

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

01/29/2008 Issued By: PLNABG

Permit Number: 2008 070 051

Category Code 910

Application Number: 08DRB-70051, Major - Final Plat Approval

Address:

Location Description: JUAN TABO BLVD

Project Number: 1004715

Applicant

Jth Llc

Po Box 1443
Albuquerque NM 87199
892-5533

Agent / Contact

Mark Goodwin & Associates Pa

Po Box 90606
Albuquerque NM 87199
828-2200

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

1/29/2008 10:45AM LOC: ANRX
USF 008 TRANS# 0003
RECEIPT# 00086970-00086970
PERMIT# 2008070051 TRSDMC
Trans Amt \$20.00
Conflict Mgmt Fee \$20.00
CK \$20.00
CHANGE \$0.00

Thank You




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: February 4, 2008

TO: Jack Cloud, Planning Department – Design Review Board

COPY: Suzanne Busch, Environmental Health Department
Donna Griffin, Legal Department
Mark Goodwin & Associates PA

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project # 1004715, 08DRB-70051 Major – Final Plat Approval, Tracts 6 & 7 1A,
Juan Tabo Hills Unit 1, Located on Juan Tabo Blvd.

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (Eubank Landfill). The developers of this site are required to follow the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones”. A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.




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6000 Uptown Boulevard NE
Suite 100
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There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (Fubank Landfill). The developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.



6000 Uptown NE, Suite 100
 Albuquerque, NM 87110
 Phone: (505) 246-1600
 Fax: (505) 246-2600

FACSIMILE COVER SHEET

TO: <u>Jack Cloud</u>	FROM: <u>Amy Andrews</u>
COMPANY: <u>Cof A.</u>	NO. OF PAGES: <u>2</u> (Including cover page)
FAX #: <u>924-3864</u>	
PHONE #: _____	DATE: <u>2-4-08</u>

SUBJECT: Hand copy to follow via US mail.

If there are any problems with this transmission, please call (505) 246-1600

Thank You!

44
44
44
44

4715

DXF Electronic Approval Form

DRB Project Case #: 1004715

Subdivision Name: JUAN TABO HILLS UNIT 2

Surveyor: WILL PLOTNER JR

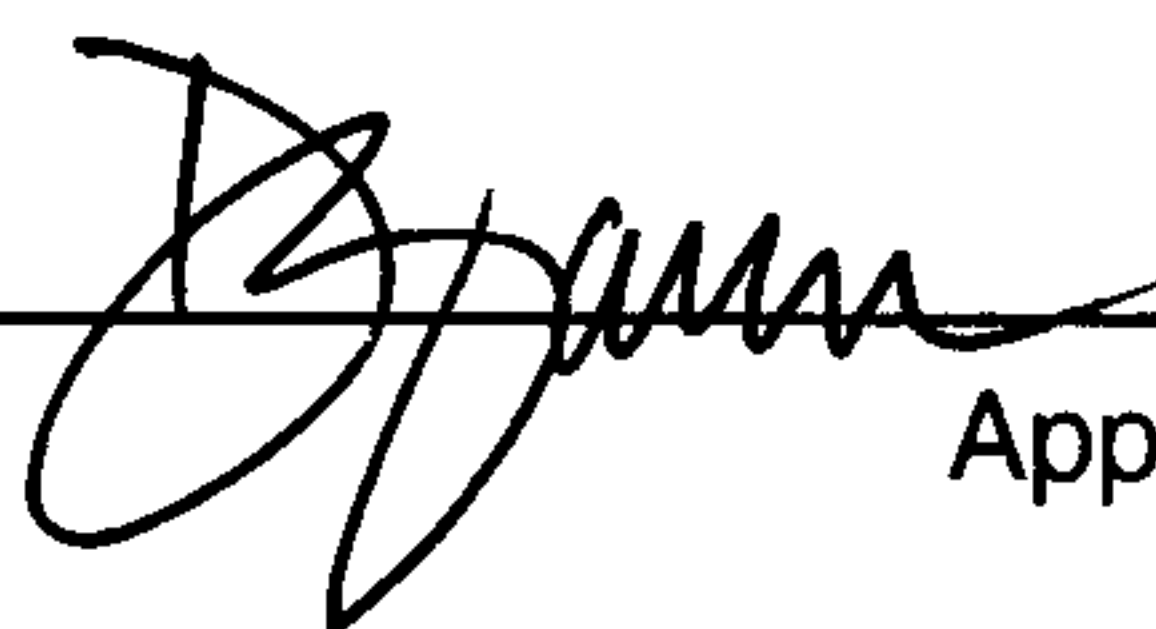
Contact Person: STEPHEN STASIEWICZ

Contact Information: 896-3050

DXF Received: 1/29/2008


Hard Copy Received: 1/29/2008

Coordinate System: NMSP Grid (NAD 83)


Approved

02.04.2008
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

THIS WAS PREVIOUSLY
APPROVED UNDER
PROJECT NO. 1001370


Copied _____
Contact person notified on 2/4/2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004715

AGENDA ITEM NO: 8

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

Minor comment on page 30.
AMAFCA must sign plat

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: February 6, 2008

#8

Completed 2/20/08
KS



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70051	Project # 1004715
Project Name: Juan Tabo Hills Unit 1	
Agent: Mark Goodwin & Associates PA	Phone No.: 828-2200

Your request was approved on 2/20/08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: address comments

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - ✓ for AMAFCA signature

- Remove Lot 21, Block 1

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On: 2/16/08

#8



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70051

Project # 1004715

Project Name: Juan Tabo Hills Unit 1

Agent: Mark Goodwin & Associates PA

Phone No.: 828-2200

Your request was approved on 0 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: address comments

UTILITIES:

CITY ENGINEER / AMAFCA:

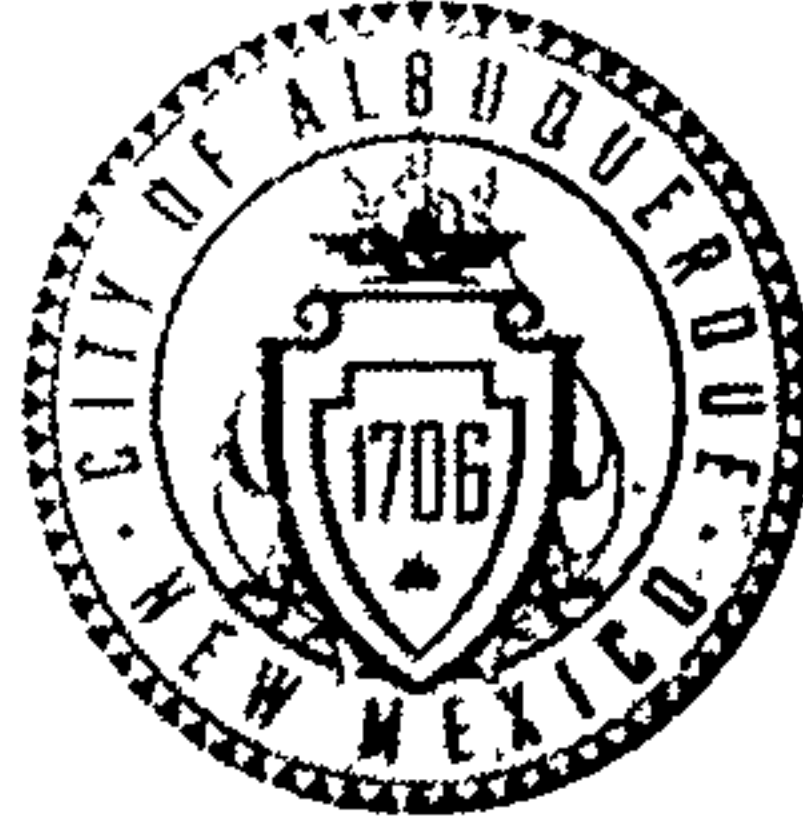
PARKS / CIP:

PLANNING (Last to sign): - ✓ for AMAFCA signature
- Remove Lot 21, Block 1

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Created On: 2/6/08



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 6, 2008 9:00 AM

MEMBERS:

Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1003523**
08DRB-70011 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
08DRB-70012 EXT OF SIA FOR TEMP
DEFR SDWK CONST

RIO GRANDE ENGINEERING agent(s) for MONTERAY
LAND GROUP II LLC request(s) the above action(s) for
all or a portion of **PRIMA ENTRADA SUBDIVISION**,
zoned SU-2/RLT, located on 98TH ST NW BETWEEN
ENDEE RD NW AND I-40 containing approximately
14.35 acre(s). (J8 & 9) **THE ONE YEAR EXTENSION OF
THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA)
WAS APPROVED.**

2. **Project# 1000551**
08DRB-70010 MAJOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)

DAC ENTERPRISES, INC agent(s) for FAIZEL
KASSAM, NEW GIBSON INVESTMENTS request(s) the
above action(s) for all or a portion of Tract(s) A2, **PARK
SQUARE ADDITION**, zoned SU-3/PLANNED DEV-
MOTEL, located on AMERICAS PARKWAY NE
BETWEEN INDIAN SCHOOL RD NE AND
LOUISIANA BLVD NE (J-18) **THE ONE YEAR
EXTENSION OF THE SUBDIVISION IMPROVEMENT
AGREEMENT (SIA) WAS APPROVED.**

3. **Project# 1006967**
07DRB-70422 VACATION OF PUBLIC
RIGHT-OF-WAY
- DAC ENTERPRISES, INC agent(s) for FAIZEL KASSAM request(s) the above action(s) for a portion of Modesto Ave NE adjacent to Lot(s) 8-10, Block(s) 26, **NORTH ALBUQUERQUE ACRES TRACT 1, UNIT B**, located on the south side of MODESTO NE BETWEEN SAN PEDRO NE AND LOUISIANA NE (C-18) (*Deferred from 12/12/07*) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. CONDITIONS ARE THAT PER ABCWUA, THE VACATED RIGHT-OF-WAY BE RETAINED AS PUBLIC WATER AND SANITARY SEWER EASEMENTS, AND THE ENTIRE VACATED RIGHT-OF-WAY BE PLATTED CONCURRENTLY. AS A CONDITION OF THE PLAT, THE CITY ENGINEER WILL REQUIRE A CONCEPTUAL GRADING AND DRAINAGE PLAN.**
4. **Project# 1006953**
07DRB-70406 VACATION OF PUBLIC
EASEMENT
- LOGAN HALL request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 4, **TERRACE ADDITION**, zoned SU-2/NCR, located on LEAD AVE SE BETWEEN LOCUST AVE SE AND ELM ST SE containing approximately 0.4539 acre(s). (K-15) (*Deferred from 12/19/07, 12/23/07*) **DEFERRED TO 2/13/08 AT THE AGENT'S REQUEST.**
5. **Project# 1003709**
08DRB-70003 VACATION OF PUBLIC
EASEMENT
08DRB-70004 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 32-35, W35' OF LOT 37, & 38, **TOGETHER W/ LOT 36A, HUBBEL HEIGHTS ADDN & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT**, zoned SU-1 FOR O-1 & C-1 AND RESTAURANT AND LIQUOR, located on 65TH ST SW BETWEEN CENTRAL AVE SW AND COORS BLVD SW containing approximately 5.555 acre(s). (K-11) (*Deferred from 1/30/08*) **DEFERRED TO 2/20/08 AT THE AGENT'S REQUEST.**
6. **Project# 1006539**
08DRB-70005 VACATION OF PUBLIC
EASEMENT
08DRB-70007 VACATION OF PRIVATE
EASEMENT
- BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract 22, **MESA DEL SOL INNOVATION PARK**, zoned PC, located on UNIVERSITY BLVD SE BETWEEN EASTMEN SE AND STRYKER SE containing approximately 15.82 acre(s). (R-16) (*Deferred from 1/30/08*) **DEFERRED TO 2/13/08 AT THE AGENT'S REQUEST. PROJECT # 1006001 WILL BE COMBINED WITH PROJECT # 1006539 AND HEARD UNDER PROJECT # 1006001.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

7. **Project# 1004075**
07DRB-70453 LEVEL B PLAN PHSE 2
DRB FINAL SIGNOFF
- DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON NM LLC request(s) the above action(s) for all or a portion of **MESA DEL SOL LEVEL B MASTER PLAN**, zoned PC/PLANNED COMMUNITY, located on EAST OF BROADWAY SE SOUTH OF LOS PICARDOS SE, containing approximately 3,082 acre(s). *(Deferred from 1/9/08, 1/16/08 & 1/30/08)* **DEFERRED TO 2/13/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. ~~Project# 10047157~~
08DRB-70051 MAJOR - FINAL PLAT
APPROVAL
- MARK GOODWIN & ASSOCIATES PA agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 6&7 1A, **JUAN TABO HILLS UNIT 1** zoned R-D, located on JUAN TABO BLVD (M-21, M-22) **THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE, AND TO REMOVE LOT 21, BLOCK 1, AND TO TRANSPORTATION FOR COMMENTS. CONDITIONS OF FINAL PLAT ARE TO OBTAIN AMAFCA SIGNATURE, AND TO RESTORE FINAL PLAT TO MATCH PRELIMINARY PLAT.**
9. **Project# 1006001**
08DRB-70052 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 22, **MESA DEL SOL INNOVATION PARK**, zoned PC, located on UNIVERSITY BLVD SE BETWEEN EASTMAN AVE SE AND STRYKER SE containing approximately 15.82 acre(s). (R-16) **DEFERRED TO 2/13/08 AT THE AGENT'S REQUEST. PROJECT # 1006001 WILL BE COMBINED WITH PROJECT # 1006539 AND HEARD UNDER PROJECT # 1006001.**
10. Approval of the Development Review Board Minutes for January 16, 2008

Other Matters: None

ADJOURNED: 9:35

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 6, 2008
DRB Comments**

ITEM # 8

PROJECT # 1004715 APPLICATION # 08-70051

RE: Tracts 6 & 7, Juan Tabo Hills Unit 1

The proposed Final Plat does not conform with the approved Preliminary Plat - proposed Lot 21, Block 1 was not approved as a lot, but as Public Right-of-way.

For future reference, please revise solar note (No. 3) to be specific to this type of request, i.e. replace the words "REQUESTED FINAL ACTION" with the words "THIS PLAT" at the beginning of the note, and delete the words "OR SITE DEVELOPMENT PLAN FOR SUBDIVISION" at the end of the note.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 11, 2007

21. Project# 1004715
07DRB-70098 EXT OF MAJOR PRELIMINARY PLAT

MARK GOOWWIN & ASSOCIATES agent(s) for JTH. LLC request(s) the above action(s) for all or a portion of Tract(s) 6 & 7, **JUAN TABO HILLS, UNIT 2**, zoned RD, located on JUAN TABO BLVD NE BETWEEN EUBANK BLVD NE AND FOUR HILLS containing approximately 82.9917 acre(s). (M-21/22)

At the July 11, 2007, Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still applies.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: JTH LLC, PO Box 1443, Corrales, NM 87048
Mark Goodwin & Assoc., PO Box 90606, 87199
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004715

AGENDA ITEM NO: 21

SUBJECT:

Preliminary Plat – Extension

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION: lyv

APPROVED DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee 505-924-3986

DATE: JULY 11, 2007

(M-21/D015)

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004715

AGENDA ITEM NO: 21

SUBJECT:

Preliminary Plat – Extension

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee 505-924-3986

DATE: JULY 11, 2007

(M-21/D015)

#4



DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

Comp 45 7/12/06

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00938 (SPS)

Project # 1004715

Project Name JUAN TABO HILLS UNIT 2

Agent: Mark Goodwin & Associates

Phone No.: 828-2200

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7/12/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

- _____
- _____
- _____

UTILITIES: _____

- _____
- _____

CITY ENGINEER / AMAFCA: _____

- _____
- _____

PARKS / CIP: _____

- _____
- _____

PLANNING (Last to sign): *Scarpies* _____

- _____
- _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1004715



DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>06DRB-00938 (SPS)</u>	Project # <u>1004715</u>
Project Name <u>JUAN TABO HILLS UNIT 2</u>	
Agent: <u>Mark Goodwin & Associates</u>	Phone No.: <u>828-2200</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/20/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): Scarpies _____
- _____
- _____
- _____

Planning must record this plat. Please submit the following items:

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- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk): RECORDED DATE: _____
- Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1004715

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004715

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for Subd
Sidewalk Variance
Vacation
DPM Variance
Sidewalk Deferral
Preliminary Plat

P.O. Box 1293

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

New Mexico 87103

An approved drainage report dated 2-9-06 is on file for Preliminary Plat approval.
The Hydrology Section has no objection to the vacation request.

www.cabq.gov

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: July 12, 2006



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 12, 2006

4. **Project # 1004715**

06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

At the July 12, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 7/12/06 and approval of the grading plan engineer stamp dated 2/9/06 the preliminary plat was approved with the following conditions of final plat:

If the final plat is approved after 10/31/06, the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee Agreements with the Albuquerque Public Schools (APS).

The developer shall establish either an Avigation Easement or a Covenant Not to Sue with the City of Albuquerque, either of which would be filed with the County Clerk's Office.

The vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.



OFFICIAL NOTICE OF DECISION

PAGE 2

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

The Subdivision Design Variance from minimum DPM design standards was approved as shown on Exhibit C in the Planning file.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

06DRB-00938 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

The site plan for subdivision was approved and signed off by the Board.

If you wish to appeal this decision, you must do so by July 27, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).




OFFICIAL NOTICE OF DECISION

PAGE 3

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)


for Sheran Matson, AICP, DRB Chair

Cc: JTH LLC, P.O. Box 1443, Corrales, NM 87048
Mark Goodwin & Associates PA, P.O. Box 90606, 87199
Robert Booms, 598 Rincon, Corrales, Nm 87048
Randy Glasebrook, 12005 San Francisco NE, 87122
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Jim Hinde, Aviation Department
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004715 AGENDA#: 4 DATE: 7-12-06

- ✓ 1. Name: Robert Booms Address: 598 RIVER (ORANLEY) ~~87048~~ Zip: 87048
2. Name: Greg Krenk Address: MAY SASSON Zip: 87199
- ✓ 3. Name: RANDY GLASEBROOK Address: 13005 SAN FRANCISCO NE Zip: 87122
4. Name: Robert Lupton Address: Owner Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 12, 2006

Project # 1004715

06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

AMAFCA

No adverse comments.

COG

The Long Range Roadway System identifies this section of Juan Tabo as a study corridor however with an intended functional classification of principal arterial. The proposed siteplan shows a right of way of 72' for this section of Juan Tabo which is inconsistent with the standard ROW of principal arterial. Please coordinate with the MRCOG to update the Long Range Roadway System. In addition, the Long Range Bikeway System identifies a proposed trail in the project vicinity that extends to the Four Hills community. Please coordinate with the City's DMD Trails for project inclusion as appropriate.

Transit Aren't ADA ramps required on all quadrants of a "T" intersection, not just across the intersecting street?

Zoning Enforcement

No adverse comments.

Neighborhood Coordination

Letters sent to Four Hills Village HOA (R) and Tijeras Arroyo NA (R).

APS Juan Tabo Hills Unit 2 is part of a larger project known as Volterra. Volterra is projected to have 1,200 single-family homes over the next 7 years or less. The planned development will affect Manzano Mesa Elementary, Van Buren Middle School, and Highland High School.

APS

School	2006-07 Projections	2006-07 Capacity	Space Available
Manzano Mesa	622	613	-9
Van Buren	646	882	236
Highland	1,969	2,300	331

Manzano Mesa is nearing capacity. However, Phase II will add a classroom wing to Manzano Mesa and increase its capacity to 750 to 800 students.

Van Buren Middle School and Highland High School will have capacity to support future growth from the proposed development.

Police Department

No comments received.

Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas

Approved. Please call out the 7' PUE at least once, on each block.

Comcast

No comments received.

QWEST

No comments received.

Environmental Health

No comments received.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

No objection to the vacation request. An approved drainage report is required for Preliminary Plat approval. No objection to DPM variance.

Transportation Development

No objection to the vacation request. No objection to the sidewalk waiver or deferral requests. No objection to the subdivision design variance. Is Delaware on the infra list Rockingham on the plat? Pocono Road needs to have a 6' sidewalk on the north side from Juan Tabo to Timonium. What are the radius values on the cul-de-sacs? Does Raton Ave. require a graveled access with a gate?

Parks & Recreation What is the status of tract 1-A-4? No objection to any of the requests.

Utilities Development No objection to Vacation request. I have questions on infrastructure list for water lines. No objection to Design Variance, Sidewalk Waiver/Deferral.

Planning Department

✓ The perimeter wall design: The maximum total height must be stated on the design. If retaining walls are included, note that also. If the combined height exceeds 8 feet, either a variance is required or a segment step back of segments no higher than 6 feet maximum for each segment with 4 feet in between is allowed. Also, any walls adjacent to Tract 1-A, etc. Public Open Space must also have the wall design.

✓ Why is there a Tract 1-D? Is it Open Space as well?

✓ Because not all lots have dimensions, a statement is required on the preliminary plat declaring the minimum lot size. Please add this to Planning's copy at least & re-submit a corrected preliminary plat for our file before July 12th.

✓ Once these corrections are made, Planning has no objection to the applications.

Be aware that residential subdivision preliminary plat and final plat approvals occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

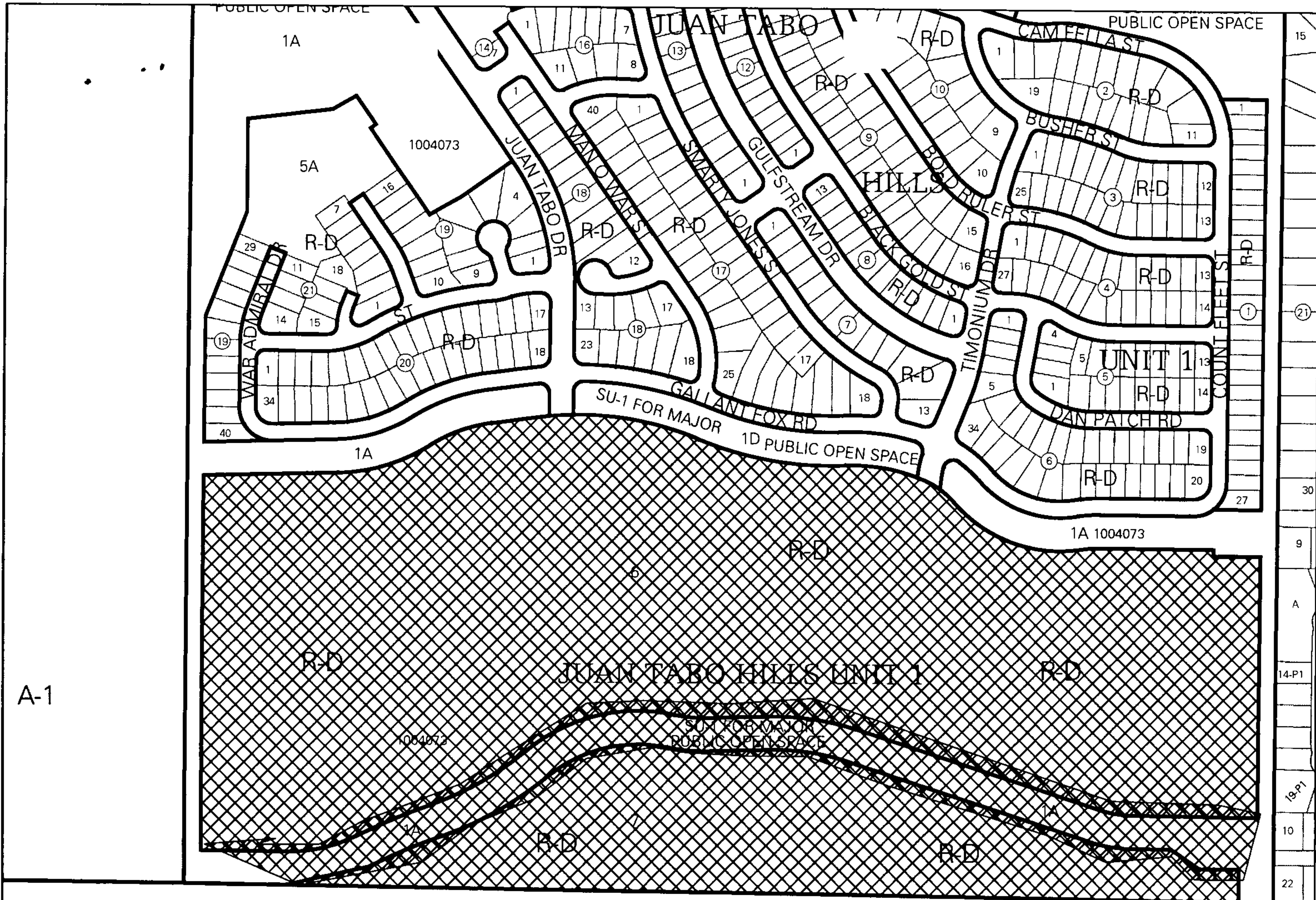
Impact Fee Administrator

Construction of a new single family residence within the proposed subdivision will require payment of Impact Fees. Based on a house size of approximately 2,000 square feet, it is estimated that impact fees will total approximately \$1,512 if a permit is obtained prior to December 29, 2006, and the full impact fee of \$2,257 would be payable thereafter.

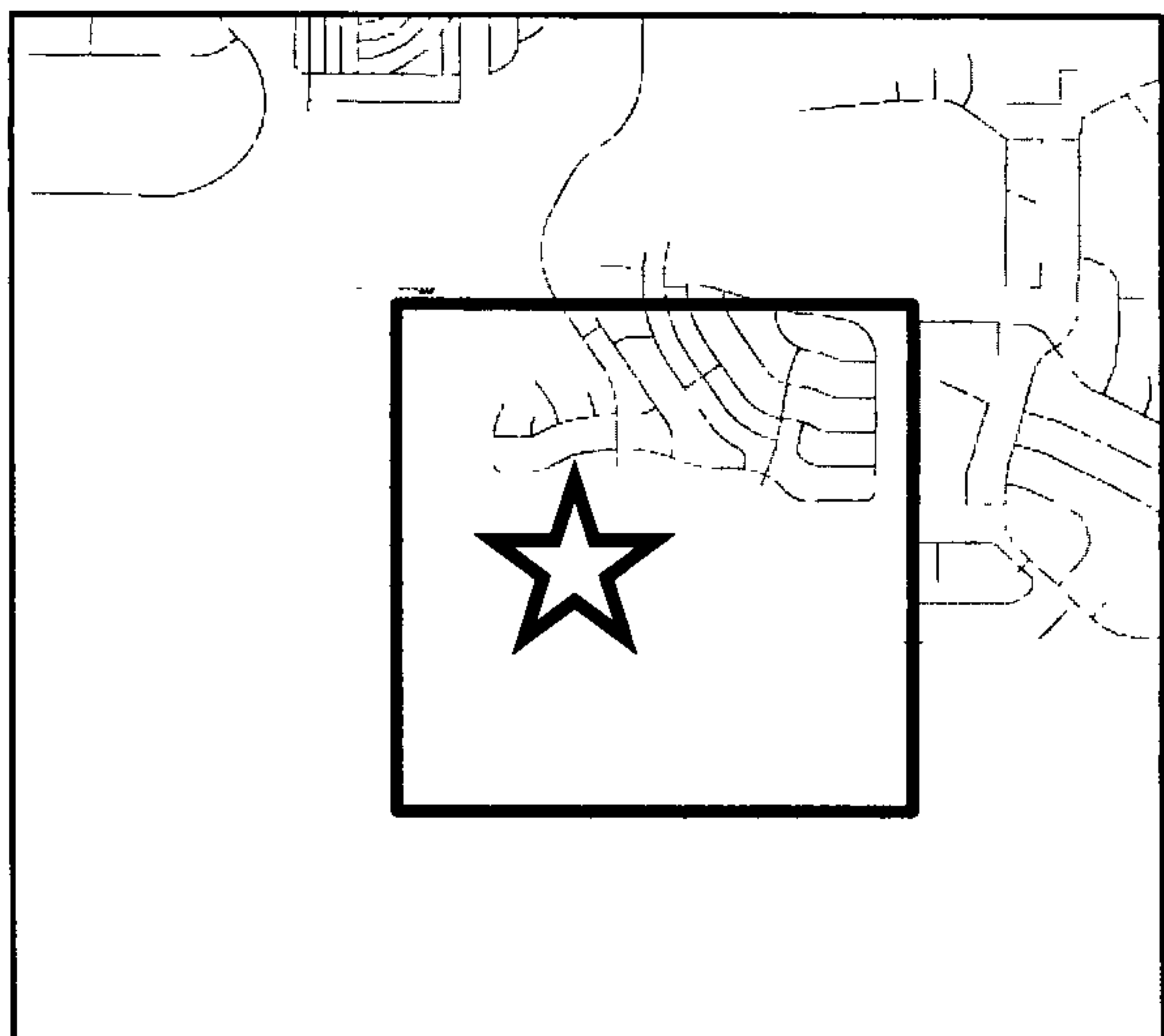
IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:JTH LLC, P.O. Box 1443, Corrales, NM 87048

Mark Goodwin & Associates PA, P.O. Box 90606, 87199



A-1 K



ZONING MAP

Note: Grey shading indicates County



1 inch equals 500 feet

Project Number:

1004715

Hearing Date:

7/12/06

Zone Map Page:

M-21 & M-22

Additional Case Numbers:

06DRB-00813 06DRB-00814

06DRB-00815 06DRB-00816

06DRB-00817



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 12, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1004355

06DRB-00808 Major-Vacation of Public Easements

WILSON AND COMPANY agent(s) for KB HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524, PROJECT #1003470] (D-9)

Project # 1003102

06DRB-00832 Major-Preliminary Plat Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, **LANDS OF FERRARI-ESQUIBEL-PALMER** (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] (F-21)

Project # 1004184

06DRB-00819 Major-Bulk Land Variance
06DRB-00820 Minor-Prelim&Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for TOM SALAZAR request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF SALAZAR FAMILY TRUST ETAL**, zoned RLT AND SU-1 MIXED USE, located on VERMEJO PARK RD SW, between 98TH ST SW and UNSER BLVD SW containing approximately 149 acre(s). [REF: 05DRB-00810, 05DRB-00811] (N-9)

Project # 1004715

06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, **JUAN TABO HILLS, UNIT 1** (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

SEE PAGE 2 . . .



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003613

06DRB-00854 Major-Preliminary Plat Approval
06DRB-00855 Major-Vacation of Public
Easements
06DRB-00859 Minor-SiteDev Plan Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. (K-12)

Project # 1003247

06DRB-00874 Major-Preliminary Plat Approval
06DRB-00876 Major-Final Plat approval
06DRB-00875 Minor- Minor-Temp Defer
SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2 VALENCIA SUBDIVISION (to be known as **CORONA DEL SOL**) zoned R-2 residential townhomes, located on ALAMOGORDO NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). [REF: 04DRB-00190, 05DRB-00498] (G-11)

Project # 1003469

06DRB-00882 Major-Vacation of Public
Easements

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFREY & LORRI ZUMWALT AND ED & CHARLENE WHITEHOUSE request(s) the above action(s) for Lot(s) 7A-P1, 8A-P1 & 9A-P1, **OAKLAND HEIGHTS**, zoned R-D (3 Du/Acre) located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 04DRB-00891] (C-20)

Project # 1003886

06DRB-00861 Major-Preliminary Plat Approval
06DRB-00862 Major-Vacation of Pub Right-of-
Way
06DRB-00864 Major-Vacation of Public
Easements
06DRB-00863 Minor-Vacation of Private
Easements
06DRB-00867 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for HOME SITE FIVE request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE SUBDIVISION (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY NE containing approximately 52 acre(s). [REF: 05DRB-01831] (J-20)

SEE PAGE 3 . . .



PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE

PAGE 3

Project # 1004974

06DRB-00884 Major-SiteDev Plan Subd
06DRB-00885 Major-SiteDev Plan Bldg Permit

STUDIO SW ARCHITECTS agent(s) for SAN PEDRO EQUITIES request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, 30, 31 and 32, Tract(s) A, Block(s) 34, NORTH ALBUQUERQUE ACRES, zoned SU-2, IP, located on SAN PEDRO NE BETWEEN HOLLY NE AND CARMEL NE containing approximately 5 acres. [REF: AX-84-9, Z-84-41] (C-18)

Project # 1003703

06DRB-00886 Major-Preliminary Plat Approval
06DRB-00887 Major-Vacation of Public Right-of-Way
06DRB-00888 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 19 & 20, Block(s) 2, Tract(s) 3, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **EAGLE'S VIEW ESTATES**, zoned RD, located on VENTURA NE between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acres. [REF: 04DRB-01533] (C-20)

Project # 1004240

06DRB-00890 Major-Preliminary Plat Approval
06DRB-00891 Minor-Sidewalk Waiver
06DRB-00892 Minor-Temp Defer SDWK
06DRB-00893 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] (H-13)

Project # 1004932

06DRB-00889 Major-Vacation of Public Right-of-Way

RIMCON INC., WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). [REF: 06DRB-00775] (K-16)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 26, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JULY 12, 2006
Zone Atlas Page: M-21-Z & M-22-Z
Notification Radius: 100 Ft.

Project# 1004715
App#06DRB-0813
App#06DRB-00814
App#06DRB-00815
App#06DRB-00816
App#06DRB-00817

Cross Reference and Location: JUAN TABO BLVD SE BETWEEN EUBANK
BLVD SE AND FOUR HILLS SE

Applicant: JTH, LLC
Address: PO BOX 1443
CORRALES, NM 87048

Agent: MARK GOODWIN & ASSOCIATES, PA
PO 90606
ALBUQUERQUE, NM 87199

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JUNE 23, 2006
Signature: YVONNE SAAVEDRA

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1004715
APPLICATION # _____

PAGE 1 **OF** 5

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
M-22	1022055	099-138	301-16	✓ Dup
M-21	1021055	465-196	401-43	✓ Dup ²
		465-065	32	✓ Dup ²
		266-130	22	✓
M-22	1022055	198-334	201-38	✓ COA
		125-440	27	✓ Dup ²
M-21	1021055	485-328	101-22	✓ Dup ²
		420-328	24	✓
		451-335	25	✓ Dup
		404-389	23	✓ Dup ²
M-22	1022055	202-499	201-40	✓
M-21	1021055	330-328	101-44	✓ Dup
		338-460	60	✓ Dup ²
		455-490	10	✓
M-22	1022056	065-123	301-01	✓
		130-066	303-01	✓

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # _____
APPLICATION # _____

PAGE 2 OF 5

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
	1022056	140-060	303-02	✓
		150-066	03	✓
		227-072	31	✓ Dup
		166-017	32	✓ Dup ²
		291-041	401-40	✓ COA
	1022055	149-433	202-04	✓
		140-432	03	✓
		131-430	02	✓
		120-422	01	✓
		123-407	203-15	✓
		136-408	14	✓
		148-409	13	✓
		158-409	12	✓
		159-442	202-06	✓
		160-427	05	✓

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # _____
APPLICATION # _____

PAGE 3 OF 5

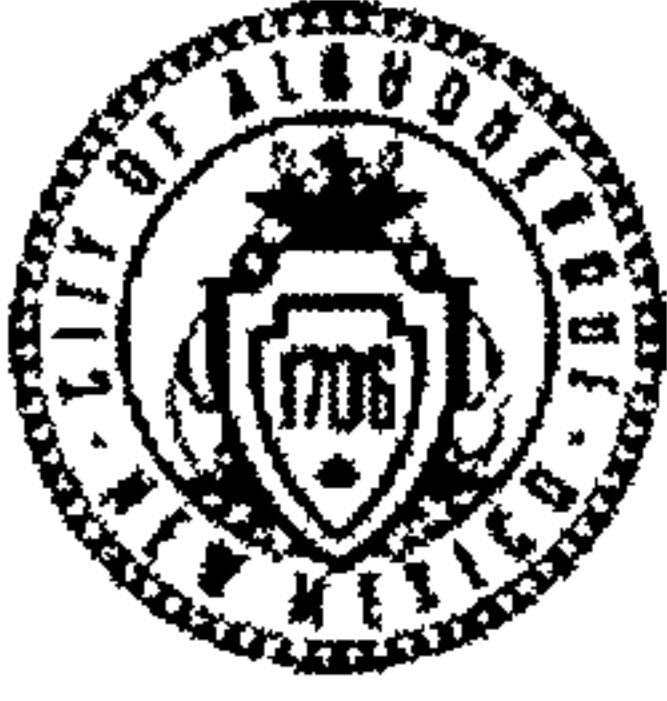
ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
	1022055	210-265	304-16	✓
		203-260	15	✓
		205-249	14	✓
		204-235	305-01	✓
		204-224	02	✓
		204-216	03	✓ Dup
		204-208	04	✓ Dup ²
		204-200	05	✓
		204-191	06	✓
		204-182	07	✓
		204-173	08	✓
		204-164	09	✓
		204-157	10	✓
		204-149	11	✓
		204-141	12	✓
		204-133	13	✓

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # _____
APPLICATION # _____

PAGE 4 **OF** 5

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
	1022055	204-124	305-14	✓
		202-106	302-37	✓
		201-086	48	✓
		201-068	47	✓
		201-061	46	✓
		201-054	36	✓
		201-048	35	✓
		201-041	34	✓
		201-032	33	✓
		200-022	15	✓
		200-004	412-12	✓
		200-022	302-15	✓
		201-032	33	✓
		201-041	34	✓
		201-048	35	✓
		201-054	36	✓



mainframe@coa1mp3.ca
bq.gov

06/21/2006 11:29 AM

To
cc
bcc
Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01022055 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0102205509913830116 LEGAL: W1/2 SW1 /4 AND W1/2 E1/2 SW1/4 SEC 34 T10N R4E
LAND USE: PROPERTY ADDR: 00000
OWNER NAME: JUAN TABO HILLS LLC
OWNER ADDR: 08910 ADAMS ST SE
ALBUQUERQUE NM 87110
0102105546519640143 LEGAL: NE1/ 4 SE 1/4 SEC 33 T10N R4E CONT 40.0000 AC
LAND USE: PROPERTY ADDR: 00000 EUBANK
OWNER NAME: JUAN TABO HILLS LLC
OWNER ADDR: 08910 ADAMS ST SE
ALBUQUERQUE NM 87110
0102105546506540132 LEGAL: SE1/ 4 SE 1/4 SEC 33 T10N R4E CONT 40.0000 AC
LAND USE: PROPERTY ADDR: 00000 EUBANK
OWNER NAME: JUAN TABO HILLS LLC
OWNER ADDR: 08910 ADAMS ST NE
ALBUQUERQUE NM 87113
0102105526613040122 LEGAL: TRAC T OF LAND W1/2 SE1/4 & E1/2 SW1/4 & SW1/4
SW1/ LAND USE: PROPERTY ADDR: 00000 N/A
OWNER NAME: SANDY WASH LLC
OWNER ADDR: 00744 MONTCLAIRE NE
ALBUQUERQUE NM 87110
0102205519833420138 LEGAL: SE1/ 4NW1 /4 T10N R4E SEC34 CONT 40.00 AC
LAND USE: PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000
ALBUQUERQUE NM 87103
0102205512544020127 LEGAL: TR A BUL K LAND PLAT FOR FOUR HILLS VILLAGE 20TH
LAND USE: PROPERTY ADDR: 00000 N/A
OWNER NAME: JUAN TABO HILLS LLC
OWNER ADDR: 08910 ADAMS ST NE
ALBUQUERQUE NM 87113
0102105548532810122 LEGAL: E1/2 SE1 /4 NE1/4 SEC 33 T10N R4E AKA TR B
LAND USE: PROPERTY ADDR: 00000
OWNER NAME: JUAN TABO HILLS LLC
OWNER ADDR: 08910 ADAMS ST NE
ALBUQUERQUE NM 87113
0102105542032810124 LEGAL: W1/2 SE1 /4 NE1/4 EXCL THE N'WLY PORT SEC 33
T10N R LAND USE: PROPERTY ADDR: 00000
OWNER NAME: A M A F C A
OWNER ADDR: 02600 PROSPECT NE
ALBUQUERQUE NM 87107

PAGE 2

0102105545133510125 LEGAL: A TR OF LAND IN THE CENTER OF THE SE1/4 NE1/4
SEC LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: JOHNSON MARY ETAL
OWNER ADDR: 09924 COLUMBUS CI NW
ALBUQUERQUE NM 87114

0102105540438910123 LEGAL: N'WL Y PO RT OF W1/2 SE1/4 NE1/4 SEC 33 T10N R4E
AKA LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: JOHNSON MARY ETAL
OWNER ADDR: 09924 COLUMBUS CI NW
ALBUQUERQUE NM 87114

0102205520249920140 LEGAL: TR O F LAND IN N 1/2 NE NW SEC 34 T10N R4E CONT
17. LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: PERRY JERRY G & ARTHUR J GONZA
OWNER ADDR: 02524 DEL SUR SW
ALBUQUERQUE NM 87105

~~0102105533032810144~~ LEGAL: SW O F NE CONT 40.0000 AC
LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: STATE OF NEW MEXICO
~~OWNER ADDR: 00000~~
SANTA FE NM 87504

0102105533846010160 LEGAL: TRAC T B PLAT OF TRACTS "A" & "B" LANDS OF SHAW,
MI LAND USE:
PROPERTY ADDR: 00000 GIBSON
OWNER NAME: SOUTH POINTE VILLAGE MHC INC
OWNER ADDR: 03000 TOWN CENTER
SOUTHFIELD MI 48075

0102105545549010110 LEGAL: PARC EL 3 UNITS NO 1 2 3 4 & 5 FOUR HILLS MOBILE
HO LAND USE:
PROPERTY ADDR: 00000 JUAN TABO
OWNER NAME: FOUR HILLS COMMUNITY LLC
OWNER ADDR: 12300 SINGING ARROW SE
ALBUQUERQUE NM 87123

0102205606512330101 LEGAL: PARC EL 2 UNIT 1 2 3 4 & 5 FOUR HILLS MOBILE
HOMES LAND USE:
PROPERTY ADDR: 00000 PIRU
OWNER NAME: FOUR HILLS COMMUNITY LLC
OWNER ADDR: 12300 SINGING ARROW SE
ALBUQUERQUE NM 87123

0102205613006630301 LEGAL: 29 T IJER AS HEIGHTS BEING A REPL OF TR A-1
TIJERAS LAND USE:
PROPERTY ADDR: 00000 PIRU
OWNER NAME: DON L HANOSH CONTRACTOR INC
OWNER ADDR: 12812 PIRU BL SE
ALBUQUERQUE NM 87123

0102205614006030302 LEGAL: 28 T IJER AS HEIGHTS BEING A REPL OF TR A-1
TIJERAS LAND USE:
PROPERTY ADDR: 00000 PIRU
OWNER NAME: SENA JOHN R & ROSE W TRUSTEES
OWNER ADDR: 12620 PIRU BL SE
ALBUQUERQUE NM 87123

0102205615006630303 LEGAL: 27 T IJER AS HEIGHTS BEING A REPL OF TR A-1
TIJERAS LAND USE:

PROPERTY ADDR: 00000 PIRU
OWNER NAME: PLAKE LARRY & PATTI
OWNER ADDR: 12508 PIRU BL SE

ALBUQUERQUE NM 87123

~~0102205622707230331~~ LEGAL: WLY PORT TR A-2 TIJERAS HTS EXCEPT N/ELY PORT
TIJE LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: HANOSH DON L & TERRI L
~~OWNER ADDR: 00000~~

ALBUQUERQUE NM- 87103

~~0102205616601730332~~ LEGAL: TR A -3 T IJERAS HEGHTS BEING A REPL OF TR A-1
TIJER LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: HANOSH DON L & TERRI L
~~OWNER ADDR: 00000~~

ALBUQUERQUE NM 87103

~~0102205629104140140~~ LEGAL: FOUR HIL LS RANCH TR IN SE/4 SW/4 & W/2 SE/4 SEC
27 LAND USE:

PROPERTY ADDR: 00000 CALLE CORONADO
OWNER NAME: CITY OF ALBUQUERUE
~~OWNER ADDR: 00000~~

ALBUQUERQUE NM 87102

0102205514943320204 LEGAL: LOT 38 P LAT FOR FOUR HILLS VILLAGE 20TH
INSTALLMEN LAND USE:

PROPERTY ADDR: 00000 VIA POSADA
OWNER NAME: ARTISTIC HOMES INC
OWNER ADDR: 04420 TOWER RD SW

ALBUQUERQUE NM 87121

0102205514043220203 LEGAL: LOT 39 P LAT FOR FOUR HILLS VILLAGE 20TH
INSTALLMEN LAND USE:

PROPERTY ADDR: 00000 VIA POSADA
OWNER NAME: YORK DIANE C
OWNER ADDR: 00605 VIA POSADA SE

ALBUQUERQUE NM 87123

0102205513143020202 LEGAL: LOT 40 P LAT FOR FOUR HILLS VILLAGE 20TH
INSTALLMEN LAND USE:

PROPERTY ADDR: 00000 VIA POSADA
OWNER NAME: LENT DONALD E & M LYNNE
OWNER ADDR: 00603 VIA POSADA SE

ALBUQUERQUE NM 87123

0102205512042220201 LEGAL: LOT 41 P LAT FOR FOUR HILLS VILLAGE 20TH
INSTALLMEN LAND USE:

PROPERTY ADDR: 00000 VIA POSADA
OWNER NAME: RUSSELL WILLIAM W & PATRICIA L
OWNER ADDR: 00601 VIA POSADA SE

ALBUQUERQUE NM 87123

0102205512340720315 LEGAL: LOT 1 PL AT FOR FOUR HILLS VILLAGE 20TH
INSTALLMENT LAND USE:

PROPERTY ADDR: 00000 VIA POSADA
OWNER NAME: JENNINGS TAD A & JEANETTE HARM
OWNER ADDR: 00600 VIA POSADA SE

ALBUQUERQUE NM 87123

0102205520422430502	LEGAL: 018 021F OUR HILLS VILLAGE TENTH INSTALLMENT	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: YOUNG JAMES A ETUX	
	OWNER ADDR: 01005 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520421630503	LEGAL: 0019 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: JOHNSON BRADLEY J ETUX	
	OWNER ADDR: 01013 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520420830504	LEGAL: 0020 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: JOHNSON BRADLEY J	
	OWNER ADDR: 01013 SAGE BRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520420030505	LEGAL: 0021 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: FLEMING JAMES GRANT & CAROL	
	OWNER ADDR: 01017 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520419130506	LEGAL: 0022 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: LONGORIA DIANA	
	OWNER ADDR: 01021 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520418230507	LEGAL: 0023 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: REAHARD GERALDENE B	
	OWNER ADDR: 01025 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520417330508	LEGAL: 0024 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: WICKETTS KURT G & CAMALLA F	
	OWNER ADDR: 01029 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520416430509	LEGAL: 0025 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: DOLLAHON WILLIAM J & GLORIA A	
	OWNER ADDR: 01101 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520415730510	LEGAL: 0026 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: KILGO RILEY D & ALICE C	
	OWNER ADDR: 01105 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87125	

0102205520414930511	LEGAL: 0027 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: STEELE RICHARD H &	
	OWNER ADDR: 01109 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520414130512	LEGAL: 0028 0021 FOUR HILLS VILLAGE TENTH INSTAL	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: DRISKILL JOHN D & FAY H	
	OWNER ADDR: 01113 SAGE BRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520413330513	LEGAL: 0029 0021 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: WASHBURN ISABEL M	
	OWNER ADDR: 01117 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520412430514	LEGAL: 0030 0021 FOUR HILLS VILLAGE TENTH INSTAL	
LAND USE:		
	PROPERTY ADDR: 00000 SAGEBRUSH	
	OWNER NAME: NORRIS WILLIAM H & PRISCILLA M	
	OWNER ADDR: 01121 SAGEBRUSH	TR SE
ALBUQUERQUE NM	87123	
0102205520210630237	LEGAL: 0009 0028 FOUR HILLS VILLAGE TENTH INST	
LAND USE:		
	PROPERTY ADDR: 00000 RATON	
	OWNER NAME: BOYD HARRY V & JOYCE H TRUSTEE	
	OWNER ADDR: 00712 OVERBROOK	DR
FORT WALTON FL	32548	
0102205520108630248	LEGAL: TR A PLA T FOR RESERVE AT FOUR HILLS	
LAND USE:		
	PROPERTY ADDR: 00000	
	OWNER NAME: PULTE HOMES OF NM INC	
	OWNER ADDR: 07445 PAN AMERICAN	FW NE
ALBUQUERQUE NM	87109	
0102205520106830247	LEGAL: LT 1 4-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS	
LAND USE:		
	PROPERTY ADDR: 00000 SEA BISCUIT	
	OWNER NAME: TAPIA MARY H & STELLA TAPIA	
	OWNER ADDR: 01209 SEA BISCUIT	DR SE
ALBUQUERQUE NM	87123	
0102205520106130246	LEGAL: LT 1 5-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS	
LAND USE:		
	PROPERTY ADDR: 00000 SEA BISCUIT	
	OWNER NAME: DUFFY DEVLYN E	
	OWNER ADDR: 01215 SEA BISCUIT	DR SE
ALBUQUERQUE NM	87123	
0102205520105430236	LEGAL: LT 1 6-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS	
LAND USE:		
	PROPERTY ADDR: 00000 SEA BISCUIT	
	OWNER NAME: NEWELL DAVID P & NANCY L	
	OWNER ADDR: 01219 SEA BISCUIT	DR SW
ALBUQUERQUE NM	87123	

0102205520104830235 LAND USE: LEGAL: LT 1 7-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS
PROPERTY ADDR: 00000 SEA BISCUIT
OWNER NAME: WINDECKER SHAWN J & MICHELLE L
OWNER ADDR: 01223 SEA BISCUIT DR SE
87123

ALBUQUERQUE NM 0102205520104130234 LAND USE: LEGAL: LT 1 8-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS
PROPERTY ADDR: 00000 SEA BISCUIT
OWNER NAME: WILLIAMS STEPHEN M & LAINA M
OWNER ADDR: 01227 SEA BISCUIT DR SE
87123

ALBUQUERQUE NM 0102205520103230233 LAND USE: LEGAL: LT 1 9-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS
PROPERTY ADDR: 00000 SEA BISCUIT
OWNER NAME: MCLAUGHLIN JARED T & ELENA R
OWNER ADDR: 01231 SEA BISCUIT DR SE
87123

ALBUQUERQUE NM 0102205520002230215 LAND USE: LEGAL: 10 2 8 FO UR HILLS VILLAGE 16TH INSTALLMENT
PROPERTY ADDR: 00000 RIO ARRIBA
OWNER NAME: PENNY JR NORRIS R ETUX
OWNER ADDR: 00701 RIO ARRIBA SE
87123

ALBUQUERQUE NM 0102205520000441212 LAND USE: LEGAL: 22 3 3 FO UR HILLS VILLAGE 16TH INST
PROPERTY ADDR: 00000 RIO ARRIBA
OWNER NAME: T & A PROPERTIES LLC
OWNER ADDR: 01436 CATRON AV SE
87123

ALBUQUERQUE NM 0102205520002230215 LAND USE: LEGAL: 10 2 8 FO UR HILLS VILLAGE 16TH INSTALLMENT
PROPERTY ADDR: 00000 RIO ARRIBA
OWNER NAME: PENNY JR NORRIS R ETUX
OWNER ADDR: 00701 RIO ARRIBA SE
87123

ALBUQUERQUE NM 0102205520103230233 LAND USE: LEGAL: LT 1 9-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS
PROPERTY ADDR: 00000 SEA BISCUIT
OWNER NAME: MCLAUGHLIN JARED T & ELENA R
OWNER ADDR: 01231 SEA BISCUIT DR SE
87123

ALBUQUERQUE NM 0102205520104130234 LAND USE: LEGAL: LT 1 8-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS
PROPERTY ADDR: 00000 SEA BISCUIT
OWNER NAME: WILLIAMS STEPHEN M & LAINA M
OWNER ADDR: 01227 SEA BISCUIT DR SE
87123

ALBUQUERQUE NM 0102205520104830235 LAND USE: LEGAL: LT 1 7-P1 BLK 1 PLAT FOR RESERVE AT FOUR HILLS
PROPERTY ADDR: 00000 SEA BISCUIT
OWNER NAME: WINDECKER SHAWN J & MICHELLE L
OWNER ADDR: 01223 SEA BISCUIT DR SE
87123

ALBUQUERQUE NM 87123

102205519833420138 LEGAL: SE1/4 NW ¼ T10N R4E SEC 34 CONT 40.00 AC
PROPERTY ADDR: N/A

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103

102105533032810144 LEGAL: SW OF NE CONT 40.0000 AC
PROPERTY ADDR: N/A

OWNERS NAME: STATE OF NEW MEXICO
OWNERS ADDR: PO BOX 1148\
 SANTA FE, NM 87504

102205622707230331 LEGAL: WLY PORT TR A 2 TIJERAS HTS EXCEPT N/ELY POR E ING A
REPLAT OF T
PROPERTY ADDR: N/A

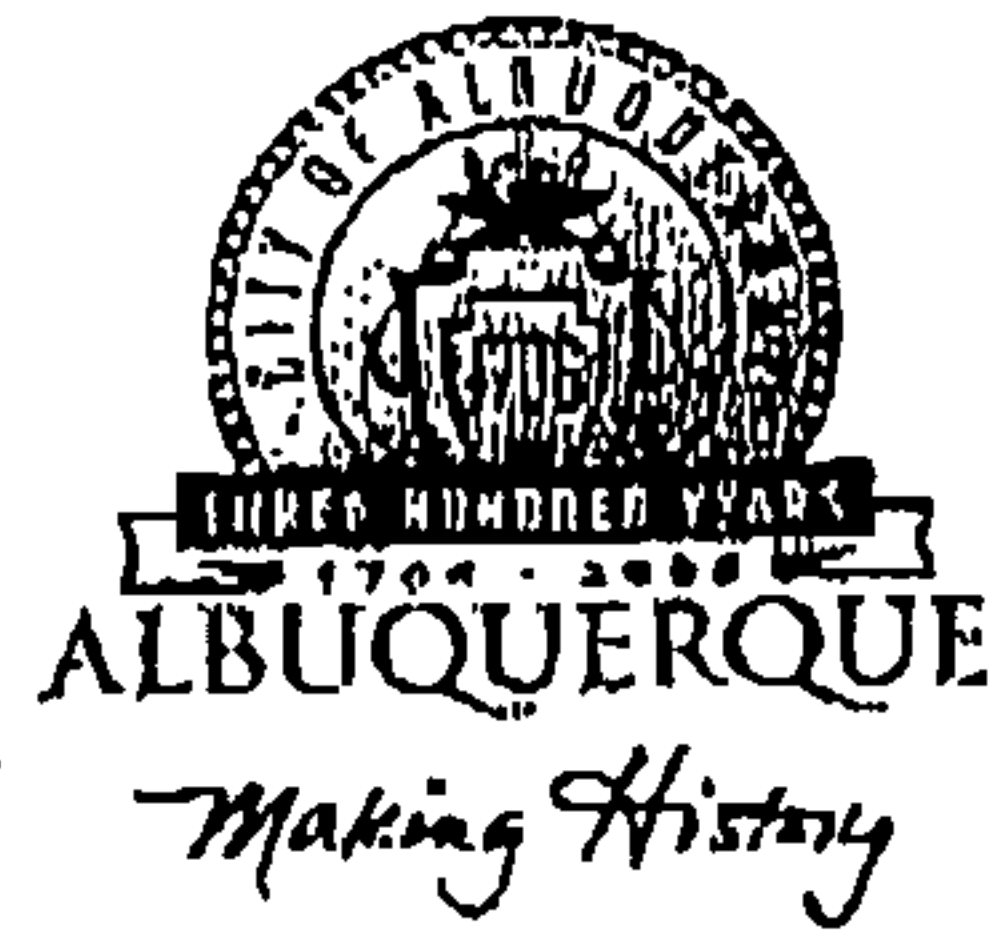
OWNERS NAME: HANOSH DON L & TERRI L
OWNERS ADDR: PO BOX 502
 ALBUQUERQUE, NM 87103

102205616601730332 LEGAL: TR A 3 TIJERAS HTS BEING A REPLAT OF TR A1 S
PROPERTY ADDR: N/A

OWNERS NAME: HANOSH DON L & TERRI L
OWNERS ADDR: PO BOX 502
 ALBUQUERQUE, NM 87103

102205629104140140 LEGAL: FOUR HILLS RANCH TR IN SE/4 SW/4 & W/2 SE/4 & THE S POR OF
TR L
PROPERTY ADDR: 797 CALLE CORONADO SE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

June 5, 2006

Lisa Anglada
Mark Goodwin and Associates, PA
P.O. Box 90606/87199
Phone: 828-2200/Fax: 797-9539
E-mail: lisa@goodwinengineers.com

Dear Lisa:

Thank you for your inquiry of June 5, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS 6 AND 7 OF JUAN TABO HILLS, UNIT 1** zone map M-21-22.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

FOUR HILLS VILLAGE H.O.A. (FHV) "R"

Roger Mickelson
1432 Catron Ave. SE/87123 332-9273 (h)
John Butcher
708 Lamp Post Cir. SE/87123 883-0006 (h)

TIJERAS ARROYO N.A. (TJA) "R"

*Jay Rodecap
816 Hackberry Tr. SE/87123 379-4896 (h)
Paul F. Kinahan
801 Calle Coronado SE/87123 294-1354 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(10/06/05)

**LETTERS MUST BE SENT TO
BOTH CONTACTS OF EACH
NEIGHBORHOOD
ASSOCIATION.**

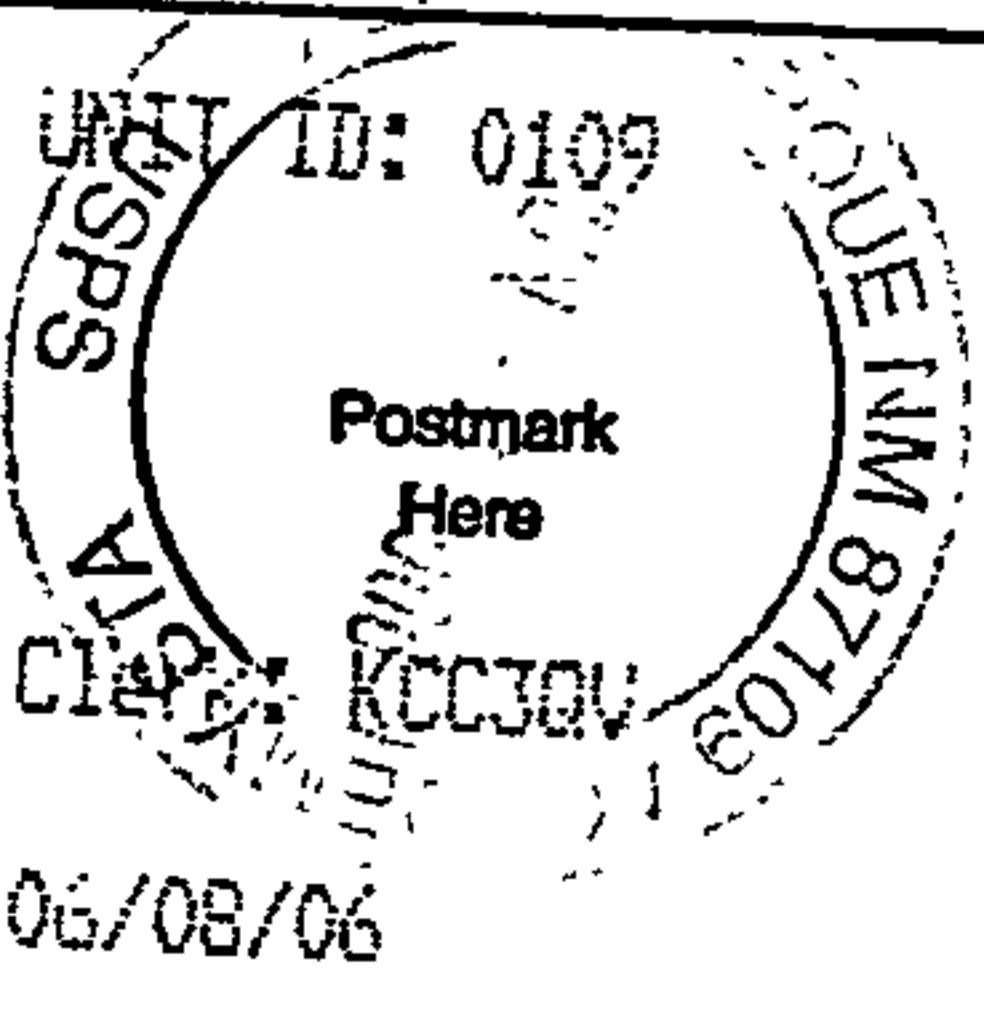
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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To Mr. Paul Kiraban
 Street, Apt. No., or PO Box No. 501 Calle Coronado SE
 City, State, ZIP+4 Albuquerque NM 87123

PS Form 3800, June 2002 See Reverse for Instructions

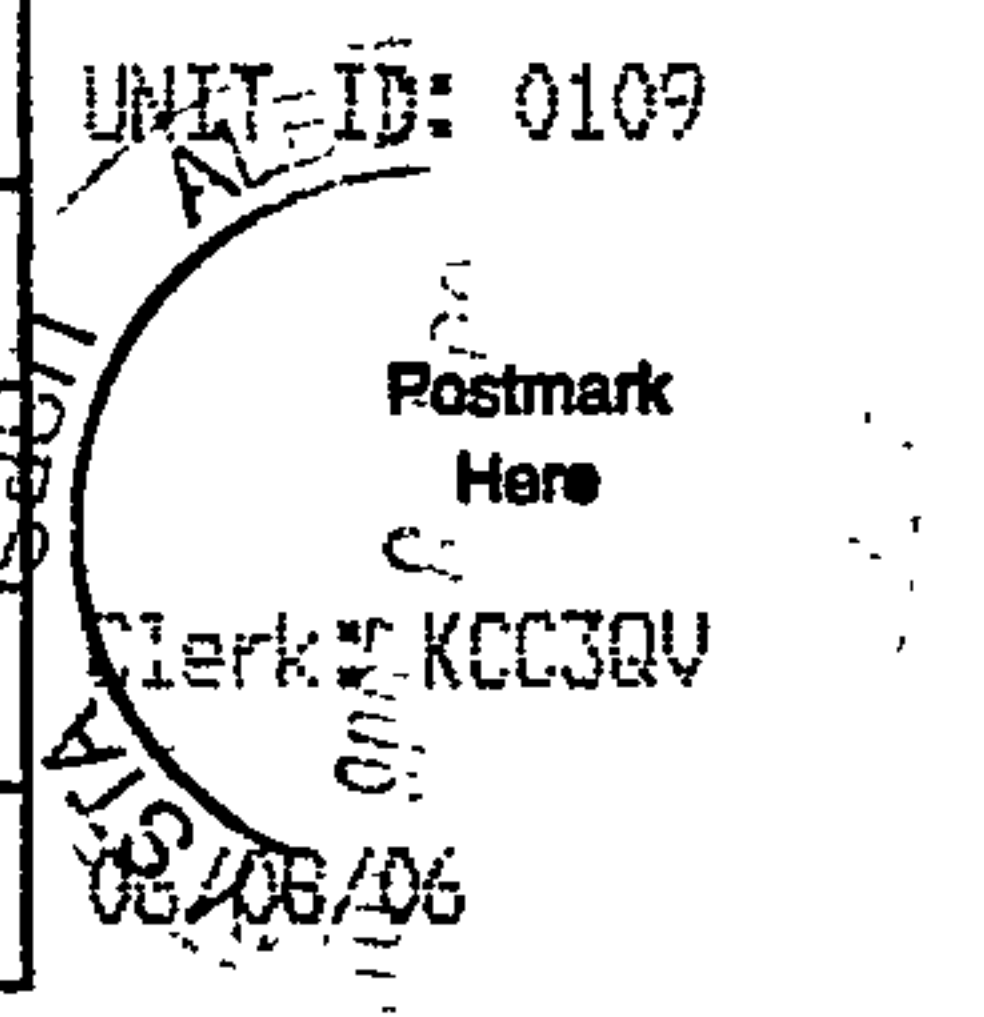
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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To Mr. Roger Mickelson
 Street, Apt. No., or PO Box No. 1432 Cotton Ave. SE
 City, State, ZIP+4 Albuquerque NM 87123

PS Form 3800, June 2002 See Reverse for Instructions

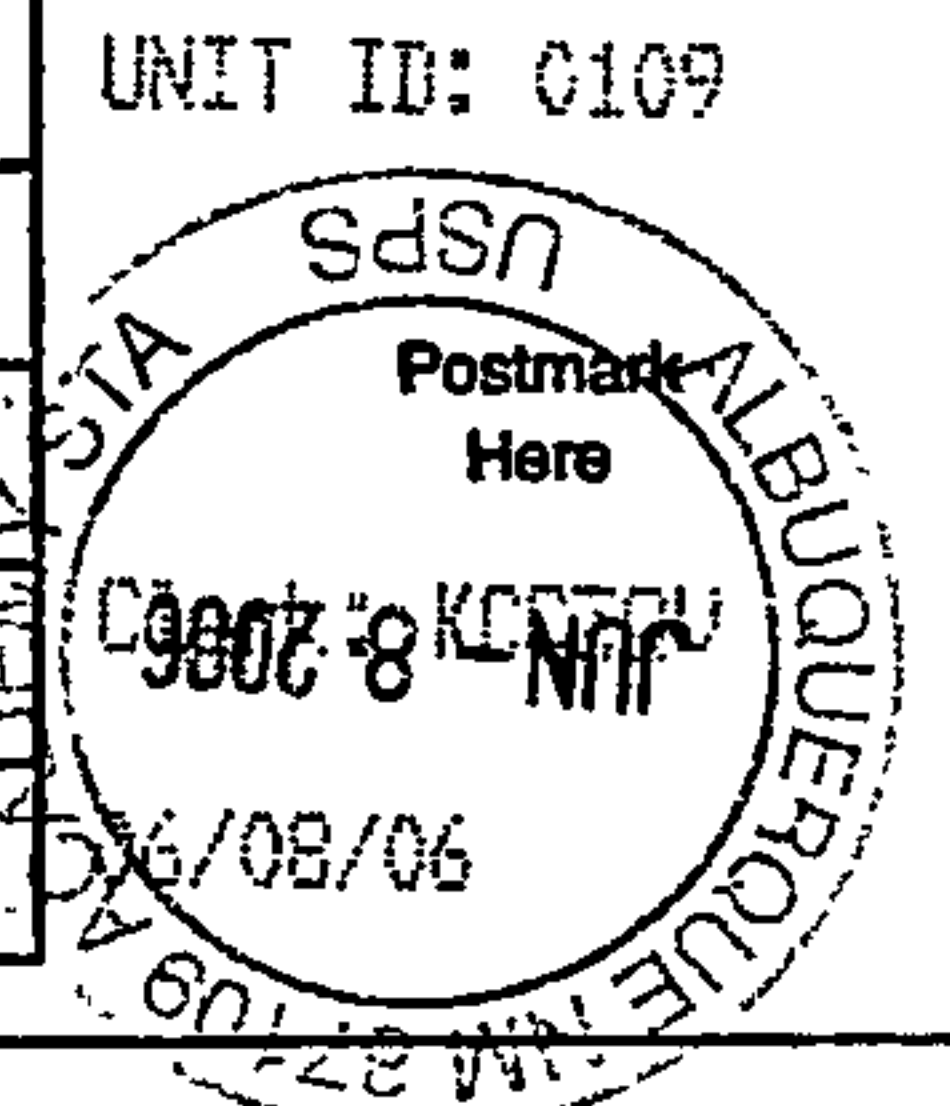
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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To Mr. John Butcher
 Street, Apt. No., or PO Box No. 708 Lamp Post Circle SE
 City, State, ZIP+4 Albuquerque NM 87123

PS Form 3800, June 2002 See Reverse for Instructions

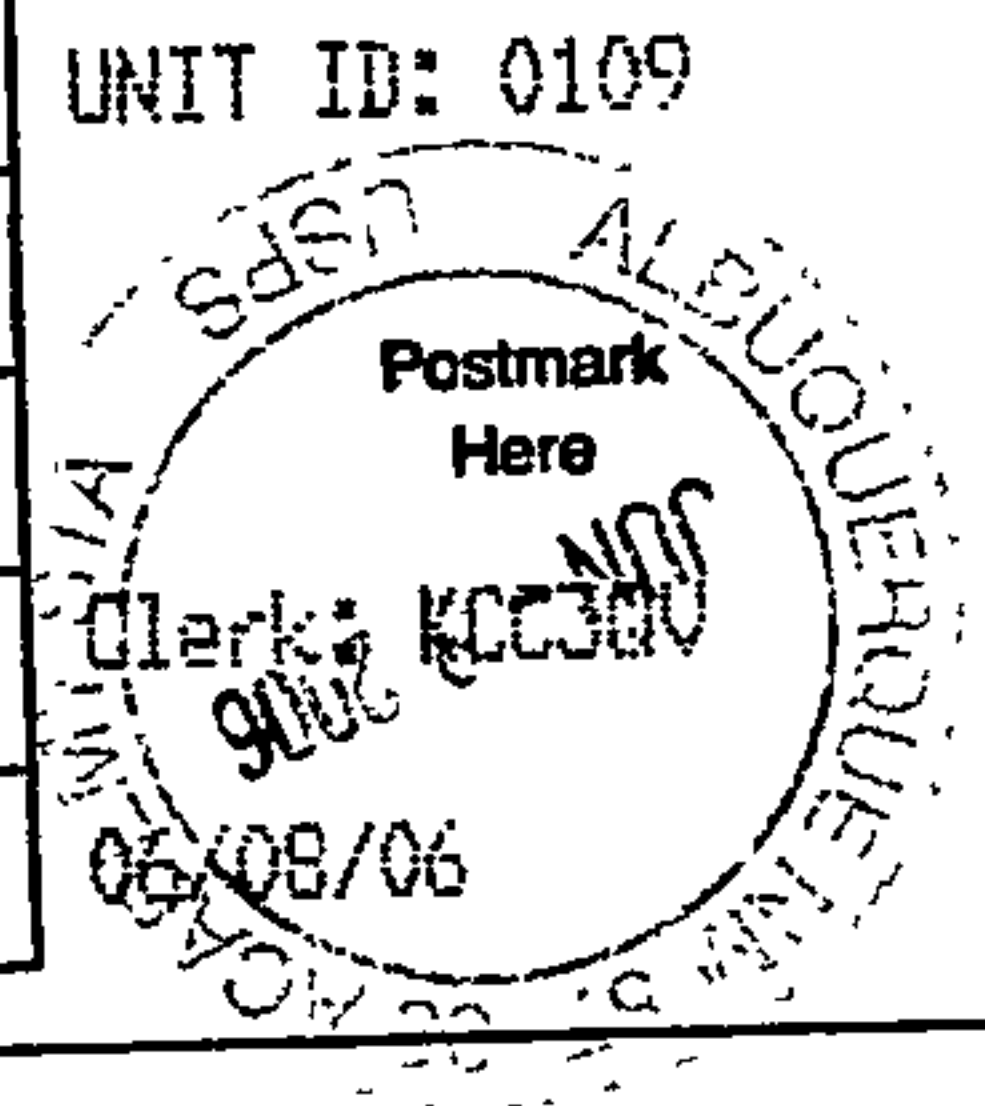
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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To Mr. Jay Rodcap
 Street, Apt. No., or PO Box No. 816 Hackberry Jr. SE
 City, State, ZIP+4 Albuquerque NM 87123

PS Form 3800, June 2002 See Reverse for Instructions

Project # 1004715

JTH, LLC
PO BOX 1443
CORRALES, NM 87048

Project # 1004715

MARK GOODWIN & ASSOCIATES, PA
PO BOX 90606
ALBUQUERQUE, NM 87199

Project # 1004715

ROGER MICKELSON
Four Hills Village H.O.A.
1432 CATRON AVE SE
ALBUQUERQUE, NM 87123

Project # 1004715

JOHN BUTCHER
Four Hills Village H.O.A.
708 LAMP POST CIR. SE
ALBUQUERQUE, NM 87123

Project # 1004715

JAY RODECAP
Four Hills Village H.O.A.
816 HACKBERRY TR SE
ALBUQUERQUE, NM 87123

Project # 1004715

PAUL F. KINAHAN
Four Hills Village H.O.A.
801 CALLE CORONADO SE
ALBUQUERQUE, NM 87123

102205509913830116

JUAN TABO HILLS LLC
8910 ADAMS ST SE
ALBUQUERQUE NM 87110

102105526613040122

SANDY WASH LLC
744 MONTCLAIRE NE
ALBUQUERQUE NM 87110

102105542032810124

A M A F C A
2600 PROSPECT NE
ALBUQUERQUE NM 87107

102105545133510125

JOHNSON MARY ETAL
9924 COLUMBUS CI NW
ALBUQUERQUE NM 87114

102205520249920140

PERRY JERRY G & ARTHUR J GONZ
2524 DEL SUR SW
ALBUQUERQUE NM 87105

102105533032810144

STATE OF NEW MEXICO
PO BOX 1148
SANTA FE, NM 87504

102105533846010160

SOUTH POINTE VILLAGE MHC INC
3000 TOWN CENTER
SOUTHFIELD MI 48075

102105545549010110

FOUR HILLS COMMUNITY LLC
12300 SINGING ARROW SE
ALBUQUERQUE NM 87123

102205613006630301

DON L HANOSH CONTRACTOR INC
12812 PIRU BL SE
ALBUQUERQUE NM 87123

102205614006030302

SENA JOHN R & ROSE W TRUSTEES
12620 PIRU BL SE
ALBUQUERQUE NM 87123

102205615006630303

PLAKE LARRY & PATTI
12508 PIRU BL SE
ALBUQUERQUE NM 87123

102205622707230331

HANOSH DON L & TERRI L
PO BOX 502
ALBUQUERQUE, NM 87103

102205514943320204

ARTISTIC HOMES INC
4420 TOWER RD SW
ALBUQUERQUE NM 87121

102205514043220203

YORK DIANE C
605 VIA POSADA SE
ALBUQUERQUE NM 87123

102205513143020202

LENT DONALD E & M LYNNE
603 VIA POSADA SE
ALBUQUERQUE NM 87123

102205512042220201

RUSSELL WILLIAM W & PATRICIA
601 VIA POSADA SE
ALBUQUERQUE NM 87123

102205512340720315

JENNINGS TAD A & JEANETTE HAR
600 VIA POSADA SE
ALBUQUERQUE NM 87123

102205513640820314

RIVERA JAMES A II & ROBERTA J
604 VIA POSADA SE
ALBUQUERQUE NM 87123

102205514840920313

CRONICAN FRANK A JR & JOHNNY
608 VIA POSADA SE
ALBUQUERQUE NM 87123

102205515840920312

MALZAHN MILDRED P TRUST
612 VIA POSADA SE
ALBUQUERQUE NM 87123

102205515944220206

JOHNSON RICHARD N & LISA D
615 VIA POSADA SE
ALBUQUERQUE NM 87123

102205516042720205

LUJAN FRANK III
609 VIA POSADA SE
ALBUQUERQUE NM 87123

102205521026530416

YAGODA DOROTHY
709 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520326030415

