

- KEYED NOTES:**
- PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 2.
  - EXISTING BUILDING TO REMAIN. NOT A PART.
  - EXISTING PARKING STRIPING.
  - PROPOSED LANDSCAPING.
  - EXISTING TREES TO REMAIN.
  - PROPOSED HANDICAP PAVEMENT SIGN.
  - PROPOSED STAMPED COLORED CONCRETE HANDICAP AISLE.
  - PROPOSED ASPHALT PAVING.
  - PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
  - SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.
  - PROPOSED CONCRETE SIDEWALK.
  - PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
  - PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
  - PROPOSED PAINTED PARKING STRIPING.
  - ADDITIONAL FIVE (5) PARKING SPACES TO BE STRIPPED WITH CONSTRUCTION OF PHASE I.
  - PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
  - PROPOSED CONCRETE CURB/LANDSCAPING ISLAND TO BE CONSTRUCTED WITH PHASE I (SHOWN DASHED).
  - EXISTING DUMPSTER ENCLOSURE.
  - PROPOSED STOP SIGN.
  - EXISTING CITY CURB AND GUTTER.
  - EXISTING BUS STOP TO REMAIN.
  - PROPOSED HANDICAP RAMP.
  - PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
  - PROPOSED HANDICAP PARKING SIGNS.
  - PROPOSED 6'-0" HIGH CMU SCREEN WALL ON LOT 1 AND 7'-4" HIGH CMU SCREEN WALL ON LOT 2 WITH STUCCO FINISH TO MATCH BUILDING. SEE SHEET 7.
  - PROPOSED 100 SF. MONUMENT SIGN. SEE SHEET 6.
  - PROPOSED PLAZA BENCH SEATING-6' LONG BENCHES (2 LOCATIONS). SEE SHEET 7 FOR SEATING CALCULATION.
  - PROPOSED CONCRETE DRIVEWAY TO BE CONSTRUCTED TO **DRP PROJECT NO. 752083**
  - COMPACT PARKING SPACES 8'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
  - STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING.
  - PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
  - EXISTING FIRE HYDRANT.
  - PROPOSED FIRE HYDRANT. SEE UTILITY PLAN.
  - EXISTING CONCRETE SIDEWALK.
  - PROPOSED LOT LINES.
  - PROPOSED LIGHT BOLLARD. TYP. OF 4. SEE SHEET 7.
  - PROPOSED CONCRETE SWALE CONSTRUCTED WITH PHASE II. SEE GRADING AND DRAINAGE PLAN.
  - EXISTING 6'-0" HIGH CMU SCREEN WALL.
  - PROPOSED "DO NOT ENTER" SIGN AND PAVEMENT SIGN.
  - REMOVE EXISTING 6' WIDE CITY SIDEWALK AND REPLACE WITH NEW 6' WIDE CONCRETE SIDEWALK TO MATCH AND TO TIE INTO EXISTING (STD. DWG. 2430). **TO BE CONSTRUCTED PER DRP PROJECT NO. 752083**
  - PROPOSED CONCRETE PATIO WITH EXISTING LANDSCAPING.
  - PROPOSED CONCRETE PATIO WITH EXISTING TREES TO REMAIN.
  - AREA OF SIDEWALK INFILL BETWEEN CITY SIDEWALK AND EXISTING BUILDING.
  - EXISTING 6' HIGH SOLID WOOD SCREEN WALL WITH STUCCO PILASTERS.

**SITE DEVELOPMENT DATA:**

PROPOSED LEGAL DESCRIPTION: LOTS 1 THRU 3, COUNTRY CLUB PLACE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES: BLDG. 1 (EXISTING) ADDRESS: 1816 CENTRAL AVE., S.W. ALBUQUERQUE, N.M. BLDG. 2 (EXISTING) ADDRESS: 1828 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.

LAND AREA: 2.3382 ACRES (101,855 SQ. FT.)

CURRENT ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT

PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

ZONE ATLAS PAGE: J-13-7

BUILDING AREAS: EXISTING BUILDING 1 12,220 SF EXISTING BUILDING 2 3,200-5,000 SF PROPOSED BUILDING 3 16,700-18,500 SF TOTAL BUILDING AREA = 35,720 SF. MAX. ON THIS SITE

DEVELOPMENT PHASING: **PHASE I:** PHASE I WILL INCLUDE RENOVATION OF BUILDING 1, ALL PHASE I PARKING INCLUDING 69 SPACES AND RELATED LANDSCAPING, INCLUDING THE BUFFER ALONG THE R-1 PROPERTY AT THE SOUTH END OF THE SITE OF LOT 3. BUILDING 2 MAY BE RENOVATED AS PART OF PHASE I OR PHASE II. **PHASE II:** PHASE II WILL INCLUDE CONSTRUCTION OF BUILDING 3, RELATED PARKING AND REMAINING LANDSCAPING.

PROPOSED USES: ALL USES PERMITTED IN THE CLD ZONE, AND ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

PROHIBITED USES: -R-2 COMMUNITY RESIDENTIAL PROGRAMS -DRIVE-THRU SERVICE WINDOWS -WIRELESS TELECOMMUNICATION FACILITIES

PARKING CALCULATIONS: **LOT 1 REQUIRED PARKING (ANTICIPATED SCHOOL):** 80 STUDENTS = 40 SPACES TOTAL REQUIRED PARKING = 40 SPACES **LOT 1 PARKING PROVIDED:** TOTAL PARKING SPACES PROVIDED = 40 SPACES **LOT 2 REQUIRED PARKING:** NO PARKING IS REQUIRED PER CITY OF ALBUQUERQUE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1); "OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE." IF A RETAIL USE OCCUPIES BUILDING 2, AND 1 SPACE IS REQUIRED PER 200sf THEN 16 PARKING SPACES WILL BE REQUIRED. **LOT 2 PARKING PROVIDED:** TOTAL PARKING SPACES PROVIDED = 14 SPACES **LOT 3 REQUIRED PARKING (ANTICIPATED):** 6,000sf FIRST FLOOR RETAIL/200 = 40 SPACES 6,000sf SECOND FLOOR OFFICE/300 = 20 SPACES 4,500sf (B) THIRD FLOOR RESIDENTIAL UNITS AT 4,500sf EACH x 1.5 = 12 SPACES TOTAL REQUIRED PARKING = 72 SPACES **LOT 3 PARKING PROVIDED:** TOTAL PARKING SPACES PROVIDED = 78 SPACES **TOTAL PARKING SPACES REQUIRED = 112 SPACES** TOTAL NUMBER OF SPACES REQUIRED EXCLUDES REQUIRED SPACES FOR LOT 2 **112 SPACES REQUIRED + 10% REDUCTION FOR PROXIMITY TO BUS ROUTE = 100 SPACES REQUIRED** **TOTAL PARKING SPACES PROVIDED = 132 SPACES** 113 REGULAR SPACES 6 HANDICAP PARKING SPACES 13 COMPACT SPACES **COMPACT PARKING CALCULATION:** 100 REQ'D SPACES x 25% = 25 SPACES ALLOWED TOTAL COMPACT SPACES = 13 SPACES PROVIDED **DISABLED PARKING REQUIREMENTS:** TOTAL DISABLED SPACES REQUIRED = 4 SPACES TOTAL DISABLED SPACES PROVIDED = 6 SPACES **MOTORCYCLE REQUIREMENTS:** TOTAL MOTORCYCLE SPACES REQUIRED = 3 SPACES TOTAL MOTORCYCLE SPACES PROVIDED = 3 SPACES **BICYCLE REQUIREMENTS:** 1 BIKE SPACE PER 20 = 5 BIKE SPACES REQUIRED PARKING SPACES TOTAL BICYCLE SPACES PROVIDED = 15 SPACES

**RADIUS INFORMATION:**

① = 2'-0" ④ = 5'-0" ⑦ = 25'-0"  
 ② = 3'-0" ⑤ = 10'-0" ⑧ = 60'-0"  
 ③ = 4'-0" ⑥ = 15'-0"

**GENERAL NOTES:**

[A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN THE FUTURE DESIGN OF BUILDING 3 AS WELL AS THE RENOVATION OF BUILDINGS 1 AND 2.

[B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 3, COUNTRY CLUB PLACE, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THIS WILL BE GRANTED WITH REPLAT OF ALL TRACTS.

[C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

**SITE LIGHTING NOTES:**

[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.

[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.

[C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.

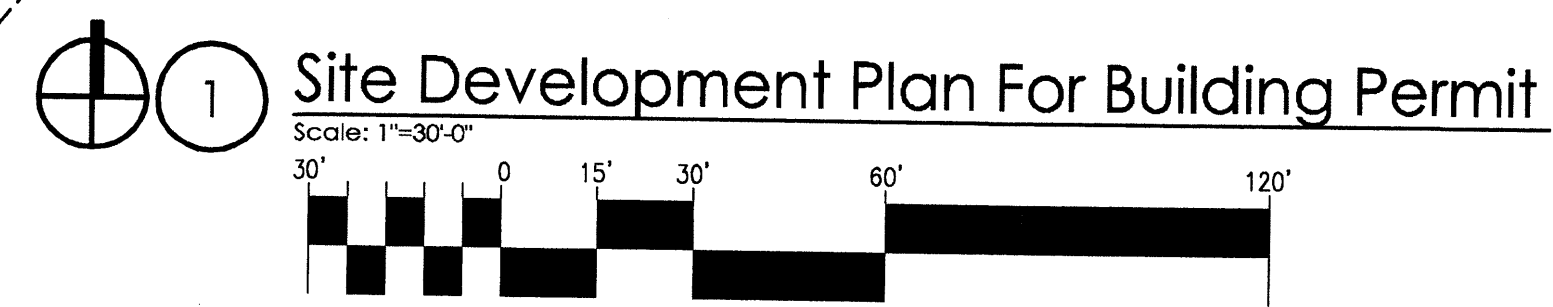
[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

**Lot 2, Plat of Lots 1 & 2 Garcia Properties Development**  
 1.5158 AC. ± 66,029 SQ. FT. ±  
 (SOUTHERLY PORTION APPLIES TO THIS AMENDMENT)  
 ZONING: SU-2/SU-1 - FOR A MIXED USE DEVELOPMENT  
 NOT A PART

RADIUS= 3859.72' ARC LENGTH= 250.73' TAN= 125.41' DELTA ANGLE= 3°43'19" CHORD BEARING= S 45°51'25" E CHORD LENGTH= 250.68'

C2 RADIUS= 3859.72' ARC LENGTH= 129.15' TAN= 64.58' DELTA ANGLE= 1°55'02" CHORD BEARING= S 46°57'17" E CHORD LENGTH= 129.15'

C3 RADIUS= 3859.72' ARC LENGTH= 121.57' TAN= 60.79' DELTA ANGLE= 1°48'17" CHORD BEARING= S 48°48'56" E CHORD LENGTH= 121.57'



PROJECT NUMBER: 1004677 APPLICATION NUMBER: 1004677-70310

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: Oct. 14, 2010 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES ( ) NO IF YES, THEN A SET OF APPROVED DRP PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRP SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	06-03-11
Utilities Development	11/10/10
PARKS AND RECREATION DEPARTMENT	11/10/10
CITY ENGINEER	5-31-11
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
SOLID WASTE MANAGEMENT	
DRP CHAIRPERSON, PLANNING DEPARTMENT	11/19/10

revision: 11/2/10  
 by: JWH  
 date: 9/27/10

rev: 11/2/10  
 by: JWH  
 date: 9/27/10

10-07 JWH JWH 8/26/10

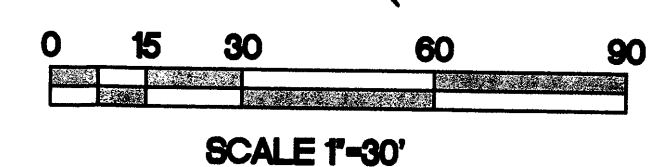
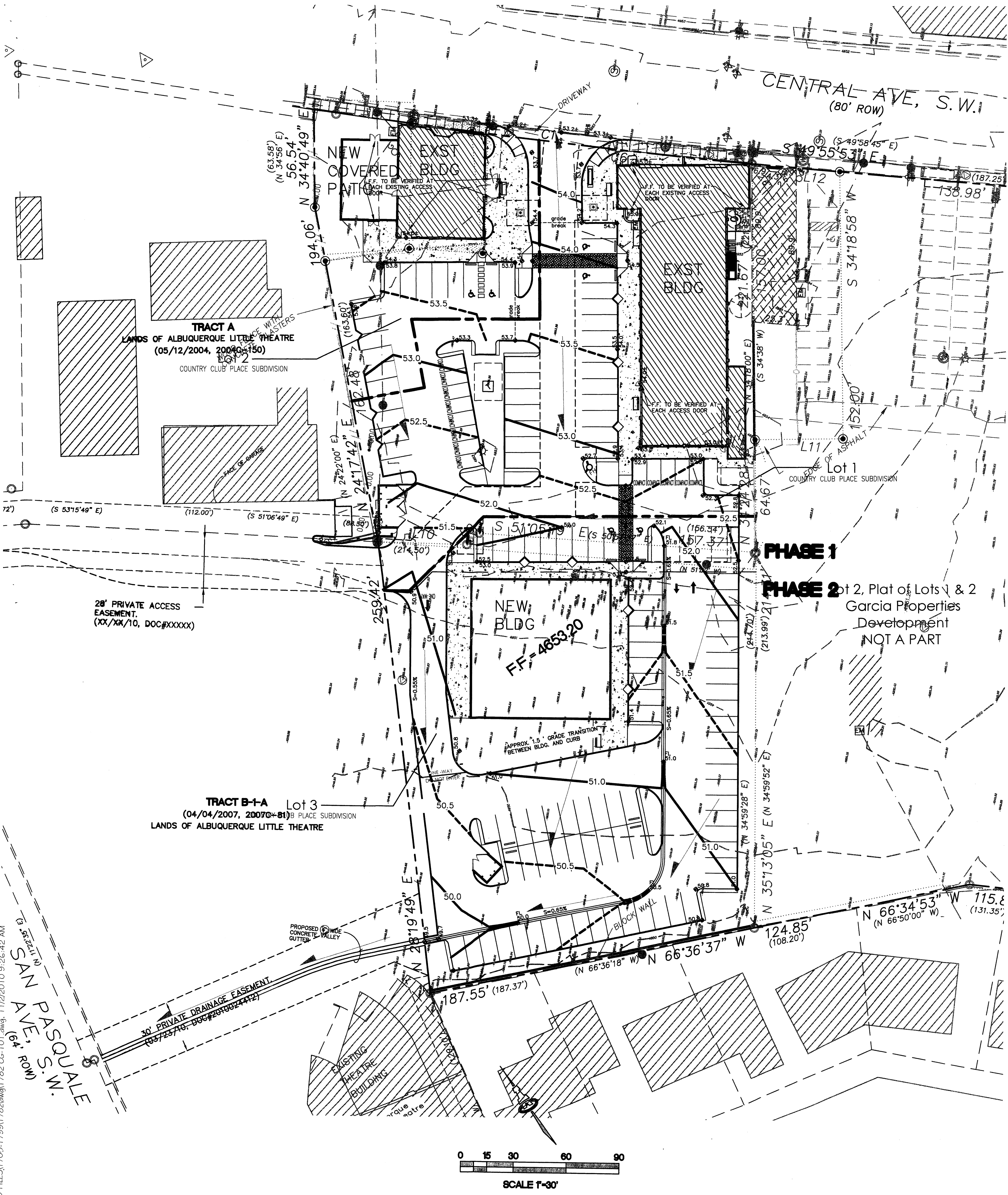
job number: 1004677  
 drawn by: JWH  
 project manager: JWH  
 date: 8/26/10

