

PROPERTY LINE RADIUS INFORMATION:

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|---------|-------------|---------------|--------------|
| C1 | 22.87' | 841.50' | 1°33'26" | N 49°34'05" W | 22.87' |
| C2 | 51.32' | 841.50' | 3°29'39" | N 47°02'32" W | 51.31' |
| C3 | 192.35' | 841.50' | 13°05'49" | N 43°47'57" W | 191.94' |
| C4 | 118.16' | 841.50' | 8°02'43" | N 41°16'21" W | 118.06' |

SITE DEVELOPMENT PLAN FOR SUBDIVISION
 THE SITE IS APPROXIMATELY 3.37 ACRES AND IS LOCATED ALONG CENTRAL AVENUE BETWEEN LAGUNA BLVD. SW AND SAN PASQUALE AVENUE SW.

PROPOSED LEGAL DESCRIPTION:
 LOTS 1 THRU 5 OF COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LAND AREA:
 3.37 ACRES (146,968 SQ. FT.)

ZONE ATLAS MAP:
 J-13-Z

CURRENT ZONING:
 THE CURRENT ZONING FOR LOTS 1 THRU 5 IS: SU-2 FOR CLD.
 THE CURRENT ZONING FOR TRACT A-1-A PROPERTY IS: R-1

APPLICABLE PLANS:
 HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN,
 CENTRAL AVENUE STREETScape URBAN MASTERPLAN.

PROPOSED DESIGN STANDARDS:
 THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
VEHICULAR ACCESS AND CIRCULATION
 THE MAIN ACCESS POINT INTO THE SITE IS FROM TWO NEW CURB CUTS OFF OF CENTRAL AVENUE. A SECONDARY ACCESS POINT TO THE SITE IS FROM LAGUNA BOULEVARD. BOTH OF THE MAIN ACCESS POINTS ARE FULL ACCESS.

RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.

AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC): REQUIRED PARKING SHALL BE CONSISTENT WITH THE C-1 ZONE PARKING REQUIREMENTS.

PEDESTRIAN ACCESS AND CIRCULATION
 PEDESTRIAN ACCESS IS PROVIDED OFF OF CENTRAL AVENUE SIDEWALKS AND DESIGNATED CROSSWALKS CONNECT THE FRONTS OF ALL BUILDINGS THROUGH THE SITE.

PROPOSED USES
THE PROPOSED USES FOR LOT 1 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.

THE PROPOSED USES FOR LOT 2 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.

THE PROPOSED USES FOR LOT 3 ARE:
 ALL USES PERMITTED IN THE CLD ZONE. THE MAXIMUM TOTAL DWELLING UNITS IS: 25 UNITS

THE PROPOSED USES FOR LOT 4 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.

THE PROPOSED USES FOR LOT 5 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.

THE PROPOSED USES FOR TRACT A-1-A ARE:
 ALL USES PERMITTED IN THE R-1 ZONE.

BUILDING HEIGHT AND SETBACKS
 SEE THE DESIGN STANDARDS AS PART OF THIS SUBMITTAL.

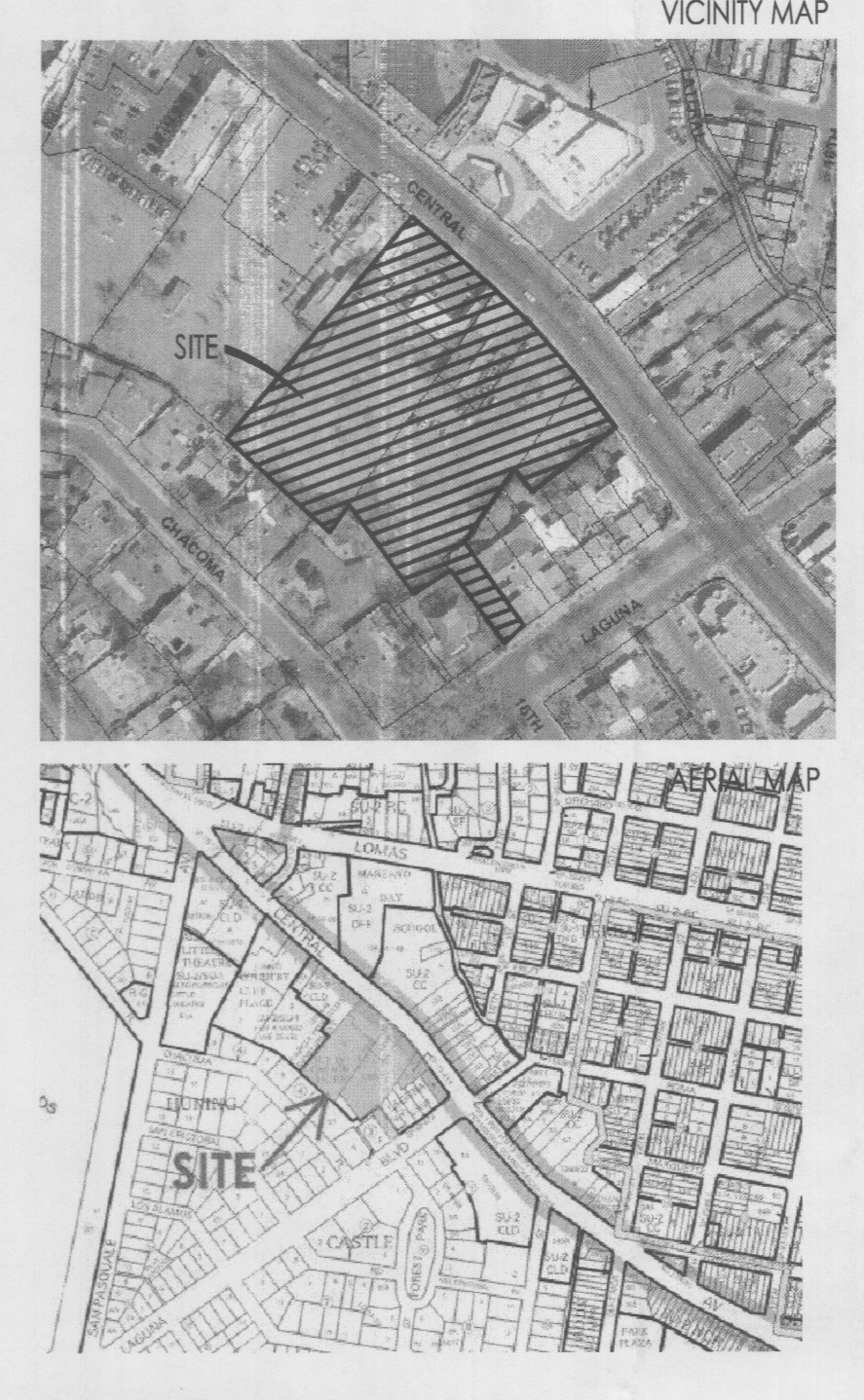
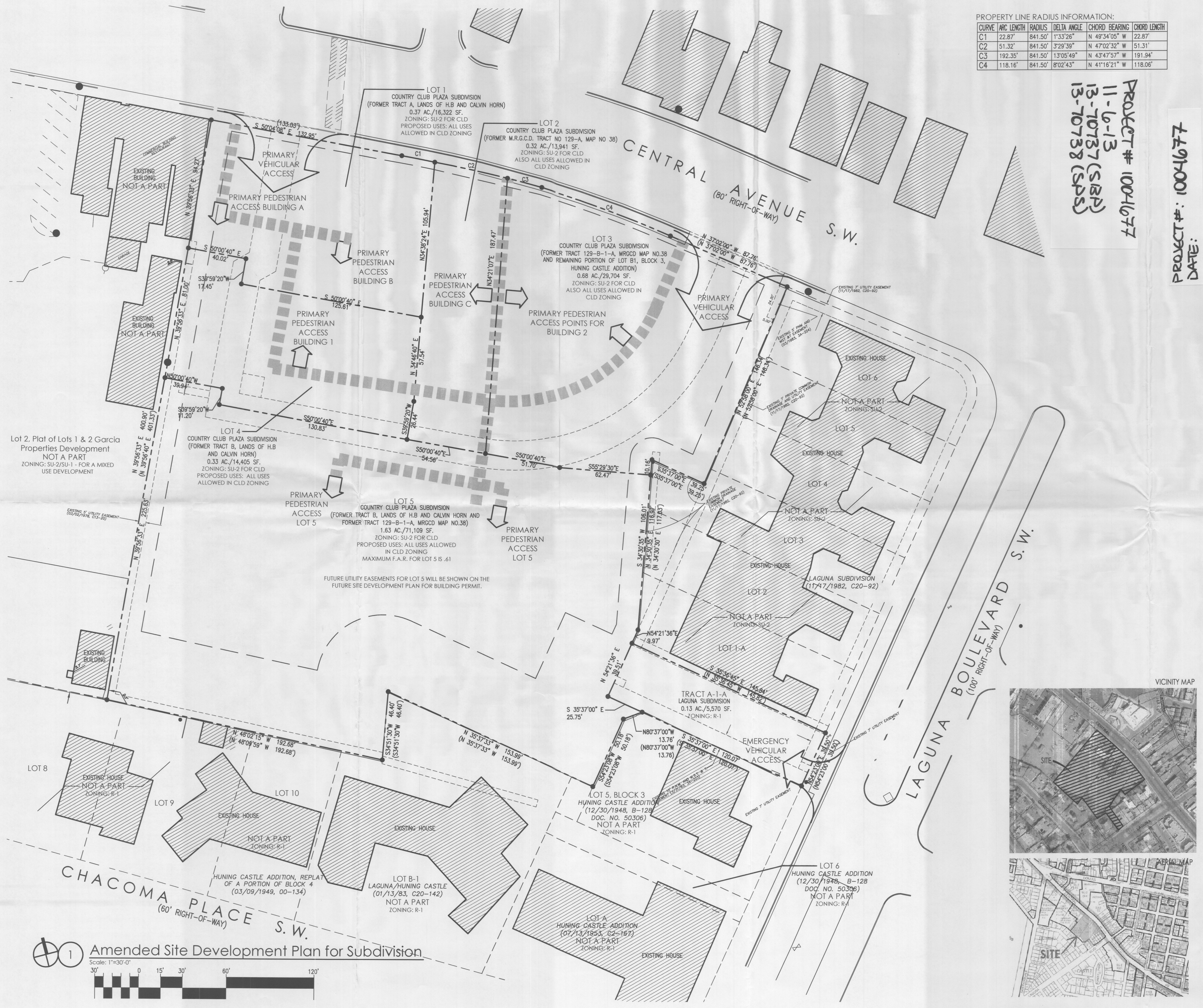
MAXIMUM TOTAL DWELLING UNITS
 A MAXIMUM OF 69 UNITS WILL BE ALLOWED FOR THIS DEVELOPMENT (LOTS 1-5).

FLOOR AREA RATIO
 THE MAXIMUM F.A.R. FOR RESIDENTIAL USES IS .61 AS STATED IN THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN. CONSISTENT WITH THE SECTOR DEVELOPMENT PLAN AND THE PREVIOUS SUBMITTAL, THERE IS NO MAXIMUM F.A.R. FOR COMMERCIAL USES.

LANDSCAPE PLAN
 THE LANDSCAPING FOR THIS SITE IS PART OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND IS SUBJECT TO THE DESIGN STANDARDS.

PROJECT # 1004677
 11-6-13
 13-10737 (S/B/P)
 13-10738 (S/P/S)

PROJECT #: 1004677
 DATE:



PROJECT NUMBER: 1004677 APPLICATION NUMBER: 13EPC-40140

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: October 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---|------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | Date |
| UTILITIES DEVELOPMENT | Date |
| PARKS AND RECREATION DEPARTMENT | Date |
| CITY ENGINEER | Date |
| ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | Date |
| N/A | N/A |
| SOLID WASTE MANAGEMENT | Date |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | Date |

revision
 by
 date
 rev
 Mullen Heller Architecture P.C.
 924 Park Avenue SW Suite B Albuquerque 87102 505 268 4144[p] 505 268 4244 [f]
 job number 12-11
 drawn by S.J. MWS, A.V.
 project manager Doug Heller, AIA.
 date 09/26/2013
 project title Country Club Plaza SW of Central Avenue and Laguna Boulevard Albuquerque, New Mexico 87102
 sheet title Amended Site Dev't Plan for Subdivision
 sheet 1 of 2

Country Club Plaza Design Standards

Central Avenue, SW, Albuquerque, New Mexico

Introduction

The following Design Standards apply to the renovation of the three existing buildings on Lot 1 & 2, and to the future building on Lot 3 of Country Club Plaza development to be built on the 1700 block of Central Avenue S.W. on lands between Laguna Blvd. SW and San Pasquale Avenue SW.

Procedurally, this project shall submit a Site Development Plan for Building Permit which will be reviewed by the City of Albuquerque Planning Department's Development Review Board (DRB). The intent of these Design Standards is to provide guidance for the DRB when reviewing future development.

Additionally, the regulations and standards in the City of Albuquerque Zoning Code, the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan, and the Central Avenue Streetscape Urban Design Master Plan shall apply to all buildings.

Design Theme/Land Use Concept: Project Background

The Country Club Plaza development infills a major hole in its neighborhood with a design theme of a small Route 66 neighborhood center. The project uses the walkable, urban scale of Old Town and is intended that there will be a uniform style throughout the development that relates to the existing context.

The land use concept proposes creation of a vibrant neighborhood center with a full menu of uses: retail, office, and residential. This mix of uses is arranged in a walkable, neighborhood-scaled area of shops, restaurants, offices, and residential uses. The site's proximity to the City's main mass transportation route will encourage ridership and reduce traffic, and the arrangement of building types will help protect residential areas to the south. Parking and vehicular circulation are arranged such that the existing buildings shield parking from the street and flows easily from the front of the site to the rear. Wide walks and landscape frame the parking areas to create a highly connective system of pedestrian circulation within the site and to the surrounding streets.

A. Architectural Character and Architectural Design Elements

The building on Lot 3 of the Country Club Plaza development requires architectural design which respects and creatively blends with the image of the three renovated buildings on the site as well as the new buildings, which is the Route 66-inspired Moderne style and Mediterranean Revival Style. Generic, franchise architecture is prohibited.

The General Building and Site Design Regulations for Non-Residential Uses (14-16-3-18) as found in the City of Albuquerque Comprehensive Zoning Code will apply to all development.

Mediterranean Revival Style

The Mediterranean Revival style are low sloping primary roofs, typically covered by ceramic tiles; though flat roofs may be used. Walls are typically stucco with a thick and solid appearance, and arches in main-floor windows, doors and arcades. Houses inspired by the Mediterranean Revival style will have a generous roof overhangs with closed soffits and supporting brackets. Façade compositions are usually asymmetrical with well-defined projecting forms, enhancing the play of light and shadow. Entry porches are often recessed. Classical details are applied to window and door surrounds, columns, and pediments.

Moderne Style

The Moderne style originates with the earliest and purist modernism, which was then tempered by the stylistic Art Deco movement. The movements focus on the machine age and streamlined design. Many examples are found on Central Ave., or Route 66, which co-opted the style to express American's passion with car travel.

Principal characteristics of the Moderne style include simple massing, stepped massing at lowers and/or parapets, vertical or horizontal flow lines and zigzag patterns, rounded corners or windows, cantilevered awnings and pylons, and flat roofs. Facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details. Entry elements are often the prominent architectural feature on the building.

Massing

A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three walls. Massing for this building shall be well proportioned and consistent with the architectural character of the renovated buildings' style. Particular consideration shall be taken to preserve natural view corridors at the site, as well as terminating major vistas within the site.

Interpretations of the Moderne style include: asymmetry, horizontally proportioned, corner towers (round, square, or octagonal stepped form), and signage incorporated building signage into its massing. Entry elements are often the prominent architectural feature on the building.

Interpretations of the Mediterranean Revival style include: asymmetry, typically multiple stories, well-defined, projecting forms, and recessed entries, balconies, and windows.

Roofs

Main roofs of structures in the Moderne style shall follow these standards: flat roofs with parapets that are simple, stepped or streamlined, and may incorporate stylized building signage into its parapet or roof form.

Mediterranean Revival-inspired roofs use low to moderate hip or gable roofs (5:12 to 9:12), dormers are not generally used and eaves are boxed with closed soffits with exposed rafter extensions.

Windows & Doors

Windows and doors of Moderne structures shall follow these standards: facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings compliment and accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details, and incorporate large expanses of glass, metal window and metal storefront frames, especially at public access. Glass block may be used as accents.

Windows and doors of Mediterranean Revival structures will follow these standards: windows and doors are deeply recessed to give the appearance of thick walls, casement windows are typically used, often with divided lights, but double-hung and awning windows are also possible, round-top arched windows and doors are typically used on lower floors, and all windows and doors are classically detailed.

Shading & Entries

Shading and entries of Moderne structures shall follow these standards: typically have awnings or canopies at openings. One may incorporate a tower or stylized mass of overhand at entries. Balconies may also provide shading.

Shading and entries of Mediterranean Revival structures shall follow these standards: typically do not incorporate front porches, but side and rear covered porches, generally use front doors with embellished surrounds and/or are recessed, and designs will usually incorporate side and rear outdoor rooms and courtyards.

Building Details

Moderne building details shall follow these standards: details may include wall relief moldings, pilasters, articulated bases to walls, and detailed parapets. Other detailing would include the shading devices mentioned above placed at openings and entryways or used to distinguish volume or massing elements. Designs may incorporate stylized elements of signage or lighting into their detailing.

Mediterranean Revival-inspired detailing and ornament shall appear primarily at openings.

Building Materials & Colors

Building materials and colors for buildings on Lots 1 thru 5 of the Country Club Plaza development shall be consistent with the architectural character of the three renovated buildings on the site. Quality materials, architectural features, and craftsmanship shall be employed in the execution of each building. Building material approved, but not limited to, shall include stucco, brick, stone (laid horizontally in load-bearing fashion), concrete, split-faced concrete masonry unit, glass, glass block, ceramic tile, decorative tile, clay tile, wood, colored metal panels, and neon (lighting).

Generous amounts of exposed metals and glass may be incorporated into the wall design, or on awnings, canopies, and towers. Designs may incorporate stylized elements of metal signage or lighting. Colors include cream, off-white, or warm earth-toned saturated color for walls, and saturated colors for accents.

B. Building Density and Height

Building Density

Floor Area Ratio (F.A.R.) is the ratio of the heated gross floor area of structures to the total premises. It is measured from outside surface of outside walls, including multiple stories, in square feet. The maximum F.A.R. for Lots 1 thru 5 and Tract A-1-A is .61 for residential uses, as stated in the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan. Consistent with the Sector Development Plan and the previous submittal, there is no maximum F.A.R. for commercial uses.

Building Heights

Maximum building height for buildings on Lots 1 thru 5 shall be 46', per the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan.

Building Setbacks

Setbacks apply to the exterior edges of the Property (Lots 1-5). The front of lot is at the northern edge facing Central Ave.

Front yard setback: 5'
Sideyard setback: 15' min, except 0' at internal lot lines and on Lot 5 where the setback shall be 50' min, where abutting R-1 zone
Rear yard setback: 0', except on Lot 5 where the setback shall be 50' min, where abutting R-1 zone

C. Landscaping

Landscaping for this development shall comply with the Landscape Regulations (14-16-3-10) in the City of Albuquerque Comprehensive Zoning Code, and the City of Albuquerque requirements in the Water Conservation Landscaping and Water Waste Ordinance, and the Pollen Ordinance. Future landscaping in conjunction with the development of the building on Lot 3 shall be in accordance with the Landscape Plan in the Site Development Plan for Building Permit submittal.

For residential uses Usable Open Space shall be provided as required in the R-2 Residential Zone (14-16-2-11) in the City of Albuquerque Comprehensive Zoning Code.

D. Walls and Fences

Walls and fences shall be compatible with the nearby buildings and architectural themes in terms of color, materials and style. To that end, all perimeter walls shall be concrete masonry unit (CMU) with stucco finish, pier (CMU w/stone or stucco) with wood or metal fence infill, or metal fence. Chain link and/or barbed wire/razor wire are prohibited. Walls and fences shall conform with the City of Albuquerque Comprehensive Zoning Code General Height and Design Regulations for Walls, Fences and Retaining Walls (14-16-3-19).

E. Site Lighting

Site lighting shall conform with the City of Albuquerque Comprehensive Zoning Code Area Lighting Regulations (14-16-3-9).

Lighting design shall compliment the architectural styles, and not overwhelm them. Lighting shall be scaled appropriately to the purpose it is serving - taller heights for more coverage for safety such as parking lots, lower and concentrated for pedestrians. Walkways within the site shall be lit with pole fixtures, bollards, or lighting in the portales, downlighting, sconces, or pendants. Building-mounted lighting shall enhance the architecture of each building, and shall include sconces, shielded accent lights, and arm-mounted lights aimed towards projects' building walls.

Pedestrian scale lighting: 1.) Not higher than 4 feet at key pedestrian gathering areas. 2.) 16 feet maximum along internal streets measured from finished grade to the top of the pole.

Lighting shall be fully shielded and high-pressure sodium lighting and unshielded uplighting shall be prohibited.

Site lighting type, color, and materials shall compliment the character of the project and not contrast or stand out from the designs of the buildings. The lighting design shall enhance both the pedestrian scale and the automobile portions of the site.

F. Signs & Signage

On-premise signage will comply with City of Albuquerque Comprehensive Zoning Code requirements for the C-1 zone as well as the General Sign Regulations (14-16-3-5), with the following exceptions:

- Maximum height shall be 18 feet and maximum sign area shall be 100 square feet.
- Buildings on Lots 1 thru 4 shall be allowed one projecting sign each.
- The area of the total building-mounted signage shall be limited to 9% of the façade to which it is applied.
- There is no limit on the number of building-mounted signs except there shall be no signs facing the proposed residential development on Lot 5.
- All building mounted signage shall be individual illuminated channel letters.

revision

by

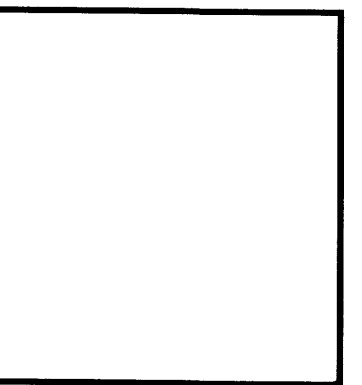
date

rev



Mullen Heller
Architecture P.C.

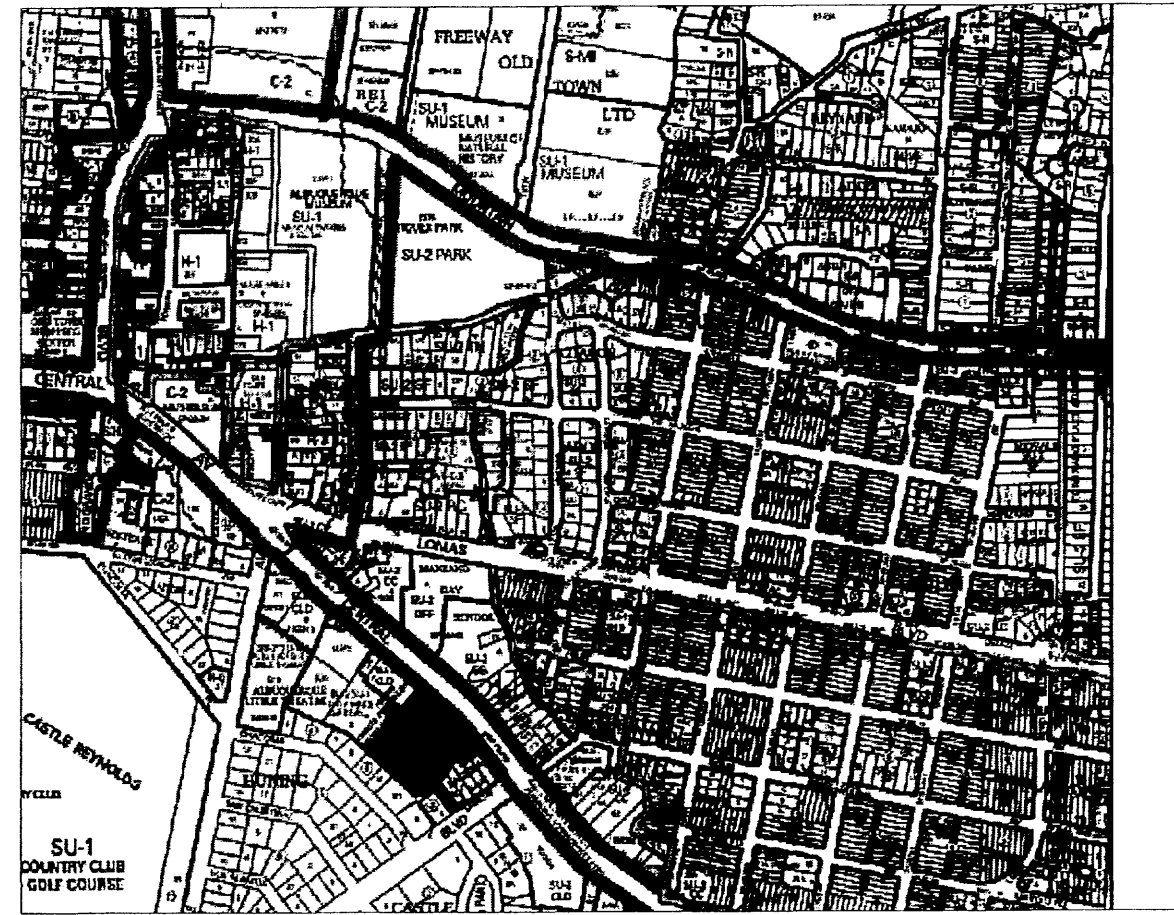
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]



| | |
|-----------------|-------------------|
| job number | 12-11 |
| drawn by | S.J. MWS, A.V. |
| project manager | Doug Heller, AIA. |
| date | 09/26/2013 |

project title
Country Club Plaza
SWC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102

sheet title
Amended Site Dev't Plan for Subdivision Design Standards



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE FIVE (5) LOTS FROM FIVE (5) EXISTING TRACTS. GRANT ADDITIONAL PRIVATE ACCESS, DRAINAGE, PUBLIC WATER, PUBLIC SANITARY AND PUBLIC UTILITY EASEMENTS.

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SUBDIVISION DATA:

DRE# _____
 ZONE ATLAS INDEX NO. J-13-2
 DATE OF FIELD SURVEY: JANUARY 2013
 TOTAL NO. OF LOTS EXISTING: 5
 TOTAL NO. OF LOTS CREATED: 5
 TOTAL MILEAGE OF PUBLIC STREETS CREATED: NONE
 GROSS SUBDIVISION ACREAGE: 3.2427 ACRES

NOTES:

- FIELD SURVEY PERFORMED IN JANUARY 2013
- BEARINGS ARE GRID BASED---NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "P5 891 1", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
- BEARINGS AND DISTANCES IN () ARE RECORD
- ZONE X SHADED, COMMUNITY PANEL NO 35001 C0333H PANEL 333 OF 825
 Areas of moderate flood hazard, usually the area between the limits of the 100-year and 500-year floods. Are also used to designate base floodplains of lesser hazards, such as areas protected by levees from 100-year flood, or shallow flooding areas with average depths of less than one foot or drainage areas less than 1 square mile.

DOCUMENTS USED:

- TRACTS A AND B LANDS OF HB HORN AND CALVIN HORN VOL C13, FOLIO 20
- REMAINING PORTION TRACT B, HUNING CASTLE VOL C12, FOLIO 116
- TRACT A-1-A, LAGUNA SUBDIVISION VOL C38, FOLIO 34
- HUNING CASTLE VOL 00 FOLIO 134
- HUNING CASTLE VOL C2, FOLIO 167
- LAGUNA SUBDIVISION VOL C20, FOLIO 92
- HUNING CASTLE, VOL C2 FOLIO 167
- UNRECORDED SURVEY TITLE "BOUNDARY SURVEY FOR INFILL SOLUTIONS" DATED OCT 2007

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:
 TRACTS A AND B LANDS OF H.B. HORN AND CALVIN HORN
 REMIANING PORTION TRACT H, HUNING CASTLE
 MRGCD TRACT 129-B-1-A MAP NO 38
 MRGCD TRACT 129-A MAP NO 38

BERNALILLO COUNTY TREASURER OFFICE:

LEGAL DESCRIPTION:

A TRACT OF LAND BEING IDENTIFIED AS LOTS 1-6 OF THE COUNTRY CLUB PLAZA. BEING A RE-PLAT OF REMAINING PORTION OF TRACT B AMENDED HUNING CASTLE ADDITION, TRACT A-1-A, LAGUNA SUBDIVISION, TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN, M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38, SITUATED WITHIN PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING KNOW AS THE TRUE POINT OF BEGINNING AND BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVENUE S.W., WHENCE FOR TIE TO THE ACS MONUMENT "17-114" BEARS N84°04'24"E A DISTANCE OF 3,056.25 FEET DISTANCE; THENCE, S52°58'00"W A DISTANCE OF 146.34 FEET LEAVING SAID RIGHT OF WAY TO A POINT; THENCE, N35°37'00"W A DISTANCE OF 39.25 FEET TO A POINT; THENCE, S34°30'35"W A DISTANCE OF 116.97 FEET TO A POINT; THENCE, S54°21'36"W A DISTANCE OF 49.48 FEET TO A POINT; THENCE, S35°37'00"E A DISTANCE OF 25.75 FEET DISTANCE TO A POINT; THENCE, N80°37'00"W A DISTANCE OF 13.76 FEET DISTANCE TO A POINT; THENCE, S54°23'08"W A DISTANCE OF 50.18 FEET TO A POINT; THENCE, N35°37'33"W A DISTANCE OF 153.99 FEET TO A POINT; THENCE, S34°51'30"W A DISTANCE OF 46.40 FEET TO A POINT; THENCE, N48°09'59"W A DISTANCE OF 192.68 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N39°56'42"E A DISTANCE OF 401.33 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVE SW; THENCE, S50°04'08"E A DISTANCE 132.95 FEET DISTANCE TO A POINT OF CURVATURE; THENCE, 192.35 FEET DISTANCE ALONG THE ARC OF CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 841.50 FEET AND A LONG CHORD OF 543°47'54"E A DISTANCE OF 191.94 FEET) TO A POINT OF TANGENCY; THENCE, S37°02'00"E A DISTANCE OF 87.76 FEET TO A POINT AND TRUE PLACE OF BEGINNING. SAID TRACT CONTAINING 3.2427 ACRES (141,253.5 SQUARE FEET) MORE OR LESS.

FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN TRACT OF LAND HEREIN DESCRIBED, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DO HEREBY GRANT EASEMENTS, AS SHOWN HEREON AND HEREBY VACATE ALL EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

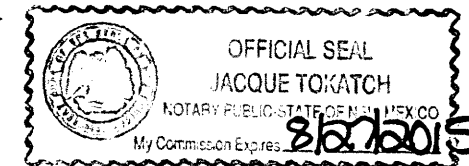
BY: Jay T Rembe 10/25/2013
 OWNER

ACKNOWLEDGMENT

STATE OF New Mexico
 COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 25 DAY OF October, 2013, BY Jay T Rembe

NOTARY PUBLIC: Jacque Toatch
 MY COMMISSION EXPIRES: 8/27/2015



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
Century Link for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PLAT OF
 LOTS 1-5
 COUNTRY CLUB PLAZA

BEING A REPLAT OF
 REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION
 TRACT A-1-A, LAGUNA SUBDIVISION
 TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN
 M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38
 SITUATED WITHIN PROJECTED SECTION 18, T 10 N, R 3E, N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2013

PROJECT NUMBER: _____

CITY APPROVALS: Dail P. Acosta 10-29-13
 CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

ABCWUA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

REAL PROPERTY DIVISION DATE

UTILITY APPROVALS: _____ DATE

PNM ELECTRIC SERVICES DATE

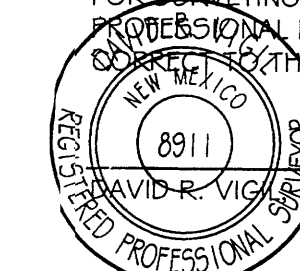
NEW MEXICO GAS DATE

CENTURY LINK DATE

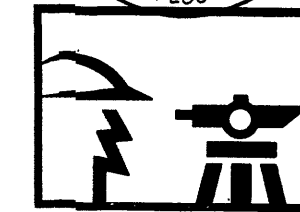
COMCAST DATE

SURVEYOR'S CERTIFICATE:

I, DAVID R VIGIL, NEW MEXICO PROFESSIONAL SURVEYOR NO. 8911, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



David R. Vigil 10/24/2013
 DATE



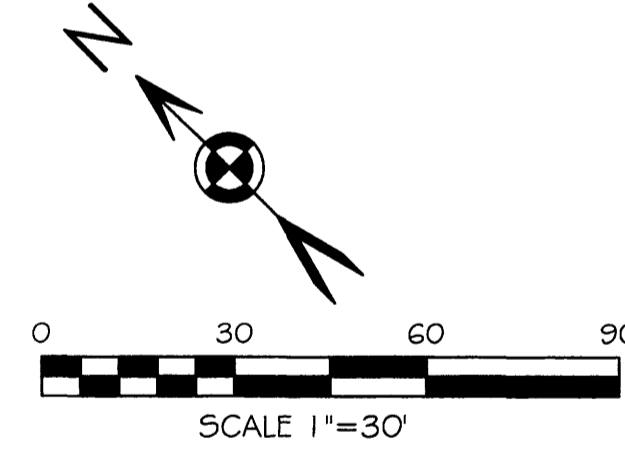
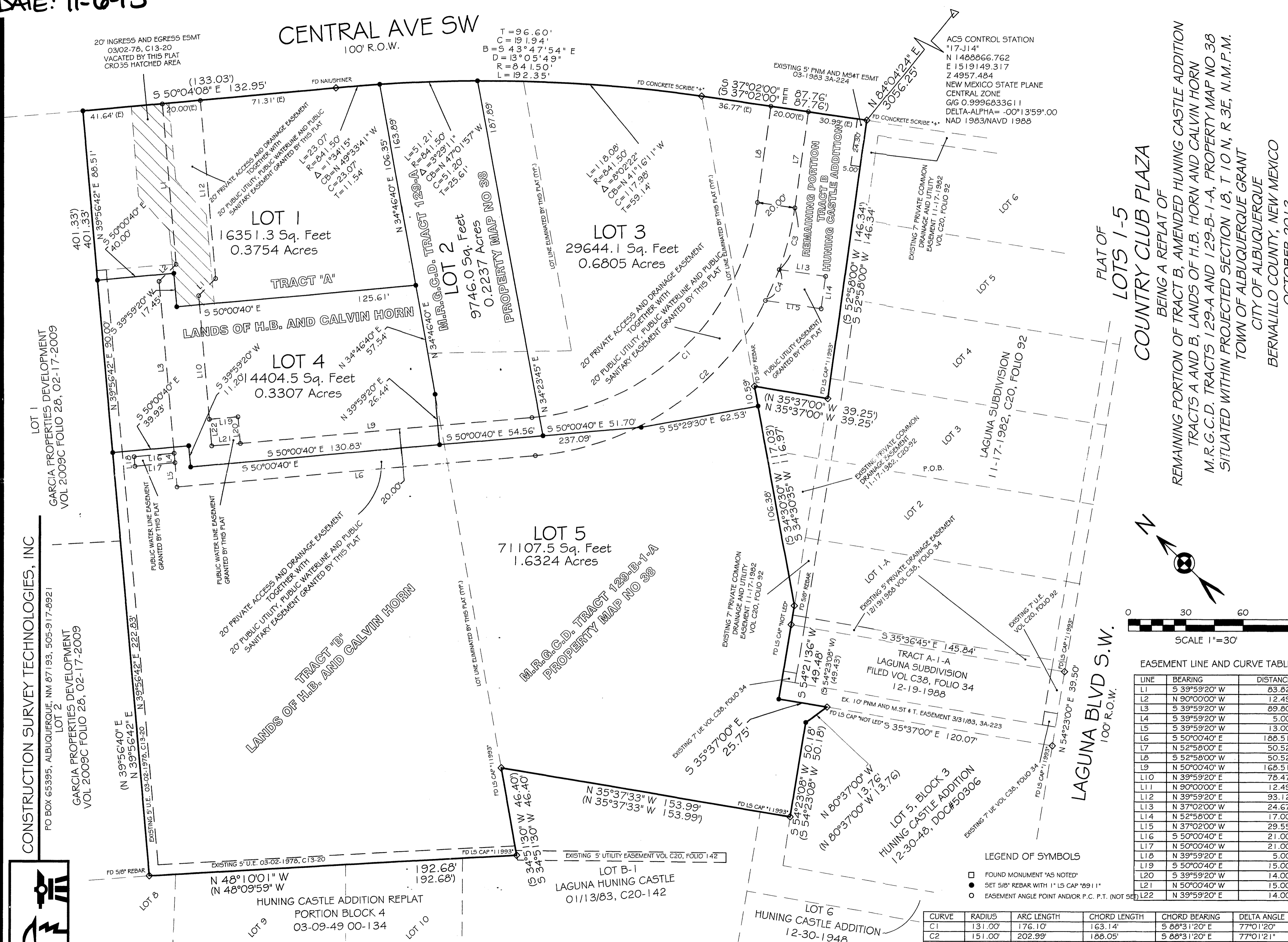
CONSTRUCTION SURVEY TECHNOLOGIES, INC

PO BOX 65395, ALBUQUERQUE, NM 87193, 505-917-8921

PROJECT#: 1004677
 DATE: 11-6-13

CENTRAL AVE SW
 100' R.O.W.
 T=96.60'
 C=191.94'
 B=S 43°47'54" E
 D=13°05'49" E
 R=841.50'
 L=192.35'

ACS CONTROL STATION
 "17-J14"
 N 1488866.762
 E 1519149.317
 Z 4957.484
 NEW MEXICO STATE PLANE
 CENTRAL ZONE
 G/G 0.9996833611
 DELTA-ALPHA= -00°13'59".00
 NAD 1983/NAVD 1988



EASEMENT LINE AND CURVE TABLES

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 39°59'20" W | 83.82' |
| L2 | N 90°00'00" W | 12.49' |
| L3 | S 39°59'20" W | 89.80' |
| L4 | S 39°59'20" W | 5.00' |
| L5 | S 39°59'20" W | 13.00' |
| L6 | S 50°00'40" E | 188.51' |
| L7 | N 52°58'00" E | 50.52' |
| L8 | S 52°58'00" W | 50.52' |
| L9 | N 50°00'40" W | 168.51' |
| L10 | N 39°59'20" E | 78.47' |
| L11 | N 90°00'00" E | 12.49' |
| L12 | N 39°59'20" E | 93.12' |
| L13 | N 37°02'00" W | 24.67' |
| L14 | N 52°58'00" E | 17.00' |
| L15 | N 37°02'00" W | 29.55' |
| L16 | S 50°00'40" E | 21.00' |
| L17 | N 50°00'40" W | 21.00' |
| L18 | N 39°59'20" W | 5.00' |
| L19 | S 50°00'40" E | 15.00' |
| L20 | S 39°59'20" W | 14.00' |
| L21 | N 50°00'40" W | 15.00' |
| L22 | N 39°59'20" E | 14.00' |

LEGEND OF SYMBOLS

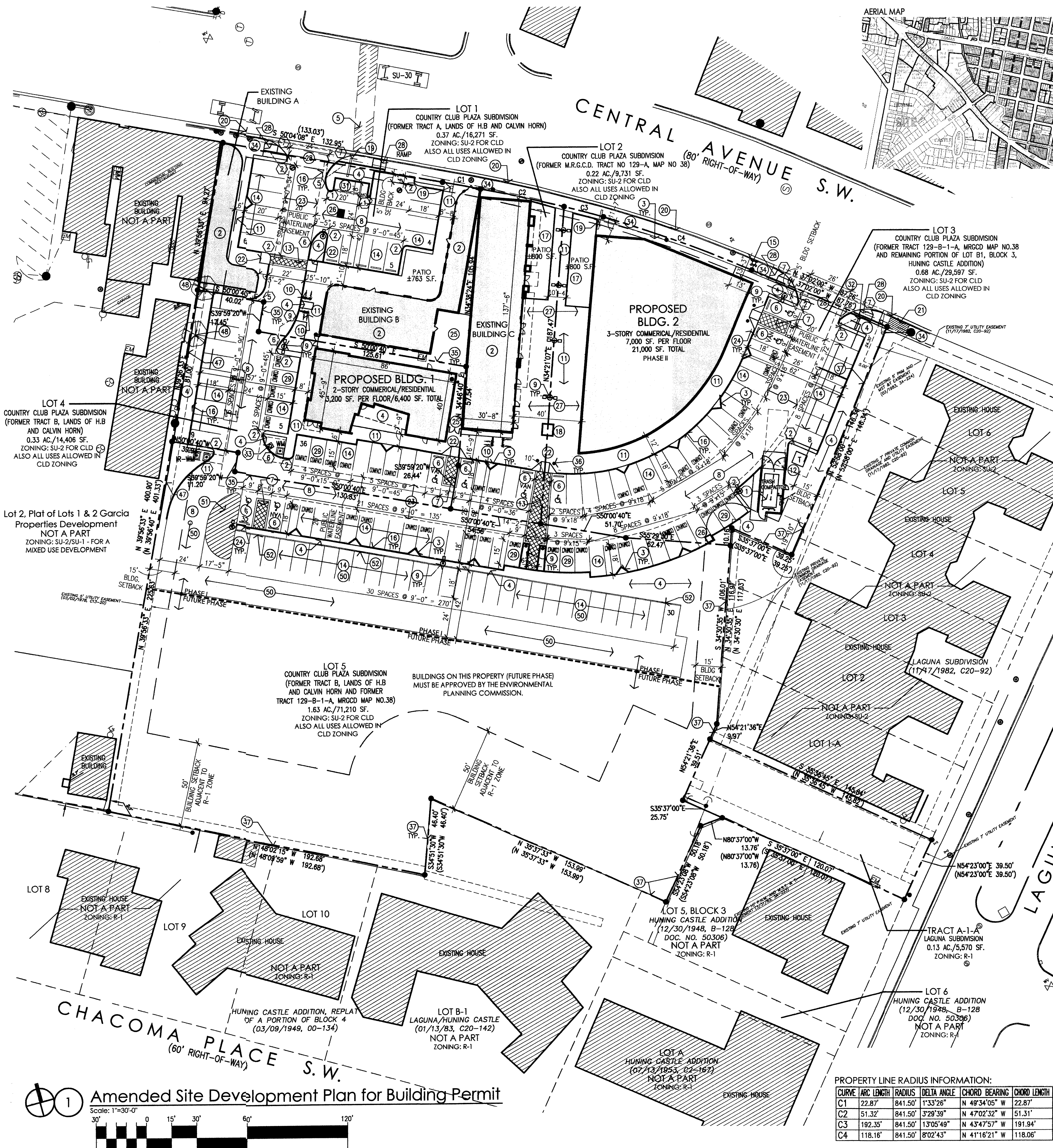
- FOUND MONUMENT "AS NOTED"
- SET 5/8" REBAR WITH 1" LS CAP "8911"
- EASEMENT ANGLE POINT AND/OR P.C. P.T. (NOT SET)

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE |
|-------|---------|------------|--------------|---------------|-------------|
| C1 | 131.00' | 176.10' | 163.14' | S 88°31'20" E | 77°01'20" |
| C2 | 151.00' | 202.99' | 188.05' | S 88°31'20" E | 77°01'21" |
| C3 | 151.00' | 33.36' | 33.30' | N 59°17'47" E | 12°39'36" |
| C4 | 151.00' | 17.70' | 17.69' | N 68°59'02" E | 6°42'54" |

CONSTRUCTION SURVEY TECHNOLOGIES, INC
 PO BOX 65395, ALBUQUERQUE, NM 87193, 505-917-8921

GARCIA PROPERTIES DEVELOPMENT
 LOT 2
 VOL 2009C FOLIO 28, 02-17-2009

PLAT OF
 COUNTRY CLUB PLAZA
 LOTS 1-5
 BEING A REPLAT OF
 REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION
 TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN
 M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38
 SITUATED WITHIN PROJECTED SECTION 18, T 10 N, R 3E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2013



PARKING CALCULATIONS: PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE

| General Land Use Classification | Weekdays | | | Weekends | | |
|---------------------------------|-----------------|------------|-----------------|-----------------|------------|-----------------|
| | midnight to 7am | 7am to 6pm | 6pm to midnight | midnight to 7am | 7am to 6pm | 6pm to midnight |
| Office | 0% | 100% | 5% | 0% | 10% | 0% |
| Restaurants | 0% | 80% | 100% | 0% | 60% | 100% |
| Retail | 0% | 80% | 50% | 0% | 100% | 10% |
| Residential | 100% | 20% | 100% | 100% | 80% | 100% |

Parking Calculations for Required Number of Spaces

| Land Use | Area/Number of Units | Parking Requirements | Required parking |
|-----------------------|----------------------|----------------------|------------------|
| Office - First Floor | 3200 | 200 /ft | 16 |
| Office - Second Floor | 3200 | 300 /ft | 11 |
| Restaurants | 3400* | 45 /ft | 80 |
| Retail | 9,583 | 200 /ft | 48 |
| Residential | 25 | 1**/unit | 25 |

| General Land Use Classification | Weekdays | | | Weekends | | |
|---------------------------------|-----------------|------------|-----------------|-----------------|------------|-----------------|
| | midnight to 7am | 7am to 6pm | 6pm to midnight | midnight to 7am | 7am to 6pm | 6pm to midnight |
| Office | 0 | 27 | 1 | 0 | 3 | 0 |
| Restaurants | 0 | 64 | 80 | 0 | 46 | 80 |
| Retail | 0 | 38 | 24 | 0 | 48 | 5 |
| Residential | 25 | 5 | 25 | 25 | 20 | 25 |

| Total Number of Spaces | Weekdays | Weekends |
|--------------------------|----------|----------|
| Required per time period | 25 | 134 |
| Provided | 130 | 119 |

NO PARKING IS REQUIRED FOR EXISTING BUILDINGS ON LOT 1 AND LOT 2 PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1): OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1985 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.

