

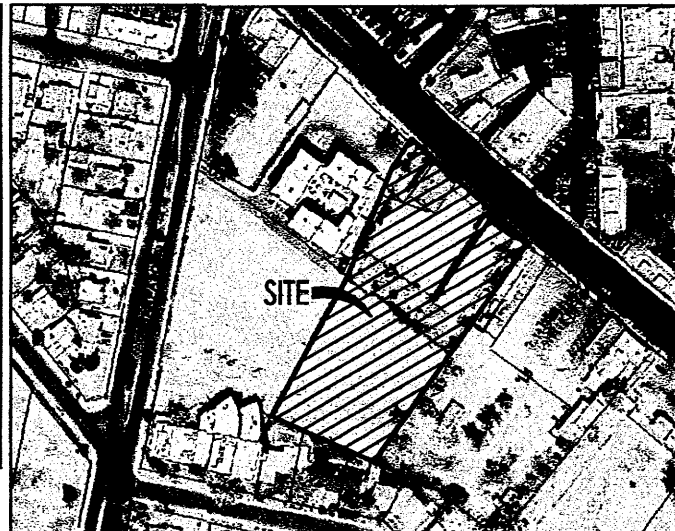
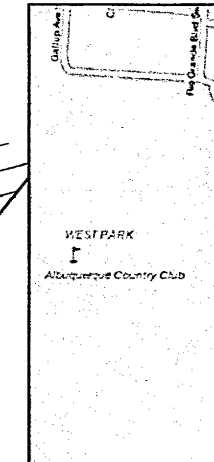
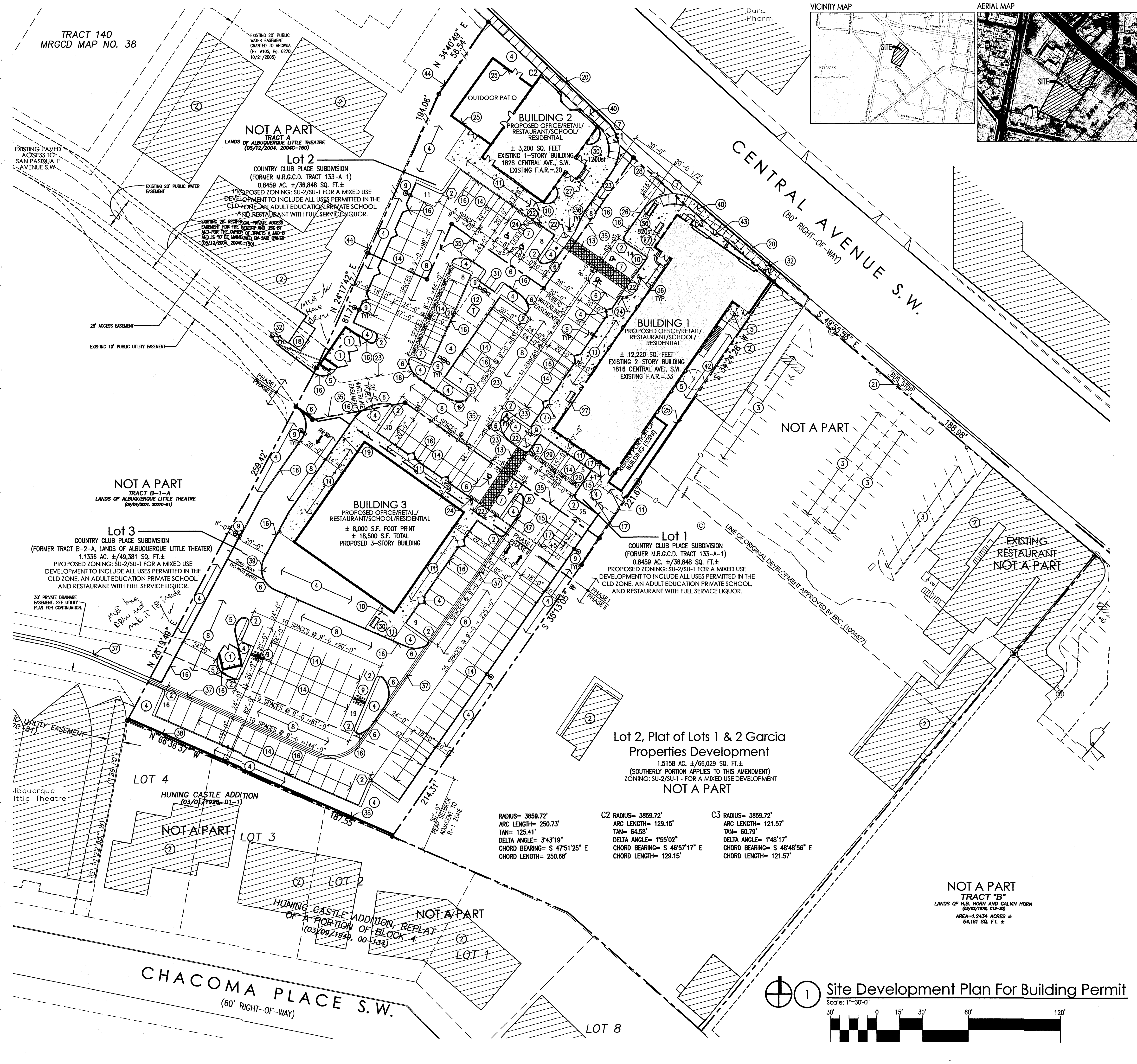
TRACT 140
MRGCD MAP NO. 38

VICINITY MAP

AERIAL MAP

KEYED NOTES:

SITE DEVELOPMENT DATA:



- [1] PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 2.
- [2] EXISTING BUILDING TO REMAIN. NOT A PART.
- [3] EXISTING PARKING STRIPING.
- [4] PROPOSED LANDSCAPING.
- [5] EXISTING TREES TO REMAIN.
- [6] PROPOSED HANDICAP PAVEMENT SIGN.
- [7] PROPOSED STAMPED COLORED CONCRETE HANDICAP ASILE.
- [8] PROPOSED ASPHALT PAVING.
- [9] PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
- [10] PROPOSED BIKE RACK WITH 4 SPACES.
- [11] PROPOSED CONCRETE SIDEWALK.
- [12] PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
- [13] PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
- [14] PROPOSED PAINTED PARKING STRIPING.
- [15] ADDITIONAL FIVE (5) PARKING SPACES TO BE STRIPED WITH CONSTRUCTION OF PHASE I.
- [16] PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
- [17] PROPOSED CONCRETE CURB/LANDSCAPING ISLAND TO BE CONSTRUCTED WITH PHASE I (SHOWN DASHED).
- [18] EXISTING DUMPSTER ENCLOSURE.
- [19] PROPOSED STOP SIGN.
- [20] EXISTING CITY CURB AND CUTTER.
- [21] EXISTING BUS STOP TO REMAIN.
- [22] PROPOSED HANDICAP RAMP.
- [23] PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
- [24] PROPOSED HANDICAP PARKING SIGNS.
- [25] PROPOSED 6'-0" HIGH CMU SCREEN WALL ON LOT 1 AND 7'-4" HIGH CMU SCREEN WALL ON LOT 2 WITH STUCCO FINISH TO MATCH BUILDING. SEE SHEET 7.
- [26] PROPOSED 100 SF. MONUMENT SIGN. SEE SHEET 6.
- [27] PROPOSED PLAZA BENCH SEATING-6' LONG BENCHES (2 LOCATIONS). SEE SHEET 7 FOR SEATING CALCULATION.
- [28] PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2420) AND RAMPS (STD. DWG. 2441) TO BE CONSTRUCTED TO COM STANDARDS.
- [29] COMPACT PARKING SPACES 8'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
- [30] STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING.
- [31] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- [32] EXISTING FIRE HYDRANT.
- [33] PROPOSED FIRE HYDRANT. SEE UTILITY PLAN.
- [34] EXISTING CONCRETE SIDEWALK.
- [35] PROPOSED LOT LINES.
- [36] PROPOSED LIGHT BOLLARD. TYP. OF 4. SEE SHEET 7.
- [37] PROPOSED CONCRETE SWALE CONSTRUCTED WITH PHASE II. SEE GRADING AND DRAINAGE PLAN.
- [38] EXISTING 6'-0" HIGH CMU SCREEN WALL.
- [39] PROPOSED "DO NOT ENTER" SIGN AND PAVEMENT SIGN.
- [40] REMOVE EXISTING 6' WIDE CITY SIDEWALK AND REPLACING WITH NEW 6' WIDE CONCRETE SIDEWALK TO MATCH AND TO TIE INTO EXISTING (STD. DWG. 2430).
- [41] PROPOSED CONCRETE PATIO WITH EXISTING LANDSCAPING.
- [42] PROPOSED CONCRETE PATIO WITH EXISTING TREES TO REMAIN.
- [43] AREA OF SIDEWALK INFILL BETWEEN CITY SIDEWALK AND EXISTING BUILDING.
- [44] EXISTING 6' HIGH SOLID WOOD SCREEN WALL WITH STUCCO PILASTERS.

PROPOSED LEGAL DESCRIPTION:
 BLDG. 1 (EXISTING) ADDRESS: 1816 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.
 BLDG. 2 (EXISTING) ADDRESS: 1828 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.
 LAND AREA: 2.3382 ACRES (101,855 SQ. FT.)
 CURRENT ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT
 PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.
 ZONE ATLAS PAGE: J-13-2
 BUILDING AREAS:
 EXISTING BUILDING 1 12,220 SF
 EXISTING BUILDING 2 3,200-5,000 SF
 PROPOSED BUILDING 3 16,700-18,500 SF
 TOTAL BUILDING AREA = 35,720 SF. MAX. ON THIS SITE
 DEVELOPMENT PHASING:
PHASE I: PHASE I WILL INCLUDE RENOVATION OF BUILDING 1, ALL PHASE I PARKING INCLUDING 69 SPACES AND RELATED LANDSCAPING, INCLUDING THE BUFFER ALONG THE R-1 PROPERTY AT THE SOUTH END OF THE SITE OF LOT 3. BUILDING 2 MAY BE RENOVATED AS PART OF PHASE I OR PHASE II.
PHASE II: PHASE II WILL INCLUDE CONSTRUCTION OF BUILDING 3, RELATED PARKING AND REMAINING LANDSCAPING.
 PROPOSED USES: ALL USES PERMITTED IN THE CLD ZONE, AND ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.
 PROHIBITED USES: -R-2 COMMUNITY RESIDENTIAL PROGRAMS
 -DRIVE-THRU SERVICE WINDOWS
 -WIRELESS TELECOMMUNICATION FACILITIES
 PARKING CALCULATIONS:
LOT 1 REQUIRED PARKING (ANTICIPATED SCHOOL):
 1 SPACE REQUIRED PER 2 STUDENTS = 40 SPACES
 80 STUDENTS = 40 SPACES
 TOTAL REQUIRED PARKING = 40 SPACES
LOT 1 PARKING PROVIDED:
 TOTAL PARKING SPACES PROVIDED = 40 SPACES
LOT 2 REQUIRED PARKING:
 NO PARKING IS REQUIRED PER CITY OF ALBUQUERQUE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1); "OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE."
 IF A RETAIL USE OCCUPIES BUILDING 2, AND 1 SPACE IS REQUIRED PER 200sf THEN 16 PARKING SPACES WILL BE REQUIRED.
LOT 2 PARKING PROVIDED:
 TOTAL PARKING SPACES PROVIDED = 14 SPACES
LOT 3 REQUIRED PARKING (ANTICIPATED):
 8,000sf FIRST FLOOR RETAIL/200 = 40 SPACES
 6,000sf SECOND FLOOR OFFICE/300 = 20 SPACES
 4,500sf (8) THIRD FLOOR RESIDENTIAL UNITS AT ±500sf EACH x 1.9 = 12 SPACES
 TOTAL REQUIRED PARKING = 72 SPACES
LOT 3 PARKING PROVIDED:
 TOTAL PARKING SPACES PROVIDED = 78 SPACES
TOTAL PARKING SPACES REQUIRED = 112 SPACES
 TOTAL NUMBER OF SPACES REQUIRED EXCLUDES REQUIRED SPACES FOR LOT 2.
112 SPACES REQUIRED x 10% REDUCTION FOR PROXIMITY TO BUS ROUTE = 100 SPACES REQUIRED
TOTAL PARKING SPACES PROVIDED = 132 SPACES
 113 REGULAR SPACES
 6 HANDICAP PARKING SPACES
 13 COMPACT SPACES
COMPACT PARKING CALCULATION:
 100 REQ'D SPACES x 25% = 25 SPACES ALLOWED
 TOTAL COMPACT SPACES = 13 SPACES PROVIDED
DISABLED PARKING REQUIREMENTS:
 TOTAL DISABLED SPACES REQUIRED = 4 SPACES
 TOTAL DISABLED SPACES PROVIDED = 6 SPACES
MOTORCYCLE REQUIREMENTS:
 TOTAL MOTORCYCLE SPACES REQUIRED = 3 SPACES
 TOTAL MOTORCYCLE SPACES PROVIDED = 3 SPACES
BIKE REQUIREMENTS:
 1 BIKE SPACE PER 20 = 5 BIKE SPACES
 PARKING SPACES = 15 SPACES
 TOTAL BIKE SPACES PROVIDED = 15 SPACES

RADIUS INFORMATION:
 1 = 2'-0" 4 = 5'-0" 7 = 25'-0"
 2 = 3'-0" 5 = 10'-0" 8 = 60'-0"
 3 = 4'-0" 6 = 15'-0"

- GENERAL NOTES:
 [A] THE DESIGN STANDARDS PLANNED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN THE FUTURE DESIGN OF BUILDING 3 AS WELL AS THE RENOVATION OF BUILDINGS 1 AND 2.
 [B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 3, COUNTRY CLUB PLACE, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THIS WILL BE GRANTED WITH REPLAT OF ALL TRACTS.
 [C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

- SITE LIGHTING NOTES:
 [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
 [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 18'-0" MAX. TO MATCH EXISTING.
 [C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
 [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

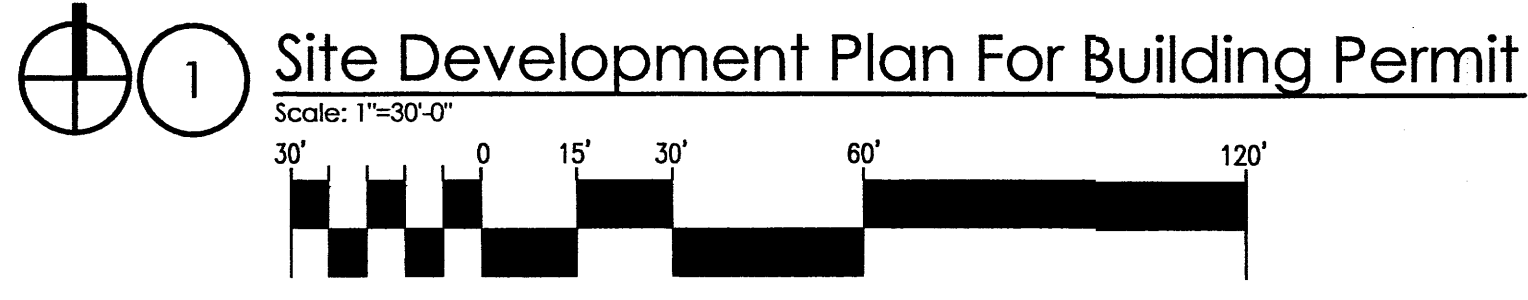
Lot 2, Plat of Lots 1 & 2 Garcia
 Properties Development
 1.5158 AC. ±/66,029 SQ. FT.±
 (SOUTHERLY PORTION APPLIES TO THIS AMENDMENT)
 ZONING: SU-2/SU-1 - FOR A MIXED USE DEVELOPMENT
 NOT A PART

RADIUS= 3859.72'
 ARC LENGTH= 250.73'
 TAN= 125.41'
 DELTA ANGLE= 3'43'19"
 CHORD BEARING= S 47'51'25" E
 CHORD LENGTH= 250.68'

C2 RADIUS= 3859.72'
 ARC LENGTH= 129.15'
 TAN= 64.58'
 DELTA ANGLE= 1'55'02"
 CHORD BEARING= S 46'57'17" E
 CHORD LENGTH= 129.15'

C3 RADIUS= 3859.72'
 ARC LENGTH= 121.57'
 TAN= 60.79'
 DELTA ANGLE= 1'48'17"
 CHORD BEARING= S 48'48'56" E
 CHORD LENGTH= 121.57'

NOT A PART
 TRACT "B"
 LANDS OF H.B. HORN AND CALVIN HORN
 (04/22/1978, 05-90)
 AREA=1.2434 ACRES ±
 54,161 SQ. FT. ±



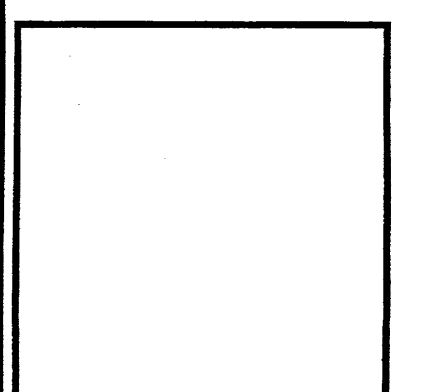
AND PLANS CHECKING OFFICE
 824-8811
 APPROVED FOR SUBMITTAL
 BY: [Signature]
 DATE: [Date]

revision	by	date	rev
	JH	11/2/10	1
	JH	9/27/10	2

PER EPC NOTICE OF DECISION	PER PLANNING DEPT COMMENTS



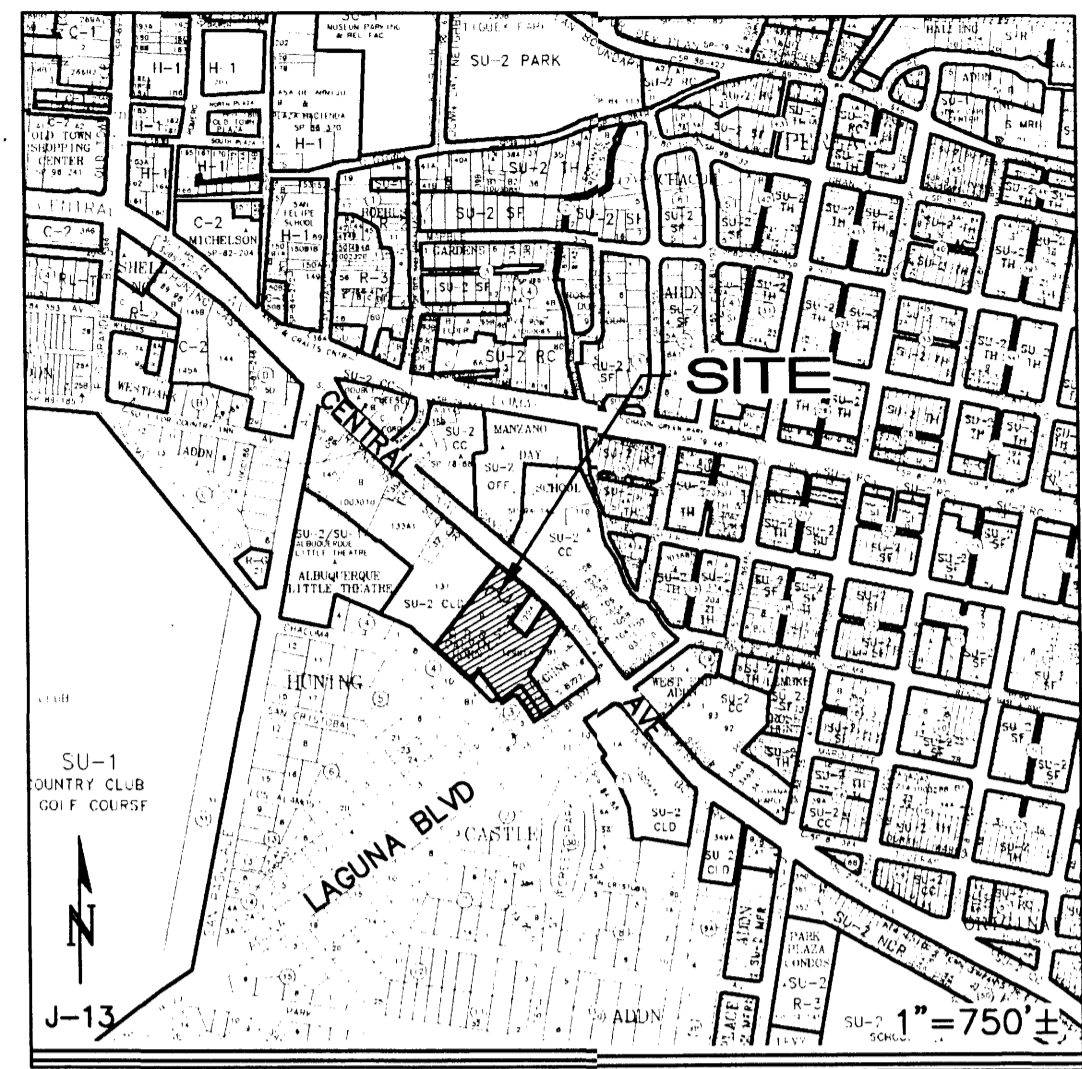
Mullen Heller
 Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque, NM 87102
 505 268 4144 [p]
 505 268 4244 [f]



10-07	JH	JH	JH
job number	drawn by	project manager	date
			8/26/10

Country Club Place Development
 Lots 1 thru 3, Country Club Place
 Albuquerque, NM
 Site Development Plan for Building Permit

PROJECT NUMBER:	APPLICATION NUMBER:
THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: [Date] AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date



LEGEND

- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- LOT LINE TO BE VACATED
- ▲ CENTERLINE MONUMENT
- [20.00'] DISTANCE TO CENTERLINE MONUMENT

ACS BENCHMARKS

A.C.S. MONUMENT "14-J13"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=374,159.66
Y=1,490,095.28
EL=4954.710 NAVD 1929
GROUND TO GRID FACTOR=0.9996811
DELTA ALPHA ANGLE=-0°14'31"

A.C.S. MONUMENT "13-J13"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=374,864.66
Y=1,489,527.09
EL=4953.44 NAVD 1929
GROUND TO GRID FACTOR=0.9996810
DELTA ALPHA ANGLE=-0°14'26"

BOUNDARY CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	841.50	23.03	11.52	23.03	N 49°19'41" W	1°34'5"
C2	841.50	94.04	47.07	93.99	N 40°11'10" W	6°24'10"
C3	13.00	18.03	10.80	16.62	N 10°10'57" W	79°27'27"
C4	14.50	16.47	9.25	15.60	S 2°59'33" E	65°4'39"
C5	7.00	12.52	8.71	10.91	N 86°45'9" W	102°26'33"
C6	13.00	20.42	13.00	18.38	N 87°13'5" E	90°0'0"
C7	7.00	10.76	6.77	9.73	S 3°56'33" E	88°3'45"
C8	88.50	50.28	25.84	49.61	N 19°15'13" W	32°33'18"
C9	61.50	11.32	5.67	11.30	S 81°45'0" E	10°32'32"
C10	57.50	32.67	16.79	32.23	N 19°15'13" W	32°33'18"
C11	92.50	45.57	23.26	45.11	S 17°5'18" E	28°13'28"
C12	7.00	2.69	1.36	2.67	S 29°5'38" W	21°59'23"
C13	7.00	8.07	4.55	7.63	S 14°56'15" E	66°4'21"
C14	13.00	11.13	5.93	10.79	S 72°29'25" E	49°1'59"
C15	13.00	9.30	4.86	9.10	N 62°30'35" E	40°58'1"
C16	13.00	16.91	9.89	15.74	S 77°21'9" W	74°31'39"
C17	13.00	3.51	1.77	3.50	N 57°38'51" W	15°28'21"
C18	75.00	16.96	8.52	16.93	N 42°24'33" W	12°57'34"
C19	75.00	60.10	31.77	58.50	S 25°55'57" E	45°54'45"
C20	75.00	42.61	21.90	42.04	N 19°15'13" W	32°33'18"
C21	13.00	20.42	13.00	18.38	S 85°5'19" W	90°0'0"

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 35°37'0" W	39.25
	(S 35°55'00" E)	(39.25)
L2	S 54°23'8" W	9.92
	(S 54°04'30" W)	(9.66)
L3	N 80°37'0" W	13.76
	(S 80°55'00" W)	(14.14)
L4	N 54°23'8" E	10.68
L5	S 49°0'32" E	14.69
L6	S 33°54'54" W	5.42
L7	S 71°54'4" E	9.44
L8	S 4°54'9" E	8.20
L9	N 60°27'14" W	3.00
L10	N 16°56'42" W	13.14
L11	S 35°37'33" E	22.20
L12	N 54°23'8" E	13.24

LEGAL DESCRIPTION

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALBUQUERQUE, GRANT, PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE REMAINING PORTION OF TRACT B, HUNING CASTLE ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 14, 1977, IN MAP BOOK C12, FOLIO 16, TRACT A-1-A, LAGUNA SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 1988, IN MAP BOOK C38, FOLIO 34, TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 2, 1978, IN MAP BOOK C13, PAGE 20, M.R.G.C.D. TRACT 129-B-1-A MAP NO. 38 SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF CENTRAL AVENUE, S.W. MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993", FROM WHENCE A TIE TO ALBUQUERQUE SURVEY CONTROL MONUMENT "13-J13" BEARS N 43°42'49" W, A DISTANCE OF 1029.62 FEET;

THENCE S 49°56'07" E, A DISTANCE OF 133.03 FEET TO A POINT OF CURVATURE MARKED BY A FOUND REBAR WITH TAG "PS 11463";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 841.50 FEET, AN ARC LENGTH OF 23.03 FEET, A DELTA ANGLE OF 1°34'5", A CHORD BEARING OF S 49°19'41" E, AND A CHORD LENGTH OF 23.03 FEET, TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X";

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 34°46'40" W, A DISTANCE OF 142.42 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 46°19'02" E, A DISTANCE OF 75.25 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 34°49'54" E, A DISTANCE OF 143.38 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X" IN CONCRETE SIDEWALK LYING ON SAID SOUTH RIGHT OF WAY LINE;

THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, ALONG A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 841.50 FEET, AN ARC LENGTH OF 94.04 FEET, A DELTA ANGLE OF 6°24'10", A CHORD BEARING OF S 40°11'10" E, AND A CHORD LENGTH OF 93.99 FEET, TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 37°02'00" E, A DISTANCE OF 87.76 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND CHISELED "X" IN CONCRETE SIDEWALK

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 52°58'00" W, A DISTANCE OF 146.34 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 35°37'00" W, A DISTANCE OF 39.25 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 34°30'30" W, A DISTANCE OF 117.03 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 3 REBAR;

THENCE S 54°23'08" W, A DISTANCE OF 9.92 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 35°36'45" E, A DISTANCE OF 145.82 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" LYING ON THE NORTHWESTERLY RIGHT OF WAY LINE OF LAGUNA BOULEVARD, S.W.;

THENCE CONTINUING ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE, S 54°23'00" W, A DISTANCE OF 39.50 FEET TO THE SOUTH- WEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID NORTHWESTERLY RIGHT OF WAY LINE, N 35°37'00" W, A DISTANCE OF 120.07 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 80°37'00" W, A DISTANCE OF 13.76 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 54°23'08" W, A DISTANCE OF 50.18 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 35°37'33" W, A DISTANCE OF 153.99 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 34°51'30" W, A DISTANCE OF 46.40 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 48°09'59" W, A DISTANCE OF 192.68 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 3 REBAR;

THENCE N 39°56'40" W, A DISTANCE OF 401.33 FEET TO THE POINT OF BEGINNING CONTAINING 3.1303 ACRES (136,355 SQUARE FEET) MORE OR LESS.

SITE DATA

- TOTAL LAND AREA = 3.1303 ACRES.
- NUMBER OF EXISTING TRACTS IS 5.
- NUMBER OF PROPOSED TRACTS IS 3.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 17.
- CURRENT ZONING: R-D.
- ALL STREETS WILL MEET CITY STANDARDS AND WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE. NO LOT SHALL HAVE DIRECT ACCESS TO LADERA DRIVE NW.
- ALL STREETS HAVE RIGHT-OF-WAY AND PAVING WIDTHS PER DPM STANDARDS.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #11993".
- ALL STREET CENTERLINE POINTS SHOWN THUS ▲ WILL BE MARKED BY A 4" ALUMINUM DISK STAMPED "CENTERLINE MONUMENT, PLS #11993".
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
- DISTANCES WILL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- TRACT PR (PRIVATE ROADWAY) WILL CONSIST OF THE FOLLOWING EASEMENTS:
 - PRIVATE ACCESS
 - PRIVATE UTILITY
 - PUBLIC UTILITY (WATER & SEWER)
 - PRIVATE DRAINAGE

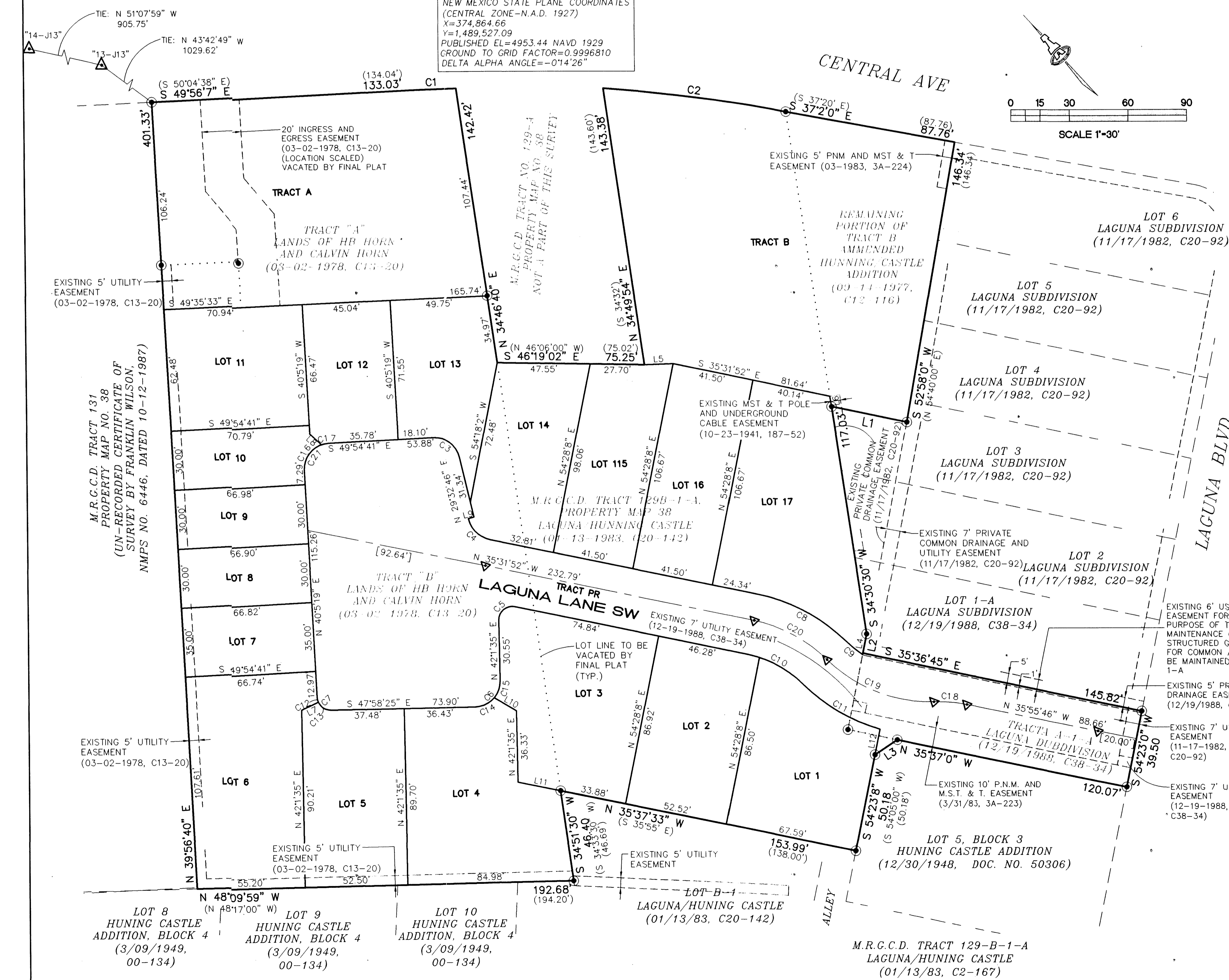
ALL EASEMENTS TO BE FURTHER DEFINED BY FINAL PLAT.

PRELIMINARY PLAT FOR
COUNTRY CLUB PLAZA UNIT I
BEING A REPLAT OF
REMAINING PORTION TRACT B, HUNING CASTLE
ADDITION, TRACT A-1-A, LAGUNA SUBDIVISION
TRACTS A AND B, LANDS OF HB HORN AND
CALVIN HORN M.R.G.C.D. TRACT 129-B-1-A
PROPERTY MAP NO. 38
PROJECTED SECTION 18, T. 10 N. R. 3 E, NMSP.

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2007

PRELIMINARY PLAT
APPROVED BY DRB
ON



APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 11/2/07
CITY SURVEYOR DATE

OWNERSHIP
[Signature] 11/03/07
JAY PEMBE, MANAGING MEMBER DATE
COUNTRY CLUB PARTNERS, LLC.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1462PLM.dwg Nov 01, 2007

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ACS BENCHMARKS

A.C.S. MONUMENT "14-J13"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=374,159.66
Y=1,490,095.28
EL=4954.710 NAVD 1929
GROUND TO GRID FACTOR=0.9996811
DELTA ALPHA ANGLE=-0°14'31"

A.C.S. MONUMENT "13-J13"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=374,864.66
Y=1,489,527.09
EL=4953.44 NAVD 1929
GROUND TO GRID FACTOR=0.9996810
DELTA ALPHA ANGLE=-0°14'26"

LEGEND

- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- ⋯ LOT LINE TO BE VACATED

SITE DATA

1. TOTAL LAND AREA = 4.7322 ACRES.
2. NUMBER OF EXISTING TRACTS IS 8.
3. NUMBER OF PROPOSED TRACTS IS 10.
4. CURRENT ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT.
5. PUBLIC WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.