ROY DR SAMEER & CHITRA TRUSTE
705 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520524930414

STEWART VELMA C RLT
701 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520423530501

GRAZIER J MARK & JEANNE M
1001 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520422430502

YOUNG JAMES A ETUX
1005 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520421630503

JOHNSON BRADLEY J ETUX
1013 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520420030505

FLEMING JAMES GRANT & CAROL
1017 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520419130506

LONGORIA DIANA
1021 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520418230507

REAHARD GERALDENE B
1025 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520417330508

WICKETTS KURT G & CAMALLA F
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ALBUQUERQUE NM 87123

102205520416430509

DOLLAHON WILLIAM J & GLORIA A
1101 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520415730510

KILGO RILEY D & ALICE C
1105 SAGEBRUSH TR SE
ALBUQUERQUE NM 87125

102205520414930511

STEELE RICHARD H &
1109 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520414130512

DRISKILL JOHN D & FAY H
1113 SAGE BRUSH TR SE
ALBUQUERQUE NM 87123

102205520413330513

WASHBURN ISABEL M
1117 SAGEBRUSH TR SE
ALBUQUERQUE NM 87123

102205520412430514

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7445 PAN AMERICAN FW NE
ALBUQUERQUE NM 87109

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1209 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520106130246

DUFFY DEVLYN E
1215 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520105430236

NEWELL DAVID P & NANCY L
1219 SEA BISCUIT DR SW
ALBUQUERQUE NM 87123

102205520104830235

WINDECKER SHAWN J & MICHELLE
1223 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520104130234

WILLIAMS STEPHEN M & LAINA M
1227 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520103230233

MCLAUGHLIN JARED T & ELENA R
1231 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520002230215

PENNY JR NORRIS R ETUX
701 RIO ARRIBA SE
ALBUQUERQUE NM 87123

102205520000441212

T & A PROPERTIES LLC
1436 CATRON AV SE
ALBUQUERQUE NM 87123

102205520002230215

PENNY JR NORRIS R ETUX
701 RIO ARRIBA SE
ALBUQUERQUE NM 87123

102205520103230233

MCLAUGHLIN JARED T & ELENA R
1231 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520104130234

WILLIAMS STEPHEN M & LAINA M
1227 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520104830235

WINDECKER SHAWN J & MICHELLE
1223 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520105430236

NEWELL DAVID P & NANCY L
1219 SEA BISCUIT DR SW
ALBUQUERQUE NM 87123

102205520106130246

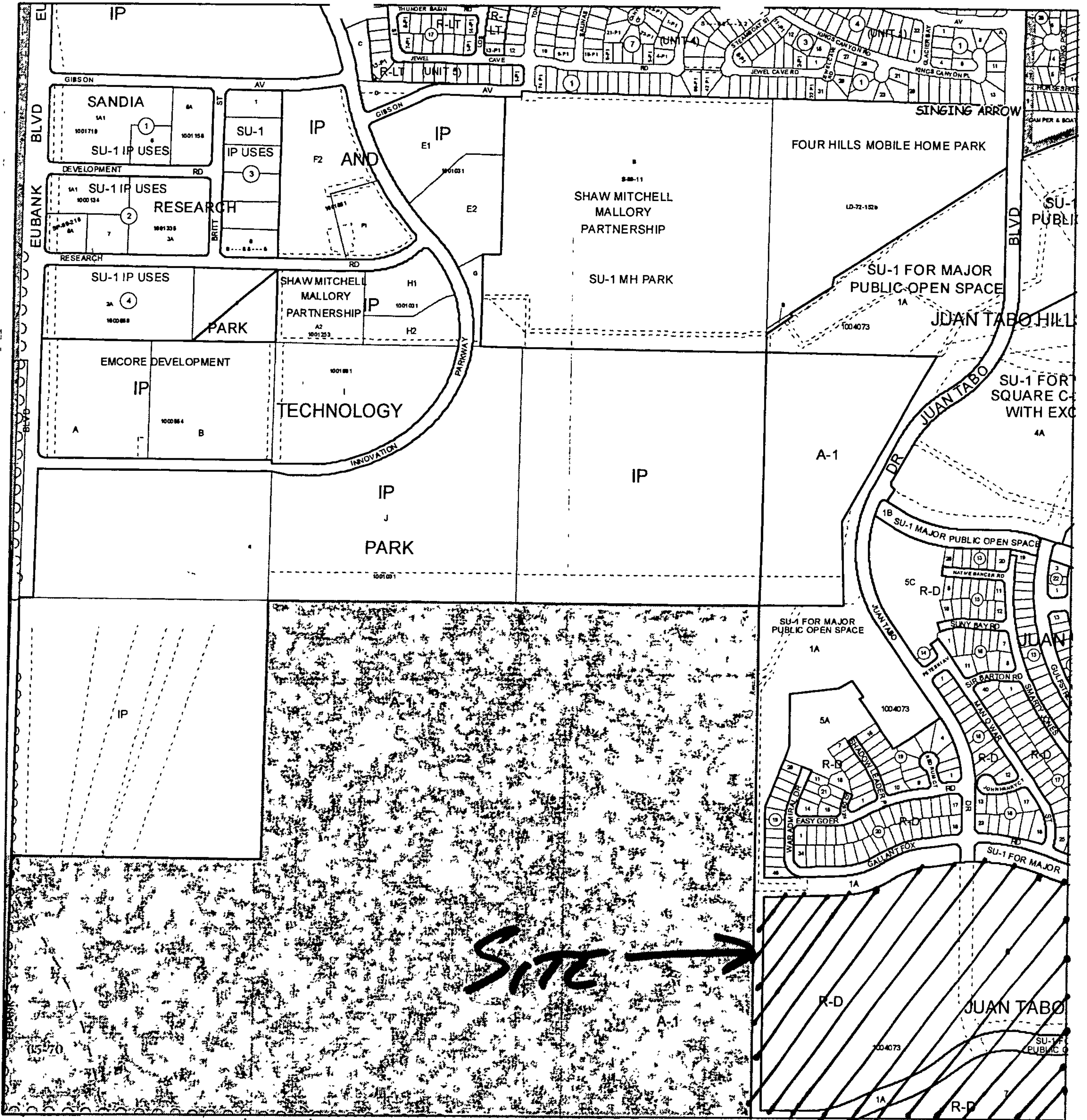
DUFFY DEVLYN E
1215 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

102205520106830247

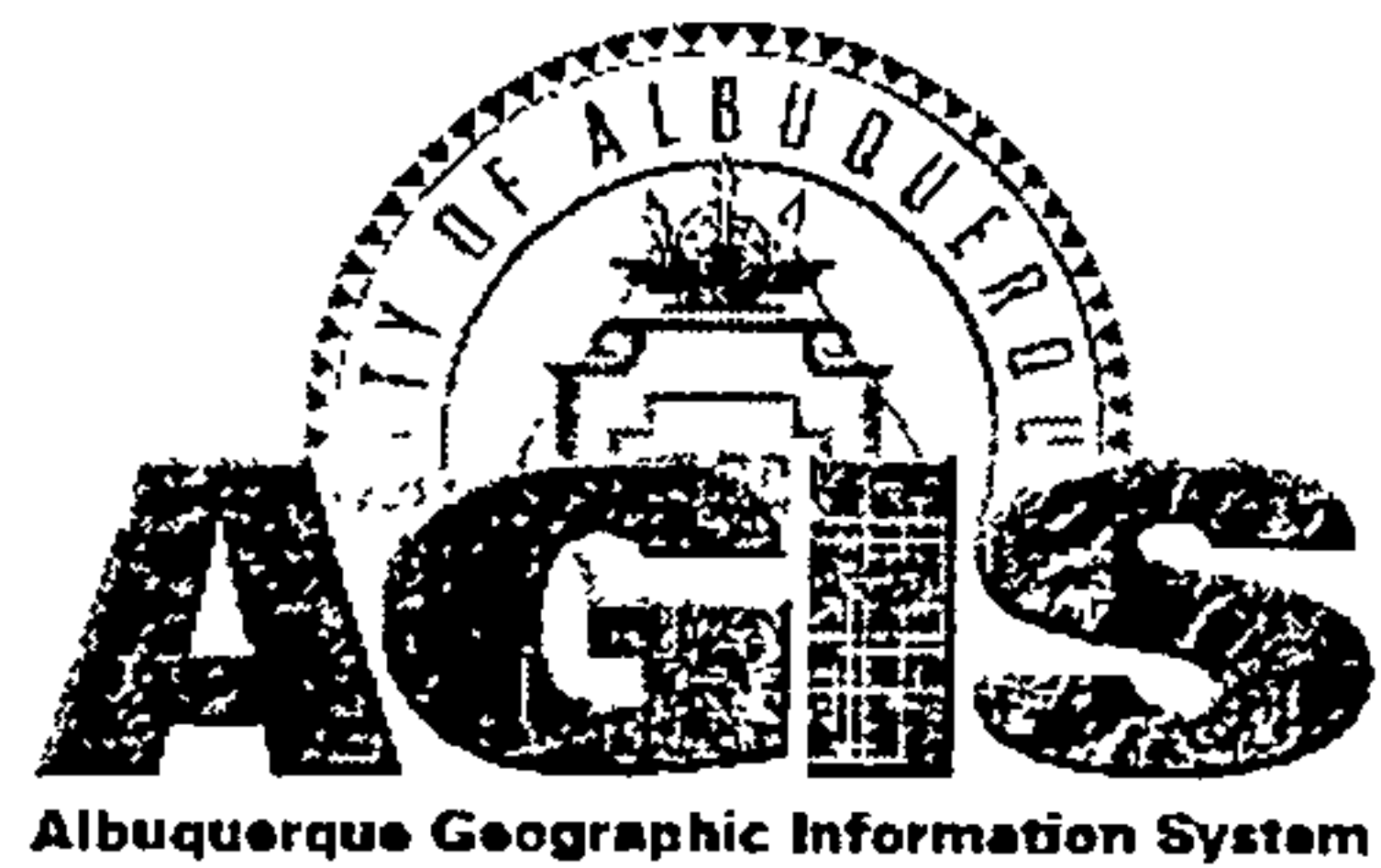
102205426927010144

TAPIA MARY H & STELLA TAPIA
1209 SEA BISCUIT DR SE
ALBUQUERQUE NM 87123

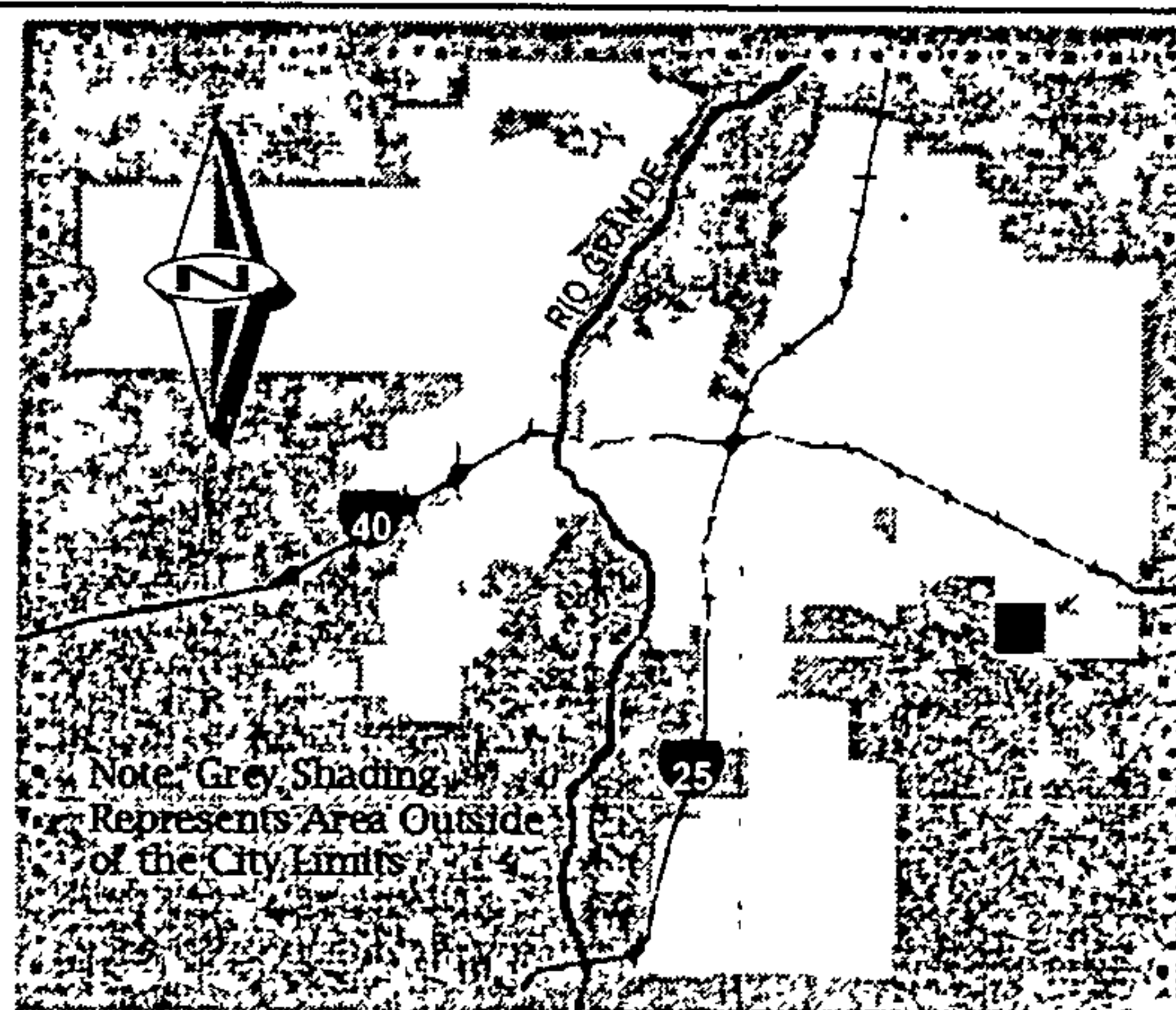
U S A DEPT OF ARMY HDQRS
2050 WYOMING BL SE
KIRTLAND AFBNM 87117



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 5/1/2006

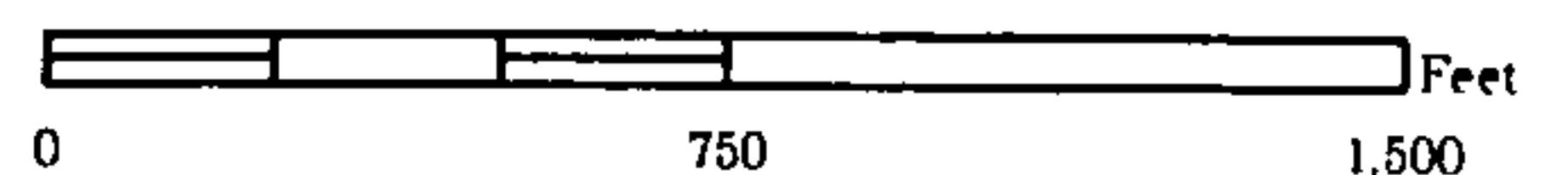


Zone Atlas Page:

M-21-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME JUAN TABO HILLS

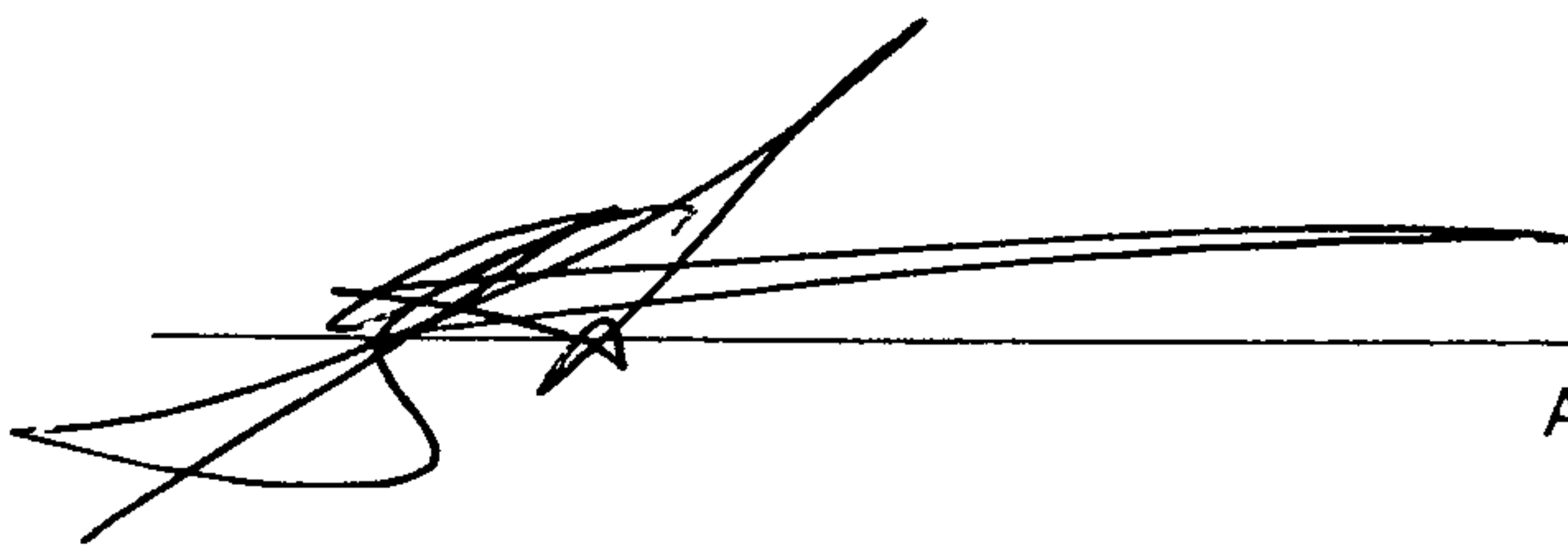
AGIS MAP # M21 + M22

LEGAL DESCRIPTION TRACTS 6+7, JUAN TABO HILLS, UNIT 1

DRAINAGE REPORT

APPROVED BY

A drainage report, as per the Drainage Ordinance, was ~~submitted to~~ the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on 4-24-06 [date].



Applicant (Agent)

6-5-06

Date

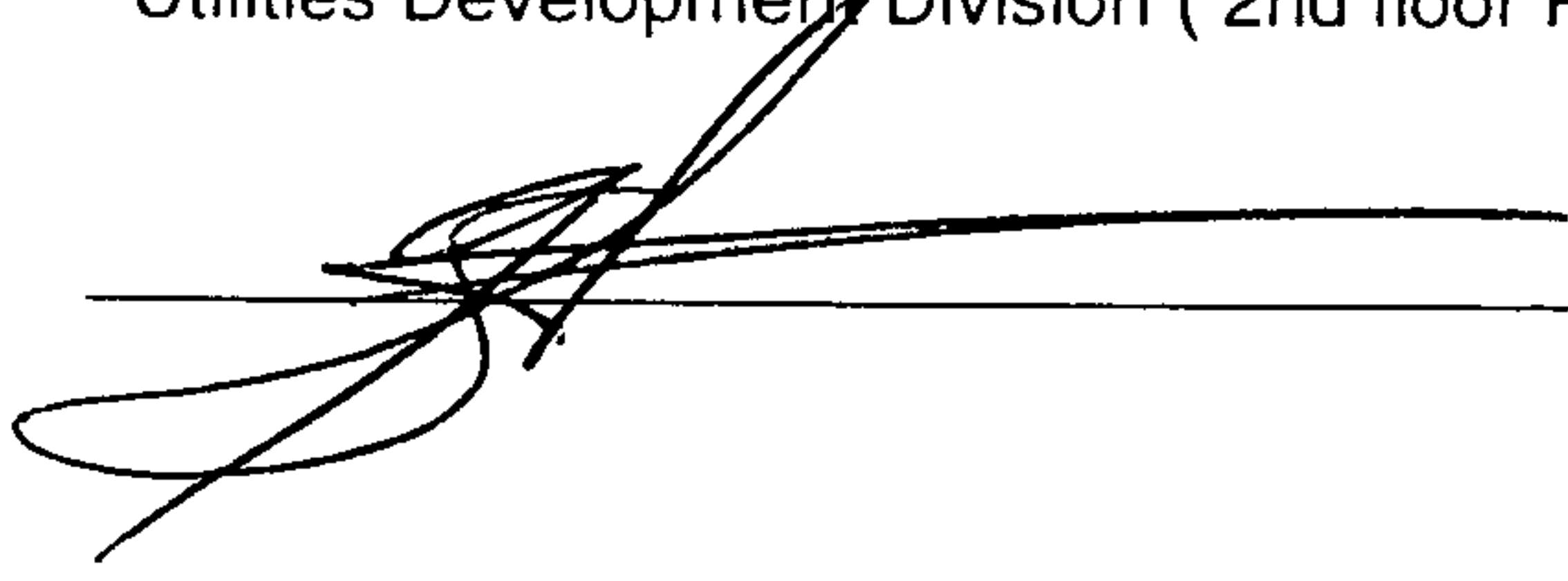
Hydrology Division Representative

Date

WATER AND SEWER AVAILABILITY STATEMENT

RECEIVED

A Water and Sewer Availability Statement for this project was ~~requested~~ from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on 5-23-05 [date].



Applicant (Agent)

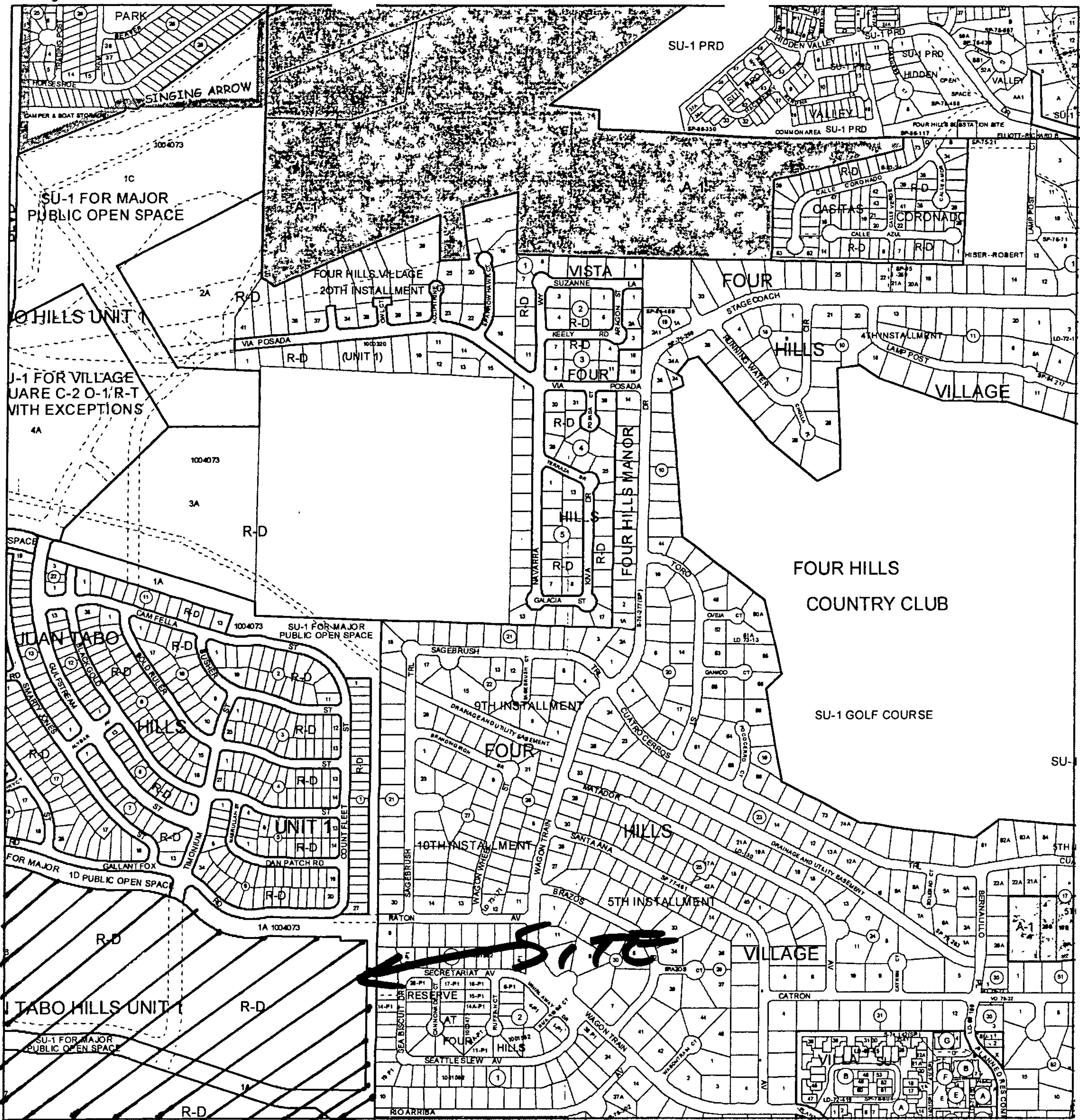
6-5-06

Date

Utilities Division Representative

Date

DRB# _____



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-22-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon	

0 750 1500
Feet

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: JTH LLC DATE OF REQUEST: 6/5/06 ZONE ATLAS PAGE(S): M21 & M22

CURRENT:

ZONING R-D

PARCEL SIZE (AC/SQ. FT.) 82,991.7

LEGAL DESCRIPTION:

LOT OR TRACT # 6 & 7 BLOCK # _____

SUBDIVISION NAME Juan Tabo Hills, Unit 2

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---------------------|-------------------------|---|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] | BUILDING PERMIT [] |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] | ACCESS PERMIT [] |
| | | C) AMENDMENT [] | OTHER <input checked="" type="checkbox"/> |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: 1

OF UNITS: 399 + 5 Tracts
BUILDING SIZE: _____ (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Christina Garcia MGA DATE 6/9/06
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: JUAN TABO HILLS TIS

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature] DATE 6-9-06
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

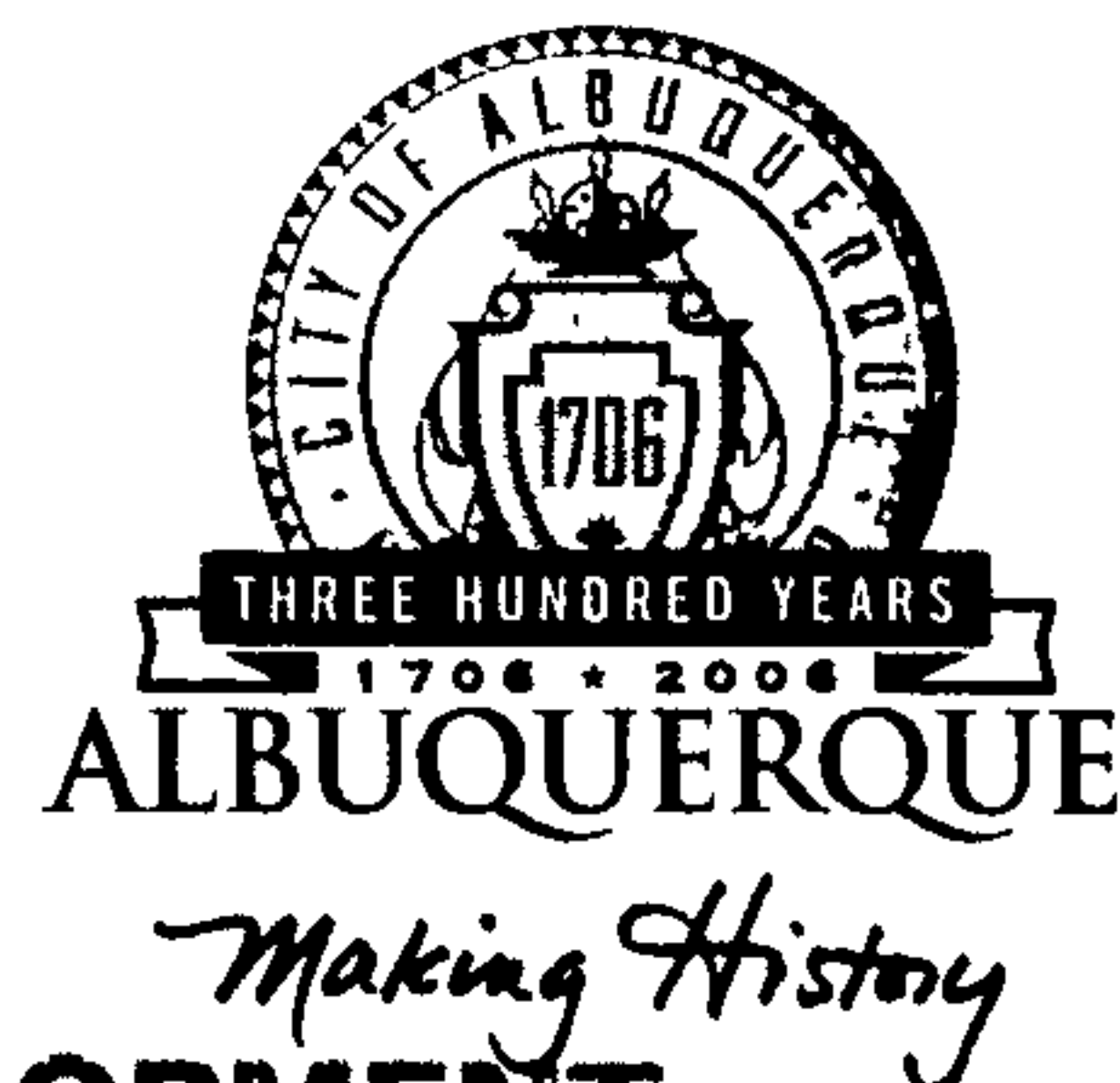
Christina Garcia MGA DATE 6/9/06
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____

CITY OF ALBUQUERQUE

FYI



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

June 22, 2006

TO: Roger Mickelson and John Butcher, Four Hills Village Homeowners Association
Jay Rodecap and Paul F. Kinahan, Tijeras Arroyo Neighborhood Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately eighty-three (83) acre(s) - Major Preliminary Plat Approval; Major Vacation of Public Easements; Minor Subdivision Design (DPM) Variance; Minor Sidewalk Waiver and Minor Temporary Deferral of Sidewalks for a proposed three hundred ninety-nine (399) residential lots on five (5) tracts - Juan Tabo Hills, Unit 2.**

Proposed by: Mark Goodwin and Associates, P.A. at 828-2200
Agent for: JTH, LLC

P.O. Box 1293

For property located: On or near Juan Tabo Boulevard SE between Eubank Boulevard SE and Four Hills Road SE.

Albuquerque

The case number(s) assigned is: 06DRB- 00813, 00814, 00815, 00816 & 00817, Project # 1004715

New Mexico 87103

City Planning accepted application for this request on **June 9, 2006.**

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at **9 a.m. on Wednesday, July 12, 2006** in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

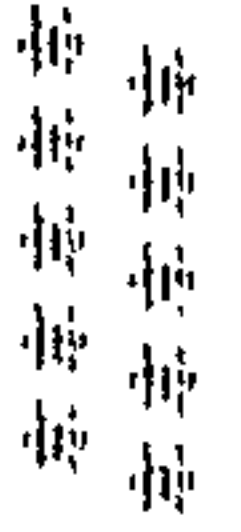
Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

**cc: Claire Senova, DRB
Administrative Assistant**

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES



STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

08/26/2011 Issued By: BLDAVM 120733

Category Code **910**
2011 070 236

Application Number: 11DRB-70236, Amendment To Preliminary Plat

Address:

Location Description: JUAN TABO BETWEEN GALLANT FOX AND KIRTLAND

Project Number: 1004715

Applicant

JUAN TABO HILLS, LLC

PO BOX 1443
CORRALES NM 87048
892-5533

Agent / Contact

D. MARK GOODWIN & ASSOCIATES

PO BOX 90606
ALBUQUERQUE NM 87199
828-2200

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
TOTAL:		\$70.00

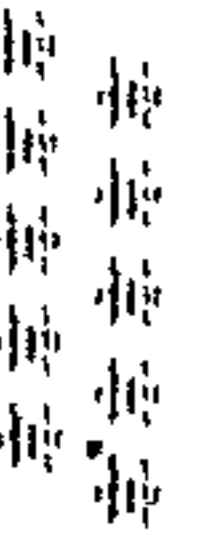
City Of Albuquerque
Treasury Division

8/26/2011 2:30PM LOC: ANNIX
WEB 057 TRANS# 0039
RECEIPT# 00147399-00147399
PERMIT# 2011070236 TRSSVG
Trans Amt \$70.00
Conflict Mgmt. Fee \$20.00
DRB Actions \$50.00
CF \$70.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES



STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

Category Code **910**
2012 070 006

01/05/2012 Issued By: BLDAVM 132765

Application Number: 12DRB-70006, Ext Of Sia For Temp Defr Sdwk Const

Address:

Location Description: POCONO BETWEEN SALVATOR AND MAYWOOD

Project Number: 1004715

Applicant
JTH, LLC

PO BOX 1443
CORRALES NM 87048

Agent / Contact

MARK GOODWIN AND ASSOCIATES, P.A.
GREGORY J KRENK
P.O. BOX 90606
ALBUQUERQUE NM 87199

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
TOTAL:		\$70.00

City of Albuquerque
Treasury Division

1/5/2012 11:42AM LOC: ADMIN
WS# 008 TRANS# 0024
RECEIPT# 00142501-00142601
PERMIT# 2012070006
Trans Act 170.00
Conflict Maneg. Fee \$20.00
DRB Actions \$50.00
TX \$70.00
CHANGE \$0.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

02/05/2013 Issued By: E08375 179129

Category Code **910**
2013 070 440

Application Number: 13DRB-70440, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: PLEASANTON DR / FERNADALE RD BETWEEN BLUE RIBBON RD AND THISTLEDOWN RD

Project Number: 1004715

Applicant
JTH, LLC

Agent / Contact
MARK GOODWIN AND ASSOCIATES, P.A.

CORRALES NM 87048
338-1438

P.O. BOX 90606
ALBUQUERQUE NM 87199

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions **\$215.00**

TOTAL: **\$235.00**

City of Albuquerque Treasury
Date: 2/5/2013 Office: ANNEX
Stat ID: W5000008 Cashier: TRSSIV
Batch: 1411 Trans #: 39
Permit: 2013070440
Receipt Num 00094734
Payment Total: \$235.00
0901 Conflict Mgmt Fee \$20.00
0903 DRB Actions \$215.00
Check Tendered : \$235.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

|||||

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

10/16/2012 Issued By: BLDAVM 167152

Category Code **910**
2012 070 333

Application Number: 12DRB-70333, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: THISTLE DOWN BETWEEN PLESANTON AND FERNDALE

Project Number: 1004715

Applicant

JTH, LLC

PO BOX 1443
CORRALES NM 87048

Agent / Contact

MARK GOODWIN AND ASSOCIATES, P.A.
DIANE HOELZER
P.O. BOX 90606
ALBUQUERQUE NM 87199

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions **\$215.00**

TOTAL: \$235.00

City of Albuquerque Treasury
Date: 10/16/2012 Office: ANNEX
Stat ID: W5000008 Cashier: TRSASR
Batch: 892 Trans #: 41
Permit: 2012070333
Receipt Num 00062844
Payment Total: \$235.00
0901 Conflict Mgmt Fee
0903 DRB Actions
Check Tendered :
\$20.00
\$215.00
\$235.00

====

INFRASTRUCTURE LIST
(Rev 9-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
JUAN TABO HILLS, UNIT 2
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN
Tracts 6 & 7, Juan Tabo Hills, Unit 1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	Private P.E.	City Cnst Engineer
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	West Pl	Juan Tabo	/	/	/
		4'	* Sidewalk (N Side)						
		10'	** Stabilized Crusher Fine Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Timonium	Salvator	/	/	/
		4'	* Sidewalk (N Side)						
		10'	** Stabilized Crusher Fine Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Juan Tabo	Timonium	/	/	/
		6'	* Sidewalk (N Side)						
		10'	** Stabilized Crusher Fine Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Maywood	Pocono	Blue Ribbon	/	/	/
		4'	* Sidewalk (Both Sides)						
		32' FF	Res Pvmt C & G (Both Sides)	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		4'	* Sidewalk (Both Sides)						
		32' FF	Res Pvmt C & G (Both Sides)	Ferndale	Thistledown	Blue Ribbon	/	/	/
		4'	* Sidewalk (Both Sides)						
		32' FF	Res Pvmt C & G (Both Sides)	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4'	* Sidewalk (Both Sides)						

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Thistledown	Maywood	Juan Tabo Dr	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Northlands	Blue Ribbon	Harrington	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Fonner	Blue Ribbon	Harrington	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Fraser	Blue Ribbon	Harrington	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Vernon	Blue Ribbon	Harrington	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Blue Ribbon	West Pl	Mountaneer	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Blue Ribbon	Northlands	Vernon	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Aqueduct	Timonium	Salvator	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Summerside	Aqueduct	Nashua	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Desert Orchid	Aqueduct	Nashua	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Nashua	Timonium	Salvator	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Salvator	Aqueduct	Pompano Place	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (North Side)	Pompano Place	West Terminus	Salvator	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Red Mile	Juan Tabo	Beulah	/	/	/
		48' FF 6'	Perm Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Blue Ribbon	Mountaineer	Northlands	/	/	/
		48' FF 6'	Perm Pvmt C & G (Both Sides) Sidewalk (Both Sides)	Timonium Dr.	Pocono	North Pl	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Harrington	Northlands	Vernon	/	/	/
		32' FF 4'	Res Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Beulah	Red Mile	Pompano Pl	/	/	/
		48' FF 6'	Perm Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Aqueduct	Timonium	Vernon	/	/	/
		32' FF 4'	Perm Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Retama Ct	Pompano Place	Terminus	/	/	/
		32' FF 4'	Perm Pvmt C & G (Both Sides) * Sidewalk (Both Sides)	Rockingham Ct	Pompano Place	Terminus	/	/	/
		48' FF 6'	Perm Pvmt C & G (Both Sides) Sidewalk (Both Sides)	Juan Tabo Dr	North PL	Pompano Place	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		25' FF	Res Pvmt C & G (Both Sides)	Northlands	Blue Ribbon	Terminus	/	/	/
		4'	* Sidewalk (West Side)						
		25' FF	Res Pvmt C & G (Both Sides)	Salvator	Aqueduct	Terminus	/	/	/
		4'	* Sidewalk (East Side)						
		25' FF	Res Pvmt C & G (Both Sides)	Vernon	Blue Ribbon	Terminus	/	/	/
		4'	* Sidewalk (East Side)						
		25' FF	Res Pvmt C & G (Both Sides)	Mountaineer	Blue Ribbon	Terminus	/	/	/
		4'	* Sidewalk (East Side)						
		24' EE	Gravel Emergency Access Rd with gates	40' Emergency Access Easement	Salvator	Rio Arriba Ave	/	/	/
		60' FF (74' EE)	Bridge	Juan Tabo Blvd	over Tijeras Arroyo				
WATER									
		8"	Waterline	Blue Ribbon	West PI	Northlands	/	/	/
		6"	Waterline	Blue Ribbon	Northlands	Vernon	/	/	/
		8"	Waterline	Aqueduct	Vernon	Salvator	/	/	/
		8"	Waterline	Thistledown	Maywood	Juan Tabo	/	/	/
		8"	Waterline	Nashua	Timonium	Salvator	/	/	/
		6"	Waterline	Maywood	Pocono	Blue Ribbon	/	/	/
		8"	Waterline	Salvator	Nashua	Pocono	/	/	/
		6"	Waterline	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Ferndale	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4"	Waterline	Mountaineer	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Northlands	Blue Ribbon	Harrington	/	/	/
		4"	Waterline	Northlands	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Fonner	Harrington	Blue Ribbon	/	/	/
		10"	Waterline	Juan Tabo	North PI	Pompano Place	/	/	/
		6"	Waterline	Fraser	Harrington	Blue Ribbon	/	/	/
		6"	Waterline	Vernon	Harrington	Blue Ribbon	/	/	/
		6"	Waterline	Harrington	Northlands	Vernon	/	/	/
		6"	Waterline	Summerside	Nashua	Blue Ribbon	/	/	/
		12"	Waterline	Timonium	North PI	Pocono	/	/	/
		6"	Waterline	Desert Orchid	Nashua	Blue Ribbon	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	Private P.E.	City Cnst Engineer
		4"	Waterline	Vernon	Blue Ribbon	Terminus	/	/	/
		12"	Waterline	Pocono	Timonium	Salvator	/	/	/
		6"	Waterline	Salvator	Nashua	Blue Ribbon	/	/	/
		6"	Waterline	Rockingham Ct	Pompano Place	Terminus	/	/	/
		6"	Waterline	Beulah	Pompano Place	Red Mile	/	/	/
		10"	Waterline	Pocono	West Pl	Juan Tabo	/	/	/
		12"	Waterline	Pompano Place	Juan Tabo	Salvator	/	/	/
		12"	Waterline	Salvator	Pocoño	Pompano Place	/	/	/
		8"	Waterline	Pompano Place	Ratama Ct	Juan Tabo	/	/	/
		6"	Waterline	Red Mile	Beulah	Juan Tabo	/	/	/
		6"	Waterline	Retama Ct	Pompano Place	Terminus	/	/	/
		4"	Waterline	Pompano Place	Lot 1 Blk 18	Ratama Ct	/	/	/
		4"	Waterline	Salvator	Aqueduct	Terminus	/	/	/
		8"	Waterline	Pocono	Juan Tabo	Timonium	/	/	/
			Sanitary Sewer						
		8"	SAS	Blue Ribbon	Maywood	Vernon	/	/	/
		8"	SAS	Maywood	Pocono	Blue Ribbon	/	/	/
		8"	SAS	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		8"	SAS	Ferndale	Thistledown	Blue Ribbon	/	/	/
		8"	SAS	Mountaineer	Thistledown	Terminus	/	/	/
		8"	SAS	Thistledown	Maywood	Mountaineer	/	/	/
		8"	SAS	Pocono	Maywood	Lot 15, Blk 17	/	/	/
		8"	SAS	Northlands	Harrington	Terminus	/	/	/
		8"	SAS	Fonner	Harrington	Blue Ribbon	/	/	/
		8"	SAS	Fraser	Harrington	Blue Ribbon	/	/	/
		8"	SAS	Vernon	Harrington	Terminus	/	/	/
		8"	SAS	Harrington	Northlands	Vernon	/	/	/
		8"	SAS	Aqueduct	Vernon	Salvator	/	/	/
		8"	SAS	Summerside	Nashua	Blue Ribbon	/	/	/
		8"	SAS	Desert Orchid	Nashua	Blue Ribbon	/	/	/
		8"	SAS	Nashua	Timonium	Salvator	/	/	/
		8"	SAS	Salvator	Pocono	Terminus	/	/	/
		8"	SAS	Timonium	Nashua	Pocono	/	/	/
		8"	SAS	Juan Tabo	Pocono	Pompano Place	/	/	/
		8"	SAS	Retama Ct	Pompano Place	East 20' SAS Esmnt	/	/	/
		8"	SAS	Red Mile	Juan Tabo	Beulah	/	/	/
		8"	SAS	Beulah	Red Mile	Pompano Place	/	/	/
		8"	SAS	Rockingham Ct.	Pompano Place	Terminus	/	/	/
		8"	SAS	Pompano Place	Salvator	Juan Tabo	/	/	/
		8"	SAS	Pompano Place	Lot 2, Blk 18	West 20' SAS Esmnt	/	/	/
		8"	SAS	East 20' SAS Esmnt	Ratama Ct	Pocono	/	/	/
		8"	SAS	West 20' SAS Esmnt	Pompano Place Termin	Pocono	/	/	/
		8"	SAS	30' SAS+SD Esmnt	Blue Ribbon	Tract 1-A-1	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- * Sidewalks to be deferred
- ** Trail to be deferred
- 1 Water Infrastructure to include valves, fittings, and firehydrants
- 2 SAS Infrastructure to include manholes and service connections
- 3 Storm Drain Infrastructure to include Manhole and inlets
- 4 Street lights per DPM
- 5 Grading and Drainage certification required per DPM (prior to Release of financial guaranty) to include walls as defined on the approved Grading Plan
- 6 Landscaping is Required for Public Roadways
- 7 Landscape Maintenance Agreement between City of Albuquerque and Home Owners Association for landscaping in City of Albuquerque Right-of-Way
- 8 Signage per DRC

AGENT / OWNER

Gregory J. Krenik

NAME (print)

Mark Goodwin & Associates

FIRM

SIGNATURE - date

4-22-10

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR - date

PARKS & GENERAL RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFA - date

UTILITY DEVELOPMENT - date

_____ - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, April 8, 2009, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1003123

09DRB-70109 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

KPM LLC request(s) the referenced/ above action(s) for all or a portion of Tracts 1 & 2, **LANDS OF DEVEREUX & WATSON**, zoned S-M1, located on the west side of 5TH ST NW between ASPEN AVE NW AND HAINES AVE NW containing approximately 1.4 acre(s). (H-14)

Project# 1003570

09DRB-70107 BULK LAND VARIANCE
09DRB-70108 - PRELIMINARY/ FINAL
PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for THE HASKELL COMPANY request(s) the referenced/ above action(s) for all or a portion of Lot(s) B-9E-1-A and B-9F-1, **SEVEN BAR RANCH** (TBKA: CIBOLA LOOP SUBDIVISION) zoned SU-1/ R-2 USES, located on the north side of ELLISON DR NW between EAST CIBOLA LOOP NW AND WEST CIBOLA LOOP NW containing approximately 26.4 acre(s). (A-13)

Project# 1004715

09DRB-70106 MAJOR - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

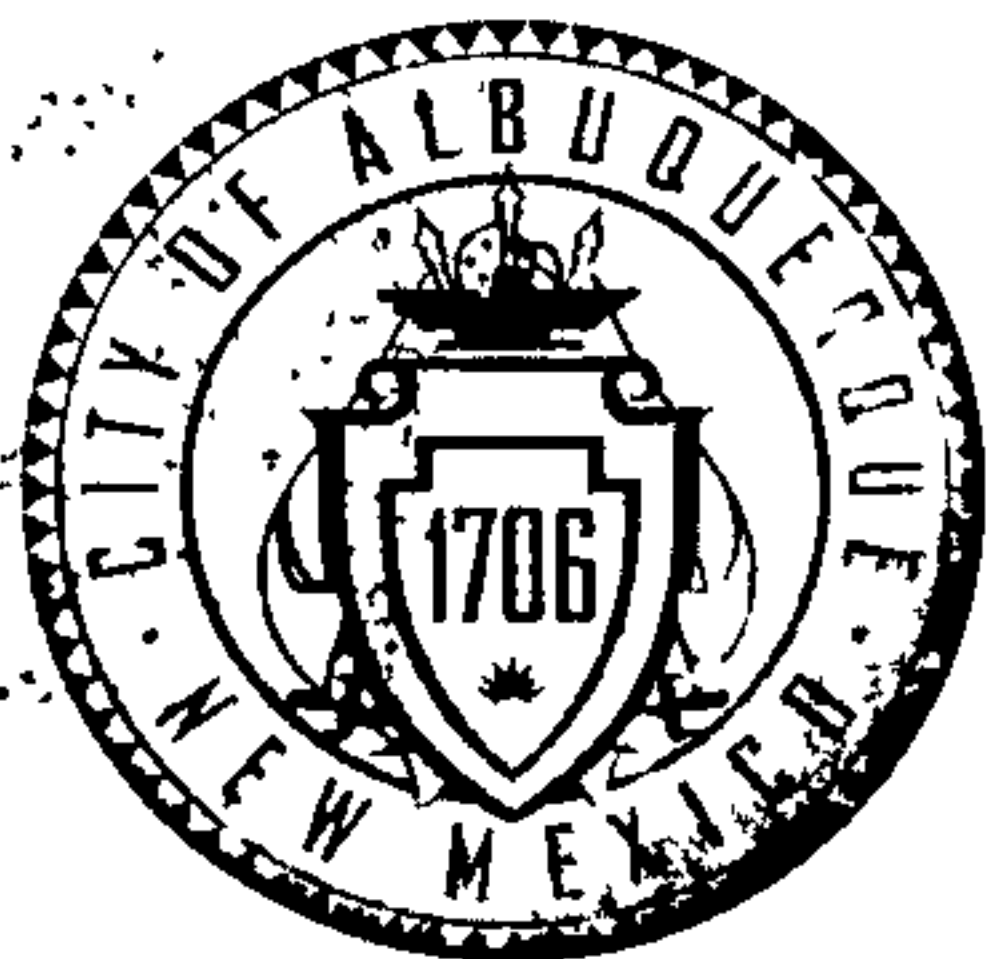
MARK GOODWIN AND ASSOCIATES PA agent(s) for JTH, LLC request(s) the referenced/ above action(s) for all or a portion of **JUAN TABO HILLS Unit(s) 2**, zoned R-D, located along the southern terminus of JUAN TABO BLVD SE south of the TIJERAS ARROYO containing approximately 95.4 acre(s). (M-21 & M-22)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MARCH 23, 2009.

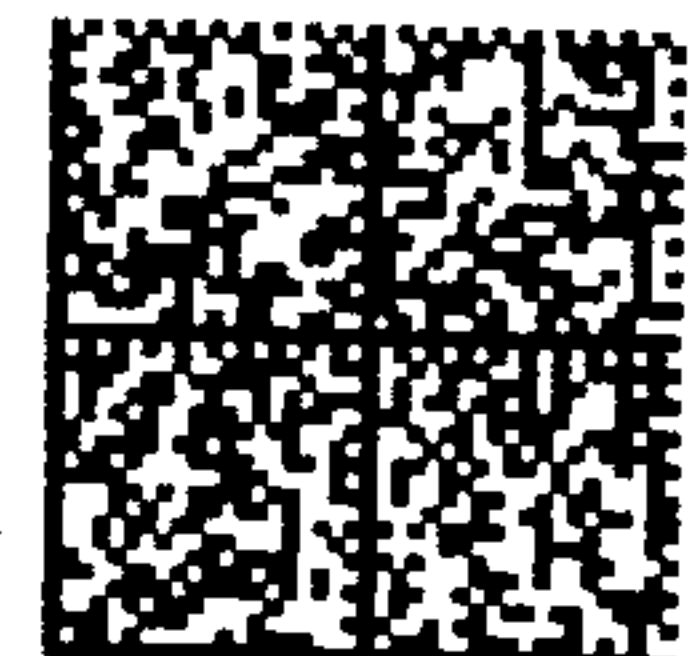
CITY OF ALBUQUERQUE



Planning Department

DRB

RETURN
TO SENDER
ATTEMPTED
NOT KNOWN



UNITED STATES POSTAGE
ALBUQUERQUE NM
FIRST CLASS
\$0.420
000426139 MA 23 2009
MAILED FROM ZIP CODE 87102

US

Or Current Resident
SAETANG TICK
11619 GALLANT FOX RD SE
ALBUQUERQUE NM 87123

871 CE N C 84 04/26 FOR ANK
EXCEPTIONAL ADDRESS FORMAT:
MAIL PIECE TO BE DELIVERED
AS ADDRESSED UNLESS SPECIFIC
REASON FOR NON-DELIVERY EXISTS.

CARRIER: REMOVE LABEL BEFORE DELIVERY

871232285 11024
8712309998



Current DRC
Project Number _____

FIGURE 12

1004715

Date Submitted 7-12-06

Date Site Plan Approved: N/A

Date Preliminary Plat Approved: 7/12/06

Date Preliminary Plat Expires: 7/12/07

DRB Project No. 1004715

DRB Application No. 06DRB - 00813

① 11-30-06
② 7-13-06

ORIGINAL

INFRASTRUCTURE LIST
(Rev 9-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
JUAN TABO HILLS, UNIT 2
~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

Tracts 6 & 7, Juan Tabo Hills, Unit 1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	West Pl	Juan Tabo	/	/	/
		4'	Sidewalk (N Side)*				/	/	/
		10'	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Timonium	Salvator	/	/	/
		4'	Sidewalk (N Side)*				/	/	/
		10'	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Juan Tabo	Timonium	/	/	/
		6'	Sidewalk (N Side)*				/	/	/
		10'	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Maywood	Pocono	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Ferndale	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Thistledown	Maywood	Juan Tabo Dr	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Northlands	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Fonner	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/

ORIGINAL




Name: Juan Tabo Hills, Unit 2

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To
		32' FF	Res Pvmt C & G (Both Sides)	Fraser	Blue Ribbon	Harrington
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Vernon	Blue Ribbon	Harrington
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Blue Ribbon	West Pl	Mountaineer
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Blue Ribbon	Northlands	Vernon
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Aqueduct	Timonium	Salvator
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Summerside	Aqueduct	Nashua
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Desert Orchid	Aqueduct	Nashua
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Nashua	Timonium	Salvator
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Salvator	Aqueduct	Pompano Place
		4'	Sidewalk (Both Sides)*			
		32' FF	Res Pvmt C & G (Both Sides)	Pompano Place	West Terminus	Salvator
		4'	Sidewalk (North Side)*			
		32' FF	Res Pvmt C & G (Both Sides)	Red Mile	Juan Tabo	Beulah
		4'	Sidewalk (Both Sides)*			
		48' FF	Perm Pvmt C & G (Both Sides)	Blue Ribbon	Mountaineer	Northlands
		6'	Sidewalk (Both Sides)*			
		48' FF	Perm Pvmt C & G (Both Sides)	Timonium Dr.	Pocono	North Pl
		6'	Sidewalk (Both Sides)			
A		32' F-F	RES PVMT C & G (Both Sides) SOWK (Both Sides)*	HARRINGTON	NORTHLANDS	JERRICA
		4'				
△		32' F-F	RES PVMT C & G (Both Sides) SOWK (Both Sides)*	BEULAH	RED MILE	POMPANO PL
		4'				

PAGE 2 OF 6
(rev 9-05)

Construction Certification		
Private		City Cnst
Inspector	P.E.	Engineer
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ORIGINAL

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		48' FF	Perm Pvmt C & G (Both Sides)	Aqueduct	Timonium	Vernon	/	/	/
		6' 32' FF	Sidewalk (Both Sides)* Perm Pvmt C & G (Both Sides)	 ^e Rytama Ct	Pompano Place	Terminus	/	/	/
		4' 32' FF	Sidewalk (Both Sides)* Perm Pvmt C & G (Both Sides)	Rockingham Ct	Pompano Place	Terminus	/	/	/
		4' 48' FF	Sidewalk (Both Sides)* Perm Pvmt C & G (Both Sides)	Juan Tabo Dr.	North Pl	Pompano Place	/	/	/
		6' 25' FF	Sidewalk (Both Sides) Res Pvmt C & G (Both Sides)	Northlands	Blue Ribbon	Terminus	/	/	/
		4' 25' FF	Sidewalk (West Side)* Res Pvmt C & G (Both Sides)	Salvator	Aqueduct	Terminus	/	/	/
		4' 25' FF	Sidewalk (East Side)* Res Pvmt C & G (Both Sides)	Vernon	Blue Ribbon  TERMINUS		/	/	/
		4' 25' FF	Sidewalk (East Side)* Res Pvmt C & G (Both Sides)	Mountaineer	Blue Ribbon  TERMINUS		/	/	/
		4' 24' EE	Sidewalk (East Side)* Gravel Emergency Access Rd with gates	40' Emergency Access Easement	Salvator	Rio Arnba Ave	/	/	/
WATER									
		8"	Waterline	Blue Ribbon	West Pl	Northlands	/	/	/
		6"	Waterline	Blue Ribbon	Northlands	Vernon	/	/	/
		8"	Waterline	Aqueduct	Vernon	Salvator	/	/	/
		8"	Waterline	Thistledown	Maywood	Juan Tabo	/	/	/
		8"	Waterline	Nashua	Timonium	Salvator	/	/	/
		6"	Waterline	Maywood	Pocono	Blue Ribbon	/	/	/
		8"	Waterline	Salvator	Nashua	Pocono	/	/	/
		6"	Waterline	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Ferndale	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4"	Waterline	Mountaineer	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Northlands	Blue Ribbon	Harrington	/	/	/
		4"	Waterline	Northlands	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Fonner	Harrington	Blue Ribbon	/	/	/
		10"	Waterline	Juan Tabo	North Pl	Pompano Place	/	/	/
		6"	Waterline	Fraser	Harrington	Blue Ribbon	/	/	/

ORIGINAL

Name Juan Tabo Hills, Unit 2

Financially Guaranteed DRC #		Constructed Under DRC #		Size	Type of Improvement	Location	From	To
				8"	SAS	Nashua	Timonium	Salvator
				8"	SAS	Salvator	Pocono	Terminus
				8"	SAS	Timonium	Nashua	Pocono
				8"	SAS	Juan Tabo	Pocono	Pompano Place
				8"	SAS	Ratama Ct	Pompano Place	East 20' SAS Esmnt
				8"	SAS	Red Mile	Juan Tabo	Beulah
				8"	SAS	Beulah	Red Mile	Pompano Place
				8"	SAS	Rockingham Ct.	Pompano Place	Terminus
				8"	SAS	Pompano Place	Salvator	Juan Tabo
				8"	SAS	Pompano Place	Lot 2, Blk 18	West 20' SAS Esmnt
				8"	SAS	East 20' SAS Esmnt	Ratama Ct	Pocono
				8"	SAS	West 20' SAS Esmnt	Pompano Place Termini	Pocono
				8"	SAS	30' SAS+SD Esmnt	Blue Ribbon	Tract 1-A-1
Storm Drain								
				18",24"	Storm Drain	Aqueduct	Lot 5, Blk 12	Timonium
				18",24",30"	Storm Drain	Blue Ribbon	Lot 9, Blk 7	Juan Tabo
				72"	Storm Drain	30' SAS+SD Esmnt	Blue Ribbon	Tract 1-A-1
				18",24"	Storm Drain	Red Mile	Lot 2, Blk 19	Juan Tabo
				24",30"	Storm Drain	Juan Tabo	Red Mile	Tract 1-A-3
				18",24", 30"	Storm Drain	Northlands	Lot 2, Blk 8	Blue Ribbon
				30"	Storm Drain	Timonium	Aqueduct	Tract 1-A-5
				18",24"	Storm Drain	Timonium	Nashua	Pocono
				18"	Storm Drain	Nashua	at Timonium	
				18"	Storm Drain	Pocono	at Juan Tabo	
				18",24", 66"	Storm Drain	Blue Ribbon	Lot 10, Blk 1	Maywood
				66"+18"	Storm Drain	Maywood	Pocono	Blue Ribbon
				54"	Storm Drain	Pocono	Tract 1-A-3	Maywood
				18",24",36"	Storm Drain	Tract 1-A-5	Tract 1-A-4	Lot 1, Blk 13
				48",36",24",18"	Storm Drain	Tract 1-A-4	Tract 1-A-3	Tract 1-A-5
				54",48",18"	Storm Drain	Tract 1-A-3	Pocono	Tract 1-A-4

Construction Certification		
Private		City Cnst Engineer
Inspector	P.E.	
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The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
							/	/	/
							/	/	/

Approval of Creditable Items:
Impact Fee Administrator Signature Date
City User Dept. Signature Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- * Sidewalks to be deferred
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- 2 SAS Infrastructure to include manholes and service connections
- 3 Storm Drain Infrastructure to include Manhole and inlets
- 4 Street lights per DPM
- 5 Grading and Drainage certification required per DPM (prior to Release of financial guaranty) to include walls as defined on the approved Grading Plan
- 6 Landscaping is Required for Public Roadways
- 7 Landscape Maintenance Agreement between City of Albuquerque and Home Owners Association for landscaping in City of Albuquerque Right-of-Way.
- 8 **SIGNAGE PER DRC**

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Gregory J. Krenik
NAME (print)

Mark Goodwin & Associates
FIRM

[Signature]
7-12-06
SIGNATURE - date

[Signature] 7/12/06
DRB CHAIR - date

[Signature] 7/12/06
PARKS & GENERAL RECREATION - date

[Signature] 7-12-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/12/06
UTILITY DEVELOPMENT - date

[Signature] 7/12/06
CITY ENGINEER - date



AMAFCA - date
- date
- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
△	11-30-06	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
△	07-13-09	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

ORIGINAL

INFRASTRUCTURE LIST
(Rev. 9-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

 11-30-06
 7-13-09

JUAN TABO HILLS, UNIT 2

~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~




Tracts 6 & 7, Juan Tabo Hills, Unit 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	Private P.E.	City Cnst Engineer
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	West Pl	Juan Tabo	/	/	/
		4'	Sidewalk (N Side)*				/	/	/
		10' ***	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Timonium	Salvator	/	/	/
		4'	Sidewalk (N Side)*				/	/	/
		10' ***	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Juan Tabo	Timonium	/	/	/
		6'	Sidewalk (N Side)*				/	/	/
		10' ***	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Maywood	Pocono	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Ferndale	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Thistledown	Maywood	Juan Tabo Dr	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Northlands	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Fonner	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/

ORIGINAL

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	PE	City Cnst Engineer
		48' FF	Perm Pvmt C & G (Both Sides)	Aqueduct	Timonium	Vernon	/	/	/
		6' 32' FF	Sidewalk (Both Sides)* Perm Pvmt C & G (Both Sides)	 Ramata Ct	Pompano Place	Terminus	/	/	/
		4' 32' FF	Sidewalk (Both Sides)* Perm Pvmt C & G (Both Sides)	Rockingham Ct	Pompano Place	Terminus	/	/	/
		4' 48' FF	Sidewalk (Both Sides)* Perm Pvmt C & G (Both Sides)	Juan Tabo Dr	North Pl	Pompano Place	/	/	/
		6' 25' FF	Sidewalk (Both Sides) Res Pvmt C & G (Both Sides)	Northlands	Blue Ribbon	Terminus	/	/	/
		4' 25' FF	Sidewalk (West Side)* Res Pvmt C & G (Both Sides)	Salvator	Aqueduct	Terminus	/	/	/
		4' 25' FF	Sidewalk (East Side)* Res Pvmt C & G (Both Sides)	Vernon	Blue Ribbon  <i>TERMINUS</i>		/	/	/
		4' 25' FF	Sidewalk (East Side)* Res Pvmt C & G (Both Sides)	Mountaineer	Blue Ribbon  <i>TERMINUS</i>		/	/	/
		4' 24' EE	Sidewalk (East Side)* Gravel Emergency Access Rd with gates	40' Emergency Access Easement	Salvator	Rio Arriba Ave	/	/	/
WATER									
		8"	Waterline	Blue Ribbon	West Pl	Northlands	/	/	/
		6"	Waterline	Blue Ribbon	Northlands	Vernon	/	/	/
		8"	Waterline	Aqueduct	Vernon	Salvator	/	/	/
		8"	Waterline	Thistledown	Maywood	Juan Tabo	/	/	/
		8"	Waterline	Nashua	Timonium	Salvator	/	/	/
		6"	Waterline	Maywood	Pocono	Blue Ribbon	/	/	/
		8"	Waterline	Salvator	Nashua	Pocono	/	/	/
		6"	Waterline	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Ferndale	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4"	Waterline	Mountaineer	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Northlands	Blue Ribbon	Harrington	/	/	/
		4"	Waterline	Northlands	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Fonner	Harrington	Blue Ribbon	/	/	/
		10"	Waterline	Juan Tabo	North Pl	Pompano Place	/	/	/
		6"	Waterline	Fraser	Harrington	Blue Ribbon	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing.
The items listed below are subject to the standard SIA requirements

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	PE	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items.
Impact Fee Administrator Signature Date City User Dept. Signature Date

NOTES

2

*** Trail (deferred) If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA
Street lights per City requirements.

- * Sidewalks to be deferred
- 1 Water Infrastructure to include valves, fittings, and firehydrants
- 2 SAS Infrastructure to include manholes and service connections
- 3 Storm Drain Infrastructure to include Manhole and inlets
- 4 Street lights per DPM
- 5 Grading and Drainage certification required per DPM (prior to Release of financial guaranty) to include walls as defined on the approved Grading Plan
- 6 Landscaping is Required for Public Roadways
- 7 Landscape Maintenance Agreement between City of Albuquerque and Home Owners Association for landscaping in City of Albuquerque Right-of-Way
- 8 SIGNAGE PER DRC

AGENT / OWNER

Gregory J. Krenik
NAME (print)

Mark Goodwin & Associates
EIRM

7-12-06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7/12/06 DRB CHAIR - date
[Signature] 7/12/06 PARKS & GENERAL RECREATION - date

[Signature] 7-12-06 TRANSPORTATION DEVELOPMENT - date

[Signature] 7/12/06 UTILITY DEVELOPMENT - date

[Signature] 7/12/06 CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
1	11-30-06	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
2	07-13-09	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

Current DRC
Project Number. _____

FIGURE 12

Date Submitted 8-24-11

INFRASTRUCTURE LIST

(Rev 9-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No. 1004715

DRB Application No. _____

ORIGINAL

JUAN TABO HILLS, UNIT 2

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 6 & 7, Juan Tabo Hills, Unit 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	West Pl	Juan Tabo	/	/	/
		4'	Sidewalk (N Side)*				/	/	/
		6'	Crusher Fine Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Timonium	Salvator	/	/	/
		4'	Sidewalk (N Side)*				/	/	/
		6'	Crusher Fine Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Juan Tabo	Timonium	/	/	/
		6'	Sidewalk (N Side)*				/	/	/
		6'	Crusher Fine Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Maywood	Pocono	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Ferndale	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Thistledown	Maywood	Juan Tabo Dr	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Northlands	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/
		32' FF	Res Pvmt C & G (Both Sides)	Fonner	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*				/	/	/

Name Juan Tabo Hills, Unit 2

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Crst Engineer
							Inspector	P.E.	
		32' FF	Res Pvmt C & G (Both Sides)	Fraser	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Vernon	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Blue Ribbon	West PI	Mountaineer	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Blue Ribbon	Northlands	Vernon	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Aqueduct	Timonium	Salvator	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Summerside	Aqueduct	Nashua	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Desert Orchid	Aqueduct	Nashua	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Nashua	Timonium	Salvator	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Salvator	Aqueduct	Pompano Place	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Pompano Place	West Terminus	Salvator	/	/	/
		4'	Sidewalk (North Side)*						
		32' FF	Res Pvmt C & G (Both Sides)	Red Mile	Juan Tabo	Beulah	/	/	/
		4'	Sidewalk (Both Sides)*						
		48' FF	Perm Pvmt C & G (Both Sides)	Blue Ribbon	Mountaineer	Northlands	/	/	/
		6'	Sidewalk (Both Sides)*						
		48' FF	Perm Pvmt C & G (Both Sides)	Timonium Dr.	Pocono	North PI	/	/	/
		6'	Sidewalk (Both Sides)						
		32' FF	Res Pvmt C&G (Both sides)	Harrington	Northlands	Vernon	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C&G (Both Sides)	Beolah	Red Mile	Pompano Place	/	/	/
		4'	Sidewalk (Both Sides)*						

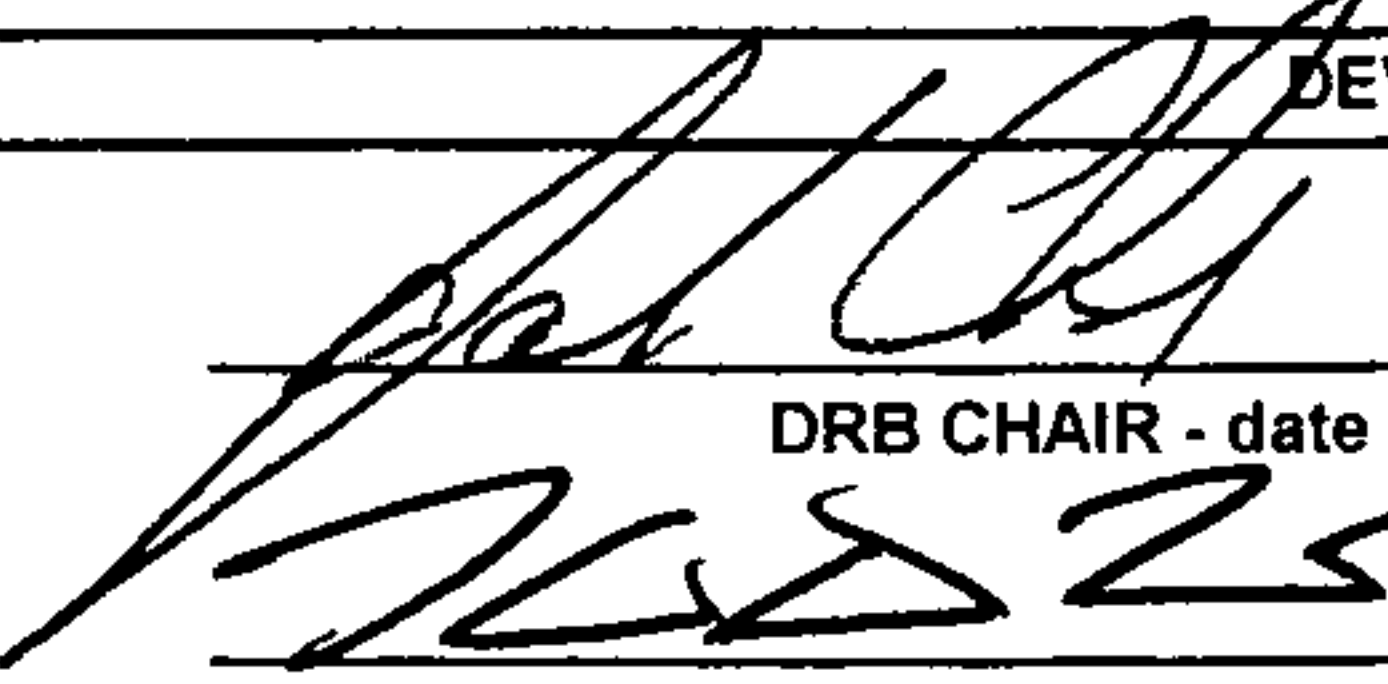


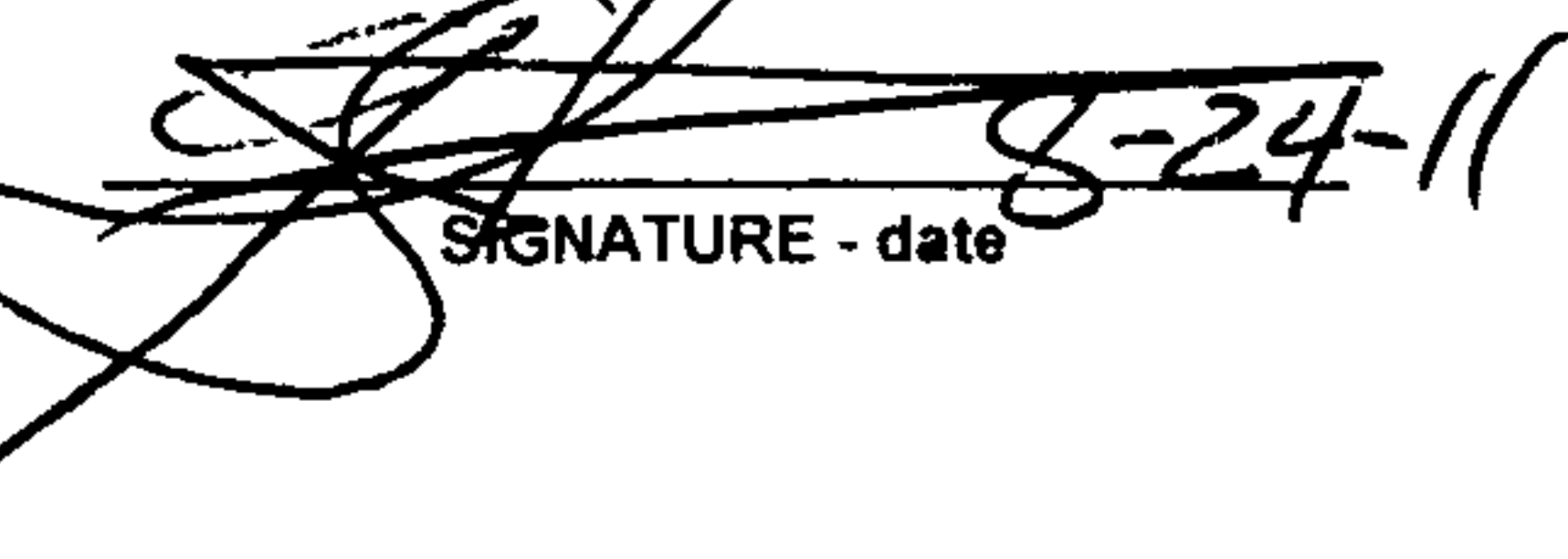


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							Private Inspector	P.E.	City Crst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

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- 8 Signage Per DRC

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
Gregory J. Krenik NAME (print)	 DRB CHAIR - date	 PARKS & GENERAL RECREATION - date
Mark Goodwin & Associates FIRM	 TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
 SIGNATURE - date	 UTILITY DEVELOPMENT - date	- date
	 CITY ENGINEER - date	- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ORIGINAL

INFRASTRUCTURE LIST
(Rev 9-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
JUAN TABO HILLS, UNIT 2

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 6 & 7, Juan Tabo Hills, Unit 1

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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	West Pl	Juan Tabo	/	/	/
		4'	* Sidewalk (N Side)						
		10'	** Stabilized Crusher Fine Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Timonium	Salvator	/	/	/
		4'	* Sidewalk (N Side)						
		10'	** Stabilized Crusher Fine Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Juan Tabo	Timonium	/	/	/
		6'	* Sidewalk (N Side)						
		10'	** Stabilized Crusher Fine Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Maywood	Pocono	Blue Ribbon	/	/	/
		4'	* Sidewalk (Both Sides)						
		32' FF	Res Pvmt C & G (Both Sides)	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		4'	* Sidewalk (Both Sides)						
		32' FF	Res Pvmt C & G (Both Sides)	Ferndale	Thistledown	Blue Ribbon	/	/	/
		4'	* Sidewalk (Both Sides)						
		32' FF	Res Pvmt C & G (Both Sides)	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4'	* Sidewalk (Both Sides)						