Country Club Place Development  
 Lots 1 thru 3, Country Club Place  
 Albuquerque, NM

Site Development Plan for Building Permit  
 1004677

sheet: 1 of 7





**PROJECT NOTES**

**PROPERTY:** THE SITE IS A 2.338-ACR DEVELOPED COMMERCIAL PROPERTY (ZONED SU-2) LOCATED WITHIN C.O.A. VICINITY MAP J-13. IT IS LOCATED ON THE SOUTH SIDE OF CENTRAL AVENUE AND EAST OF SAN PASQUALE AVENUE. THE PROPERTY, CONSISTING OF 2 TRACTS, IS BOUND ON THE NORTH BY CENTRAL AVENUE, TO THE EAST BY DEVELOPED COMMERCIAL (SAME OWNER), TO THE SOUTH BY DEVELOPED RESIDENTIAL AND TO THE WEST BY DEVELOPED COMMERCIAL PROPERTY (THE ALBUQUERQUE LITTLE THEATRE). THE PROPERTY CONSISTS OF ONE EXISTING DRAINAGE BASIN THAT CONSISTS MAINLY OF ASPHALT PAVED PARKING AND TWO COMMERCIAL BUILDINGS. THIS BASIN HISTORICALLY DISCHARGES 10.2 CFS THROUGH THE LITTLE THEATRE PARKING LOT WEST TO FREE DISCHARGE TO SAN PASQUALE AVENUE.

**OFF-SITE:** MINIMAL OFFSITE STORM WATER WILL CONTINUE TO BE ACCEPTED FROM THE ROOF DRAINS OF THE BUILDING TO THE EAST AND EVENTUALLY DISCHARGE THROUGH THE LITTLE THEATRE PARKING LOT PER HISTORIC CONDITIONS.

**PROPOSED IMPROVEMENTS:** THE TWO-PHASE PLAN INCLUDES THE CONSTRUCTION OF A NEW 6400 SF RETAIL/OFFICE BUILDING AND A COVERED PATIO ADDITION TO THE EXISTING NW BUILDING, AS WELL AS ASSOCIATED ASPHALT PAVING AND SITE LANDSCAPING.

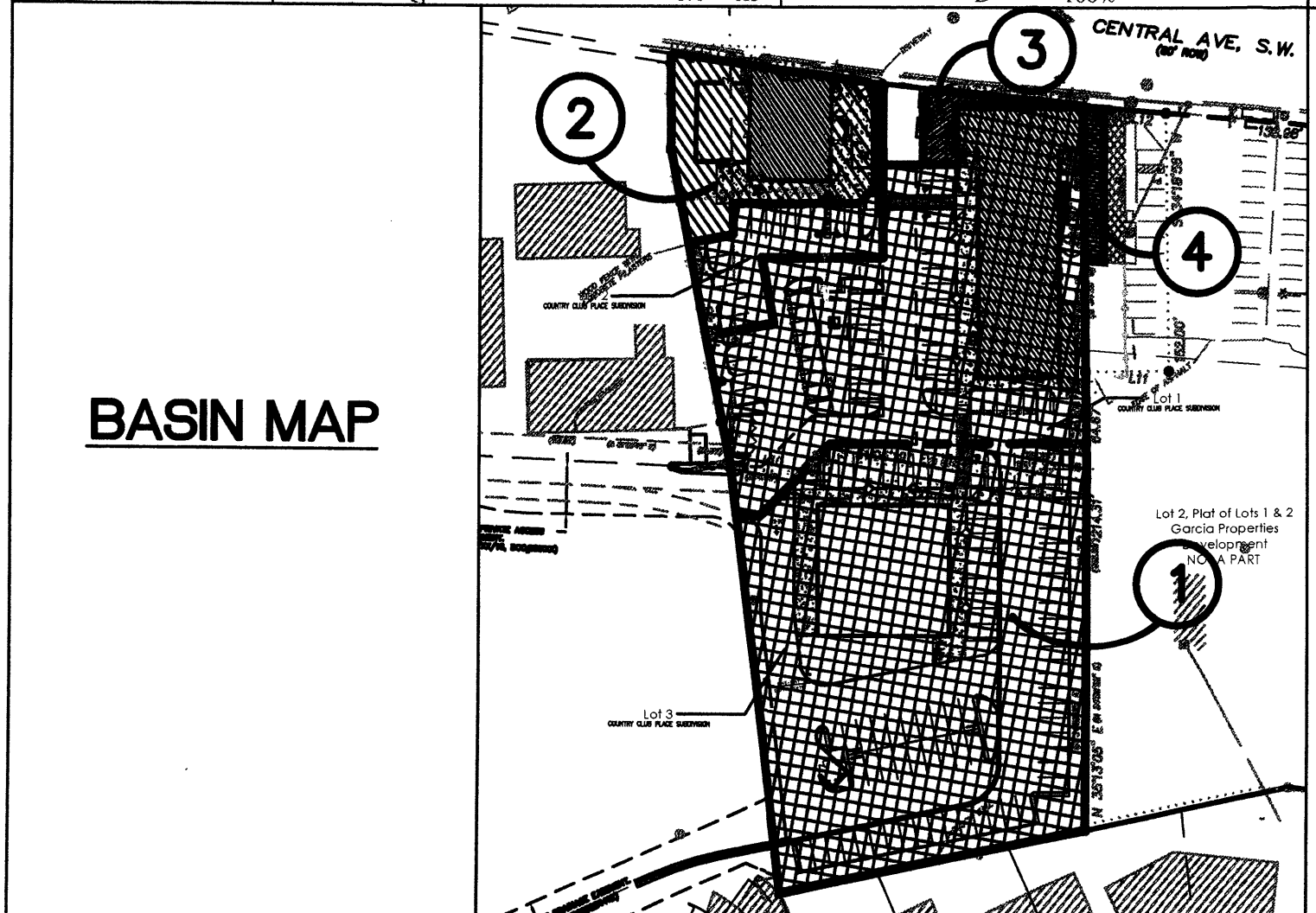
**DRAINAGE PLAN CONCEPT:** THE PROPOSED IMPROVEMENTS WILL GENERATE APPROXIMATELY 10.4 CFS. THE MAJORITY OF THIS DISCHARGE, 9.25 CFS (THE MAIN BASIN AND OFF-SITE FLOWS), WILL CONTINUE TO DRAIN THROUGH THE ALBUQUERQUE LITTLE THEATRE PARKING LOT (HISTORIC RATE = 10.2 CFS). THE RUN-OFF FROM THE EXISTING NW BUILDING, THE PROPOSED COVERED PATIO, AND THE LANDSCAPED AREAS ASSOCIATED WITH BOTH EXISTING BUILDINGS (1.13 CFS) WILL BE ROUTED TO FREE DISCHARGE INTO CENTRAL AVE AND ENTER THE EXISTING STORM DRAIN SYSTEM.

**CALCULATIONS**

**CALCULATIONS: 1782 Country Club Development :**  
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE		EXCESS PRECIP:	
Area draining to underground vault (includes sub-basins 1, 2, 3 and 4)	101855.12 SF		2.3 Ac.
<b>HISTORIC FLOWS:</b>		<b>DEVELOPED FLOWS:</b>	
On-Site Historic Land Condition		On-Site Developed Land Condition	
Area a = 0.00 SF		Area a = 0.00 SF	Ea = 0.53
Area b = 5092.76 SF		Area b = 0.00 SF	Eb = 0.78
Area c = 15278.27 SF		Area c = 15278.27 SF	Ec = 1.13
Area d = 81484.10 SF		Area d = 86576.85 SF	Ed = 2.12
Total Area = 101855.12 SF		Total Area = 101855.12 SF	
<b>On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)</b>			
Weighted E =		EaAa + EbAb + EcAc + EdAd	
		Aa + Ab + Ac + Ad	
Historic E = 1.90 in.		Developed E = 1.97 in.	
<b>On-Site Volume of Runoff: V360 = E*A / 12</b>			
Historic V360 = 16165 CF		Developed V360 = 16734 CF	
<b>On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560</b>			
For Precipitation Zone 2			
Qpa = 1.56		Qpc = 3.14	
Qpb = 2.28		Qpd = 4.70	
Historic Qp = 10.2 CFS		Developed Qp = 10.4 CFS	

BASIN NO.	DESCRIPTION	Main Basin
1		
Area of basin flows = 89116 SF = 2.0 Ac.		
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.97 in.		TREATMENT
Sub-basin Volume of Runoff (see formula above)		A = 0%
V360 = 14641 CF		B = 0%
Sub-basin Peak Discharge Rate: (see formula above)		C = 15%
Qp = 9.1 cfs		D = 85%
2	NW Building and Landscape Area	
Area of basin flows = 10211 SF = 0.2 Ac.		
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.97 in.		TREATMENT
Sub-basin Volume of Runoff (see formula above)		A = 0%
V360 = 1678 CF		B = 0%
Sub-basin Peak Discharge Rate: (see formula above)		C = 15%
Qp = 1.0 cfs		D = 85%
3	NE Landscape Area	
Area of basin flows = 1171 SF = 0.0 Ac.		
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 1.13 in.		TREATMENT
Sub-basin Volume of Runoff (see formula above)		A = 0%
V360 = 110 CF		B = 0%
Sub-basin Peak Discharge Rate: (see formula above)		C = 100%
Qp = 0.1 cfs		D = 0%
4	Off-Site	
Area of basin flows = 1063 SF = 0.0 Ac.		
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E = 2.12 in.		TREATMENT
Sub-basin Volume of Runoff (see formula above)		A = 0%
V360 = 188 CF		B = 0%
Sub-basin Peak Discharge Rate: (see formula above)		C = 0%
Qp = 0.1 cfs		D = 100%



**BASIN MAP**

**VICINITY MAP**



**PROJECT DATA**

**LEGAL DESCRIPTION:** M.R.G.C.D. TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE

**SITE AREA:** 2.338 AC

**FLOOD ZONE:** THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) FLOOD PLAIN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBER 35001C0331E, EFFECTIVE DATE NOVEMBER 19, 2003.