NOTES

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● WILL BE MARKED BY A NO. 5 IRON REBAR WITH PLASTIC CAP STAMPED "PLS #11993".
2. BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
3. BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
4. DISTANCES WILL BE GROUND DISTANCES.

EASEMENT NOTES

1. EXISTING PRIVATE CROSS-LOT DRAINAGE EASEMENT (BLANKET IN NATURE) COVERING TRACTS A, B-1-A, AND B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE (05/12/04, 2004C-150).
2. PROPOSED PRIVATE BLANKET CROSS-LOT DRAINAGE, ACCESS, WATER, SEWER, AND UTILITY EASEMENT COVERING TRACTS 1-10. TO BE MAINTAINED BY OWNER OF PROPERTY ON WHICH EASEMENT RESIDES, AND GRANTED BY FINAL PLAT.

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	3859.72	250.73	3°43'19"	123.41'	S 47°51'25" E	250.68'

PRELIMINARY
PLAT FOR
**COUNTRY CLUB PLAZA
SUBDIVISION
PHASE TWO**
BEING A REPLAT OF
M.R.G.C.D. TRACTS 131, 132, 133-A-1, 133-A-2, 133-B, 134
AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A,
LANDS OF ALBUQUERQUE LITTLE THEATRE
WITHIN THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 18, T. 10 N. R. 3 E. NMPM,
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2008

LEGAL DESCRIPTION

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE M.R.G.C.D. TRACTS 131, 132, 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILLED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 04, 2007, IN MAP BOOK 2007C, PAGE 81, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF CENTRAL AVENUE, S.W. MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993", FROM WHENCE A TIE TO ALBUQUERQUE SURVEY CONTROL MONUMENT "13-J13" BEARS N 38°15'23" W, A DISTANCE OF 509.31 FEET;

THENCE FROM SAID POINT OF BEGINNING, CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE FOR THE NEXT FOUR CALLS, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 3859.72 FEET, AN ARC LENGTH OF 250.73 FEET, A DELTA ANGLE OF 3°43'19", A CHORD BEARING OF S 47°51'25" E, AND A CHORD LENGTH OF 250.68 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X" IN CONCRETE SIDEWALK;

THENCE S 49°55'53" E, A DISTANCE OF 188.98 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X" IN CONCRETE SIDEWALK;

THENCE S 49°56'07" E, A DISTANCE OF 85.60 FEET TO A POINT MARKED BY A FOUND PK NAIL WITH TAG "PS 11463";

THENCE S 39°56'40" E, A DISTANCE OF 401.33 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 3 REBAR;

THENCE N 48°28'04" W, A DISTANCE OF 115.88 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 3 REBAR;

THENCE N 66°34'53" W, A DISTANCE OF 124.85 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 66°36'37" W, A DISTANCE OF 187.55 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 28°19'49" E, A DISTANCE OF 259.42 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 24°17'42" E, A DISTANCE OF 194.06 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 34°40'49" E, A DISTANCE OF 56.54 FEET TO THE POINT OF BEGINNING CONTAINING 4.7322 ACRES (206,133 SQUARE FEET) MORE OR LESS.



APPROVED FOR MONUMENTATION
AND STREET NAMES

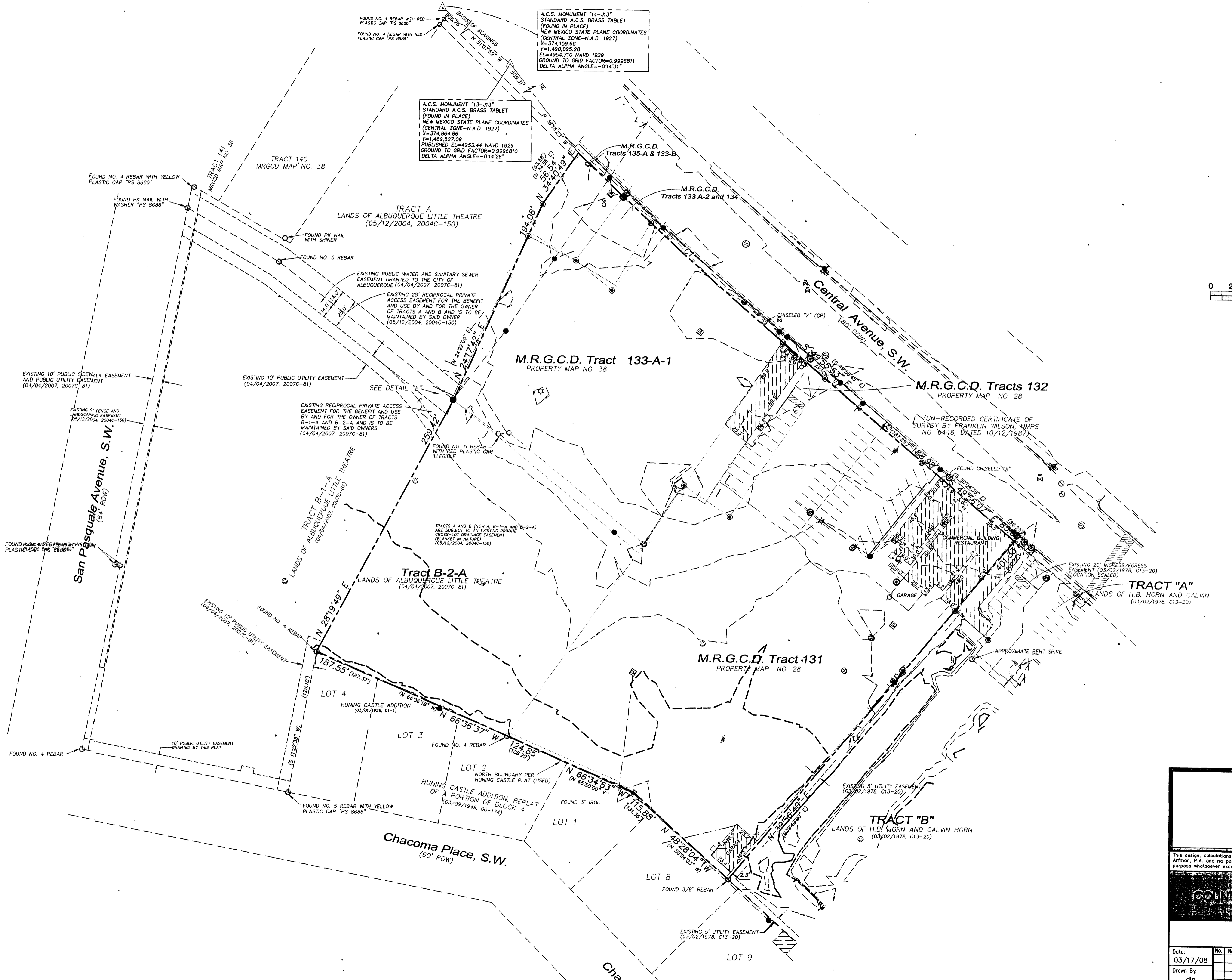
[Signature] 3-18-08
CITY SURVEYOR DATE

OWNERSHIP

[Signature] 3/18/08
JAY SMITH, MANAGING MEMBER DATE
COUNTRY CLUB PARTNERS, LLC.

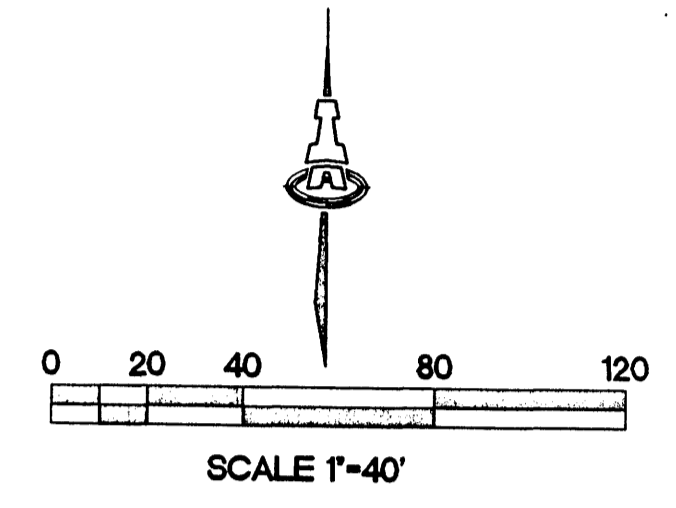
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1663 V-PUM.dwg Mar 17, 2008

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A.C.S. MONUMENT "14-J13"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
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GROUND TO GRID FACTOR=0.9996811
DELTA ALPHA ANGLE=-0°14'31"

A.C.S. MONUMENT "13-J13"
STANDARD A.C.S. BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=374,864.66
Y=1,489,527.09
PUBLISHED EL=4953.44 NAVD 1929
GROUND TO GRID FACTOR=0.9996810
DELTA ALPHA ANGLE=-0°14'26"



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Tel. 505-268-8828 Fax. 505-268-2632
1663 701-SITE SKETCH.dwg Mar 17, 2008

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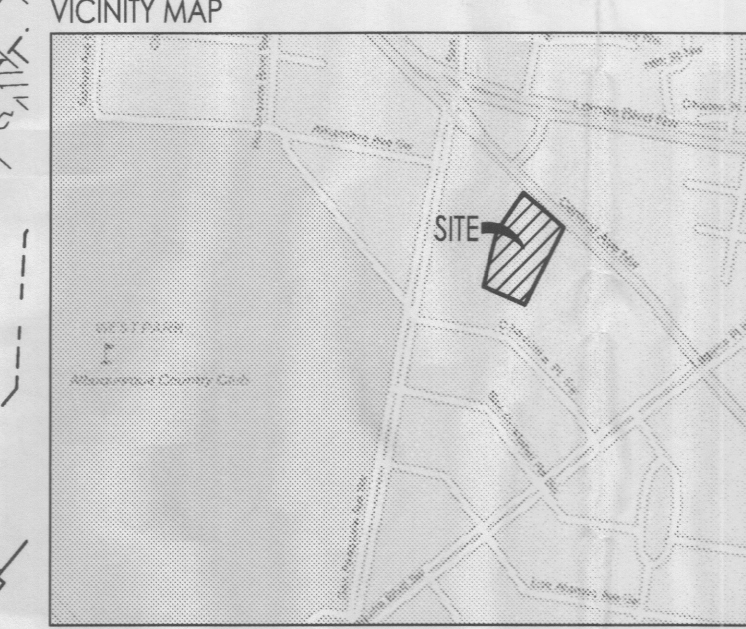
COUNTRY CLUB PLAZA - PHASE II
INTEL SOLUTIONS

SITE SKETCH				
Date:	No. Revisions:	Date:	Job No.	
03/17/08			1663	
Drawn By:			PAGE	
djp			SH. 3	
Chk By:				
GLD				



- KEYED NOTES:**
- PROPOSED CMU DUMPSTER ENCLOSURE WITH RECYCLING AREA.
 - EXISTING BUILDING TO REMAIN. NOT A PART.
 - EXISTING PARKING STRIPING.
 - PROPOSED LANDSCAPING.
 - EXISTING TREES TO REMAIN.
 - PROPOSED HANDICAP PAVEMENT SIGN.
 - PROPOSED STAMPED COLORED CONCRETE HANDICAP ASILE.
 - PROPOSED ASPHALT PAVING.
 - PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
 - PROPOSED BIKE RACK WITH 4 SPACES.
 - PROPOSED CONCRETE SIDEWALK.
 - PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
 - PROPOSED STAMPED COLORED PEDESTRIAN CONNECTION.
 - PROPOSED PAINTED PARKING STRIPING.
 - ADDITIONAL FIVE (5) PARKING SPACES TO BE STRIPPED WITH CONSTRUCTION OF PHASE I.
 - PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
 - PROPOSED CONCRETE CURB/LANDSCAPING ISLAND TO BE CONSTRUCTED WITH PHASE I (SHOWN DASHED).
 - EXISTING DUMPSTER ENCLOSURE.
 - PROPOSED STOP SIGN.
 - EXISTING CITY CURB AND GUTTER.
 - EXISTING BUS STOP TO REMAIN.
 - PROPOSED HANDICAP RAMP.
 - PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
 - PROPOSED HANDICAP PARKING SIGNS.
 - PROPOSED 9'-4" HIGH CMU PATIO WALL WITH STUCCO TO MATCH BUILDING COLOR. SEE EXTERIOR ELEVATIONS.
 - PROPOSED 100 SF. MONUMENT SIGN. SEE SHEET 6.
 - PROPOSED PLAZA BENCH SEATING. SEE LANDSCAPING PLAN.
 - PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2420) AND RAMPS (STD. DWG. 2441) TO BE CONSTRUCTED TO COA STANDARDS.
 - COMPACT PARKING SPACES 8'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
 - STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING AND LANDSCAPING. SEE LANDSCAPING PLAN.
 - PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
 - EXISTING FIRE HYDRANT.
 - PROPOSED FIRE HYDRANT. SEE UTILITY PLAN.
 - EXISTING CONCRETE SIDEWALK.
 - PROPOSED LOT LINES.
 - PROPOSED SITE LIGHTING BOLLARD 48" HIGH MAX. TYPICAL OF 4.
 - PROPOSED CONCRETE SWALE CONSTRUCTED WITH PHASE II. SEE GRADING AND DRAINAGE PLAN.
 - PROPOSED 6'-0" HIGH CMU SCREEN WALL WITH STUCCO TO MATCH BUILDING COLOR.
 - 15'-0" SIDE-YARD BUILDING SETBACK.

- RADIUS INFORMATION:**
- 2'-0"
 - 3'-0"
 - 4'-0"
 - 5'-0"
 - 10'-0"
 - 15'-0"



SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: TRACTS 135-A, 133-B, 133-A-2, 134 AND 133-A-1, MRGCD MAP 38 AND TRACT B-2-A LANDS OF ALBUQUERQUE LITTLE THEATER CITY OF ALBUQUERQUE, NEW MEXICO

BUILDING ADDRESSES:

BLDG. 1 (EXISTING)	BLDG. 2 (EXISTING)
ADDRESS: 1816 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.	ADDRESS: 1828 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.
BLDG. 3 ADDRESS:	
NEW BUILDING	

LAND AREA: 2.3382 ACRES (101,856 SQ. FT.)

CURRENT ZONING: SU-2/SU-1 - FOR A MIXED USE DEVELOPMENT

ZONE ATLAS PAGE: J-13-Z

BUILDING AREAS:

EXISTING BUILDING 1	12,220 SF
EXISTING BUILDING 2	3,200-5,000 SF
PROPOSED BUILDING 3	18,700-18,500 SF
TOTAL BUILDING AREA	= 33,920 SF. MAX. ON THIS SITE

DEVELOPMENT PHASING:

PHASE I: THIS WILL INCLUDE RENOVATION OF BUILDING 1 AND ALL PHASE I PARKING INCLUDING 69 SPACES. BUILDING 2 MAY BE RENOVATED AS PART OF PHASE I OR AT A LATER DATE.

PHASE II: PHASE II WILL INCLUDE CONSTRUCTION OF BUILDING 3 AND RELATED PARKING.

PHASE I:

PARKING CALCULATIONS:

PARKING CALCULATIONS/SPACES FOR EXISTING BUILDINGS 1 AND 2 ARE NOT REQUIRED PER CITY OF ALBUQUERQUE ZONING CODE: 14-18-3-1 OFF-STREET PARKING REGULATIONS: OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1985 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.*

EXISTING BUILDINGS 1 AND 2

TOTAL PARKING SPACES PROVIDED = 69 SPACES

PHASE II:

PROPOSED BUILDING 3
18,500/200 = 92 SPACES
TOTAL PARKING SPACES REQUIRED = 92 SPACES

TRANSIT ROUTE CREDIT-ROUTE 66/766
92 SPACES REQUIRED x 15% = 78 SPACES
TOTAL PARKING SPACES PROVIDED = 78 SPACES

PHASE I PARKING PROVIDED: = 69 SPACES
PHASE II PARKING PROVIDED: = 63 SPACES
TOTAL PARKING SPACES PROVIDED: = 132 SPACES (PHASE I AND PHASE II)

COMPACT PARKING CALCULATION:
25% OF REQUIRED SPACES
92 REQ'D x 25% = 23 SPACES ALLOWED
TOTAL COMPACT PARKING SPACES ALLOWED = 23 SPACES

TOTAL COMPACT PARKING SPACES PROVIDED = 13 SPACES

DISABLED PARKING REQUIREMENTS:
PROPOSED BUILDING 3 = 92 REQUIRED SPACES
TOTAL HC SPACES REQUIRED = 4 SPACES
TOTAL HC SPACES PROVIDED = 6 SPACES

INCLUDING WITH THE PROVIDED SPACES
117 REGULAR SPACES
6 HANDICAP PARKING SPACES
13 SMALL CAR SPACES
TOTAL PARKING SPACES PROVIDED = 132 SPACES

MOTORCYCLE REQUIREMENTS:
92 SPACES = 3 SPACES REQ'D
TOTAL MOTORCYCLE SPACES PROVIDED = 3 SPACES

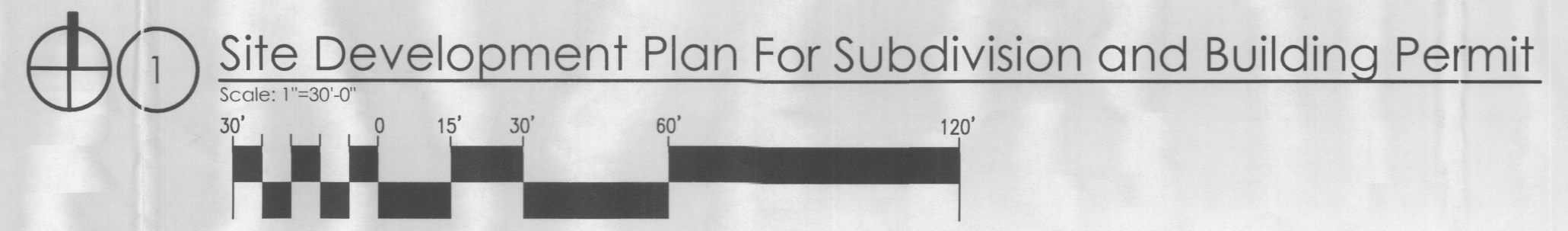
BICYCLE REQUIREMENTS:
1 PER 20 REQUIRED = 92/20
PARKING SPACES = 5 SPACES REQ'D
TOTAL BICYCLE SPACES PROVIDED = 12 SPACES

GENERAL NOTES:

- THE DESIGN STANDARDS ATTAINED IN THE SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVED DECEMBER 20, 2007 SHALL GOVERN THE FUTURE DESIGN OF BUILDING 3.
- RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF TRACTS 135-A, 133-B, 133-A-2, 134 AND 133-A-1, MRGCD MAP 38 AND TRACT B-2-A LANDS OF ALBUQUERQUE LITTLE THEATER, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THIS WILL BE GRANTED WITH REPLAT OF ALL TRACTS.
- THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

SITE LIGHTING NOTES:

- THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
- LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.



project title: Country Club Place-Administrative Amendment
 sheet title: Site Dev' Plan For Subdivision & Bldg. Permit
 1 of 6

rev: 5/14/10
 date: 6/14/10
 by: JPH
 date: 6/14/10

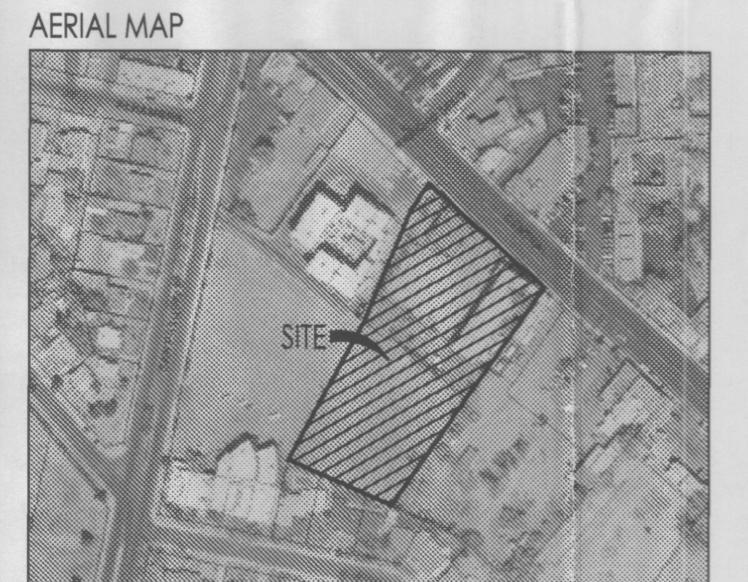
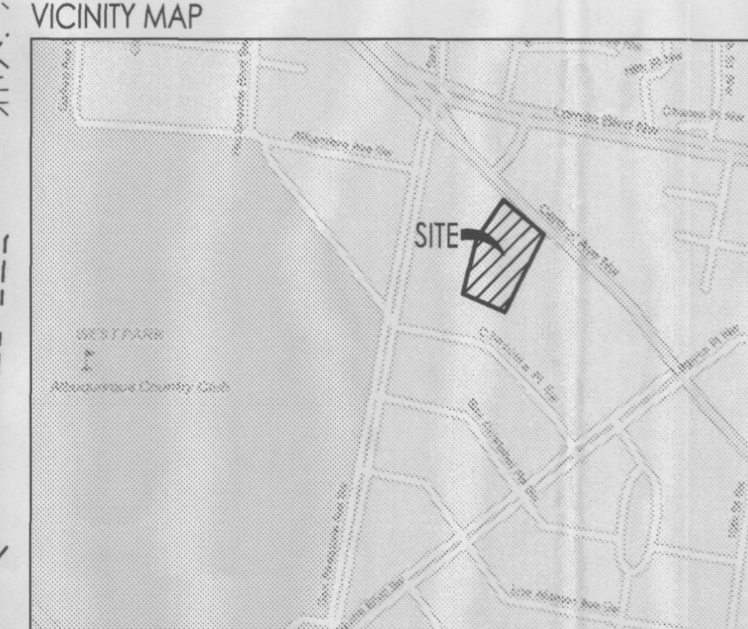
job number: 10-07
 drawn by: mws
 project manager: MAMA
 date: 5/17/10

Mullen Heller Architecture P.C.
 924 Park Avenue SW Suite B
 Albuquerque, NM 87102
 505 268 4144 [p]
 505 268 4244 [f]



- KEYED NOTES:**
- PROPOSED CMU DUMPSTER ENCLOSURE WITH RECYCLING AREA.
 - EXISTING BUILDING TO REMAIN. NOT A PART.
 - EXISTING PARKING STRIPING.
 - PROPOSED LANDSCAPING.
 - EXISTING TREES TO REMAIN.
 - PROPOSED HANDICAP PAVEMENT SIGN.
 - PROPOSED STAMPED COLORED CONCRETE HANDICAP AISLE.
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 - PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
 - PROPOSED BIKE RACK WITH 4 SPACES.
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 - PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
 - PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
 - PROPOSED PAINTED PARKING STRIPING.
 - ADDITIONAL FIVE (6) PARKING SPACES TO BE STRIPPED WITH CONSTRUCTION OF PHASE I.
 - PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
 - PROPOSED CONCRETE CURB/LANDSCAPING ISLAND TO BE CONSTRUCTED WITH PHASE I (SHOWN DASHED).
 - EXISTING DUMPSTER ENCLOSURE.
 - PROPOSED STOP SIGN.
 - EXISTING CITY CURB AND GUTTER.
 - EXISTING BUS STOP TO REMAIN.
 - PROPOSED HANDICAP RAMP.
 - PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
 - PROPOSED HANDICAP PARKING SIGNS.
 - PROPOSED 9'-4" HIGH CMU PATIO WALL WITH STUCCO TO MATCH BUILDING COLOR. SEE EXTERIOR ELEVATIONS.
 - PROPOSED 100 SF. MOUNTAIN SIGN. SEE SHEET 6.
 - PROPOSED PLAZA BENCH SEATING. SEE LANDSCAPING PLAN.
 - PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2420) AND RAMPS (STD. DWG. 2441) TO BE CONSTRUCTED TO COA STANDARDS.
 - COMPACT PARKING SPACES 8'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
 - STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING AND LANDSCAPING. SEE LANDSCAPING PLAN.
 - PROPOSED 4'-0" WIDE X 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
 - EXISTING FIRE HYDRANT.
 - PROPOSED FIRE HYDRANT. SEE UTILITY PLAN.
 - EXISTING CONCRETE SIDEWALK.
 - PROPOSED LOT LINES.
 - PROPOSED SITE LIGHTING BOLLARD 48" HIGH MAX. TYPICAL OF 4.
 - PROPOSED CONCRETE SQUARE WITH PHASE II. SEE GRADING AND DRAINAGE PLAN.
 - PROPOSED 6'-0" HIGH CMU SCREEN WALL WITH STUCCO TO MATCH BUILDING COLOR.
 - 15'-0" SIDE-YARD BUILDING SETBACK.

- RADIUS INFORMATION:**
- ① = 2'-0"
 - ② = 3'-0"
 - ③ = 4'-0"
 - ④ = 5'-0"
 - ⑤ = 10'-0"
 - ⑥ = 15'-0"



SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: TRACTS 135-A, 133-B, 133-A-2, 134 AND 133-A-1, MRGCD MAP 38 AND TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:	BLDG. 1 (EXISTING) ADDRESS: 1816 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.	BLDG. 2 (EXISTING) ADDRESS: 1828 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.
LAND AREA:	2.3382 ACRES (101,855 SQ. FT.)	
CURRENT ZONING:	SU-2/SU-1 - FOR A MIXED USE DEVELOPMENT	
ZONE ATLAS PAGE:	J-13-Z	
BUILDING AREAS:	EXISTING BUILDING 1 12,220 SF	EXISTING BUILDING 2 3,200-5,000 SF
	PROPOSED BUILDING 3 16,700-18,500 SF	TOTAL BUILDING AREA = 33,920 SF. MAX. ON THIS SITE

DEVELOPMENT PHASING:

PHASE I: PHASE I WILL INCLUDE RENOVATION OF BUILDING 1 AND ALL PHASE I PARKING INCLUDING 69 SPACES. BUILDING 2 MAY BE RENOVATED AS PART OF PHASE I OR AT A LATER DATE.

PHASE II: PHASE II WILL INCLUDE CONSTRUCTION OF BUILDING 3 AND RELATED PARKING.

PARKING CALCULATIONS:

PHASE I: PHASE I WILL INCLUDE RENOVATION OF BUILDING 1 AND ALL PHASE I PARKING INCLUDING 69 SPACES. BUILDING 2 MAY BE RENOVATED AS PART OF PHASE I OR AT A LATER DATE.

PHASE II: PHASE II WILL INCLUDE CONSTRUCTION OF BUILDING 3 AND RELATED PARKING.

EXISTING BUILDINGS 1 AND 2

TOTAL PARKING SPACES PROVIDED	= 69 SPACES
-------------------------------	-------------

PHASE II:

PROPOSED BUILDING 3	18,500/200 = 92 SPACES
TOTAL PARKING SPACES REQUIRED	= 92 SPACES
TRANSIT ROUTE CREDIT-ROUTE 66/766	92 SPACES REQUIRED x 15% = 78 SPACES
TOTAL PARKING SPACES PROVIDED	= 78 SPACES

PHASE I PARKING PROVIDED: = 69 SPACES
PHASE II PARKING PROVIDED: = 63 SPACES
TOTAL PARKING SPACES PROVIDED: = 132 SPACES (PHASE I AND PHASE II)

DISABLED PARKING REQUIREMENTS:

PROPOSED BUILDING 3	= 92 REQUIRED SPACES
TOTAL HC SPACES REQUIRED	= 4 SPACES
TOTAL HC SPACES PROVIDED	= 6 SPACES

INCLUDING WITH THE PROVIDED SPACES

117 REGULAR SPACES	
6 HANDICAP PARKING SPACES	
13 SMALL CAR SPACES	
TOTAL PARKING SPACES PROVIDED	= 132 SPACES

MOTORCYCLE REQUIREMENTS:

92 SPACES	= 3 SPACES REQ'D
TOTAL MOTORCYCLE SPACES PROVIDED	= 3 SPACES

BICYCLE REQUIREMENTS:

1 PER 20 REQUIRED	92/20
PARKING SPACES	= 5 SPACES REQ'D
TOTAL BICYCLE SPACES PROVIDED	= 12 SPACES

GENERAL NOTES:

[A] THE DESIGN STANDARDS ATTAINED IN THE SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVED DECEMBER 20, 2007 SHALL GOVERN THE FUTURE DESIGN OF BUILDING 3.

[B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF TRACTS 135-A, 133-B, 133-A-2, 134 AND 133-A-1, MRGCD MAP 38 AND TRACT B-2-A LANDS OF ALBUQUERQUE LITTLE THEATRE, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THIS WILL BE GRANTED WITH REPLAT OF ALL TRACTS.

[C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

SITE LIGHTING NOTES:

[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.

[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.

[C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.

[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

revision

by

date

6/14/10

rev

5

4

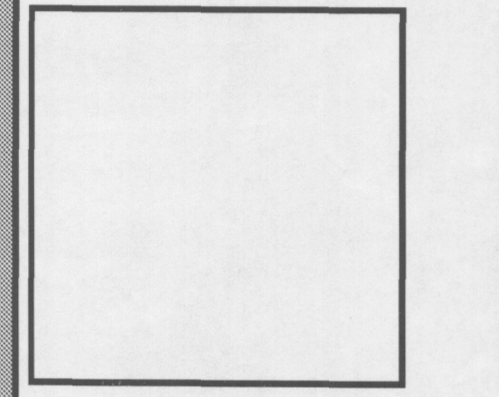
3

2

1

Mullen Heller Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144 [f]
505 268 4244 [t]



10-07

mws

MMW

5/17/10

job number

drawn by

project manager

date

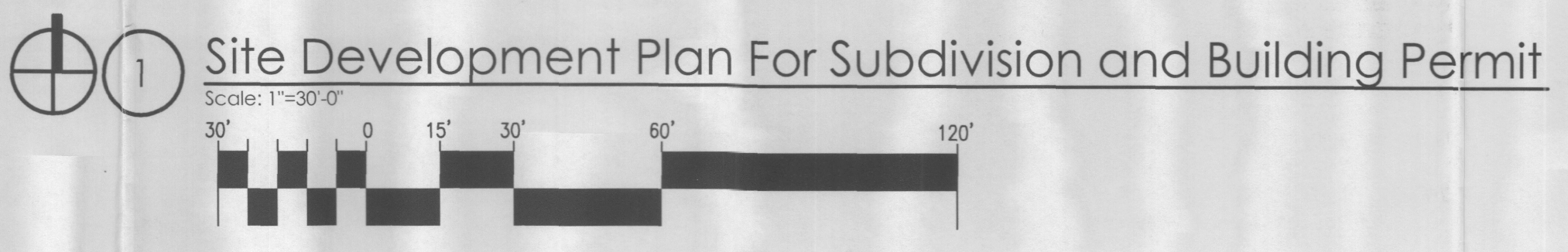
Country Club Place-Administrative Amendment

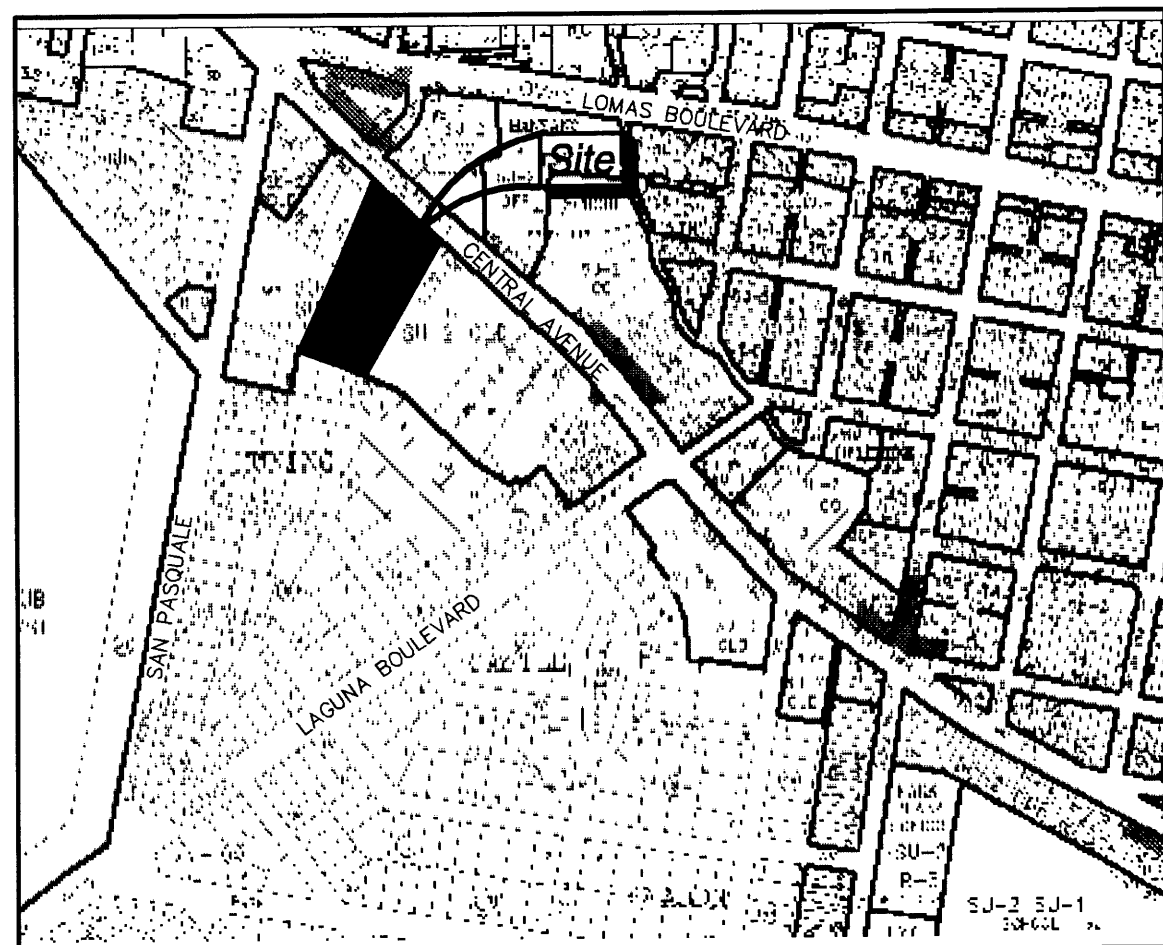
Tracts 135-A, 133-B, 133-A-2, 134 & 133-A-1, MRGCD Map 38 and Tract B-2-A Lands of Albuquerque Little Theater, Albuquerque, N.M.

