

PARKING CALCULATIONS: PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0%	100%	0%	0%	10%	0%
Restaurants	0%	80%	100%	0%	40%	100%
Retail	0%	80%	50%	0%	100%	10%
Residential	100%	20%	100%	100%	80%	100%

Parking Calculations for Required Number of Spaces

Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - First floor	3200	200 /sf	16
Office - Second floor	3200	300 /sf	11
Restaurants	3600 *	45 /sf	80
Retail	9,583	200 /sf	48
Residential	25	1 **/unit	25

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0	27	1	0	3	0
Restaurants	0	44	80	0	48	80
Retail	0	38	24	0	48	5
Residential	25	5	25	25	20	25

Total Number of Spaces	25	134	130	25	119	110
Required per time period						

Peak Parking Requirement: 134 spaces  
 Less 10% bus time credit: 121 spaces required  
 Parking Provided: 125 spaces

PARKING CALCULATIONS:  
 SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES USES OF THE FUTURE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT) AS WELL AS THE TOTAL NUMBER OF RESIDENTIAL UNITS. ONCE THE USES/NUMBER OF UNITS ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATE THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 134.

**SITE DEVELOPMENT DATA:**  
 PROPOSED LEGAL DESCRIPTION:  
 LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 BUILDING ADDRESSES:  
 BLDG. A AND B (EXISTING): 1720 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.  
 BLDG. C (EXISTING): 1710 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.  
 LAND AREA:  
 3.37 ACRES (146,975 SQ. FT.)  
 CURRENT ZONING:  
 SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.  
 R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.  
 ZONE ATLAS PAGE:  
 J-13-2  
 DEVELOPMENT PHASING:  
**PHASE I:**  
 PHASE I WILL INCLUDE THE RENOVATION OF THE EXISTING BUILDINGS A, B & C, THE PARKING LOT ON LOT 1, THE CONSTRUCTION OF PROPOSED BUILDING 1 AND THE MAIN DRIVE ASLE AND RELATED PARKING FROM THE SOUTH SIDE OF LOT 1 OUT TO CENTRAL AVENUE ON THE EAST SIDE OF LOT 3.  
**PHASE II:**  
 PHASE II WILL INCLUDE THE CONSTRUCTION OF BUILDING 2.  
**PHASE III:**  
 CONSTRUCTION OF BUILDINGS ON LOT 5 ONCE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.

EXISTING BUILDINGS:  
 NO PARKING IS REQUIRED FOR EXISTING BUILDINGS ON LOT 1 AND LOT 2 PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1). OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.  
 TRANSIT REDUCTIONS:  
 134 SPACES REQ'D x 10% REDUCTION = (PROXIMITY TO BUS ROUTE 766 AND 66)  
 134 x 10% = 121 TOTAL SPACES REQUIRED  
**TOTAL PARKING SPACES REQUIRED = 121 SPACES**  
**TOTAL PARKING SPACES PROVIDED = 125 SPACES**  
 89 REGULAR SPACES  
 8 HANDICAP PARKING SPACES  
 38 COMPACT SPACES

PROPOSED SPACES:  
 - ALL USES PERMITTED IN THE CLD ZONES FOR LOTS 1 THRU 5  
 - ALL USES PERMITTED IN THE R-1 ZONES  
 BUILDING AREAS:  
 EXISTING BUILDING A: 1,467 SF.  
 EXISTING BUILDING B: 2,900 SF.  
 EXISTING BUILDING C: 4,216 SF.  
 PROPOSED BUILDING 1: 6,400 SF. TOTAL  
 PROPOSED BUILDING 2: 21,000 SF. TOTAL  
 TOTAL BUILDING AREA = 35,983 SF.  
 TOTAL PROPOSED RESIDENTIAL UNITS: 25 TOTAL UNITS

SITE DEVELOPMENT GENERAL NOTES:  
 [A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.  
 [B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.  
 [C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
 [D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
 [E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
 [F] ALL ABANDONED DRIVEWAYS IN THE COA-ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.  
 [G] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

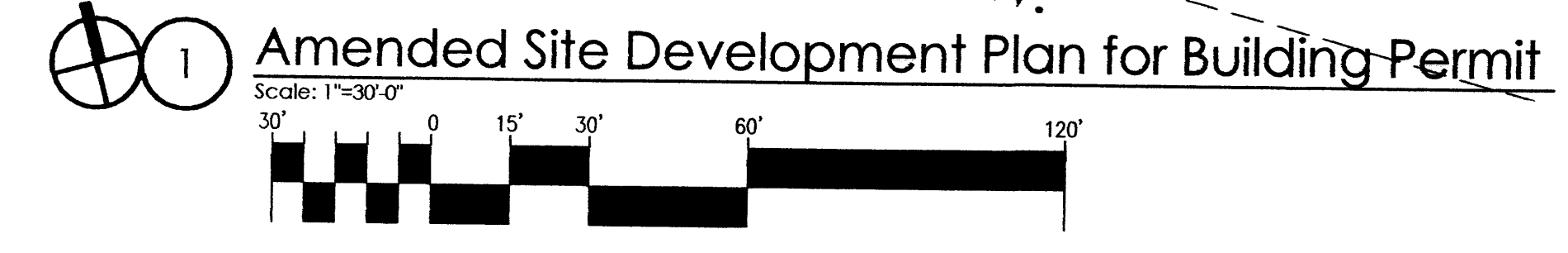
SITE DEVELOPMENT SITE LIGHTING NOTES:  
 [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.  
 [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.  
 [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.  
 [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.  
 RADIUS INFORMATION:  
 (1) = 2'-0" (5) = 10'-0" (9) = 35'-0"  
 (2) = 3'-0" (6) = 15'-0" (10) = 40'-0"  
 (3) = 4'-0" (7) = 25'-0" (11) = 46'-0"  
 (4) = 5'-0" (8) = 30'-0"

- KEYED NOTES:**
- PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 3.
  - EXISTING BUILDING TO REMAIN.
  - PROPOSED TIE WELL, TYPICAL SEE LANDSCAPING.
  - EXISTING LANDSCAPING.
  - PROPOSED CROSSWALK STRIPING.
  - PROPOSED HANDICAP PAVEMENT SIGN.
  - PROPOSED STAMPED COLORED CONCRETE HANDICAP ASLE.
  - PROPOSED ASPHALT PAVING.
  - PROPOSED BIKE RACK WITH 5 SPACES.
  - PROPOSED CONCRETE SIDEWALK.
  - PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
  - PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
  - PROPOSED PAINTED PARKING STRIPING.
  - EXISTING FIRE HYDRANT TO BE REMAIN.
  - PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
  - CONCRETE PATIO WITH TUBE STEEL FENCING. WATER/LANDSCAPING FEATURE. SEE LANDSCAPING.
  - EXISTING 48"-0" HIGH CMU SCREEN WALL [19]
  - EXISTING POLE SIGN TO BE RECONSTRUCTED.
  - EXISTING CITY CURB AND GUTTER.
  - EXISTING BUS STOP TO REMAIN.
  - PROPOSED HANDICAP RAMP.
  - PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
  - PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7. "VAN" WHERE NOTED.
  - PROPOSED CONCRETE RECEIVING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).
  - PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE.
  - PROPOSED PLAZA WITH BENCH SEATING AND WATER FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.
  - PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
  - COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
  - PROPOSED STUCCO RETAINING WALL. SEE CIVIL.
  - PROPOSED 20'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
  - PROPOSED 100 SF. POLE SIGN. SEE SHEET 7.

- KEYED NOTES: CONT**
- PROPOSED FIRE HYDRANT (2 LOCATIONS). SEE UTILITY PLAN.
  - EXISTING CONCRETE SIDEWALK.
  - PROPOSED LOT LINES.
  - PROPOSED LIGHT BOLLARD. TYP. OF 16. SEE SHEET 7.
  - EXISTING 48"-0" HIGH CMU SCREEN WALL [19]
  - EMERGENCY ACCESS ONLY PAVEMENT SIGN AND POSTED SIGN.
  - PROPOSED RESIDENTIAL CONCRETE STOOPS.
  - LANDSCAPING AT LOWER LEVELS. SEE LANDSCAPING PLAN.
  - PEDESTRIAN WALKWAY AT FIRST LEVEL. CONCRETE PAVING. SEE GRADING AND DRAINAGE PLAN.
  - PAINTED TUBE STEEL FENCE AND GATES.
  - SINGLE FAMILY RESIDENCE WITH TWO PARKING STALLS AND ACCESSORY BUILDING.
  - EDGE OF CONCRETE PAVING.
  - PROPOSED 8'-0" HIGH STUCCO SCREEN WALL.
  - PAINTED 8'-0" HIGH WOOD FENCE ALONG WEST PROPERTY LINE (PHASE I).
  - EXISTING TREES TO REMAIN (2 LOCATIONS).
  - PROPOSED DRIVEWAY PER COA STANDARD DWG. 2425.
  - TEMPORARY ASPHALT PAVING UNTIL THE TIME FUTURE PHASE IS CONSTRUCTED (SHOWN HATCHED).
  - PAINTED STRIPING (WHITE).
  - TEMPORARY ASPHALT CURB.

PROPERTY LINE RADIUS INFORMATION:

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	22.87'	841.50'	1°33'26"	N 49°34'05" W	22.87'
C2	51.32'	841.50'	3°29'39"	N 47°02'32" W	51.31'
C3	192.35'	841.50'	13°05'49"	N 43°47'57" W	191.94'
C4	118.16'	841.50'	8°02'43"	N 41°16'21" W	118.06'



Project title: Country Club Plaza  
 SWC of Central Avenue and Laguna Boulevard  
 Albuquerque, New Mexico 87102

job number: 12-11  
 drawn by: S.J. MWS, A.Y.  
 project manager: Doug Heller, A.I.A.  
 date: 09/26/2013

sheet: 1 of 7

Per DRB Comments (11/6/13)  
 Per EPC Notice of Decision



**DRAINAGE CALCULATION**

TOTAL PROJECT SITE AREA = 3.25 ACRES  
 FOR AHYMO 100 YR 24 HR STORM EVENT USE:  
 $P_1 = 2.01$   $P_6 = 2.35$   $P_{24} = 2.75$   
 EXISTING CONDITION  
 LAND TREATMENT A/B/C/D = 43.5/43.5/0/13  
 $Q_{100} = 7.29$  cfs  $V_{100} = 0.2379$  AC-FT  
 DEVELOPED CONDITIONS

**RETENTION POND VOLUME CALCULATIONS**  
 FOR 100 YEAR 10 DAY STORM EVENT  
 MAXIMUM POND ELEVATION = 4950.47'  
 VOLUME DESIGN (FROM 4951.0 TO 4949.5) = 32,044 CU.FT.  
 VOLUME REQUIRED = 0.454 AC.FT = 19,787 CU.FT

**PHASE 1**  
 THE INTENT OF THIS PLAN IS TO RETAIN  
 THE 10 DAY STORM IN A TEMPORARY POND.  
 THE 10 DAY STORM IN A TEMPORARY POND.  
 $Q_{100} = 2.75$  cfs/AC. x (3.25 ACRES) = 8.94 cfs

**AREA THAT DRAINS TO POND**  
 BASIN AREA = 2.39 AC  
 LAND TREATMENT A/B/C/D = 0/40/10/50  
 $Q_{100} = 8.55$  cfs  $V_{100} = 0.327$  AC-FT  
 MWSL = 50.88  
 (100YR-10DAY) VOL. REQ'D = 16553 cf  
 VOL DESIGN = 23087 cf

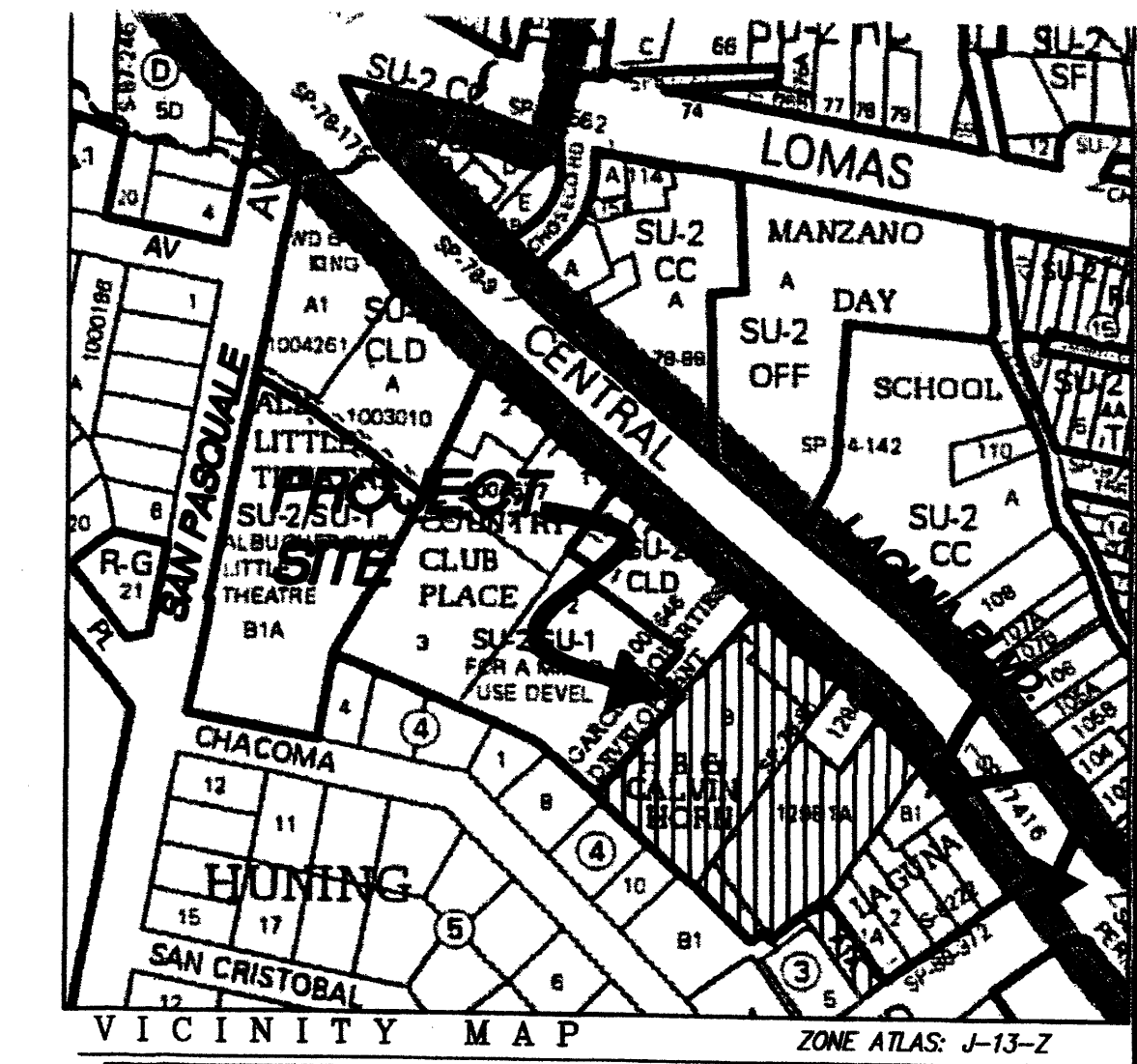
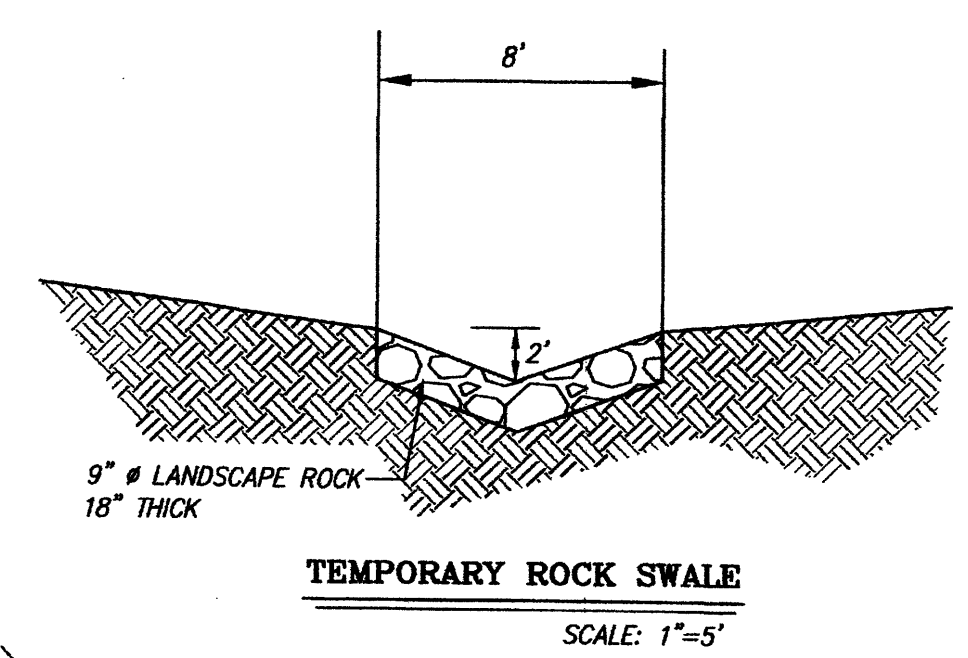
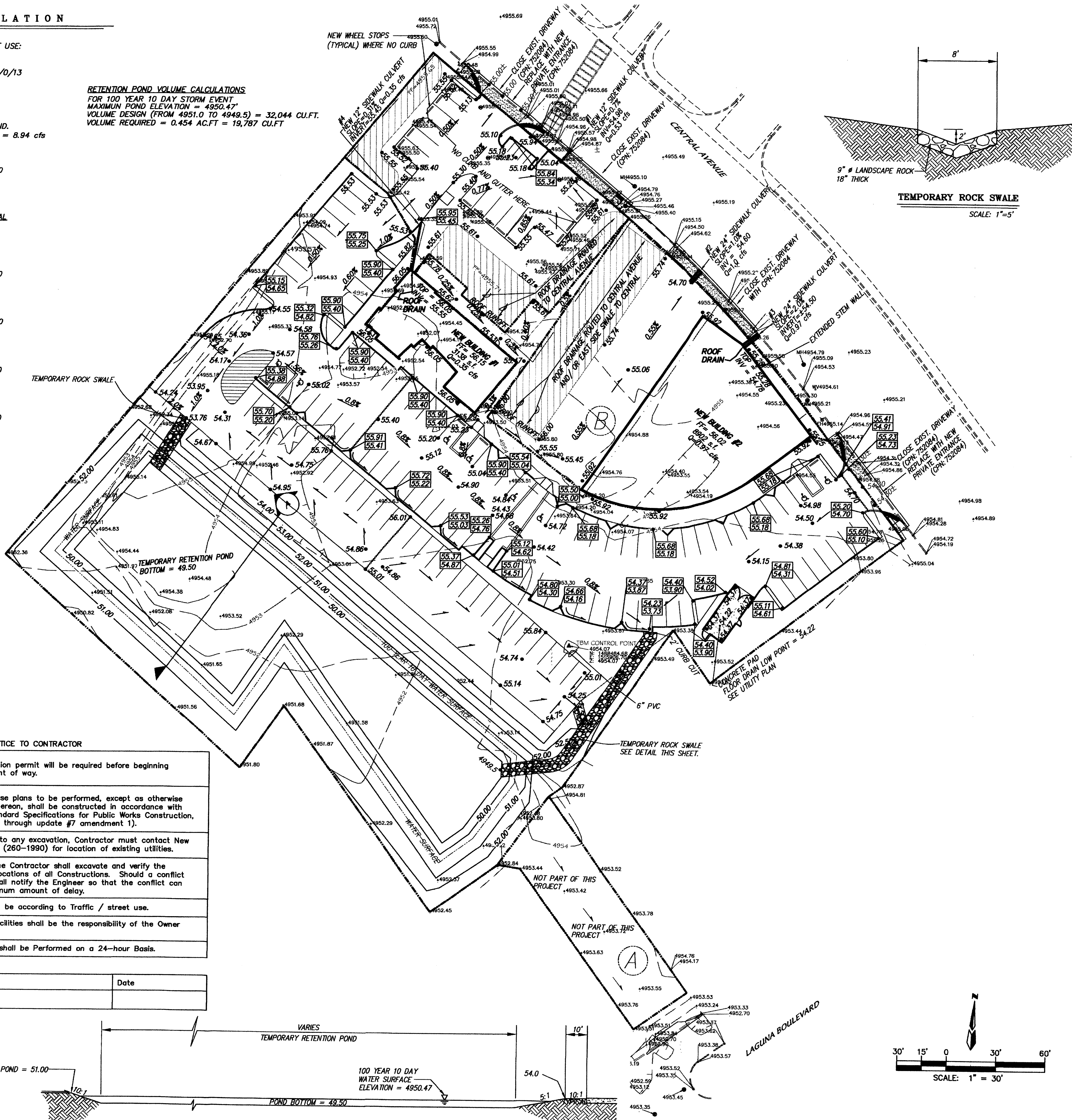
**BASIN B - DIRECT DISCHARGE TO CENTRAL**  
 BASIN AREA = 0.85 AC  
 LAND TREATMENT A/B/C/D = 0/10/0/90  
 $Q_{100} = 3.84$  cfs  $V_{100} = 0.1629$  AC-FT