**ENGINEER:** FRED ARFMAN, NMPE #7322  
ISAACSON & ARFMAN, P.A.  
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PHONE: (505) 268-8828

**SURVEYOR:** LARRY W. MEDRANO, NMPS #11993  
PRECISION SURVEYS, INC.  
8414-D JEFFERSON ST NE, ABQ, NM 87113  
PHONE: (505) 856-5700

**BENCHMARK:** ALBUQUERQUE CONTROL SURVEY MONUMENT "13-J13" HAVING A PUBLISHED ELEVATION OF 4953.44 FEET (NAVD 29)

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TC 81.9 TOP OF CURB ELEVATION
- FL 81.4 FLOWLINE ELEVATION
- INV=72.5 INVERT ELEVATION

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1782 CQ-101.dwg Nov 01, 2010

revision by \_\_\_\_\_  
date \_\_\_\_\_  
rev. A A A A A

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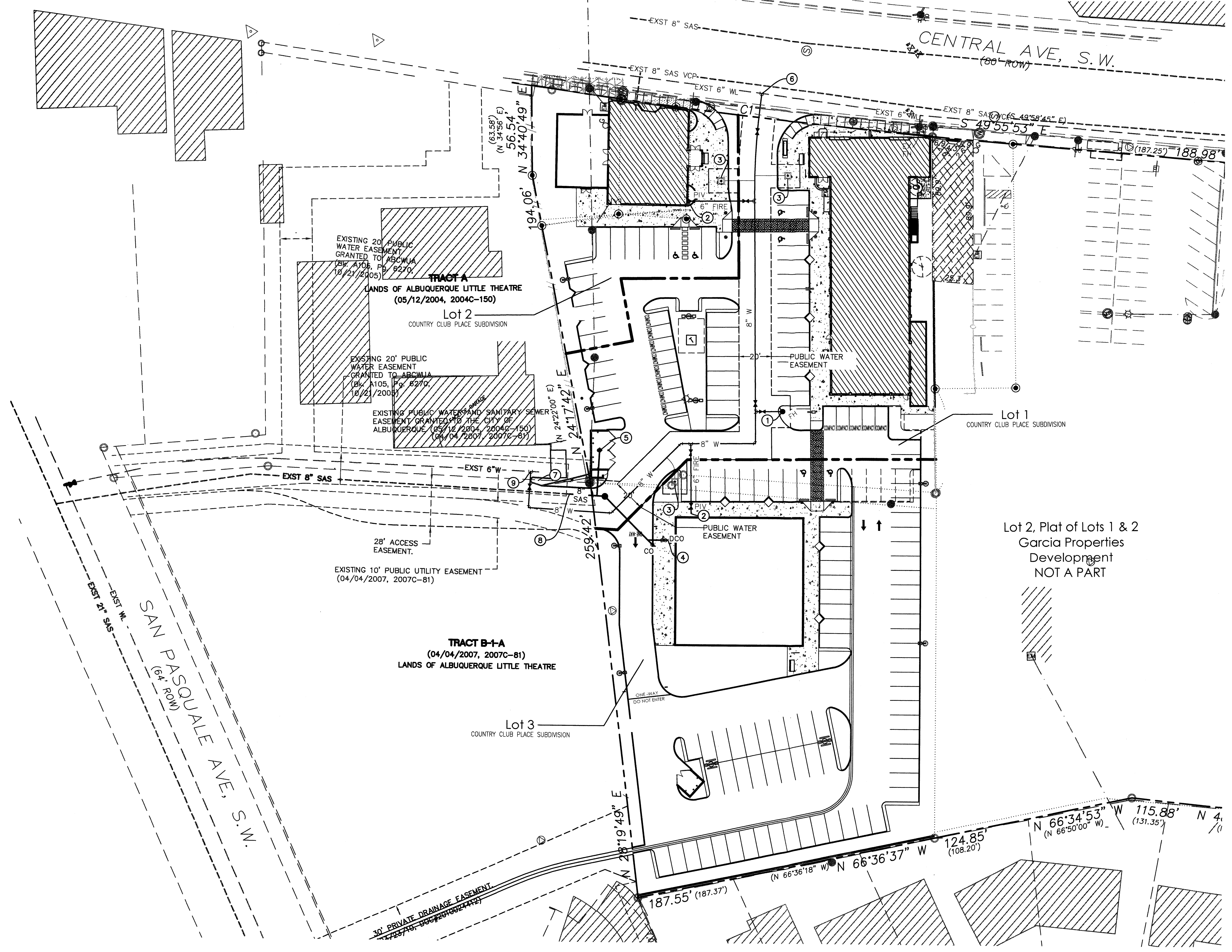
job number  
drawn by  
project manager  
date

project title  
**Country Club Place Development**  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM

sheet.  
**2 of 7**

CONCEPTUAL GRADING PLAN FOR BUILDING PERMIT





**GENERAL NOTES**

1. ALL PUBLIC UTILITIES (WITHIN PUBLIC EASEMENT) SHALL BE BUILT PER PUBLIC WORK ORDER DRAWINGS.

**KEYED NOTES**

1. PUBLIC FIRE HYDRANT.
2. 6" PRIVATE BUILDING FIRELINE WITH POST INDICATOR VALVE (PIV).
3. PUBLIC WATER METER.
4. 6" PRIVATE SEWER SERVICE WITH DOUBLE CLEANOUT.
5. AREA DRAIN WITH P-TRAP AT LOW POINT IN GARBAGE ENCLOSURE. TIE 4" SEWER SERVICE TO 8" MAIN.
6. TIE TO EXISTING WATERLINE WITH 6"x6"x6" TEE.
7. EXISTING FIRE HYDRANT.
8. TIE TO EXISTING SEWER MANHOLE.
9. TIE TO EXISTING LINE WITH A 6"x6"x6" TEE.

**LEGEND**

- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- ⊙ FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE

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 1782 CU-101.dwg Nov 01, 2010

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by	
date	
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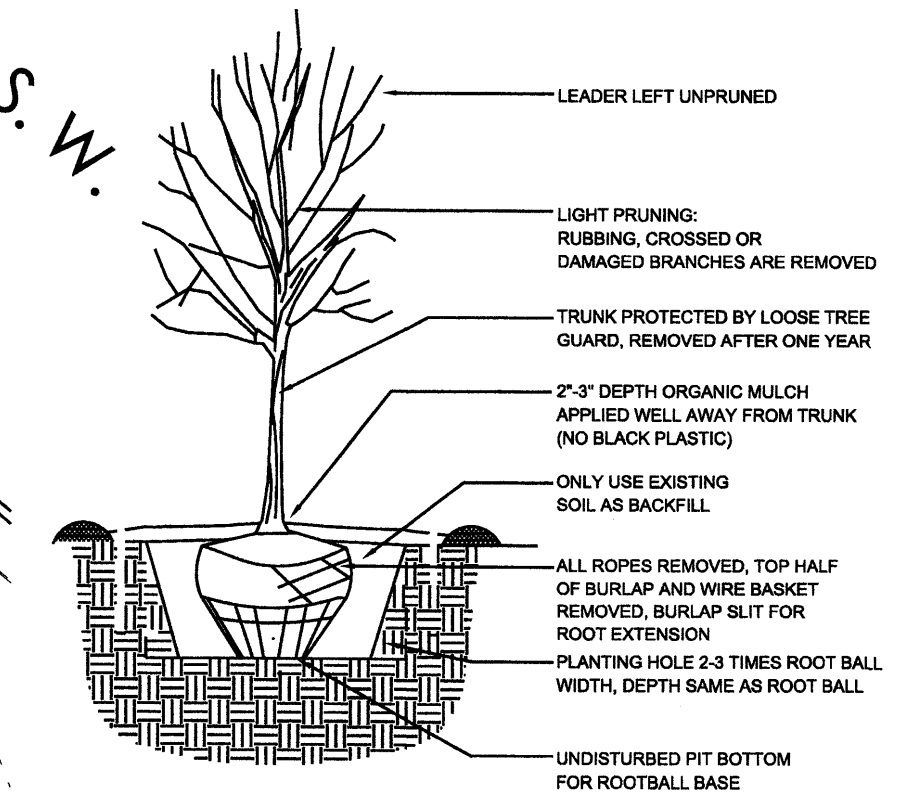
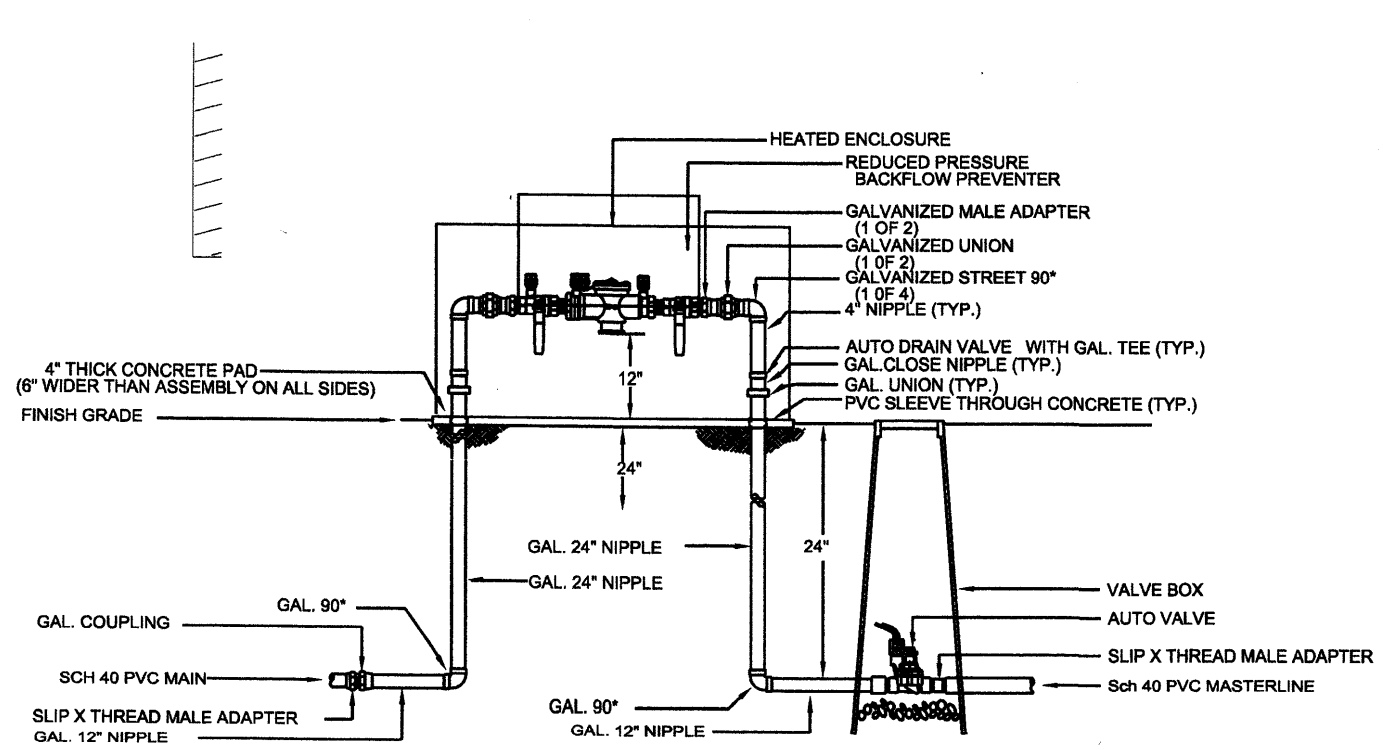
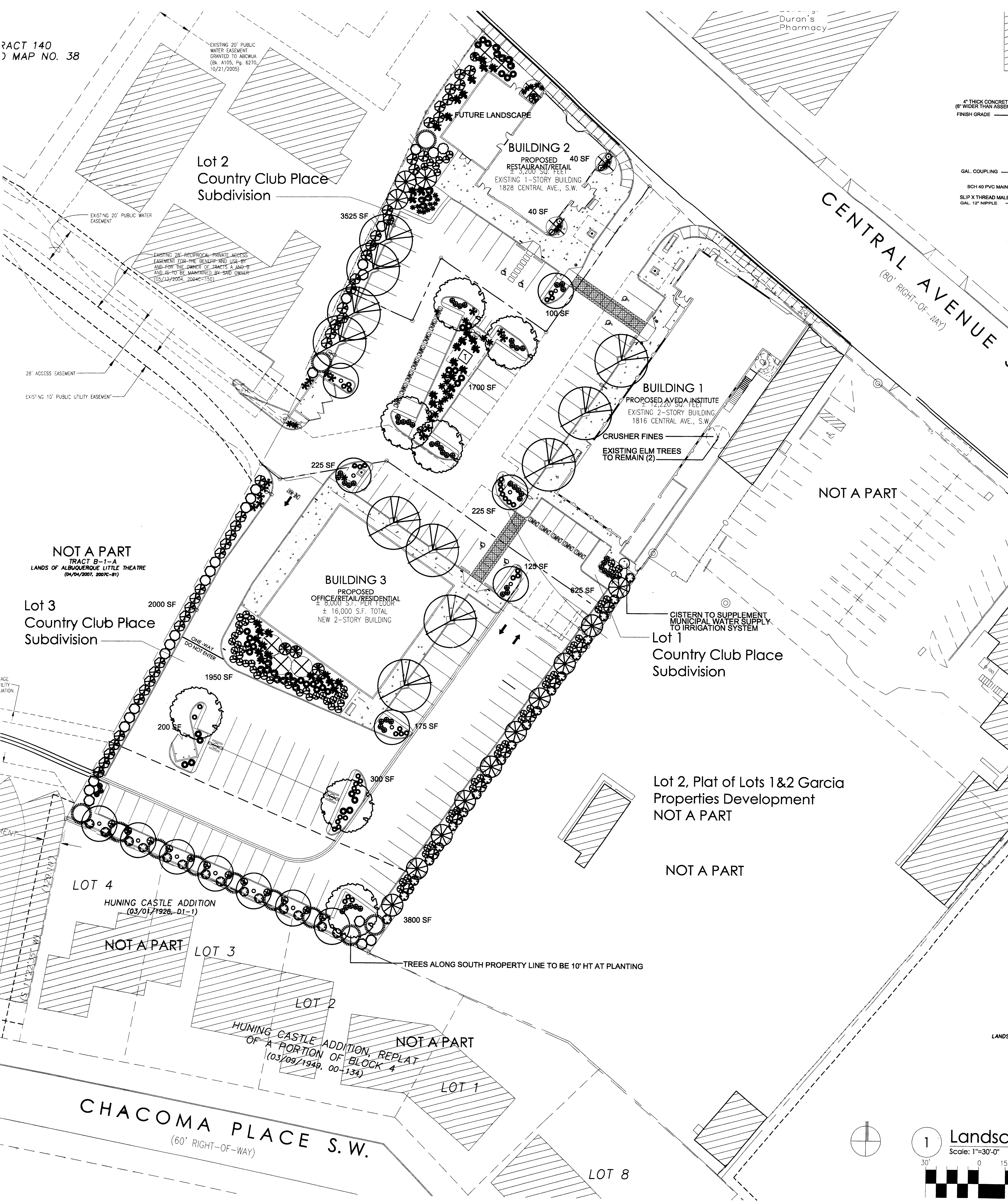
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 505 268 4244 [f]

job number	10-07
drawn by	mws
project manager	MMM
date	5/5/10

project title  
**Country Club Place Development**  
 Lots 1 thru 3, Country Club Place  
 Albuquerque, NM  
 sheet title  
**CONCEPTUAL UTILITY PLAN FOR BUILDING PERMIT**