Site Dev' Plan For Subdivision & Bldg. Permit

sheet#

1 of 6





Location Map
Zone Atlas Map No. J-13-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 2.3383 ACRES ±
 ZONE ATLAS INDEX NO: J-13-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 3
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JUNE 2010

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING 5 M.R.G.C.D. TRACTS AND 1 PLATTED LOT INTO THREE NEW LOTS AND TO GRANT EASEMENTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.

Utility Notes

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANITOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

DISCLAIMER
 IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

RECORDING STAMP

Plat of
 Lots 1 thru 3
Country Club Place
 Albuquerque, Bernalillo County, New Mexico
 June 2010

Legal Description

A TRACT OF LAND LYING AND BEING SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A, AS THE SAME ARE SHOWN DESIGNATED ON MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NO. 38, TOGETHER WITH TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO APRIL 04, 2004, IN BOOK 2004C, PAGE 81, SAID TRACTS BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID COORDINATE BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF CENTRAL AVENUE, S.W., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO ALBUQUERQUE GEOGRAPHIC REFERENCE SYSTEM MONUMENT "13_J13" BEARS N 38°15'23" W, A DISTANCE OF 509.31 FEET;
 THENCE FROM SAID POINT OF BEGINNING, ALONG SAID SOUTH RIGHT OF WAY LINE, ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 3859.72 FEET, AN ARC LENGTH OF 250.73 FEET, A DELTA ANGLE OF 343°19", A CHORD BEARING OF S 47°51'25" E, AND A CHORD LENGTH OF 250.68 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND CHISELED "X" IN CONCRETE;
 THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 34°24'28" W, A DISTANCE OF 221.67 FEET TO AN ANGLE POINT MARKED BY A FOUND PK NAIL WITH TAG "PS 3516";
 THENCE S 35°13'05" W, A DISTANCE OF 214.31 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NO. 4 REBAR;
 THENCE N 66°36'37" W, A DISTANCE OF 187.55 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NO. 4 REBAR;
 THENCE N 28°19'49" E, A DISTANCE OF 259.42 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 8686";
 THENCE N 24°17'42" E, A DISTANCE OF 194.06 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE N 34°40'49" E, A DISTANCE OF 56.54 FEET TO THE POINT OF BEGINNING, CONTAINING 2.3383 ACRES (101,855 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOTS 1, 2, AND 3, COUNTRY CLUB PLACE.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

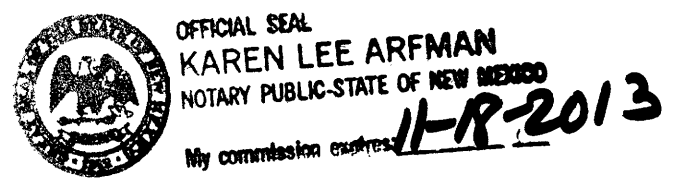
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

REMBE COUNTRY CLUB, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY DATE 6/29/2010
 JOHN MYERS, ASSISTANT MANAGER PRO TEM

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF June, 2010 BY
 REMBE COUNTRY CLUB, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, JOHN MYERS, ASSISTANT MANAGER PRO TEM
 BY Karen Lee Arfman MY COMMISSION EXPIRES: 11-18-2013
 NOTARY PUBLIC



Free Consent

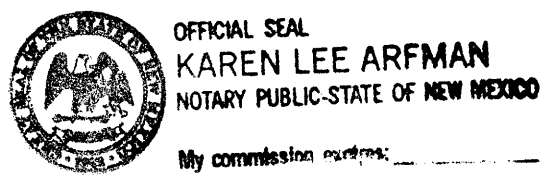
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REMBE LOFTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY DATE 6/29/2010
 JOHN MYERS, ASSISTANT MANAGER PRO TEM

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 BY Karen Lee Arfman MY COMMISSION EXPIRES: 11-18-2013
 NOTARY PUBLIC



Project No. _____
 Application No. 10 DRB-
 Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
City Approvals	
<i>[Signature]</i>	6-29-10
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 6/29/10
 LARRY W. MEDRANO
 L.P.S. No. 11993

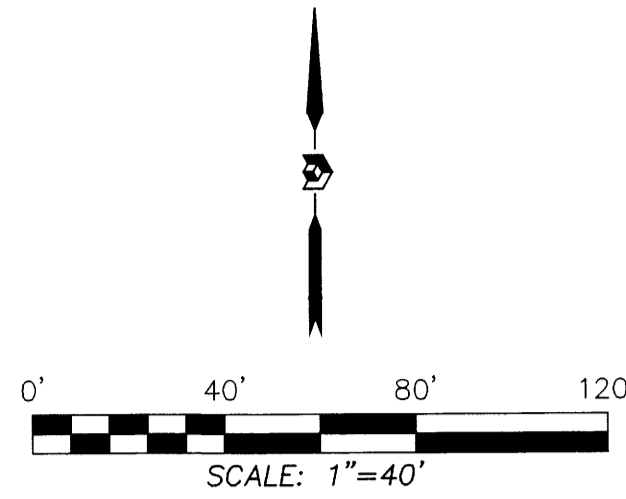


OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER COUNTRY CLUB PARTNERS
 SECTION 18, TOWNSHIP 10 N, RANGE 3 E,
 SUBDIVISION COUNTRY CLUB PLACE

Plat of
 Lots 1 thru 3
Country Club Place
 Albuquerque, Bernalillo County, New Mexico
 June 2010



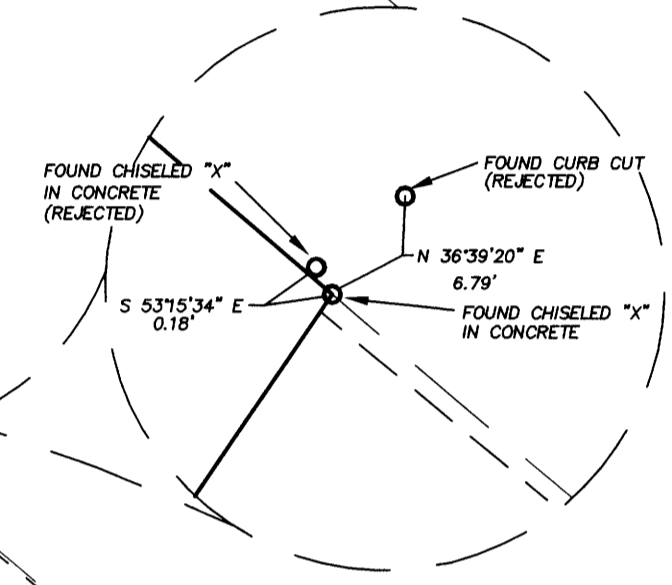
RECORDING STAMP

A.G.R.S. MONUMENT "14-J13"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,490,158.086
 E=1,514,405.693
 PUBLISHED EL=4957.341 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999884967
 DELTA ALPHA ANGLE=-0°14'31.93"

A.G.R.S. MONUMENT "13-J13"
 STANDARD A.G.R.S. BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,489,589.852
 E=1,515,110.698
 PUBLISHED EL=4956.090 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999884824
 DELTA ALPHA ANGLE=-0°14'27.00"

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
 (N 90°00'00" E)
 ○ RECORD BEARINGS AND DISTANCES
 ○ FOUND AND USED MONUMENT AS DESIGNATED
 ● DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
 △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED



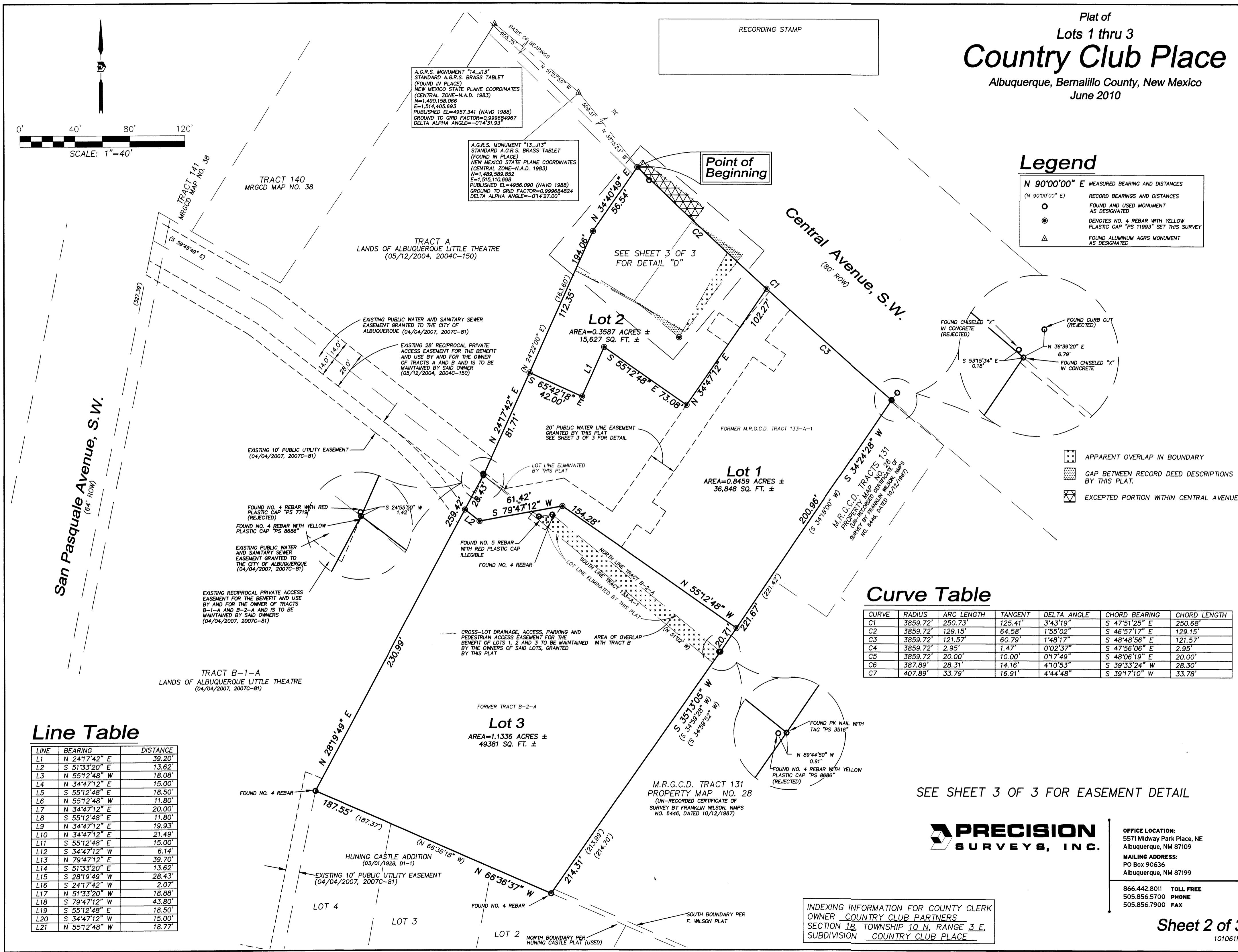
- ▨ APPARENT OVERLAP IN BOUNDARY
- ▨ GAP BETWEEN RECORD DEED DESCRIPTIONS BY THIS PLAT.
- ▨ EXCEPTED PORTION WITHIN CENTRAL AVENUE

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	3859.72'	250.73'	125.41'	3°43'19"	S 47°51'25" E	250.68'
C2	3859.72'	129.15'	64.58'	1°55'02"	S 46°57'17" E	129.15'
C3	3859.72'	121.57'	60.79'	1°48'17"	S 48°48'56" E	121.57'
C4	3859.72'	2.95'	1.47'	0°02'37"	S 47°56'06" E	2.95'
C5	3859.72'	20.00'	10.00'	0°17'49"	S 48°06'19" E	20.00'
C6	387.89'	28.31'	14.16'	4°10'53"	S 39°33'24" W	28.30'
C7	407.89'	33.79'	16.91'	4°44'48"	S 39°17'10" W	33.78'

Line Table

LINE	BEARING	DISTANCE
L1	N 24°17'42" E	39.20'
L2	S 51°33'20" E	13.62'
L3	N 55°12'48" W	18.08'
L4	N 34°47'12" E	15.00'
L5	S 55°12'48" E	18.50'
L6	N 55°12'48" W	11.80'
L7	N 34°47'12" E	20.00'
L8	S 55°12'48" E	11.80'
L9	N 34°47'12" E	19.93'
L10	N 34°47'12" E	21.49'
L11	S 55°12'48" E	15.00'
L12	S 34°47'12" W	6.14'
L13	N 79°47'12" E	39.70'
L14	S 51°33'20" E	13.62'
L15	S 28°19'49" W	28.43'
L16	S 24°17'42" W	2.07'
L17	N 51°33'20" W	18.88'
L18	S 79°47'12" W	43.80'
L19	S 55°12'48" E	18.50'
L20	S 34°47'12" W	15.00'
L21	N 55°12'48" W	18.77'



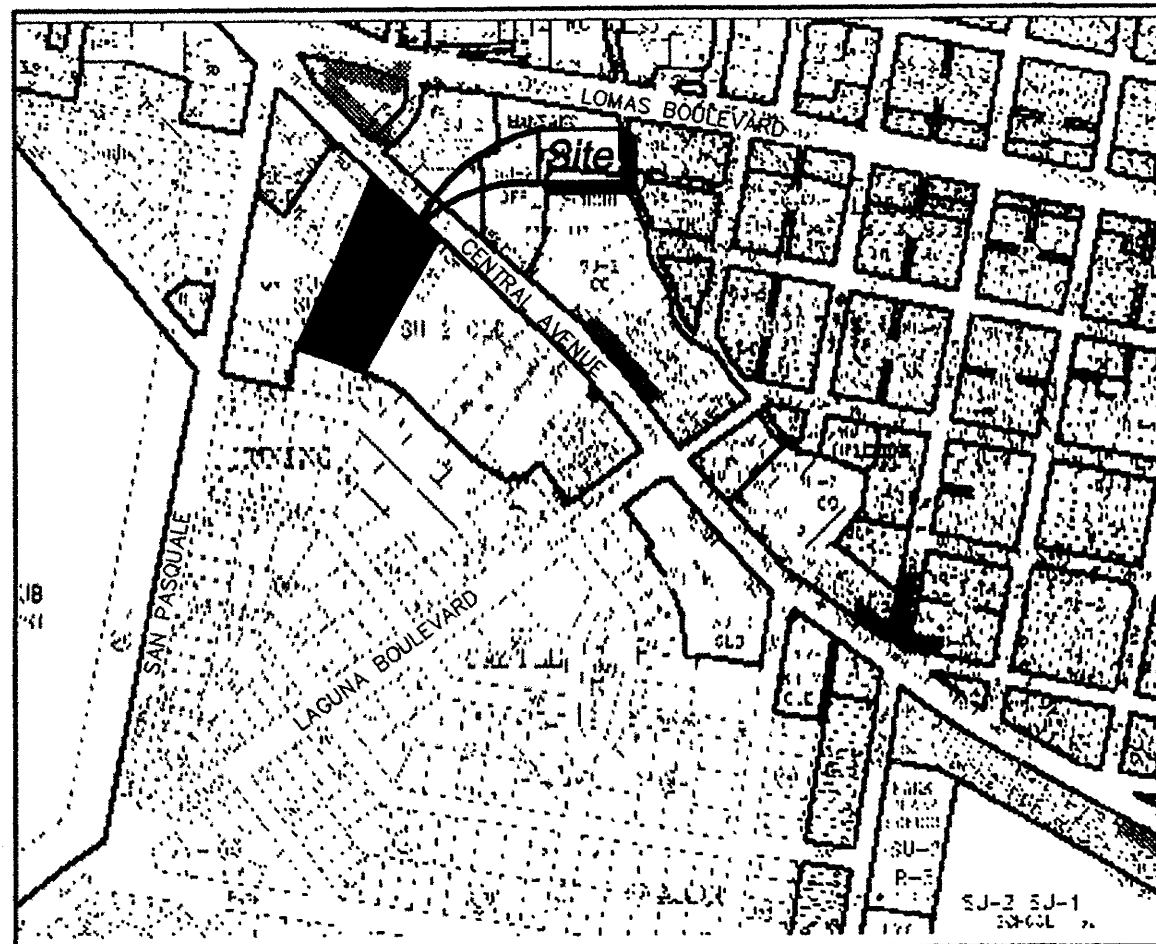
SEE SHEET 3 OF 3 FOR EASEMENT DETAIL

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
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INDEXING INFORMATION FOR COUNTY CLERK
 OWNER COUNTRY CLUB PARTNERS
 SECTION 18, TOWNSHIP 10 N., RANGE 3 E.
 SUBDIVISION COUNTRY CLUB PLACE



Location Map
Zone Atlas Map No. J-13-Z

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GROSS SUBDIVISION ACREAGE: 2.3383 ACRES ±
 ZONE ATLAS INDEX NO: J-13-Z
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 DATE OF SURVEY: JUNE 2010

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RECORDING STAMP

DOCH 2011033724

04/07/2011 01:38 PM Page: 1 of 3
 Plot: R-317.00 B: 2011C P: 0033 M: Toulouse Olivere, Bernalillo Cou

Legal Description

A TRACT OF LAND LYING AND BEING SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A, AS THE SAME ARE SHOWN DESIGNATED ON MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NO. 38, TOGETHER WITH TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO APRIL 04, 2004, IN BOOK 2004C, PAGE 81, SAID TRACTS BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID COORDINATE BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

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NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

REMBE COUNTRY CLUB, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY
 JOHN MYERS, ASSISTANT MANAGER PRO TEM

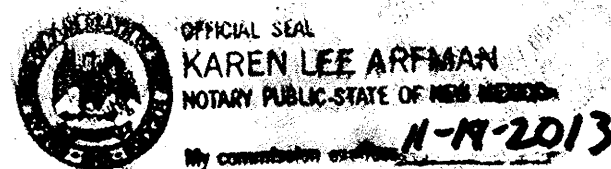
6/29/2010 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF June 2010 BY REMBE COUNTRY CLUB, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, JOHN MYERS, ASSISTANT MANAGER PRO TEM

BY Karen Lee Artman COMMISSION EXPIRES: 11-18-2013
 NOTARY PUBLIC



Free Consent

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SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

REMBE LOFTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY
 JOHN MYERS, ASSISTANT MANAGER PRO TEM

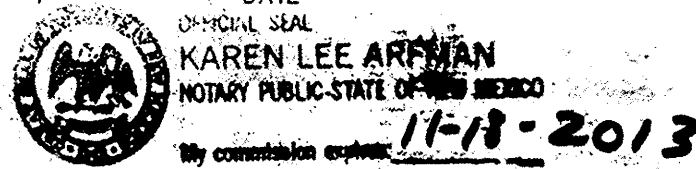
6/29/2010 DATE

Acknowledgment

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 COUNTY OF BERNALILLO)

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BY Karen Lee Artman COMMISSION EXPIRES: 11-18-2013
 NOTARY PUBLIC



Plat of
 Lots 1 thru 3
Country Club Place

Albuquerque, Bernalillo County, New Mexico
 June 2010

Project No. 1004677

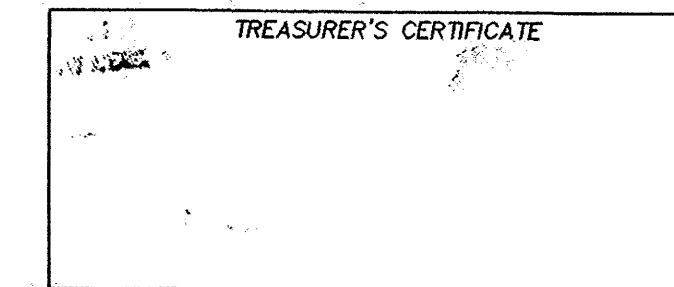
Application No. 10 DRB-70183

Utility Approvals

<u>Fernando Vigil</u>	11-15-10
PNM	DATE
<u>M.A.</u>	9-3-10
NEW MEXICO GAS COMPANY	DATE
<u>Michelle Ramirez</u>	06-07-11
QWEST TELECOMMUNICATIONS	DATE
<u>Robert Austin</u>	8-31-10
COMCAST	DATE

City Approvals

<u>John Clark</u>	6-29-10
CITY SURVEYOR	DATE
<u>John Clark</u>	04-07-11
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<u>Alan Ruter</u>	09/14/10
A.B.C.W.U.A.	DATE
<u>Christina Sandomal</u>	7/14/10
PARKS AND RECREATION DEPARTMENT	DATE
<u>Bradley B. Brigham</u>	7/14/10
AMAFCA	DATE
<u>Bradley B. Brigham</u>	7/14/10
CITY ENGINEER	DATE
<u>John Clark</u>	4-7-11
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 6/29/10
 DATE



PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

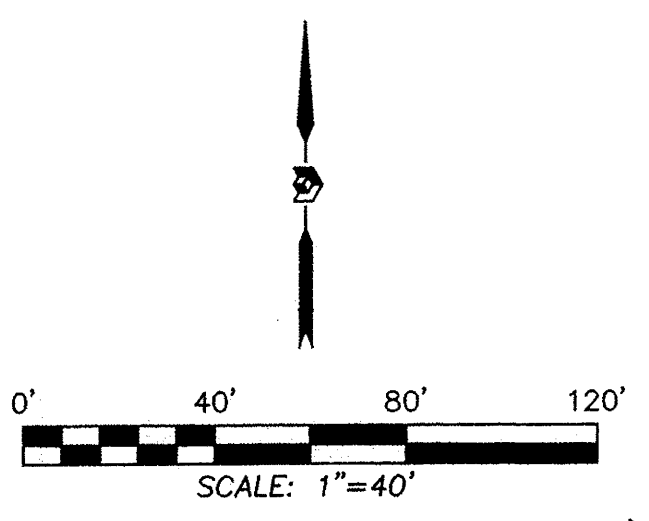
866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER COUNTRY CLUB PARTNERS
 SECTION 18, TOWNSHIP 10 N, RANGE 3 E
 SUBDIVISION COUNTRY CLUB PLACE

Plat of
 Lots 1 thru 3
Country Club Place
 Albuquerque, Bernalillo County, New Mexico
 June 2010

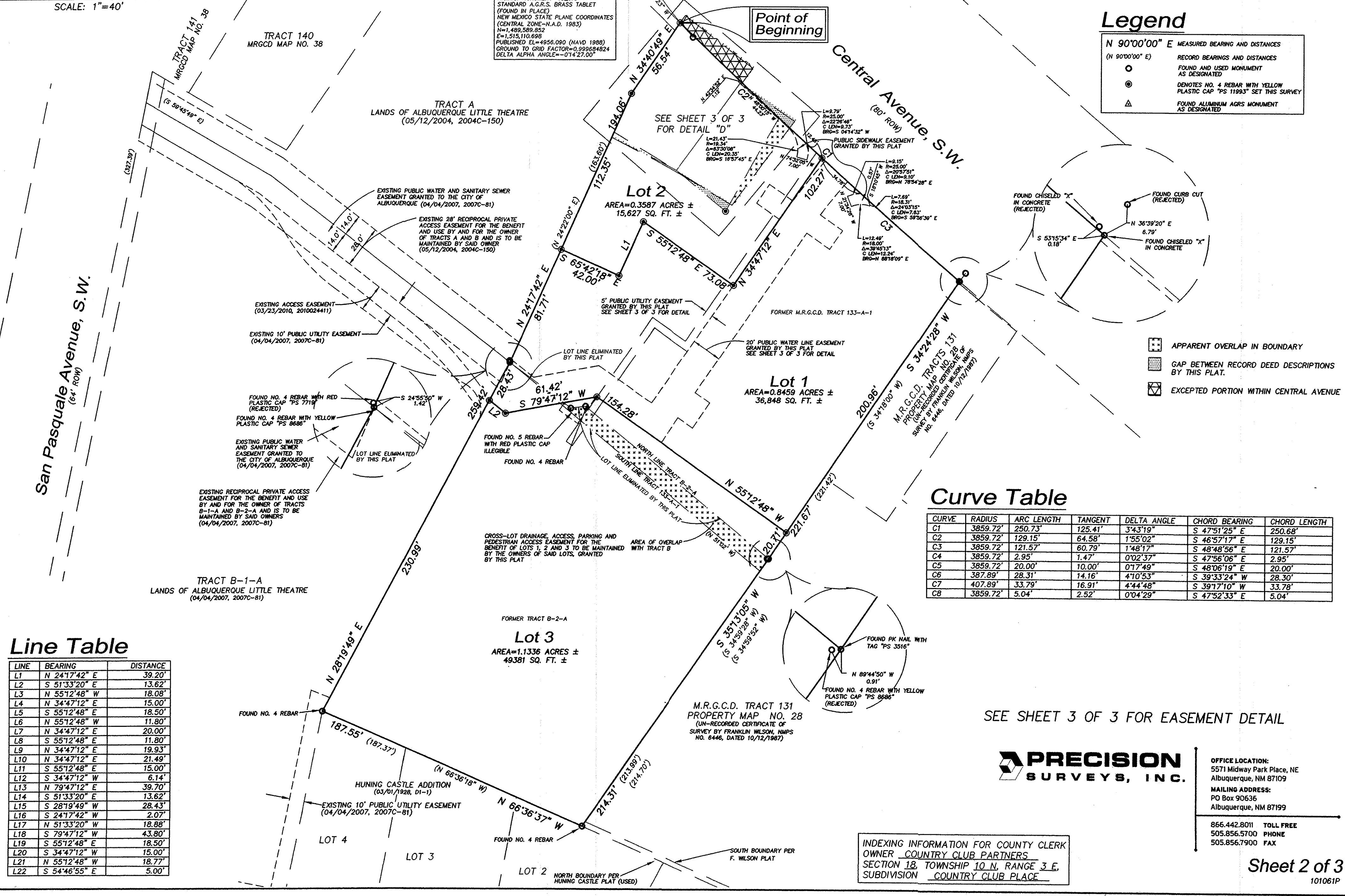
RECORDING STAMP

DOCH 2011033724
 04/07/2011 01:33 PM Page: 2 of 3
 PLAT R: \$17.00 B: 2011C P: 0033 N. Toulous Olivere, Bernalillo Cou



Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	NOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED



Line Table

LINE	BEARING	DISTANCE
L1	N 24°17'42" E	39.20'
L2	S 51°33'20" E	13.62'
L3	N 55°12'48" W	18.08'
L4	N 34°47'12" E	15.00'
L5	S 55°12'48" E	18.50'
L6	N 55°12'48" W	11.80'
L7	N 34°47'12" E	20.00'
L8	S 55°12'48" E	11.80'
L9	N 34°47'12" E	19.93'
L10	N 34°47'12" E	21.49'
L11	S 55°12'48" E	15.00'
L12	S 34°47'12" W	6.14'
L13	N 79°47'12" E	39.70'
L14	S 51°33'20" E	13.62'
L15	S 28°19'49" W	28.43'
L16	S 24°17'42" W	2.07'
L17	N 51°33'20" W	18.88'
L18	S 79°47'12" W	43.80'
L19	S 55°12'48" E	18.50'
L20	S 34°47'12" W	15.00'
L21	N 55°12'48" W	18.77'
L22	S 54°46'55" E	5.00'

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	3859.72'	250.73'	125.41'	3°43'19"	S 47°51'25" E	250.68'
C2	3859.72'	129.15'	64.58'	1°55'02"	S 46°57'17" E	129.15'
C3	3859.72'	121.57'	60.79'	1°48'17"	S 48°48'56" E	121.57'
C4	3859.72'	2.95'	1.47'	0°02'37"	S 47°56'06" E	2.95'
C5	3859.72'	20.00'	10.00'	0°17'49"	S 48°06'19" E	20.00'
C6	387.89'	28.31'	14.16'	4°10'53"	S 39°33'24" W	28.30'
C7	407.89'	33.79'	16.91'	4°44'48"	S 39°17'10" W	33.78'
C8	3859.72'	5.04'	2.52'	0°04'29"	S 47°52'33" E	5.04'

SEE SHEET 3 OF 3 FOR EASEMENT DETAIL

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
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Plat of
Lots 1 thru 3
Country Club Place

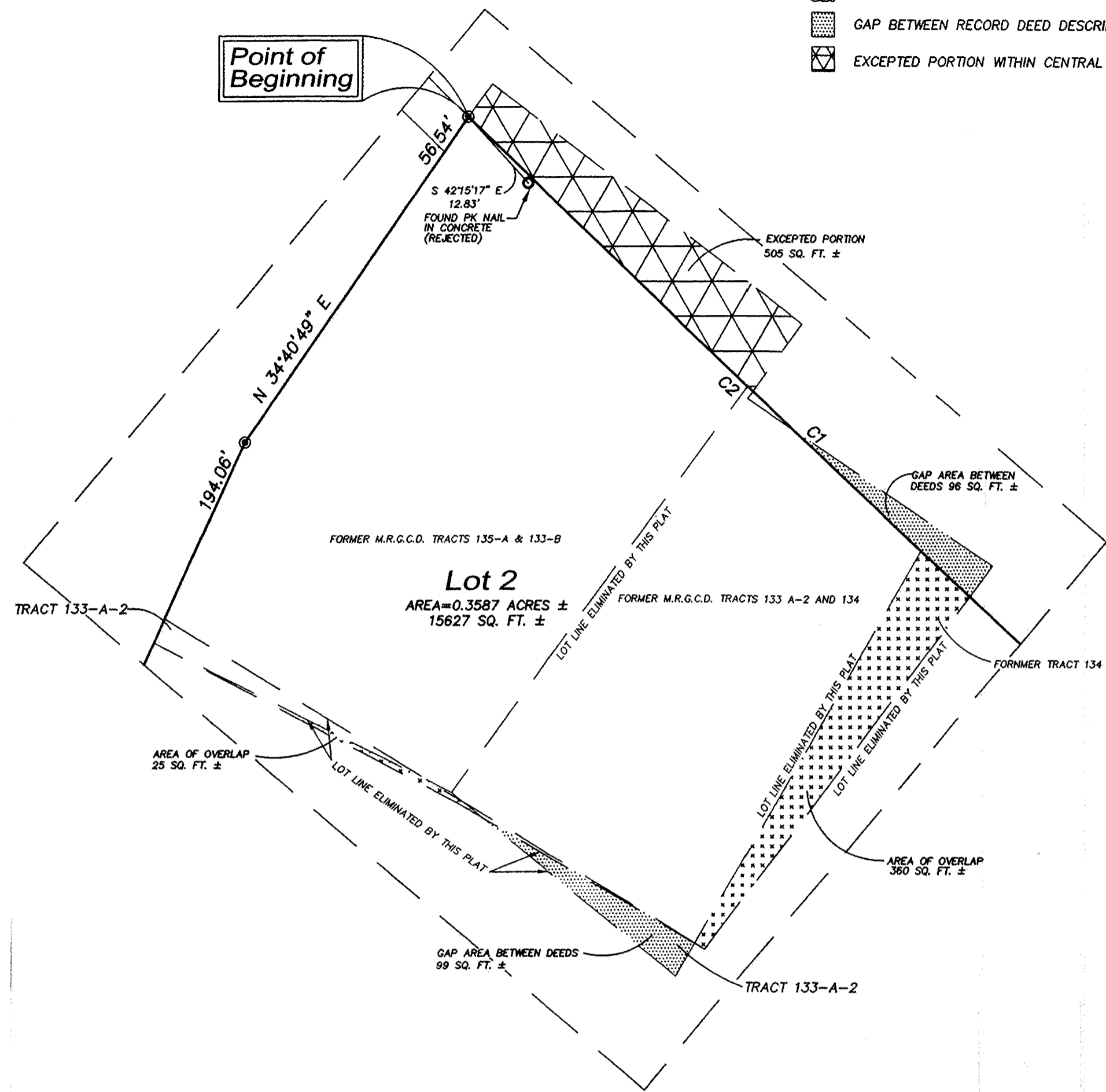
Albuquerque, Bernalillo County, New Mexico
June 2010

RECORDING STAMP

DOC# 2011033724

04/07/2011 01:33 PM Page: 3 of 3
PLAT R-517.00 B: 2011C P: 0033 M. Tulous Olivere, Bernalillo Cou

- APPARENT OVERLAP IN BOUNDARY
- GAP BETWEEN RECORD DEED DESCRIPTIONS
- EXCEPTED PORTION WITHIN CENTRAL AVENUE



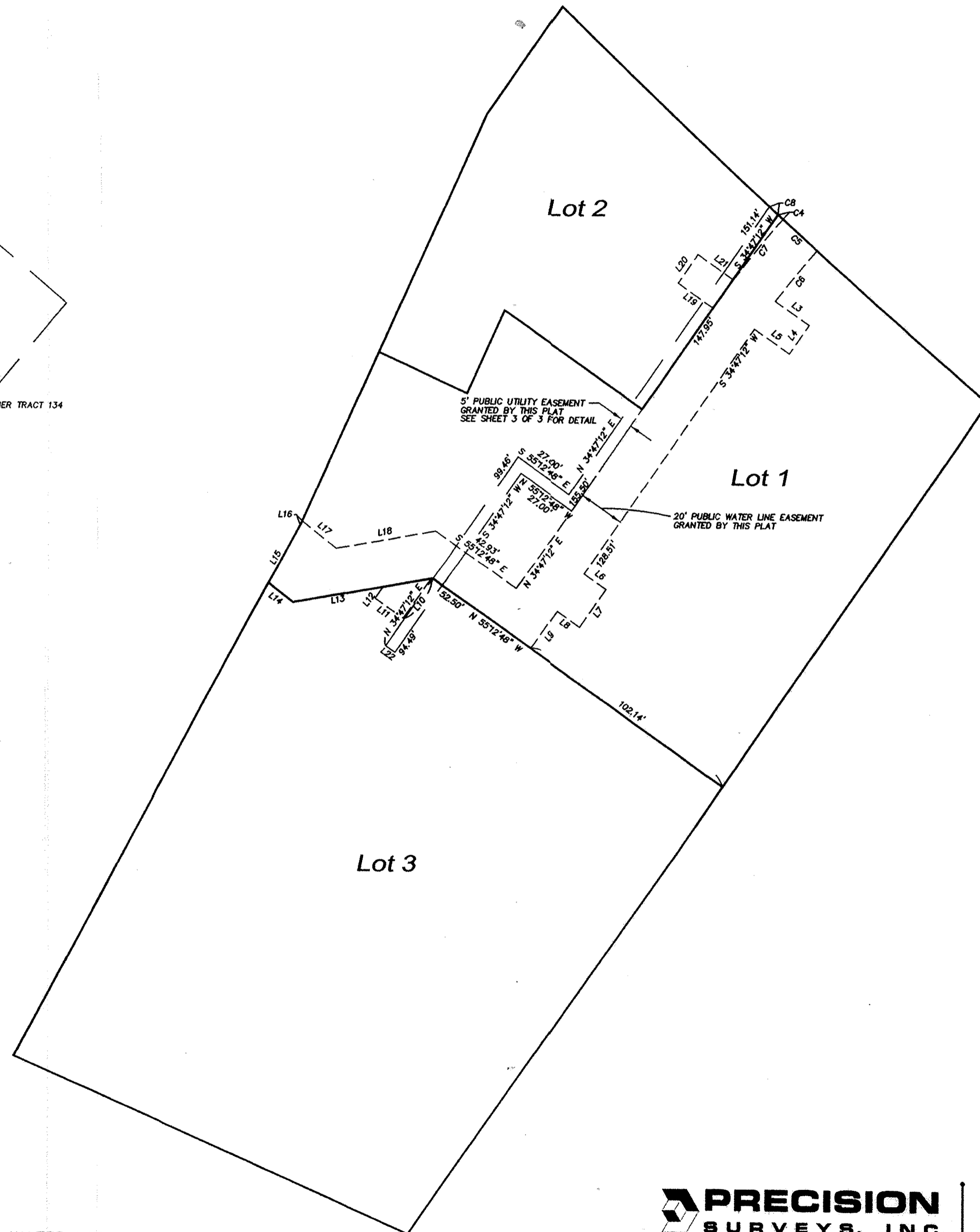
DETAIL "A"
NTS

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	3859.72'	250.73'	125.41'	3°43'19"	S 47°51'25" E	250.68'
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C3	3859.72'	121.57'	60.79'	1°48'17"	S 48°48'56" E	121.57'
C4	3859.72'	2.95'	1.47'	0°02'37"	S 47°56'06" E	2.95'
C5	3859.72'	20.00'	10.00'	0°17'49"	S 48°06'19" E	20.00'
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Line Table

LINE	BEARING	DISTANCE
L1	N 24°17'42" E	39.20'
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L20	S 34°47'12" W	15.00'
L21	N 55°12'48" W	18.77'
L22	S 54°46'55" E	5.00'



WATERLINE EASEMENT DETAIL
NTS

PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
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SUBDIVISION COUNTRY CLUB PLACE

TRACT 141
MRCCD MAP NO. 38

TRACT 140
MRCCD MAP NO. 38

NOT A PART
TRACT A
LANDS OF ALBUQUERQUE LITTLE THEATRE
(05/12/2004, 2004C-150)

Lot 2
COUNTRY CLUB PLACE SUBDIVISION
(FORMER M.R.C.C.D. TRACTS 135-A & 133-B AND M.R.C.C.D. TRACTS 133 A-2 & 134)
0.3587 AC. ±/15,627 SQ. FT. ±
PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

Lot 1
COUNTRY CLUB PLACE SUBDIVISION
(FORMER M.R.C.C.D. TRACT 133-A-1)
0.8459 AC. ±/36,948 SQ. FT. ±
PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

Lot 3
COUNTRY CLUB PLACE SUBDIVISION
(FORMER TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE)
1.1336 AC. ±/49,381 SQ. FT. ±
PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

LOT 4
HUNING CASTLE ADDITION
(03/07/1926-01-1)

LOT 3

LOT 2

LOT 1

LOT 8

CHACOMA PLACE S.W.
(60' RIGHT-OF-WAY)

SITE DEVELOPMENT PLAN FOR SUBDIVISION
THE SITE IS APPROXIMATELY 2.33 ACRES AND IS LOCATED ALONG CENTRAL AVENUE BETWEEN LAGUNA BLVD. SW AND SAN PASQUALE AVENUE SW.