**CULVERT #1 DEVELOPED RUNOFF**  
 BASIN AREA = 4820 SF  
 LAND TREATMENT A/B/C/D = 0/0/0/100  
 $Q_{100} = 0.53$  cfs  $V_{100} = 0.0226$  AC-FT  
 USE 12" SIDEWALK CULVERT

**CULVERT #2 DEVELOPED RUNOFF**  
 BASIN AREA = 10256 SF  
 LAND TREATMENT A/B/C/D = 0/20/0/80  
 $Q_{100} = 1.0$  cfs  $V_{100} = 0.014$  AC-FT  
 USE 24" SIDEWALK CULVERT

**CULVERT #3 DEVELOPED RUNOFF**  
 BASIN AREA = 8902 SF  
 LAND TREATMENT A/B/C/D = 0/0/0/100  
 $Q_{100} = 0.97$  cfs  $V_{100} = 0.0417$  AC-FT  
 USE 24" SIDEWALK CULVERT

**CULVERT #4 DEVELOPED RUNOFF**  
 BASIN AREA = 3138 SF  
 LAND TREATMENT A/B/C/D = 0/0/0/100  
 $Q_{100} = 0.35$  cfs  $V_{100} = 0.0147$  AC-FT  
 USE 12" SIDEWALK CULVERT



- NOTES:**
- ROOFS FOR BUILDINGS NUMBER 1 AND 2 MUST DRAIN NORTH TOWARDS CENTRAL AVENUE.
  - COUNTRY CLUB PLAZA IS IN FLOOD ZONE X AS PER FIRM MAP NO. 35001C03334. AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

**BENCHMARK**

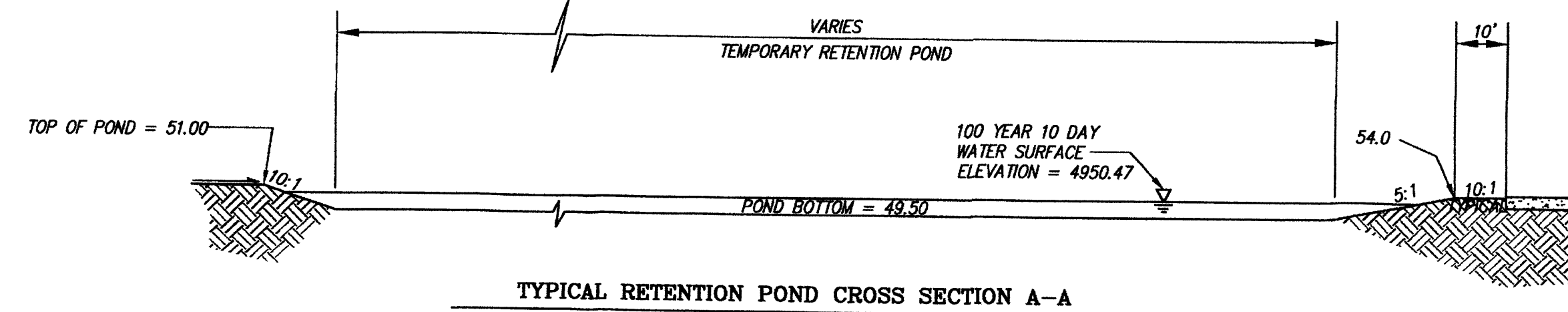
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 E = 1519149.317  
 Z = 4937.484  
 NEW MEXICO STATE PLANE, CENTRAL ZONE  
 G-C = 0.9896833611  
 DELTA-ALPHA = -0013'59"00  
 NAD 1983/NAVD 1988

- LEGEND**
- 00.00 EXISTING SPOT ELEVATION
  - 51.35- EXISTING CONTOUR
  - EXISTING WATER WELL
  - EXISTING BOLLARD
  - EXISTING GUY WIRE
  - EXISTING GAS MH
  - EXISTING TELEPHONE PEDESTAL
  - 00.00 NEW SPOT ELEVATION
  - SWALE
  - 00.00 NEW CONTOUR ELEVATION
  - EXISTING SEWER MANHOLE
  - EXISTING GAS METER
  - EXISTING WATER VALVE
  - EXISTING CLEANOUT
  - EXISTING UTILITY POLE
  - EXISTING MONITORING WELL
  - EXISTING WATER METER
  - EXISTING CURB
  - NEW WATER METER
  - NEW RETAINING WALL
  - BASIN A
  - BASIN B
  - BASIN BOUNDARY
  - TOP OF CURB
  - BOTTOM OF CURB
  - 52.00 NEW FLOW LINE, SPOT ELEVATION
  - NEW SWALE
  - 51.60 ± EXISTING ELEVATION
  - EXISTING DRIVEWAY CUT

**NOTICE TO CONTRACTOR**

- An excavation/construction permit will be required before beginning any work within City right of way.
- All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
- Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to Traffic / street use.
- Maintenance of these facilities shall be the responsibility of the Owner of the property served.
- Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		



TYPICAL RETENTION POND CROSS SECTION A-A

revision	
by	
date	
rev	◀◀◀◀

**MH**  
 Mullen Heller  
 Architecture P.C.

924 Park Avenue SW  
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 Albuquerque 87102  
 505 268 4144 [p]  
 505 268 4244 [f]

job number	12:11
drawn by	SJ, MWS
project manager	Doug Heller, AIA
date	11/13/12

Country Club Plaza  
 SW of Central Avenue and Laguna Boulevard  
 Albuquerque, New Mexico 87102

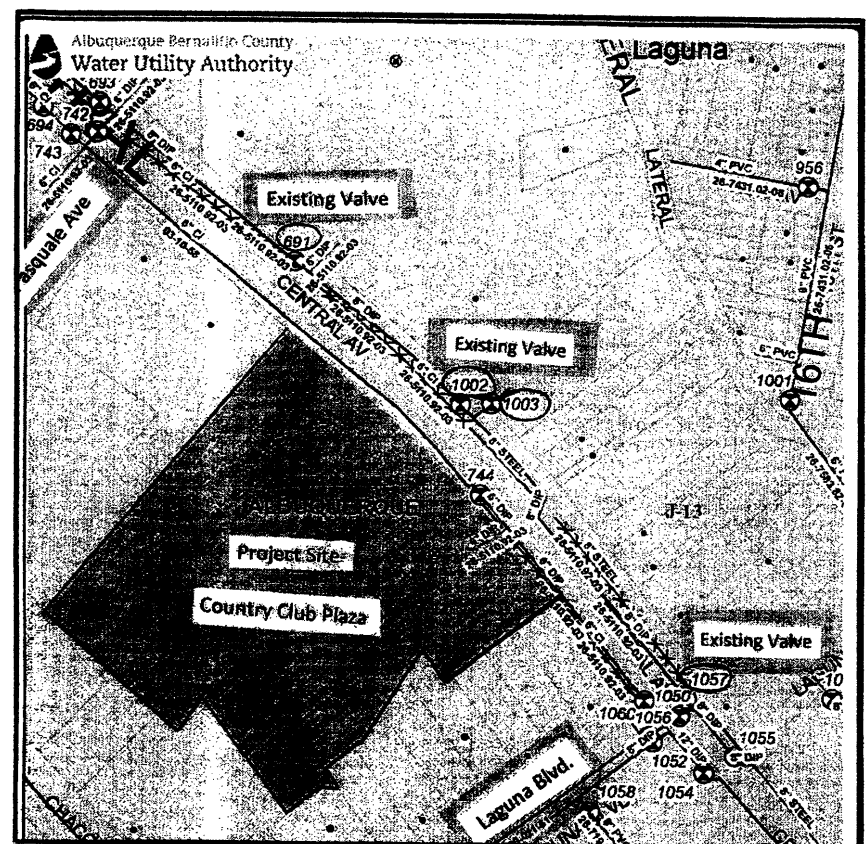
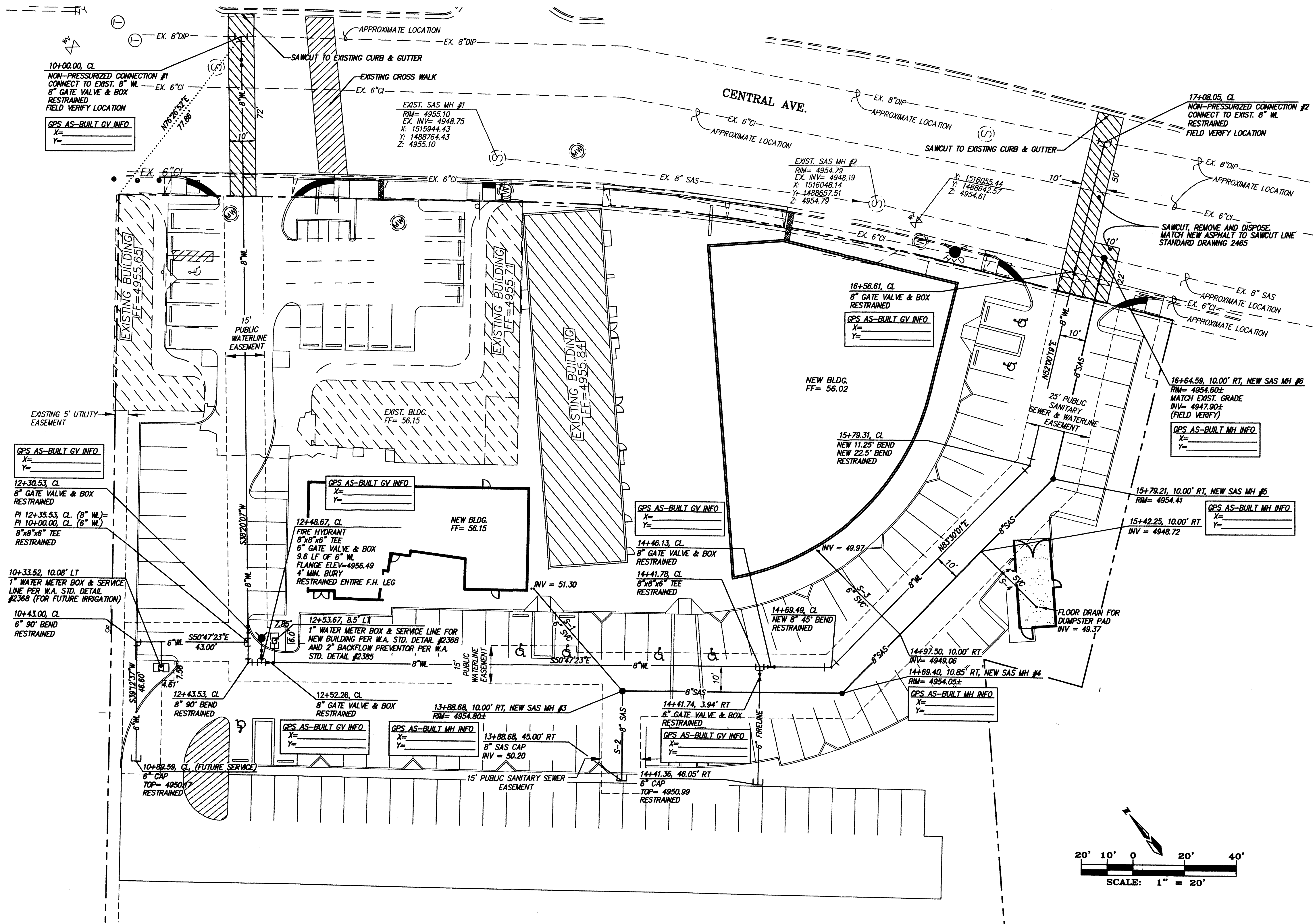
sheet title  
**GRADING & DRAINAGE PLAN**

sheet

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90806  
 ALBUQUERQUE, NEW MEXICO 87199  
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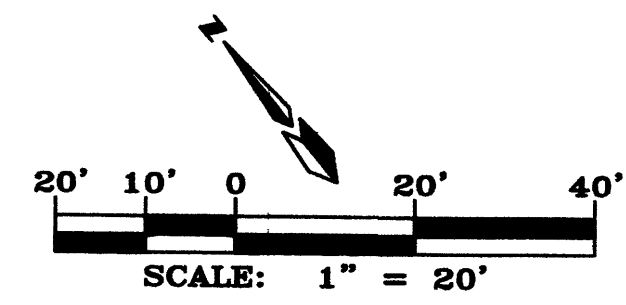




- WATER SHUT-OFF NOTES**
- CONTRACTOR SHALL MAKE SHUT OFF REQUEST ONLINE AT <http://abcwa.org/content/view/full/463729/>
  - CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200, SEVEN (7) DAYS PRIOR TO NECESSARY SHUT-OFF.
  - VALVES SHALL ONLY BE OPERATED BY WATER AUTHORITY EMPLOYEES.
  - TO MAKE NON-PRESSURE CONNECTION #1, SHUT OFF EXIST. VALVE #891 AND #1002.
  - TO MAKE NON-PRESSURE CONNECTION #2, SHUT OFF EXIST. VALVE #1002, #1003 AND #1057.

