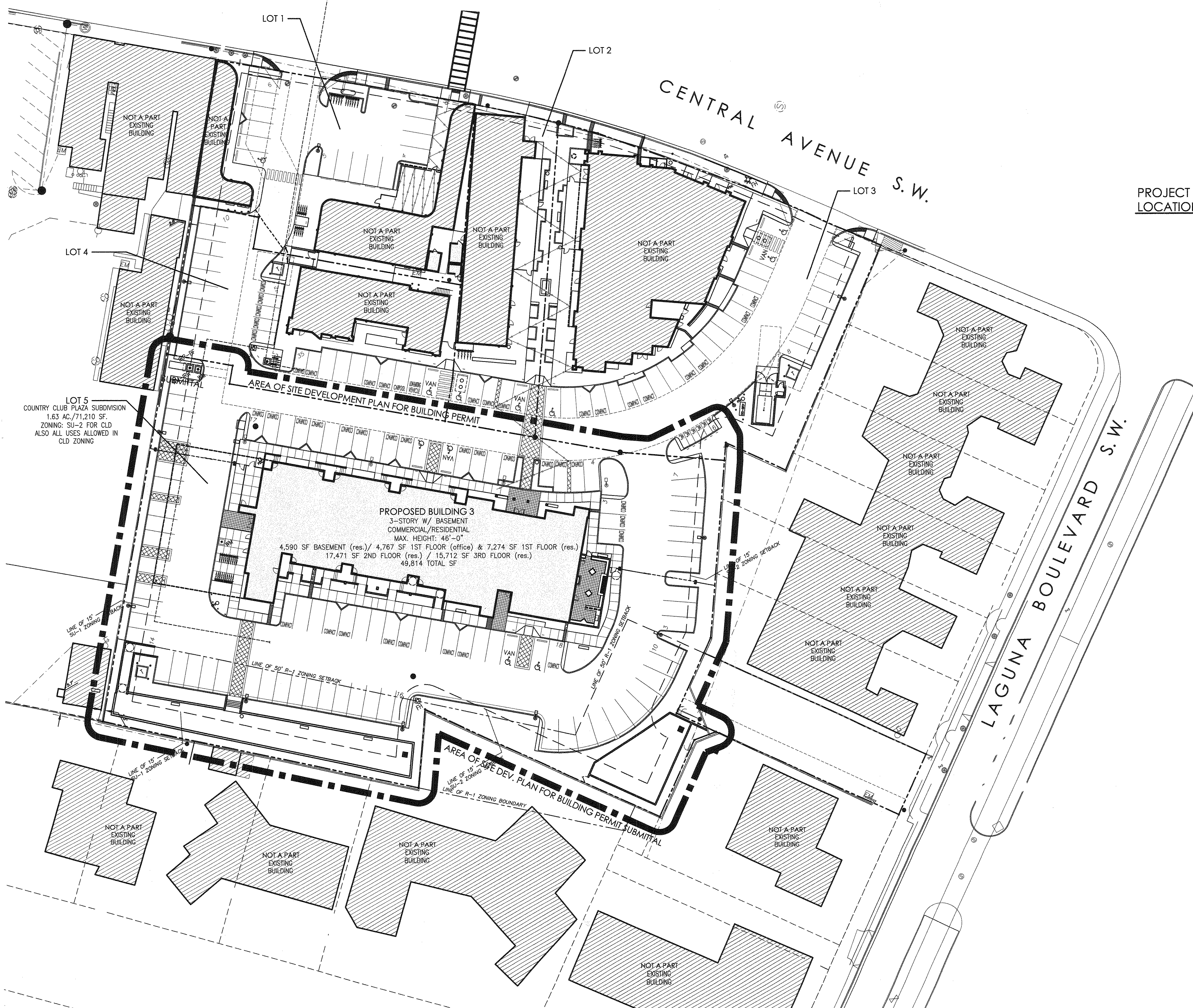


COUNTRY CLUB PLAZA

SWC of Central Avenue SW and Laguna Boulevard SW | Albuquerque New Mexico 87104

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB Submittal-Issued December 19, 2017



SUBMITTAL INFORMATION

THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SUBMITTAL IS FOR LOT 5 ONLY OF COUNTRY CLUB SUBDIVISION.

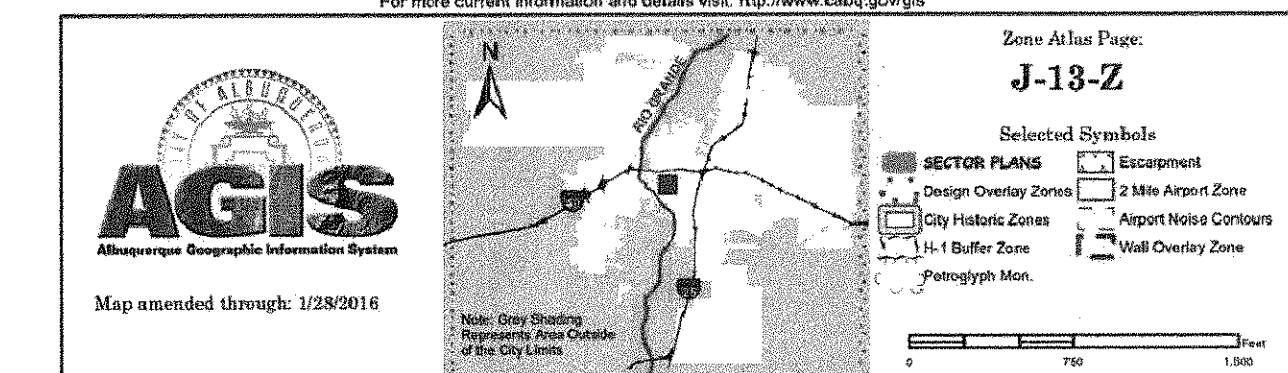
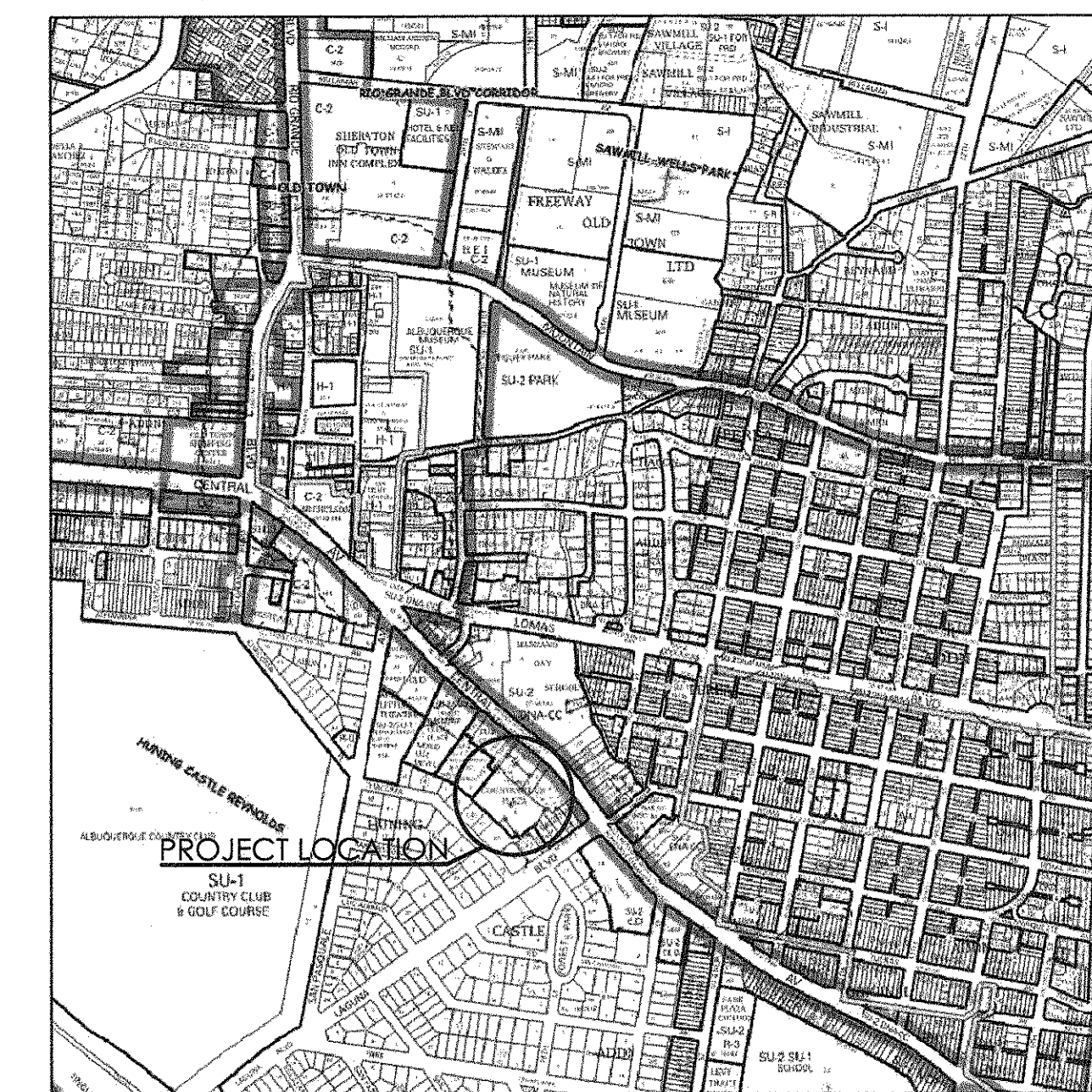
LOTS 1 THRU 4 OF COUNTRY CLUB SUBDIVISION AND TRACT A-1-A OF LAGUNA SUBDIVISION ARE TO REMAIN AS EXISTING.

VICINITY AERIAL MAP

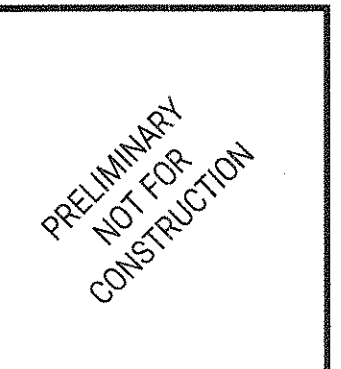
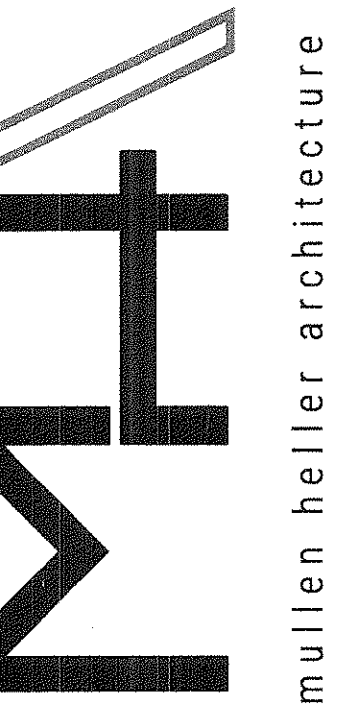


ZONE MAP

J-13-Z



DESCRIPTION	BY	DATE	REV
DRB COMMENTS	SEJ	1-17-2018	1
DRB SUBMITTAL	SEJ	12-19-2017	2
EPC UPDATES PER AGENCY COMMENTS	SEJ	8-2-2017	3



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE. D
ALBUQUERQUE, NM | 87109
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JOB NUMBER	15-06
DRAWN BY	SEJ
PROJECT MGR	MMM
DATE	12-19-2017
PHASE	DRB Submittal

PROJECT
Country Club Plaza
SWC of Central Avenue and Laguna Blvd SW
Albuquerque, NM 87104

TITLE
DRB Submittal Cover Sheet

USABLE OPEN SPACE CALCULATIONS:
 PER THE HUNING CASTLE & RAYNOLDS ADDITION
 SECTOR DEVELOPMENT PLAN, SECTION CLD, PART 7,
 USABLE OPEN SPACE REQUIREMENTS SHALL BE AS
 PROVIDED IN THE R-2 ZONE IN THE COMP. CITY
 ZONING CODE.
 REQUIREMENT: 400SF OF USABLE OPEN SPACE PER
 EFFICIENCY/1 BEDROOM DWELLING UNIT

58% EFFICIENCY/1 BEDROOM UNITS ON LOT 5 = 23,200 SF
 LOT 5 LANDSCAPED AREA = 16,070 SF
 LOT 5 USABLE OPEN SPACE:
 WALKWAYS = 6,140 SF
 COMMUNITY PATIO = 700 SF
 BALCONIES = 2,320 SF
 2ND LEVEL ROOF PATIO = 1,574 SF
 TOTAL LOT 5 USABLE OPEN SPACE = 26,804 SF

NOT A PART
 EXISTING
 BUILDING A
 1-STORY (comm.)
 1,467 TOTAL SF

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.
- [B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS.
- [C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB. ANY AREA NOT DIMENSIONED IS EXISTING TO REMAIN.
- [D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC., WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [F] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS.
- [G] FUTURE BUILDING MOUNTED SIGNAGE IN ADDITION TO THOSE SHOWN ON THE EXTERIOR ELEVATIONS SHALL BE SUBMITTED AND APPROVED VIA ADMINISTRATIVE AMENDMENT. FUTURE SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION AND ALL APPLICABLE ZONING AND SECTOR DEVELOPMENT PLAN REQUIREMENTS.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.
- [E] PROPOSED SITE LIGHTING SHALL MATCH THE EXISTING ON-SITE.

RADIUS INFORMATION:
 NOTE: RADIIUSES NOT NOTED ARE EXISTING TO REMAIN.
 ① = 2'-0" ⑤ = 10'-0" ⑨ = 30'-0"
 ② = 3'-0" ⑥ = 15'-0" ⑩ = 35'-0"
 ③ = 4'-0" ⑦ = 20'-0" ⑪ = 40'-0"
 ④ = 5'-0" ⑧ = 25'-0" ⑫ = 46'-0"

PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE

PARKING CALCULATIONS:	Weekdays			Weekends		
	midnight to 7am	7am to 5pm	5pm to midnight	midnight to 7am	7am to 5pm	5pm to midnight
Office	0%	100%	100%	0%	10%	0%
Restaurants	0%	60%	100%	0%	60%	100%
Retail	0%	60%	50%	0%	100%	100%
Residential	100%	20%	100%	100%	60%	100%

Land Use	Area/Number of Units	Parking Requirements			Required parking**		
		Office	Residential	Other	Office	Residential	Other
Office - First Floor (Bldg 1)	2995	200	12	0	14,400	13	
Office - Second Floor (Bldg 1)	2939	200	12	0	9,810	13	
Office - First Floor (Bldg 2)	4707	200	12	0	23,840	24	
Restaurants (Bldg 2)	3600	43	11	0	8010	13	
Retail (Bldg 2)	2,537	200	12	0	12,495	13	
Residential (Bldg 2)	23	1	1	1	23	23	
Residential (Bldg 3)	58	1	1	1	58	58	

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 5pm	5pm to midnight	midnight to 7am	7am to 5pm	5pm to midnight
Office	0	47	2	0	5	0
Restaurants	0	64	85	0	48	80
Retail	0	10	0	0	13	0
Residential	91	14	81	81	65	81

Total Number of Spaces: 81 140 170 81 131 140
 Required per lot (see table)

**Required parking for residential units is calculated by assuming for a 6,000 facility, 50% is occupied (3,000) divided by 150 occupants (200 occupants). Required parking for a full-service liquor establishment is 1 space/occupant (80).
 ***Required parking for residential units is 1.5 spaces/occupant.
 ****Parking buildings A, B, & C were built before 1985 therefore, parking is not required and this site is not applicable to this table.
 *****Per COAZC Section 16-1-3-1, Part E3, fractional amounts are rounded up to the next whole number.
 Peak Parking Requirement: 170 spaces

PARKING CALCULATIONS:
 SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES THE FUTURE TENANT USES OF THE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT), ONCE THE USES ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATE THE PARKING CALCULATIONS.
 BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 170.

