate:

Building	Sq. Ft. (Gross)	Sq. Ft. (Net)	Parking spaces
Retail 1	3,114	2,647 (2625 used), 40% kitchen(1050 sf), 60% dining(1575 sf)	
		Dining area 1575/(15 sf/occupant allowed) = 105 persons allowed,	
		105 persons requires 1 space/3 persons.....	35 spaces
Retail 2	3,417	2,904 (2925 used), 40% kitchen (1170 sf), 60% dining (1755 sf)	
		Dining area 1755/(15 sf/occupant allowed) = 117 persons allowed,	
		117 persons requires 1 space/3 persons.....	39 spaces
Retail 3 level 1-	5,347	4,545 (1 sp./200 s.f.).....	23
level 2-	2,700	2,295 (1 sp./300 s.f.).....	8
Retail 4	2,320	1,972 (1 sp./200 s.f.).....	10
Retail 5	912	775 (1 sp./200 s.f.).....	4
R/Office 6	16,515	14,038 (1 sp./200 s.f.).....	70
level 2 -	6,865	5,835 (1 sp./300 s.f.).....	19
Mixed Use 7	4,762	4,048 (1 sp./200 s.f.).....	20
Total Commercial spaces.....			228
Parking reduction for shared uses & transit route = 25 % max.....			171

Housing 37,000: 38 units (1.5 sp./small units).....	57
6 units (2 sp./large units).....	12
Total Residential spaces.....	69
Staff correction note: 10% reduction for transit proximity.....	62

Grand Totals 80,124 68,105.....	233 required
	196 provided
	37 deficit

F. Pedestrian & Bicycle Circulation

Pedestrian & bicycle circulation is incorporated as a fundamental design element in the plan. The urban structure of buildings, wide sidewalks, and urban landscape frame the public realm of the street, in this case a parking court on Central and internal drives connecting the site both internally and to the adjacent transit stop and streets at multiple access points. This urban arrangement means that car speeds are kept below 20 mph, which is safe enough for bicycles which share the roadways with cars and can travel and access the site just as vehicles do. Sidewalks, covered portals, and buildings are arranged for maximum permeability throughout the site, allowing multiple options for negotiating the site. Walks are designed to provide consistent connection throughout the neighborhood-scale site (defined in Design Theme, sheet A-5), and textured paving define crossing areas within the site reinforcing this concept. Walks are enriched by inclusion of shading devices such as overhangs, arcades, and galleries [portales]. In addition, courtyards and forecourts shall be strategically placed to modulate the rhythm of the walks and offer permeability and choices in pathways for the site. Pedestrian walk widths are shown on the enlarged site plans.

F1. Sidewalks, patios, and area ways per City Standards shall be installed by the Developer per the Site Development Plan throughout Central Ave. Properties site for the pedestrian enjoyment and access of all retail, office, and residential uses.

F2. Sidewalk widths are shown on enlarged site plans A-2, A-3. Sidewalks to be concrete in broom finish or salt-pocked finish, color is allowed. Internal cross walks to be textured & colored concrete, paving blocks, brick, stone or other durable material.

G. Landscaping

The design theme is consistent with the projects' theme of a transect, or section which changes from the very urban Route 66 Moderne edge at Central, which transitions to a casual at the residential portions to the south of the site. At Central and the main parking court, there are more formal, urban plantings [formal in the plant specie's shape, spacing and arrangement] and towards the south of the site near the residential project, plantings become more informal, and finally at the south, adjacent to existing homes, the plantings are very informal and dense to respond to existing landscapes and needs for buffering. Courtyards throughout the project will reflect the Mediterranean tradition of more formal design and a balance of deciduous and evergreen plantings with strong forms and fragrances that prosper even through ABQ's brown winters. In addition, tree types are grouped to define each interior public space as distinct - parking court, internal drive east-west, and internal drive north-south. The south interal drive and parking area has its own character, a 4th planting scheme which matches is function as a buffer area. These standards are to be used as a supplement to the City of Albuquerque requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape requirements included in the City of Albuquerque Comprehensive City Zoning Code.

G1. Living vegetative materials shall cover a minimum of 80 % of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material other than the tree canopy.

G2. All plant materials, including trees, shrubs, ground covers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property.

G3. Minimum plant sizes at the time of installation shall be as follows:
- trees: 2-1/2" caliper
- shrubs and ground covers: 1 - 5 gallons

G4. Timing of installation - all front and side yard landscaping must be completed by the Builder of each lot no later than one month after completion of construction of the building.

G5. Plant Palette

Deciduous Shade and Ornamental Trees:

Chitalpa tashkentensis- Chitalpa
Crataegus crus-galli inermis- Thornless Cockspur Hawthorn
Koelreuteria paniculata- Golden Rain Tree
Quercus Marrocarpa - Bur Oak
Gleditsia triacanthos inermis 'Imperial'- Imperial Honeylocust
Pistachia chinensis- Chinese Pistache
Pyrus calleryana- Flowering Pear
Vitex agnus-castus- Chaste Tree

Evergreen Trees:

Ilex vomitoria- Yaupon Holly
Pinus nigra- Austrian Pine
Quercus virginiana 'Heritage'- Heritage Live Oak

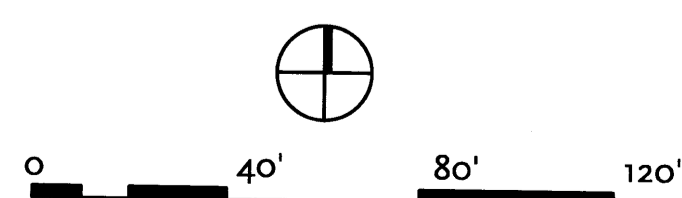
Shrubs and Groundcovers:

Buddleia davidii- Butterfly Bush
Cytisus 'Lena'- Lena's Broom
Ericameria nauseosus- Chamisa
Fallugia paradoxa- Apache Plume
Hesperaloe parviflora- Red Yucca
Lavandula angustifolia- English Lavender
Nepeta mussini- Giant Catmint
Hymenoxys argentea- Perky Sue
Juniperus scopulorum 'Skyrocket'- Skyrocket Juniper (female species only)
Pyracantha coccinea- Firethorn
Rosmarinus officianalis- Rosemary
Salvia greggii- Cherry Sage
Agave parryi- Parry's Agave
Yucca pendula- Softblade Yucca
Campsis radicans- Trumpet Vine

Ornamental Grasses:

Muhlenbergia rigens- Deer Grass
Helictotrichon sempervirens- Blue Avena Grass
Pennisetum alopecuroides- Fountain Grass

DESIGN STANDARDS



H. Walls and Fences

H 1. All walls to comply with standards pursuant to Zoning Code , General Height and Design Regulations for Walls, Fences, and Retaining Walls, Section 14-16-3-19. . This includes screen walls for the parking area on Central Ave.

H 2. Walls and fences shall be compatible with the nearby buildings and architectural themes in terms of color, materials and style. To that end, all perimeter walls shall be concrete masonry unit (CMU) with stucco finish, pier (cmu w/ stone or stucco) with wood or metal fence infill, or metal fence at a height of 6'-0". Chain link and/or barbed wire/razor wire prohibited. Walls or fences shall be installed by the Builder.

I. Mechanical Equipment and Utilities

I 1. Air conditioning / heating equipment shall be installed on flat-roof structures and must be screened from view by parapets that are an integral part of the building (as view from property line of building). Equipment that is ground-mounted shall be located in the yard and screened from view at its front and sides.

I 2. Any roof-mounted equipment shall be screened with materials architecturally compatible to the building in terms of material, color, and design. Ground-mounted equipment shall be screened with materials architecturally compatible to the building in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or greater than the equipment being screened.

I 3. All new electrical distribution lines shall be placed underground.

I 4. Transformers, utility pads, telephone and cable boxes shall be appropriately located and be screened to the greatest degree possible with walls, grilles, painting, or landscaping when view from rights of way or internal roads.

I 5. Wireless Telecommunications facilities (WTF) shall be architecturally integrated with the site and its buildings.

J. Lighting - Site

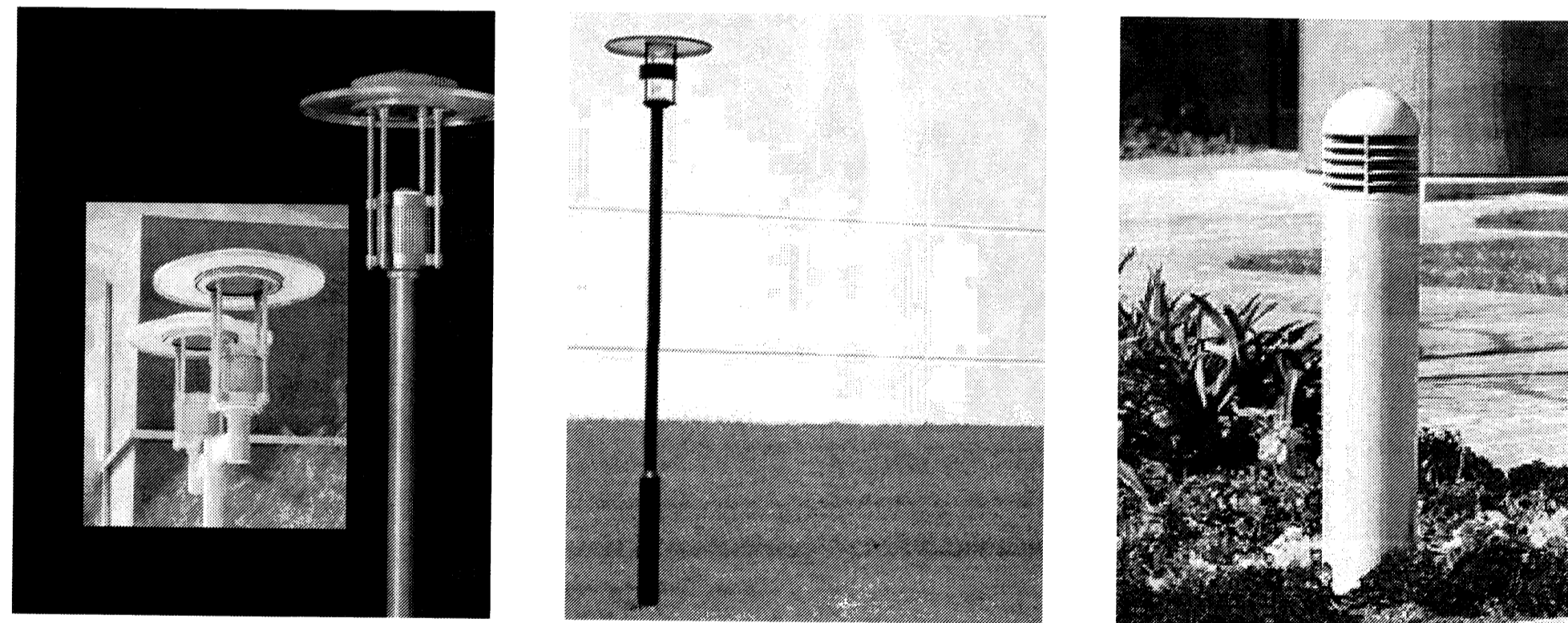
J 1. Site lighting shall conform with City of Albuquerque standards.

J 2. Site lighting: Lighting design shall compliment the architectural styles, and not overwhelm them. Lighting shall be scaled appropriately to the purpose it is serving - taller heights for more coverage for safety such as parking lots, lower and concentrated for pedestrians. Mounting height of luminaries for pedestrian lighting at internal streets shall be 16'-0" maximum, and light poles shall not exceed 16' from top to grade. Walkways within the site shall be lit with pole fixtures, bollards, or lighting in the portales, downlighting, sconces, or pendants. Pedestrian gathering area lighting is listed below in J3. Building-mounted lighting shall enhance the architecture of each building, and shall include sconces, shielded accent lights, & arm-mounted lights aimed towards projects' building walls. Courtyards, both in retail and residential areas, will have a level of lighting adequate for safety yet subdued and at low levels appropriate for such enclosed spaces. Fixture types for courtyards shall be sconces, shielded accent lights, bollards, or strings of low wattage twinkle lights.