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Thistledown	Maywood	Juan Tabo Dr	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Northlands	Blue Ribbon	Harrington	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Fonner	Blue Ribbon	Harrington	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Fraser	Blue Ribbon	Harrington	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Vernon	Blue Ribbon	Harrington	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Blue Ribbon	West Pl	Mountaineer	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Blue Ribbon	Northlands	Vernon	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Aqueduct	Timonium	Salvator	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Summerside	Aqueduct	Nashua	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Desert Orchid	Aqueduct	Nashua	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Nashua	Timonium	Salvator	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Salvator	Aqueduct	Pompano Place	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (North Side)	Pompano Place	West Terminus	Salvator	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Red Mile	Juan Tabo	Beulah	/	/	/
		48' FF 6'	Perm Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Blue Ribbon	Mountaineer	Northlands	/	/	/
		48' FF 6'	Perm Pvmnt C & G (Both Sides) Sidewalk (Both Sides)	Timonium Dr	Pocono	North PI	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Harrington	Northlands	Vernon	/	/	/
		32' FF 4'	Res Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Beulah	Red Mile	Pompano PI	/	/	/
		48' FF 6'	Perm Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Aqueduct	Timonium	Vernon	/	/	/
		32' FF 4'	Perm Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Retama Ct	Pompano Place	Terminus	/	/	/
		32' FF 4'	Perm Pvmnt C & G (Both Sides) * Sidewalk (Both Sides)	Rockingham Ct	Pompano Place	Terminus	/	/	/
		48' FF 6'	Perm Pvmnt C & G (Both Sides) Sidewalk (Both Sides)	Juan Tabo Dr.	North PL	Pompano Place	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		25' FF	Res Pvmnt C & G (Both Sides)	Northlands	Blue Ribbon	Terminus	/	/	/
		4'	* Sidewalk (West Side)						
		25' FF	Res Pvmnt C & G (Both Sides)	Salvator	Aqueduct	Terminus	/	/	/
		4'	* Sidewalk (East Side)						
		25' FF	Res Pvmnt C & G (Both Sides)	Vernon	Blue Ribbon	Terminus	/	/	/
		4'	* Sidewalk (East Side)						
		25' FF	Res Pvmnt C & G (Both Sides)	Mountaineer	Blue Ribbon	Terminus	/	/	/
		4'	* Sidewalk (East Side)						
		24' EE	Gravel Emergency Access Rd with gates	40' Emergency Access Easement	Salvator	Rio Arriba Ave	/	/	/
		60' FF (74' EE)	Bridge	Juan Tabo Blvd	over Tijeras Arroyo				
WATER									
		8"	Waterline	Blue Ribbon	West Pl	Northlands	/	/	/
		6"	Waterline	Blue Ribbon	Northlands	Vernon	/	/	/
		8"	Waterline	Aqueduct	Vernon	Salvator	/	/	/
		8"	Waterline	Thistledown	Maywood	Juan Tabo	/	/	/
		8"	Waterline	Nashua	Timonium	Salvator	/	/	/
		6"	Waterline	Maywood	Pocono	Blue Ribbon	/	/	/
		8"	Waterline	Salvator	Nashua	Pocono	/	/	/
		6"	Waterline	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Ferndale	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4"	Waterline	Mountaineer	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Northlands	Blue Ribbon	Harrington	/	/	/
		4"	Waterline	Northlands	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Fonner	Harrington	Blue Ribbon	/	/	/
		10"	Waterline	Juan Tabo	North Pl	Pompano Place	/	/	/
		6"	Waterline	Fraser	Harrington	Blue Ribbon	/	/	/
		6"	Waterline	Vernon	Harrington	Blue Ribbon	/	/	/
		6"	Waterline	Harrington	Northlands	Vernon	/	/	/
		6"	Waterline	Summerside	Nashua	Blue Ribbon	/	/	/
		12"	Waterline	Timonium	North Pl	Pocono	/	/	/
		6"	Waterline	Desert Orchid	Nashua	Blue Ribbon	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			Storm Drain						
		18",24"	Storm Drain	Aqueduct	Lot 5, Blk 12	Timonium	/	/	/
		18",24",30"	Storm Drain	Blue Ribbon	Lot 9, Blk 7	Juan Tabo	/	/	/
		72"	Storm Drain	30' SAS+SD Esmnt	Blue Ribbon	Tract 1-A-1	/	/	/
		18",24"	Storm Drain	Red Mile	Lot 2, Blk 19	Juan Tabo	/	/	/
		24",30"	Storm Drain	Juan Tabo	Red Mile	Tract 1-A-3	/	/	/
		18",24", 30"	Storm Drain	Northlands	Lot 2, Blk 8	Blue Ribbon	/	/	/
		30"	Storm Drain	Timonium	Aqueduct	Tract 1-A-5	/	/	/
		18",24"	Storm Drain	Timonium	Nashua	Pocono	/	/	/
		18"	Storm Drain	Nashua	at Timonium		/	/	/
		18"	Storm Drain	Pocono	at Juan Tabo		/	/	/
		18",24", 66"	Storm Drain	Blue Ribbon	Lot 10, Blk 1	Maywood			
		66"+18"	Storm Drain	Maywood	Pocono	Blue Ribbon	/	/	/
		54"	Storm Drain	Pocono	Tract 1-A-3	Maywood	/	/	/
		18",24",36"	Storm Drain	Tract 1-A-5	Tract 1-A-4	Lot 1, Blk 13	/	/	/
		48",36",24",18"	Storm Drain	Tract 1-A-4	Tract 1-A-3	Tract 1-A-5	/	/	/
		54",48",18"	Storm Drain	Tract 1-A-3	Pocono	Tract 1-A-4	/	/	/

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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES


If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- * Sidewalks to be deferred
- ** Trail to be deferred
- 1 Water Infrastructure to include valves, fittings, and firehydrants
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- 3 Storm Drain Infrastructure to include Manhole and inlets
- 4 Street lights per DPM
- 5 Grading and Drainage certification required per DPM (prior to Release of financial guaranty) to include walls as defined on the approved Grading Plan
- 6 Landscaping is Required for Public Roadways
- 7 Landscape Maintenance Agreement between City of Albuquerque and Home Owners Association for landscaping in City of Albuquerque Right-of-Way.
- 8 Signage per DRC

AGENT / OWNER

Gregory J. Krenik
NAME (print)

Mark Goodwin & Associates
FIRM


SIGNATURE - date 4-22-10

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS


DRB CHAIR - date 05/07/10


TRANSPORTATION DEVELOPMENT - date 05/05/10


UTILITY DEVELOPMENT - date 05/05/10


CITY ENGINEER - date 5/5/10


PARKS & GENERAL RECREATION - date 5/5/10

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ORIGINAL

INFRASTRUCTURE LIST
(Rev. 9-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

11-30-06
7-13-09

JUAN TABO HILLS, UNIT 2
~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~
Tracts 6 & 7, Juan Tabo Hills, Unit 1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		32' FF	Res Pvmt C & G (Both Sides) 4' Sidewalk (N Side)*	Pocono	West B	Juan Tabo	/	/	/
		10' ***	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides) 4' Sidewalk (N Side)*	Pocono	Timonium	Salvator	/	/	/
		10' ***	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides) 6' Sidewalk (N Side)*	Pocono	Juan Tabo	Timonium	/	/	/
		10' ***	Trail in Open Space (S Side)				/	/	/
		32' FF	Res Pvmt C & G (Both Sides) 4' Sidewalk (Both Sides)*	Wood	Pocono	Blue Ribbon	/	/	/
		32' FF	Res Pvmt C & G (Both Sides) 4' Sidewalk (Both Sides)*	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		32' FF	Res Pvmt C & G (Both Sides) 4' Sidewalk (Both Sides)*	Ferndale	Thistledown	Blue Ribbon	/	/	/
		32' FF	Res Pvmt C & G (Both Sides) 4' Sidewalk (Both Sides)*	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		32' FF	Res Pvmt C & G (Both Sides) 4' Sidewalk (Both Sides)*	Thistledown	Maywood	Juan Tabo Dr	/	/	/
		32' FF	Res Pvmt C & G (Both Sides) 4' Sidewalk (Both Sides)*	Northlands	Blue Ribbon	Hamington	/	/	/
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VOID
DRB 5/5/10

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

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<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:
 Impact Fee Administrator Signature Date
 City User Dept. Signature Date

NOTES

2

*** Trail (deferred) If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- * Sidewalks to be deferred
- 1 Water Infrastructure to include valves, fittings, and firehydrants
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AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Gregory J. Krenik
NAME (print)

Mark Goodwin & Associates
FIRM

7-12-06
SIGNATURE - date

[Signature]
DRB CHAIR - date

[Signature] 7/12/06
Christina Sandoval
PARKS & GENERAL RECREATION - date

[Signature] 7-12-06
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 7/12/06
UTILITY DEVELOPMENT - date

- date

[Signature] 7/12/06
CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
2	11-30-06	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
2	07-13-09	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mark Goodwin & Associates, PA PHONE: 828-2200
 ADDRESS: P.O. Box 90606 FAX: 797-9539
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: greg@goodwinengineers.com
 APPLICANT: JTH, LLC PHONE: 892-5533
 ADDRESS: P.O. Box 1443 FAX: _____
 CITY: Corrales STATE NM ZIP 87048 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: Juan Tabo Hills, Unit 2 Final Plat approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tr 697, Juan Tabo Hills Bulk Plat w/ Tr 1A Juan Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Tabo Hills, Unit 1

Existing Zoning: R:D Proposed zoning: same MRGCD Map No _____

Zone Atlas page(s): M2E, 22 UPC Code: 102205504908430815

CASE HISTORY: 1021055486429 10130, 10220550301363, 102205504501930915
2601

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes No Within 1000FT of a landfill? Yes No

No. of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): _____

LOCATION OF PROPERTY BY STREETS: On or Near: _____

Between: _____ and _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 1-29-08

(Print) GREGORY J. KRENK, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>ORDRB - 20051</u>	<u>FP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CM</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>20.00</u>

Hearing date February 6, 2008

Project # 1004715

[Signature]
 Planner signature / date

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

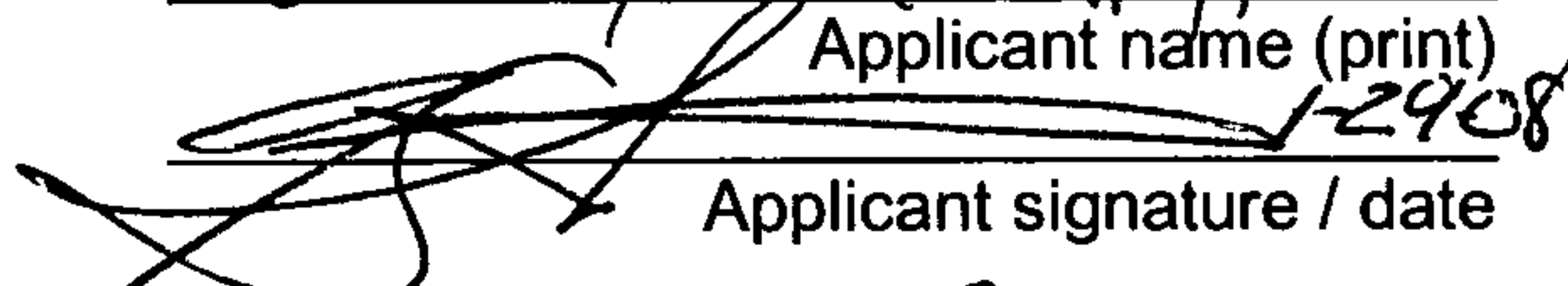
MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**


I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

GREGORY J. KRENK, PE
Applicant name (print)

Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
08 DRB - 70091


Planner signature / date
Project # 1004715

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1004715

AGENDA ITEM NO: 10

SUBJECT:

SIA EXTENSION – SIDEWALK

ENGINEERING COMMENTS:

No objection to extension request.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Kristal D. Metro
Transportation Development

DATE: DECEMBER 31, 2013
505-924-3991

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

12/17/2013

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/17/2013 Issued By: E08375 219444

Category Code **910**
2013 070 796

Application Number: 13DRB-70796, Ext Of Sia For Temp Defr Sdwk Const

Address:

Location Description: POCONO BETWEEN SALVATOR AND MAYWOOD

Project Number: 1004715

Applicant
JTH, LLC

PO BOX 1443
CORRALES NM 87048

Agent / Contact

MARK GOODWIN AND ASSOCIATES, P.A.

P.O. BOX 90606
ALBUQUERQUE NM 87199

Application Fees

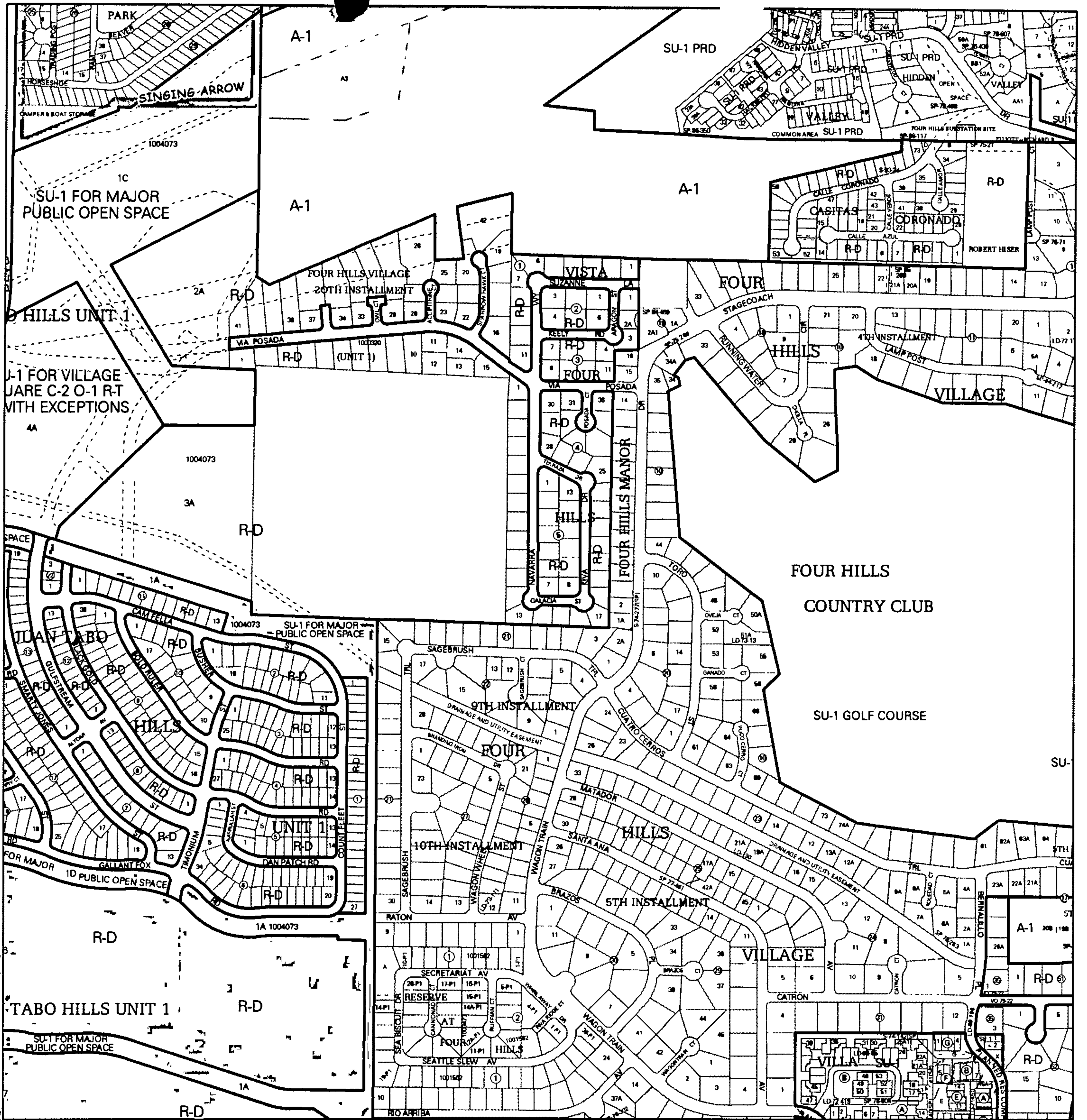
APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions **\$50.00**

TOTAL: \$70.00

CITY OF ALBUQUERQUE TREASURY
Date: 12/17/2013 Office: PHMEX
State ID: W5000002 User: JTH
Batch: 2990 FROM: 12/17/13
Permit: 2013070796
Receipt# NUM 00187657
Payment Total: \$70.00
0701 CONFLICT MGMT, Fee \$20.00
0703 DRB ACTIONS \$50.00
Check Tendered: \$70.00

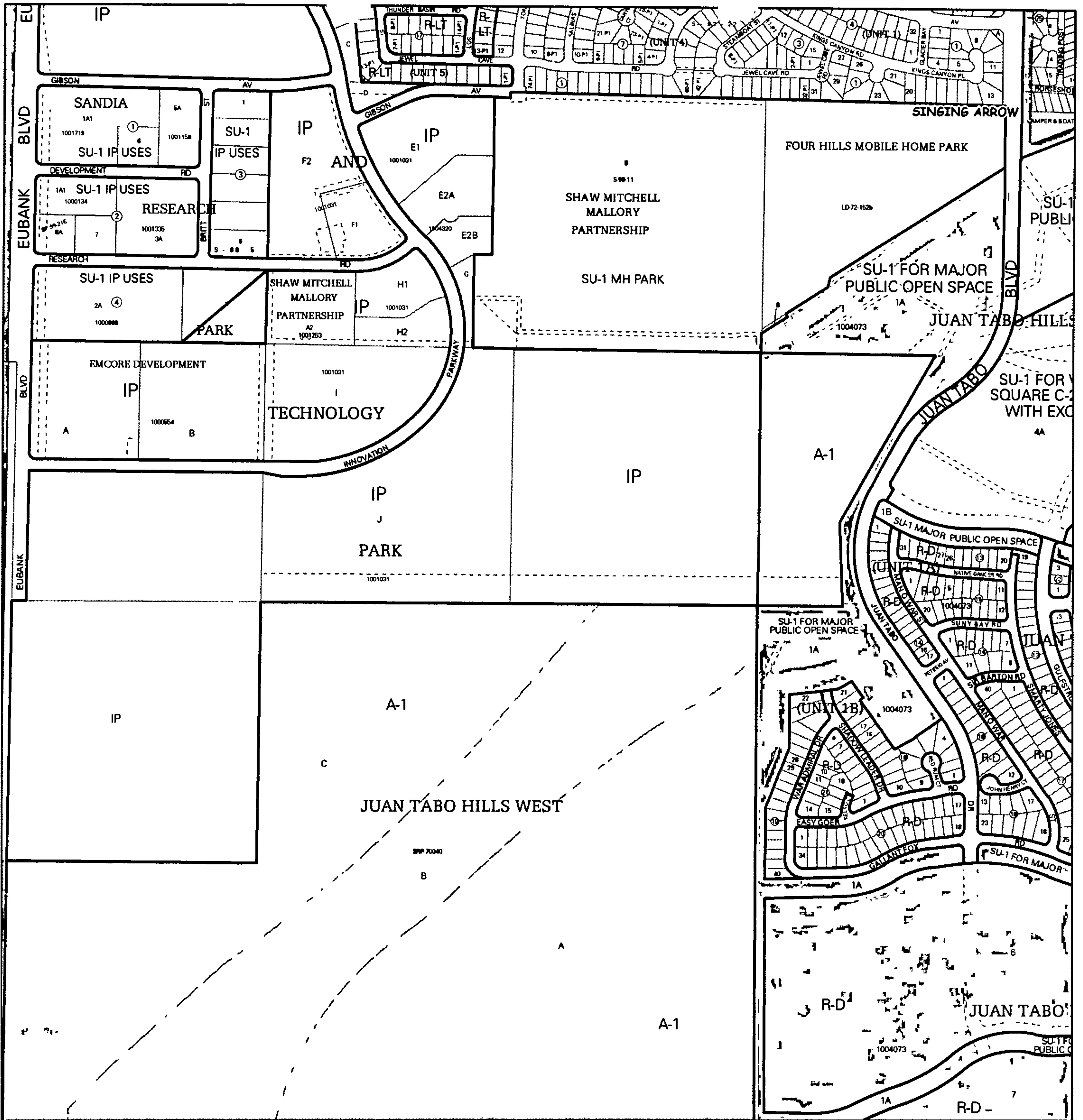


For more current information and more details visit: <http://www.cabq.gov/gis>

Zone Atlas Page:
M-22-Z

Selected Symbols

0 750 1,500 Feet



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/4/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-21-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

1st AMENDMENT TO AGREEMENT TO
CONSTRUCT SUBDIVISION IMPROVEMENTS

Juan Tabo Hills, Unit 2
City Project #756185

1/22/08

WHEREAS, the City and the Subdivider entered into an Agreement to Construct Public and/or Private Subdivision Improvements ("Original Agreement") on 3/29/07, which was recorded on 3/29/07, in the records of the Bernalillo County Clerk at Book A134, pages 8014 thru --, wherein the Subdivider agreed to satisfactorily construct certain infrastructure improvements.

WHEREAS, the Subdivider has requested final plat approval of its plat identified as JUAN TABO HILLS, UNIT 2; and

WHEREAS, the Subdivider is required to financially guarantee the construction of the public and/or private infrastructure; and

WHEREAS, the Subdivider is able to provide the required financial guaranty.

THEREFORE, the Subdivider and the City agree to amend the Original Agreement as follows:

1. Amending Section 5, FINANCIAL GUARANTY, second paragraph, to read as follows:

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Subdivision Bond #1024422
Amount: \$ 2,258,548.03
Name of Financial Institution or Surety providing
Guaranty: Lexon Insurance Co.
Date City first able to call guaranty: March 29, 2009
Construction Completion Deadline: March 29, 2009
If guaranty other than a Bond, last day City is able to
call on Guaranty is: _____
Additional information: _____

2. Other Terms Unchanged: Except as amended herein, the terms and conditions of the Original Agreement will remain unchanged and will continue in full force and effect unless there is a conflict between the terms and conditions of this Amendment, and the terms and conditions of the Original Agreement, in which case the terms and conditions of the Amendment to the Original Agreement will control.



EXHIBIT B

FINAL
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and JTH, LLC ("Developer") effective as of this 6 day of December, 2006, and pertains to the subdivision commonly known as Juan Tabo Hills, Unit 2, and more particularly described as Tracts 6 & 7, Juan Tabo Hills Bulk Plat filed in Bernalillo County Clerk's office 1/19/2005, Book 2005C, Page 22, together with a portion of City of Albuquerque Open Space, Tract 1-A, Juan Tabo Hills, Unit 1 filed in Bernalillo County Clerk's office 12/22/2005, Book 2005C, Page 486 (the "Subdivision".) The following individual lots comprise the subdivision:

See attached Subdivision Plat Addresses

WHEREAS, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new residential subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance; and

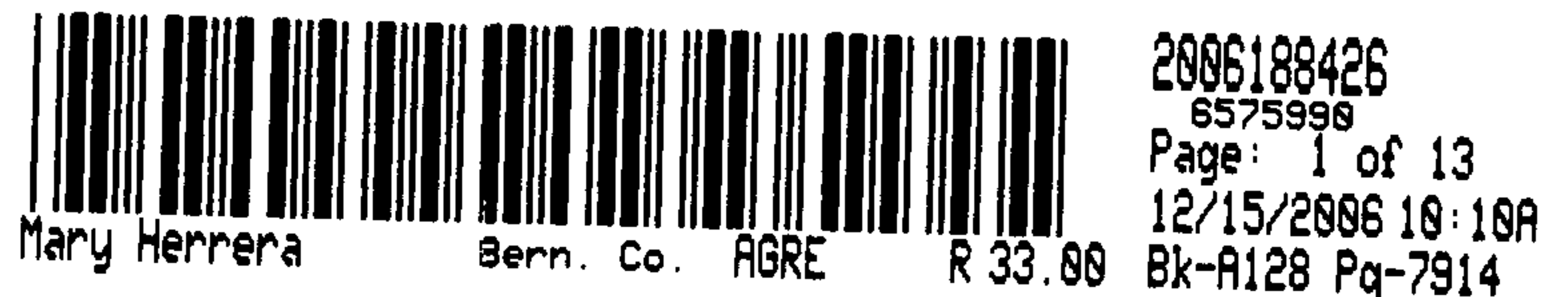
WHEREAS, APS has determined that the amount of the facilities fee is reasonably related to the impact the subdivision will have on the operation of the area schools.

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees to pay to APS a facilities fee for each dwelling unit to be constructed in the Subdivision.

2. The amount of the fee shall be:

- If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.
- If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
- If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.



INFRASTRUCTURE LIST

(Rev. 3/03)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

JUAN TABO HILLS, UNIT 2

~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

Tracts 6 & 7, Juan Tabo Hills, Unit 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: 7-12-06

Date Site Plan Approved: N/A

Date Preliminary Plat Approved: 7/12/06

Date Preliminary Plat Expires: 7/12/07

DRB Project No.: 1004715

DRB Application No.: 06DRB - 00813

ORIGINAL

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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing
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<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:
 Impact Fee Administrator Signature _____ Date _____
 City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA
 Street lights per City requirements.

- Sidewalks to be deferred
- 1 Water Infrastructure to include valves, fittings, and firehydrants
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- 8 SIGNAGE PER DRC

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Gregory J. Krenik
 NAME (print)

[Signature]
 DRB CHAIR - date

[Signature] 7/12/06
 PARKS & GENERAL RECREATION - date

Mark Goodwin & Associates
 FIRM
[Signature]
 7-12-06
 SIGNATURE - date

[Signature] 7-12-06
 TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature]
 UTILITY DEVELOPMENT - date

_____ - date

[Signature] 7/12/06
 CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JTH, LLC PHONE: 892-5533
 ADDRESS: PO BOX 1443 FAX: _____
 CITY: CORRALES STATE NM ZIP 87048 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): MARK GOODWIN & ASSOCIATES, PA PHONE: 828-2200
 ADDRESS: PO BOX 90606 FAX: 797-9539
 CITY: ALBUQUERQUE STATE NM ZIP 87199 E-MAIL: craig@goodwinengineers.com

DESCRIPTION OF REQUEST: EXTENSION OF PRELIMINARY PLAT - JUAN TABO HILLS, UNIT 2

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 6 & 7 Block: _____ Unit: 12
 Subdiv. / Addn. JUAN TABO HILLS
 Current Zoning: RD Proposed zoning: SAME
 Zone Atlas page(s): M21 & M22 No. of existing lots: 3 No. of proposed lots: 399 + 5 TRACTS
 Total area of site (acres): 82.9917 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 102205512544020127 ; 102205509913830116 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: JUAN TABO BLVD NE
 Between: EUBANK BLVD NE and FOUR HILLS ROAD SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 4715
1004715

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE [Signature] DATE 6-28-07
 (Print) GREGORY W. KRENK, PE _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>D/DPB</u> <u>70098</u>	<u>EPP</u>	<u>3(3)</u>	<u>\$ 50.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>7-11-07</u>	_____	_____	Total <u>\$ 70.00</u>

KE SCS

Project # 1004715

1000584

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
 Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls 3 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
 - DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
 - DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

GREGORY J. KRENIK, PE Applicant name (print)
[Signature] 6-28-07 Applicant signature / date



Form revised 8/04, 1/05, 10/05 & NOV 06

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers _____ -070098

Planner signature / date
[Signature]
Project # 1004715

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

06/29/2007 Issued By: PLNABG

Permit Number: 2007 070 098 **Category Code 0910**

Application Number: 07DRB-70098, Ext Of Major Preliminary Plat

Address:

Location Description: JUAN TABO BLVD NE BETWEEN EUBANK BLVD NE AND FOUR HILLS

Project Number: 1004715

Applicant

Jth. Llc

Po Box 1443
 Corrales, NM 87048
 892-5533

Agent / Contact

Mrk Goowwin & Associates
 Gregory Krenik
 Po Box 90606
 Albuquerque, NM 87199
 828-2200

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$70.00

City Of Albuquerque
 Treasury Division

6/29/2007 10:43AM LCC# ANIX
 W-H 001 TRFMS# 0014
 RECEIPT# 00078957-00078957
 PERMIT# 2007070093 TRSCCS
 Trans Amt \$70.00
 Conflict Manag. Fee \$20.00
 DRB Actions \$50.00
 CR \$70.00
 CHANGE \$0.00

Thank You



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

June 28, 2007

*Ms. Sharon Matson, Chair
Design Review Board
City Of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103*

Re: Juan Tabo Hills, Unit 2

Dear Ms. Matson:

We wish to request an extension of Preliminary Plat, because we are unable to record by July 12, 2007.

The City of Albuquerque has still not signed the final plat and therefore we can not proceed.

Please contact our office with any questions you may have.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA



*Gregory J. Krenik, PE
Vice-President*

GJK/la

Attachment



OFFICIAL NOTICE OF DECISION

PAGE 2

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

The Subdivision Design Variance from minimum DPM design standards was approved as shown on Exhibit C in the Planning file.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file.

The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

06DRB-00938 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

The site plan for subdivision was approved and signed off by the Board.

If you wish to appeal this decision, you must do so by July 27, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 12, 2006

4. Project # 1004715

06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

At the July 12, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 7/12/06 and approval of the grading plan engineer stamp dated 2/9/06 the preliminary plat was approved with the following conditions of final plat:

If the final plat is approved after 10/31/06, the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee Agreements with the Albuquerque Public Schools (APS).

The developer shall establish either an Avigation Easement or a Covenant Not to Sue with the City of Albuquerque, either of which would be filed with the County Clerk's Office.

The vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.




OFFICIAL NOTICE OF DECISION

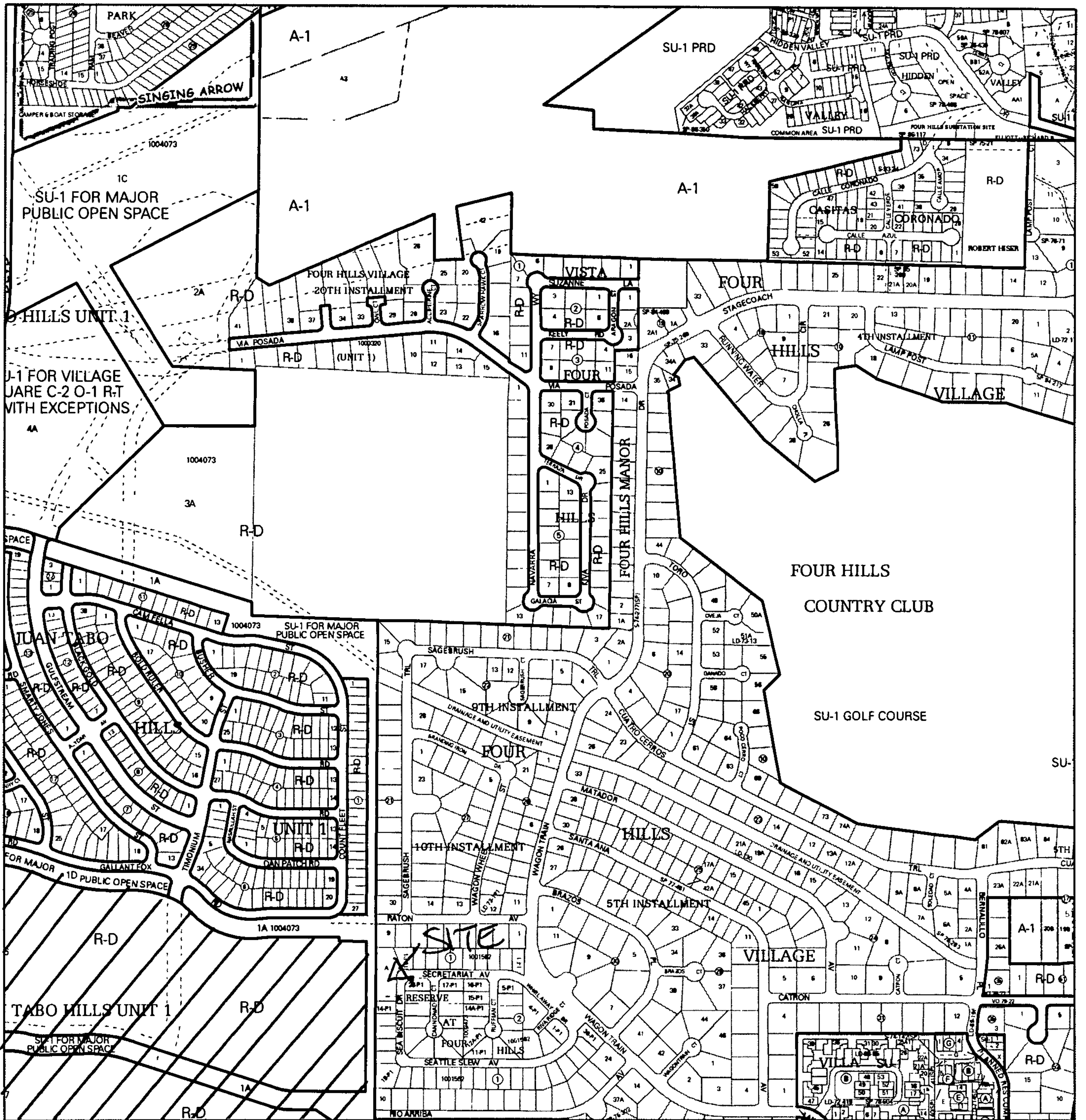
PAGE 3

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)


for Sheran Matson, AICP, DRB Chair

Cc: JTH LLC, P.O. Box 1443, Corrales, NM 87048
Mark Goodwin & Associates PA, P.O. Box 90606, 87199
Robert Booms, 598 Rincon, Corrales, Nm 87048
Randy Glasebrook, 12005 San Francisco NE, 87122
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Jim Hinde, Aviation Department
File



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 5/17/2007

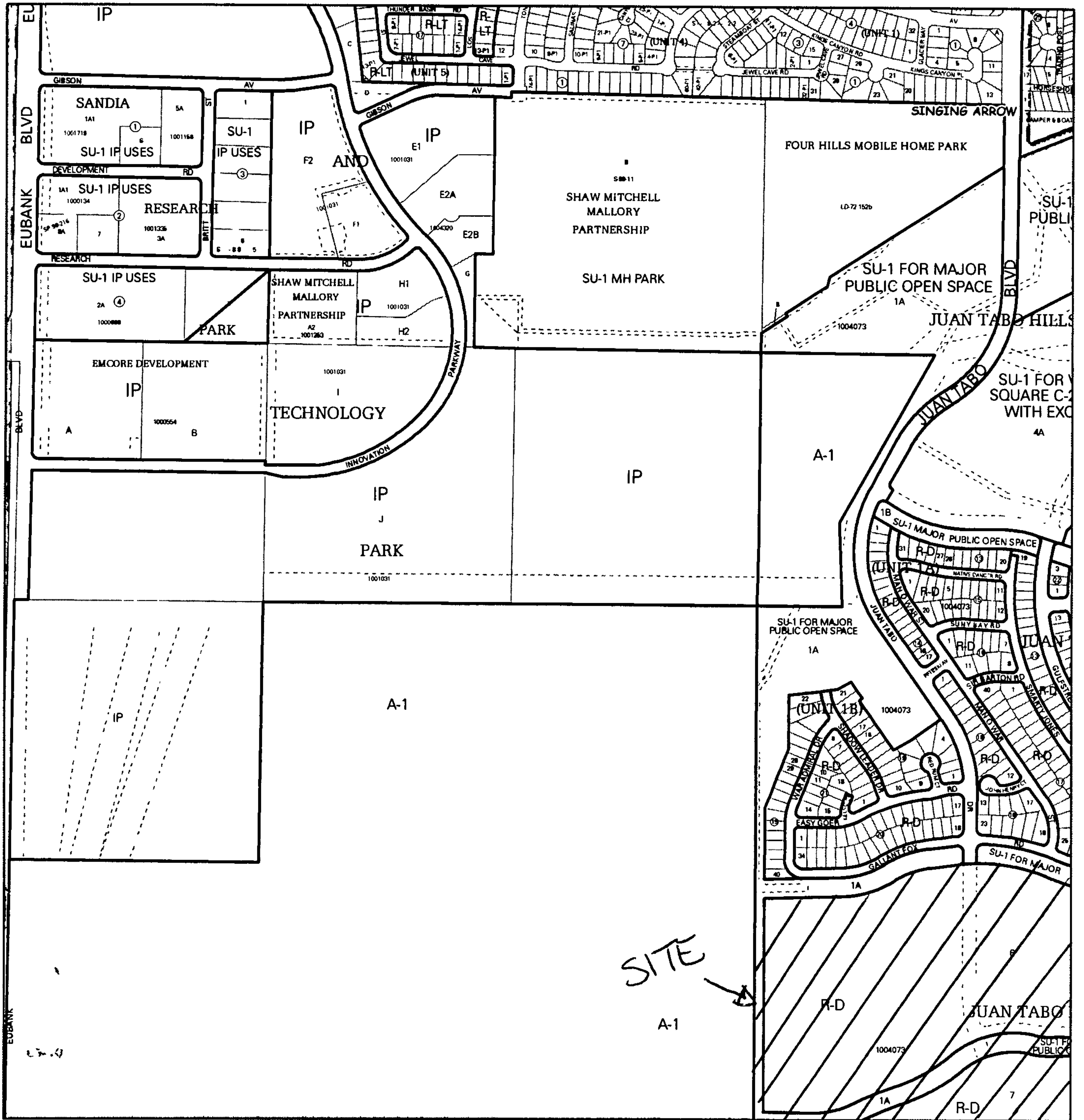
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-22-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



For more current information and more details visit: <http://www.cabq.gov/gis>

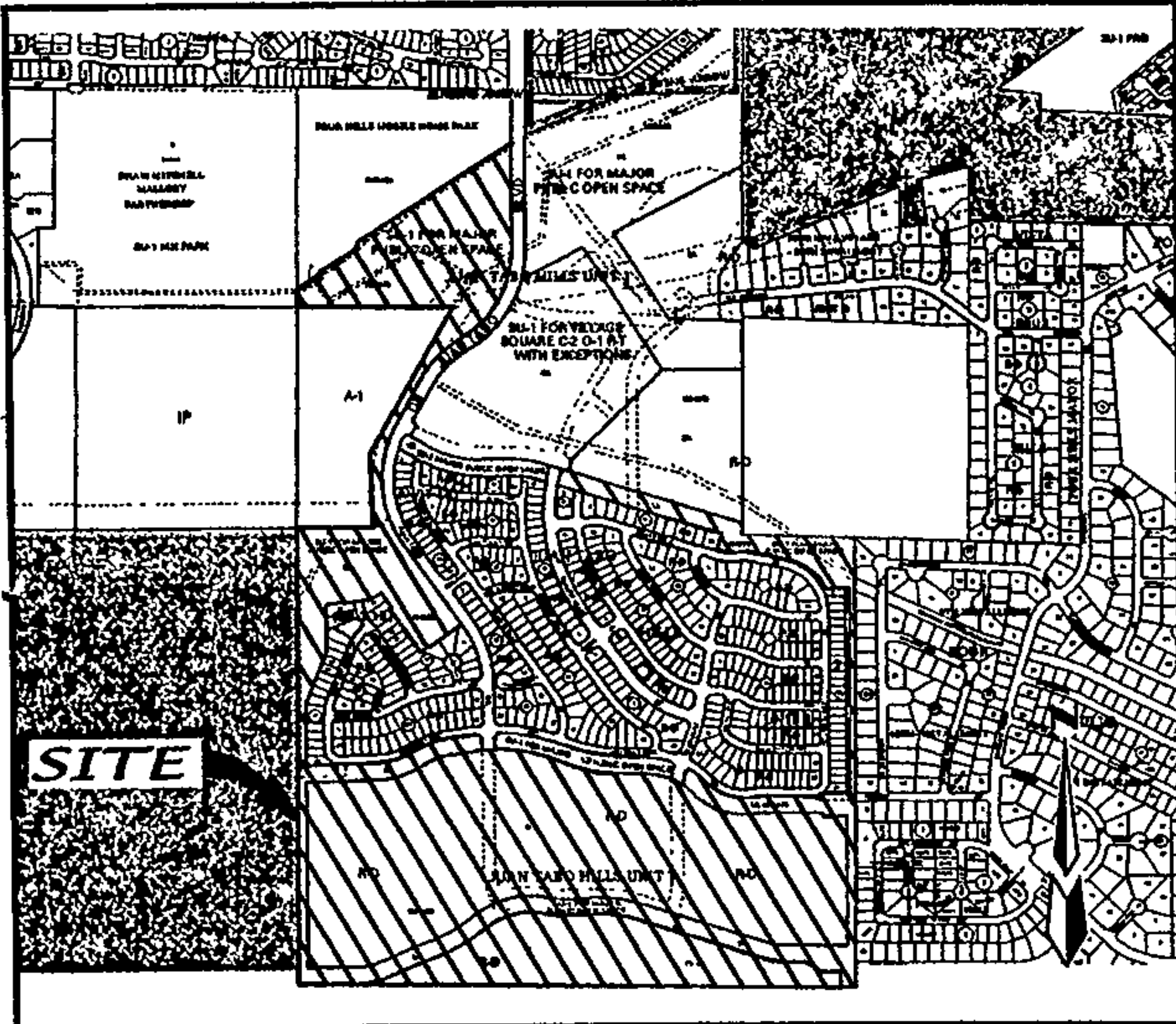
Map amended through: 5/17/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-21-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		



VICINITY MAP SCALE = NTS ZONE ATLAS: M-21, M-22

SUBDIVISION DATA

GROSS ACREAGE 139.1511 Acres
 ZONE ATLAS NO. M-21-Z & M-22-Z
 NO. OF EXISTING TRACTS 3
 NO. OF LOTS/TRACTS CREATED 400 LOTS/6 TRACTS
 NO. OF TRACTS ELIMINATED 3
 MILES OF FULL WIDTH STREETS CREATED 4.04
 AREA DEDICATED TO CITY OF ALBUQUERQUE 25 2190 Acres
 DATE OF SURVEY December, 2003
 ZONING R-D

FREE CONSENT AND DEDICATION (JTH LLC)

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby grant all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

JTH LLC, Owner Tracts 6, and 7, Juan Tabo Hills
 Scott Grady, Managing Manager

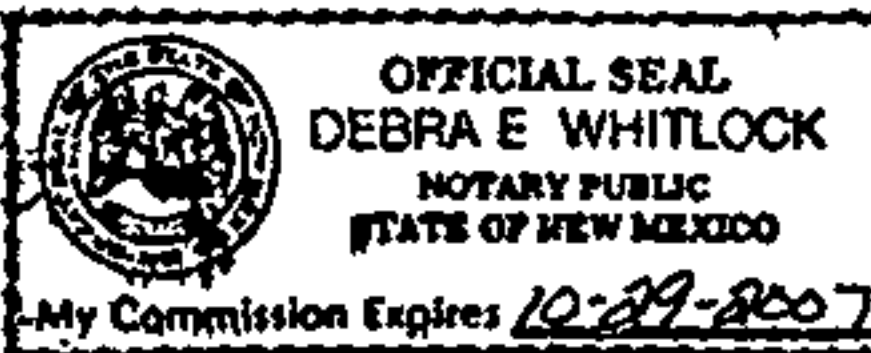
Scott Grady 2.12.07
 Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on February 18, 2007
 By Scott Grady, Managing Manager JTH LLC a New Mexico Limited Liability Company
 on behalf of said Company

Debra E. Whitlock October 29, 2007
 NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A tract of land situate, within Sections 33 and 34, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACTS 6, AND 7, JUAN TABO HILLS BULK LAND PLAT as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 2005 in Book 2005C, Page 22 and being all of TRACTS 1-A AND 1-D, JUAN TABO HILLS, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 22, 2005 in Book 2005C, Page 406 and containing 139.1511 acres more or less

PURPOSE OF PLAT

1. Subdivide Tracts 6 and 7 into four hundred (400) Residential lots, dedicate Right-Of-Way and grant easements as shown hereon in this plat
2. Subdivide Tract 1-A into five (5) Open Space tracts, dedicate Right-Of-Way and grant easements as shown hereon in this plat to be owned and maintained by City of Albuquerque.
3. Replat Tract 1-D to grant easements as shown hereon in this plat to be owned and maintained by the City of Albuquerque.
4. Vacated easements as shown hereon in this plat.

TABLE OF CONTENTS

- SHEET 1 COVER SHEET
- SHEET 2 AND 3 EXISTING CONDITIONS
- SHEET 4 THROUGH 29 FINAL PLAT GEOMETRY
- SHEET 30 KEY MAP, SURVEY NOTES AND PUE NOTES
- SHEET 31 THROUGH 33 CURVE AND LINE TABLES

NOTES

1. Tracts 1-A-1, 1-A-2, 1-A-3, 1-A-4, 1-A-5 and 1-D-1 are open space dedicated to the city of Albuquerque per the exchange agreement dated 7-23-04
2. A 25' wide floating access easement from Juan Tabo Blvd. Dr across Tract 1-A-1 to A M.A.F.C.A Tract "A" is hereby granted with this plat Final location to be determined at a later date between city open space and A M.A.F.C.A.
3. A Blanket drainage easement granted to City of Albuquerque with the bulk plat for Juan Tabo Hills (1-19-05, BK-2005C, PG-22) is further defined with this plat Tracts 6 and 7 have been removed from the Blanket drainage easement

FREE CONSENT AND DEDICATION AS TO TRACTS 1-A AND 1-D (CITY OF ALBUQUERQUE)

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate public rights-of-way shown hereon to the City of Albuquerque and said owner(s) and/or proprietor(s) do hereby grant all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed

The purpose for subdividing City owned Tracts 1-A and 1-D is to dedicate Right-of-way and grant easements as shown with this plat

Bruce J. Perlman, Ph.D
 Chief Administrative Officer
 City of Albuquerque

Bruce J. Perlman, Ph.D., Chief Administrative Officer Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on
 By Bruce J. Perlman, Ph.D., Chief Administrative Officer, City of Albuquerque a New Mexico Municipal Corporation on behalf of said Municipality

NOTARY PUBLIC MY COMMISSION EXPIRES

**FINAL PLAT FOR
 JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007**

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number 1004715

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PNM Electric Services _____ Date

PNM Gas Services _____ Date

Qwest Telecommunications _____ Date

Comcast _____ Date

City Approvals:

City Surveyor _____ Date

Real Property Division _____ Date

Environmental Health Department _____ Date

Traffic Engineering, Transportation Division _____ Date

Water Utility Department _____ Date

Parks and Recreation Department _____ Date

AMAFA _____ Date

City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION:

"I, Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will W. Plotner Jr. R P S. No 14271 Date



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

A05102_Unit_2_Cover.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 33
Scale: AS SHOWN	Date: 2/6/2007	Job: A05102	

**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007**

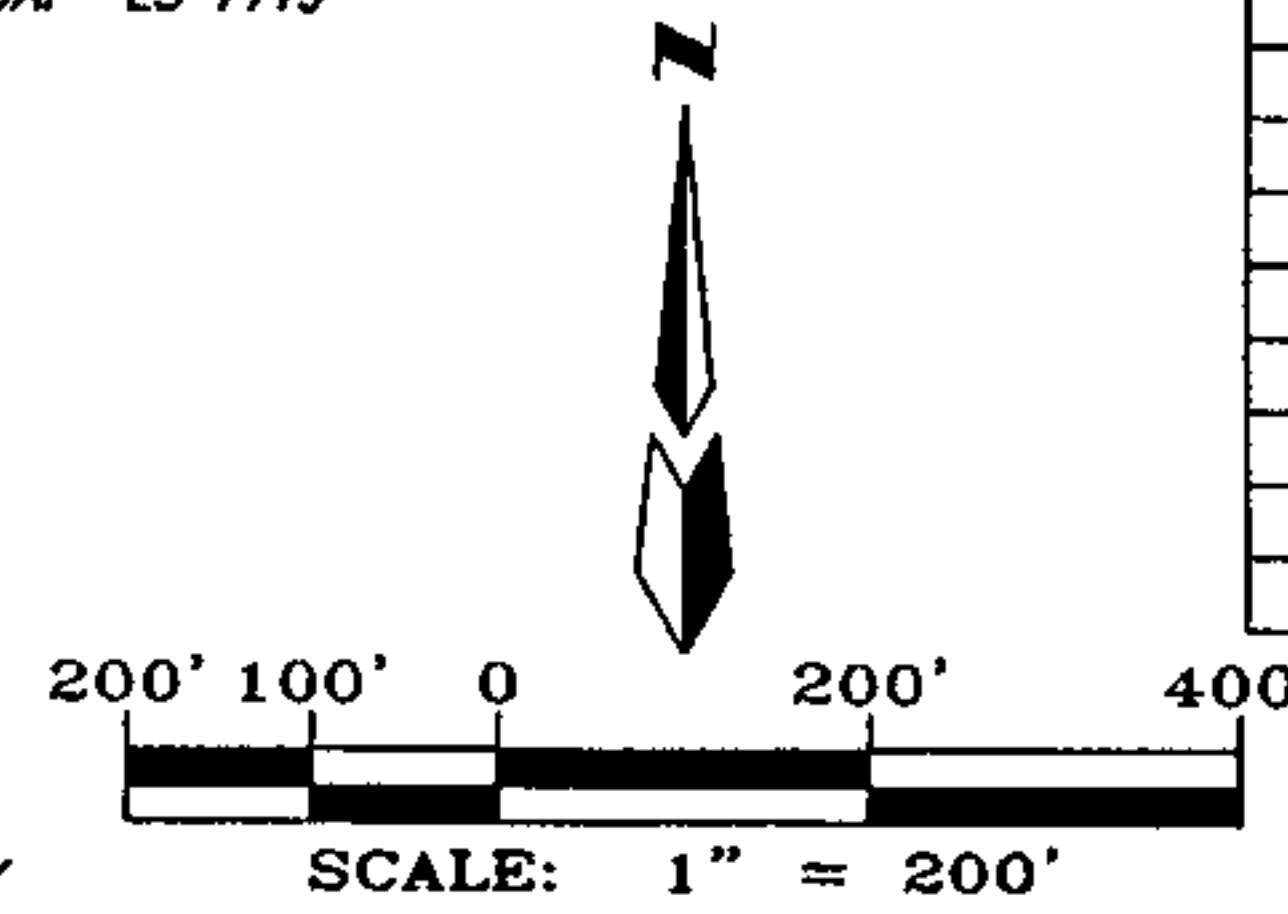
SCALE: 1" = 10'

ACS MONUMENT
"S-M22"
Y=1,475,700.07
X=424,017.61
G-G=0.99963903
Δα=-00°08'45"
CENTRAL ZONE
(NAD 1927)
ELEV. = 5594.518
NAVD (1929)

LINE	BEARING	LENGTH
L1	N00°22'48"E	274.47
L2	S00°42'12"W	98.56
L3	S57°28'58"W	163.10
L4	S32°31'02"E	20.00
L5	S57°28'58"W	260.16
L6	S12°37'53"W	50.77
L7	S00°39'44"W	8.73
L8	N54°55'30"E	2.91
L9	N28°19'24"E	198.88
L10	N29°26'17"E	70.61
L11	N55°00'00"E	189.20
L12	N60°20'58"E	107.26
L13	S35°00'00"E	315.00
L14	S55°00'00"W	20.00
L15	S35°00'00"E	103.24
L16	N60°26'38"E	81.23
L17	N83°19'19"E	258.71
L18	N00°00'00"W	276.99
L19	N21°42'32"E	337.11
L20	N00°17'01"E	374.51
L21	S88°34'33"W	402.72
L22	S82°42'26"W	145.51
L23	N00°17'01"E	67.07
L24	S00°17'01"W	70.26
L25	N89°37'12"W	288.63
L26	N89°37'12"W	144.03
L27	S89°37'12"E	137.83
L28	S78°16'12"E	191.28
L29	S17°15'06"W	105.00
L30	N82°42'26"E	145.51
L31	S89°37'12"E	350.74
L32	S00°30'17"W	19.27
L33	S89°37'12"E	143.00
L34	S88°28'58"W	184.46
L35	N89°08'27"W	121.99
L36	N55°40'12"W	102.99
L37	N89°37'12"W	120.14
L38	N00°22'48"E	99.61
L39	N00°43'04"E	70.12

CURVE	LENGTH	RADIUS	DELTA	TANGENT	H-BEARING	H-DIST
C1	625.21	610.00	58°43'27"	343.19	N30°03'42"E	598.20
C2	374.54	690.00	31°06'02"	192.01	S43°52'25"W	369.96
C3	771.51	686.00	64°26'17"	432.32	S02°46'51"E	731.49
C4	242.23	450.00	30°50'29"	124.13	N73°09'19"E	239.31
C5	239.72	550.00	24°58'22"	121.79	S70°13'15"W	237.83
C6	9.52	1050.00	0°31'09"	4.76	S82°58'00"W	9.52
C7	50.82	30.00	97°03'26"	33.94	N48°14'42"W	44.96
C8	72.16	950.00	4°21'07"	36.10	S86°42'04"W	72.14
C9	47.32	30.00	90°22'32"	30.20	S45°28'16"W	42.57
C10	395.29	1050.00	21°34'12"	200.01	N78°33'22"W	392.96
C11	412.64	950.00	24°53'13"	209.63	S80°12'52"E	409.40
C12	219.95	650.00	19°23'18"	111.04	N82°57'49"W	218.91
C13	46.67	30.00	89°07'48"	29.55	N28°42'16"W	42.10
C14	72.05	471.11	8°45'44"	36.09	S11°28'46"W	71.98
C15	19.03	550.00	1°58'56"	9.51	N68°27'53"W	19.03
C16	58.98	250.00	13°31'02"	29.63	N60°42'54"W	58.84
C17	65.92	399.11	9°27'47"	33.03	S07°57'21"W	65.84
C18	59.03	30.00	12°44'13"	45.10	S69°03'21"W	49.96
C19	81.68	350.00	13°22'16"	41.03	N47°53'24"W	81.49
C20	331.42	325.00	58°25'41"	181.74	S70°25'06"E	317.25
C21	61.16	350.00	10°00'45"	30.66	S85°22'26"W	61.08
C22	65.56	100.00	37°33'56"	34.01	N71°35'50"E	64.40
C23	298.80	325.00	62°40'35"	160.89	N51°55'54"W	288.38
C24	102.20	325.00	18°01'00"	51.52	N87°16'41"W	101.78
C25	112.97	275.00	23°32'17"	57.30	S84°31'02"E	112.18
C26	68.33	1004.16	3°53'57"	34.18	S11°25'02"W	68.32
C27	49.16	30.00	93°53'04"	32.11	S60°18'34"W	43.84
C28	296.06	550.00	30°50'29"	151.71	N73°09'19"E	292.49
C29	196.13	450.00	24°58'22"	99.65	S70°13'15"W	194.59
C30	30.14	950.00	1°49'05"	15.07	S83°36'58"W	30.14
C31	387.19	950.00	23°21'06"	196.32	N79°26'49"W	384.51
C32	456.08	1050.00	24°53'13"	231.69	S80°12'52"E	452.50
C33	222.73	550.00	23°12'08"	112.91	N81°03'24"W	221.21
C34	55.64	250.00	12°45'07"	27.94	N47°34'49"W	55.53
C35	433.40	425.00	58°25'41"	237.66	S70°25'06"E	414.86
C36	43.69	250.00	10°00'45"	21.90	S85°22'26"W	43.63
C37	97.26	325.00	17°08'46"	49.00	S80°34'04"E	96.90
C38	272.59	800.00	19°31'22"	137.63	N81°45'21"W	271.27
C39	104.48	450.00	13°18'10"	52.48	S84°51'57"E	104.25
C40	475.13	530.00	51°21'51"	254.87	S76°06'12"W	459.38
C41	334.96	950.00	20°12'06"	169.24	N60°31'20"E	333.23
C42	245.41	2050.00	6°51'33"	122.85	S67°11'37"W	245.26
C43	212.52	450.00	27°03'31"	108.28	N77°17'36"E	210.55
C44	259.74	550.00	27°03'31"	132.34	N77°17'36"E	257.34
C45	233.44	1950.00	6°51'33"	116.86	S67°11'37"W	233.30
C46	370.22	1050.00	20°12'06"	187.05	N60°31'20"E	368.30
C47	385.48	430.00	51°21'51"	206.78	S76°06'12"W	372.70
C48	127.70	550.00	13°18'10"	64.14	S84°51'57"E	127.41
C49	238.52	700.00	19°31'22"	120.43	N81°45'21"W	237.36
C50	127.18	425.00	17°08'46"	64.07	S80°34'04"E	126.71

- LEGEND**
- 1 EXISTING LOT NUMBER
 - Ⓜ EXISTING BLOCK NUMBER
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - FOUND EXISTING 5/8" REBAR WITH CAP "LS 7719"



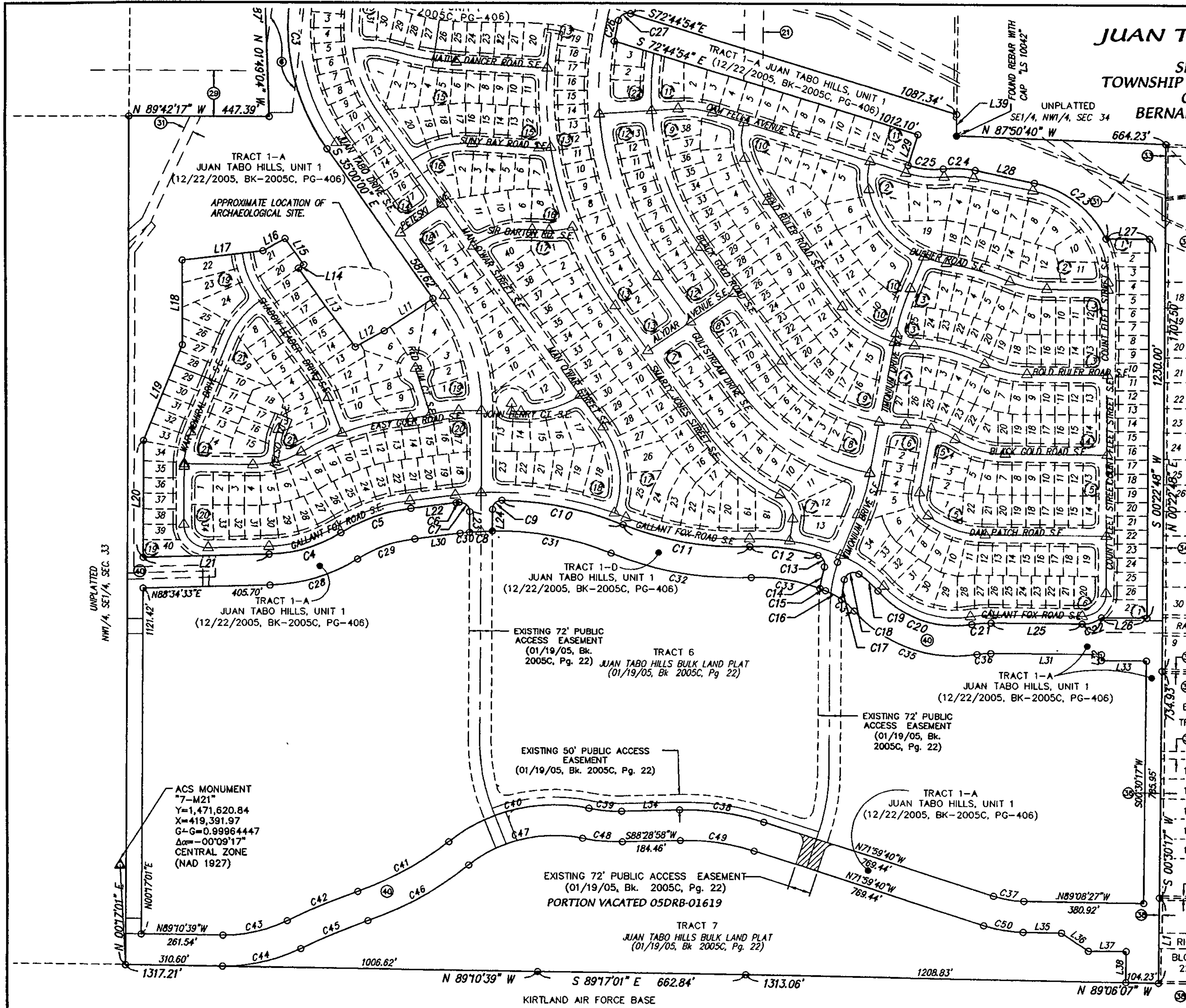
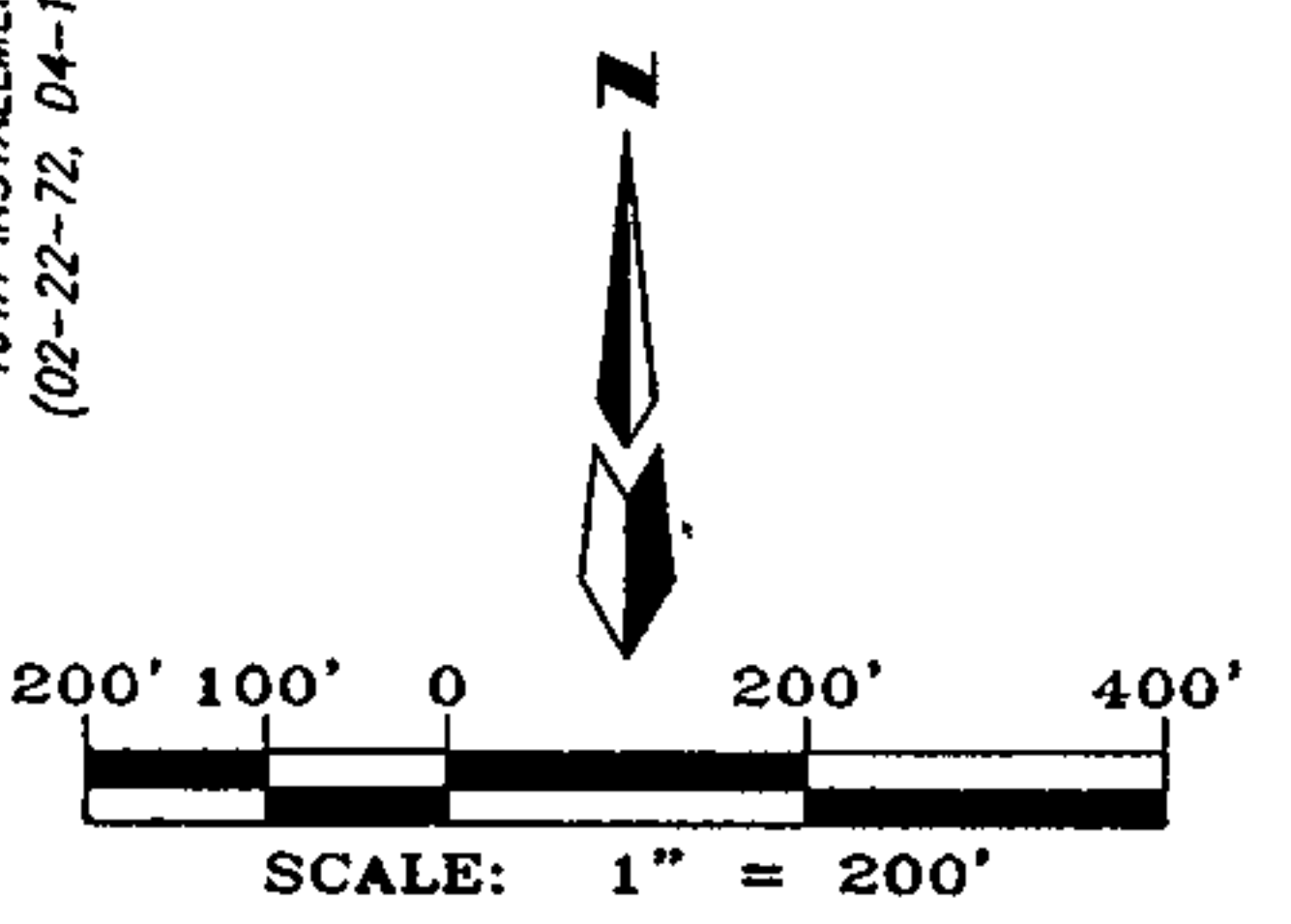
CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 898-3050 Fax (505) 891-0244

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**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2**
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

- LEGEND**
- 1 EXISTING LOT NUMBER
 - (11) EXISTING BLOCK NUMBER
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - FOUND EXISTING 5/8" REBAR WITH CAP "LS 7719"
 - ▨ LIMITS OF VACATIONS



UNPLATTED SE1/4, NW1/4, SEC 34
N 87°50'40" W 664.23'

FOUR HILLS VILLAGE WITH INSTALLMENT BLOCK 21 (09-30-71, 08-41)

FOUR HILLS 10TH INSTALLMENT (02-22-72, 04-194)

BLOCK 21

RATON AVENUE

BLOCK 28 TRACT A

RESERVE AT FOUR HILLS SUBDIVISION (11-07-02, 02C-358)

FOUR HILLS 16TH INSTALLMENT (03-01-73, D5-105)

RIO ARRIBA AVE.

BLOCK 33

UNPLATTED NW1/4, SE1/4, SEC. 33

TRACT 1-A
JUAN TABO HILLS, UNIT 1
(12/22/2005, BK-2005C, PG-406)

APPROXIMATE LOCATION OF
ARCHAEOLOGICAL SITE.

TRACT 1-A
JUAN TABO HILLS, UNIT 1
(12/22/2005, BK-2005C, PG-406)

TRACT 1-D
JUAN TABO HILLS, UNIT 1
(12/22/2005, BK-2005C, PG-406)

EXISTING 72' PUBLIC ACCESS EASEMENT
(01/19/05, Bk. 2005C, Pg. 22)

TRACT 6
JUAN TABO HILLS BULK LAND PLAT
(01/19/05, Bk. 2005C, Pg. 22)

EXISTING 50' PUBLIC ACCESS EASEMENT
(01/19/05, Bk. 2005C, Pg. 22)

EXISTING 72' PUBLIC ACCESS EASEMENT
(01/19/05, Bk. 2005C, Pg. 22)

TRACT 1-A
JUAN TABO HILLS, UNIT 1
(12/22/2005, BK-2005C, PG-406)

EXISTING 72' PUBLIC ACCESS EASEMENT
(01/19/05, Bk. 2005C, Pg. 22)
PORTION VACATED 05DRB-01619

TRACT 7
JUAN TABO HILLS BULK LAND PLAT
(01/19/05, Bk. 2005C, Pg. 22)

ACS MONUMENT
"7-M21"
Y=1,471,620.84
X=419,391.97
G-G=0.99964447
Δα=00°09'17"
CENTRAL ZONE
(NAD 1927)

N 89°10'39" W 1317.21'
N 89°10'39" W 261.54'
N 89°10'39" W 310.60'
S 89°17'01" E 662.84'
S 88°28'58" W 184.46'
N 71°59'40" W 769.44'
N 71°59'40" W 769.44'
N 89°08'27" W 380.92'
S 00°30'17" W 765.95'
S 00°30'17" W 734.93'
S 00°22'48" W 1230.00'
N 00°22'48" E 1702.50'
N 89°06'07" W 104.23'
1208.83'
1313.06'

KIRTLAND AIR FORCE BASE

CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



A05102_ex_cond.dwg	Drawn: STEPHEN	Checked: WWP	Sheet 3 of 33
Scale: AS SHOWN	Date: 3/21/2007	Job: A05102	

EASEMENTS

- ① 20' C.O.A. DRAINAGE EASEMENT
(01-07-81, C17-174)
(03-28-72, BK.MISC. 254, PG. 13)
- ② 20' C.O.A. UTILITY EASEMENT
(01-07-81, C17-174)
(12-18-78, MISC. 657, PGS. 880-882)
- ③ 30' C.O.A. PERMANENT UTILITY & DRAINAGE EASEMENT
(08-04-77, BK.MISC. 551, PG. 185-189)
- ④ 50' C.O.A. DRAINAGE & UTILITY EASEMENT
(01-07-81, C17-174)
- ⑤ EXISTING 72' PUBLIC ACCESS EASEMENT
(01/19/05, Bk. 2005C, Pg. 22)
- ⑥ EXISTING PUBLIC SERVICE COMPANY OF
NEW MEXICO EASEMENT
(12/22/2005, BK-2005C, PG-486)
- ⑧ 150' PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT
(04-01-75, BK.MISC. 414, PG. 443)
(09-08-76, MISC. 495, PG. 479)
- ⑨ 10' PNM & M.S.T.&T. EASEMENT
(03-01-77, BK.MISC. 522, PG. 404)
- ⑩ 10' C.O.A. TEMPORARY UTILITY & DRAINAGE EASEMENT
(08-04-77, MISC. 551, PG. 185-189)
- ⑪ 10' C.O.A. U.G. SEWER LINE EASEMENT
(06-21-79, BK.MISC. 698, PG. 291-293)
(07-09-79, BK.MISC. 702, PG. 289-291)
- ⑫ 20' C.O.A. PERMANENT UTILITY EASEMENT
(05-16-78, MISC. 608, PG. 359-364)
- ⑬ 20' C.O.A. PUBLIC TRAIL ACCESS EASEMENT
(12-29-98, 98C-367)
- ⑭ 15' C.O.A. PUBLIC ACCESS EASEMENT
(12-29-98, 98C-367)
- ⑮ 20' PRIVATE ACCESS EASEMENT FOR TRACT B
(12-29-98, 98C-367)
- ⑯ 60' C.O.A. PUBLIC ROADWAY EASEMENT
(12-29-98, 98C-367)
- ⑰ C.O.A. PUBLIC DRAINAGE EASEMENT
(12-29-98, 98C-367)
- ⑱ 15' C.O.A. PUBLIC PEDESTRIAN & NON-
VEHICULAR ACCESS EASEMENT
(12-29-98, 98C-367)
- ⑲ 60' PUBLIC DRAINAGE EASEMENT
VEHICULAR ACCESS EASEMENT
(03-13-03, BK. A52, PG. 871)
- ⑳ 60' ACCESS AND UTILITY EASEMENT
(12-22-99, BK. 9916, PG. 5720)
- ㉑ 30' C.O.A. PERMANENT UTILITY &
DRAINAGE EASEMENT
(01-26-78, BK. 583, PGS. 804-806)
- ㉒ 10' C.O.A. TEMPORARY UTILITY &
DRAINAGE EASEMENT
(01-26-78, BK. 583, PGS. 804-806)
- ㉓ 10' PNM EASEMENT
(08-24-82, C20-24)
- ㉔ 150' PUBLIC SERVICE COMPANY OF
NEW MEXICO EASEMENT
(10-04-57, BK. D401, PG. 235)
- ㉕ 30' SANITARY SEWER EASEMENT
(03-14-79, BK.MISC. 676, PGS. 41-45)
- ㉖ 65' DRAINAGE & UTILITY EASEMENT
(09-30-71, C8-41)
- ㉗ 7' UTILITY & DRAINAGE EASEMENT
(09-30-71, C8-41)
- ㉘ 7' UTILITY & DRAINAGE EASEMENT
(02-22-72, D4-194)
- ㉙ 7' UTILITY & DRAINAGE EASEMENT
(09-23-63, D3-78)
- ㉚ 10' UTILITY EASEMENT
(09-23-63, D3-78)
- ㉛ 25' PUBLIC WATERLINE, DRAINAGE AND
NON-VEHICULAR ACCESS EASEMENT
(09-23-63, D3-78)
- ㉜ 7' UTILITY & DRAINAGE EASEMENT
(03-01-73, D5-105)
- ㉝ PNM EASEMENT
(03-19-58, D418-369)
- ㉞ AN EXISTING BLANKET DRAINAGE
EASEMENT TO BE BETTER DEFINED OR
VACATED UPON FUTURE DEVELOPMENT
(01/19/05, Bk. 2005C, Pg. 22)
- ㉟ AN EXISTING 25' WIDE FLOATING ACCESS
EASEMENT FROM NEW 80' WIDE PUBLIC
ACCESS EASEMENT ACROSS NEW TRACT 1
TO AMAFCA TRACT "A" (01/19/05, Bk.
2005C, Pg. 22) FINAL LOCATION TO BE
DETERMINED AT A LATER DATE BETWEEN
CITY OPEN SPACE AND AMAFCA.

**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007**



CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

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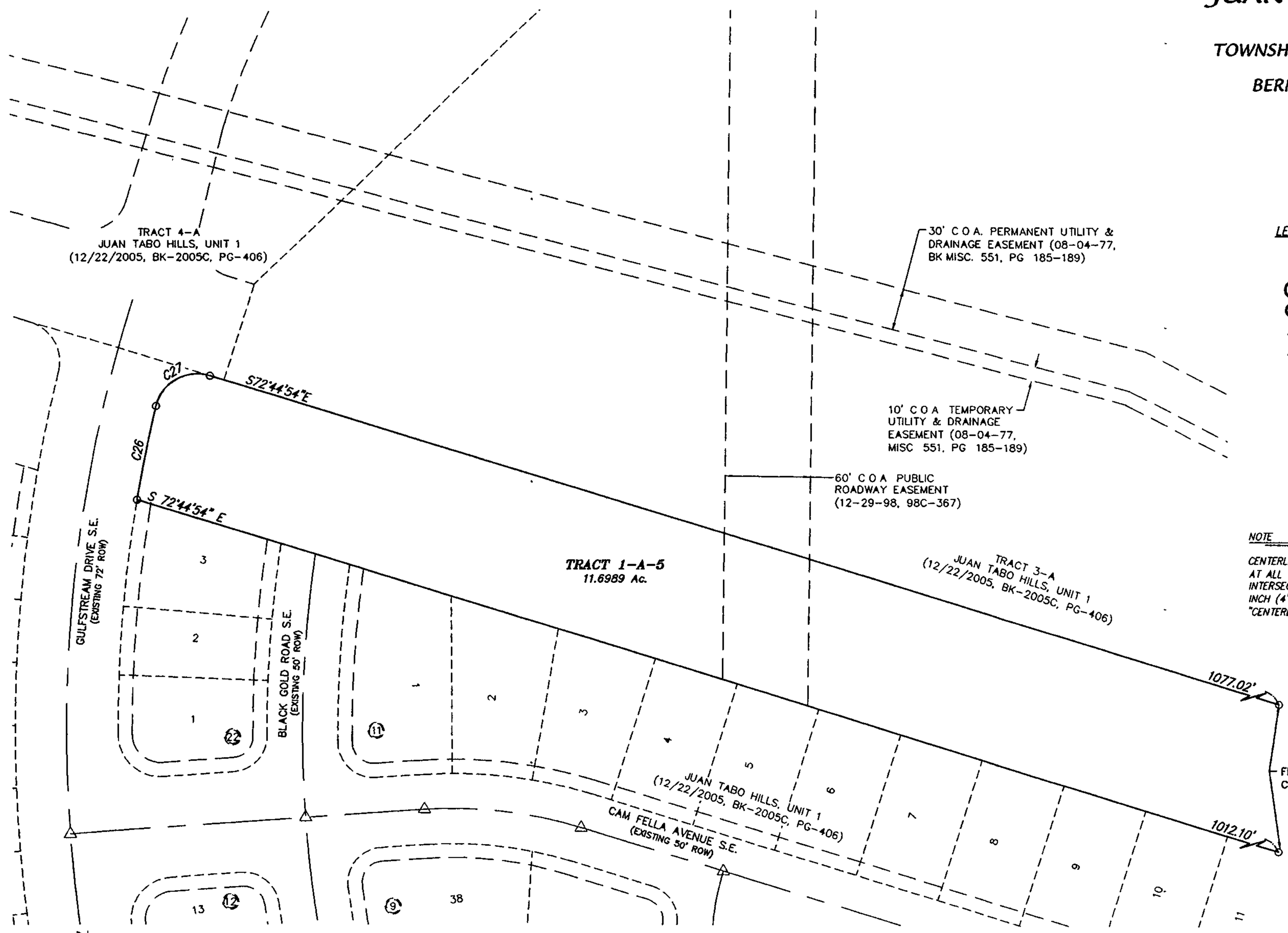
FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007

LEGEND

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- ⑤ BLOCK NUMBER
- ⑪ EXISTING BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- △ EXISTING C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
- FND 5/8" REBAR WITH CAP "LS 7719" (TYP)

NOTE

▲ CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 14271"



TRACT 4-A
 JUAN TABO HILLS, UNIT 1
 (12/22/2005, BK-2005C, PG-406)

30' C.O.A. PERMANENT UTILITY &
 DRAINAGE EASEMENT (08-04-77,
 BK MISC. 551, PG 185-189)

10' C.O.A. TEMPORARY
 UTILITY & DRAINAGE
 EASEMENT (08-04-77,
 MISC 551, PG 185-189)

60' C.O.A. PUBLIC
 ROADWAY EASEMENT
 (12-29-98, 98C-367)

TRACT 1-A-5
 11.6989 Ac.

