

PROPERTY LINE RADIUS INFORMATION:

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	22.87'	841.50'	1°33'26"	N 49°34'05" W	22.87'
C2	51.32'	841.50'	3°29'39"	N 47°02'32" W	51.31'
C3	192.35'	841.50'	13°05'49"	N 43°47'57" W	191.94'
C4	118.16'	841.50'	8°02'43"	N 41°16'21" W	118.06'

SITE DEVELOPMENT PLAN FOR SUBDIVISION  
THE SITE IS APPROXIMATELY 3.37 ACRES AND IS LOCATED ALONG CENTRAL AVENUE BETWEEN LAGUNA BLVD. SW AND SAN PASQUALE AVENUE SW.

**PROPOSED LEGAL DESCRIPTION:**  
LOTS 1 THRU 5 OF COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**LAND AREA:**  
3.37 ACRES (146,968 SQ. FT.)

**ZONE ATLAS MAP:**  
J-13-Z

**CURRENT ZONING:**  
THE CURRENT ZONING FOR LOTS 1 THRU 5 IS: SU-2 FOR CLD.

THE CURRENT ZONING FOR TRACT A-1-A PROPERTY IS: R-1.

**APPLICABLE PLANS:**  
HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN.  
CENTRAL AVENUE STREETSCAPE URBAN MASTERPLAN.

**PROPOSED DESIGN STANDARDS:**  
THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
**VEHICULAR ACCESS AND CIRCULATION**  
THE MAIN ACCESS POINT INTO THE SITE IS FROM TWO NEW CURB CUTS OFF OF CENTRAL AVENUE. A SECONDARY ACCESS POINT TO THE SITE IS FROM LAGUNA BOULEVARD. BOTH OF THE MAIN ACCESS POINTS ARE FULL ACCESS.

RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.

AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC): REQUIRED PARKING SHALL BE CONSISTENT WITH THE C-1 ZONE PARKING REQUIREMENTS.

**PEDESTRIAN ACCESS AND CIRCULATION**  
PEDESTRIAN ACCESS IS PROVIDED OFF OF CENTRAL AVENUE. SIDEWALKS AND DESIGNATED CROSSWALKS CONNECT THE FRONTS OF ALL BUILDINGS THROUGH THE SITE.