J 3. Site lighting: Pedestrian scale lighting, not higher than 4 feet, shall be provided at key pedestrian gathering areas. Pedestrian gathering areas are defined as 6 cross walk locations within the site at the main parking court, and 1 gathering plaza at the east end of the east-west internal drive, attached to Building #7 - Mixed use residential.

J 4. Site Lighting: lighting shall be fully shielded, and high-pressure sodium lighting and unshielded uplighting shall be prohibited.

J 5. Site lighting type, color, and materials shall compliment the character of the project and not contrast or stand out from the designs of the buildings. The lighting design shall enhance both the pedestrian scale and the automobile portions of the site.



Photos: examples shown here represent an intended aesthetic in which lighting fixtures will compliment the design theme of the architecture. The design will be quiet enough so as not to detract from the buildings, and yet have sufficient detail for interest and to relate to the Route 66 design aesthetic.

K. Signs & Signage

K 1. Entry signage at the automobile entry on Central Ave. at Lots 1 & 2 shall be consistent with the materials and architectural character and style of the buildings on Lots 1 & 2.

K 2. Signage on site will comply with City Zoning signage standards to match the C-1 zone requirements. Design highlights of the C-1 Commercial [neighborhood] zone include (and are amended here to):

- Types allowed - Free-standing, building-mounted signs (projecting signs, canopy signs, or wall signs).
- Number allowed - 1 free-standing or projecting sign is allowed for each street frontage for frontages at least 100' wide; 1 canopy sign per entrance or exit, and no limit on the number of wall signs.
- Free-standing monument - size is maximum 100 s.f. of sign face; height maximum shall be 18' max from grade to top of sign.
- Building-mounted sign - size limited to 9 % of the facade to which it is applied.
- Details - illumination, motion, & lettering are as stated in C-1 signage section, and shall conform to Abq. Zoning Code's section 14-16-3-5 General Sign Regulations.
- Pole-mounted signs and signs supported with wires shall be prohibited.

K 3. Signage at the adjacent R-1 zoned lots: no building-mounted signage shall face these lots.

L. Solid Waste

L 1. Solid waste dumpster locations and enclosures conforming to City of Albuquerque Solid Waste Dept. standards. Pick up locations will be accessible to Solid Waste Dept.. No containers shall encroach upon the 50' setback area at the South boundary line of the project area.

L 2. Solid waste dumpsters shall be gated per details sheet A-2. Wall enclosures shall be finished in stucco or other material complimentary in material and color to the nearest adjacent building, unfinished cmu exteriors are prohibited.

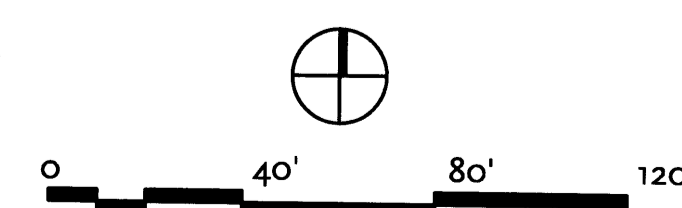
M. Building Frontage

M 1. Buildings 1 and 2 fronting onto Central Ave. shall comply with Council Bill R-07-10, which includes the West Downtown Corridor Interim Regulations:

- These 2 buildings shall have substantial glazing on the sidewalk level and awnings on the Central Frontage.
- Glazing of ground floor frontage-75% of the frontage length on the ground floor glazed between 2 feet 8 inches and 7 feet 10 inches above floor.
- Ground story clear height-A ground floor story shall include a minimum 10 feet clear height for commercial uses and 9 feet clear height for residential uses. All other stories shall include a minimum 9 feet clear height.

DESIGN STANDARDS

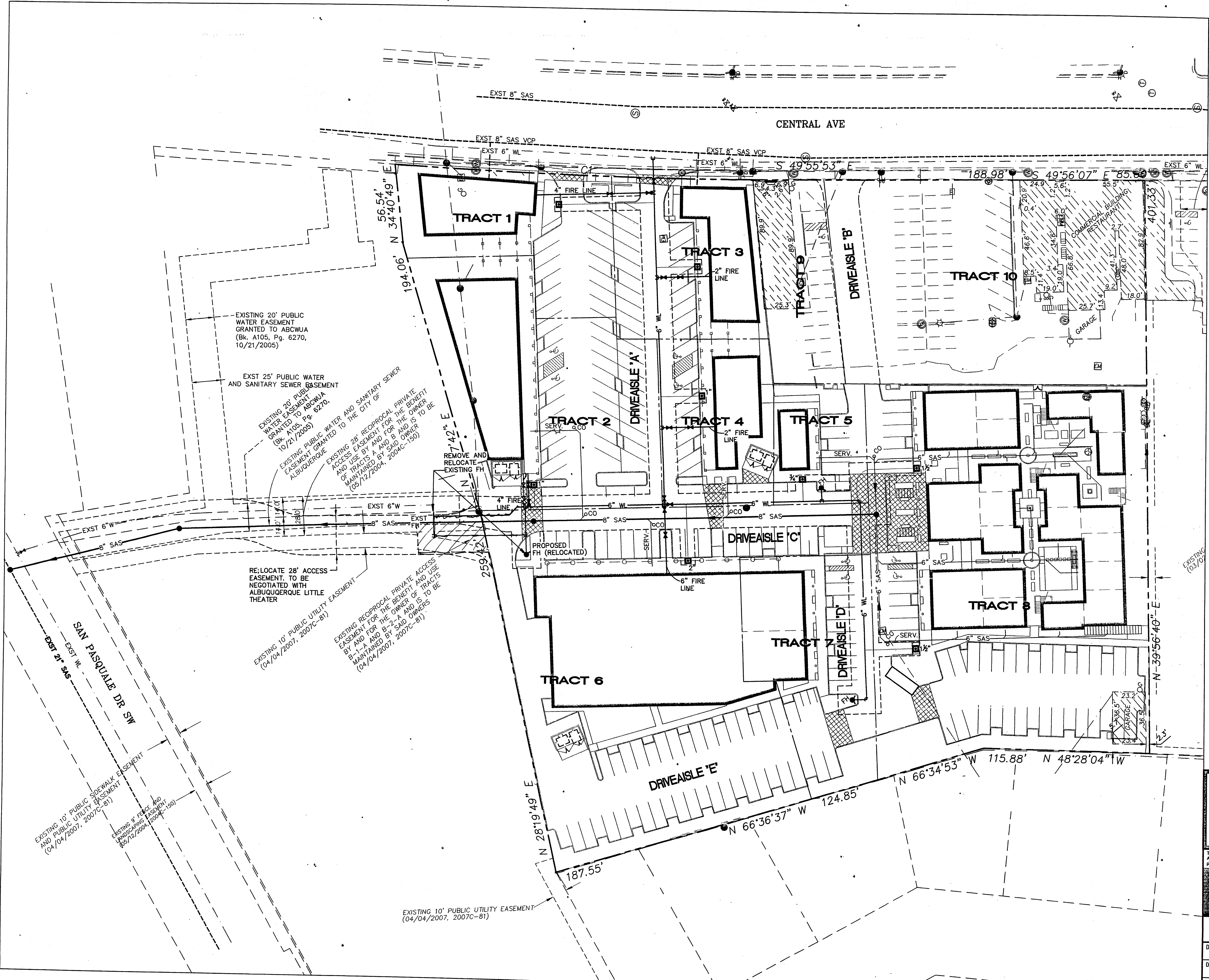
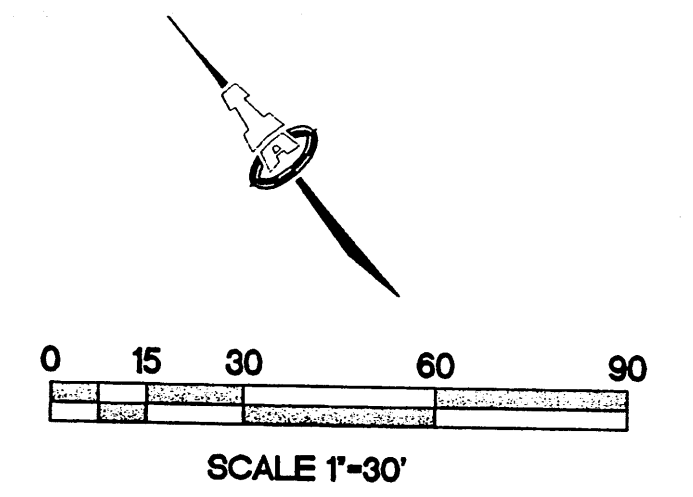
CENTRAL AVE PROPERTIES ABQ
ALBUQUERQUE, NEW MEXICO
REMBE COUNTRY CLUB L.L.C.



SITE DEVELOPMENT PLAN
FOR SUBDIVISION & ADMENDMENT

A-7

MOULE & POLYZOIDES
ARCHITECTS AND URBANISTS
D.R.B. - 25 FEBRUARY 2008



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 1663 CU-201 CONCEPTUAL.dwg Apr 07, 2008

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**COUNTRY CLUB
 MIX-USE DEVELOPMENT**

**CLIENT
 CONCEPTUAL
 UTILITY PLAN**

Date:	04/2008	No. / Revision:		Date:		Job No.	1638
Drawn By:	dip					PAGE	
Chk By:	GLD						SH 3



ACS BENCHMARKS

A.C.S. MONUMENT "14-J13"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=374,159.66
Y=1,490,095.28
EL=494.710 NAVD 1929
GROUND TO GRID FACTOR=0.9996811
DELTA ALPHA ANGLE=-0°14'31"

A.C.S. MONUMENT "13-J13"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=374,864.66
Y=1,489,527.09
EL=493.44 NAVD 1929
GROUND TO GRID FACTOR=0.9996810
DELTA ALPHA ANGLE=-0°14'26"

LEGEND

- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- ⋯ LOT LINE TO BE VACATED

SITE DATA

1. TOTAL LAND AREA = 4.7322 ACRES.
2. NUMBER OF EXISTING TRACTS IS 8.
3. NUMBER OF PROPOSED TRACTS IS 10.
4. CURRENT ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT.
5. PUBLIC WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.

NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #11993".
2. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
3. BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
4. DISTANCES WILL BE GROUND DISTANCES.

EASEMENT NOTES

1. EXISTING PRIVATE CROSS-LOT DRAINAGE EASEMENT (BLANKET IN NATURE) COVERING TRACTS A, B-1-A, AND B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE (05/12/04, 2004C-150).
2. PROPOSED PRIVATE BLANKET CROSS-LOT DRAINAGE, ACCESS, WATER, SEWER, AND UTILITY EASEMENT COVERING TRACTS 1-8. TO BE MAINTAINED BY THE UNDERLYING PROPERTY OWNER, AND GRANTED BY FINAL PLAT.
3. 10' WIDE PUBLIC WATER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.
4. 20' WIDE PUBLIC WATER EASEMENT GRANTED TO ABCWUA BY FINAL PLAT.
5. 25' WIDE PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED BY ABCWUA BY FINAL PLAT.
6. 24' WIDE PRIVATE ACCESS EASEMENT GRANTED TO TRACTS 1-8 BY FINAL PLAT. TO BE MAINTAINED BY THE UNDERLYING PROPERTY OWNER.
7. PROPOSED PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO ABCWUA. TO BE NEGOTIATED WITH UNDERLYING PROPERTY OWNERS.

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	3859.72'	250.73'	3°43'19"	125.41'	S 47°51'25" E	250.68'

PRELIMINARY PLAT FOR

COUNTRY CLUB PLAZA SUBDIVISION PHASE TWO

BEING A REPLAT OF M.R.G.C.D. TRACTS 131, 132, 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE WITHIN THE TOWN OF ALBUQUERQUE GRANT PROJECTED SECTION 18, T. 10 N. R. 3 E. NMPM.

CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

MARCH 2008

LEGAL DESCRIPTION

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE M.R.G.C.D. TRACTS 131, 132, 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILLED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 04, 2007, IN MAP BOOK 2007C, PAGE 81, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS;

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF CENTRAL AVENUE, S.W. MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"; FROM WHENCE A TIE TO ALBUQUERQUE SURVEY CONTROL MONUMENT "13-J13" BEARS N 38°15'23" W, A DISTANCE OF 509.31 FEET;

THENCE FROM SAID POINT OF BEGINNING, CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE FOR THE NEXT FOUR CALLS, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 3859.72 FEET, AN ARC LENGTH OF 250.73 FEET, A DELTA ANGLE OF 3°43'19", A CHORD BEARING OF S 47°51'25" E, AND A CHORD LENGTH OF 250.68 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X" IN CONCRETE SIDEWALK;

THENCE S 49°55'53" E, A DISTANCE OF 188.98 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X" IN CONCRETE SIDEWALK;

THENCE S 49°56'07" E, A DISTANCE OF 85.60 FEET TO A POINT MARKED BY A FOUND PK NAIL WITH TAG "PS 11463";

THENCE S 39°56'40" E, A DISTANCE OF 401.33 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 3 REBAR;

THENCE N 48°28'04" W, A DISTANCE OF 115.88 FEET TO AN ANGLE POINT MARKED BY A FOUND 3" IRON PIPE;

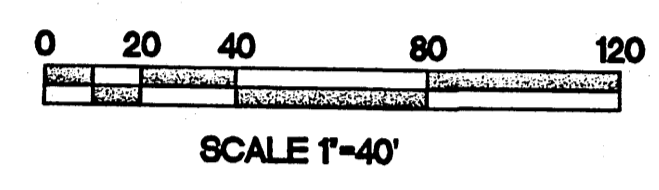
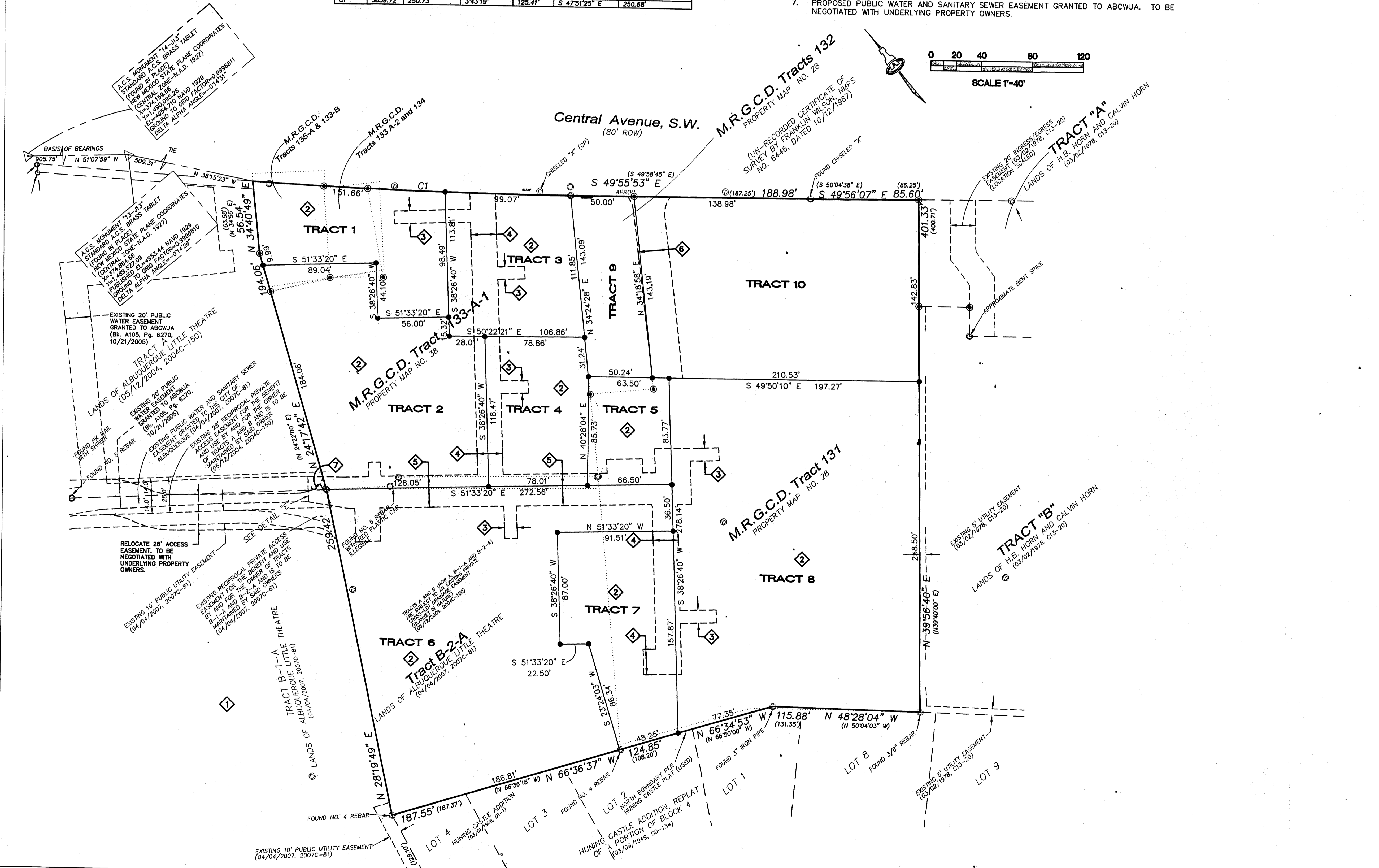
THENCE N 66°34'53" W, A DISTANCE OF 124.85 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 66°36'37" W A DISTANCE OF 187.55 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 28°19'49" E, A DISTANCE OF 259.42 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 24°17'42" E, A DISTANCE OF 194.06 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 34°40'49" E, A DISTANCE OF 56.54 FEET TO THE POINT OF BEGINNING CONTAINING 4.7322 ACRES (206,133 SQUARE FEET) MORE OR LESS.



APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 4/8/08
CITY SURVEYOR DATE

OWNERSHIP

[Signature] 4/8/08
JAY REMPE, MANAGING MEMBER DATE
COUNTRY CLUB PARTNERS, LLC.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1663 V-PLUM.dwg Apr 07, 2008

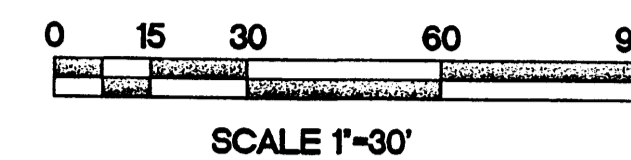
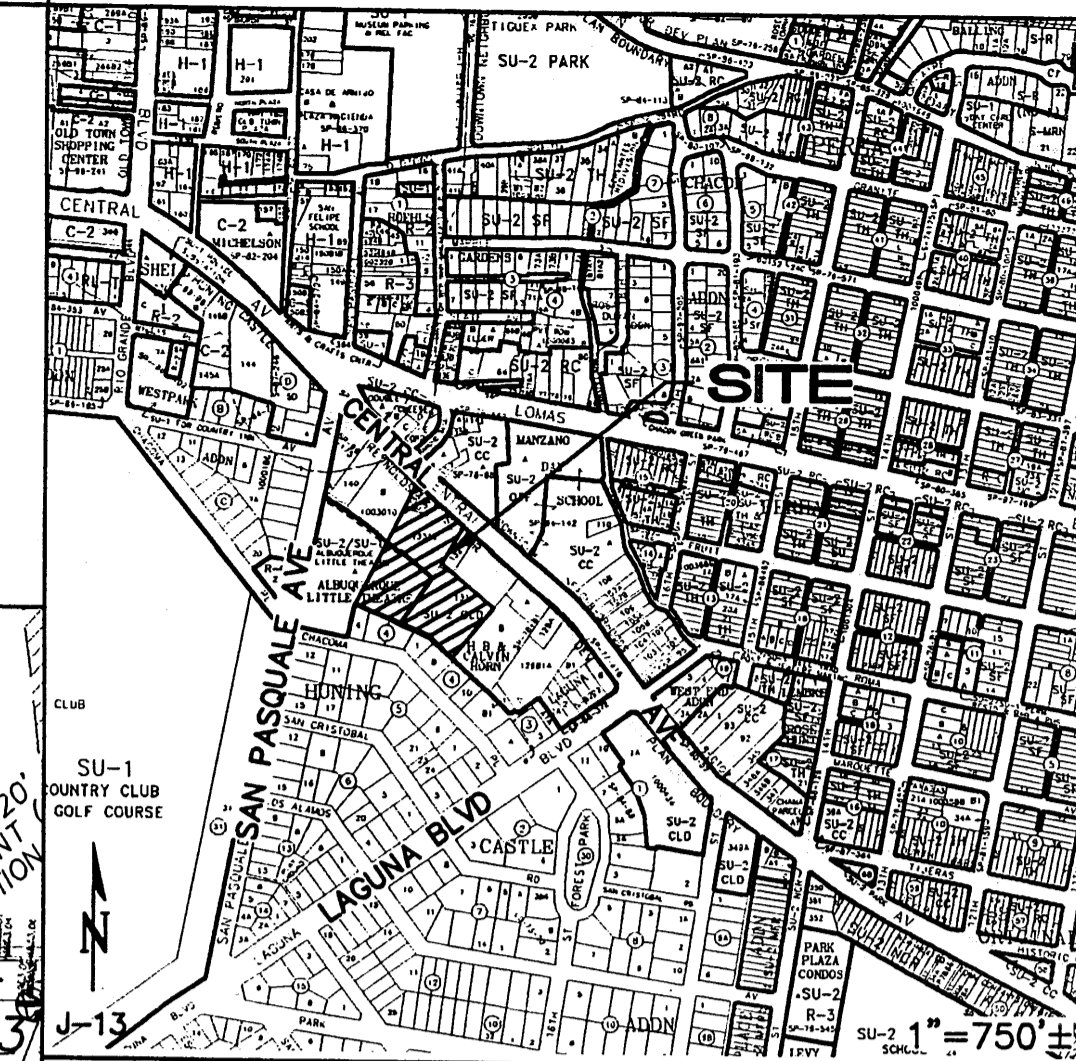
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11/20/2007 11:46:21 AM, 1:1