EXISTING BUILDINGS:
 NO PARKING IS REQUIRED FOR EXISTING BUILDINGS ON LOT 1 AND LOT 2 PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1). OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.
TRANSIT REDUCTIONS:
 170 SPACES REQ'D x 10% REDUCTION = (PROXIMITY TO BUS ROUTE 766, 66, & A.R.T.)
 170 x 10% = 153 TOTAL SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED: = 153 SPACES
TOTAL PARKING SPACES PROVIDED: = 165 SPACES
 114 REGULAR SPACES
 9 HANDICAP PARKING SPACES
 42 COMPACT SPACES
COMPACT PARKING CALCULATION:
 165 SPACES x 33% = 55 SPACES ALLOWED
 TOTAL COMPACT SPACES = 42 SPACES PROVIDED
DISABLED PARKING REQUIREMENTS:
 165 SPACES x 33% = 55 SPACES ALLOWED
 TOTAL DISABLED SPACES PROVIDED = 9 SPACES
MOTORCYCLE REQUIREMENTS:
 TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES
 TOTAL MOTORCYCLE SPACES PROVIDED = 6 SPACES
RESIDENTIAL BICYCLE REQUIREMENTS:
 1 BICYCLE SPACE PER 2 DWELLING UNITS = 81 DWELLING UNITS/2 = 41 TOTAL SPACES REQUIRED
COMMERCIAL BICYCLE REQUIREMENTS:
 1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 165 PARKING SPACES/20 = 9 TOTAL SPACES REQUIRED
TOTAL BICYCLE SPACES REQUIRED: = 50 SPACES
TOTAL BICYCLE SPACES PROVIDED: = 55 SPACES

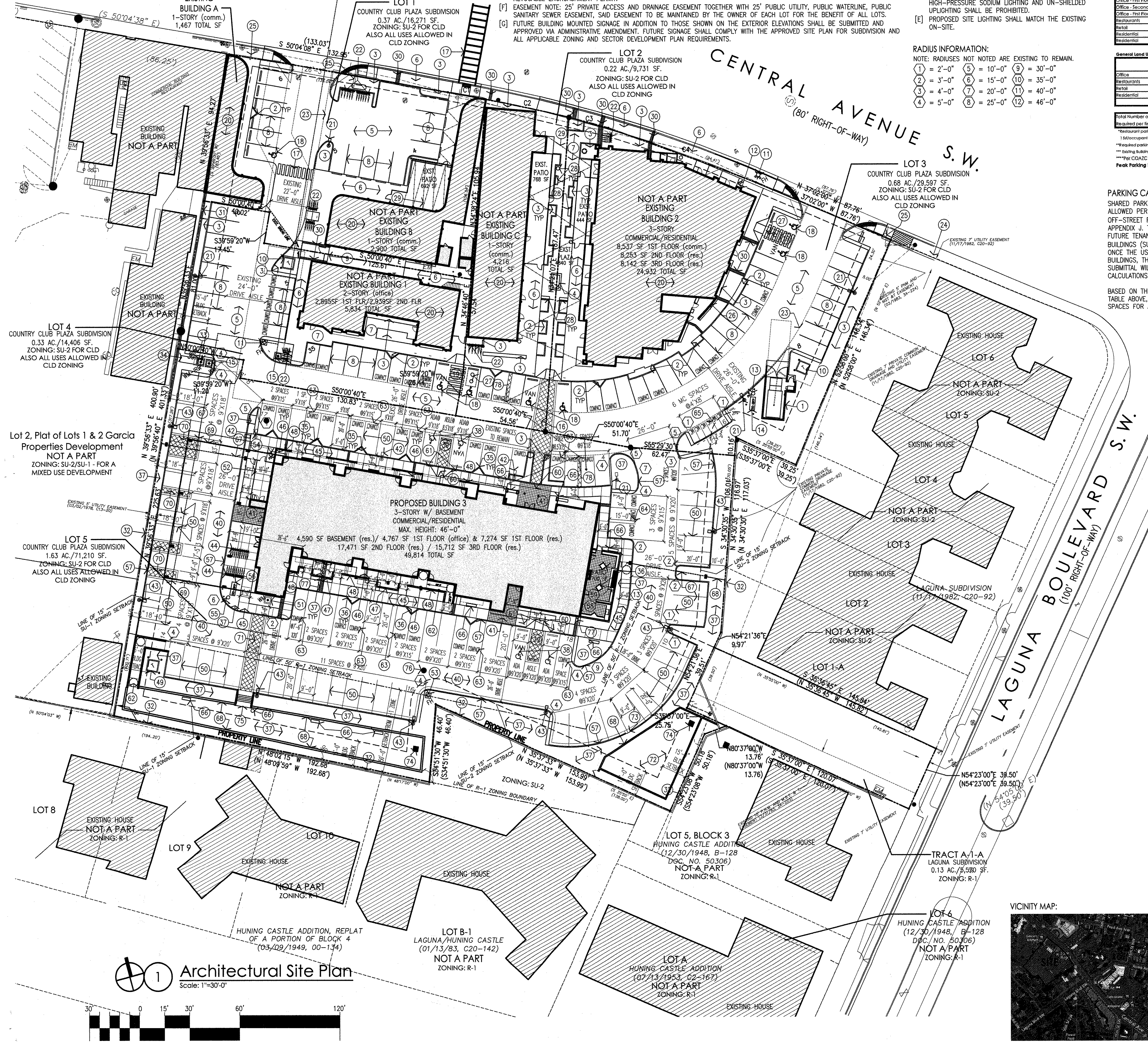
SITE DEVELOPMENT DATA:

PROPOSED SITE DEVELOPMENT PLAN INFORMATION:
 THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS FOR LOT 5 ONLY OF COUNTRY CLUB SUBDIVISION, LOTS 1 THRU 4 OF COUNTRY CLUB SUBDIVISION AND TRACT A-1-A OF LAGUNA SUBDIVISION ARE TO REMAIN AS EXISTING.
 PROPOSED LEGAL DESCRIPTION:
 LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 BUILDING ADDRESSES:
 BLDG. A AND B (EXISTING): 1720 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.
 BLDG. C (EXISTING): 1710 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.
 BLDG. 1 (EXISTING): 1718 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.
 BLDG. 2 (EXISTING): 1720 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.
 BLDG. 3 (PROPOSED): 1716 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.
 LAND AREA:
 3.37 ACRES (146,975 SQ. FT. - TOTAL DEVELOPMENT)
 1.63 ACRES (71,003 SQ. FT. - PROPOSED DEVELOPMENT) (LOT 5 ONLY)
 CURRENT ZONING:
 SU-2 (OLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.
 R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.
 ZONE ATLAS PAGE:
 U-13-2
 BUILDING AREAS:
 EXISTING BUILDING A 1,467 SF
 EXISTING BUILDING B 2,900 SF
 EXISTING BUILDING C 4,216 SF
 EXISTING BUILDING 1 5,834 SF TOTAL
 EXISTING BUILDING 2 24,932 SF TOTAL
 PROPOSED BUILDING 3 49,814 SF TOTAL
 TOTAL BUILDING AREA = 89,163 SF
 TOTAL EXISTING RESIDENTIAL UNITS: 23 TOTAL UNITS
 TOTAL PROPOSED RESIDENTIAL UNITS: 58 TOTAL UNITS
 TOTAL RESIDENTIAL UNITS ON SITE: 81 TOTAL UNITS
 RESIDENTIAL F.A.R.:
 TAKEN FOR THE ENTIRE SITE GIVEN ONE OWNER.
 MAX. ALLOWABLE RESIDENTIAL F.A.R. = .61
 146,975 SF x .61 = 89,654.75 ALLOWABLE RESIDENTIAL F.A.R.
 SUMMARY OF SITE-WIDE RESIDENTIAL SF:
 BUILDING 2 (2ND FLOOR): 8,253 SF
 BUILDING 2 (3RD FLOOR): 8,142 SF
 BUILDING 3 (BASEMENT): 4,590 SF
 BUILDING 3 (1ST FLOOR): 7,274 SF
 BUILDING 3 (2ND FLOOR): 17,471 SF
 BUILDING 3 (3RD FLOOR): 15,712 SF
 TOTAL RESIDENTIAL SF: 61,442 SF

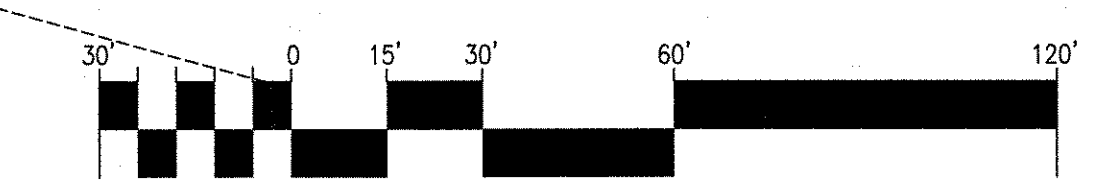
- KEYED NOTES: (continued)
- [57] PROPOSED CONCRETE CURB & GUTTER. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
 - [58] PROPOSED GRANITE PAVEMENT WITH 7'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
 - [59] PROPOSED WATER/FIREPLACE/LANDSCAPING FEATURE. SEE LANDSCAPING.
 - [60] PROPOSED HANDICAP PAVED CURB. SEE DETAIL SHEET 8.
 - [61] PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL SHEET 8. "N/A" WHERE NOTED.
 - [62] PROPOSED CONCRETE RAMP AT 1:12 SLOPE MAX. WITH PAINTED STEEL HANDRAILS ON BOTH SIDES.
 - [63] PROPOSED COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
 - [64] PROPOSED COMPACT PARKING SPACES 7'-6"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
 - [65] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
 - [66] PROPOSED SITE FURNITURE.
 - [67] PROPOSED AUTOMATED GATE WITH FIRE DEPARTMENT KNOX BOX AND PEDESTRIAN GATE.
 - [68] PROPOSED RETAINING WALL.
 - [69] PROPOSED BUILDING OVERHANG ABOVE WITH REQUIRED 13'-6" HEIGHT CLEARANCE FOR FIRE APPARATUS.
 - [70] PAINTED ACCESS AISLE STRIPING.
 - [71] PROPOSED STAMPED COLORED CONCRETE CONNECTION TO MATCH EXISTING.
 - [72] RETAINAGE POND AREA. REFER TO CONCEPTUAL G&D PLAN.
 - [73] 3'-0" WIDE LEAVE-OUT IN CURB. REFER TO CONCEPTUAL G&D PLAN.
 - [74] PROPOSED AREA DRAIN. REFER TO CONCEPTUAL G&D PLAN.
 - [75] PROPOSED CONCRETE STAR WITH HANDRAILS.
 - [76] NEW MANHOLE. REFER TO CONCEPTUAL G&D PLAN.
 - [77] NEW SIDEWALK CULVERT.
 - [78] NEW STEEL POLE UP TO 14'-0" AFF FOR STRING LIGHT EXTENSION.

- KEYED NOTES:
- [1] EXISTING CMU REFUSE ENCLOSURE WITH RECYCLING STATION TO REMAIN.
 - [2] EXISTING TREE WELL TO REMAIN.
 - [3] EXISTING LANDSCAPING TO REMAIN.
 - [4] EXISTING WATER/FIREPLACE/LANDSCAPING FEATURE WITH BENCH SEATING TO REMAIN.
 - [5] EXISTING ASPHALT PAVED DRIVE AISLE, WIDTH AS DIMENSIONED, TO REMAIN.
 - [6] EXISTING CONCRETE SIDEWALK TO REMAIN.
 - [7] EXISTING GRANITE PAVEMENT TO REMAIN.
 - [8] EXISTING PARKING AND PAINTED STRIPING TO REMAIN.
 - [9] EXISTING CRUSHER FINE WALKWAY TO REMAIN.
 - [10] EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
 - [11] EXISTING FIRE HYDRANT TO REMAIN.
 - [12] EXISTING FIRE DEPARTMENT FDC.
 - [13] EXISTING FIRE DEPARTMENT PIV.
 - [14] EXISTING BACKFLOW PREVENTER.
 - [15] EXISTING WATER METER TO REMAIN.
 - [16] EXISTING PAINTED STRIPED PEDESTRIAN CONNECTION.
 - [17] EXISTING CROSS WALK STRIPING TO REMAIN.
 - [18] EXISTING HANDICAP PAINTED PAVEMENT SIGN TO REMAIN.
 - [19] EXISTING PAINTED STRIPED HANDICAP AISLE TO REMAIN.
 - [20] EXISTING BUILDING TO REMAIN.
 - [21] EXISTING SITE LIGHTING TO REMAIN.
 - [22] EXISTING BIKE RACK TO REMAIN.
 - [23] EXISTING 20'-0" WATERLINE EASEMENT TO REMAIN.
 - [24] EXISTING BIKE STOP TO REMAIN.
 - [25] EXISTING POLE SIGN TO REMAIN.
 - [26] EXISTING STEEL & FIBERGLASS GRATING YARD WALL TO REMAIN.
 - [27] EXISTING GREASE INTERCEPTOR TO REMAIN.
 - [28] EXISTING SITE FURNITURE TO REMAIN.
 - [29] EXISTING OVERHEAD STRING LIGHTING TO REMAIN.
 - [30] EXISTING SIDEWALK CULVERT TO REMAIN.
 - [31] EXISTING HORIZONTAL WOOD SLAT FENCE TO REMAIN AT WEST PROPERTY LINE.
 - [32] EXISTING CMU WALL TO REMAIN.
 - [33] EXISTING IRRIGATION CONTROL VALVE BOX.
 - [34] EXISTING IRRIGATION BACKFLOW PREVENTER.
 - [35] PROPOSED RELOCATED TREE WELL. SEE LANDSCAPING.
 - [36] PROPOSED TREE WELL. TYPICAL. SEE LANDSCAPING.
 - [37] PROPOSED LANDSCAPING.
 - [38] PROPOSED HANDICAP PAVED PAVEMENT SIGN. SEE DETAIL SHEET 8.
 - [39] PROPOSED STAMPED COLORED CONCRETE HANDICAP AISLE. SEE DETAIL SHEET 8.
 - [40] PROPOSED ASPHALT PAVING.
 - [41] PROPOSED GRANITE PAVEMENT WALK TO MATCH EXISTING.
 - [42] PROPOSED RELOCATED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
 - [43] PROPOSED SITE LIGHTING TO MATCH EXISTING. HEIGHT TO BE 16'-0" MAX.
 - [44] PROPOSED BIKE RACK TO MATCH EXISTING.
 - [45] PROPOSED CONCRETE SIDEWALK. 6'-0" WIDE MINIMUM.
 - [46] PROPOSED RESIDENTIAL CONCRETE STAIRS (18" ABOVE FF) WITH CONCRETE STAIRS AND PAINTED STEEL HANDRAILS BOTH SIDES.
 - [47] PROPOSED 2'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
 - [48] PROPOSED 5'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
 - [49] PROPOSED ELECTRICAL TRANSFORMER WITH ELEVATED CONCRETE PAD AND LANDSCAPING SCREENING.
 - [50] PROPOSED PAINTED PARKING STRIPING.
 - [51] PROPOSED WATER METER.
 - [52] PROPOSED ELECTRICAL EQUIPMENT YARD.
 - [53] PROPOSED FIRE HYDRANT.
 - [54] PROPOSED REMOTE FIRE DEPARTMENT FDC WITH CONCRETE FILLED STEEL BOLLARDS.
 - [55] PROPOSED REMOTE FIRE DEPARTMENT PIV WITH CONCRETE FILLED STEEL BOLLARDS.
 - [56] PROPOSED BACKFLOW PREVENTER WITH CONCRETE FILLED STEEL BOLLARDS.

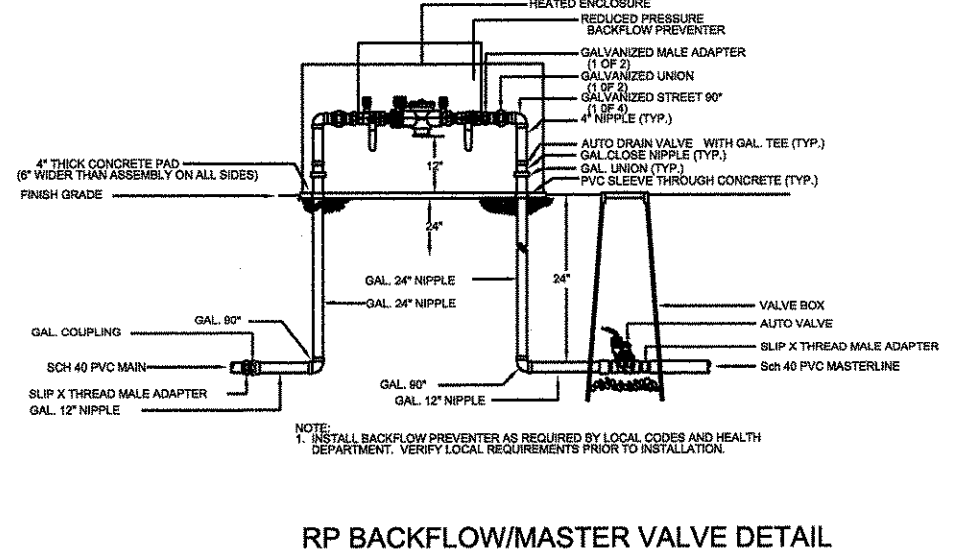
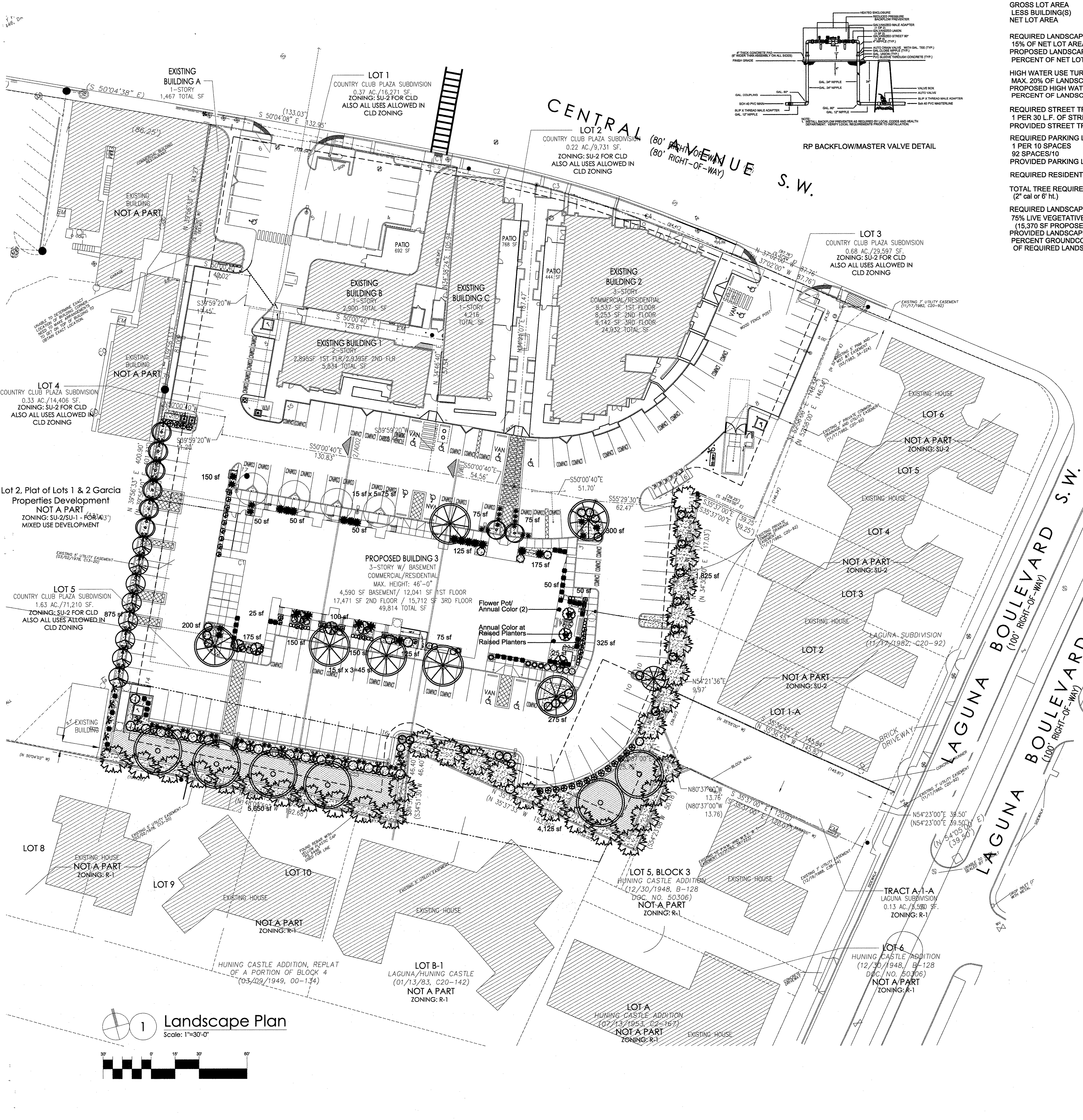
VICINITY MAP:



Architectural Site Plan
 Scale: 1"=30'-0"



PROJECT: Country Club Plaza SW of Central Avenue and Laguna Blvd SW Albuquerque, NM 87104
 TITLE: Site Development Plan for Building Permit
 SHEET: 2 of 8
 mullen heller architecture
 PRELIMINARY NOT FOR CONSTRUCTION
 JOB NUMBER: 15-06
 DRAWN BY: SEJ
 PROJECT MGR: MMM
 DATE: 12-19-2017
 PHASE: DRB Submittal
 DESCRIPTION: DRB UPDATES, DRB SUBMITTAL, EPC UPDATES PER AGENCY COMMENTS
 BY: SEJ, SEJ, SEJ
 DATE: 1-17-2018, 12-19-2017, 8-2-2017



SITE DATA

GROSS LOT AREA	71,003 SF
LESS BUILDING(S)	12,041 SF
NET LOT AREA	58,962 SF

REQUIRED LANDSCAPE	8,875 SF
15% OF NET LOT AREA	
PROPOSED LANDSCAPE	15,370 SF
PERCENT OF NET LOT AREA	26 %

HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %

REQUIRED STREET TREES	1 PER 30 L.F. OF STREET FRONTAGE	NA
PROVIDED STREET TREES		
REQUIRED PARKING LOT TREES	1 PER 10 SPACES	10
PROVIDED PARKING LOT TREES	92 SPACES/10	10
REQUIRED RESIDENTIAL SCREENING TREES		33
TOTAL TREE REQUIRED/PROVIDED		43/46

REQUIRED LANDSCAPE COVERAGE	75% LIVE VEGETATIVE MATERIAL	11,528 SF MIN.
(15,370 SF PROPOSED LANDSCAPE X 75%)		11,780 SF
PROVIDED LANDSCAPE COVERAGE		
PERCENT GROUND COVER COVERAGE		76%
OF REQUIRED LANDSCAPE AREAS		

EXISTING PLANT LEGEND

Symbol	Description	Quantity
○	Shade Tree Zelkova	100 sf=400 sf

Total Landscape Coverage=400 SF

PLANT LEGEND

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height	Spread	Landsc. Coverage	Water Use	Drip Emitters
7	○	Zelkova	Zelkova	2" B&B	30/20'	50 sf=350 sf	Medium	6-2 gph	
8	○	Forestiera	NM Olive	15-Gal	20/15'	50 sf=400 sf	Medium	+6-2 gph	
1	○	Vitex	Chaste Tree	15-Gal	20/15'	50 sf=50 sf	Medium	+6-2 gph	
8	○	Chilopsis	Desert Willow	15-Gal	20/15'	50 sf=400 sf	Medium	+6-2 gph	
6	○	Populus	Valley Cottonwood	2" B&B	60/50'	50 sf=300 sf	Medium	+6-2 gph	
0	○	Pistacia chinensis	Chinese Pistache	2" B&B	60/60'	50 sf=0 sf	Medium	+6-2 gph	
33	○	Thuja occidentalis	Arborvitae	6" HT.	30/20'	50 sf=1650 sf	Medium	6-2 gph	

Shrubs/Groundcovers

21	○	Buddleia davidii	Butterfly Bush	1-Gal	6/6'	36 sf=756 sf	Medium	2-2 gph	
27	○	Rhus aromatica	Gro Low Sumac	5-Gal	2/6'	36 sf=972 sf	Low +	2-2 gph	
9	○	Dasylium	Sotol	5-Gal	3/3'	27 sf=243 sf	RW	2-2 gph	
13	○	Nandina	Heavenly Bamboo	5-Gal	8/5'	20 sf=260 sf	Medium	2-2 gph	
5	○	Rosmarinus officinalis	Rosemary	5-Gal	6/6'	36 sf=180 sf	Low +	2-2 gph	
5	○	Rosa	Knockout Rose	5-Gal	3/3'	15 sf=75 sf	Medium+	2-2 gph	
8	○	Lagerstroemia	Crape Myrtle	5-Gal	15/10'	100 sf=800 sf	Medium+	2-2 gph	
23	○	Salvia	May Night Salvia	1-Gal	1/3'	9 sf=207 sf	Medium	2-2 gph	
29	○	Rhaphiolepis	India Hawthorn	5-Gal	3/3'	15 sf=435 sf	Medium	2-2 gph	
3	○	Ilex	Burford Holly	5-Gal	8/8'	20 sf=60 sf	Medium	2-2 gph	
14	○	Lavandula	Lavender	1-Gal	3/3'	12 sf=168 sf	Medium	2-2 gph	
18	○	Eriocaulon laticifolium	'Aguirre'	5-Gal	3/4'	25 sf=450 sf	Low	2-1 gph	
24	○	Hesperaloe parviflora	Red Yucca	5-Gal	3/4'	30 sf=720 sf	Low	2-2 gph	
4	○	Vinca	Periwinkle	5-Gal	6/4'	10 sf=40 sf	Low	2-1 gph	
25	○	Campsis/Wisteria	Trumpet Vine/Wisteria	1-Gal	3/10'	100 sf=2500 sf	Low	2-2 gph	

Grasses

32	○	Muhlenbergia	Regal Mist Grass	1-Gal	3/3'	12 sf=384 sf	Medium	2-2 gph	
38	○	Calamagrostis	Karl Foerster Grass	5-Gal	3/2'	10 sf=380 sf	Medium	2-2 gph	

Total Landscape Coverage=11,780 SF

MATERIALS LEGEND

○	3/8"-1" AMARETTO GRAVEL
○	3/8"-1" GRAY GRAVEL

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

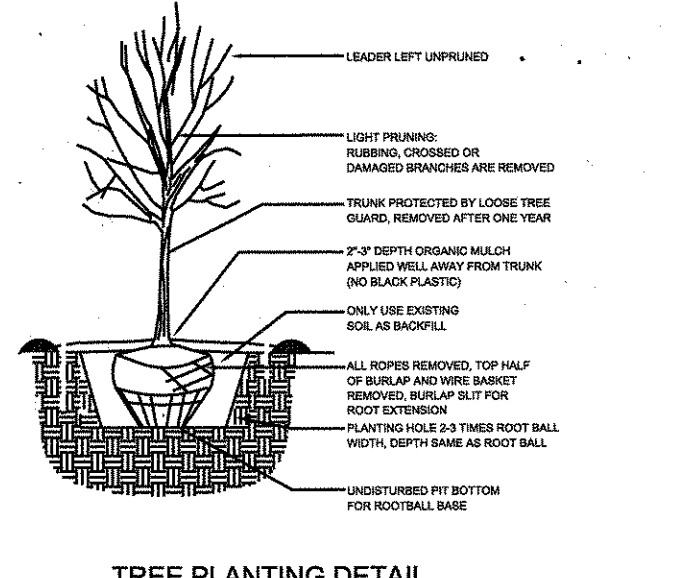
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

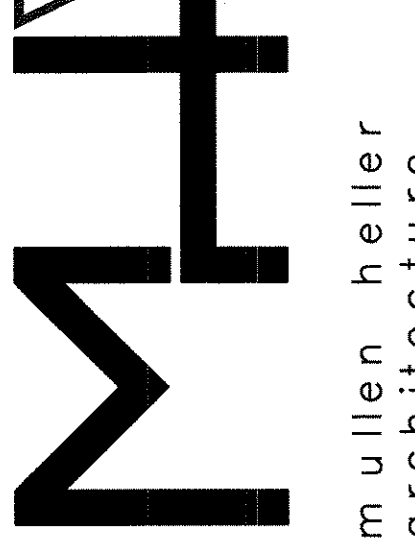
IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES: ESTABLISHMENT AND SUMMER: 1 HOUR/4 DAYS A WEEK
 SPRING: 1 HOUR/2-3 DAYS A WEEK
 FALL: 1 HOUR/2-3 DAYS A WEEK
 WINTER: 1 HOUR/2 DAYS PER MONTH



DESCRIPTION	BY	DATE	REV
	SEJ	11-21-17	
		11-21-17	
		7-27-17	

REV	DATE	DESCRIPTION
A		
B		
C		
D		

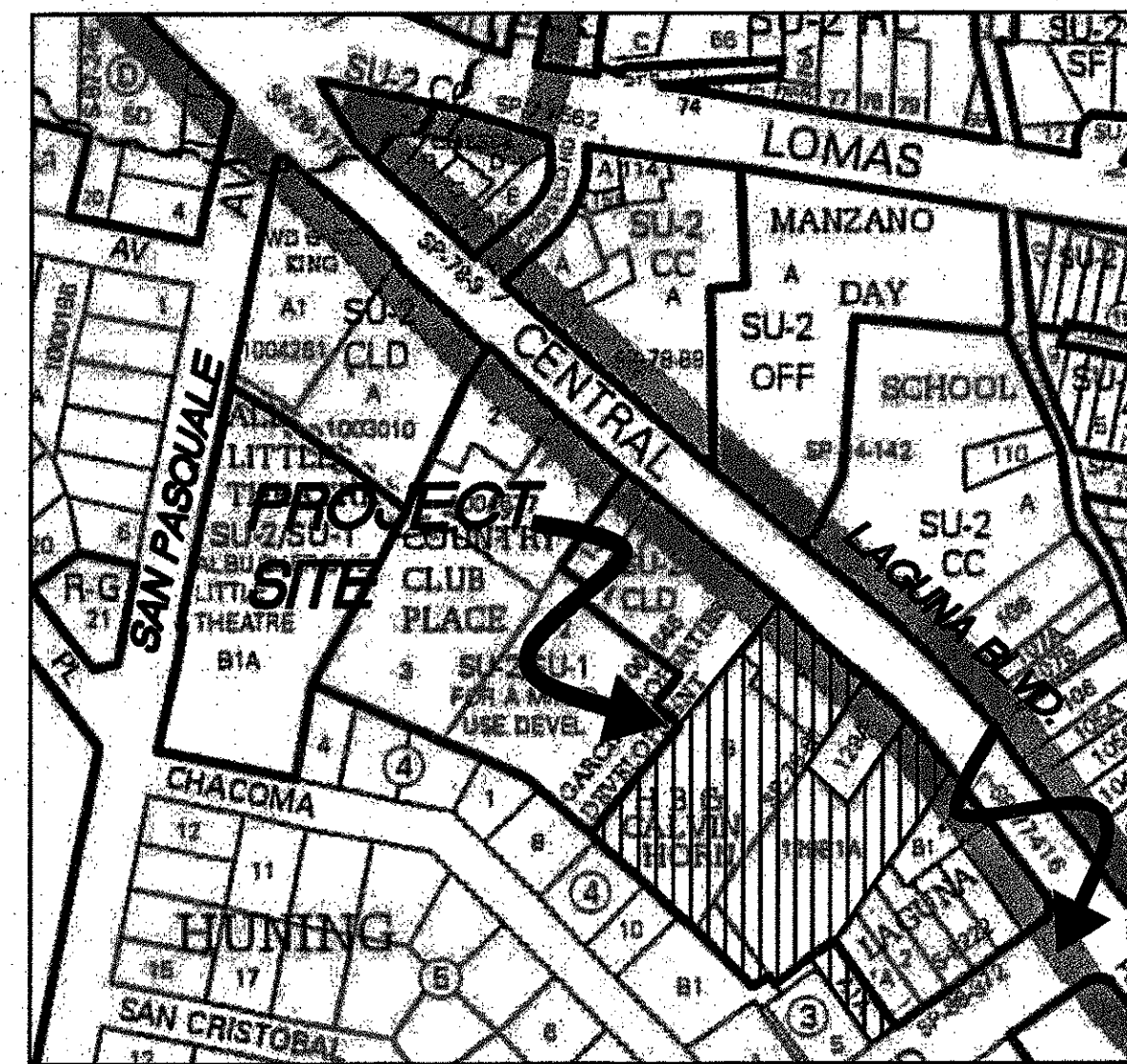


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LANDSCAPE CONTRACTORS
www.upheads.com
PO BOX 10897
ALBUQUERQUE, NM 87184
505.268.9615
505.268.2105 (fax)
design@uhc.com

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JOB NUMBER: 15-06

DRAWN BY SEJ
PROJECT MGR MMM
DATE 12-19-2017
PHASE DRB Submittal

PROJECT Country Club Plaza | Building 3
1716 Central Avenue SW
Albuquerque, NM 87104
TITLE Landscape Plan
SHEET 3 of 8



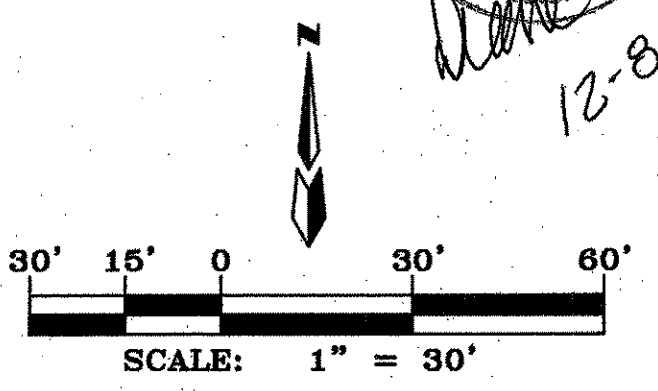
VICINITY MAP ZONE ATLAS: J-13-Z

BENCHMARK

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 E= 1519149.317
 Z= 4957.484
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 DELTA-ALPHA= -001359".00
 NAD 1983/NAVD 1988

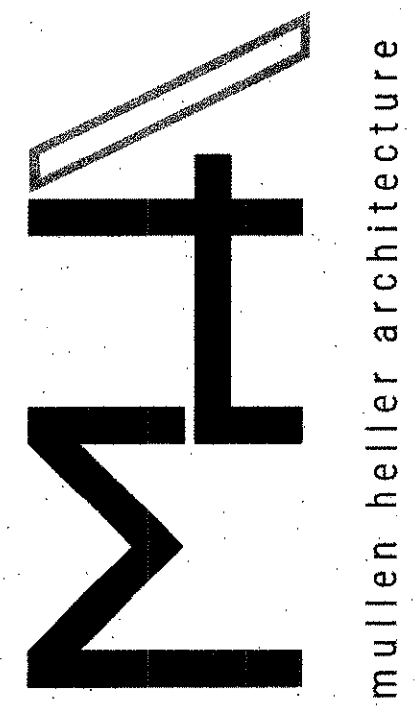
LEGEND

- x 00.00 EXISTING SPOT ELEVATION
- 53.50 EXISTING CONTOUR
- W EXISTING WATER WELL
- ⊙ EXISTING BOLLARD
- EXISTING GUY WIRE
- ⊙ EXISTING SAS MH
- ⊙ EXISTING TELEPHONE PEDESTAL
- 00.00 NEW SPOT ELEVATION
- SWALE
- 00.00 NEW CONTOUR ELEVATION
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING GAS METER
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING CLEANOUT
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING MONITORING WELL
- ⊙ EXISTING WATER METER
- ⊙ EXISTING CURB
- ⊙ NEW WATER METER
- NEW RETAINING WALL
- ⊙ BASIN A
- ⊙ BASIN B
- BASIN BOUNDARY
- 52.53 TOP OF CURB
- 52.03 BOTTOM OF CURB
- 52.00 NEW FLOW LINE, SPOT ELEVATION
- NEW SWALE
- 51.60 ± EXISTING ELEVATION
- EXISTING DRIVEWAY CUT



dmg MARK GOODWIN & ASSOCIATES, P.A.
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REV	DATE	DESCRIPTION	DRG COMMENTS
1	1-17-2018	SEJ	