- CONSTRUCTION NOTES:**
- CENTERLINE OF CONSTRUCTION FOR SAS AND WATERLINE BASED ON CENTERLINE OF WATERLINE.
  - CENTERLINE OF CONSTRUCTION FOR DRIVEWAYS BASED ON PROPERTY LINE.
  - 24 HR. CONSTRUCTION IN CENTRAL AVE.
  - EXISTING SEWER SERVICES TO BE LOCATED PRIOR TO MAIN CONSTRUCTION.
  - POTHOLE TO VERIFY EXISTING 8" DIP, CONTRACTOR TO CROSS EXIST. WATERLINES.
  - ALL WATERLINE C-900 PVC AND ALL SAS IS SDR35 PVC, UNLESS NOTED OTHERWISE.
  - REPLACE STRIPING IN CENTRAL AVENUE AS NECESSARY TO MATCH EXISTING CONDITIONS.
  - END'S SHALL BE INSTALLED ON ALL WATERLINE AND SANITARY SEWER APPURTENANCES AS PER SECTION 170 OF STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION LATEST.
  - MANHOLES TYPE "C" PER STD DWG 2101.
  - SAS SERVICES INTO MAIN LINE PER STD DWG 2125.
  - SAS SERVICES INTO MANHOLES PER STD DWG 2118.
  - STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
  - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
  - FIRE LINE RING & COVER SHALL BE PER W.A. STD DWG #2329.
  - WATER VALVE BOX & COVER SHALL BE PER W.A. STD DWG #2326 & #2328.
  - ALL WATERLINE CONNECTIONS SHALL BE PER W.A. STD DWG #2301.
  - ALL OTHER WATERLINE CONSTRUCTION NOT MENTIONED ABOVE SHALL COMPLY WITH ALL W.A. (ABCWA) STD. DRAWINGS AND SPECIFICATIONS, LATEST UPDATE.
  - CAUTION: NOTE THAT ALL EXISTING UTILITIES MAY NOT BE AS SHOWN. ANY EXISTING UTILITY THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

- LEGEND**
- 00.00 EXISTING SPOT ELEVATION
  - 51.35- EXISTING CONTOUR
  - ⊙ EXISTING WATER WELL
  - EXISTING BOLLARD
  - EXISTING GUY WIRE
  - ⊙ EXISTING SAS MH
  - ⊙ EXISTING TELEPHONE PEDESTAL
  - NEW SPOT ELEVATION
  - SWALE
  - NEW CONTOUR ELEVATION
  - ⊙ EXISTING SEWER MANHOLE
  - EXISTING GAS METER
  - ⊙ EXISTING WATER VALVE
  - ⊙ EXISTING CLEANOUT
  - EXISTING UTILITY POLE
  - ⊙ EXISTING MONITORING WELL
  - EXISTING WATER METER
  - EXISTING CURB
  - NEW WATER METER
  - NEW RETAINING WALL



**RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)**

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	3'	2'	46'
8"	22'	9'	4'	2'	60'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

**SANITARY SEWER SERVICES**

LOT	SIZE	BEARING	STATION	INV. ELEV. @ END	LENGTH
S-1	6"	N02°05'05"W	13+88.68	4951.30	52.14'
S-2	8"	S39°12'37"W	13+88.68	4950.20	35.00'
S-3	6"	S62°59'59"E	14+97.50	4949.97	45.52'
S-4	4"	S62°59'59"E	15+42.25	4949.37	30.01'

**RESTRAINED JOINT LENGTH FOR TEES (FT.)**

PIPE SIZE	RUN	BRANCH
8"x8"x8"	13'	3'
8"x8"x6"	7'	5'
6"x6"x6"	10'	2'

revision  
by  
date  
rev <<<<<<

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job number 12-11  
drawn by S.J. MWS  
project manager Doug Heller, AIA  
date 11/13/12

project title Country Club Plaza  
SVC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102  
sheet title UTILITY PLAN

dmg MARK GOODMAN & ASSOCIATES, P.A.  
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**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/16" BUILDOLGY BROWN ROCK MULCH AND 2"-4" COBBLE MULCH. CONCRETE HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION INCLUDING THOSE WITHIN THE PUBLIC R.O.M. SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE LANDSCAPE PLAN FOR COUNTRY CLUB PLAZA SHALL LIMIT THE MEDIUM WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPOSED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PLANTING CONSIDERATIONS**  
TO ENSURE OPTIMAL GROWTH OF THE SITE TREES LOCATED WITHIN THE PARKING LOT, PERMEABLE PAVERS WILL BE INTEGRATED INTO THE SIDE WALK AT THE TREE WELLS TO PROVIDE FOR BETTER ROOT CAPACITY AND WATER PERMEABILITY TO TREES.

**STREET TREES**  
DUE TO SITE CONSTRAINTS ALONG CENTRAL AVENUE, AN EXEMPTION FROM THE STREET TREE ORDINANCE (LISTED UNDER THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-9-10, PART 6, ITEM 2) IS BEING REQUESTED. THE INTENT OF THE STREET TREE ORDINANCE IS TO PROVIDE SUMMER SHADE AND COOLNESS AND TO ENHANCE THE APPEARANCE OF THE CITY'S MAJOR STREETS. THIS PROJECT CONSISTS OF 48 LINEAR FEET OF STREET FRONTAGE ALONG CENTRAL AVENUE, 212 LINEAR FEET OF WHICH IS OCCUPIED BY EXISTING BUILDINGS, EXISTING PARKING, AND A PROPOSED BUILDING. THE PROXIMITY OF THESE BUILT FEATURES TO THE CITY SIDEWALK AND STREET WILL PROVIDE A STRONG STREET FACADE BUT WILL HINDER THE ABILITY TO PLANT STREET TREES. THE PROJECT MEETS THE INTENT OF THIS ORDINANCE BY PROVIDING SMALL, SCULPTURAL SHRUBS ALONG THE STREET FRONTAGE WHERE TREES ARE NOT FEASIBLE. THE PROJECT ALSO MEETS AND EXCEEDS OTHER LANDSCAPING REQUIREMENTS, SPECIFICALLY SITE AND PARKING LOT TREE REQUIREMENTS.

**FINN COORDINATION**  
COORDINATION WITH FINN'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES. SCREENING WILL BE DESIGN TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**LANDSCAPE COVERAGE**

TOTAL SITE AREA (PHASE I & 2):	146,975 SF (9.31 AC)
TOTAL SITE AREA (PHASE I):	97,475 SF (2.24 AC)
BUILDING AREA:	- 38,600 SF
EXISTING BUILDINGS & PHASE I BUILDINGS):	- 38,600 SF
TOTAL NET AREA:	61,400 SF
REQUIRED LANDSCAPE AREA (85% OF NET AREA):	4,224 SF
PROVIDED LANDSCAPE AREA:	11,026 SF (85%)
REQUIRED LIVE VEGETATIVE COVER (75% COVERAGE OF THE 15% LANDSCAPE REQUIREMENT, MINUS PARKING CLEARANCE AND PEDESTRIAN ACCESS IN TEMPORARY LANDSCAPE AREA):	6,110 SF
TOTAL LIVE VEGETATIVE COVER NEEDED:	- 1,642 SF
PROVIDED LIVE VEGETATIVE COVER (76%):	5,216 SF

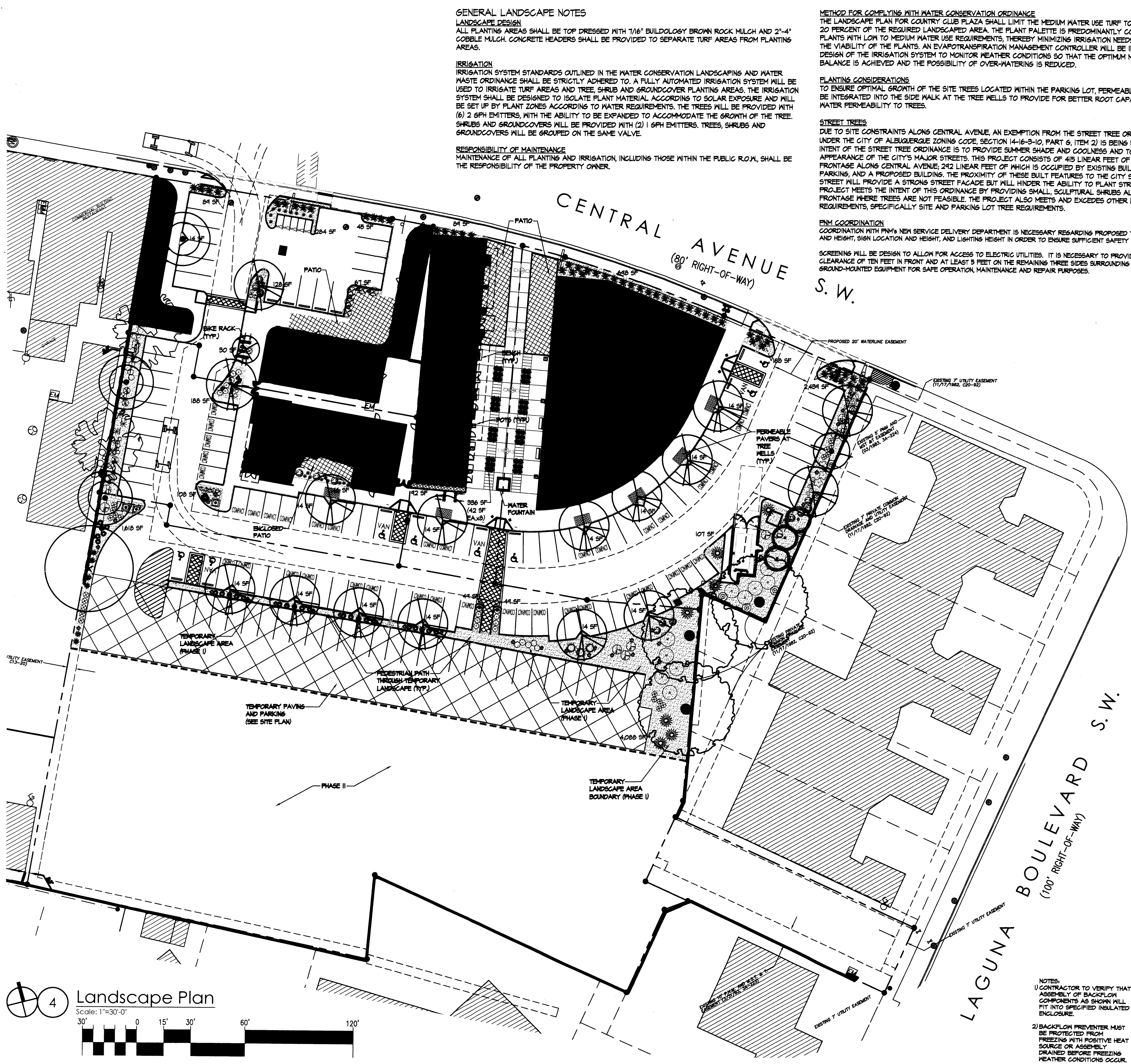
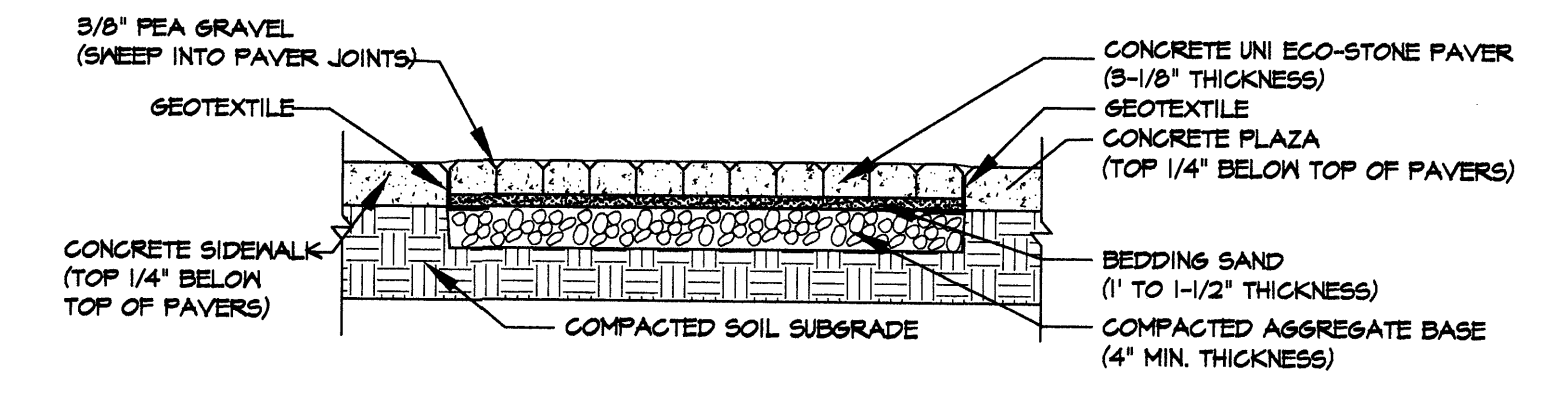
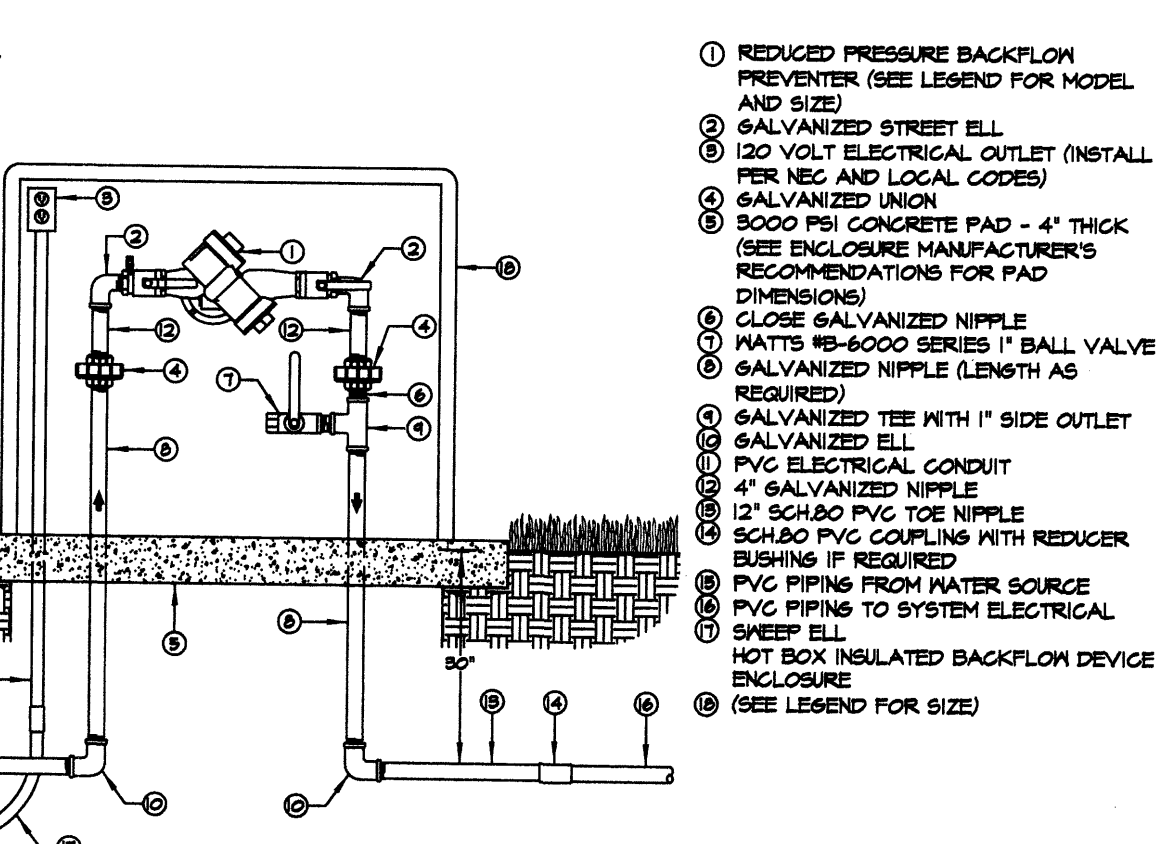
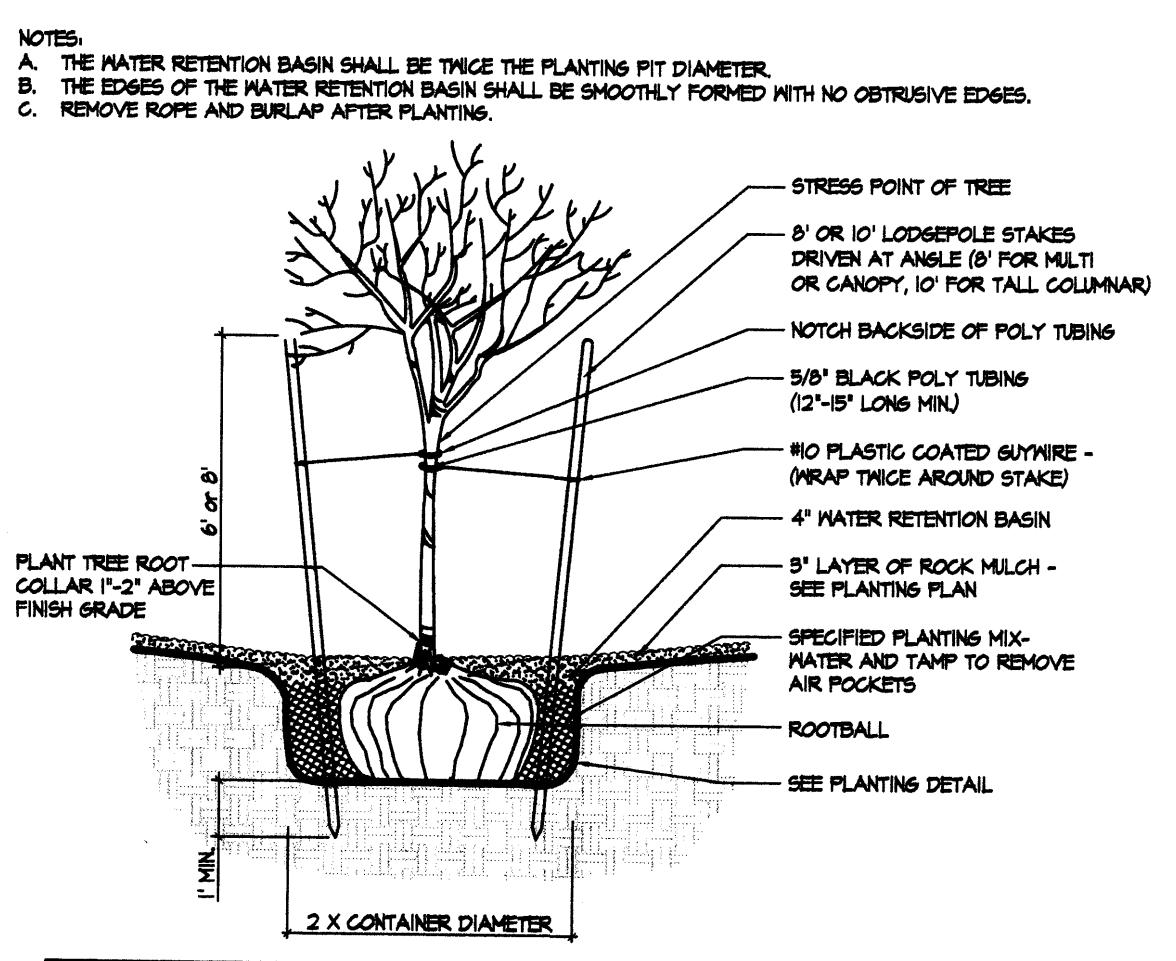
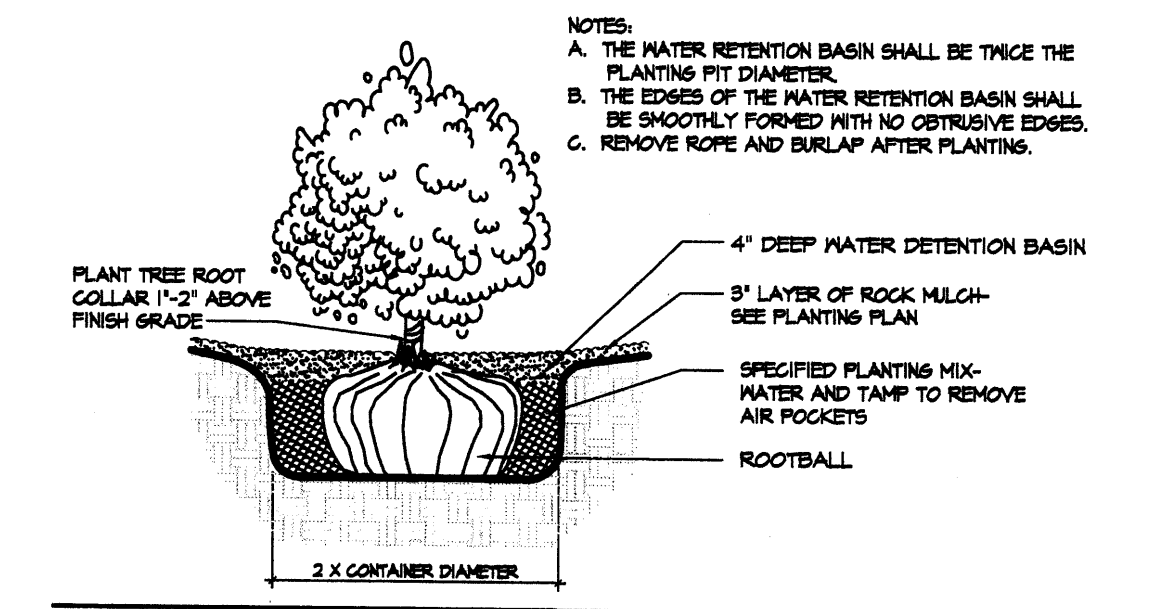
**SPECIAL BUFFER LANDSCAPING/SCREENING TREES**  
THE LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL PROPERTIES CONSISTS OF A COMBINATION OF DECIDUOUS AND EVERGREEN TREES WHICH ARE SPACED AT DISTANCE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER OF THE TREE.