PROPOSED LEGAL DESCRIPTION:
THE PROPOSED LOTS 1 THRU 3, COUNTRY CLUB PLACE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LAND AREA:
2.3382 ACRES (101,856 SQUARE FEET)

ZONE ATLAS MAP:
J-13-Z

CURRENT ZONING:
THE CURRENT ZONING OF THE PROPERTY IS SU-2/SU-1 FOR A MIXED USE DEVELOPMENT.

PROPOSED ZONING:
THE PROPOSED ZONING OF THE PROPERTY IS SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

SITE DEVELOPMENT PLAN FOR SUBDIVISION CONT

APPLICABLE PLANS:
HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN.
CENTRAL AVENUE STREETSCAPE URBAN MASTERPLAN.

PROPOSED DESIGN STANDARDS:
THE DESIGN STANDARDS INCLUDED IN THIS AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION SHALL GOVERN THE FUTURE DESIGN OF BUILDING 3 AS WELL AS THE RENOVATION OF BUILDINGS 1 AND 2.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
VEHICULAR ACCESS AND CIRCULATION
THE MAIN ACCESS POINT INTO THE SITE IS FROM AN EXISTING DRIVE (TO BE REBUILT) OFF OF CENTRAL AVENUE. A SECONDARY ACCESS POINT TO THE SITE IS FROM SAN PASQUALE AVENUE VIA AN ACCESS EASEMENT THROUGH THE ALBUQUERQUE LITTLE THEATRE PROPERTY. BOTH OF THESE ACCESS POINTS ARE FULL ACCESS.

RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 3, COUNTRY CLUB PLACE, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THIS WILL BE GRANTED WITH REPEAT OF ALL TRACTS.

PEDESTRIAN ACCESS AND CIRCULATION
PEDESTRIAN ACCESS IS PROVIDED OFF OF CENTRAL AVENUE ALONG THE TWO EXISTING BUILDINGS, SIDEWALKS AND DESIGNATED CROSSWALKS CONNECT THE FRONTS OF ALL BUILDINGS THROUGH THE SITE.

PROPOSED USES
THE PROPOSED USES FOR LOT 1 ARE:
ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

THE PROPOSED USES FOR LOT 2 ARE:
ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

THE PROPOSED USES FOR LOT 3 ARE:
ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

PROHIBITED USES
R-2 COMMUNITY RESIDENTIAL PROGRAMS, DRIVE-THRU SERVICE WINDOWS, AND WIRELESS TELECOMMUNICATIONS FACILITIES.

BUILDING HEIGHT AND SETBACKS
SEE THE DESIGN STANDARDS AS PART OF THIS SUBMITTAL.

FLOOR AREA RATIO
THE MAXIMUM F.A.R. FOR LOTS 1 THRU 3 IS .61 FOR ALL USES, AS STATED IN THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN.

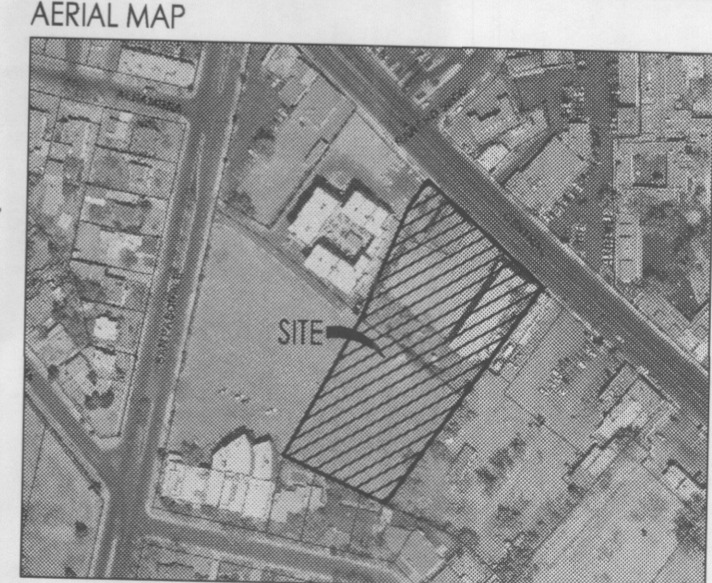
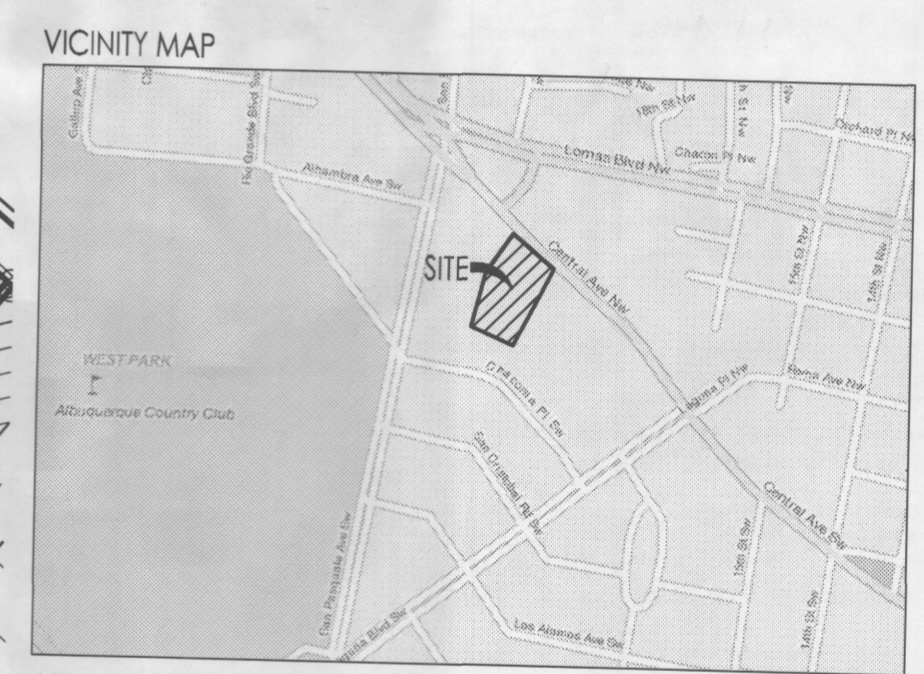
THE F.A.R. FOR THE EXISTING BUILDING ON LOT 1 IS .33, AND THE F.A.R. FOR THE EXISTING BUILDING ON LOT 2 IS .20.

LANDSCAPE PLAN
THE LANDSCAPING FOR THIS SITE IS PART OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND IS SUBJECT TO THE DESIGN STANDARDS.

revision	by	date	rev	date	PER EPC NOTICE OF DECISION	PER PLANNING DEPT. COMMENT:
			11/2/10	9/27/10		

MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144 [p]
505 268 4244 [f]

job number	10-07	drawn by	JDH	project manager	JDH	date	8/26/10
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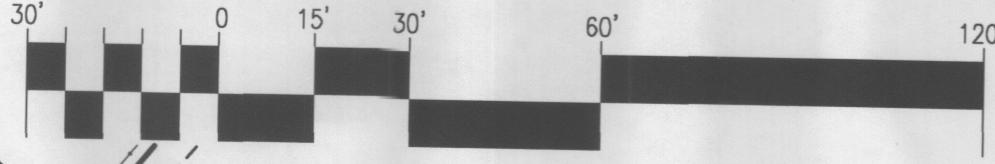
Lot 2, Plat of Lots 1 & 2 Garcia Properties Development
1.5158 AC. ±/66,029 SQ. FT. ±
(SOUTHERLY PORTION APPLIES TO THIS AMENDMENT)
ZONING: SU-2/SU-1 - FOR A MIXED USE DEVELOPMENT
NOT A PART

C1 RADIUS= 3859.72'
ARC LENGTH= 250.73'
TAN= 125.41'
DELTA ANGLE= 3'43"19"
CHORD BEARING= S 47°51'25" E
CHORD LENGTH= 250.68'

C2 RADIUS= 3859.72'
ARC LENGTH= 129.15'
TAN= 64.58'
DELTA ANGLE= 1'55"02"
CHORD BEARING= S 46°57'17" E
CHORD LENGTH= 129.15'

C3 RADIUS= 3859.72'
ARC LENGTH= 121.57'
TAN= 60.79'
DELTA ANGLE= 1'48"17"
CHORD BEARING= S 48°48'56" E
CHORD LENGTH= 121.57'

Amended Site Development Plan For Subdivision
Scale: 1"=30'-0"



PROJECT NUMBER: 1004677 **APPLICATION NUMBER:**

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED **Oct. 14, 2010** AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

project title
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM

sheet title
Amended Site Dev't Plan For Subdivision

sheet #
1 of 2

Country Club Place Design Standards

Introduction

The following Design Standards apply to the renovation of the existing buildings on Lots 1 and 2, and to the future building on Lot 3 of Country Club Place development to be built on the 1800 block of Central Avenue S.W. on lands between Laguna Blvd. S.W. and San Pasquale Avenue S.W..

Procedurally, this project shall submit a Site Development Plan for Building Permit which will be reviewed by the City of Albuquerque Planning Department's Development Review Board (DRB). The intent of these Design Standards is to provide guidance for the DRB when reviewing future development.

Additionally, the regulations and standards in the City of Albuquerque Zoning Code, the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan, and the Central Avenue Streetscape Urban Design Master Plan shall apply to all buildings.

Design Theme/Land Use Concept: Project Background

The Country Club Place development infills a major hole in its neighborhood with a design theme of a small Route 66 neighborhood center. The project uses the walkable, urban scale of Old Town and is intended that there will be a uniform style throughout the development that relates to the existing context.

The land use concept proposes creation of a vibrant neighborhood center with a full menu of uses: retail, office, and residential. This mix of uses is arranged in a walkable, neighborhood-scaled area of shops, offices, and possibly residential uses. The site's proximity to the City's main mass transportation route will encourage ridership and reduce traffic, and the arrangement of building types will help protect residential areas to the south. Parking and vehicular circulation are arranged such that the existing buildings shield parking from the street and flows easily from the front of the site to the rear. Wide walks and landscape frame the parking areas to create a highly connective system of pedestrian circulation within the site and to the surrounding streets.

A. Architectural Character and Architectural Design Elements

The building on Lot 3 of the Country Club Place development requires architectural design which respects and creatively blends with the image of the two renovated buildings on the site, which is the Route 66-inspired Moderne style. Generic, franchise architecture is prohibited.

The General Building and Site Design Regulations for Non-Residential Uses (14-16-3-18) as found in the City of Albuquerque Comprehensive Zoning Code will apply to all development.

Moderne Style

The Moderne style originates with the earliest and purist modernism, which was then tempered by the stylistic Art Deco movement. The movements focus on the machine age and streamlined design. Many examples are found on Central Ave., or Route 66, which co-opted the style to express American's passion with car travel.

Principal characteristics of the Moderne style include simple massing, stepped massing at towers and/or parapets, vertical or horizontal flow lines and zigzag patterns, rounded corners or windows, cantilevered awnings and pylons, and flat roofs. Facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details. Entry elements are often the prominent architectural feature on the building.

Massing

A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three walls. Massing for this building shall be well proportioned and consistent with the architectural character of the renovated buildings' style. Particular consideration shall be taken to preserve natural view corridors at the site, as well as terminating major vistas within the site.

Interpretations of the Moderne style include: asymmetry, horizontally proportioned, corner towers (round, square, or octagonal stepped form), and signage incorporated building signage into its massing. Entry elements are often the prominent architectural feature on the building.

Roofs

Main roofs of structures in the Moderne style shall follow these standards: flat roofs with parapets that are simple, stepped or streamlined, and may incorporate stylized building signage into its parapet or roof form.

Windows & Doors

Windows and doors of Moderne structures shall follow these standards: facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings compliment and accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details, and incorporate large expanses of glass, metal window and metal storefront frames, especially at public access. Glass block may be used as accents.

Shading & Entries

Shading and entries of Moderne structures shall follow these standards: typically have awnings or canopies at openings. One may incorporate a tower or stylized mass of overhand at entries. Balconies may also provide shading.

Building Details

Moderne building details shall follow these standards: details may include wall relief moldings, pilasters, articulated bases to walls, and detailed parapets. Other detailing would include the shading devices mentioned above placed at openings and entryways or used to distinguish volume or massing elements. Designs may incorporate stylized elements of signage or lighting into their detailing.

Building Materials & Colors

Building materials and colors for buildings on Lots 1 thru 3 of the Country Club Place development shall be consistent with the architectural character of the two renovated buildings on the site. Quality materials, architectural features, and craftsmanship shall be employed in the execution of each building. Building material approved, but not limited to, shall include stucco, brick, stone (laid horizontally in load-bearing fashion), concrete, split-faced concrete masonry unit, glass, glass block, ceramic tile, decorative tile, clay tile, wood, copper, galvanized metal, aluminum, and neon (lighting).

Generous amounts of exposed metals and glass may be incorporated into the wall design, or on awnings, canopies, and towers. Designs may incorporate stylized elements of metal signage or lighting. Colors include cream, off-white, or warm earth-toned saturated color for walls, and saturated colors for accents.

B. Building Density and Height

Building Density

Floor Area Ratio (F.A.R.) is the ratio of the heated gross floor area of structures to the total premises. It is measured from outside surface of outside walls, including multiple stories, in square feet. The maximum F.A.R. for Lots 1 thru 3 is .61 for residential uses, as stated in the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan. Consistent with the Sector Development Plan and the previous submittal, there is no maximum F.A.R. for commercial uses.

The F.A.R. for the existing building on Lot 1 is .33, and the F.A.R for the existing building on Lot 2 is .20.

Building Heights

Maximum building height for buildings on Lots 1 thru 3 shall be 46', per the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan.

Building Setbacks

Setbacks apply to the exterior edges of the Property. The front of lot is at the northern edge facing Central Ave.

Front yard setback: 0'
Sideyard setback: 15' min. except 0' at internal lot lines
Rear yard setback: 0', except on Lot 3 where the setback shall be 50' min. where abutting R-1 zone

C. Landscaping

Landscaping for this development shall comply with the Landscape Regulations (14-16-3-10) in the City of Albuquerque Comprehensive Zoning Code, and the City of Albuquerque requirements in the Water Conservation Landscaping and Water Waste Ordinance, and the Pollen Ordinance. Future landscaping in conjunction with the development of the building on Lot 3 shall be in accordance with the Landscape Plan in the Site Development Plan for Building Permit submittal.

If residential uses are a part of this project, Usable Open Space shall be provided as required in the R-2 Residential Zone (14-16-2-11) in the City of Albuquerque Comprehensive Zoning Code.

D. Walls and Fences

Walls and fences shall be compatible with the nearby buildings and architectural themes in terms of color, materials and style. To that end, all perimeter walls shall be concrete masonry unit (CMU) with stucco finish, pier (CMU w/stone or stucco) with wood or metal fence infill, or metal fence. Chain link and/or barbed wire/razor wire are prohibited. Walls and fences shall conform with the City of Albuquerque Comprehensive Zoning Code General Height and Design Regulations for Walls, Fences and Retaining Walls (14-16-3-19).

E. Site Lighting

Site lighting shall conform with the City of Albuquerque Comprehensive Zoning Code Area Lighting Regulations (14-16-3-9).

Lighting design shall compliment the architectural styles, and not overwhelm them. Lighting shall be scaled appropriately to the purpose it is serving - taller heights for more coverage for safety such as parking lots, lower and concentrated for pedestrians. Walkways within the site shall be lit with pole fixtures, bollards, or lighting in the portales, downlighting, sconces, or pendants. Building-mounted lighting shall enhance the architecture of each building, and shall include sconces, shielded accent lights, and arm-mounted lights aimed towards projects' building walls.

Pedestrian scale lighting: 1.) Not higher than 4 feet at key pedestrian gathering areas. 2.) 16 feet maximum along internal streets measured from finished grade to the top of the pole.

Lighting shall be fully shielded and high-pressure sodium lighting and unshielded uplighting shall be prohibited.

Site lighting type, color, and materials shall compliment the character of the project and not contrast or stand out from the designs of the buildings. The lighting design shall enhance both the pedestrian scale and the automobile portions of the site.

F. Signs & Signage

On-premise signage will comply with City of Albuquerque Comprehensive Zoning Code requirements for the C-1 zone as well as the General Sign Regulations (14-16-3-5), with the following exceptions:

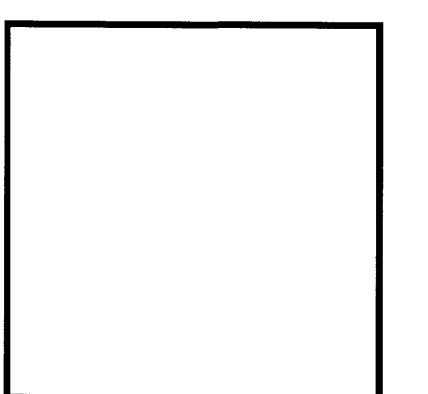
- One freestanding sign shall be allowed for the development. Maximum height shall be 18 feet and maximum sign area shall be 100 square feet.
- Buildings on Lots 1 thru 3 shall be allowed one projecting sign each.
- The area of the total building-mounted signage shall be limited to 9% of the facade to which it is applied.
- There is no limit on the number of building-mounted signs except there shall be no signs facing residential development on Lot 3.

revision	
by	mms JDH

date	11/2/10 9/27/10
rev	A A A A



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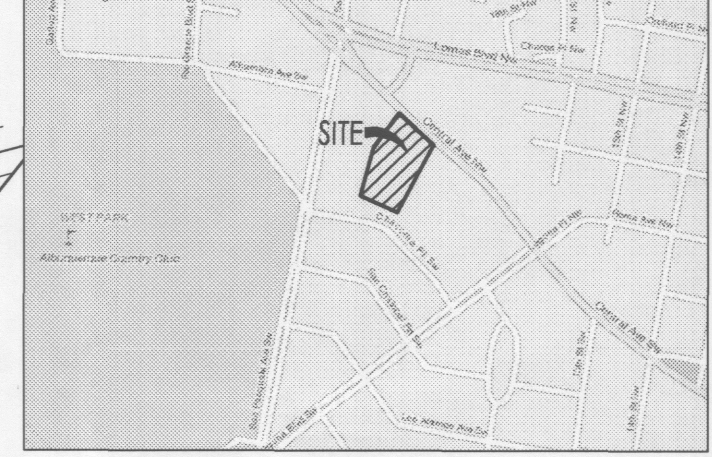


job number	1007
drawn by	JDH
project manager	JDH
date	8/26/10

project title
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM
sheet title
Design Standards



VICINITY MAP



AERIAL MAP



KEYED NOTES:

- [1] PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 2.
- [2] EXISTING BUILDING TO REMAIN. NOT A PART.
- [3] EXISTING PARKING STRIPING.
- [4] PROPOSED LANDSCAPING.
- [5] EXISTING TREES TO REMAIN.
- [6] PROPOSED HANDICAP PAVEMENT SIGN.
- [7] PROPOSED STAMPED COLORED CONCRETE HANDICAP ISLE.
- [8] PROPOSED ASPHALT PAVING.
- [9] PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
- [10] PROPOSED BIKE RACK WITH 4 SPACES.
- [11] PROPOSED CONCRETE SIDEWALK.
- [12] PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
- [13] PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
- [14] PROPOSED PAINTED PARKING STRIPING.
- [15] ADDITIONAL FIVE (5) PARKING SPACES TO BE STRIPED WITH CONSTRUCTION OF PHASE I.
- [16] PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
- [17] PROPOSED CONCRETE CURB/LANDSCAPING ISLAND TO BE CONSTRUCTED WITH PHASE I (SHOWN DASHED).
- [18] EXISTING DUMPSTER ENCLOSURE.
- [19] PROPOSED STOP SIGN.
- [20] EXISTING CITY CURB AND GUTTER.
- [21] EXISTING BUS STOP TO REMAIN.
- [22] PROPOSED HANDICAP RAMP.
- [23] PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
- [24] PROPOSED HANDICAP PARKING SIGNS.
- [25] PROPOSED 6'-0" HIGH CMU SCREEN WALL ON LOT 1 AND 7'-4" HIGH CMU SCREEN WALL ON LOT 2 WITH STUCCO FINISH TO MATCH BUILDING. SEE SHEET 7.
- [26] PROPOSED 100 SF. MONUMENT SIGN. SEE SHEET 6.
- [27] PROPOSED PLAZA BENCH SEATING-6' LONG BENCHES (2 LOCATIONS). SEE SHEET 7 FOR SEATING CALCULATION.
- [28] PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2420) AND RAMPS (STD. DWG. 2441) TO BE CONSTRUCTED TO COA STANDARDS.
- [29] COMPACT PARKING SPACES 8'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
- [30] STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING.
- [31] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- [32] EXISTING FIRE HYDRANT.
- [33] PROPOSED FIRE HYDRANT. SEE UTILITY PLAN.
- [34] EXISTING CONCRETE SIDEWALK.
- [35] PROPOSED LOT LINES.
- [36] PROPOSED LIGHT BOLLARD. TYP. OF 4. SEE SHEET 7.
- [37] PROPOSED CONCRETE SWALE CONSTRUCTED WITH PHASE II. SEE GRADING AND DRAINAGE PLAN.
- [38] EXISTING 6'-0" HIGH CMU SCREEN WALL.
- [39] PROPOSED "DO NOT ENTER" SIGN AND PAVEMENT SIGN.
- [40] REMOVE EXISTING 6' WIDE CITY SIDEWALK AND REPLACE WITH NEW 6' WIDE CONCRETE SIDEWALK TO MATCH AND TO TIE INTO EXISTING (STD. DWG. 2430).
- [41] PROPOSED CONCRETE PATIO WITH EXISTING LANDSCAPING.
- [42] PROPOSED CONCRETE PATIO WITH EXISTING TREES TO REMAIN.
- [43] AREA OF SIDEWALK INFILL BETWEEN CITY SIDEWALK AND EXISTING BUILDING.
- [44] EXISTING 6' HIGH SOLID WOOD SCREEN WALL WITH STUCCO PILASTERS.

RADIUS INFORMATION:
 (1) = 2'-0" (4) = 5'-0" (7) = 25'-0"
 (2) = 3'-0" (5) = 10'-0" (8) = 60'-0"
 (3) = 4'-0" (6) = 15'-0"

- GENERAL NOTES:
- [A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN THE FUTURE DESIGN OF BUILDINGS 3 AS WELL AS THE RENOVATION OF BUILDINGS 1 AND 2.
 - [B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 3, COUNTRY CLUB PLACE, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THIS WILL BE GRANTED WITH REPLAT OF ALL TRACTS.
 - [C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.

- SITE LIGHTING NOTES:
- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
 - [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
 - [C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
 - [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

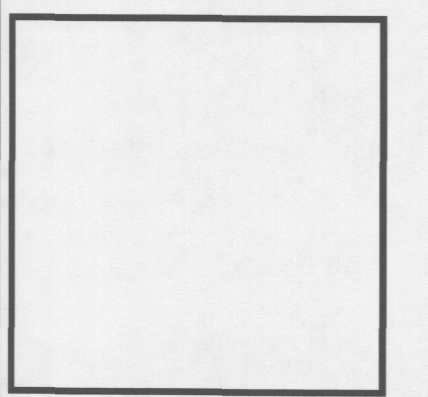
SITE DEVELOPMENT DATA:

PROPOSED LEGAL DESCRIPTION:	LOTS 1 THRU 3, COUNTRY CLUB PLACE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
BUILDING ADDRESSES:	BLDG. 1 (EXISTING) ADDRESS: 1816 CENTRAL AVE. S.W. ALBUQUERQUE, N.M. BLDG. 2 (EXISTING) ADDRESS: 1828 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.
LAND AREA:	2,3382 ACRES (101,855 SQ. FT.)
CURRENT ZONING:	SU-2/SU-1 FOR A MIXED USE DEVELOPMENT
PROPOSED ZONING:	SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.
ZONE ATLAS PAGE:	J-13-Z
BUILDING AREAS:	EXISTING BUILDING 1 12,220 SF EXISTING BUILDING 2 3,200-5,000 SF PROPOSED BUILDING 3 16,700-18,500 SF TOTAL BUILDING AREA = 35,720 SF. MAX. ON THIS SITE.
DEVELOPMENT PHASING:	PHASE I: PHASE I WILL INCLUDE RENOVATION OF BUILDING 1, ALL PHASE I PARKING INCLUDING 69 SPACES AND RELATED LANDSCAPING, INCLUDING THE BUFFER ALONG THE R-1 PROPERTY AT THE SOUTH END OF THE SITE OF LOT 3. BUILDING 2 MAY BE RENOVATED AS PART OF PHASE I OR PHASE II. PHASE II: PHASE II WILL INCLUDE CONSTRUCTION OF BUILDING 3, RELATED PARKING AND REMAINING LANDSCAPING.
PROPOSED USES:	ALL USES PERMITTED IN THE CLD ZONE, AND ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.
PROHIBITED USES:	-R-2 COMMUNITY RESIDENTIAL PROGRAMS -DRIVE-THRU SERVICE WINDOWS -WIRELESS TELECOMMUNICATION FACILITIES
PARKING CALCULATIONS:	LOT 1 REQUIRED PARKING (ANTICIPATED SCHOOL): SPACE REQUIRED PER 2 STUDENTS = 40 SPACES 80 STUDENTS = 40 SPACES TOTAL REQUIRED PARKING = 40 SPACES LOT 1 PARKING PROVIDED: TOTAL PARKING SPACES PROVIDED = 40 SPACES LOT 2 REQUIRED PARKING: NO PARKING IS REQUIRED PER CITY OF COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-11). OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE. IF A RETAIL USE OCCUPIES BUILDING 2, AND 1 SPACE IS REQUIRED PER 200sf THEN 16 PARKING SPACES WILL BE REQUIRED. LOT 2 PARKING PROVIDED: TOTAL PARKING SPACES PROVIDED = 14 SPACES LOT 3 REQUIRED PARKING (ANTICIPATED): 6,000sf FIRST FLOOR RETAIL/200 = 40 SPACES 6,000sf SECOND FLOOR OFFICE/200 = 20 SPACES 4,500sf (B) THIRD FLOOR RESIDENTIAL UNITS AT ±600sf EACH x 1.5 = 12 SPACES TOTAL REQUIRED PARKING = 72 SPACES LOT 3 PARKING PROVIDED: TOTAL PARKING SPACES PROVIDED = 78 SPACES TOTAL PARKING SPACES REQUIRED: = 112 SPACES TOTAL NUMBER OF SPACES REQUIRED EXCLUDES REQUIRED SPACES FOR LOT 2. 112 SPACES REQUIRED ± 10% REDUCTION FOR PROXIMITY TO BUS ROUTE = 100 SPACES REQUIRED TOTAL PARKING SPACES PROVIDED: = 132 SPACES 113 REGULAR SPACES 6 HANDICAP PARKING SPACES 13 COMPACT SPACES COMPACT PARKING CALCULATION: 100 REQ'D SPACES x 25% = 25 SPACES ALLOWED TOTAL COMPACT SPACES = 13 SPACES PROVIDED DISABLED PARKING REQUIREMENTS: TOTAL DISABLED SPACES REQUIRED = 4 SPACES TOTAL DISABLED SPACES PROVIDED = 6 SPACES MOTORCYCLE REQUIREMENTS: TOTAL MOTORCYCLE SPACES REQUIRED = 3 SPACES TOTAL MOTORCYCLE SPACES PROVIDED = 3 SPACES BICYCLE REQUIREMENTS: 1 BIKE SPACE PER 20 = 5 BIKE SPACES PARKING SPACES REQUIRED = 5 BIKE SPACES TOTAL BICYCLE SPACES PROVIDED = 15 SPACES

revision	by	mms	JDH

date	11/2/10	9/27/10

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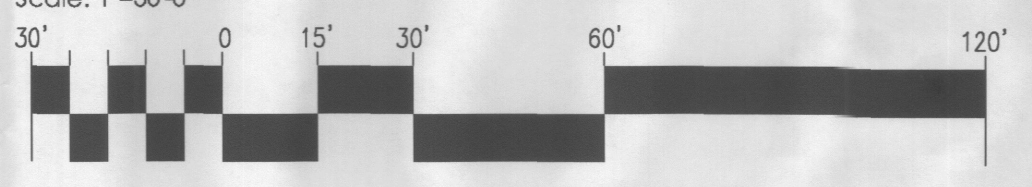
10-07	JDH	JDH	8/26/10
job number	drawn by	project manager	date

Lot 2, Plat of Lots 1 & 2 Garcia Properties Development
 1.5158 AC. ±/66,029 SQ. FT. ±
 (SOUTHERLY PORTION APPLIES TO THIS AMENDMENT)
 ZONING: SU-2/SU-1 - FOR A MIXED USE DEVELOPMENT
 NOT A PART

C2 RADIUS= 3859.72' ARC LENGTH= 129.15' TAN= 64.58' DELTA ANGLE= 1'55'02" CHORD BEARING= S 48°57'17" E CHORD LENGTH= 129.15'
 C3 RADIUS= 3859.72' ARC LENGTH= 121.57' TAN= 60.79' DELTA ANGLE= 1'48'17" CHORD BEARING= S 48°48'56" E CHORD LENGTH= 121.57'