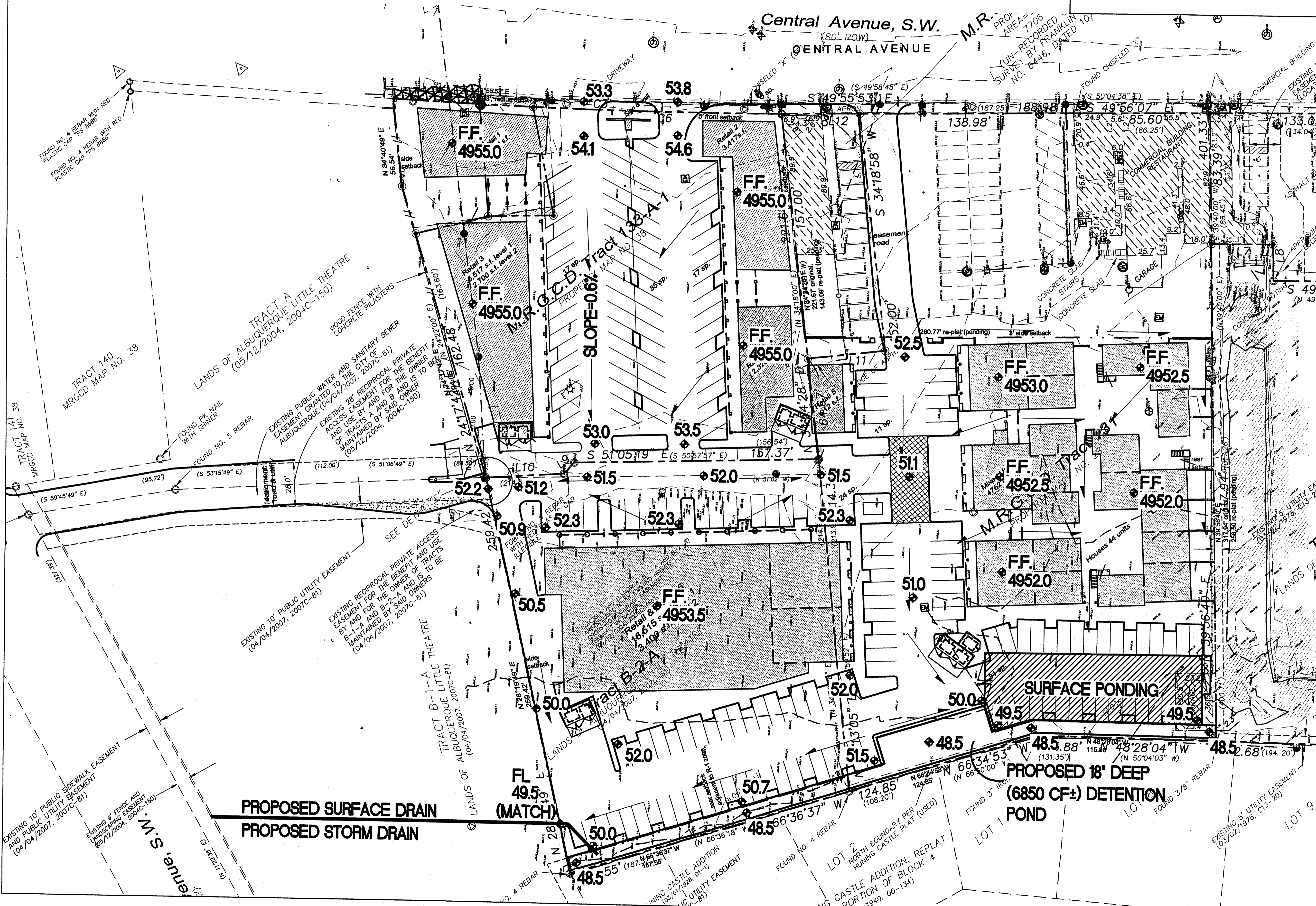
LEGEND

- EXISTING CONTOUR
- ◆ 52.5 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF. 4952.0 FINISH FLOOR ELEVATION

VICINITY MAP J-13



Central Avenue, S.W.
CENTRAL AVENUE

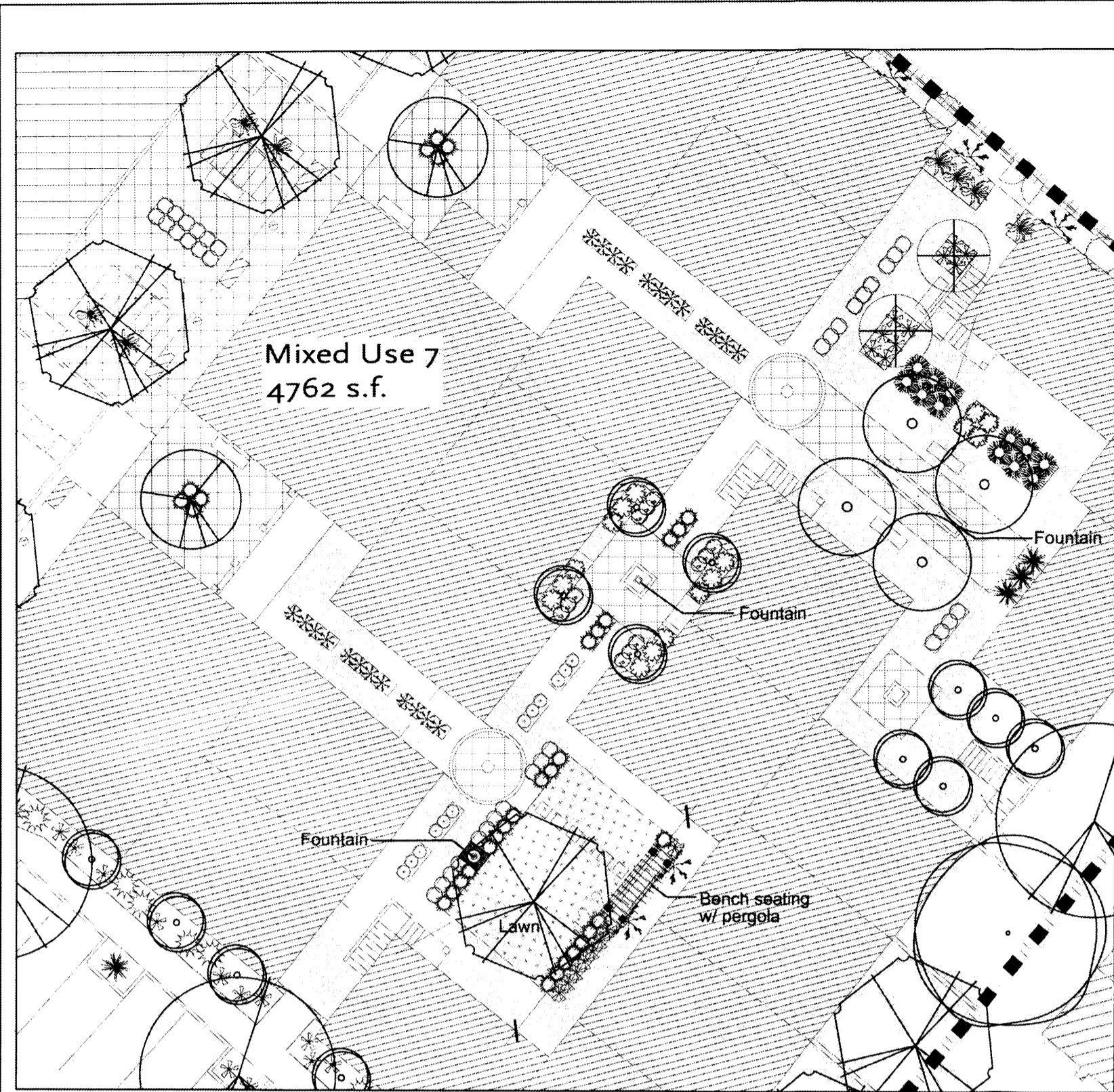


ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87106
 PH: 505-268-8828 Fax: 505-268-2632
 1462.1GRD.dwg Nov 20, 2007

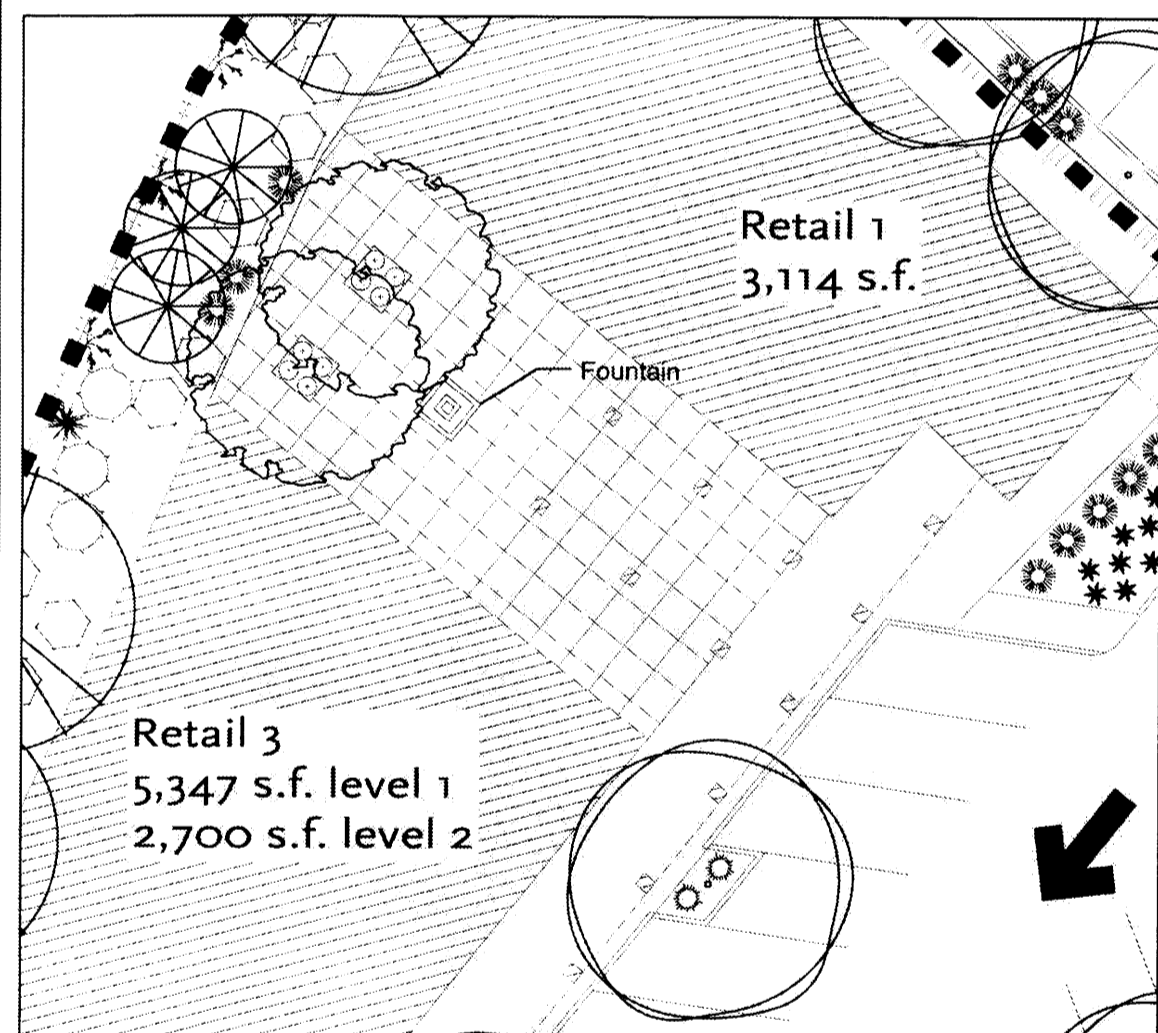
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COUNTRY CLUB DEVELOPMENT
NFLI
CONCEPTUAL GRADING AND DRAINAGE PLAN

Date:	No.	Revised:	Date:	Job No.
11-20-07				1462.1
Drawn By:				C-101
Checked By:				SH