**PROPOSED USES**  
**THE PROPOSED USES FOR LOT 1 ARE:**  
ALL USES PERMITTED IN THE CLD ZONE.

**THE PROPOSED USES FOR LOT 2 ARE:**  
ALL USES PERMITTED IN THE CLD ZONE.

**THE PROPOSED USES FOR LOT 3 ARE:**  
ALL USES PERMITTED IN THE CLD ZONE. THE MAXIMUM TOTAL DWELLING UNITS IS: 25 UNITS

**THE PROPOSED USES FOR LOT 4 ARE:**  
ALL USES PERMITTED IN THE CLD ZONE.

**THE PROPOSED USES FOR LOT 5 ARE:**  
ALL USES PERMITTED IN THE CLD ZONE.

**THE PROPOSED USES FOR TRACT A-1-A ARE:**  
ALL USES PERMITTED IN THE R-1 ZONE.

**BUILDING HEIGHT AND SETBACKS**  
SEE THE DESIGN STANDARDS AS PART OF THIS SUBMITTAL.

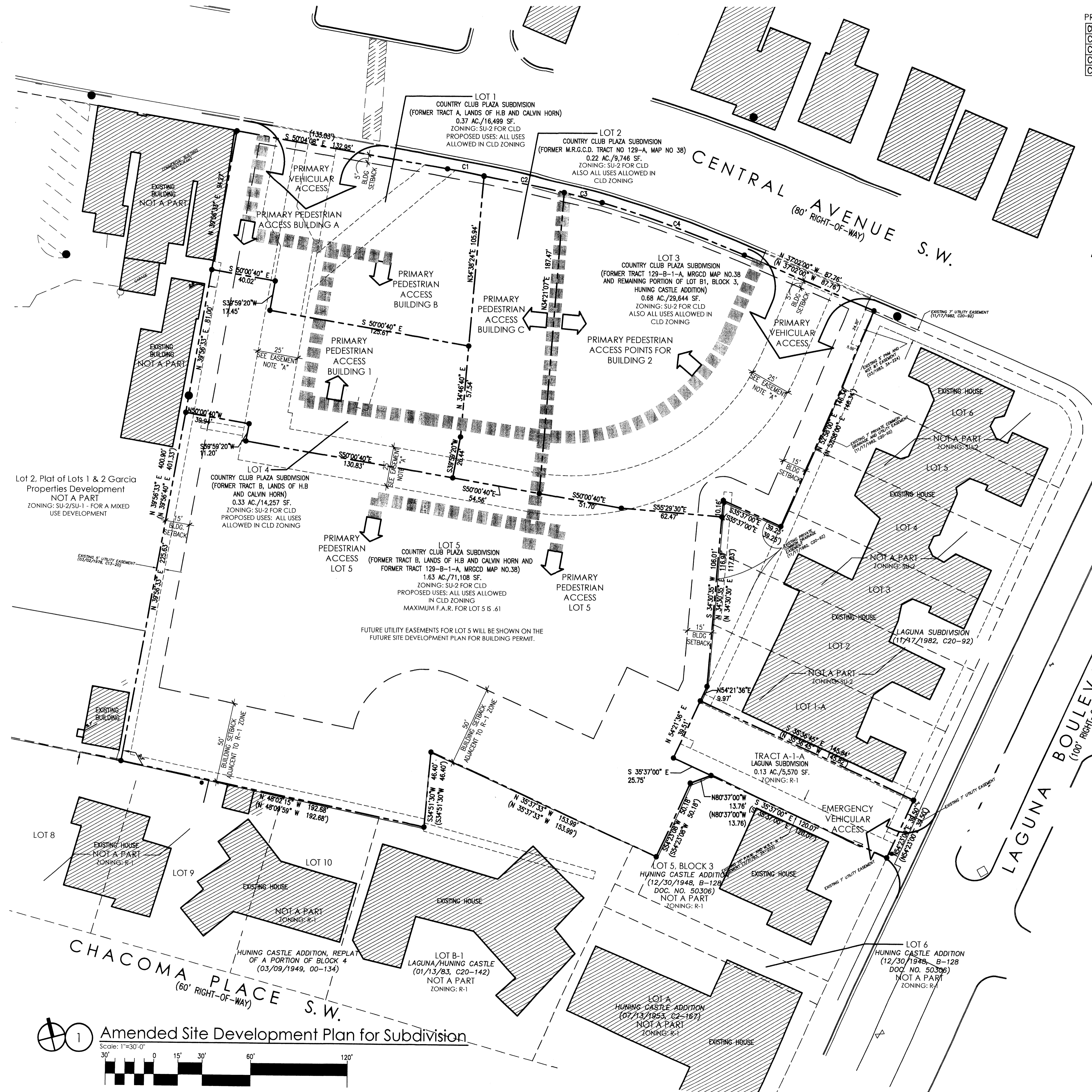
**MAXIMUM TOTAL DWELLING UNITS**  
A MAXIMUM OF 69 UNITS WILL BE ALLOWED FOR THIS DEVELOPMENT (LOTS 1-5).

**FLOOR AREA RATIO**  
THE MAXIMUM F.A.R. FOR RESIDENTIAL USES IS .61 AS STATED IN THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN. CONSISTENT WITH THE SECTOR DEVELOPMENT PLAN AND THE PREVIOUS SUBMITTAL, THERE IS NO MAXIMUM F.A.R. FOR COMMERCIAL USES.

**LANDSCAPE PLAN**  
THE LANDSCAPING FOR THIS SITE IS PART OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND IS SUBJECT TO THE DESIGN STANDARDS.