TRANSIT REDUCTIONS:
 134 SPACES REQ'D x 10% REDUCTION = 120.6 SPACES (PROXIMITY TO BUS ROUTE 766 AND 66)
 134 x 10% = 121 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = 121 SPACES
TOTAL PARKING SPACES PROVIDED = 135 SPACES
 87 REGULAR SPACES
 8 HANDICAP PARKING SPACES
 40 COMPACT SPACES

COMPACT PARKING CALCULATION:
 121 REQ'D SPACES x 33% = 40 SPACES ALLOWED
 TOTAL COMPACT SPACES = 40 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:
 TOTAL DISABLED SPACES REQUIRED = 8 SPACES
 TOTAL DISABLED SPACES PROVIDED = 8 SPACES

MOTORCYCLE REQUIREMENTS:
 TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES
 TOTAL MOTORCYCLE SPACES PROVIDED = 5 SPACES

RESIDENTIAL BICYCLE REQUIREMENTS:
 1 BICYCLE SPACE PER 2 DWELLING UNITS = 25 DWELLING UNITS/2 = 13 TOTAL SPACES REQUIRED

COMMERCIAL BICYCLE REQUIREMENTS:
 1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 121 PARKING SPACES/20 = 6 TOTAL SPACES REQUIRED
TOTAL BICYCLE SPACES REQUIRED = 19 SPACES
TOTAL BICYCLE SPACES PROVIDED = 20 SPACES

- KEYED NOTES:**
- PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLE AREA ON LOT 3.
 - EXISTING BUILDING TO REMAIN.
 - PROPOSED TREE WELL, TYPICAL SEE LANDSCAPING.
 - PROPOSED LANDSCAPING.
 - EXISTING CROSSWALK STRIPING.
 - PROPOSED HANDICAP PAVEMENT SIGN.
 - PROPOSED STAMPED COLORED CONCRETE HANDICAP AISLE.
 - PROPOSED ASPHALT PAVING.
 - PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
 - PROPOSED BIKE RACK WITH 5 SPACES.
 - PROPOSED CONCRETE SIDEWALK.
 - PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
 - PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
 - PROPOSED PAINTED PARKING STRIPING.
 - EXISTING FIRE HYDRANT TO BE REMAIN.
 - PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
 - CONCRETE PATIO WITH TUBE STEEL FENCING, WATER/LANDSCAPING FEATURE. SEE LANDSCAPING.
 - EXISTING POLE SIGN TO BE RECONSTRUCTED.
 - EXISTING CITY CURB AND GUTTER.
 - EXISTING BUS STOP TO REMAIN.
 - PROPOSED HANDICAP RAMP.
 - PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
 - PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7. "VAN" WHERE NOTED.
 - PROPOSED CONCRETE RECEIVING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).
 - PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE.
 - PROPOSED PLAZA WITH BENCH SEATING AND WATER FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.
 - PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
 - COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
 - PROPOSED STUCCO RETAINING WALL. SEE CIVIL.
 - PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
 - PROPOSED 100 SF. POLE SIGN. SEE SHEET 7.

- KEYED NOTES: CONT**
- PROPOSED FIRE HYDRANT (2 LOCATIONS). SEE UTILITY PLAN.
 - EXISTING CONCRETE SIDEWALK.
 - PROPOSED LOT LINES.
 - PROPOSED LIGHT BOLLARD. TYP. OF 16. SEE SHEET 7.
 - EXISTING 48"-0" HIGH CMU SCREEN WALL.
 - EMERGENCY ACCESS ONLY PAVEMENT SIGN AND POSTED SIGN.
 - PROPOSED RESIDENTIAL CONCRETE STOOPS.
 - LANDSCAPING AT LOWER LEVELS. SEE LANDSCAPING PLAN.
 - PEDESTRIAN WALKWAY AT FIRST LEVEL.
 - CONCRETE PAVING. SEE GRADING AND DRAINAGE PLAN.
 - PAINTED TUBE STEEL FENCE AND GATES. SINGLE FAMILY RESIDENCE WITH TWO PARKING STALLS AND ACCESSORY BUILDING.
 - EDGE OF CONCRETE PAVING.
 - PROPOSED 8'-0" HIGH STUCCO SCREEN WALL.
 - PAINTED 8'-0" HIGH WOOD FENCE ALONG WEST PROPERTY LINE (PHASE I).
 - EXISTING TREES TO REMAIN (2 LOCATIONS).
 - PROPOSED DRIVEWAY PER COA STANDARD DWG. 2425.
 - TEMPORARY ASPHALT PAVING UNTIL THE TIME FUTURE PHASE IS CONSTRUCTED (SHOWN HATCHED).
 - PAINTED STRIPING (WHITE).
 - PROPOSED ASPHALT CURB.

PROPERTY LINE RADIUS INFORMATION:

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|---------|-------------|---------------|--------------|
| C1 | 22.87' | 841.50' | 1°33'28" | N 49°34'05" W | 22.87' |
| C2 | 51.32' | 841.50' | 3°28'39" | N 47°02'32" W | 51.31' |
| C3 | 192.35' | 841.50' | 13°05'49" | N 43°47'57" W | 191.94' |
| C4 | 118.16' | 841.50' | 8°02'43" | N 41°16'21" W | 118.06' |

SITE DEVELOPMENT DATA:
 PROPOSED LEGAL DESCRIPTION:
 LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:
 BLDG. A AND B (EXISTING): 1720 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.
 BLDG. C (EXISTING): 1710 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.

LAND AREA:
 3.37 ACRES (146,975 SQ. FT.)

CURRENT ZONING:
 SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.

ZONE ATLAS PAGE:
 J-13-2

DEVELOPMENT PHASING:
PHASE I: WILL INCLUDE THE RENOVATION OF THE EXISTING BUILDINGS A, B & C, THE PARKING LOT ON LOT 1, THE CONSTRUCTION OF PROPOSED BUILDING 1 AND THE MAIN DRIVE AISLE AND RELATED PARKING FROM THE SOUTH SIDE OF LOT 1 OUT TO CENTRAL AVENUE ON THE EAST SIDE OF LOT 3.

PHASE II: WILL INCLUDE THE CONSTRUCTION OF BUILDING 2.

FUTURE PHASE: CONSTRUCTION OF BUILDINGS ON LOT 5 ONCE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.

PROPOSED USES:
 - ALL USES PERMITTED IN THE CLD ZONES FOR LOTS 1 THRU 5
 - ALL USES PERMITTED IN THE R-1 ZONES

BUILDING AREA:
 EXISTING BUILDING A: 1,467 SF.
 EXISTING BUILDING B: 2,900 SF.
 EXISTING BUILDING C: 4,216 SF.
 PROPOSED BUILDING 1: 6,400 SF. TOTAL
 PROPOSED BUILDING 2: 21,000 SF. TOTAL
 TOTAL BUILDING AREA = 35,983 SF.

TOTAL PROPOSED RESIDENTIAL UNITS: 25 TOTAL UNITS

- SITE DEVELOPMENT GENERAL NOTES:**
- THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.
 - RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.
 - THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
 - LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
 - ALL ABANDONED DRIVEPADS IN THE COA-ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.

- SITE DEVELOPMENT SITE LIGHTING NOTES:**
- THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
 - THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
 - LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM. CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

RADIUS INFORMATION:

| | | |
|-----------|------------|-------------|
| 1 = 2'-0" | 5 = 10'-0" | 9 = 35'-0" |
| 2 = 3'-0" | 6 = 15'-0" | 10 = 40'-0" |
| 3 = 4'-0" | 7 = 25'-0" | 11 = 46'-0" |
| 4 = 5'-0" | 8 = 30'-0" | |

PROJECT NUMBER: 1004677 APPLICATION NUMBER: 13EPC-40139
 THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED OCTOBER 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---|------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | Date |
| UTILITIES DEVELOPMENT | Date |
| PARKS AND RECREATION DEPARTMENT | Date |
| CITY ENGINEER | Date |
| ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | Date |
| SOLID WASTE MANAGEMENT | Date |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | Date |

DRAINAGE CALCULATION

PHASE 1

THE INTENT OF THIS PLAN IS TO RETAIN THE 10 DAY STORM IN A TEMPORARY POND.
 ALLOWABLE = 2.75 cfs/AC. = 8.25 cfs

BASIN A - DRAINS TO POND

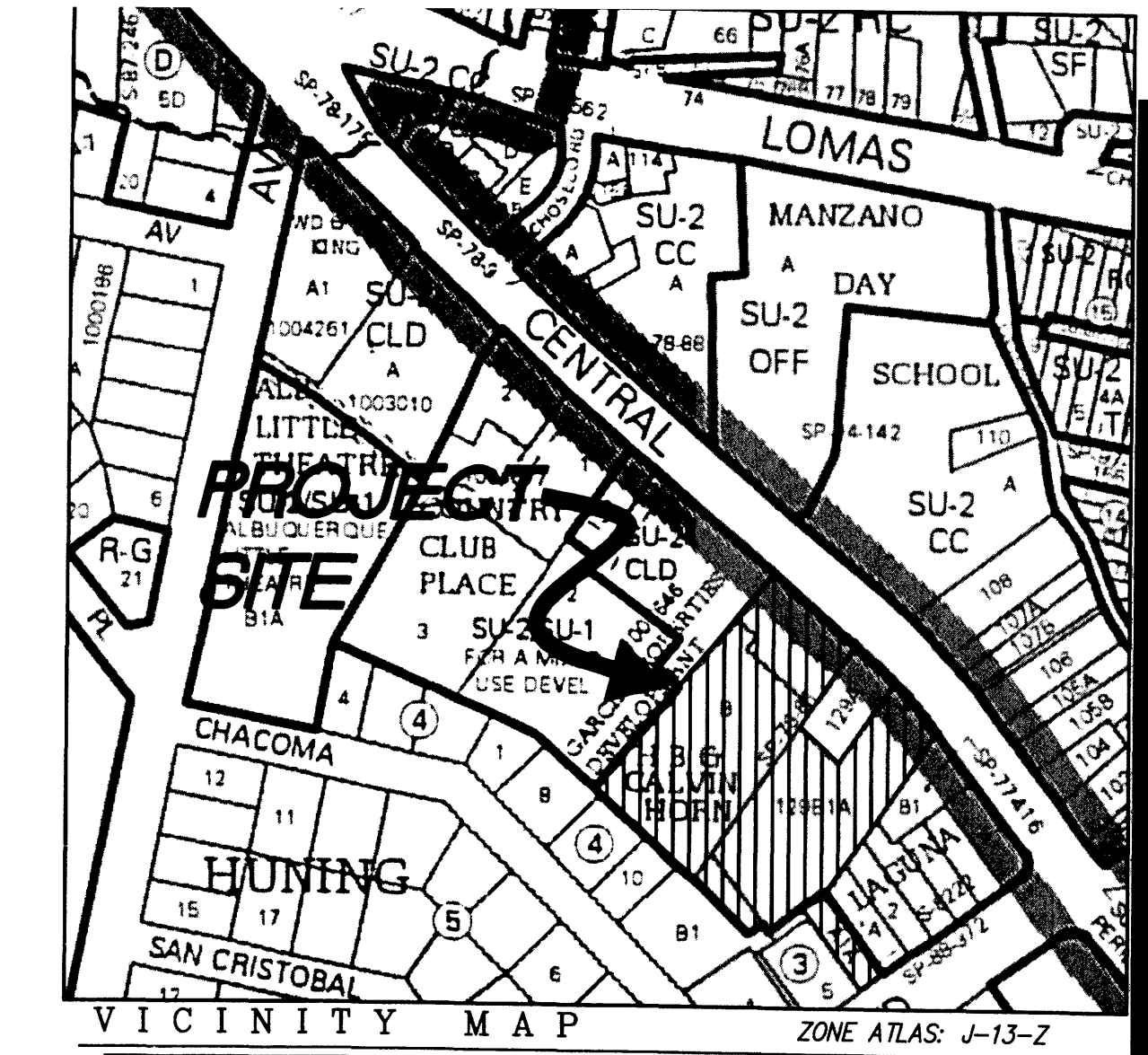
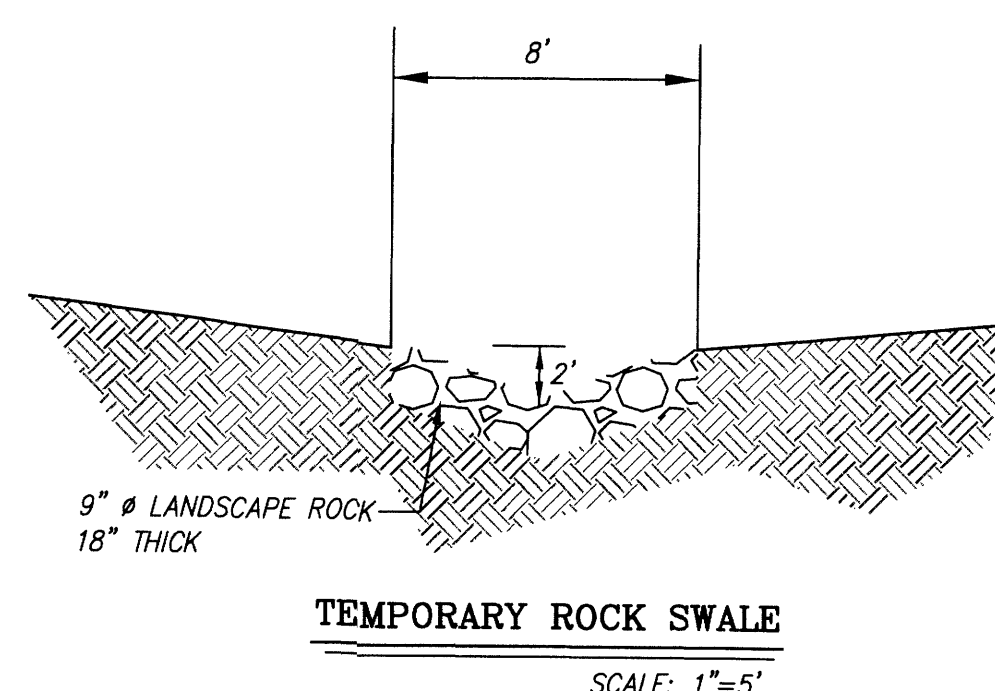
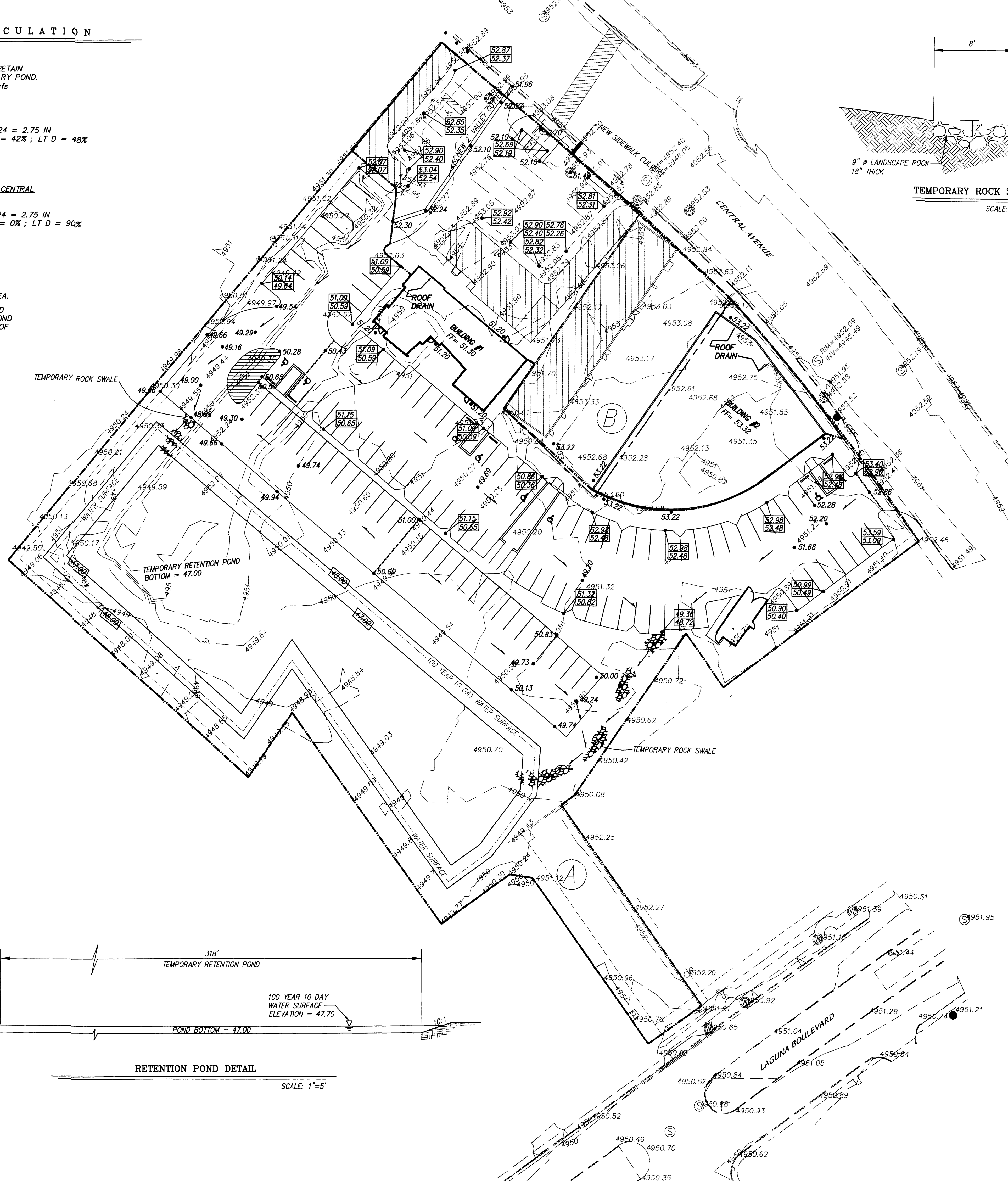
BASIN AREA = 2.42 AC
 P1 = 2.01 IN ; P6 = 2.35 IN ; P24 = 2.75 IN
 LT A = 0% ; LT B = 10% ; LT C = 42% ; LT D = 48%
 AREA OF POND = 29707 sf
 DEPTH = 0.7' VOL = 59677 cf

BASIN B - DIRECT DISCHARGE TO CENTRAL

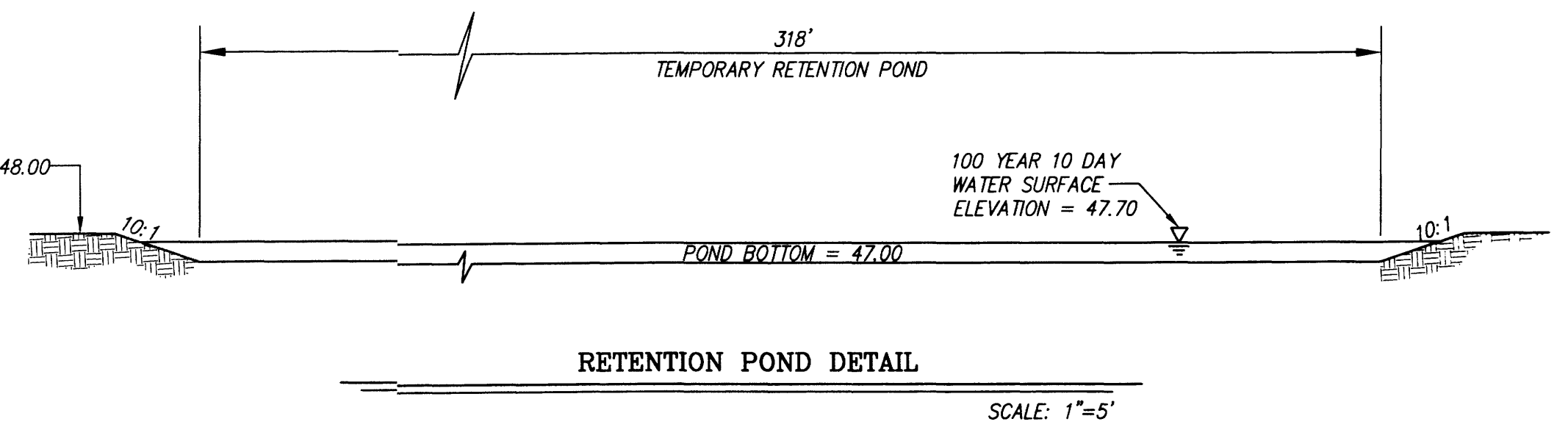
BASIN AREA = 0.95 AC
 P1 = 2.01 IN ; P6 = 2.35 IN ; P24 = 2.75 IN
 LT A = 0% ; LT B = 10% ; LT C = 0% ; LT D = 90%
 Q₁₀₀ = 4.30 cfs
 V₁₀₀ = 0.188 AC-FT

PHASE 2 - FUTURE

CONSIST OF CONDO BUILDING AT THE SOUTH END OF PROJECT WITH A BELOW GRADE PARKING AREA.
 TEMPORARY RETENTION POND WOULD BE CONVERTED TO A DETENTION POND WITH ALLOWABLE DISCHARGE RATE OF 8.25 CFS - 4.30 CFS = 3.95 CFS.

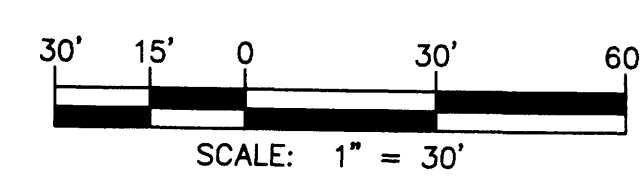


NOTES:
 1. ROOFS FOR BUILDINGS NUMBER 1 AND 2 MUST DRAIN NORTH TOWARDS CENTRAL AVENUE.



LEGEND

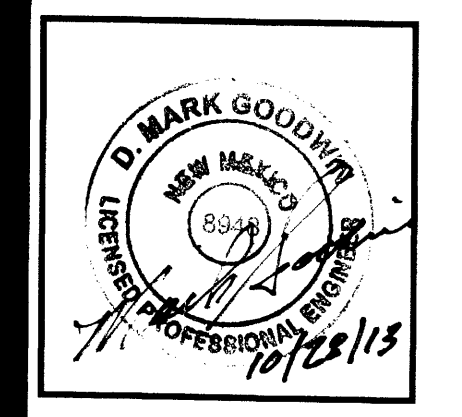
- 00.00 EXISTING SPOT ELEVATION
- 51.35- EXISTING CONTOUR
- ⊕ EXISTING WATER WELL
- EXISTING BOLLARD
- EXISTING GUY WIRE
- ⊙ EXISTING SAS MH
- EXISTING TELEPHONE PEDESTAL
- 00.00 NEW SPOT ELEVATION
- SWALE
- 00.00 NEW CONTOUR ELEVATION
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING GAS METER
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING CLEANOUT
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING MONITORING WELL
- ⊙ EXISTING WATER METER
- ⊙ EXISTING CURB
- ⊙ NEW WATER METER
- NEW RETAINING WALL
- Ⓐ BASIN A
- Ⓑ BASIN B
- BASIN BOUNDARY



dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 30606
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

| | |
|----------|-----|
| revision | |
| by | |
| date | |
| rev | ◀◀◀ |

MH
 Mullen Heller
 Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque 87102
 505 268 4144 [p]
 505 268 4244 [f]

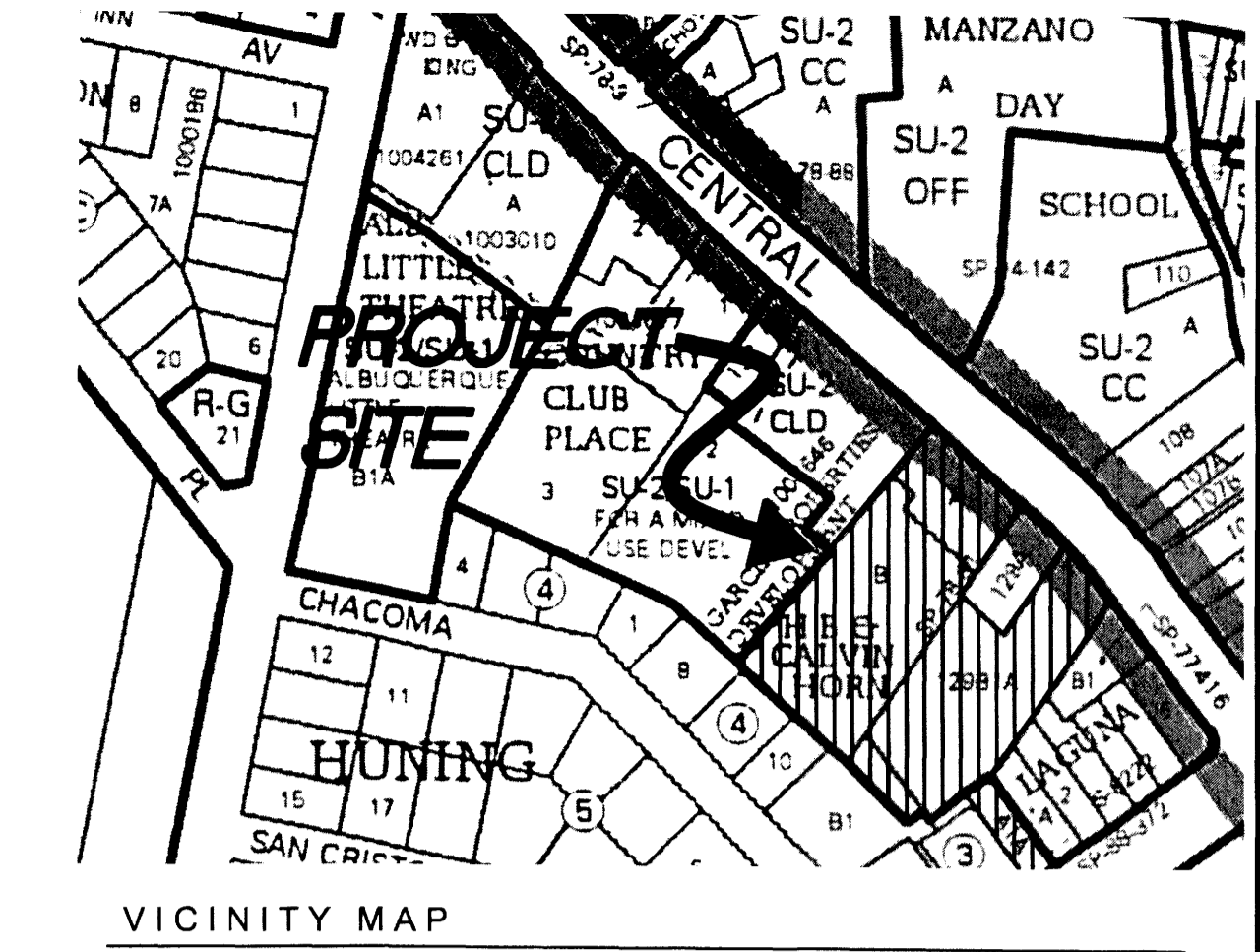
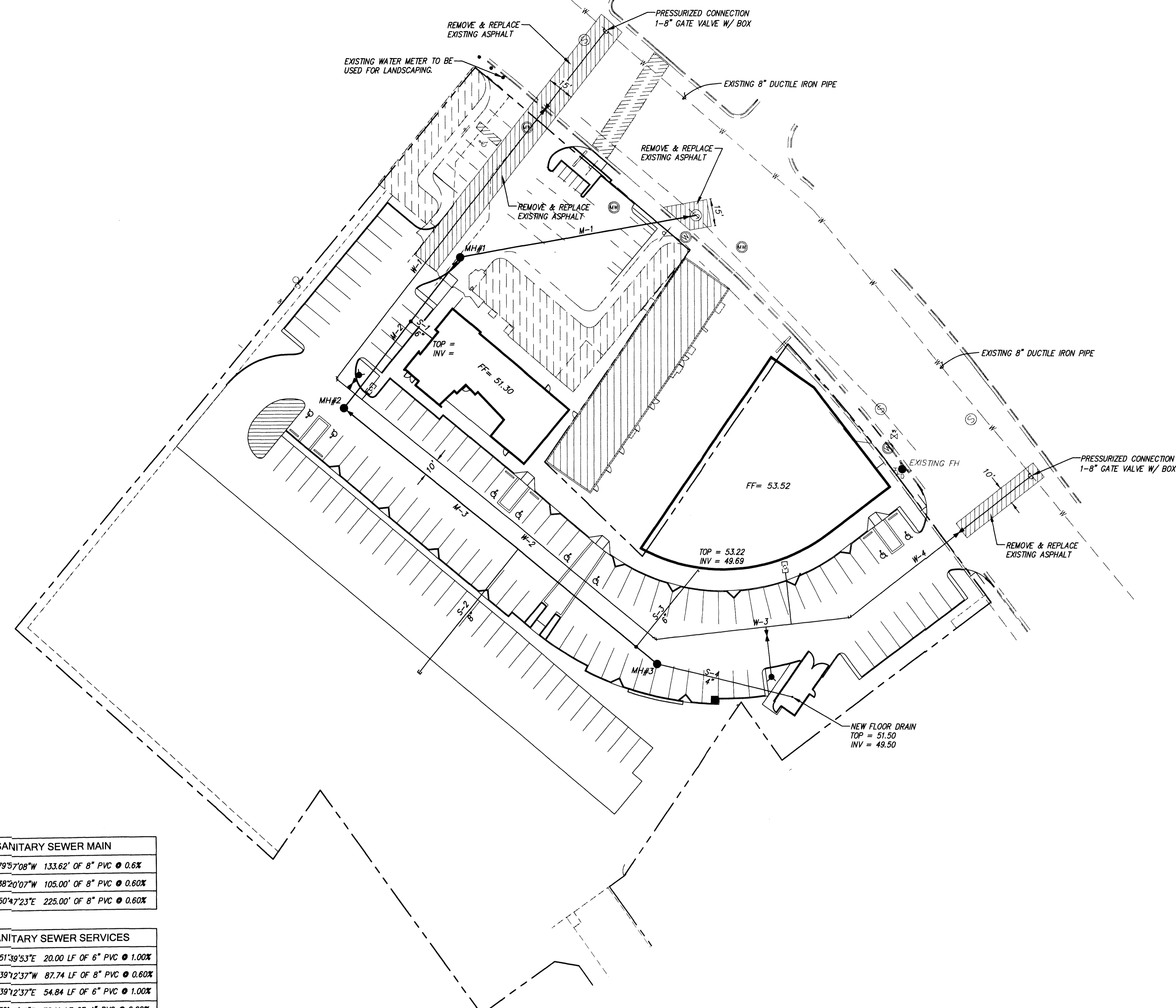


| | |
|-----------------|------------------|
| job number | 12.11 |
| drawn by | SJ.MWS |
| project manager | Doug Heller, AIA |
| date | 11/13/12 |

project title
Country Club Plaza
 SW of Central Avenue and Laguna Boulevard
 Albuquerque, New Mexico 87102

sheet title
GRADING & DRAINAGE PLAN

F:\A12\JOBS\A12035 Country Club Plaza\GRADE & DRAIN\A12035_GD30.dwg, Last saved by: Martin, 8/14/13



| SANITARY SEWER MAIN | |
|---------------------|---------------------------------------|
| M-1 | S79°57'08"W 133.62' OF 8" PVC @ 0.6% |
| M-2 | S38°20'07"W 105.00' OF 8" PVC @ 0.60% |
| M-3 | S50°47'23"E 225.00' OF 8" PVC @ 0.60% |

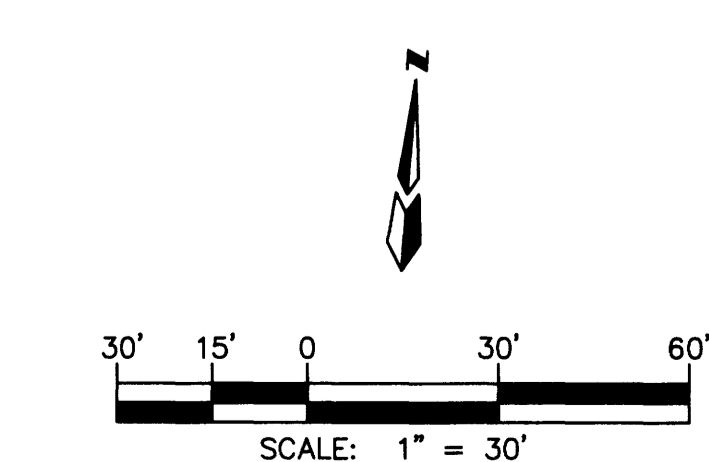
| SANITARY SEWER SERVICES | |
|-------------------------|--|
| S-1 | S51°39'53"E 20.00 LF OF 6" PVC @ 1.00% |
| S-2 | S39°23'37"W 87.74 LF OF 6" PVC @ 0.60% |
| S-3 | N39°12'37"E 54.84 LF OF 6" PVC @ 1.00% |
| S-4 | S76°42'17"E 78.11 LF OF 4" PVC @ 2.00% |

| WATER MAIN | |
|------------|--------------------------------------|
| W-1 | S38°20'07"W 243.60 LF OF 8" PVC C900 |
| W-2 | S50°47'23"E 229.47 LF OF 8" PVC C900 |
| W-3 | N83°30'01"E 109.82 LF OF 8" PVC C900 |
| W-4 | N52°00'19"E 128.74 LF OF 8" PVC C900 |

NOTE:
ALL WATER SERVICES TO BE 2"
UNLESS OTHER WISE NOTED.

LEGEND

- 00.00 EXISTING SPOT ELEVATION
- - - 5135- EXISTING CONTOUR
- ⊙ EXISTING WATER WELL
- ⊙ EXISTING BOLLARD
- ⊙ EXISTING GUY WIRE
- ⊙ EXISTING SAS MH
- ⊙ EXISTING TELEPHONE PEDESTAL
- 00.00 NEW SPOT ELEVATION
- SWALE
- 00.00 NEW CONTOUR ELEVATION
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING GAS METER
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING CLEANOUT
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING MONITORING WELL
- ⊙ EXISTING WATER METER
- ⊙ EXISTING CURB
- ⊙ NEW WATER METER
- ⊙ NEW RETAINING WALL



revision _____
by _____
date _____
rev ◀◀◀◀

MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]



12-11
job number
drawn by S.J. MWS
project manager Doug Heller, AIA.
date 11/13/12

project title
Country Club Plaza
SWC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet title
CONCEPTUAL SITE UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1/4" BUILDLOGY BROWN ROCK MULCH AND 2"-4" COBBLE MULCH. CONCRETE HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPOED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN FOR COUNTRY CLUB PLAZA SHALL LIMIT THE MEDIUM WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PLANTING CONSIDERATIONS
TO ENSURE OPTIMAL GROWTH OF THE SITE TREES LOCATED WITHIN THE PARKING LOT, PERMEABLE PAVERS WILL BE INTEGRATED INTO THE SIDE WALK AT THE TREE WELLS TO PROVIDE FOR BETTER ROOT CAPACITY AND WATER PERMEABILITY TO TREES.

STREET TREES
DUE TO SITE CONSTRAINTS ALONG CENTRAL AVENUE, AN EXEMPTION FROM THE STREET TREE ORDINANCE (LISTED UNDER THE CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-9-10, PART 6, ITEM 2) IS BEING REQUESTED. THE INTENT OF THE STREET TREE ORDINANCE IS TO PROVIDE SUMMER SHADE AND COOLNESS AND TO ENHANCE THE APPEARANCE OF THE CITY'S MAJOR STREETS. THIS PROJECT CONSISTS OF 415 LINEAR FEET OF STREET FRONTAGE ALONG CENTRAL AVENUE, 242 LINEAR FEET OF WHICH IS OCCUPIED BY EXISTING BUILDINGS, EXISTING PARKING, AND A PROPOSED BUILDING. THE PROXIMITY OF THESE BUILT FEATURES TO THE CITY SIDEWALK AND STREET WILL PROVIDE A STRONG STREET FACADE BUT WILL HINDER THE ABILITY TO PLANT STREET TREES. THE PROJECT MEETS THE INTENT OF THIS ORDINANCE BY PROVIDING SMALL, SCULPTURAL SHRUBS ALONG THE STREET FRONTAGE WHERE TREES ARE NOT FEASIBLE. THE PROJECT ALSO MEETS AND EXCEEDS OTHER LANDSCAPING REQUIREMENTS, SPECIFICALLY SITE AND PARKING LOT TREE REQUIREMENTS.