TRACT 3-A
 JUAN TABO HILLS, UNIT 1
 (12/22/2005, BK-2005C, PG-406)

FND 5/8" REBAR WITH
 CAP "LS 7719" (TYP.)

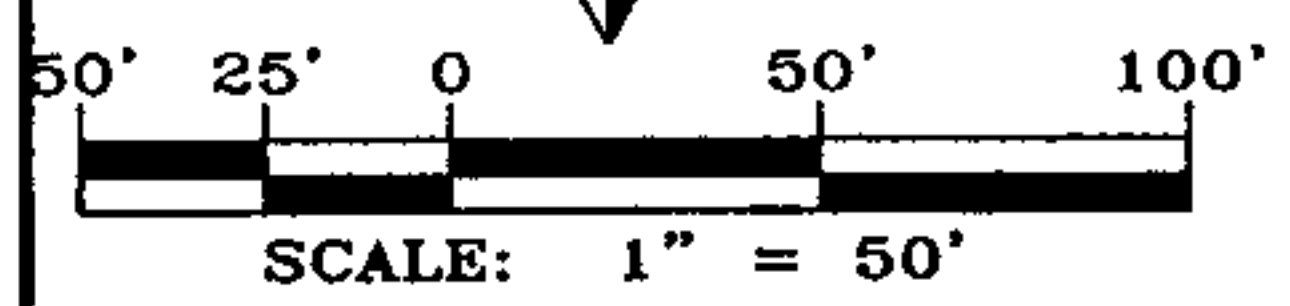
SEE SHEET 6 OF 33

SEE NOTE 1, 2 & 3 ON COVER
 SHEET ABOUT EASEMENTS IN
 TRACT 1-A-1, 1-A-2, 1-A-3,
 1-A-4 AND 1-A-5.

ABBREVIATIONS

- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- ROW = RIGHT-OF-WAY
- C.O.A. = CITY OF ALBUQUERQUE

ALL STREETS AND ROADS SHOWN
 HEREON IS HEREBY DEDICATED IN FEE
 SIMPLE WITH WARRANTY COVENANTS
 AS PUBLIC RIGHT-OF-WAY



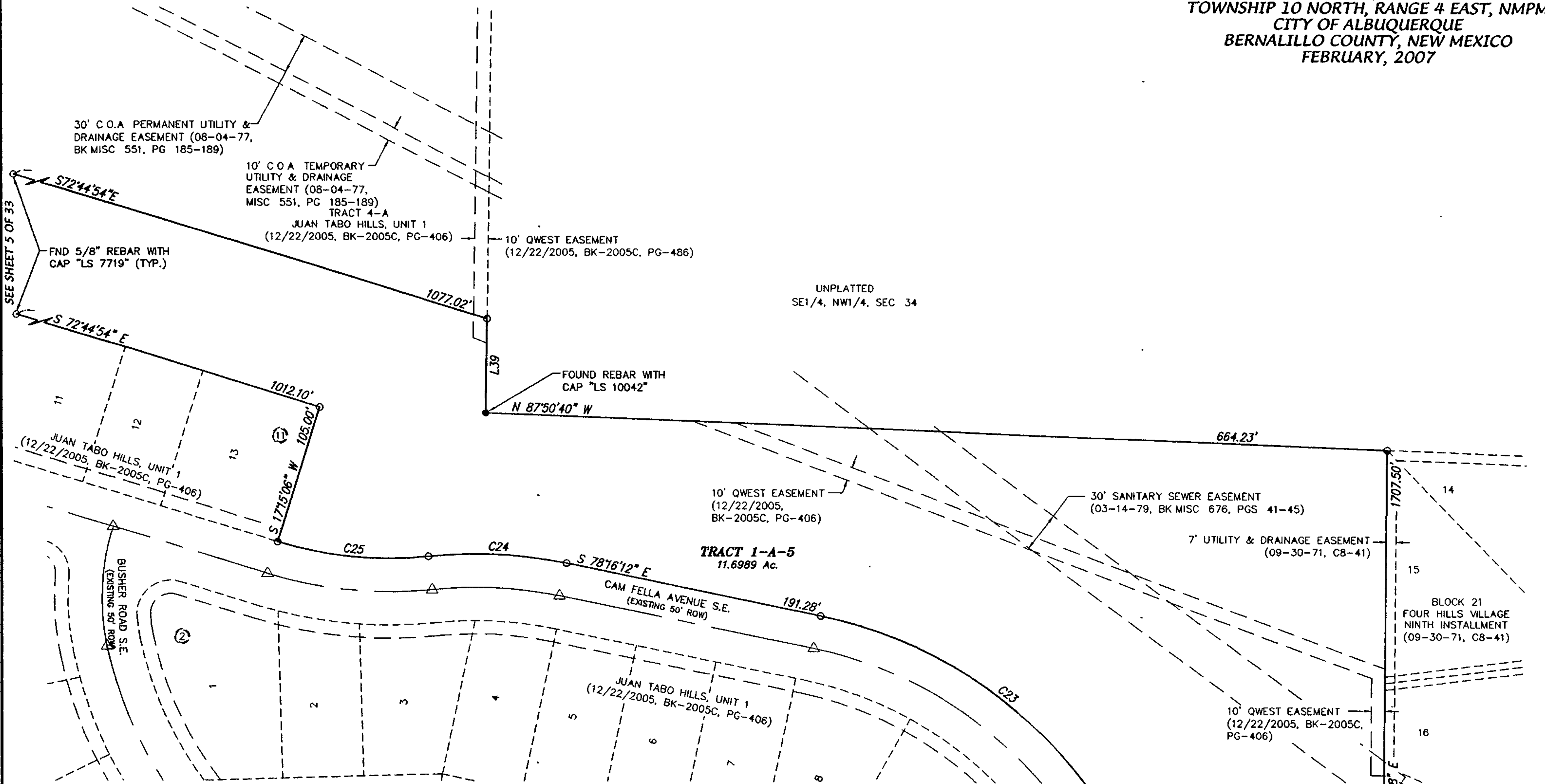
CARTESIAN SURVEYS INC.

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 Phone (505) 896-3050 Fax (505) 891-0244

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Scale: AS SHOWN	Date: 1/10/2007	Job: A05102	

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FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007



ABBREVIATIONS

- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- ROW = RIGHT-OF-WAY
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NOTE

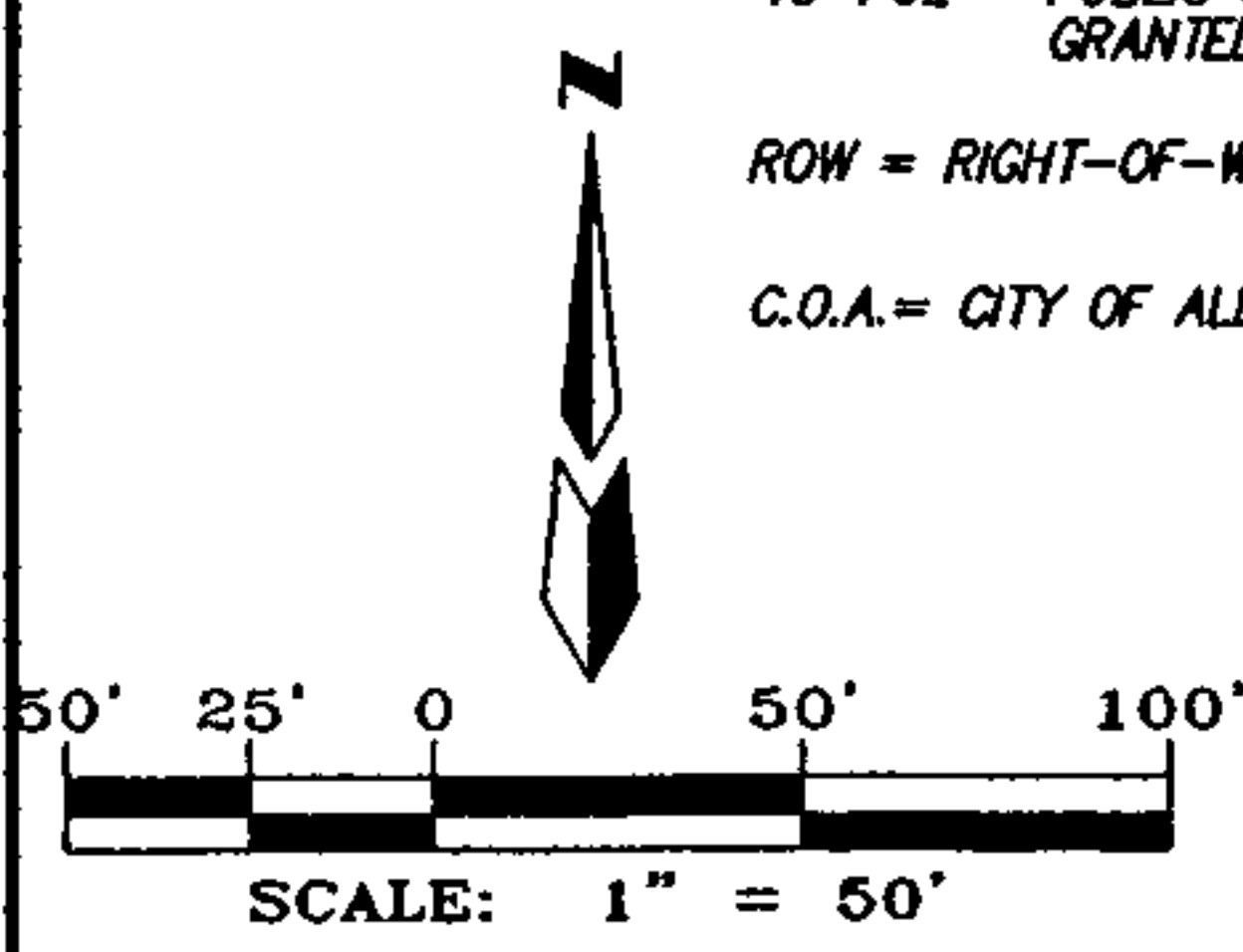
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 14271"

LEGEND

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- Ⓢ BLOCK NUMBER
- Ⓜ EXISTING BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- △ EXISTING C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
- FND 5/8" REBAR WITH CAP "LS 7719" (TYP.)

ALL STREETS AND ROADS SHOWN HEREON IS HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

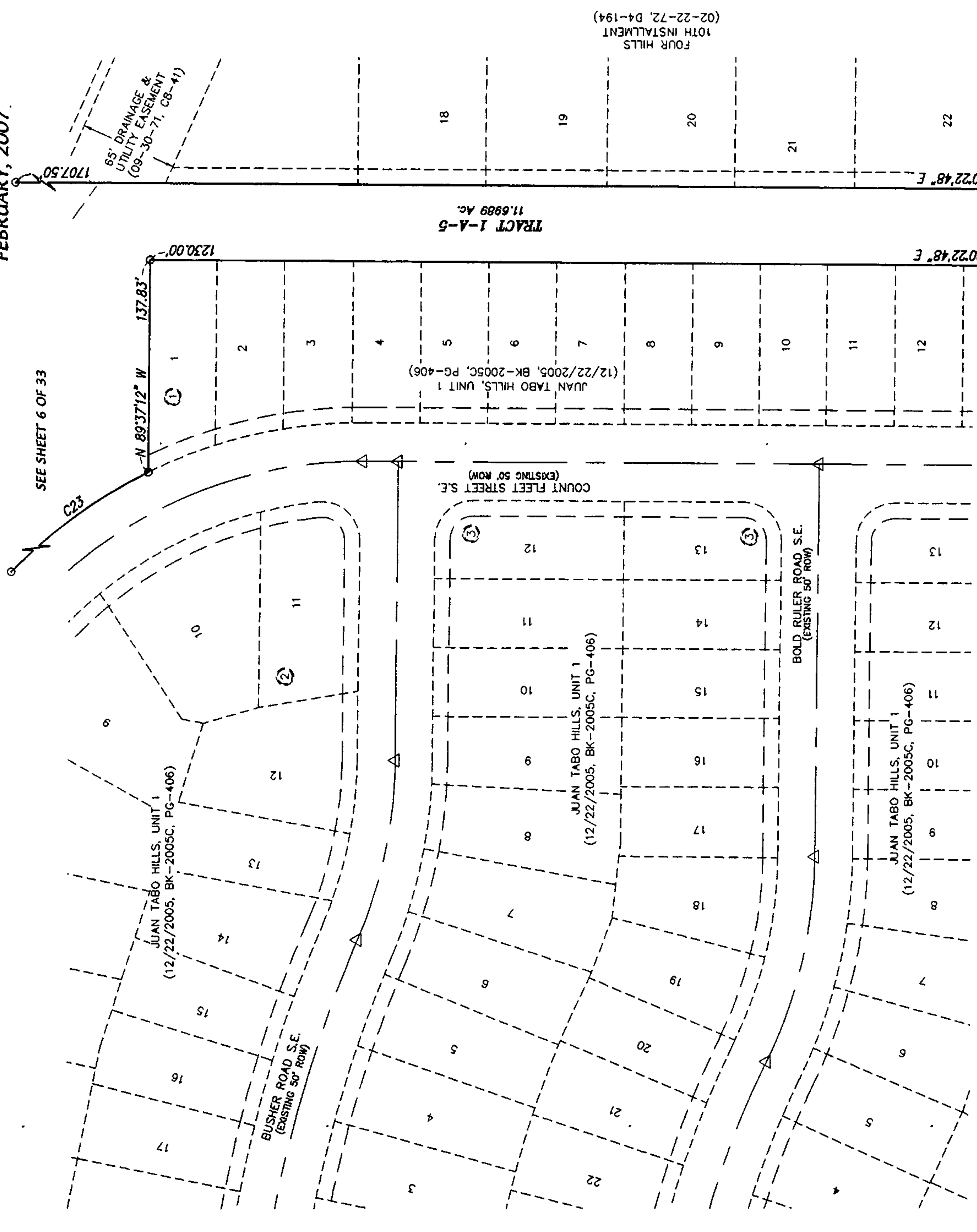
SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.



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Dwg: A05102_FP_01.dwg	Drawn: STEPHEN	Checked: WWP	Sheet 6 of 33
Scale: AS SHOWN	Date: 10/5/2005	Job: A05102	

**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2**
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007.



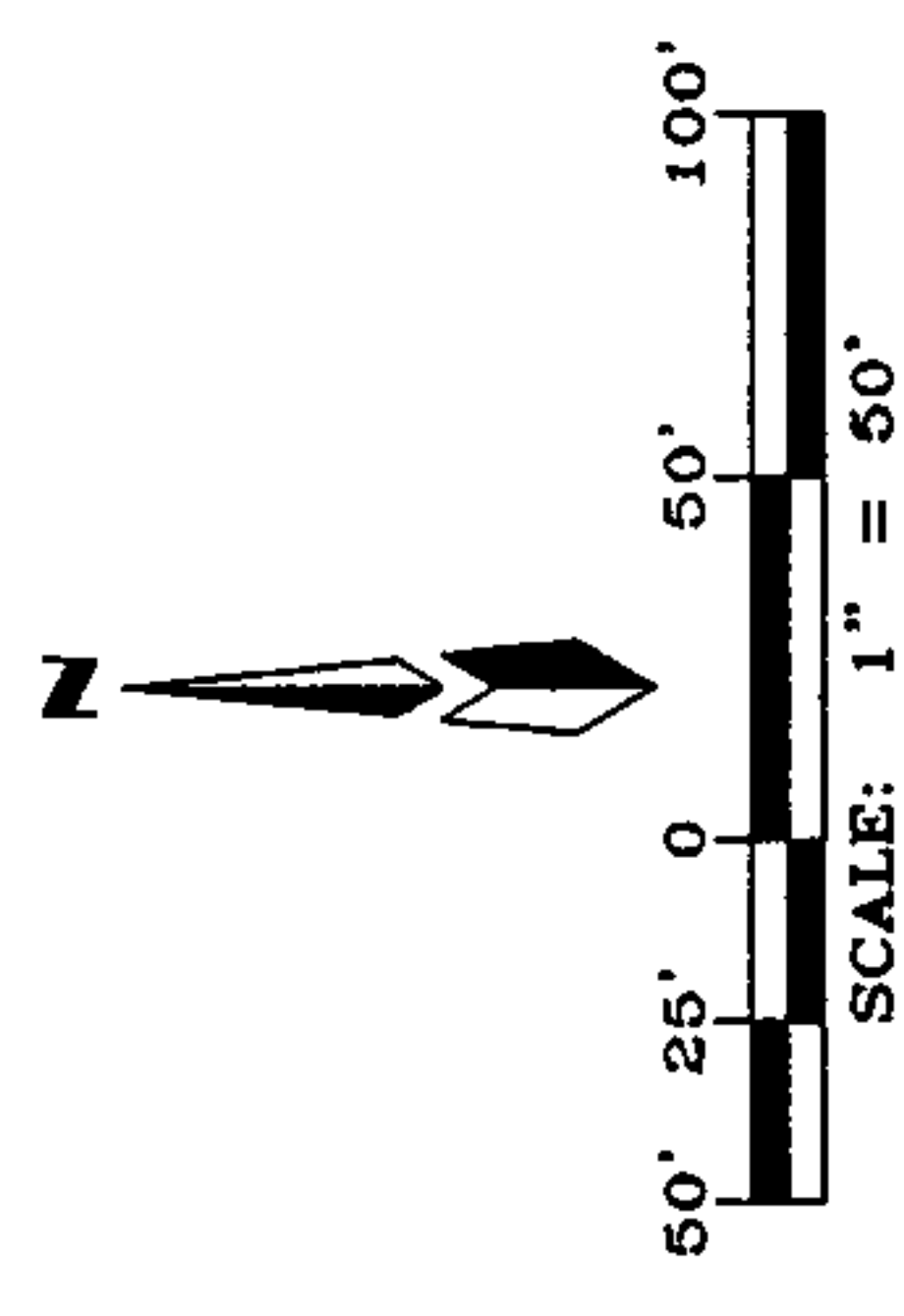
SEE SHEET 6 OF 33

SEE SHEET 8 OF 33

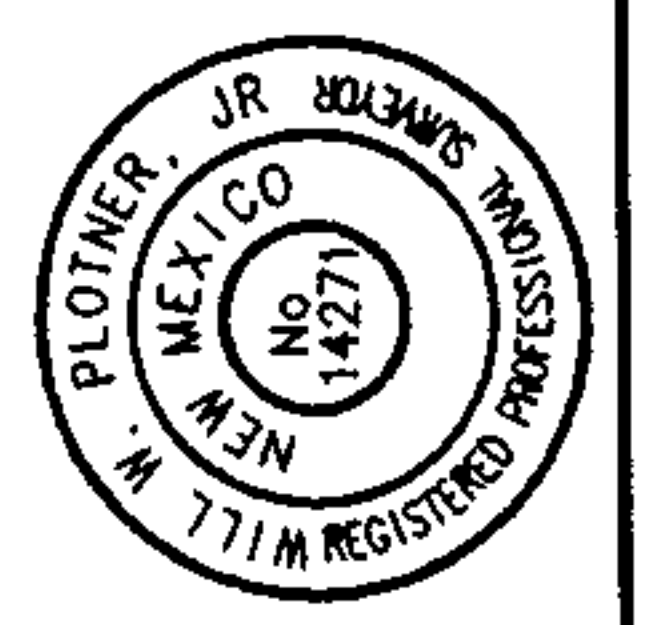
ABBREVIATIONS
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY
C.O.A. = CITY OF ALBUQUERQUE

- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - ⑤ BLOCK NUMBER
 - ⑪ EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
 - FND 5/8" REBAR WITH CAP "LS 7719" (TYP.)

NOTE: ▲
CENTERLINE (IN LIEU OF ROW) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 14271".



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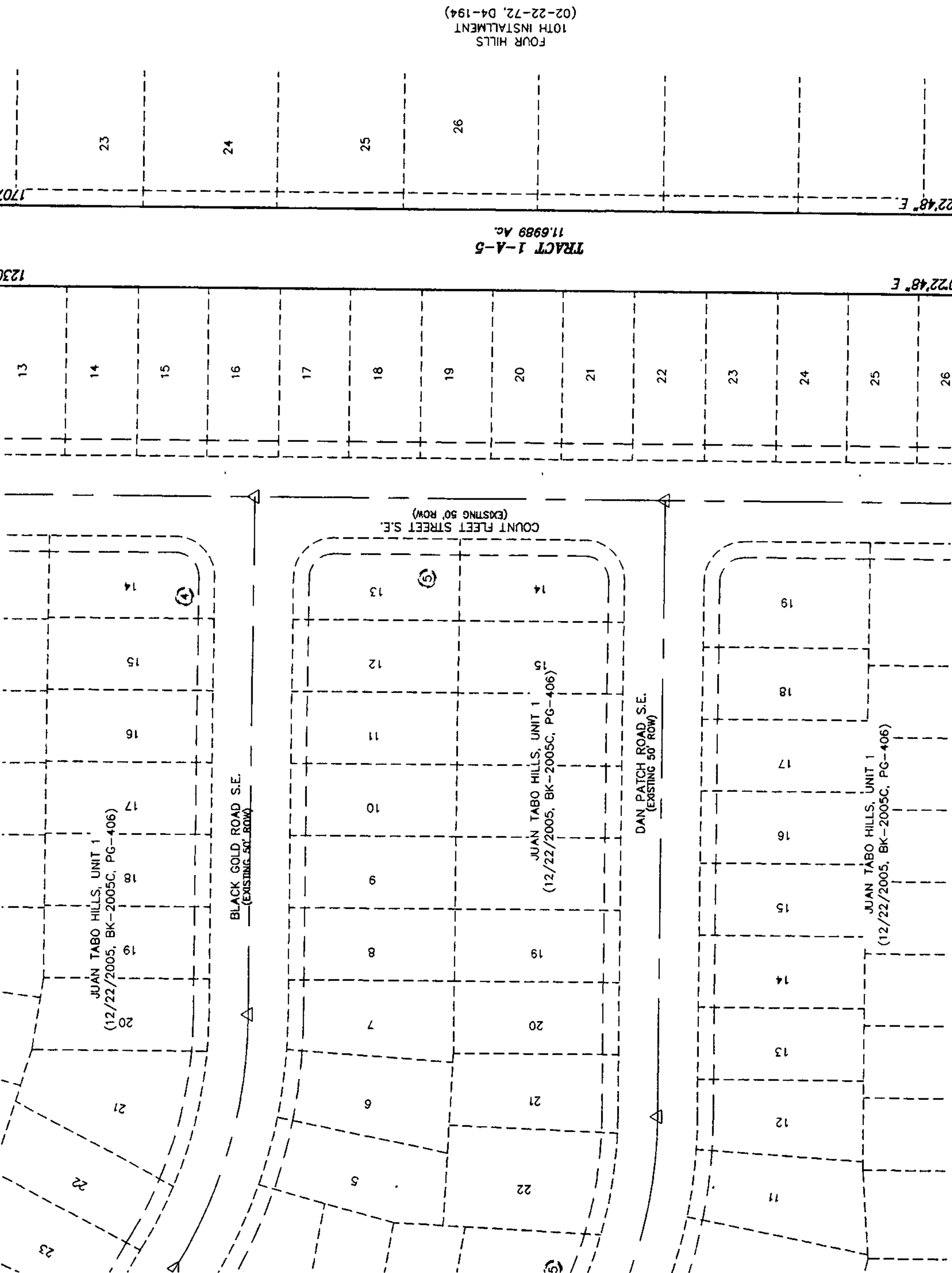


ALL STREETS AND ROADS SHOWN HEREON IS HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.

**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2**
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2007

SEE SHEET 7 OF 33



ABBREVIATIONS

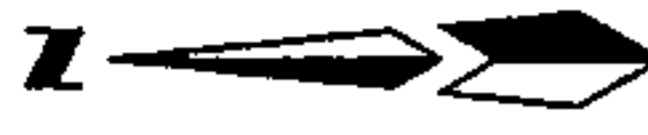
- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- ROW = RIGHT-OF-WAY
- C.O.A. = CITY OF ALBUQUERQUE

NOTE:

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LEGEND

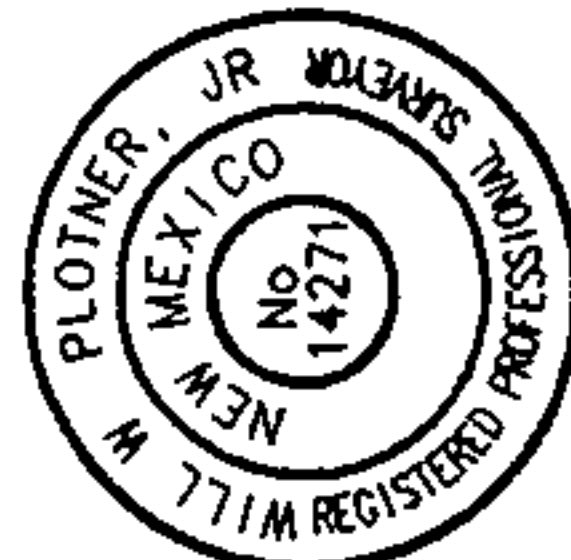
- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- Ⓢ BLOCK NUMBER
- Ⓛ EXISTING BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- △ EXISTING C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
- FND 5/8" REDBAR WITH CAP "LS 7719" (TYP.)



SCALE: 1" = 50'

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P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



ALL STREETS AND ROADS SHOWN HEREON IS HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

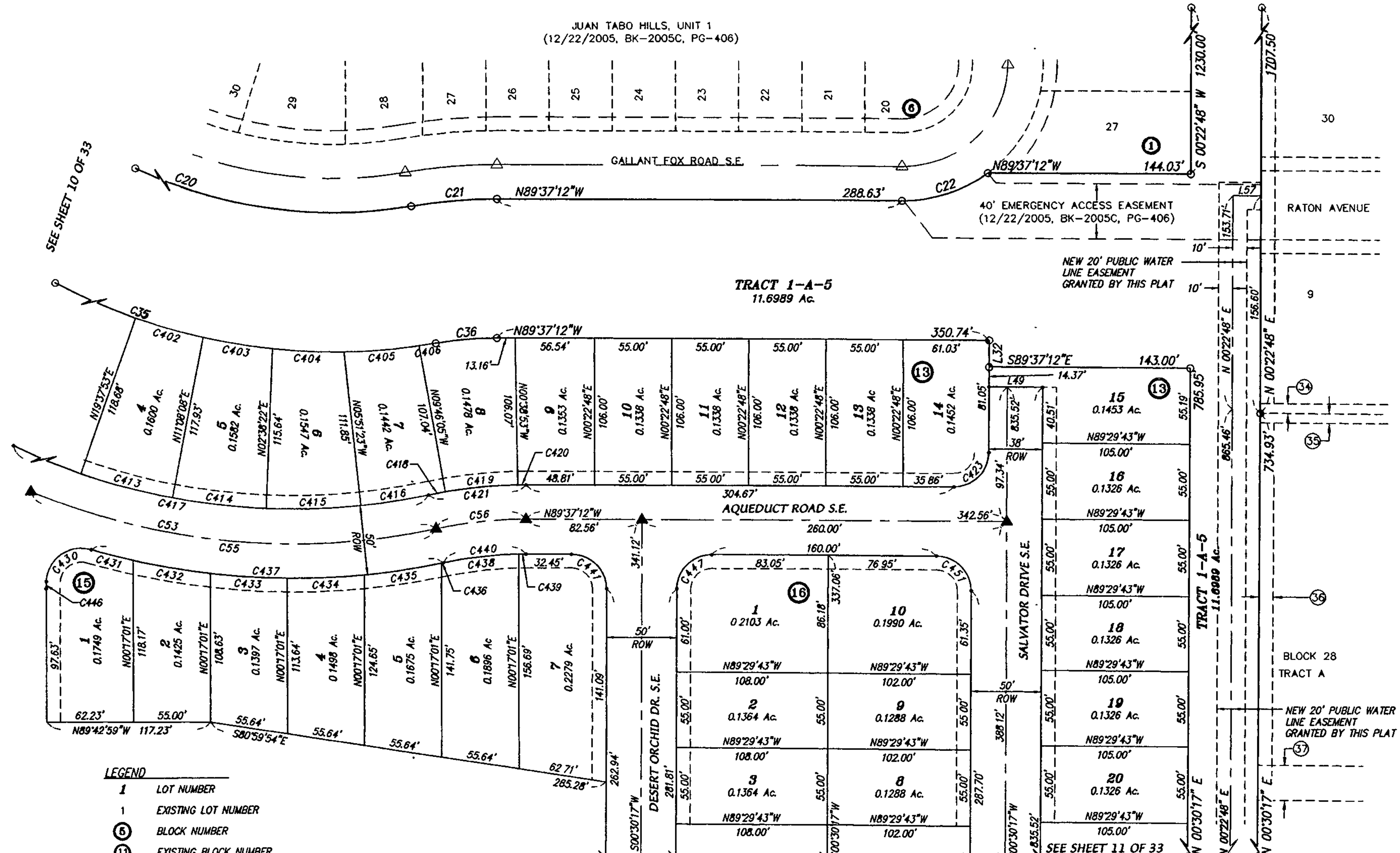
SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.

**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007**

SEE SHEET 8 OF 33

NOTE: ▲
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ABBREVIATIONS
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY
C.O.A. = CITY OF ALBUQUERQUE

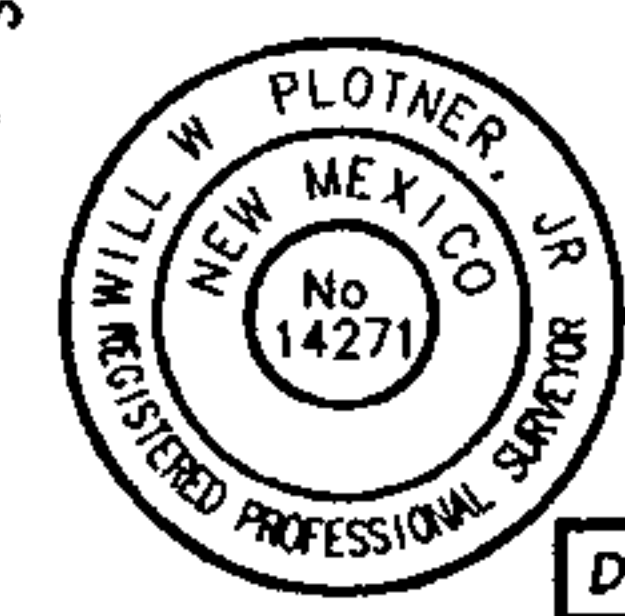


- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - Ⓢ BLOCK NUMBER
 - Ⓢ EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
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SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.

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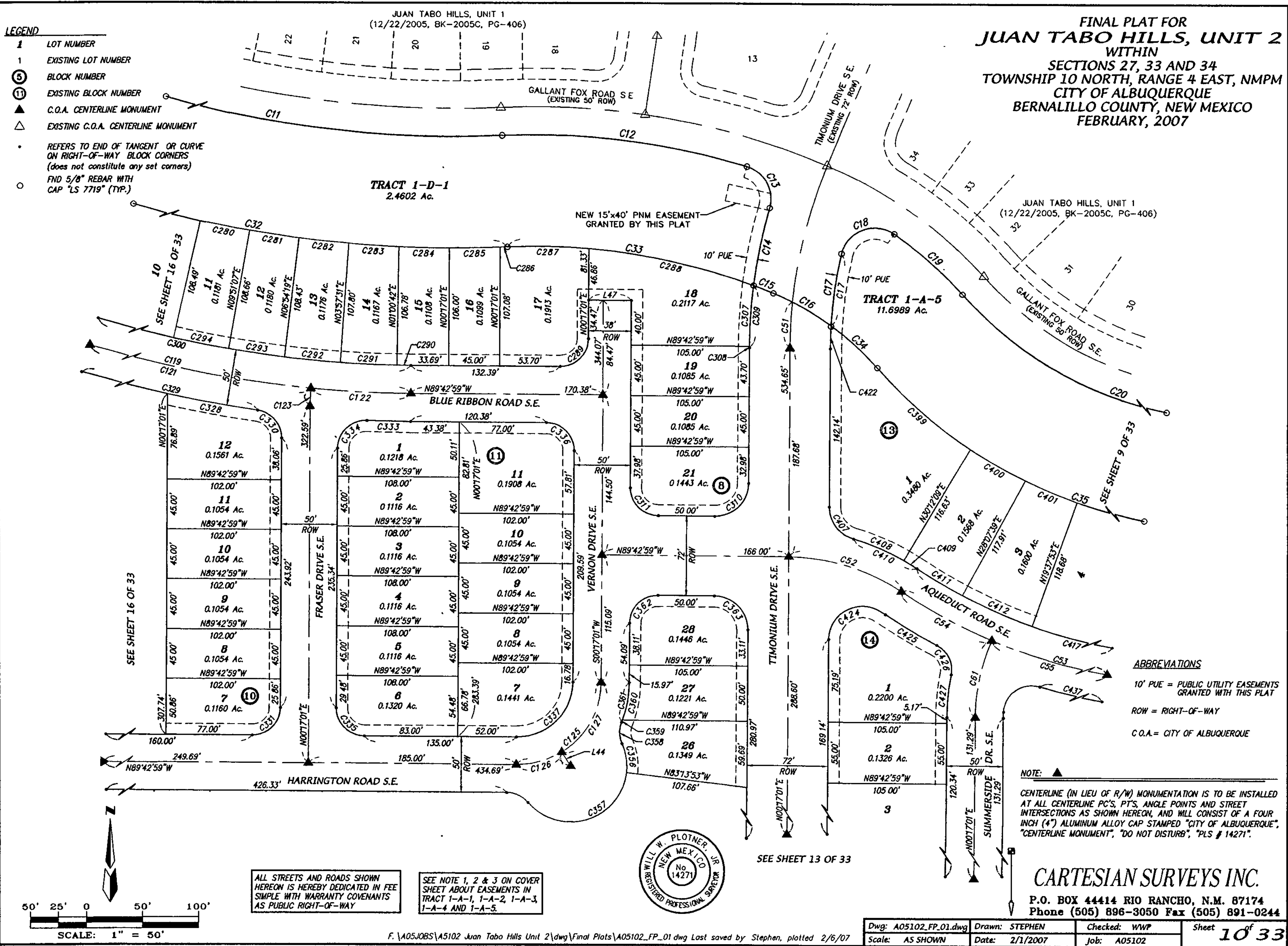
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Dwg: A05102_FP_01.dwg	Drawn: STEPHEN	Checked: WWP	Sheet 9 of 33
Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	

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**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007**

- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - ⑤ BLOCK NUMBER
 - ⑪ EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
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ABBREVIATIONS

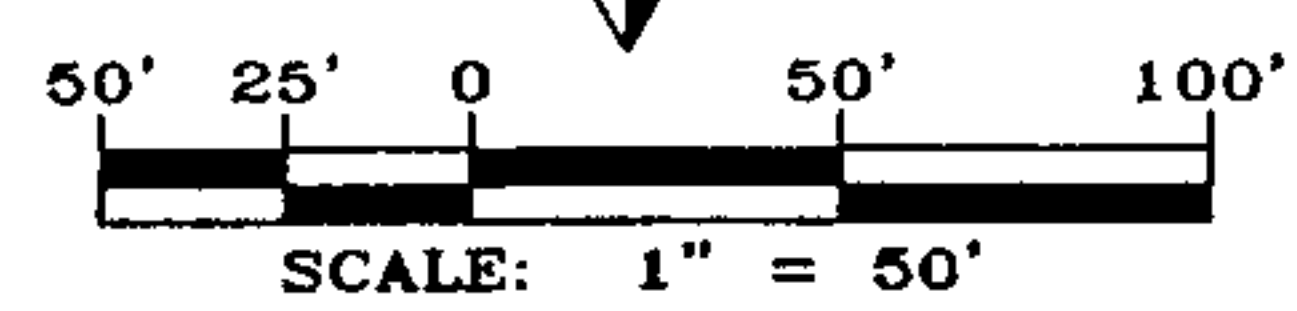
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C.O.A. = CITY OF ALBUQUERQUE

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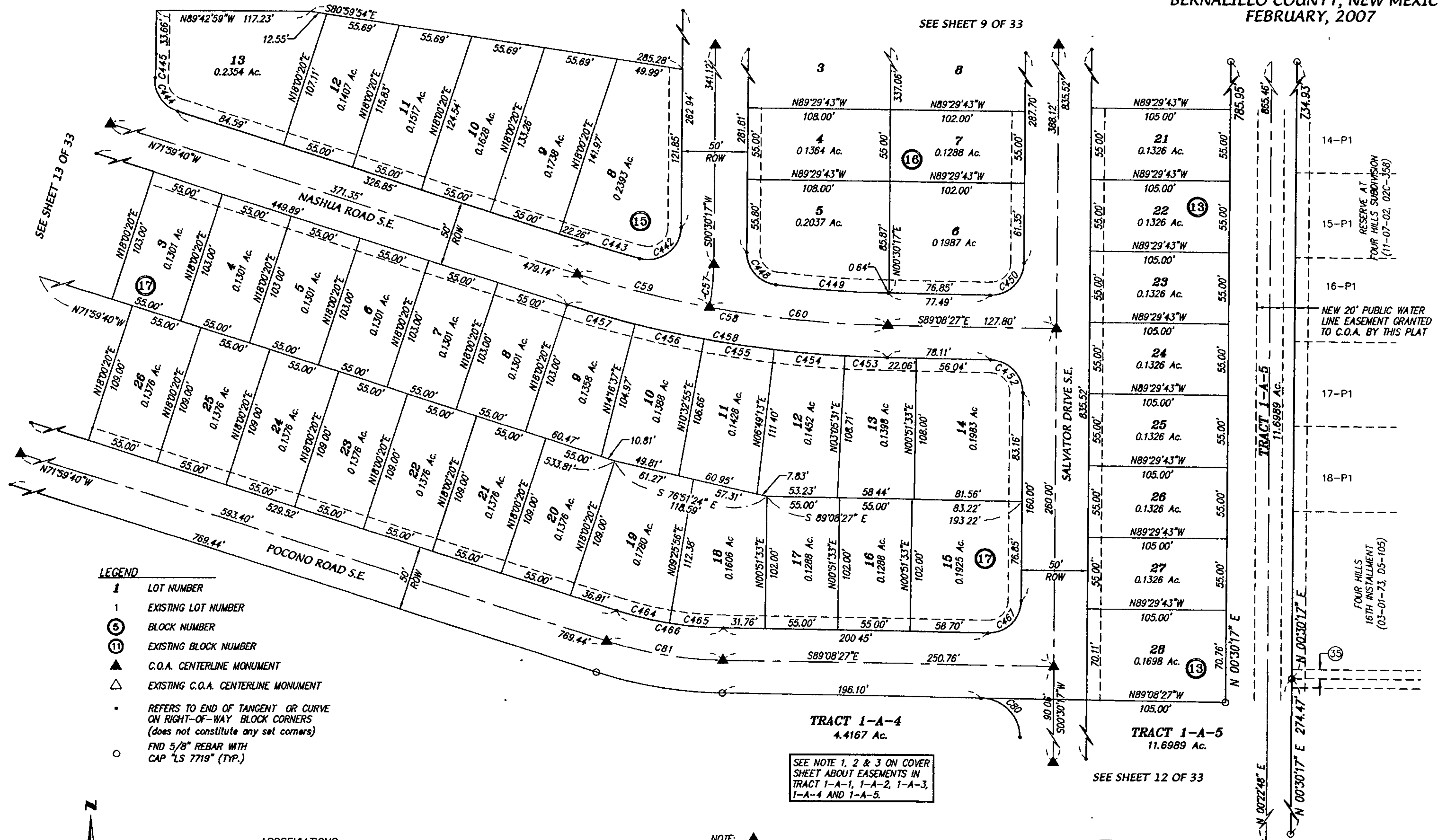
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**FINAL PLAT FOR
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WITHIN
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TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007**



- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
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 - ⑪ EXISTING BLOCK NUMBER
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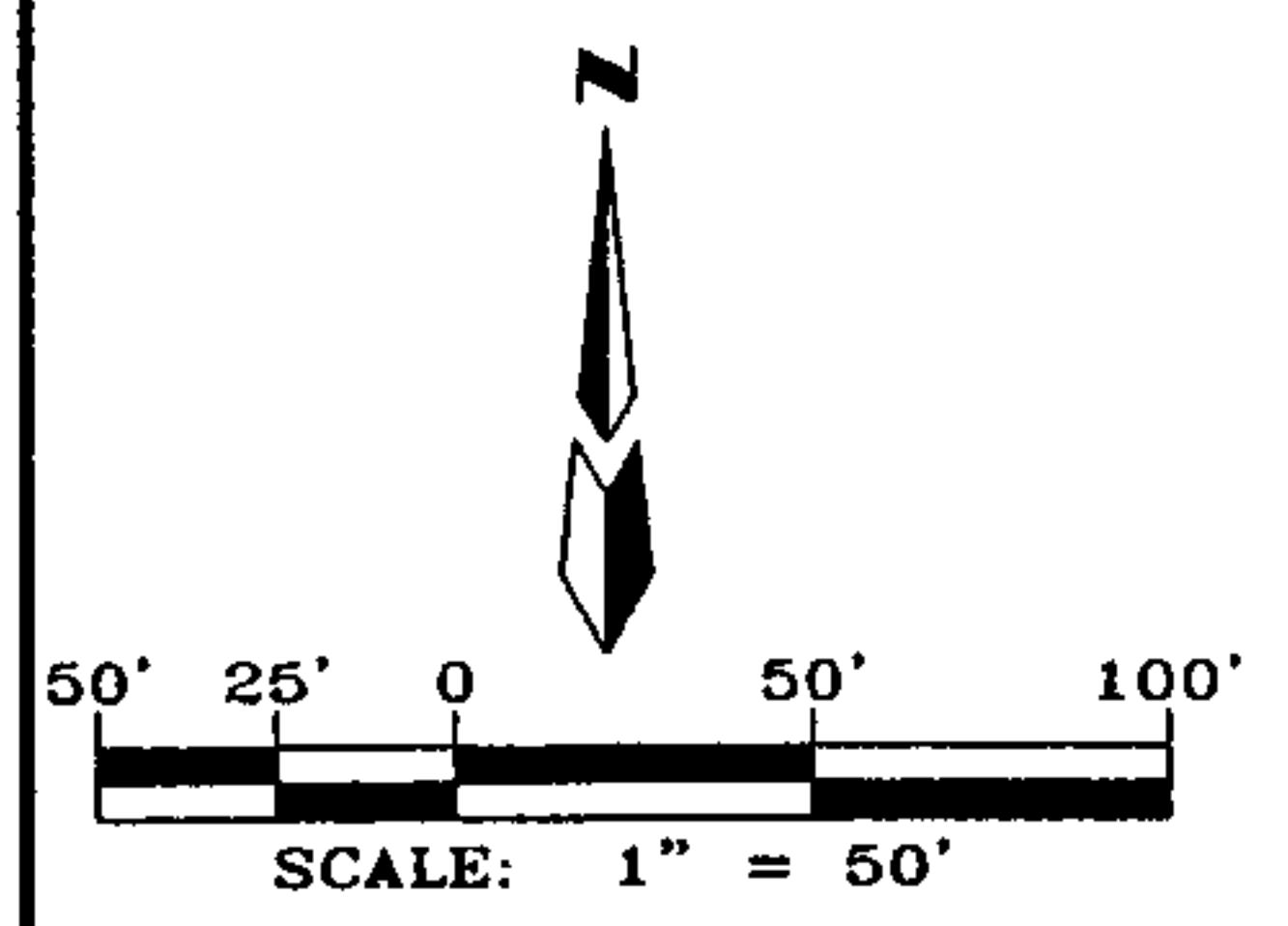
C.O.A. = CITY OF ALBUQUERQUE

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NOTE ▲

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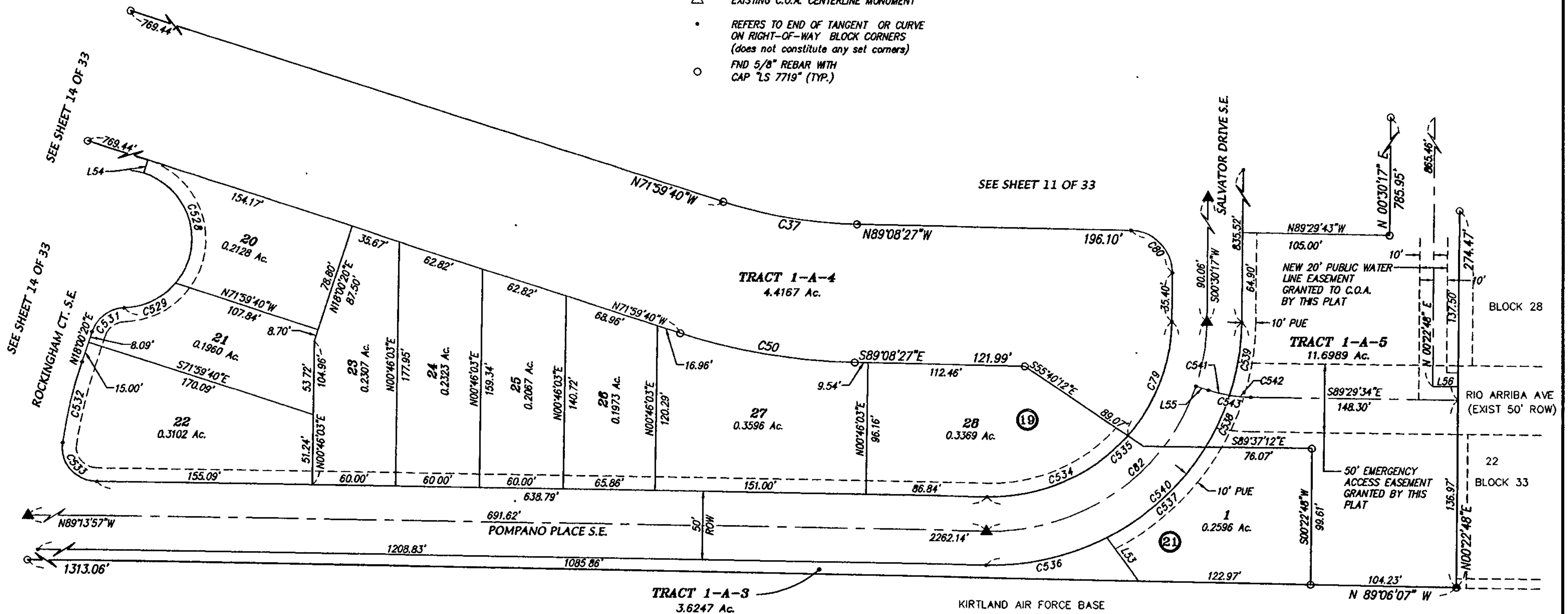


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CITY OF ALBUQUERQUE
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FEBRUARY, 2007**

LEGEND

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- ⑤ BLOCK NUMBER
- ⑪ EXISTING BLOCK NUMBER
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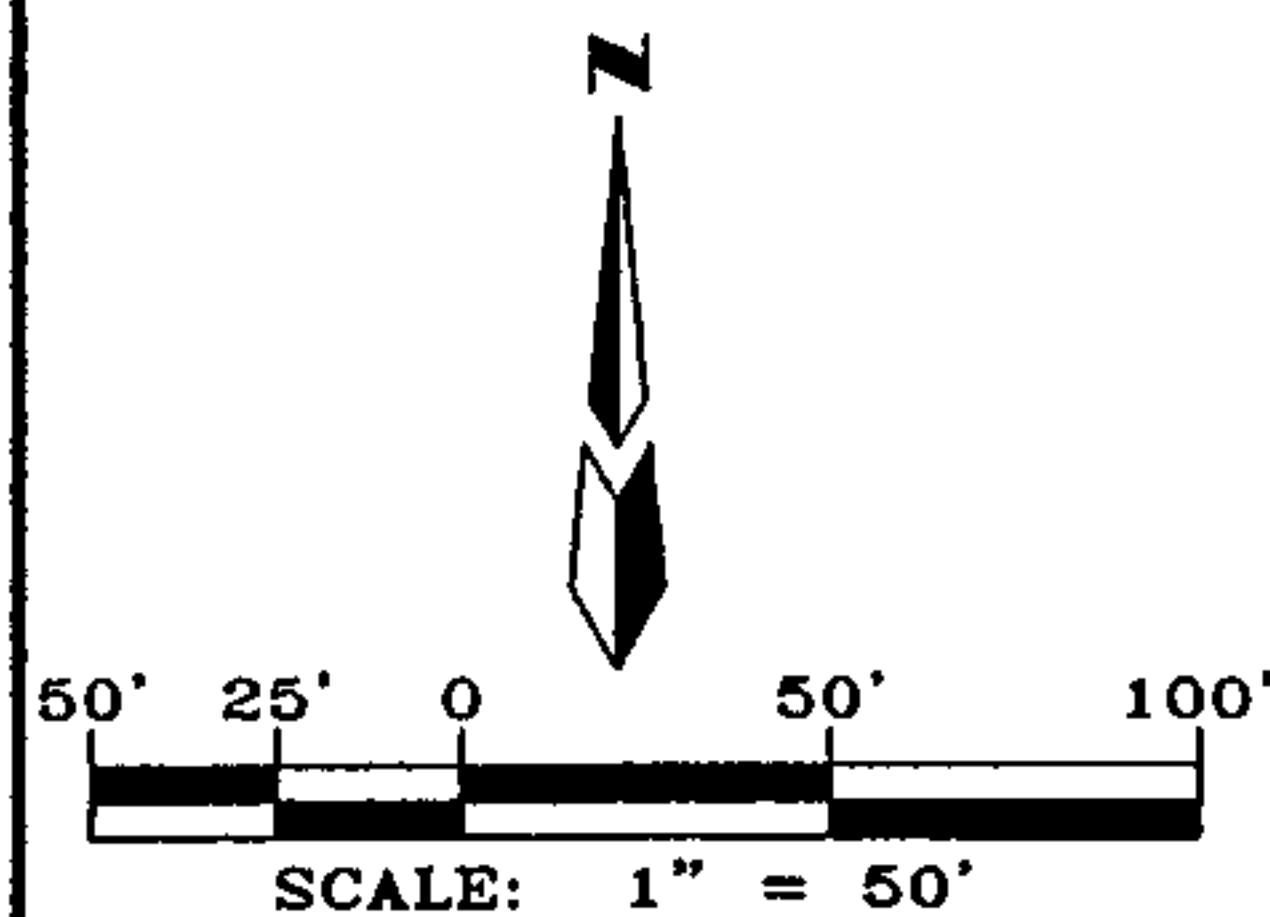
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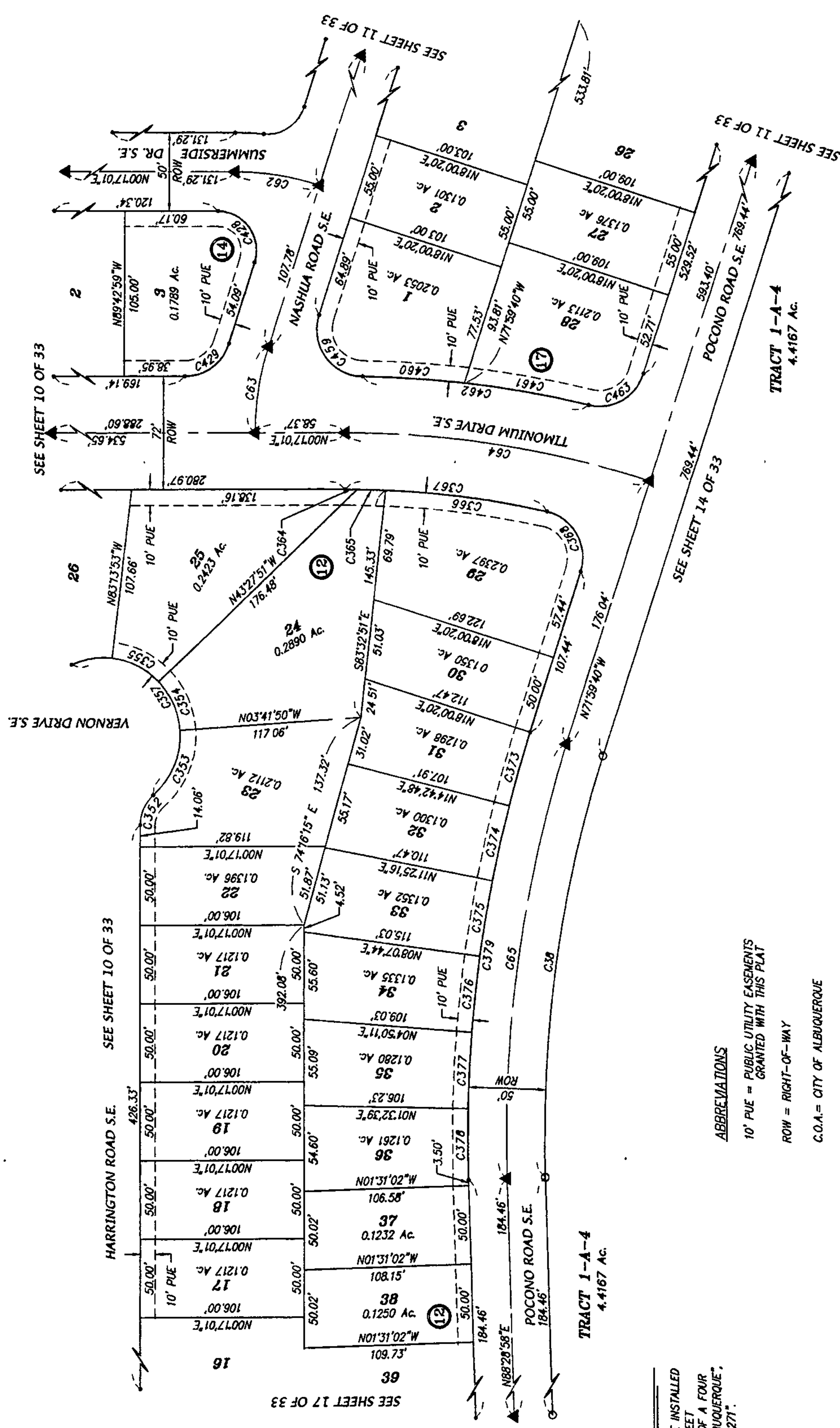


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FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007

- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - 5 BLOCK NUMBER
 - 11 EXISTING BLOCK NUMBER
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 - ▽ EXISTING C.O.A. CENTERLINE MONUMENT
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ABBREVIATIONS

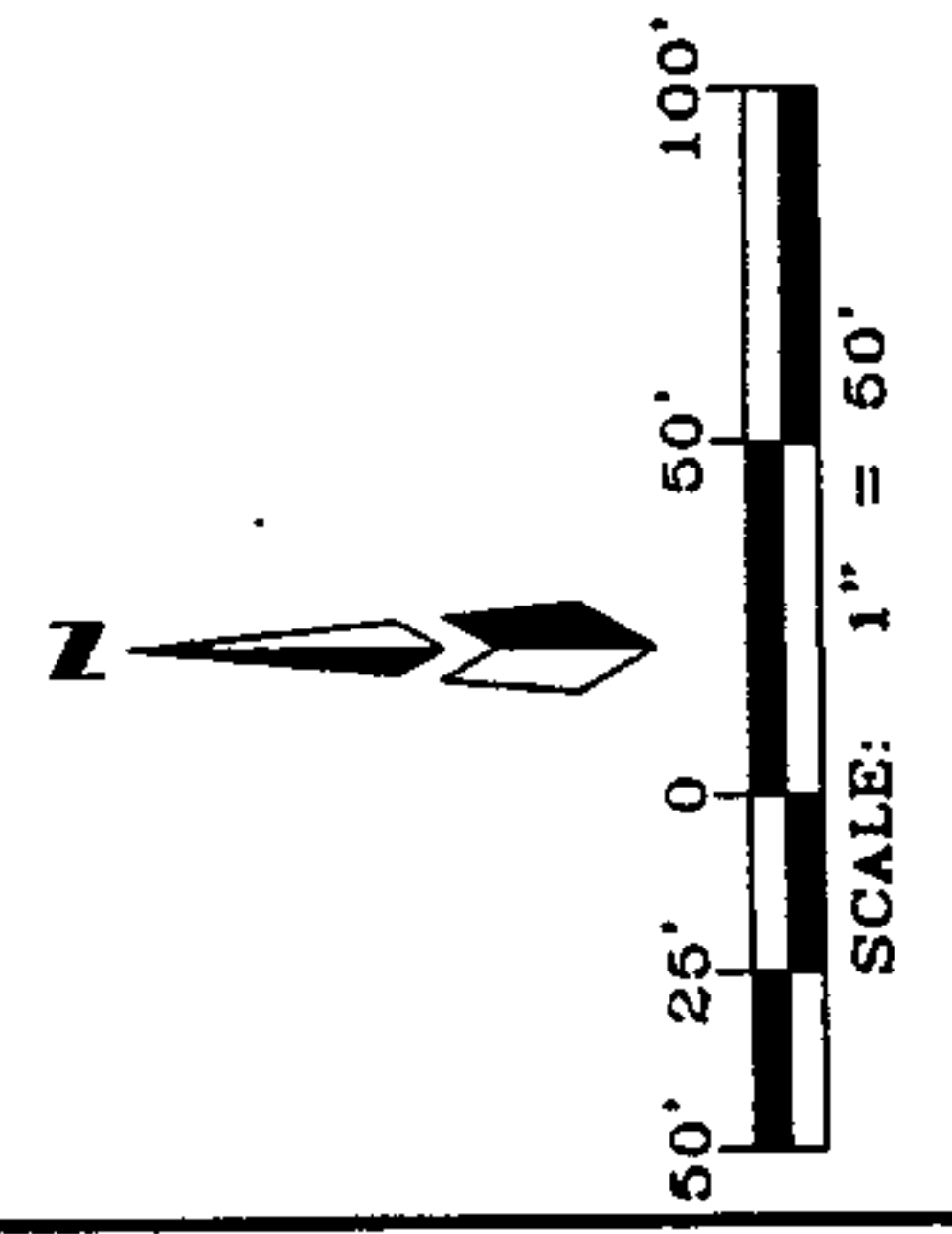
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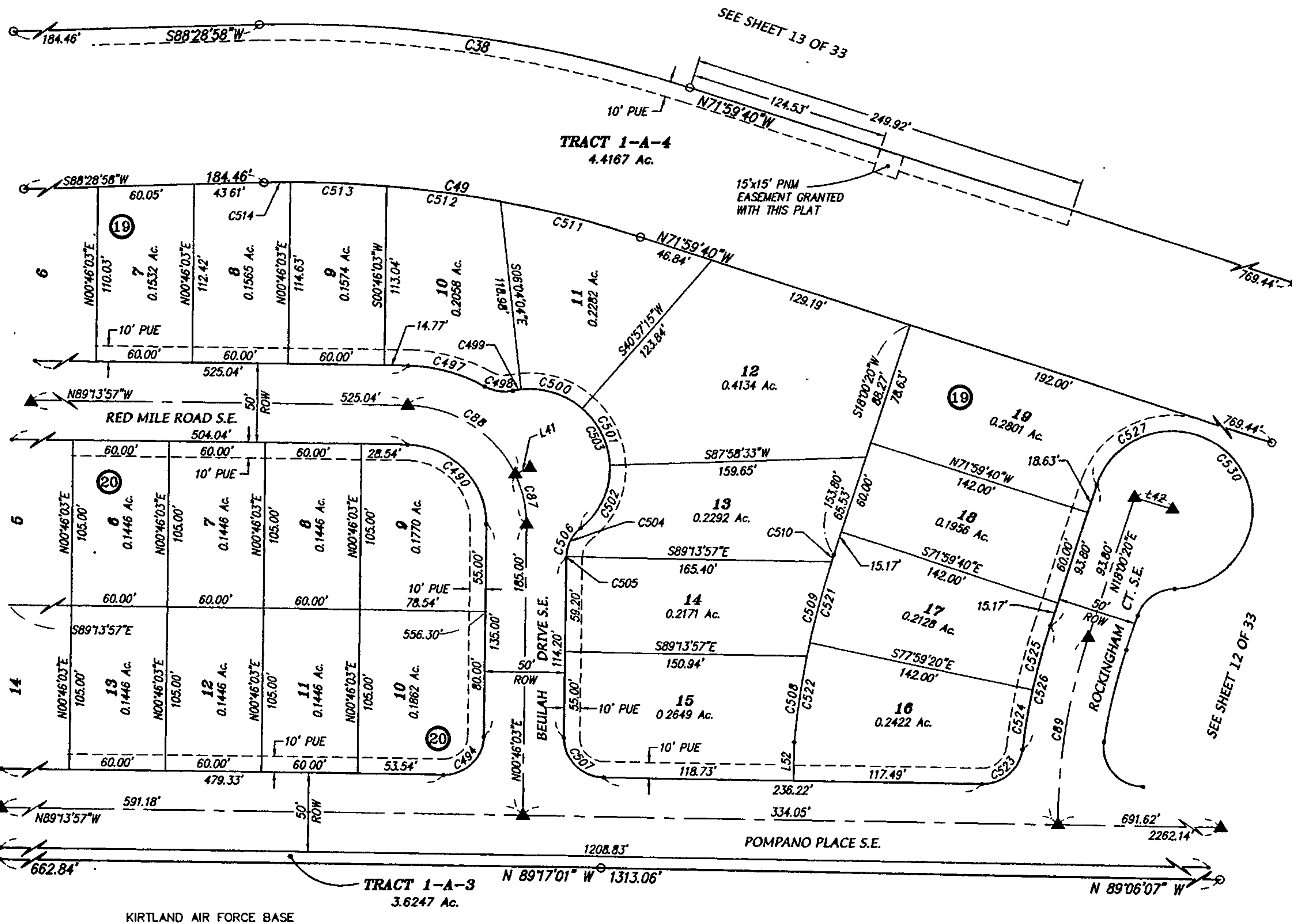
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Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	

FINAL PLAT FOR
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 WITHIN
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 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
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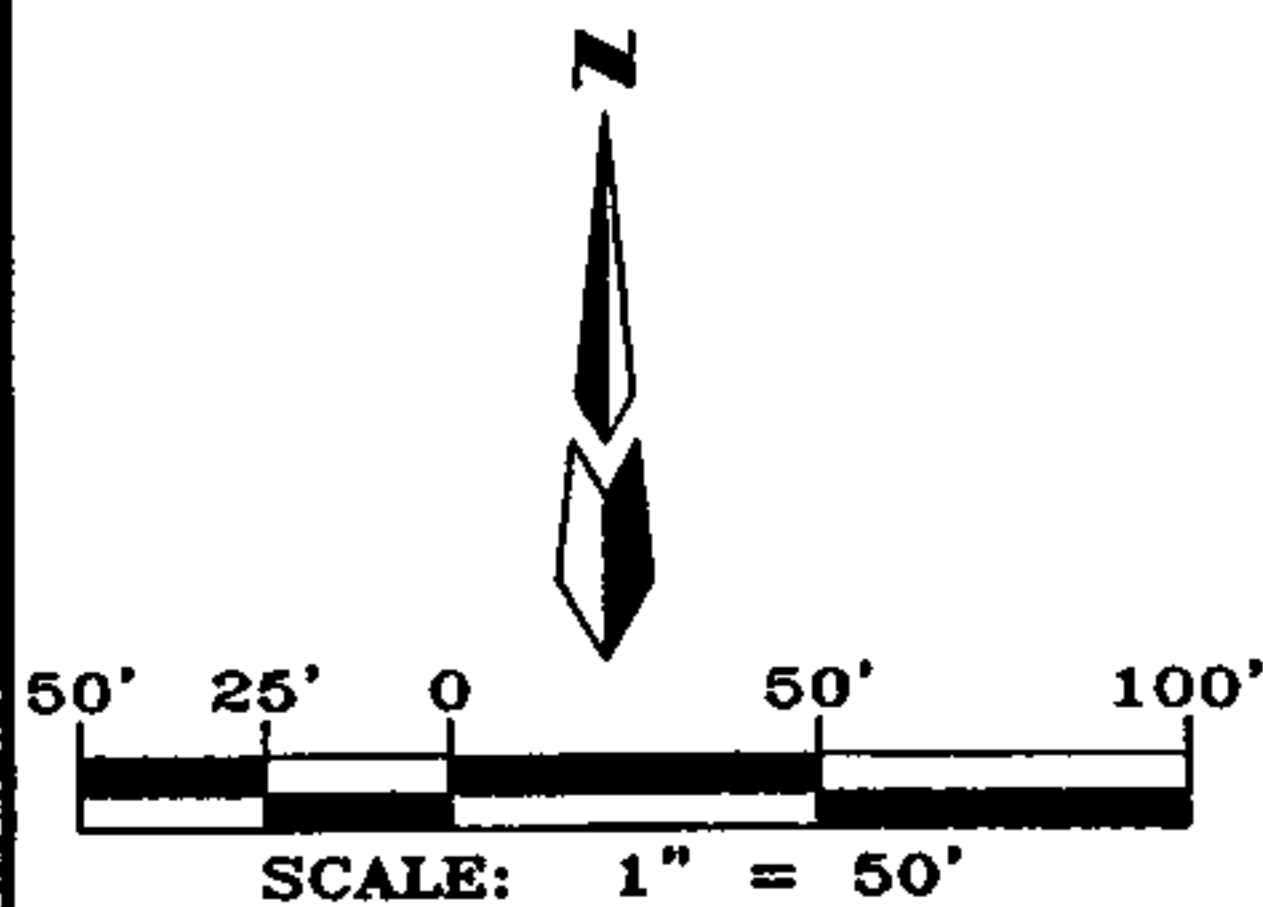
LEGEND

- 1 LOT NUMBER
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- ⑱ EXISTING BLOCK NUMBER
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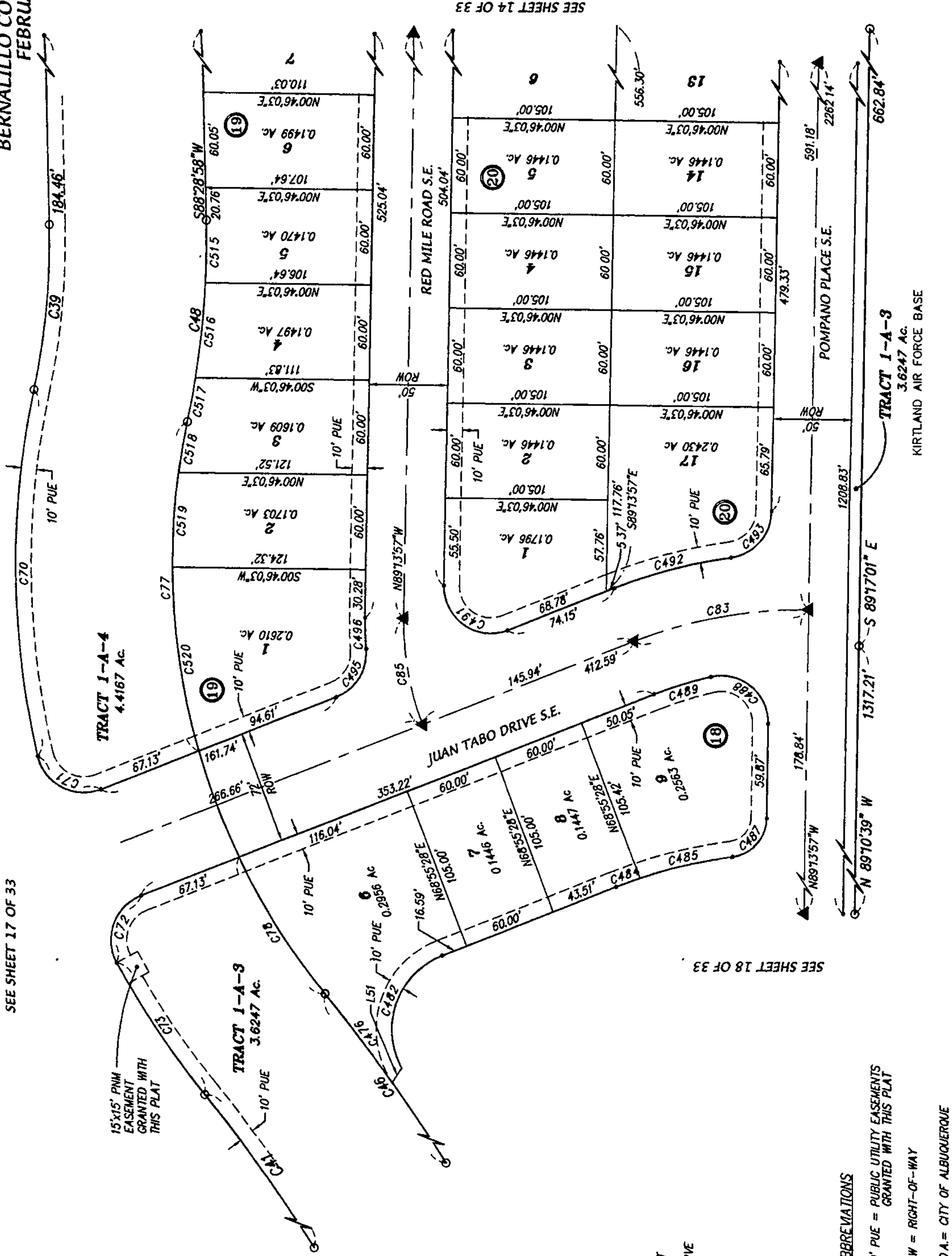
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Dwg: A05102_FP_01.dwg	Drawn: STEPHEN	Checked: WWP	Sheet 14 of 33
Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	

FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007



- LEGEND**
- 1 LOT NUMBER
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JUAN TABO HILLS, UNIT 1
(12/22/2005, BK-2005C, PG-406)

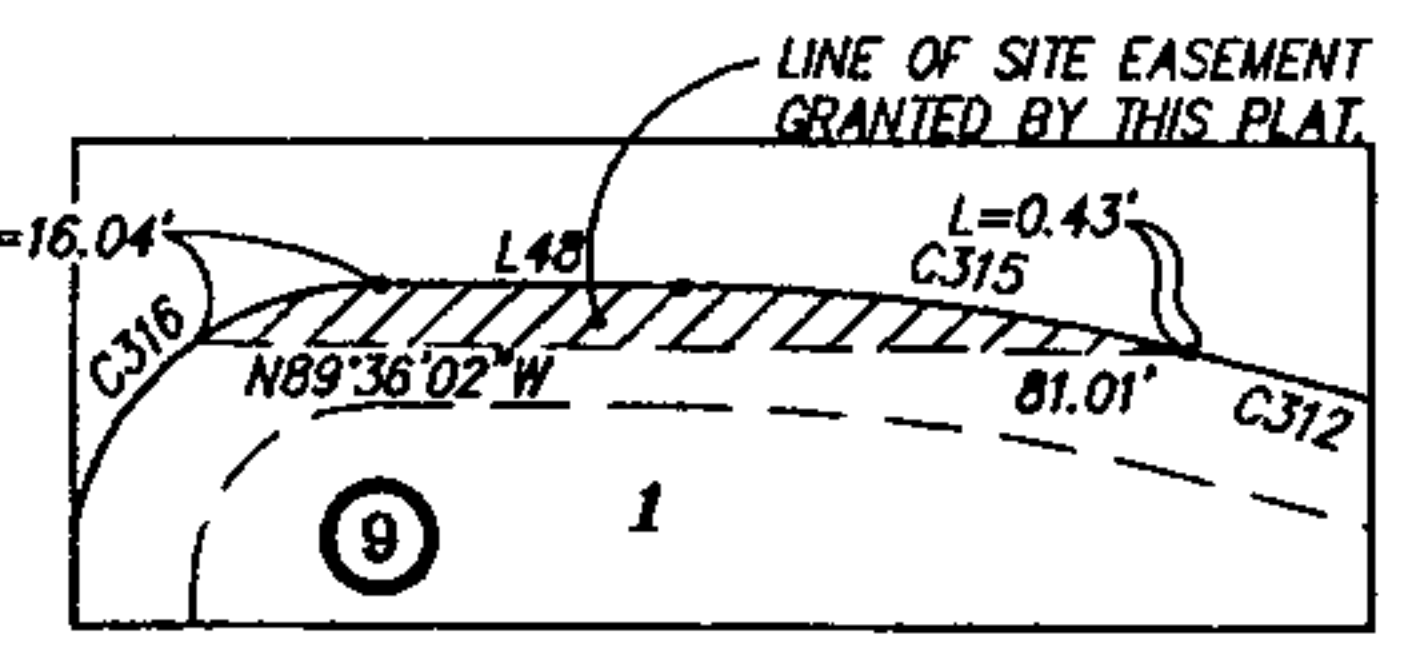
SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.