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**PLANT LEGEND**

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
11	[Symbol]	Pinus nigra	Austrian Pine	10' HT.	30'/25'		Medium	6-2 gph
11	[Symbol]	Fraxinus Modesto	Modesto Ash	2" B&B	60'/60'		Medium	6-2 gph
8	[Symbol]	Crataegus Washington	Washington Hawthorn	15-Gal	20'/20'		Medium	6-2 gph
13	[Symbol]	Pyrus Flowering Pear	Flowering Pear	2" B&B	30'/25'		Medium	6-2 gph
7	[Symbol]	Pistachia chinensis	Chinese Pistache	10' HT. & AS NOTED TO SCREEN			Medium	6-2 gph
13	[Symbol]	Vitex agnus-castus	Chaste Tree	15-Gal	20'/20'		Medium	6-2 gph
<b>Shrubs/Groundcovers</b>								
24	[Symbol]	Buddleia davidii	Butterfly Bush	5-Gal	5'/5'	20 sf=480 sf	Medium	2-2 gph
53	[Symbol]	Vaquellina Arizona	Arizona Rosewood	5-Gal	8'/12'	50 sf=2650 sf	Low+	2-2 gph
54	[Symbol]	Ericameria Turpentine	Turpentine Bush	5-Gal	3'/4'	18 sf=972 sf	Low+	2-1 gph
18	[Symbol]	Potentilla Shrubby	Shrubby Cinquefoil	5-Gal	5'/5'	18 sf=324 sf	Medium+	2-2 gph
38	[Symbol]	Baccharis Coyotebush	Coyotebush	5-Gal	2'/6'	18 sf=684 sf	Low +	2-1 gph
37	[Symbol]	Rosmarinus officinalis	Rosemary	5-Gal	6'/6'	30 sf=1110 sf	Low +	2-2 gph
26	[Symbol]	Raphiolepis India	India Hawthorn	5-Gal	3'/4'	30 sf=780 sf	Medium	2-2 gph
4	[Symbol]	Salvia greggii	Cherry Sage	1-Gal	2'/3'	18 sf=72 sf	Medium	2-2 gph
2	[Symbol]	Lagerstroemia	Crape Myrtle	5-Gal	15'/15'	35 sf=70 sf	Medium+	2-2 gph
0	[Symbol]	Pinus mugho	Mugho Pine	5-Gal	4'/4'	30 sf=0 sf	Medium	2-2 gph
5	[Symbol]	Punica Pomegranate	Pomegranate	5-Gal	8'/8'	36 sf=180 sf	Low+	2-2 gph
15	[Symbol]	Hesperaloe Red	Red Yucca	5-Gal	3'/4'	15 sf=225 sf	Low	2-1 gph
16	[Symbol]	Yucca pendula	Softblade Yucca	5-Gal	5'/2'	25 sf=400 sf	Low+	2-1 gph
34	[Symbol]	Rhus 3 Leaf	3 Leaf Sumac	5-Gal	6'/6'	50 sf=1700 sf	Low+	2-1 gph
58	[Symbol]	Prunus besseyi	Sand Cherry	5-Gal	3'/3'	25 sf=1450 sf	Medium	2-2 gph
<b>Ornamental Grasses</b>								
31	[Symbol]	Muhlenbergia	Deer Grass	5-Gal	4'/4'	20 sf=620 sf	Medium+	2-2 gph
19	[Symbol]	Pennisetum	Fountain Grass	5-Gal	2.5'/2.5'	12 sf=228 sf	Medium	2-2 gph
				Total landscape coverage=11,945 sf				

**LANDSCAPE DATA**

GROSS LOT AREA	101,852 SF
LESS BUILDING(S)	23,420 SF
NET LOT AREA	78,432 SF
REQUIRED LANDSCAPE	11,765 SF
PROPOSED LANDSCAPE	14,930 SF
PERCENT OF NET LOT AREA	19 %

**IRRIGATION NOTE**

DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/4 DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:  
1 HOUR/2 DAYS PER MONTH

**HIGH WATER USE TURF**

NONE PROPOSED

**REQUIRED STREET TREES**

PROVIDED AT 30' O.C. SPACING STREET 3  
REQUIRED PARKING LOT TREES  
PROVIDED AT 1 PER 10 SPACES (132 SPACES/10) 13  
75% MIN. DECIDUOUS CANOPY TREES WITH 25' MATURE SPREAD  
100% PROVIDED (6-CHINESE PISTACHE/7-MODESTO ASH)

**REQUIRED LANDSCAPE COVERAGE**

80% LIVE VEGETATIVE MATERIAL (14,930 SF x 80%) 11,944 SF MIN.  
PROVIDED LANDSCAPE COVERAGE 11,945 SF (80%)

**NOTE**

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM  
PROTECTED WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE AND POLLEN ORDINANCE

THIS PLAN SHALL PROVIDE AT MINIMUM  
80% LIVE GROUNDCOVER OF LANDSCAPE AREAS  
AT MATURITY. TREE CANOPIES ARE NOT INCLUDED.

LANDSCAPE AREAS TO BE MULCHED WITH BROWN CRUSHER FINES GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

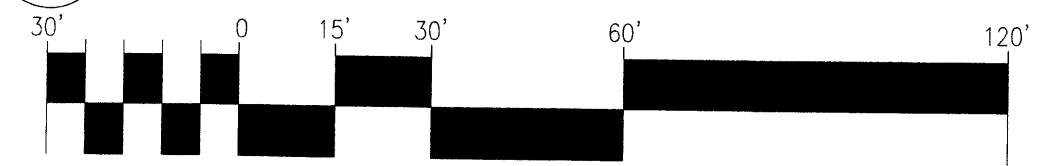
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

AT LEAST 75% OF REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS CANOPY-TYPE SHADE TREES, CAPABLE OF ACHIEVING A MATURE CANOPY OF AT LEAST 25'

PROVIDE CURB CUTS INTO LANDSCAPE AREAS TO ALLOW FOR PASSIVE WATER HARVESTING

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

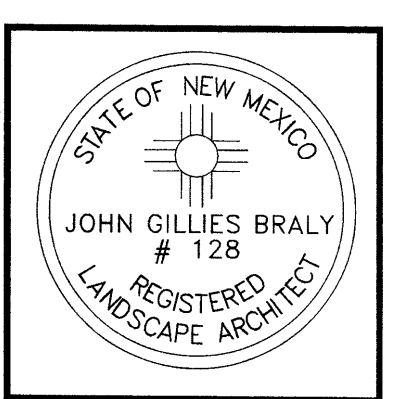
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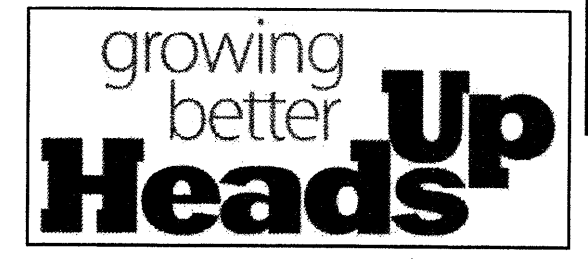
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9/14/10

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505 268 4244 (f)

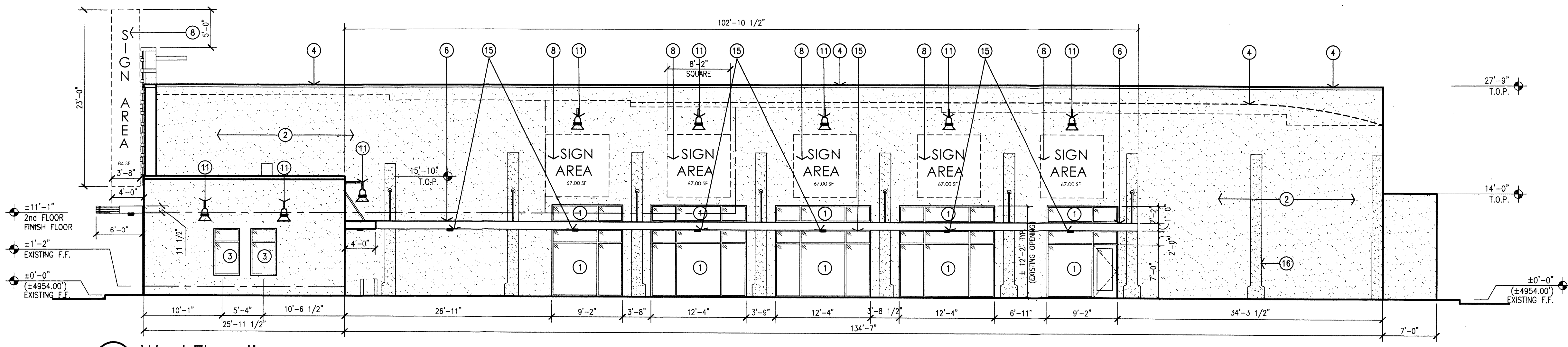


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mws  
MMM  
5/5/10  
job number  
drawn by  
project manager  
date

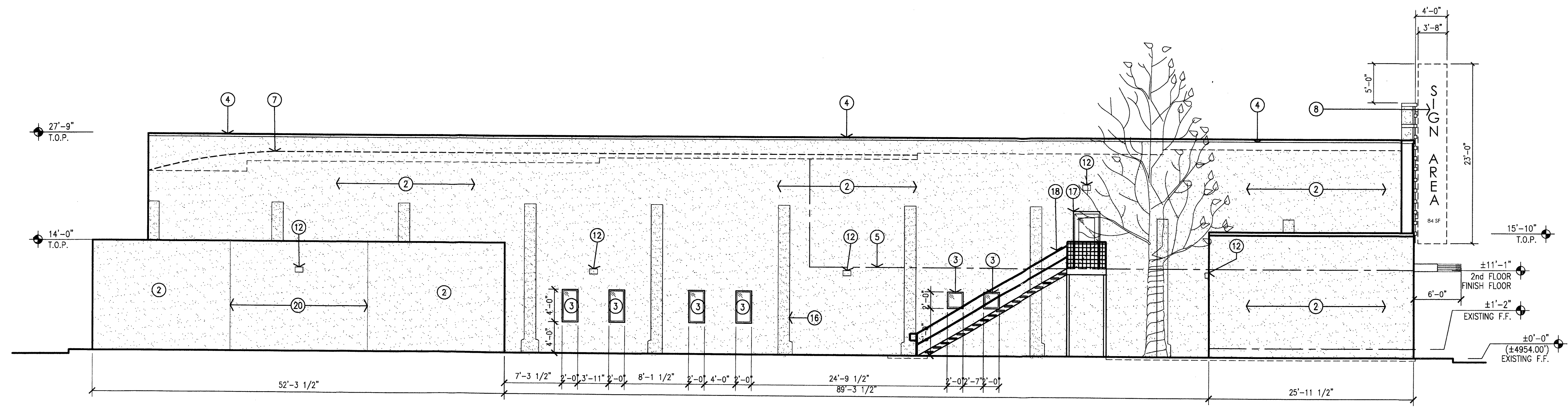
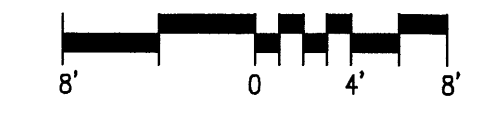
Country Club Place Development  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM  
Landscaping Plan for Building Permit