PRM COORDINATION
COORDINATION WITH PRM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
SCREENING WILL BE DESIGN TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE COVERAGE

| | |
|---|----------------------|
| TOTAL SITE AREA (PHASE I + 2): | 146,475 SF (3.37 AC) |
| TOTAL SITE AREA (PHASE I): | 97,475 SF (2.24 AC) |
| BUILDING AREA: | |
| EXISTING BUILDINGS + PHASE I BUILDINGS): | - 35,482 SF |
| TOTAL NET AREA: | 61,440 SF |
| REQUIRED LANDSCAPE AREA (15% OF NET AREA): | 9,224 SF |
| PROVIDED LANDSCAPE AREA: | 11,026 SF (10%) |
| REQUIRED LIVE VEGETATIVE COVER (15% COVERAGE OF THE 15% LANDSCAPE REQUIREMENT, MINUS PARKING CLEARANCE AND PEDESTRIAN ACCESS IN TEMPORARY LANDSCAPE AREA) | 6,410 SF |
| TOTAL LIVE VEGETATIVE COVER NEEDED: | - 1,682 SF |
| 5,276 SF | |
| PROVIDED LIVE VEGETATIVE COVER (16%): | 5,291 SF |

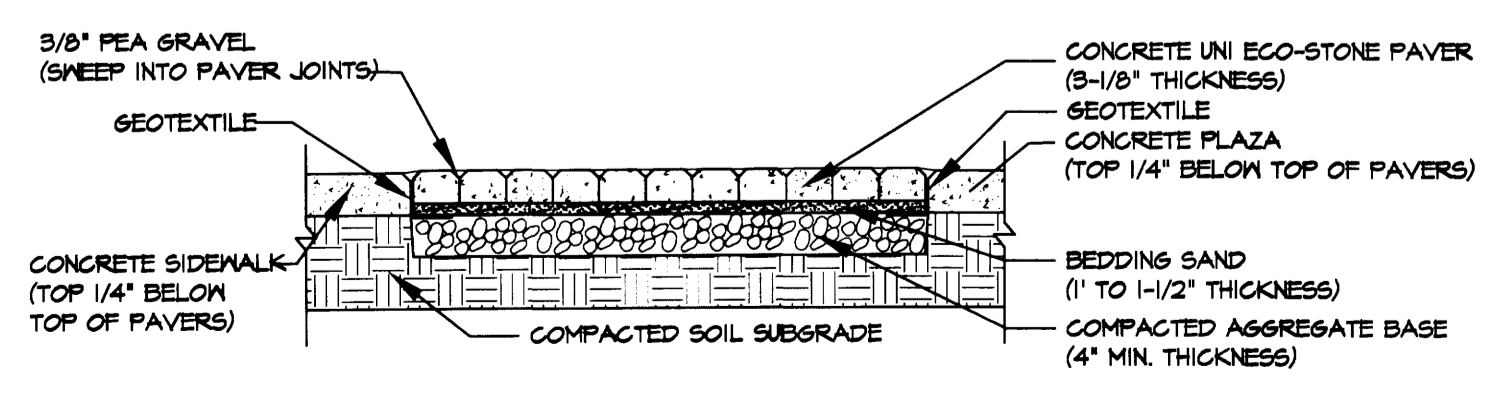
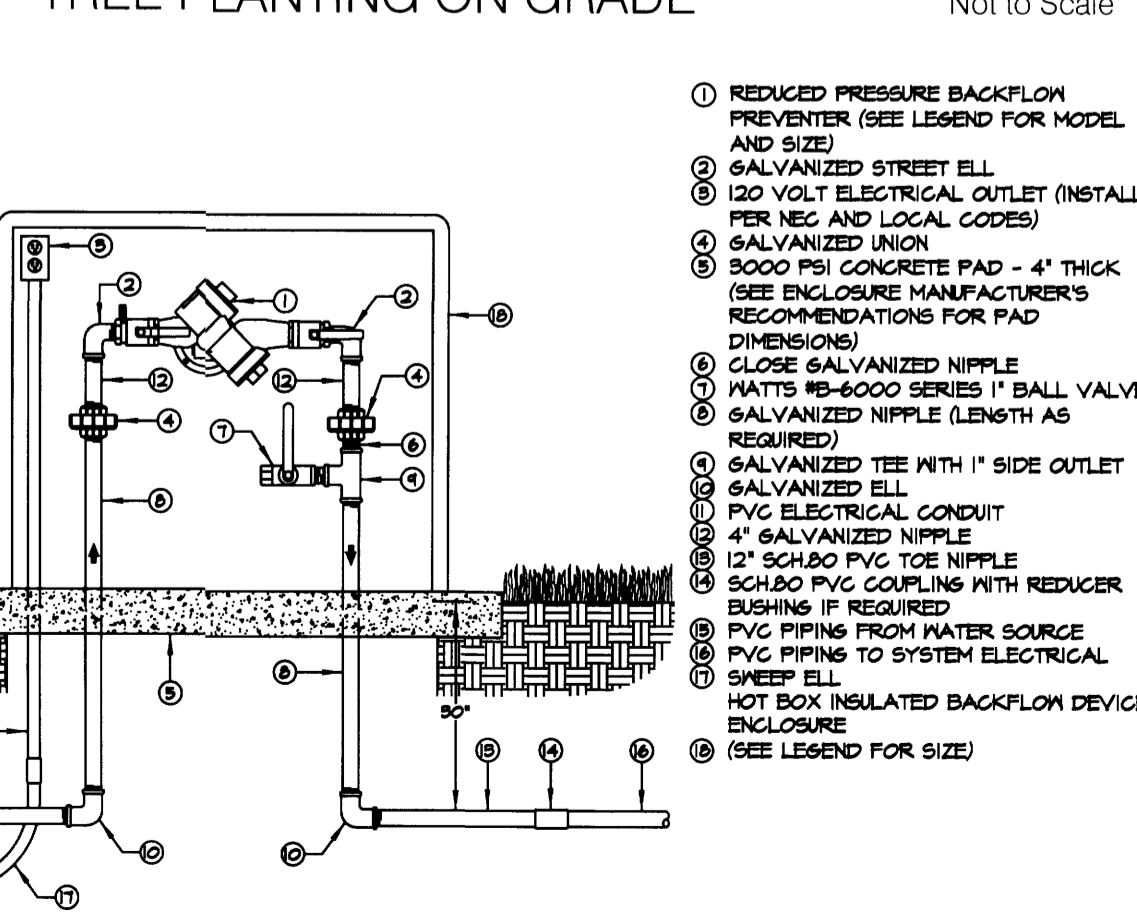
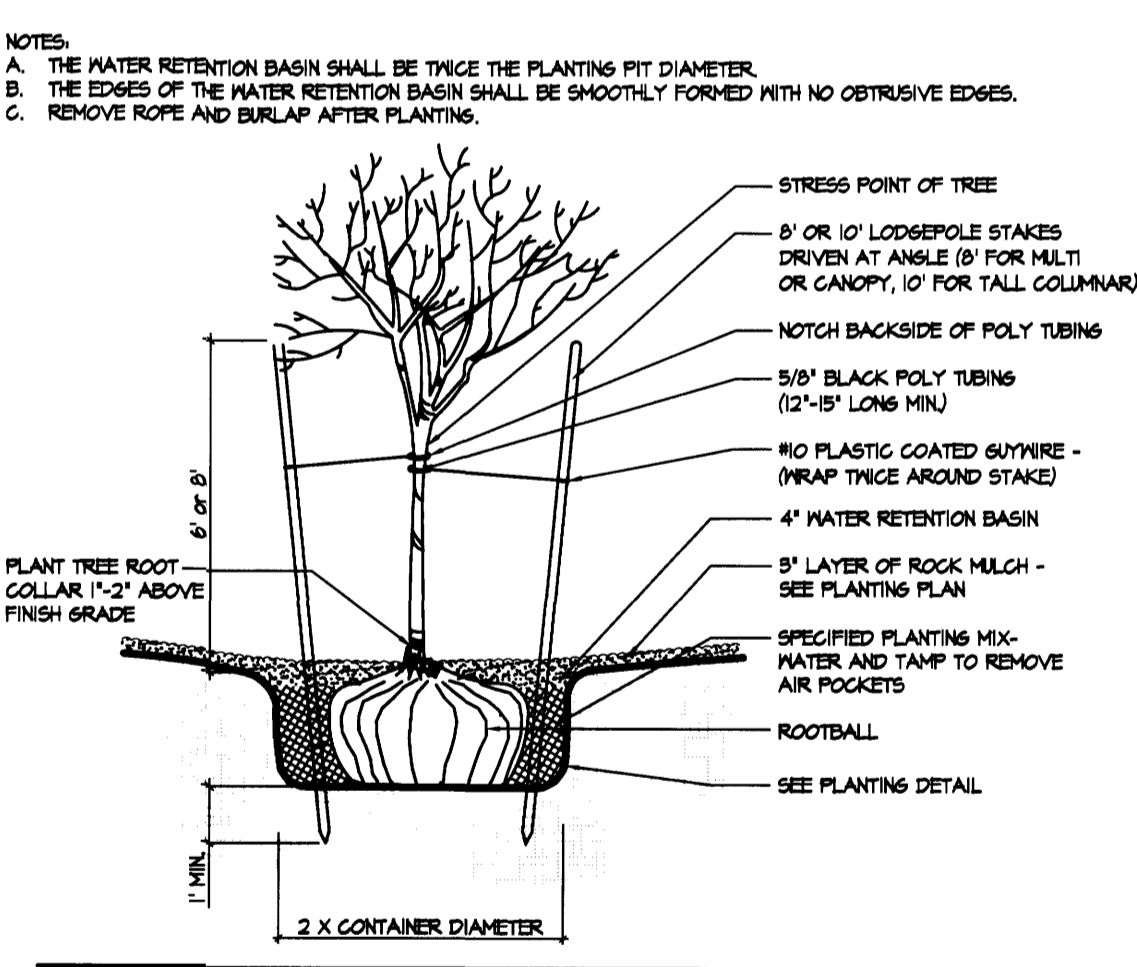
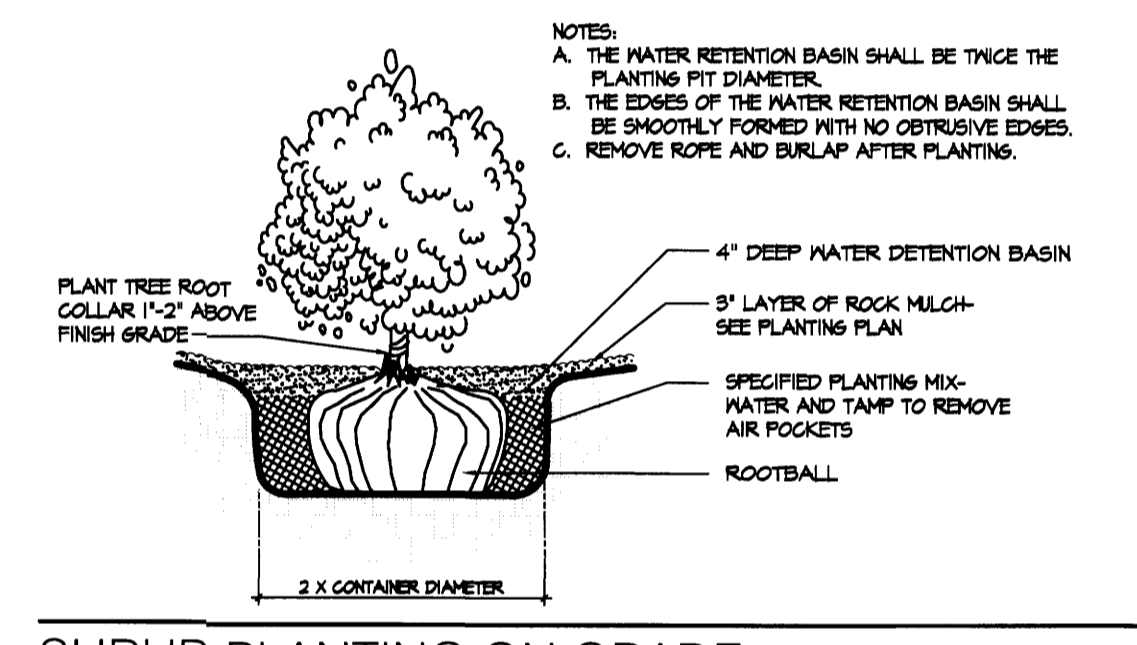
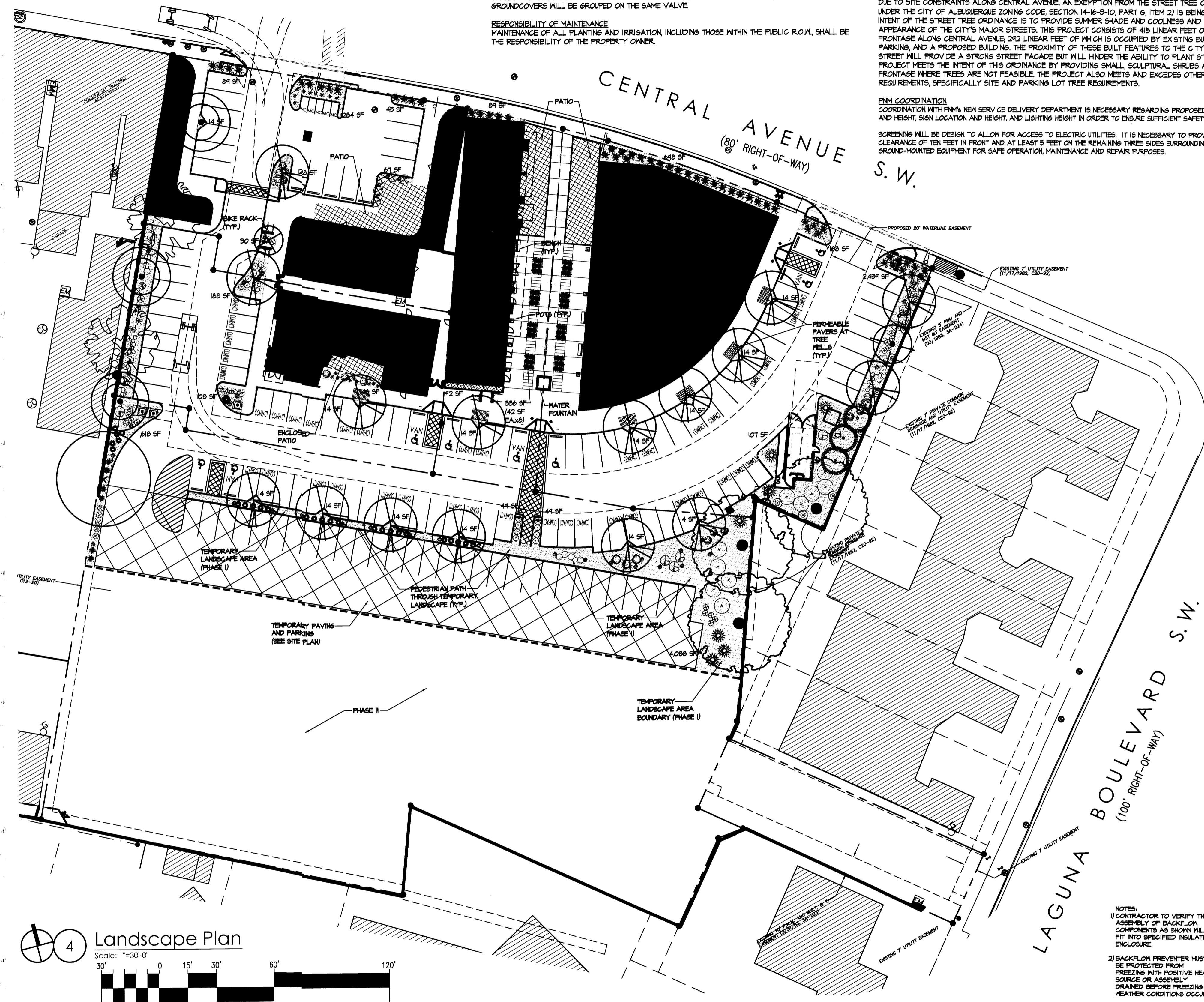
SPECIAL BUFFER LANDSCAPING/SCREENING TREES
THE LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL PROPERTIES CONSISTS OF A COMBINATION OF DECIDUOUS AND EVERGREEN TREES WHICH ARE SPACED AT DISTANCE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER OF THE TREE.

PARKING LOT TREES
COUNTRY CLUB PLAZA IS PROVIDING 155 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON ONE TREE PER 10 SPACES.

REQUIRED: 14
PROVIDED: 14

**PHASE I
PLANT LEGEND**

| QTY. | SYMBOL | SCIENTIFIC NAME COMMON NAME | SIZE | INSTALLED SIZE | WATER USE |
|------------------------------------|----------|---|----------|---|-----------|
| TREES | | | | | |
| 2 | (Symbol) | EXISTING TREE TO REMAIN | | | |
| 1 | (Symbol) | ACER TARTARICUM 'HOT WINGS' HOT WINGS MAPLE | 2' B4B | 10' HT. X 4' SPR. 20' HT. X 24' SPR. | MED |
| 3 | (Symbol) | KOELREUTERIA PANICULATA GOLDEN RAIN TREE | 2' B4B | 16' HT. X 6' SPR. 30' HT. X 30' SPR. | MED |
| 1 | (Symbol) | LASERSTROEMIA INDICA 'FAURIE' GRAPE MYRTLE 'ZAN' | 15-GAL | 8' HT. X 4' SPR. 15' HT. X 15' SPR. | MED |
| 3 | (Symbol) | FINIS LEBUCOERNIS BOSNIAN PINE | B4B | 6' MIN HT. 35' HT. X 10' SPR. | MED |
| 1 | (Symbol) | PISTACHIA CHINENSIS CHINESE PISTACHE | 2' B4B | 10' HT. X 5' SPR. 50' HT. X 50' SPR. | MED+ |
| 3 | (Symbol) | PLATANUS A. BLOODGOOD LONDON PLANE TREE | 2.5' B4B | 16' HT. X 6' SPR. 60' HT. X 50' SPR. | MED |
| 16 | (Symbol) | ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA | 2' B4B | 14' HT. X 6' SPR. 45' HT. X 50' SPR. | MED |
| SHRUBS/GROUNDCOVERS | | | | | |
| 10 | (Symbol) | BACCHARIS SAROTROIDES DESERT BROOM | 5-GAL | 8' O.C. 8' HT. X 8' SPR. | LOW |
| 7 | (Symbol) | BIDDLEIA DAVIDII 'NANHOENSIS' BUTTERFLY BUSH | 5-GAL | 5' O.C. 5' HT. X 5' SPR. | LOW |
| 11 | (Symbol) | CERASTIUM TOMENTOSUM SNOW-IN-SUMMER | 1-GAL | 2' O.C. 2' HT. X 2' SPR. | LOW |
| 8 | (Symbol) | ERYSIMUM BOYLES MAUIE' BOYLES MAUIE WALLFLOWER | 1-GAL | 2' O.C. 2' HT. X 2' SPR. | MED+ |
| 6 | (Symbol) | FALLUGIA PARADOXA APACHE PLUME | 5-GAL | 4' O.C. 5' HT. X 4' SPR. | LOW |
| 5 | (Symbol) | HELICHRYSUM AUGUSTIFOLIA CURRY PLANT | 1-GAL | 2' O.C. 2' HT. X 2' SPR. | LOW |
| 16 | (Symbol) | LAVANDULA ANGSTIFOLIA ENGLISH LAVENDER | 1-GAL | 3' O.C. 3' HT. X 3' SPR. | MED |
| 8 | (Symbol) | NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA | 1-GAL | 2' O.C. 2' HT. X 2' SPR. | MED |
| 12 | (Symbol) | PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE | 5-GAL | 6' O.C. 4' HT. X 5' SPR. | LOW |
| 3 | (Symbol) | FINIS MISO MISO PINE | 5-GAL | 5' O.C. 4' HT. X 5' SPR. | MED |
| 10 | (Symbol) | POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL | 1-GAL | 3' O.C. 3' HT. X 3' SPR. | LOW |
| 14 | (Symbol) | RIAPHOLEPIS INDICA INDIA HANTHORN | 5-GAL | 5' O.C. 3' HT. X 3' SPR. | MED |
| 14 | (Symbol) | RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC | 1-GAL | 4' O.C. 2' HT. X 4' SPR. | LOW |
| 6 | (Symbol) | SEDUM TELEPHIUM AUTUM JOY SEDUM | 1-GAL | 2' O.C. 2' HT. X 2' SPR. | LOW |
| 15 | (Symbol) | ZAISCHNERIA CALIFORNICA HUMBLEDRO PLANT | 1-GAL | 3' O.C. 2' HT. X 3' SPR. | LOW |
| VINES | | | | | |
| 5 | (Symbol) | HUMULUS LUPULUS 'CHINOOK' CHINOOK HOPS | 1-GAL | 6' O.C. 8' HT. X 6' SPR. | LOW |
| 4 | (Symbol) | PHYCANTHIA COCINEA PHYCANTHIA | 1-GAL | 5' O.C. 10' HT. X 10' SPR. | LOW |
| ORNAMENTAL GRASSES | | | | | |
| 10 | (Symbol) | CALAMAGROSTIS A. KARL FOERSTER-GAL. KARL FOERSTER REED GRASS | 2' O.C. | 4' HT. X 2' SPR. | MED |
| 55 | (Symbol) | MISCANTHUS SPP. MAIDEN GRASS | 5-GAL | 5' O.C. 5' HT. X 5' SPR. | MED+ |
| 26 | (Symbol) | MULHBERGIA CAPILLARIS REGAL MIST | 1-GAL | 3' O.C. 3' HT. X 3' SPR. | MED |
| 54 | (Symbol) | PANICUM VIRSATUM SWITCH GRASS | 1-GAL | 3' O.C. 4' HT. X 3' SPR. | MED+ |
| 7 | (Symbol) | SPOROBOLUS WRIGHTII GIANT SACATON | 5-GAL | 7' O.C. 8' HT. X 7' SPR. | MED |
| ACCENTS | | | | | |
| 6 | (Symbol) | DASYLIRION WHEELERI SOTOL | 5-GAL | 4' O.C. 4' HT. X 4' SPR. | LOW |
| BOULDERS, MULCHES, AND TURF | | | | | |
| 34 | (Symbol) | MOSS ROCK BOULDERS (3'X3' MIN) | | | |
| 11,026 SF | (Symbol) | 1/4" GRAVEL MULCH, COLOR, BUILDLOGY BROWN (3" DEPTH OVER DENITT PRO-5 NEED CONTROL FABRIC) | | | |



CONCRETE PAVER AT TREE WELL Not to Scale

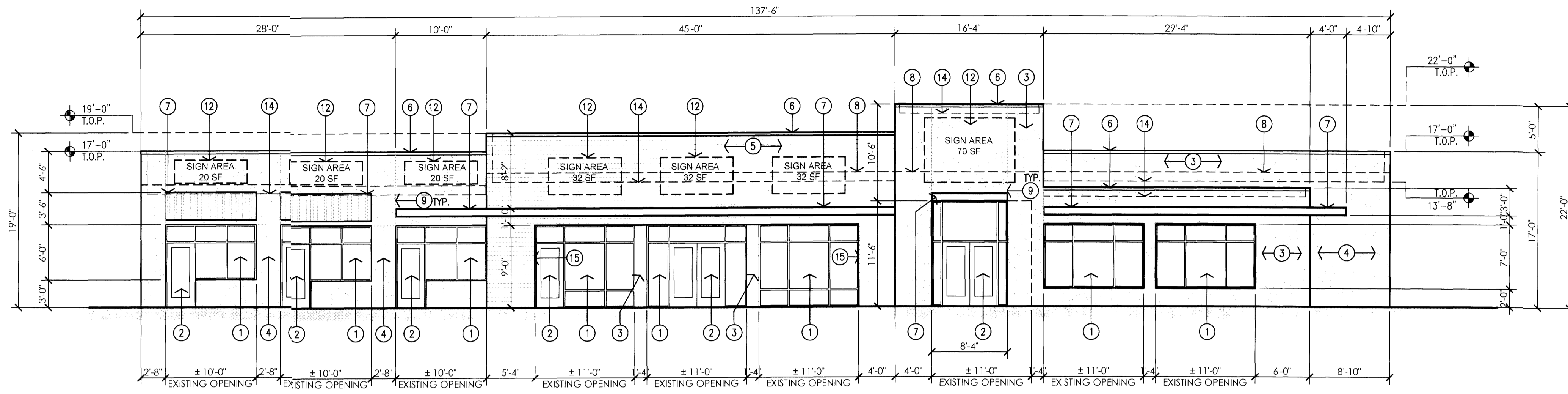
BACKFLOW PREVENTER Not to Scale

revision
by
scale
rev

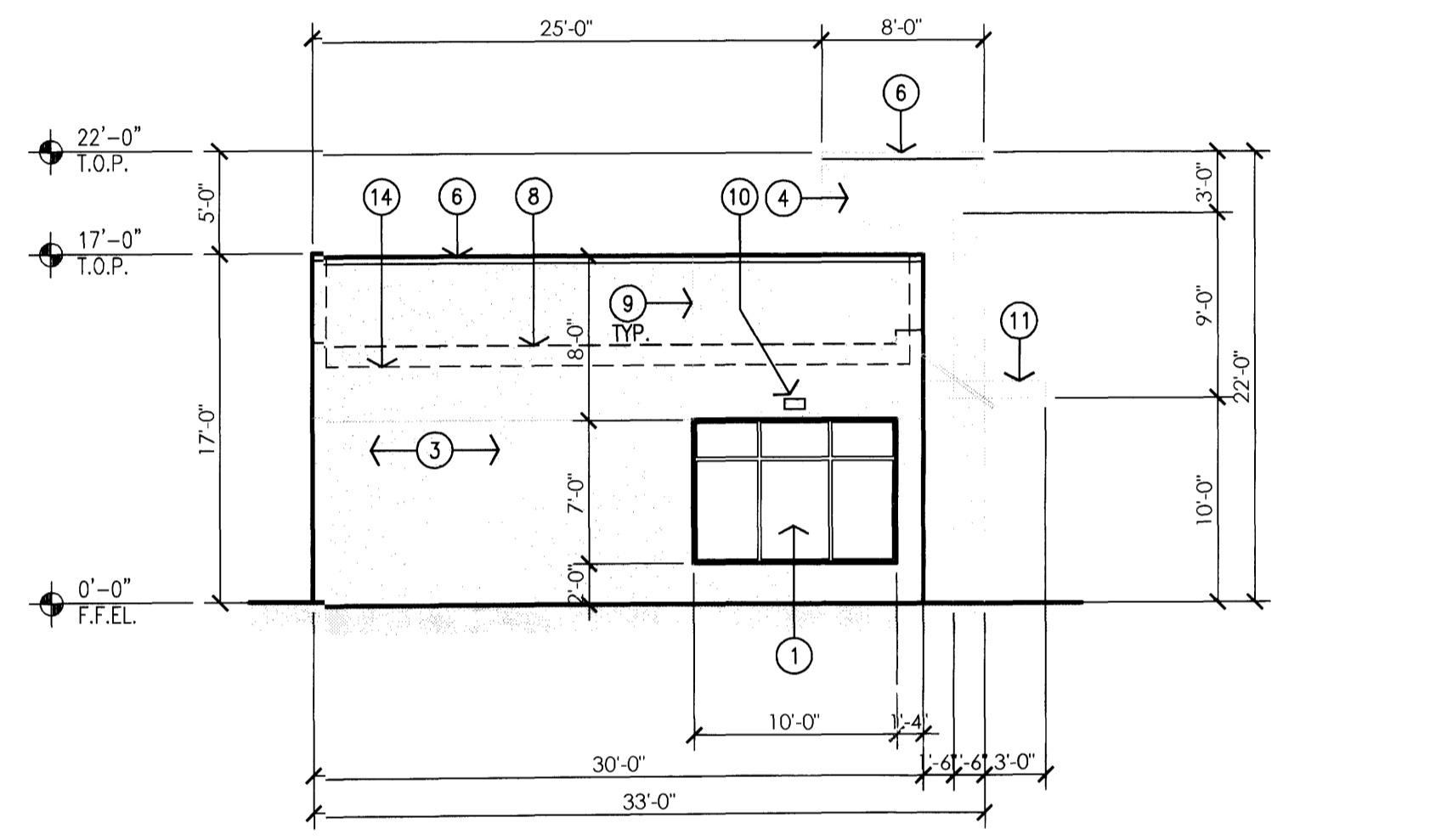
MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

job number
drawn by
project manager
date

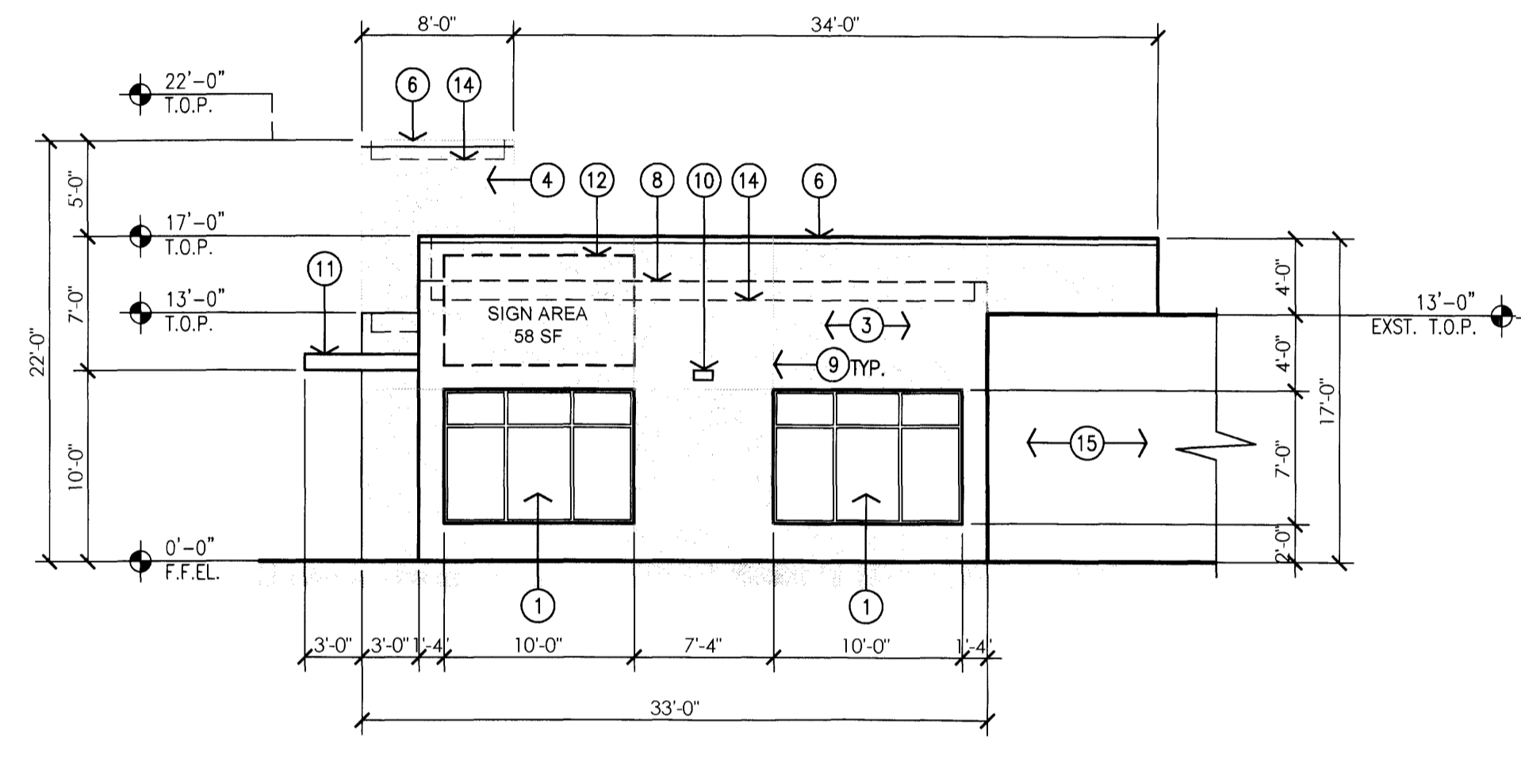
project title
Country Club Plaza Development
SW of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet title
Landscape Plan



1 Existing Building C - East Elevation
Scale 1/8" = 1'-0"



2 Existing Building C - South Elevation
Scale 1/8" = 1'-0"



3 Existing Building C - North Elevation
Scale 1/8" = 1'-0"

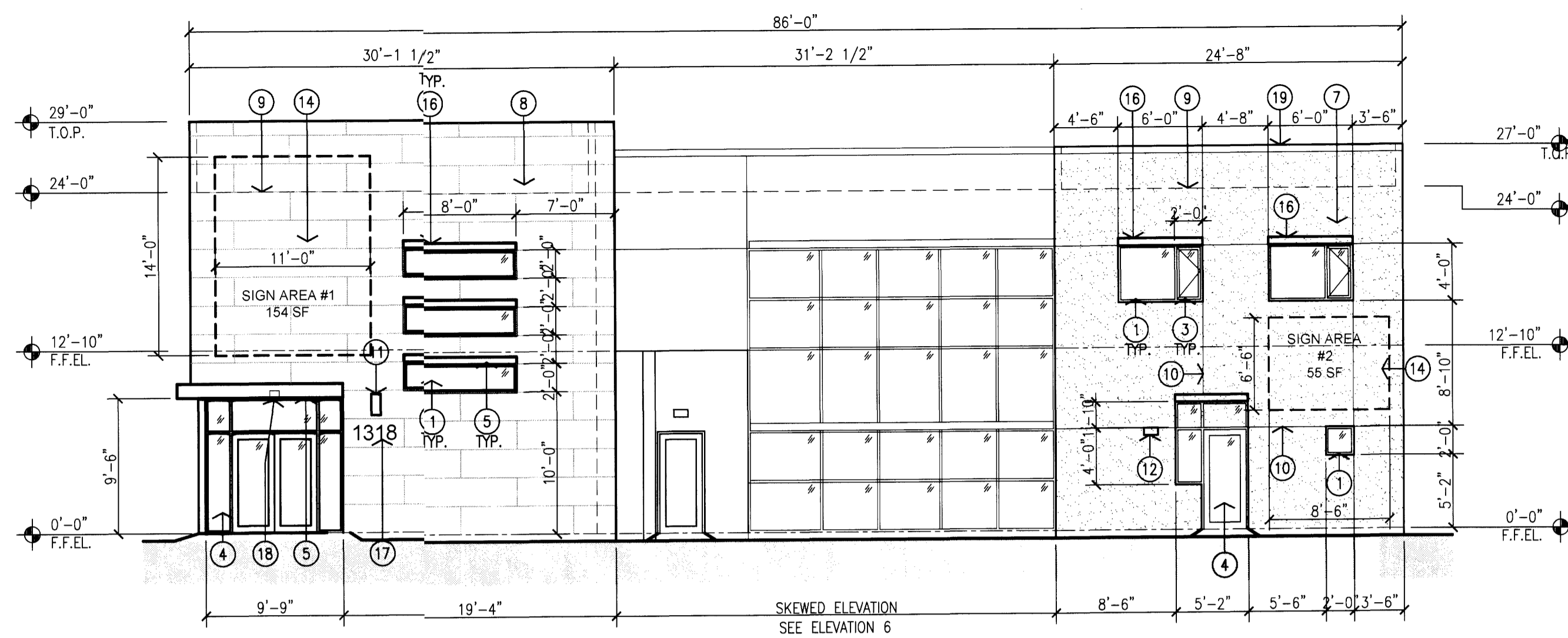
- GENERAL NOTES:
[A] MAIN ENTRY MAY BE RELOCATED DUE TO TENANT'S LAYOUT.
- KEYED NOTES:
[1] ALUMINUM STOREFRONT SYSTEM, DARK BRONZE FRAME WITH TINTED GLAZING.
[2] ALUMINUM STOREFRONT DOOR, DARK BRONZE FRAME WITH TINTED GLAZING.
[3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN.
[4] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: MEDIUM TAN.
[5] SYNTHETIC WOOD PLANK SIDING, COLOR: NATURAL LIGHT WOOD.
[6] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP COLOR TO MATCH ADJACENT STUCCO/WOOD SIDING.
[7] METAL CANOPY, COLOR: TERRACOTTA OR GRAY.
[8] LINE OF EXISTING PARAPET, EXTEND PARAPET HEIGHT AS INDICATED ON DRAWINGS.
[9] STUCCO CONTROL JOINT, TYPICAL.
[10] EXTERIOR WALL PACK.
[11] NEW METAL CANOPY BEYOND.
[12] NEW AREA OF INDIVIDUALLY ILLUMINATED CHANNEL LETTER SIGNAGE.
[13] EXISTING BUILDING TO REMAIN.
[14] LINE OF ROOF BEYOND.
[15] WRAP WOOD SIDING ON ALL INTERIOR FACES OF RECESSED ENTRY AND STOREFRONT.

EXISTING BUILDING C
SIGNAGE CALCULATIONS:
BUILDING MOUNTED:
EAST ELEVATION - 2510 SF x 9%
226 SF ALLOWED
226 SF ILLUMINATED PROVIDED
NORTH ELEVATION - 637 SF x 9%
58 SF ALLOWED
58 SF ILLUMINATED PROVIDED

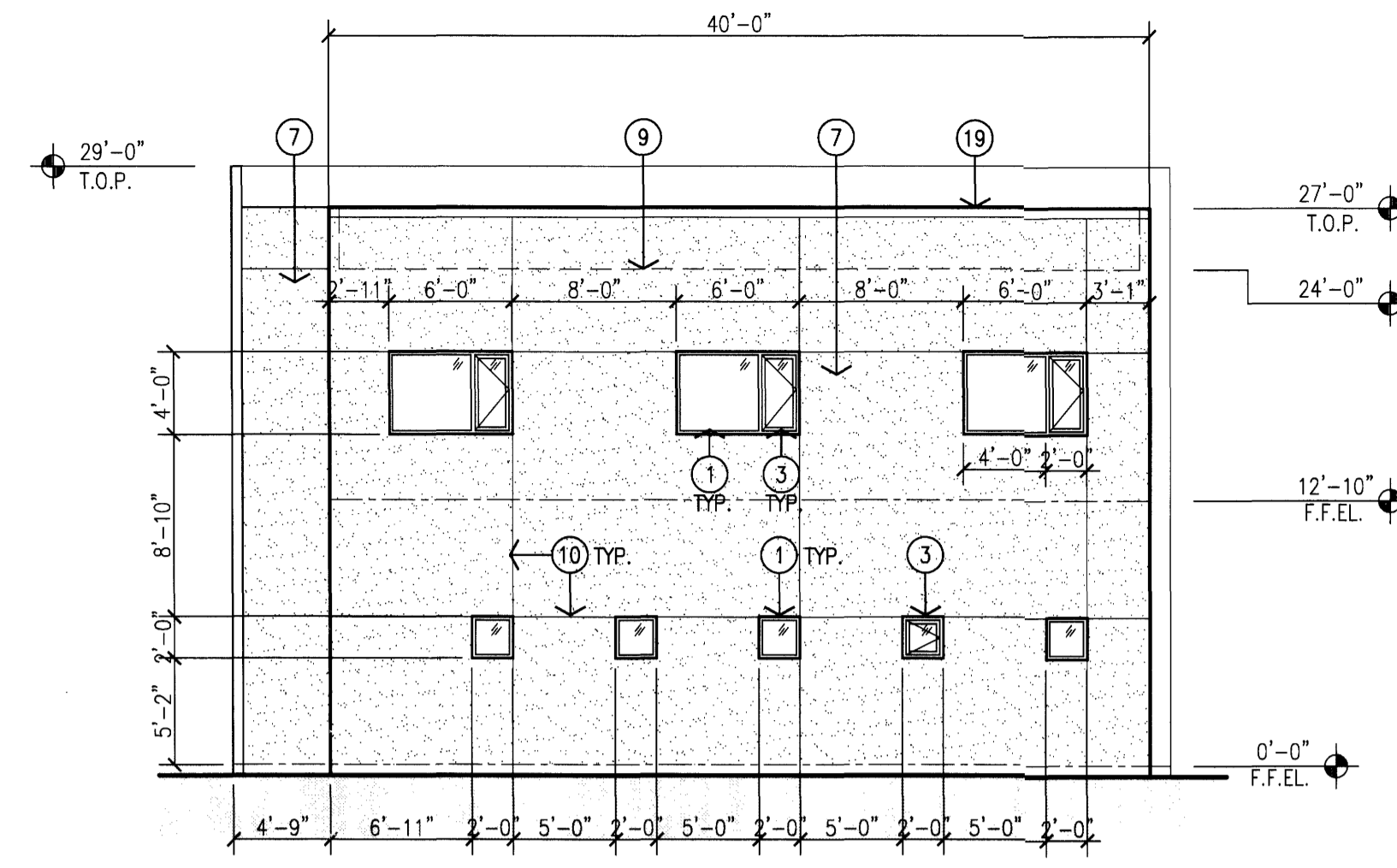
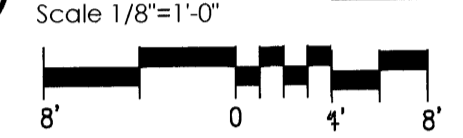
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

| | |
|-----------------|------------------|
| job number | 12-11 |
| drawn by | S.J. NWS, AIA |
| project manager | DOUG HELLER, AIA |
| date | 09/26/2013 |

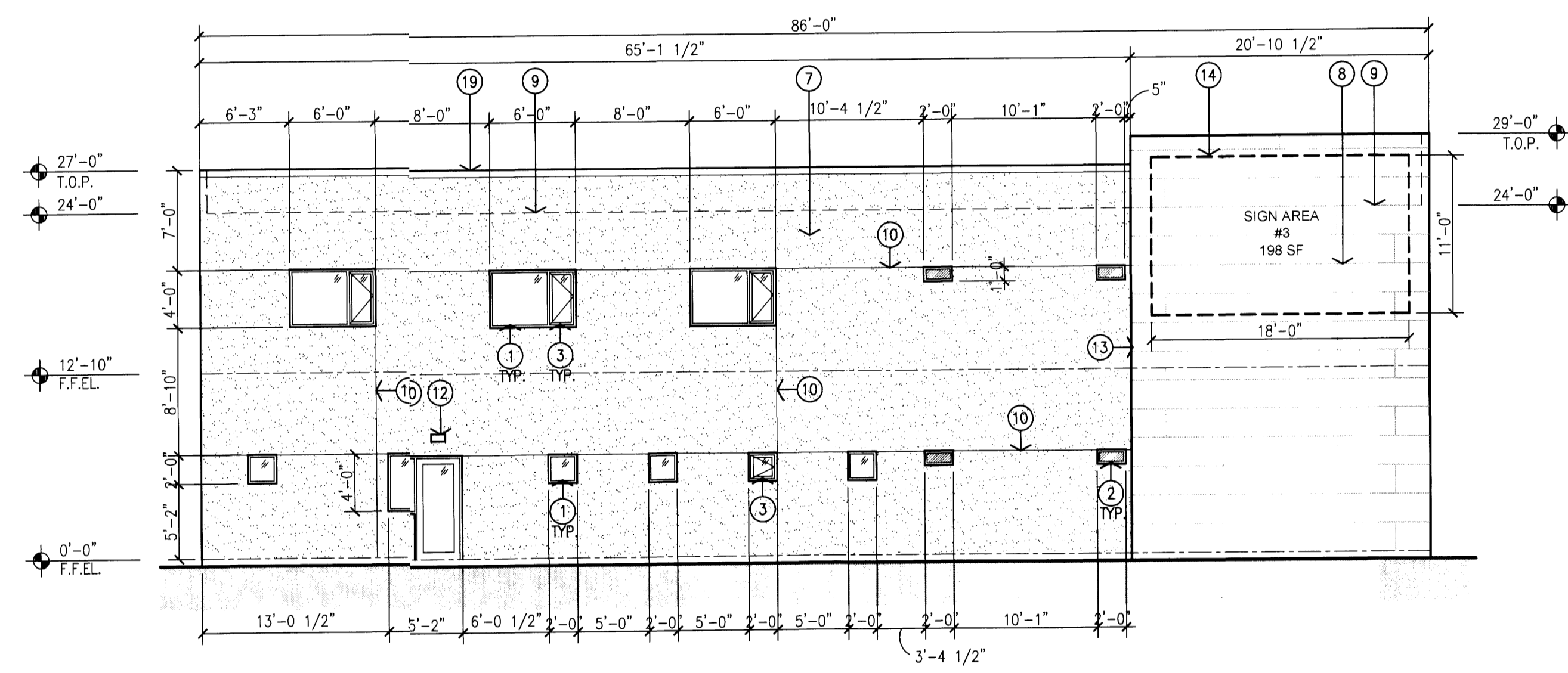
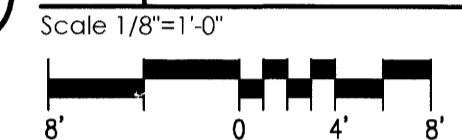
project title
Country Club Plaza
SWC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet title
Exterior Elevations - Existing Building C



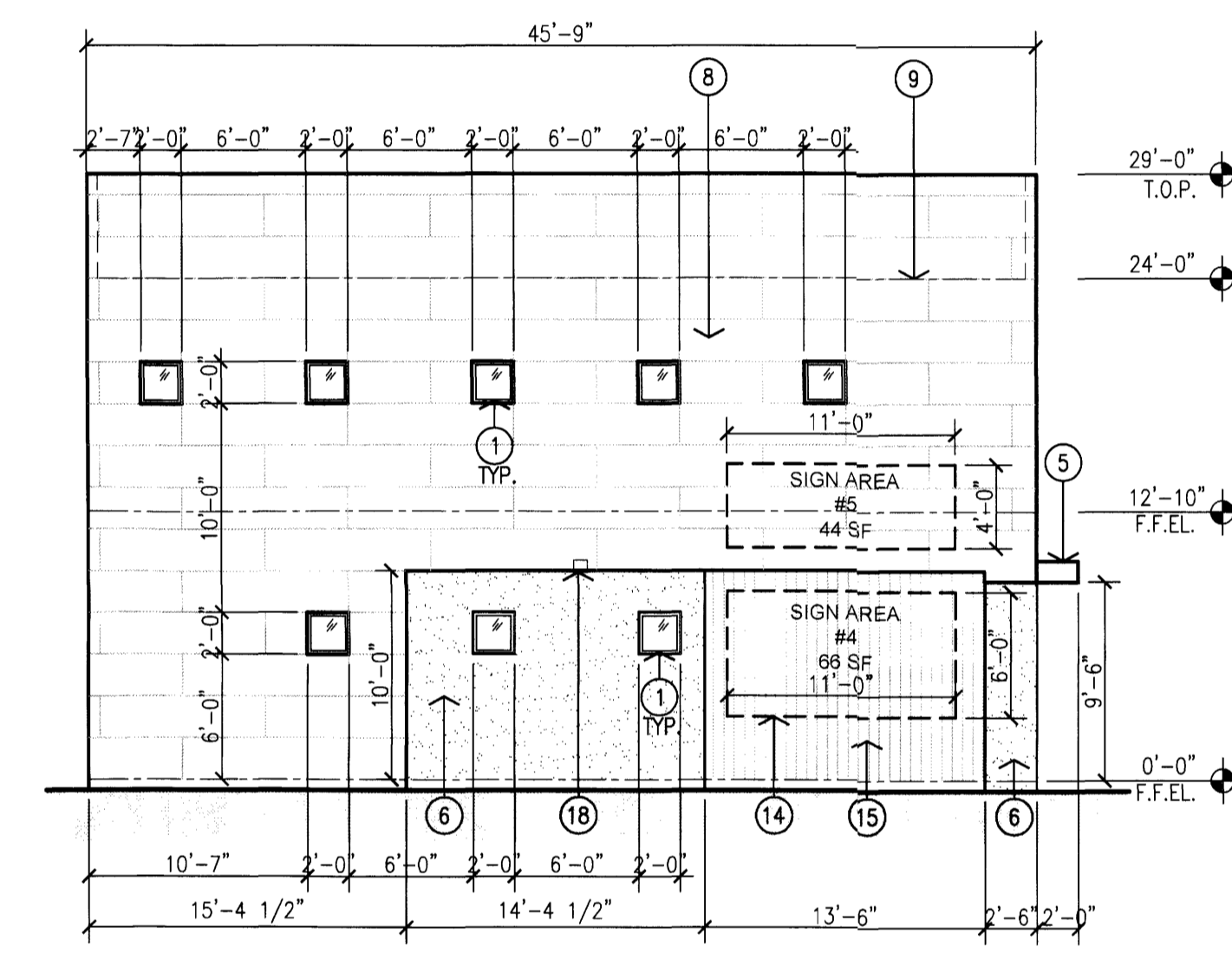
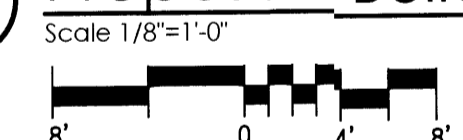
1 Proposed Building 1 - South Elevation