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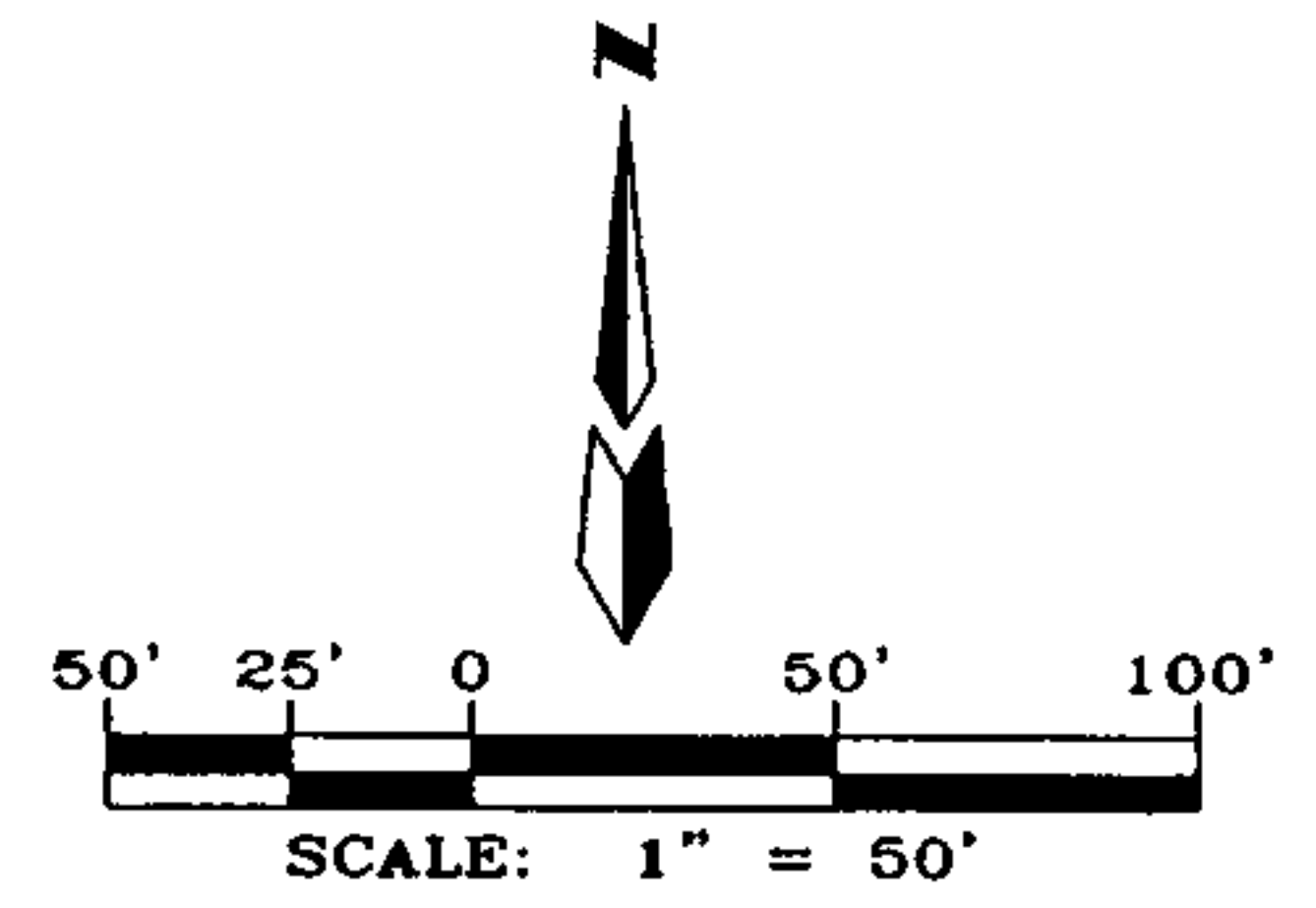
**FINAL PLAT FOR
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CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

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NOTE: NO CONSTRUCTION HIGHER THAN 3'-0" ABOVE FLOWLINE ALLOWED WITHIN THE LINE OF SITE EASEMENT.

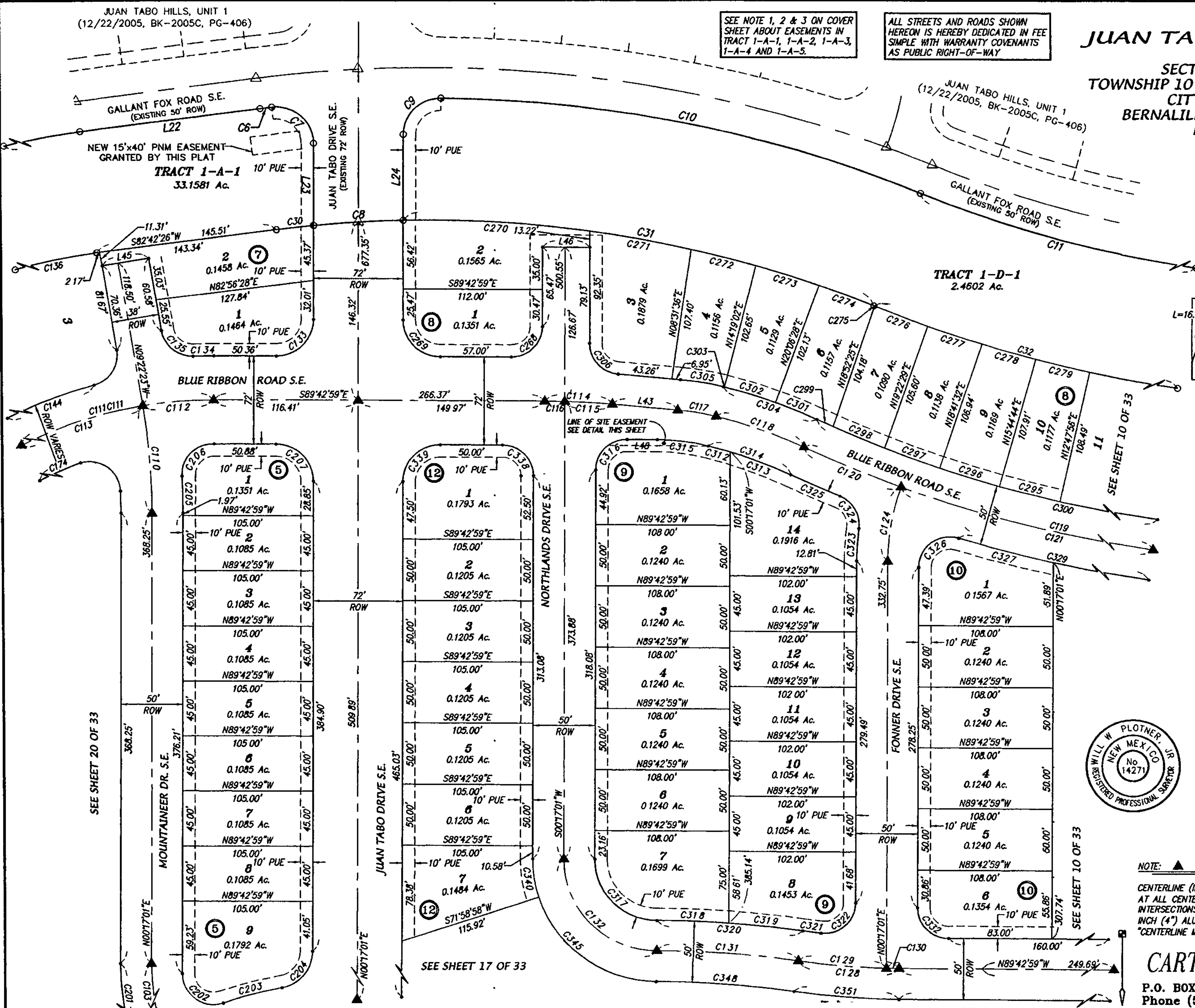


LEGEND

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- ⑤ BLOCK NUMBER
- ⑪ EXISTING BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
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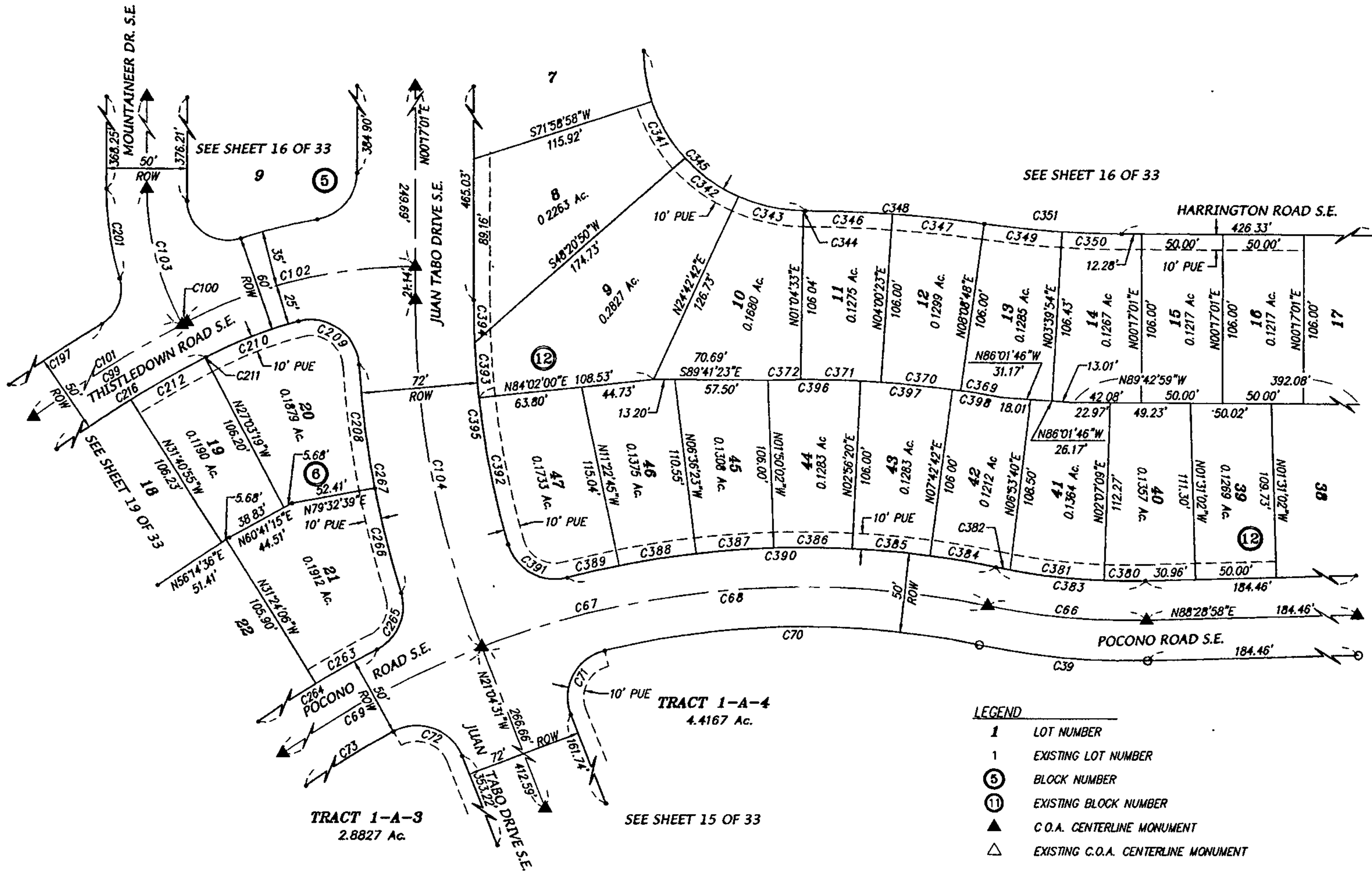
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Scale: AS SHOWN	Date: 1/12/2007	Job: A05102	

FINAL PLAT FOR
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 WITHIN
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 FEBRUARY, 2007

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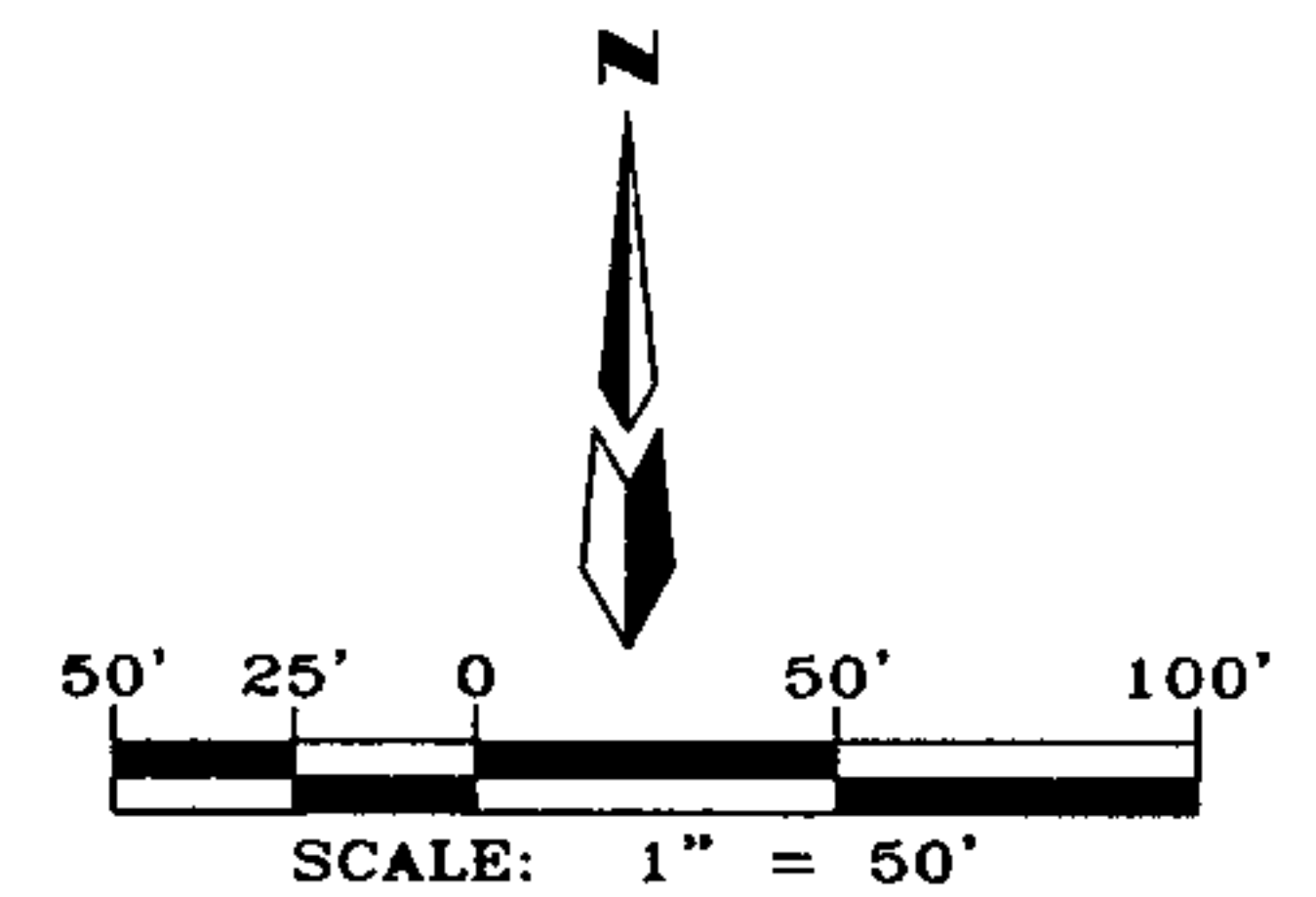
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SEE SHEET 13 OF 33

LEGEND

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- Ⓢ BLOCK NUMBER
- Ⓢ EXISTING BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
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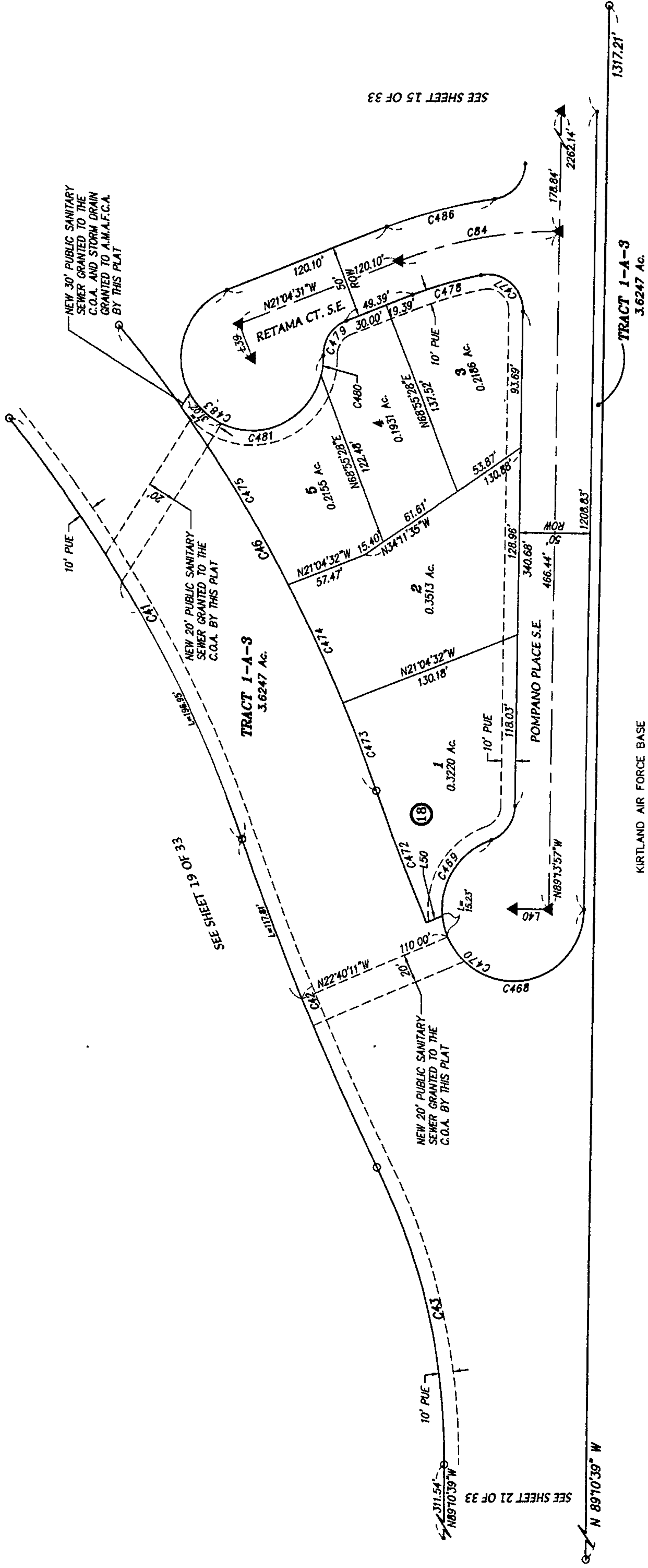


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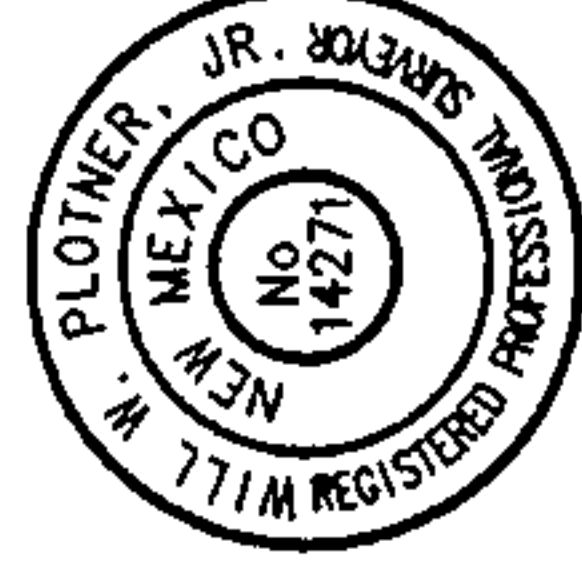
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SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.

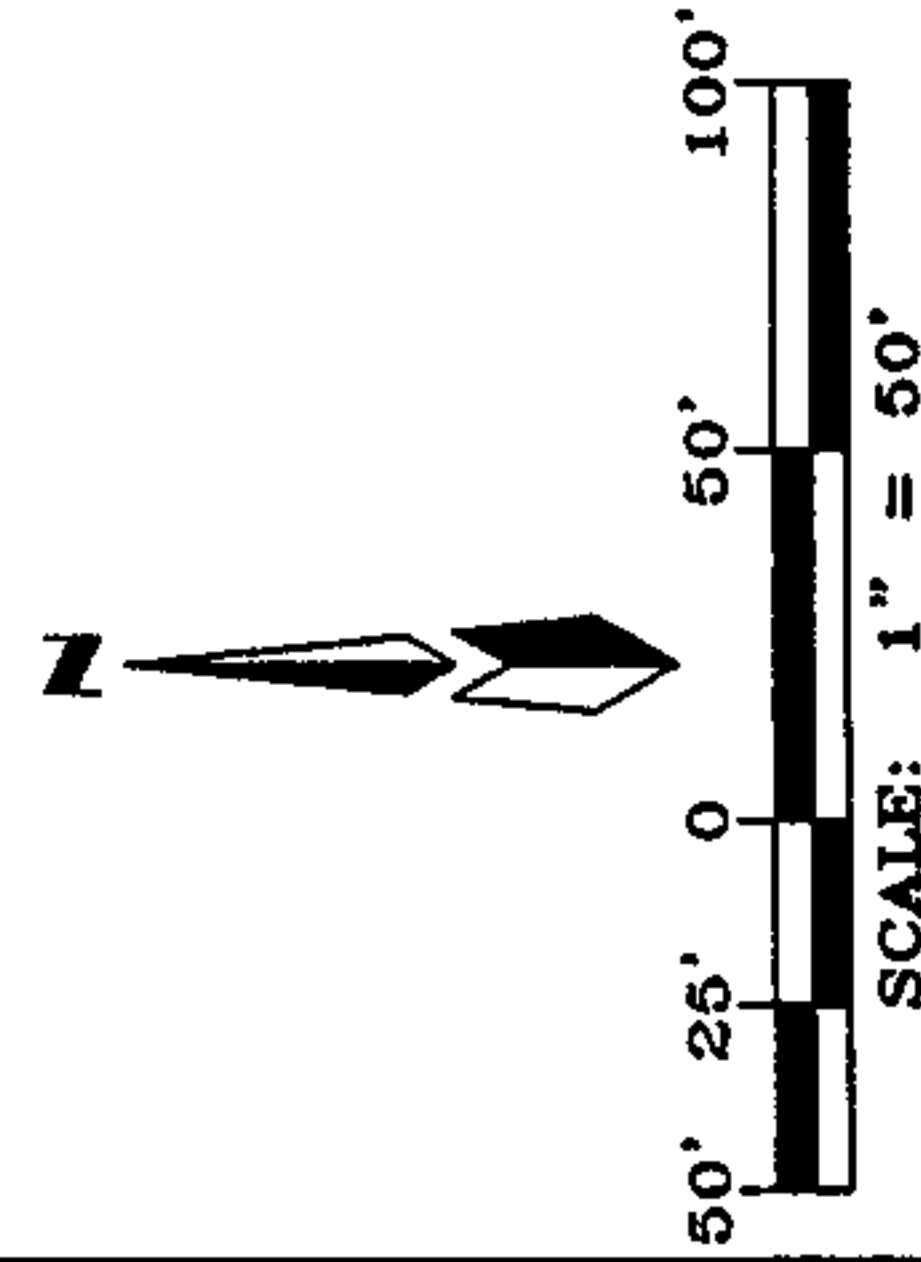
NOTE: ▲ CENTERLINE (IN LIEU OF R/M) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 14271".



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Dwg: A05102_FP_01.dwg Drawn: STEPHEN Checked: WWP
 Scale: AS SHOWN Date: 1/24/2007 Job: A05102
 Sheet **18** of **33**

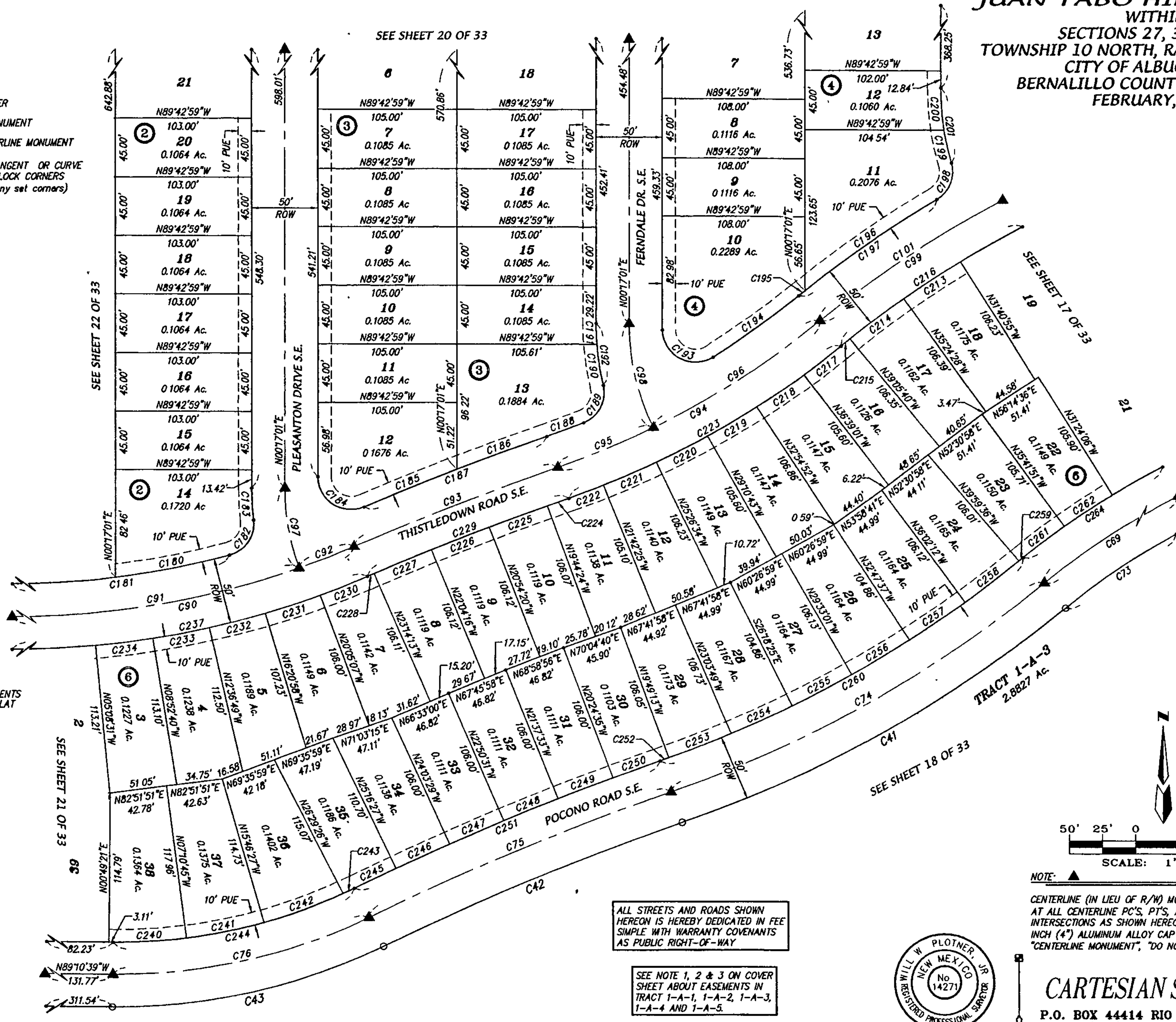
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FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007

- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - ⑥ BLOCK NUMBER
 - ⑪ EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
 - FND 5/8" REBAR WITH CAP "LS 7719" (TYP.)

- ABBREVIATIONS**
- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 - ROW = RIGHT-OF-WAY
 - C.O.A. = CITY OF ALBUQUERQUE



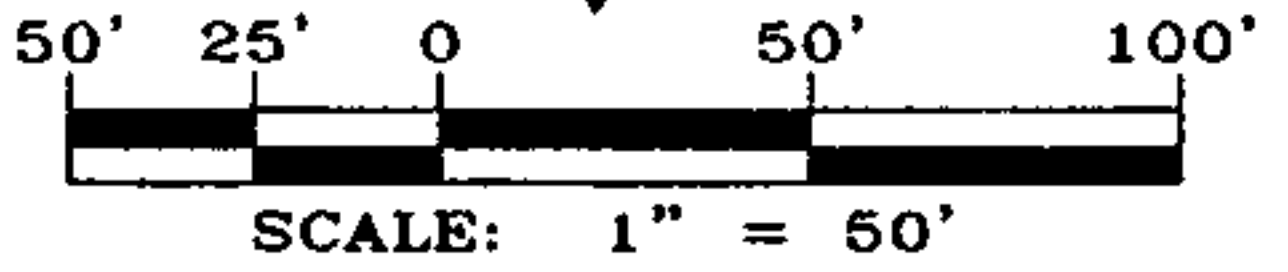
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SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.



NOTE: ▲ CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 14271".

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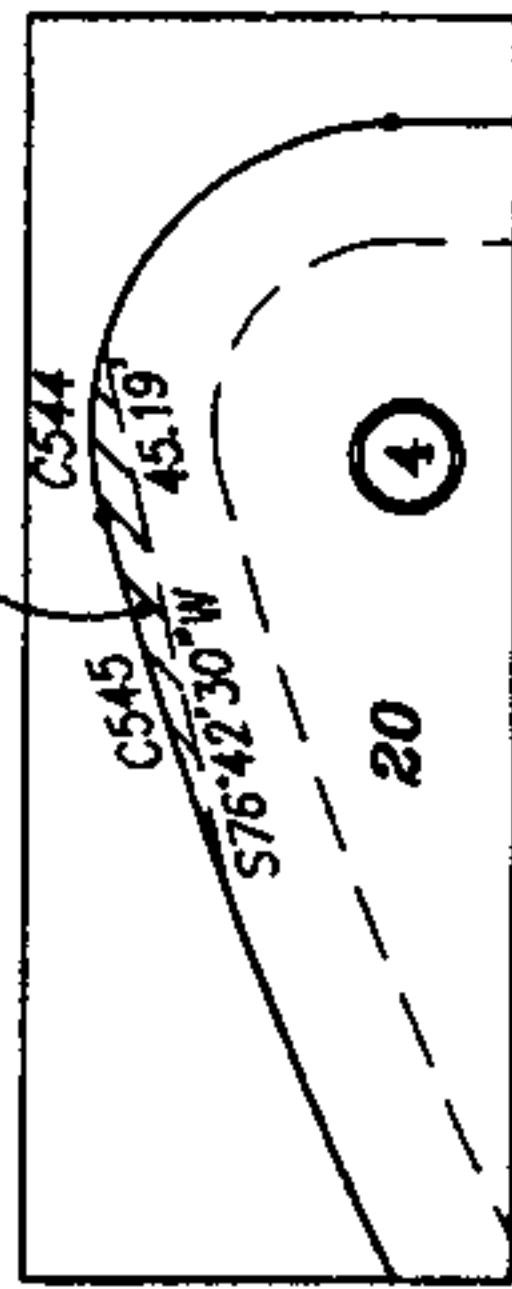


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Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	

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**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2**
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

LINE OF SITE EASEMENT
GRANTED BY THIS PLAT



NOTE: NO CONSTRUCTION HIGHER THAN
3'-0" ABOVE FLOWLINE ALLOWED
WITHIN THE LINE OF SITE EASEMENT.

SEE NOTE 1, 2 & 3 ON COVER
SHEET ABOUT EASEMENTS IN
TRACT 1-A-1, 1-A-2, 1-A-3,
1-A-4 AND 1-A-5

ALL STREETS AND ROADS SHOWN
HEREON IS HEREBY DEDICATED IN FEE
SIMPLE WITH WARRANTY COVENANTS
AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS

- 10' PUE = PUBLIC UTILITY EASEMENTS
GRANTED WITH THIS PLAT
- ROW = RIGHT-OF-WAY
- C.O.A. = CITY OF ALBUQUERQUE

LEGEND

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- ⑤ BLOCK NUMBER
- ⑪ EXISTING BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- △ EXISTING C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE
ON RIGHT-OF-WAY BLOCK CORNERS
(does not constitute any set corners)
- END 5/8" REBAR WITH
CAP "LS 7719" (TYP.)

NOTE:

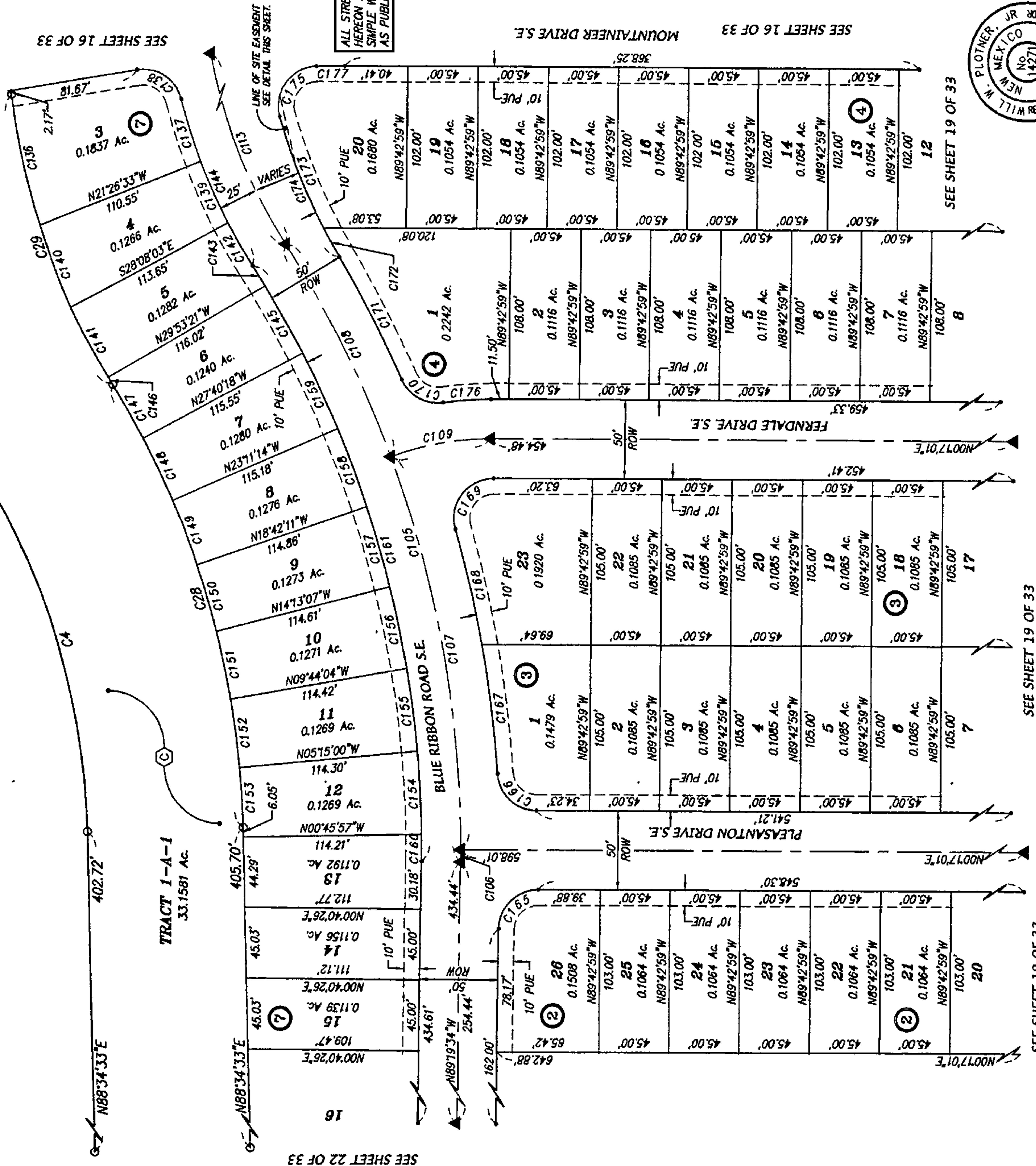
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CARTESIAN SURVEYS INC.

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Dwg: A05102.FP.01.dwg Drawn: STEPHEN Checked: WWP Sheet 20 of 33
Scale: AS SHOWN Date: 1/25/2007 Job: A05102



SEE SHEET 19 OF 33

SEE SHEET 19 OF 33

SEE SHEET 22 OF 33



FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007

- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - ⑤ BLOCK NUMBER
 - ⑪ EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
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- ABBREVIATIONS**
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 - C.O.A. = CITY OF ALBUQUERQUE

NOTE: ▲
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ALL STREETS AND ROADS SHOWN HEREON IS HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

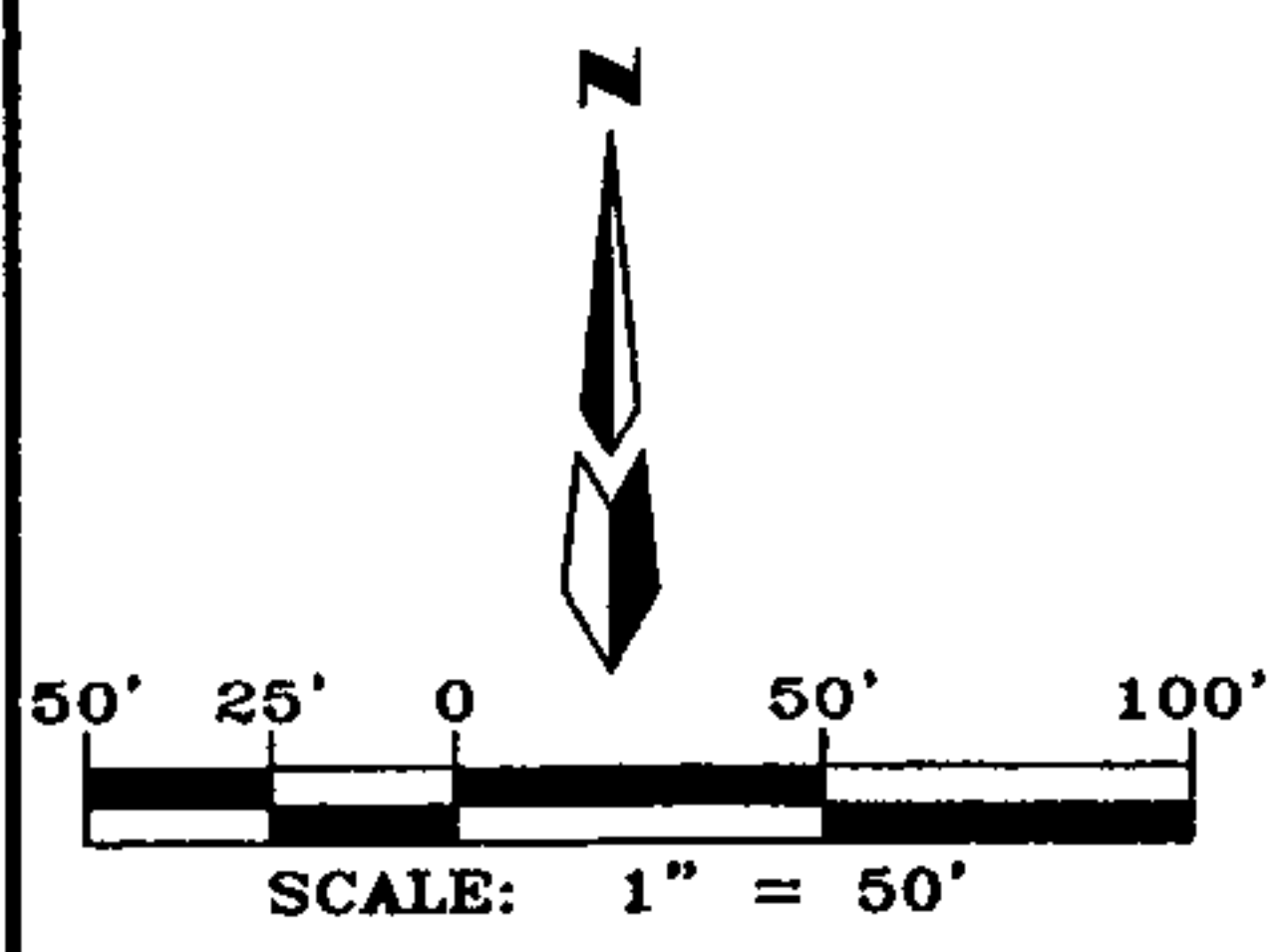
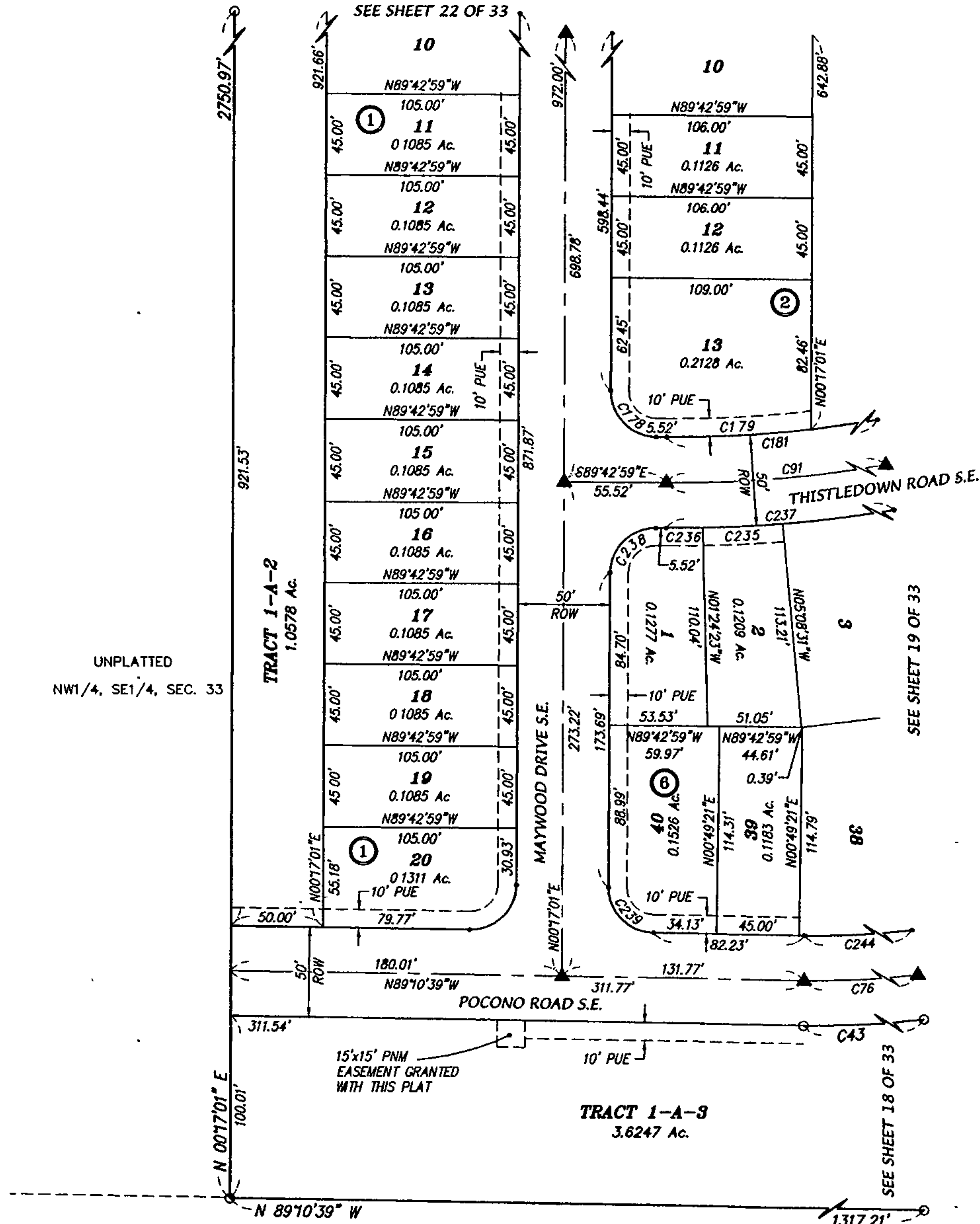
SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.



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Dwg: A05102_FP_01.dwg	Drawn: STEPHEN	Checked: WWP	Sheet 21 of 33
Scale: AS SHOWN	Date: 1/24/2007	Job: A05102	



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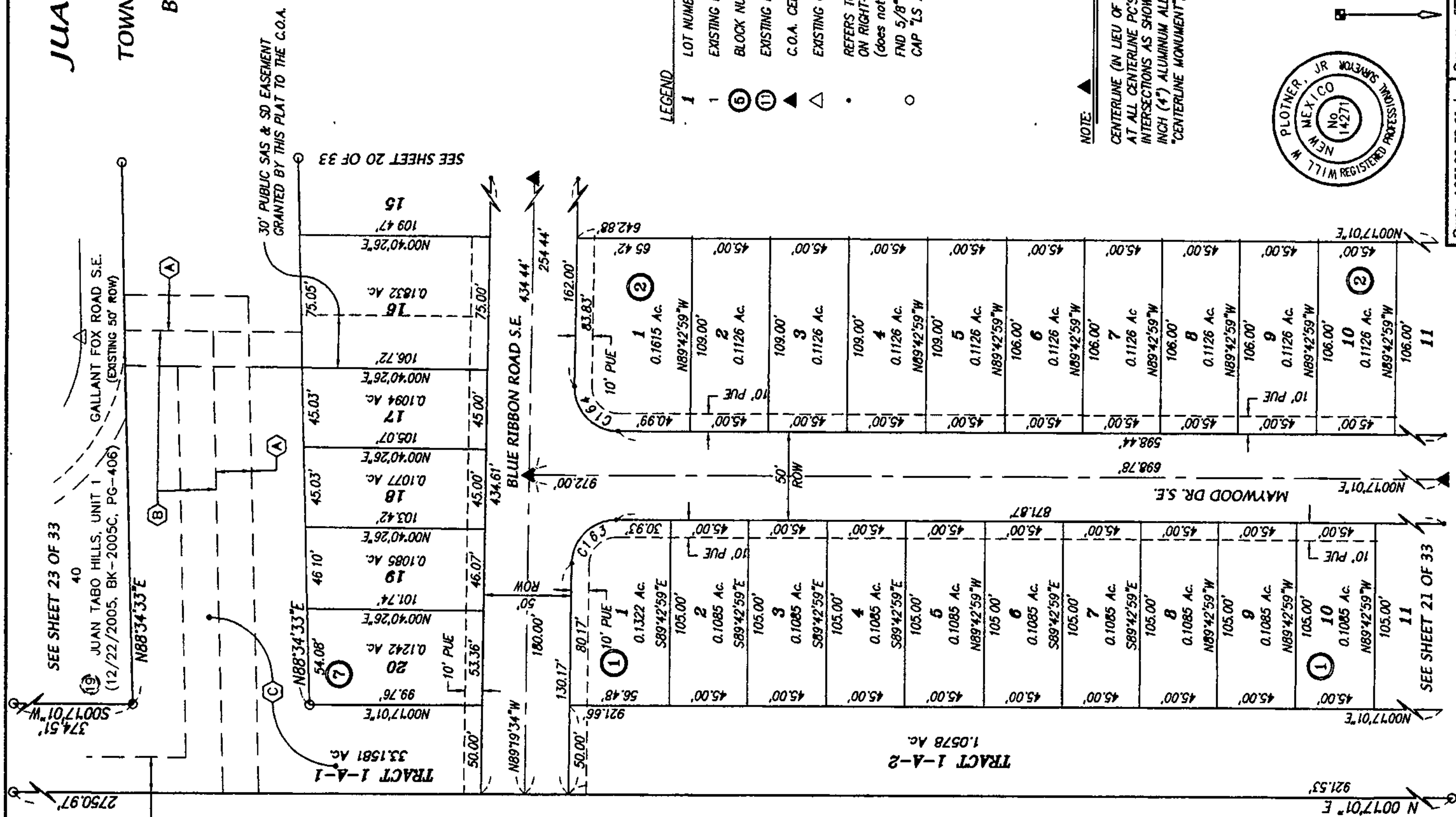
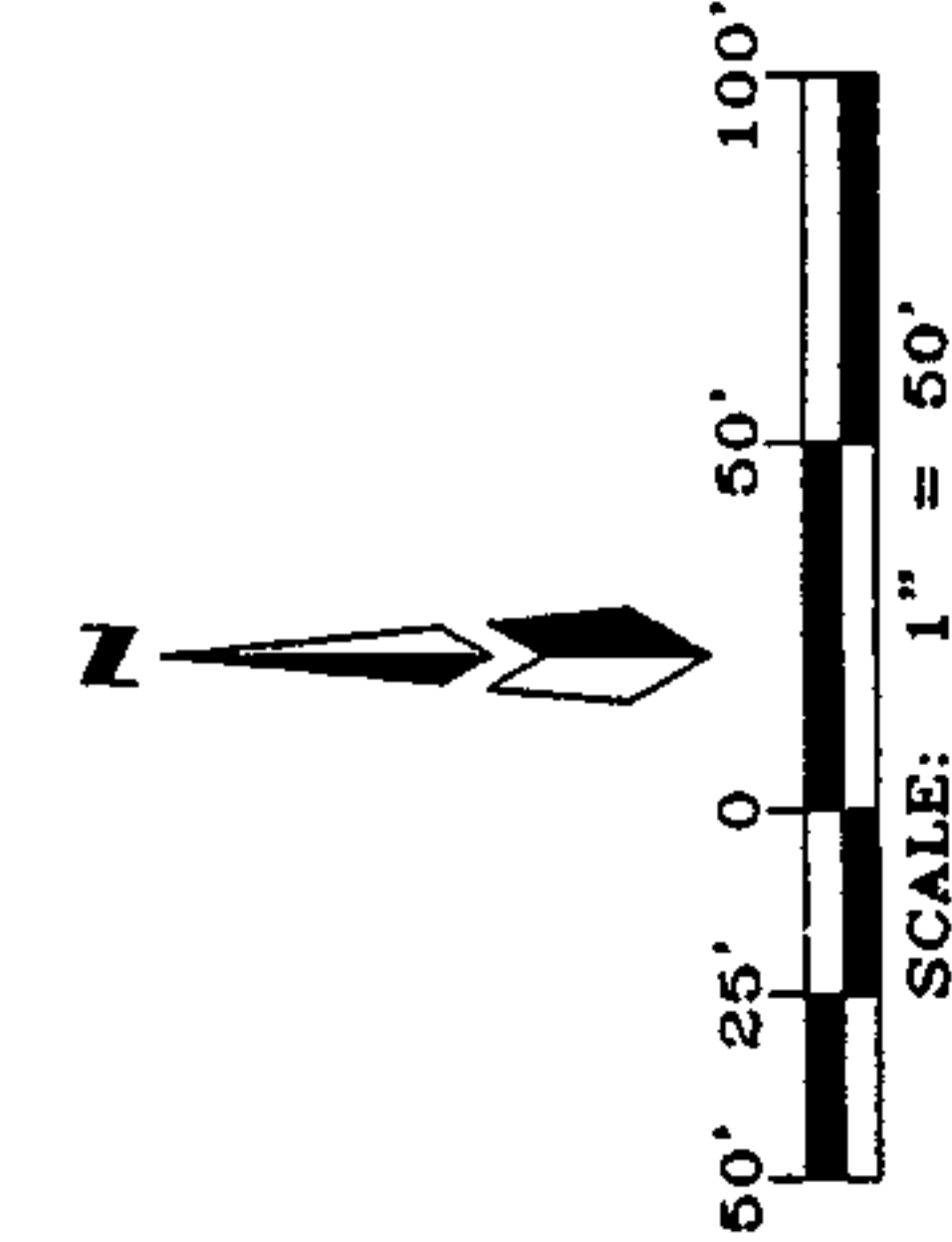
**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2**
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007

- (A) EXIST. 20' WATERLINE EASEMENT
(12/22/2005, BK-2005C, PG-406)
- (B) EXIST. 20' SANITARY SEWER EASEMENT
(12/22/2005, BK-2005C, PG-406)
- (C) AN EXISTING BLANKET DRAINAGE EASEMENT
(1-19-05, BK-2005C, PG-22)

ABBREVIATIONS
10' PUE = PUBLIC UTILITY EASEMENTS
GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY
C.O.A. = CITY OF ALBUQUERQUE

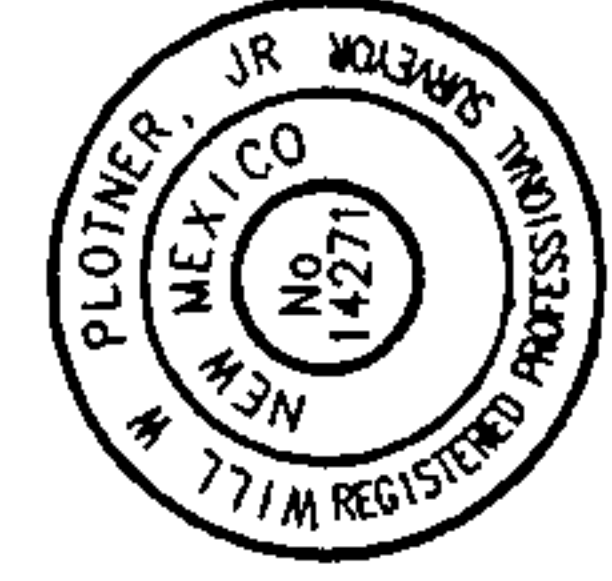
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AS PUBLIC RIGHT-OF-WAY

SEE NOTE 1, 2 & 3 ON COVER
SHEET ABOUT EASEMENTS IN
TRACT 1-A-1, 1-A-2, 1-A-3,
1-A-4 AND 1-A-5.



- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - (B) BLOCK NUMBER
 - (1) EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - REFERS TO END OF TANGENT OR CURVE
ON RIGHT-OF-WAY BLOCK CORNERS
(does not constitute any set corners)
 - FND 5/8" REBAR WITH
CAP "LS 7719" (TRP.)

NOTE:
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET
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"CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 1427".

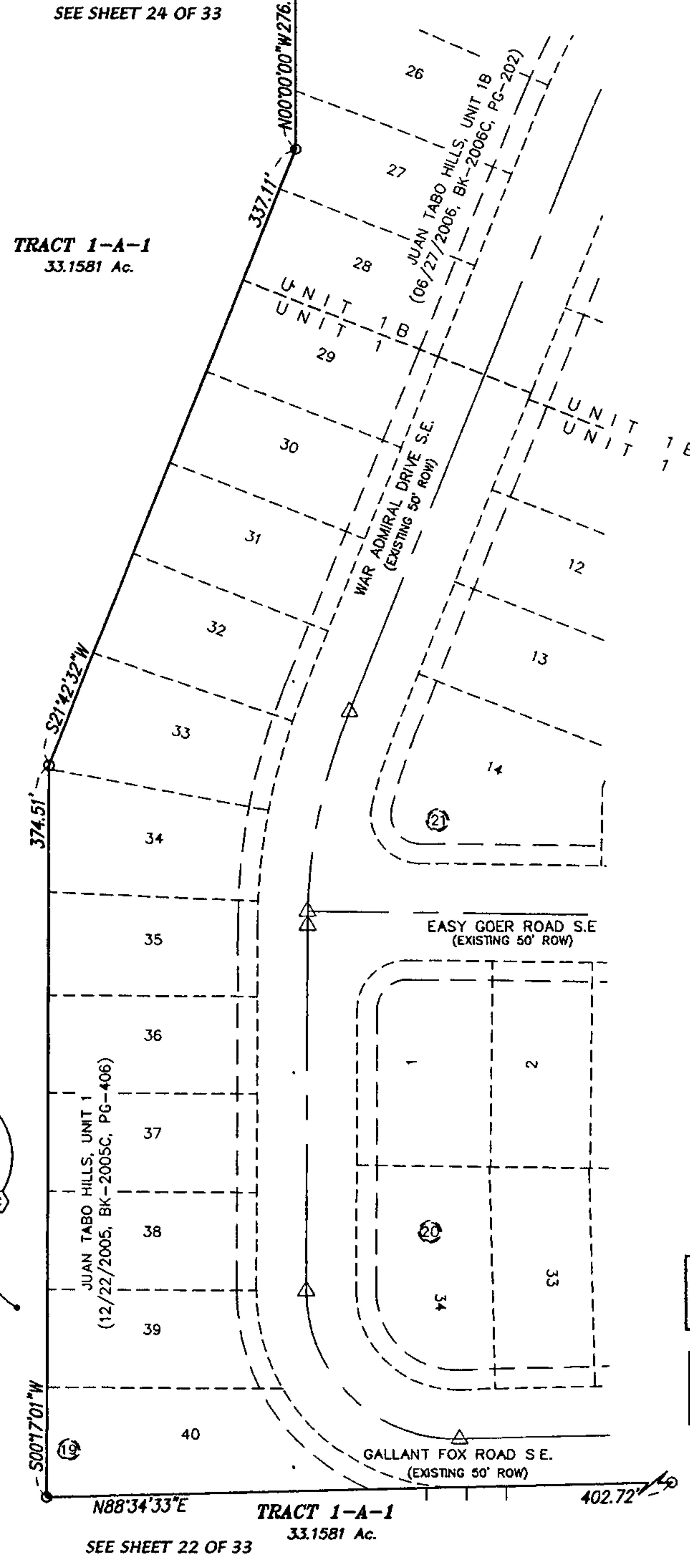


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Scale: AS SHOWN Date: 1/25/2007 Job: A05102 Sheet 22 of 33

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FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007



- (B) EXIST. 20' SANITARY SEWER EASEMENT
(12/22/2005, BK-2005C, PG-406)
- (C) AN EXISTING BLANKET DRAINAGE EASEMENT
(1-19-05, BK-2005C, PG-22)

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

C.O.A. = CITY OF ALBUQUERQUE

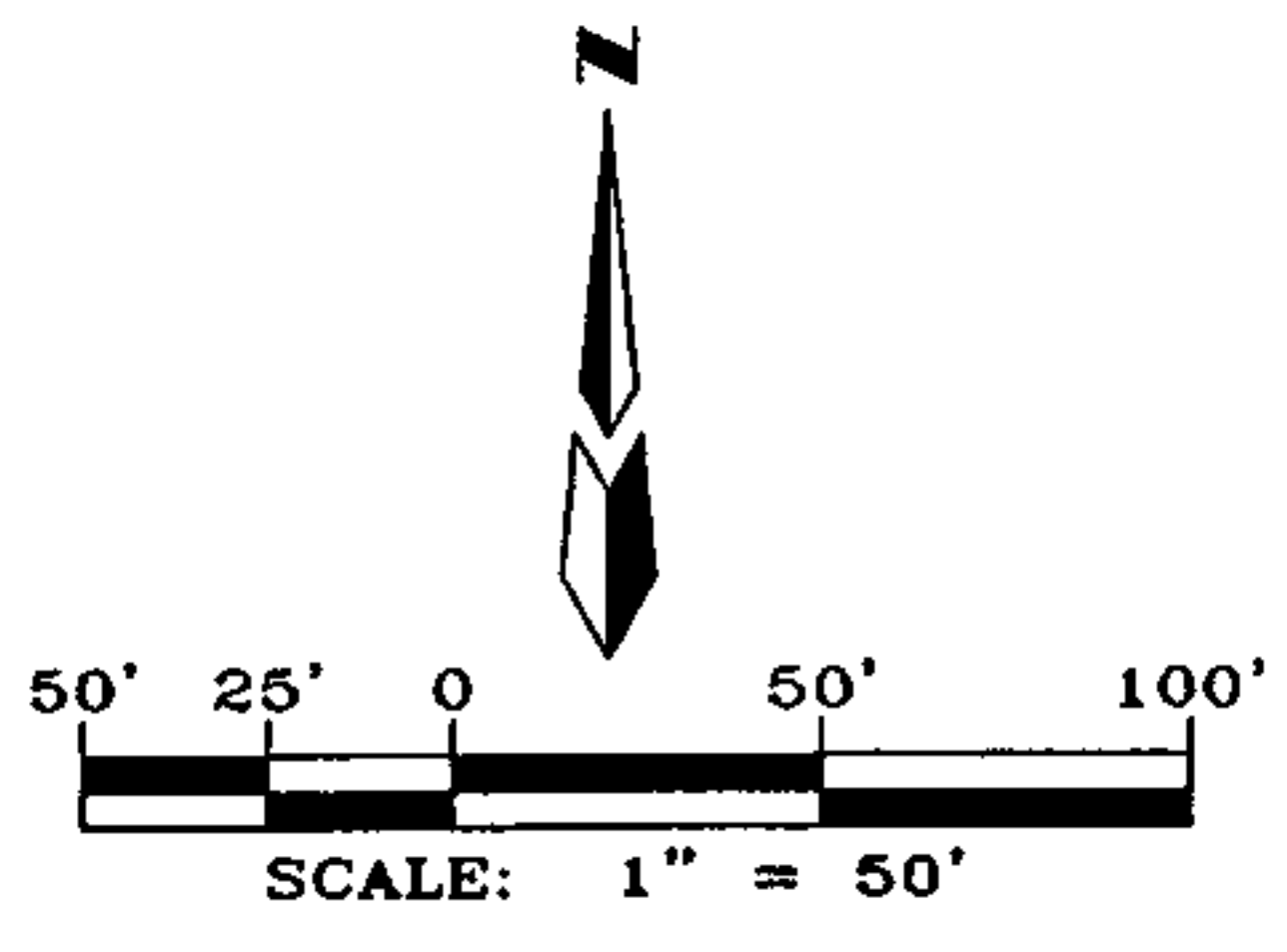
- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - (5) BLOCK NUMBER
 - (11) EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - REFERS TO END OF TANGENT OR CURVE
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NOTE: ▲

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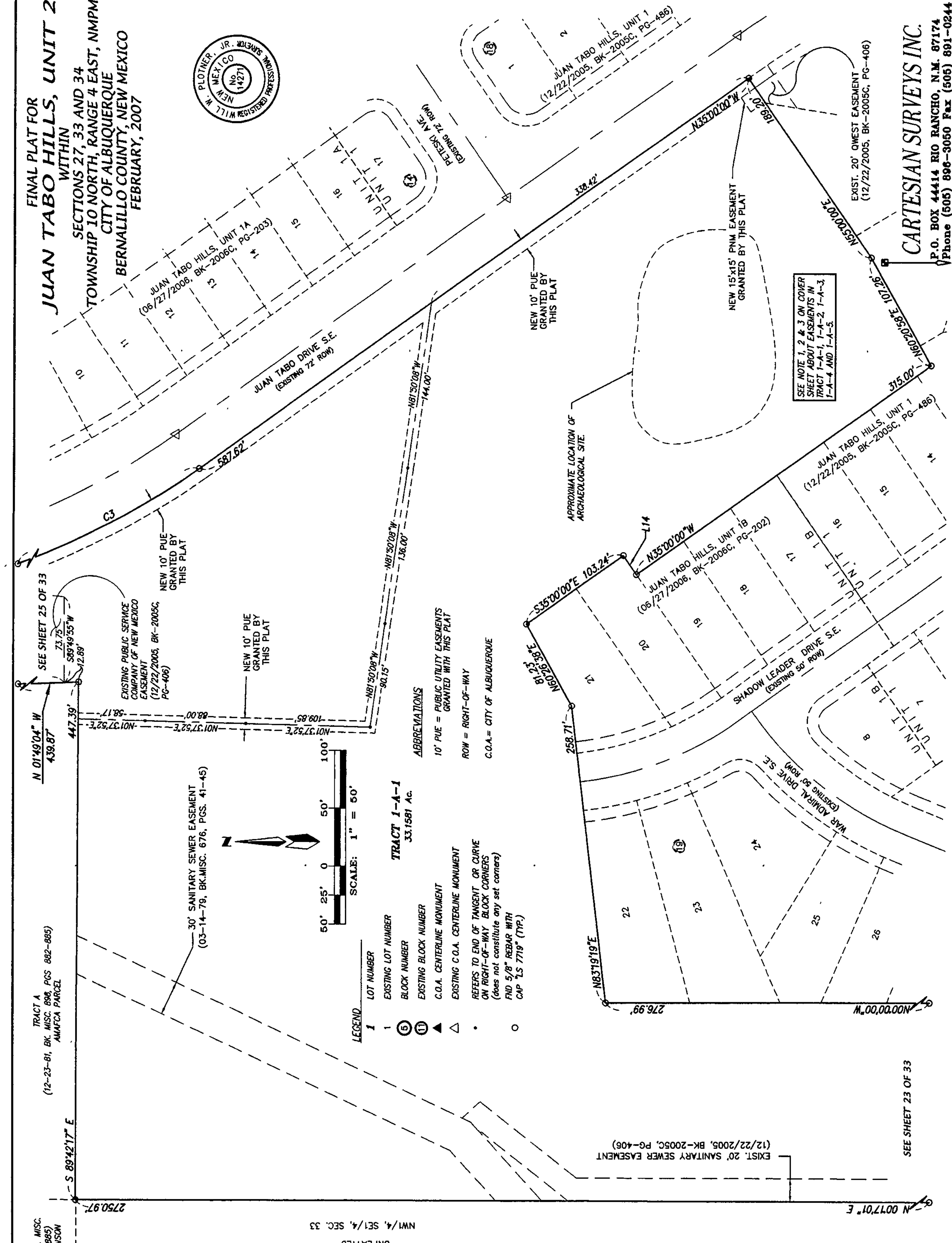


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Dwg: A05102_FP_01.dwg	Drawn: STEPHEN	Checked: WWP	Sheet 23 of 33
Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	

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**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2**
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007



LEGEND

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- ⑤ BLOCK NUMBER
- ⑪ EXISTING BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- △ EXISTING C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
- FND 5/8" REBAR WITH CAP "LS 7719" (TYP.)

ABBREVIATIONS

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- ROW = RIGHT-OF-WAY
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TRACT 1-A-1
33.1581 AC.

SCALE: 1" = 50'

30' SANITARY SEWER EASEMENT
(03-14-79, BK.MISC. 676, PGS. 41-45)

SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.

SEE SHEET 23 OF 33

CARTESIAN SURVEYS INC.

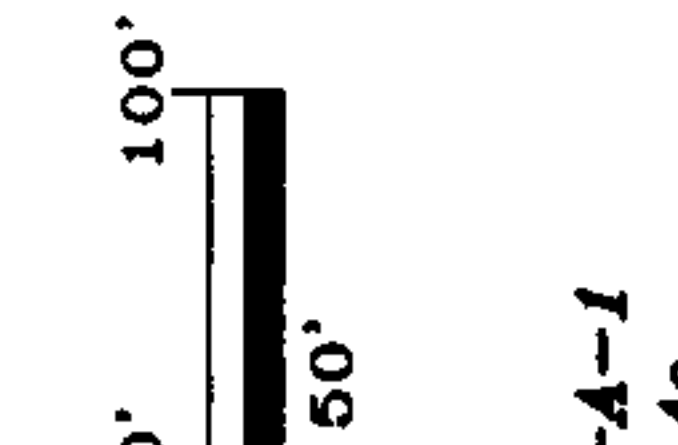
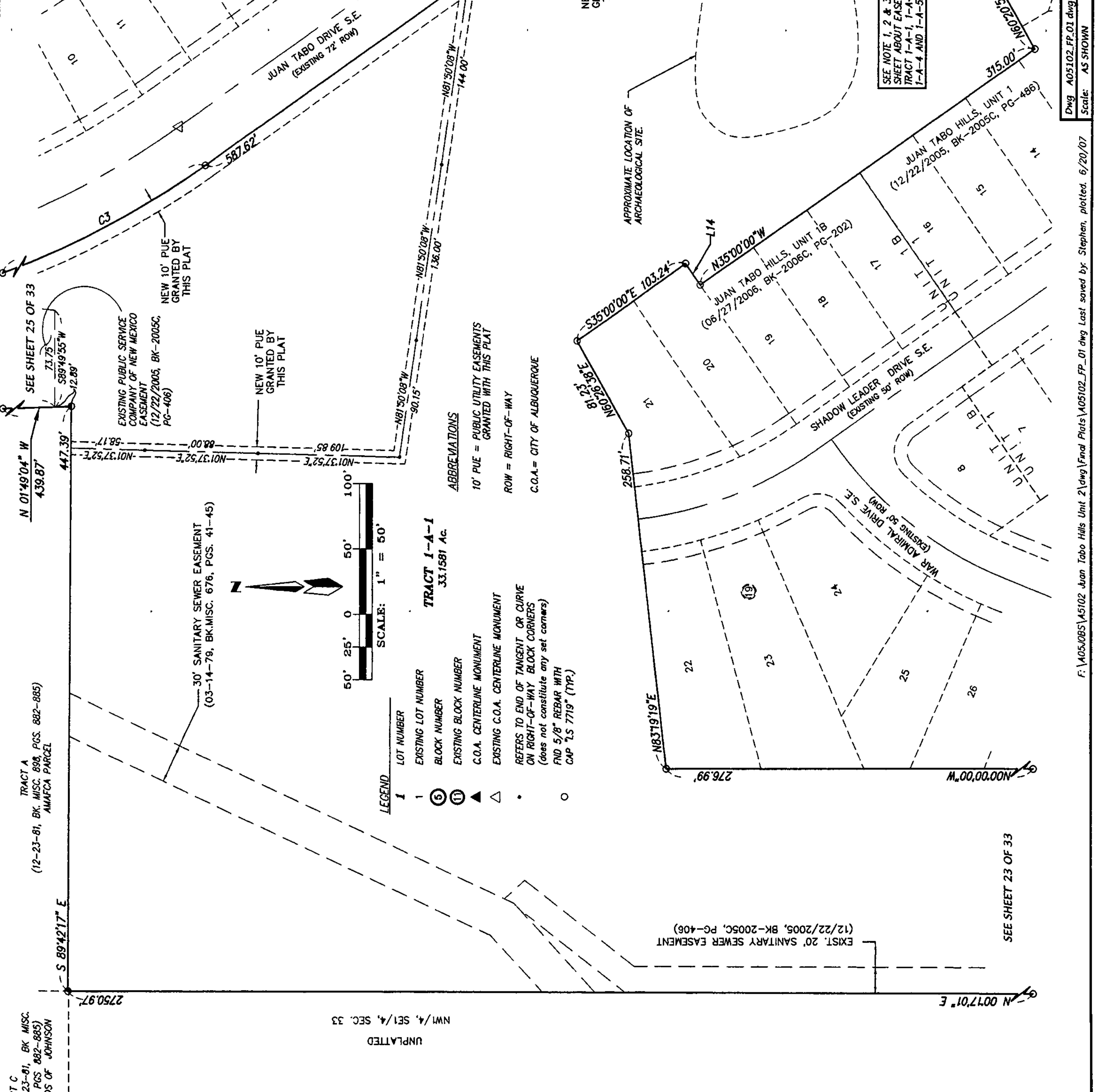
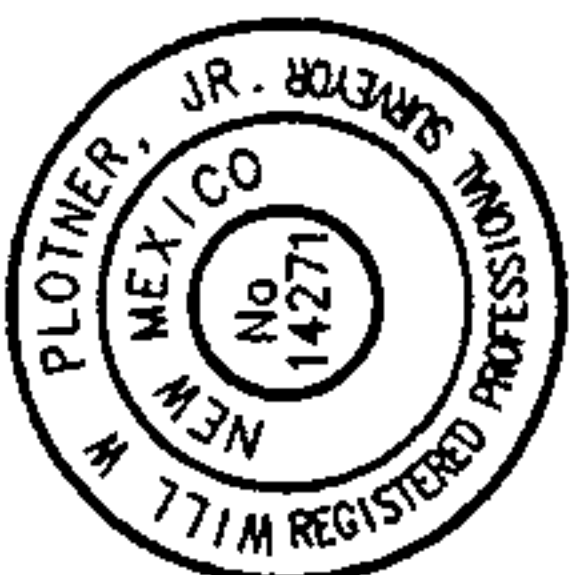
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Sheet 24 of 33

**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2**
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007



TRACT 1-A-1
33.1581 Ac.

- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - ⑥ BLOCK NUMBER
 - ⑪ EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
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UNPLATTED
NW1/4, SE1/4, SEC. 33

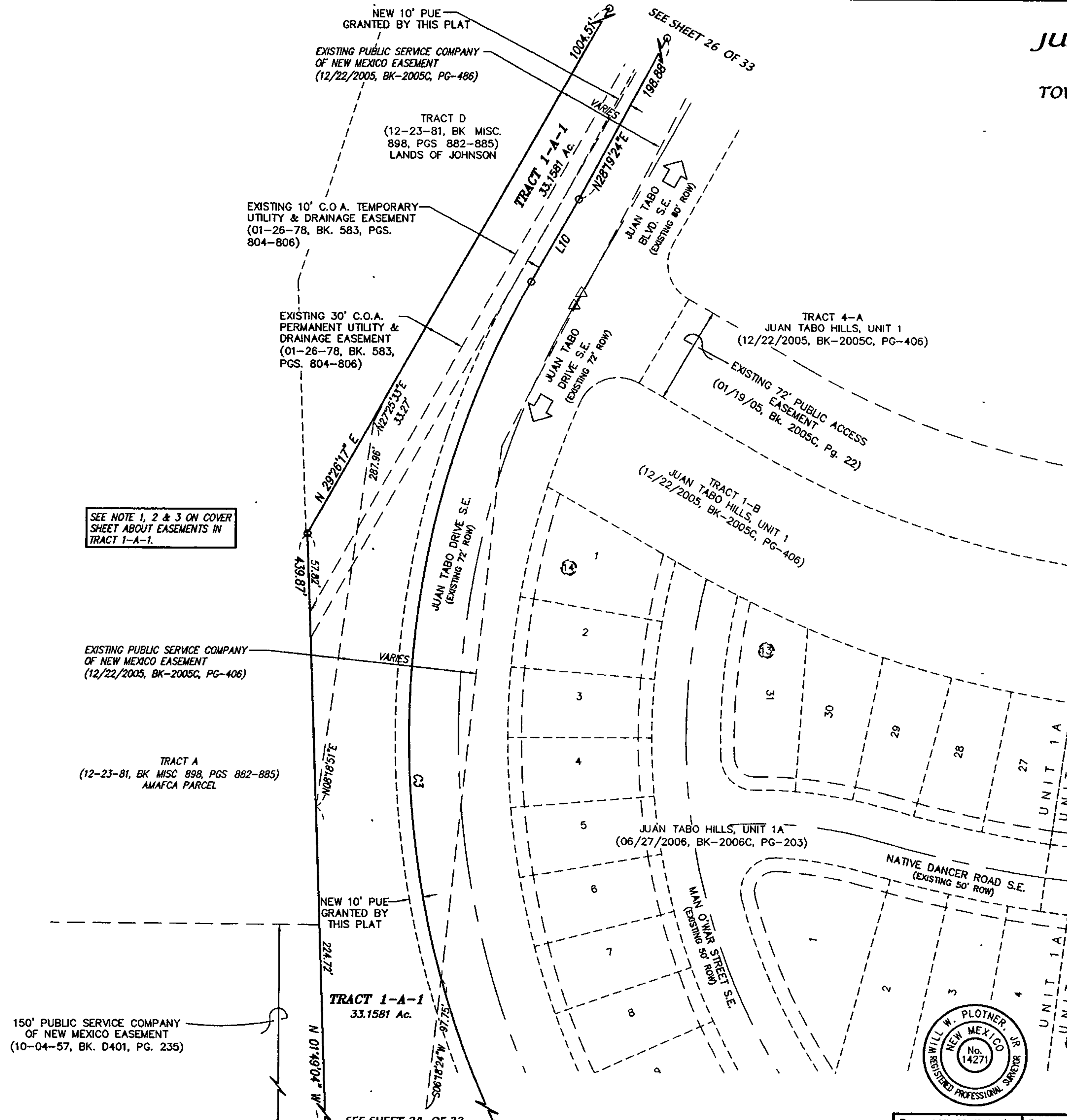
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Scale: AS SHOWN	Sheet 24 of 33			

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**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007**



LEGEND

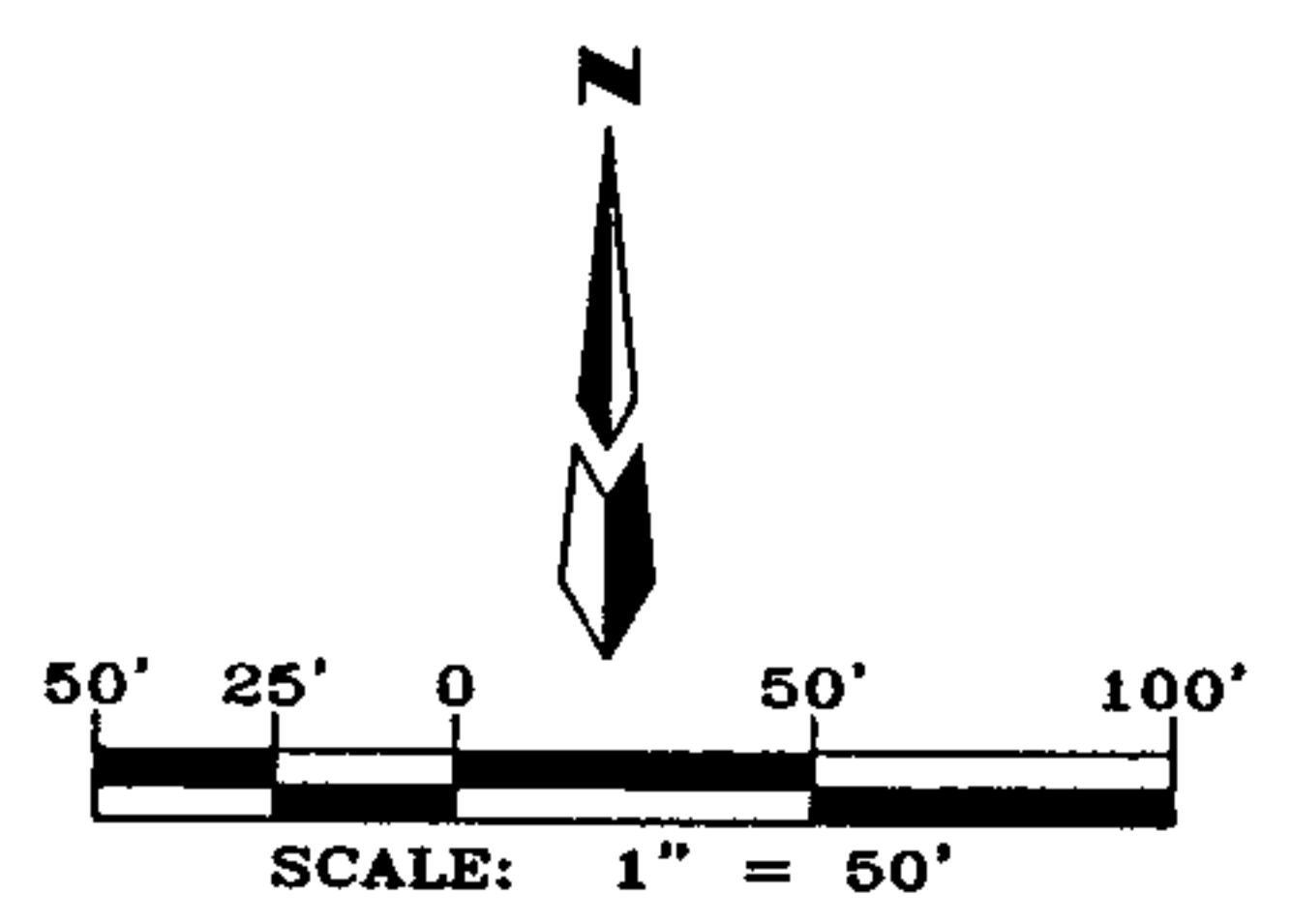
- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- ⑤ BLOCK NUMBER
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Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	

SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1.

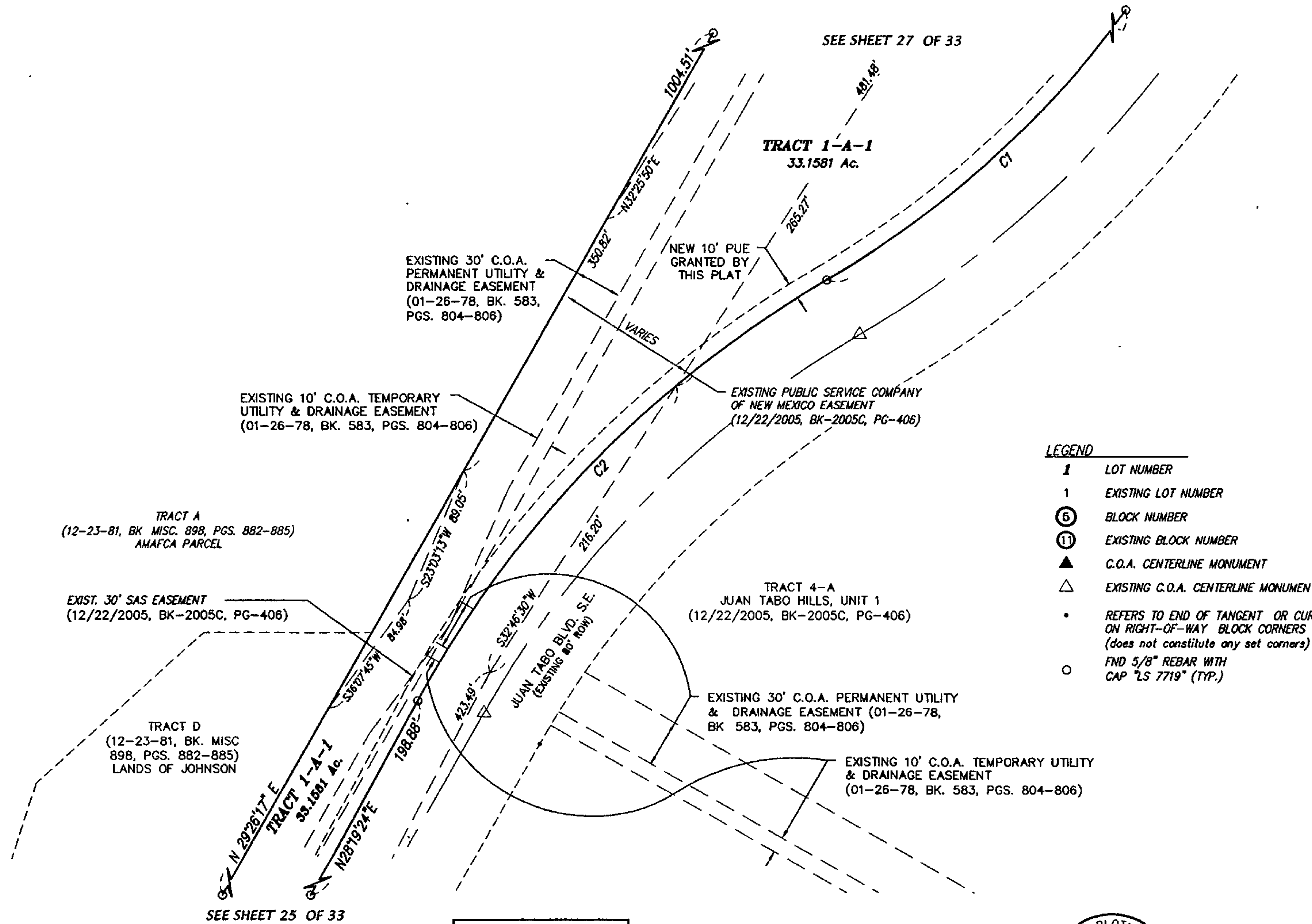
EXISTING PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (12/22/2005, BK-2005C, PG-406)

TRACT A (12-23-81, BK MISC 898, PGS 882-885) AMAFCA PARCEL

150' PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (10-04-57, BK. D401, PG. 235)

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FINAL PLAT FOR
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 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007



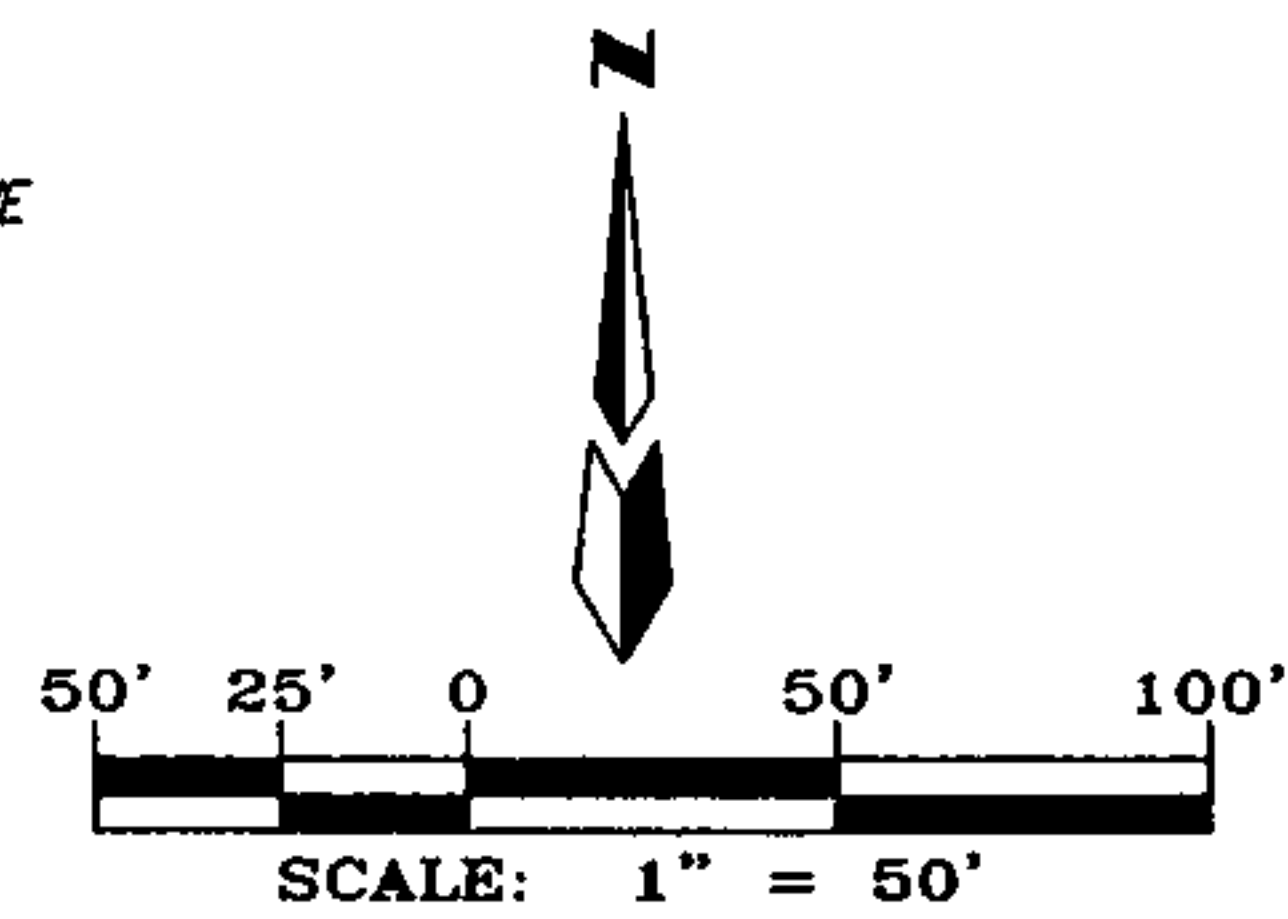
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 - 1 EXISTING LOT NUMBER
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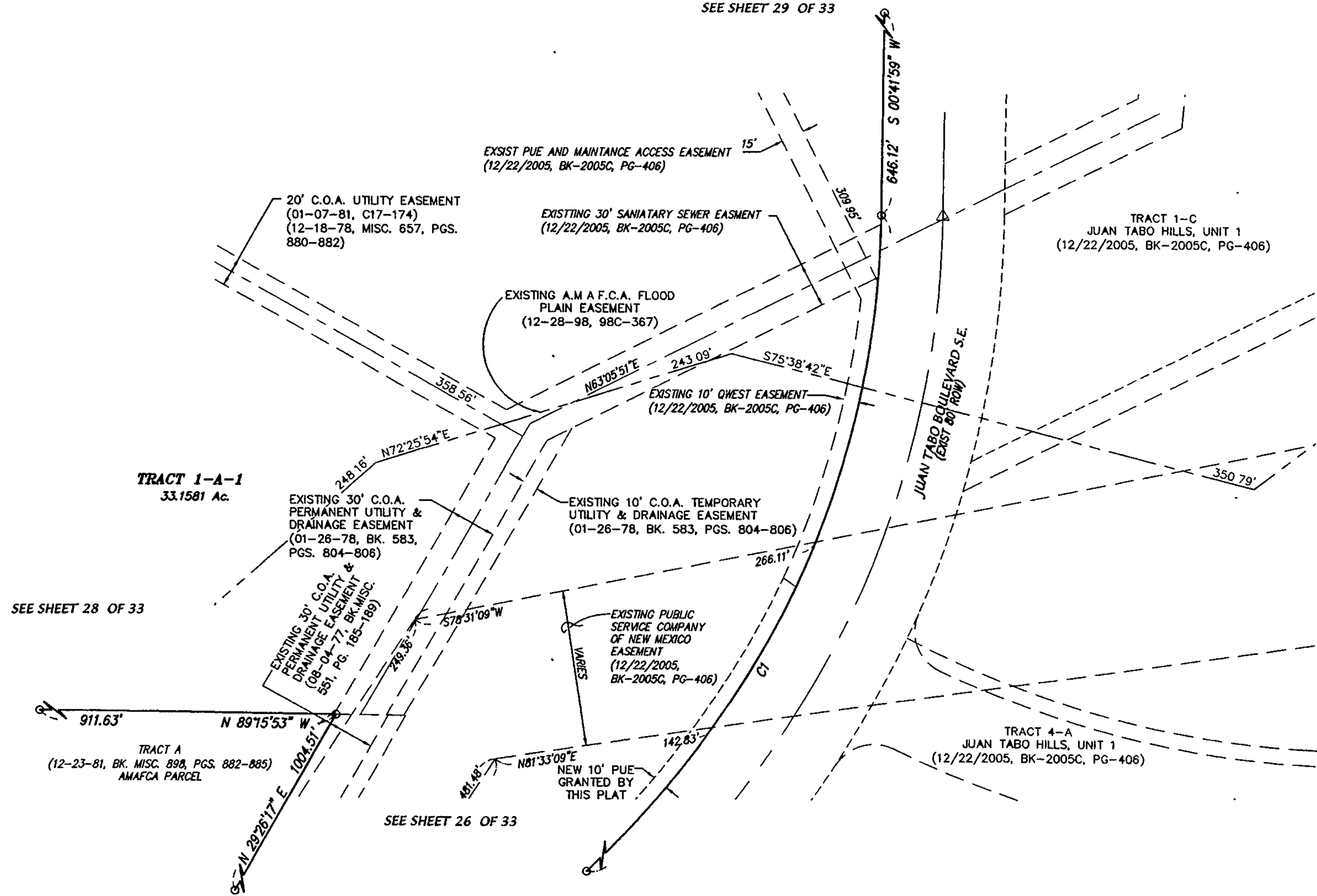
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Dwg. A05102_FP_01.dwg	Drawn: STEPHEN	Checked: WWP	Sheet 26 of 33
Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	

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**FINAL PLAT FOR
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SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007**

SEE SHEET 29 OF 33



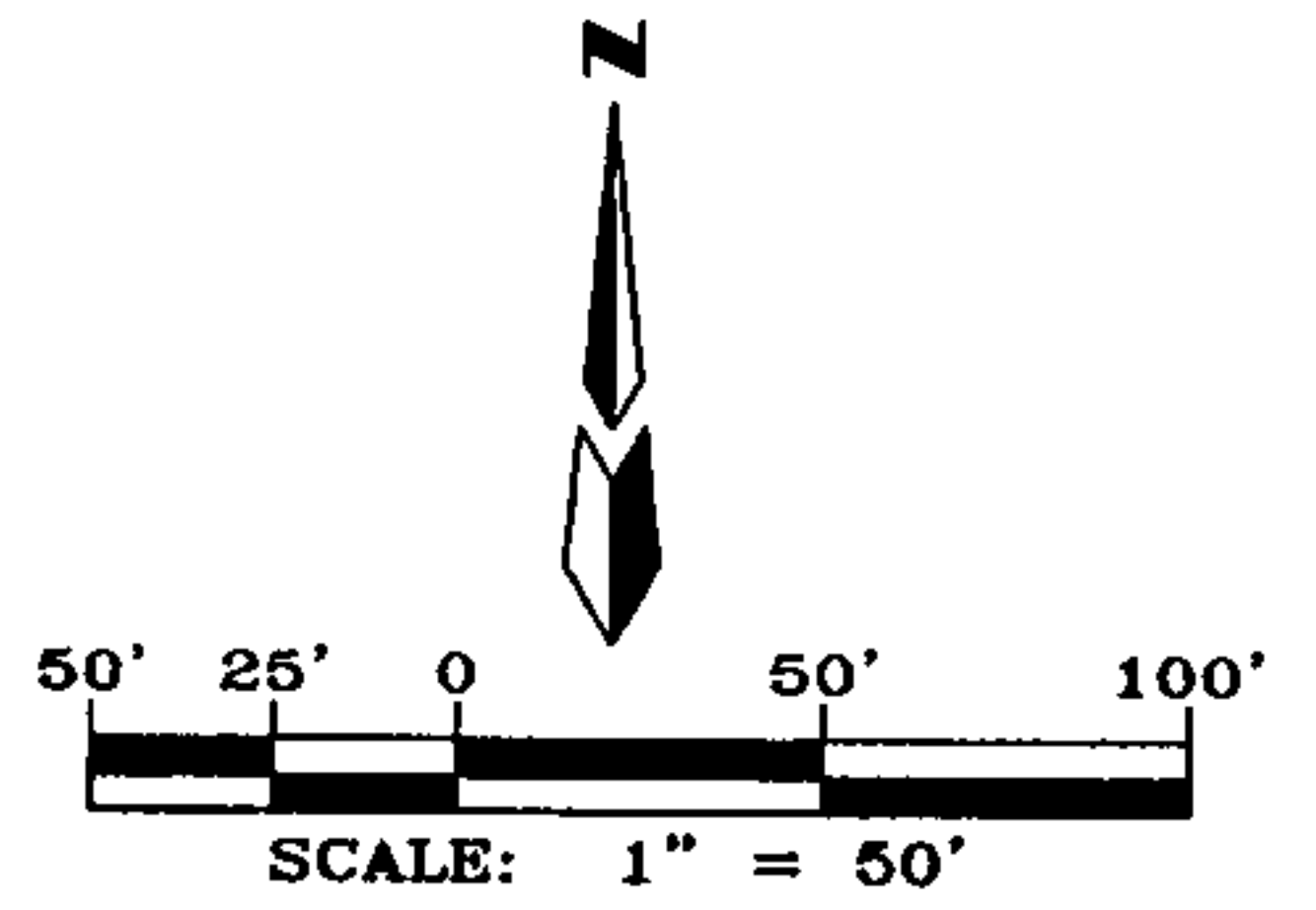
ABBREVIATIONS

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LEGEND

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- ⑤ BLOCK NUMBER
- ⑪ EXISTING BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- △ EXISTING C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
- FND 5/8" REBAR WITH CAP "LS 7719" (TYP.)



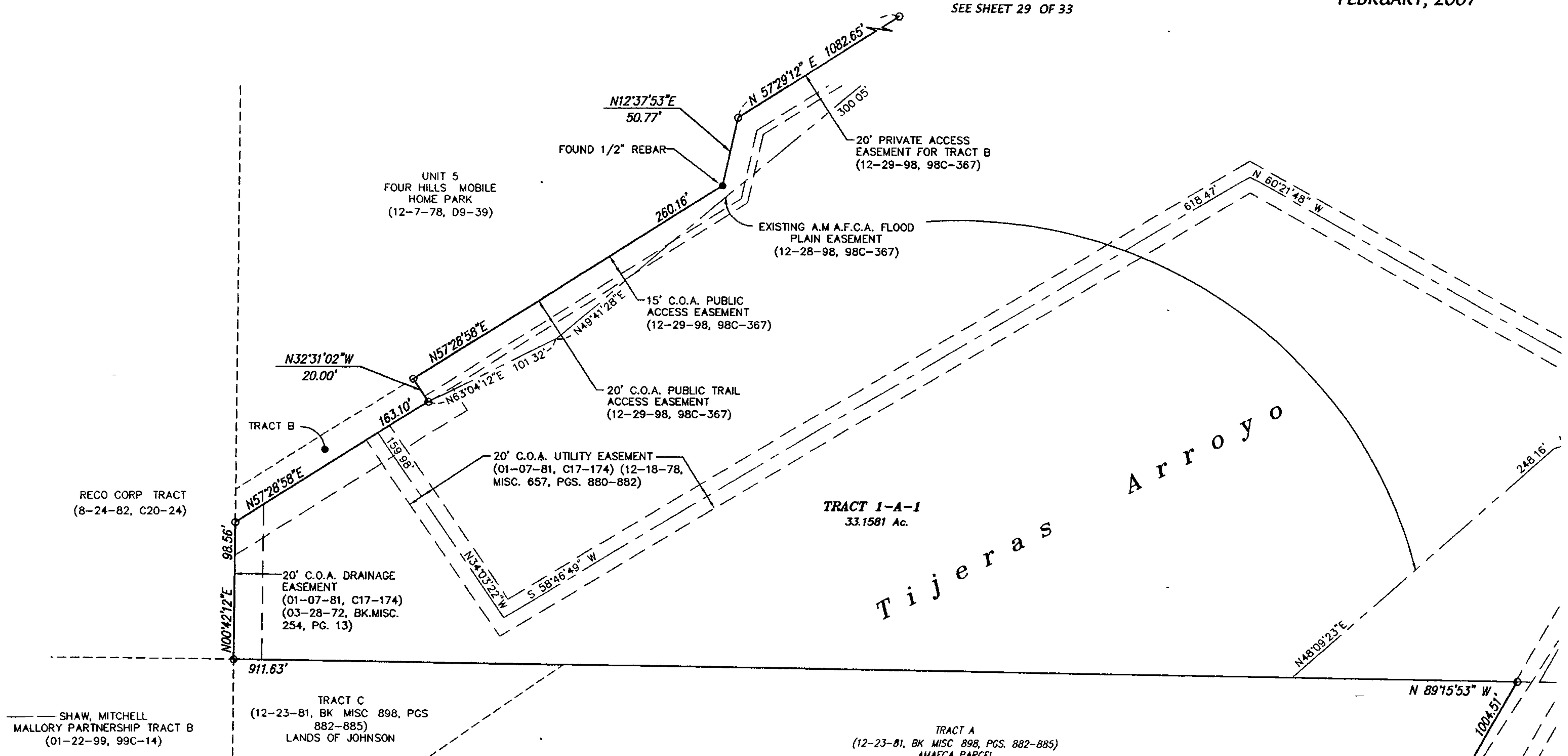
CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 898-3050 Fax (505) 891-0244

Dwg: A05102_FP_01.dwg	Drawn: STEPHEN	Checked: WWP	Sheet
Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	27 of 33

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FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007

SEE SHEET 29 OF 33



Tijeras Arroyo

SHAW, MITCHELL
 MALLORY PARTNERSHIP TRACT B
 (01-22-99, 99C-14)

- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - ⑤ BLOCK NUMBER
 - ① EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)
 - FND 5/8" REBAR WITH CAP "LS 7719" (TYP.)

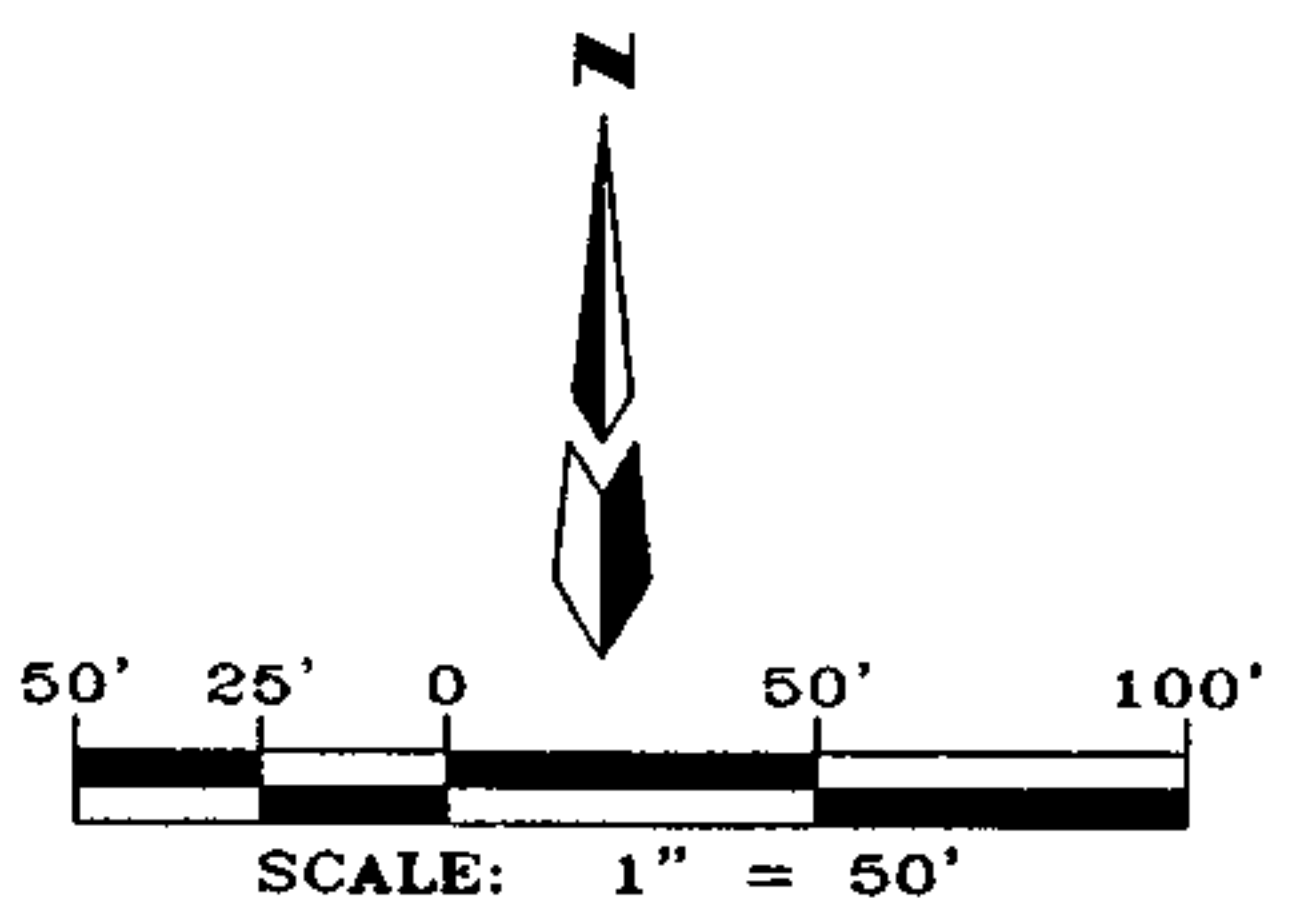
ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

C.O.A. = CITY OF ALBUQUERQUE

SEE NOTE 1, 2 & 3 ON COVER SHEET ABOUT EASEMENTS IN TRACT 1-A-1, 1-A-2, 1-A-3, 1-A-4 AND 1-A-5.



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 Phone (505) 896-3050 Fax (505) 891-0244

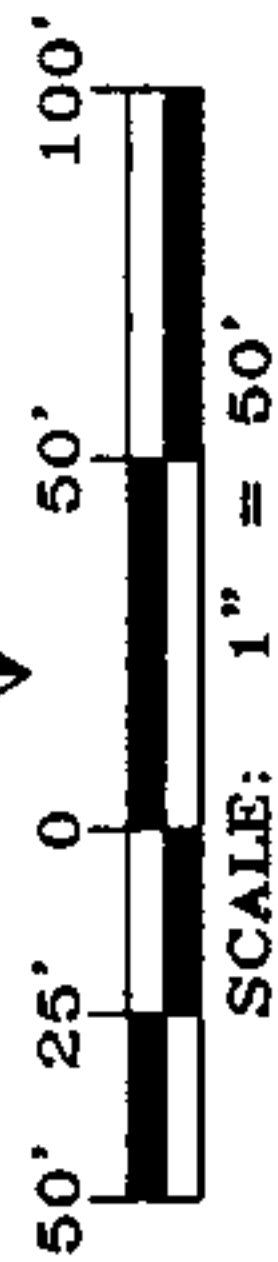
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Scale: AS SHOWN	Date: 1/25/2007	Job: A05102	

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FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2007

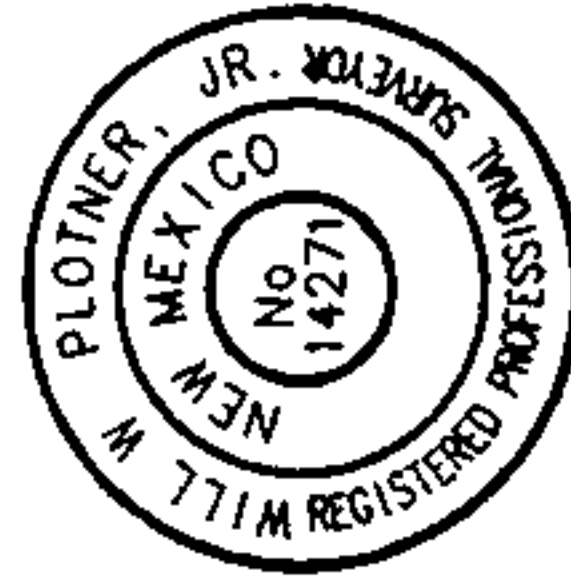
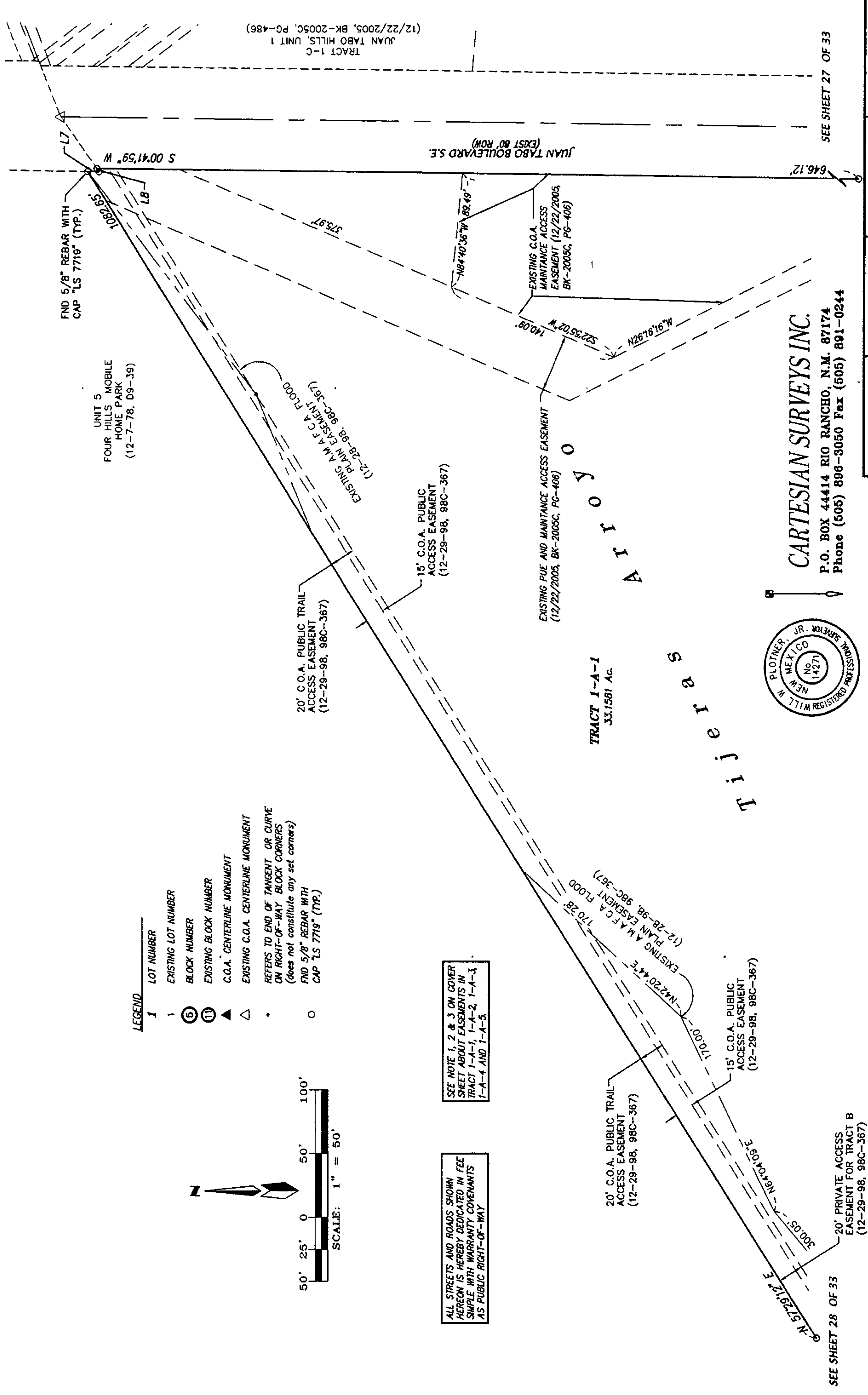
ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY
 C.O.A. = CITY OF ALBUQUERQUE

- LEGEND**
- 1 LOT NUMBER
 - 1 EXISTING LOT NUMBER
 - ⑤ BLOCK NUMBER
 - ⑪ EXISTING BLOCK NUMBER
 - ▲ C.O.A. CENTERLINE MONUMENT
 - △ EXISTING C.O.A. CENTERLINE MONUMENT
 - REFERS TO END OF TANGENT OR CURVE
 ON RIGHT-OF-WAY BLOCK CORNERS
 (does not constitute any set corners)
 - FND 5/8" REBAR WITH
 CAP "LS 7719" (TYP.)



ALL STREETS AND ROADS SHOWN
 HEREON IS HEREBY DEDICATED IN FEE
 SIMPLE WITH WARRANTY COVENANTS
 AS PUBLIC RIGHT-OF-WAY

SEE NOTE 1, 2 & 3 ON COVER
 SHEET ABOUT EASEMENTS IN
 TRACT 1-A-1, 1-A-2, 1-A-3,
 1-A-4 AND 1-A-5.

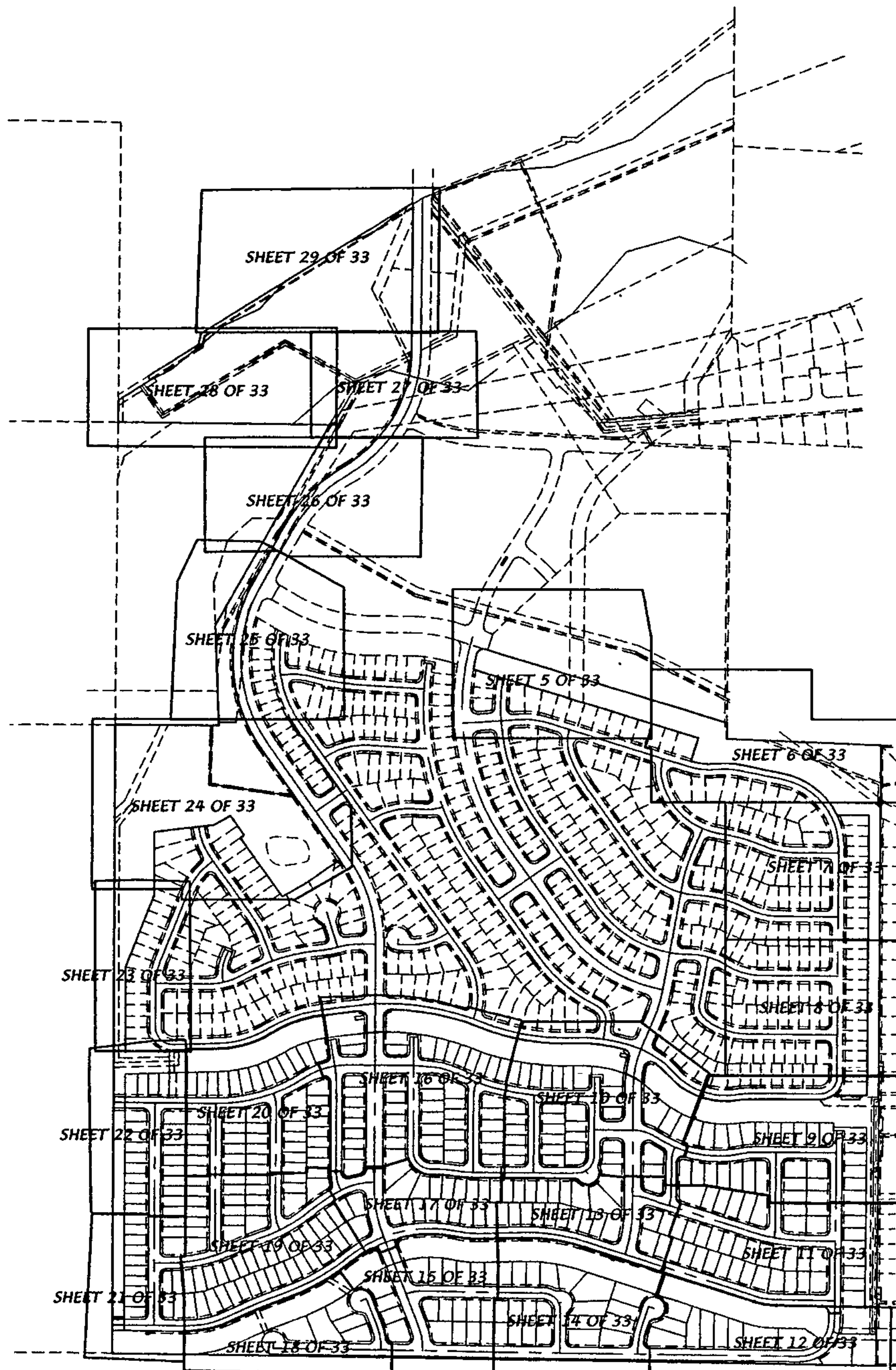
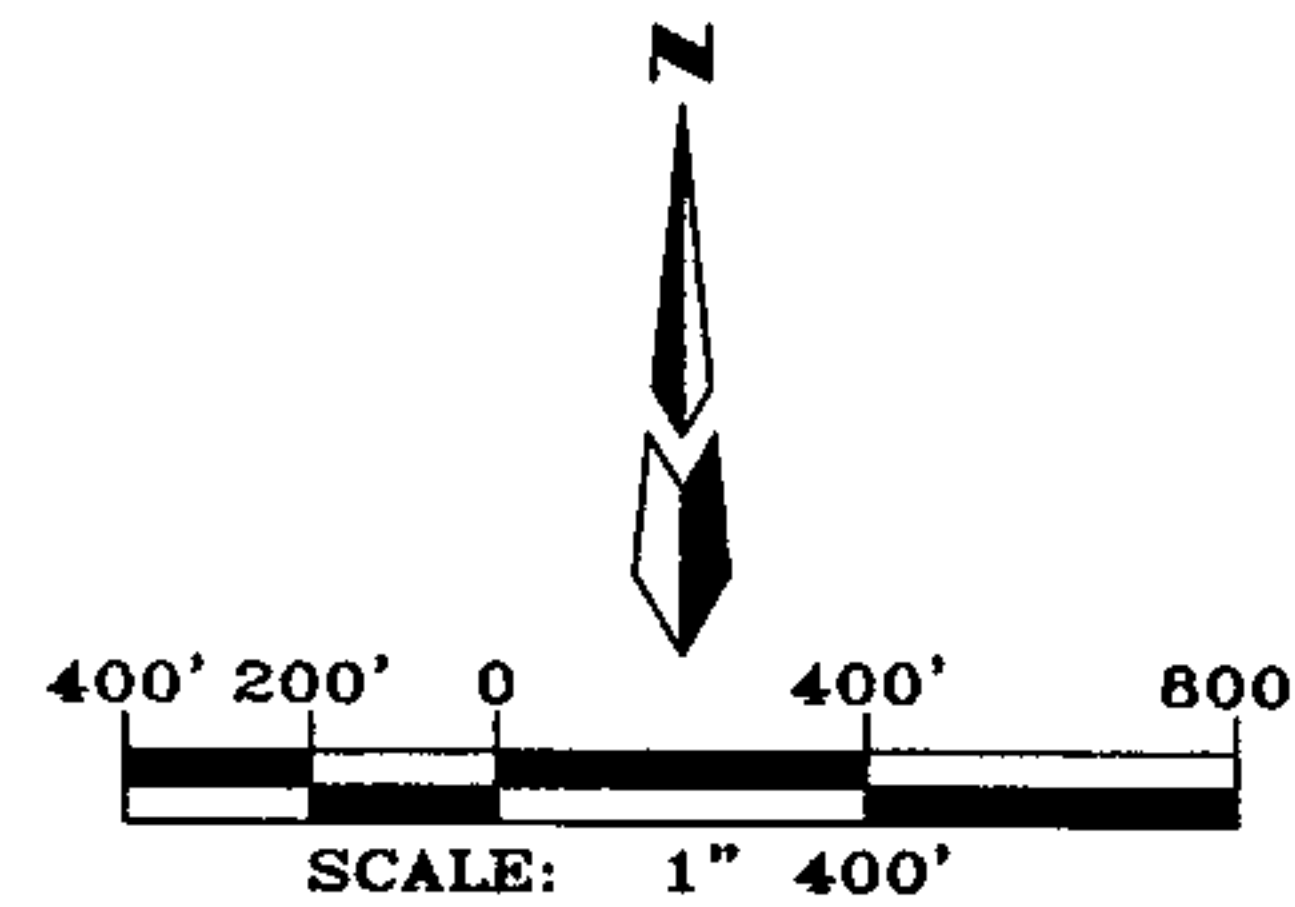


CARTESIAN SURVEYS INC.
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**FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2007**

SURVEY NOTES

- Bearings are New Mexico State Plane Grd Bearings (Central Zone).
- Distances are ground distances
- Bearings and Distances in Parenthesis are record
- Basis of boundary are the following plats and documents of record entitled
 - "JUAN TABO HILLS, UNIT 1B"
(06/27/2006, BK-2006C, PG-202)
 - "JUAN TABO HILLS, UNIT 1A"
(06/27/2006, BK-2006C, PG-203)
 - "JUAN TABO HILLS, UNIT 1"
(12/22/2005, BK-2005C, PG-406)
 - "BULK LAND PLAT FOR JUAN TABO HILLS"
(01-19-2005, BK-2005C, PG-22)
 - "FOUR HILLS VILLAGE 20TH INSTALLMENT, TRACTS A, B AND C"
(12-29-98, 98C-367)
 - "FOUR HILLS VILLAGE 20TH INSTALLMENT, UNIT 1"
(06-26-01, 01C-182)
 - "UNIT NO 1, 2, 3, 4 AND 5, FOUR HILLS MOBILE HOMES PARK"
(12-7-78, D9-39)
 - "FOUR HILLS VILLAGE 20TH INSTALLMENT, TRACTS A, B AND C"
(12-29-98, 98C-367)
 - "FOUR HILLS VILLAGE 16TH INSTALLMENT"
(03-01-73, D5-105)
 - "RESERVE AT FOUR HILLS SUBDIVISION"
(11-07-02, 02C-358)
 - "FOUR HILLS VILLAGE 10TH INSTALLMENT"
(02-22-72, D4-194)
 - "FOUR HILLS VILLAGE 9TH INSTALLMENT"
(09-30-71, C8-41)
 - "RESERVE AT FOUR HILLS SUBDIVISION"
(11-07-02, 02C-358)
 - "TIJERAS HEIGHTS"
(05-31-78, D8-139)
 - "AMAFCA PARCEL, TRACT A"
(12-09-93, 93S-112)
 - "SHAW, MITCHELL MARRORY PARTNERSHIP"
(01-22-99, 99C-14)
 - "QUITCLAIM DEED, RELEASE OF EASEMENT"
(04-11-03, A53-9238)
 - "CERTIFICATE OF SURVEY, TRACTS A, B, C & D" (PREPARED BY THOMAS MANN & ASSOC AND DATED 10-23-81)
Records of Bernalillo County, New Mexico
- Date of Survey December, 2003
- Title Report Provided By LandAmerica Albuquerque Title File No 247920 TD (Effective Date November 12, 2004) File No 248174 TD (Effective Date November 10, 2004)
- City of Albuquerque, New Mexico Zone R-D
- 100 Year Flood Zone Designation ZONE X, ZONE AE AND ZONE AO, flood depths of 1' and 3' as established by FEMA and shown on Panel 367 of 825, FLOOD INSURANCE RATE MAP dated September 20, 1996, City of Albuquerque, Bernalillo County, New Mexico (A portion of this property does lie within the 100 Year Flood Plain)



PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of

- The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services
- The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas
- Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures
- Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove or modify,

renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

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Scale: AS SHOWN	Date: 2/1/2007	Job: A05102	30 33

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 Scale: AS SHOWN
 Drawn: STEPHEN
 Date: 1/24/2007
 Checked: WWP
 Job: A05102
 Sheet 31 of 33

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	626.21	610.00	58.432°	343.19	N30°33'42"E	598.20
C2	374.54	690.00	31.060°	192.01	S43°52'25"W	369.96
C3	242.23	450.00	30.509°	124.13	N73°09'19"E	230.31
C4	239.72	550.00	24.582°	121.79	S70°31'51"W	237.83
C5	9.52	1050.00	0.3109°	4.76	S8°38'00"W	9.52
C6	50.82	300.00	9.7032°	33.94	N48°14'42"W	44.96
C7	72.16	950.00	4.2107°	36.10	S66°42'04"W	72.14
C8	47.32	300.00	9.0232°	30.20	S45°28'16"W	42.57
C9	395.29	1050.00	21.3412°	200.61	N28°33'22"W	392.96
C10	412.64	950.00	24.5313°	208.63	S80°12'52"E	409.40
C11	219.95	650.00	19.2318°	111.04	N82°37'49"W	218.91
C12	46.67	300.00	8.9074°	29.55	N28°42'16"W	42.10
C13	72.05	471.11	8.4544°	36.09	S17°28'46"W	71.98
C14	19.03	550.00	1.5936°	9.51	N62°12'53"W	19.03
C15	58.98	250.00	13.3102°	28.63	N60°42'54"W	58.84
C16	65.92	399.11	9.2747°	33.03	S07°57'21"W	65.84
C17	59.03	300.00	11.2441°	45.10	S69°33'21"W	49.96
C18	81.68	350.00	13.2216°	41.03	N47°53'24"W	81.49
C19	331.42	325.00	59.2541°	161.74	S20°25'06"E	317.25
C20	61.16	350.00	10.0045°	30.66	S65°22'26"W	61.08
C21	65.56	100.00	37.3356°	34.01	N71°35'50"E	64.40
C22	298.80	325.00	62.4035°	160.89	N51°55'54"W	288.38
C23	102.20	350.00	19.0170°	51.52	N67°16'41"W	101.78
C24	112.97	275.00	23.3217°	57.30	S84°31'02"E	112.18
C25	68.33	1004.16	3.5352°	34.18	S17°25'02"E	68.32
C26	49.16	300.00	9.3350°	32.11	S60°18'33"W	43.84
C27	296.06	550.00	30.5029°	151.71	N73°09'19"E	292.49
C28	196.13	450.00	24.5822°	99.65	S70°13'15"W	194.59
C29	30.14	950.00	1.4909°	15.07	S83°36'58"W	30.14
C30	387.19	950.00	23.2106°	196.32	N79°26'49"W	384.51
C31	222.75	550.00	24.5170°	112.91	N81°32'44"W	451.89
C32	55.64	250.00	12.4507°	27.84	N47°34'49"W	55.53
C33	433.40	425.00	59.2541°	231.90	S70°25'06"E	414.86
C34	43.69	250.00	10.0045°	21.90	S65°22'26"W	43.63
C35	97.26	350.00	17.0046°	49.00	S90°34'04"E	96.90
C36	272.59	800.00	19.3122°	137.63	N81°45'21"W	271.27
C37	104.48	450.00	13.1820°	52.48	S84°51'57"E	104.25
C38	334.96	950.00	20.1206°	162.24	N60°31'20"E	333.23
C39	245.41	2050.00	6.5133°	122.85	S87°11'37"W	245.26
C40	212.52	450.00	27.0331°	108.28	N77°17'36"E	210.55
C41	259.74	550.00	27.0331°	132.34	N77°17'36"E	257.34
C42	233.44	1950.00	6.5133°	118.86	S67°11'37"W	233.30
C43	370.22	1050.00	20.1206°	187.05	N60°31'20"E	368.30
C44	127.70	550.00	13.1820°	64.14	S84°51'57"E	127.41
C45	238.52	700.00	19.3122°	120.43	N81°45'21"W	237.36
C46	127.18	425.00	17.0046°	64.07	S84°51'57"E	126.71
C47	41.41	435.11	5.2710°	20.72	S03°00'36"W	41.39
C48	105.98	180.00	33.4708°	54.58	N72°58'39"E	104.46
C49	386.11	481.00	45.5332°	204.13	S75°58'39"E	375.82
C50	91.37	481.00	10.5303°	45.82	S81°25'24"E	91.24
C51	64.66	481.00	12.2113°	32.47	S84°12'12"W	64.56
C52	239.41	800.00	17.0046°	120.60	S80°34'04"E	238.51
C53	33.46	180.00	10.3859°	16.78	N05°49'47"E	33.41
C54	103.37	800.00	7.2413°	51.76	S75°41'47"E	103.30
C55	136.03	800.00	9.4434°	68.18	S84°16'10"E	135.87
C56	72.23	180.00	22.5933°	36.61	S17°46'47"W	71.75
C57	55.68	180.00	17.4319°	28.06	N09°08'40"E	55.45
C58	201.05	650.00	17.4319°	101.33	N09°08'40"E	200.25
C59	281.11	825.00	19.3122°	141.93	N07°45'21"W	279.75
C60	90.68	425.00	13.1820°	49.56	S84°51'57"E	98.45
C61	318.31	555.00	32.5136°	163.66	S75°06'12"W	481.05
C62	178.24	555.00	18.3013°	90.40	S59°40'23"W	178.46
C63	233.80	530.00	25.1632°	118.64	S29°08'52"W	231.91
C64	51.10	300.00	9.73507°	34.26	S27°43'03"W	45.14
C65	101.00	530.00	10.5306°	50.65	S55°32'50"W	100.84
C66	326.14	2925.00	6.5133°	164.78	N60°31'20"E	324.26
C67	200.71	425.00	27.0331°	102.26	N77°17'36"E	198.85
C68	210.57	430.00	28.0330°	107.44	S87°45'23"W	208.48
C69	102.83	430.00	13.4704°	51.66	S37°16'19"W	102.58

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C70	90.97	130.00	4.0535°	47.44	N20°33'02"E	89.12
C71	46.94	300.00	8.9384°	28.81	N44°19'04"W	42.30
C72	89.78	300.00	17.0046°	45.23	S80°34'04"E	89.44
C73	244.18	155.00	9.0154°	155.71	N45°38'10"E	219.71
C74	114.37	300.00	21.5034°	57.89	N10°09'14"W	113.69
C75	114.37	300.00	21.5034°	57.89	N10°09'14"W	113.69
C76	68.62	180.00	21.9034°	34.73	S79°50'46"W	68.21
C77	83.38	75.00	25.3000°	16.97	N11°58'57"W	33.10
C78	43.38	75.00	25.3000°	47.32	N65°58'57"W	80.04
C79	121.46	383.00	18.1011°	61.24	S08°55'14"W	120.95
C80	266.30	645.00	23.3920°	135.07	N78°27'21"E	264.41
C81	221.58	645.00	19.4100°	111.89	N80°26'30"E	220.50
C82	44.72	645.00	3.5820°	22.37	N88°36'50"E	44.71
C83	166.47	2337.00	4.0325°	82.77	S68°19'23"W	165.44
C84	78.71	180.00	6.5930°	39.40	N67°11'20"E	78.66
C85	150.82	645.00	13.2351°	75.76	N65°59'44"E	150.48
C86	82.25	180.00	19.2519°	41.85	S12°48'24"E	81.53
C87	62.60	180.00	13.2351°	31.62	S09°40'44"E	62.28
C88	169.94	817.00	11.5504°	85.28	S56°15'17"W	169.63
C89	3.54	817.00	0.1453°	1.77	S62°05'22"W	3.54
C90	166.40	817.00	11.4011°	83.49	S56°07'50"W	166.11
C91	146.97	180.00	28.0412°	74.99	S76°14'55"W	145.51
C92	88.33	180.00	28.0412°	45.61	S13°56'08"E	88.42
C93	221.30	599.00	21.2131°	112.96	S10°23'45"E	222.01
C94	412.74	700.00	33.4700°	212.57	N73°46'56"E	406.79
C95	7.57	700.00	0.3711°	3.79	S78°39'09"E	7.57
C96	254.07	700.00	20.4746°	128.45	N79°39'22"E	252.68
C97	151.10	700.00	12.2203°	75.84	N63°14'29"E	150.81
C98	65.13	180.00	20.4523°	32.92	N10°04'54"W	64.77
C99	88.48	525.00	9.3923°	44.35	N03°32'41"W	88.38
C100	198.16	340.00	33.2345°	101.98	S73°51'13"W	195.37
C101	57.30	340.00	9.3923°	28.72	S83°27'19"W	57.23
C102	140.86	340.00	23.4411°	71.45	S68°45'32"W	139.85
C103	54.44	650.00	4.1755°	27.24	N87°19'02"W	54.42
C104	38.40	650.00	3.2307°	19.21	N87°19'02"W	38.40
C105	16.04	650.00	1.2449°	8.02	N89°00'55"W	16.04
C106	31.24	196.00	9.0154°	15.65	N80°21'07"W	31.21
C107	74.95	1000.00	10.4409°	37.59	N70°25'05"W	74.84
C108	430.51	1000.00	4.5106°	42.36	S67°28'33"E	427.19
C109	84.88	1000.00	14.4450°	42.36	S67°28'33"E	84.65
C110	256.81	1000.00	14.4450°	129.11	S87°09'58"E	256.10
C111	89.03	1000.00	5.0603°	44.54	S87°09'58"E	89.00
C112	15.88	180.00	5.0613°	8.00	S02°49'37"W	15.98
C113	62.19	180.00	19.4746°	31.41	S10°10'54"W	61.88
C114	117.81	75.00	32.2930°	75.00	N45°17'01"E	106.07
C115	42.53	75.00	32.2930°	21.85	N70°02'15"E	41.96
C116	75.28	75.00	5.7303°	41.15	N28°29'19"E	72.16
C117	81.52	594.00	7.5147°	40.82	S85°47'06"E	81.45
C118	10.31	594.00	0.5939°	5.15	S89°13'10"E	10.31
C119	114.21	817.00	8.0033°	57.20	N68°51'29"W	114.11
C120	47.12	30.00	9.0000°	30.00	N45°17'01"E	42.43
C121	16.58	447.00	2.0733°	8.29	S89°13'14"W	16.58
C122	35.98	25.00	8.2281°	21.91	S50°36'27"E	32.96
C123	84.53	450.00	10.4445°	42.39	S77°19'33"W	84.40
C124	41.27	365.00	6.2840°	20.66	S71°47'48"W	41.25
C125	36.83	25.00	8.4243°	22.67	N32°49'53"E	33.59
C126	42.63	365.00	6.4131°	21.34	S65°12'42"W	42.61
C127	55.81	450.00	7.0823°	27.94	S68°23'29"W	50.32
C128	55.81	450.00	7.0823°	27.94	S68°23'29"W	50.32
C129	31.69	365.00	4.5831°	15.86	S59°22'41"W	31.68
C130	115.59	365.00	18.0842°	58.28	S85°57'47"W	115.11
C131	40.11	675.00	3.2415°	20.06	N60°37'34"E	40.10
C132	5.45	450.00	0.4138°	2.73	S58°04'53"W	5.45
C133	43.80	550.00	4.3347°	21.91	N54°04'40"E	43.79
C134	43.83	550.00	4.3357°	21.93	N68°38'32"E	43.82
C135	43.85	550.00	4.3405°	21.94	N77°16'33"E	43.84
C136	43.87	550.00	4.3412°	21.95	N77°46'41"E	43.86
C137	43.88	550.00	4.3416°	21.95	N82°20'55"E	43.87
C138	37.84	550.00	3.5629°	18.82	N88°36'18"E	37.83
C139	52.83	675.00	4.2904°	26.43	N65°59'31"E	52.82

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C140	52.83	675.00	4.2904°	26.43	N87°30'28"E	52.82
C141	52.83	675.00	4.2904°	26.43	N78°01'24"E	52.82
C142	52.83	675.00	4.2904°	26.43	N73°32'21"E	52.82
C143	52.83	675.00	4.2904°	26.43	N69°03'17"E	52.82
C144	52.83	675.00	4.2904°	26.43	N64°34'14"E	52.82
C145	16.96	67				

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING-	CH-DIST-
C231	43.69	670.00	344.09°	21.85	N7146.97E	43.69
C232	43.69	670.00	344.09°	21.85	N7531.05E	43.69
C233	43.69	670.00	344.09°	21.85	N7915.15E	43.69
C234	43.69	670.00	344.09°	21.85	N8299.24E	43.69
C235	43.69	670.00	344.09°	21.85	N8683.33E	43.69
C236	19.76	670.00	141.23°	9.88	N8928.19E	19.76
C237	276.62	25.00	90.0000°	25.00	S4517.01W	276.62
C238	39.03	25.00	89.2739°	24.77	S4426.49E	39.03
C239	55.86	400.00	81.006°	27.98	N8649.18E	55.86
C240	60.01	400.00	83.543°	30.06	N7831.24E	60.01
C241	63.71	400.00	90.733°	31.92	N6939.46E	63.71
C242	63.71	400.00	120.10°	4.66	N6428.55E	63.71
C243	8.33	400.00	22.0331°	96.25	N7717.36E	8.33
C244	189.90	400.00	0.5742°	17.62	S6414.42W	189.90
C245	35.25	2100.00	112.98°	22.29	S6533.00W	35.25
C246	44.57	2100.00	112.98°	22.29	S6745.56W	44.57
C247	44.57	2100.00	112.98°	22.29	S6858.56W	44.57
C248	44.57	2100.00	112.98°	22.29	S6972.56W	44.57
C249	44.57	2100.00	112.98°	22.29	S7086.56W	44.57
C250	37.85	2100.00	101.98°	18.83	S7200.56W	37.85
C251	251.40	2100.00	6.5133°	125.65	S6721.57W	251.40
C252	6.96	900.00	0.2638°	3.48	N7024.05E	6.96
C253	50.95	900.00	314.36°	25.48	N6833.29E	50.95
C254	50.95	900.00	314.36°	25.48	N6518.53E	50.95
C255	50.95	900.00	314.36°	25.48	N6204.17E	50.95
C256	50.95	900.00	314.36°	25.48	N5889.41E	50.95
C257	50.95	900.00	314.36°	25.48	N5574.65E	50.95
C258	51.44	900.00	316.29°	25.73	N5259.33E	51.44
C259	4.20	900.00	0.1620°	2.10	N5033.18E	4.20
C260	317.33	900.00	207.206°	160.33	N6031.20E	317.33
C261	39.29	560.00	332.92°	19.65	S5221.43W	39.29
C262	43.49	560.00	417.45°	21.75	S5627.01W	43.49
C263	43.58	560.00	418.17°	21.80	S6032.64W	43.58
C264	126.35	560.00	122.084°	63.43	S5639.44W	126.35
C265	41.64	30.00	79.3130°	24.86	N2308.26E	41.64
C266	68.34	635.00	6.0958°	34.20	S1332.20E	68.34
C267	146.72	635.00	131.417°	73.69	S1000.10E	146.72
C268	39.27	25.00	90.0000°	25.00	M4517.01E	39.27
C269	47.12	30.00	90.0000°	30.00	S4442.59E	47.12
C270	150.38	950.00	9.0411°	75.35	N8635.17W	150.38
C271	82.74	950.00	43.928°	41.40	N7933.29W	82.74
C272	53.54	950.00	313.45°	26.65	N7233.37W	53.54
C273	53.29	950.00	312.50°	26.65	N7233.37W	53.29
C274	47.24	950.00	230.56°	23.62	N6911.44W	47.24
C275	0.62	1050.00	0.0202°	0.31	S8747.17E	0.62
C276	45.77	1050.00	2.2931°	22.89	S8903.14E	45.77
C277	46.03	1050.00	2.3047°	23.02	S7133.31E	46.03
C278	44.63	1050.00	2.2670°	22.32	S7401.55E	44.63
C279	44.58	1050.00	2.2556°	22.29	S7275.8E	44.58
C280	44.56	1050.00	2.2553°	22.28	S7053.53E	44.56
C281	44.56	1050.00	2.2554°	22.28	S6831.43E	44.56
C282	44.64	1050.00	2.2509°	22.32	S6611.47E	44.64
C283	44.73	1050.00	2.2528°	22.51	S6386.05E	44.73
C284	45.02	1050.00	2.2723°	22.81	N6935.07E	45.02
C285	6.35	1050.00	0.2047°	3.17	N6730.55E	6.35
C286	72.42	550.00	7.3238°	36.26	N8833.09W	72.42
C287	150.31	550.00	15.3930°	75.63	N7717.05W	150.31
C288	39.27	25.00	90.0000°	25.00	N4517.01E	39.27
C289	12.39	975.00	0.4342°	6.20	S8921.08E	12.39
C290	50.14	975.00	2.3648°	25.08	S8730.53E	50.14
C291	50.14	975.00	2.3648°	25.08	S8534.05E	50.14
C292	50.14	975.00	2.3648°	25.08	S8337.17E	50.14
C293	50.14	975.00	2.3648°	25.08	S8131.29E	50.14
C294	50.14	975.00	2.3648°	25.08	S7925.41E	50.14
C295	50.14	975.00	2.3648°	25.08	S7719.53E	50.14
C296	50.14	975.00	2.3648°	25.08	S7513.65E	50.14
C297	47.30	975.00	2.4646°	23.65	S8955.05E	47.30
C298	44.92	975.00	2.3824°	22.47	S8712.29E	44.92
C299	14.26	975.00	0.5017°	7.13	S8528.09E	14.26
C300	419.75	975.00	24.3959°	213.18	S7723.00E	419.75
C301	35.92	425.00	4.5031°	17.97	N6728.16W	35.92
C302	42.95	425.00	5.4728°	21.49	N7247.15W	42.95
C303	0.77	425.00	0.0611°	0.38	N7344.04W	0.77
C304	78.64	425.00	10.4436°	39.83	N7025.05W	78.64
C305	35.22	221.00	9.0735°	17.65	N6021.07W	35.22

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING-	CH-DIST-
C306	37.18	25.00	89.1205°	22.99	S4219.02E	37.18
C307	54.74	471.11	6.3925°	27.40	S0346.11W	54.74
C308	1.30	471.11	0.0928°	0.65	S0021.45W	1.30
C309	56.03	471.11	6.4433°	28.05	S0341.27W	56.03
C310	47.12	30.00	90.0000°	30.00	M4517.01E	47.12
C311	39.27	25.00	90.0000°	25.00	S4442.59E	39.27
C312	18.01	375.00	2.4508°	9.01	N7424.35W	18.01
C313	52.25	375.00	7.5931°	26.17	N6902.31W	52.25
C314	70.27	375.00	10.4409°	33.24	N7025.05W	70.27
C315	41.58	171.00	13.5550°	20.89	N4445.04W	41.58
C316	39.27	25.00	90.0000°	25.00	S4442.59E	39.27
C317	78.67	50.00	90.0000°	50.13	S4447.22E	78.67
C318	57.91	842.00	3.5677°	28.97	N8753.32W	57.91
C319	59.79	842.00	4.0406°	29.91	N8531.15W	59.79
C320	117.70	842.00	8.0033°	58.95	N8331.29W	117.70
C321	14.88	569.00	1.2934°	7.44	S8236.09E	14.88
C322	42.05	25.00	96.2153°	27.94	N4827.57E	42.05
C323	26.79	205.00	7.2913°	13.41	S0401.37W	26.79
C324	32.83	25.00	75.1357°	18.26	N2950.45W	32.83
C325	43.15	1025.00	2.2443°	21.58	S6615.22E	43.15
C326	46.50	25.00	106.3447°	33.53	S5334.24W	46.50
C327	78.34	1025.00	4.2245°	38.19	S7519.35E	78.34
C328	81.57	1025.00	4.3334°	40.80	S7947.44E	81.57
C329	159.91	1025.00	8.5619°	80.12	S7756.22E	159.91
C330	35.94	25.00	82.2132°	21.87	N4053.46W	35.94
C331	39.27	25.00	90.0000°	25.00	M4517.01E	39.27
C332	39.27	25.00	90.0000°	25.00	S4442.59E	39.27
C333	38.68	1025.00	2.0844°	19.34	S8838.07E	38.68
C334	40.21	920.00	4.4222°	23.96	S4641.53W	40.21
C335	39.27	25.00	90.0000°	25.00	S4442.59E	39.27
C336	39.27	25.00	90.0000°	25.00	N4442.59W	39.27
C337	78.54	50.00	90.0000°	50.00	M4517.01E	78.54
C338	39.27	25.00	90.0000°	25.00	S4442.59E	39.27
C339	47.12	30.00	90.0000°	30.00	N4442.59W	47.12
C340	31.94	100.00	18.1802°	16.11	S0892.00E	31.94
C341	41.25	100.00	23.3408°	20.92	S2950.06E	41.25
C342	41.25	100.00	23.3408°	20.92	S3328.14E	41.25
C343	41.25	100.00	23.3408°	20.92	S3706.22E	41.25
C344	1.37	66.94	170.08°	0.68	S8917.52E	1.37
C345	157.06	100.00	89.5924°	99.98	S4442.42E	157.06
C346	53.75	792.00	3.5319°	26.89	N8756.17W	53.75
C347	57.23	792.00	4.0925°	28.63	N8555.25W	57.23
C348	110.98	792.00	8.0144°	55.58	N8352.04W	110.98
C349	46.43	619.00	16.3108°	24.22	S8405.39E	46.43
C350	36.53	619.00	3.2254°	18.27	S8801.33E	36.53
C351	84.95	619.00	7.5147°	42.94	S8507.06E	84.95
C352	21.43	25.00	49.0705°	11.42	N65109.27W	21.43
C353	46.34	50.00	53.0555°	24.98	S6708.52E	46.34
C354	34.70	50.00	39.4602°	18.08	N2639.08E	34.70
C355	26.95	50.00	30.5310°	13.81	N0840.28W	26.95
C356	142.70	50.00	163.3108°	345.25	N5738.31E	142.70
C357	19.84	25.00	45.2757°	10.47	S0233.05E	19.84
C358	2.05	100.00	1.1022°	1.02	N2045.43E	2.05
C359	34.72	100.00	19.5352°	17.54	N1034.6E	34.72
C360	7.64	614.00	0.4247°	3.82	N0038.24E	7.64
C361	18.68	614.00	1.4435°	9.34	N0752.05E	18.68
C362	105.68	614.00	9.3143°	52.97	N0740.14E	105.68
C363	132.00	614.00	12.1905°	66.26	N0626.31E	132.00
C364	49.85	30.00	95.2414°	32.97	N6018.12E	49.85
C365	25.61	686.00	2.0819°	12.80	N8355.25W	25.61
C366	49.57	686.00	4.0825°	24.80	N8355.25W	49.57
C367	49.70	686.00	4.1422°	24.86	N8355.25W	49.70
C368	20.23	686.00	1.4933°	10.11	S8900.39W	20.23
C369	48.84	850.00	3.7132°	24.43	N7338.28W	48.84
C370	48.84	850.00	3.7132°	24.43	N7555.58W	48.84
C371	48.84	850.00	3.7132°	24.43	N7772.87W	48.84
C372	48.84	850.00	3.7132°	24.43	N8013.30W	48.84
C373	48.84	850.00	3.7132°	24.43	N8358.31W	48.84
C374	48.84	850.00	3.7132°	24.43	N8703.30W	48.84
C375	48.84	850.00	3.7132°	24.43	N9048.30W	48.84
C376	48.84	850.00	3.7132°	24.43	N9393.30W	48.84
C377	48.84	850.00	3.7132°	24.43	N9738.30W	48.84
C378	48.84	850.00	3.7132°	24.43	N0083.30W	48.84
C379	48.84	850.00	3.7132°	24.43	N0428.30W	48.84
C380	289.63	850.00	19.3122°	146.23	N8145.21W	289.63
C381	23.39	400.00	3.5811°	12.70	S8941.57E	23.39

CURVE	LENGTH	RADIUS	DELTA
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FINAL PLAT FOR
JUAN TABO HILLS, UNIT 2
 WITHIN
 SECTIONS 27, 33 AND 34
 TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2007

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C456	53.68	825.00	3°43'42"	26.85	S77°35'14"E	53.67
C457	53.68	825.00	3°43'42"	26.85	S73°51'31"E	53.67
C458	246.89	825.00	17°08'46"	124.37	S80°34'04"E	245.97
C459	55.92	30.00	106°48'16"	40.40	S54°36'12"W	48.17
C460	66.33	686.00	5°32'25"	33.19	N03°58'16"E	66.31
C461	82.12	686.00	6°51'32"	41.11	N10°10'14"E	82.07
C462	148.45	686.00	12°23'36"	74.52	N07°24'02"E	148.16
C463	44.82	30.00	85°35'40"	27.78	S29°11'50"E	40.76
C464	41.15	275.00	8°34'23"	20.61	S76°16'52"E	41.11
C465	41.15	275.00	8°34'23"	20.61	S84°51'15"E	41.11
C466	82.30	275.00	17°08'46"	41.46	S80°34'04"E	81.99
C467	39.42	25.00	90°21'16"	25.16	N45°40'55"E	35.46
C468	151.86	50.00	174°01'14"	95.73	S02°13'20"E	99.86
C469	66.77	50.00	76°30'30"	39.42	N56°57'28"W	61.92
C470	218.63	50.00	250°31'44"	70.71	S36°01'55"W	81.65
C471	136.38	1950.00	4°00'26"	68.22	S65°46'03"W	136.35
C472	97.06	1950.00	2°51'07"	48.54	S69°11'49"W	97.05
C473	64.82	1050.00	3°32'14"	32.42	N68°51'16"E	64.81
C474	90.28	1050.00	4°55'35"	45.17	N64°37'21"E	90.25
C475	144.01	1050.00	7°51'30"	72.12	N58°13'49"E	143.90
C476	71.10	1050.00	3°52'47"	35.56	N52°21'40"E	71.09
C477	44.30	25.00	101°32'13"	30.62	N39°59'56"E	38.73
C478	49.46	275.00	10°18'21"	24.80	N15°55'20"W	49.40
C479	30.77	25.00	70°31'44"	17.68	N56°20'23"W	28.87
C480	13.98	50.00	16°01'07"	7.04	S83°35'41"E	13.93
C481	119.10	50.00	136°28'53"	125.27	S07°20'41"E	92.87
C482	85.55	50.00	98°01'44"	57.55	N20°05'23"W	75.49
C483	218.63	50.00	250°31'44"	70.71	S33°39'37"W	81.65
C484	16.50	325.00	2°54'31"	8.25	N19°37'15"W	16.50
C485	60.81	325.00	10°43'15"	30.50	N12°48'22"W	60.72
C486	77.31	325.00	13°37'46"	38.84	N14°15'38"W	77.13
C487	35.69	25.00	81°47'12"	21.65	S48°20'21"E	32.73
C488	54.24	30.00	103°35'39"	38.12	N38°58'14"E	47.15
C489	38.01	264.00	8°14'55"	19.04	N16°57'03"W	37.97
C490	78.54	50.00	90°00'00"	50.00	N44°13'57"W	70.71
C491	58.56	30.00	111°50'34"	44.35	S34°50'46"W	49.70
C492	77.41	336.00	13°12'00"	38.88	N14°28'31"W	77.24
C493	42.60	30.00	81°21'26"	25.78	S48°33'14"E	39.11
C494	39.27	25.00	90°00'00"	25.00	N45°46'03"E	35.36
C495	38.58	30.00	73°41'20"	22.48	S57°55'11"E	35.98
C496	19.79	205.00	5°31'54"	9.90	S88°00'06"W	19.78
C497	50.01	100.00	28°39'12"	25.54	N74°54'21"W	49.49
C498	18.14	25.00	41°34'57"	9.49	S81°22'13"E	17.75
C499	5.32	50.00	6°05'38"	2.66	S80°53'07"W	5.32
C500	41.03	50.00	47°01'18"	21.75	N72°33'24"W	39.89
C501	41.03	50.00	47°01'18"	21.75	N25°32'06"W	39.89
C502	46.01	50.00	52°43'15"	24.78	N24°20'10"E	44.40
C503	133.39	50.00	152°51'29"	207.13	N25°43'57"W	97.21
C504	20.99	25.00	48°05'41"	11.16	S26°38'56"W	20.37
C505	0.80	25.00	1°50'02"	0.40	S01°41'04"W	0.80
C506	21.79	25.00	49°55'44"	11.64	S25°43'55"W	21.10
C507	39.27	25.00	90°00'00"	25.00	S44°13'57"E	35.36
C508	55.72	550.00	5°48'16"	27.88	S08°12'39"W	55.69
C509	61.75	550.00	6°25'59"	30.91	S14°19'47"W	61.72
C510	4.41	550.00	0°27'33"	2.20	S17°46'33"W	4.41
C511	90.11	700.00	7°22'33"	45.12	N75°40'57"W	90.05
C512	71.93	700.00	5°53'15"	36.00	N82°18'51"W	71.90
C513	60.04	700.00	4°54'51"	30.04	N87°42'54"W	60.02
C514	16.44	700.00	1°20'43"	8.22	S89°09'19"W	16.44
C515	39.26	550.00	4°05'25"	19.64	S89°28'20"E	39.26
C516	60.25	550.00	6°16'37"	30.16	S84°17'19"E	60.22
C517	28.18	550.00	2°56'08"	14.09	S79°40'56"E	28.18
C518	32.61	430.00	4°20'42"	16.31	N80°23'13"W	32.60
C519	60.11	430.00	8°00'36"	30.11	N86°33'52"W	60.07
C520	117.85	430.00	15°42'12"	59.30	S81°34'44"W	117.48
C521	57.54	550.00	5°59'39"	28.80	S15°00'30"W	57.51
C522	64.34	550.00	6°42'09"	32.21	S08°39'36"W	64.30
C523	36.74	25.00	84°11'51"	22.59	N48°40'05"E	33.52
C524	38.75	408.00	5°26'31"	19.39	S09°17'25"W	38.74
C525	42.88	408.00	5°59'39"	21.36	S15°00'30"W	42.67
C526	81.44	408.00	11°26'10"	40.85	S12°17'15"W	81.30
C527	78.54	50.00	90°00'00"	50.00	S63°00'20"W	70.71
C528	97.82	50.00	112°05'21"	74.25	N15°57'00"W	82.95
C529	42.27	50.00	48°26'23"	22.49	N64°18'52"E	41.02
C530	218.63	50.00	250°31'44"	70.71	N36°43'49"W	81.65