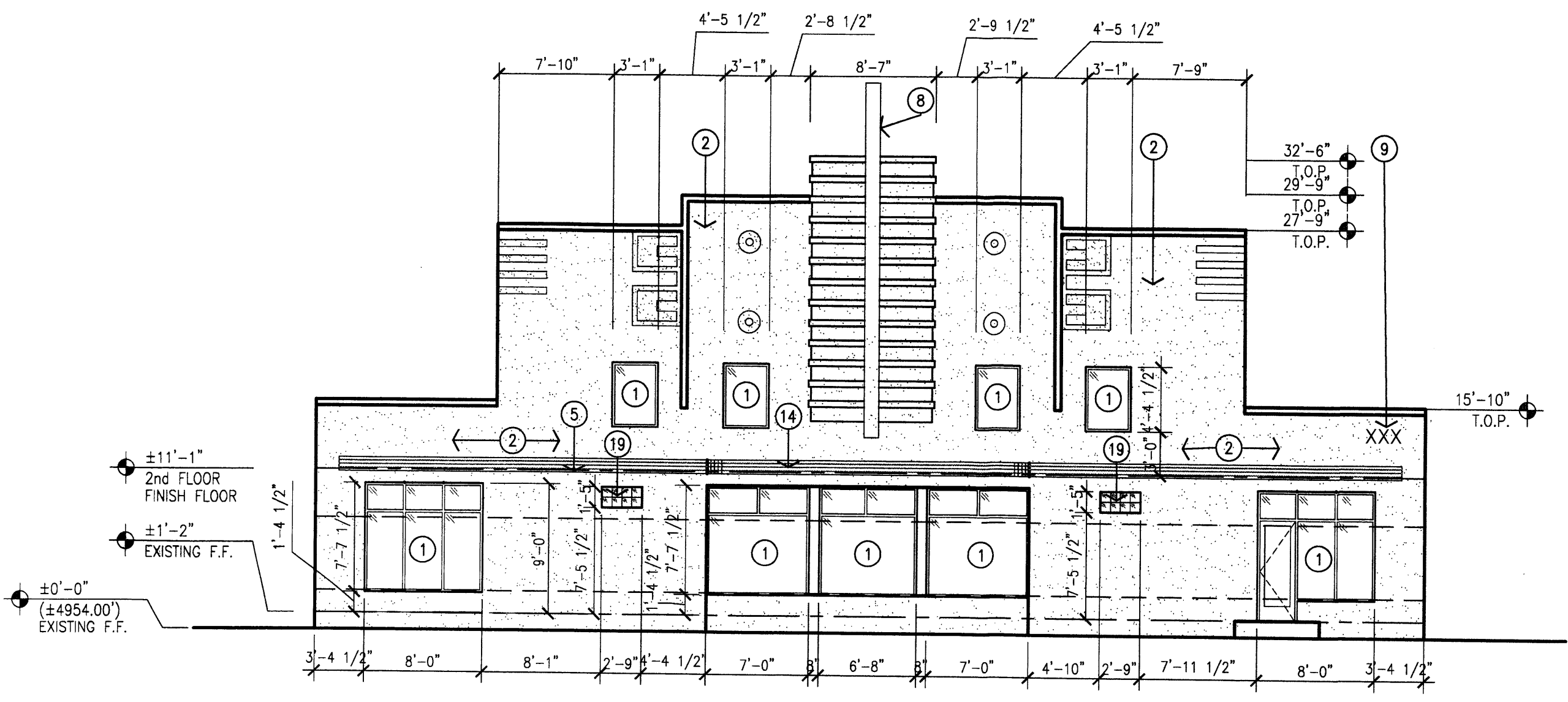




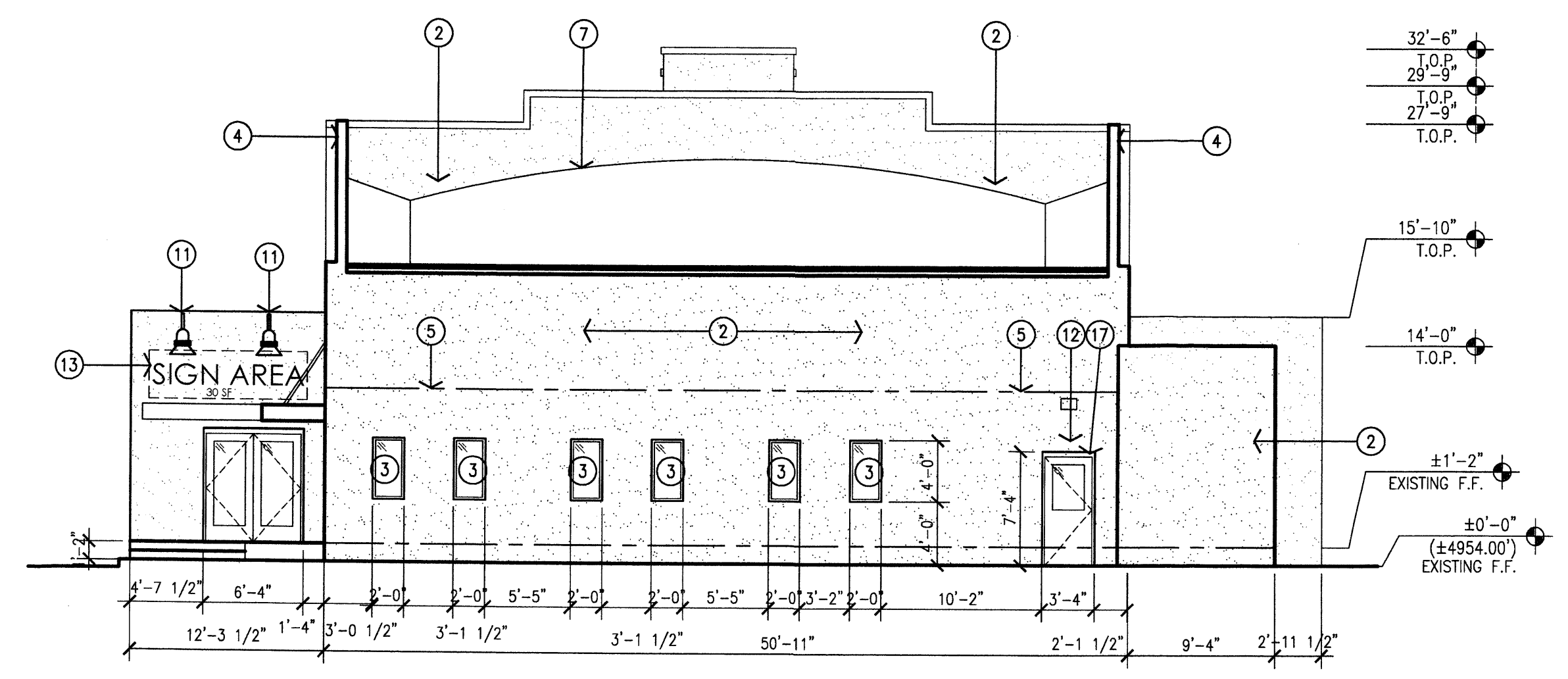
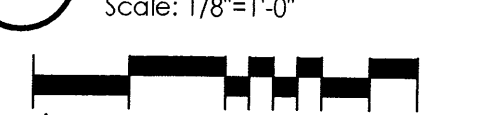
1 West Elevation  
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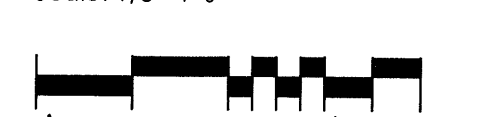
2 East Elevation  
Scale: 1/8"=1'-0"



3 North Elevation  
Scale: 1/8"=1'-0"



4 South Elevation  
Scale: 1/8"=1'-0"



- KEYED NOTES:
- [1] NEW CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING IN EXISTING OPENING.
  - [2] NEW 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: OFF-WHITE.
  - [3] NEW WINDOW OPENING WITH NEW CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING.
  - [4] LINE OF NEW PARAPET TO SHIELD MECHANICAL UNITS.
  - [5] LINE OF EXISTING SECOND FLOOR.
  - [6] NEW TUBE STEEL CANOPY, PAINTED TAN.
  - [7] EXISTING LINE OF ROOF, BEYOND.
  - [8] NEW AREA OF INTERNALLY ILLUMINATED BUILDING MOUNTED SIGNAGE.
  - [9] NEW 12" HIGH ADDRESS CHANNEL LETTERS.
  - [10] NEW STUCCO CONTROL JOINT, TYPICAL.
  - [11] NEW DECORATIVE EXTERIOR WALL MOUNTED LIGHT FIXTURE.
  - [12] NEW EXTERIOR WALL PACK.
  - [13] NEW BUILDING MOUNTED, NON-ILLUMINATED DIRECTIONAL SIGNAGE.
  - [14] NEW ALUMINUM WRAPPED CANOPY.
  - [15] NEW EXTERIOR LIGHTS MOUNTED UNDER CANOPY.
  - [16] EXISTING STRUCTURAL COLUMN, TYPICAL.
  - [17] NEW HOLLOW METAL DOOR WITH VISION PANEL, PAINT TO MATCH STUCCO.
  - [18] NEW EXTERIOR METAL STAIR, PAINT TO MATCH STUCCO.
  - [19] EXISTING OPENING WITH NEW GLASS BLOCK.
  - [20] NEW STUCCO CONTROL JOINT.

**BUILDING 1 SIGNAGE CALCULATIONS:**

BUILDING MOUNTED:

SOUTH ELEVATION- 1259 SF x 9%	113.31 SF ALLOWED
30.00 SF NON-ILLUMINATED PROVIDED (2.4%)	
EAST ELEVATION- 3833 SF x 9% =344.97	344.97 SF ALLOWED
0.00 SF PROVIDED (0.0%)	
WEST ELEVATION- 3735 SF x 9% =336.15	336.15 SF ALLOWED
336.15 SF PROVIDED (8.9%)	
NORTH ELEVATION- 1877 SF x 9% =168.93	168.93 SF ALLOWED
168.00 SF PROVIDED (8.9%)	

**BUILDING FRONTAGE CALCULATIONS:**

GLAZING:75% OF FRONTAGE LENGTH BETWEEN 2'-8" AND 7'-10" A.F.F. REQUIRED.

FRONTAGE AREA=	390 SF
FRONTAGE PROVIDED=	189.3 SF
189.3/390=	48.5%

revision  
By  
date  
rev

mms  
11/2/10  
9/27/10

**MH**  
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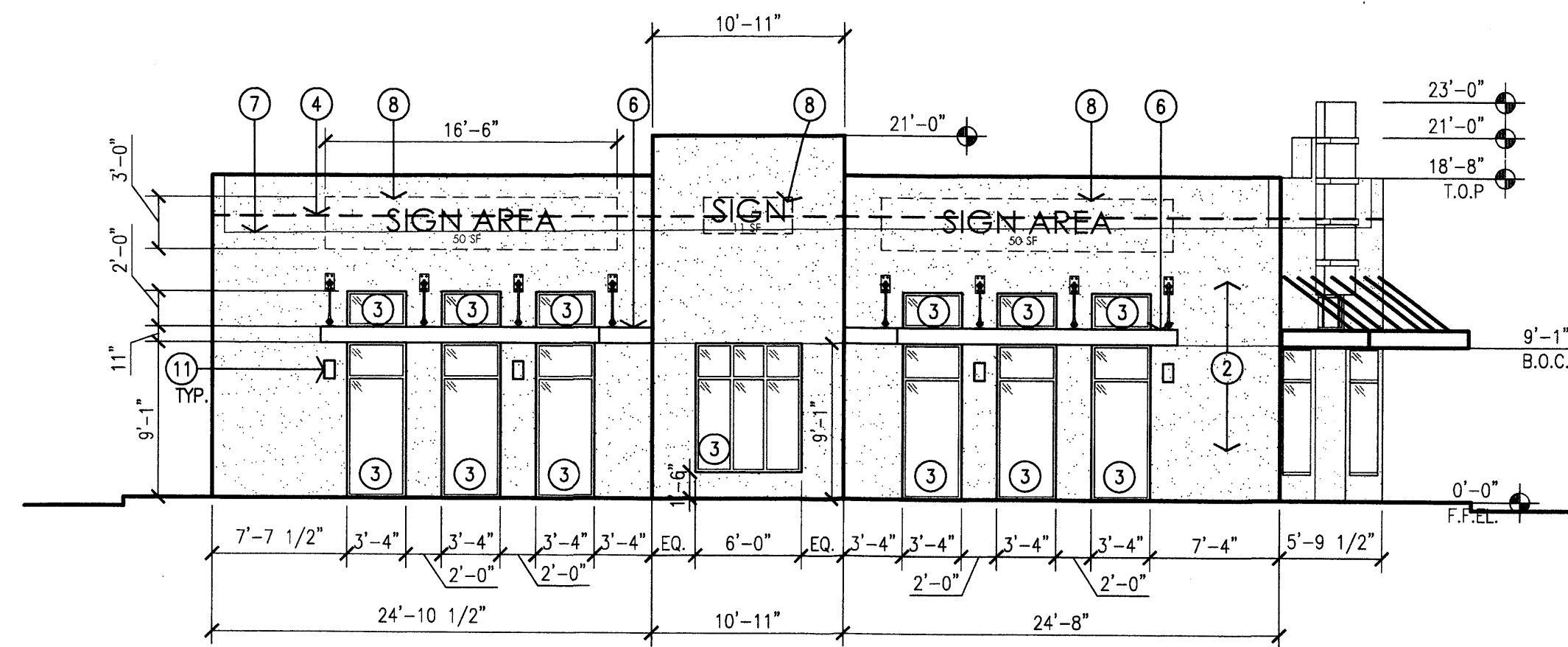
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drawn by  
project manager  
date

10-07  
JDH  
JDH  
8/26/10

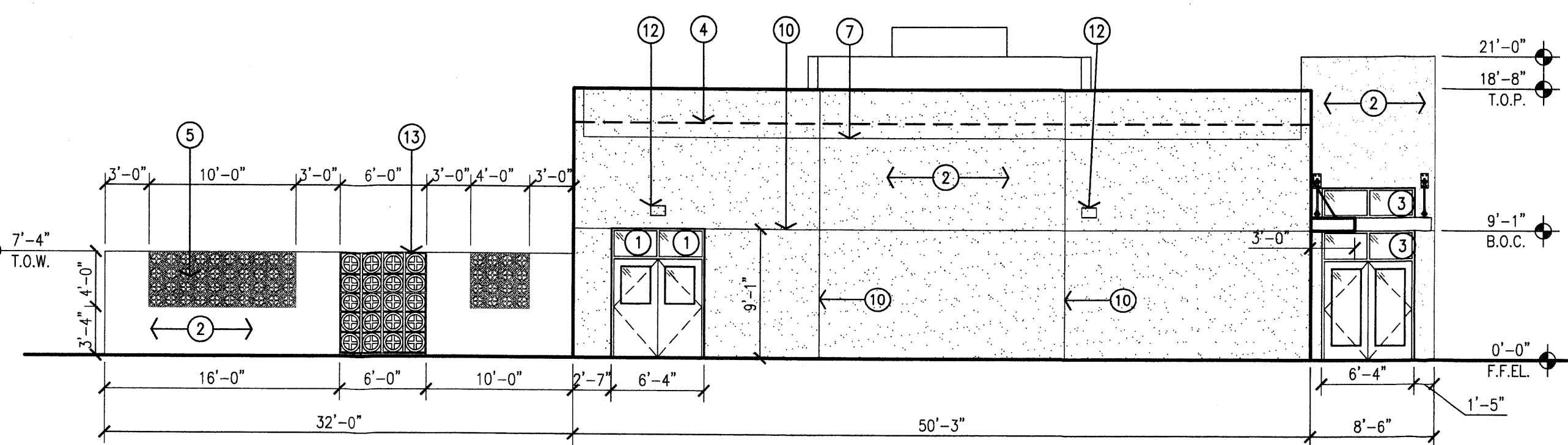
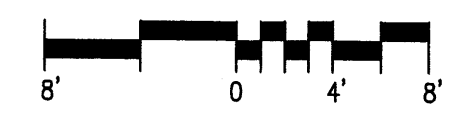
project file  
sheet file