**PARKING LOT TREES**  
COUNTRY CLUB PLAZA IS PROVIDING 155 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON ONE TREE PER 10 SPACES.

REQUIRED: 14  
PROVIDED: 14

**PHASE I PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
<b>TREES</b>						
2	(Symbol)	EXISTING TREE TO REMAIN				
1	(Symbol)	ACER TARTARICUM HOT WINGS' HOT WINGS MAPLE	2" B&B	10' HT. X 4' SFR.	20' HT. X 24' SFR.	MED
9	(Symbol)	KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2" B&B	16' HT. X 6' SFR. 30' HT. X 30' SFR.		MED
1	(Symbol)	LAGERSTROEMIA INDICA FAURIEI' GRAPE MYRTLE 'ZIAN'	15-GAL	8' HT. X 4' SFR. 15' HT. X 15' SFR.		MED
9	(Symbol)	FINUS BULGOCERHUS BOSNIAN PINE	B&B	8' MIN HT.	35' HT. X 10' SFR.	MED
1	(Symbol)	PISTACHIA CHINENSIS CHINESE PISTACHE	2" B&B	10' HT. X 5' SFR. 50' HT. X 50' SFR.		MED+
9	(Symbol)	PLATANUS A. BLOODGOOD LONDON PLANE TREE	25" B&B	16' HT. X 6' SFR. 60' HT. X 30' SFR.		MED
16	(Symbol)	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	2" B&B	14' HT. X 6' SFR. 45' HT. X 30' SFR.		MED
<b>SHRUBS/GROUNDCOVERS</b>						
10	(Symbol)	BACCHARIS SAROTHOIDES DESERT BROOM	5-GAL	8' O.C.	8' HT. X 8' SFR.	LOW
7	(Symbol)	Buddleia DAVIDII NANHOENSIS' BUTTERFLY BUSH	5-GAL	5' O.C.	8' HT. X 5' SFR.	LOW
11	(Symbol)	CERASTIUM TOMENTOSUM SNOW-IN-SUMMER	1-GAL	2' O.C.	2' HT. X 2' SFR.	LOW
8	(Symbol)	ERYSIMUM BOWLES MAUIE' MAUIE MALLFLOWER	1-GAL	2' O.C.	2' HT. X 2' SFR.	MED+
6	(Symbol)	FALLUSIA PARADOXA APACHE PLUME	5-GAL	4' O.C.	5' HT. X 4' SFR.	LOW
5	(Symbol)	HELICHRYSUM AUGUSTIFOLIA CURRY PLANT	1-GAL	2' O.C.	2' HT. X 2' SFR.	LOW
16	(Symbol)	LAVANDULA AUGUSTIFOLIA ENGLISH LAVENDER	1-GAL	3' O.C.	3' HT. X 3' SFR.	MED
8	(Symbol)	NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL	2' O.C.	2' HT. X 2' SFR.	MED
12	(Symbol)	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL	6' O.C.	4' HT. X 5' SFR.	LOW
9	(Symbol)	FINUS MUO MUO PINE	5-GAL	5' O.C.	4' HT. X 5' SFR.	MED
10	(Symbol)	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL	3' O.C.	3' HT. X 3' SFR.	LOW
14	(Symbol)	RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL	5' O.C.	3' HT. X 3' SFR.	MED
14	(Symbol)	RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL	4' O.C.	2' HT. X 4' SFR.	LOW+
6	(Symbol)	SEDUM TELEPHIFOLIA JOY SEDUM	1-GAL	2' O.C.	2' HT. X 2' SFR.	LOW+
15	(Symbol)	ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL	3' O.C.	2' HT. X 3' SFR.	LOW
<b>VINES</b>						
5	(Symbol)	HAMILIS LUPULUS 'CHINOOK' CHINOOK HOPS	1-GAL	6' O.C.	8' HT. X 8' SFR.	LOW
4	(Symbol)	PYRACANTHA COCCINEA PYRACANTHA	1-GAL	5' O.C.	10' HT. X 10' SFR.	LOW
<b>ORNAMENTAL GRASSES</b>						
18	(Symbol)	CALAMAGROSTIS A. KARL FOERSTER-GRASS KARL FOERSTER REED GRASS	2" O.C.	2' O.C.	4' HT. X 2' SFR.	MED
35	(Symbol)	MISCANTHUS SPP. MAIDEN GRASS	5-GAL	5' O.C.	5' HT. X 5' SFR.	MED+
26	(Symbol)	MILHENBERGIA CAPILLARIS RESAL MIST	1-GAL	3' O.C.	3' HT. X 3' SFR.	MED
54	(Symbol)	PANICUM VIRGATUM SWITCH GRASS	1-GAL	3' O.C.	4' HT. X 3' SFR.	MED+
7	(Symbol)	SPOROBOLEUS WRIGHTII GIANT SACATON	5-GAL	7' O.C.	8' HT. X 7' SFR.	MED
<b>ACCENTS</b>						
6	(Symbol)	DASYLIRION WHEELERI SOTOL	5-GAL	4' O.C.	4' HT. X 4' SFR.	LOW
34	(Symbol)	MOSS ROCK BOULDERS (3'x5' MIN) 1/16" GRAVEL MULCH, COLOR: BUILDOLGY BROWN (3" DEPTH OVER DEWITT PRO-5 NEED CONTROL FABRIC)				



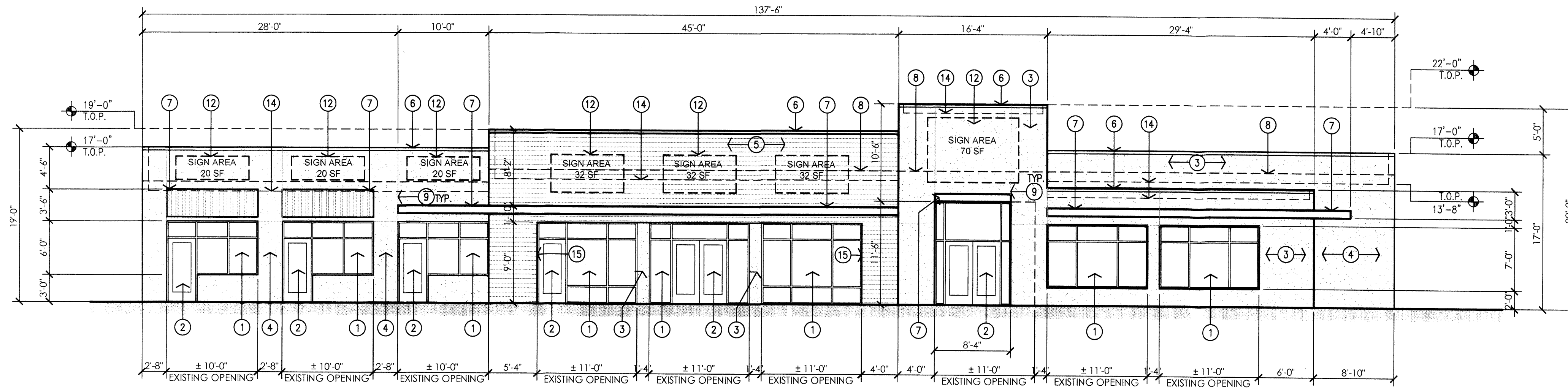
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Mullen Heller Architecture P.C.  
924 Park Avenue SW  
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job number 12-11  
drawn by S.J. MWS, A.V.  
project manager Doug Heller, AIA  
date 03/28/2013

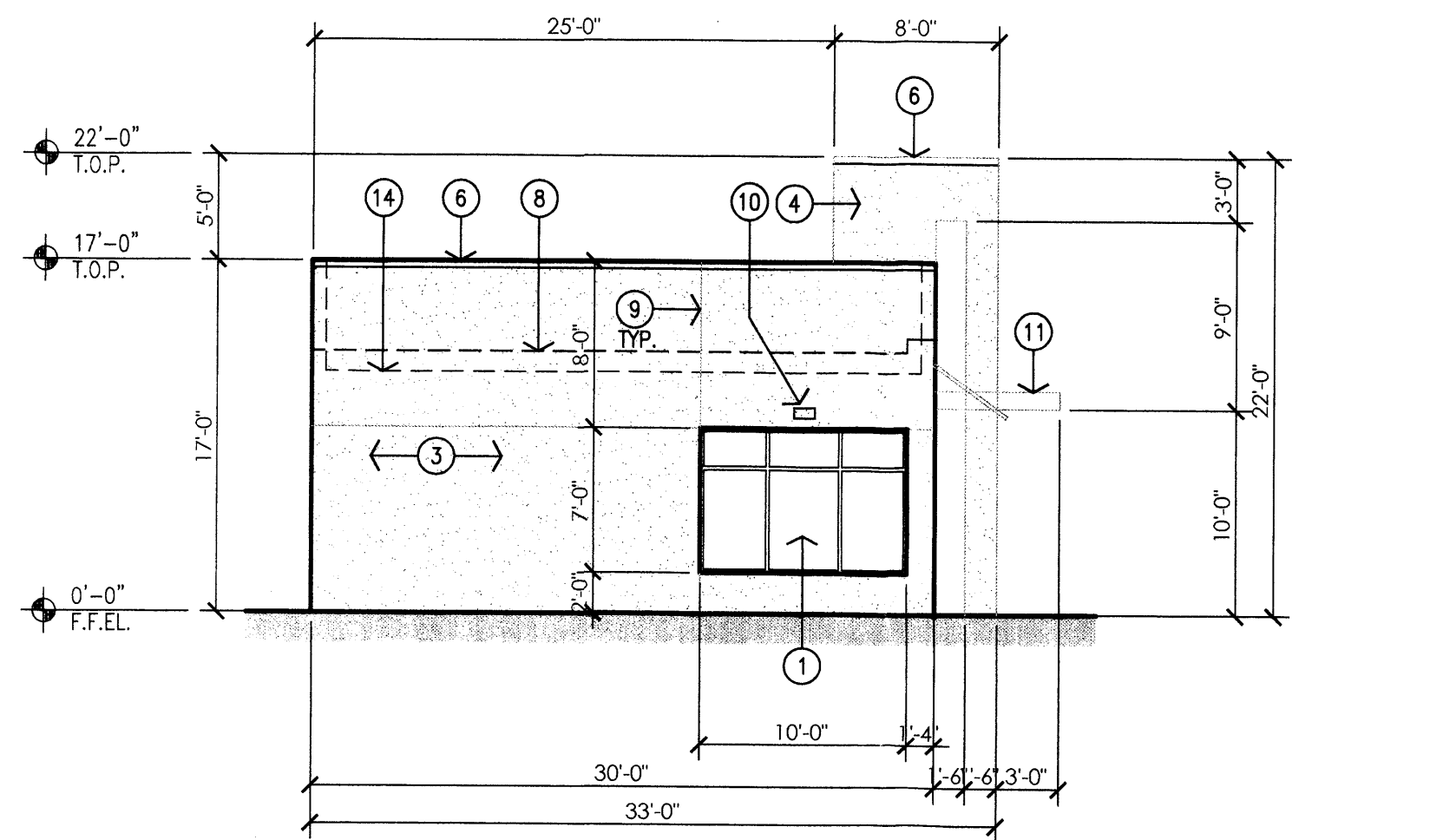
Country Club Plaza Development  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