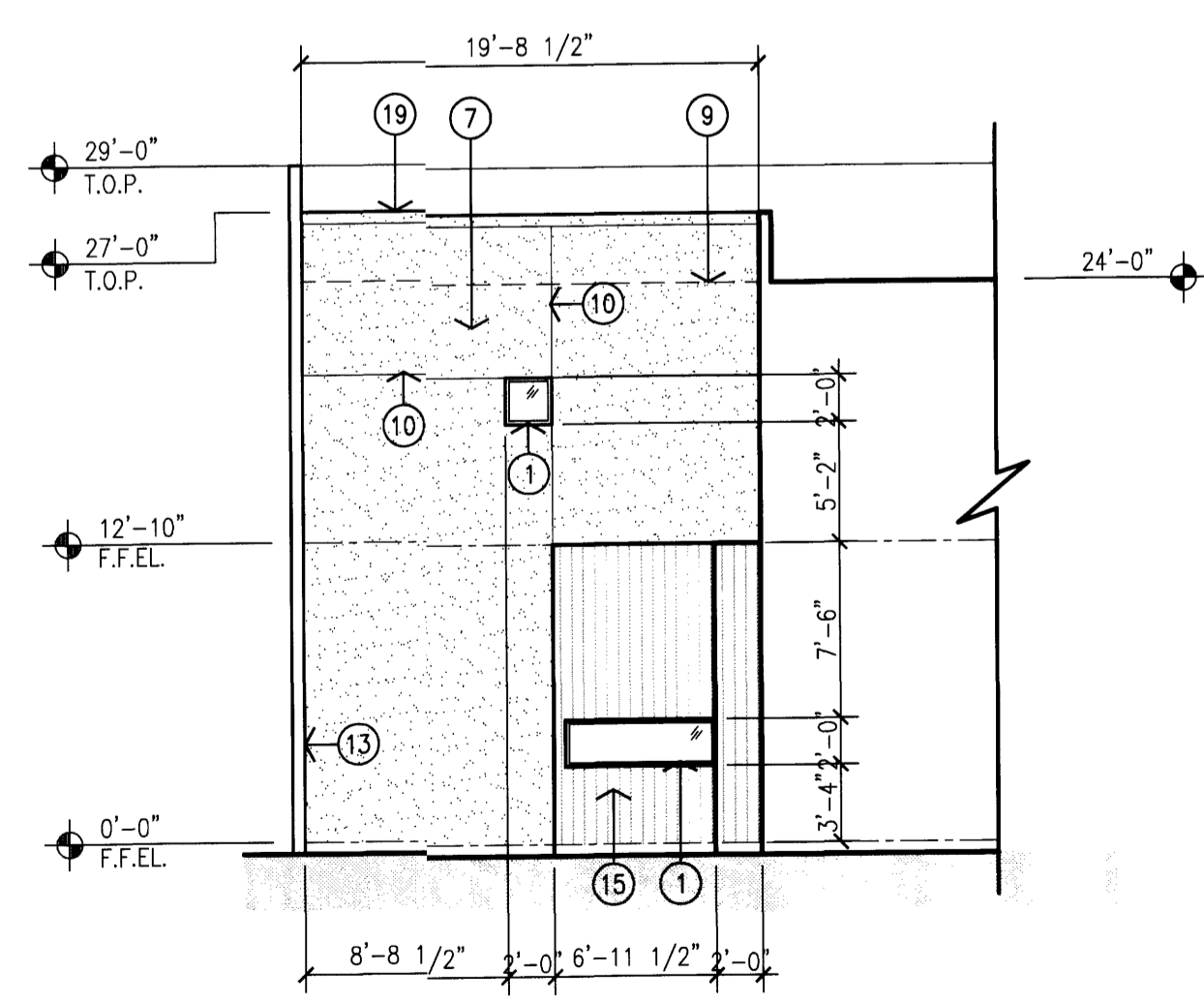
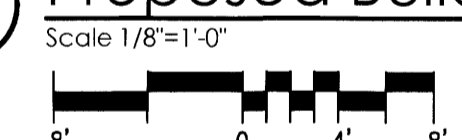
2 Proposed Building 1 - East Elevation



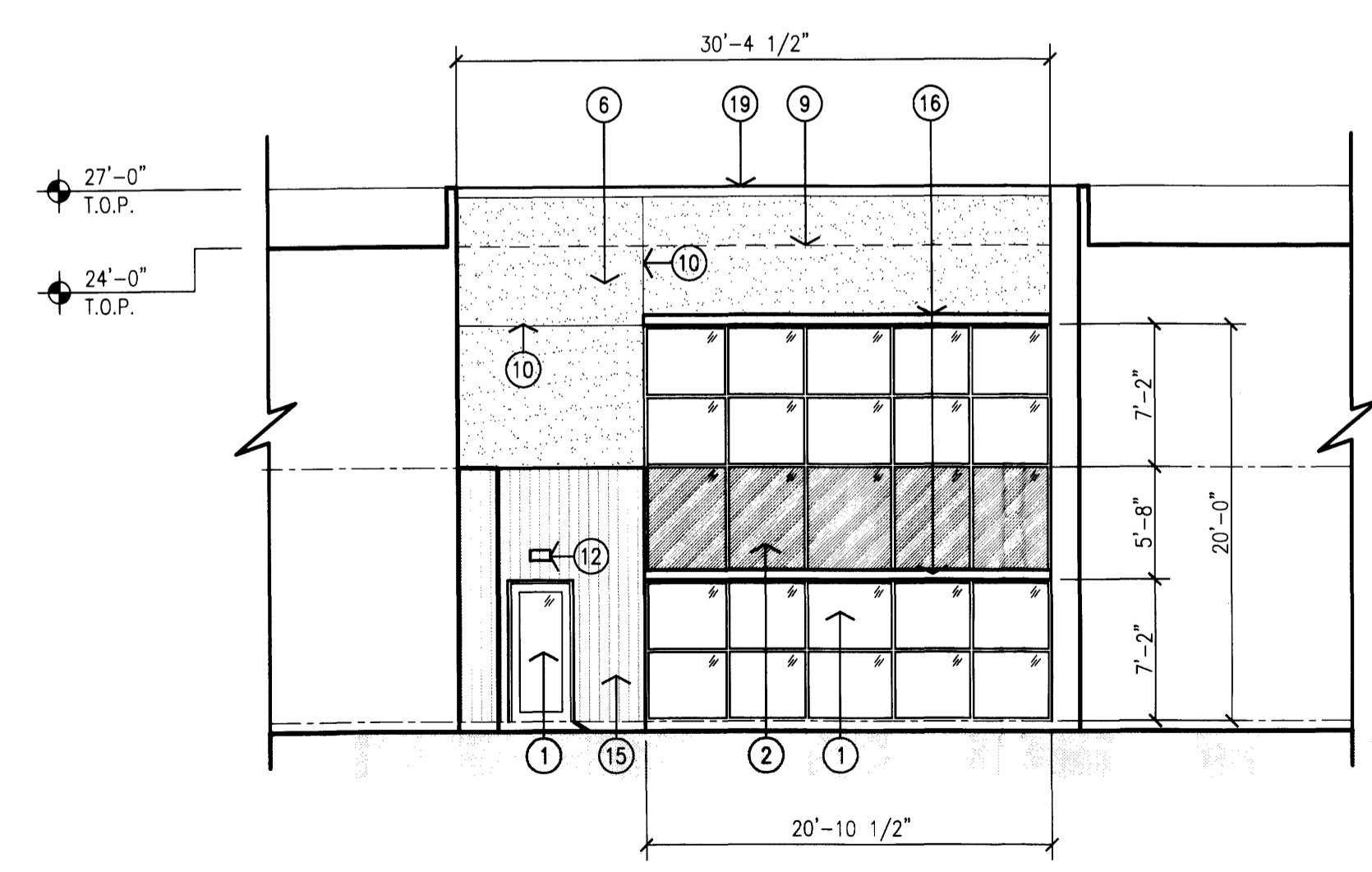
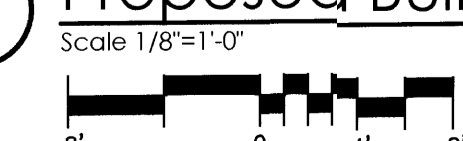
3 Proposed Building 1 - North Elevation



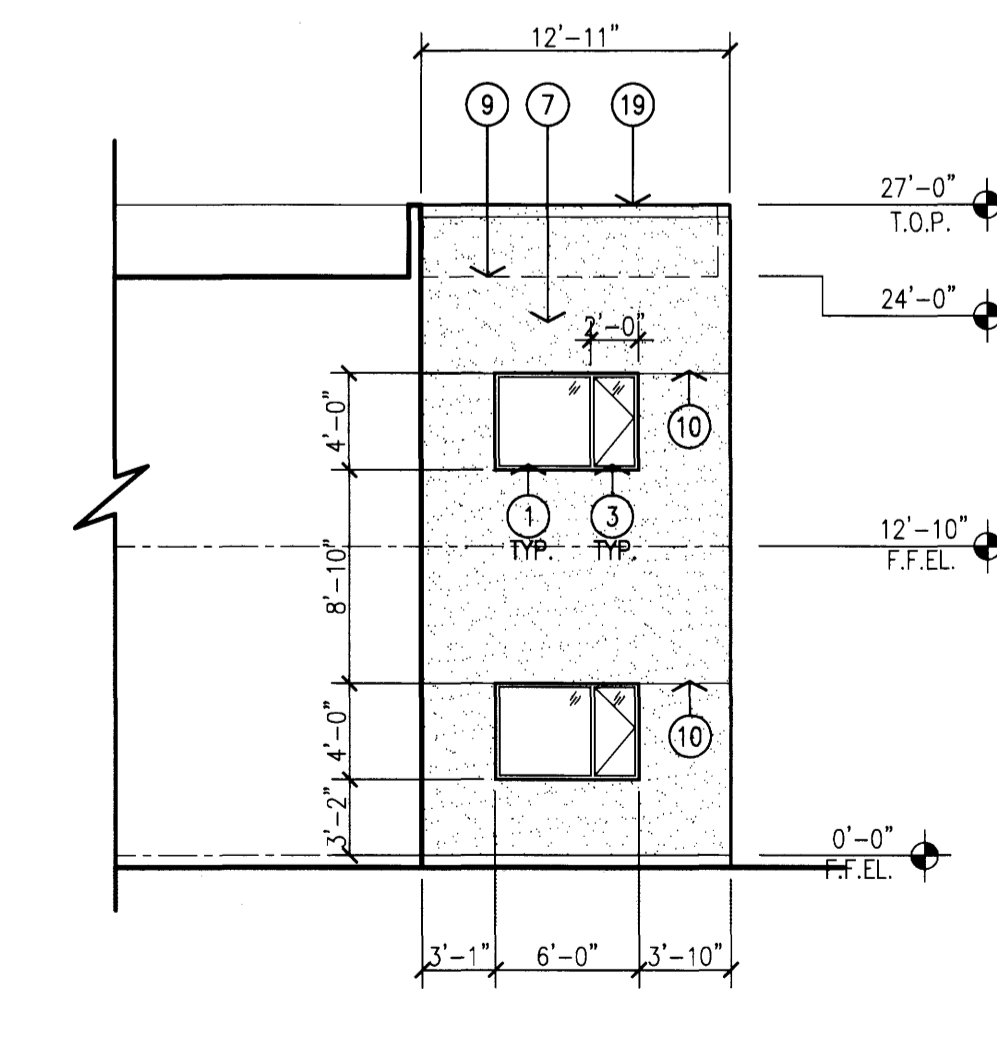
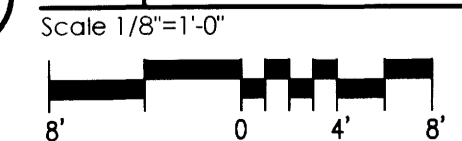
4 Proposed Building 1 - West Elevation



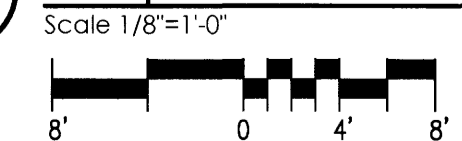
5 Proposed Building 1 - Courtyard West Elevation



6 Proposed Building 1 - Courtyard South Elevation



7 Proposed Building 1 - Courtyard East Elevation



- KEYED NOTES:
- [1] ALUMINUM STOREFRONT FIXED WINDOW, DARK BRONZE FRAME WITH TINTED GLAZING.
 - [2] ALUMINUM STOREFRONT FIXED WINDOW, DARK BRONZE FRAME WITH TRANSLUCENT GLAZING.
 - [3] ALUMINUM STOREFRONT DOUBLE CASEMENT WINDOW, DARK BRONZE FRAME WITH TINTED GLAZING.
 - [4] ALUMINUM STOREFRONT SYSTEM, DARK BRONZE FRAME WITH TINTED GLAZING.
 - [5] ROOF CANOPY WITH STUCCO SOFFIT.
 - [6] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: GREEN TONE.
 - [7] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN.
 - [8] METAL WALL PANELS, CUSTOM PATTERN. COLOR: TERRACOTTA OR GRAY.
 - [9] LINE OF ROOF BEYOND.
 - [10] STUCCO CONTROL JOINT, TYPICAL.
 - [11] DECORATIVE WALL MOUNTED LIGHT FIXTURE.
 - [12] EXTERIOR WALL PACK.
 - [13] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR TO MATCH WALL PANELS.
 - [14] NEW AREA OF INDIVIDUALLY ILLUMINATED CHANNEL LETTER SIGNAGE.
 - [15] SYNTHETIC WOOD PLANK SIDING, COLOR: NATURAL LIGHT WOOD.
 - [16] METAL CANOPY, COLOR: TERRACOTTA OR GRAY.
 - [17] 12" HIGH ADDRESS CHANNEL LETTERS.
 - [18] RECESSED SOFFIT LIGHTING.
 - [19] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP TO MATCH STUCCO COLOR.

BUILDING 1
SIGNAGE CALCULATIONS:
BUILDING MOUNTED:
SOUTH ELEVATION- 858 + 641 = 2377 SF x 9%
214 SF ALLOWED
NORTH ELEVATION- (#1)154 + (#2)55 = 209 SF ILLUMINATED PROVIDED
2363 SF x 9%
212.67 SF ALLOWED
WEST ELEVATION- (#3) 198 SF ILLUMINATED PROVIDED
1504 SF x 9%
117.4 SF ALLOWED
(#4)66 + (#5)44 = 110 SF ILLUMINATED PROVIDED

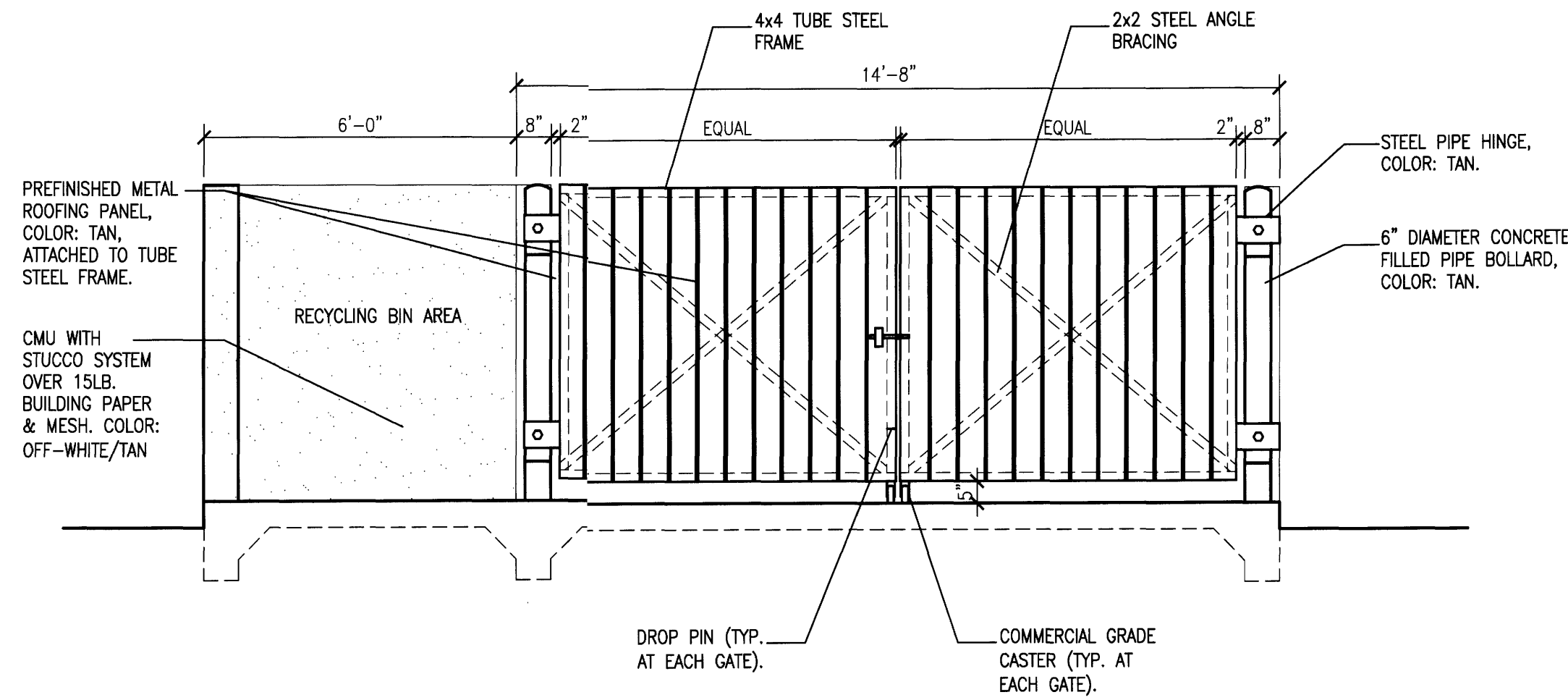
| rev | date | by | revision |
|-----|------|----|----------|
| | | | |



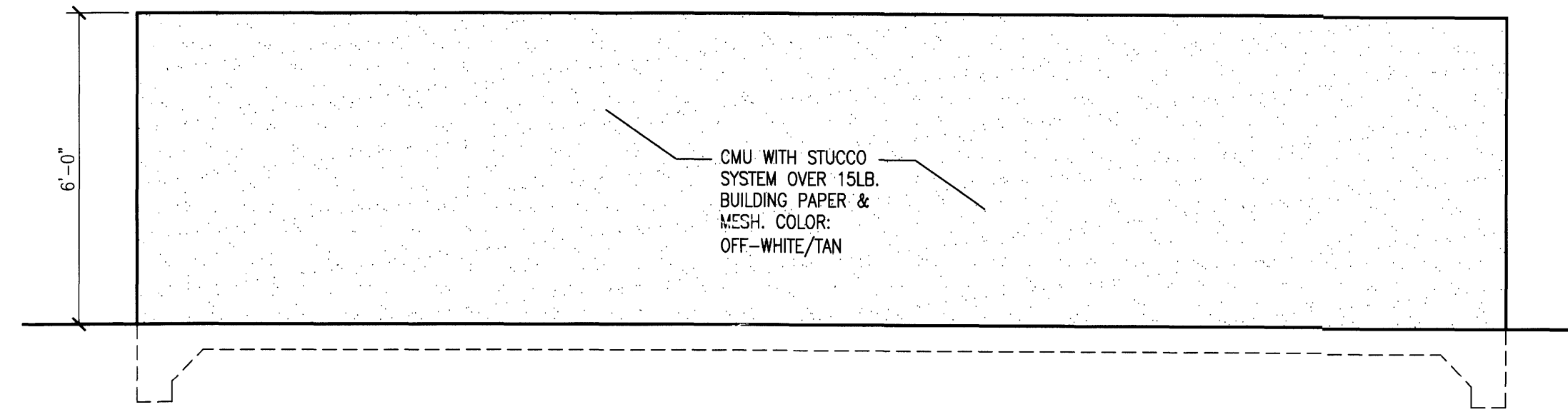
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

| job number | drawn by | project manager | date |
|------------|---------------|------------------|------------|
| 12-11 | S.J. AWS, AIA | Doug Heller, AIA | 09/26/2013 |

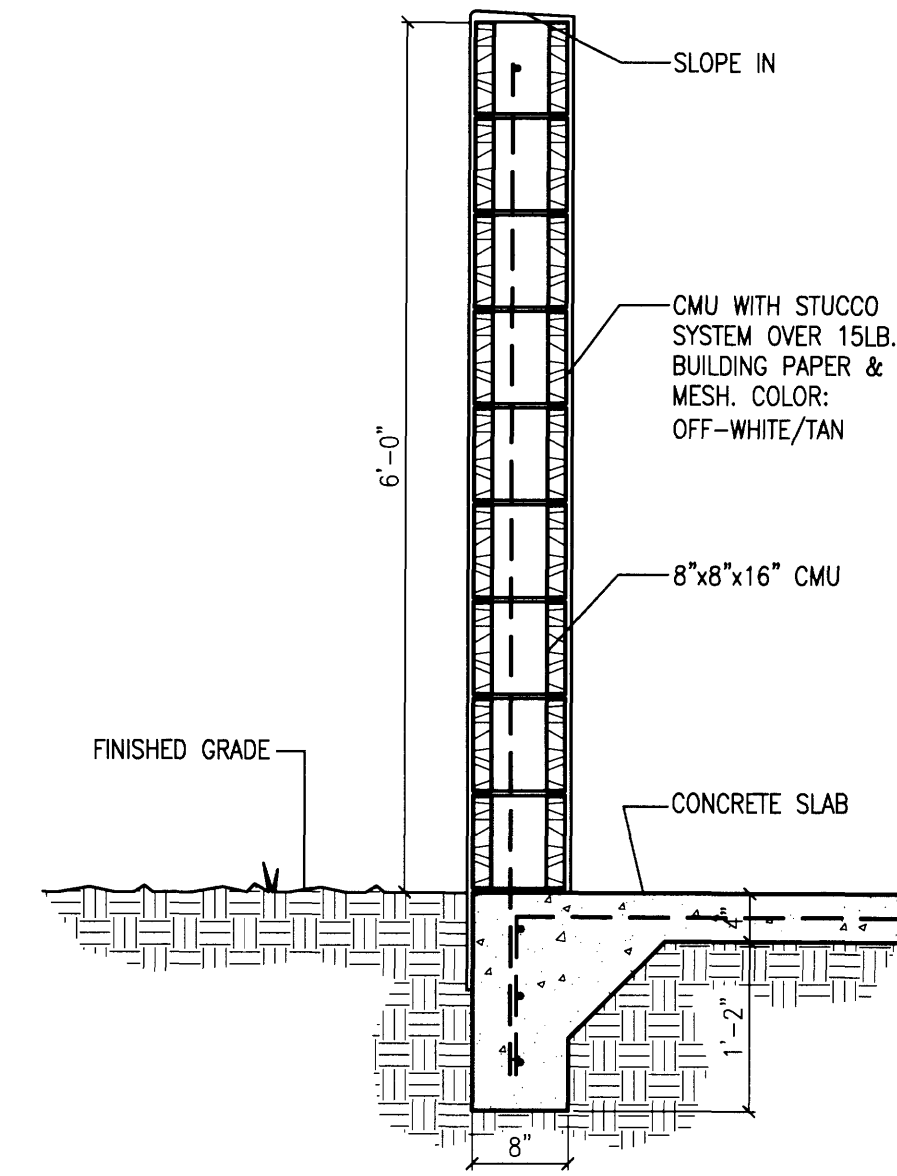
project title
Country Club Plaza
SVC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet title
Exterior Elevations - Proposed Building 1



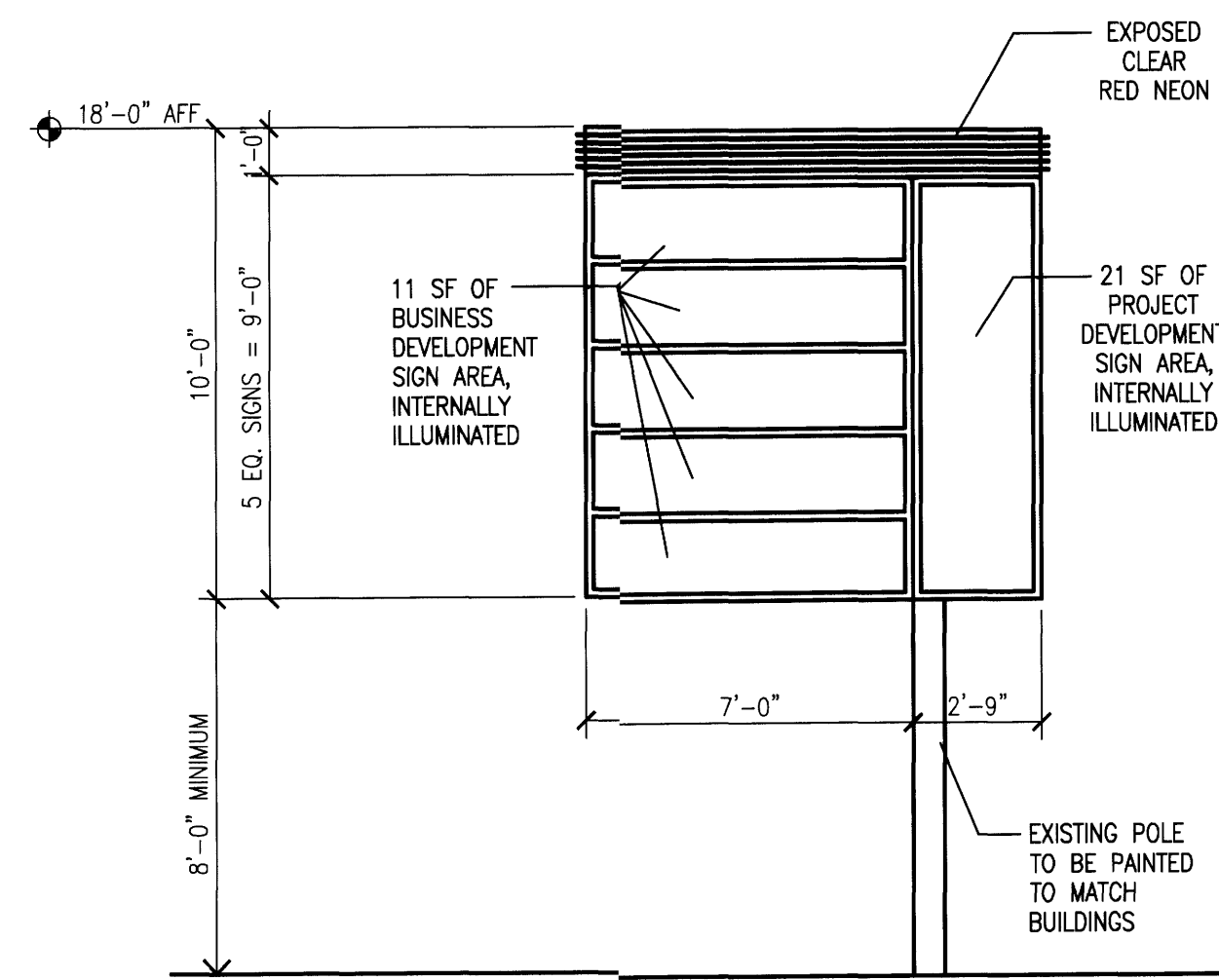
1 Refuse Enclosure Front Elevation
Scale: 3/8" = 1'-0"



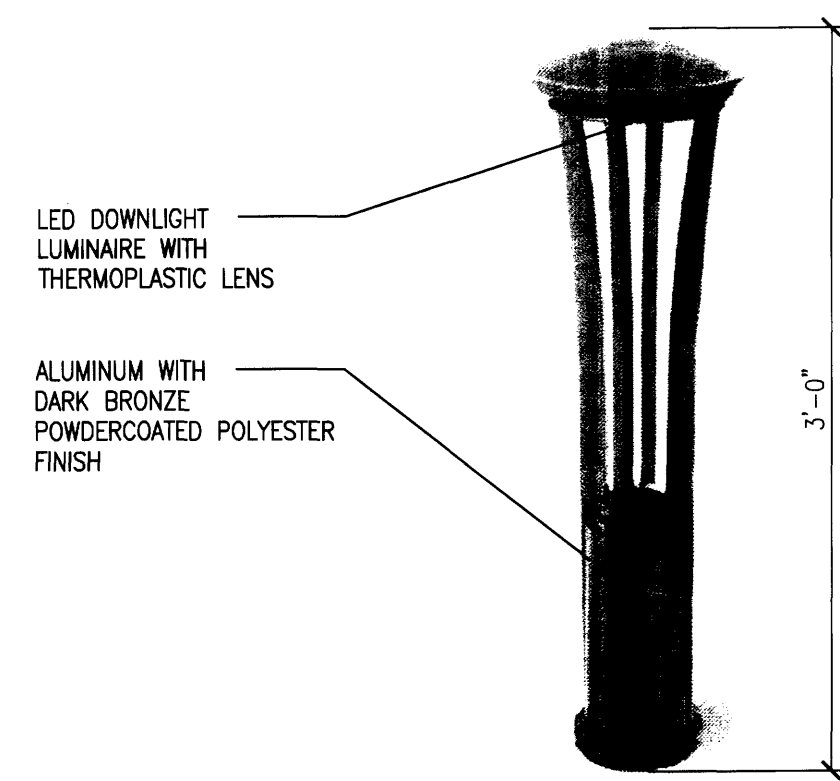
2 Refuse Enclosure Typ. Side Elevation
Scale: 3/8" = 1'-0"



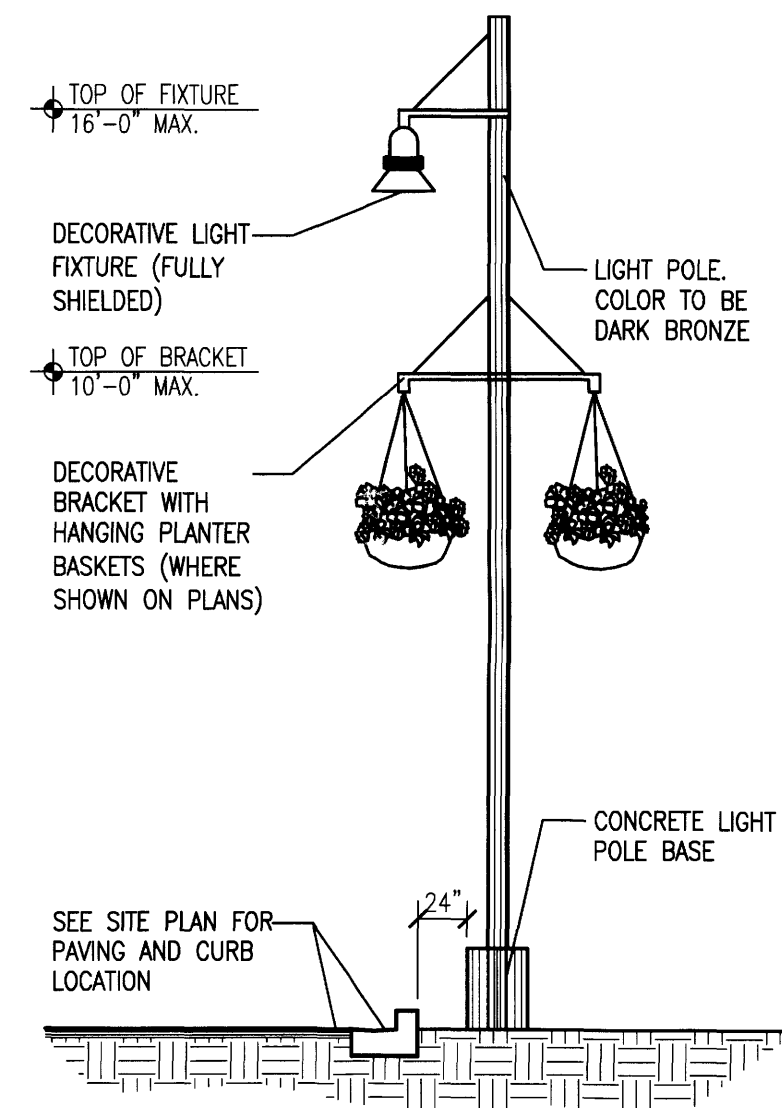
3 Refuse Enclosure Wall Section
Scale: 1" = 1'-0"



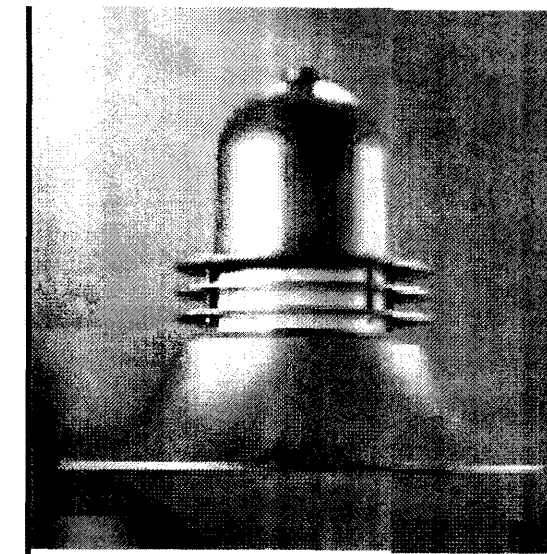
4 Pole Sign Detail
Scale: 1/4" = 1'-0"



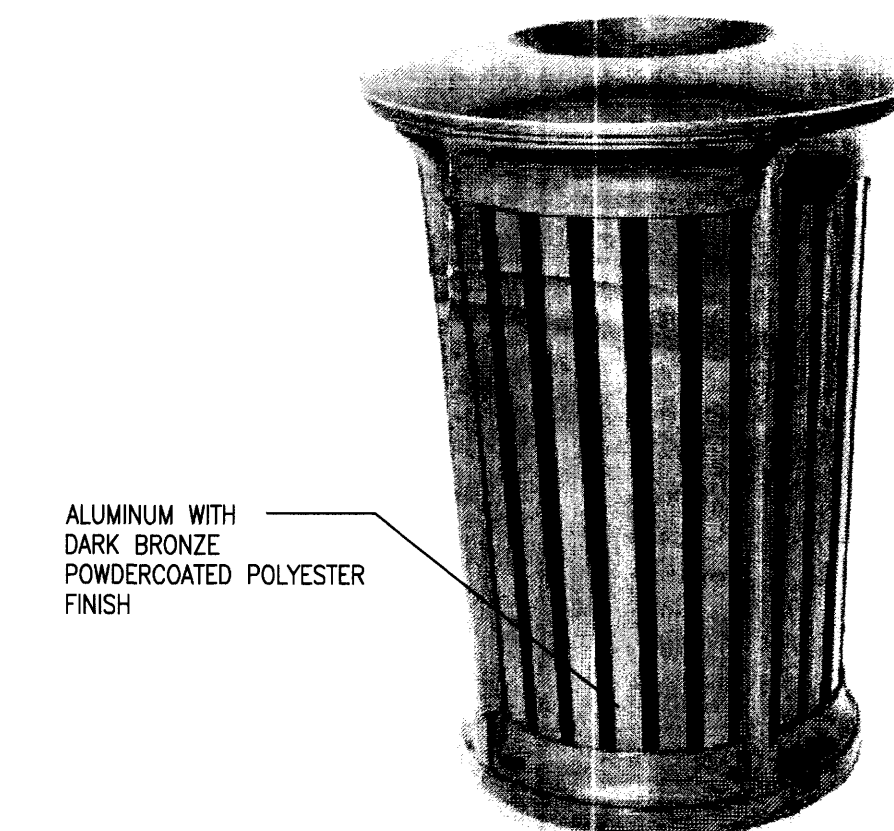
5 Light Bollard Detail
Scale: Not to Scale



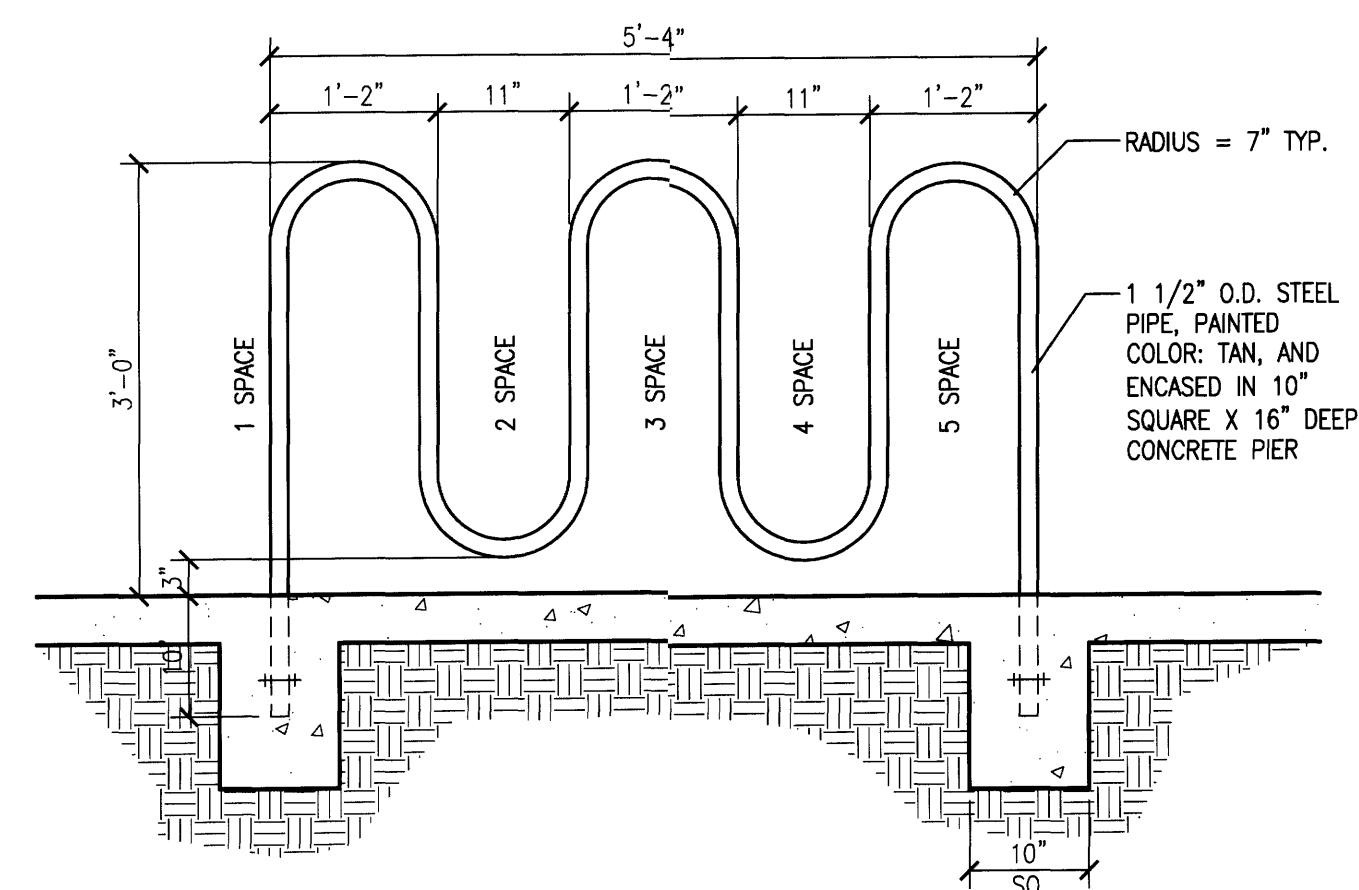
6 Site Lighting Elevation
Scale: Not to Scale



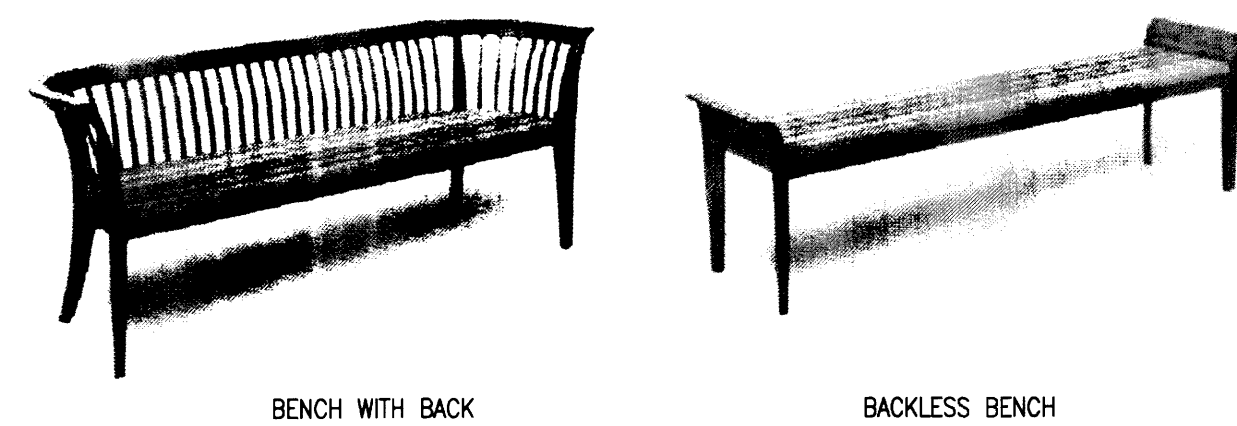
DETAIL OF SITE LIGHT FIXTURE



7 Typical Site Litter/Recycling Receptacle
Scale: Not to Scale



8 Typical Bicycle Rack Detail
Scale: 3/4" = 1'-0"



9 Bench Detail - 6' Long (min.)
Scale: Not to Scale

SECTION 14-16-3-18 (C)(3) - FACADES GREATER THAN 100 FEET IN LENGTH:
1 SEAT PER 25 LINEAR FEET OF BUILDING FACADE.