PRELIMINARY
 NOT FOR
 CONSTRUCTION

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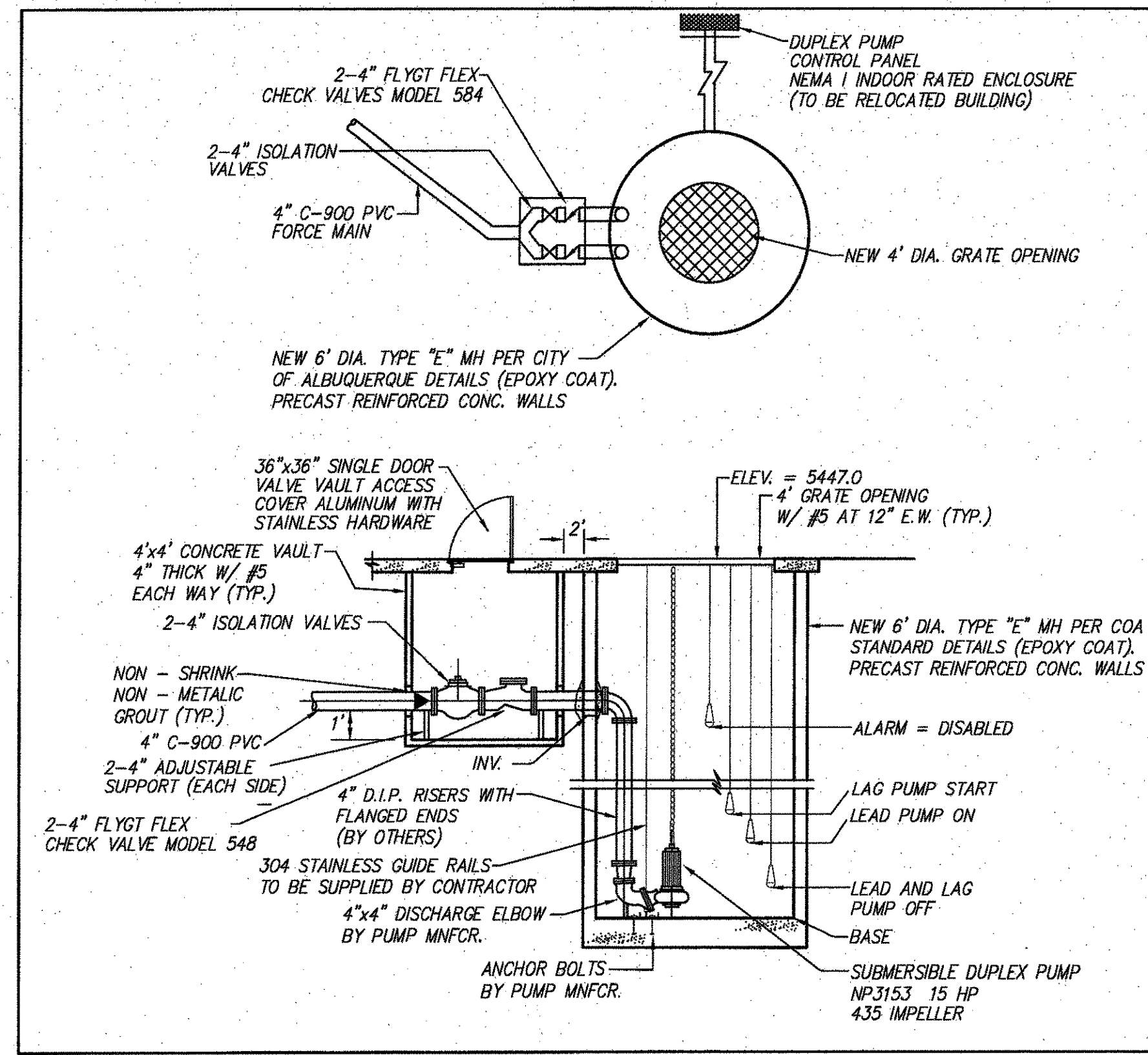
JOB NUMBER 15-06
 DRAWN BY SEJ
 PROJECT MGR MMM
 DATE 10-11-2017
 PHASE SD

PROJECT
Country Club Plaza | Building 3
 1716 Central Avenue SW
 Albuquerque, NM 87104

TITLE
CONCEPTUAL GRADING & DRAINAGE PLAN

SHEET

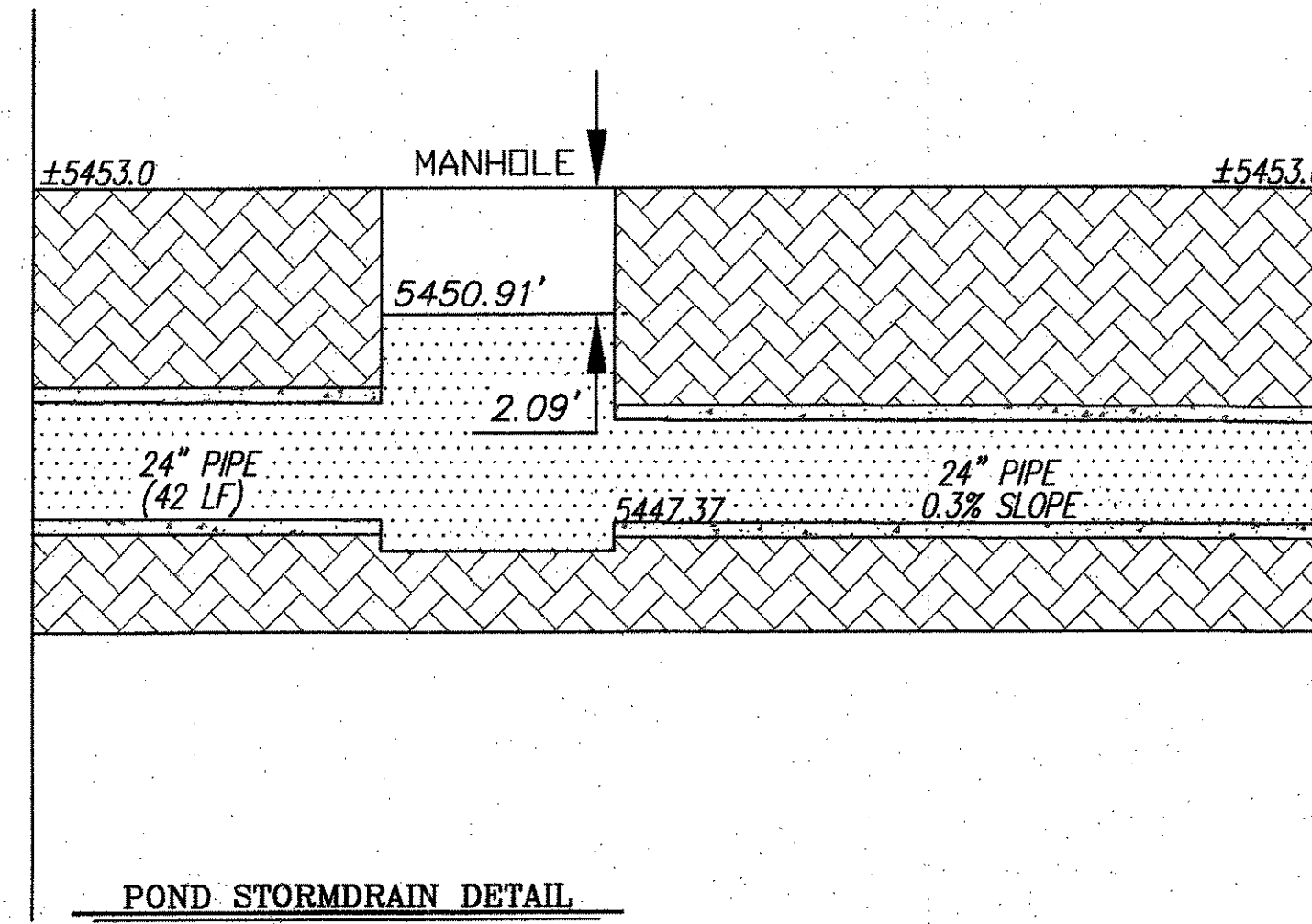
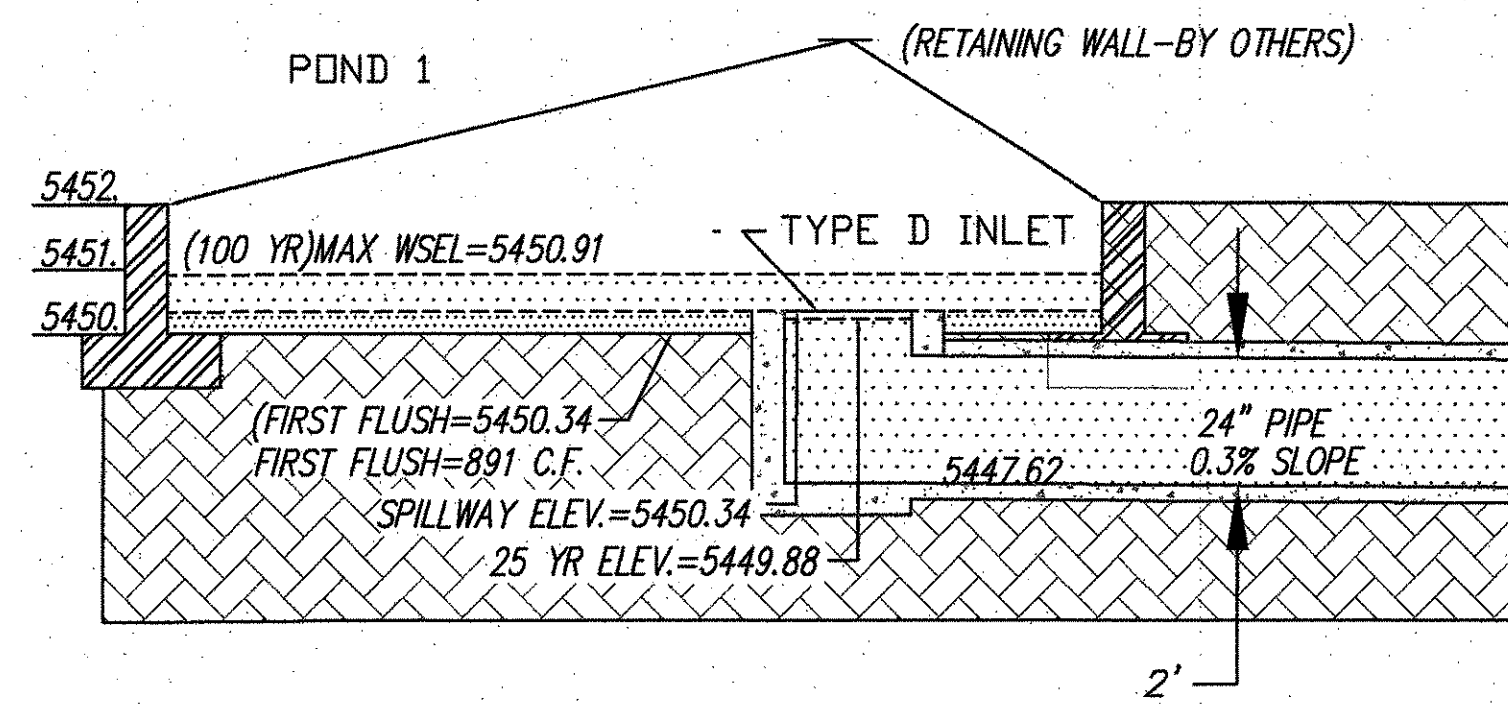
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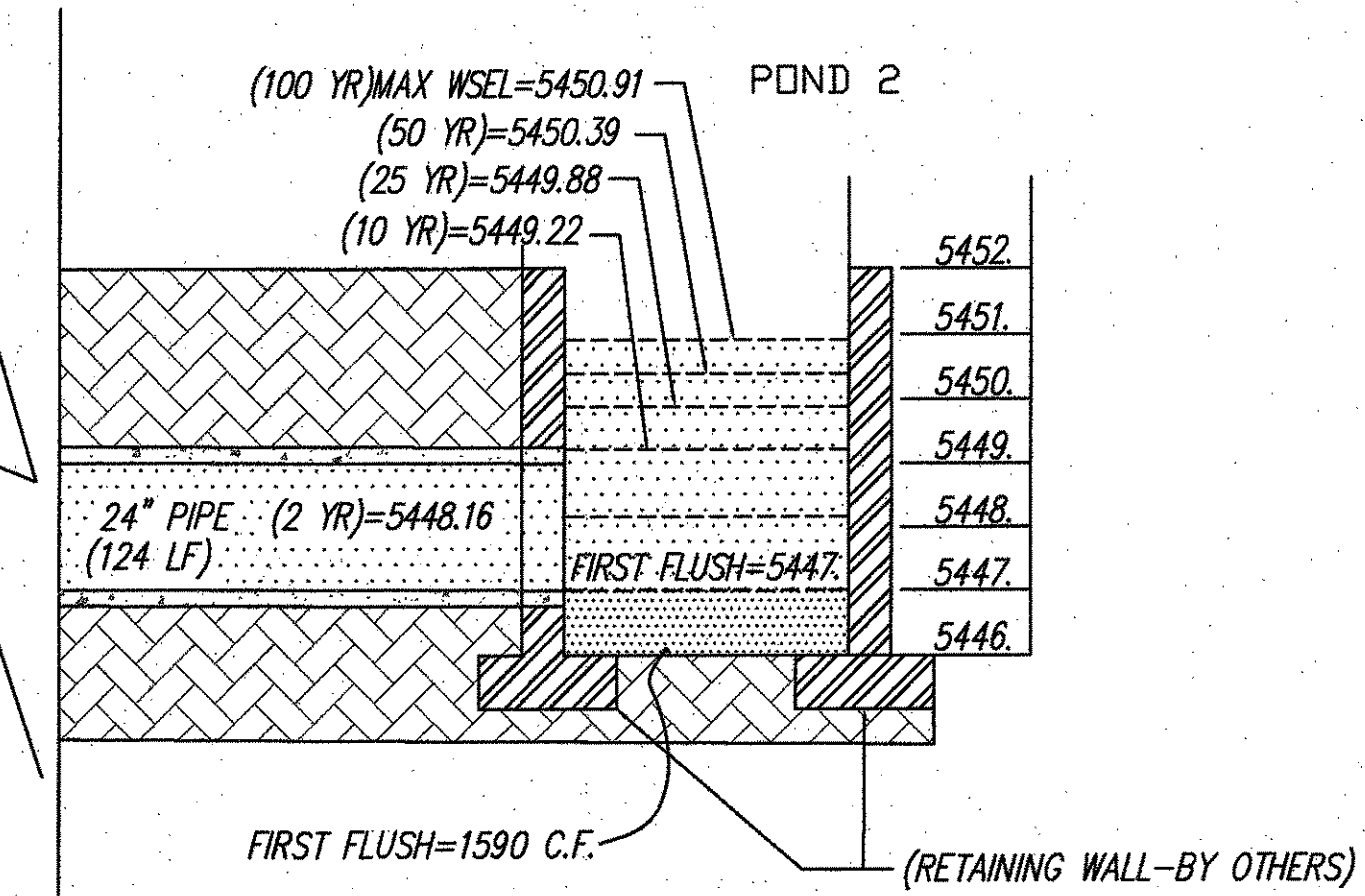
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NOTE: MAXIMUM ALLOWABLE DISCHARGE = 1 cfs = 448.83 gpm

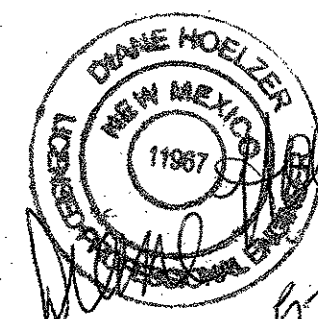


POND STORMDRAIN DETAIL

SCALE: 1"=3'