sheet title  
sheet number 4 of 7

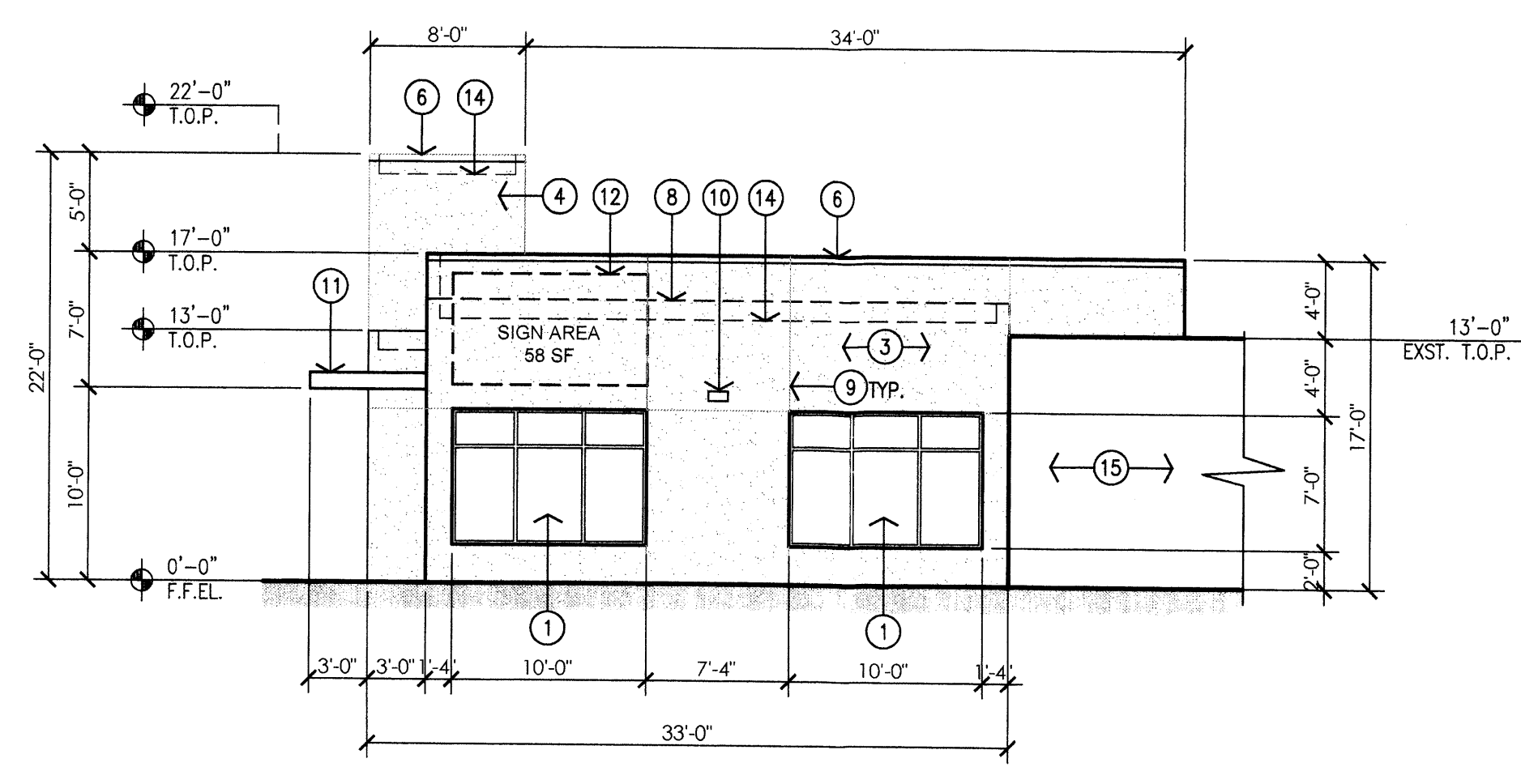




1 Existing Building C - East Elevation  
Scale 1/8" = 1'-0"



2 Existing Building C - South Elevation  
Scale 1/8" = 1'-0"



3 Existing Building C - North Elevation  
Scale 1/8" = 1'-0"

GENERAL NOTES:  
[A] MAIN ENTRY MAY BE RELOCATED DUE TO TENANT'S LAYOUT.

- KEYED NOTES:
- [1] ALUMINUM STOREFRONT SYSTEM, DARK BRONZE FRAME WITH TINTED GLAZING.
  - [2] ALUMINUM STOREFRONT DOOR, DARK BRONZE FRAME WITH TINTED GLAZING.
  - [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN.
  - [4] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: MEDIUM TAN.
  - [5] SYNTHETIC WOOD PLANK SIDING, COLOR: NATURAL LIGHT WOOD.
  - [6] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP COLOR TO MATCH ADJACENT STUCCO/WOOD SIDING.
  - [7] METAL CANOPY, COLOR: TERRACOTTA OR GRAY.
  - [8] LINE OF EXISTING PARAPET, EXTEND PARAPET HEIGHT AS INDICATED ON DRAWINGS.
  - [9] STUCCO CONTROL JOINT, TYPICAL.
  - [10] EXTERIOR WALL PACK.
  - [11] NEW METAL CANOPY BEYOND.
  - [12] NEW AREA OF INDIVIDUALLY ILLUMINATED CHANNEL LETTER SIGNAGE.
  - [13] EXISTING BUILDING TO REMAIN.
  - [14] LINE OF ROOF BEYOND.
  - [15] WRAP WOOD SIDING ON ALL INTERIOR FACES OF RECESSED ENTRY AND STOREFRONT.

EXISTING BUILDING C  
SIGNAGE CALCULATIONS:  
BUILDING MOUNTED:  
EAST ELEVATION- 2510 SF x 9%  
226 SF ALLOWED  
226 SF ILLUMINATED PROVIDED  
NORTH ELEVATION- 637 SF x 9%  
58 SF ALLOWED  
58 SF ILLUMINATED PROVIDED

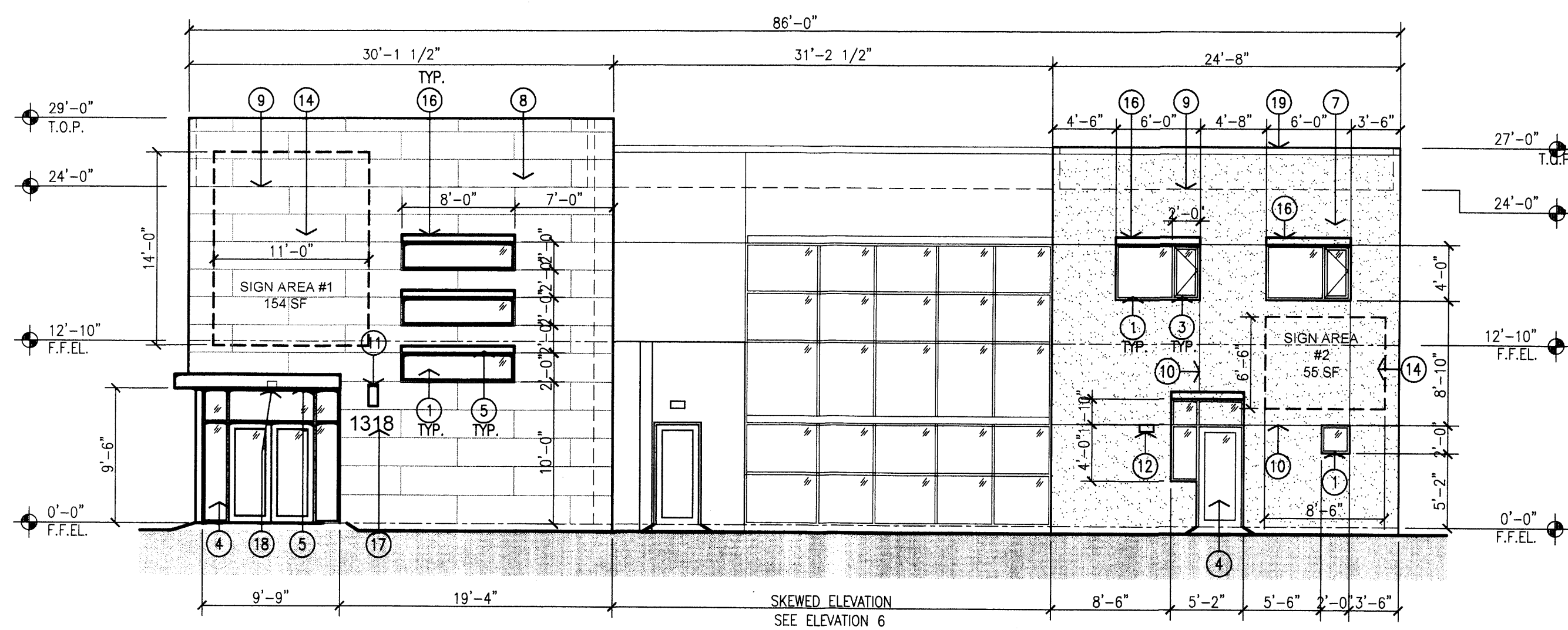
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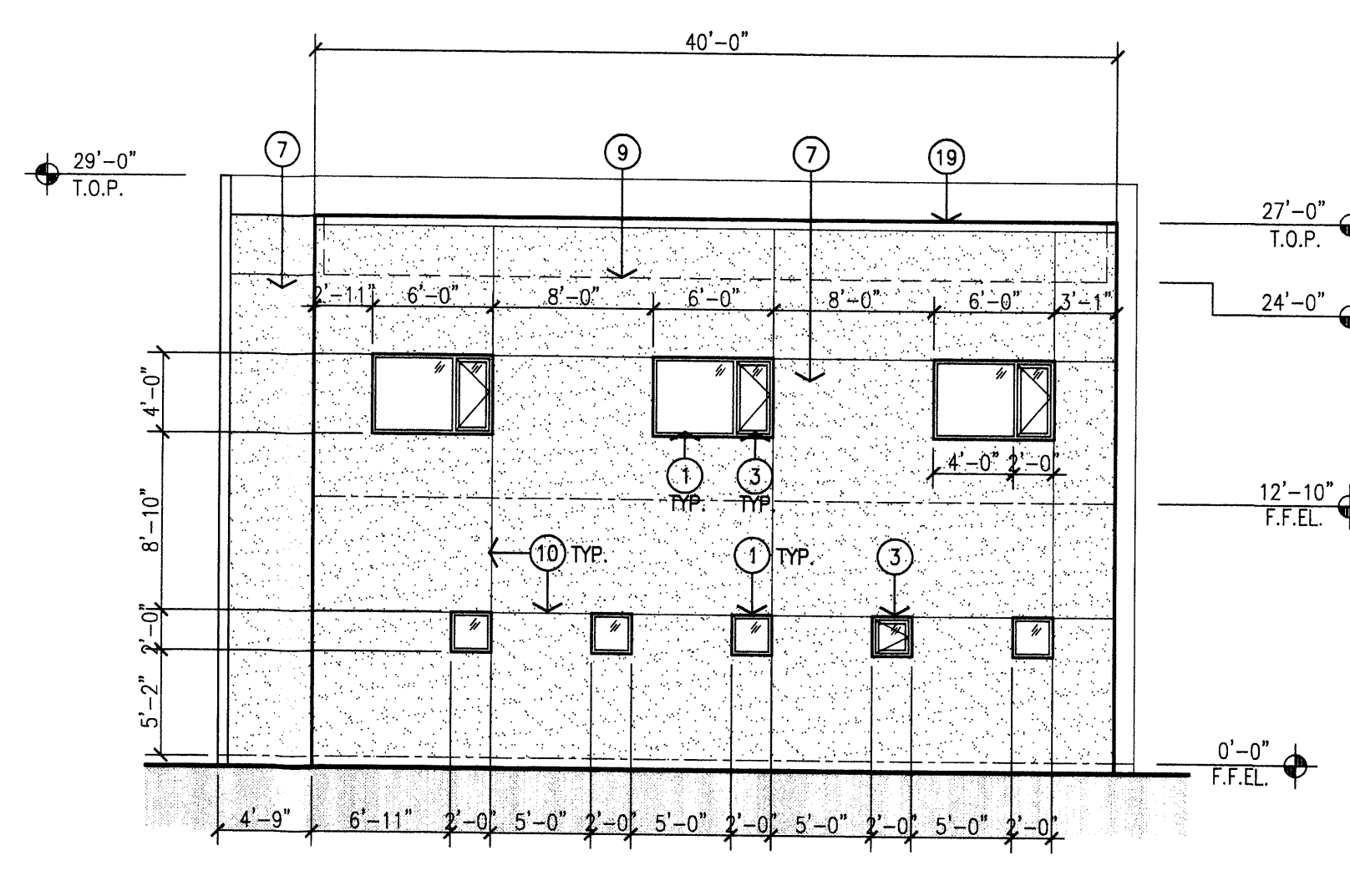
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job number	12-11
drawn by	S.J. MWS, A.V.
project manager	Doug Heller, AIA
date	09/26/2013

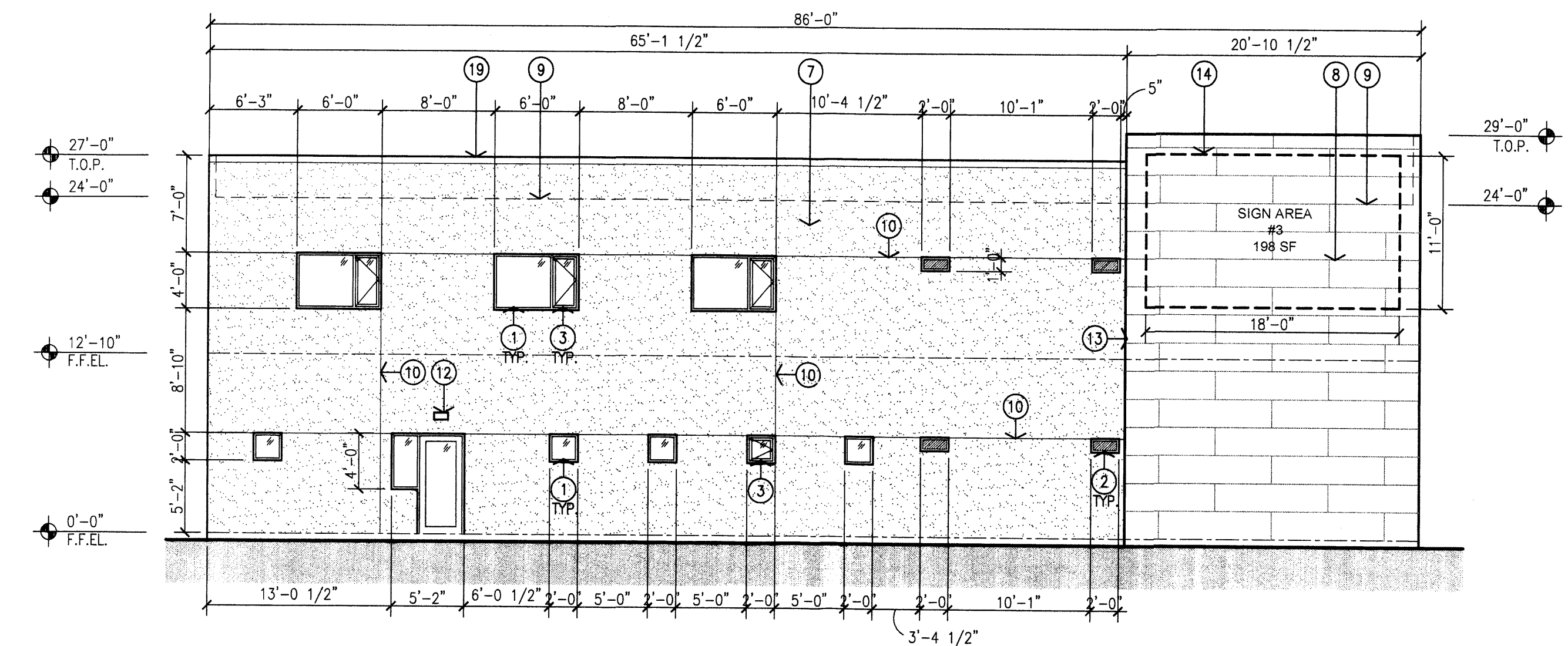
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Country Club Plaza  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102  
sheet title  
Exterior Elevations - Existing Building C