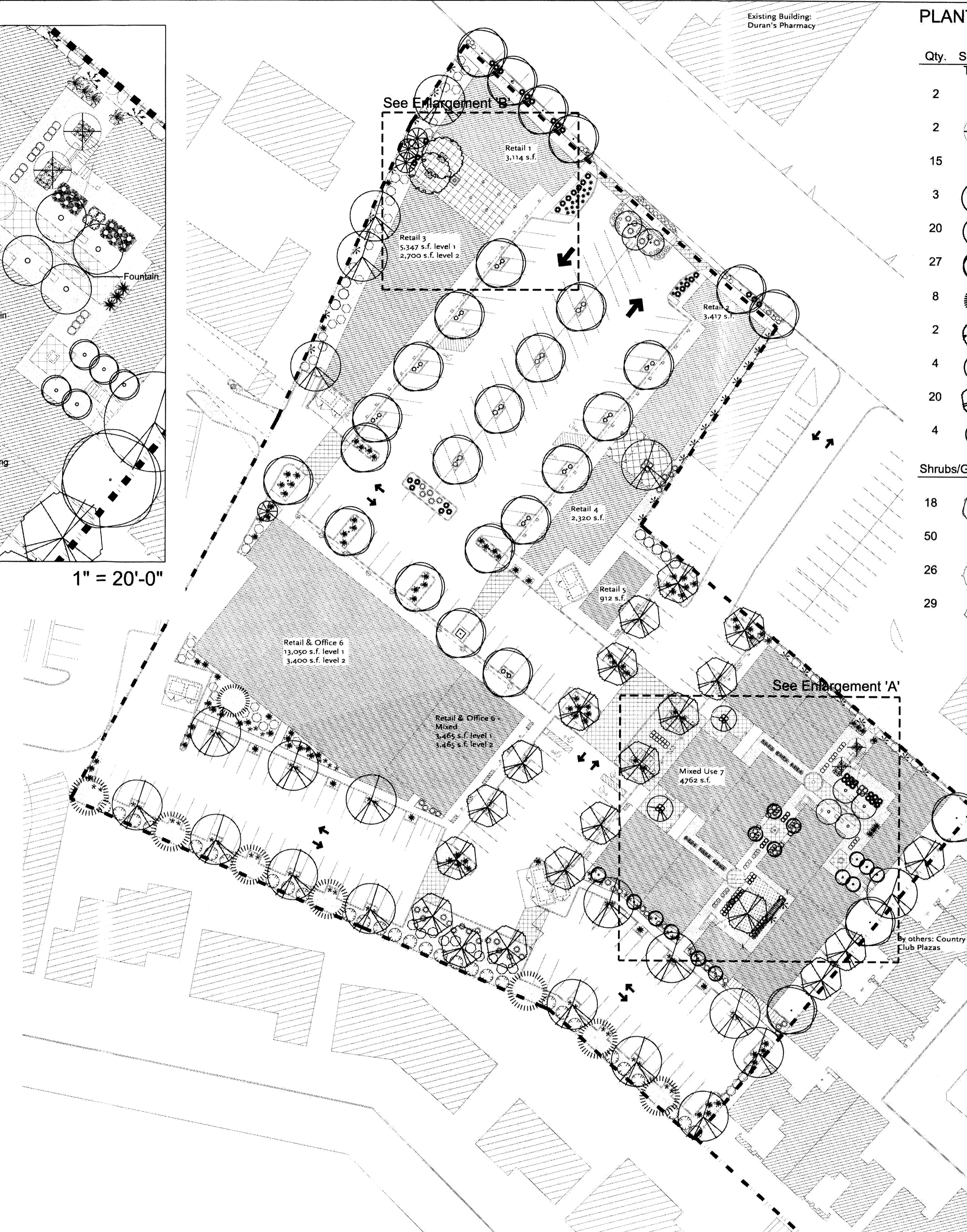


A. Enlarged Courtyard Plan 1" = 20'-0"



B. Enlarged Patio Plan 1" = 20'-0"

- Compacted Crusher Fine Path
- Pavers
- Textured Paving
- Buffalo Grass Lawn
- 6' Bench
- Fountain



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Coverage
Trees					
79		Hesperaloe parviflora Red Yucca	1-Gal	Low+	x 15sf = 1185
2		Chitalpa tashkentensis Chitalpa	15-Gal	Low +	n/a
2		Crataegus crus-galli inermis Thornless Cockspur Hawthorn	2.5" B&B	Medium+	n/a
15		Ilex vomitoria Yaupon Holly	15-Gal	Medium	n/a
3		Koeleruteria paniculata Golden Rain Tree	2.5" B&B	Medium+	n/a
20		Quercus macrocarpa Bur Oak	2.5" B&B	Medium +	n/a
27		Gleditsia triacanthos 'Imperial' Honeylocust	2.5" B&B	Medium	n/a
8		Pinus nigra Austrian Pine	8' B&B	Medium	n/a
2		Pistacia chinensis Chinese Pistache	2.5" B&B	Medium +	n/a
4		Pnyx calleryana Flowering Pear	2.5" B&B	Medium +	n/a
20		Quercus virginiana 'Heritage' Heritage Live Oak	2.5" B&B	Medium	n/a
4		Vitex agnus-castus Chaste Tree	15-Gal	Medium	n/a
Shrubs/Groundcovers					
18		Buddleia davidii Butterfly Bush	5-Gal	Medium	x 20sf = 360
50		Cytisus x 'Lena' Lena Broom	5-Gal	Medium	x 18sf = 900
26		Ericameria nauseosus Chamisa	5-Gal	Low	x 32sf = 832
29		Fallugia paradoxa Apache Plume	5-Gal	Low	x 25sf = 725
Ornamental Grasses/Turf Grasses					
45		Muhlenbergia rigens Deer Grass	5-Gal	Medium	x 20sf = 900
24		Helictotrichon sempervirens Blue Avena Grass	1-Gal	Medium	x 8sf = 192
52		Pennisetum alopecuroides Fountain Grass	5-Gal	Medium	x 12sf = 624
563sf		Buffalo Grass Lawn		Medium	x 1sf = 563

* Juniperus scopulorum 'Skyrocket' - Skyrocket Juniper - female species only

Ornamental Grasses/Turf Grasses

SITE DATA

GROSS LOT AREA	168,142 SF
LESS BUILDING(S)	44,724 SF
NET LOT AREA	123,418 SF

REQUIRED LANDSCAPE

15% OF NET LOT AREA	18,513 SF
PROPOSED LANDSCAPE	20,953 SF
PERCENT OF NET LOT AREA	16.98 %

HIGH WATER USE TURF

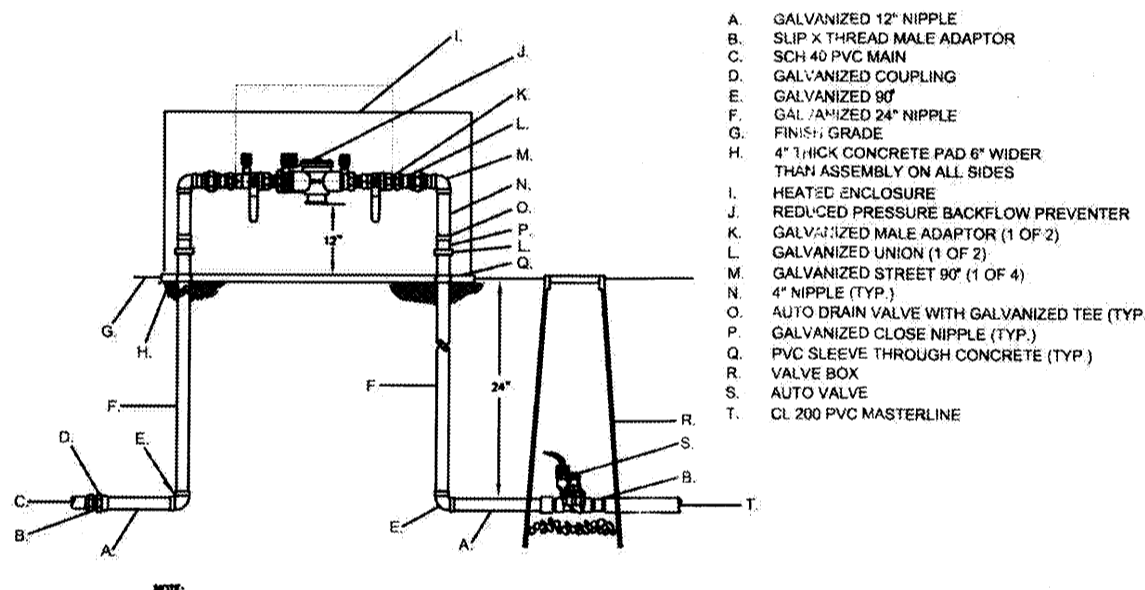
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %

REQUIRED STREET TREES

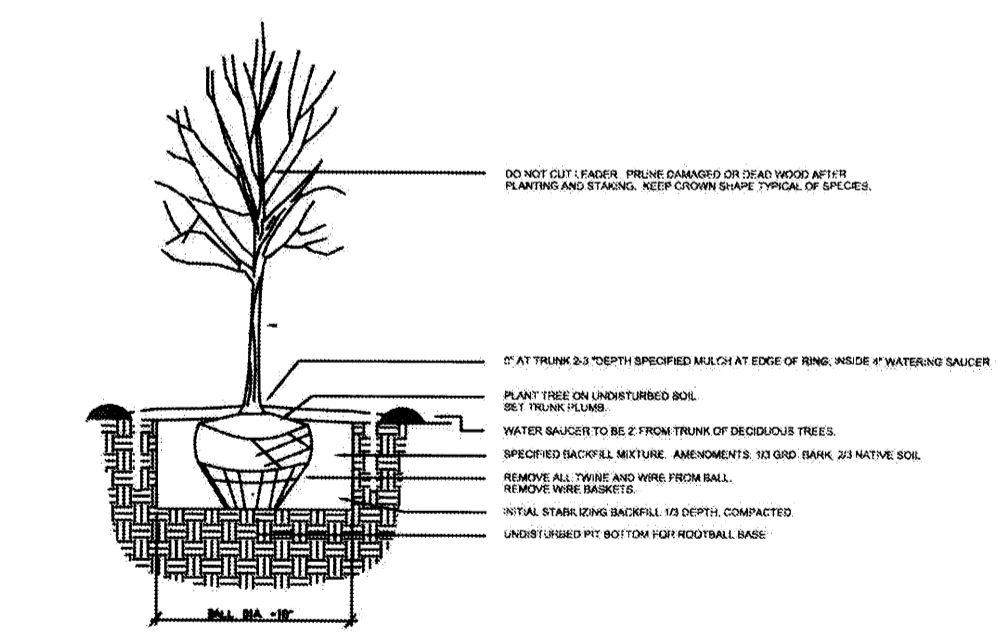
PROVIDED AT 30' O.C. SPACING ALONG STREET	9
---	---

REQUIRED PARKING LOT TREES

PROVIDED AT 1 PER 10 SPACES (198 SPACES/10)	19
---	----



1 RPBA AND MASTER VALVE N.T.S.



2 DECIDUOUS TREE PLANTING N.T.S.

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

THE TURF BLEND SHALL NOT EXCEED 20% CONTENT OF HIGH WATER USE VARIETIES

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE 80% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

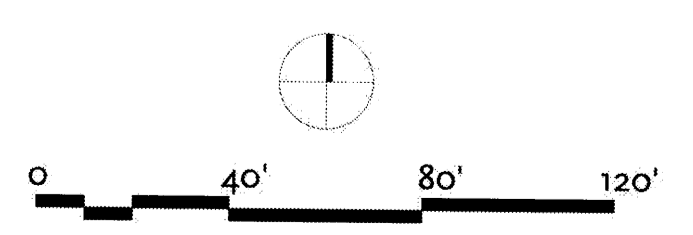
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