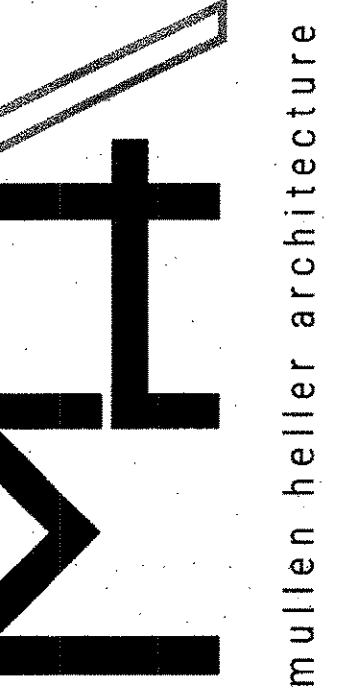


12-5-17
REVISED
12-8-17



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REV	DATE	BY	DESCRIPTION
1	1-17-2018	SEJ	DRB COMMENTS



PRELIMINARY
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CONSTRUCTION

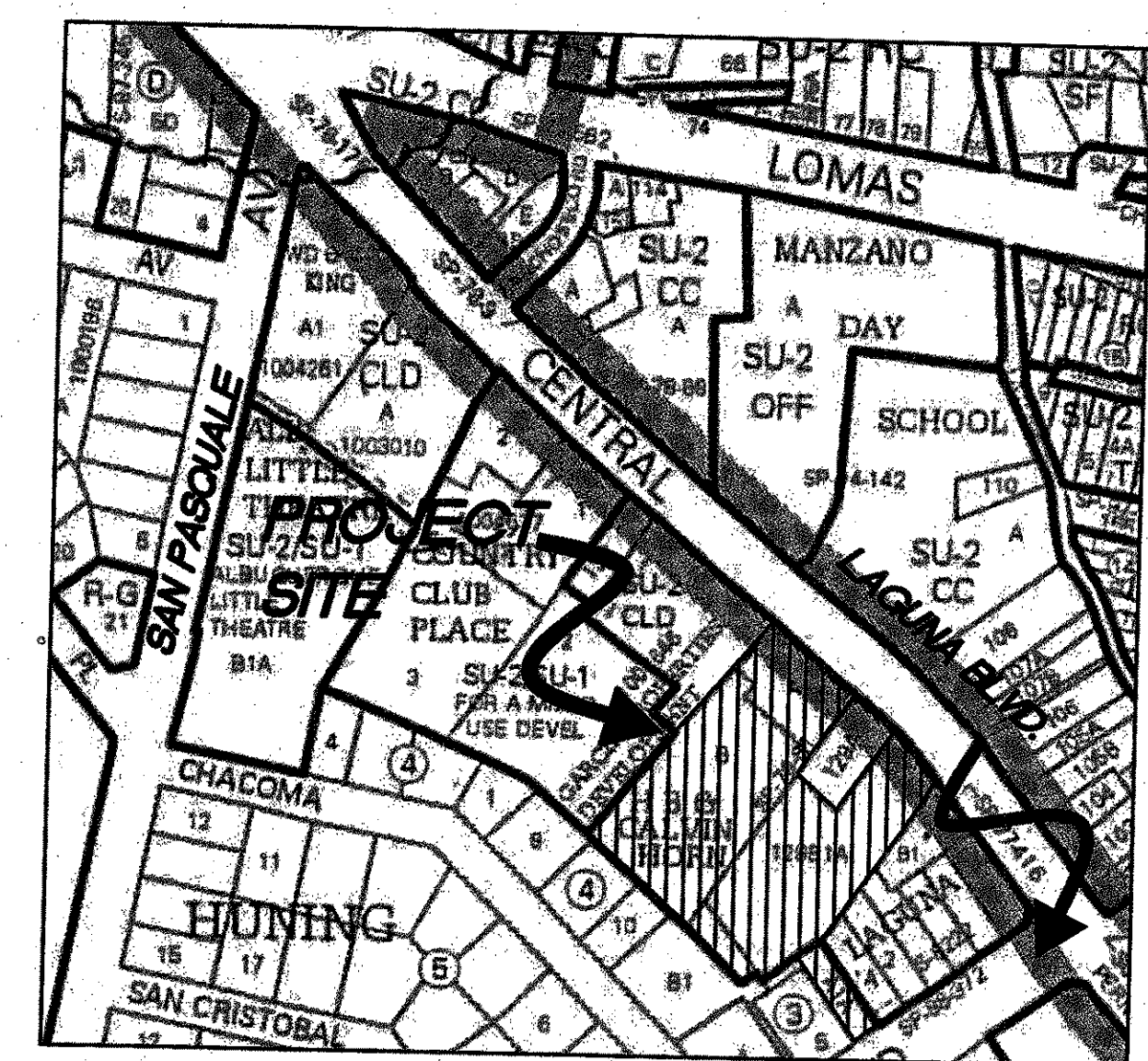
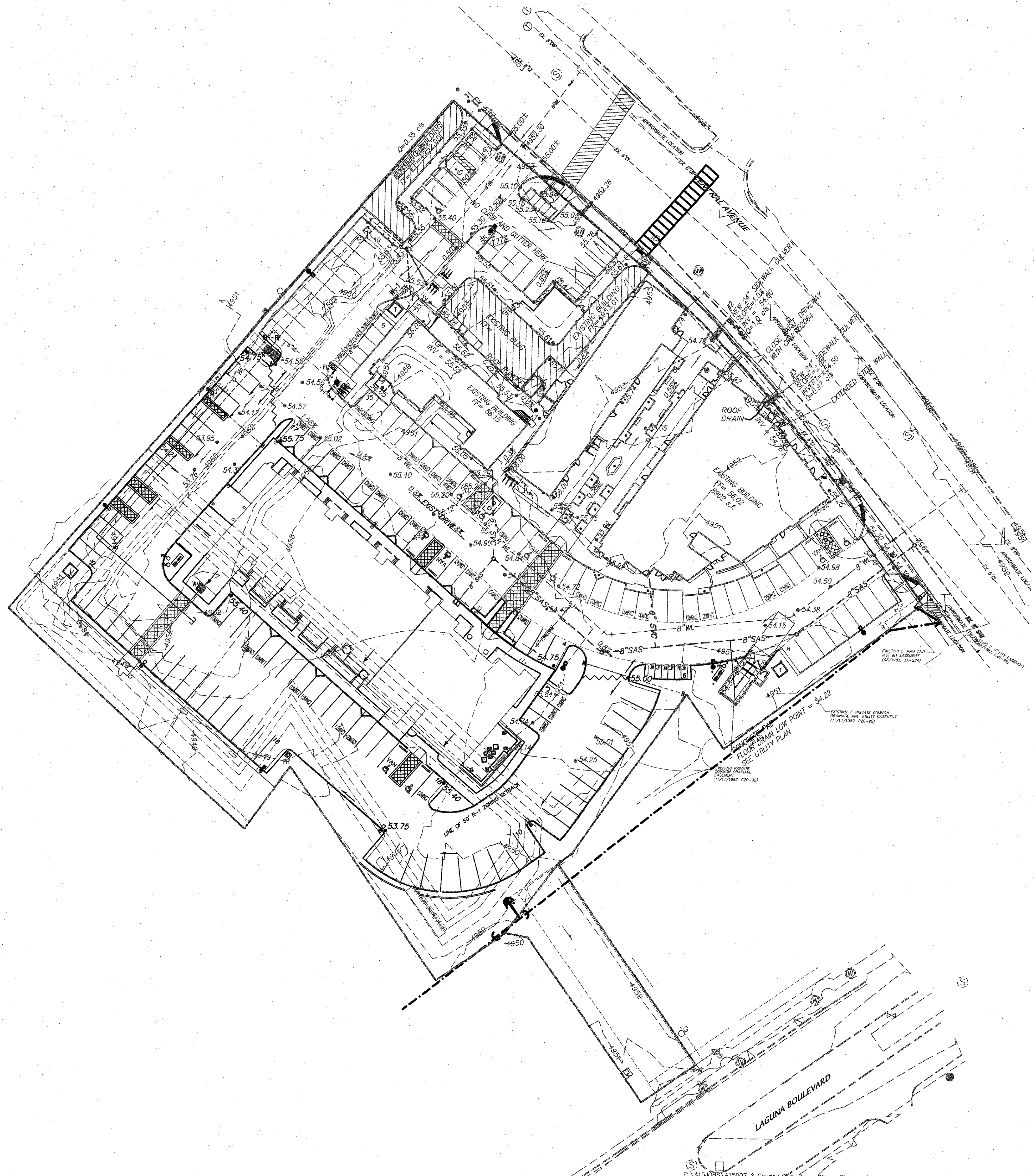
MULLEN HELLER ARCHITECTURE
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JOB NUMBER	15-06
DRAWN BY	SEJ
PROJECT MGR	MMM
DATE	10-11-2017
PHASE	SD

PROJECT
Country Club Plaza | Building 3
1716 Central Avenue SW
Albuquerque, NM 87104

TITLE
CONCEPTUAL GRADING & DRAINAGE PLAN

SHEET
5 of 8

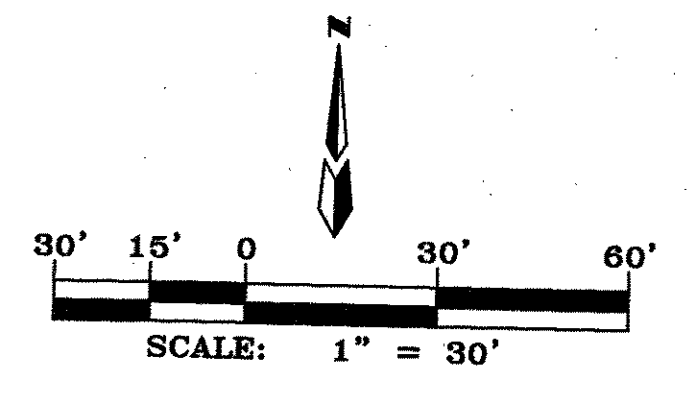


VICINITY MAP
ZONE ATLAS: J-13-Z

BENCHMARK

ACS CONTROL STATION "17-J14"
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 E = 1519148.317
 Z = 4957.484
 NEW MEXICO STATE PLANE, CENTRAL ZONE
 G-C = 0.9996833611
 DELTA-ALPHA = -0073'59".00
 NAD 1983/NAVD 1988

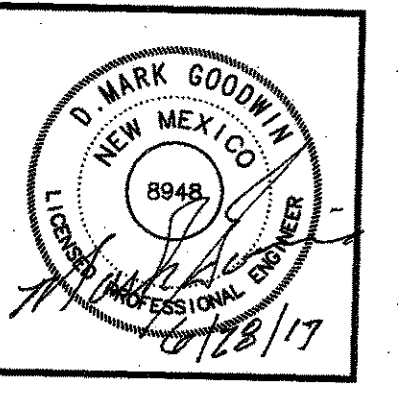
- LEGEND**
- x 00.00 EXISTING SPOT ELEVATION
 - 51.35 EXISTING CONTOUR
 - ⊕ EXISTING WATER WELL
 - EXISTING BOLLARD
 - EXISTING GUY WIRE
 - EXISTING SAS MH
 - ⊙ EXISTING TELEPHONE PEDESTAL
 - 00.00 NEW SPOT ELEVATION
 - SWALE
 - 00.00 NEW CONTOUR ELEVATION
 - ⊙ EXISTING SEWER MANHOLE
 - ⊙ EXISTING GAS METER
 - ⊙ EXISTING WATER VALVE
 - ⊙ EXISTING CLEANOUT
 - ⊙ EXISTING UTILITY POLE
 - ⊙ EXISTING MONITORING WELL
 - ⊙ EXISTING WATER METER
 - ⊙ EXISTING CURB
 - ⊙ NEW WATER METER
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 - BASIN BOUNDARY
 - 52.53 TOP OF CURB
 - 52.03 BOTTOM OF CURB
 - 52.00 NEW FLOW LINE, SPOT ELEVATION
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 - 51.60 ± EXISTING ELEVATION
 - EXISTING DRIVEWAY CUT



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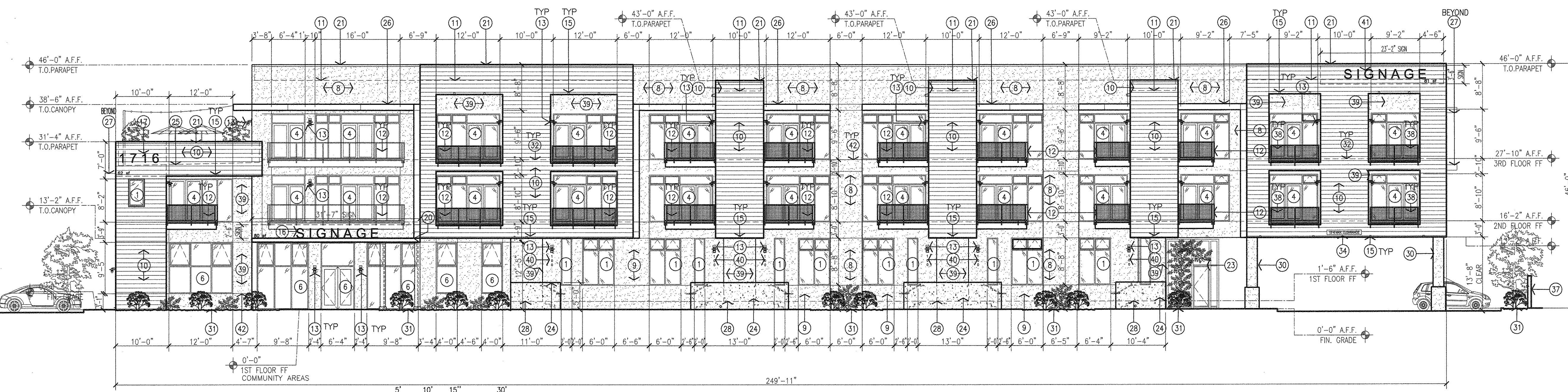
revision	
by	SEJ
date	1-17-2018
rev	◀◀◀◀◀

MH
 Mullen Heller
 Architecture P.C.
 1718 Central Avenue SW
 Suite D
 Albuquerque 87104
 505 268 4144(p)
 505 268 4244 (f)

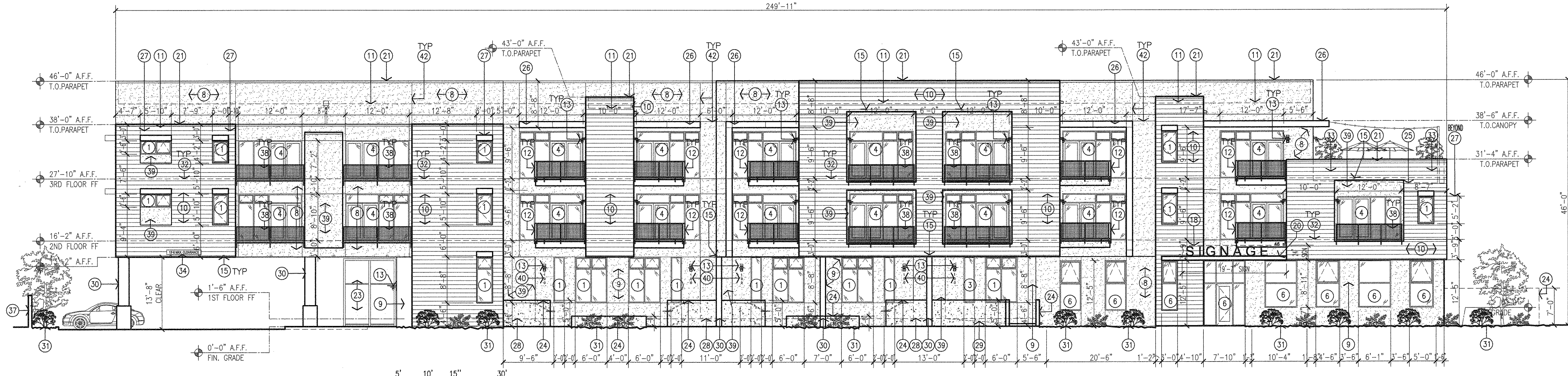


job number	15-06
drawn by	SJ, MWS, AV
project manager	Doug Heller, AIA
date DRB SUBMITTAL	12-19-2017