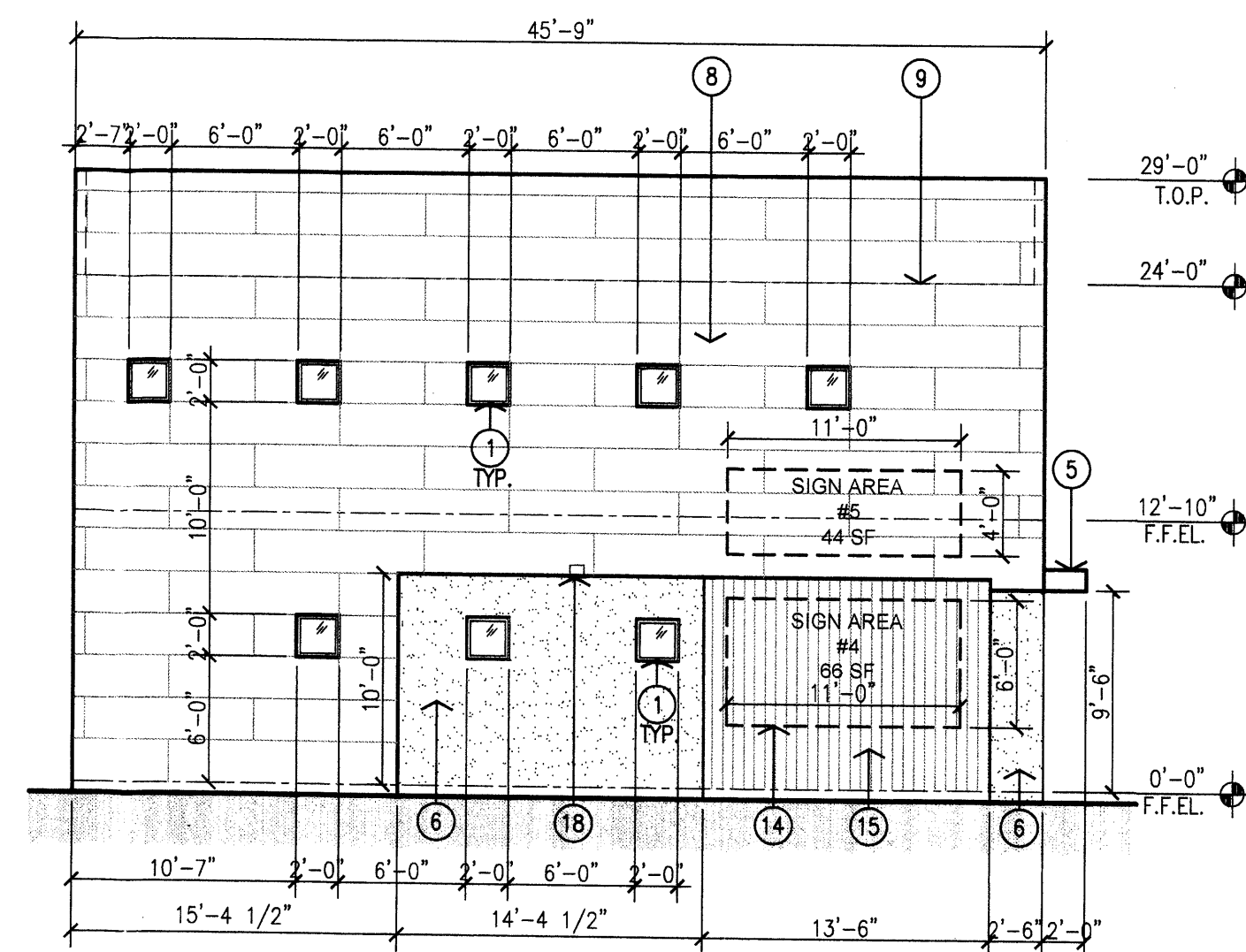
1 Proposed Building 1 - South Elevation  
Scale 1/8"=1'-0"



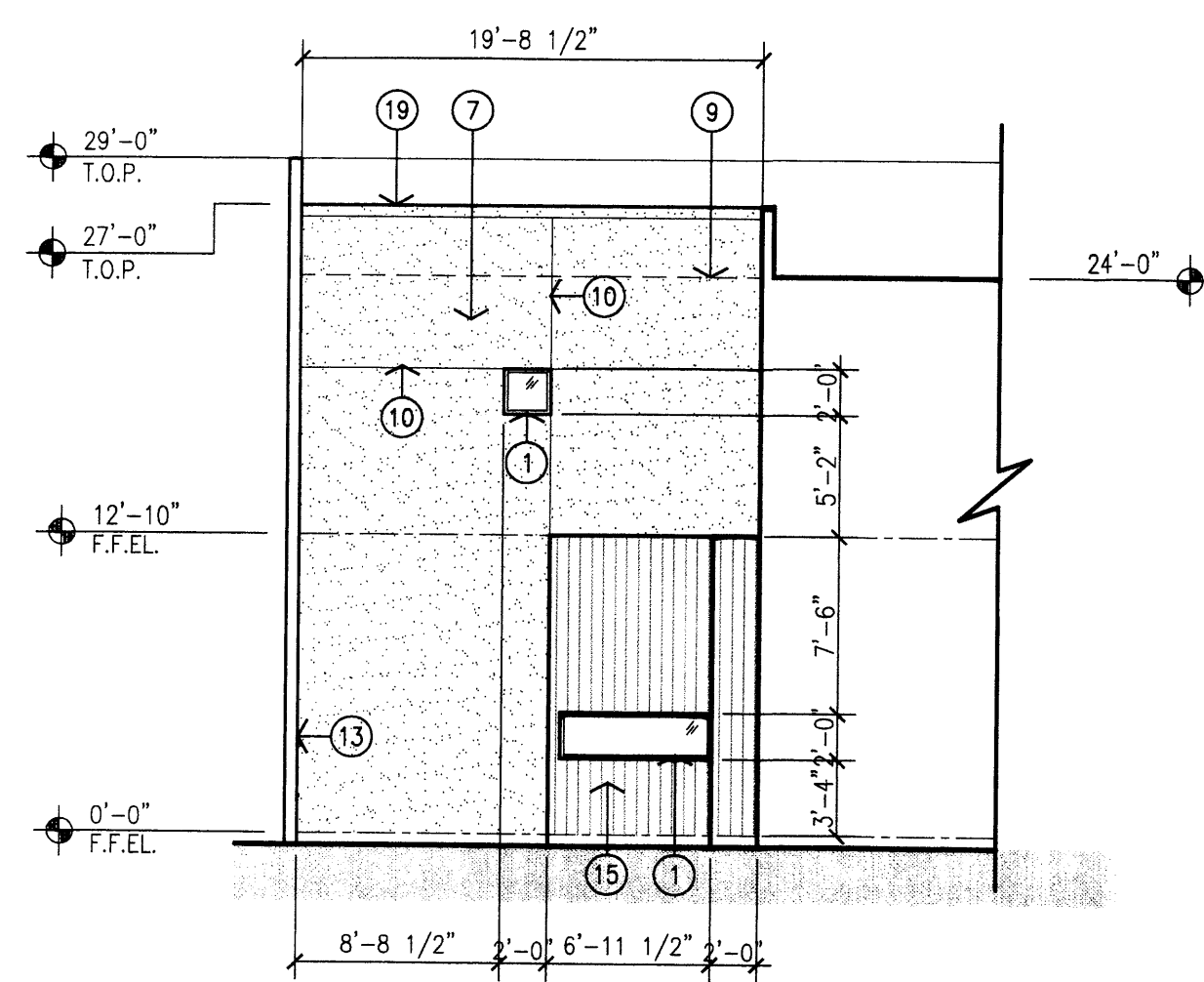
2 Proposed Building 1 - East Elevation  
Scale 1/8"=1'-0"



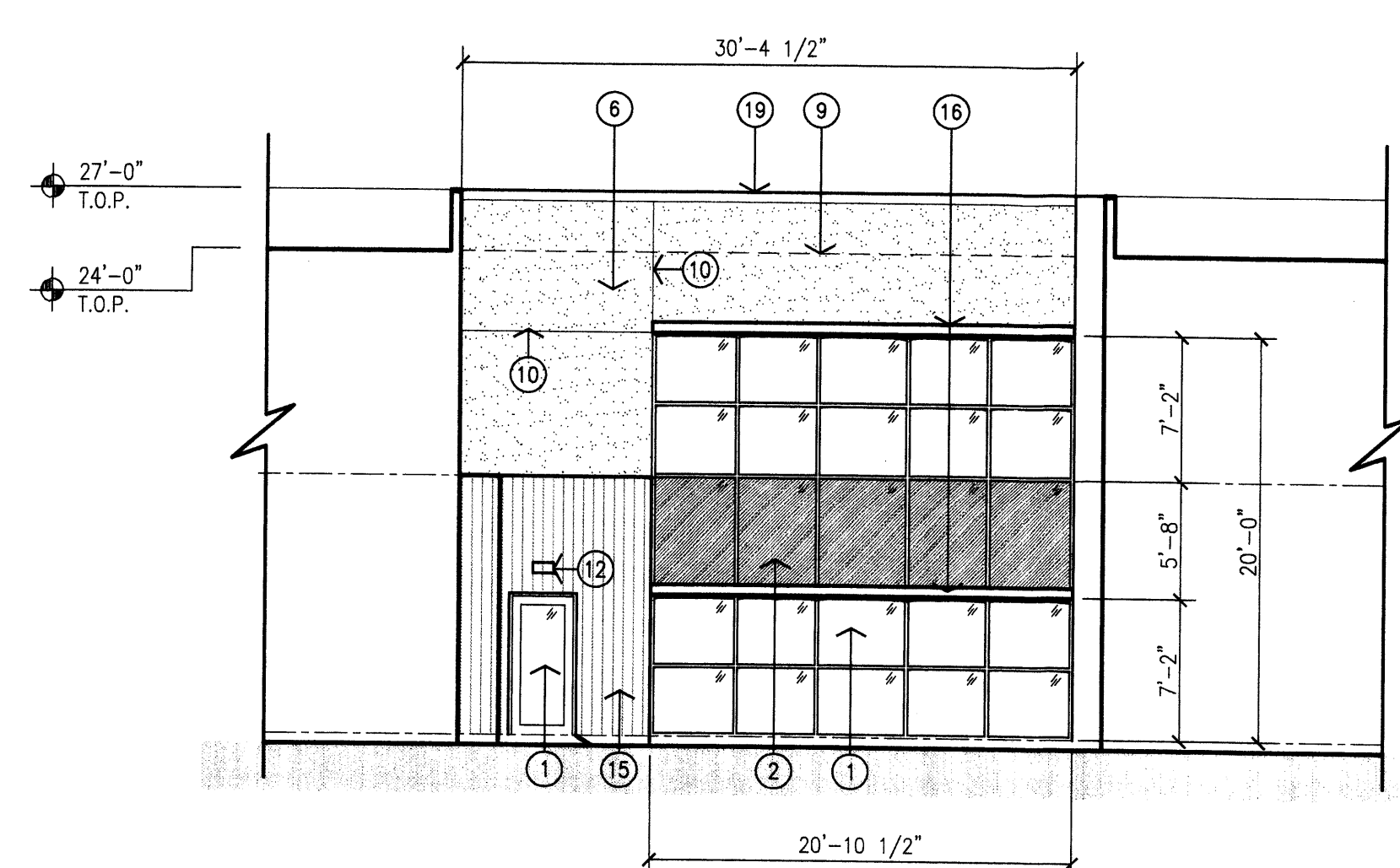
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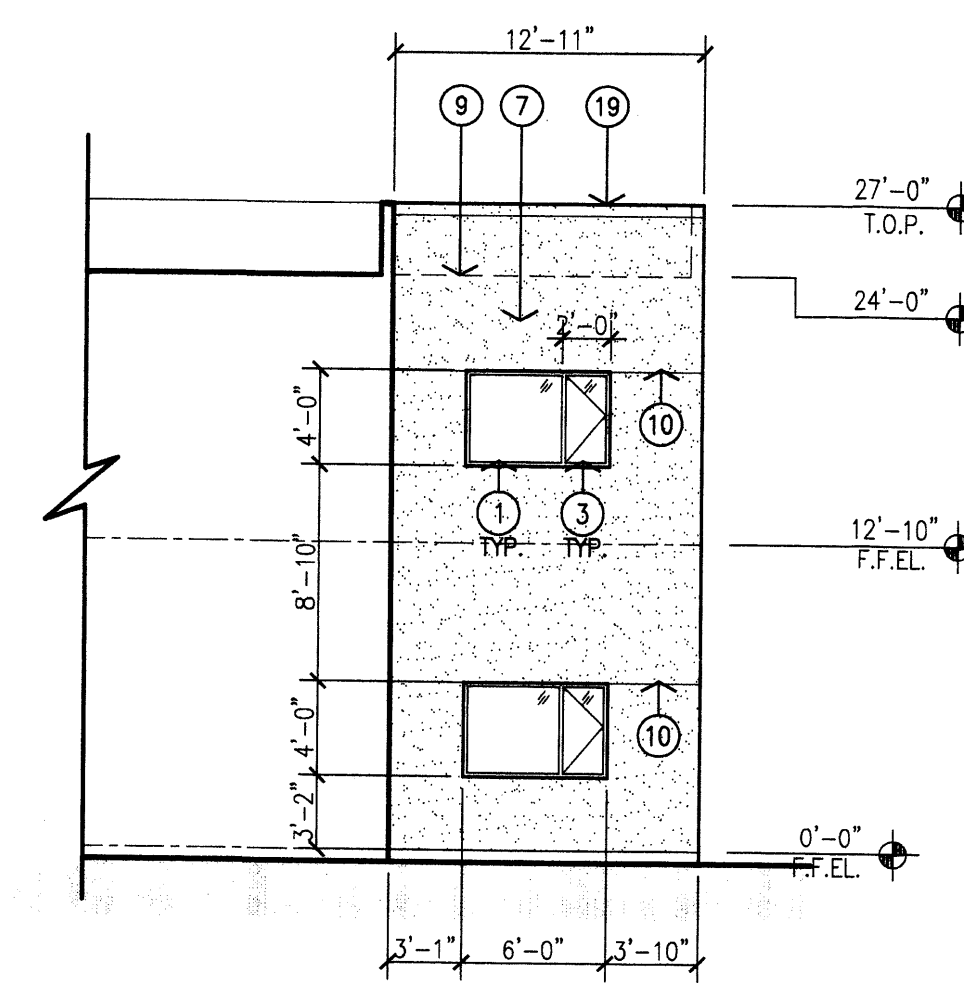
4 Proposed Building 1 - West Elevation  
Scale 1/8"=1'-0"



5 Proposed Building 1 - Courtyard West Elevation  
Scale 1/8"=1'-0"



6 Proposed Building 1 - Courtyard South Elevation  
Scale 1/8"=1'-0"



7 Proposed Building 1 - Courtyard East Elevation  
Scale 1/8"=1'-0"

- KEYED NOTES:
- [1] ALUMINUM STOREFRONT FIXED WINDOW, DARK BRONZE FRAME WITH TINTED GLAZING.
  - [2] ALUMINUM STOREFRONT FIXED WINDOW, DARK BRONZE FRAME WITH TRANSLUCENT GLAZING.
  - [3] ALUMINUM STOREFRONT DOUBLE CASEMENT WINDOW, DARK BRONZE FRAME WITH TINTED GLAZING.
  - [4] ALUMINUM STOREFRONT SYSTEM, DARK BRONZE FRAME WITH TINTED GLAZING.
  - [5] ROOF CANOPY WITH STUCCO SOFFIT.
  - [6] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: GREEN TONE.
  - [7] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN.
  - [8] METAL WALL PANELS, CUSTOM PATTERN. COLOR: TERRACOTTA OR GRAY.
  - [9] LINE OF ROOF BEYOND.
  - [10] STUCCO CONTROL JOINT, TYPICAL.
  - [11] DECORATIVE WALL MOUNTED LIGHT FIXTURE.
  - [12] EXTERIOR WALL PACK.
  - [13] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR TO MATCH WALL PANELS.
  - [14] NEW AREA OF INDIVIDUALLY ILLUMINATED CHANNEL LETTER SIGNAGE.
  - [15] SYNTHETIC WOOD PLANK SIDING, COLOR: NATURAL LIGHT WOOD.
  - [16] METAL CANOPY, COLOR: TERRACOTTA OR GRAY.
  - [17] 12" HIGH ADDRESS CHANNEL LETTERS.
  - [18] RECESSED SOFFIT LIGHTING.
  - [19] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP TO MATCH STUCCO COLOR.