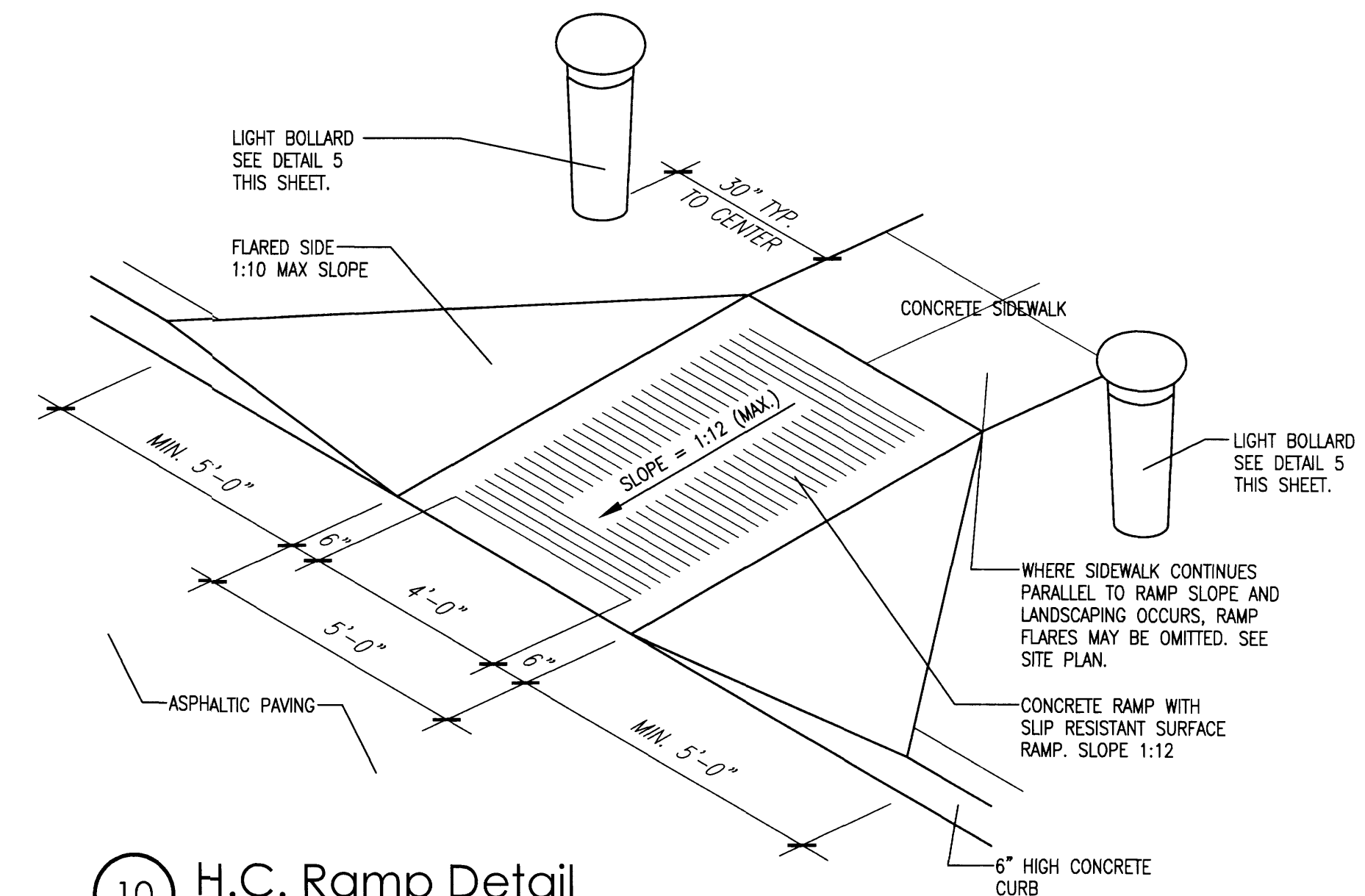
BUILDING C
137'-6" OF BUILDING FACADE / 25 = 6 SEATS REQUIRED
(EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.)

TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED
(SEE SHEET 1)

BUILDING A, B, 1 AND 3
NOT APPLICABLE

BUILDING 2

BENCH REQUIREMENTS FOR BUILDING 2 WILL BE DETERMINED UNDER DRB.



10 H.C. Ramp Detail
Scale: Not to Scale (Isometric)

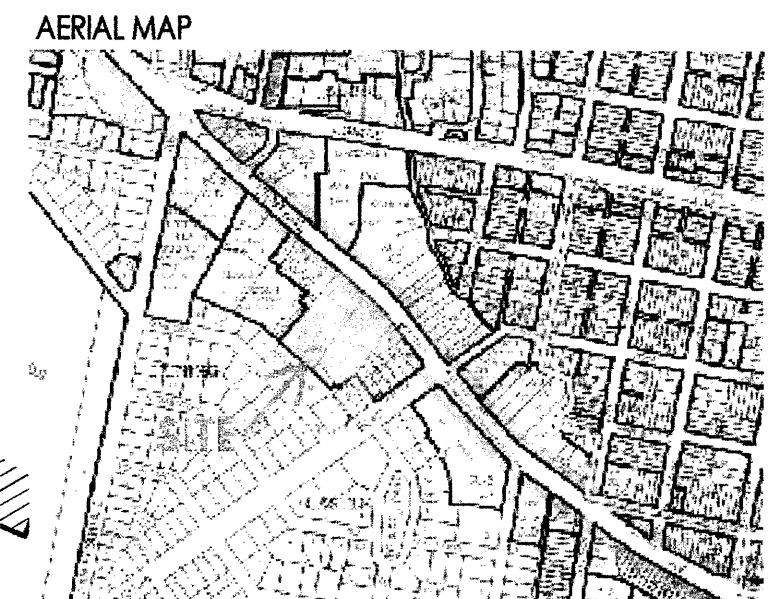
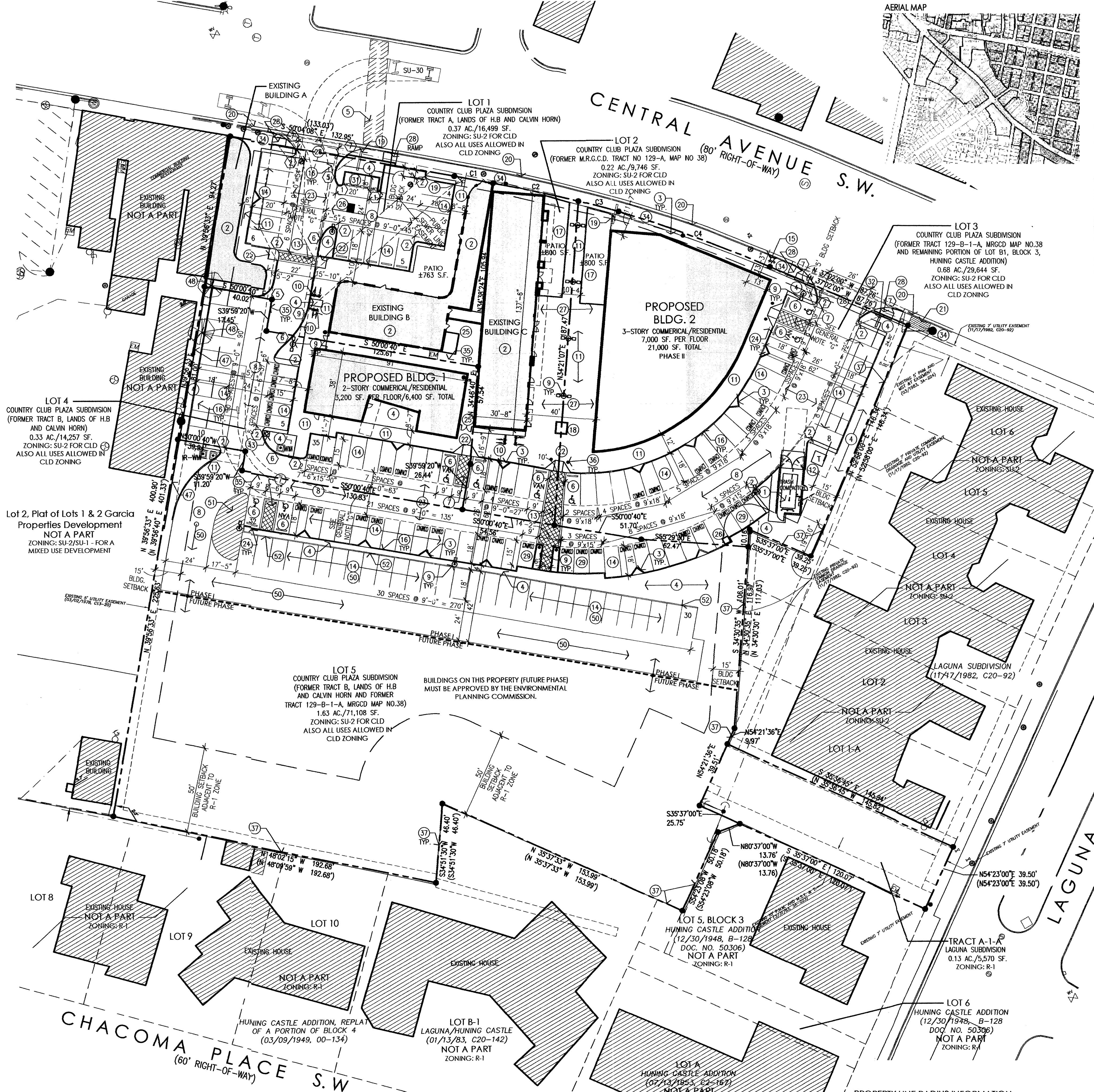
| | |
|----------|---|
| revision | |
| by | |
| date | |
| rev | 3 |



Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

| | |
|-----------------|-------------------|
| job number | 12-11 |
| drawn by | S.J. MWS, A.V. |
| project manager | Doug Heller, AIA. |
| date | 09/26/2013 |

Country Club Plaza
SVC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102



PARKING CALCULATIONS: PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE

| General Land Use Classification | Weekdays | | | Weekends | | |
|---------------------------------|-----------------|------------|-----------------|-----------------|------------|-----------------|
| | midnight to 7am | 7am to 4pm | 4pm to midnight | midnight to 7am | 7am to 4pm | 4pm to midnight |
| Office | 0% | 100% | 5% | 0% | 10% | 0% |
| Restaurants | 0% | 80% | 100% | 0% | 60% | 100% |
| Retail | 0% | 80% | 50% | 0% | 100% | 10% |
| Residential | 100% | 20% | 100% | 100% | 80% | 100% |

Parking Calculations for Required Number of Spaces

| Land Use | Area/Number of Units | Parking Requirements | Required parking |
|-----------------------|----------------------|----------------------|------------------|
| Office - First Floor | 3200 | 200 /ft | 16 |
| Office - Second Floor | 3200 | 300 /ft | 11 |
| Restaurants | 3600 * | 45 /ft | 80 |
| Retail | 9,583 | 200 /ft | 48 |
| Residential | 25 | 1 **/unit | 25 |

General Land Use Classification

| General Land Use Classification | Weekdays | | | Weekends | | |
|---------------------------------|-----------------|------------|-----------------|-----------------|------------|-----------------|
| | midnight to 7am | 7am to 4pm | 4pm to midnight | midnight to 7am | 7am to 4pm | 4pm to midnight |
| Office | 0 | 27 | 1 | 0 | 3 | 0 |
| Restaurants | 0 | 64 | 80 | 0 | 48 | 80 |
| Retail | 0 | 38 | 24 | 0 | 48 | 5 |
| Residential | 25 | 5 | 25 | 25 | 20 | 25 |

Total Number of Spaces

| Required per time period | 25 | 134 | 130 | 25 | 119 | 110 |
|--------------------------|----|-----|-----|----|-----|-----|
| Total Number of Spaces | | | | | | |
| Required per time period | | | | | | |

Peak Parking Requirement 134 spaces
Less 10% bus time credit 121 spaces required
Parking Provided 135 spaces

PARKING CALCULATIONS: SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1). APPENDIX J. THE ABOVE TABLE ASSUMES USES OF THE FUTURE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT) AS WELL AS THE TOTAL NUMBER OF RESIDENTIAL UNITS. ONCE THE USES/NUMBER OF UNITS ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATE THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 134.

SITE DEVELOPMENT DATA:
PROPOSED LEGAL DESCRIPTION:
 LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:
 BLDG. A AND B (EXISTING): 1720 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.
 BLDG. C (EXISTING): 1710 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.

LAND AREA: 3.37 ACRES (146,975 SQ. FT.)
CURRENT ZONING: SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.
ZONE ATLAS PAGE: J-13-2
DEVELOPMENT PHASING: PHASE I

PHASE I WILL INCLUDE THE RENOVATION OF THE EXISTING BUILDINGS A, B & C, THE PARKING LOT ON LOT 1, THE CONSTRUCTION OF PROPOSED BUILDING 1 AND THE MAIN DRIVE ASLE AND RELATED PARKING FROM THE SOUTH SIDE OF LOT 1 OUT TO CENTRAL AVENUE ON THE EAST SIDE OF LOT 3.

PHASE II WILL INCLUDE THE CONSTRUCTION OF BUILDING 2.
FUTURE PHASE: CONSTRUCTION OF BUILDINGS ON LOT 5 ONCE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.

PROPOSED USES:
 - ALL USES PERMITTED IN THE CLD ZONES FOR LOTS 1 THRU 5
 - ALL USES PERMITTED IN THE R-1 ZONES

BUILDING AREAS:
 EXISTING BUILDING A 1,467 SF.
 EXISTING BUILDING B 2,900 SF.
 EXISTING BUILDING C 4,216 SF.
 PROPOSED BUILDING 1 6,400 SF. TOTAL
 PROPOSED BUILDING 2 21,000 SF. TOTAL
 TOTAL BUILDING AREA = 35,983 SF.

TOTAL PROPOSED RESIDENTIAL UNITS: 25 TOTAL UNITS
SITE DEVELOPMENT GENERAL NOTES:

- [A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.
- [B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.
- [C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [F] ALL ABANDONED DRIVEPADS IN THE COA-ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.
- [G] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

SITE DEVELOPMENT SITE LIGHTING NOTES:
 [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
 [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
 [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
 [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

RADIUS INFORMATION:
 (1) = 2'-0" (5) = 10'-0" (9) = 35'-0"
 (2) = 3'-0" (6) = 15'-0" (10) = 40'-0"
 (3) = 4'-0" (7) = 25'-0" (11) = 46'-0"
 (4) = 5'-0" (8) = 30'-0"

KEYED NOTES:
 (1) PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 3.
 (2) EXISTING BUILDING TO REMAIN.
 (3) PROPOSED TREE WELL, TYPICAL. SEE LANDSCAPING.
 (4) PROPOSED LANDSCAPING.
 (5) EXISTING CROSSWALK STRIPING.
 (6) PROPOSED HANDICAP PAVEMENT SIGN.
 (7) PROPOSED STAMPED COLORED CONCRETE HANDICAP ASLE.
 (8) PROPOSED ASPHALT PAVING.
 (9) PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
 (10) PROPOSED BIKE RACK WITH 5 SPACES.
 (11) PROPOSED CONCRETE SIDEWALK.
 (12) PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
 (13) PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
 (14) PROPOSED PAINTED PARKING STRIPING.
 (15) EXISTING FIRE HYDRANT TO BE REMAIN.
 (16) PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
 (17) CONCRETE PATIO WITH TUBE STEEL FENCING. WATER/LANDSCAPING FEATURE. SEE LANDSCAPING.
 (18) EXISTING POLE SIGN TO BE RECONSTRUCTED. EXISTING CITY CURB AND GUTTER.
 (19) EXISTING BUS STOP TO REMAIN.
 (20) PROPOSED HANDICAP RAMP.
 (21) PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
 (22) PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7, "VAN" WHERE NOTED.
 (23) PROPOSED CONCRETE RECEIVING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).
 (24) PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE.
 (25) PROPOSED PLAZA WITH BENCH SEATING AND WATER FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.
 (26) PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
 (27) COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
 (28) PROPOSED STUCCO RETAINING WALL. SEE CIVIL.
 (29) PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
 (30) PROPOSED 100 SF. POLE SIGN. SEE SHEET 7.

PROJECT NUMBER: 1004677 APPLICATION NUMBER: 13EPC-40139
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: October 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

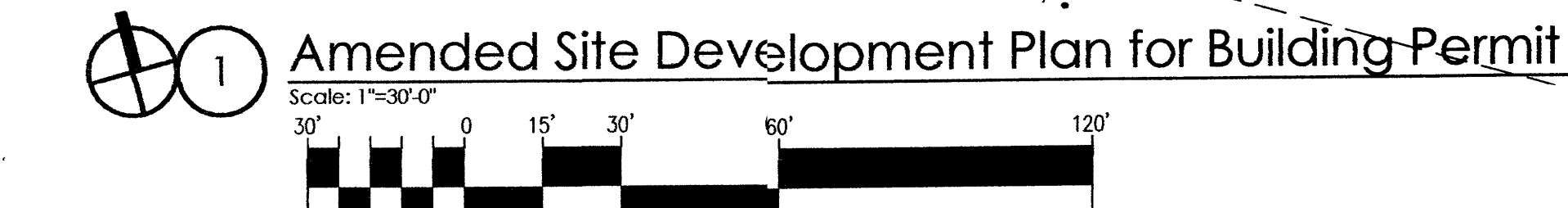
IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|--|------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | Date |
| UTILITIES DEVELOPMENT | Date |
| PARKS AND RECREATION DEPARTMENT | Date |
| CITY ENGINEER | Date |
| *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | Date |
| SOLID WASTE MANAGEMENT | Date |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | Date |

PROPERTY LINE RADIUS INFORMATION:

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|--------|-------------|---------------|--------------|
| C1 | 22.87 | 841.50 | 1°33'26" | N 49°34'05" W | 22.87 |
| C2 | 51.32 | 841.50 | 3°29'39" | N 47°02'32" W | 51.31 |
| C3 | 192.35 | 841.50 | 13°05'49" | N 43°47'57" W | 191.94 |
| C4 | 118.16 | 841.50 | 8°02'43" | N 41°16'21" W | 118.06 |

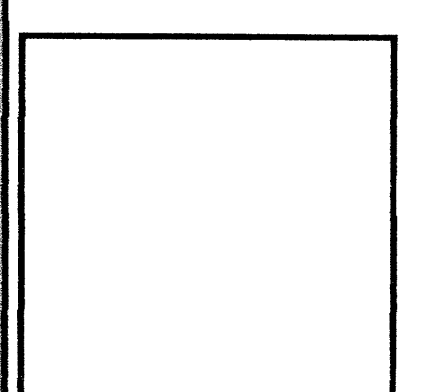


revision
 by
 date
 rev

12/10/13
 10/29/13



Mullen Heller Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque 87102
 505 268 4144 [p]
 505 268 4244 [f]



job number
 drawn by
 project manager
 date

12-11
 S.J. MWS, AIA
 Doug Heller, AIA
 09/26/2013

Country Club Plaza
 SW of Central Avenue and Laguna Boulevard
 Albuquerque, New Mexico 87102
 Amended Site Dev't Plan for Building Permit
 sheet
 1 of 7

DRAINAGE CALCULATION

PHASE 1

THE INTENT OF THIS PLAN IS TO RETAIN THE 10 DAY STORM IN A TEMPORARY POND.
ALLOWABLE = 2.75 cfs/AC. = 8.25 cfs

BASIN A - DRAINS TO POND

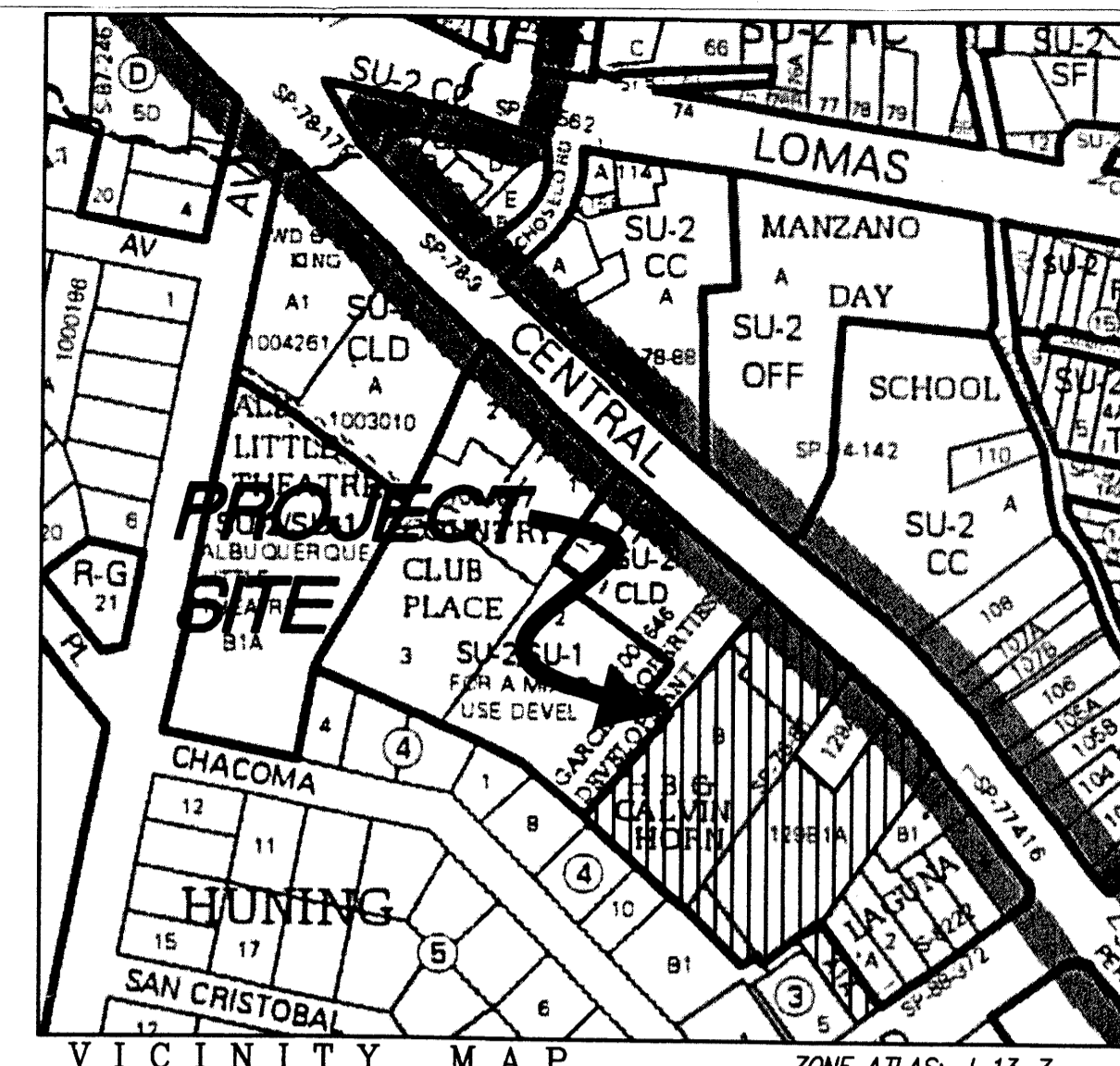
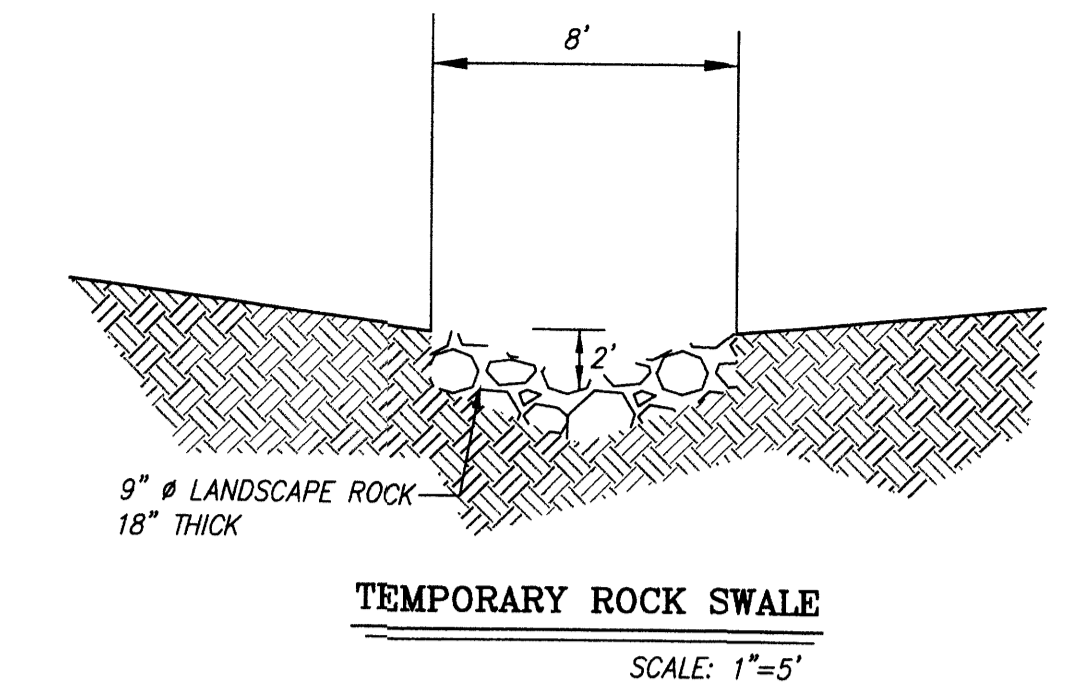
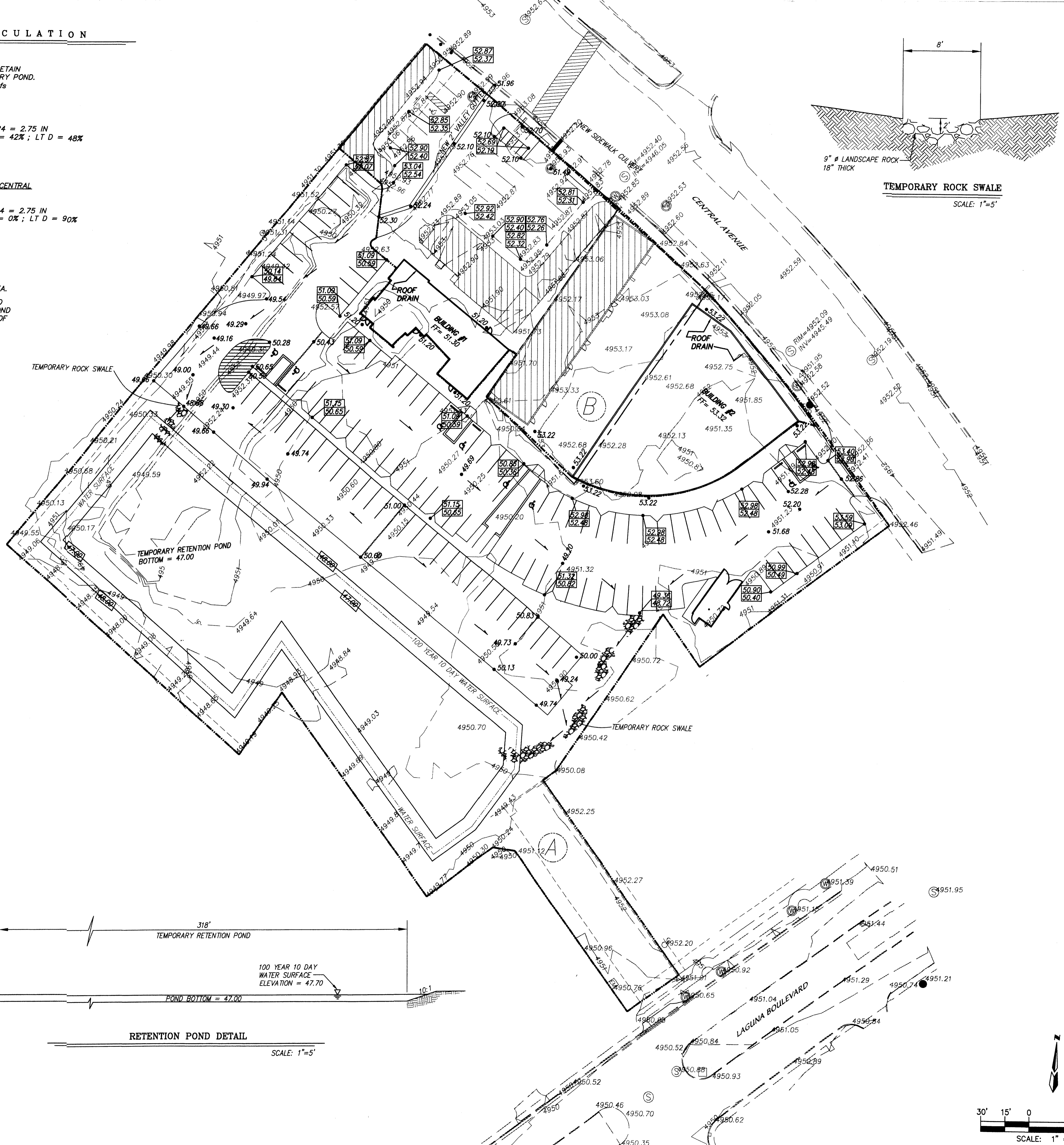
BASIN AREA = 2.42 AC
P1 = 2.01 IN ; P6 = 2.35 IN ; P24 = 2.75 IN
LT A = 0% ; LT B = 10% ; LT C = 42% ; LT D = 48%
AREA OF POND = 29707 sf
DEPTH = 0.7' VOL = 59677 cf

BASIN B - DIRECT DISCHARGE TO CENTRAL

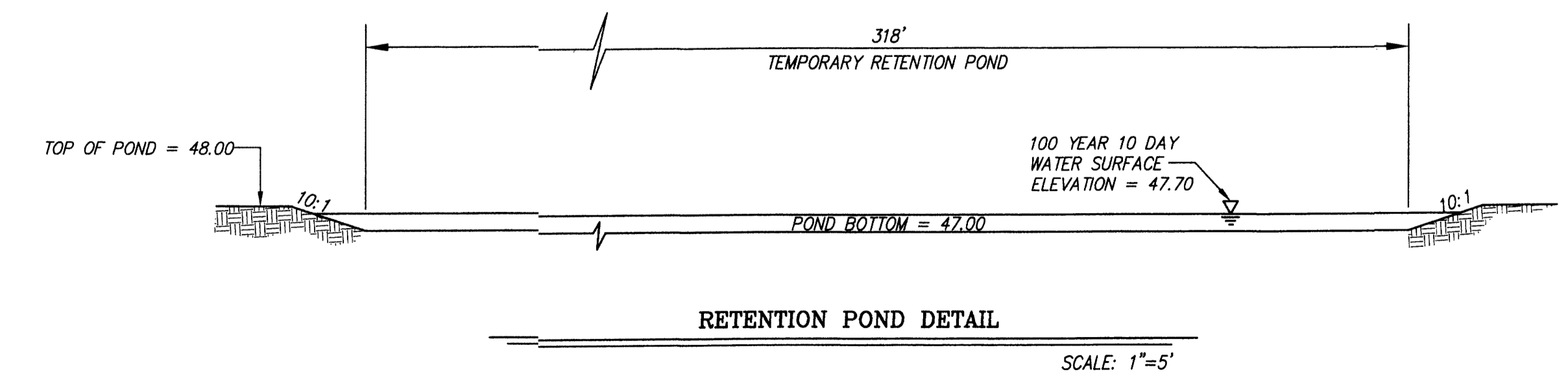
BASIN AREA = 0.95 AC
P1 = 2.01 IN ; P6 = 2.35 IN ; P24 = 2.75 IN
LT A = 0% ; LT B = 10% ; LT C = 0% ; LT D = 90%
Q_{max} = 4.30 cfs
V₁₀₀ = 0.188 AC-FT

PHASE 2 - FUTURE

CONSIST OF CONDO BUILDING AT THE SOUTH END OF PROJECT WITH A BELOW GRADE PARKING AREA.
TEMPORARY RETENTION POND WOULD BE CONVERTED TO A DETENTION POND WITH ALLOWABLE DISCHARGE RATE OF 8.25 CFS - 4.30 CFS = 3.95 CFS.



NOTES :
1. ROOFS FOR BUILDINGS NUMBER 1 AND 2 MUST DRAIN NORTH TOWARDS CENTRAL AVENUE.



LEGEND

- x 00.00 EXISTING SPOT ELEVATION
- 5135- EXISTING CONTOUR
- (W) EXISTING WATER WELL
- o EXISTING BOLLARD
- - - EXISTING GUY WIRE
- (S) EXISTING SAS MH
- EXISTING TELEPHONE PEDESTAL
- 01.00 NEW SPOT ELEVATION
- SWALE
- 00.00 NEW CONTOUR ELEVATION
- (S) EXISTING SEWER MANHOLE
- o EXISTING GAS METER
- o EXISTING WATER VALVE
- o EXISTING CLEANOUT
- o EXISTING UTILITY POLE
- EXISTING MONITORING WELL
- o EXISTING WATER METER
- o EXISTING CURB
- o NEW WATER METER
- NEW RETAINING WALL
- (A) BASIN A
- (B) BASIN B
- BASIN BOUNDARY

| | |
|----------|-----|
| revision | |
| by | |
| date | |
| rev | ◀◀◀ |

MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]



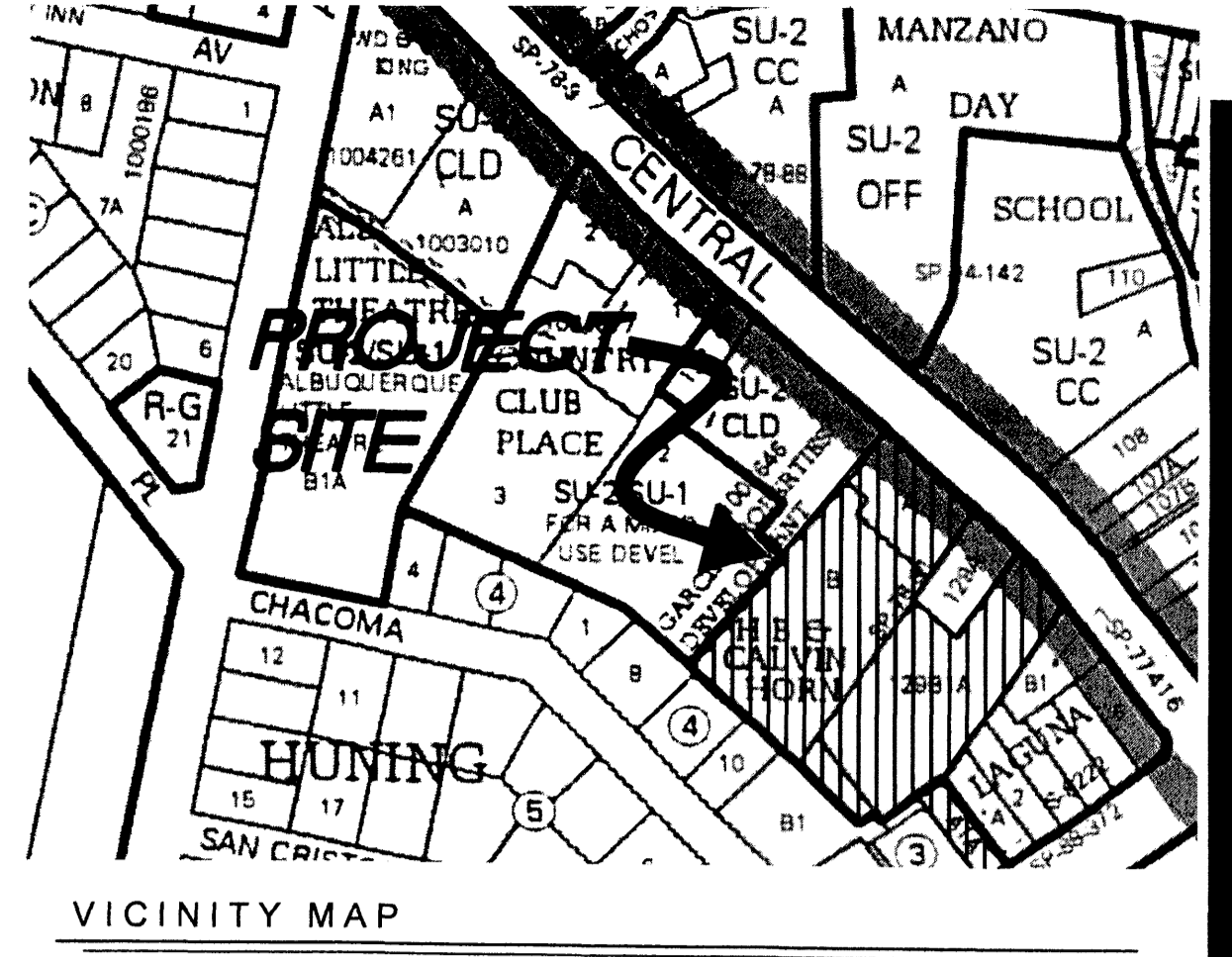
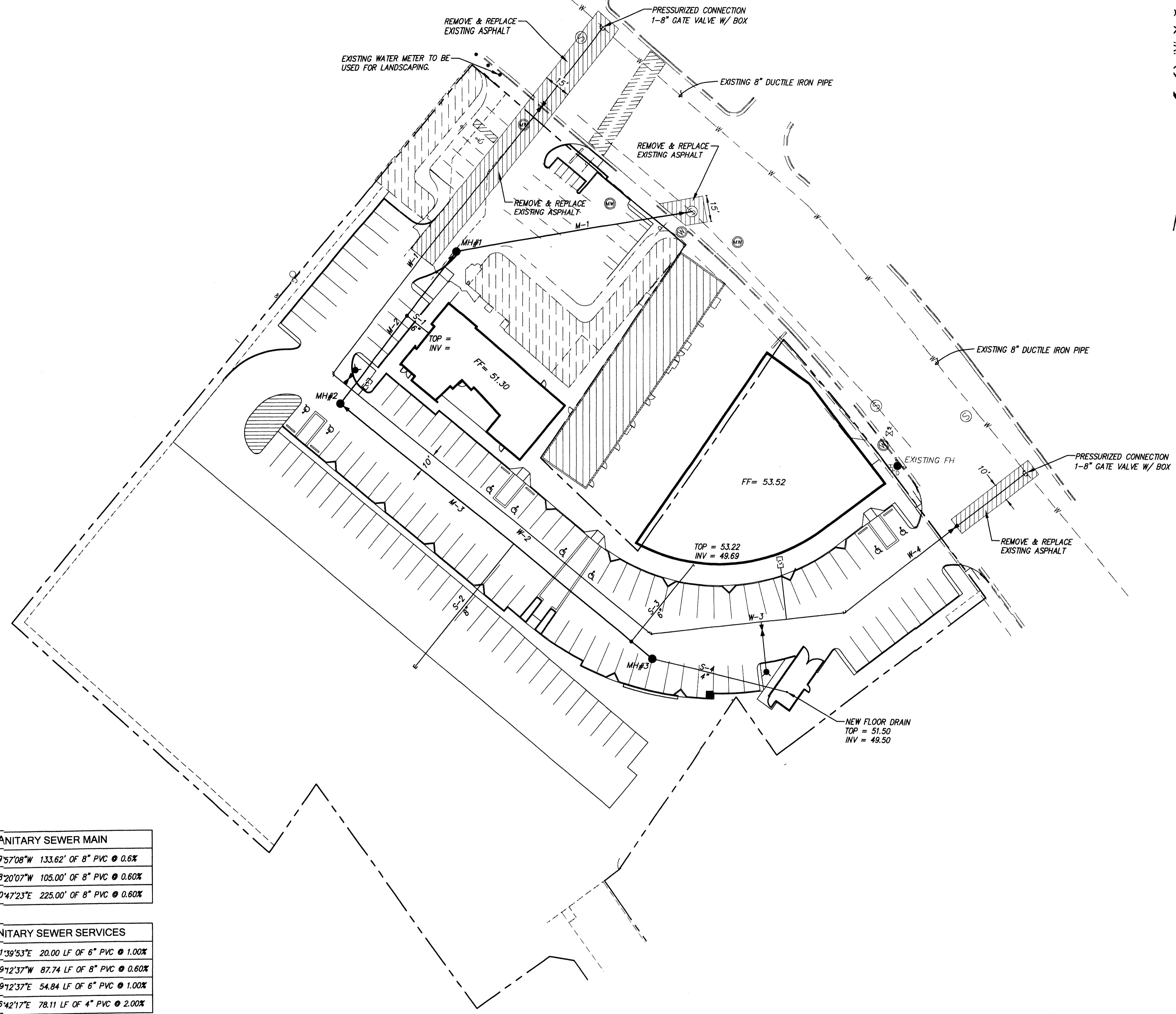
| | |
|-----------------|------------------|
| job number | 1211 |
| drawn by | SJ.MWS |
| project manager | Doug Heller, AIA |
| date | 11/13/12 |

project title
Country Club Plaza
SWC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102

sheet title
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

F:\A12\JOBS\A12035 Country Club Plaza\GRADE & DRAIN\A12035_GD30.dwg, Last saved by: Martin, 8/14/13



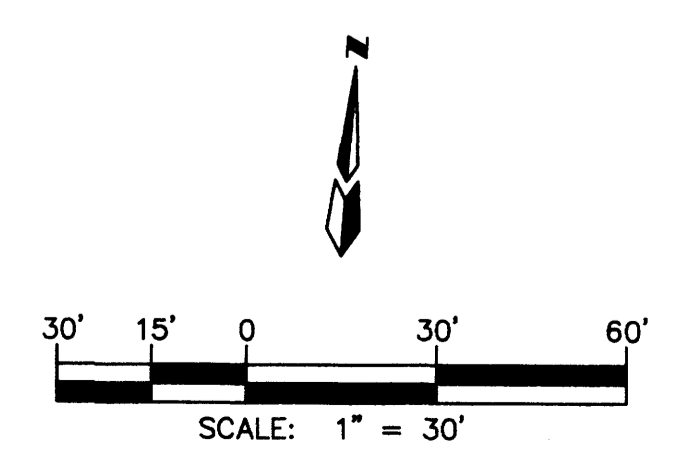
| SANITARY SEWER MAIN | |
|---------------------|---------------------------------------|
| M-1 | S79°57'08"W 133.62' OF 8" PVC @ 0.6% |
| M-2 | S38°20'07"W 105.00' OF 8" PVC @ 0.60% |
| M-3 | S50°47'23"E 225.00' OF 8" PVC @ 0.60% |

| SANITARY SEWER SERVICES | |
|-------------------------|--|
| S-1 | S51°39'53"E 20.00 LF OF 6" PVC @ 1.00% |
| S-2 | S39°12'37"W 87.74 LF OF 8" PVC @ 0.60% |
| S-3 | N39°12'37"E 54.84 LF OF 6" PVC @ 1.00% |
| S-4 | S78°42'17"E 78.11 LF OF 4" PVC @ 2.00% |

| WATER MAIN | |
|------------|--------------------------------------|
| W-1 | S38°20'07"W 243.60 LF OF 8" PVC C900 |
| W-2 | S50°47'23"E 229.47 LF OF 8" PVC C900 |
| W-3 | N83°30'01"E 109.82 LF OF 8" PVC C900 |
| W-4 | N52°00'19"E 128.74 LF OF 8" PVC C900 |

NOTE:
ALL WATER SERVICES TO BE 2"
UNLESS OTHERWISE NOTED.