ALL TREES ARE SHOWN AT 75% OF MATURE CANOPY SIZE

Landscape Plan



Central Ave Properties ABQ
Albuquerque, New Mexico
Jay Rembe

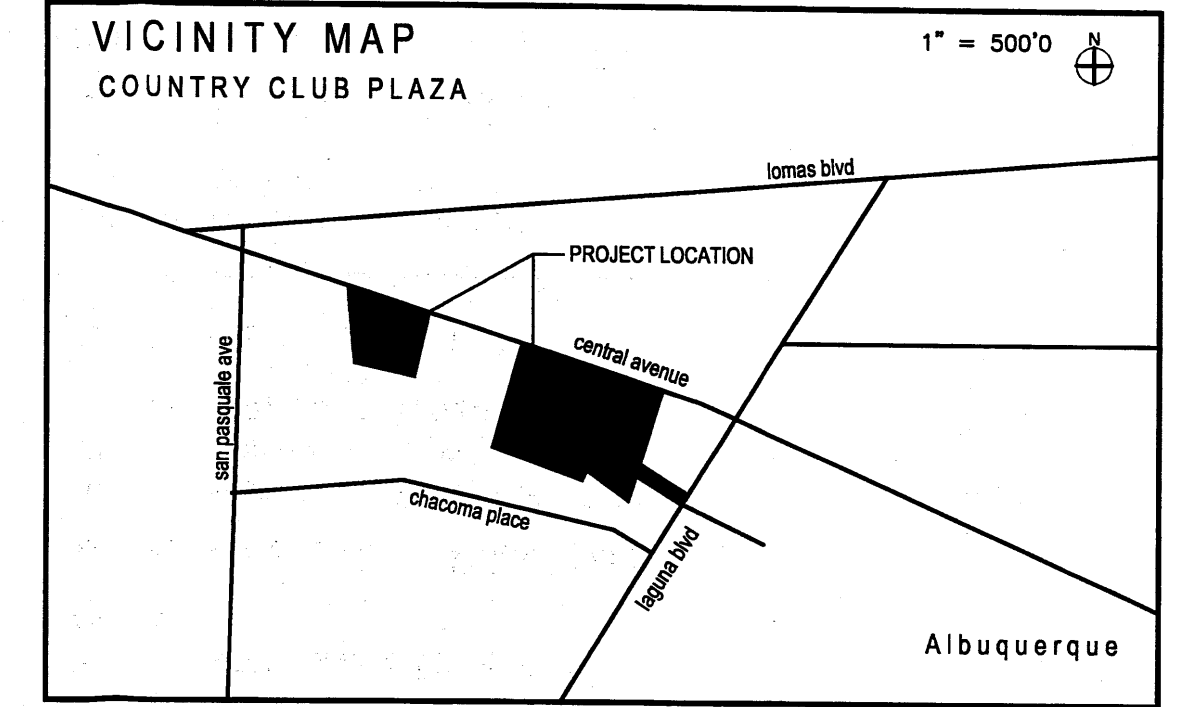
Growing Better Up Heads
LANDSCAPE CONTRACTORS
www.headsuplandscapes.com
P.O. BOX 10597
Albuquerque, NM 87184
505.898.9815
505.898.2105 (fax)
design@hulc.com

L-1
Moule & Polyzoides
Architects and Urbanists
DRB - 25 FEBRUARY, 2008

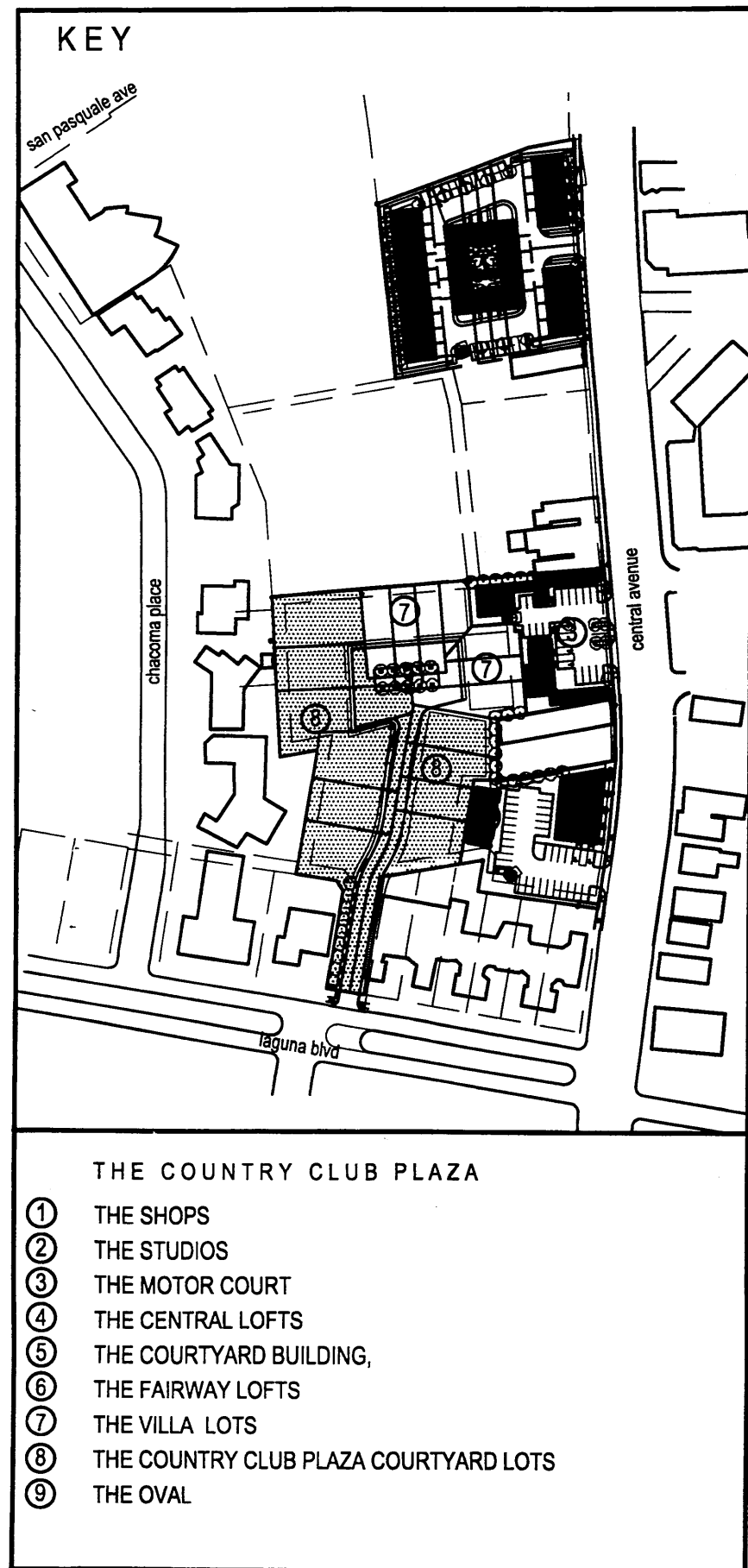
COUNTRY CLUB PLAZA

2.2.06

Infill Solutions
 Innovative Urban Design and Development
 723-B Silver Avenue, SW
 Albuquerque, NM 87102
 office: 505.242.1871
 fax: 505.242.1872



DATE: 2.2.06
 REVISION:
 FILE NAME: 816



SITE DEVELOPMENT PLAN FOR SUBDIVISION FINAL APPROVAL

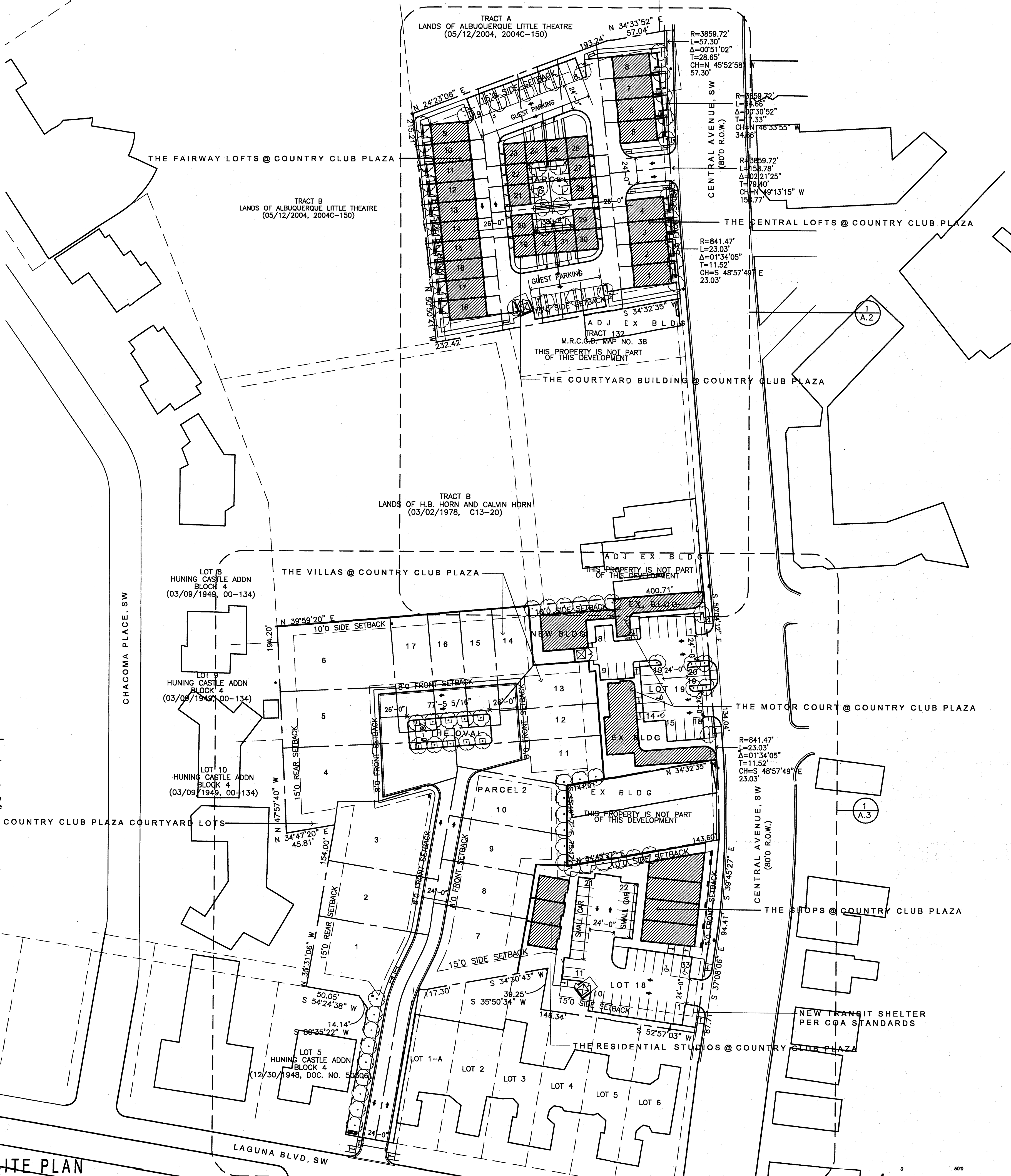
PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
<i>Michael Holton</i> (scale adjustments & table enclosure) Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