BUILDING 1  
SIGNAGE CALCULATIONS:  
BUILDING MOUNTED:  
SOUTH ELEVATION- 858 + 641 = 2377 SF X 9%  
214 SF ALLOWED  
(#1)154 + (#2)55 = 209 SF ILLUMINATED PROVIDED  
NORTH ELEVATION- 2363 SF X 9%  
212.67 SF ALLOWED  
(#3) 198 SF ILLUMINATED PROVIDED  
WEST ELEVATION- 1304 SF X 9%  
117.4 SF ALLOWED  
(#4)66 + (#5)44 = 110 SF ILLUMINATED PROVIDED

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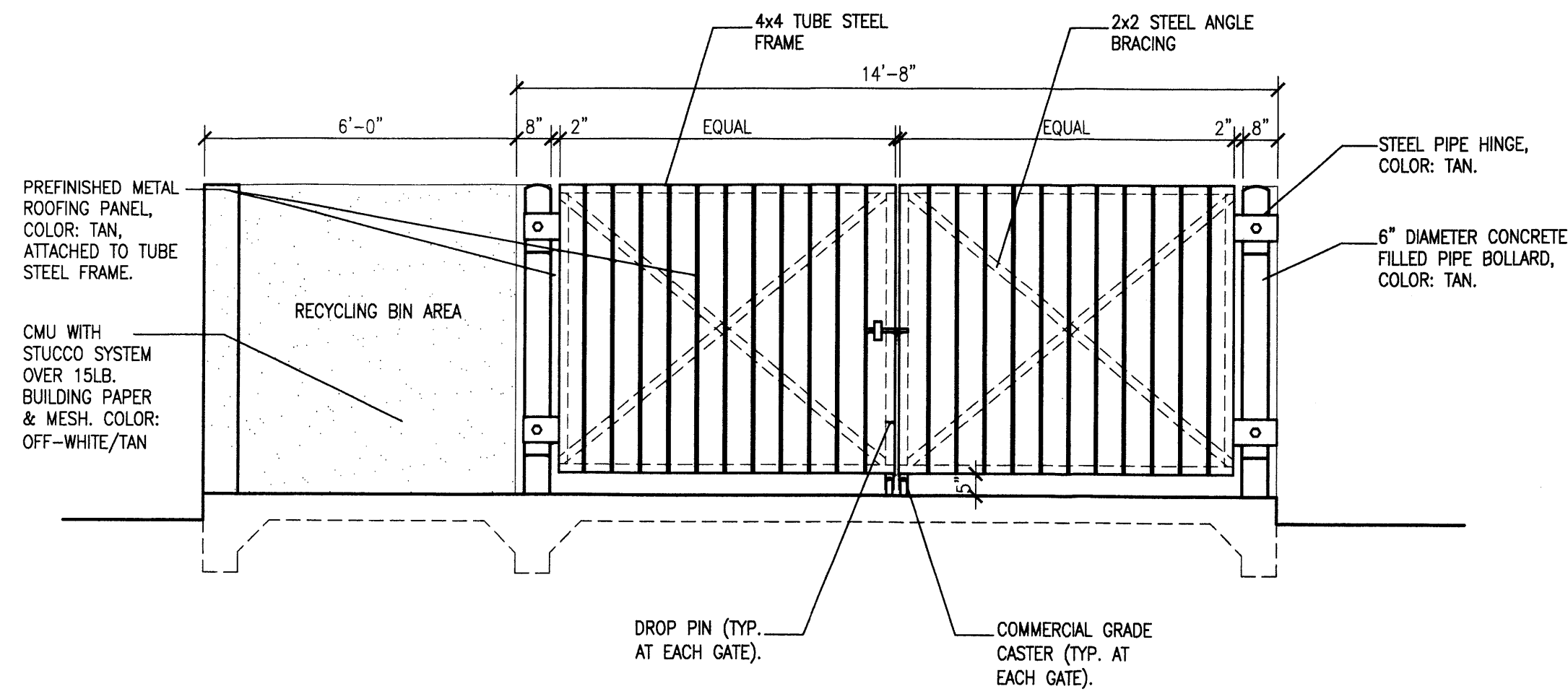
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project manager Doug Heller, AIA

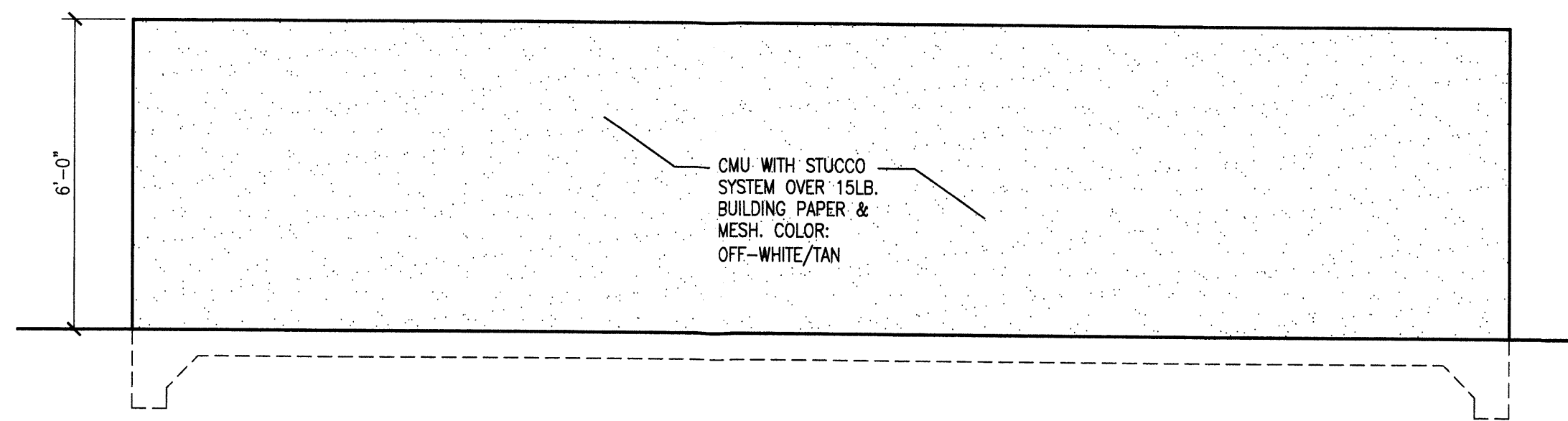
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Country Club Plaza  
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Exterior Elevations - Proposed Building 1

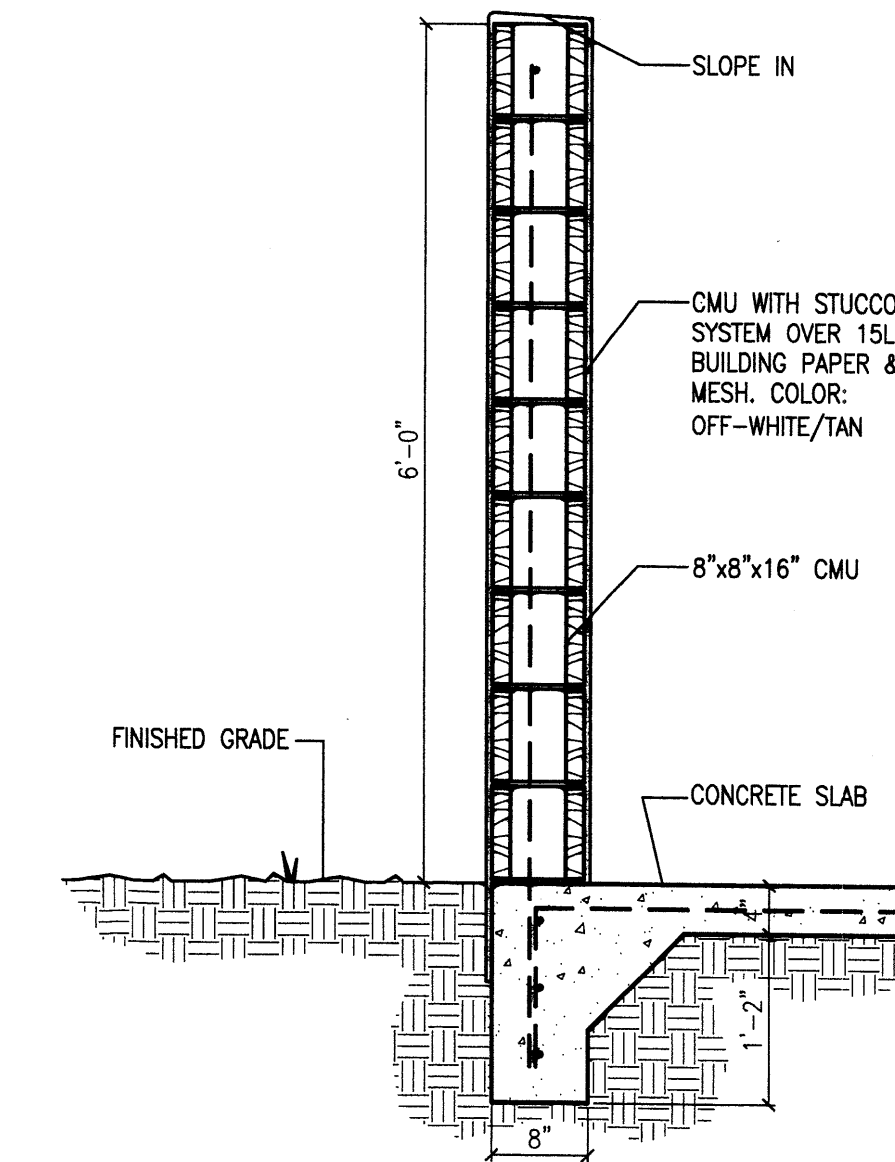




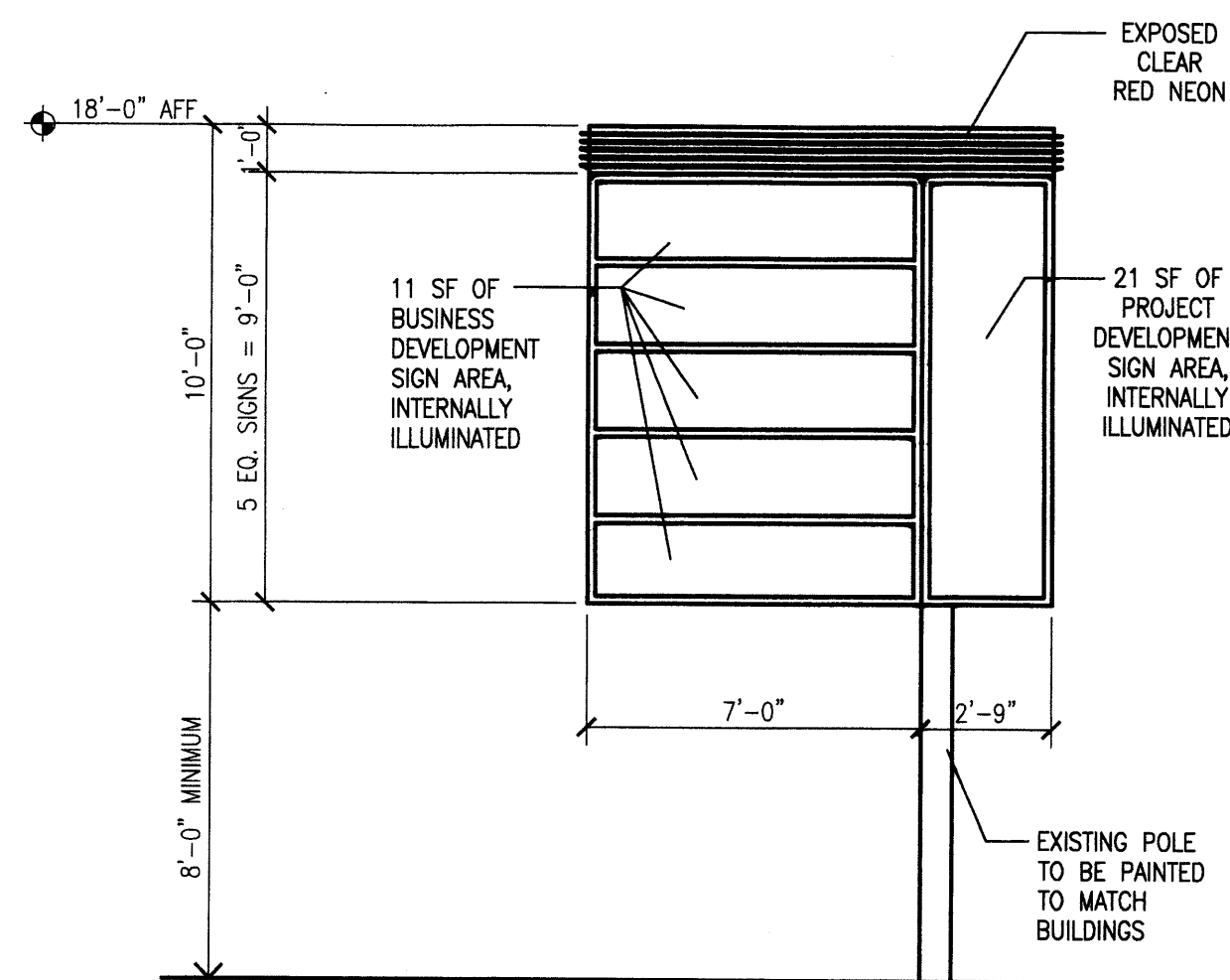
1 Refuse Enclosure Front Elevation  
Scale: 3/8" = 1'-0"



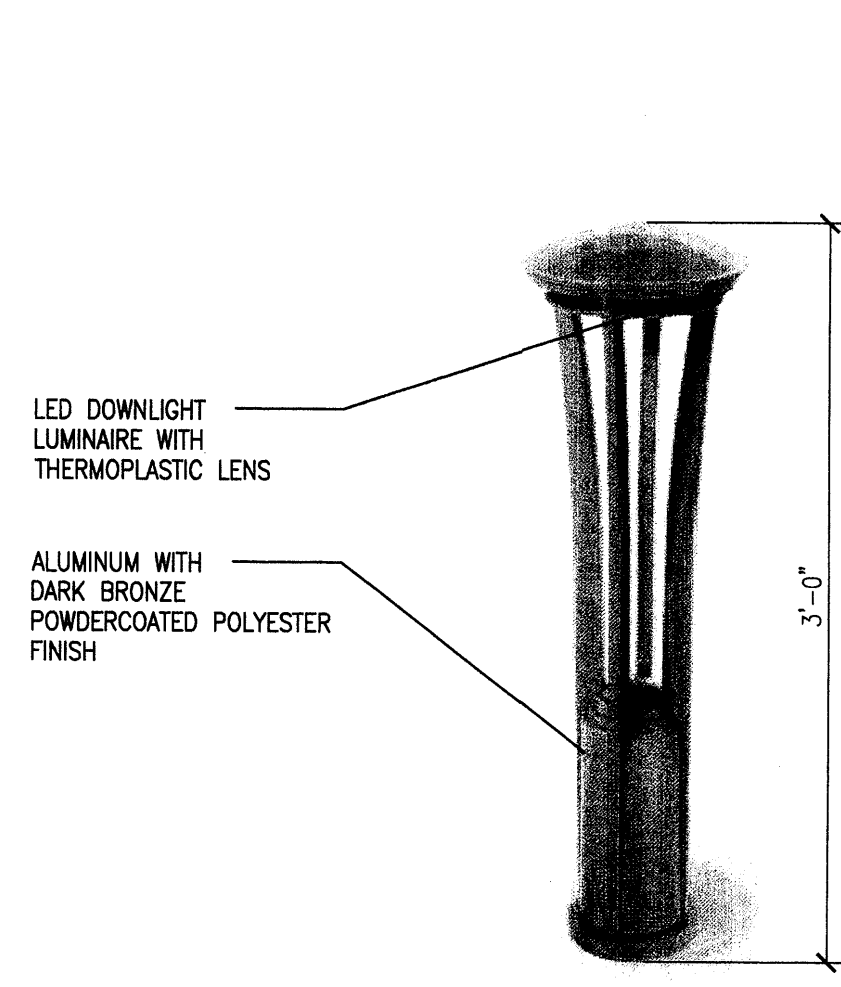
2 Refuse Enclosure Typ. Side Elevation  
Scale: 3/8" = 1'-0"