Country Club Place Development  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM

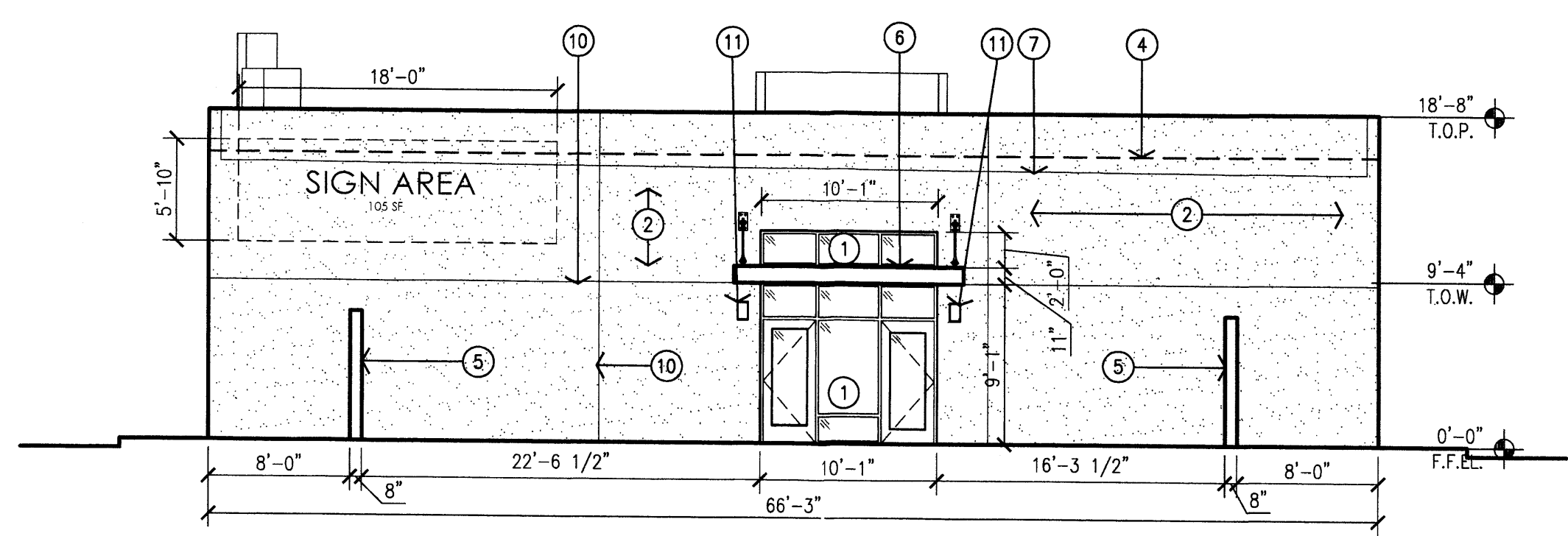
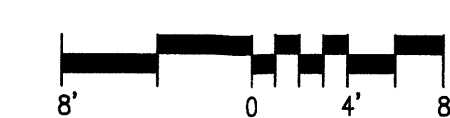
Building 1 Exterior Elevations



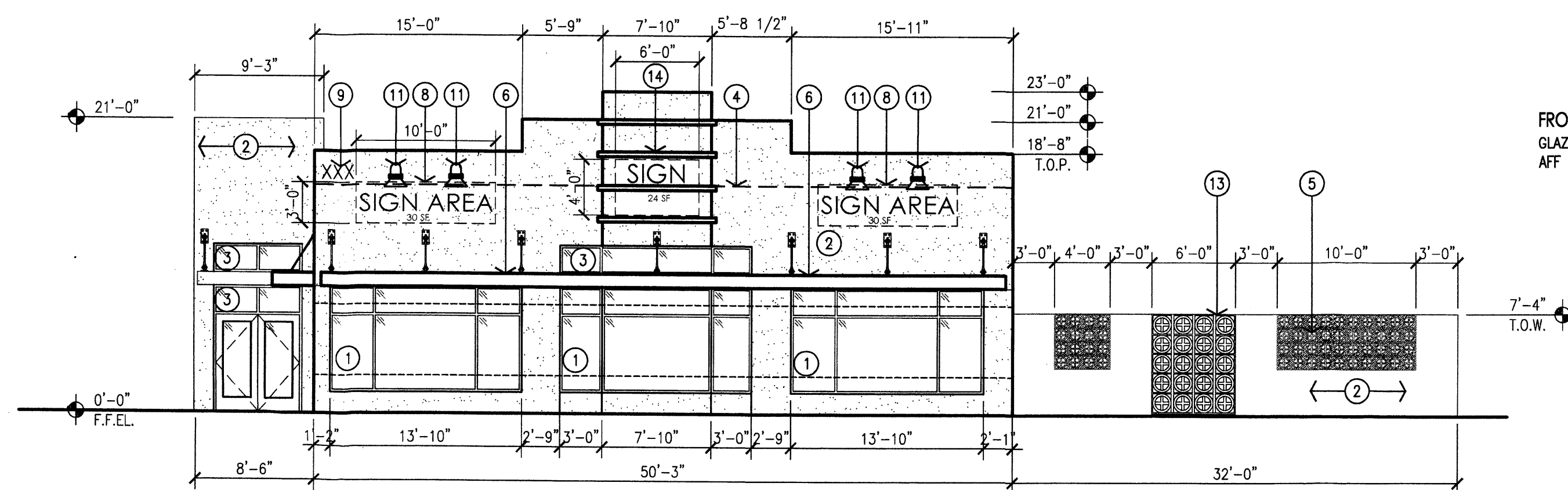
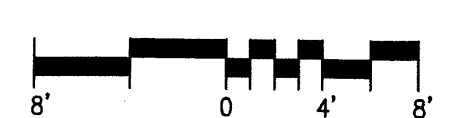
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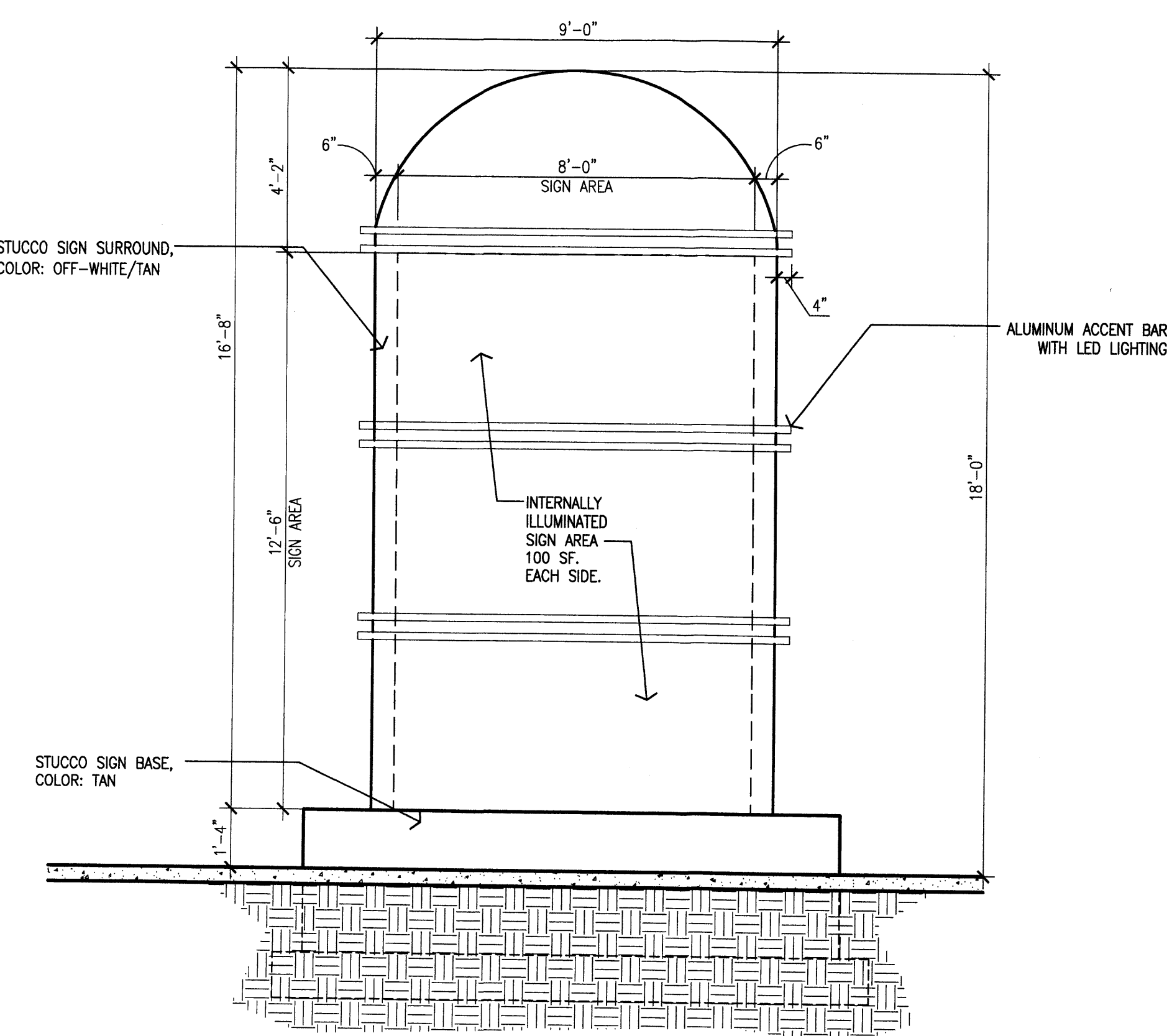
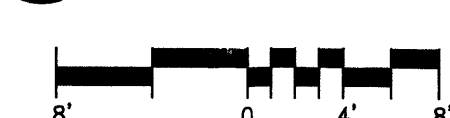
2 South Elevation  
Scale: 1/8"=1'-0"



3 West Elevation  
Scale: 1/8"=1'-0"



4 North Elevation  
Scale: 1/8"=1'-0"



5 Monument Sign Elevation  
Scale: 3/8"=1'-0"

- KEYED NOTES:**
- [1] NEW CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING IN EXISTING OPENING.
  - [2] NEW 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: OFF WHITE TAN.
  - [3] NEW WINDOW OPENING WITH NEW CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING.
  - [4] LINE OF EXISTING PARAPET.
  - [5] NEW EXTERIOR YARD WALL WITH BRISE SOLEIL BLOCK INFILL.
  - [6] NEW TUBE STEEL CANOPY, PAINTED TAN.
  - [7] EXISTING LINE OF ROOF, BEYOND.
  - [8] NEW AREA OF BUILDING MOUNTED SIGNAGE.
  - [9] NEW 12" HIGH ADDRESS CHANNEL LETTERS.
  - [10] NEW STUCCO CONTROL JOINT, TYPICAL.
  - [11] NEW DECORATIVE EXTERIOR WALL MOUNTED LIGHT FIXTURE.
  - [12] NEW EXTERIOR WALL PACK.
  - [13] NEW DECORATIVE STEEL GATE, PAINT TO MATCH STUCCO.
  - [14] NEW STUCCO REVEAL WITH LED LIGHTING.

**BUILDING 2 SIGNAGE CALCULATIONS:**

FREE-STANDING MONUMENT: MAX HEIGHT: 18'-0"  
ACTUAL: 18'-0"  
MAXIMUM SIGN AREA: 100 SF  
ACTUAL AREA: 100 SF

**BUILDING 2 BUILDING MOUNTED:**

WEST ELEVATION- 1174 x 9% = 105.66  
105.66 sf ALLOWED  
105.00 sf PROVIDED (8.9%)  
SOUTH ELEVATION- 938 x 9% = 84.38  
84.38 sf ALLOWED  
00.00 sf PROVIDED (0.0%)  
EAST ELEVATION- 1237 x 9% = 111.33  
111.33 sf ALLOWED  
111.00 sf PROVIDED (8.9%)  
NORTH ELEVATION- 938 x 9% = 84.42  
84.42 sf ALLOWED  
84.00 sf PROVIDED (8.9%)

**FRONTAGE CALCULATIONS:**

GLAZING: 75% OF FRONTAGE LENGTH BETWEEN 2'-8" AND 7'-10"  
AFF REQUIRED.