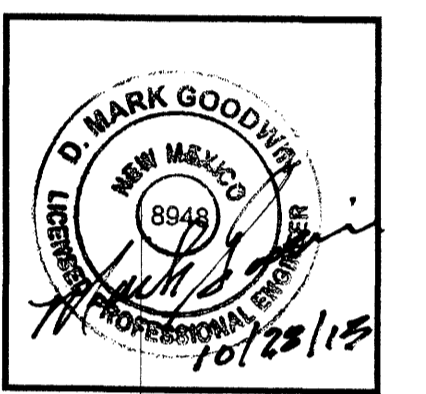
| LEGEND | |
|---------|-----------------------------|
| x 00.00 | EXISTING SPOT ELEVATION |
| 51.35- | EXISTING CONTOUR |
| ⊙ | EXISTING WATER WELL |
| ○ | EXISTING BOLLARD |
| → | EXISTING GUY WIRE |
| ⊙ | EXISTING SAS MH |
| ● | EXISTING TELEPHONE PEDESTAL |
| • 00.00 | NEW SPOT ELEVATION |
| — | SWALE |
| 00.00 | NEW CONTOUR ELEVATION |
| ⊙ | EXISTING SEWER MANHOLE |
| ⊙ | EXISTING GAS METER |
| ⊙ | EXISTING WATER VALVE |
| ⊙ | EXISTING CLEANOUT |
| ⊙ | EXISTING UTILITY POLE |
| ⊙ | EXISTING MONITORING WELL |
| ⊙ | EXISTING WATER METER |
| ⊙ | EXISTING CURB |
| ⊙ | NEW WATER METER |
| — | NEW RETAINING WALL |



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

revision
by
date
rev

MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]



job number 12-11
drawn by S.J. AWS
project manager Doug Heller, AIA
date 11/13/12

project title
Country Club Plaza
SWC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet title
CONCEPTUAL SITE UTILITY PLAN

sheet-

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN

ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/16" BUILDOLGY BROWN ROCK MULCH AND 2"-4" COBBLE MULCH. CONCRETE HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS.

IRRIGATION

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE

MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC ROAM, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE:
THE LANDSCAPE PLAN FOR COUNTRY CLUB PLAZA SHALL LIMIT THE MEDIUM WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PLANTING CONSIDERATIONS

TO ENSURE OPTIMAL GROWTH OF THE SITE TREES LOCATED WITHIN THE PARKING LOT, PERMEABLE PAVERS WILL BE INTEGRATED INTO THE SIDE WALK AT THE TREE WELLS TO PROVIDE FOR BETTER ROOT CAPACITY AND WATER PERMEABILITY TO TREES.

STREET TREES

DUE TO SITE CONSTRAINTS ALONG CENTRAL AVENUE, AN EXEMPTION FROM THE STREET TREE ORDINANCE (LISTED UNDER THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-10, PART 6, ITEM 2) IS BEING REQUESTED. THE INTENT OF THE STREET TREE ORDINANCE IS TO PROVIDE SUMMER SHADE AND COOLNESS AND TO ENHANCE THE APPEARANCE OF THE CITY'S MAJOR STREETS. THIS PROJECT CONSISTS OF 415 LINEAR FEET OF STREET FRONTAGE ALONG CENTRAL AVENUE, 242 LINEAR FEET OF WHICH IS OCCUPIED BY EXISTING BUILDINGS, EXISTING PARKING, AND A PROPOSED BUILDING. THE PROXIMITY OF THESE BUILT FEATURES TO THE CITY SIDEWALK AND STREET WILL PROVIDE A STRONG STREET FACADE BUT WILL HINDER THE ABILITY TO PLANT STREET TREES. THE PROJECT MEETS THE INTENT OF THIS ORDINANCE BY PROVIDING SMALL, SCULPTURAL SHRUBS ALONG THE STREET FRONTAGE WHERE TREES ARE NOT FEASIBLE. THE PROJECT ALSO MEETS AND EXCEEDS OTHER LANDSCAPING REQUIREMENTS, SPECIFICALLY SITE AND PARKING LOT TREE REQUIREMENTS.

PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES. SCREENING WILL BE DESIGN TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE COVERAGE

| | |
|---|----------------------|
| TOTAL SITE AREA (PHASE I & 2): | 146,475 SF (3.31 AC) |
| TOTAL SITE AREA (PHASE I): | 47,475 SF (2.24 AC) |
| BUILDING AREA | |
| EXISTING BUILDINGS (4 PHASE I BUILDINGS): | - 38,488 SF |
| TOTAL NET AREA: | 6,440 SF |
| REQUIRED LANDSCAPE AREA (8% OF NET AREA): | 522.5 SF |
| PROVIDED LANDSCAPE AREA: | 10,026 SF (16%) |
| REQUIRED LIVE VEGETATIVE COVER (75% COVERAGE OF THE 15% LANDSCAPE REQUIREMENT, MINUS PARKING CLEARANCE AND PEDESTRIAN ACCESS IN TEMPORARY LANDSCAPE AREA) | 6,418 SF |
| TOTAL LIVE VEGETATIVE COVER NEEDED: | - 1,642 SF |
| PROVIDED LIVE VEGETATIVE COVER (16%): | 5,291 SF |

SPECIAL BUFFER LANDSCAPING/SCREENING TREES

THE LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL PROPERTIES CONSISTS OF A COMBINATION OF DECIDUOUS AND EVERGREEN TREES WHICH ARE SPACED AT DISTANCE EQUAL TO 1/30th OF THE MATURE CANOPY DIAMETER OF THE TREE.

PARKING LOT TREES

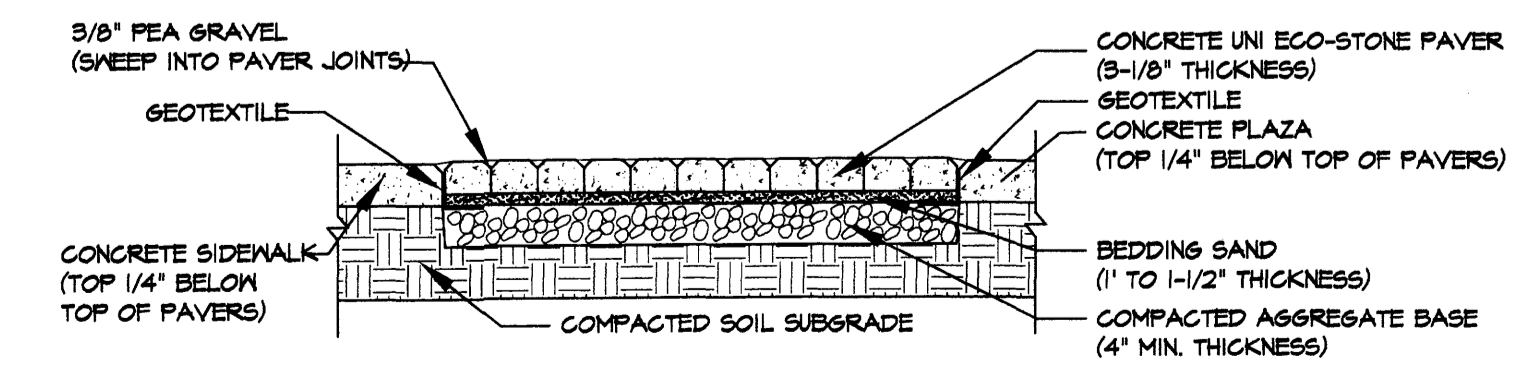
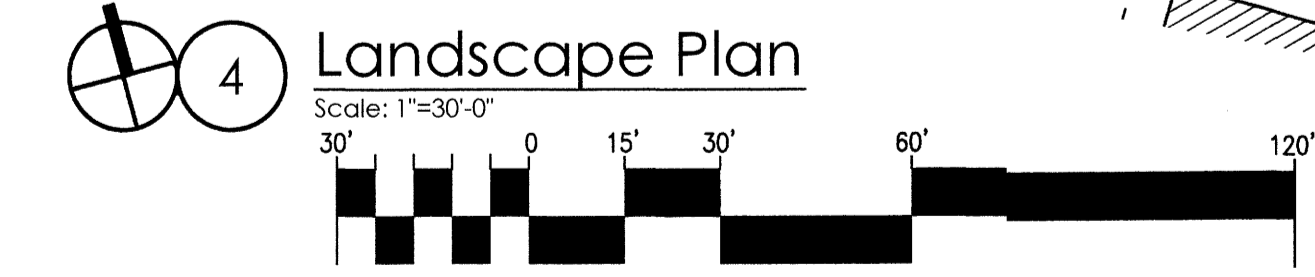
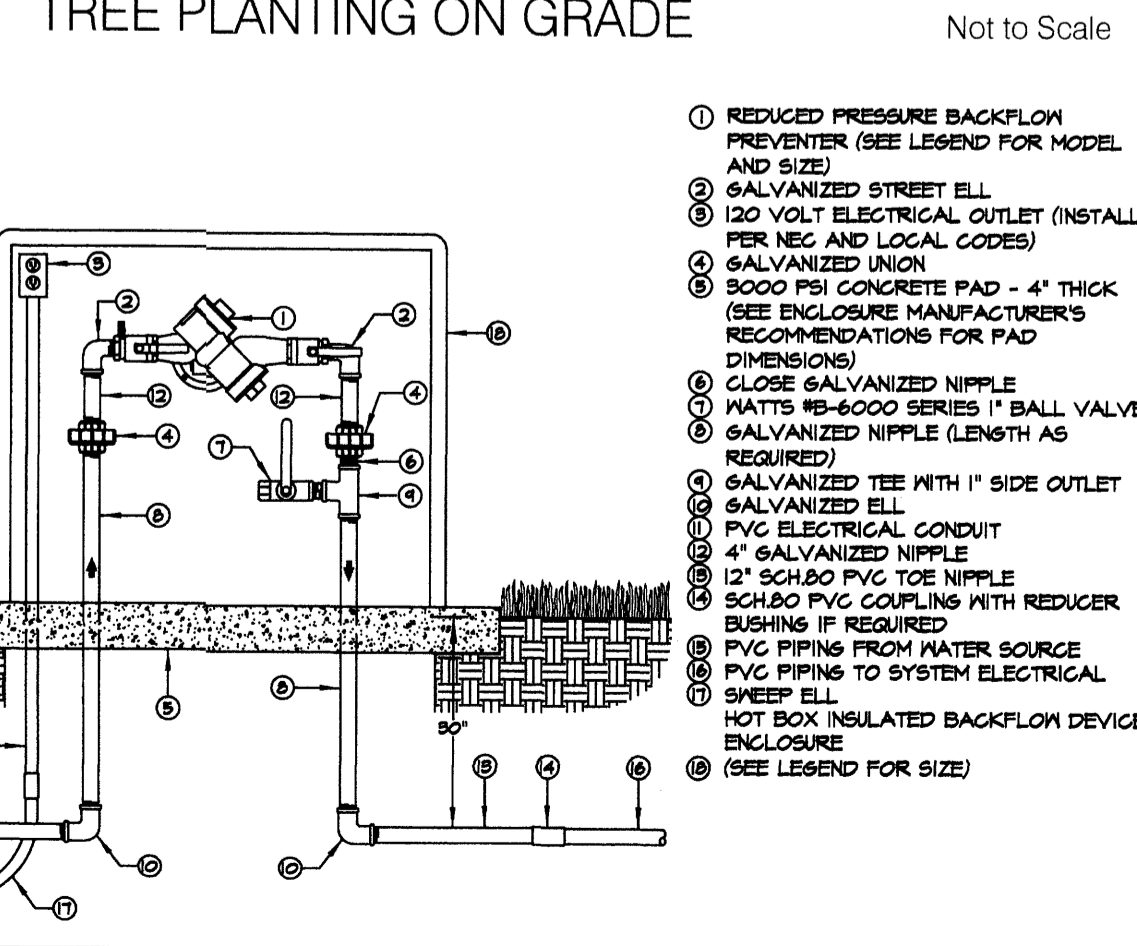
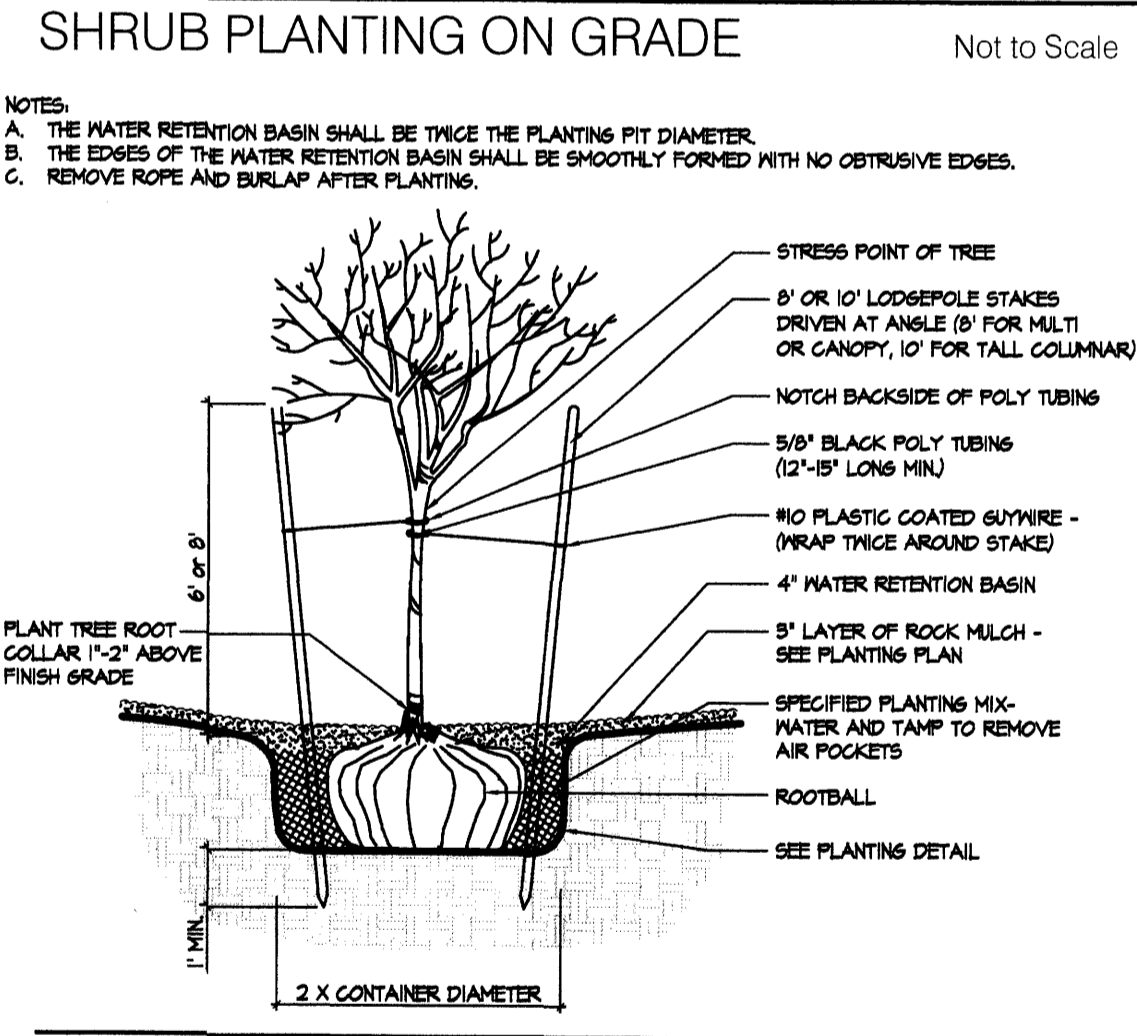
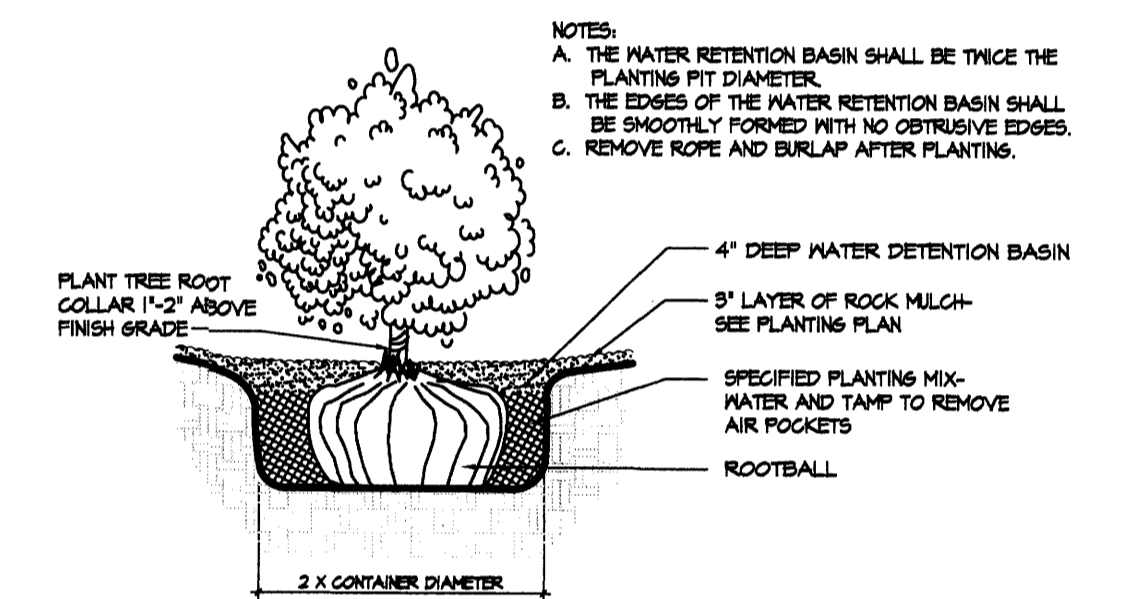
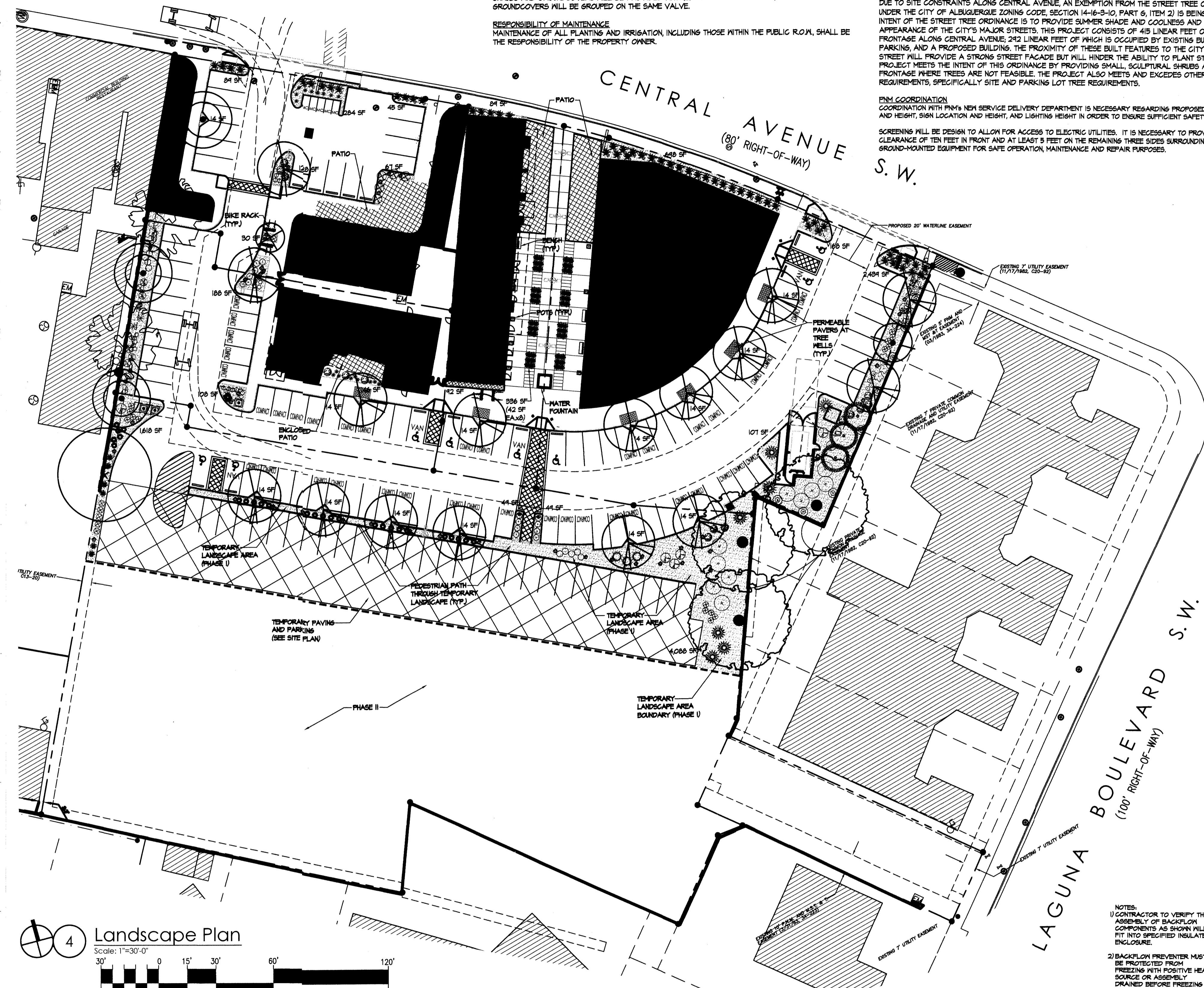
COUNTRY CLUB PLAZA IS PROVIDING 135 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON ONE TREE PER 10 SPACES.

REQUIRED: 14
PROVIDED: 14

PHASE I

PLANT LEGEND

| QTY. | SYMBOL | SCIENTIFIC NAME COMMON NAME | SIZE | INSTALLED SIZE | MATURE SIZE | WATER USE |
|------------------------------------|----------|--|----------|---|--------------------|-----------|
| TREES | | | | | | |
| 2 | (Symbol) | EXISTING TREE TO REMAIN | | | | |
| 1 | (Symbol) | ACER TARTARIUM 'HOT WINGS' HOT WINGS MAPLE | 2" B&B | 10' HT. X 4" SPR. 20' HT. X 24" SPR. | | MED |
| 3 | (Symbol) | KOELBUTERIA PANICULATA GOLDEN RAIN TREE | 2" B&B | 16' HT. X 6" SPR. 30' HT. X 50" SPR. | | MED |
| 1 | (Symbol) | LASERSTROEMIA INDICA FAURIEI GRAPE MYRTLE 'ZIN' | 15-GAL. | 8' HT. X 4" SPR. 15' HT. X 5" SPR. | | MED |
| 3 | (Symbol) | FINIS LILICODERMIS BOSNIAN PINE | B&B | 6' MIN HT. | 35' HT. X 10' SPR. | MED |
| 1 | (Symbol) | PISTACHIA CHINENSIS CHINESE PISTACHE | 2" B&B | 10' HT. X 5" SPR. 50' HT. X 50" SPR. | | MED+ |
| 3 | (Symbol) | PLATANUS A. BLOODGOOD LONDON PLANE TREE | 2.5" B&B | 16' HT. X 6" SPR. 60' HT. X 50" SPR. | | MED |
| 16 | (Symbol) | ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA | 2" B&B | 14' HT. X 6" SPR. 45' HT. X 50" SPR. | | MED |
| SHRUBS/GROUNDCOVERS | | | | | | |
| 10 | (Symbol) | BACCHARIS SAROTROIDES DESERT BROOM | 5-GAL. | 8" O.C. | 8' HT. X 8' SPR. | LOW |
| 7 | (Symbol) | BIDDULEIA DAVIDII 'NANHOENSIS' BUTTERFLY BUSH | 5-GAL. | 5" O.C. | 5' HT. X 5' SPR. | LOW |
| 11 | (Symbol) | CERASTIUM TOMENTOSUM SNOW-IN-SUMMER | 1-GAL. | 2" O.C. | 2' HT. X 2' SPR. | LOW |
| 8 | (Symbol) | ERYSIMM BOWLES MAUIE' BOWLES MAUIE WALLFLOWER | 1-GAL. | 2" O.C. | 2' HT. X 2' SPR. | MED+ |
| 6 | (Symbol) | FALLUGIA PARADOXA APACHE PLUME | 5-GAL. | 4" O.C. | 5' HT. X 4' SPR. | LOW |
| 5 | (Symbol) | HELGHRYSM AUGUSTIFOLIA CURRY PLANT | 1-GAL. | 2" O.C. | 2' HT. X 2' SPR. | LOW |
| 16 | (Symbol) | LAVANDULA ANSUTIFOLIA ENGLISH LAVENDER | 1-GAL. | 3" O.C. | 3' HT. X 3' SPR. | MED |
| 8 | (Symbol) | NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA | 1-GAL. | 2" O.C. | 2' HT. X 2' SPR. | MED |
| 12 | (Symbol) | PEROVSKIA ATRIPPLICIFOLIA RUSSIAN SAGE | 5-GAL. | 6" O.C. | 4' HT. X 5' SPR. | LOW |
| 3 | (Symbol) | FINIS MISO MISO PINE | 5-GAL. | 5" O.C. | 4' HT. X 5' SPR. | MED |
| 10 | (Symbol) | POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL | 1-GAL. | 3" O.C. | 3' HT. X 3' SPR. | LOW+ |
| 14 | (Symbol) | RHAPHOLEPIS INDICA INDIA HANTHORN | 5-GAL. | 5" O.C. | 3' HT. X 5' SPR. | MED |
| 14 | (Symbol) | RUS TRILOBATA 'AUTUM AMBER' CREEPING THREE-LEAF SUMAC | 1-GAL. | 4" O.C. | 2' HT. X 4' SPR. | LOW+ |
| 6 | (Symbol) | SEDUM TELEPHUM AUTUM JOY SEDUM | 1-GAL. | 2" O.C. | 2' HT. X 2' SPR. | LOW+ |
| 15 | (Symbol) | ZAUSSCHERIA CALIFORNICA HAMMERSHD PLANT | 1-GAL. | 3" O.C. | 2' HT. X 3' SPR. | LOW |
| VINES | | | | | | |
| 5 | (Symbol) | HUMULUS LUPULUS 'CHINOOK' CHINOOK HOPS | 1-GAL. | 6" O.C. | 8' HT. X 6' SPR. | LOW |
| 4 | (Symbol) | PYRACANTHA COCINEA PYRACANTHA | 1-GAL. | 5" O.C. | 10' HT. X 10' SPR. | LOW |
| ORNAMENTAL GRASSES | | | | | | |
| 18 | (Symbol) | CALAMAGROSTIS A. KARL FOERSTER-GAL. KARL FOERSTER REED GRASS | 2" O.C. | 4' HT. X 2' SPR. | | MED |
| 55 | (Symbol) | MISCANTHUS SPP. MAIDEN GRASS | 5-GAL. | 5" O.C. | 5' HT. X 5' SPR. | MED+ |
| 26 | (Symbol) | MILHENERBESIA CAPILLARIS REBAL MIST | 1-GAL. | 3" O.C. | 3' HT. X 3' SPR. | MED |
| 54 | (Symbol) | PANICUM VIRSATUM SWITCH GRASS | 1-GAL. | 3" O.C. | 4' HT. X 3' SPR. | MED+ |
| 7 | (Symbol) | SPOROBOLUS WRIGHTII GIANT SACATON | 5-GAL. | 7" O.C. | 8' HT. X 7' SPR. | MED |
| ACCENTS | | | | | | |
| 6 | (Symbol) | DASYLIRION WHEELERI SOTOL | 5-GAL. | 4" O.C. | 4' HT. X 4' SPR. | LOW |
| BOULDERS, MULCHES, AND TURF | | | | | | |
| 34 | (Symbol) | MOSS ROCK BOULDERS (3'x3' MIN) | | | | |
| 10,026 SF | (Symbol) | 7/16" GRAVEL MULCH COLOR: BUILDOLGY BROWN (3" DEPTH OVER DENITT PRO-5 NEED CONTROL FABRIC) | | | | |



CONCRETE PAVER AT TREE WELL Not to Scale

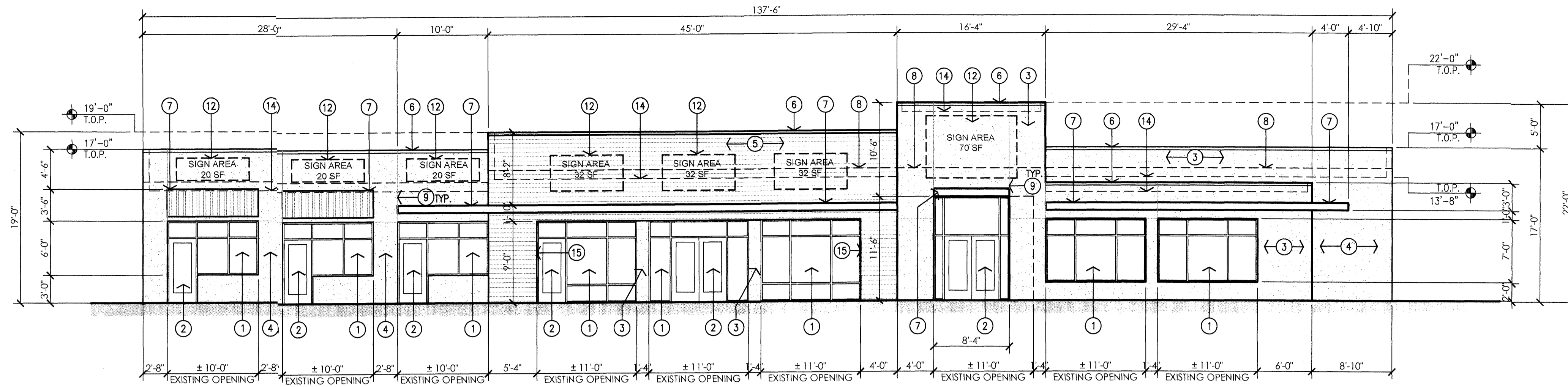
BACKFLOW PREVENTER Not to Scale

revision
by
date
rev

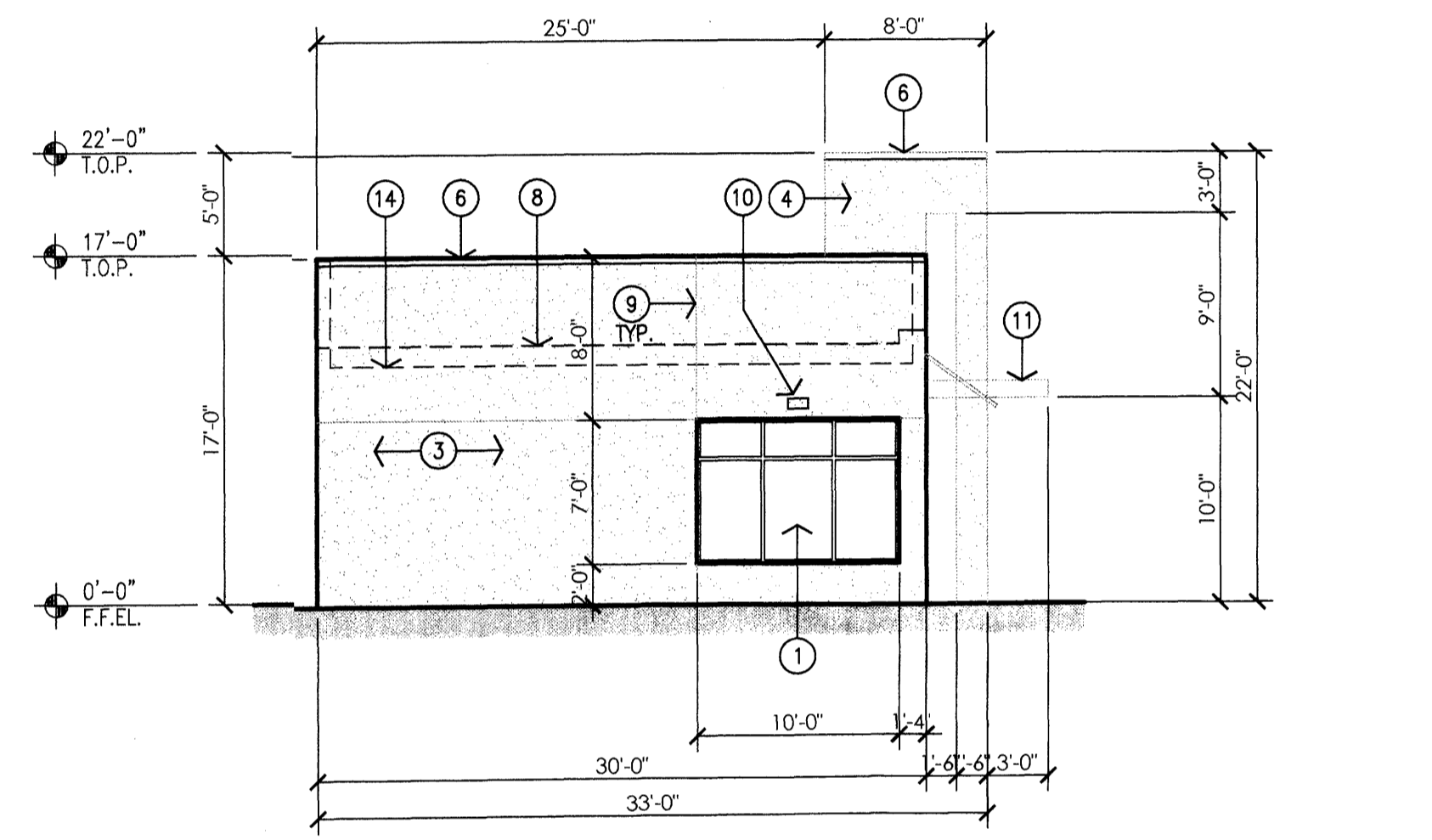
MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

12-11
job number
drawn by
project manager
date
S.J. MWS, AIA
Doug Heller, AIA
03/28/2013

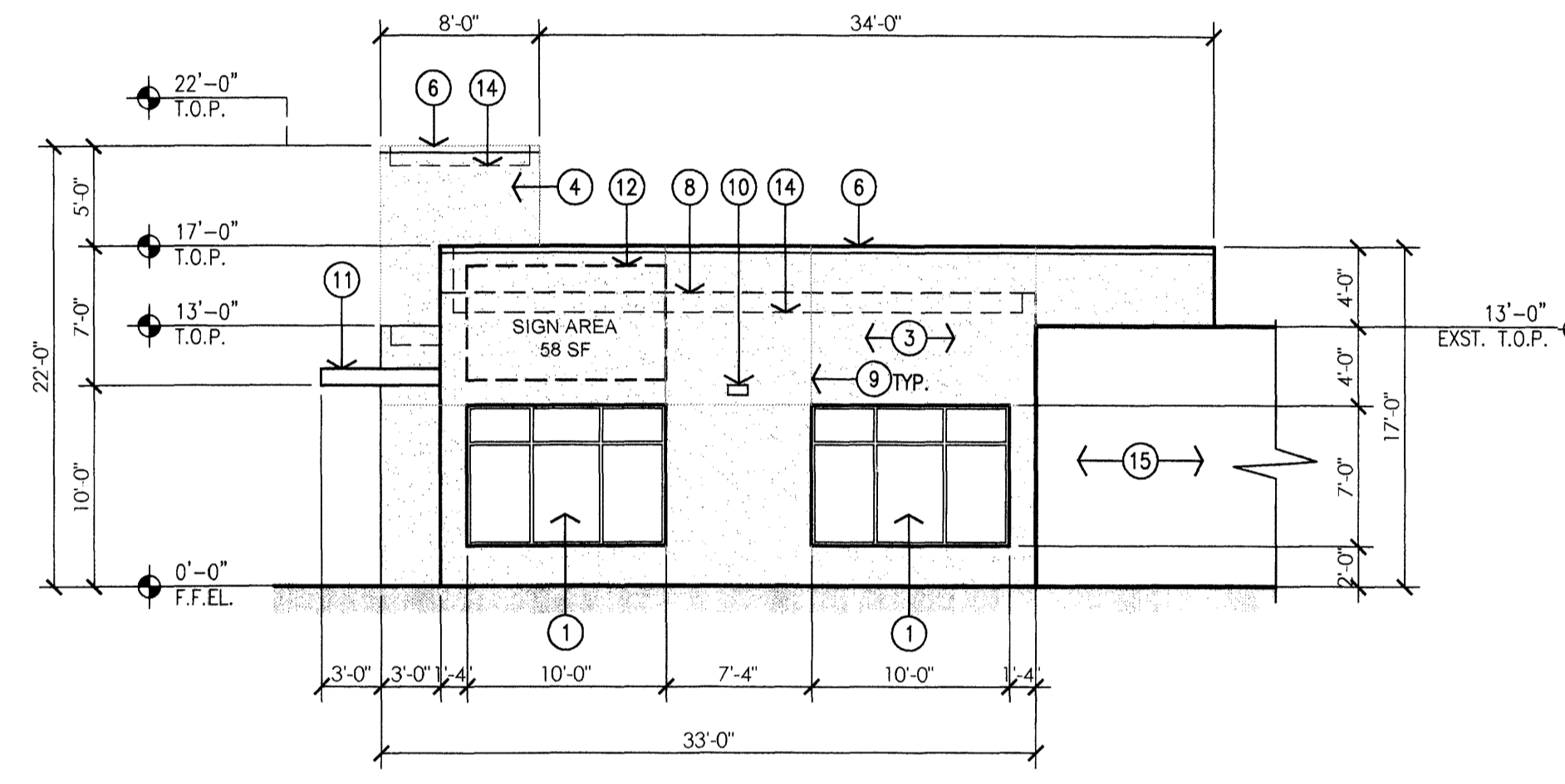
project file
Country Club Plaza Development
SW of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet file
Landscape Plan



1 Existing Building C - East Elevation
Scale 1/8" = 1'-0"



2 Existing Building C - South Elevation
Scale 1/8" = 1'-0"



3 Existing Building C - North Elevation
Scale 1/8" = 1'-0"

- GENERAL NOTES:
[A] MAIN ENTRY MAY BE RELOCATED DUE TO TENANT'S LAYOUT.
- KEYED NOTES:
[1] ALUMINUM STOREFRONT SYSTEM, DARK BRONZE FRAME WITH TINTED GLAZING.
[2] ALUMINUM STOREFRONT DOOR, DARK BRONZE FRAME WITH TINTED GLAZING.
[3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN.
[4] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: MEDIUM TAN.
[5] SYNTHETIC WOOD PLANK SIDING, COLOR: NATURAL LIGHT WOOD.
[6] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP COLOR TO MATCH ADJACENT STUCCO/WOOD SIDING.
[7] METAL CANOPY, COLOR: TERRACOTTA OR GRAY.
[8] LINE OF EXISTING PARAPET, EXTEND PARAPET HEIGHT AS INDICATED ON DRAWINGS.
[9] STUCCO CONTROL JOINT, TYPICAL.
[10] EXTERIOR WALL PACK.
[11] NEW METAL CANOPY BEYOND.
[12] NEW AREA OF INDIVIDUALLY ILLUMINATED CHANNEL LETTER SIGNAGE.
[13] EXISTING BUILDING TO REMAIN.
[14] LINE OF ROOF BEYOND.
[15] WRAP WOOD SIDING ON ALL INTERIOR FACES OF RECESSED ENTRY AND STOREFRONT.