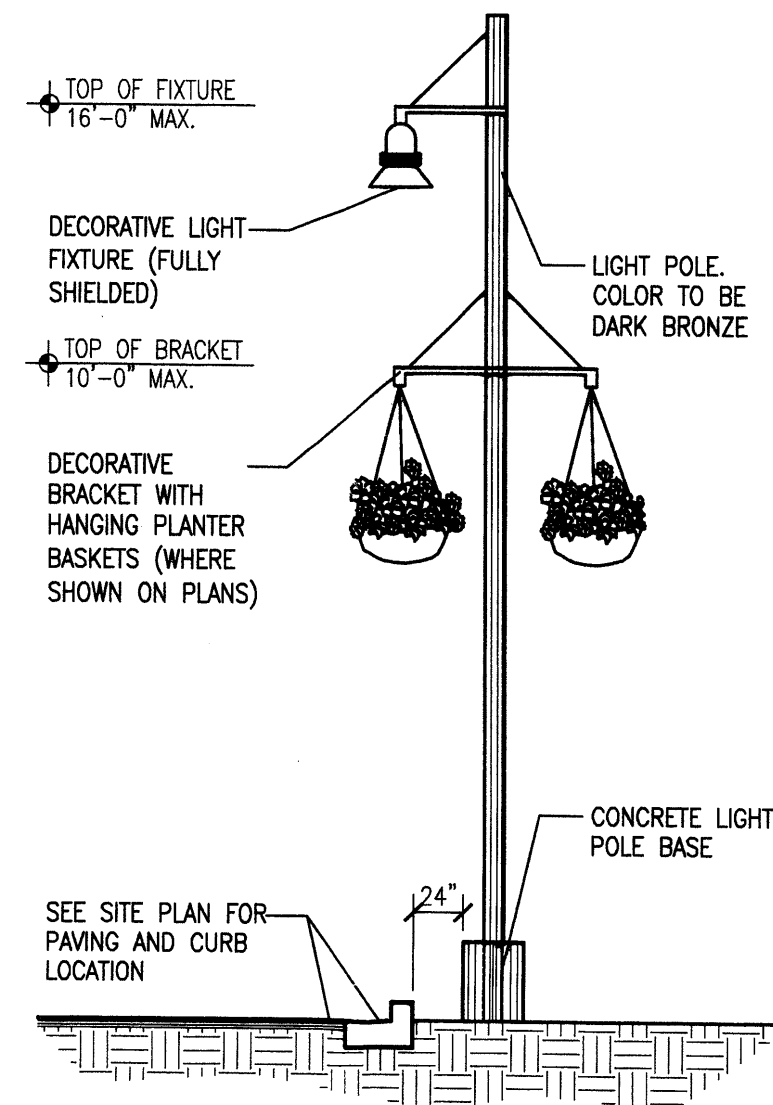
3 Refuse Enclosure Wall Section  
Scale: 1" = 1'-0"



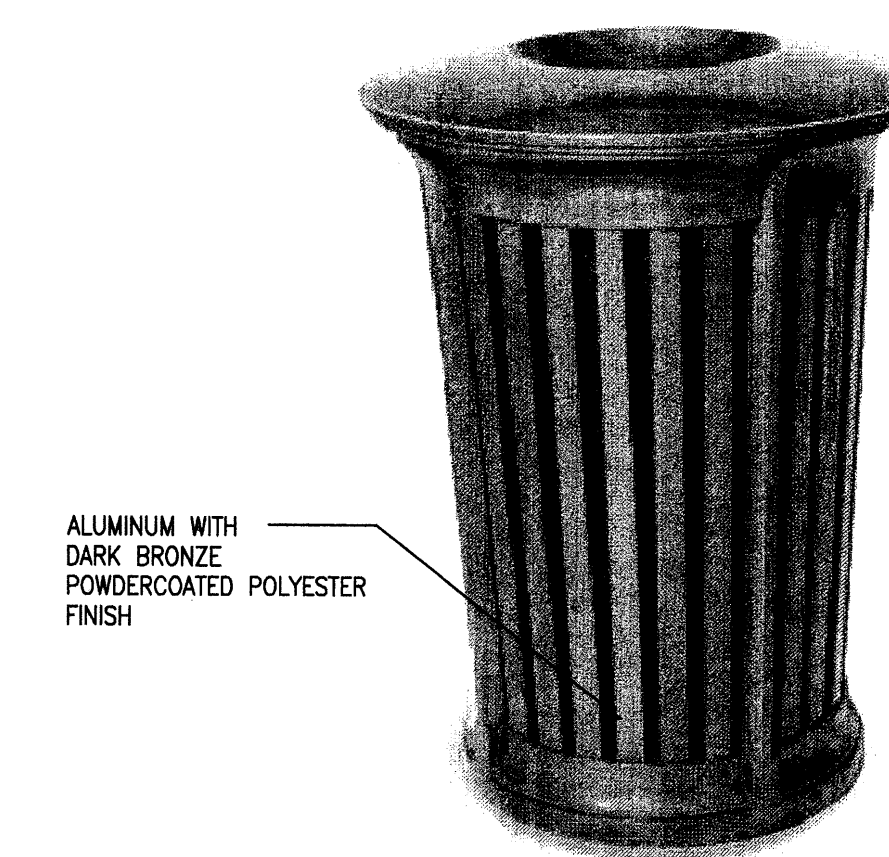
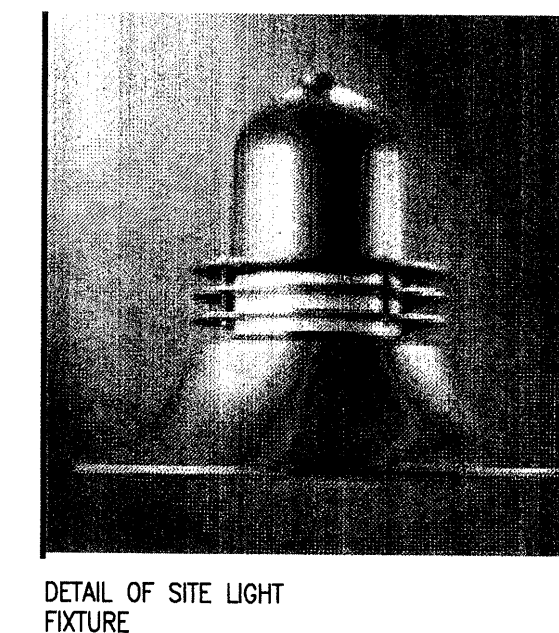
4 Pole Sign Detail  
Scale: 1/4" = 1'-0"



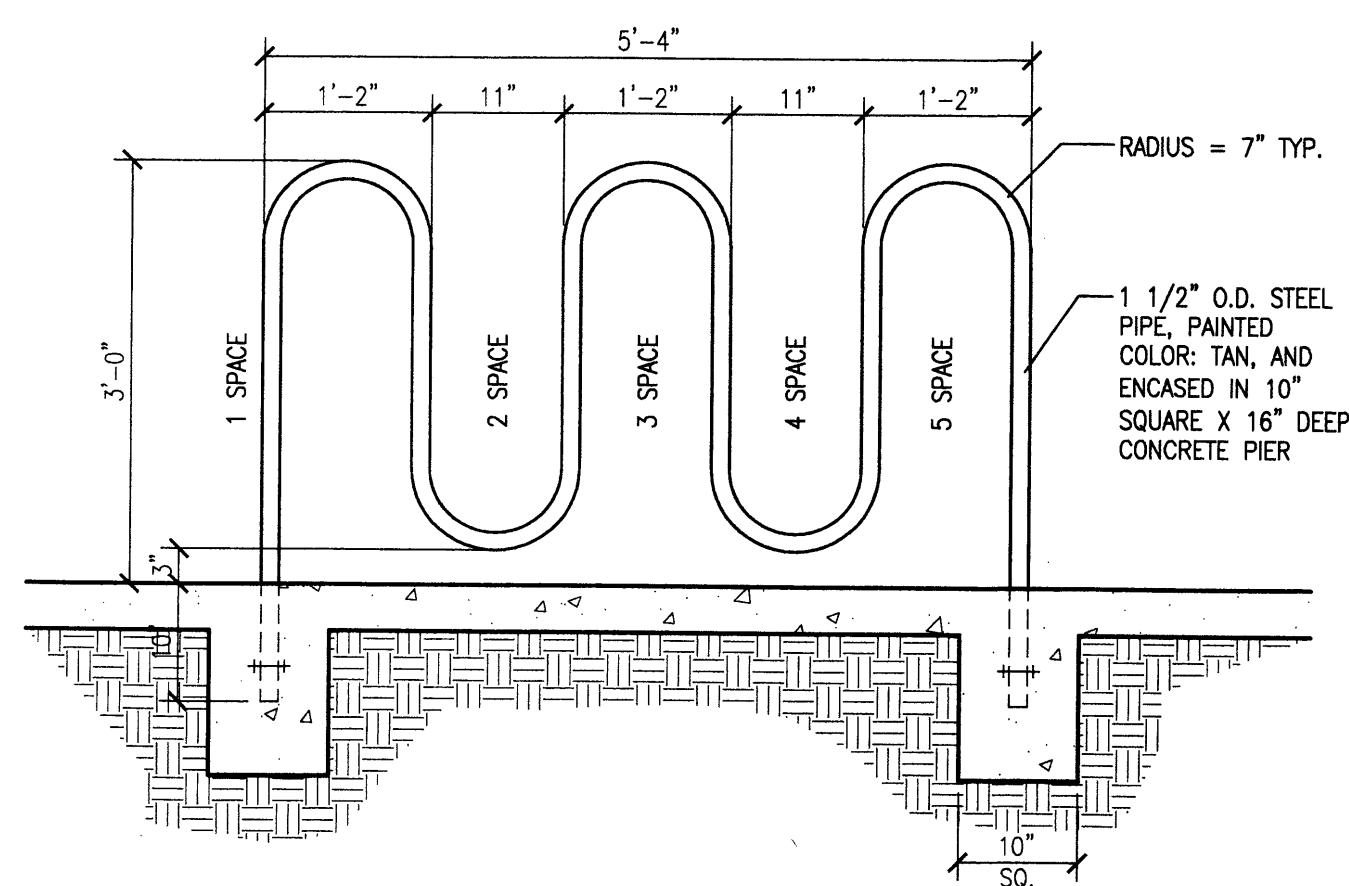
5 Light Bollard Detail  
Scale: Not to Scale



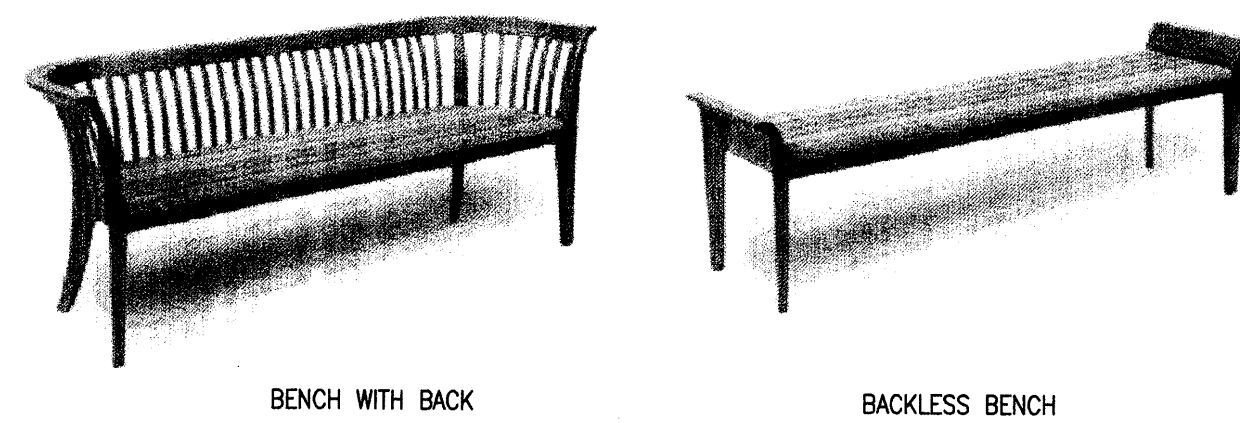
6 Site Lighting Elevation  
Scale: Not to Scale



7 Typical Site Litter/Recycling Receptacle  
Scale: Not to Scale



8 Typical Bicycle Rack Detail  
Scale: 3/4" = 1'-0"



9 Bench Detail - 6' Long (min.)  
Scale: Not to Scale

SECTION 14-16-3-18 (C)(3) - FACADES GREATER THAN 100 FEET IN LENGTH:  
1 SEAT PER 25 LINEAR FEET OF BUILDING FACADE.

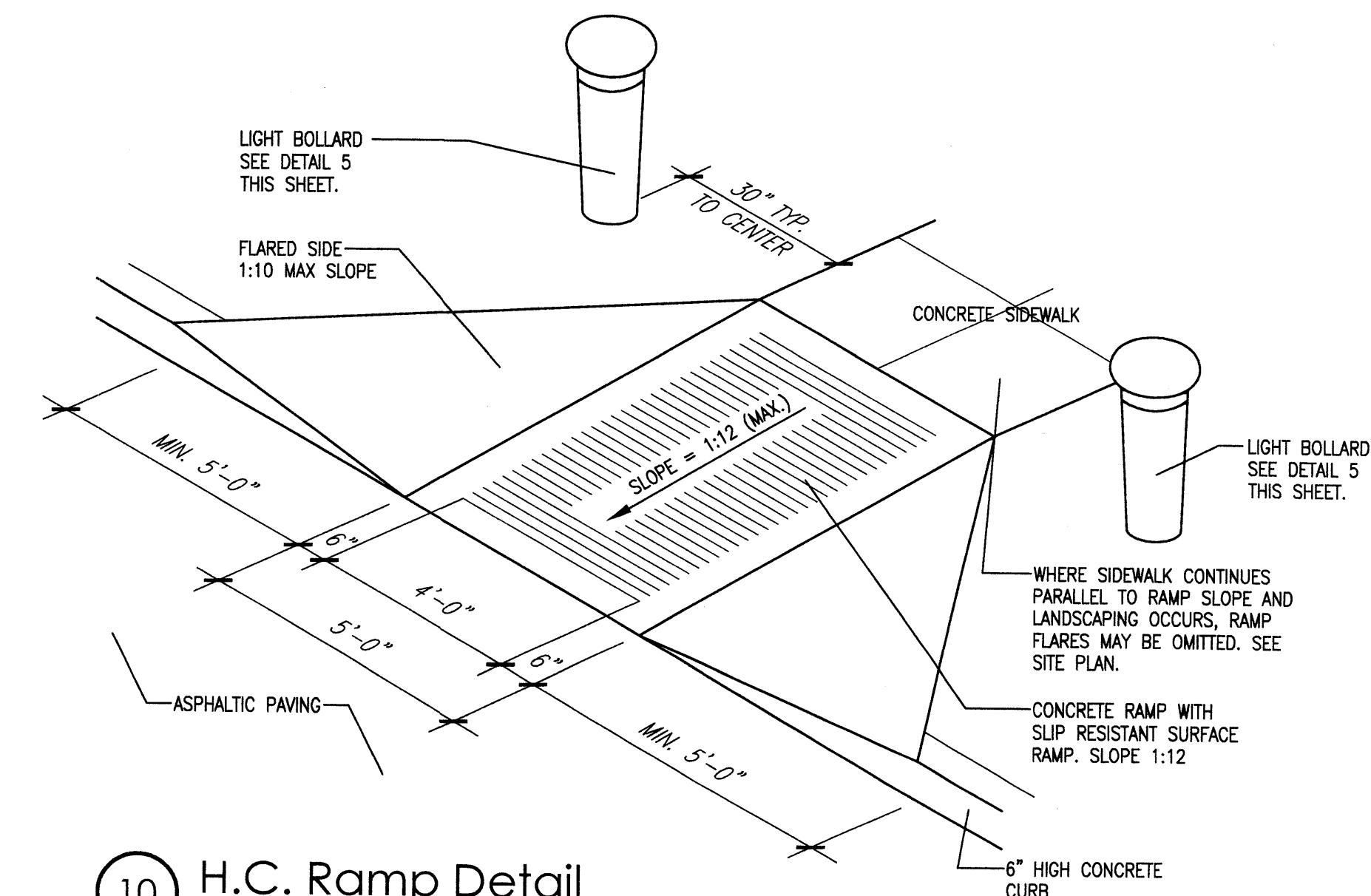
**BUILDING C**  
137'-6" OF BUILDING FACADE / 25 = 6 SEATS REQUIRED  
(EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.)

TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED  
(SEE SHEET 1)

**BUILDING A, B, 1 AND 3**  
NOT APPLICABLE

**BUILDING 2**

BENCH REQUIREMENTS FOR BUILDING 2 WILL BE DETERMINED UNDER DRB.



10 H.C. Ramp Detail  
Scale: Not to Scale (Isometric)

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Site Development Details