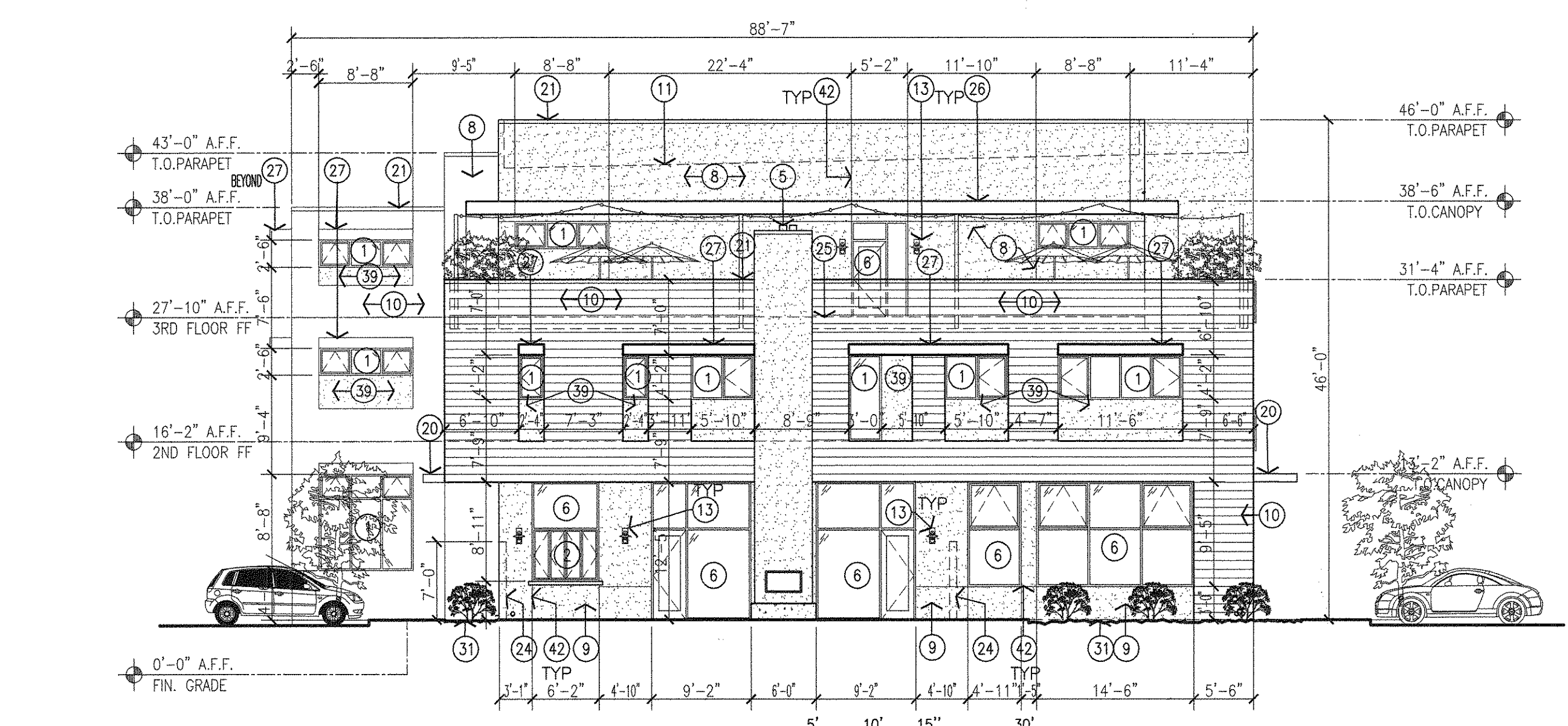
project title
Country Club Plaza - Building 3
 SWC of Central Avenue and Laguna Blvd SW
 Albuquerque, New Mexico 87104
 sheet title
CONCEPTUAL UTILITY PLAN



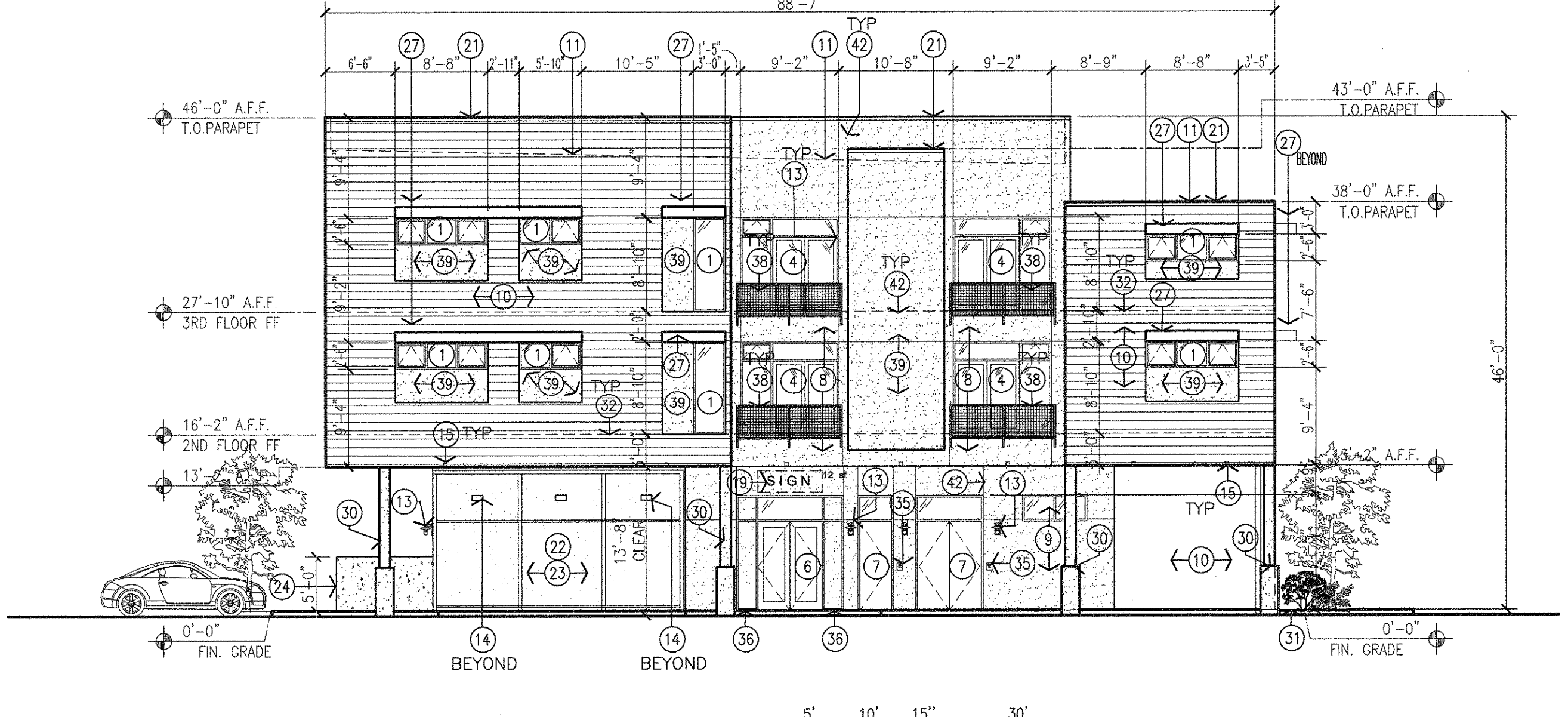
1 North Elevation
Scale 3/32"=1'-0"



2 South Elevation
Scale 3/32"=1'-0"



3 East Elevation
Scale 3/32"=1'-0"



4 West Elevation
Scale 3/32"=1'-0"

- KEYED NOTES:**
- [1] ALUMINUM STOREFRONT/PREFINISHED METAL OPERABLE WINDOW SYSTEM.
 - [2] ALUMINUM STOREFRONT/PREFINISHED METAL BI-FOLD WINDOW SYSTEM.
 - [3] ALUMINUM STOREFRONT/PREFINISHED METAL FIXED WINDOW SYSTEM.
 - [4] ALUMINUM STOREFRONT/PREFINISHED METAL SLIDER DOOR SYSTEM.
 - [5] FIRE PLACE AND CHIMNEY.
 - [6] ALUMINUM STOREFRONT SYSTEM.
 - [7] PAINTED HOLLOW METAL DOOR, COLOR TO MATCH ADJACENT WALL FINISH.
 - [8] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: OFF WHITE.
 - [9] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT BEIGE.
 - [10] PREFINISHED FIBER CEMENT LAP SIDING SYSTEM OR 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: CHARCOAL.
 - [11] LINE OF TPO ROOF BEYOND.
 - [12] PAINTED TUBE STEEL BALCONY AND FIBERGLASS GRATE INLAY PANELS WITH TUBE STEEL AND WELDED WIRE MESH GUARDRAIL. COLOR: WHITE TRIM WITH ORANGE FIBERGLASS.
 - [13] DECORATIVE WALL MOUNTED LED LIGHT FIXTURE.
 - [14] EXTERIOR LED WALL PACK LIGHT FIXTURE.
 - [15] RECESSED LED CAN LIGHT FIXTURE AT SOFFIT.
 - [16] AREA OF INTERNALLY ILLUMINATED SIGNAGE & RACEWAY ALONG CANOPY EDGE. CHARACTER SIZE: 24" HIGH.
 - [17] AREA OF INTERNALLY ILLUMINATED ADDRESS NUMBER SIGNAGE & RACEWAY ON BUILDING FACADE. CHARACTER SIZE: 24" HIGH.
 - [18] AREA OF NON-ILLUMINATED SIGNAGE ALONG CANOPY EDGE. CHARACTER SIZE: 24" HIGH.
 - [19] AREA OF NON-ILLUMINATED SIGNAGE & RACEWAY ON BUILDING FACADE. CHARACTER SIZE: 12" HIGH.
 - [20] PAINTED STEEL CANOPY WITH FIBERGLASS GRATING INLAY PANELS. COLOR: WHITE TRIM WITH ORANGE FIBERGLASS.
 - [21] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP TO MATCH WALL FINISH.
 - [22] WALL-MOUNTED, STACKED GAS METERS BEYOND. PAINT METERS TO MATCH STUCCO.
 - [23] WALL-MOUNTED, STACKED ELECTRICAL METERS AND EQUIPMENT BEYOND. NEW TUBE STEEL AND WELDED WIRE FABRIC FENCE AND GATE AT ELECTRICAL EQUIPMENT ENCLOSURE.
 - [24] BOARD-FORMED, CAST-IN-PLACE CONCRETE YARD YARD. HEIGHT AS DIMENSIONED.
 - [25] LINE OF COMMUNITY ROOF DECK BEYOND.
 - [26] PREFINISHED METAL-CLAD DECORATIVE TRIM. COLOR: WHITE FASCIA WITH ORANGE REVEAL.
 - [27] PREFINISHED METAL-CLAD CANOPY. COLOR: WHITE FASCIA WITH ORANGE REVEAL.
 - [28] RESIDENTIAL CONCRETE STOOP WITH STAIR AND HANDRAILS.
 - [29] CONCRETE RAMP AT 1:12 SLOPE MAXIMUM WITH HANDRAILS.
 - [30] STUCCO FINISHED COLUMN AND CONCRETE BASE. COLOR: OFF WHITE.
 - [31] LANDSCAPE AREA, REFER TO LANDSCAPE PLAN OF SHEET 2 OF 7.
 - [32] LINE OF FINISH FLOOR BEYOND.
 - [33] LINE OF ROOFTOP PLANTER BEYOND.
 - [34] BUILDING MOUNTED REFLECTIVE CLEARANCE SIGN TO READ: "13'-6" MAXIMUM HEIGHT CLEARANCE." TYPICAL OF (2) LOCATIONS. 6 SF EACH TYPICAL.
 - [35] BUILDING MOUNTED ROOM SIGNAGE.
 - [36] DECORATIVE LANDSCAPE PLANTER BY OWNER.
 - [37] EXISTING YARD WALL ALONG PROPERTY LINE TO REMAIN.
 - [38] TUBE STEEL AND WELDED WIRE MESH GUARDRAIL. COLOR: WHITE TRIM.
 - [39] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: ORANGE.
 - [40] 5" HIGH NON-ILLUMINATED ALUMINUM CHANNEL UNIT NUMBERS. 2 SF EACH TYPICAL.
 - [41] AREA OF INTERNALLY ILLUMINATED SIGNAGE & RACEWAY ON BUILDING FACADE. CHARACTER SIZE: 24" HIGH.
 - [42] STUCCO CONTROL JOINT.

BUILDING 3
BUILDING MOUNTED SIGNAGE CALCULATIONS:
SIGNAGE SHALL COMPLY WITH THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION.

ANY SIGNAGE IN ADDITION TO THOSE SHOWN SHALL BE SUBMITTED AND APPROVED VIA ADMINISTRATIVE AMENDMENT. FUTURE SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION AND ALL APPLICABLE ZONING AND SECTOR DEVELOPMENT PLAN REQUIREMENTS.

SOUTH ELEVATION-	10,418 SF X 9% 937 SF ALLOWED 0 SF ILLUMINATED SIGNAGE PROVIDED NON-ILLUMINATED SIGNAGE PROVIDED: ENTRY SIGN @ 46SF = 46 sf SUITE NO. SIGNS @ 25F = 10sf CLEARANCE SIGN @ 65F = 6sf 62 TOTAL SF OF NON-ILLUMINATED SIGNAGE
EAST ELEVATION-	3,948 SF X 9% 355 SF ALLOWED 0 SF ILLUMINATED SIGNAGE PROVIDED NON-ILLUMINATED SIGNAGE PROVIDED: 1 UNIT NO. SIGNS @ 25F = 12sf 12 TOTAL SF OF NON-ILLUMINATED SIGNAGE
WEST ELEVATION-	3,740 SF X 9% 336 SF ALLOWED 0 SF ILLUMINATED SIGNAGE PROVIDED NON-ILLUMINATED SIGNAGE PROVIDED: ENTRY SIGN @ 12SF = 12sf 12 TOTAL SF OF NON-ILLUMINATED SIGNAGE
NORTH ELEVATION-	10,470 SF X 9% 942 SF ALLOWED ILLUMINATED SIGNAGE PROVIDED: (SIGN#1) 62sf (SIGN#2) 80sf (SIGN#3) 81sf 223 TOTAL SF ILLUMINATED PROVIDED NON-ILLUMINATED SIGNAGE PROVIDED: 6 UNIT NO. SIGNS @ 25F = 12sf CLEARANCE SIGN @ 65F = 6sf 18 TOTAL SF OF NON-ILLUMINATED SIGNAGE

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PROJECT
Country Club Plaza
SWC of Central Avenue and Laguna Blvd SW
Albuquerque, NM 87104

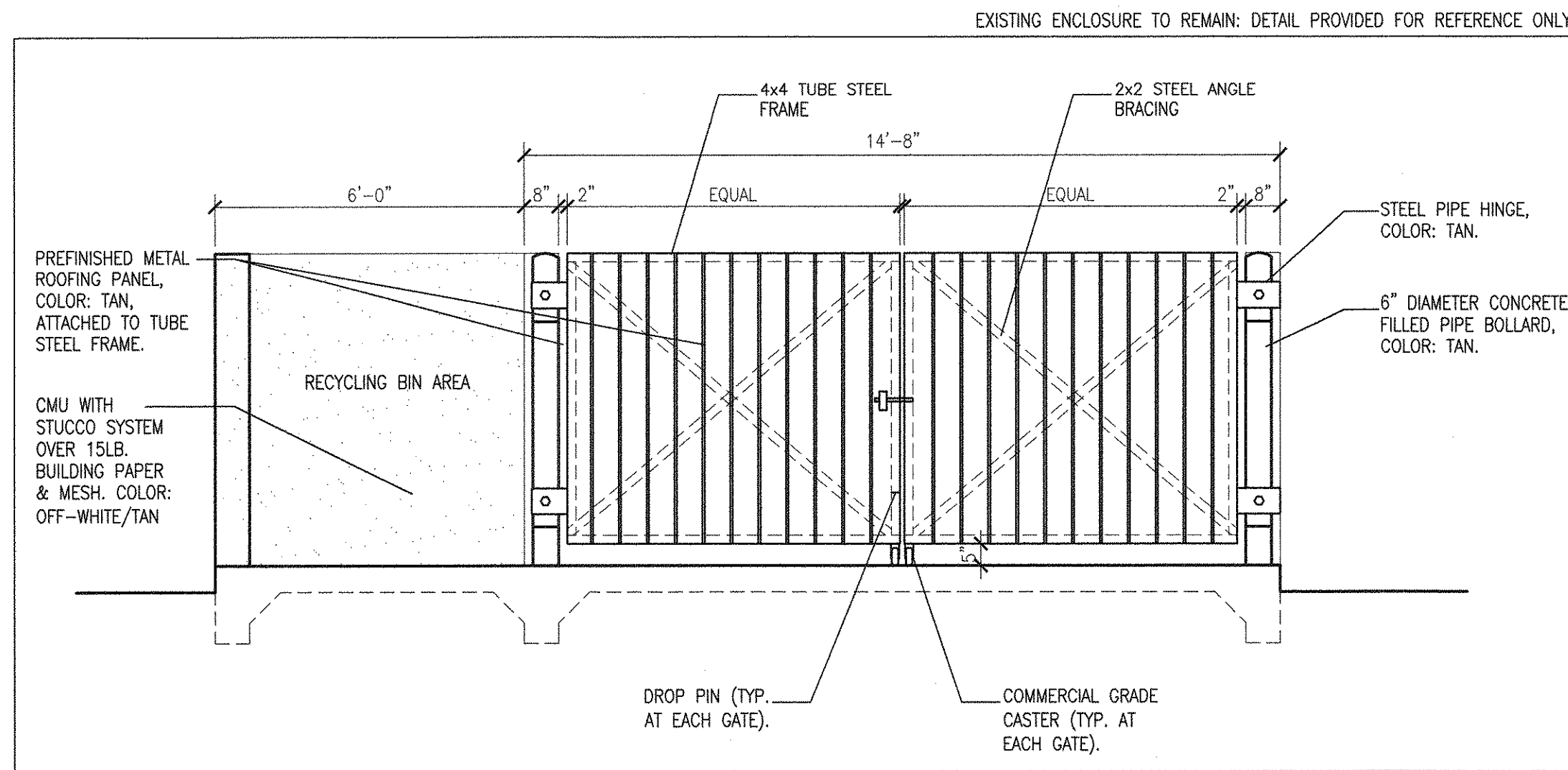
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Exterior Elevations