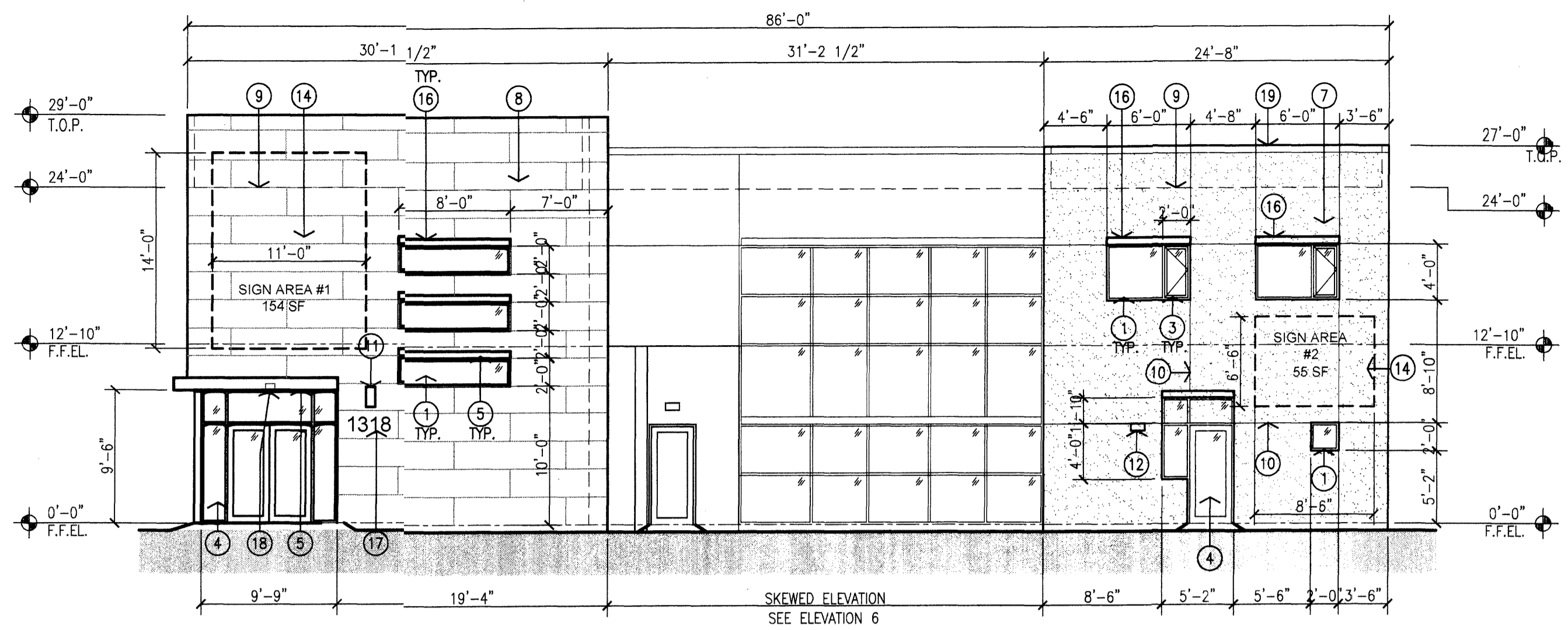
EXISTING BUILDING C
SIGNAGE CALCULATIONS:
BUILDING MOUNTED:
EAST ELEVATION- 2510 SF X 9%
226 SF ALLOWED
226 SF ILLUMINATED PROVIDED
NORTH ELEVATION- 637 SF X 9%
58 SF ALLOWED
58 SF ILLUMINATED PROVIDED

| | |
|----------|-----------|
| revision | |
| by | |
| date | |
| rev | △ △ △ △ △ |

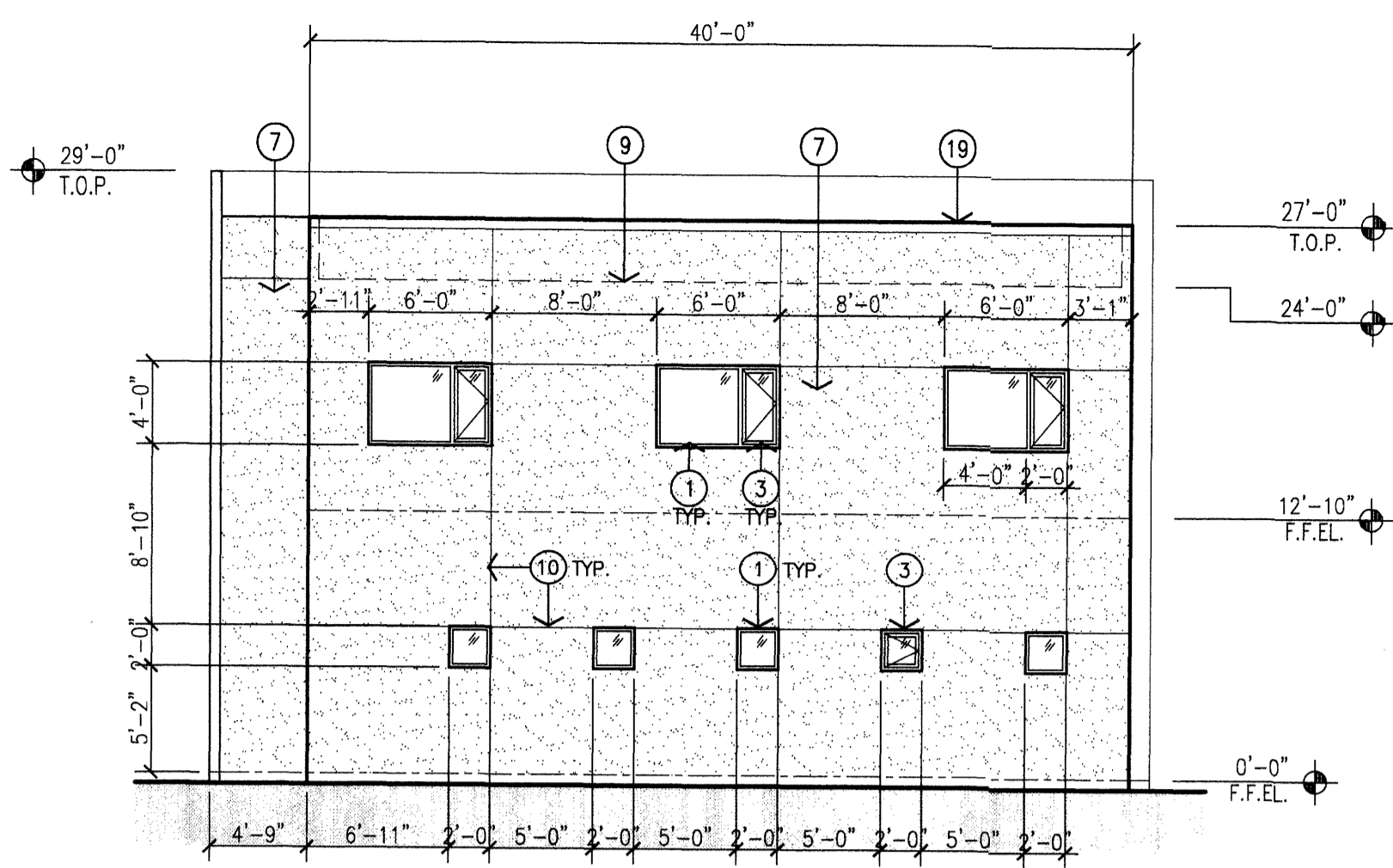
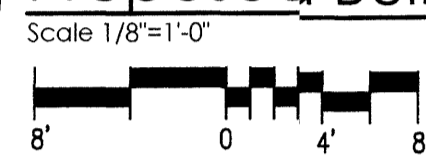
MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144 [p]
505 268 4244 [f]

| | |
|-----------------|------------------|
| job number | 12-11 |
| drawn by | S.J. MWS, AIA |
| project manager | Doug Heller, AIA |
| date | 09/26/2013 |

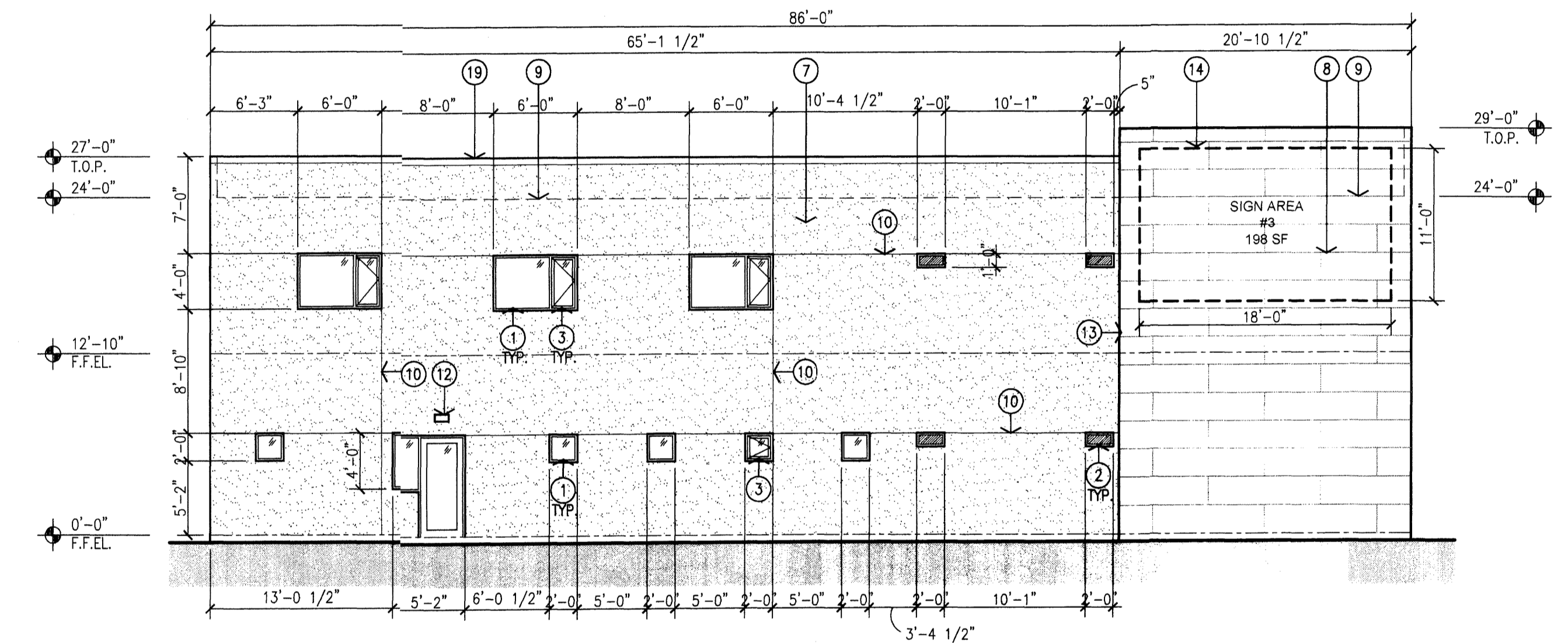
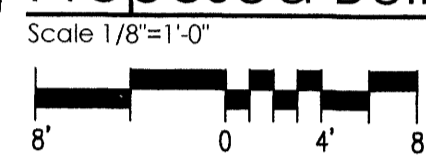
project title
Country Club Plaza
S/C of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet title
Exterior Elevations - Existing Building C



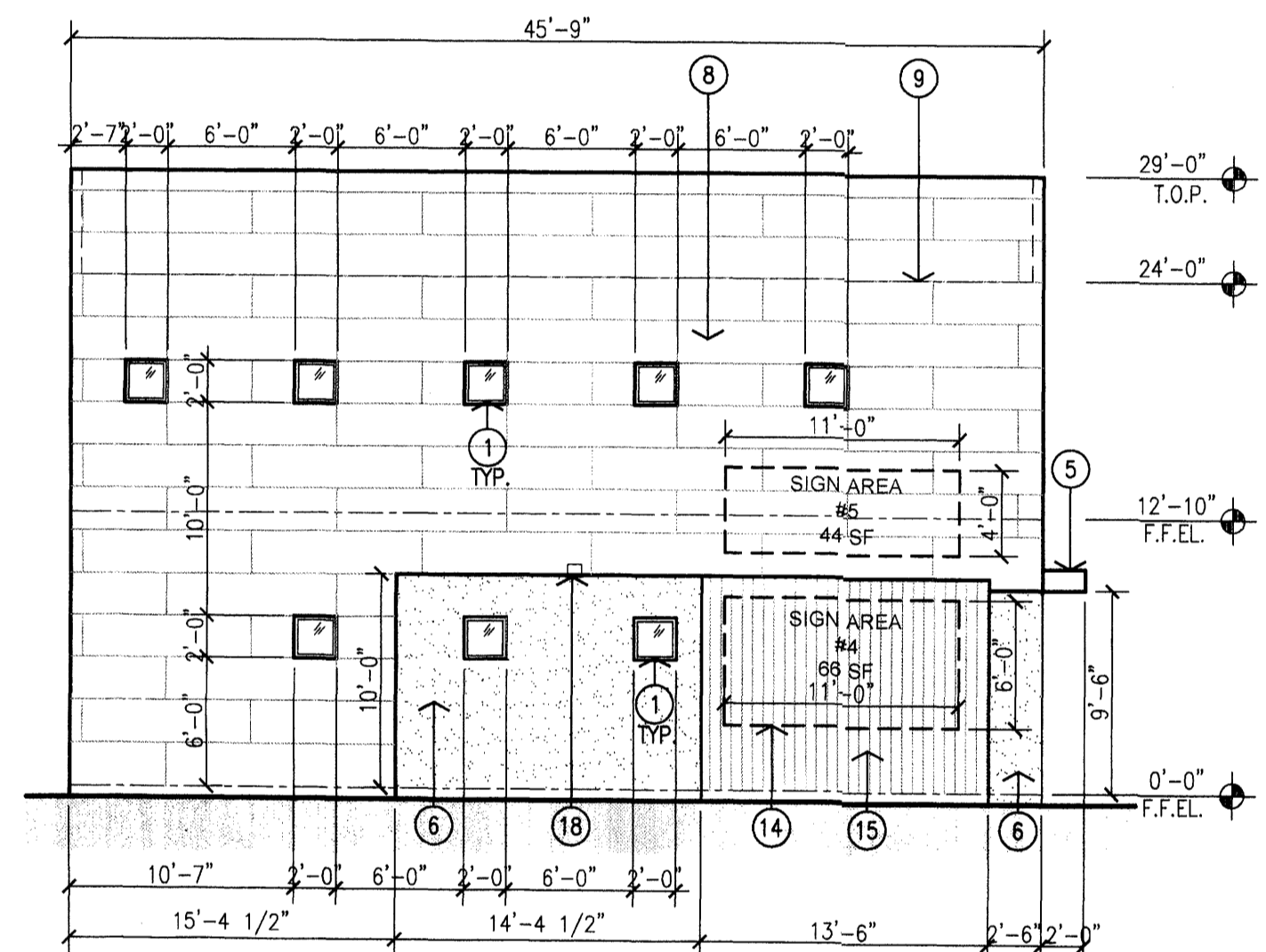
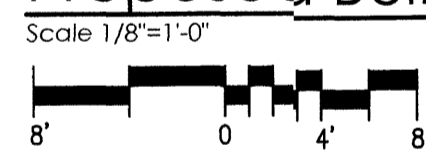
1 Proposed Building 1 - South Elevation



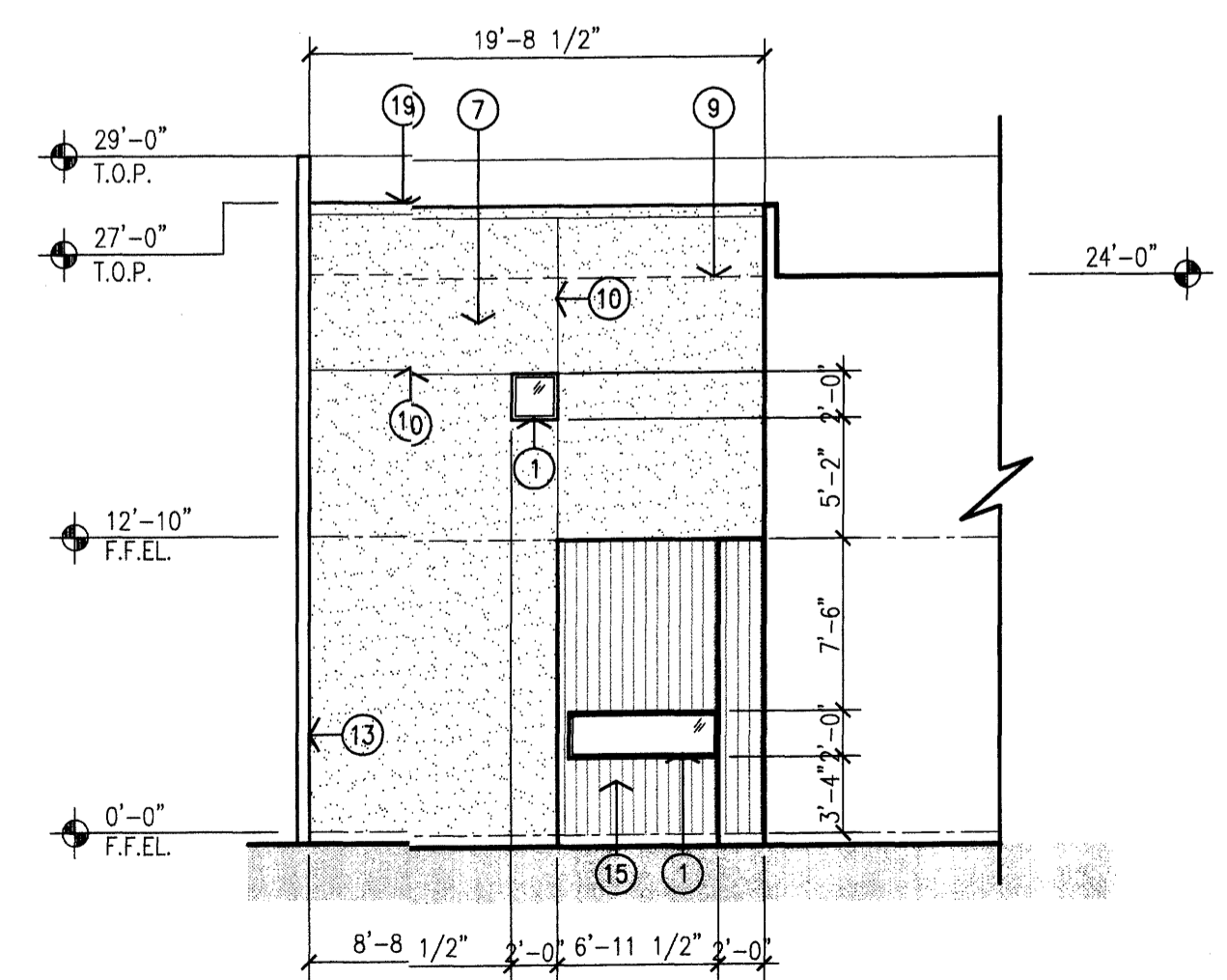
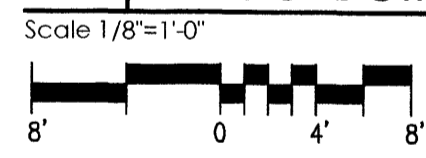
2 Proposed Building 1 - East Elevation



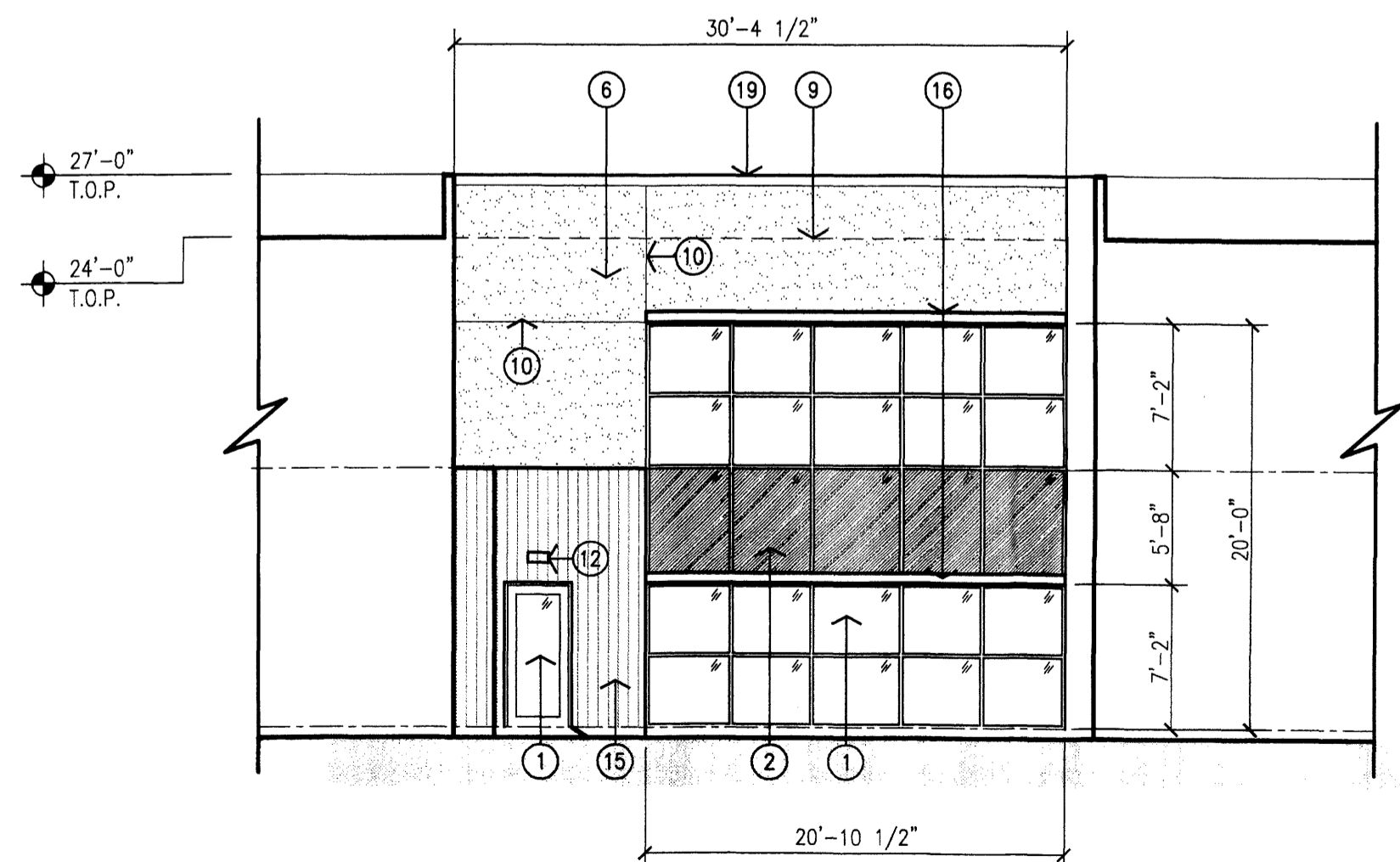
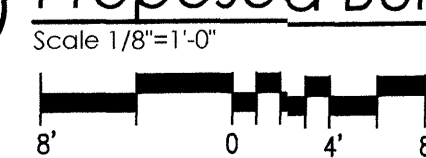
3 Proposed Building 1 - North Elevation



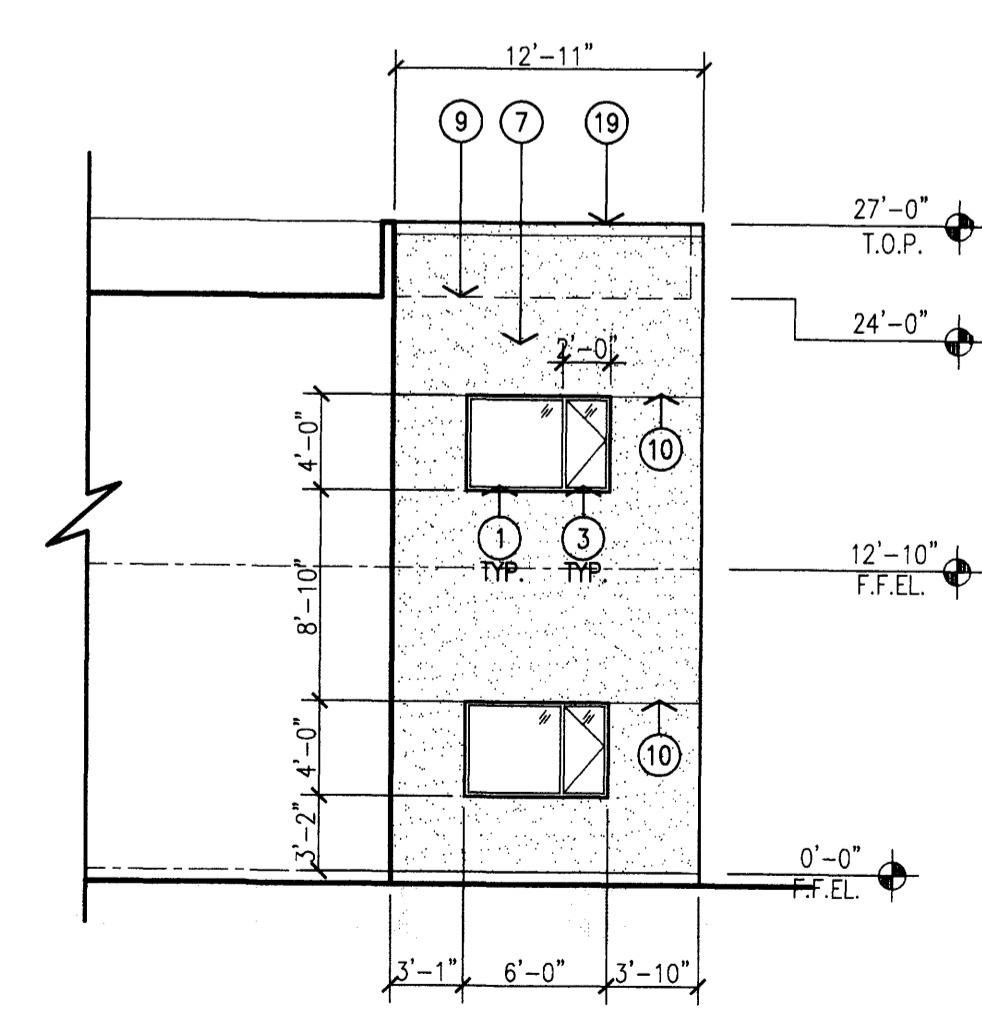
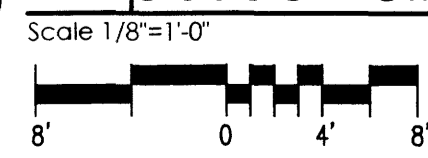
4 Proposed Building 1 - West Elevation



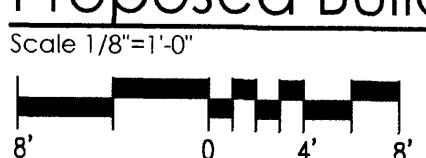
5 Proposed Building 1 - Courtyard West Elevation



6 Proposed Building 1 - Courtyard South Elevation



7 Proposed Building 1 - Courtyard East Elevation



KEYED NOTES:

- [1] ALUMINUM STOREFRONT FIXED WINDOW, DARK BRONZE FRAME WITH TINTED GLAZING.
- [2] ALUMINUM STOREFRONT FIXED WINDOW, DARK BRONZE FRAME WITH TRANSLUCENT GLAZING.
- [3] ALUMINUM STOREFRONT DOUBLE CASEMENT WINDOW, DARK BRONZE FRAME WITH TINTED GLAZING.
- [4] ALUMINUM STOREFRONT SYSTEM, DARK BRONZE FRAME WITH TINTED GLAZING.
- [5] ROOF CANOPY WITH STUCCO SOFFIT.
- [6] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: GREEN TONE.
- [7] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN.
- [8] METAL WALL PANELS, CUSTOM PATTERN. COLOR: TERRACOTTA OR GRAY.
- [9] LINE OF ROOF BEYOND.
- [10] STUCCO CONTROL JOINT, TYPICAL.
- [11] DECORATIVE WALL MOUNTED LIGHT FIXTURE.
- [12] EXTERIOR WALL PACK.
- [13] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR TO MATCH WALL PANELS.
- [14] NEW AREA OF INDIVIDUALLY ILLUMINATED CHANNEL LETTER SIGNAGE.
- [15] SYNTHETIC WOOD PLANK SIDING, COLOR: NATURAL LIGHT WOOD.
- [16] METAL CANOPY, COLOR: TERRACOTTA OR GRAY.
- [17] 12" HIGH ADDRESS CHANNEL LETTERS.
- [18] RECESSED SOFFIT LIGHTING.
- [19] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP TO MATCH STUCCO COLOR.

BUILDING 1

SIGNAGE CALCULATIONS:

BUILDING MOUNTED:
 SOUTH ELEVATION— 858 + 641 = 2377 SF x 9%
 214 SF ALLOWED
 NORTH ELEVATION— (#1)154 + (#2)55 = 209 SF ILLUMINATED PROVIDED
 236.3 SF ALLOWED
 WEST ELEVATION— (#3) 198 SF ILLUMINATED PROVIDED
 1304 SF X 9%
 117.4 SF ALLOWED
 (#4)66 + (#5)44 = 110 SF ILLUMINATED PROVIDED

| rev | date | By | revision |
|-----|------|----|----------|
| | | | |



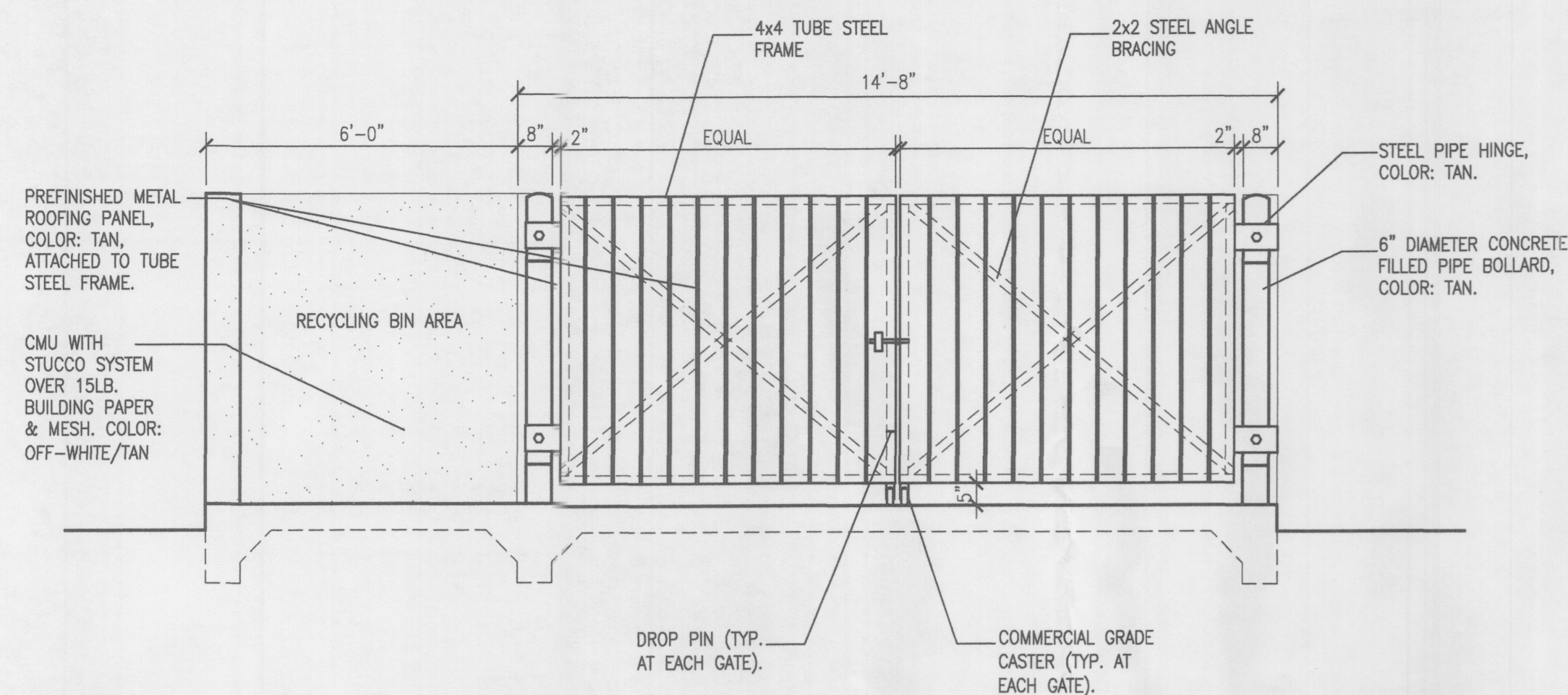
Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]

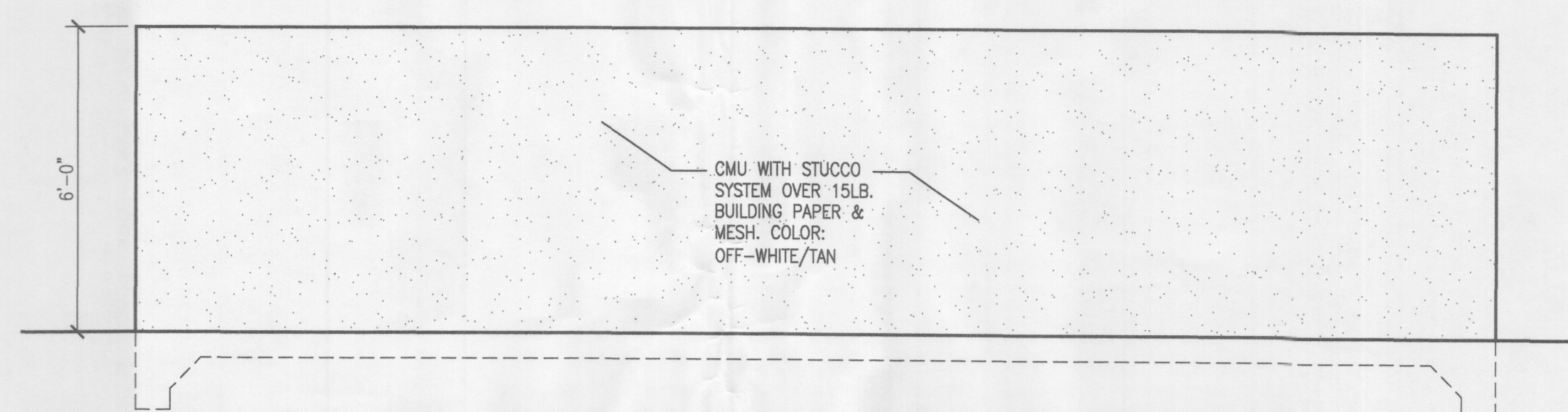
| | |
|-----------------|-------------------|
| job number | 12-11 |
| drawn by | S.J. MWS, A.V. |
| project manager | Doug Heller, AIA. |
| date | 09/26/2013 |

project title
Country Club Plaza
SWC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102

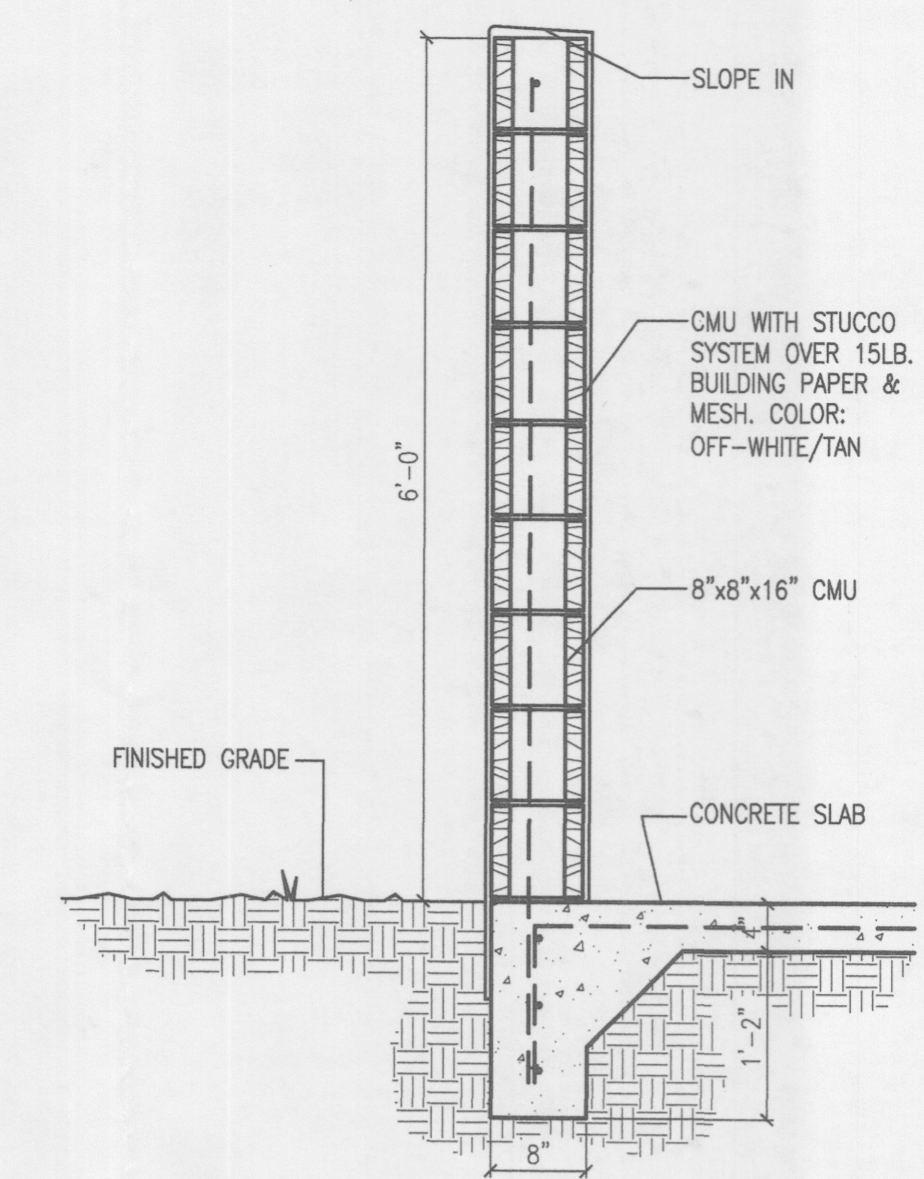
sheet title
Exterior Elevations - Proposed Building 1



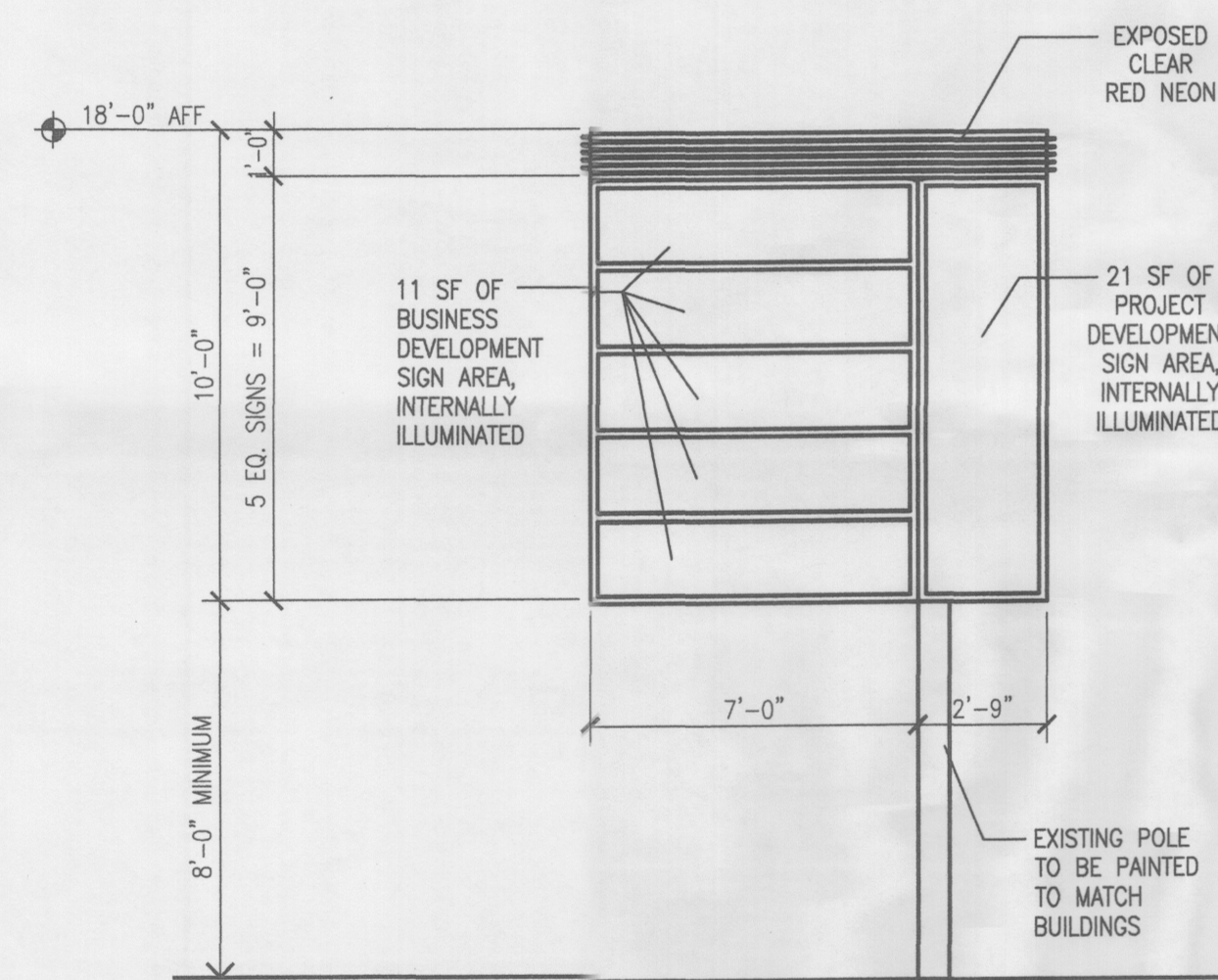
1 Refuse Enclosure Front Elevation
Scale: 3/8" = 1'-0"



2 Refuse Enclosure Typ. Side Elevation
Scale: 3/8" = 1'-0"



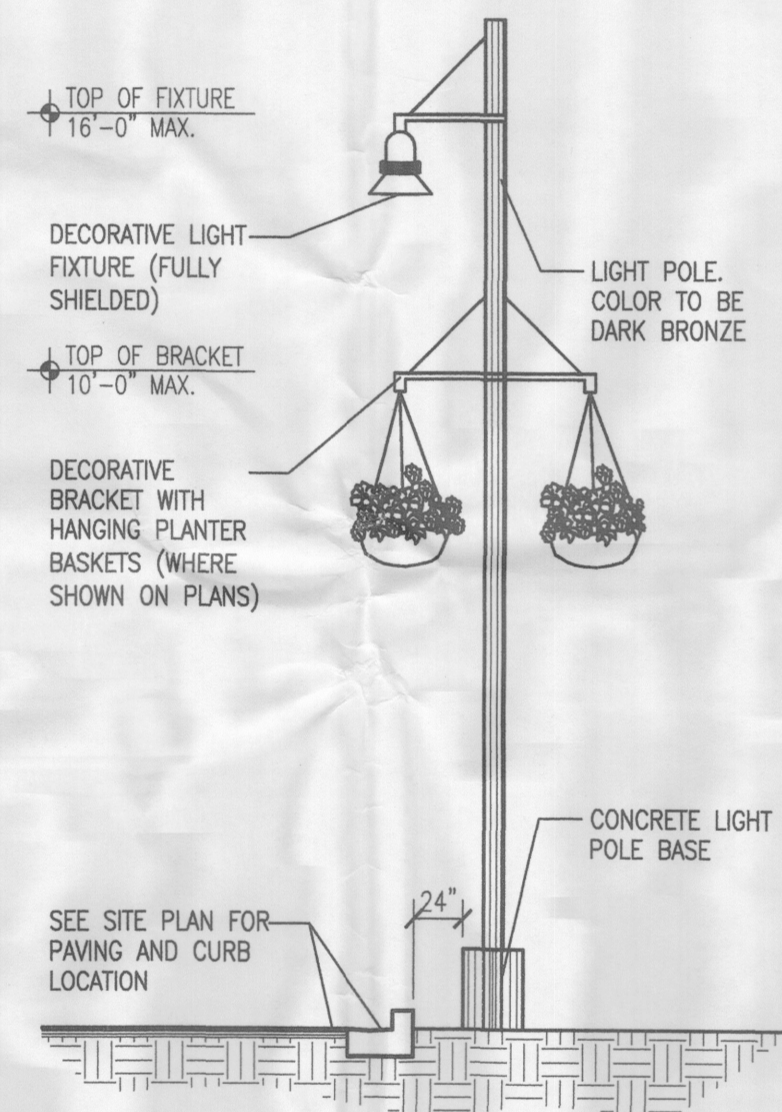
3 Refuse Enclosure Wall Section
Scale: 1" = 1'-0"



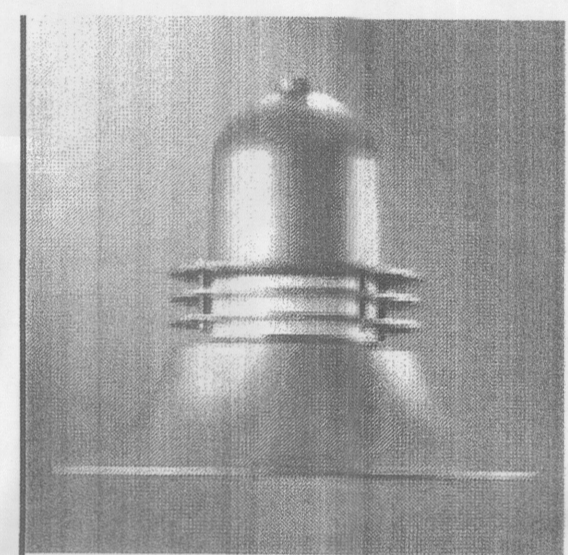
4 Pole Sign Detail
Scale: 1/4" = 1'-0"



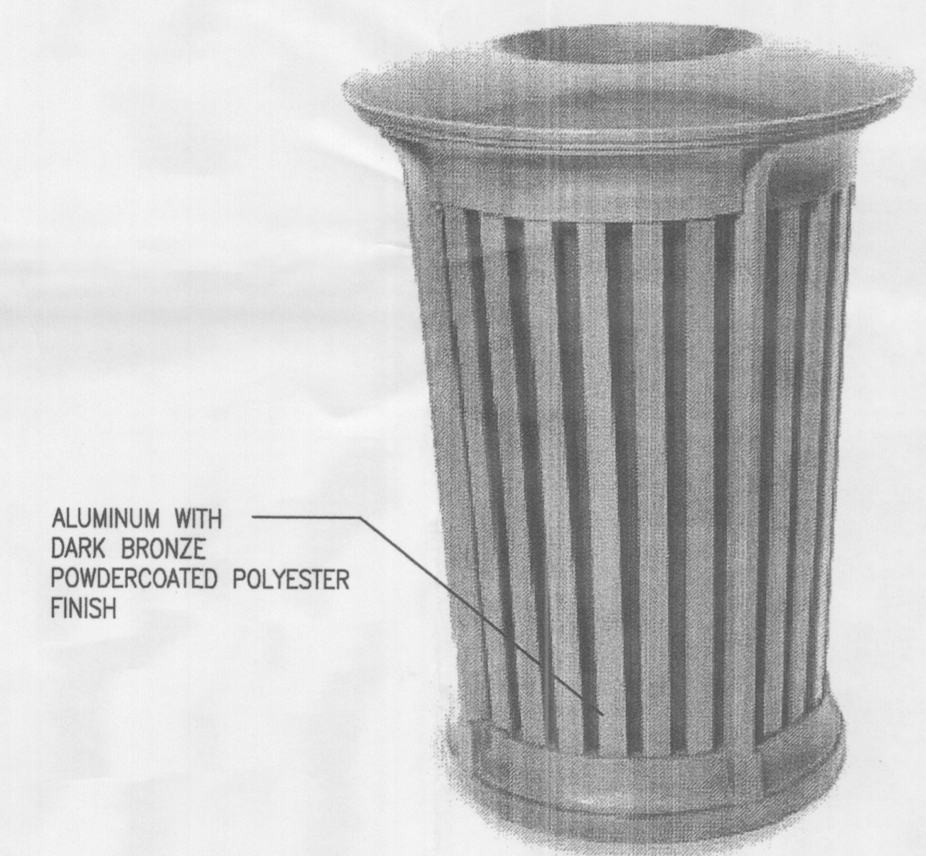
5 Light Bollard Detail
Scale: Not to Scale