COUNTRY CLUB PLAZA PARCEL 1		
LEGAL DESCRIPTION: PARCEL 1 INCLUDES TRACTS 133A1, 133A2, 133B, 134, AND 135A, MRGCD MAP 38.		
ZONE ATLAS PAGE: J-13	AREA: 1.3 ACRES	56,628 SQ. FT.
ZONE: SU-2 CLD	FAR: .76	
COUNTRY CLUB PLAZA PARCEL 2		
LEGAL DESCRIPTION: PARCEL 2 INCLUDES TRACTS 129B1A, MRGCD MAP 38, TRACTS A & B LANDS OF H.B. AND CALVIN HORN, AND TRACT A1A, LAGUNA SUBDIVISION.		
ZONE ATLAS PAGE: J-13	AREA: 3.15 ACRES	137,516 SQ. FT.
ZONE: SU-2 CLD	FAR: .44	
TOTAL COUNTRY CLUB PLAZA SITE		
TOTAL OVERALL FAR:	.80	
TOTAL SITE DEVELOPMENT PLAN AREA:	4.45 ACRES	193,842 SQ. FT.
COMMERCIAL LOTS		
THE SHOPS AND STUDIOS AREA (LOT 18):	.59 ACRES	25,700 SQ. FT.
THE MOTOR COURT AREA (LOT 19):	.47 ACRES	20,473 SQ. FT.
TOTAL COMMERCIAL LOT AREA:	1.06 ACRES	46,173 SQ. FT.
COMMERCIAL BUILDINGS		
THE SHOPS		4,065 SQ. FT.
THE MOTOR COURT (6013 SQ. FT. 1ST FL.)		6,013 SQ. FT.
TOTAL COMMERCIAL AREA:		10,078 SQ. FT.
PARKING: 6013 SQ. FT. 1ST FL. / 200 = 30 PARKING SPACES		
30 SPACES X .10 MASS TRANSIT REDUCTION = 27 PARKING SPACES REQUIRED		
48 PARKING SPACES PROVIDED W/ 4 HANDICAP SPACES		
RESIDENTIAL		
THE RESIDENTIAL STUDIOS (1803 SQ. FT. 1ST FL AND 1668 SQ. FT. 2ND FL.)	3,471 SQ. FT.	
THE RESIDENTIAL STUDIOS: THREE RESIDENTIAL STUDIOS AT 1,157 SQ. FT.		
THE CENTRAL LOFTS, THE COURTYARD BUILDING, AND THE FAIRWAY LOFTS	1.3 ACRES	56,628 SQ. FT.
THE CENTRAL LOFTS: RESIDENTIAL LOFTS RANGING FROM 1,100-1,600 SQ. FT.		
THE COURTYARD BUILDING: COURTYARD APARTMENTS RANGING FROM 800-1,100 SQ. FT.		
THE FAIRWAY LOFTS: RESIDENTIAL LOFTS RANGING FROM 1,800-2,096 SQ. FT.		
THE COUNTRY CLUB PLAZA COURTYARD LOTS AND THE VILLA LOTS	2.09 ACRES	91,040 SQ. FT.
THE COUNTRY CLUB PLAZA LOTS: RESIDENTIAL LOTS ACCOMMODATING SINGLE FAMILY HOUSES RANGING FROM 2,300-3,200 SQ. FT.		
THE COUNTRY CLUB PLAZA LOTS: RESIDENTIAL LOTS ACCOMMODATING SINGLE FAMILY TOWNHOUSES RANGING FROM 1,800-2,000 SQ. FT.		
TOTAL RESIDENTIAL AREA:	3.39 ACRES	147,668 SQ. FT.
USEABLE OPEN SPACE: PARCEL 1 - 32 RESIDENCES X 400 SQ. FT. = 12,800 SQ. FT. REQUIRED		
PARCEL 2 - 16 RESIDENCES X 600 SQ. FT. = 9,600 SQ. FT. REQUIRED		
TOTAL OPEN SPACE REQUIRED = 22,400 SQ. FT. REQUIRED		
TOTAL OPEN SPACE PROVIDED = 22,400 SQ. FT. (SEE SHEETS A2 & A3)		
PARKING, PARCEL 1:		
THE COURTYARD BUILDING: 1.5 SPACES PER RESIDENCE = 1.5 X 14 = 21 SPACES		
CENTRAL AND FAIRWAY LOFTS: 2 SPACES PER RESIDENCE = 2 X 18 = 36 SPACES		
TOTAL REQUIRED = 57 PARKING SPACES		
TOTAL PROVIDED = 69 PARKING SPACES PROVIDED W/ 50 GARAGE PARKING SPACES AND 19 SURFACE SPACES		
PARKING, PARCEL 2:		
THE LOFT BUILDING: 1.5 SPACES PER RESIDENCE = 1.5 X 3 = 5 SPACES		
THE COURTYARD BUILDING: 2 SPACES PER RESIDENCE = 2 X 17 = 34 SPACES		
TOTAL REQUIRED = 39 PARKING SPACES		
TOTAL PROVIDED = 62 PARKING SPACES PROVIDED W/ 5 PARKING LOT, 34 GARAGE PARKING SPACES AND 23 DRIVEWAY SPACES		

DEVELOPMENT PLAN NOTES

- SEE SHEETS A.2 AND A.3 FOR SPECIFIC DEVELOPMENT PLAN INFORMATION
- SITE LIGHTING TO CONFORM WITH C.O.A. STANDARDS

SHEET INDEX

A.1	SITE PLAN AND PROJECT DATA
A.2	SITE PLAN
A.3	SITE PLAN
A.4	DESIGN GUIDELINES
A.5	DESIGN GUIDELINES
C.1	PRELIMINARY GRADING AND DRAINAGE PLAN
C.2	CONCEPTUAL UTILITY PLAN
L.1	LANDSCAPE PLAN

CALOTT + GIFFORD 723 SILVER AVENUE NW SUITE B ALBUQUERQUE, NEW MEXICO 87102 P 505.242.1871 F 505.242.1872 CALOTT@AOL.COM
 CALOTT + GIFFORD PO BOX 31934 SANTA FE, NEW MEXICO 87594 P 505.982.7878 F 505.984.0990 JUNIPER@CYBERMESA.COM
 COUNTRY CLUB PLAZA
 INFILL SOLUTIONS
 CENTRAL AVENUE, SW
 ALBUQUERQUE, NEW MEXICO

DESIGN GUIDELINES

The COUNTRY CLUB PLAZA Central Avenue, S W , Albuquerque , New Mexico

The following Design Guidelines are for the 4.45 acre COUNTRY CLUB PLAZA infill development to be built on Central Avenue, SW on lands between Laguna Boulevard and San Pasquale Avenue, SW. The COUNTRY CLUB PLAZA mixed-use development is envisioned to provide unique new custom house lots, a variety of attached housing products and neighborhood-serving retail and office opportunities on lands and incorporating buildings presently vacant or underutilized along Central Avenue, SW in the Huning Castle / Country Club neighborhood. Builders shall construct all buildings within this development of high quality and in compliance with these Design Guidelines. *The Developer shall administer these Design Guidelines.* All non-residential buildings will comply with the Building and Site Design Regulations of the Zoning Code, Section 14-16-3-18.

A. Architectural Character

The COUNTRY CLUB PLAZA shall encourage architectural design which creatively recalls the *Mediterranean Revival* styles prevalent in the Country Club neighborhood or a Route 66-inspired *Moderne* and sympathetic contemporary styles, including Pueblo Revival, historically found on Central Avenue. The COUNTRY CLUB PLAZA Courtyard Lots (Lots 1-17) accessed off of Laguna Boulevard shall strictly employ the *Mediterranean Revival* styles. Either the *Mediterranean Revival* or a Route 66-inspired *Moderne* and sympathetic contemporary styles, including Pueblo Revival or, a hybrid of each, may be developed for commercial or residential lots accessed off of Central Avenue. The two existing *Moderne* Horn Oil Buildings fronting Central Avenue will be restored appropriately to their style and the remaining apartment units behind will be demolished as they no longer conform to their historic use or condition.

Mediterranean Revival Style Characteristics

The principal characteristics of the Mediterranean Revival style are low sloping primary roofs, typically covered by ceramic tiles, stucco walls with a thick and solid appearance, and arches in main-floor windows, doors, and arcades.

Houses inspired by the *Italian Renaissance* style will have generous roof overhangs with closed soffits and supporting brackets. Façade compositions are generally symmetrical. Entry porches are often recessed. Classical details are applied to window and door surrounds, columns, and pediments.

Houses influenced by the *Spanish Colonial* style are more informal in both floor plan and massing. Compositions are usually asymmetrical with well-defined projecting forms, enhancing the play of light and shadow. As for *Italian Renaissance*-inspired houses, tile roofs are important though, flat roofs may be used. They are usually detailed with little or no overhang and rarely employ brackets.

Moderne Style Characteristics

The principal characteristics of the *Moderne* style include rounded corners and windows, flow lines and zigzags, glass block, cantilevered awnings and pylons, and decorative towers rising from flat roofs.

Buildings inspired by the *Moderne* style will have flat roofs and make generous use of glass. Façade compositions are generally dynamic, often with signage incorporated into the massing of the façade. Entry elements are often the prominent architectural feature. Clean details are employed in window, door and storefront treatments.

B. Incorporated Architectural Design Elements

The principal characteristics of the *Italian Renaissance*, *Spanish Colonial* and *Moderne* styles are outlined in the following six major design elements which shall be incorporated into the elevations of buildings designed in the COUNTRY CLUB PLAZA development.

Massing:

A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three walls. Massing for buildings in the COUNTRY CLUB PLAZA should be well proportioned and consistent with the architectural character of each building's design. Particular consideration should be taken to preserve natural view corridors at the site.

- *Italian Renaissance*-inspired designs are generally symmetrical and typically two stories + roof
- *Spanish Colonial*-inspired designs are generally asymmetrical and less formal
- *Spanish Colonial*-inspired designs may have round, square or octagonal tower forms with low pitched roofs
- *Moderne*-inspired designs are generally flowing, streamlined and dynamic incorporating rounded, zigzag or rectilinear elements and flat roofs
- *Moderne*-inspired designs may incorporate stylized towers and building signage into its massing

Roofs:

- *Mediterranean Revival*-inspired roofs use low to moderate hip or gable roofs (5:12 to 9:12), dormers are not generally used and eaves are boxed with closed soffits
- For *Italian Renaissance*-inspired designs, larger overhangs up to 30 inches deep
- For *Spanish Colonial*-inspired designs, shallow overhangs 9 inches or less
- *Moderne*-inspired designs use flat roofs with parapets which may include a streamlined design element or feature
- *Moderne*-inspired designs may incorporate stylized building signage into its roof form

Windows and Doors:

- *Mediterranean Revival*-inspired windows and doors are deeply recessed to give the appearance of thick walls
- *Mediterranean Revival*-inspired designs use casement windows, often with divided lights, but double-hung windows are also possible
- *Mediterranean Revival*-inspired designs use round-top arched windows and doors on lower floors
- For *Italian Renaissance*-inspired designs, symmetrically placed windows and doors
- For *Italian Renaissance*-inspired designs, divided-light French doors and limited use of Palladian windows and doors
- For *Spanish Colonial*-inspired designs, well balanced asymmetrical compositions
- For *Spanish Colonial*-inspired designs, panel, plank, or divided-light doors
- *Moderne*-inspired designs, dynamic and streamlined compositions
- *Moderne*-inspired designs may incorporate large expanses of glass, metal windows and storefront with cantilevered awnings or stylized wall openings

Porches and Entries:

- *Mediterranean Revival*-inspired designs do not incorporate front porches, but side and rear covered porches generally are
- *Mediterranean Revival*-inspired designs use front doors with embellished surrounds and/or are recessed under arcades with columns
- *Mediterranean Revival*-inspired designs incorporate side and rear outdoor rooms and courtyards
- For *Spanish Colonial*-inspired designs, small exterior balconies with French doors and wrought-iron railings
- *Moderne*-inspired designs may incorporate a tower or stylized mass or overhang at entries

Building Details:

- *Mediterranean Revival*-inspired detailing and ornament shall appear primarily at openings
- For *Italian Renaissance*-inspired designs, classical elements such as pediments, columns, cornice details with frieze boards, crown moldings, and Palladian windows
- For *Italian Renaissance*-inspired designs, repetitive brackets installed under primary roof eaves
- For *Spanish Colonial*-inspired designs, embellishment primarily reserved for entryways and balconies
- *Moderne*-inspired detailing may include wall relief moldings, cantilevers and awnings which shall appear primarily at openings and entryways or to distinguish volume or massing elements
- *Moderne*-inspired designs may incorporate stylized elements of signage or lighting into their detailing

Building Materials and Colors:

Building materials for buildings in the COUNTRY CLUB PLAZA development should be consistent with the architectural character of each building's design. High quality materials, architectural features and craftsmanship should be employed in the execution of each building. Building materials approved, but not limited to, shall include natural stucco, stone, wood, aluminum, split-faced concrete masonry unit, glass, glass block, neon lighting, natural tile, ceramic tile, concrete, copper and galvanized metal.

- White, cream or natural color stucco with natural materials or natural colors for accents are the most appropriate materials and colors for *Mediterranean Revival*-inspired designs
- For *Mediterranean Revival*-inspired designs, red ceramic tile roofing, with flat or curved tiles
- For *Mediterranean Revival*-inspired designs, wrought-iron railing details
- White, cream or saturated color stucco with manmade materials or saturated colors for accents are the most appropriate materials and colors for *Moderne*-inspired designs
- *Moderne*-inspired designs may use generous amounts of exposed metals and glass
- *Moderne*-inspired designs may incorporate stylized elements of metal signage or lighting

Streets and Landscape Oval:

All residential streets, access easements, and the landscaped oval shall be the responsibility and maintained by the Country Club Plaza Home Owners Association.