DESCRIPTION

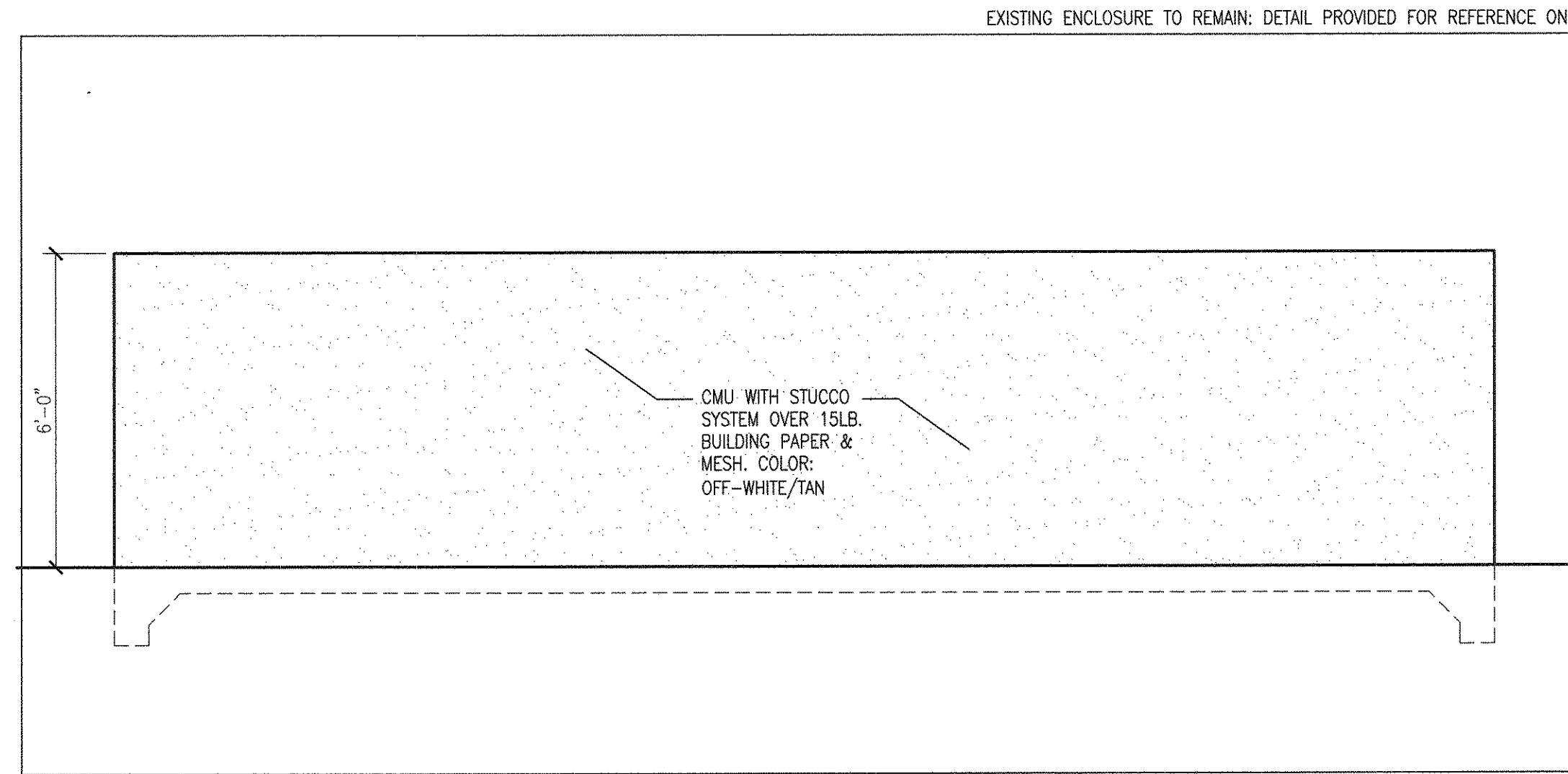
BY	SEJ	DRB COMMENTS	DRB SUBMITTAL
DATE	1-17-2018	12-19-2017	8-2-2017
REV	A	B	C

JOB NUMBER 15-06
DRAWN BY SEJ
PROJECT MGR MMM
DATE 12-19-2017
PHASE DRB Submittal

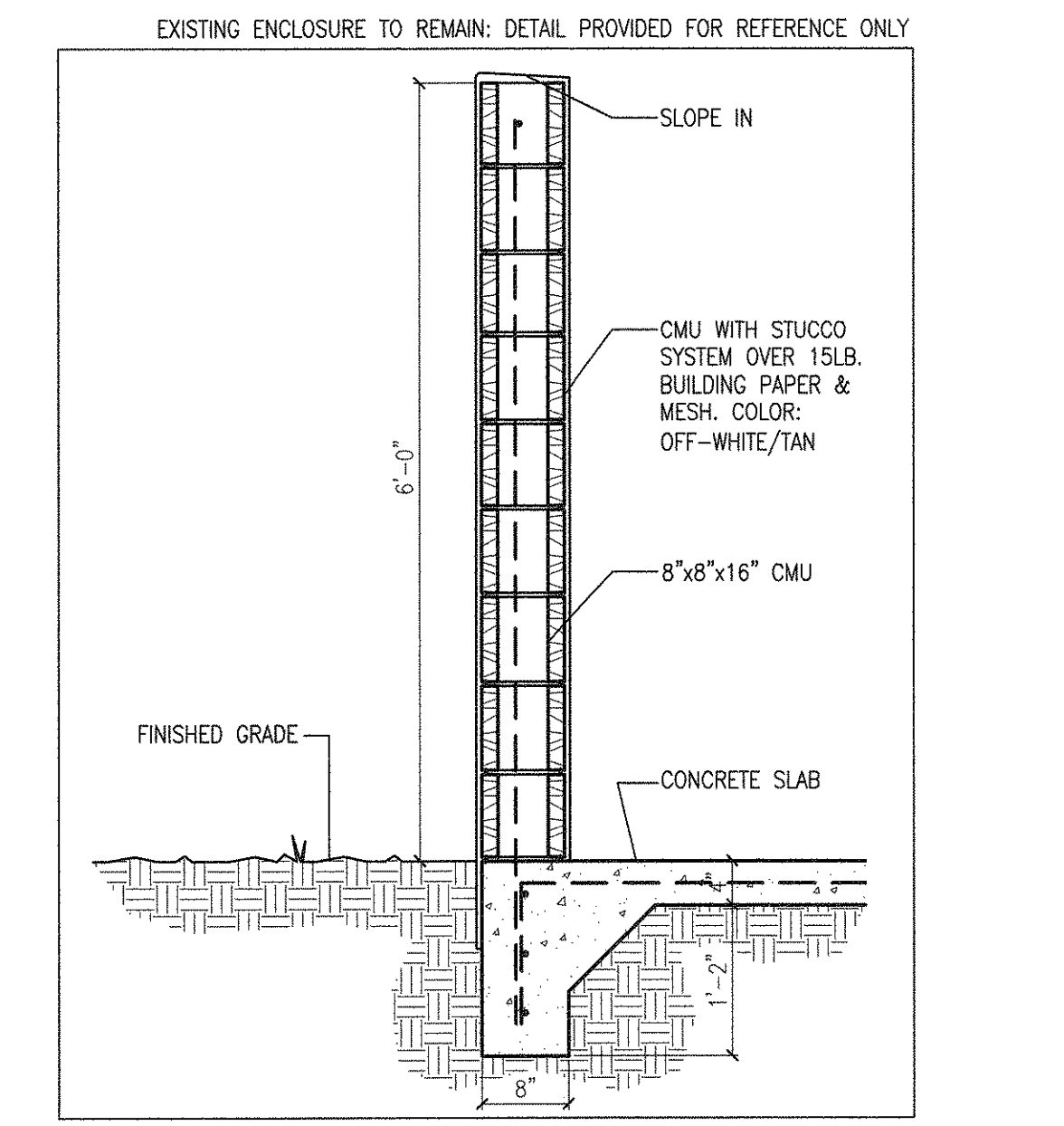
SHEET
7 of 8



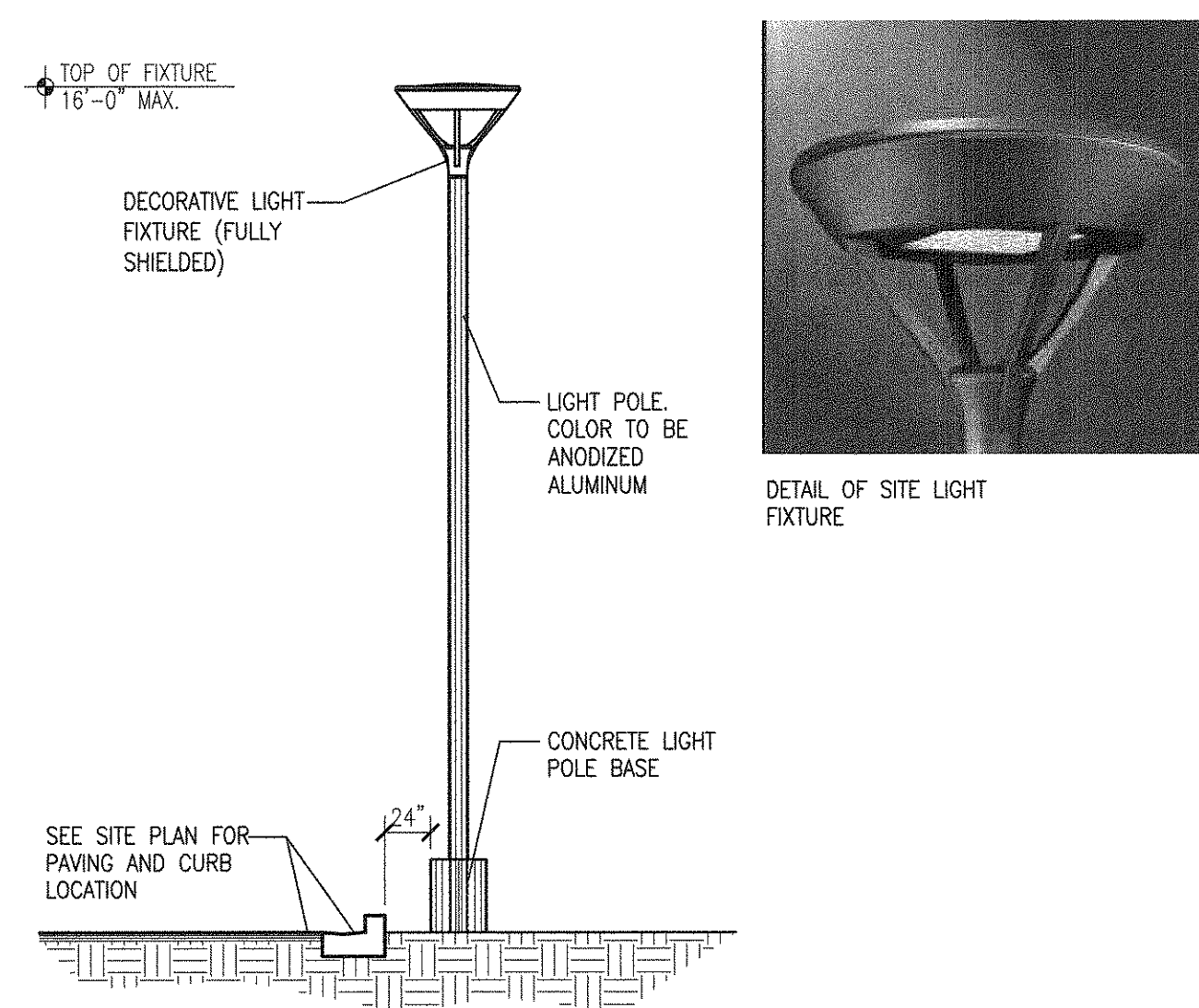
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Scale: 3/8"=1'-0"



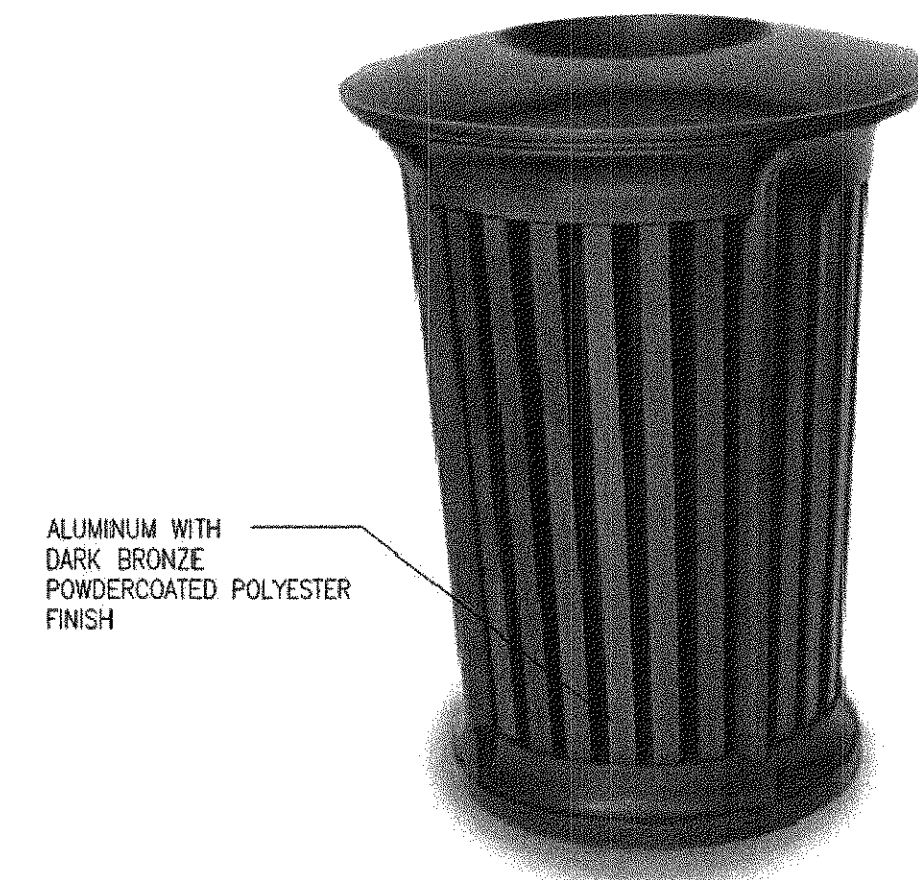
2 Refuse Enclosure Typ. Side Elevation-EXISTING TO REMAIN
Scale: 3/8"=1'-0"



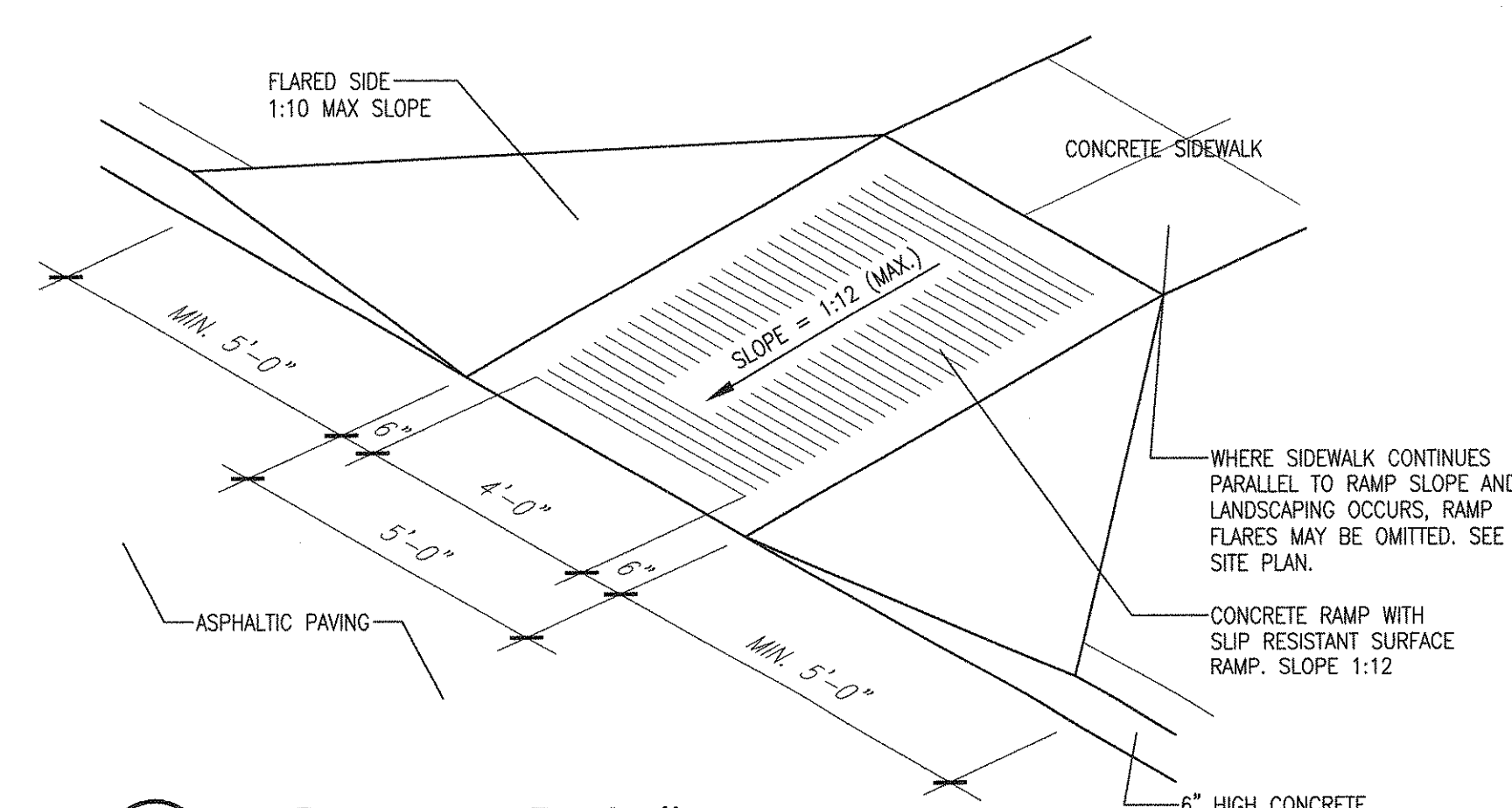
3 Refuse Enclosure Wall Section-ETR
Scale: 1"=1'-0"