NOT A PART
 TRACT "B"
 LANDS OF H.B. HORN AND CALVIN HORN
 03/06/1908, 03-80
 AREA=1.2434 ACRES ±
 54,161 SQ. FT. ±

Site Development Plan For Building Permit



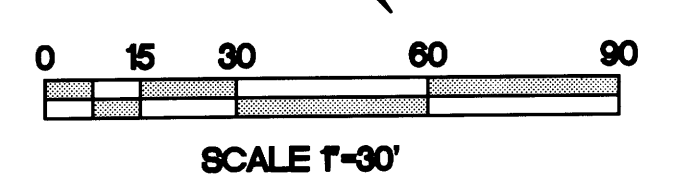
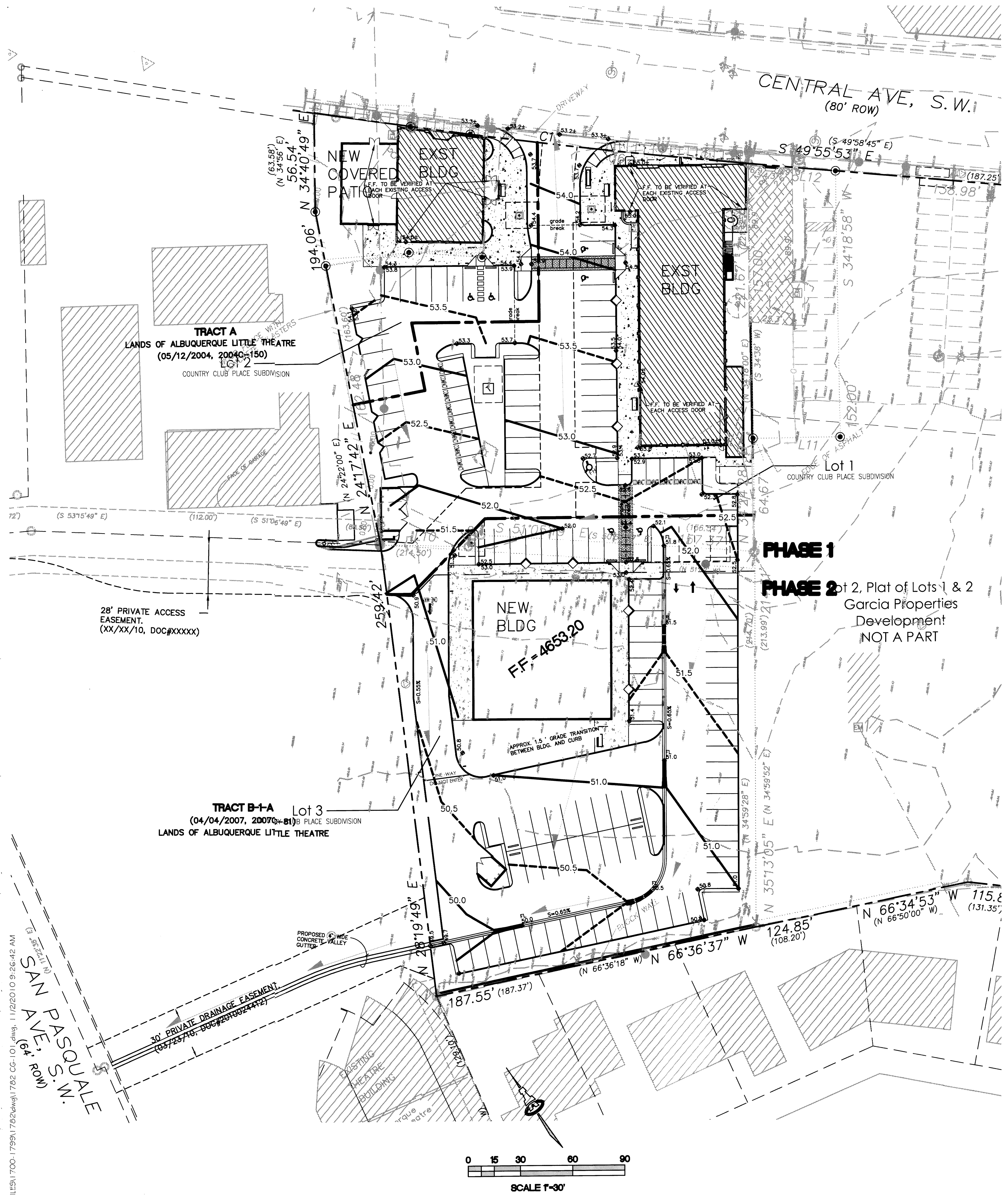
PROJECT NUMBER: 1004677 APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: Oct. 14, 2010 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? YES NO IF YES, THEN A SET OF APPROVED DRG PUBLICS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date



PROJECT NOTES

PROPERTY: THE SITE IS A 2.338-ACR DEVELOPED COMMERCIAL PROPERTY (ZONED SU-2) LOCATED WITHIN C.O.A. VICINITY MAP J-13. IT IS LOCATED ON THE SOUTH SIDE OF CENTRAL AVENUE AND EAST OF SAN PASQUALE AVENUE. THE PROPERTY, CONSISTING OF 2 TRACTS, IS BOUND ON THE NORTH BY CENTRAL AVENUE, TO THE EAST BY DEVELOPED COMMERCIAL (SAME OWNER), TO THE SOUTH BY DEVELOPED RESIDENTIAL AND TO THE WEST BY DEVELOPED COMMERCIAL PROPERTY (THE ALBUQUERQUE LITTLE THEATRE). THE PROPERTY CONSISTS OF ONE EXISTING DRAINAGE BASIN THAT CONSISTS MAINLY OF ASPHALT PAVED PARKING AND TWO COMMERCIAL BUILDINGS. THIS BASIN HISTORICALLY DISCHARGES 10.2 CFS THROUGH THE LITTLE THEATRE PARKING LOT WEST TO FREE DISCHARGE TO SAN PASQUALE AVENUE.

OFF-SITE: MINIMAL OFFSITE STORM WATER WILL CONTINUE TO BE ACCEPTED FROM THE ROOF DRAINS OF THE BUILDING TO THE EAST AND EVENTUALLY DISCHARGE THROUGH THE LITTLE THEATRE PARKING LOT PER HISTORIC CONDITIONS.

PROPOSED IMPROVEMENTS: THE TWO-PHASE PLAN INCLUDES THE CONSTRUCTION OF A NEW 6400 SF RETAIL/OFFICE BUILDING AND A COVERED PATIO ADDITION TO THE EXISTING NW BUILDING. AS WELL AS ASSOCIATED ASPHALT PAVING AND SITE LANDSCAPING.

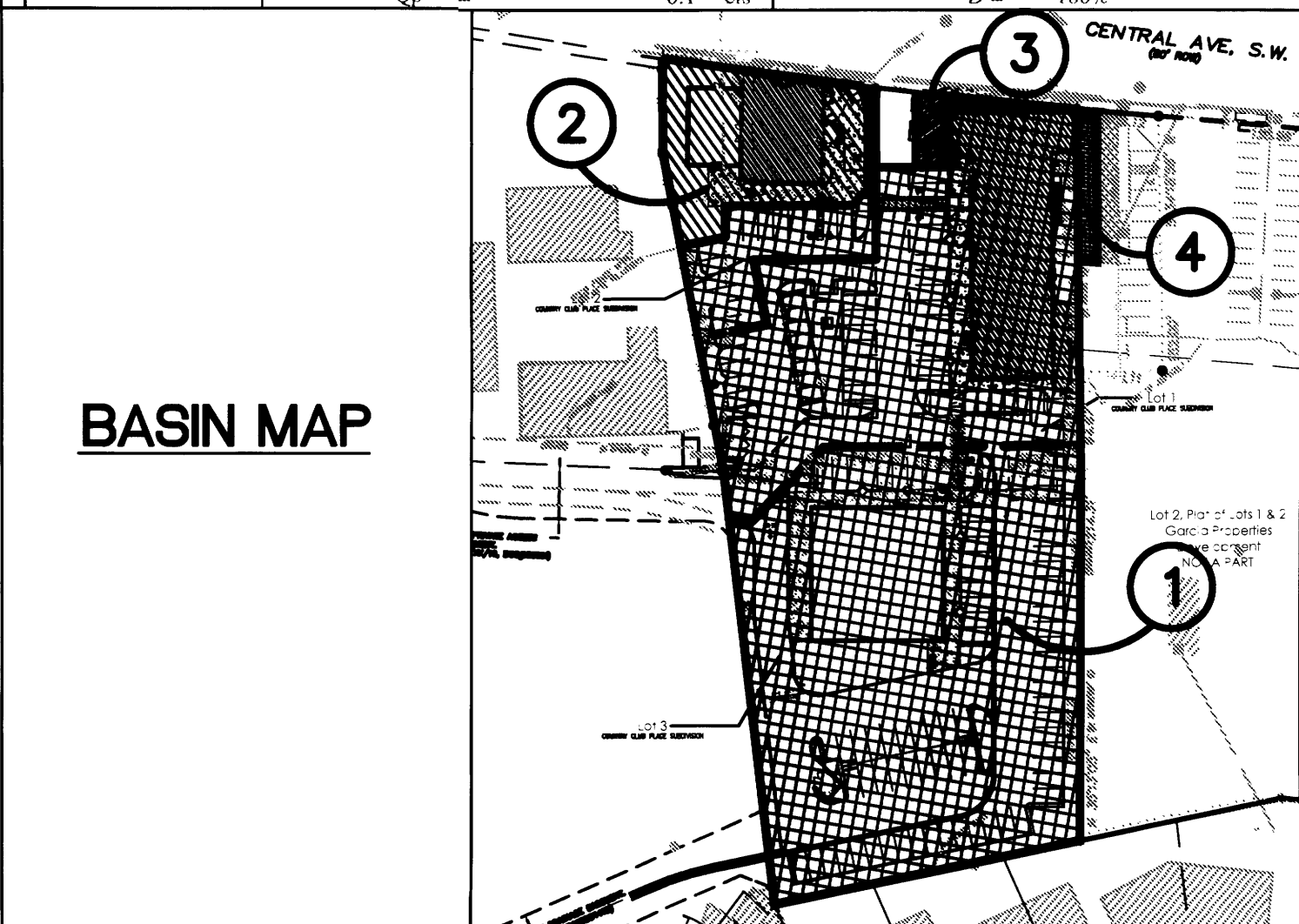
DRAINAGE PLAN CONCEPT: THE PROPOSED IMPROVEMENTS WILL GENERATE APPROXIMATELY 10.4 CFS. THE MAJORITY OF THIS DISCHARGE, 9.25 CFS (THE MAIN BASIN AND OFF-SITE FLOWS), WILL CONTINUE TO DRAIN THROUGH THE ALBUQUERQUE LITTLE THEATRE PARKING LOT (HISTORIC RATE = 10.2 CFS). THE RUN-OFF FROM THE EXISTING NW BUILDING, THE PROPOSED COVERED PATIO, AND THE LANDSCAPED AREAS ASSOCIATED WITH BOTH EXISTING BUILDINGS (1.13 CFS) WILL BE ROUTED TO FREE DISCHARGE INTO CENTRAL AVE AND ENTER THE EXISTING STORM DRAIN SYSTEM.

CALCULATIONS

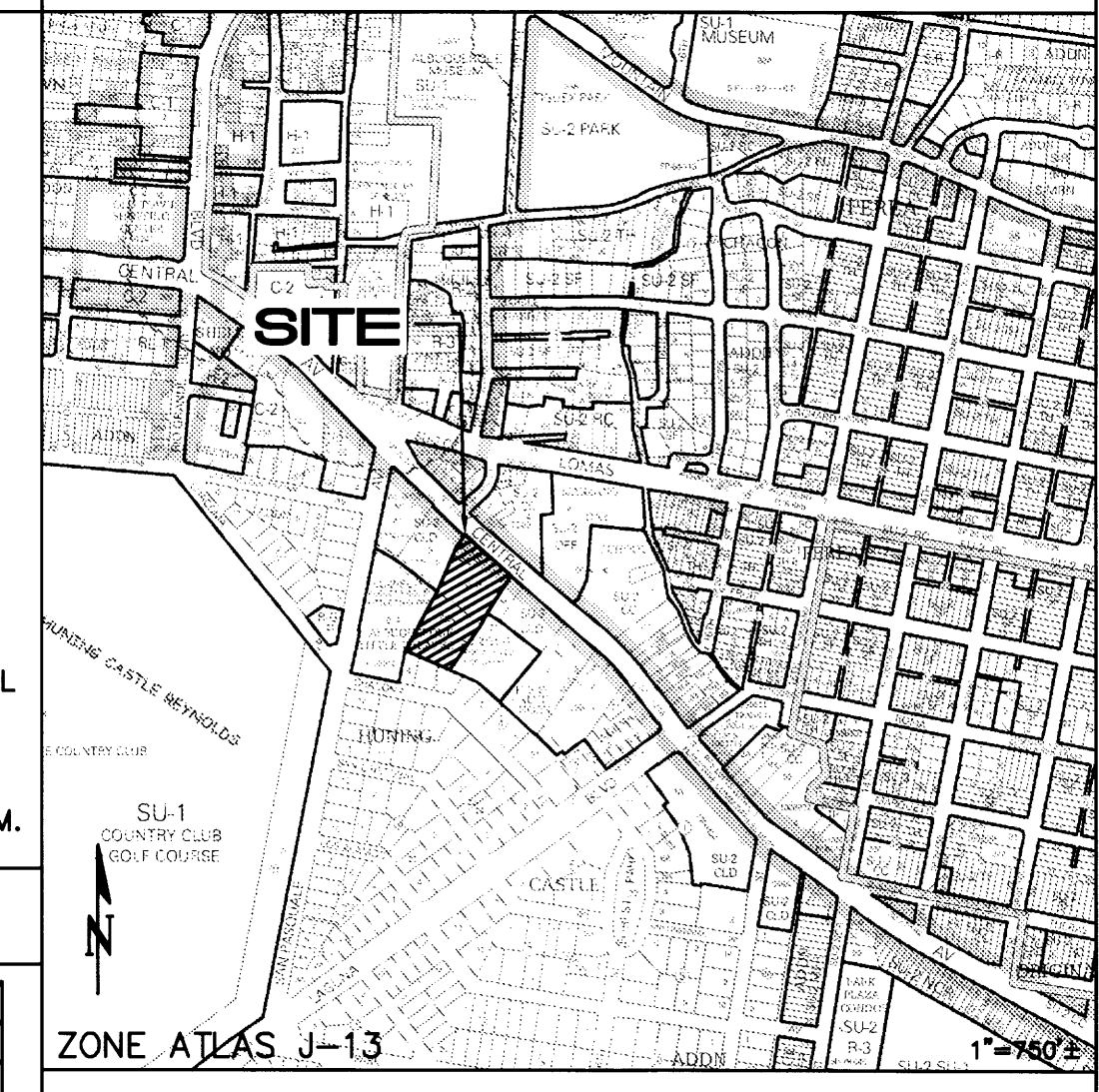
CALCULATIONS: 1782 Country Club Development :
Based on Drainage Design Criteria for City of Albuquerque Section 22.2. DPM, Vol 2, dated Jan., 1993

ON-SITE		
Area draining to underground vault (includes sub-basins 1, 2, 3 and 4)	101855.12 SF	= 2.3 Ac.
HISTORIC FLOWS:		
On-Site Historic Land Condition	On-Site Developed Land Condition	EXCESS PRECIP:
Area a = 0.00 SF	Area a = 0.00 SF	Ea = 0.53
Area b = 5092.76 SF	Area b = 0.00 SF	Eb = 0.78
Area c = 15278.27 SF	Area c = 15278.27 SF	Ec = 1.13
Area d = 81484.10 SF	Area d = 86576.85 SF	Ed = 2.12
Total Area = 101855.12 SF	Total Area = 101855.12 SF	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	Weighted E = $EaAa + EbAb + EcAc + EdAd$	
Historic E = 1.90 in.	Developed E =	1.97 in.
On-Site Volume of Runoff: V360 = $E^*A / 12$		
Historic V360 = 16165 CF	Developed V360 =	16734 CF
On-Site Peak Discharge Rate: $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560$		
For Precipitation Zone 2	Qpa = 1.56	Qpc = 3.14
	Qpb = 2.28	Qpd = 4.70
Historic Qp = 10.2 CFS	Developed Qp =	10.4 CFS

BASIN NO.	DESCRIPTION	Area of basin flows	Weighted E	V360	Qp	TREATMENT
1	Main Basin	89116 SF = 2.0 Ac.	1.97 in.	14641 CF	9.1 cfs	A = 0% B = 0% C = 15% D = 85%
2	NW Building and Landscape Area	10211 SF = 0.2 Ac.	1.97 in.	1678 CF	0.1 cfs	A = 0% B = 0% C = 15% D = 85%
3	NE Landscape Area	1171 SF = 0.0 Ac.	1.13 in.	110 CF	0.1 cfs	A = 0% B = 0% C = 100% D = 0%
4	Off-Site	1063 SF = 0.0 Ac.	2.12 in.	188 CF	0.1 cfs	A = 0% B = 0% C = 0% D = 100%



VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: M.R.G.C.D. TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE

SITE AREA: 2.338 AC

FLOOD ZONE: THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) FLOOD PLAN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBER 35001C0331E, EFFECTIVE DATE NOVEMBER 19, 2003.

ENGINEER: FRED ARFMAN, NMPE #7322
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: LARRY W. MEDRANO, NMPS #11993
PRECISION SURVEYS, INC.
8414-D JEFFERSON ST NE, ABQ. NM 87113
PHONE: (505) 856-5700

BENCHMARK: ALBUQUERQUE CONTROL SURVEY MONUMENT "13-J13" HAVING A PUBLISHED ELEVATION OF 4953.44 FEET (NAVD 29)

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TC 81.9 TOP OF CURB ELEVATION
- FL 81.4 FLOWLINE
- INV=72.5 INVERT ELEVATION

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
125 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1782 CG-101.dwg Nov 01, 2010

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rev	▲▲▲▲	▲▲▲▲



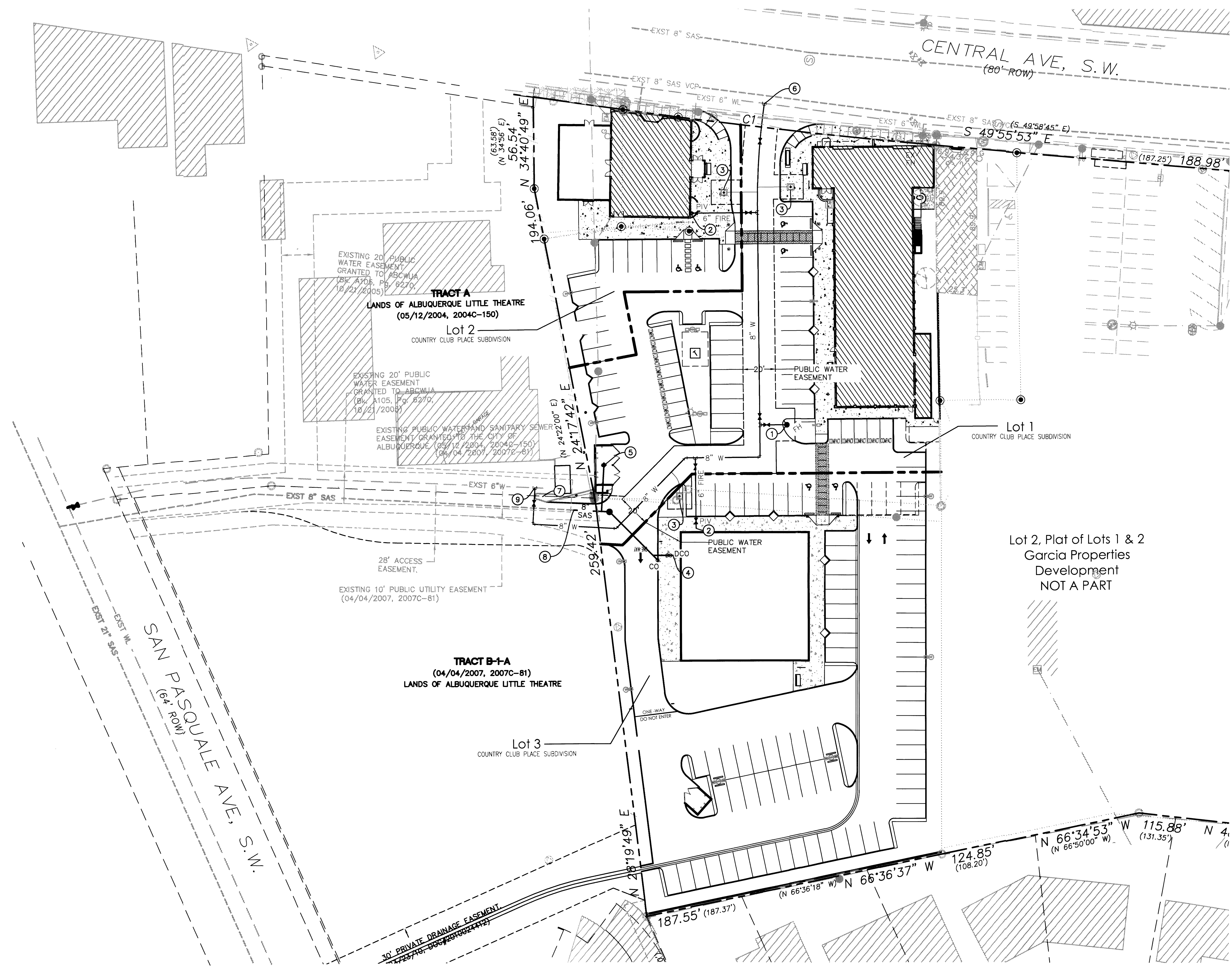
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job number	10.07	mvs	MMM
drawn by		project manager	
date	5/5/10		

project title
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM

sheet title
CONCEPTUAL GRADING PLAN FOR BUILDING PERMIT

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GENERAL NOTES

- ALL PUBLIC UTILITIES (WITHIN PUBLIC EASEMENT) SHALL BE BUILT PER PUBLIC WORK ORDER DRAWINGS.

KEYED NOTES

- PUBLIC FIRE HYDRANT.
- 6" PRIVATE BUILDING FIRELINE WITH POST INDICATOR VALVE (PIV).
- PUBLIC WATER METER.
- 6" PRIVATE SEWER SERVICE WITH DOUBLE CLEANOUT.
- AREA DRAIN WITH P-TRAP AT LOW POINT IN GARBAGE ENCLOSURE. TIE 4" SEWER SERVICE TO 8" MAIN.
- TIE TO EXISTING WATERLINE WITH 6"x6"x6" TEE.
- EXISTING FIRE HYDRANT.
- TIE TO EXISTING SEWER MANHOLE.
- TIE TO EXISTING LINE WITH A 6"x6"x6" TEE.

LEGEND

- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE

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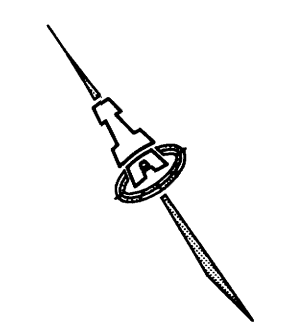
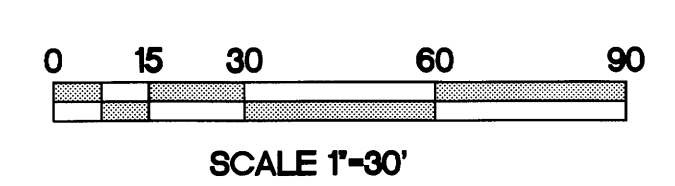


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job number	10-07
drawn by	mws
project manager	MMM
date	5/5/10

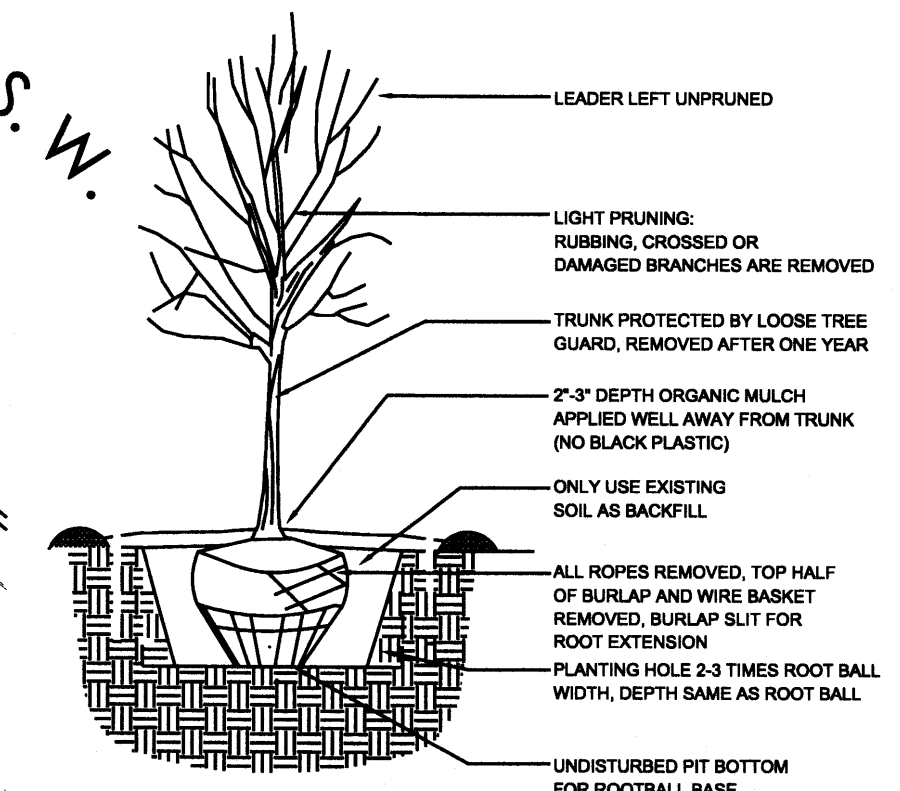
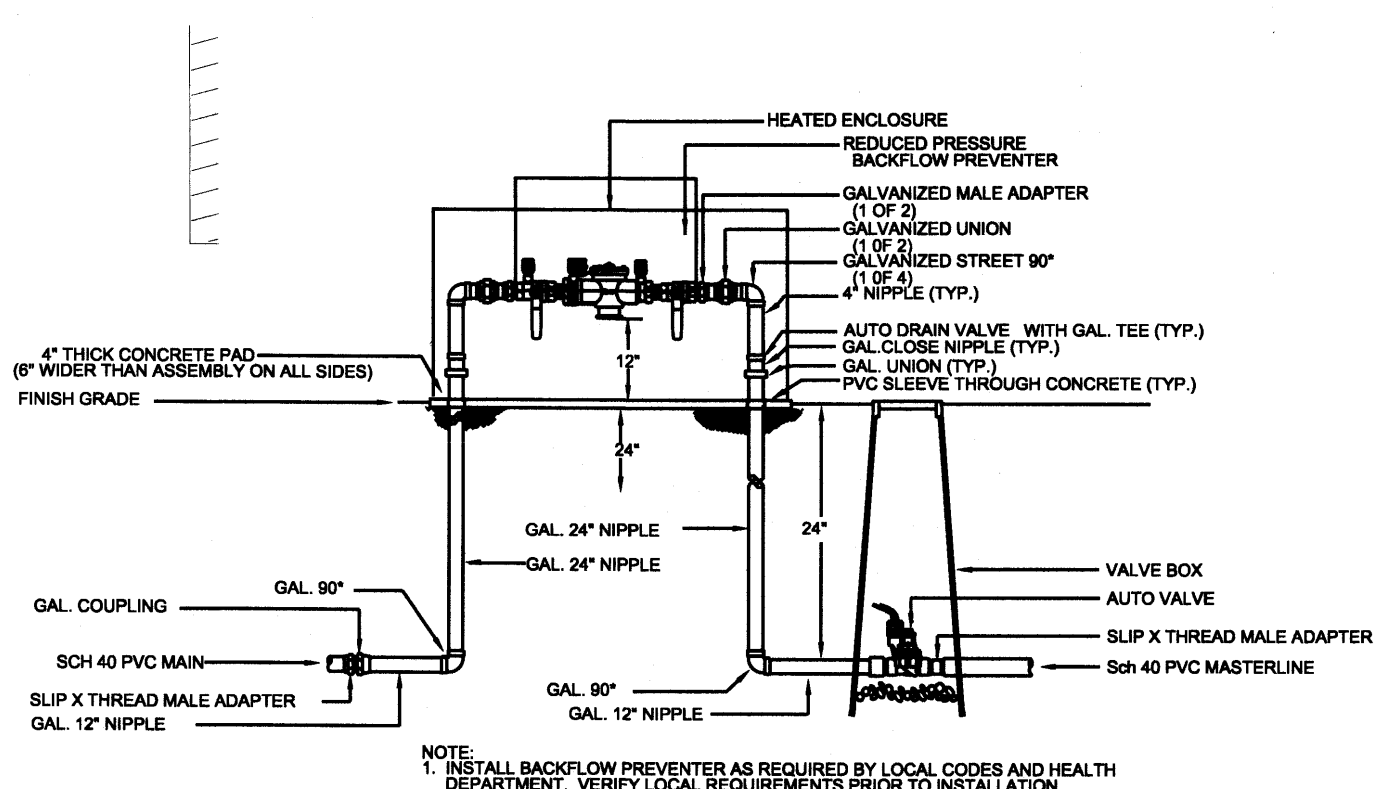
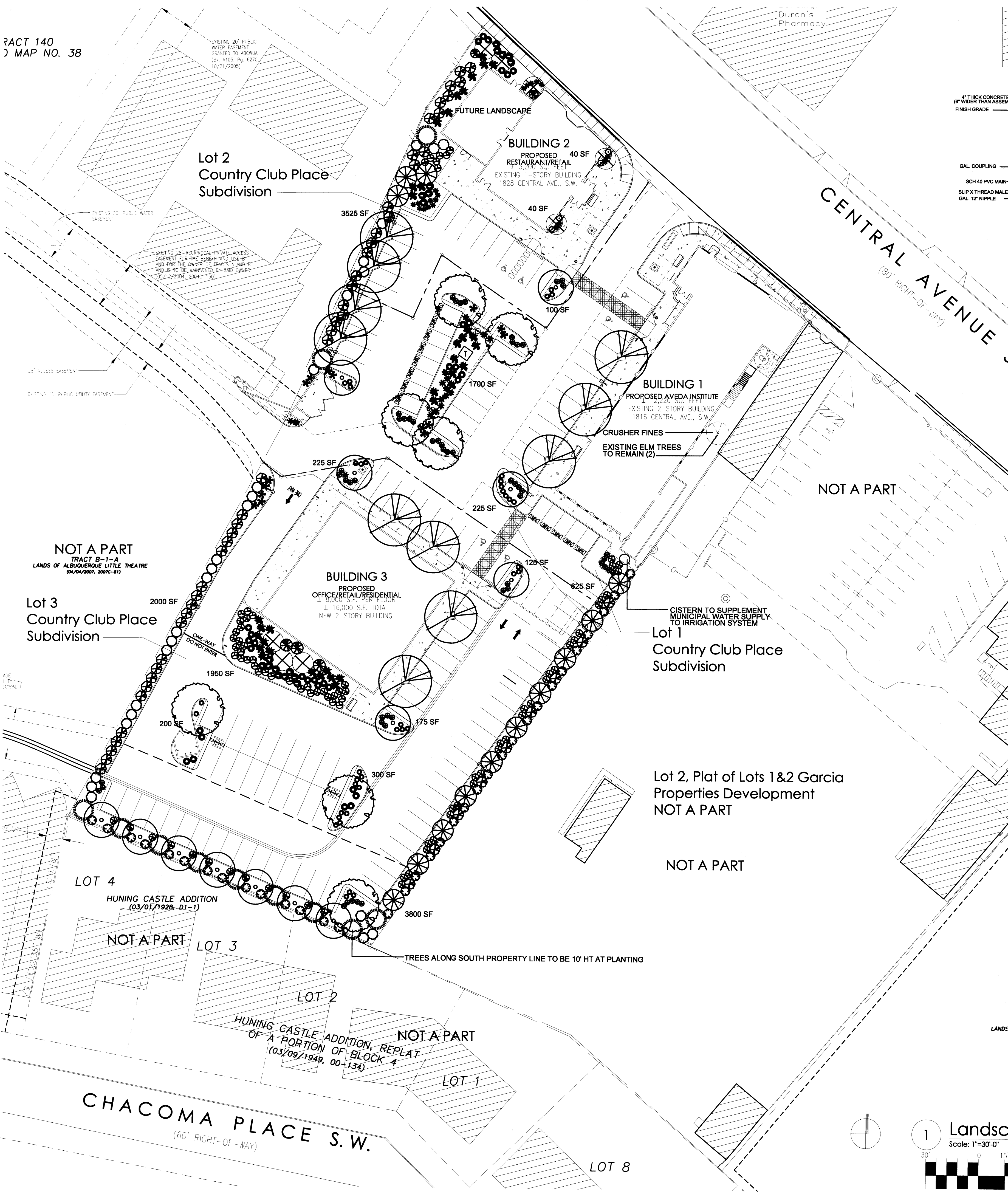
project title
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM

sheet title
CONCEPTUAL UTILITY PLAN FOR BUILDING PERMIT



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1782 CU-101.dwg Nov 01, 2010



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
11	[Symbol]	Pinus nigra Austrian Pine	10' Ht.	30'/25'		Medium	6-2 gph
11	[Symbol]	Fraxinus Modesto Ash	2" B&B	60'/60'		Medium	6-2 gph
8	[Symbol]	Crataegus Washington Hawthorn	15-Gal	20'/20'		Medium	6-2 gph
13	[Symbol]	Pyrus Flowering Pear	2" B&B	30'/25'		Medium	6-2 gph
7	[Symbol]	Pistachia chinensis Chinese Pistache	2" B&B	60'/60'		Medium	6-2 gph
13	[Symbol]	Vitex agnus-castus Chaste Tree	15-Gal	20'/20'		Medium	6-2 gph
Shrubs/Groundcovers							
24	[Symbol]	Buddleia davidii Butterfly Bush	5-Gal	5'/5'	20 sf=480 sf	Medium	2-2 gph
53	[Symbol]	Vaqueria Arizona Rosewood	5-Gal	8'/12'	50 sf=2650 sf	Low+	2-2 gph
54	[Symbol]	Ericameria Turpentine Bush	5-Gal	3'/4'	18 sf=972 sf	Low+	2-1 gph
18	[Symbol]	Potentilla Shrubby Cinquefoil	5-Gal	5'/5'	18 sf=324 sf	Medium+	2-2 gph
38	[Symbol]	Baccharis Coyotebush	5-Gal	2'/6"	18 sf=684 sf	Low +	2-1 gph
37	[Symbol]	Rosmarinus officinalis Rosemary	5-Gal	6'/6"	30 sf=1110 sf	Low +	2-2 gph
26	[Symbol]	Raphiolepis India Hawthorn	5-Gal	3'/4'	30 sf=780 sf	Medium	2-2 gph
4	[Symbol]	Salvia greggii Cherry Sage	1-Gal	2'/3'	18 sf=72 sf	Medium	2-2 gph
2	[Symbol]	Lagerstroemia Crape Myrtle	5-Gal	15'/15'	35 sf=70 sf	Medium+	2-2 gph
0	[Symbol]	Pinus mugo Mugho Pine	5-Gal	4'/4'	30 sf=0 sf	Medium	2-2 gph
5	[Symbol]	Punica Pomegranate	5-Gal	8'/8"	36 sf=180 sf	Low+	2-2 gph
15	[Symbol]	Hesperaloe Red Yucca	5-Gal	3'/4'	15 sf=225 sf	Low	2-1 gph
16	[Symbol]	Yucca pendula Softblade Yucca	5-Gal	5'/2"	25 sf=400 sf	Low+	2-1 gph
34	[Symbol]	Rhus 3 Leaf Sumac	5-Gal	6'/6"	50 sf=1700 sf	Low+	2-1 gph
58	[Symbol]	Prunus besseyi Sand Cherry	5-Gal	3'/3"	25 sf=1450 sf	Medium	2-2 gph
Ornamental Grasses							
31	[Symbol]	Muhlenbergia Deer Grass	5-Gal	4'/4'	20 sf=620 sf	Medium+	2-2 gph
19	[Symbol]	Pennisetum Fountain Grass	5-Gal	2.5'/2.5'	12 sf=228 sf	Medium	2-2 gph
Total landscape coverage=11,945 sf							

LANDSCAPE DATA

GROSS LOT AREA	101,852 SF
LESS BUILDING(S)	23,420 SF
NET LOT AREA	78,432 SF
REQUIRED LANDSCAPE	15% OF NET LOT AREA
PROPOSED LANDSCAPE	11,785 SF
PERCENT OF NET LOT AREA	14,930 SF (80%)

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

HIGH WATER USE TURF

NONE PROPOSED

REQUIRED STREET TREES

PROVIDED AT 30' O.C. SPACING STREET 3
REQUIRED PARKING LOT TREES
PROVIDED AT 1 PER 10 SPACES (132 SPACES/10) 13
75% MIN. DECIDUOUS CANOPY TREES WITH 25' MATURE SPREAD
100% PROVIDED (6-CHINESE PISTACHE/7-MODESTO ASH)

REQUIRED LANDSCAPE COVERAGE

80% LIVE VEGETATIVE MATERIAL 11,944 SF MIN.
(14,930 SF x 80%)
PROVIDED LANDSCAPE COVERAGE 11,945 SF (80%)

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM PROTECTED WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE AND POLLEN ORDINANCE

THIS PLAN SHALL PROVIDE AT MINIMUM 80% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY. TREE CANOPIES ARE NOT INCLUDED.