C. Building Density, Height and Usable Open Space

Building Density:

Floor Area Ratio (F.A.R.) is the ratio of the heated floor area (including multiple stories) of the structures comprising COUNTRY CLUB PLAZA and the total site area. In order to comply with the *Huning Castle and Reynolds Addition Neighborhood Sector Development Plan*, a total F.A.R. of .61 shall not be exceeded when calculated over the total 4.45 acre COUNTRY CLUB PLAZA development site.

Building Height:

COUNTRY CLUB PLAZA Courtyard Lots (1-6)

- primarily two story houses, shall not exceed 26' - 0"

COUNTRY CLUB PLAZA Courtyard Lots (7-10)

- primarily two and two-and-one-half story houses with the accommodation for a roof deck, shall not exceed 36' - 0"

The Villas @ COUNTRY CLUB PLAZA (Lots 11-17) r

- primarily three story residential units, shall not exceed 44' - 0"

The Studios @ COUNTRY CLUB PLAZA (Lot 19)

nd

- primarily two story live/work units with the accommodation for a roof deck, shall not exceed 36' - 0"

The Shops @ COUNTRY CLUB PLAZA (Lot 18)

- primarily one story volume retail spaces with the accommodation for a roof deck, shall not exceed 36' - 0" with provision for 46'0 to accommodate signage at the northeast corner

The Motor Court @ COUNTRY CLUB PLAZA (Lot 19)

- contains a new two story building primarily for office or retail space with the accommodation for a roof deck, shall not exceed 38' - 0"

The Central Lofts @ COUNTRY CLUB PLAZA (Lots 20-27)

- primarily three story residential units, shall not exceed 44' - 0"

The Fairway Lofts @ COUNTRY CLUB PLAZA (Lots 28-37)

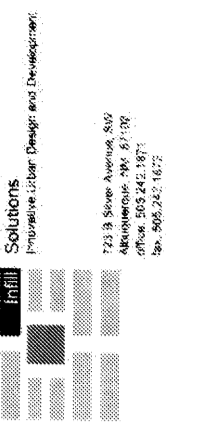
- primarily three story residential units, shall not exceed 44' - 0"

The Courtyard Building @ COUNTRY CLUB PLAZA (Lots 38-51)

- primarily three story residential units, shall not exceed 44' - 0"

Usable Open Space:

Usable open space shall be provided on each residential lot to permanently provide light, air, as well as visual, psychological and recreational needs. Usable open space will be provided in the form of landscaped front yards, side yards, rear yards, and open balconies as can be accommodated on each residential lot.



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D. Building Setbacks

COUNTRY CLUB PLAZA Courtyard Lots (1-10)

- Front yard setback:** Not less than 8' - 0" from back-of-curb, except driveways shall be not less than 20' - 0" long
- Side yard setback:** None required except:
- 15' - 0" on east side of Lot 1
 - 15' - 0" on a portion of east side of Lot 4
 - 10' - 0" on west side of Lot 6
 - 15' - 0" on east side of Lot 7
 - 5' - 0" on west side of Lot 10
- Rear yard setback:** Not less than 15' - 0"

The Villas @ COUNTRY CLUB PLAZA (Lots 11-17)

- Front yard setback:** Not less than 8' - 0" from back-of-curb except driveways shall be not less than 20' - 0" long
- Side yard setback:** None required except:
- 10' - 0" on east side of Lot 11
 - 10' - 0" on west side of Lot 13
 - 5' - 0" on north side of Lot 14
- Rear yard setback:** Not less than 15' - 0" except:
- Not less than 10' - 0" on Lots 14 - 17

The Studios @ COUNTRY CLUB PLAZA (Lot 18)

- Front yard setback:** Not less than 8' - 0" from back-of-curb
- Side yard setback:** None required except:
- 15' - 0" on east side
 - 10' - 0" on west side
- Rear yard setback:** Not less than 5' - 0"

The Shops @ COUNTRY CLUB PLAZA (Lot 18)

- Front yard setback:** Not less than 5' - 0"
- Side yard setback:** (a) 8' - 0" from back-of-curb on east side
(b) 10' - 0" on west side
- Rear yard setback:** Not less than 8' - 0" from back-of-curb

New Building at The Motor Court @ COUNTRY CLUB PLAZA (Lot 19)

- Front yard setback:** None required
- Side yard setback:** Not less than 10' - 0"
- Rear yard setback:** Not less than 10' - 0"

The Central Lofts @ COUNTRY CLUB PLAZA (Lots 20-27)

- Front yard setback:** Not less than 5' - 0"
- Side yard setback:** None required except:
- 15' - 0" on east side of Lot 20
 - 16' - 8" on west side of Lot 23
 - 16' - 8" on east side of Lot 24
 - 15' - 0" on west side of Lot 27
- Rear yard setback:** Not less than 13' - 0" or required width of Private Access Easement

The Fairway Lofts @ COUNTRY CLUB PLAZA (Lots 28-37)

- Front yard setback:** Not less than 15' - 0"
- Side yard setback:** None required except:
- 15' - 0" on east side of Lot 37
 - 15' - 0" on west side of Lot 28
- Rear yard setback:** Not less than 13' - 0" or required width of Private Access Easement

The Courtyard Building @ COUNTRY CLUB PLAZA (Lots 38-51)

- Front yard setback:** Not less than 5' - 0" from back-of-curb
- Side yard setback:** None required except:
- Per Site Development Plan on east side of Lot 38
 - Per Site Development Plan on west side of Lot 42
 - Per Site Development Plan on west side of Lot 45
 - Per Site Development Plan on east side of Lot 49
- Rear yard setback:** Not less than 5' - 0" except:
- None required on Lots 38, 42, 45 and 49
 - 45-degree angle to 5' - 0" on Lots 39, 41, 43, 44, 46, 48 and 50

E. Garages

Two-car garages shall be provided onsite for all residential Lots and residential units with the exception of **The Courtyard Building @ COUNTRY CLUB PLAZA (Lots 38-51)**, which shall be provided with a one-car garage per unit. Additional off-street parking shall be provided as indicated on the Site Development Plan.

F. Mechanical Equipment and Utilities

- Air conditioning/heating equipment shall be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the building (as viewed from property line of building). Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
- Any roof-mounted equipment shall be screened with materials architecturally compatible to the building in terms of material, color and design. Ground-mounted equipment shall be screened with materials architecturally compatible to the building in terms of material, color and design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
- All new electrical distribution lines shall be placed underground.
- Transformers, utility pads, telephone and cable boxes shall be appropriately located and when possible, be screened with walls and/or landscaping when viewed from the Private Access Easement.

G. Landscaping

These Guidelines are to be used as a supplement to the City of Albuquerque requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape requirements included in the City of Albuquerque Comprehensive City Zoning Code.

- Street trees shall be provided along the Laguna Boulevard Private Access Easement entry road at a rate of one tree per 15 linear feet. Ten trees and hardscape shall be provided at "The Oval". These landscape improvements shall be installed by the Developer.
- Living vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
- All plant materials, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual Lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual Lot owner shall be responsible for the installation and maintenance of the landscape on their property and within the adjacent Private Access Easement.
- Minimum plant sizes at time of installation shall be as follows:
 - Trees shall be 2 - 1/2" Caliper
 - Shrubs and Groundcover shall be 1 - 5 Gallons
- Timing of installation:** All front yard landscaping, and side yard landscaping (if the building is on a corner), must be completed by the Builder no later than one month after completion of construction of the building.
- Common landscape areas maintained by home owners.

H. Pedestrian Circulation

- A 4' - 6" wide sidewalk shall be installed by the Developer along the Private Access Easement from Laguna Boulevard to Lot 6 per City Standards for the pedestrian enjoyment of all neighbors in the Huning Castle / Country Club neighborhood.
- A 28' - 0" x 77' - 0" wide landscape feature called "The Oval" shall be installed by the Developer between the **COUNTRY CLUB PLAZA Courtyard Lots** and the **The Villas @ COUNTRY CLUB PLAZA** for the pedestrian enjoyment of all neighbors in the Huning Castle / Country Club neighborhood.
- 4' - 0" wide sidewalks per City Standards shall be installed by the Builder per the Site Development Plan throughout **The Central Lofts, The Courtyard Building and The Fairway Lofts @ COUNTRY CLUB PLAZA** Lots for the pedestrian enjoyment of all residents and guests.
- Sidewalks, patios and areaways per City Standards shall be installed by the Developer per the Site Development Plan throughout **The Studios, The Shops and The Motor Court @ COUNTRY CLUB PLAZA** for the pedestrian enjoyment and access of all retail and office users.

I. Parking

- Parking along Central Avenue will be placed to the rear and side of all new buildings.
- On-street parking is allowed on Central Avenue in front of the Motor Court and in front of the Central Lofts. Every effort shall be made to utilize this on-street parking.
- Shared parking between the Studios, Shops and Residential Units shall be strongly encouraged.

J. Walls and Fences

- All walls comply with the adopted City of Albuquerque Walls, Fences and Retaining Walls Guidelines, Section 14-16-3-19 of the Zoning Code.
- Perimeter walls at the **COUNTRY CLUB PLAZA Courtyard Lots** and the **The Villas @ COUNTRY CLUB PLAZA** shall be concrete masonry unit (CMU) with stucco finish and shall be a height of 8' - 0". They shall be installed by the Developer.
- No chain link or razor-wire fencing shall be permitted.

K. Site Lighting

- Site lighting shall conform with City of Albuquerque Standards.
- The mounting height of luminaries for site lighting at main automobile entries shall be no higher than 12' - 0".
- Residential site lighting shall be shielded source with no light source (lamp) visible from the site perimeter.

L. Signs and Signage

- At a maximum, signs are regulated per the C -1 zone in the Zoning Code.
- Entry signage shall be incorporated into the landscaping at the automobile entry at Laguna Boulevard which shall be consistent with the materials and architectural character of **COUNTRY CLUB PLAZA**.
- Signage will be designed into the facade of **The Shops @ COUNTRY CLUB PLAZA** consistent with the Design Guidelines and customary for Modern style buildings, not to exceed 46'0 high @ northwest corner.
- The existing freestanding "Mexico Lindo" sign at The Motor Court @ COUNTRY CLUB PLAZA shall be replaced to reflect its new use but shall remain in its same location on the site.

M. Solid Waste

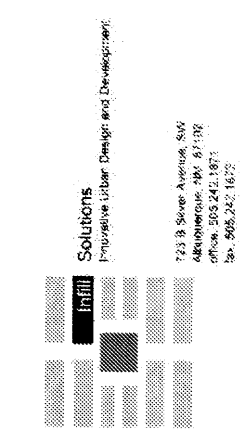
- Each house in the **COUNTRY CLUB PLAZA Courtyard Lots (Lots 1-10)** and **The Villas @ COUNTRY CLUB PLAZA (Lots 11-17)** shall have a storage area for residential carts, not to be visible from the private Access Easement. Pick-up locations will be accessible to Solid Waste along the Private Access Easement.
- A dumpster location and enclosure conforming to City of Albuquerque Solid Waste specifications shall be located per the Site Development Plan to service **The Studios, The Shops, Motors Courts and Lofts** per plan.

N. Vacant Lots / Destruction

- There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant Lots within **COUNTRY CLUB PLAZA**.
- The owner of a Lot within **COUNTRY CLUB PLAZA** that is vacant shall be responsible to keep the lot clear of all weeds, trash and any other item that is visually or otherwise undesirable.
- The owner of a Lot within **COUNTRY CLUB PLAZA** upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the Lot.

O. Restricted Activities

- The use of any trailer, motor home, boat, shack or tent as a residence either temporary or permanently is strictly prohibited within **COUNTRY CLUB PLAZA**.
- The placement of any kind of antenna (radio, shortwave, television or other), either temporary or permanently, is prohibited within **CLUB PLAZA** without the prior approval of the Developer.



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