FRONTAGE AREA= 259.6 SF  
FRONTAGE PROVIDED= 214.5 SF  
214.5/259.6= 82.6%

revision	by	date	PER EPC NOTICE OF DECISION	PER PLANNING DEPT COMMENTS
1	JDH	11/2/10		
2	JDH	9/21/10		



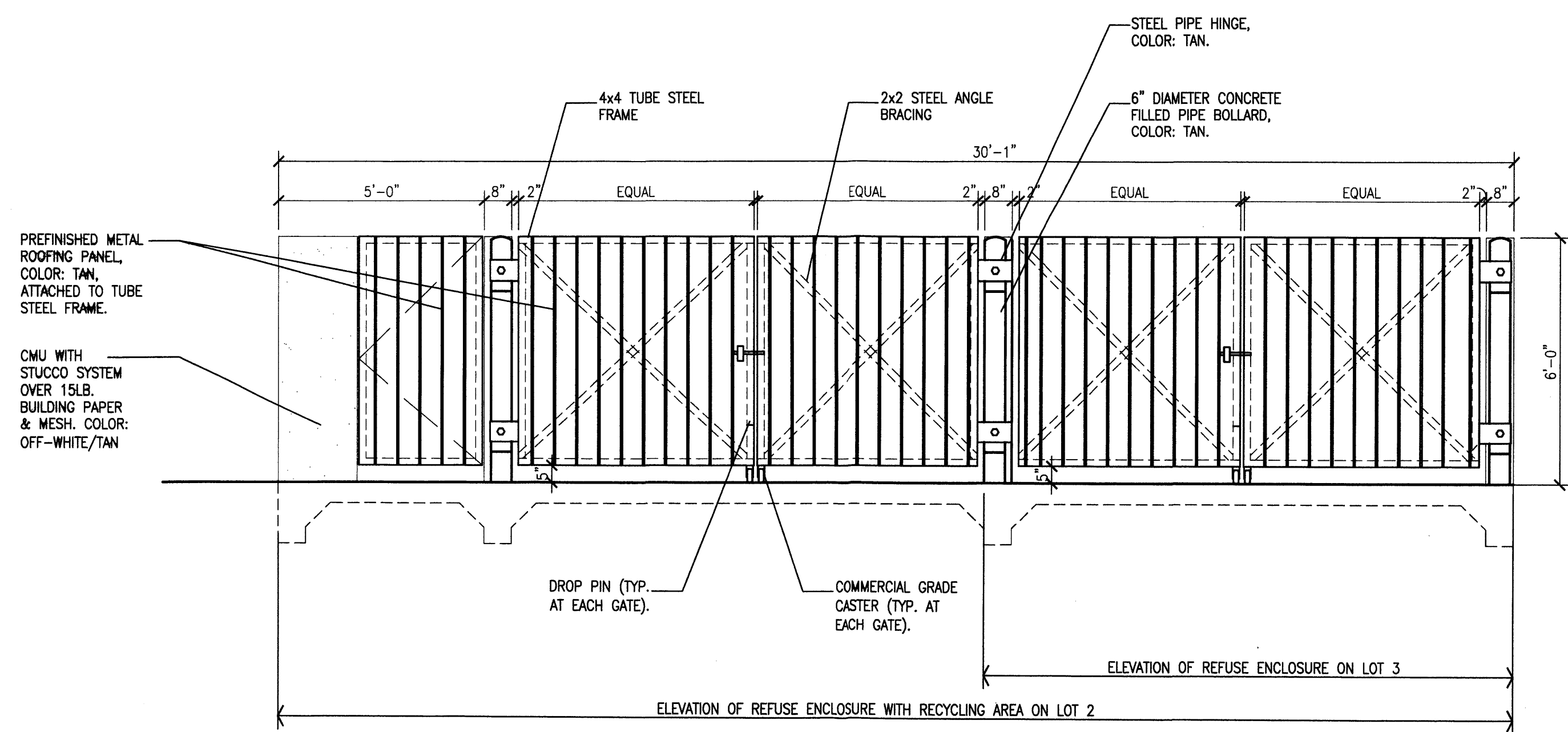
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job number	1007
drawn by	JDH
project manager	JDH
date	8/26/10

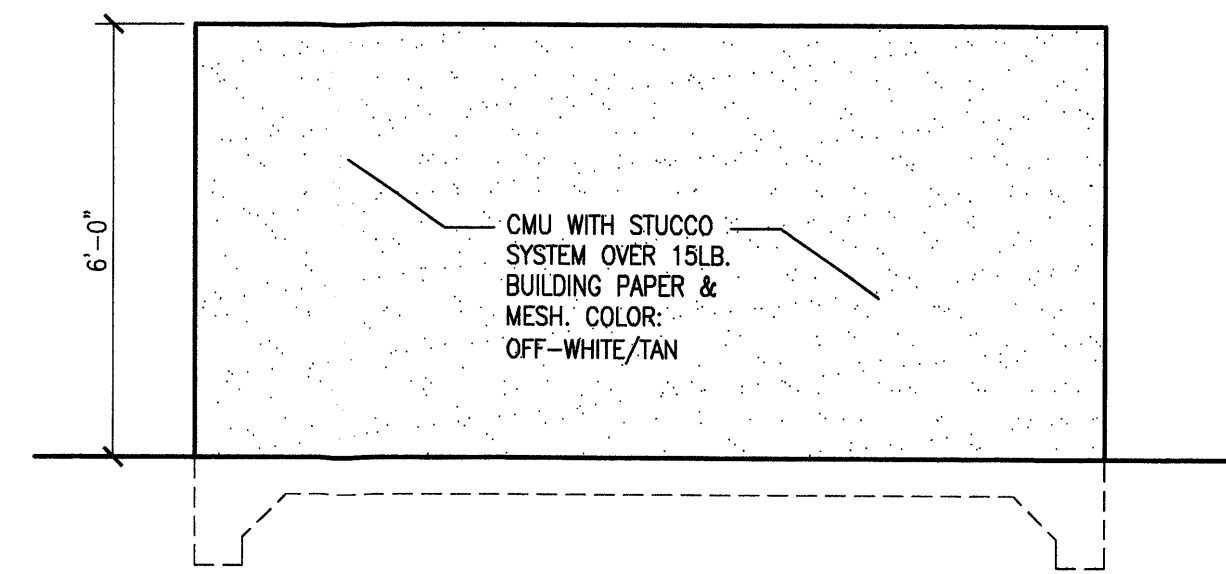
project title  
**Country Club Place Development**  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM

sheet title  
**Building 2 Exterior Elevations**

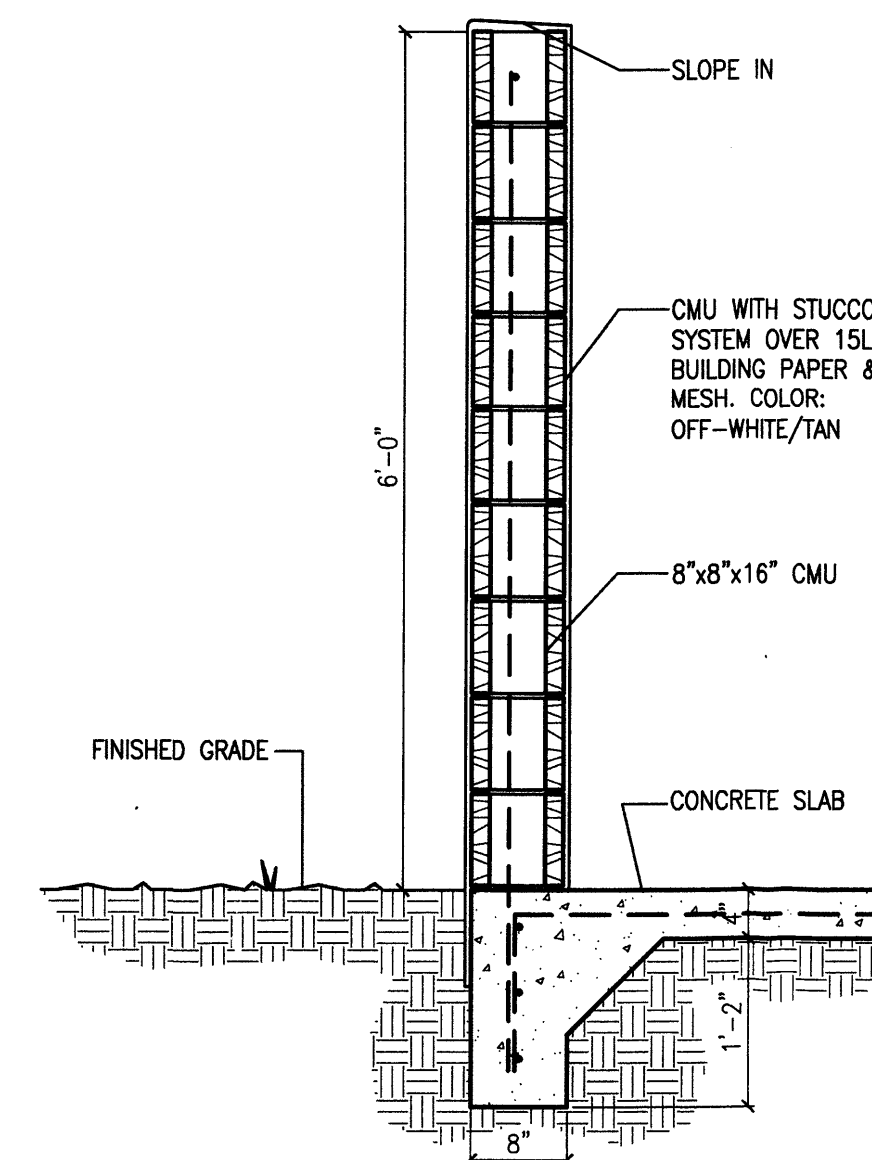




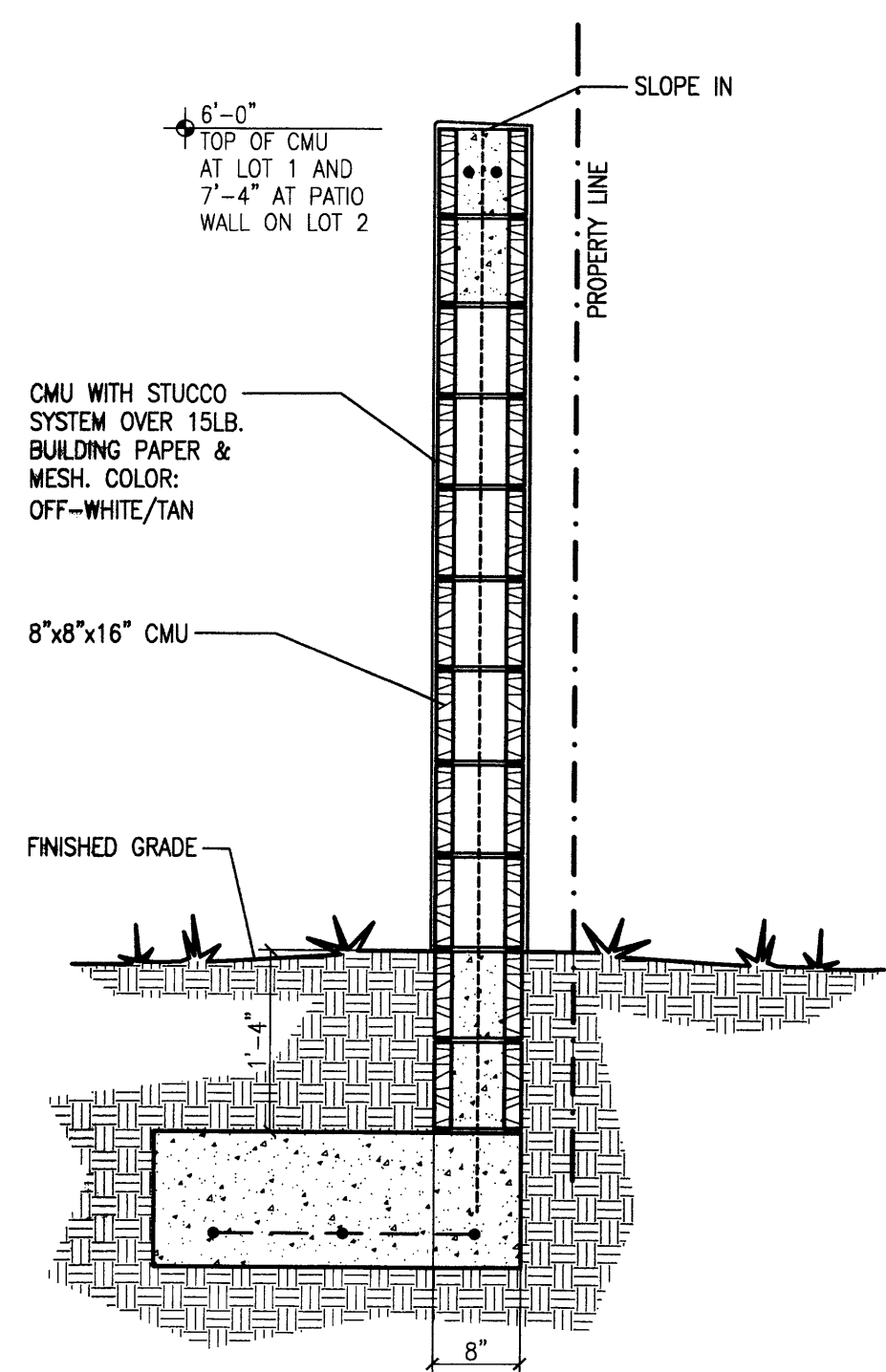
1 Refuse Enclosure Front Elevation  
Scale: 3/8"=1'-0"