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C531	30.77	25.00	70°31'44"	17.68	S53°16'11"W	28.87
C532	60.51	358.00	9°41'05"	30.33	S13°09'47"W	60.44
C533	42.57	25.00	97°33'11"	28.53	S40°27'22"E	37.61
C534	113.83	130.00	50°10'11"	60.85	N65°40'57"E	110.23
C535	204.80	130.00	90°15'46"	130.60	N45°38'10"E	184.27
C536	89.98	180.00	28°38'35"	45.95	N78°26'45"E	89.05
C537	97.74	180.00	31°06'45"	50.11	N46°34'06"E	96.55
C538	41.62	180.00	13°14'57"	20.90	N24°23'15"E	41.53
C539	54.22	180.00	17°15'29"	27.32	N09°08'02"E	54.01
C540	283.57	180.00	90°15'46"	180.83	N45°38'10"E	255.14
C541	15.58	100.00	8°55'29"	7.80	S76°18'51"E	15.56
C542	15.21	100.00	8°42'59"	7.62	S85°08'05"E	15.20
C543	30.79	100.00	17°38'28"	15.52	S80°40'20"E	30.67
C544	13.86	25.00	31°46'09"	7.11	S89°34'24"W	13.68
C545	32.36	375.00	4°56'38"	16.19	S71°16'15"W	32.35

LINE TABLE		
LINE	BEARING	LENGTH
L7	S00°39'44"W	8.73
L8	N54°55'30"E	2.91
L39	S68°55'29"W	25.00
L40	N00°46'03"E	25.00
L41	S65°16'03"W	10.00
L42	N71°59'40"W	25.00
L43	N84°55'04"W	52.70
L44	N32°12'30"W	15.00
L45	N80°37'37"E	38.00
L46	S89°42'59"E	38.00
L47	S89°42'59"E	38.00
L48	N89°42'59"W	24.46
L49	S89°29'43"E	38.00
L50	N22°40'11"W	12.25
L51	N57°33'51"W	11.13
L53	S35°21'22"E	39.00
L54	S18°00'20"W	10.00
L55	N71°51'06"W	9.48
L56	N89°35'41"W	18.40
L57	S89°37'12"E	20.00



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Claire

ORIGINAL

INFRASTRUCTURE LIST

(Rev 9-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

JUAN TABO HILLS, UNIT 2

~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

Tracts 6 & 7, Juan Tabo Hills, Unit 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	Private P.E.	City Cnst Engineer
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	West Pl	Juan Tabo	/	/	/
		4'	Sidewalk (N Side)*						
		10'	Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Timonium	Salvator	/	/	/
		4'	Sidewalk (N Side)*						
		10'	Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Pocono	Juan Tabo	Timonium	/	/	/
		6'	Sidewalk (N Side)*						
		10'	Trail in Open Space (S Side)						
		32' FF	Res Pvmt C & G (Both Sides)	Maywood	Pocono	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Ferndale	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Thistledown	Maywood	Juan Tabo Dr	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Northlands	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt C & G (Both Sides)	Fonner	Blue Ribbon	Harrington	/	/	/
		4'	Sidewalk (Both Sides)*						

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing.
The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:	Approval of Creditable Items:
Impact Fee Administrator Signature Date	City User Dept. Signature Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- * Sidewalks to be deferred
- 1 Water Infrastructure to include valves, fittings, and firehydrants
- 2 SAS Infrastructure to include manholes and service connections
- 3 Storm Drain Infrastructure to include Manhole and inlets
- 4 Street lights per DPM
- 5 Grading and Drainage certification required per DPM (prior to Release of financial guaranty) to include walls as defined on the approved Grading Plan
- 6 Landscaping is Required for Public Roadways
- 7 Landscape Maintenance Agreement between City of Albuquerque and Home Owners Association for landscaping in City of Albuquerque Right-of-Way
- 8 **SIGNAGE PER DRC**

AGENT / OWNER

Gregory J. Krenik
NAME (print)

Mark Goodwin & Associates
FIRM

[Signature]
7-12-06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7/12/06 DRB CHAIR - date
[Signature] 7/12/06 Christina Landoval PARKS & GENERAL RECREATION - date

[Signature] 7-12-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/12/06
UTILITY DEVELOPMENT - date

[Signature] 7/12/06
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
△	11-30-06	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JTH, LLC PHONE: 892-5533
 ADDRESS: PO Box 1443 FAX: _____
 CITY: Corrales STATE NM ZIP 87048 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Mark Goodwin & Associates, PA PHONE: 828-2200
 ADDRESS: PO Box 90606 FAX: 797-9539
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: grace.goodwin@engineers.com

DESCRIPTION OF REQUEST: Site Plan for Subdivision for Juan Tabo Hills, Unit 2

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 6 & 7 Block: _____ Unit: 1
 Subdiv. / Addn. Juan Tabo Hills
 Current Zoning: RD Proposed zoning: same
 Zone Atlas page(s): M21 & M22 No. of existing lots: 3 No. of proposed lots: 399 + 5 Tracts
 Total area of site (acres): 82.9917 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 102205512544020127, 102205509913830116 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Juan Tabo Blvd SE
 Between: Eubank Blvd SE and Four Hills Road SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1004073
1004715

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: 29
 SIGNATURE [Signature] DATE 6-29-06
 (Print) Gregory J. Krenik, PE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB-00938</u>	<u>SFS</u>	<u>P(3)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CME</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>07/12/06</u>			Total <u>\$ 405.00</u>

Sandy Standley 06/29/06 Project # 1004715

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Gregory J. Brenik, PE ²⁹
 Applicant name (print)
[Signature] 6-8-06
 Applicant signature / date

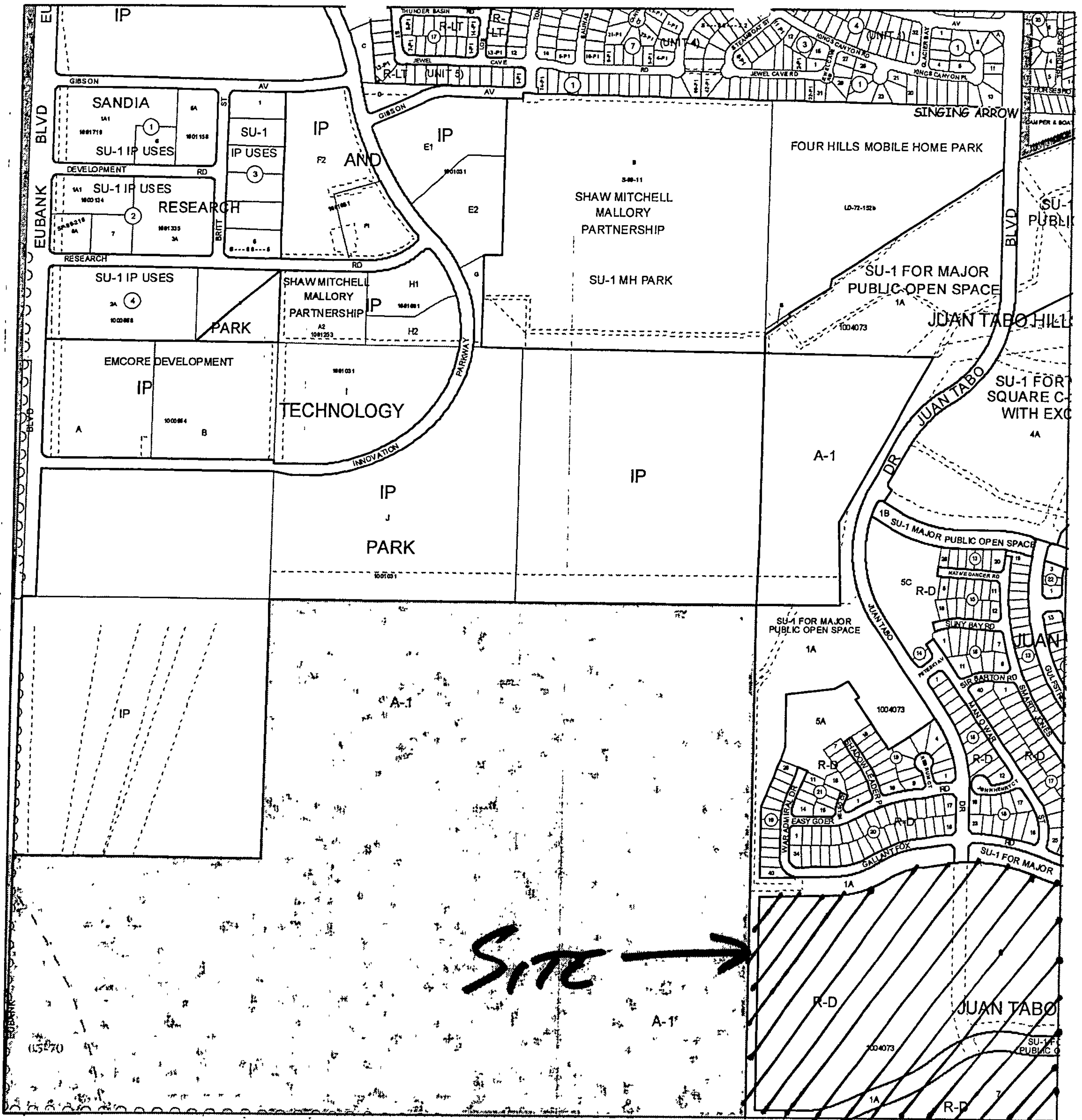


Form revised JUNE 2005

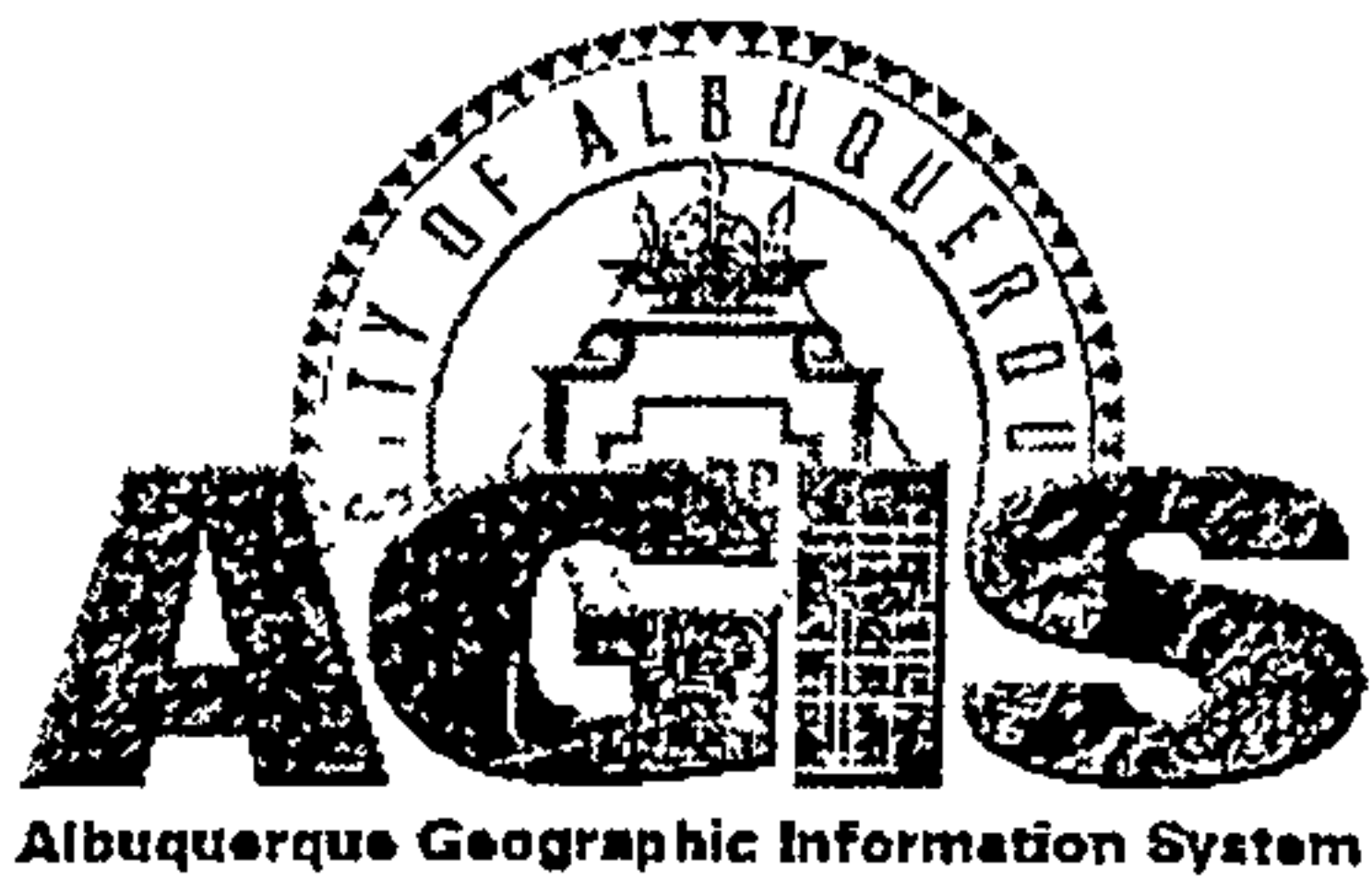
- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers:
06DRB - 00938

Sandy Handley 06/29/06
 Planner signature / date

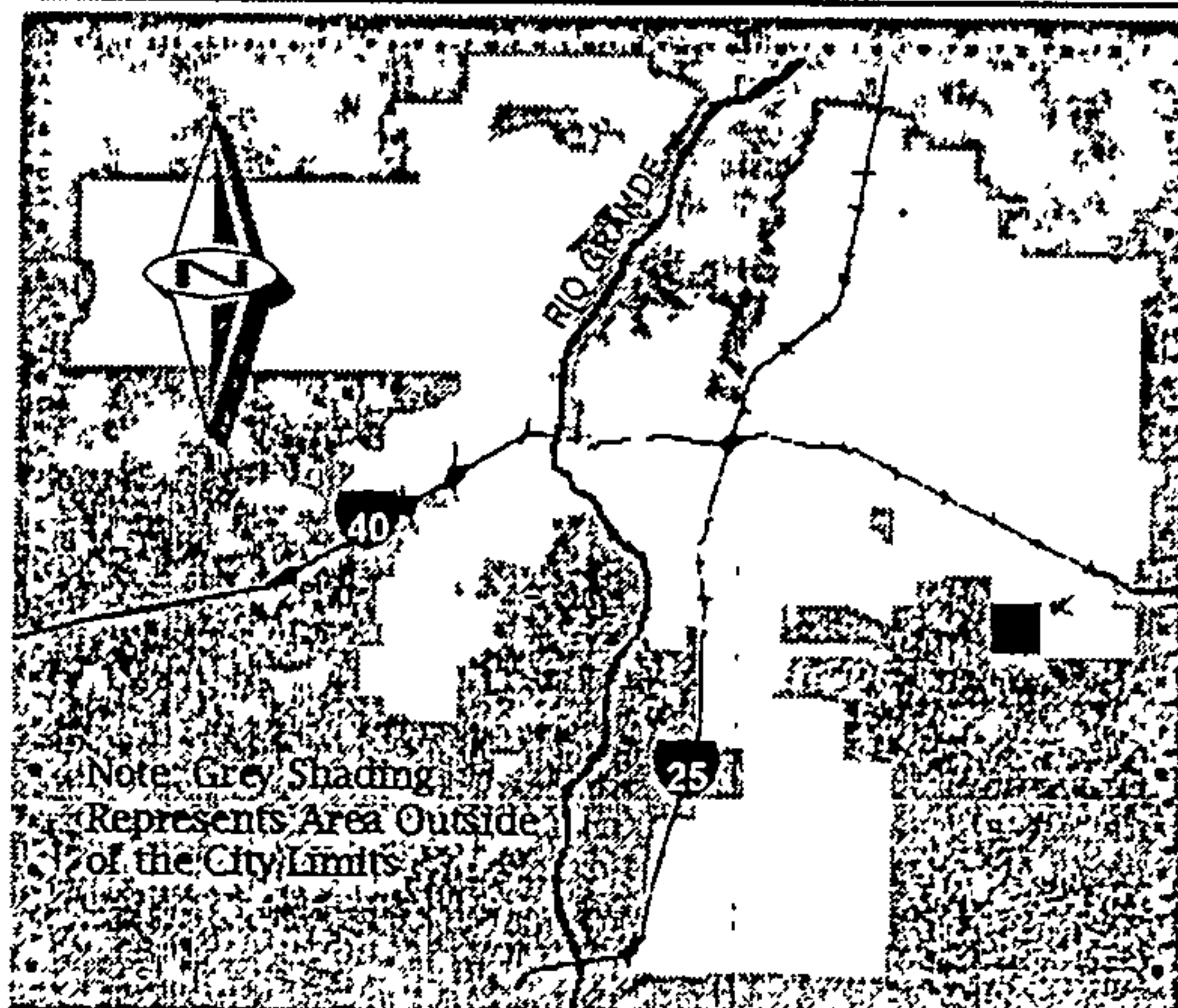
Project # 1004715



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 5/1/2006

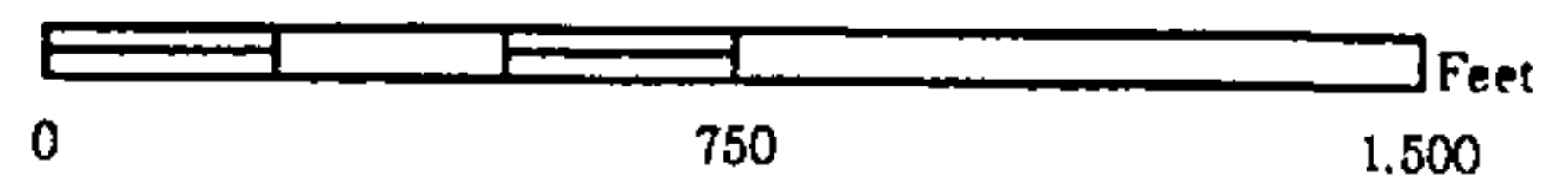


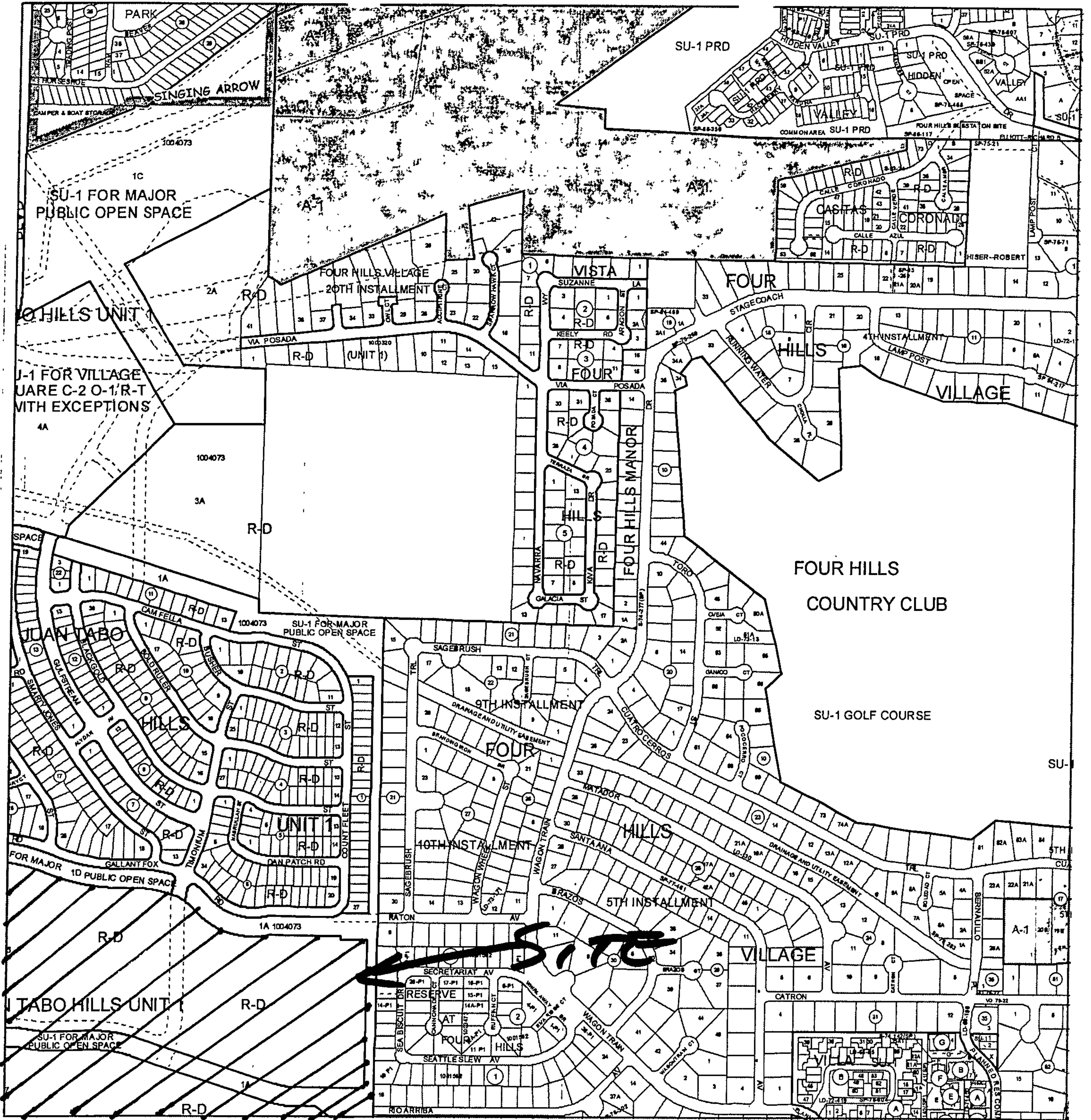
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-21-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 5/1/2006

Zone Atlas Page:
M-22-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1500 Feet



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

June 21, 2006

Ms. Sheran Matson
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Juan Tabo Hills, Unit 2 - 1004715

Dear Ms. Matson:

Since the property is zoned RD and is located outside a sector development plan, a site plan for this subdivision is required.

Please contact our office if you have any questions or comments.

Sincerely,


MARK GOODWIN & ASSOCIATES, PA

Gregory J. Krenik, PE
Vice President

GJK/la

Attachments

JTH, LLC
PO Box 1443
Corrales, NM 87047
(505) 353-5300
(505) 832-4212 fax

June 5, 2006

City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

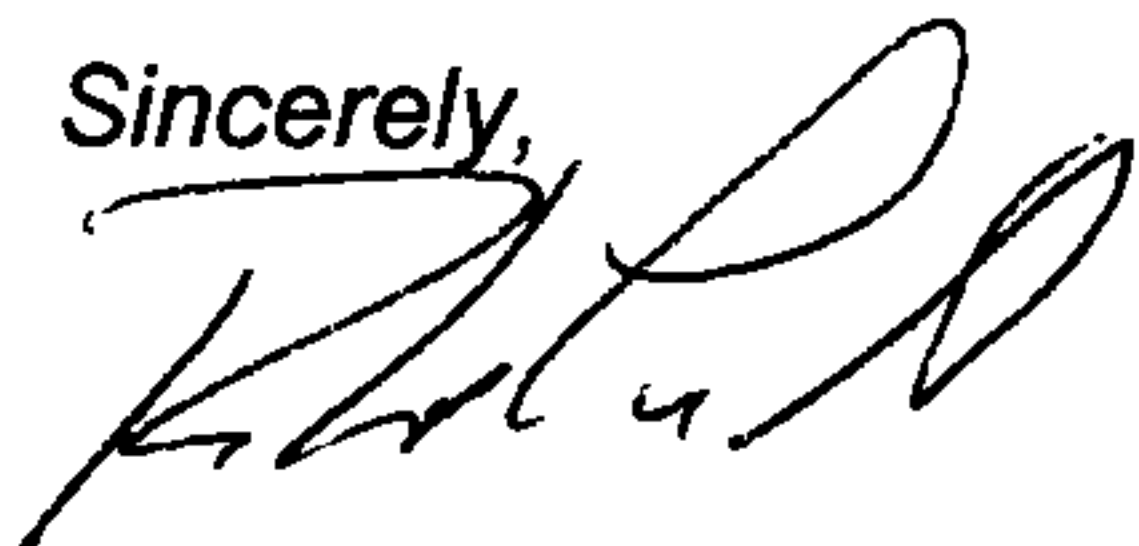
Re: Juan Tabo Hills – Unit 2

To Whom It May Concern:

Please be advised that Mark Goodwin & Associates is hereby authorized to act on behalf of JTH, LLC, for the Site Development Plan submitted for the referenced project.

Please contact our office if you have any questions.

Sincerely,



Robert Lupton, Manager

**SITE DEVELOPMENT PLAN
FOR SUBDIVISION CHECKLIST**

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Design requirements for future site development plans for building permit** (optional, but **STRONGLY** recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN" as outlined in the Zoning Code (§ 14-16-1-1 et. seq.). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

Accompanying Material

- A. Fee payment
- B. Complete application
- C. Written Summary of Request
- D. 8-1/2" x 11" reductions

SHEET # 1 – SITE PLAN (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s)
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements - *SUBMITTED WITH PRELIMINARY PLAT*
- 10. For each lot:
 - a. Maximum Building Height
 - b. Minimum Building Setback
 - c. Maximum Total Dwelling Units and / or
 - d. Nonresidential Uses' Maximum Floor Area Ratio (F.A.R.)

**SHEET #2 – DESIGN REQUIREMENTS FOR FUTURE SITE DEVELOPMENT
PLANS FOR BUILDING PERMIT (Optional, but STRONGLY
recommended)**

- ___ 1. Overall Design Theme and Land Use Concept
- ___ 2. Off-Street Parking Requirements and Design (Automobile and Bicycle)
- ___ 3. Street Design
- ___ 4. Transit Facilities (benches, shelters, pedestrian connections, etc.)
- ___ 5. Landscape Design Requirements (plant list, buffer areas, locations, amounts, etc.)
- ___ 6. Architectural Design Requirements (façade elements, massing, colors, materials, etc.)
- ___ 7. Signage Design Requirements (face area, colors, materials, maximum height, etc.)
- ___ 8. Lighting Design Requirements (type, locations, colors materials, maximum height, etc.)
- ___ 9. Pedestrian Amenities (walkways, plazas, shade structures, etc.)

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME JTH, LLC
 AGENT MARK GOODWIN & ASSOCIATES PA
 ADDRESS PO BOX 90606
 PROJECT & APP # 10047.15/06 DRB 00938
 PROJECT NAME JUAN TABO HILLS, UNIT 2

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 385.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 405.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

6/29/2006 RECEIPT# 00060482 Account 441006 Activity 4983000 Trans Amt J24 Misc \$385.00 Memo \$405.00 TO THE ORDER OF \$405.00 OF \$0.00	JTH, LLC P.O. BOX 1443 CORRALES, NM 87048 (505) 892-5533 City Of Albuquerque PO Box 1313 Albuquerque, NM 87103	BANK OF AMERICA 00003 NM 95-32-1070 DATE Jun 22, 2006 AMOUNT \$405.00 Dollars City Of Albuquerque Treasury Division 6/29/2006 10:57AM RECEIPT# 00060482-WS# 008 TRANS# 0017 Account 441032 Fund 0110 Activity 3424000 Trans Amt J24 Misc \$20.00 Thank You	1192 10 7 AM 008 TRANS# 0017 TRSLJS MP
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⑈001192⑈ ⑆107000327⑆ 00427135355⑈

Claire

ORIGINAL

INFRASTRUCTURE LIST
 (Rev 9-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

JUAN TABO HILLS, UNIT 2

~~PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN~~

Tracts 6 & 7, Juan Tabo Hills, Unit 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Crst Engineer
		32' FF	Res Pvmt	Pocono	West Pl	Juan Tabo	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (N Side)*						
		10'	Trail in Open Space (S Side)						
		32' FF	Res Pvmt	Pocono	Timonium	Salvator	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (N Side)*						
		10'	Trail in Open Space (S Side)						
		32' FF	Res Pvmt	Pocono	Juan Tabo	Timonium	/	/	/
		6'	C & G (Both Sides)						
		6'	Sidewalk (N Side)*						
		10'	Trail in Open Space (S Side)						
		32' FF	Res Pvmt	Maywood	Pocono	Blue Ribbon	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt	Ferndale	Thistledown	Blue Ribbon	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt	Thistledown	Maywood	Juan Tabo Dr	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt	Northlands	Blue Ribbon	Harrington	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (Both Sides)*						
		32' FF	Res Pvmt	Fonner	Blue Ribbon	Harrington	/	/	/
		4'	C & G (Both Sides)						
		4'	Sidewalk (Both Sides)*						

ORIGINAL

Name: Juan Tabo Hills, Unit 2

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		48' FF	Perm Pvmt C & G (Both Sides)	Aqueduct	Timonium	Vernon	/	/	/
		6'	Sidewalk (Both Sides)*						
		32' FF	Perm Pvmt C & G (Both Sides)	Ratama Ct	Pompano Place	Terminus	/	/	/
		4'	Sidewalk (Both Sides)*						
		32' FF	Perm Pvmt C & G (Both Sides)	Rockingham Ct	Pompano Place	Terminus	/	/	/
		4'	Sidewalk (Both Sides)*						
		48' FF	Perm Pvmt C & G (Both Sides)	Juan Tabo Dr.	North Pl	Pompano Place	/	/	/
		6'	Sidewalk (Both Sides)						
		25' FF	Res Pvmt C & G (Both Sides)	Northlands	Blue Ribbon	Terminus	/	/	/
		4'	Sidewalk (West Side)*						
		25' FF	Res Pvmt C & G (Both Sides)	Salvator	Aqueduct	Terminus	/	/	/
		4'	Sidewalk (East Side)*						
		25' FF	Res Pvmt C & G (Both Sides)	Vernon	Blue Ribbon		/	/	/
		4'	Sidewalk (East Side)*						
		25' FF	Res Pvmt C & G (Both Sides)	Mountaineer	Blue Ribbon		/	/	/
		4'	Sidewalk (East Side)*						
		24' EE	Gravel Emergency Access Rd with gates	40' Emergency Access Easement	Salvator	Rio Arriba Ave	/	/	/
WATER									
		8"	Waterline	Blue Ribbon	West Pl	Northlands	/	/	/
		6"	Waterline	Blue Ribbon	Northlands	Vernon	/	/	/
		8"	Waterline	Aqueduct	Vernon	Salvator	/	/	/
		8"	Waterline	Thistledown	Maywood	Juan Tabo	/	/	/
		8"	Waterline	Nashua	Timonium	Salvator	/	/	/
		6"	Waterline	Maywood	Pocono	Blue Ribbon	/	/	/
		8"	Waterline	Salvator	Nashua	Pocono	/	/	/
		6"	Waterline	Pleasanton	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Ferndale	Thistledown	Blue Ribbon	/	/	/
		6"	Waterline	Mountaineer	Thistledown	Blue Ribbon	/	/	/
		4"	Waterline	Mountaineer	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Northlands	Blue Ribbon	Harrington	/	/	/
		4"	Waterline	Northlands	Blue Ribbon	Terminus	/	/	/
		6"	Waterline	Fonner	Harrington	Blue Ribbon	/	/	/
		10"	Waterline	Juan Tabo	North Pl	Pompano Place	/	/	/
		6"	Waterline	Fraser	Harrington	Blue Ribbon	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:	Approval of Creditable Items:
Impact Fee Administrator Signature Date	City User Dept. Signature Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- * Sidewalks to be deferred
- 1 Water Infrastructure to include valves, fittings, and firehydrants
- 2 SAS Infrastructure to include manholes and service connections
- 3 Storm Drain Infrastructure to include Manhole and inlets
- 4 Street lights per DPM
- 5 Grading and Drainage certification required per DPM (prior to Release of financial guaranty) to include walls as defined on the approved Grading Plan
- 6 Landscaping is Required for Public Roadways
- 7 Landscape Maintenance Agreement between City of Albuquerque and Home Owners Association for landscaping in City of Albuquerque Right-of-Way
- 8 **SIGNAGE PER DRC**

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Gregory J. Krenik
NAME (print)

Mark Goodwin & Associates
EIRM

[Signature]
7-12-06
SIGNATURE - date

[Signature] 7/12/06
DRB CHAIR - date

[Signature] 7-12-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/12/06
UTILITY DEVELOPMENT - date

[Signature] 7/12/06
CITY ENGINEER - date

[Signature] 7/12/06
PARKS & GENERAL RECREATION - date

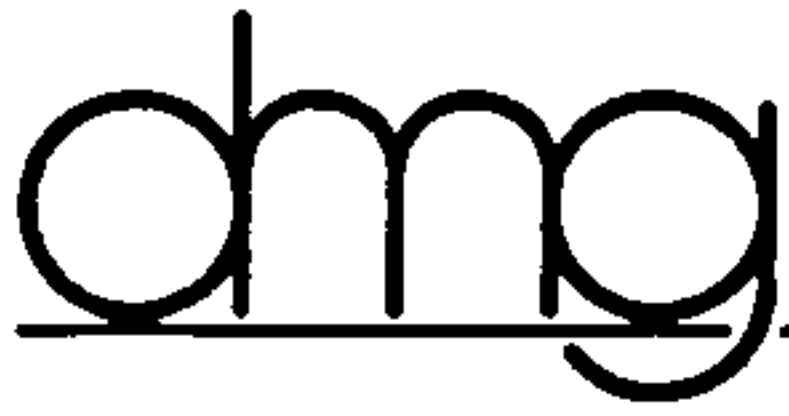
AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

June 29, 2006

Ms. Sheran Matson
DRB Chair
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

**Re: Juan Tabo Hills, Unit 2
1004715**

Dear Ms. Matson:

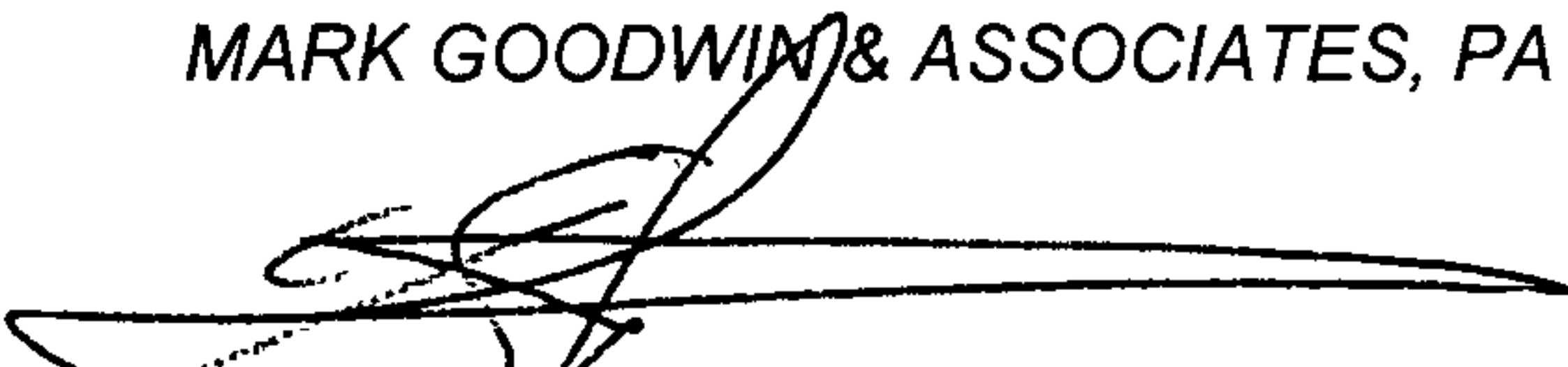
This letter is an itemized response to your comments dated June 27, 2006.

1. I've attached the wall design sheets showing the maximum wall height and the retaining portion. I've also attached the revised wall exhibit showing walls along the open space tracts.
2. Tract 1-D is an open space tract. The original open space was called Tract 1 when we did the bulk plat. The final plat for Unit 1 added right-of-way, which required us to split it into smaller tracts. Any tract designated as Tract 1-X-X is open space.
3. The minimum lot size should be 105' x 45'. There are three lots which do not meet these dimensions. They are lots 18, 19 & 20 of Block 7. This information has been added to the site plan which we submitted on June 29, 2006, and will be heard concurrent with this preliminary plat. Therefore, I did not add the note to the preliminary plat since it is on the site plan.

Please contact our office with any questions that you may have.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA



Gregory J. Krenik, PE
Vice President

GJK/la



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE NEW MEXICO 87109

P: 505.345.4250
 F: 505.345.4254
 ESTABLISHED 1977

2006.049.1

July 11, 2006

Brad Bingham, City Hydrologist
 City of Albuquerque Planning Department
 Development and Building Services Division
 Hydrology Section
 600 Second Street N.W.
 Albuquerque, NM 87102

Re: Grading Plan for Juan Tabo Hills, Unit 2, Project # 1004715

Dear Brad,

My client, Randy Glasebrook, is part of the ownership group of the land immediately west of and downstream from the subject project. He provided me with copies from the DRB file of sheets 4 and 9 from the grading and drainage plan for Juan Tabo Hills, Unit 2 dated 02/09/2006. These sheets depict a large residential development area with an internal storm drain network that includes a 72 inch storm drain outlet pipe discharging freely onto my client's property. A significant amount of the area being served by this storm drain network currently drains onto Kirtland Air Force Base near the SE corner of my client's property, thereby having minimal impact on our site. The drainage scheme depicted on the Grading Plan intercepts this basin and diverts it north to a location approximately 1/4 mile north of the historic outfall, right in the middle of the property, thereby having a much more significant impact.

The discharge of stormwater at significantly increased rates at a non-historic location is obviously contrary to City drainage policy, and It is my understanding from our conversations and our meeting that this development scenario will not be allowed unless the Juan Tabo Hills Development purchases the downstream property or obtains a public drainage easement across the property. You indicated to me that your approval of the drainage concept represented in the subject Grading Plan was contingent upon obtaining the easement and that an alternate drainage scenario has also been presented as a fallback plan whereby all of the developed runoff will be conveyed via storm drain extension to an existing detention pond farther to the north.

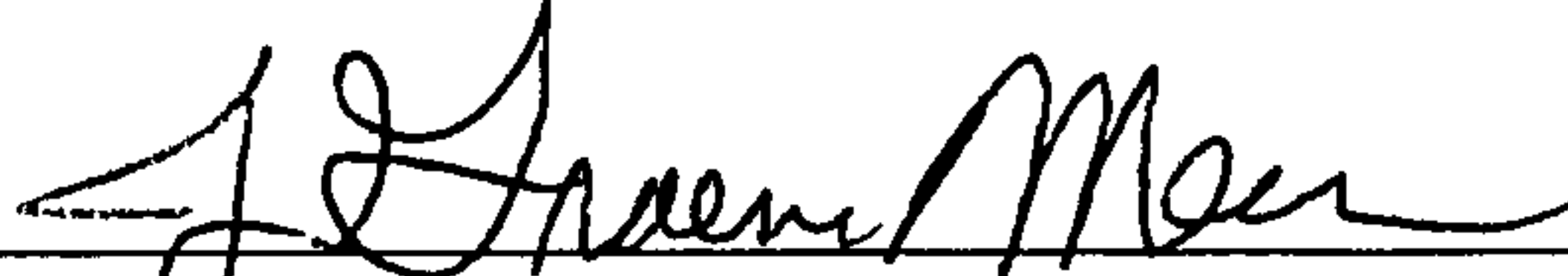
Because my client has not agreed at this time to sell the property or grant the required easement, I request that the "fallback plan" should be officially recognized by the DRB as the approved drainage concept. As such, the infrastructure list associated with the Preliminary Plat Approval request scheduled for July 12, 2006 should therefore include the required storm drain. My client and his attorney will be at the Hearing, and I request that you confirm the drainage requirements on the record at the hearing and satisfy their concerns about increased discharges at non-historic locations.

PRINCIPALS	JEFFREY G. MORTENSEN, P.E.	JUAN M. CALA	CHARLES G. CALA, JR., P.S.
GRADY E. BARRENS	J. GRAEME MEANS, P.E.	RICHARD C. WHITE	JOSEPH M. SOLOMON, JR., P.S.

If you have any questions or comments concerning this information or any other aspect of the project, please do not hesitate to call.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.



J. Graeme Means, P.E.,

GM:*

xc: [Sheran Matson, DRB Chair]
Greg Krenik, DMG – via fax 797-9539
Randy Glasebrook, Sandy Wash LLC



July 10, 2006

To: The Development Review Board of the City of Albuquerque
Second Floor of the Plaza Del Sol Building
Albuquerque, New Mexico
ATTN: Ms. Sheran Matson, Board Chair
Hand Delivery

To Ms. Sheran Matson,

Re: Project #1004715, Protest of Storm Drainage and Grading plans for Juan Tabo Hills Unit 2 by Sandy Wash LLC.

Much of the storm drainage for Unit 2 has historically flowed south around the Sandy Wash LLC/Cathedral property. Review aerial photos. On sheet numbered four of eighty-three in the file for Project #1004715 a 72 inch storm drain pipe is depicted. This pipeline is aimed right at our land. Storm water for the 83 acres of Unit 2 is supposed to be piped north to Unit 1 and then on to our property. Much of this storm water from Unit 2 has never done this before! Sandy Wash LLC protests this pipeline! We believe additional flow in a place the storm water of Unit 2 has never been before is illegal under State of New Mexico law. Review the case of Budagher versus AMREP. Sandy Wash LLC has hired a drainage engineer to advise us in this matter! Soon a storm drain attorney as well. Additional storm water from the Four Hills Subdivision which has also flowed south around the Sandy Wash LLC property will now flow into that property via the proposed Unit 2 to Unit 1 pipeline. We protest this as well! The Cathedral Church of St. John is a co-owner with Sandy Wash LLC of the 205.986 acres contiguously west of proposed Unit 2.

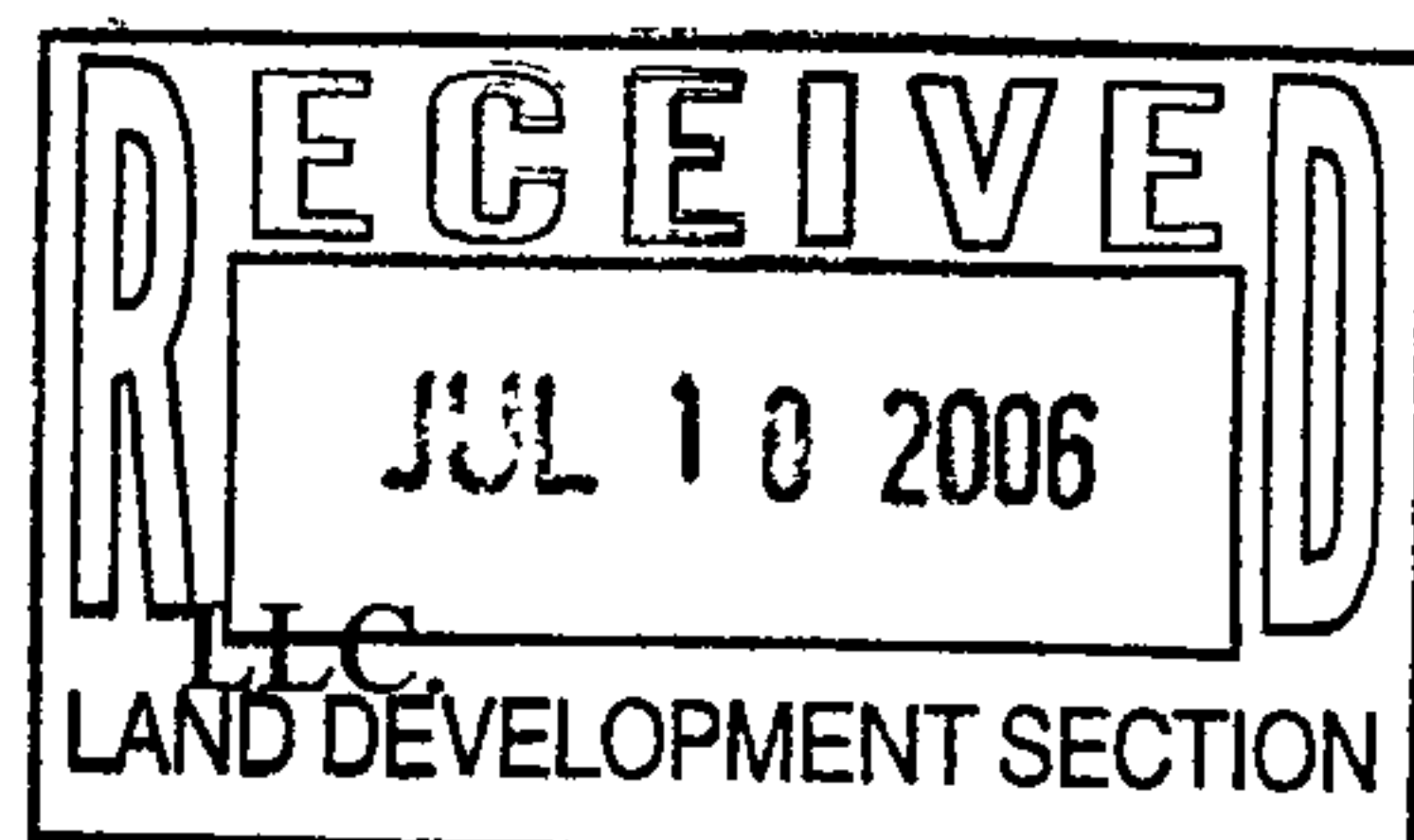
The City of Albuquerque and the Albuquerque Metropolitan Flood Control Authority have no drainage easement rights to our land. Sandy Wash LLC intends to take legal action if this large change in drainage damages its land.

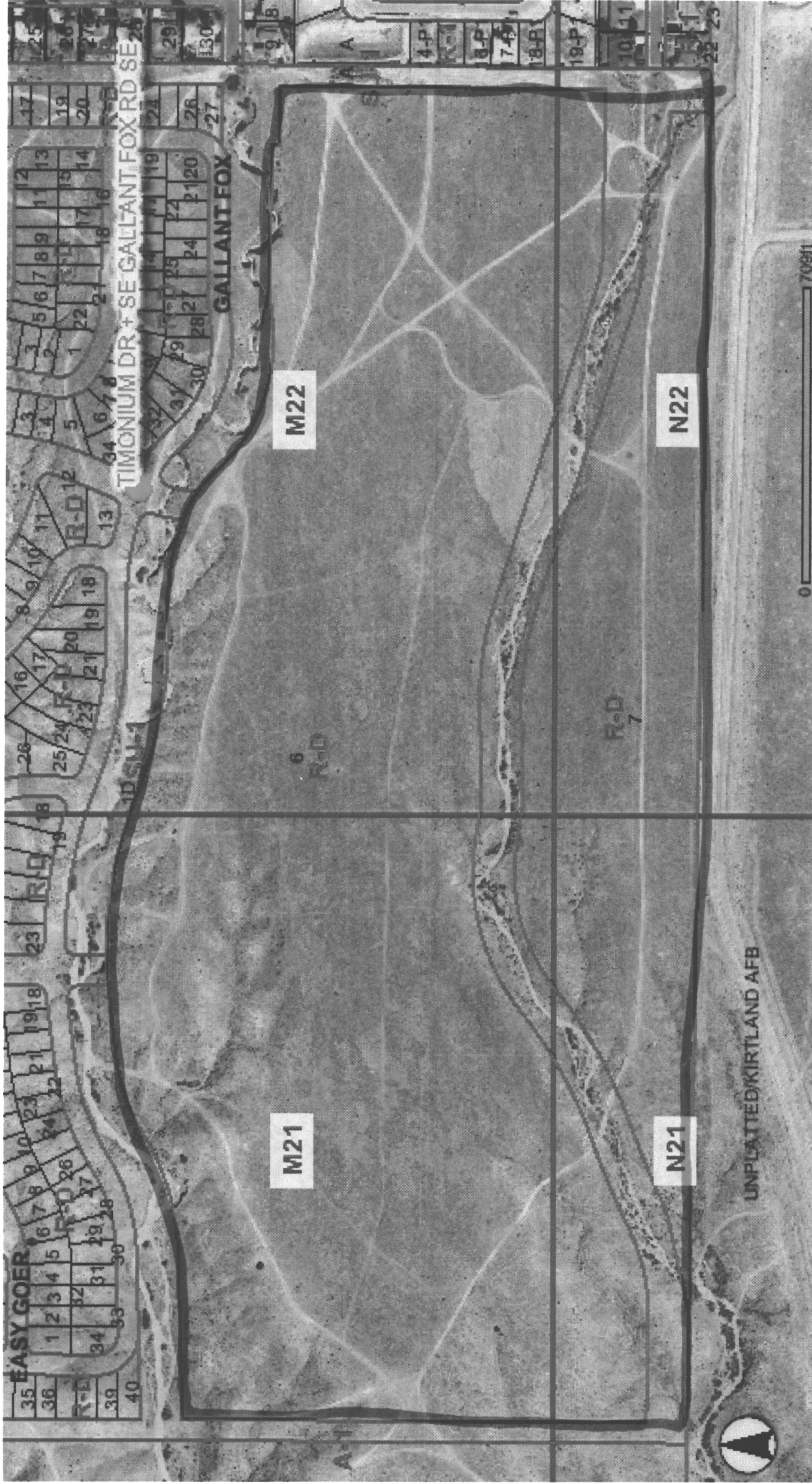
According to the 1999 Major Public Open Space Facility Plan by the City of Albuquerque some our property may be in a proposed City floodway. There are two landfills in the area. Water can create methane gas in landfills which can wander offsite for 1000 feet horizontally. Any possible water contamination problems maybe aggravated by additional water in the area requiring careful thought before the development of the proposed floodway. There are potential health hazards and it is dangerous to humans and animals. The City/State of New Mexico has drilled monitoring wells to survey any possible water contamination. See file WD-59 in the State Land Office in Santa Fe, utilizing the ledger page from the surface book for Section 33, Township 10 North, Range 4 East.

Signed,



Randy Glasebrook as manager for Sandy Wash





#21

#1004715

7/12/06

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0463
CONNECTION TEL 9p7979539
SUBADDRESS
CONNECTION ID
ST. TIME 06/27 15:26
USAGE T 01'25
PGS. 3
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: MARK GOODWIN & ASSOCIATES

FAX NUMBER: 797-9539 # PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: 06/27/06

PHONE NUMBER: 924-3880 FAX # 924-3864
PROJECT NO: 1004715 APPLICATION NO: 06DRB-00813
06DRB-00814
06DRB-00815
06DRB-00816
06DRB-00817

JUAN TABO HILLS UNIT 2



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: MARK GOODWIN & ASSOCIATES

FAX NUMBER: 797-9539 # PAGES 3

SENT BY: Sheran Matson, DRB Chair DATE: 06/27/06

PHONE NUMBER: 924-3880 FAX # 924-3864
PROJECT NO: 1004715 APPLICATION NO: 06DRB-00813
06DRB-00814
06DRB-00815
06DRB-00816
06DRB-00817

JUAN TABO HILLS UNIT 2

Project # 1004184
06DRB-00819 Major-Bulk Land Variance
06DRB-00820 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for TOM SALAZAR request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF SALAZAR FAMILY TRUST ETAL**, zoned RLT AND SU-1 MIXED USE, located on VERMEJO PARK RD SW, between 98TH ST SW and UNSER BLVD SW containing approximately 149 acre(s). [REF: 05DRB-00810, 05DRB-00811] (N-9)

No objection to the requested replat as the residentially zoned tracts are at least 5 acres in size as required by the DPM and the non-residential tract is over 40 acres.

The current zoning should be added to the first page of the plat before Planning signs the plat.

The property lies within the Rio Bravo Sector Plan boundaries.

Planning will take delegation for the 15 day appeal period and to record the plat if the requested actions are approved by DRB.

Be aware that preliminary plat and final plat approvals occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

Project # 1004715
06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public
Easements
06DRB-00815 Minor-Subd Design (DPM)
Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

The perimeter wall design: The maximum total height must be stated on the design. If retaining walls are included, note that also. If the combined height exceeds 8 feet, either a variance is required or a segment step back of segments no higher than 6 feet maximum for each segment with 4 feet in between is allowed. Also, any walls adjacent to Tract 1-A, etc. Public Open Space must also have the wall design.

Why is there a Tract 1-D? Is it Open Space as well?

Because not all lots have dimensions, a statement is required on the preliminary plat declaring the minimum lot size. Please add this to Planning's copy at least & re-submit a corrected preliminary plat for our file before July 12th.

Once these corrections are made, Planning has no objection to the applications.

Be aware that preliminary plat and final plat approvals

occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

Project # 1003613

06DRB-00854 Major-Preliminary Plat Approval
06DRB-00855 Major-Vacation of Public Easements
06DRB-00859 Minor-SiteDev Plan Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. (K-12)

There are corrections that need to be made to the perimeter wall design on the SPS. Even though EPC approved the SPS with wall problems, DRB is requiring minor changes to bring the design into compliance with the Zone Code.

The plat & site plan also do not agree. The lot numbers do not match, the Tract letters do not match, the Powell Addition lots that are part of the plat are not included as part of the SPS. This last comment may be a serious problem. It needs discussion with the case planner.

No objection to the requested vacations and sidewalk actions.

Be aware that preliminary plat and final plat approvals occurring after October 31, 2006 are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

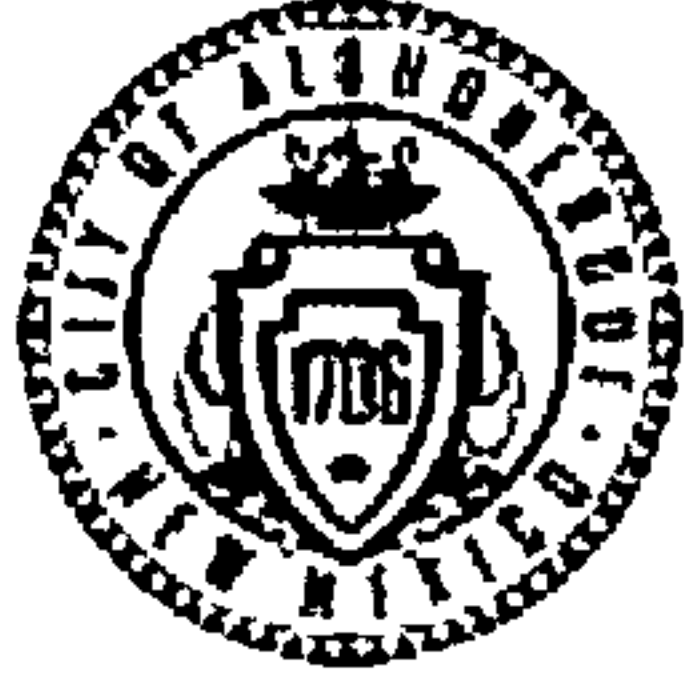
Project # 1003247

06DRB-00874 Major-Preliminary Plat Approval
06DRB-00876 Major-Final Plat approval
06DRB-00875 Minor- Minor-Temp Defer SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2 VALENCIA SUBDIVISION (to be known as **CORONA DEL SOL**) zoned R-2 residential townhomes, located on ALAMOGORDO NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). [REF: 04DRB-00190/05DRB-00498] (G-11)

This preliminary plat was previously approved in 4/05 and expired in 4/06. This appears to be a second submittal of the same previously approved preliminary plat.

The lot size exceeds R2 requirements for townhomes.



James D.
Hinde/AVIATION/CABQ
07/12/2006 07:11 AM

To Sheran A. Matson/PLN/CABQ@COA
cc mrice@cabq.gov, Richard W. Dineen/PLN/CABQ@COA,
Steven L. Picou/AVIATION/CABQ@COA
bcc
Subject Juan Tabo Residential Development

Sheran

As a follow up to our discussion earlier this week, I would offer the following:

1. The new development is directly under the flight path of the main runway (8-26) at the Sunport and will **most definitely** be impacted by aircraft noise.
2. The development is outside of the current 65db noise contour and according to current City zoning ordinance and Federal regulation the residential construction cannot be prohibited.
3. We are very concerned that persons considering purchasing homes in the area be advised as to the proximity of the airport and recommend that the developer establish either an Avigation Easement or a Covenant Not to Sue with the City of Albuquerque, either of which would be filed with the County Clerk's office and would provide a means to disclose to buyers or other developers that they will be impacted by aircraft noise. This will also protect the City and/or the seller/developer from repercussions by the buyers. We are establishing a Covenant Not to Sue with the developers of Mesa del Sol for this very reason.
4. We would be more than happy to sit down with the developer and discuss either the Avigation Easement or the Covenant Not to Sue. It is a relatively simple process and provides information and protection for all parties involved. If there is interest in doing this, please feel free to contact me at the number below.

Thanks for allowing our input on the issue.

Jim Hinde
City of Albuquerque, Aviation Department
Planning Manager
Business Development
505-244-7805
505-842-7334 FAX



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JTH, LLC PHONE: 892-5533
 ADDRESS: PO Box 1443 FAX: _____
 CITY: Corrales STATE NM ZIP 87048 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Mark Goodwin & Associates, PA PHONE: 828-2200
 ADDRESS: PO Box 90606 FAX: 797-9539
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: greg@goodwinengineers.com

DESCRIPTION OF REQUEST: Preliminary Plat for Unit 2, Temp. Sidewalk Deferral, Vacation of Public Easements, Sidewalk Waiver & Variance from minimum standards of the DDM
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 6 & 7 Block: _____ Unit: 1
 Subdiv. / Addn. Juan Tabo Hills TRK: JUAN TABO HILLS UNIT 2
 Current Zoning: RD Proposed zoning: same
 Zone Atlas page(s): M21 & M22 No. of existing lots: 3 No. of proposed lots: 399 + 5 Tracts
 Total area of site (acres): 82.9917 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 102205512544020127, 102205509913830116 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Juan Tabo Blvd SE
 Between: Eubank Blvd SE and Four Hills Road SE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1004073

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE [Signature] DATE 6-9-06
 (Print) Bragory J. Krenik, PE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB-00813</u>	<u>PP</u>	<u>5(2)</u>	<u>\$ 3500.00</u>
<u>06DRB-00814</u>	<u>VPE</u>	<u>V</u>	<u>\$ 45.00</u>
<u>06DRB-00815</u>	<u>SDV</u>	<u>V</u>	<u>\$ 0.00</u>
<u>06DRB-00816</u>	<u>SW</u>	<u>V</u>	<u>\$ 0.00</u>
<u>06DRB-00817</u>	<u>TDS</u>	<u>—</u>	<u>\$ 0.00</u>
	<u>ADV</u>		<u>75.00</u>
	<u>CMF</u>		<u>20.00</u>
			<u>3640.00</u>

Hearing date 07/12/06

Snyder/Sandley 06/09/06

Project # 10040715

10040715 4715

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - N/A** Signed Pre-Annexation Agreement if Annexation required.
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Gregory J. Benik, PE Applicant name (print)
[Signature] Applicant signature / date
6-9-06



Form revised 11/04 and JUNE 05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06DRB-00813

Sandy Handley 06/09/06
 Planner signature / date
Project # 1004073

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc.(not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Gregory J. Krenik, PE
Applicant name (print)
[Signature] 6-9-06
Applicant signature / date



Form revised 4/03, 10/03 and JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06 DRB -00814
06 DRB -00815
06 DRB -00816
06 DRB 00817

Sandy Sandley 06/09/06
Planner signature / date
Project # 1004073



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

June 5, 2006

Ms. Sheran Matson
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: **Juan Tabo Hills, Unit 1** *TBR JUAN TABO HILLS UNIT 2*

Dear Ms. Matson:

On behalf of my client, JTH, LLC, I am requesting the following:

1. Preliminary Plat approval to subdivide two tracts into 399 residential lots and 5 tracts.
2. Approval of a Sidewalk Waiver that will eliminate sidewalks on one side of the stub streets.
3. Approval of a variance from minimum standards of the DPM to allow for 25' FF stub streets.
4. Approval of a temporary deferral of sidewalk construction for all the interior sidewalks adjacent to the residential lots. The sidewalks will be constructed in conjunction with the construction of each individual home at a later date.
5. Approval to vacate public roadway easement.

Please contact our office if you have any questions or comments.

Sincerely,

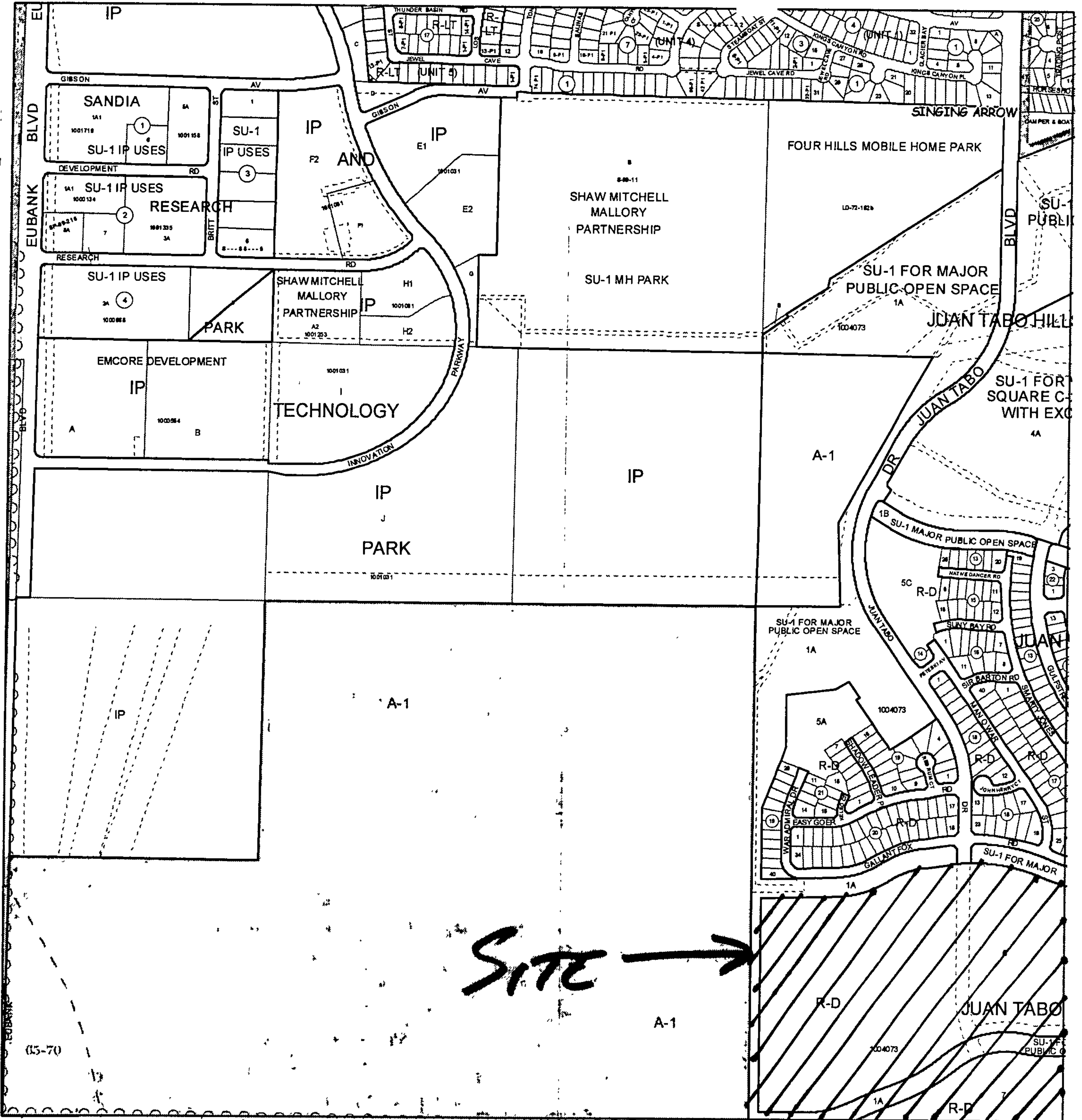
MARK GOODWIN & ASSOCIATES, PA



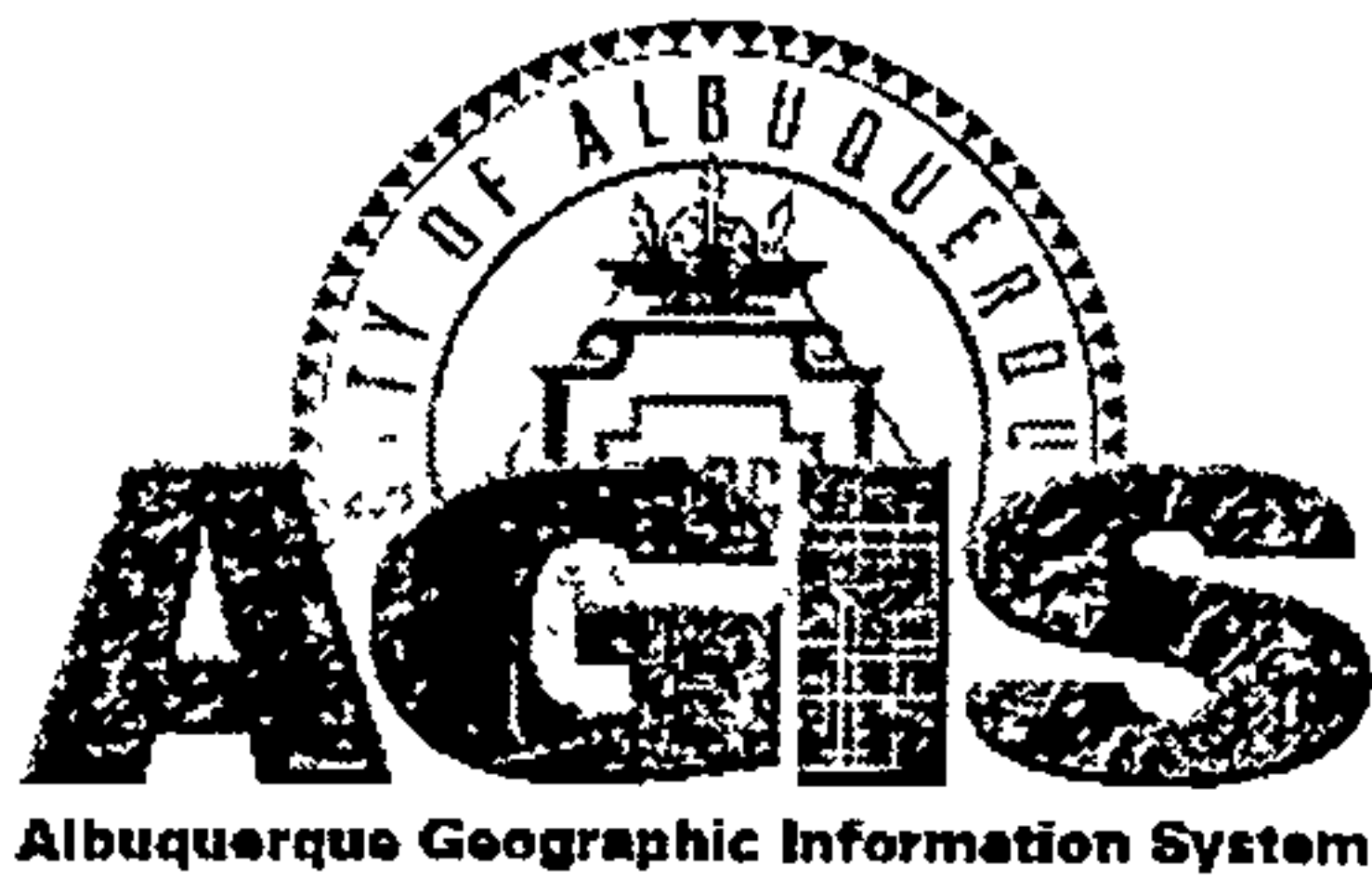
Gregory J. Krenik, PE
Vice President

GJK/la

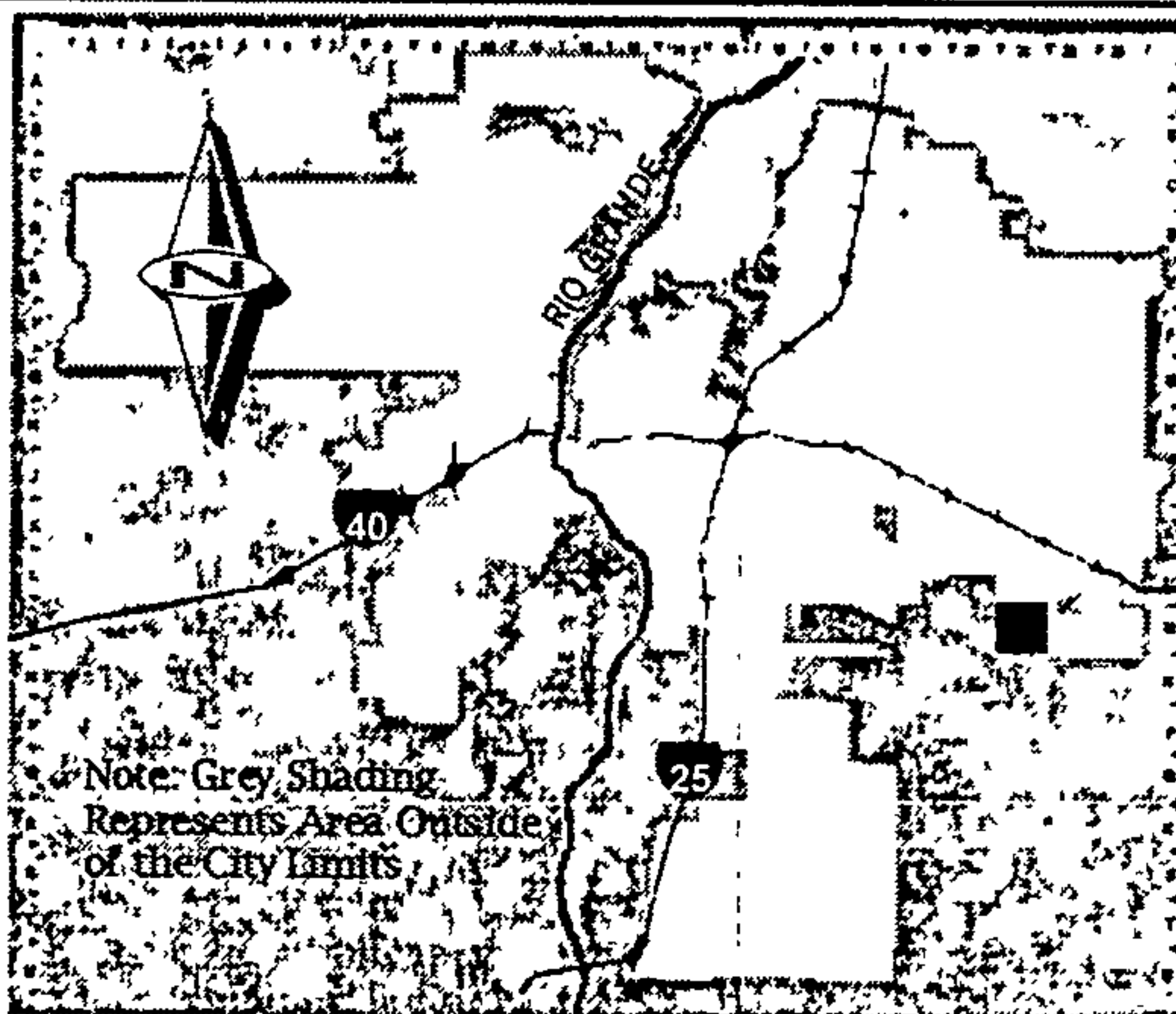
Attachments



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 5/1/2006

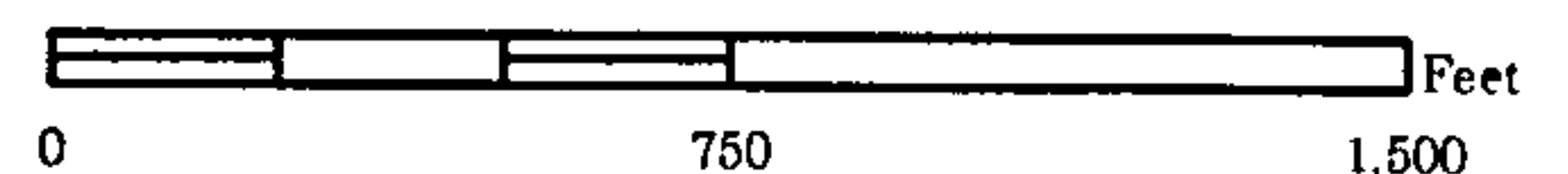


Zone Atlas Page:

M-21-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME JUAN TABO HILLS

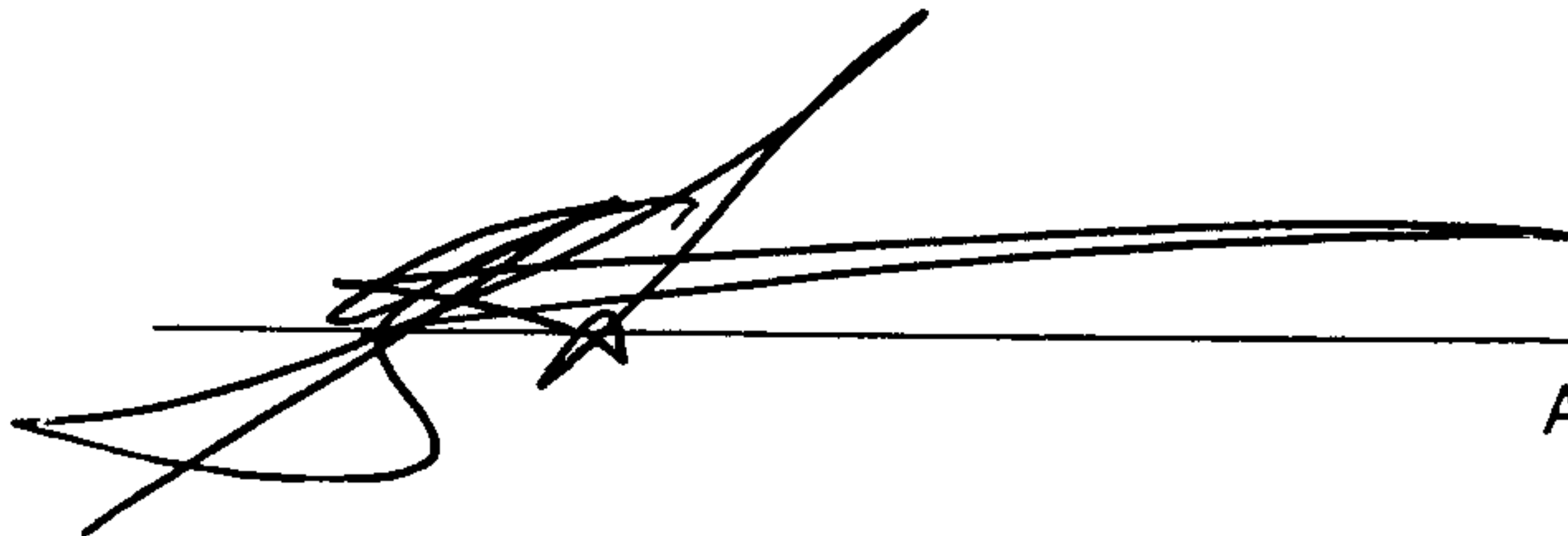
AGIS MAP # M21 + M22

LEGAL DESCRIPTION TRACTS 6+7, JUAN TABO HILLS, UNIT 1

DRAINAGE REPORT

APPROVED BY

A drainage report, as per the Drainage Ordinance, was ~~submitted to~~ the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on 4-24-06 [date].