LANDSCAPE AREAS TO BE MULCHED WITH BROWN CRUSHER FINES GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

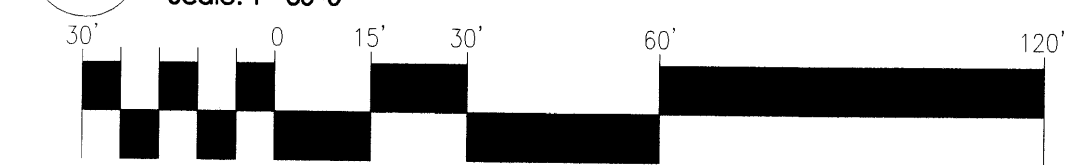
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

AT LEAST 75% OF REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS CANOPY-TYPE SHADE TREES, CAPABLE OF ACHIEVING A MATURE CANOPY OF AT LEAST 25'

PROVIDE CURB CUTS INTO LANDSCAPE AREAS TO ALLOW FOR PASSIVE WATER HARVESTING

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

Landscape Plan for Building Permit



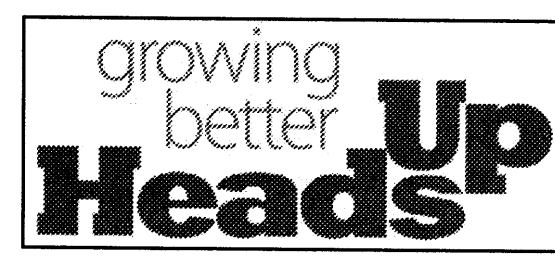
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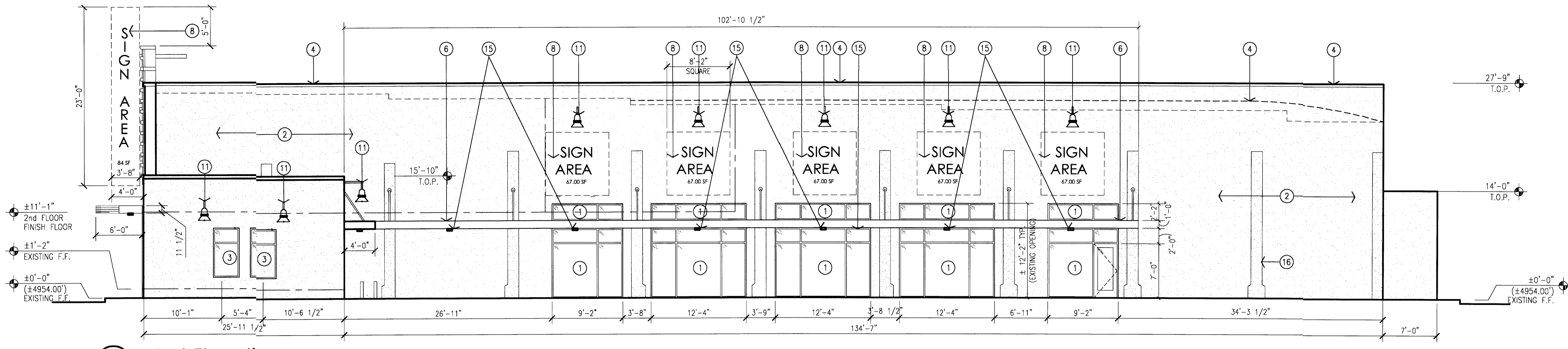
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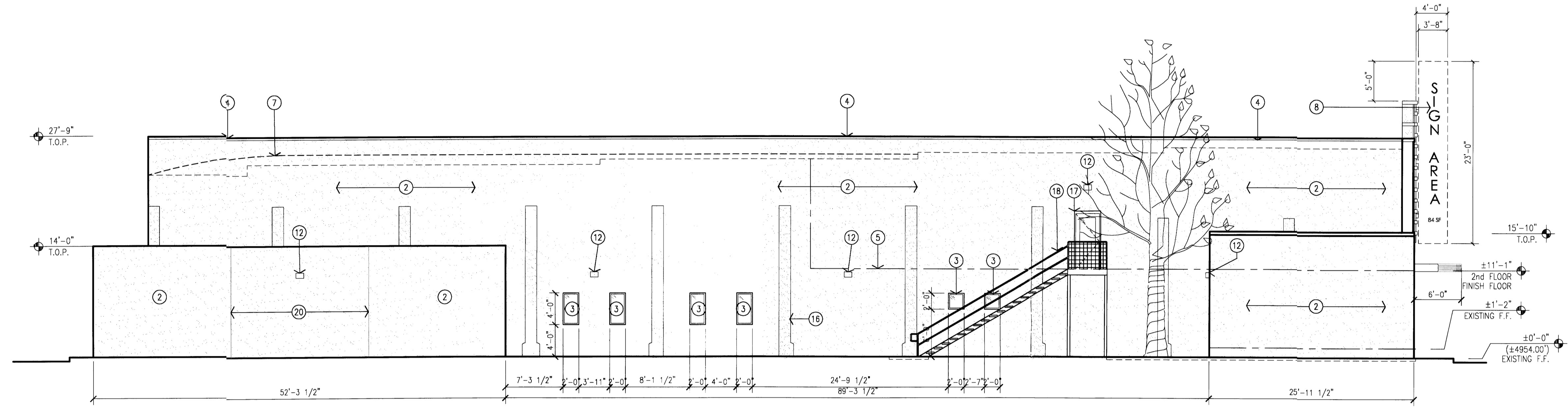
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job number
drawn by
project manager
date

Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM
Landscaping Plan for Building Permit

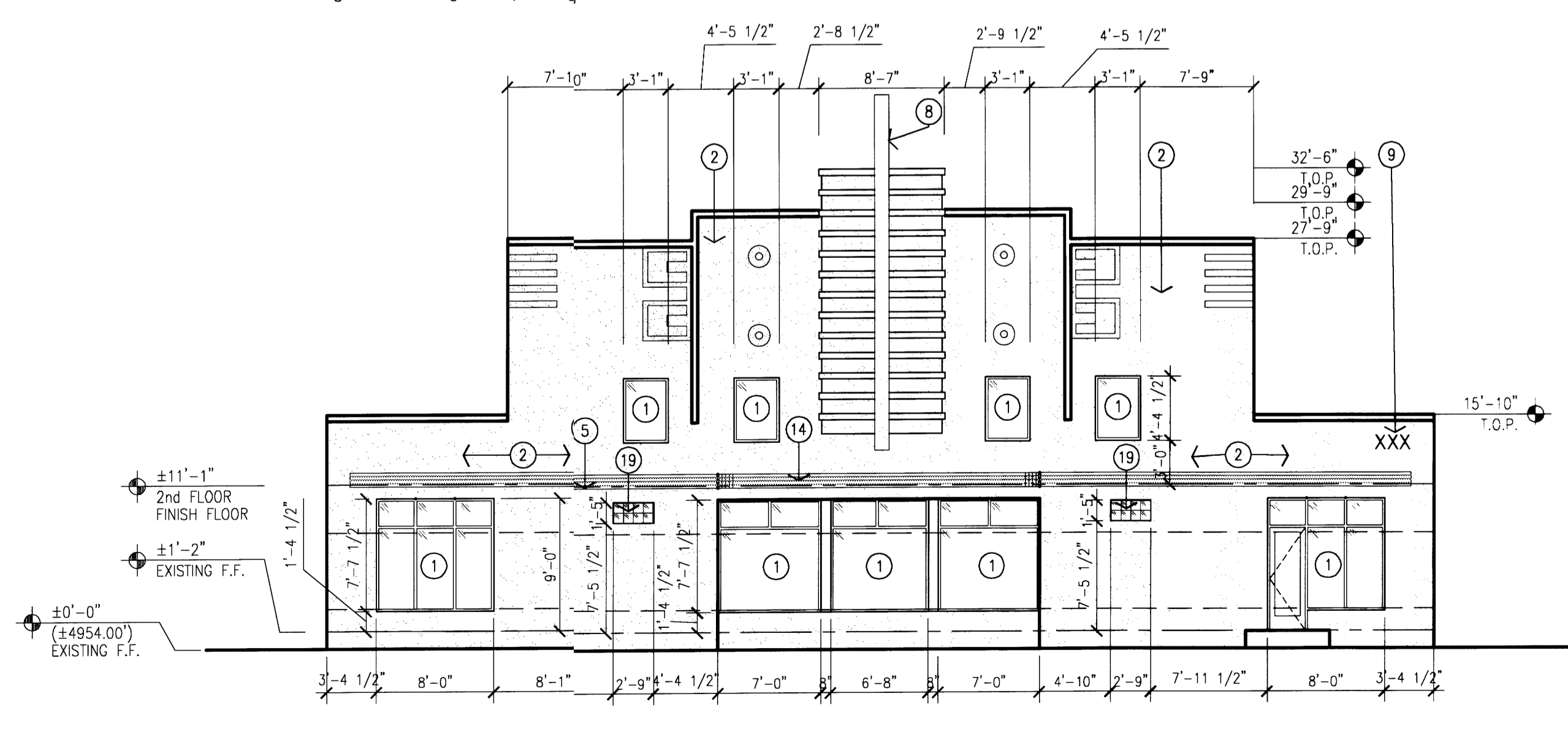




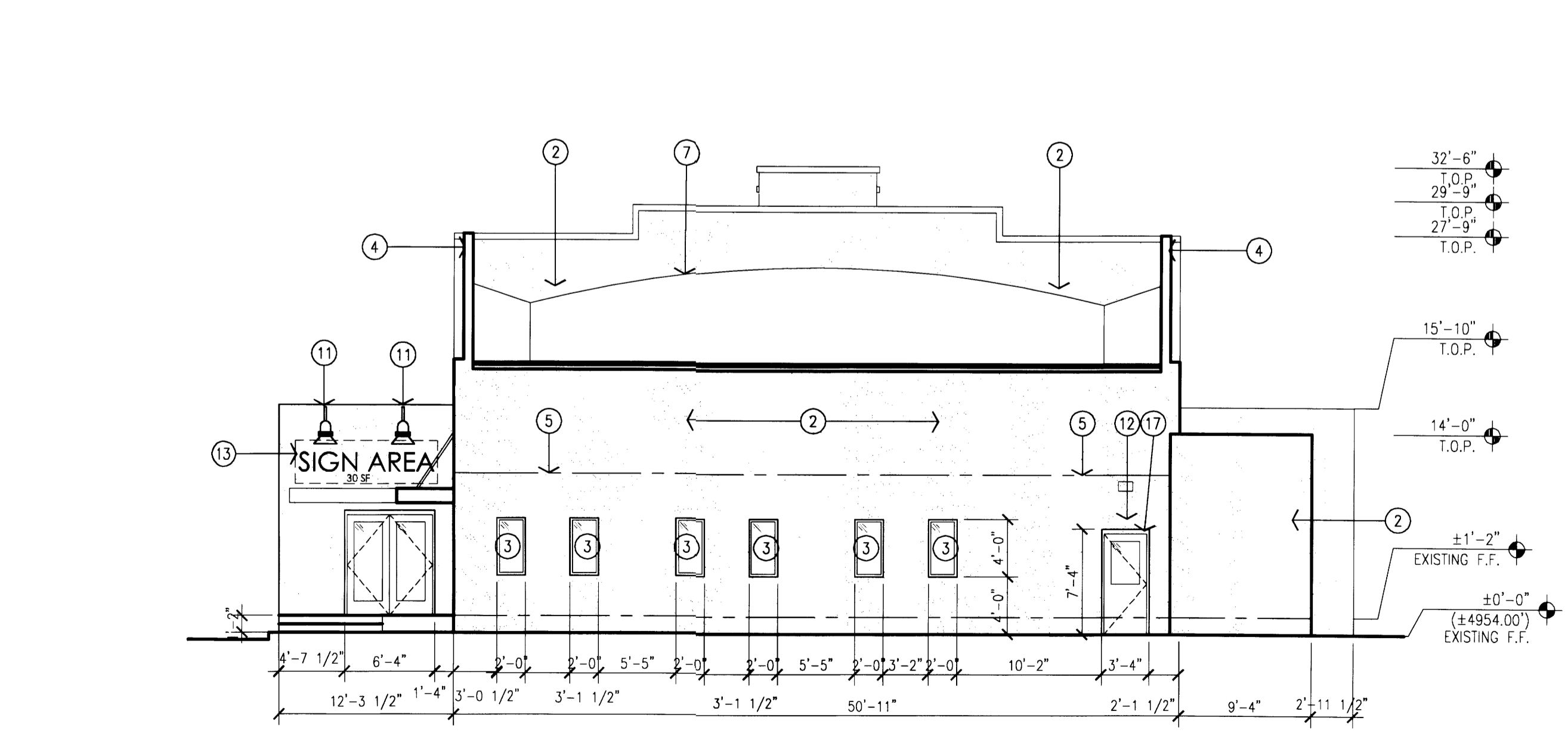
1 West Elevation
Scale: 1/8"=1'-0"



2 East Elevation
Scale: 1/8"=1'-0"



3 North Elevation
Scale: 1/8"=1'-0"



4 South Elevation
Scale: 1/8"=1'-0"

- KEYED NOTES:**
- [1] NEW CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING IN EXISTING OPENING.
 - [2] NEW 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT, COLOR: OFF-WHITE.
 - [3] NEW WINDOW OPENING WITH NEW CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING.
 - [4] LINE OF NEW PARAPET TO SHIELD MECHANICAL UNITS.
 - [5] LINE OF EXISTING SECOND FLOOR.
 - [6] NEW TUBE STEEL CANOPY, PAINTED TAN.
 - [7] EXISTING LINE OF ROOF, BEYOND.
 - [8] NEW AREA OF INTERNALLY ILLUMINATED BUILDING MOUNTED SIGNAGE.
 - [9] NEW 12" HIGH ADDRESS CHANNEL LETTERS.
 - [10] NEW STUCCO CONTROL JOINT, TYPICAL.
 - [11] NEW DECORATIVE EXTERIOR WALL MOUNTED LIGHT FIXTURE.
 - [12] NEW EXTERIOR WALL PACK.
 - [13] NEW BUILDING MOUNTED, NON-ILLUMINATED DIRECTIONAL SIGNAGE.
 - [14] NEW ALUMINUM WRAPPED CANOPY.
 - [15] NEW EXTERIOR LIGHTS MOUNTED UNDER CANOPY.
 - [16] EXISTING STRUCTURAL COLUMN, TYPICAL.
 - [17] NEW HOLLOW METAL DOOR WITH VISION PANEL, PAINT TO MATCH STUCCO.
 - [18] NEW EXTERIOR METAL STAIR, PAINT TO MATCH STUCCO.
 - [19] EXISTING OPENING WITH NEW GLASS BLOCK.
 - [20] NEW STUCCO CONTROL JOINT.

BUILDING 1 SIGNAGE CALCULATIONS:

BUILDING MOUNTED:

SOUTH ELEVATION- 1259 SF x 9%
113.31 SF ALLOWED
30.00 SF NON-ILLUMINATED PROVIDED (2.4%)

EAST ELEVATION- 3833 SF x 9% =344.97
344.97 SF ALLOWED
0.00 SF PROVIDED (0.0%)

WEST ELEVATION- 3735 SF x 9% =336.15
336.15 SF ALLOWED

NORTH ELEVATION- 1877 SF x 9% =168.93
168.93 SF ALLOWED

168.00 SF PROVIDED (8.9%)

BUILDING FRONTAGE CALCULATIONS:

GLAZING: 75% OF FRONTAGE LENGTH BETWEEN 2'-8" AND 7'-10" A.F.F. REQUIRED.

FRONTAGE AREA= 390 SF
FRONTAGE PROVIDED= 189.3 SF
189.3/390= 48.5%

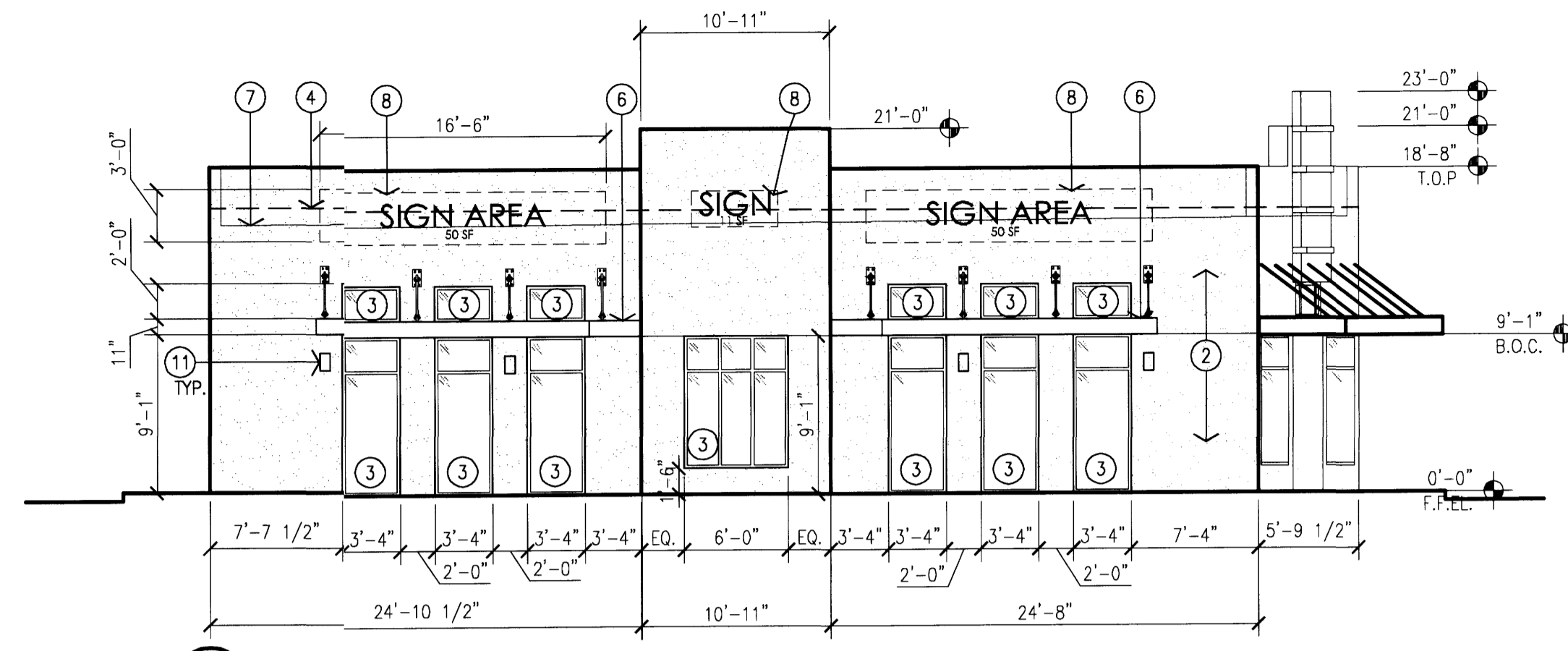
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	mws	11/2/10	1
	JDH	9/27/10	2

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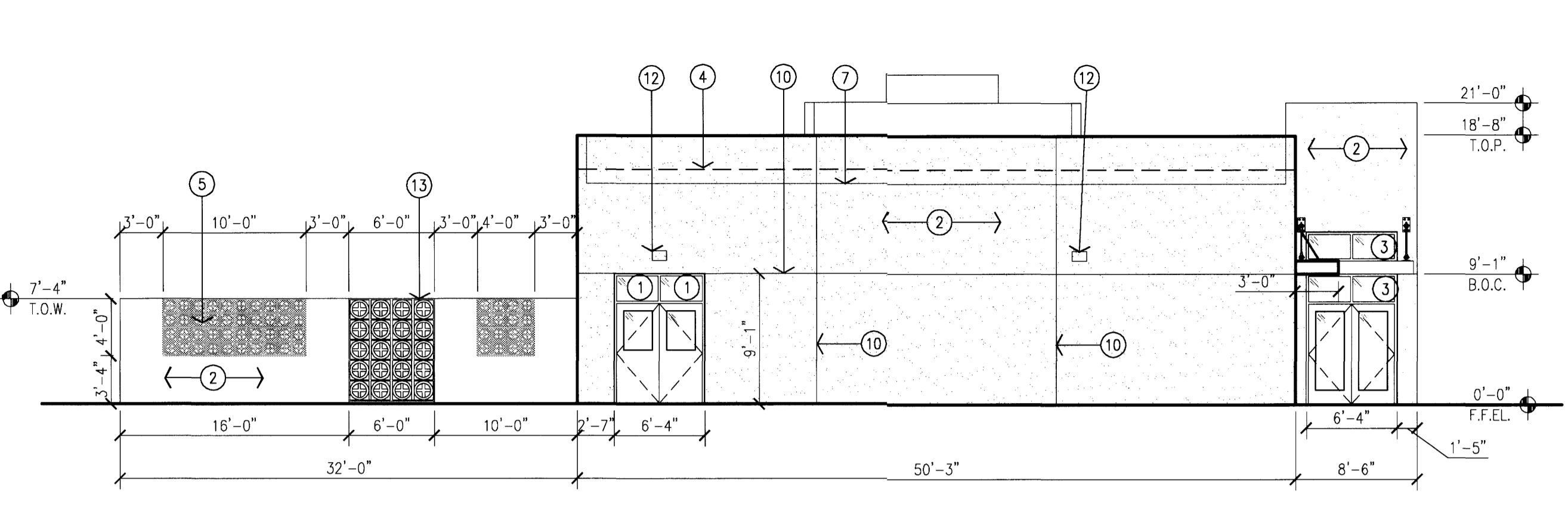
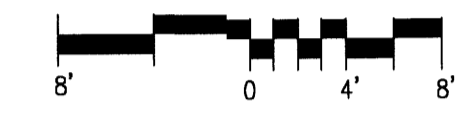
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drawn by	JDH
project manager	JDH
date	8/26/10

project title
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM

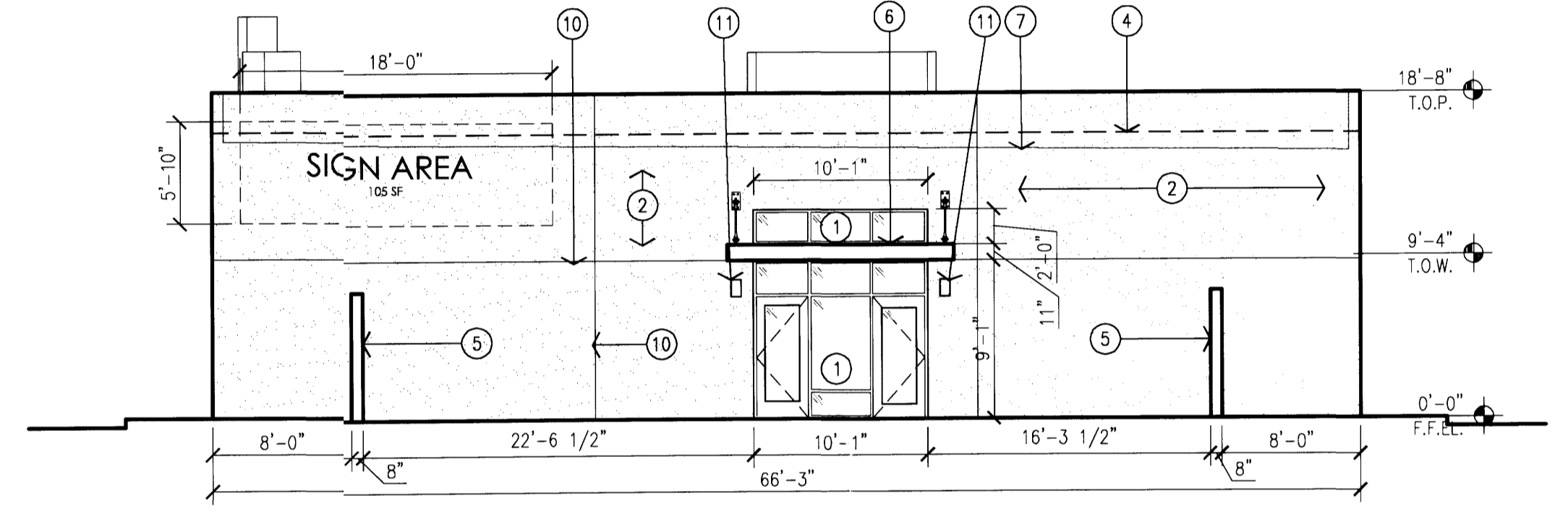
sheet title
Building 1 Exterior Elevations



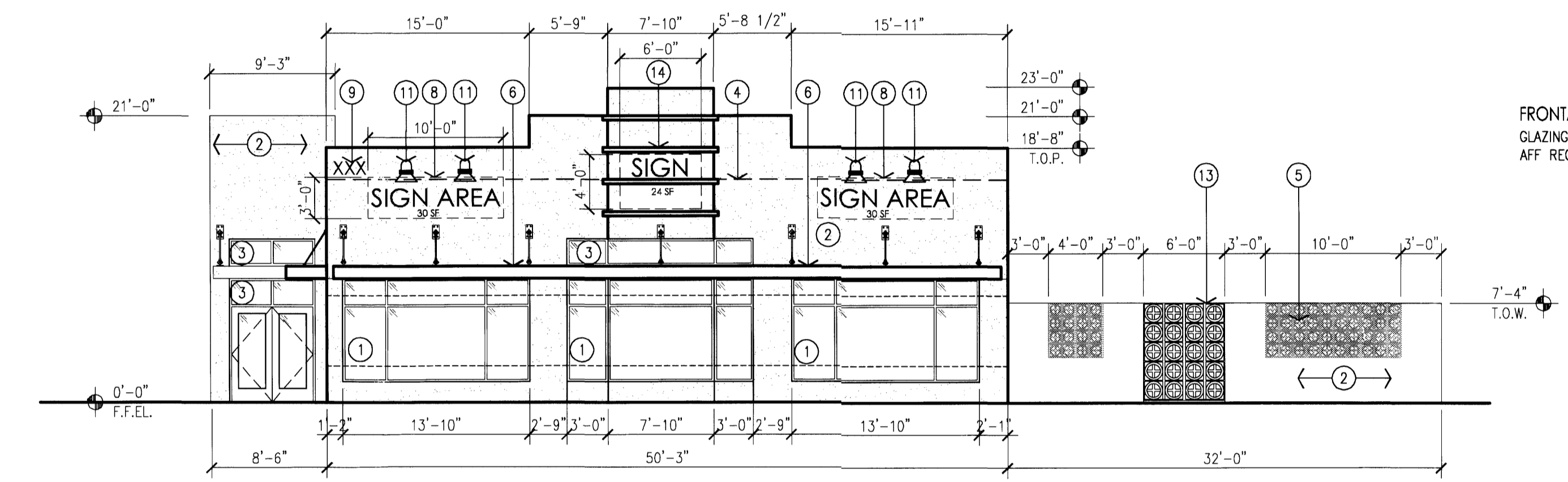
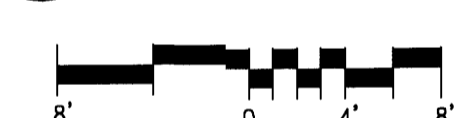
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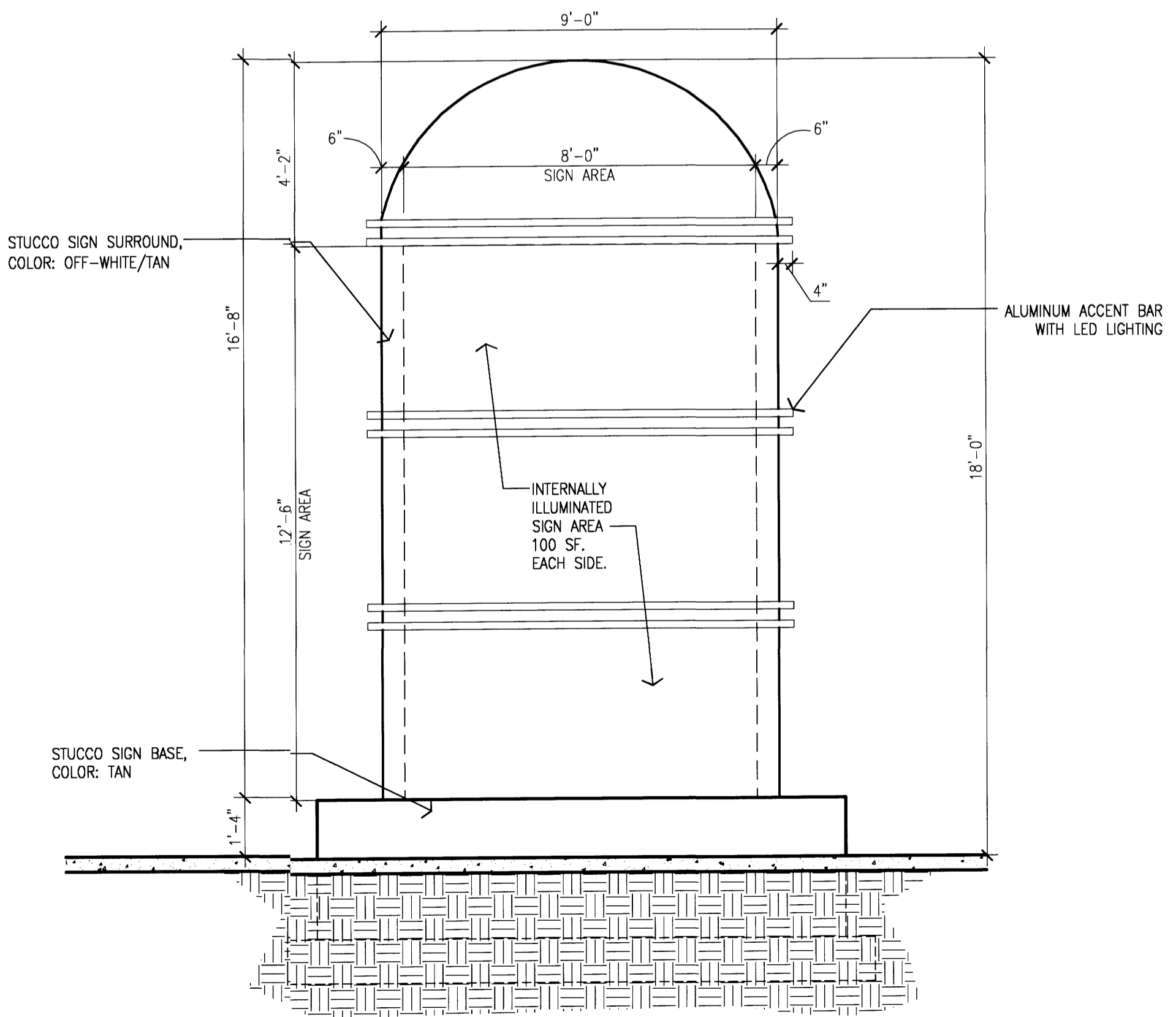
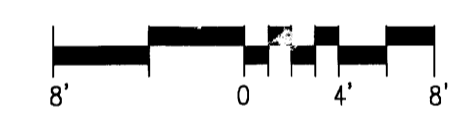
2 South Elevation
Scale: 1/8"=1'-0"



3 West Elevation
Scale: 1/8"=1'-0"



4 North Elevation
Scale: 1/8"=1'-0"



5 Monument Sign Elevation
Scale: 3/8"=1'-0"

- KEYED NOTES:
- [1] NEW CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING IN EXISTING OPENING.
 - [2] NEW 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: OFF WHITE TAN.
 - [3] NEW WINDOW OPENING WITH NEW CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING.
 - [4] LINE OF EXISTING PARAPET.
 - [5] NEW EXTERIOR YARD WALL WITH BRISE SOLEIL BLOCK INFILL.
 - [6] NEW TUBE STEEL CANOPY, PAINTED TAN.
 - [7] EXISTING LINE OF ROOF, BEYOND.
 - [8] NEW AREA OF BUILDING MOUNTED SIGNAGE.
 - [9] NEW 12" HIGH ADDRESS CHANNEL LETTERS.
 - [10] NEW STUCCO CONTROL JOINT, TYPICAL.
 - [11] NEW DECORATIVE EXTERIOR WALL MOUNTED LIGHT FIXTURE.
 - [12] NEW EXTERIOR WALL PACK.
 - [13] NEW DECORATIVE STEEL GATE, PAINT TO MATCH STUCCO.
 - [14] NEW STUCCO REVEAL WITH LED LIGHTING.