**EASEMENT NOTE "A"**  
25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

PROJECT NUMBER: 1004677	APPLICATION NUMBER: 13EPC-40140
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: October 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:</b>	
<i>[Signature]</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	12-18-13 Date
<i>[Signature]</i> UTILITIES DEVELOPMENT	12/18/13 Date
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	12-18-13 Date
<i>[Signature]</i> CITY ENGINEER	12-18-13 Date
N/A *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	N/A Date
N/A SOLID WASTE MANAGEMENT	N/A Date
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	12-18-13 Date



Amended Site Development Plan for Subdivision  
Scale: 1"=30'-0"  
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by  
date  
rev

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12-11  
S.J. MWS, AIA  
Doug Heller, AIA  
09/26/2013

1004677

Country Club Plaza SWC of Central Avenue and Laguna Boulevard Albuquerque, New Mexico 87102

Amended Site Dev't Plan for Subdivision

1 of 2

# Country Club Plaza Design Standards

Central Avenue, SW, Albuquerque, New Mexico

## Introduction

The following Design Standards apply to the renovation of the three existing buildings on Lot 1 & 2, and to the future building on Lot 3 of Country Club Plaza development to be built on the 1700 block of Central Avenue S.W. on lands between Laguna Blvd. SW and San Posquale Avenue SW.

Procedurally, this project shall submit a Site Development Plan for Building Permit which will be reviewed by the City of Albuquerque Planning Department's Development Review Board (DRB). The intent of these Design Standards is to provide guidance for the DRB when reviewing future development.

Additionally, the regulations and standards in the City of Albuquerque Zoning Code, the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan, and the Central Avenue Streetscape Urban Design Master Plan shall apply to all buildings.

## Design Theme/Land Use Concept: Project Background

The Country Club Plaza development infills a major hole in its neighborhood with a design theme of a small Route 66 neighborhood center. The project uses the walkable, urban scale of Old Town and is intended that there will be a uniform style throughout the development that relates to the existing context.

The land use concept proposes creation of a vibrant neighborhood center with a full menu of uses: retail, office, and residential. This mix of uses is arranged in a walkable, neighborhood-scaled area of shops, restaurants, offices, and residential uses. The site's proximity to the City's main mass transportation route will encourage ridership and reduce traffic, and the arrangement of building types will help protect residential areas to the south. Parking and vehicular circulation are arranged such that the existing buildings shield parking from the street and flows easily from the front of the site to the rear. Wide walks and landscape frame the parking areas to create a highly connective system of pedestrian circulation within the site and to the surrounding streets.

## A. Architectural Character and Architectural Design Elements

The building on Lot 3 of the Country Club Plaza development requires architectural design which respects and creatively blends with the image of the three renovated buildings on the site as well as the new buildings, which is the Route 66-inspired Moderne style and Mediterranean Revival Style. Generic, franchise architecture is prohibited.

The General Building and Site Design Regulations for Non-Residential Uses (14-16-3-18) as found in the City of Albuquerque Comprehensive Zoning Code will apply to all development.

## Mediterranean Revival Style

The Mediterranean Revival style are low sloping primary roofs, typically covered by ceramic tiles; though flat roofs may be used. Walls are typically stucco with a thick and solid appearance, and arches in main-floor windows, doors and arcades. Houses inspired by the Mediterranean Revival style will have a generous roof overhangs with closed soffits and supporting brackets. Façade compositions are usually asymmetrical with well-defined projecting forms, enhancing the play of light and shadow. Entry porches are often recessed. Classical details are applied to window and door surrounds, columns, and pediments.

## Moderne Style

The Moderne style originates with the earliest and purist modernism, which was then tempered by the stylistic Art Deco movement. The movements focus on the machine age and streamlined design. Many examples are found on Central Ave., or Route 66, which co-opted the style to express American's passion with car travel.