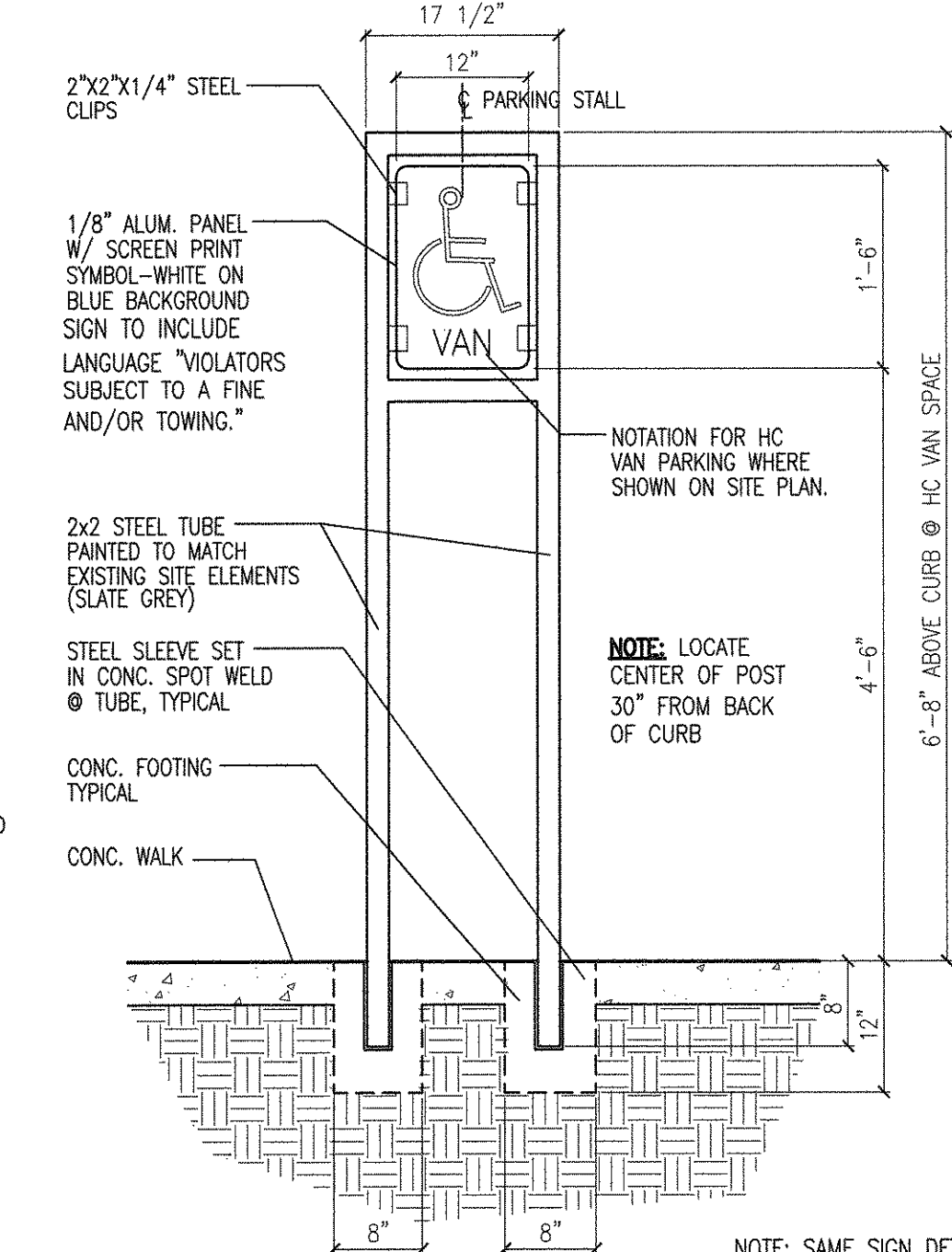
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Scale: Not to Scale



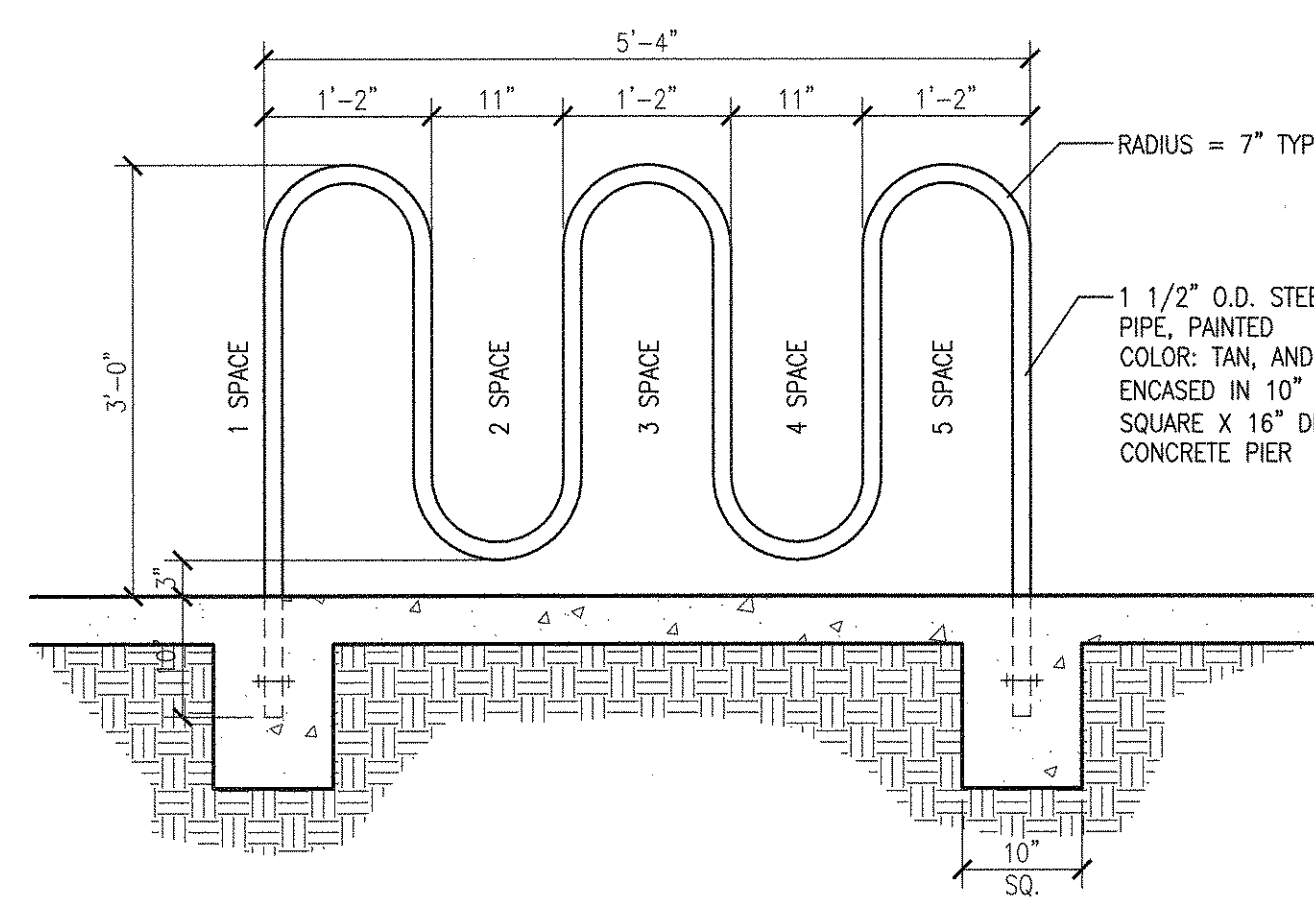
5 Typical Site Litter/Recycling Receptacle
Scale: Not to Scale



6 H.C. Ramp Detail
Scale: Not to Scale (Isometric)



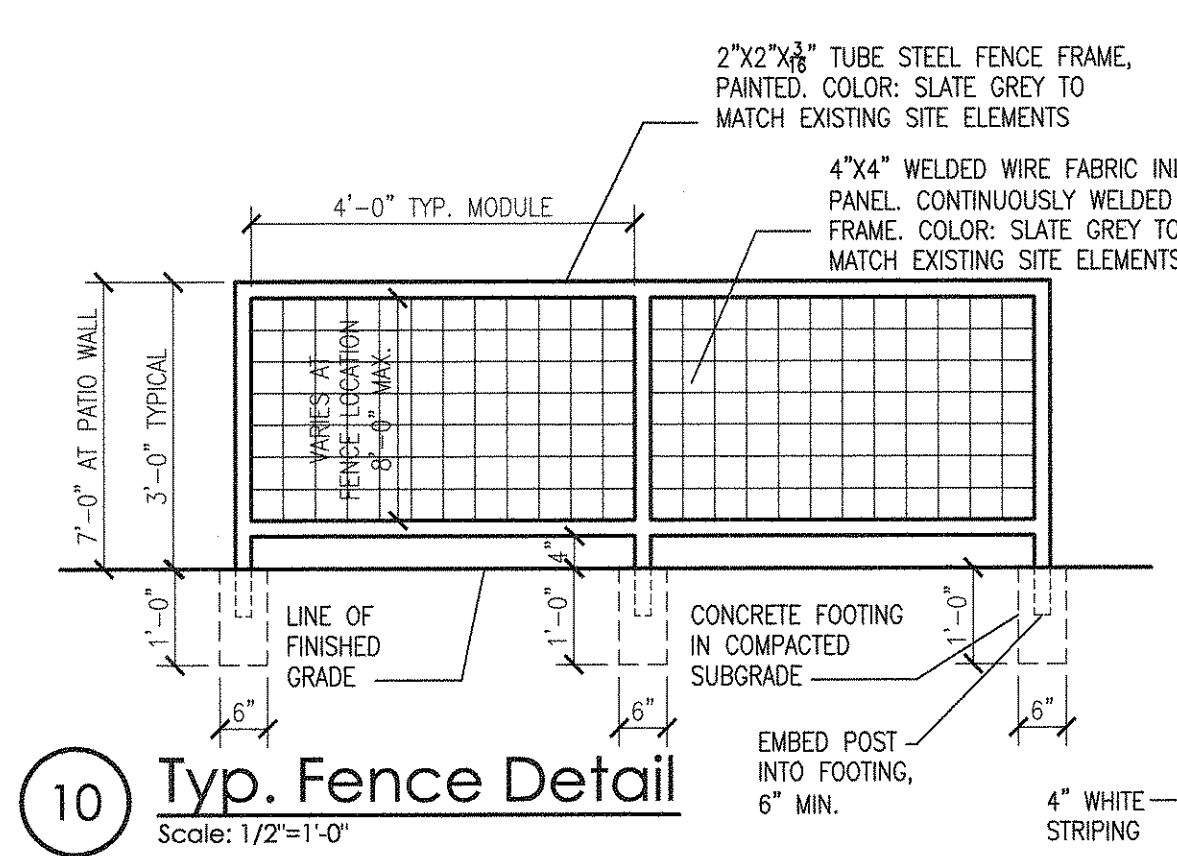
7 H.C. Sign Detail
Scale: Not to Scale (Isometric)



8 Typical Bicycle Rack Detail
Scale: 3/4"=1'-0"

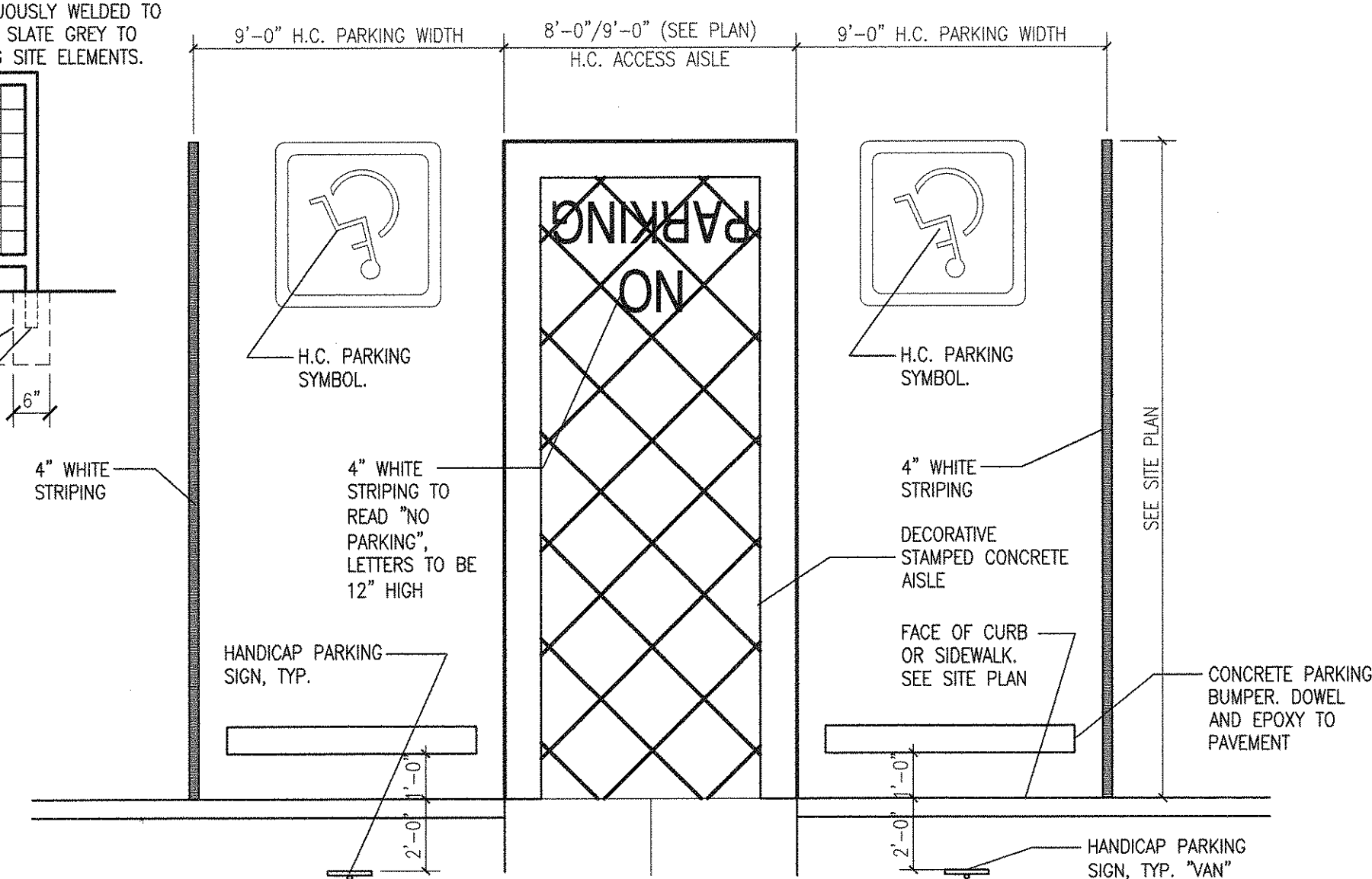


9 Bench Detail - 6' Long (min.)
Scale: Not to Scale



10 Typ. Fence Detail
Scale: 1/2"=1'-0"

SECTION 14-16-3-18 (C)(3) - FACADES GREATER THAN 100 FEET IN LENGTH: 1 SEAT PER 25 LINEAR FEET OF BUILDING FACADE.			
BUILDING C 137'-6" OF BUILDING FACADE / 25 = 6 SEATS REQUIRED (EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.) TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED (SEE SHEET 1)	BUILDING A, B, & 1 NOT APPLICABLE, NO FACADES 100' OR LONGER	BUILDING 2 131'-5" OF BUILDING FACADE / 25 = 6 SEATS REQUIRED (EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.) TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED (SEE SHEET 1) 32 LF OF CONCRETE BENCH AT FOUNTAIN = 16 SEATS PROVIDED	BUILDING 3 249'-11" OF BUILDING FACADE / 25 = 10 SEATS REQUIRED (EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.) FOUR (3) - 6'-0" LONG BENCHES = 12 SEATS PROVIDED (SEE SHEET 1)



11 HC Parking Striping Detail
Scale: 1/4"=1'-0"