BUILDING 2
SIGNAGE CALCULATIONS:
FREE-STANDING MONUMENT: MAX HEIGHT: 18'-0"
ACTUAL: 18'-0"
MAXIMUM SIGN AREA: 100 SF
ACTUAL AREA: 100 SF

BUILDING 2 BUILDING MOUNTED:
WEST ELEVATION- 1174 x 9% =105.66
105.66 sf ALLOWED
105.00 sf PROVIDED (8.9%)
SOUTH ELEVATION- 938 x 9% =84.38
84.38 sf ALLOWED
00.00 sf PROVIDED (0.0%)
EAST ELEVATION- 1237 x 9% =111.33
111.33 sf ALLOWED
111.00 sf PROVIDED (8.9%)
NORTH ELEVATION- 938 x 9% = 84.42
84.42 sf ALLOWED
84.00 sf PROVIDED (8.9%)

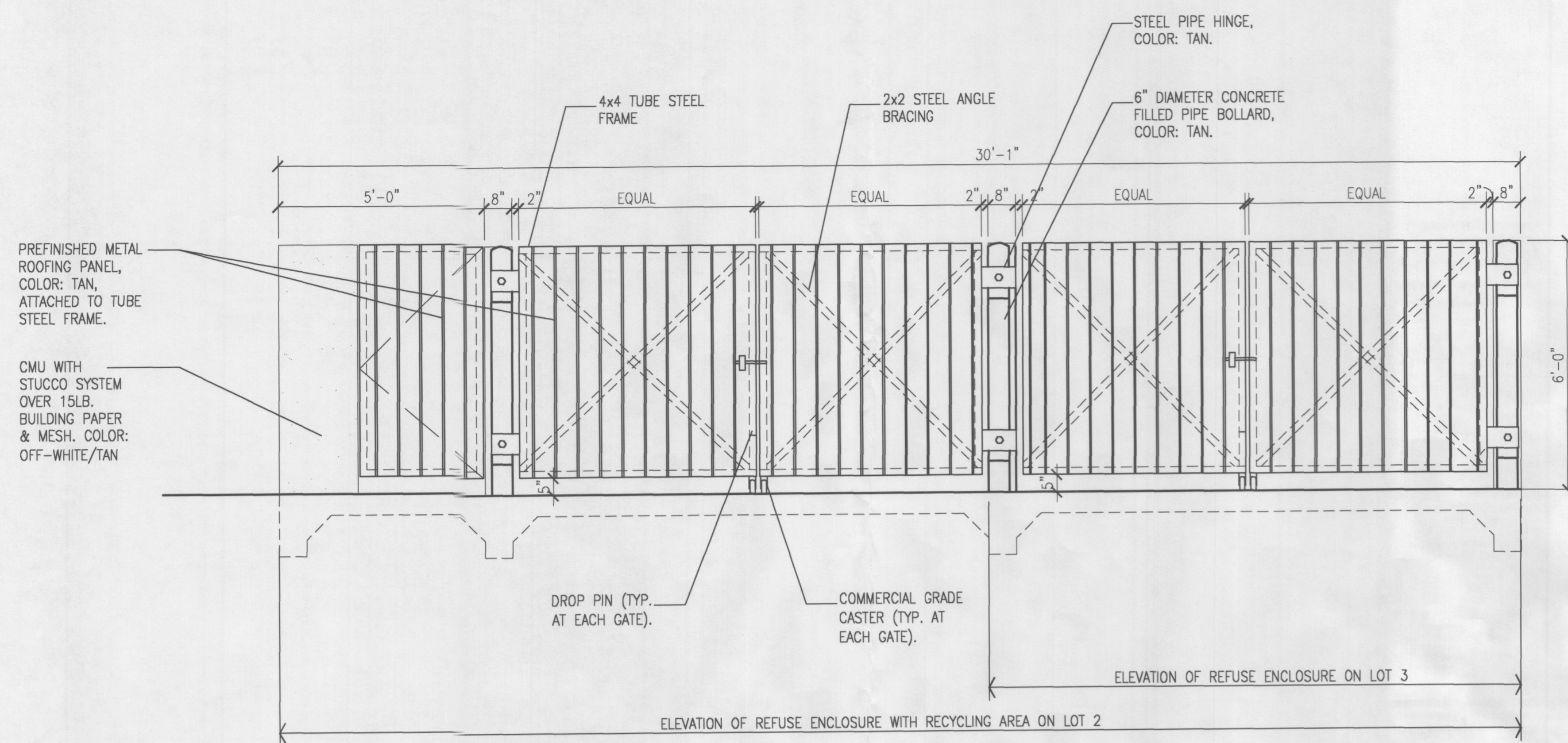
FRONTAGE CALCULATIONS:
GLAZING: 75% OF FRONTAGE LENGTH BETWEEN 2'-8" AND 7'-10"
AFF REQUIRED.
FRONTAGE AREA= 259.6 SF
FRONTAGE PROVIDED= 214.5 SF
214.5/259.6 = 82.6%

revision	by	date	PER EPC NOTICE OF DECISION	PER PLANNING DEPT COMMENT
rev A	JH	11/21/10		
	JH	9/22/10		

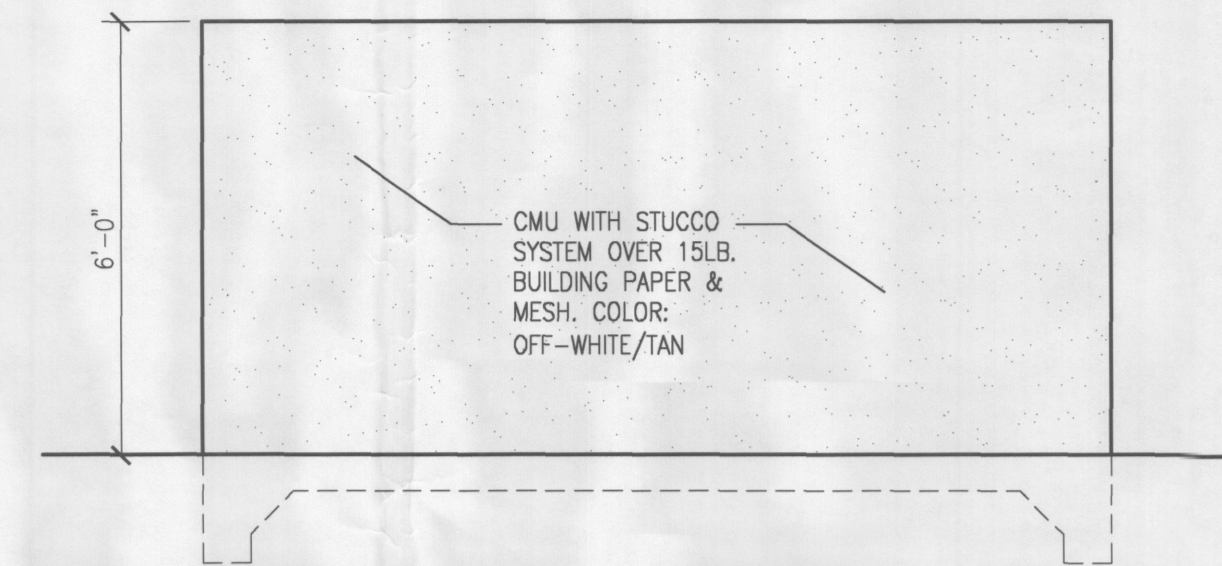
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project manager	JH
date	8/26/10

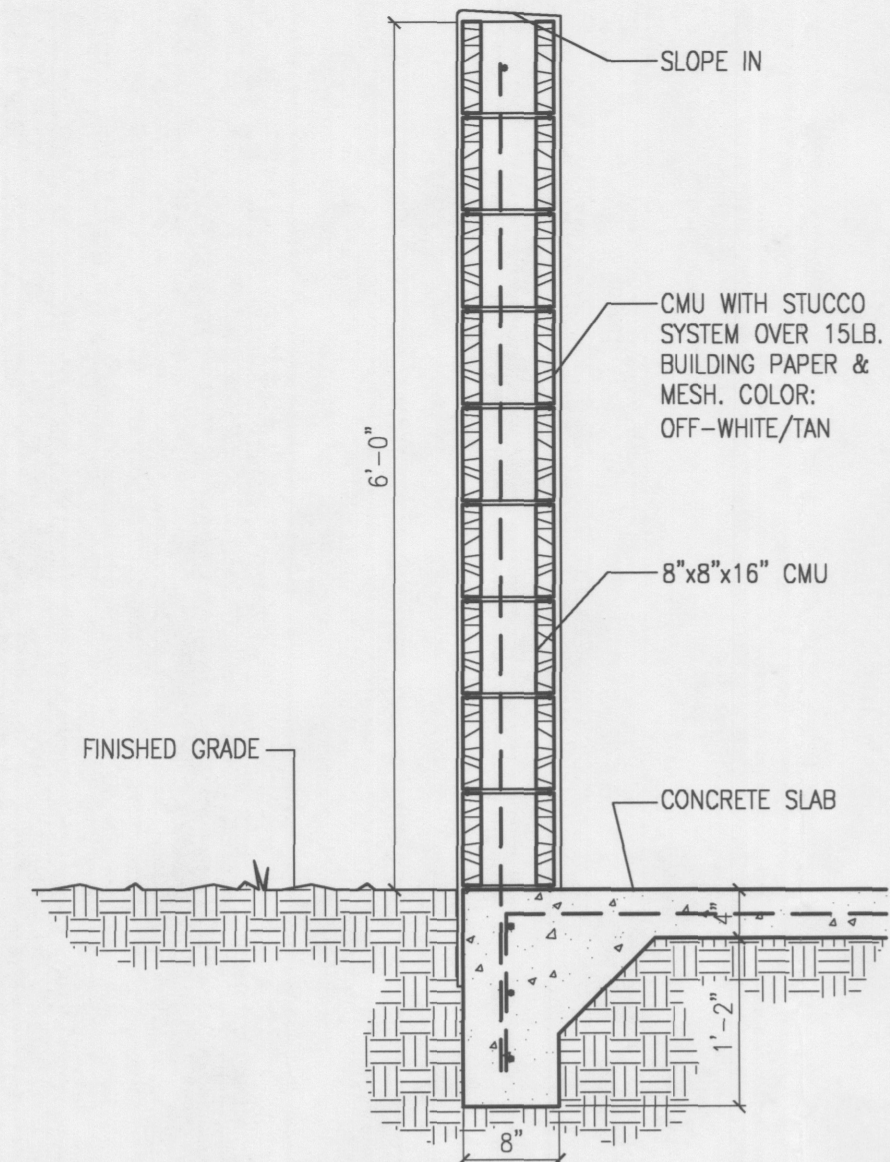
project title
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM
sheet title
Building 2 Exterior Elevations



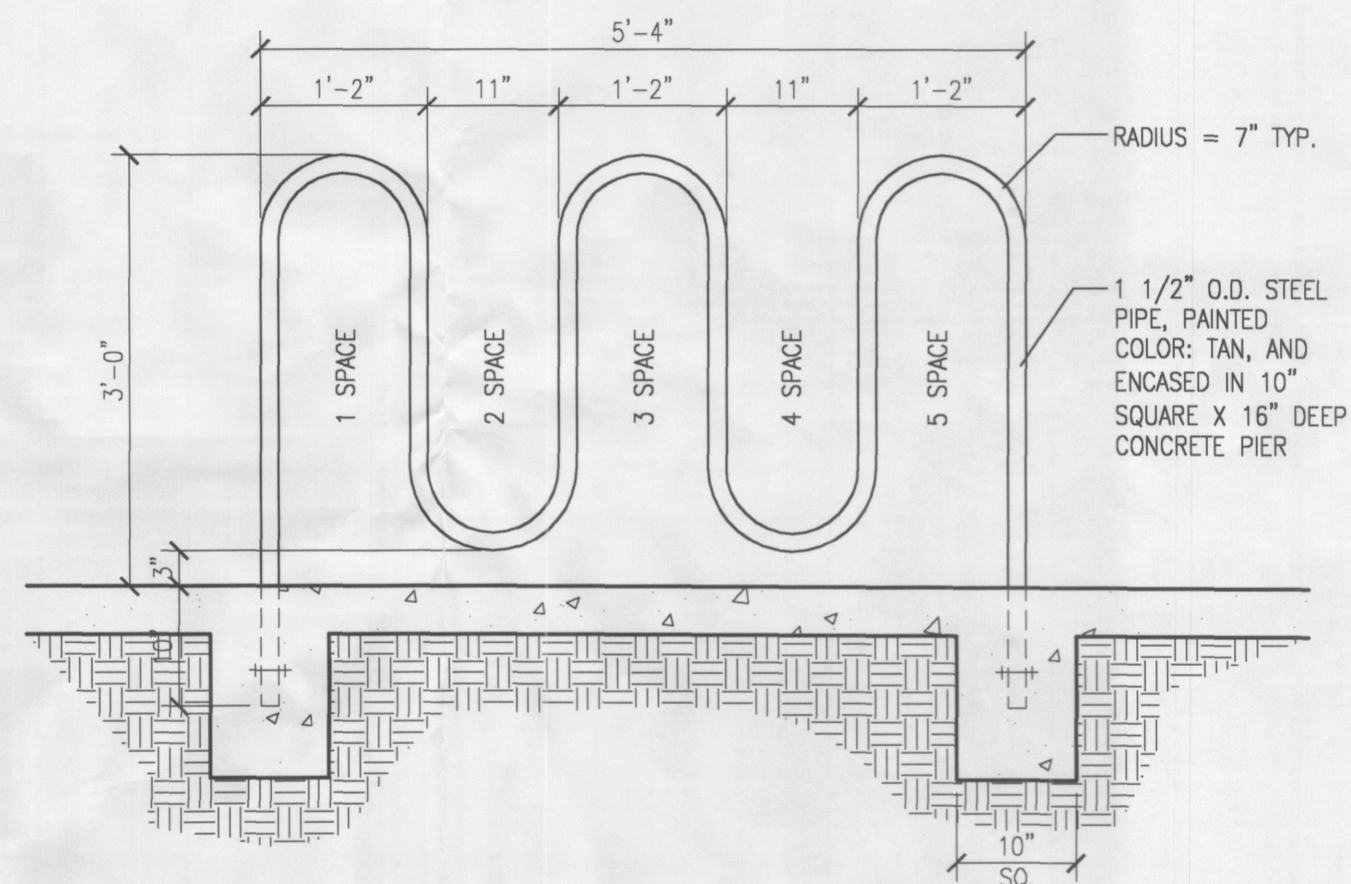
1 Refuse Enclosure Front Elevation
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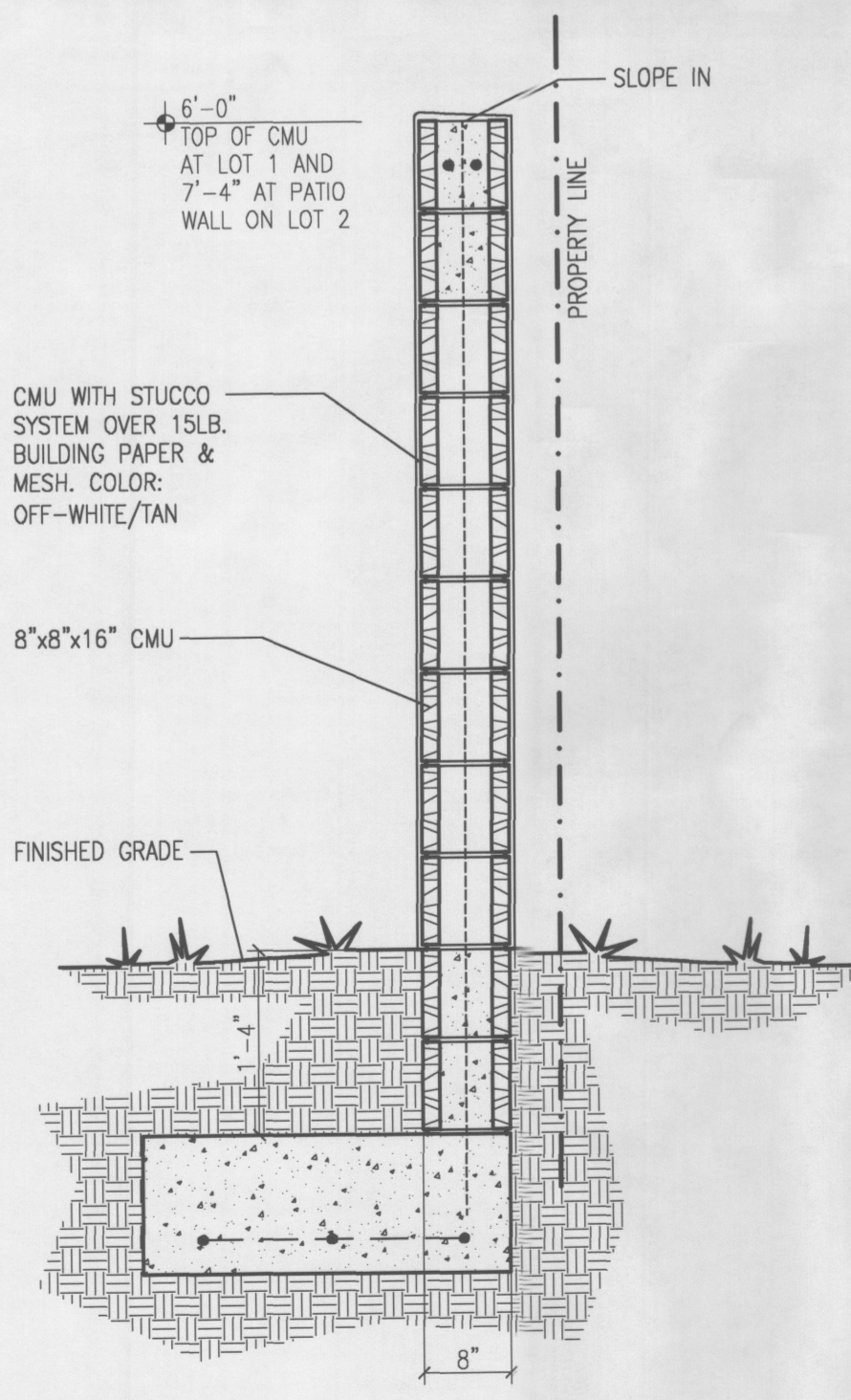
2 Refuse Enclosure Typ. Side Elevation
Scale: 3/8"=1'-0"



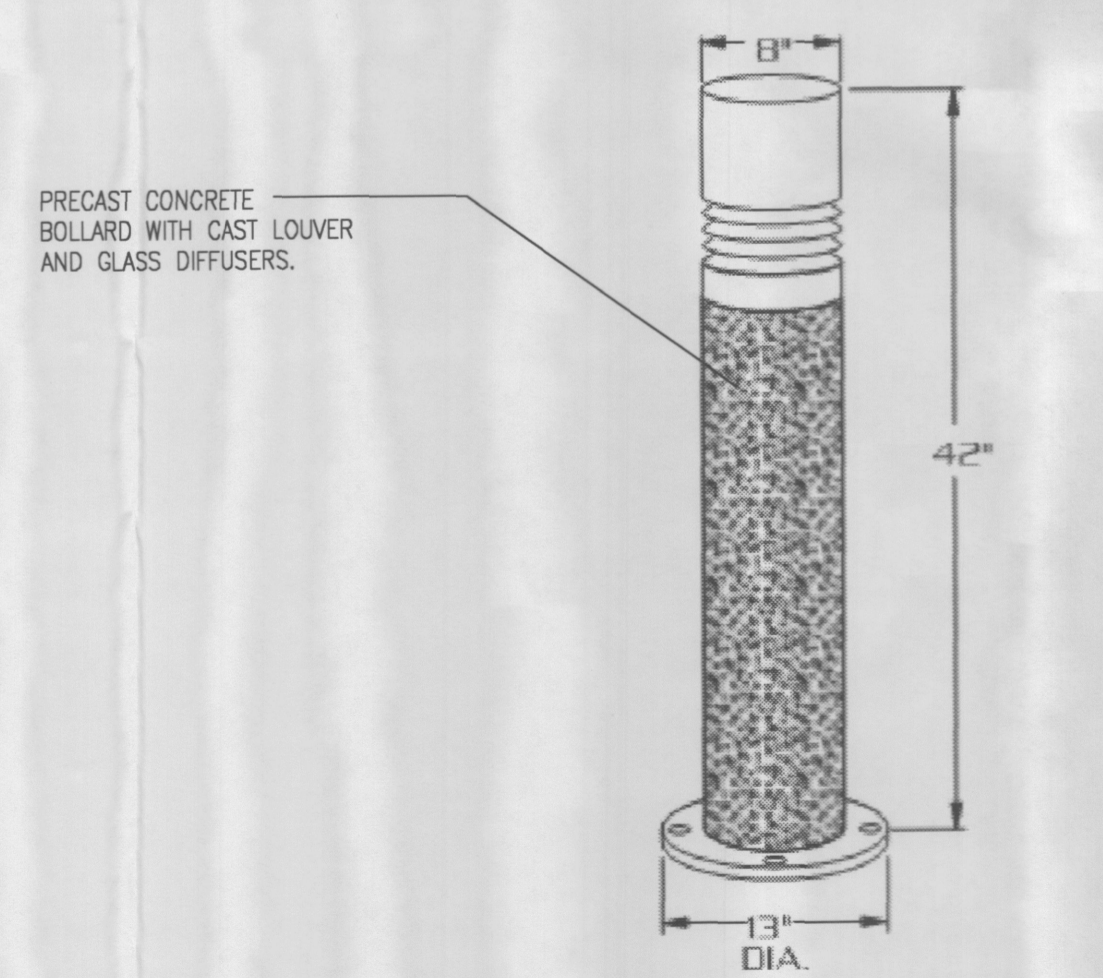
3 Refuse Enclosure Wall Section
Scale: 1"=1'-0"



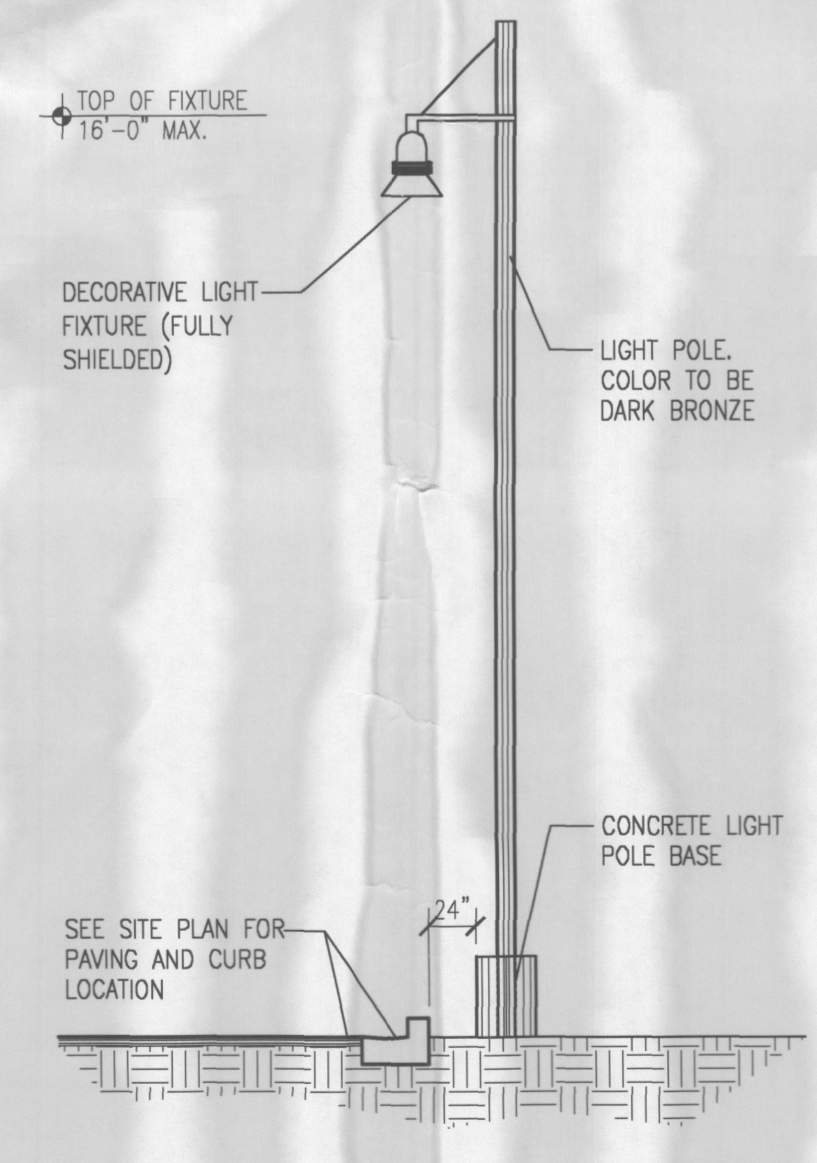
7 Typical Bicycle Rack Detail
Scale: 3/4"=1'-0"



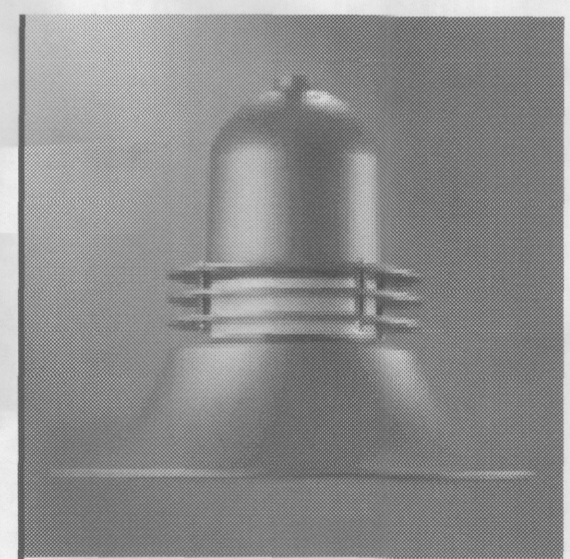
4 CMU Screen Wall Section
Scale: 3/4"=1'-0"



5 Light Bollard Detail
Scale: Not to Scale



6 Site Lighting Elevation
Scale: Not to Scale



8 Bench Detail - 6' Long (min.)
Scale: Not to Scale

SECTION 14-16-3-18 (C)(3) - FACADES GREATER THAN 100 FEET IN LENGTH:
1 SEAT PER 25 LINEAR FEET OF BUILDING FACADE.

BUILDING 1
134'-0" OF BUILDING FACADE / 25 = 5 SEATS REQUIRED
(EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.)

BUILDING 2 AND 3
NOT APPLICABLE

TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED
(SEE SHEET 1 OF 7)

revision		
by	rws	JDH
date	11/2/10	9/27/10
rev	A	A
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	A	A

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project manager	JDH
date	8/26/10

project title
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM

sheet title
Site Details



LEGAL DESCRIPTION:

A TRACT OF LAND BEING IDENTIFIED AS LOTS 1-6 OF THE COUNTRY CLUB PLAZA. BEING A RE-PLAT OF REMAINING PORTION OF TRACT B AMENDED HUNING CASTLE ADDITION, TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN, M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38, SITUATED WITHIN PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING KNOWN AS THE TRUE POINT OF BEGINNING AND BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVENUE S.W., WHENCE FOR TIE TO THE ACS MONUMENT "17-J14" BEARS N84°04'24"E A DISTANCE OF 3,056.25 FEET DISTANCE; THENCE, S52°58'00"W A DISTANCE OF 146.34 FEET LEAVING SAID RIGHT OF WAY TO A POINT; THENCE, N35°37'00"W A DISTANCE OF 39.25 FEET TO A POINT; THENCE, S34°30'35"W A DISTANCE OF 116.97 FEET TO A POINT; THENCE, S54°21'36"W A DISTANCE OF 49.48 FEET TO A POINT; THENCE, S35°37'00"E A DISTANCE OF 25.75 FEET DISTANCE TO A POINT; THENCE, N80°37'00"W A DISTANCE OF 13.76 FEET DISTANCE TO A POINT; THENCE, S54°23'08"W A DISTANCE OF 50.18 FEET TO A POINT; THENCE, N35°37'33"W A DISTANCE OF 153.99 FEET TO A POINT; THENCE, S34°51'30"W A DISTANCE OF 46.40 FEET TO A POINT; THENCE, N48°09'59"W A DISTANCE OF 192.68 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N39°56'42"E A DISTANCE OF 401.33 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVE SW; THENCE, S50°04'08"E A DISTANCE 132.95 FEET DISTANCE TO A POINT OF CURVATURE; THENCE, 192.35 FEET DISTANCE ALONG THE ARC OF CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 841.50 FEET AND A LONG CHORD OF S43°47'54"E A DISTANCE OF 191.94 FEET) TO A POINT OF TANGENCY; THENCE, S37°02'00"E A DISTANCE OF 87.76 FEET TO A POINT AND TRUE PLACE OF BEGINNING. SAID TRACT CONTAINING 3.2427 ACRES (141253.5 SQUARE FEET) MORE OR LESS.

PLAT OF LOTS 1-5 COUNTRY CLUB PLAZA

BEING A REPLAT OF REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38 SITUATED WITHIN PROJECTED SECTION 18, T 10 N, R 3E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO OCTOBER 2013

DOC# 2014024805 03/28/2014 11:55 AM Page 1 of 2

PROJECT NUMBER: 1004677

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE FIVE (5) LOTS FROM FIVE (5) EXISTING TRACTS. GRANT ADDITIONAL PRIVATE ACCESS, DRAINAGE, PUBLIC WATER, PUBLIC SANITARY AND PUBLIC UTILITY EASEMENTS.

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SUBDIVISION DATA:

DRE# ZONE ATLAS INDEX NO. J-13-Z DATE OF FIELD SURVEY: JANUARY 2013 TOTAL NO. OF LOTS EXISTING: 5 TOTAL NO. OF LOTS CREATED: 5 TOTAL MILEAGE OF PUBLIC STREETS CREATED: NONE GROSS SUBDIVISION ACREAGE: 3.2427 ACRES

NOTES:

- 1. FIELD SURVEY PERFORMED IN JANUARY 2013
2. BEARINGS ARE GRID BASED---NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
3. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
4. CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 8911", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
5. BEARINGS AND DISTANCES IN () ARE RECORD
6. ZONE X SHADED, COMMUNITY PANEL NO 35001 CO333H PANEL 333 OF 825 Areas of moderate flood hazard, usually the area between the limits of the 100-year and 500-year floods. Are also used to designate base floodplains of lesser hazards, such as areas protected by levees from 100-year flood, or shallow flooding areas with average depths of less than one foot or drainage areas less than 1 square mile.

DOCUMENTS USED:

- 1. TRACTS A AND B LANDS OF HB HORN AND CALVIN HORN VOL C13, FOLIO 20
2. REMAINING PORTION TRACT B, HUNING CASTLE VOL C12, FOLIO 116
3. TRACT A-1-A, LAGUNA SUBDIVISION VOL C38, FOLIO 34
4. HUNING CASTLE VOL 00 FOLIO 134
5. HUNING CASTLE VOL C2, FOLIO 167
6. LAGUNA SUBDIVISION VOL C20, FOLIO 92
7. HUNING CASTLE, VOL C2 FOLIO 167
8. UNRECORDED SURVEY TITLE "BOUNDARY SURVEY FOR INFILL SOLUTIONS" DATED OCT 2007

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #: TRACTS A AND B LANDS OF H.B. HORN AND CALVIN HORN REMAINING PORTION TRACT B, HUNING CASTLE MRGCD TRACT 129-B-1-A MAP NO 38 MRGCD TRACT 129-A MAP NO 38 TRACT A-1-A, LAGUNA SUBDIVISION

BERNALILLO COUNTY TREASURER OFFICE:

Handwritten signature and date 3/28/14

FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN TRACT OF LAND HEREIN DESCRIBED, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DO HEREBY GRANT EASEMENTS AS SHOWN HEREON AND HEREBY VACATE ALL EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: Jay T Rombe (Member of Country Club Partners LLC)

ACKNOWLEDGMENT

STATE OF New Mexico) 55. COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 5 DAY OF November, 2013, BY Jay T Rombe

NOTARY PUBLIC: Jacques Tokatch MY COMMISSION EXPIRES: 8-27-2015



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.

New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

Century Link for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.

Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

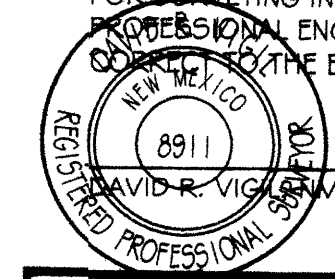
Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Table with columns for City Approval, City Surveyor, Traffic Engineering, Utilities Development, Parks and Recreation, A.M.A.F.C.A., ABCWUA, City Engineer, DRE Chairperson, and Real Property Division. Includes signatures and dates for each department.