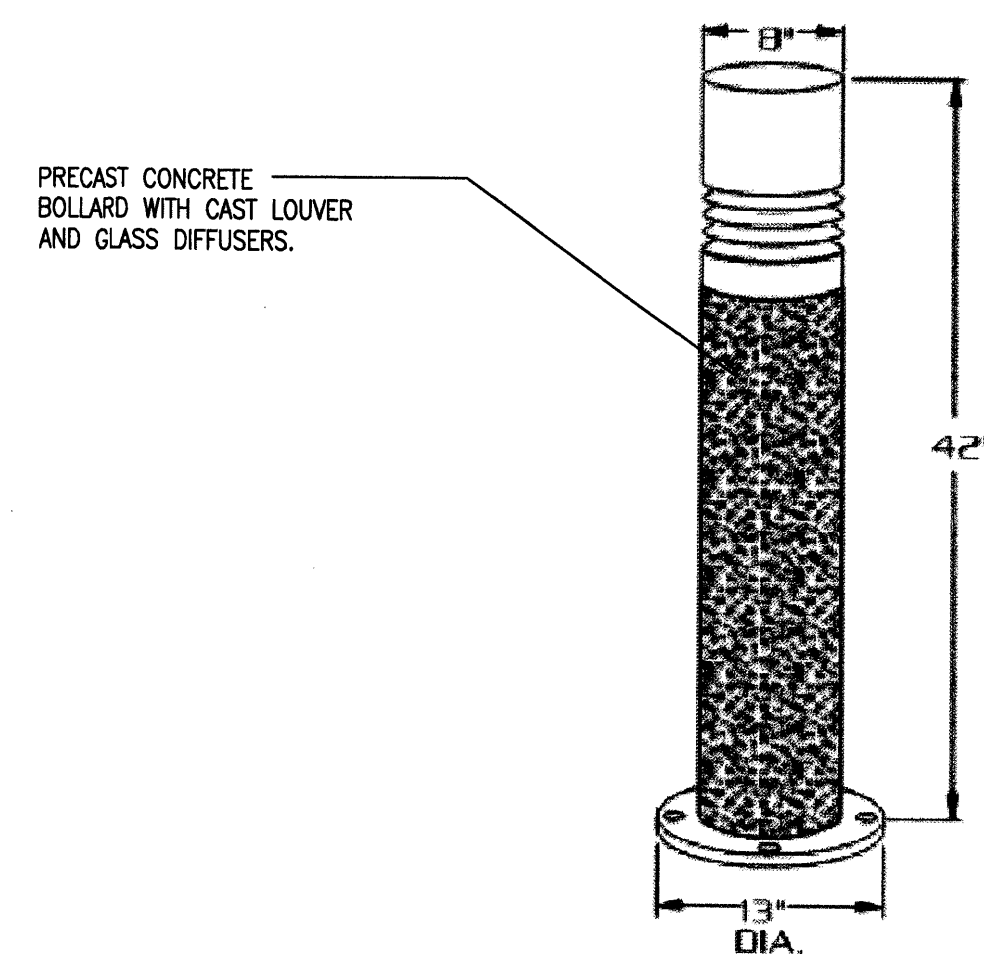
2 Refuse Enclosure Typ. Side Elevation  
Scale: 3/8"=1'-0"



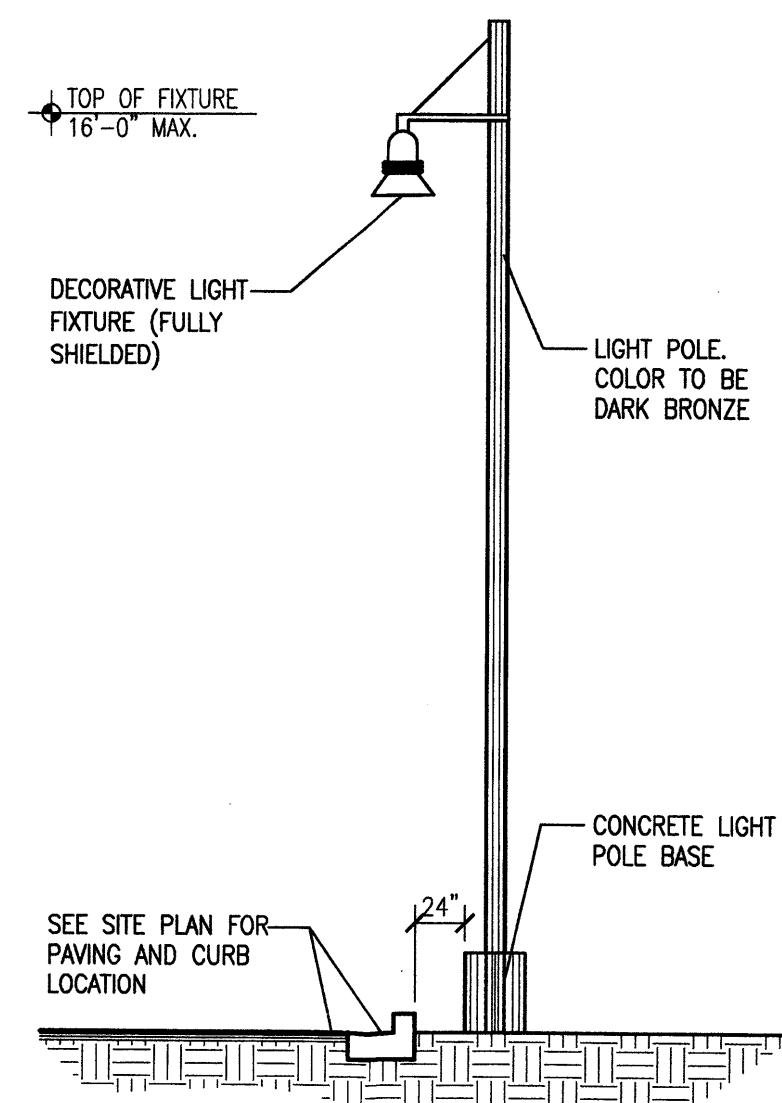
3 Refuse Enclosure Wall Section  
Scale: 1"=1'-0"



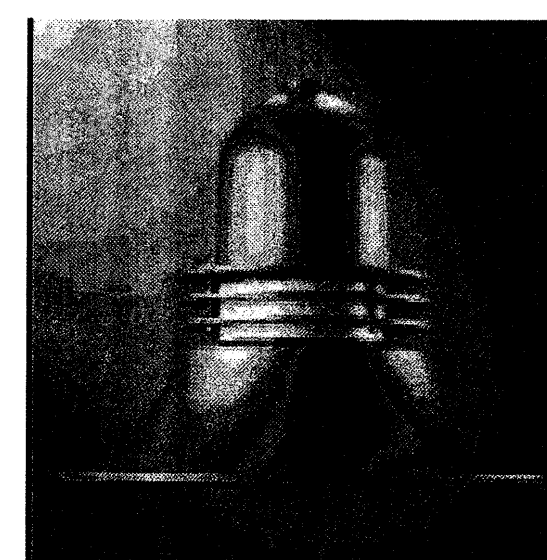
4 CMU Screen Wall Section  
Scale: 3/4"=1'-0"



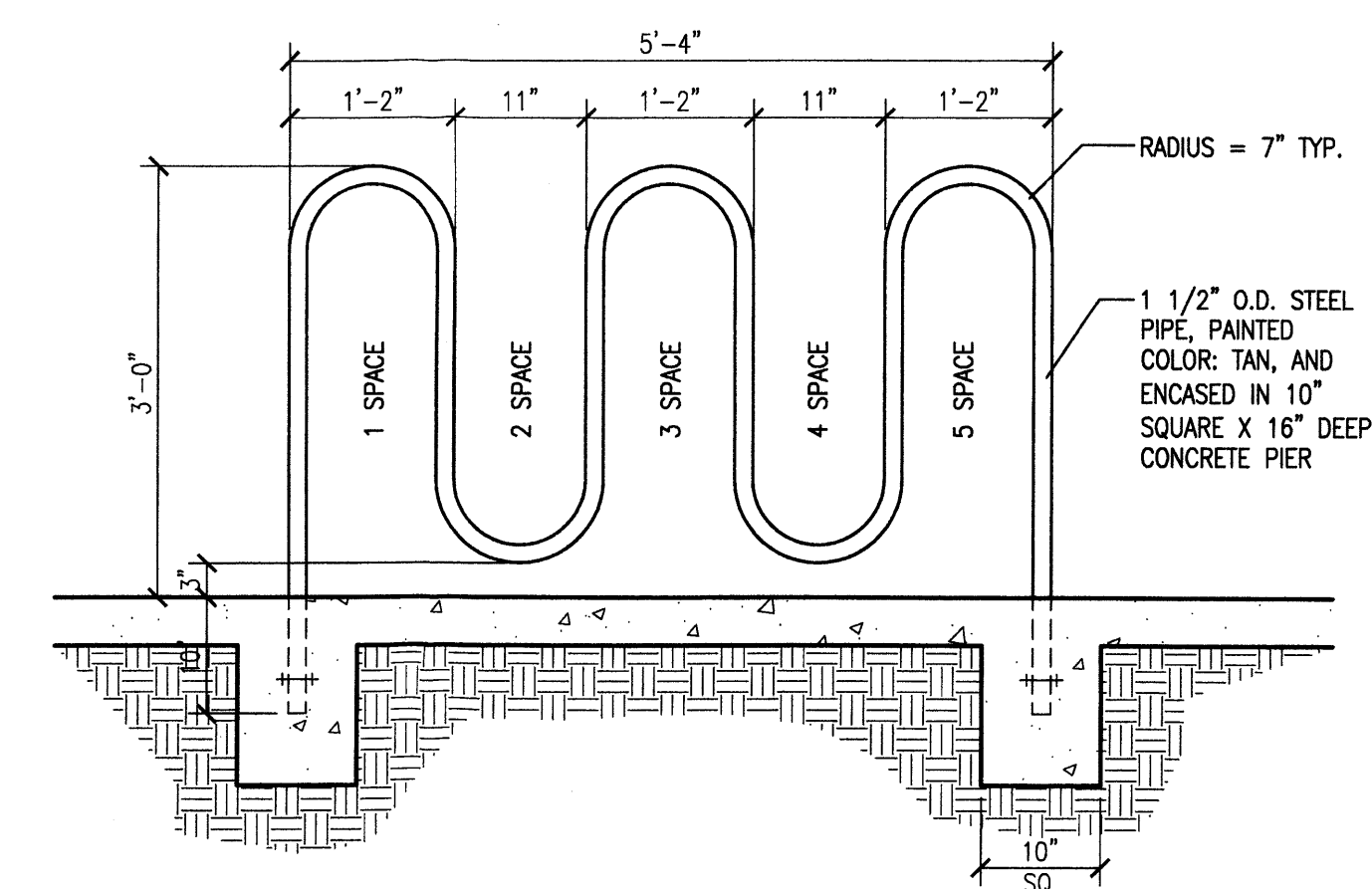
5 Light Bollard Detail  
Scale: Not to Scale



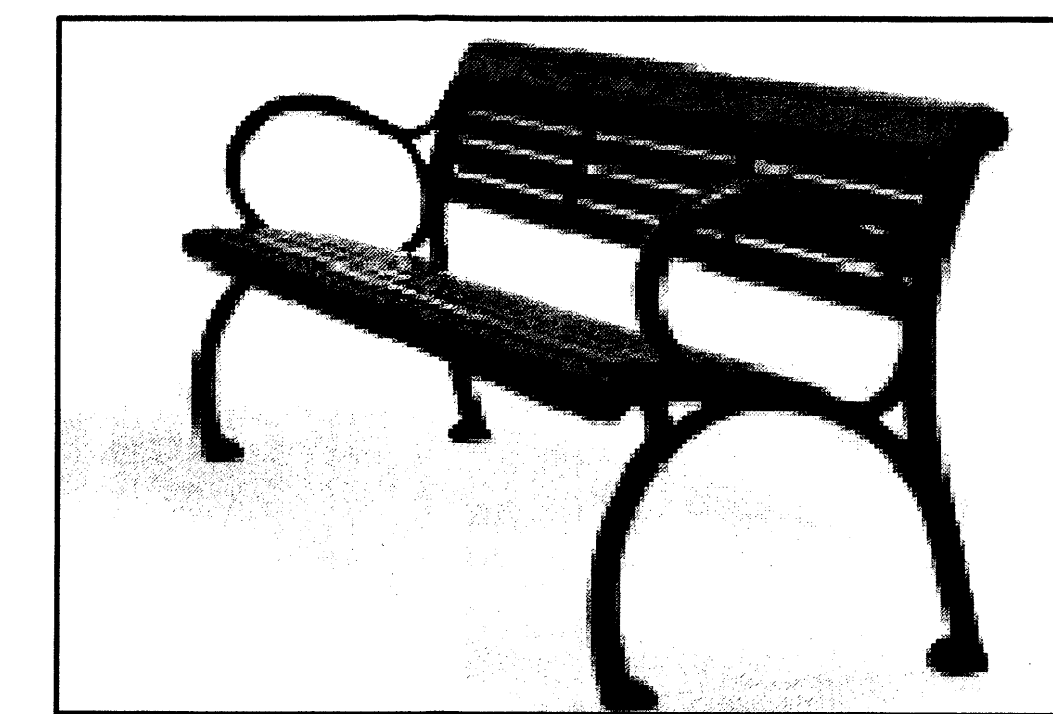
6 Site Lighting Elevation  
Scale: Not to Scale



DETAIL OF SITE LIGHT FIXTURE



7 Typical Bicycle Rack Detail  
Scale: 3/4"=1'-0"



8 Bench Detail - 6' Long (min.)  
Scale: Not to Scale

SECTION 14-16-3-18 (C)(3) - FACADES GREATER THAN 100 FEET IN LENGTH:  
1 SEAT PER 25 LINEAR FEET OF BUILDING FACADE.

**BUILDING 1**  
134'-0" OF BUILDING FACADE / 25 = 5 SEATS REQUIRED  
(EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.)  
TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED  
(SEE SHEET 1 OF 7)

**BUILDING 2 AND 3**  
NOT APPLICABLE

revision		PER EPC NOTICE OF DECISION	PER PLANNING DEPT COMMENTS
by	mws	JDH	
date	11/2/10	9/27/10	
rev	△	△	△



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drawn by				
project manager				
date				

Country Club Place Development  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM  
Site Details