Principal characteristics of the Moderne style include simple massing, stepped massing at towers and/or parapets, vertical or horizontal flow lines and zigzag patterns, rounded corners or windows, cantilevered awnings and pylons, and flat roofs. Facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details. Entry elements are often the prominent architectural feature on the building.

## Massing

A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three walls. Massing for this building shall be well proportioned and consistent with the architectural character of the renovated buildings' style. Particular consideration shall be taken to preserve natural view corridors at the site, as well as terminating major vistas within the site.

Interpretations of the Moderne style include: asymmetry, horizontally proportioned, corner towers (round, square, or octagonal stepped form), and signage incorporated building signage into its massing. Entry elements are often the prominent architectural feature on the building.

Interpretations of the Mediterranean Revival style include: asymmetry, typically multiple stories, well-defined, projecting forms, and recessed entries, balconies, and windows.

## Roofs

Main roofs of structures in the Moderne style shall follow these standards: flat roofs with parapets that are simple, stepped or streamlined, and may incorporate stylized building signage into its parapet or roof form.

Mediterranean Revival- inspired roofs use low to moderate hip or gable roofs (5:12 to 9:12), dormers are not generally used and eaves are boxed with closed soffits with exposed rafter extensions.

## Windows & Doors

Windows and doors of Moderne structures shall follow these standards: facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings compliment and accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details, and incorporate large expanses of glass, metal window and metal storefront frames, especially at public access. Glass block may be used as accents.

Windows and doors of Mediterranean Revival structures will follow these standards: windows and doors are deeply recessed to give the appearance of thick walls, casement windows are typically used, often with divided lights, but double-hung and awning windows are also possible, round-top arched windows and doors are typically used on lower floors, and all windows and doors are classically detailed.

## Shading & Entries

Shading and entries of Moderne structures shall follow these standards: typically have awnings or canopies at openings. One may incorporate a tower or stylized mass of overhand at entries. Balconies may also provide shading.

Shading and entries of Mediterranean Revival structures shall follow these standards: typically do not incorporate front porches, but side and rear covered porches, generally use front doors with embellished surrounds and/or are recessed, and designs will usually incorporate side and rear outdoor rooms and courtyards.

## Building Details

Moderne building details shall follow these standards: details may include wall relief moldings, pilasters, articulated bases to walls, and detailed parapets. Other detailing would include the shading devices mentioned above placed at openings and entryways or used to distinguish volume or massing elements. Designs may incorporate stylized elements of signage or lighting into their detailing.

Mediterranean Revival-inspired detailing and ornament shall appear primarily at openings.

## Building Materials & Colors

Building materials and colors for buildings on Lots 1 thru 5 of the Country Club Plaza development shall be consistent with the architectural character of the three renovated buildings on the site. Quality materials, architectural features, and craftsmanship shall be employed in the execution of each building. Building material approved, but not limited to, shall include stucco, brick, stone (laid horizontally in load-bearing fashion), concrete, split-faced concrete masonry unit, glass, glass block, ceramic tile, decorative tile, clay tile, wood, colored metal panels, and neon (lighting).

Generous amounts of exposed metals and glass may be incorporated into the wall design, or on awnings, canopies, and towers. Designs may incorporate stylized elements of metal signage or lighting. Colors include cream, off-white, or warm earth-toned saturated color for walls, and saturated colors for accents.

## B. Building Density and Height

### Building Density

Floor Area Ratio (F.A.R.) is the ratio of the heated gross floor area of structures to the total premises. It is measured from outside surface of outside walls, including multiple stories, in square feet. The maximum F.A.R. for Lots 1 thru 5 and Tract A-1-A is .61 for residential uses, as stated in the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan. Consistent with the Sector Development Plan and the previous submittal, there is no maximum F.A.R. for commercial uses.

### Building Heights

Maximum building height for buildings on Lots 1 thru 5 shall be 46', per the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan.