Table for Utility Approvals including PNM Electric Services, New Mexico Gas, Century Link, and Comcast. Includes signatures and dates.

SURVEYOR'S CERTIFICATE: I, DAVID R. VIGIL, NEW MEXICO PROFESSIONAL SURVEYOR NO. 8911, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



CONSTRUCTION SURVEY TECHNOLOGIES, INC PO BOX 65395, ALBUQUERQUE, NM 87193, 505-917-8921

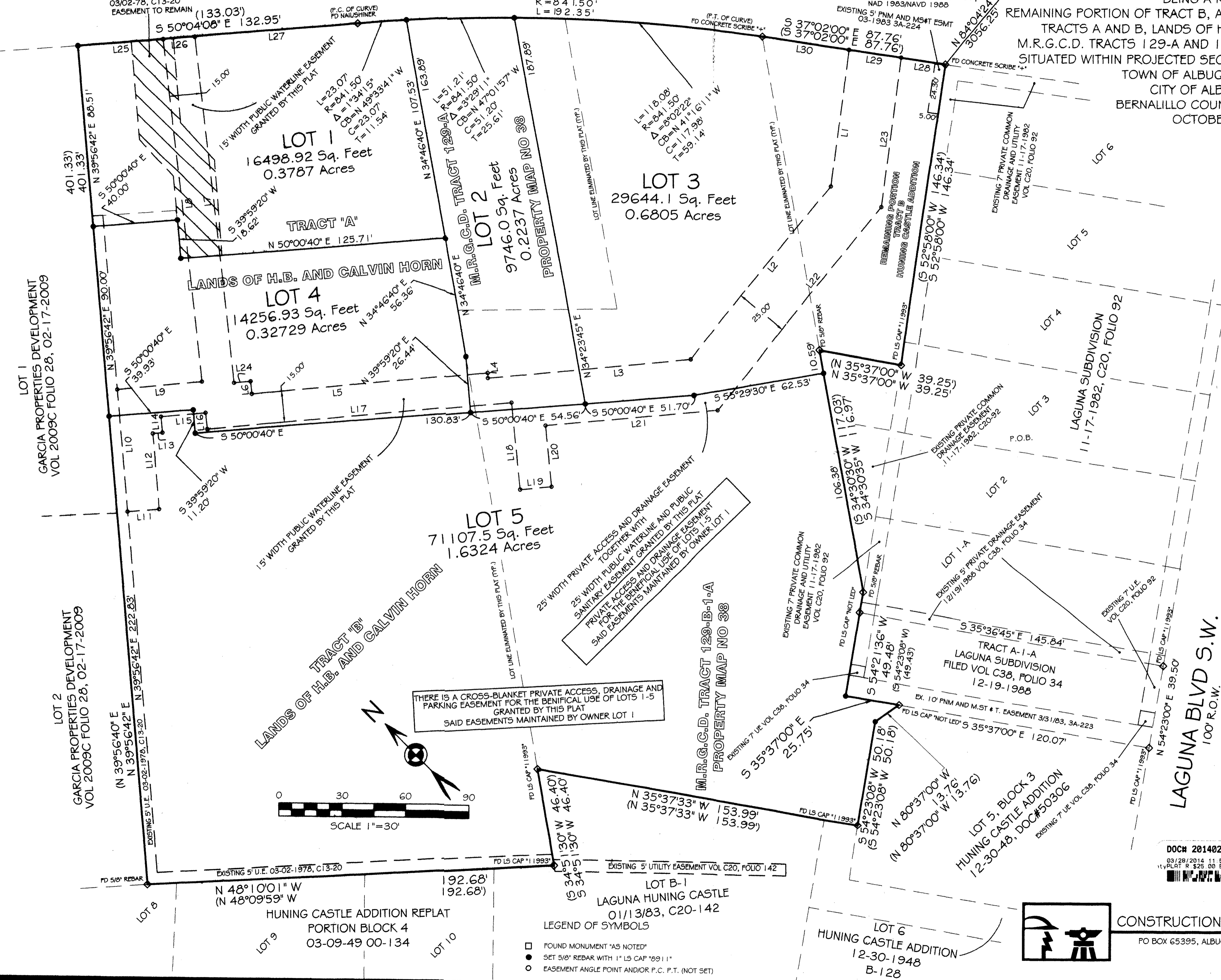
CENTRAL AVE SW

100' R.O.W.

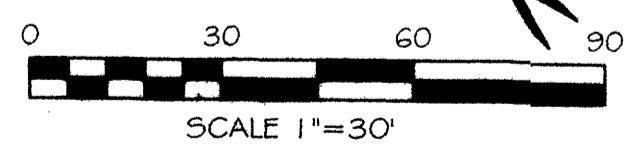
T = 96.60'
C = 191.94'
B = 543°47'54" E
D = 13°05'49"
R = 84.150'
L = 192.35'

PLAT OF
LOTS 1-5
COUNTRY CLUB PLAZA
BEING A REPLAT OF
REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION
TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN
M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38
SITUATED WITHIN PROJECTED SECTION 18, T 10 N, R 3E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2013

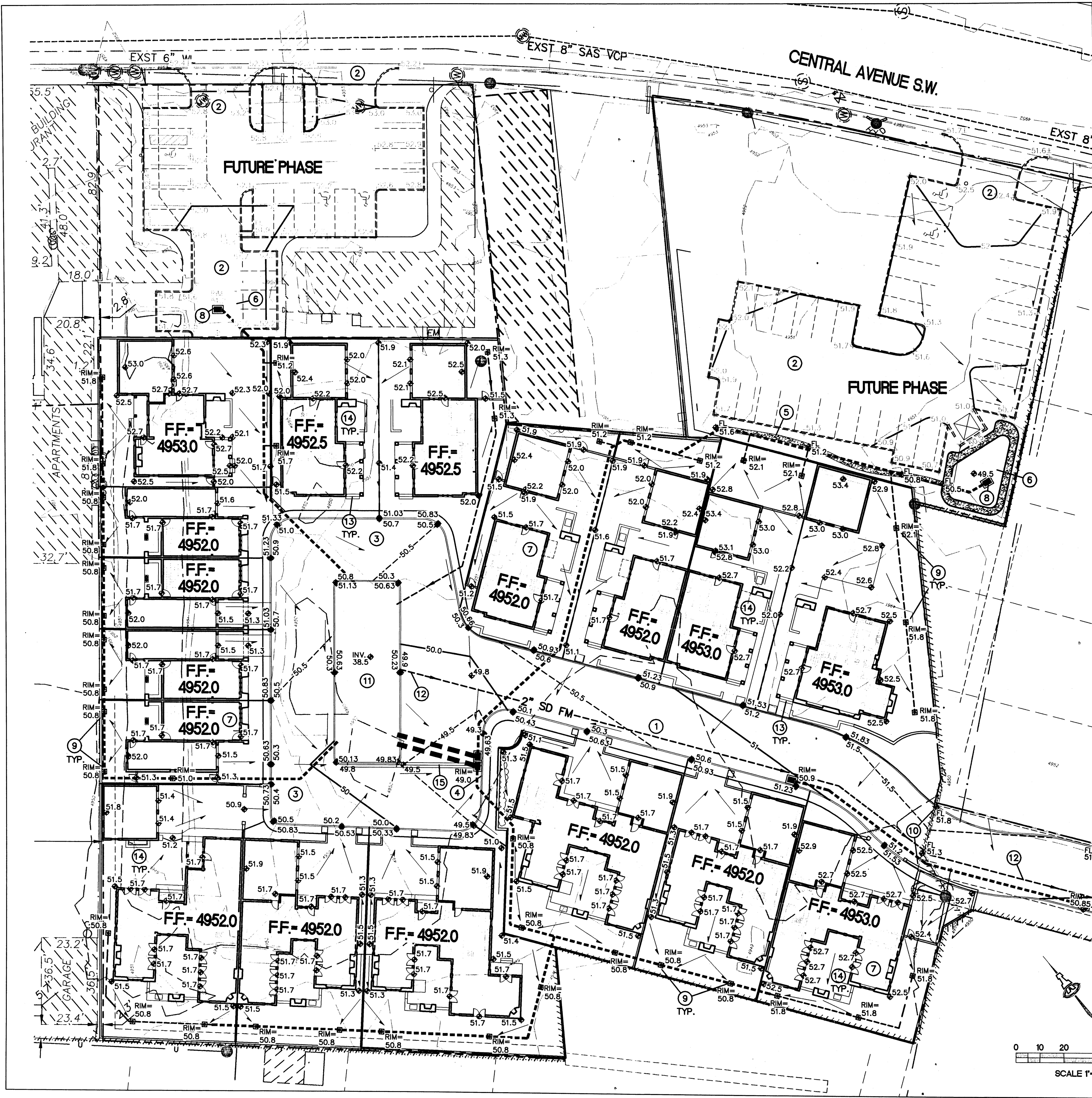
EASEMENT LINE TABLE		
Line #	Length	Direction
L1	67.18	N52°00'19"E
L2	106.30	N83°30'01"E
L3	96.56	S50°47'23"E
L4	2.50	N39°12'37"E
L5	112.16	S50°47'23"E
L6	6.02	N39°12'37"E
L7	167.10	N38°20'07"E
L8	165.36	N38°20'07"E
L9	40.22	N50°47'23"W
L10	59.13	S39°56'47"W
L11	15.00	N50°03'13"W
L12	36.73	N39°56'47"E
L13	4.61	S50°47'23"E
L14	7.58	N39°12'37"E
L15	21.13	N50°47'23"W
L16	7.98	N38°20'07"E
L17	144.69	N50°46'56"W
L18	42.50	N39°12'37"E
L19	15.00	S50°47'23"E
L20	30.00	N39°12'37"E
L21	82.09	S50°47'23"E
L22	123.89	N83°30'01"E
L23	73.81	N52°00'19"E
L24	7.85	S50°47'23"E
L25	40.57	S49°50'40"E
L26	15.01	S49°50'44"E
L27	77.38	S50°13'47"E
L28	21.22	N37°02'00"W
L29	25.00	N37°02'00"W
L30	41.54	N37°02'00"W



THERE IS A CROSS-BLANKET PRIVATE ACCESS, DRAINAGE AND PARKING EASEMENT FOR THE BENEFICIAL USE OF LOTS 1-5 GRANTED BY THIS PLAT SAID EASEMENTS MAINTAINED BY OWNER LOT 1



DOCH 2014024805
03/28/2014 11:55 AM Page: 2 of 2
PLAT R \$25.00 B: 2014C P: 0023 M: Toulous Olivere, Bernalillo Cou.
CONSTRUCTION SURVEY TECHNOLOGIES, INC
PO BOX 65395, ALBUQUERQUE, NM 87193, 505-917-8921



GENERAL NOTES

- A. COORDINATE WORK WITH SITE, DEMOLITION, UTILITY AND LANDSCAPE PLANS.
- B. CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- C. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESS.

PROJECT INFORMATION

PROPERTY: THE PROPERTY IS LOCATED ON THE SOUTH SIDE OF CENTRAL AVE. WEST OF LAGUNA BLVD. THE PROPERTY CONSISTS OF FIVE LOTS WHICH HAVE NO DEFINED OUTFALL FOR DEVELOPED FLOW. EXISTING LOW AREAS PROVIDE ON-SITE PONDING WITH EXCESS FLOW DISCHARGING TO CENTRAL AVE. NO OFF-SITE FLOW ENTERS THE PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SEVENTEEN RESIDENTIAL PROPERTIES WITH ASSOCIATED ASPHALT PAVED PRIVATE ACCESS AND LANDSCAPING.

LEGAL: REMAINING PORTION OF TRACT 'B' HUNING CASTLE ADDITION, TRACT A-1-A, LAGUNA SUBDIVISION, TRACTS 'A' AND 'B', LANDS OF H.B. HORN AND CALVIN HORN, M.R.G.C.D. TRACT '129-B-1-A', PROPERTY MAP 38, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK: ACS ALUMINUM CAP STAMPED "13-J13 1987" SET FLUSH WITH THE CURB NEAR THE INTERSECTION OF CENTRAL AVE., SAN PASQUALE AVE. AND LOMAS BLVD. ELEVATION = 4956.09 FEET (NAVD 88)

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #333, THE SITE IS LOCATED WITHIN FLOOD AREA 'X' DESIGNATED AS AREAS OF 500-YEAR FLOOD. AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

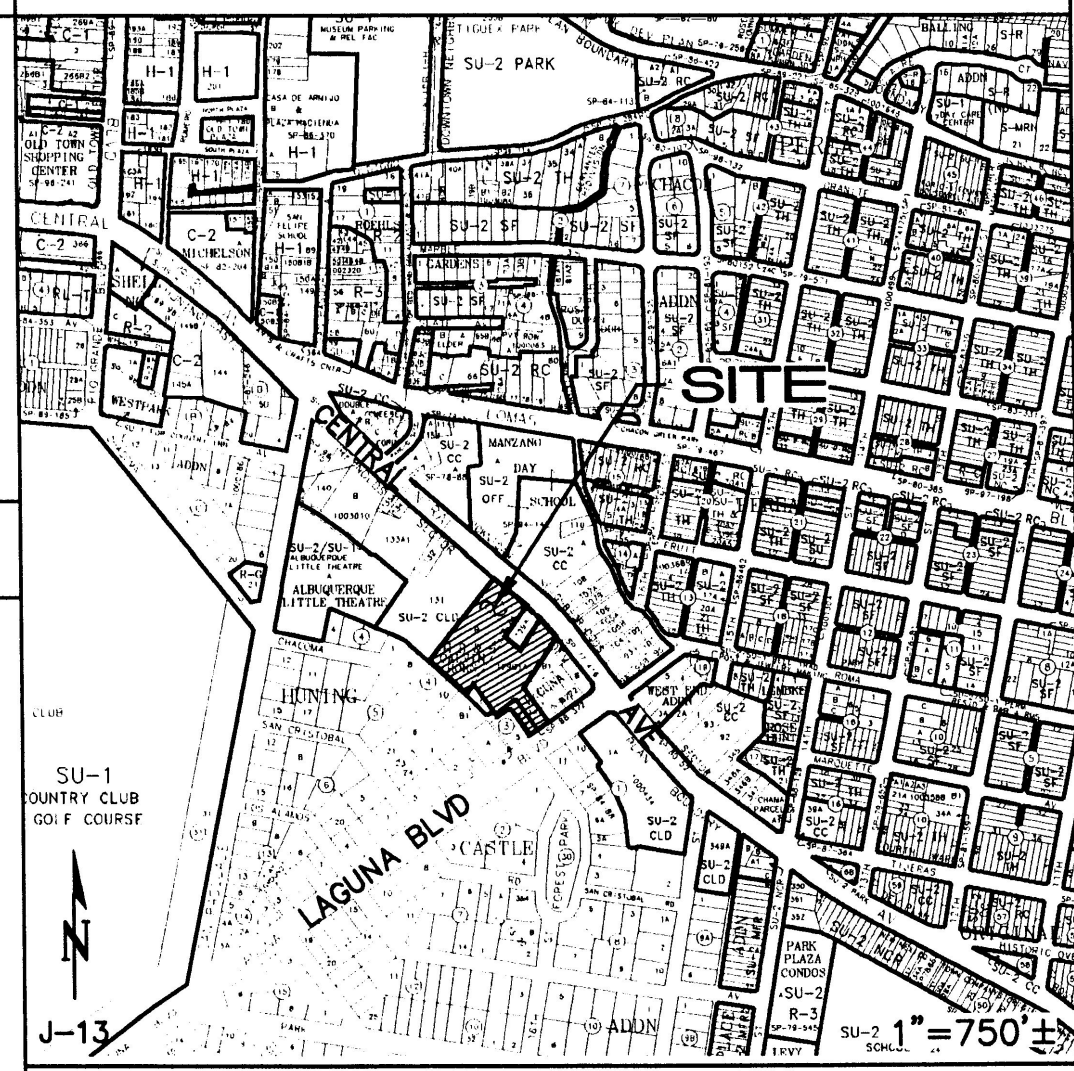
EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES.

DRAINAGE PLAN CONCEPT: ALL DRAINAGE WILL BE COLLECTED WITHIN AN INTERNAL STORM DRAIN SYSTEM AND DISCHARGED TO A PROPOSED UNDERGROUND DETENTION CHAMBER LOCATED IN THE CENTER OF THE SITE. A DUPLEX PUMP SYSTEM WILL BE DESIGNED TO PUMP THIS BASIN TO LAGUNA BLVD. WITHIN A 24 HOUR PERIOD.

LEGEND

- EXISTING CONTOUR
- 53— PROPOSED CONTOUR
- -52.5 - - PROPOSED CONTOUR (0.5' INCREMENT)
- ◆78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- F.F. = 4952.5 FINISH FLOOR ELEVATION
- ▣ AREA DRAIN
- RIM=52.5 GRATE RIM ELEVATION
- INV=50.0 INVERT ELEVATION
- 6" DRAIN LINE WITH SIZE

VICINITY MAP J-13



KEYED NOTES

- 1. NEW 'COUNTRY CLUB PLAZA LANE' ROADWAY, CURB AND GUTTER AND SIDEWALKS SHOWN FOR GENERAL INFORMATION ONLY - SEE WORK ORDER DOCUMENTS FOR CONSTRUCTION INFORMATION.
- 2. NEW ACCESS DRIVES FROM CENTRAL AVE. AND PAVED PARKING LOTS TO BE CONSTRUCTED AS A FUTURE PHASE. PHASE 1 TO INCLUDE ROUGH GRADING OF SITE AND INSTALLATION OF STORM DRAIN SYSTEM, COBBLE SWALE AND DESILTATION POND(S) AS SHOWN.
- 3. CONSTRUCT ASPHALT PAVED LOOP TO ELEVATIONS SHOWN WITH ROLL CURB (TYPICAL UNLESS NOTED) AND WALK AS SHOWN. SEE ARCHITECTURAL FOR DIMENSIONS AND DETAILS.
- 4. CONSTRUCT STANDARD CURB AND GUTTER (C.O.A. STD. DWG. 2415) FULL LENGTH OF LINEAR SEGMENT THIS AREA. TRANSITION TO TYPICAL ROLL CURB ALONG CURB RETURN EACH SIDE. CONSTRUCT DOUBLE 'C' INLET CENTERED ON LINEAR SEGMENT. SEE SHEET C002.
- 5. CONSTRUCT COBBLE SWALE. SEE DETAIL SHEET C002.
- 6. CONSTRUCT TEMPORARY 15'X20'X12" DEEP DESILTATION POND.
- 7. EACH TOWNHOME UNIT WILL DISCHARGE ROOF FLOW TO PERIMETER. PROVIDE PRECAST CONCRETE SPLASHBLOCK AT ALL LOCATIONS WHICH WILL RECEIVE CONCENTRATED ROOF DISCHARGE. GRADE AWAY FROM BUILDING AT 2% MIN. FOR FIRST 5' TYPICAL.
- 8. CONSTRUCT STORM DRAIN INLET AT RIM AND INVERT ELEVATIONS SHOWN. PROVIDE EROSION PROTECTION PER SWPPP TO BE INSTALLED (TO BE LEFT IN PLACE FOLLOWING COMPLETE OF PHASE 1).
- 9. INSTALL AREA DRAINS AT RIM AND INVERT ELEVATIONS SHOWN. GRADE REAR AND SIDEYARD LANDSCAPING TO DIRECT DISCHARGE (MIN. 1% SLOPE) TO INLETS. SEE SHEET C002 FOR DETAILS. TYPICAL EACH LOT.
- 10. HIGH POINT THIS AREA.
- 11. CONSTRUCT UNDERGROUND STORMWATER DETENTION CHAMBER PER STRUCTURAL DETAILS PROVIDED SEPARATELY. SEE CALCULATIONS FOR SIZING INFORMATION.
- 12. INSTALL PUMP SYSTEM (DETAILS PROVIDED SEPARATELY) AND 2" STORM DRAIN FORCE MAIN TO DRAIN POND TO EXISTING LAGUNA BLVD. STORM DRAIN SYSTEM.
- 13. SEE ARCHITECTURAL FOR STEP DETAILS TO TRANSITION TO ADJACENT GRADES. TYPICAL.
- 14. SLOPE TOWNHOME WALKS, PATIOS, ETC. TO DRAIN AT 1% SLOPE (MINIMUM). OUTDOOR STRUCTURES CONSTRUCTED WITHIN DRAINAGE FLOWPATHS WILL REQUIRE OPENINGS (4" DIA. AT 6' O.C.) AT FLOWLINE TO PASS FLOW. TYPICAL.
- 15. CONSTRUCT 2" WIDE ALLEY GUTTER PER C.O.A. STD. DWG. 2415 AT ELEVATIONS SHOWN.
- 16. CONSTRUCT SINGLE 'D' INLETS WITH EQUALIZER PIPE BETWEEN. PROVIDE 6" DISCHARGE TO NEW LAGUNA BLVD. STORM DRAIN MANHOLE. SEE SHEET C002.

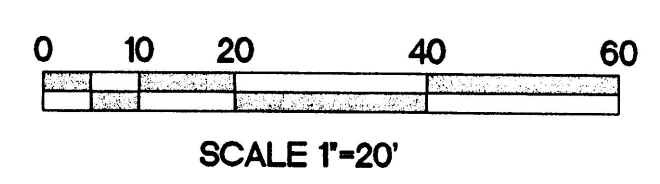
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1462GRD.dwg Nov 02,2007

COUNTRY CLUB PLAZA
INFILL SOLUTIONS, LLC.

GRADING AND DRAINAGE PLAN

Date:	No.:	Revised:	Date:	Job No.:
NOV '07				1462
Drawn By:				COO1
Clk By:				SH. OF

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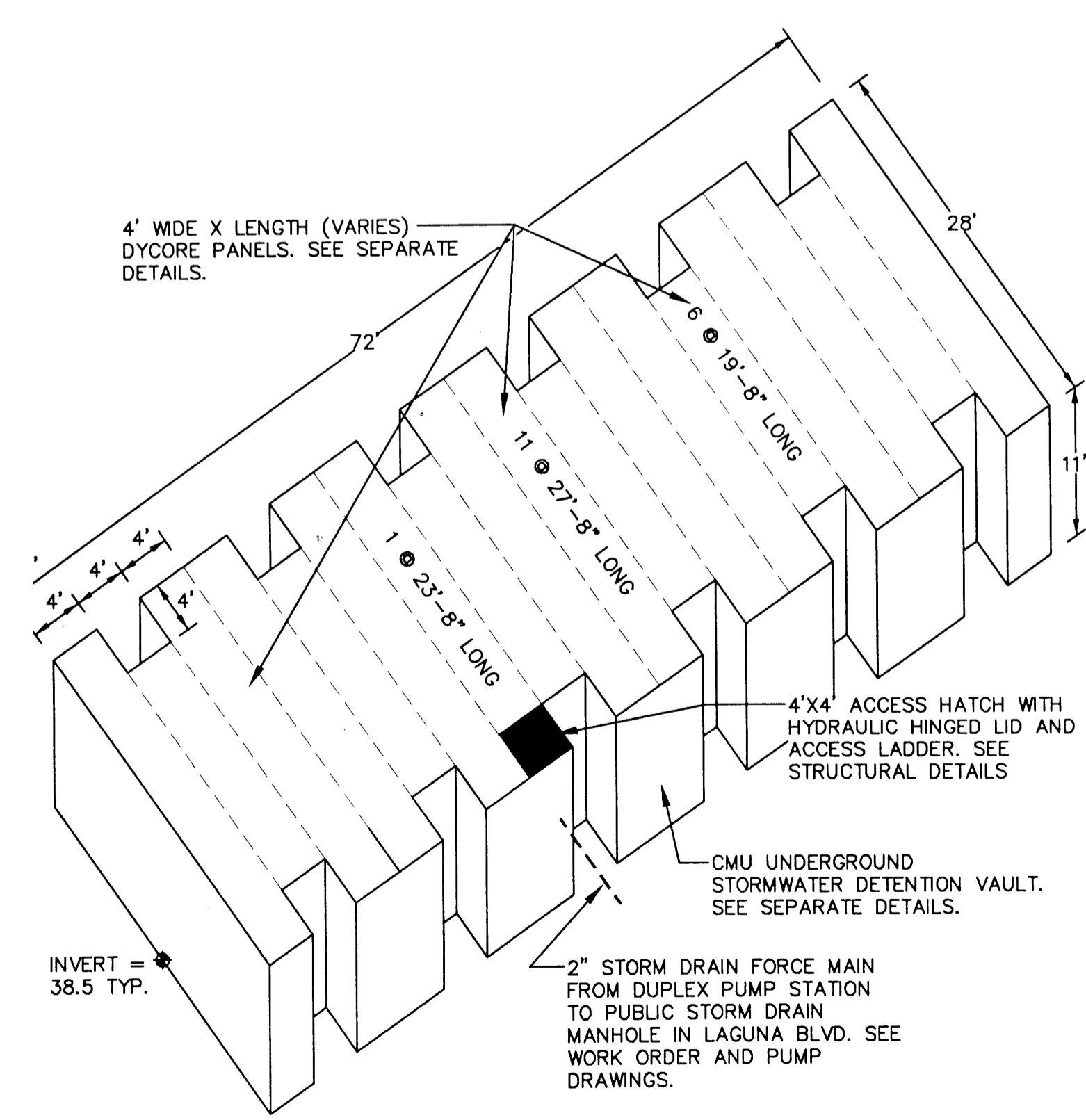
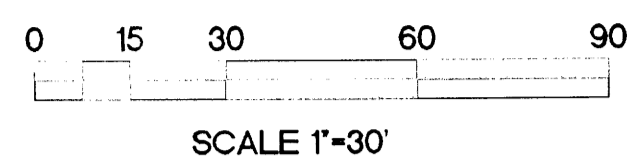
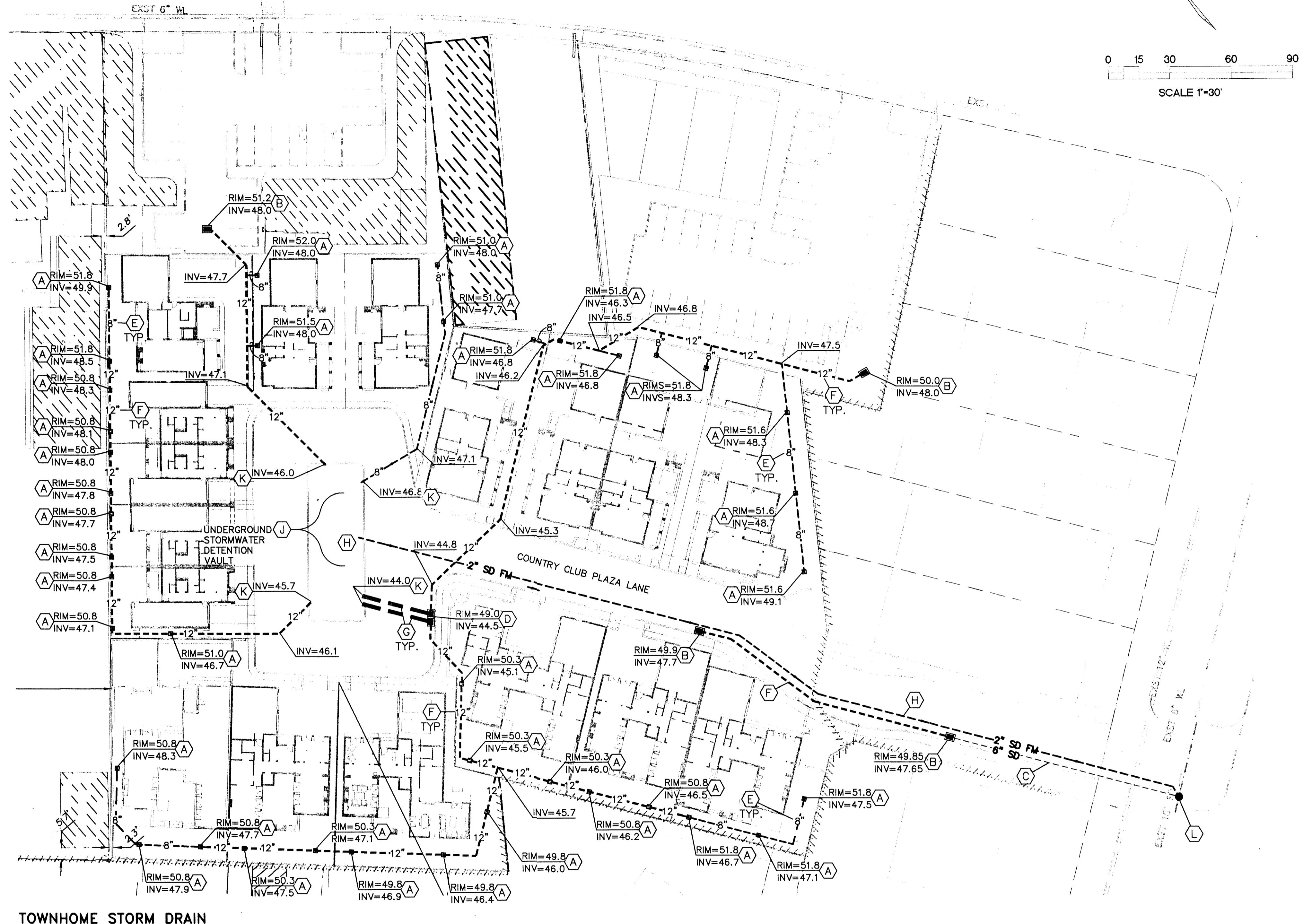


GENERAL NOTES

- A. INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S REQUIREMENTS.
- B. ALL NEW STORM DRAIN LINE IS TO BE INSTALLED AT RIM / INVERT ELEVATIONS SHOWN. MINIMUM SLOPE = 1.0% AS SHOWN.
- C. ALL STORM DRAIN TO BE A.D.S. N-12WT (WATERTIGHT) PIPE OR APPROVED EQUAL.
- D. ALL COBBLE EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED RIP-RAP.

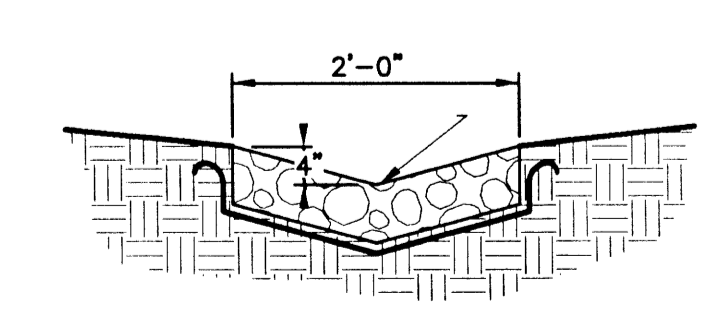
KEYED NOTES

- (A) INSTALL 12" DIA. ADS NYLOPLAST INLINE DRAIN (PART #2712AG) WITH 6" ADAPTER AND 12" DIA. DOME GRATE (PART #1299CGD).
- (B) CONSTRUCT SINGLE 'D' INLET PER C.O.A. STD. DWG. 2206.
- (C) ALL 6" STORM DRAIN, INSTALL 6" DIA. ADS N12WT WATERTIGHT STORM DRAIN AT INVERT ELEVATIONS SHOWN. SLOPE = 1% MINIMUM.
- (D) CONSTRUCT DOUBLE 'C' INLET PER C.O.A. STD. DWG. 2205.
- (E) ALL 8" STORM DRAIN, INSTALL 8" DIA. ADS N12WT WATERTIGHT STORM DRAIN AT INVERT ELEVATIONS SHOWN. SLOPE = 1% MINIMUM.
- (F) ALL 12" STORM DRAIN, INSTALL 12" DIA. ADS N12WT WATERTIGHT STORM DRAIN AT INVERT ELEVATIONS SHOWN. SLOPE = 1% MINIMUM.
- (G) ALL 24" STORM DRAIN, INSTALL 24" DIA. ADS N12WT WATERTIGHT STORM DRAIN AT INVERT ELEVATIONS SHOWN. SLOPE = 1% MINIMUM.
- (H) INSTALL 2" FORCELINE FROM PUMPING SYSTEM TO EXISTING PUBLIC STORM DRAIN MANHOLE IN LAGUNA BLVD. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- (J) CONSTRUCT UNDERGROUND STORMWATER DETENTION CHAMBER. SEE SEPARATE DETAILS.
- (K) EXTEND STORM DRAIN LINE INTO UNDERGROUND STORMWATER DETENTION VAULT. SEE SEPARATE DETAILS.
- (L) EXISTING PUBLIC STORM DRAIN WITHIN LAGUNA BLVD. NO AS-BUILT INFORMATION AVAILABLE. EXISTING STORM DRAIN MANHOLES SEALED WITH ASPHALT. CONTRACTOR TO FIELD LOCATE / DETERMINE INVERT OF EXISTING STORM DRAIN THIS AREA. CONSTRUCT 4" DIA. STORM MANHOLE PER C.O.A. STD. DWG. 2101. EXTEND PROPOSED 2" FORCE MAIN AND 6" COUNTRY CLUB PLAZA STORM DRAIN USING WATERTIGHT FITTINGS. CONTRACTOR TO PROVIDE ENGINEER WITH EXISTING STORM DRAIN LOCATION AND INVERT (SURVEYED BY CERTIFIED SURVEYOR) TO M.S.L.D. AS PART OF AS-BUILT INFORMATION.



ERGROUND STORMWATER DETENTION CHAMBER - GENERAL INFORMATION

TOWNHOME STORM DRAIN



COBBLE LINED SWALE

- VARY COBBLE SIZE BETWEEN 4" AND 8" DIA. (AVG.=6") TOTAL DEPTH = 12" TYP.
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH COBBLE SWALE PER MANUFACTURER'S RECOMMENDATIONS.

		ISAACSON & ARFMAN, P.A. Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph. 505-268-8828 Fax. 505-268-2632 14620.TLS.dwg Nov 02, 2007	
COUNTRY CLUB PLAZA INFILL SOLUTIONS, LLC.			
DRAINAGE DETAILS			
Date:	No. / Revision:	Date:	Job No.
NOV '07			1462
Drawn By:			C002
BJB			
Chd By:			SH. OF
FCA			