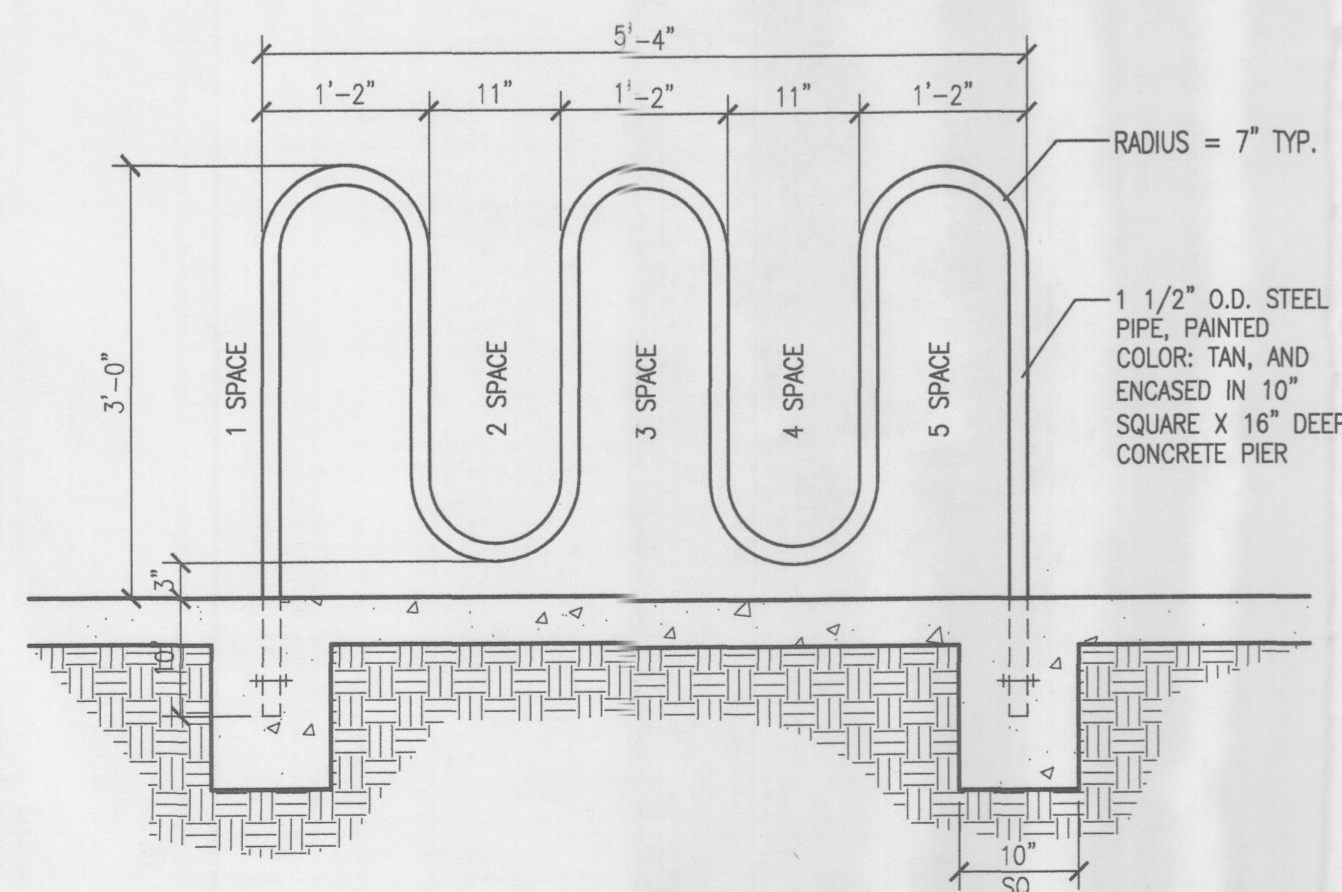
6 Site Lighting Elevation
Scale: Not to Scale



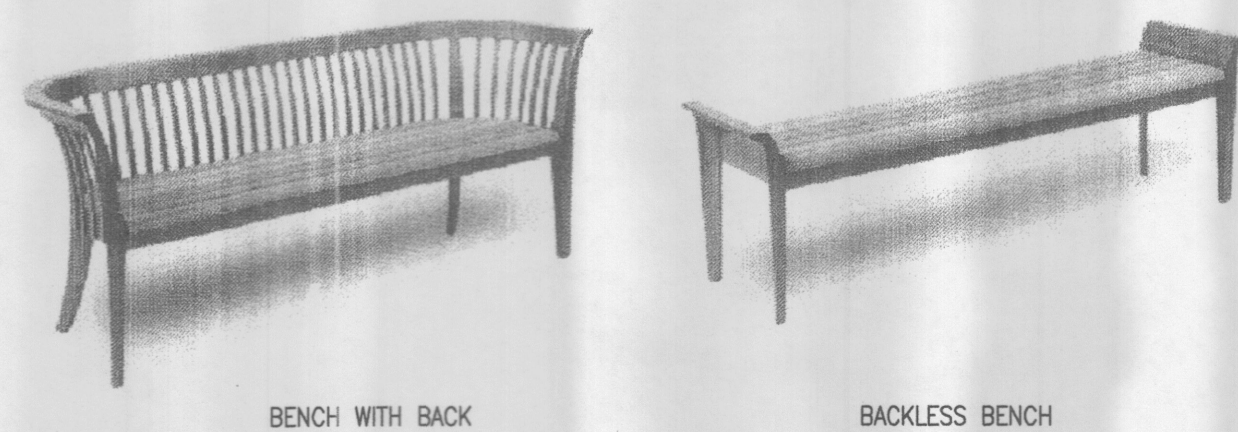
DETAIL OF SITE LIGHT FIXTURE



7 Typical Site Litter/Recycling Receptacle
Scale: Not to Scale



8 Typical Bicycle Rack Detail
Scale: 3/4" = 1'-0"



9 Bench Detail - 6' Long (min.)
Scale: Not to Scale

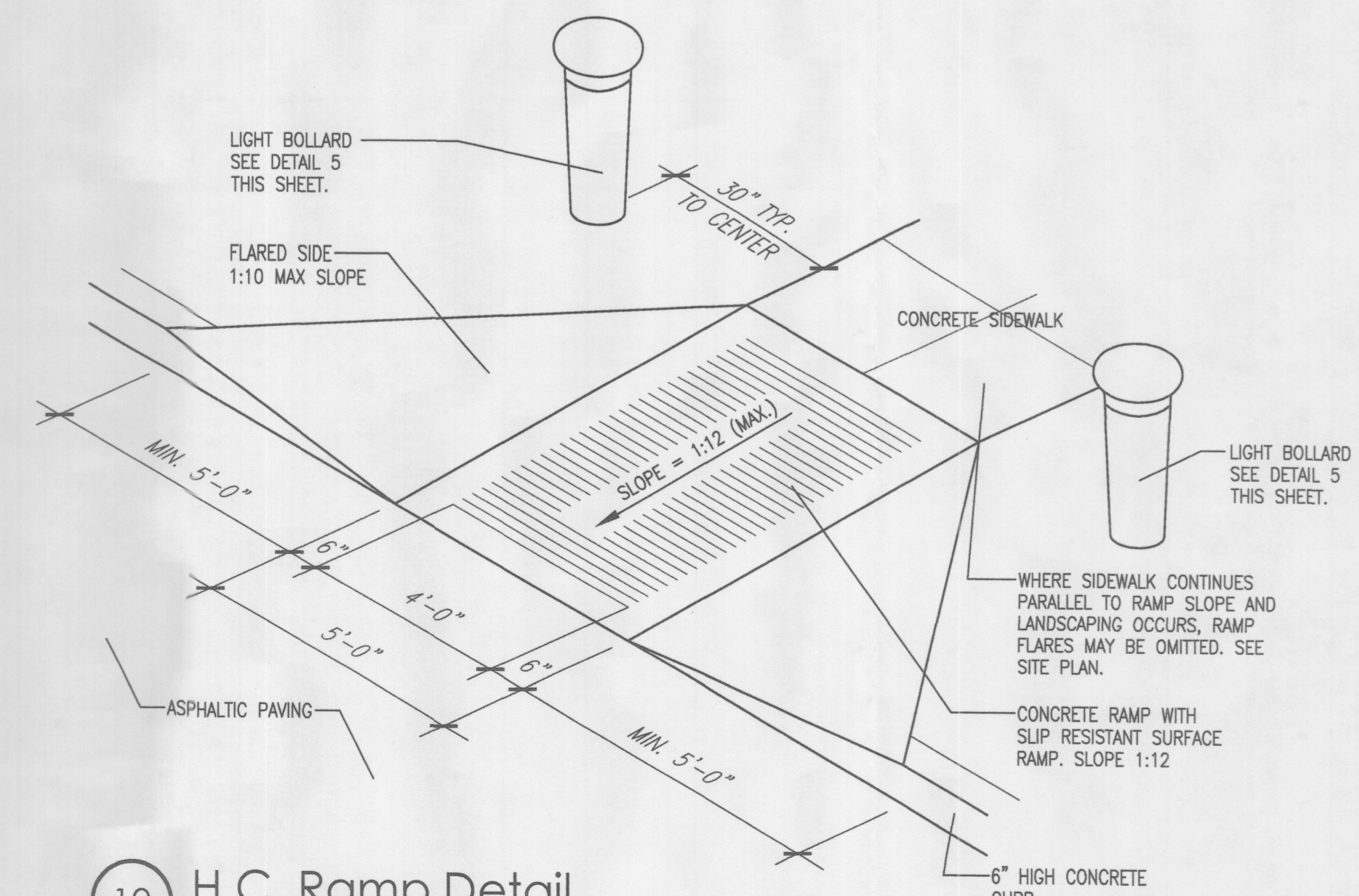
SECTION 14-16-3-18 (C)(3) - FACADES GREATER THAN 100 FEET IN LENGTH:
1 SEAT PER 25 LINEAR FEET OF BUILDING FACADE.

BUILDING C
137'-6" OF BUILDING FACADE / 25 = 6 SEATS REQUIRED
(EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.)

TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED
(SEE SHEET 1)

BUILDING A, B, 1 AND 3
NOT APPLICABLE

BUILDING 2
BENCH REQUIREMENTS FOR BUILDING 2 WILL BE DETERMINED UNDER DRB.



10 H.C. Ramp Detail
Scale: Not to Scale (isometric)

| | |
|----------|---------|
| revision | |
| by | |
| date | |
| rev | 1 2 3 4 |

MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

| | |
|-----------------|------------------|
| job number | 12-11 |
| drawn by | SJ. MWS. AV |
| project manager | Doug Heller, AIA |
| date | 09/26/2013 |

project title
Country Club Plaza
SWC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet title
Site Development Details



LEGAL DESCRIPTION:

A TRACT OF LAND BEING IDENTIFIED AS LOTS 1-6 OF THE COUNTRY CLUB PLAZA. BEING A RE-PLAT OF REMAINING PORTION OF TRACT B AMENDED HUNING CASTLE ADDITION, TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN, M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38, SITUATED WITHIN PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING KNOWN AS THE TRUE POINT OF BEGINNING AND BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVENUE S.W., WHENCE FOR TIE TO THE ACS MONUMENT "17-J14" BEARS N84°04'24"E A DISTANCE OF 3,056.25 FEET DISTANCE; THENCE, S52°58'00"W A DISTANCE OF 146.34 FEET LEAVING SAID RIGHT OF WAY TO A POINT; THENCE, N35°37'00"W A DISTANCE OF 39.25 FEET TO A POINT; THENCE, S34°30'35"W A DISTANCE OF 116.97 FEET TO A POINT; THENCE, S54°21'36"W A DISTANCE OF 49.48 FEET TO A POINT; THENCE, S35°37'00"E A DISTANCE OF 25.75 FEET DISTANCE TO A POINT; THENCE, N80°37'00"W A DISTANCE OF 13.76 FEET DISTANCE TO A POINT; THENCE, S54°23'08"W A DISTANCE OF 50.18 FEET TO A POINT; THENCE, N35°37'33"W A DISTANCE OF 153.99 FEET TO A POINT; THENCE, S34°51'30"W A DISTANCE OF 46.40 FEET TO A POINT; THENCE, N48°09'59"W A DISTANCE OF 192.68 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N39°56'42"E A DISTANCE OF 401.33 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVE SW; THENCE, S50°04'08"E A DISTANCE 132.95 FEET DISTANCE TO A POINT OF CURVATURE; THENCE, 192.35 FEET DISTANCE ALONG THE ARC OF CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 841.50 FEET AND A LONG CHORD OF S43°47'54"E A DISTANCE OF 191.94 FEET) TO A POINT OF TANGENCY; THENCE, S37°02'00"E A DISTANCE OF 87.76 FEET TO A POINT AND TRUE PLACE OF BEGINNING. SAID TRACT CONTAINING 3.2427 ACRES (141,253.5 SQUARE FEET) MORE OR LESS.



**PLAT OF
LOTS 1-5
COUNTRY CLUB PLAZA
BEING A REPLAT OF
REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION
TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN
M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38
SITUATED WITHIN PROJECTED SECTION 18, T 10 N, R 3E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2013**

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE FIVE (5) LOTS FROM FIVE (5) EXISTING TRACTS. GRANT ADDITIONAL PRIVATE ACCESS, DRAINAGE, PUBLIC WATER, PUBLIC SANITARY AND PUBLIC UTILITY EASEMENTS.

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SUBDIVISION DATA:

DRB# _____
ZONE ATLAS INDEX NO. J-13-Z
DATE OF FIELD SURVEY: JANUARY 2013
TOTAL NO. OF LOTS EXISTING: 5
TOTAL NO. OF LOTS CREATED: 5
TOTAL MILEAGE OF PUBLIC STREETS CREATED: NONE
GROSS SUBDIVISION ACREAGE: 3.2427 ACRES

NOTES:

1. FIELD SURVEY PERFORMED IN JANUARY 2013
2. BEARINGS ARE GRID BASED---NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
3. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
4. CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 8911", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
5. BEARINGS AND DISTANCES IN () ARE RECORD
6. ZONE X SHADED, COMMUNITY PANEL NO 35001C0333H PANEL 333 OF 825
Areas of moderate flood hazard, usually the area between the limits of the 100-year and 500-year floods. Are also used to designate base floodplains of lesser hazards, such as areas protected by levees from 100-year flood, or shallow flooding areas with average depths of less than one foot or drainage areas less than 1 square mile.

DOCUMENTS USED:

1. TRACTS A AND B LANDS OF HB HORN AND CALVIN HORN VOL C13, FOLIO 20
2. REMAINING PORTION TRACT B, HUNING CASTLE VOL C12, FOLIO 116
3. TRACT A-1-A, LAGUNA SUBDIVISION VOL C38, FOLIO 34
4. HUNING CASTLE VOL 00 FOLIO 134
5. HUNING CASTLE VOL C2, FOLIO 167
6. LAGUNA SUBDIVISION VOL C20, FOLIO 92
7. HUNING CASTLE, VOL C2 FOLIO 167
8. UNRECORDED SURVEY TITLE "BOUNDARY SURVEY FOR INFILL SOLUTIONS" DATED OCT 2007

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:
TRACTS A AND B LANDS OF H.B. HORN AND CALVIN HORN
REMAINING PORTION TRACT B, HUNING CASTLE
MRGCD TRACT 129-B-1-A MAP NO 38
MRGCD TRACT 129 A MAP NO 38
TRACT A-1-A, LAGUNA SUBDIVISION

BERNALILLO COUNTY TREASURER OFFICE: _____

FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN TRACT OF LAND HEREIN DESCRIBED, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DO HEREBY GRANT EASEMENTS AS SHOWN HEREON AND HEREBY VACATE ALL EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: Jay Rembe (Member of Country Club Partners LLC)
OWNER DATE

ACKNOWLEDGMENT

STATE OF New Mexico) SS.
COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 5 DAY OF November, 2013, BY Jay Rembe

NOTARY PUBLIC: Jacque Tokatch
MY COMMISSION EXPIRES: 8-27-2015



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
Century Link for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

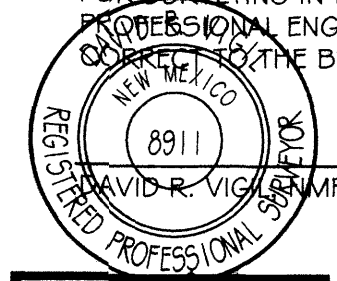
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PROJECT NUMBER: _____

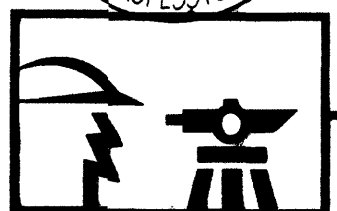
| | |
|--|------------------------|
| CITY APPROVAL <u>David P. Acosta</u> CITY SURVEYOR | <u>11-5-13</u> DATE |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | DATE |
| UTILITIES DEVELOPMENT | DATE |
| PARKS AND RECREATION DEPARTMENT | DATE |
| A.M.A.F.C.A. | DATE |
| ABCWUA | DATE |
| CITY ENGINEER | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | DATE |
| REAL PROPERTY DIVISION | DATE |
| UTILITY APPROVALS: | |
| PNM ELECTRIC SERVICES | DATE |
| NEW MEXICO GAS | DATE |
| CENTURY LINK | DATE |
| COMCAST | DATE |

SURVEYOR'S CERTIFICATE:

I, DAVID R VIGIL, NEW MEXICO PROFESSIONAL SURVEYOR NO. 8911, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



David R. Vigil
DATE 10/24/2013



CONSTRUCTION SURVEY TECHNOLOGIES, INC
PO BOX 65395, ALBUQUERQUE, NM 87193, 505-917-8921

CONSTRUCTION SURVEY TECHNOLOGIES, INC
 PO BOX 65395, ALBUQUERQUE, NM 87193, 505-917-8921



LOT 2
 GARCIA PROPERTIES DEVELOPMENT
 VOL 2009C FOLIO 28, 02-17-2009

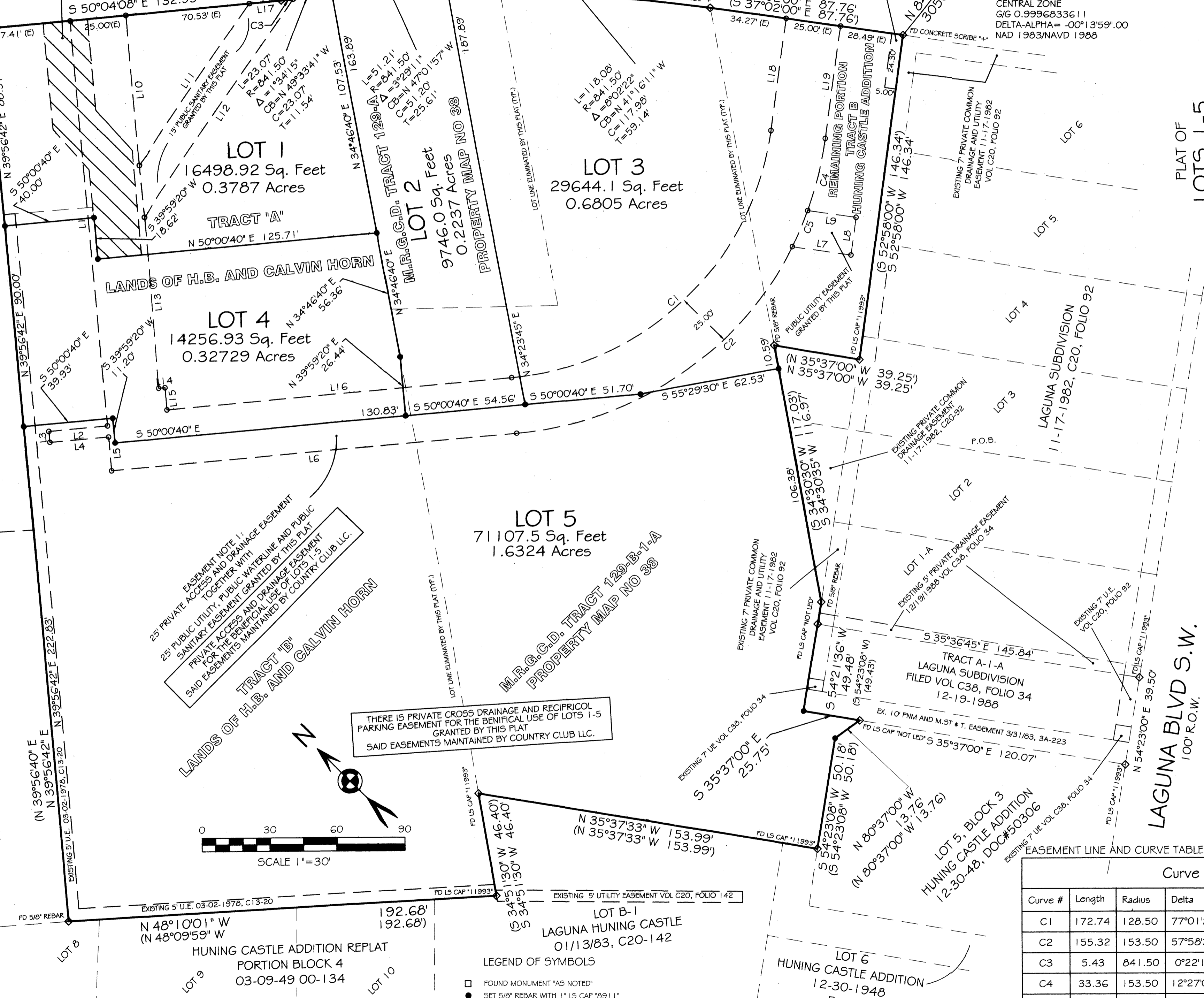
LOT 1
 GARCIA PROPERTIES DEVELOPMENT
 VOL 2009C FOLIO 28, 02-17-2009

CENTRAL AVE SW
 100' R.O.W.

T = 96.60'
 C = 191.94'
 B = 543'47'54" E
 D = 13°05'49"
 R = 841.50'
 L = 192.35'

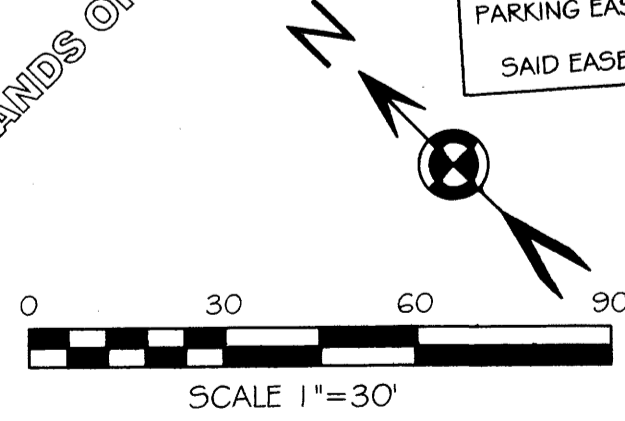
ACS CONTROL STATION
 "17-J14"
 N 1488866.762
 E 1519149.317
 Z 4957.484
 NEW MEXICO STATE PLANE
 CENTRAL ZONE
 G/G 0.9996833611
 DELTA-ALPHA = -00°13'59".00
 NAD 1983/NAVD 1988

20' INGRESS AND EGRESS ESMT
 03/02-78, C13-20
 EASEMENT TO REMAIN
 (133.03)



EASEMENT NOTE 1:
 25' PRIVATE ACCESS AND DRAINAGE EASEMENT
 TOGETHER WITH
 SANITARY EASEMENT GRANTED BY THIS PLAT
 FOR THE BENEFICIAL USE OF LOTS 1-5
 SAID EASEMENTS MAINTAINED BY COUNTRY CLUB LLC.

THERE IS PRIVATE CROSS DRAINAGE AND RECIPROCAL
 PARKING EASEMENT FOR THE BENEFICIAL USE OF LOTS 1-5
 GRANTED BY THIS PLAT
 SAID EASEMENTS MAINTAINED BY COUNTRY CLUB LLC.



LEGEND OF SYMBOLS
 □ FOUND MONUMENT "AS NOTED"
 ● SET 5/8" REBAR WITH 1" LS CAP "89 11"
 ○ EASEMENT ANGLE POINT AND/OR P.C. P.T. (NOT SET)

| Line Table | | |
|------------|--------|---------------|
| Line # | Length | Direction |
| L1 | 181.65 | N39° 59' 20"E |
| L2 | 26.36 | N50° 00' 40"W |
| L3 | 5.00 | S39° 59' 20"W |
| L4 | 26.36 | S50° 00' 40"E |
| L5 | 15.50 | S39° 59' 20"W |
| L6 | 183.17 | S50° 00' 40"E |
| L7 | 26.90 | S37° 02' 00"E |
| L8 | 17.00 | N52° 58' 00"E |
| L9 | 22.11 | N37° 02' 00"W |
| L10 | 67.20 | S39° 59' 20"W |
| L11 | 87.76 | N79° 57' 08"E |
| L12 | 118.26 | N79° 57' 08"E |
| L13 | 76.71 | S39° 59' 20"W |
| L14 | 3.00 | S50° 00' 40"E |
| L15 | 10.00 | S39° 59' 20"W |
| L16 | 155.17 | S50° 00' 40"E |
| L17 | 14.17 | S50° 04' 08"E |
| L18 | 50.52 | N52° 58' 00"E |
| L19 | 50.52 | N52° 58' 00"E |

| Curve Table | | | | | |
|-------------|--------|--------|-----------|-----------------|--------------|
| Curve # | Length | Radius | Delta | Chord Direction | Chord Length |
| C1 | 172.74 | 128.50 | 77°01'20" | S88° 31' 20"E | 160.03 |
| C2 | 155.32 | 153.50 | 57°58'31" | S78° 59' 56"E | 148.78 |
| C3 | 5.43 | 841.50 | 0°22'10" | N50° 09' 43"W | 5.43 |
| C4 | 33.36 | 153.50 | 12°27'02" | N59° 11' 30"E | 33.29 |
| C5 | 17.67 | 153.50 | 6°35'48" | N68° 42' 55"E | 17.66 |

PLAT OF
 COUNTRY CLUB PLAZA
 BEING A REPLAT OF
 REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION
 TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN
 M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38
 SITUATED WITHIN PROJECTED SECTION 18, T 10 N, R 3E, N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2013

PROPERTY LINE RADIUS INFORMATION:

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|---------|-------------|---------------|--------------|
| C1 | 22.87' | 841.50' | 1°33'26" | N 49°34'05" W | 22.87' |
| C2 | 51.32' | 841.50' | 3°29'39" | N 47°02'32" W | 51.31' |
| C3 | 192.35' | 841.50' | 13°05'49" | N 43°47'57" W | 191.94' |
| C4 | 118.16' | 841.50' | 8°02'43" | N 41°16'21" W | 118.06' |

SITE DEVELOPMENT PLAN FOR SUBDIVISION
 THE SITE IS APPROXIMATELY 3.37 ACRES AND IS LOCATED ALONG CENTRAL AVENUE BETWEEN LAGUNA BLVD. SW AND SAN PASQUALE AVENUE SW.

PROPOSED LEGAL DESCRIPTION:
 LOTS 1 THRU 5 OF COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LAND AREA:
 3.37 ACRES (146,968 SQ. FT.)

ZONE ATLAS MAP:
 J-13-2

CURRENT ZONING:
 THE CURRENT ZONING FOR LOTS 1 THRU 5 IS: SU-2 FOR CLD.

THE CURRENT ZONING FOR TRACT A-1-A PROPERTY IS: R-1.

APPLICABLE PLANS:
 HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN.
 CENTRAL AVENUE STREETSCAPE URBAN MASTERPLAN.

PROPOSED DESIGN STANDARDS:
 THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: VEHICULAR ACCESS AND CIRCULATION
 THE MAIN ACCESS POINT INTO THE SITE IS FROM TWO NEW CURB CUTS OFF OF CENTRAL AVENUE. A SECONDARY ACCESS POINT TO THE SITE IS FROM LAGUNA BOULEVARD. BOTH OF THE MAIN ACCESS POINTS ARE FULL ACCESS.

RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.

AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC): REQUIRED PARKING SHALL BE CONSISTENT WITH THE C-1 ZONE PARKING REQUIREMENTS.

PEDESTRIAN ACCESS AND CIRCULATION
 PEDESTRIAN ACCESS IS PROVIDED OFF OF CENTRAL AVENUE. SIDEWALKS AND DESIGNATED CROSSWALKS CONNECT THE FRONTS OF ALL BUILDINGS THROUGH THE SITE.

PROPOSED USES
THE PROPOSED USES FOR LOT 1 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.

THE PROPOSED USES FOR LOT 2 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.

THE PROPOSED USES FOR LOT 3 ARE:
 ALL USES PERMITTED IN THE CLD ZONE. THE MAXIMUM TOTAL DWELLING UNITS IS: 25 UNITS

THE PROPOSED USES FOR LOT 4 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.

THE PROPOSED USES FOR LOT 5 ARE:
 ALL USES PERMITTED IN THE CLD ZONE.

THE PROPOSED USES FOR TRACT A-1-A ARE:
 ALL USES PERMITTED IN THE R-1 ZONE.

BUILDING HEIGHT AND SETBACKS
 SEE THE DESIGN STANDARDS AS PART OF THIS SUBMITTAL.

MAXIMUM TOTAL DWELLING UNITS
 A MAXIMUM OF 69 UNITS WILL BE ALLOWED FOR THIS DEVELOPMENT (LOTS 1-5).

FLOOR AREA RATIO
 THE MAXIMUM F.A.R. FOR RESIDENTIAL USES IS .61 AS STATED IN THE HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN. CONSISTENT WITH THE SECTOR DEVELOPMENT PLAN AND THE PREVIOUS SUBMITTAL, THERE IS NO MAXIMUM F.A.R. FOR COMMERCIAL USES.

LANDSCAPE PLAN
 THE LANDSCAPING FOR THIS SITE IS PART OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND IS SUBJECT TO THE DESIGN STANDARDS.

EASEMENT NOTE "A"
 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

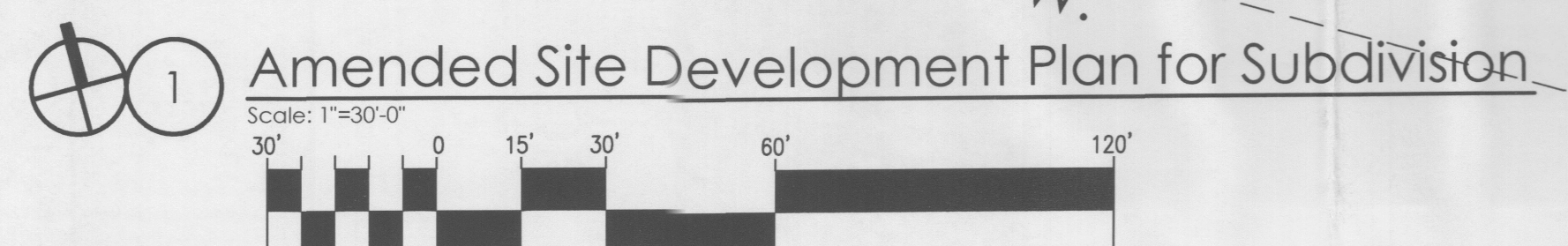
PROJECT NUMBER: 1004677 APPLICATION NUMBER: 13EPC-40140

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: October 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|--|------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | Date |
| UTILITIES DEVELOPMENT | Date |
| PARKS AND RECREATION DEPARTMENT | Date |
| CITY ENGINEER | Date |
| *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | Date |
| N/A | N/A |
| SOLID WASTE MANAGEMENT | Date |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | Date |



| rev | date | by | date |
|-----|----------|-----|----------|
| 5 | 12/10/13 | mms | 10/29/13 |
| 4 | | | |
| 3 | | | |
| 2 | | | |
| 1 | | | |

MH
 Mullen Heller
 Architecture P.C.
 924 Park Avenue SW
 Suite B
 Albuquerque 87102
 505 268 4144[p]
 505 268 4244 [f]

| | |
|-----------------|------------------|
| job number | 12-11 |
| drawn by | S.J. MWS, A.V. |
| project manager | Doug Heller, AIA |
| date | 09/26/2013 |

Country Club Plaza
 SWC of Central Avenue and Laguna Boulevard
 Albuquerque, New Mexico 87102
 sheet title
 Amended Site Dev't Plan for Subdivision

Country Club Plaza Design Standards

Central Avenue, SW, Albuquerque, New Mexico

Introduction

The following Design Standards apply to the renovation of the three existing buildings on Lot 1 & 2, and to the future building on Lot 3 of Country Club Plaza development to be built on the 1700 block of Central Avenue S.W., on lands between Laguna Blvd. SW and San Pasquale Avenue SW.

Procedurally, this project shall submit a Site Development Plan for Building Permit which will be reviewed by the City of Albuquerque Planning Department's Development Review Board (DRB). The intent of these Design Standards is to provide guidance for the DRB when reviewing future development.

Additionally, the regulations and standards in the City of Albuquerque Zoning Code, the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan, and the Central Avenue Streetscape Urban Design Master Plan shall apply to all buildings.

Design Theme/Land Use Concept: Project Background

The Country Club Plaza development infills a major hole in its neighborhood with a design theme of a small Route 66 neighborhood center. The project uses the walkable, urban scale of Old Town and is intended that there will be a uniform style throughout the development that relates to the existing context.

The land use concept proposes creation of a vibrant neighborhood center with a full menu of uses: retail, office, and residential. This mix of uses is arranged in a walkable, neighborhood-scaled area of shops, restaurants, offices, and residential uses. The site's proximity to the City's main mass transportation route will encourage ridership and reduce traffic, and the arrangement of building types will help protect residential areas to the south. Parking and vehicular circulation are arranged such that the existing buildings shield parking from the street and flows easily from the front of the site to the rear. Wide walks and landscape frame the parking areas to create a highly connective system of pedestrian circulation within the site and to the surrounding streets.

A. Architectural Character and Architectural Design Elements

The building on Lot 3 of the Country Club Plaza development requires architectural design which respects and creatively blends with the image of the three renovated buildings on the site as well as the new buildings, which is the Route 66-inspired Moderne style and Mediterranean Revival Style. Generic, franchise architecture is prohibited.

The General Building and Site Design Regulations for Non-Residential Uses (14-16-3-18) as found in the City of Albuquerque Comprehensive Zoning Code will apply to all development.

Mediterranean Revival Style

The Mediterranean Revival style are low sloping primary roofs, typically covered by ceramic tiles.; though flat roofs may be used. Walls are typically stucco with a thick and solid appearance, and arches in main-floor windows, doors and arcades. Houses inspired by the Mediterranean Revival style will have a generous roof overhangs with closed soffits and supporting brackets. Façade compositions are usually asymmetrical with well-defined projecting forms, enhancing the play of light and shadow. Entry porches are often recessed. Classical details are applied to window and door surrounds, columns, and pediments.

Moderne Style

The Moderne style originates with the earliest and purist modernism, which was then tempered by the stylistic Art Deco movement. The movements focus on the machine age and streamlined design. Many examples are found on Central Ave., or Route 66, which co-opted the style to express American's passion with car travel.

Principal characteristics of the Moderne style include simple massing, stepped massing at towers and/or parapets, vertical or horizontal flow lines and zigzag patterns, rounded corners or windows, cantilevered awnings and pylons, and flat roofs. Facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details. Entry elements are often the prominent architectural feature on the building.

Massing

A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three walls. Massing for this building shall be well proportioned and consistent with the architectural character of the renovated buildings' style. Particular consideration shall be taken to preserve natural view corridors at the site, as well as terminating major vistas within the site.

Interpretations of the Moderne style include: asymmetry, horizontally proportioned, corner towers (round, square, or octagonal stepped form), and signage incorporated building signage into its massing. Entry elements are often the prominent architectural feature on the building.

Interpretations of the Mediterranean Revival style include: asymmetry, typically multiple stories, well-defined, projecting forms, and recessed entries, balconies, and windows.

Roofs

Main roofs of structures in the Moderne style shall follow these standards: flat roofs with parapets that are simple, stepped or streamlined, and may incorporate stylized building signage into its parapet or roof form.

Mediterranean Revival-inspired roofs use low to moderate hip or gable roofs (5:12 to 9:12), dormers are not generally used and eaves are boxed with closed soffits with exposed rafter extensions.

Windows & Doors

Windows and doors of Moderne structures shall follow these standards: facades are composed rhythmically, alternating mass and opening in a logical manner which belies the building's structural system. Openings compliment and accentuate the massing by being punched, or recessed, and doors and windows are large when fronting on public ways. They are detailed in spare, clean details, and incorporate large expanses of glass, metal window and metal storefront frames, especially at public access. Glass block may be used as accents.

Windows and doors of Mediterranean Revival structures will follow these standards: windows and doors are deeply recessed to give the appearance of thick walls, casement windows are typically used, often with divided lights, but double-hung and awning windows are also possible, round-top arched windows and doors are typically used on lower floors, and all windows and doors are classically detailed.

Shading & Entries

Shading and entries of Moderne structures shall follow these standards: typically have awnings or canopies at openings. One may incorporate a tower or stylized mass of overhand at entries. Balconies may also provide shading.

Shading and entries of Mediterranean Revival structures shall follow these standards: typically do not incorporate front porches, but side and rear covered porches, generally use front doors with embellished surrounds and/or are recessed, and designs will usually incorporate side and rear outdoor rooms and courtyards.

Building Details

Moderne building details shall follow these standards: details may include wall relief moldings, pilasters, articulated bases to walls, and detailed parapets. Other detailing would include the shading devices mentioned above placed at openings and entryways or used to distinguish volume or massing elements. Designs may incorporate stylized elements of signage or lighting into their detailing.

Mediterranean Revival-inspired detailing and ornament shall appear primarily at openings.

Building Materials & Colors

Building materials and colors for buildings on Lots 1 thru 5 of the Country Club Plaza development shall be consistent with the architectural character of the three renovated buildings on the site. Quality materials, architectural features, and craftsmanship shall be employed in the execution of each building. Building material approved, but not limited to, shall include stucco, brick, stone (laid horizontally in load-bearing fashion), concrete, split-faced concrete masonry unit, glass, glass block, ceramic tile, decorative tile, clay tile, wood, colored metal panels, and neon (lighting).

Generous amounts of exposed metals and glass may be incorporated into the wall design, or on awnings, canopies, and towers. Designs may incorporate stylized elements of metal signage or lighting. Colors include cream, off-white, or warm earth-toned saturated color for walls, and saturated colors for accents.

B. Building Density and Height

Building Density

Floor Area Ratio (F.A.R.) is the ratio of the heated gross floor area of structures to the total premises. It is measured from outside surface of outside walls, including multiple stories, in square feet. The maximum F.A.R. for Lots 1 thru 5 and Tract A-1-A is .61 for residential uses, as stated in the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan. Consistent with the Sector Development Plan and the previous submittal, there is no maximum F.A.R. for commercial uses.

Building Heights

Maximum building height for buildings on Lots 1 thru 5 shall be 46', per the Huning Castle and Reynolds Addition Neighborhood Sector Development Plan.

Building Setbacks

Setbacks apply to the exterior edges of the Property (Lots 1-5). The front of lot is at the northern edge facing Central Ave.

Front yard setback: 5'
Sideyard setback: 15' min. except 0' at internal lot lines and on Lot 5 where the setback shall be 50' min. where abutting R-1 zone
Rear yard setback: 0', except on Lot 5 where the setback shall be 50' min. where abutting R-1 zone

C. Landscaping

Landscaping for this development shall comply with the Landscape Regulations (14-16-3-10) in the City of Albuquerque Comprehensive Zoning Code, and the City of Albuquerque requirements in the Water Conservation Landscaping and Water Waste Ordinance, and the Pollen Ordinance. Future landscaping in conjunction with the development of the building on Lot 3 shall be in accordance with the Landscape Plan in the Site Development Plan for Building Permit submittal.

For residential uses Usable Open Space shall be provided as required in the R-2 Residential Zone (14-16-2-11) in the City of Albuquerque Comprehensive Zoning Code.

D. Walls and Fences

Walls and fences shall be compatible with the nearby buildings and architectural themes in terms of color, materials and style. To that end, all perimeter walls shall be concrete masonry unit (CMU) with stucco finish, pier (CMU w/stone or stucco) with wood or metal fence infill, or metal fence. Chain link and/or barbed wire/razor wire are prohibited. Walls and fences shall conform with the City of Albuquerque Comprehensive Zoning Code General Height and Design Regulations for Walls, Fences and Retaining Walls (14-16-3-19).

E. Site Lighting

Site lighting shall conform with the City of Albuquerque Comprehensive Zoning Code Area Lighting Regulations (14-16-3-9).

Lighting design shall compliment the architectural styles, and not overwhelm them. Lighting shall be scaled appropriately to the purpose it is serving - taller heights for more coverage for safety such as parking lots, lower and concentrated for pedestrians. Walkways within the site shall be lit with pole fixtures, bollards, or lighting in the portales, downlighting, sconces, or pendants. Building-mounted lighting shall enhance the architecture of each building, and shall include sconces, shielded accent lights, and arm-mounted lights aimed towards projects' building walls.

Pedestrian scale lighting: 1.) Not higher than 4 feet at key pedestrian gathering areas. 2.) 16 feet maximum along internal streets measured from finished grade to the top of the pole.

Lighting shall be fully shielded and high-pressure sodium lighting and unshielded uplighting shall be prohibited.

Site lighting type, color, and materials shall compliment the character of the project and not contrast or stand out from the designs of the buildings. The lighting design shall enhance both the pedestrian scale and the automobile portions of the site.

F. Signs & Signage

On-premise signage will comply with City of Albuquerque Comprehensive Zoning Code requirements for the C-1 zone as well as the General Sign Regulations (14-16-3-5), with the following exceptions:

- Maximum height shall be 18 feet and maximum sign area shall be 100 square feet.
- Buildings on Lots 1 thru 4 shall be allowed one projecting sign each.
- The area of the total building-mounted signage shall be limited to 9% of the façade to which it is applied.
- There is no limit on the number of building-mounted signs except there shall be no signs facing the proposed residential development on Lot 5.
- All building mounted signage shall be individual illuminated channel letters.

revision

by

date

rev

1/5

2/5

3/5

4/5

5/5



Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]

job number 12-11
drawn by S.J. MWS, AV
project manager Doug Heller, AIA
date 09/26/2013

project title
Country Club Plaza
SVC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
sheet title
Amended Site Dev't Plan for Subdivision Design Standards

sheet-

2 of 2