### Building Setbacks

Setbacks apply to the exterior edges of the Property (Lots 1-5). The front of lot is at the northern edge facing Central Ave.

Front yard setback: 5'  
Sideyard setback: 15' min, except 0' at internal lot lines and on Lot 5 where the setback shall be 50' min, where abutting R-1 zone  
Rear yard setback: 0', except on Lot 5 where the setback shall be 50' min, where abutting R-1 zone

## C. Landscaping

Landscaping for this development shall comply with the Landscape Regulations (14-16-3-10) in the City of Albuquerque Comprehensive Zoning Code, and the City of Albuquerque requirements in the Water Conservation Landscaping and Water Waste Ordinance, and the Pollen Ordinance. Future landscaping in conjunction with the development of the building on Lot 3 shall be in accordance with the Landscape Plan in the Site Development Plan for Building Permit submittal.

For residential uses Usable Open Space shall be provided as required in the R-2 Residential Zone (14-16-2-11) in the City of Albuquerque Comprehensive Zoning Code.

## D. Walls and Fences

Walls and fences shall be compatible with the nearby buildings and architectural themes in terms of color, materials and style. To that end, all perimeter walls shall be concrete masonry unit (CMU) with stucco finish, pier (CMU w/stone or stucco) with wood or metal fence infill, or metal fence. Chain link and/or barbed wire/razor wire are prohibited. Walls and fences shall conform with the City of Albuquerque Comprehensive Zoning Code General Height and Design Regulations for Walls, Fences and Retaining Walls (14-16-3-19).

## E. Site Lighting

Site lighting shall conform with the City of Albuquerque Comprehensive Zoning Code Area Lighting Regulations (14-16-3-9).

Lighting design shall compliment the architectural styles, and not overwhelm them. Lighting shall be scaled appropriately to the purpose it is serving - taller heights for more coverage for safety such as parking lots, lower and concentrated for pedestrians. Walkways within the site shall be lit with pole fixtures, bollards, or lighting in the portales, downlighting, sconces, or pendants. Building-mounted lighting shall enhance the architecture of each building, and shall include sconces, shielded accent lights, and arm-mounted lights aimed towards projects' building walls.

Pedestrian scale lighting: 1.) Not higher than 4 feet at key pedestrian gathering areas. 2.) 16 feet maximum along internal streets measured from finished grade to the top of the pole.

Lighting shall be fully shielded and high-pressure sodium lighting and unshielded uplighting shall be prohibited.

Site lighting type, color, and materials shall compliment the character of the project and not contrast or stand out from the designs of the buildings. The lighting design shall enhance both the pedestrian scale and the automobile portions of the site.

## F. Signs & Signage

On-premise signage will comply with City of Albuquerque Comprehensive Zoning Code requirements for the C-1 zone as well as the General Sign Regulations (14-16-3-5), with the following exceptions:

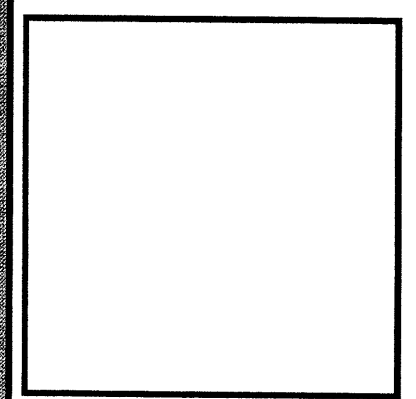
- Maximum height shall be 18 feet and maximum sign area shall be 100 square feet.
- Buildings on Lots 1 thru 4 shall be allowed one projecting sign each.
- The area of the total building-mounted signage shall be limited to 9% of the façade to which it is applied.
- There is no limit on the number of building-mounted signs except there shall be no signs facing the proposed residential development on Lot 5.
- All building mounted signage shall be individual illuminated channel letters.

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date	09/26/2013

project title  
**Country Club Plaza**  
SW of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102  
sheet title  
**Amended Site Dev't Plan for Subdivision Design Standards**