Applicant Agent

6-5-06

Date

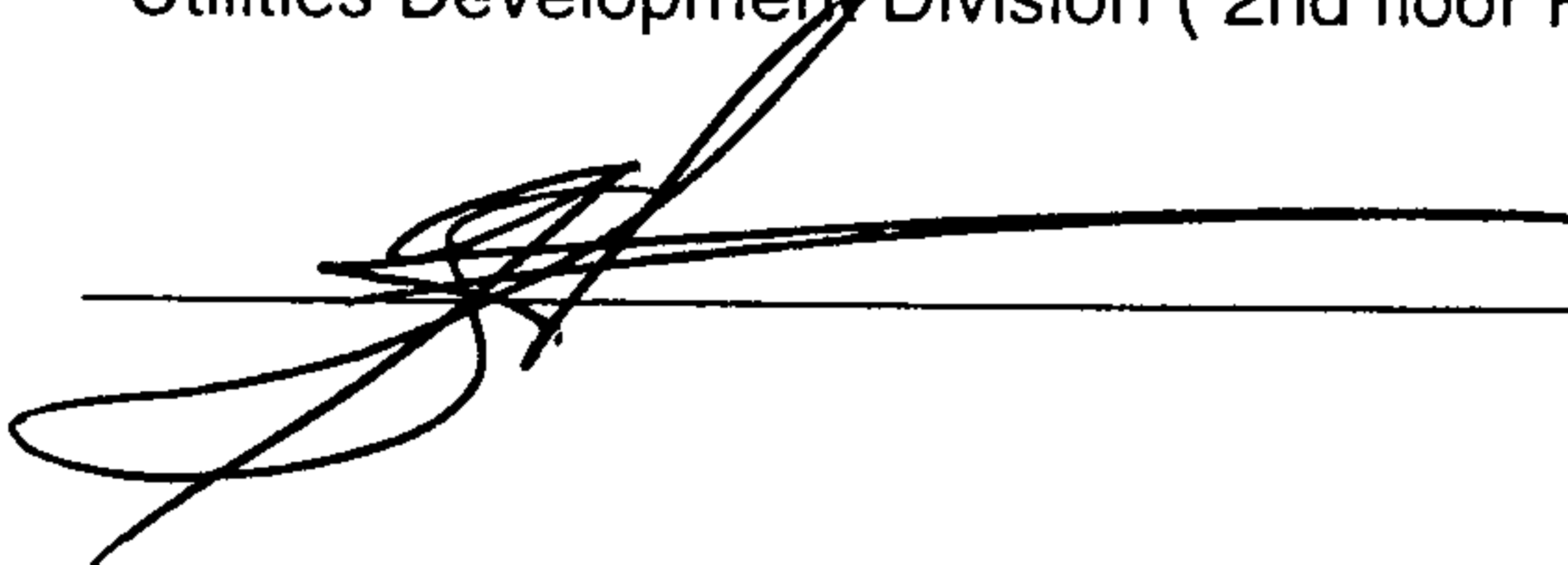
Hydrology Division Representative

Date

WATER AND SEWER AVAILABILITY STATEMENT

RECEIVED

A Water and Sewer Availability Statement for this project was ~~requested~~ from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on 5-23-05 [date].



Applicant Agent

6-5-06

Date

Utilities Division Representative

Date

DRB# _____



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

June 8, 2006

Mr. Jay Rodecap
Tijeras Arroyo N.A.
816 Hackberry Tr. SE
Albuquerque, NM 87123

Mr. Paul F. Kinahan
Tijeras Arroyo N.A.
801 Calle Coronado SE
Albuquerque, NM 87123

Re: Juan Tabo Hills, Unit 2

Dear Mr. Rodecap and Mr. Kinahan:

Enclosed please find a copy of the DRB Application for the Preliminary Plat, Temporary Sidewalk Deferral, Vacation of Public Easements, Sidewalk Waiver & Variance and Site Plan for Subdivision for the referenced project. The anticipated date to be heard is July 5, 2006. Please contact Gregory Krenik of our office if you have any questions or concerns.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

Lisa Anglada
Administrative Assistant

/la

Enclosure



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

June 8, 2006

Mr. Roger Mickelson
Four Hills Village H.O.A.
1432 Catron Ave. SE
Albuquerque, NM 87123

Mr. John Butcher
Four Hills Village H.O.A.
708 Lamp Post Cir. SE
Albuquerque, NM 87123

Re: — Juan Tabo Hills, Unit 2 —

Dear Mr. Mickelson and Mr. Butcher:

Enclosed please find a copy of the DRB Application for the Preliminary Plat, Temporary Sidewalk Deferral, Vacation of Public Easements, Sidewalk Waiver & Variance and Site Plan for Subdivision for the referenced project. The anticipated date to be heard is July 5, 2006. Please contact Gregory Krenik of our office if you have any questions or concerns.

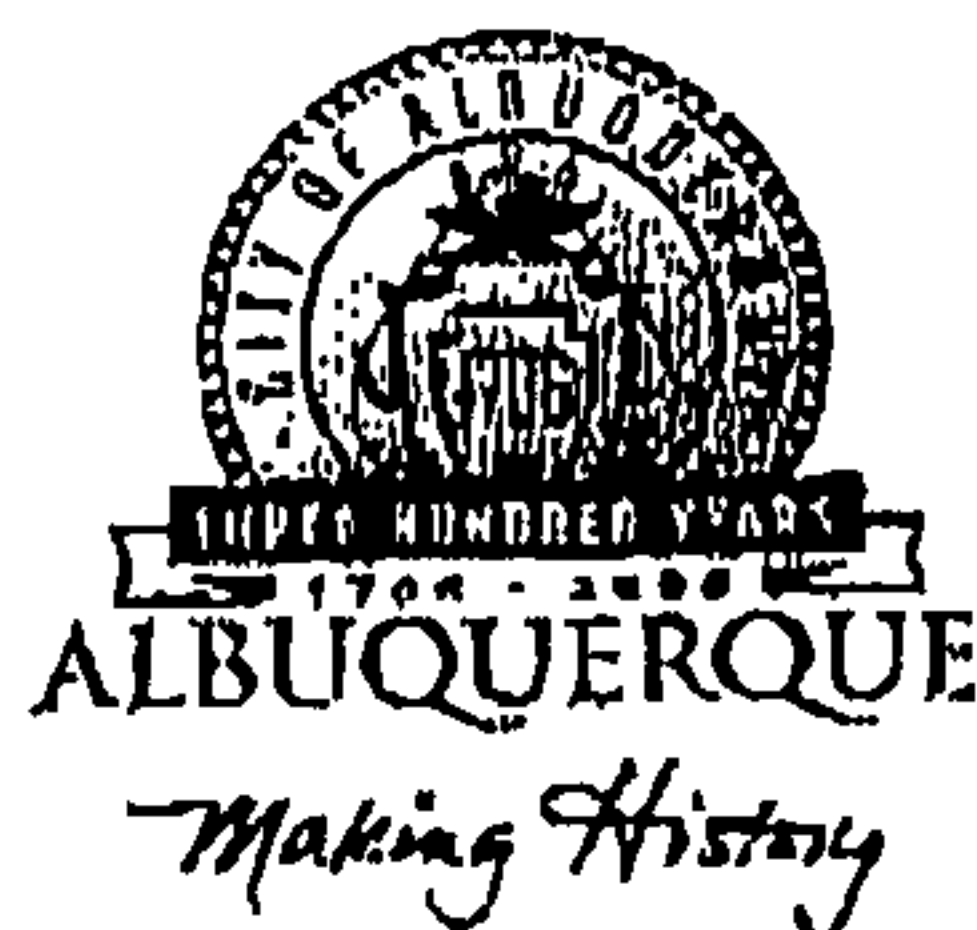
Sincerely,

MARK GOODWIN & ASSOCIATES, PA

Lisa Anglada
Administrative Assistant

/la

Enclosure



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

June 5, 2006

Lisa Anglada
Mark Goodwin and Associates, PA
P.O. Box 90606/87199
Phone: 828-2200/Fax: 797-9539
E-mail: lisa@goodwinengineers.com

Dear Lisa:

Thank you for your inquiry of June 5, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS 6 AND 7 OF JUAN TABO HILLS, UNIT 1** zone map M-21-22.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

FOUR HILLS VILLAGE H.O.A. (FHV) "R"

Roger Mickelson
1432 Catron Ave. SE/87123 332-9273 (h)
John Butcher
708 Lamp Post Cir. SE/87123 883-0006 (h)

TIJERAS ARROYO N.A. (TJA) "R"

*Jay Rodecap
816 Hackberry Tr. SE/87123 379-4896 (h)
Paul F. Kinahan
801 Calle Coronado SE/87123 294-1354 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(10/06/05)

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO
BOTH CONTACTS OF EACH
NEIGHBORHOOD
ASSOCIATION.**

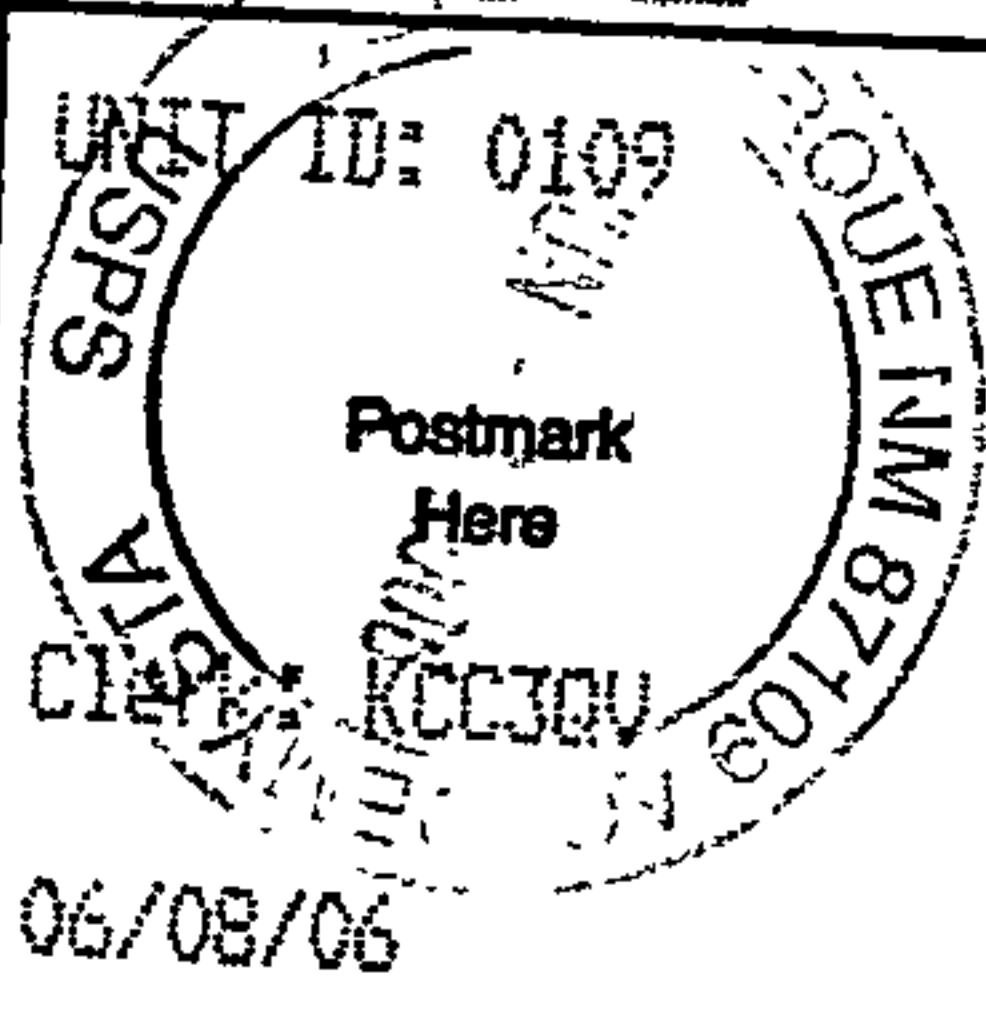
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U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.39
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To Mr. Paul Kishan
 Street, Apt. No.;
 or PO Box No. 501 Calle Coronado SE
 City, State, ZIP+4 Albuquerque NM 87123

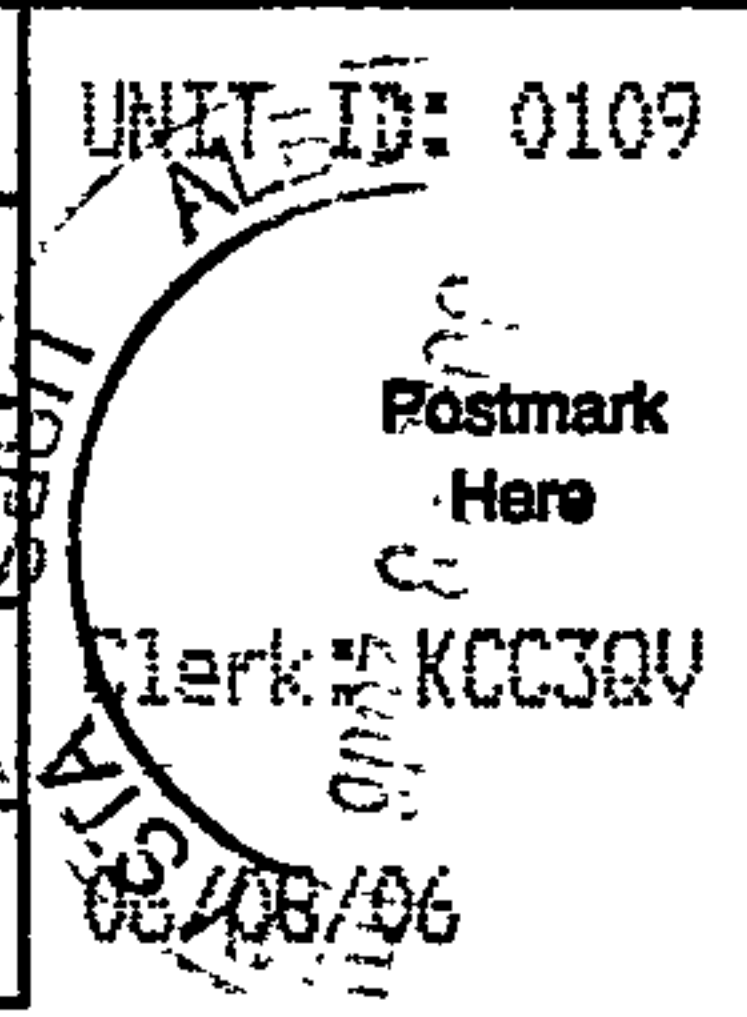
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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.39
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To Mr. Roger Mickelson
 Street, Apt. No.;
 or PO Box No. 1432 Cotton Ave. SE
 City, State, ZIP+4 Albuquerque NM 87123

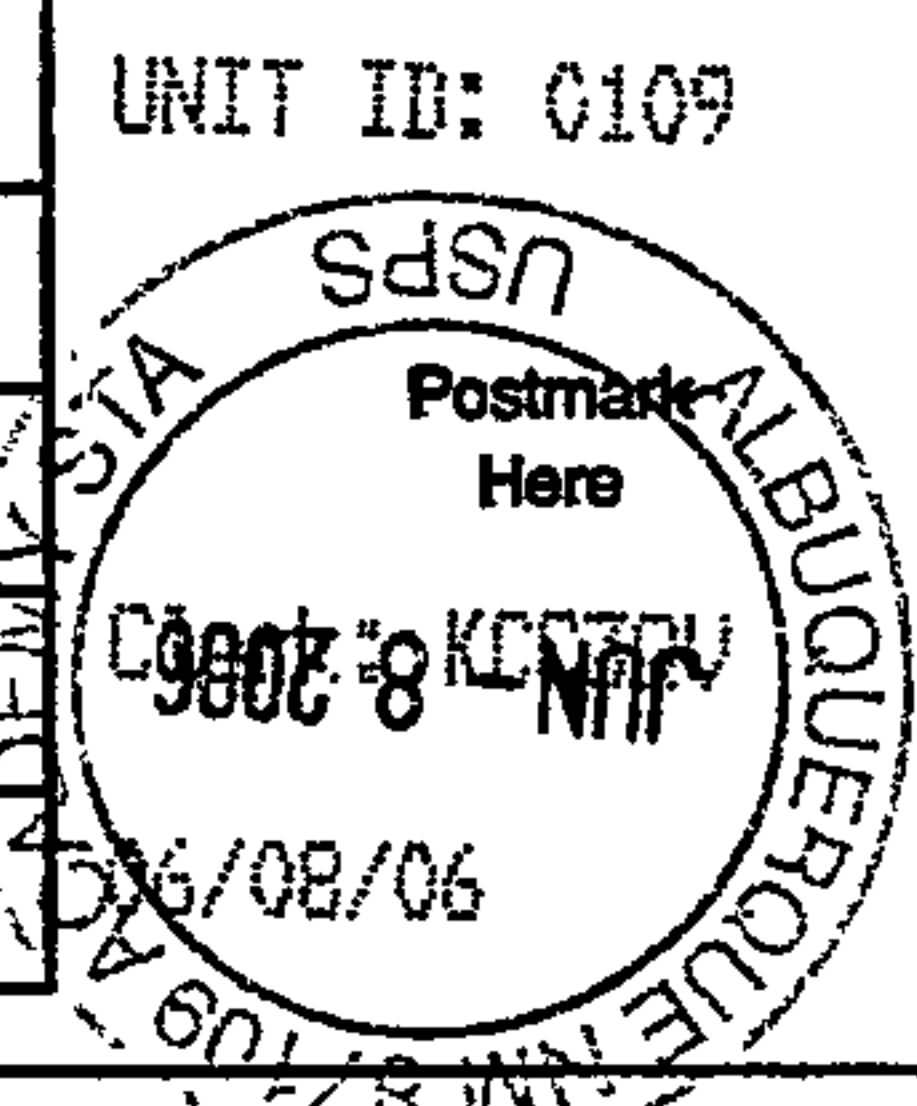
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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.39
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To Mr. John Butcher
 Street, Apt. No.;
 or PO Box No. 708 Lamp Post Circle SE
 City, State, ZIP+4 Albuquerque NM 87123

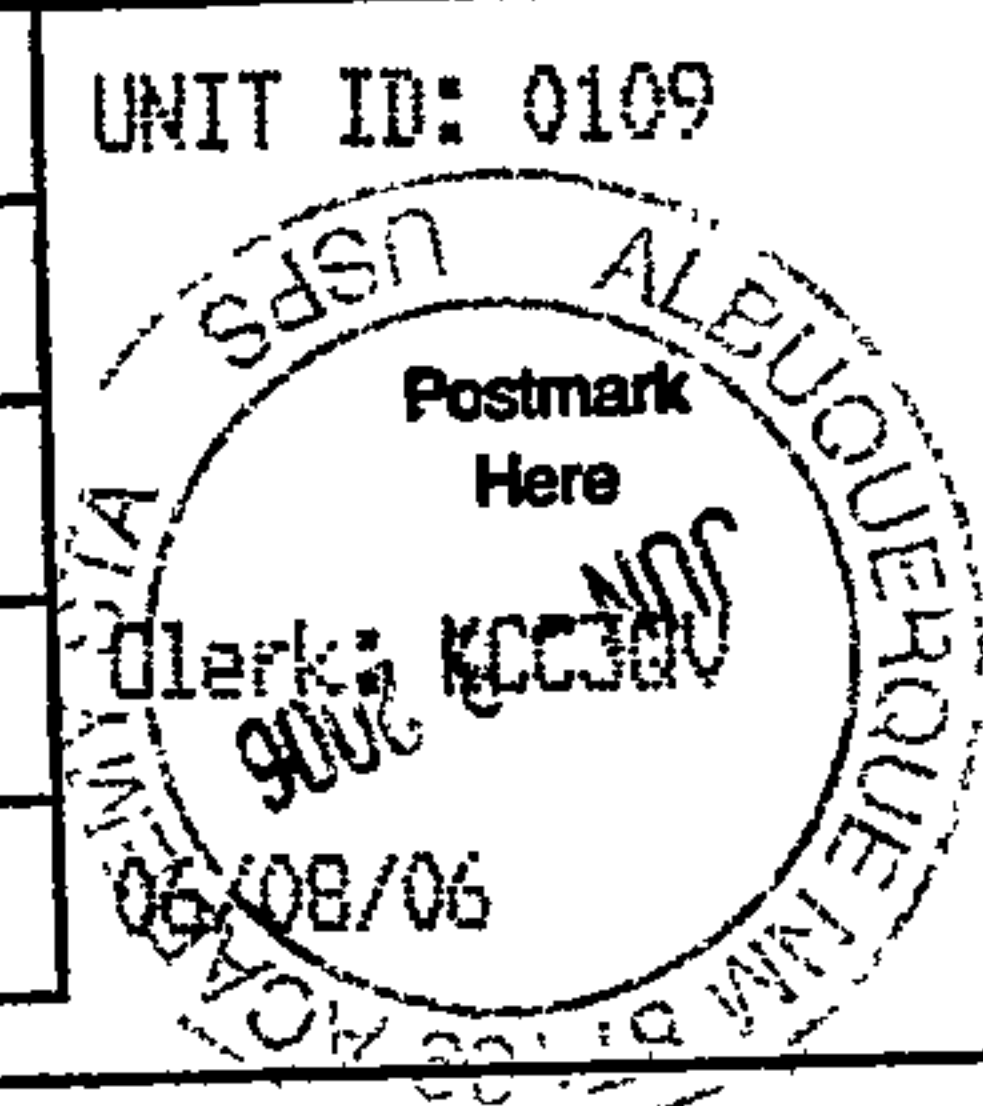
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U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

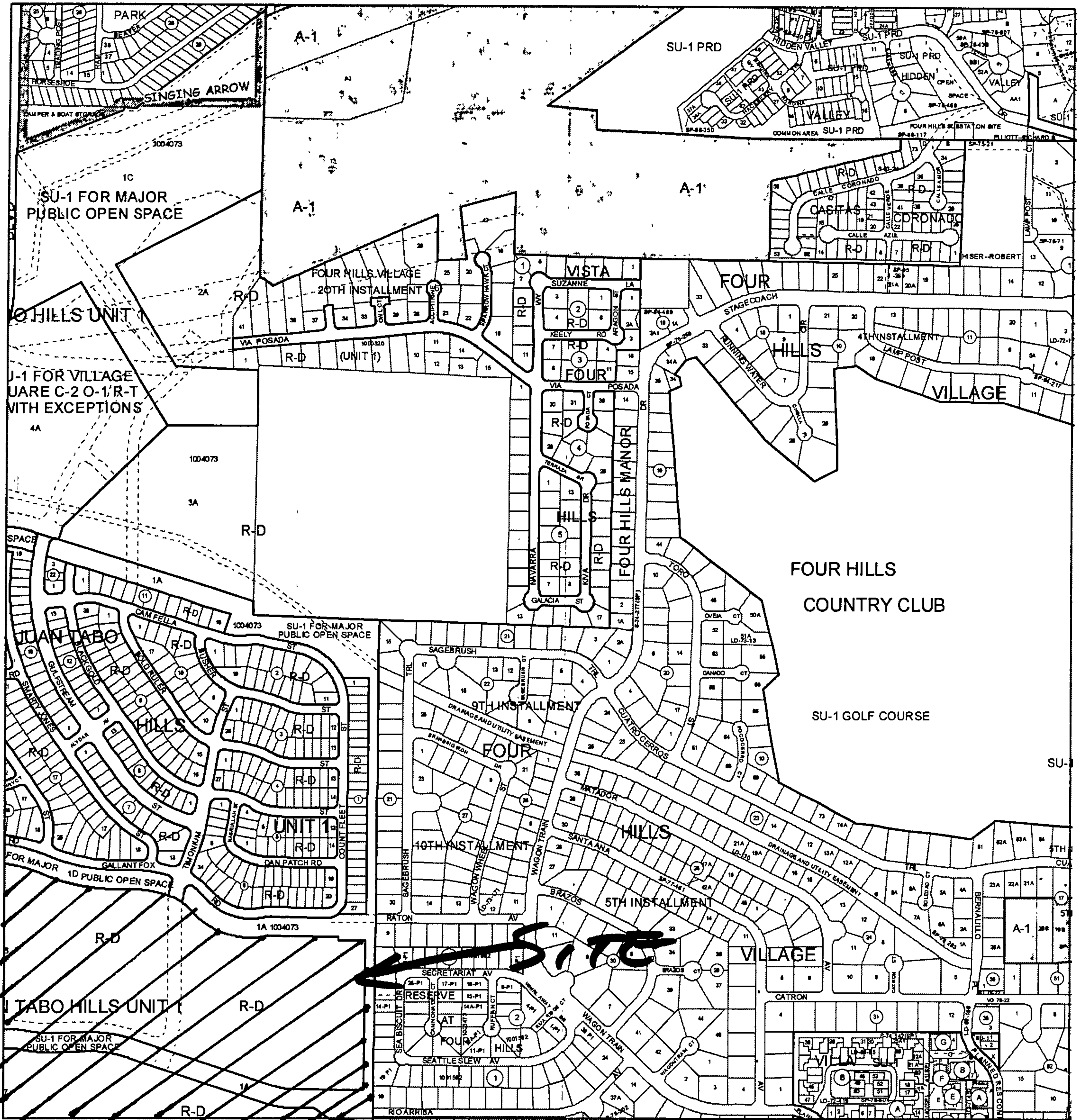
For delivery information visit our website at www.usps.com

OFFICIAL USE

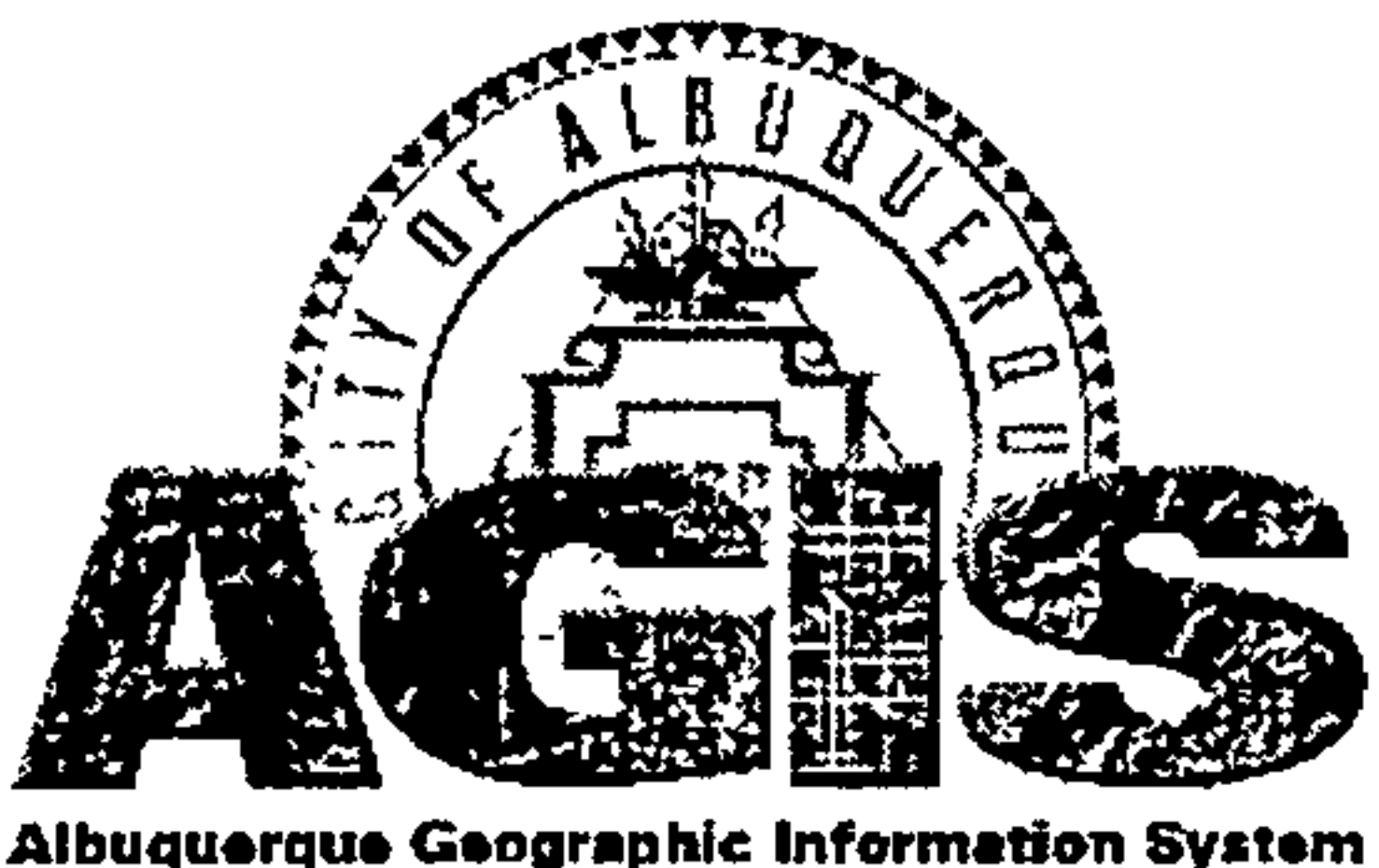
Postage	\$ 0.39
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.64



Sent To Mr. Jay Rodenas
 Street, Apt. No.;
 or PO Box No. 816 Hackberry Jr. SE
 City, State, ZIP+4 Albuquerque NM 87123

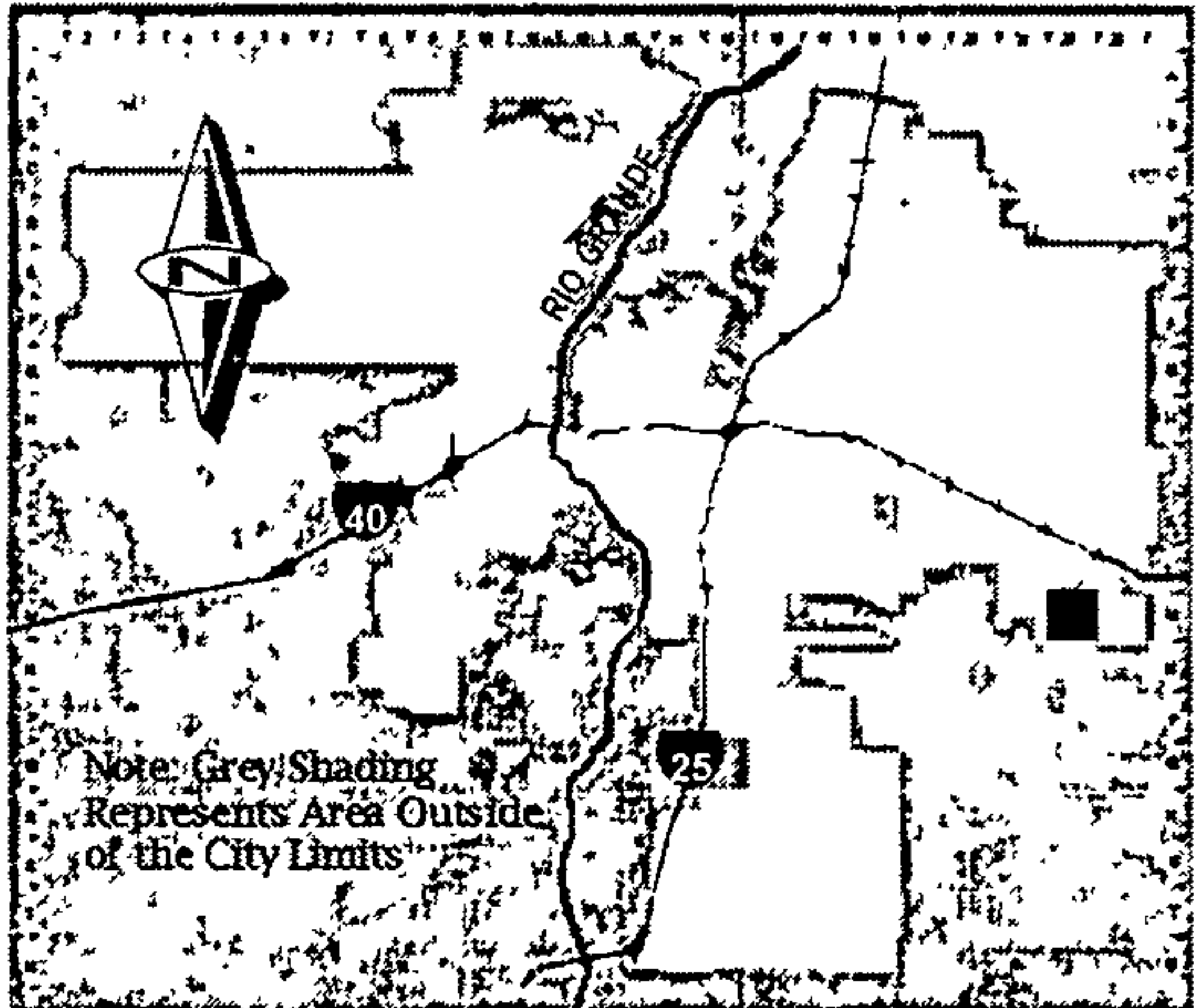


For more current information and more details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System


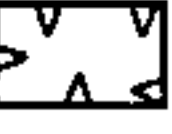


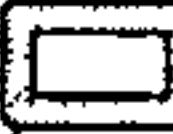



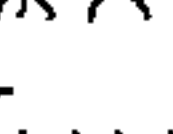
Map amended through: 5/1/2006



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
M-22-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	

0 750 1,500 Feet

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: JTH, LLC DATE OF REQUEST: 6/5/06 ZONE ATLAS PAGE(S): M21 & M22

CURRENT: ZONING R-D LEGAL DESCRIPTION: LOT OR TRACT # 6 & 7 BLOCK # _____
PARCEL SIZE (AC/SQ. FT.) 82,991.7 SUBDIVISION NAME Juan Tabo Hills, Unit 2

REQUESTED CITY ACTION(S):
ANNEXATION [] SECTOR PLAN [] SITE DEVELOPMENT PLAN:
COMP. PLAN [] ZONE CHANGE [] A) SUBDIVISION [] BUILDING PERMIT []
AMENDMENT [] CONDITIONAL USE [] B) BUILD'G PURPOSES [] ACCESS PERMIT []
C) AMENDMENT [] OTHER

PROPOSED DEVELOPMENT: NO CONSTRUCTION/DEVELOPMENT [] # OF UNITS: 399 + 5 Tracts
NEW CONSTRUCTION BUILDING SIZE: _____ (sq. ft.)
EXPANSION OF EXISTING DEVELOPMENT []

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Christina Garcia MGA DATE 6/9/06
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: JUAN TABO HILLS TIS

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature] DATE 6-9-06
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

Christina Garcia MGA DATE 6/9/06
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / _____ DATE _____
-FINALIZED / / TRAFFIC ENGINEER

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME JTH, LLC
AGENT MARK GOODWIN & ASSOC PA
ADDRESS PO BOX 90606
1004715
PROJECT & APP # 1004073/06DRB00813, 00814, 00815, 00816, 00817
PROJECT NAME JUAN TABO HILLS UNIT 2

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 3545.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75.00 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 3640.00 TOTAL AMOUNT DUE

City Of Albuquerque
Treasury Division

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

6/9/2006 9:47AM LOC: ANNX
RECEIPT# 00063985 WSH 007 TRANSH 0002
Account 441018 Fund 0110
Activity 4971000 TRSKAL
Trans Amt \$3,640.00
J24 Misc
\$75.00
CK \$3,575.00
CK \$65.00
CHANGE \$0.00

Thank You

City Of Albuquerque
Treasury Division

6/9/2006 9:47AM LOC: ANNX
RECEIPT# 00063984 WSH 007 TRANSH 0002
Counterreceipt.doc 6/21/04
Account 441006 Fund 0110
Activity 4983000 TRSKAL
Trans Amt \$3,640.00
J24 Misc

\$3,545.00
Thank You

6/9/2006 9:47AM LOC: ANNX
RECEIPT# 00063983 WSH 007 TRANSH 0002
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$3,640.00
J24 Misc

\$20.00
Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JUNE 27th, 2006 To JULY 12th, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Cristina Garcia ✓ 6/9/06
(Applicant or Agent) (Date)

I issued 3 signs for this application, 06/09/06 Sandy Handley
(Date) (Staff Member)

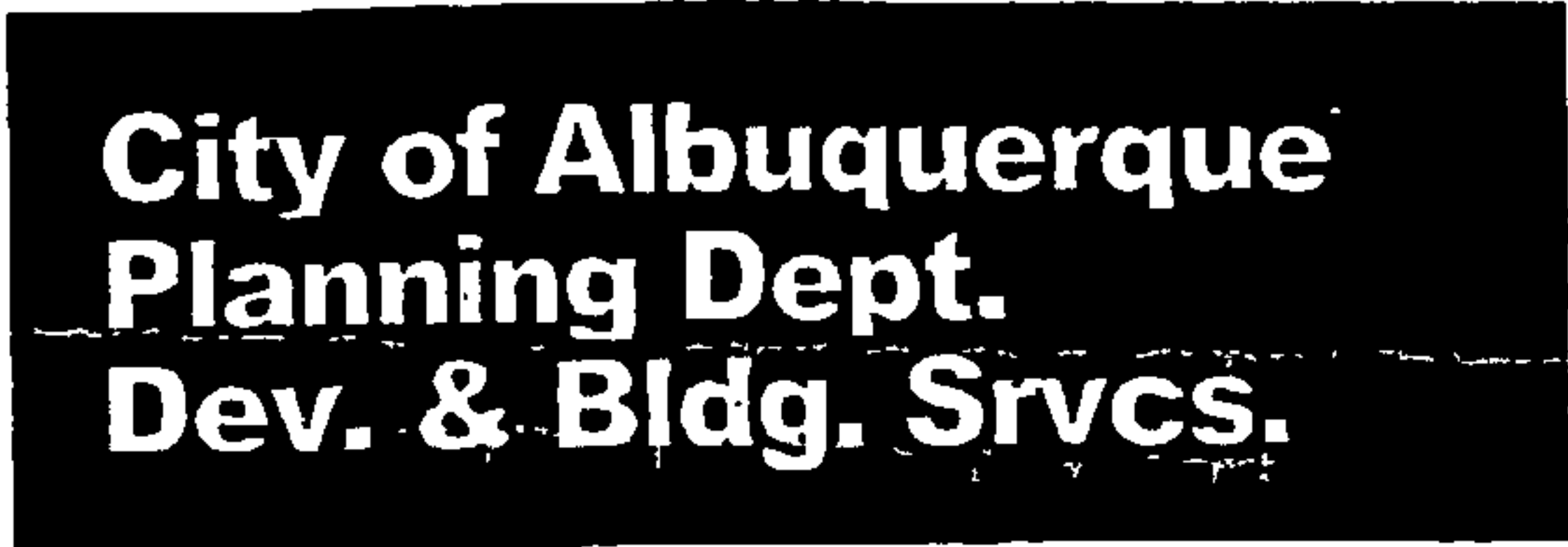
DRB PROJECT NUMBER: ~~1004073~~
1004715

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0372
CONNECTION TEL 9p7979539
SUBADDRESS
CONNECTION ID
ST. TIME 06/12 11:26
USAGE T 03'21
PGS. 5
RESULT OK

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number - 2nd Level)
505-924-3440 (fax number - 4th Floor)
Development and Building Services (One Stop Shop)
600 2nd Street NW
Albuquerque, NM 87102



Fax

CHRISTINE GARCIA
To: GREGORY KRENKPE From: SANDY
Fax: 797-9539 Pages Sent: (including this page) 5
Phone: 828-2200 Date: 06/12/06
Time: 11:30

- Urgent
- For Review
- Please Comment
- Please Reply
- Please Recycle

Comments: 1004715
THESE CASE & PROJECT NUMBERS
NEED TO BE ADDED TO YOUR SIGNS
THANKS

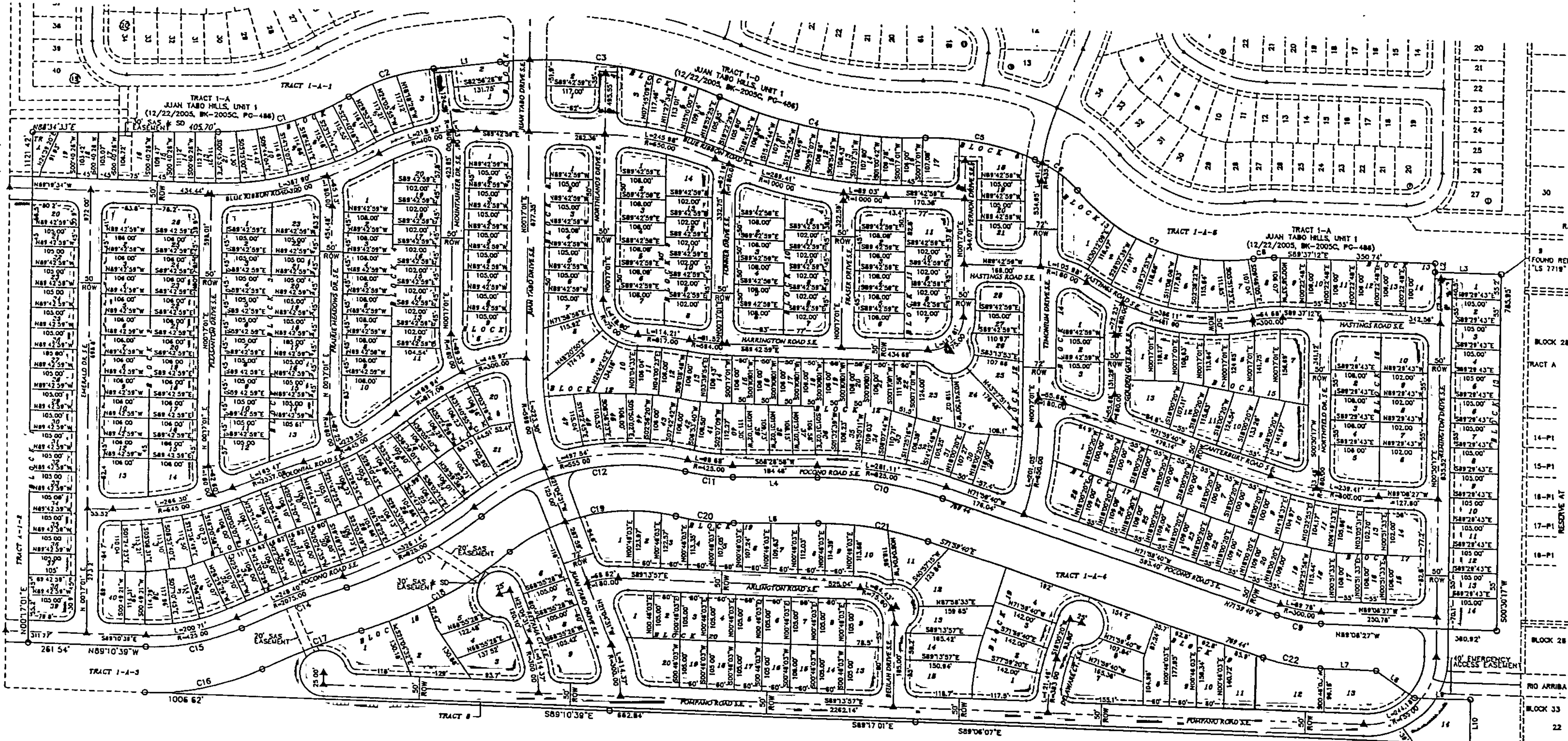


EXHIBIT C
 Date 07/12/06

- LEGEND**
- 1-P1 LOT NUMBER
 - ⊙ BLOCK NUMBER
 - ▲ CENTER LINE MONUMENT
 - RIGHT-OF-WAY
 - NEW PUBLIC UTILITY EASEMENT

- SIDEWALK EXHIBIT**
- DEFERRED SIDEWALK CONSTRUCTION
 - SIDEWALK WAIVER
 - SUBDIVISION DESIGN VARIANCE

NEW EASEMENTS:

- 1) TRACT 1 IS OPEN SPACE DEDICATED TO THE CITY OF ALBUQUERQUE PER THE EXCHANGE AGREEMENT DATED 7-23-04.
- 2) A BLANKET DRAINAGE EASEMENT WITH THIS PLAT TO BE BETTER DEFINED OR VACATED UPON FUTURE DEVELOPMENT.
- 3) A 25' WIDE FLOATING ACCESS EASEMENT FROM NEW 80' WIDE PUBLIC ACCESS EASEMENT ACROSS NEW TRACT 1 TO AMAFCA TRACT "A" IS HEREBY GRANTED WITH THIS PLAT. FINAL LOCATION TO BE DETERMINED AT A LATER DATE BETWEEN CITY OPEN SPACE AND AMAFCA.

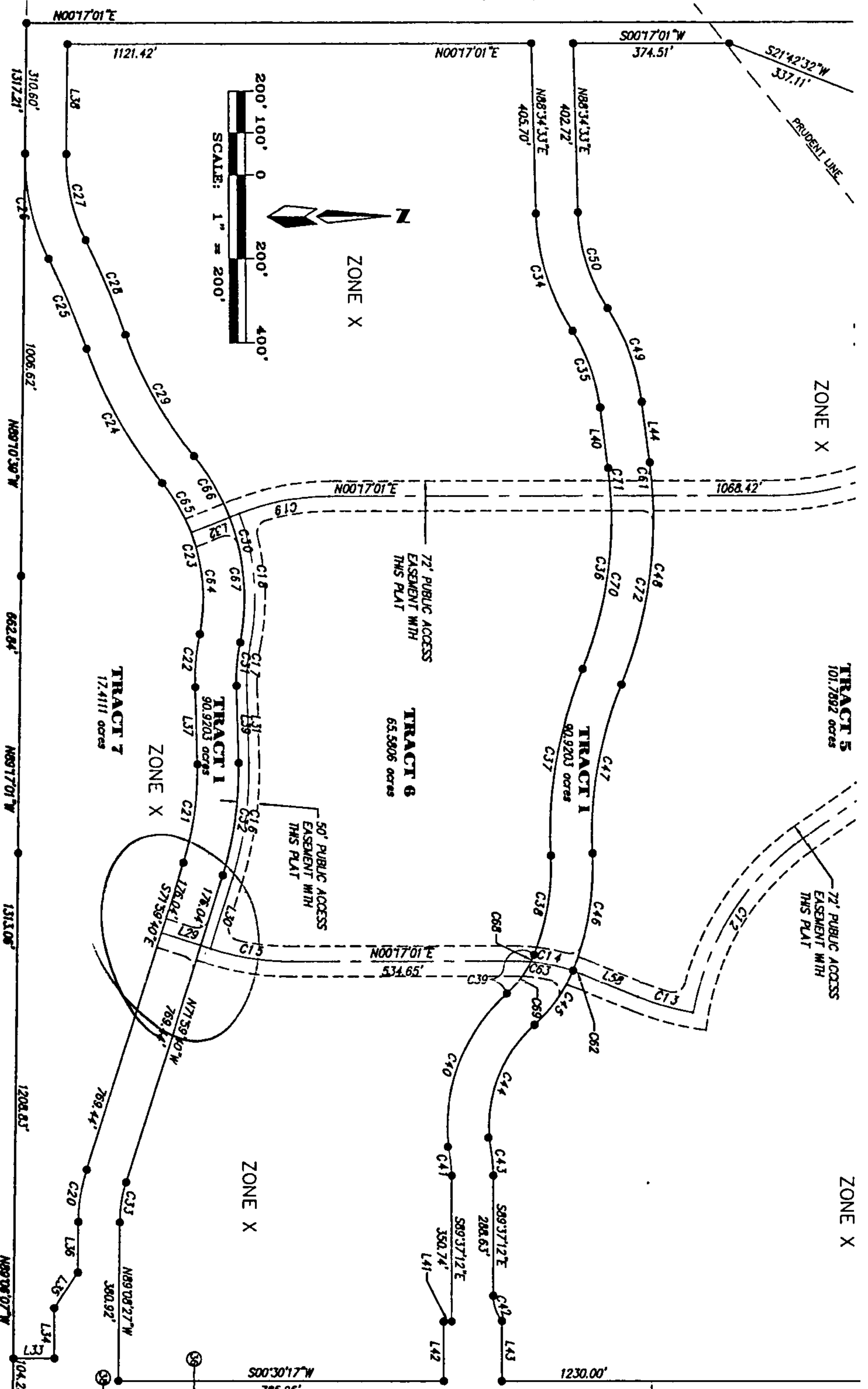
**BULK LAND PLAT FOR
JUAN TABO HILLS**

WITHIN
SECTIONS 27, 33 AND 34
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2004

SEE SHEET 6 OF 9



UNPLATTED
NW1/4, SE1/4, SEC. 33



SEE SHEETS 3 AND 4 OF 9 FOR EXISTING EASEMENTS

SEE SHEET 8 OF 9 FOR NEW EASEMENTS

DATE 01/12/05
ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBUQ., N.M. 87190
505-884-1990

Dwg	NEW SHt 5-L.dwg	Drawn:	STEPHEN	Checked:	ALS	Sheet	7 of 9
Scale:	AS SHOWN	Date:	01/17/05	Job:	A02079		

A02081A2079 4 HILLS\Bulk Plat\NEW SHt 5-L.dwg - Layout2 (01-17-05) SPS

PM 1004715

PURCHASE AGREEMENT

Sandy Wash, LLC, a New Mexico limited liability company ("Sandy Wash") and the Cathedral Church of St. John ("Cathedral") the ("Sellers") agree to sell and convey the Property below to East Mesa Holdings, LLC, a New Mexico limited liability company the ("Buyer") and its assigns, on the terms and conditions contained in this Purchase Agreement of vacant land. This Purchase Agreement is dated 7-11 of ~~June~~, 2006 (hereinafter "Effective Date").

1. Definitions:

Closing Date: shall have the meaning set forth in the paragraph 19 hereof.

Environmental Conditions; any condition regarding the presence or suspected presence of Hazardous Substances located in, at, on, under, about or originating from the Property with respect to air, soil, surface water, or groundwater, in violation of any Environmental Law.

Environmental Laws: any applicable international, federal, state, tribal, or local statute, law, ordinance, regulation, order, consent decree, judgment, permit, license, code, covenant, deed restriction, common law, treaty, convention, or other requirement relating to public health, safety or the environment, including, without limitation, those relating to releases, discharges or emissions to air water, land or groundwater, to the withdrawal or use of groundwater, to use and handling polychlorinated biphenyls or asbestos, to the manufacturing, distribution, use, transportation, disposal, treatment, recycling, storage or management of hazardous or solid waste, or hazardous substances, or to exposure to toxic or hazardous materials, to the handling, transportation, discharge or release of gaseous or liquid Hazardous Substances and any regulation, order, notice or demand issued pursuant to such law, statute or ordinance, including, without limitation, if applicable, each of the following, as amended from time to time: (i) the Comprehensive Environmental Response, Compensation and Liability Act 1980, as amended by the Superfund Amendments and Reauthorization Act of 1986 (ii) the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act 1976 and the Hazardous and Solid Waste Amendments of 1984, (iii) the Hazardous Materials Transportation act, as amended, (iv) the Federal Water Pollution Control Act, as amended by the Clean Water Act 1976, (v) the Safe Drinking Water Act, the Clean Air act, as amended, (vi) the Toxic Substances Control Act of 1976, (vii) the Occupational Safety and Health Act of 1977, as amended, (viii) the Emergency Planning and Community Right-to-Know Act of 1986, (ix) the National Environmental Policy Act of 1975, (x) the Oil Pollution Act 1990, (xi) the New Mexico Air Quality Act, (xii) the New Mexico Radiation Control Act, (xiii) New Mexico Radioactive Materials Act (xiv) New Mexico Hazardous Chemical Information Act, (xv) New Mexico Hazardous Materials Transportation Act (xvi) New Mexico Water Quality Act, (xvii) New Mexico Ground Water Protection Act, (xviii) New Mexico Solid Waste Act,

(xix) New Mexico Tire Recycling Act, (xx) New Mexico Recycling and Illegal Dumping Act and any similar or implementing federal, state, tribal, or local law, and any further amendments to these laws providing for financial responsibility for cleanup or other actions with respect to the release or threatened release of Hazardous Substances and all rules regulations promulgated thereunder.

Governmental Authority: means the United States of America, any state, commonwealth, Indian tribe, tribal government, territory, county, city or any political subdivision or agency of any the foregoing, including courts, departments, commissions, boards, bureaus, agencies or other instrumentalities.

Hazardous Substances: means any crude oil, or any fraction thereof, flammable, explosives, asbestos containing materials ("ACM"), radon, or other radioactive substances, radioactive materials, lead based paint, urea formaldehyde insulation, hazardous wastes, any toxic or polluting substances, contaminating substances, or similar materials, including, without limitation, any substances which are "hazardous substances," "hazardous wastes," "hazardous materials," "toxic substances," "toxic materials," "wastes," "solid wastes," "industrial solid wastes," "contaminants," or "pollutants," under any Environmental Laws.

Person: means any individual, natural person, corporation, limited liability company, joint venture, partnership, limited partnership, trust, estate, business trust, association, not for profit organization, Governmental Authority or any other entity.

2. Purchase Price. The purchase price (the "Purchase Price") for the Property is \$3,000,000.00 payable in cash at Closing.
3. Earnest Money. The earnest money (the "Earnest Money") together with all interest earned thereon to be deposited by Buyer under this Purchase Agreement is \$50,000.00. The deposit of the Earnest Money will be made by cashier's check and shall be transferred by Buyer to Title Company within three days of the Effective Date. The Earnest Money will be applied to the Purchase Price at Closing or paid to Sellers or Buyer as provided in this Purchase Agreement. As used in this Purchase Agreement the Effective Date means the date this Purchase Agreement is signed by the last to sign of Sellers or Buyer.
4. Title Company. The Title company (the "Title Company") will be Rio Grande Title Company, 6400 Indian School NE Albuquerque, NM 87110.
5. The Property. The property (the "Property") is described as 205.986 acres plus or minus in Bernalillo County New Mexico further described as:

The West (W1/2) of the Southeast Quarter (SE 1/4); East half (E1/2) of the Southwest Quarter (SW1/4); Southwest Quarter (SW1/4) of the Southwest (SW1/4); Section 33 T10N, R4E, NMPM.

6. Intentionally omitted.

~~6. Entry During Inspection Period. Buyer will have the right for ninety (90) days (the "Inspection Period") from the Effective Date to enter onto the Property to conduct soil-tests, environment reviews and audits, including but not limited to a Phase 1 and Phase 2 Environmental Site Assessments, market and feasibility studies, and other tests and investigations that Buyer deem appropriate. Buyer's right of access will be subject to the obligation to not reasonably interfere with Sellers' ownership, use, possession, or operation of the Property. Buyer may conduct any borings, drilling or other nondestructive testing without first requesting and obtaining Sellers written prior consent. Upon completion of any borings, drilling, testing, or sampling Buyer shall restore the Property to its original condition. Buyer will indemnify and hold Sellers harmless from any and all liability for property damage and/or personal injuries, including Sellers' costs and attorneys' fees, arising out of or related in any way to the activities of Buyer or its contractor, agents, or employees in their conduct of any such investigations and tests. The indemnification shall survive Closing or cancellation or termination of this Purchase Agreement.~~

7. Intentionally Omitted.

~~7. Environmental Matters. Complete copies of the Phase 1 and Phase 2 Environmental Site Assessment reports and any other reports generated by or on behalf of Buyer shall be delivered by Buyer to Sellers within ninety (90) days after the Effective Date. If the qualified consultant, or any consultant, for Phase 1 Environmental Site Assessment report or the Phase 2 Environmental Site Assessment report or, any other report, recommends any Cleanup Plan or remediation plan for the Property then notwithstanding any language in this Purchase Agreement to the contrary Buyer and Sellers shall proceed to subsequent conveyance of the Property at Closing regardless of any of Buyer's objections to title or including, but not limited to, Permitted Exceptions, or Buyer's objections to matters pertaining to the Survey or Buyer's objections to any and all matters contained in the Reports in paragraph 12. Upon the recommendation by the consultant to either Cleanup the Property or for the remediation of the Property, any and all Cleanup costs and/or remediation costs, if any, shall become the sole responsibility of Buyer. This responsibility to pay any and all Cleanup costs or remediation cost shall expressly survive Closing. After Closing, any and all, future Cleanup costs and/or future remediation costs shall be the sole responsibility of the Buyer.~~

8. Property Sold "As Is"; Landfill Acknowledgement. Other than warranties of title under the warranty deed as provided in paragraph 12 hereof, Sellers make no warranties or representations to Buyer of any kind concerning the Property or the suitability of all or any portion of the Property for Buyer contemplated or intended uses. Buyer expressly acknowledges and agrees that it is relying solely upon its own independent investigation and judgment in determining to purchase the Property. Further, Buyer acknowledges and agrees Sellers have not made, and Buyer has not relied upon any statements, representations, warranties, or covenants of any kind or character whatsoever with

respect to the condition of the Property, either express or implied, made by Sellers, Sellers agents, Sellers managers or anyone acting on behalf of Sellers with respect to the Property other than that the Sellers will convey fee title to the Property and have authority to enter into this Purchase Agreement as set forth in paragraph 12 herein. Buyer expressly acknowledges and agrees that a portion of the Property has been operated as a municipal landfill by the City of Albuquerque. Notwithstanding any language in this Purchase Agreement to the contrary, Buyer waives all rights to object to any condition now known to Buyer or discovered by Buyer before Closing that arises in whole or in part from the prior use of the Property as a landfill. Buyer expressly accepts the Property in an "as is" condition. Buyer's acceptance of the Property in an "as is" condition shall apply to, but shall not be limited to, the environmental condition of the Property, including, without limitation, (i) the existence of any Environmental Condition in, at, on, under, or about the Property or (ii) any violation or alleged violation of, or any claim arising under, any Environmental Law in any manner arising from, affecting or relating to the Property. Buyer further covenants and agrees that it and its respective heirs, successors, and assigns shall occupy, use and develop the Property in strict accordance with any and all institutional controls, engineering controls, or other limitations imposed upon the Property by any Governmental authority, including without limitation, the New Mexico Environment Department and the City of Albuquerque. Buyer acknowledges that a portion of the Property may be designated as an "Airport Protection Overlay Zone." Buyer has expressly deleted any provisions of this Purchase Agreement (specifically paragraphs 6 & 7) wherein Sellers gave Buyer an opportunity to inspect the Property and perform environmental studies. Buyer acknowledges that it has voluntarily and of its own accord waived any such opportunity to obtain inspections and environmental studies and do so at their own risk. Buyer further acknowledges that it has performed inspections and environmental studies on property near or adjacent to the subject Property and that such inspections and environmental studies may not be indicative of conditions on the subject Property.

9. Buyer's Indemnification Obligations: Buyer shall indemnify, defend, and hold Sellers, and Sellers officers, directors, members, managers, agents, employees, heirs, successors, and assigns (collectively "Sellers Parties"), harmless from any and all liability, claims, suits, injunctions, judgments, demands, orders, liabilities (including common law liabilities), penalties, assessments, natural resource damages, response costs (such as the cost of any testing, medical or other monitoring, cleanup, or other required response action or other to bring the Property into compliance with Environmental Laws) damages, losses, and causes of action of every kind or character (together with reasonable consultant's, expert's and attorney's fees), whether such liability, responsibility or obligation is known or unknown contingent or accrued, as of the Closing Date, which are or may be asserted by any Person relating to arising out of, arising in whole or in part from: (i) costs of compliance (including capital, operating, and other costs) relating to any violation or alleged violation of Environmental Laws occurring on or after the Closing Date, with respect to the ownership or operation of the Property; (ii) property damage or natural resource damage (whether such damages manifested before or after the Closing Date) arising from Environmental Conditions or releases of Hazardous Substances at, on, in, under, adjacent to, or migrating from any Property on, or after the

Closing Date; (iii) any Response Actions (whether or not such Response Actions commenced before the Closing Date or commence after the Closing Date) of Environmental Conditions or Hazardous Substances that are present or have been Released at, on, in, under, adjacent to or migrating from the Property (iv) any violations or alleged violations of Environmental Laws occurring on or after the Closing Date with respect to the ownership or operation of the Property, (v) any claim for personal injury (including medical monitoring) or loss of life or property damage (including diminution in value) arising from Environmental Conditions or releases of Hazardous Substances at, on, in, under, or adjacent to, or migrating from the Property which claim is asserted on or after the Closing Date (vi) any bodily injury, or loss of life, property damage, or natural resource damage arising from the storage, transportation, treatment, disposal, discharge, recycling or release, at any Off-site Location, or arising from the arrangement for such activities, on or after the Closing Date, of Hazardous Substances generated in connection with ownership or operation of the Property; (vii) any Remediation of any Environmental Condition or Release of Hazardous Substances arising from the storage, transportation, treatment, disposal, discharge, recycling, or release, at any Off-site Location or arising from the arrangement for activities, on or after the Closing Date, of Hazardous Substances generated in connection with the ownership or operation of the Property, and (viii) the failure of Buyer to use the Property in compliance with this Purchase Agreement or any institutional controls, engineering controls, or other limitations imposed by any Governmental Authority. This indemnification shall expressly survive Closing. After Closing, any and all, future Cleanup costs and/or remediation costs shall be the sole responsibility of the Buyer.

10. Escrow fund for indemnification. Buyer agrees to deposit \$250,000.00 into an interest bearing escrow account with Rio Grande Title as security for their indemnification obligations set forth in the Purchase Agreement. In the event no claim is made for indemnification by Sellers within ten years from the date of closing of this transaction, the \$250,000.00 plus all accrued interest thereon, shall be returned to the Buyer. In the event a claim is made against Sellers, for which they are entitled to indemnification from Buyer pursuant to the terms of this Purchase Agreement, and Buyer is unwilling or unable to provide a defense to Sellers and pay judgments which may arise from such claims against Sellers, Sellers shall be entitled to such funds from escrow account as are necessary to provide for Sellers' defense, including costs and legal costs, and to pay any judgments entered against them from the interest bearing escrow account. Sellers can pursue Buyer for any amounts which exceed the \$250,000.00 held in escrow.

11. Wavier of Claims Against Sellers. Buyer hereby expressly waives, releases, and relinquishes any and all claims, demands, and causes of action against Sellers arising out of, incidental to, or in any manner connected with the existence of any known or unknown Environmental Conditions on, in, under, or about all or any portion of the Property, including but without limitation, all liabilities, responsibilities and obligations arising under Environmental Laws or relating to Environmental Conditions or Hazardous Substances (including common law liabilities relating to Environmental Conditions and Hazardous Substances), whether such liability, responsibility or obligation is known or unknown, contingent or accrued, as of Closing Date, including, but not limited to: (i)

costs of compliance (including capital, operating, and other costs) relating to any violation or alleged violation of Environmental Laws occurring prior to, on or after the Closing Date, with respect to the ownership or operation of the Property; (ii) property damage or natural resource damage (whether such damages manifested before or after the Closing Date) arising from Environmental Conditions or releases of Hazardous Substances at, on, in, under, adjacent to, or migrating from any Property prior to, on, or after the Closing Date; (iii) any Response Actions (whether or not such Response Actions commenced before the Closing Date or commence after the Closing Date) of Environmental Conditions or Hazardous Substances that are present or have been Released prior to, on or after the Closing Date, at, on, in, under, adjacent to or migrating from the Property (iv) any violations or alleged violations of Environmental Laws occurring on or after the Closing Date with respect to the ownership or operation of the Property, (v) any claim of personal injury (including medical monitoring), or loss of life or property damage (including diminution in value) arising from Environmental Conditions or releases of Hazardous Substances at, on, in, under, or adjacent to, or migrating from the Property which may be asserted on or after the Closing Date (vi) any bodily injury, or loss of life, property damage, or natural resource damage arising from the storage, transportation, treatment, disposal, discharge, recycling or release, at any Off-site Location, or arising from the arrangement for such activities, on or after the Closing Date, of Hazardous Substances generated in connection with the ownership or operation of the Property; (vii) any Remediation of any Environmental Condition or Release of Hazardous Substances arising from the storage, transportation, treatment, disposal, discharge, recycling, or release, at any Off-site Location or arising from the arrangement for activities, on or after the Closing Date, of Hazardous Substances generated in connection with the ownership or operation of the Property.

12. Title, Other Reports, Review Period. Sellers will convey fee simple title to the Property by New Mexico statutory form warranty deed, subject only to the Permitted Exceptions (defined below) in the form attached hereto as Exhibit A. Sellers have all necessary authority to enter into this Purchase Agreement and to sell the Property to Buyer on the terms and conditions contained in this Purchase Agreement.

- a. Within 15 days after execution of this Purchase Agreement Sellers will at Seller's expense cause Title Company to prepare and deliver to Buyer a commitment to issue title insurance (the "Commitment") for the Property together with copies of any and all items shown as exceptions in the Commitment.
- b. Buyer acknowledges the receipt of the following (together, the "Reports"):
 - i. Recorded copy of agreement regarding access with State of New Mexico Commissioner of Public Lands.
 - ii. Recorded copy of agreement regarding access with Public Service Company of New Mexico ("PNM").

- iii. Letter dated June 8, 2005, from City of Albuquerque ("COA") Legal Department regarding red lined draft of agreement regarding access.
- iv. Ground Lease Agreement by and Between De Vargas Enterprises, Inc. and COA dated April 29, 1974.
- v. Letter dated April 22, 2005 to manager of Sandy Wash from CDM.
- vi. Letter dated January 22, 2005 from Hunt & Davis P.C. to COA Legal Department.
- vii. Report on Eubank Landfill prepared for COA Solid Waste Department by Rhombus, P.A. dated July 22, 1987. Less Plate 1, which is not in possession of Sellers.
- viii. Letter dated October 13, 2004 from Halpin of PNM to Hunt & Davis P.C.
- ix. Any surveys of the Property in possession of Seller.
- x. Landfill Investigation and Characterization Study by D.B. Stephens and Associates dated April 2002.
- xi. A City Memo about how the City knew in 1974 they could only use 44% of the land leased for landfill.
- xii. Agreement with Intera for the installation of methane monitoring wells.

Buyer acknowledges that, except as to the Survey and the Title Commitment, any updates or other reports will be performed at the sole option and expense of the Buyer, and that any such updates or other reports will not extend the Review Period (defined below.)

13. Within 10 days after execution of this Purchase Agreement, Buyer will obtain, at Buyer's expense, a current ALTA survey (the "Survey") of the Property prepared by a New Mexico licensed surveyor. The Survey will be certified to Buyer, Title Company and as applicable, Buyer's Lender and will be sufficient to permit the removal of any survey exception from the Title policy (defined Below). Seller will reimburse Buyer at Closing for the Survey not to exceed \$6000.00.

14. Buyer will have five (5) days after receiving the last of the Survey, the Commitment and copies of all items shown as exceptions in the Commitment to object in writing to Sellers to any matter shown on the Commitment, on the Survey or in the Reports (the "Review Period"). If the Buyer fails to object in writing to the Sellers to the Commitment, Survey and/or Reports within the Review Period, the Commitment, Survey, and Reports will be deemed approved. If Buyer timely objects in writing to any matter disclosed by the Commitment, Survey, and/or Reports and if Sellers are unable or unwilling to remove any matter timely objected to within five (5) days after the receipt of such objection, Buyer may at its election and in its sole discretion, either (a) terminate this Purchase Agreement and receive a return of the Earnest Money, in which case Buyer and Sellers will have no further obligations under this Purchase Agreement and each will be obligated for its own expenses and costs incurred; or waive the obligation that Sellers cure objections by written notice to Sellers and proceed to closing. Notwithstanding the

foregoing, Sellers will be obligated to remove any lien of any deed of trust and any and all other monetary liens encumbering the Property at or prior to Closing. Title to the Property must be insurable at regular rates, subject only to the items on the Commitment not objected to or waived by the Buyer (the "Permitted Exception").

15. Open Space and Floodplain Acknowledgement by Buyer. Buyer acknowledges that Sellers have informed Buyer that the above described Property has appeared on an open space acquisition map which was part of the City of Albuquerque Major Public Open Space Facility Plan (January 1999). Further, Buyer acknowledges that Buyer is aware the Tijeras Arroyo is located on the Property. Buyer acknowledges that the Tijeras Arroyo is located inside the one hundred year floodplain as designated by the Federal Government where the above arroyo is located on the Property.

16. Landfill Lease Indemnity. Buyer acknowledges that Sellers' indemnity arising out of the City of Albuquerque landfill lease by and between De Vargas Enterprises, Inc. and the City of Albuquerque is limited to that which is written in the landfill lease.

17. Buyer's Representations, Warranties and Covenants. In addition to the representations, warranties and covenants of Buyer contained in other sections of this Purchase Agreement, Buyer represents, warrants, and covenant to Sellers that:

(a) Buyer has the capacity and full power and authority to enter into and carry out the Purchase Agreement contained in, and the transactions contemplated by, this Purchase Agreement, and that the Purchase Agreement has been duly authorized and executed by Buyer and, upon delivery to and execution by Sellers, will be a valid and binding Purchase Agreement of Buyer fully enforceable by Sellers against Buyer in accordance with its terms. Except as set forth in paragraph 14 above, the entering into and performance of Buyer of the transactions contemplated by this Purchase Agreement will not violate or breach any other agreement or obligation binding on Buyer, and there is no consent required from any third party before this Property may be acquired by Buyer pursuant to this Purchase Agreement, and

(b) Until Closing, Buyer has no authority to make alterations or changes to the Property, including without limitation, alterations or changes concerning zoning, annexation or subdivision, and will not attempt such alterations or changes without the express written consent of Sellers. Buyer shall indemnify and hold Sellers harmless from liability, claims, damages, losses or expense, including attorneys' fees, arising out of Buyer's violation of this covenant.

(c) Each of these representations, warranties, and covenants made by Buyer in this Purchase Agreement, or in any exhibit, or on any document or instrument delivered pursuant to this Purchase Agreement will be true and correct in all material respects on the Effective Date, and will be deemed to be made again as and at the date of Closing and will then be true and correct in all material respects. The truth and accuracy of each of the representations, warranties, and the performance of all covenants of Buyer contained in this Purchase Agreement are conditions precedent to Closing.

(d) Buyer hereby represents that it is not relying on any warranties, promises, guaranties, or representations made by Sellers, Sellers agents, Sellers managers or anyone acting or claiming to act on behalf of Sellers in purchasing the Property.

18. Confidentiality. Until Closing, the Buyer will keep all information and reports obtained from the Sellers or relating to the sale contemplated by this Purchase Agreement confidential, except that Buyer may share such information and reports with Buyer's attorneys, financial advisers and employees provided such individuals are advised of and agree to abide by this confidentiality obligation. If Closing fails to occur for any reason, Buyer's confidentiality obligation will survive the termination of this Purchase Agreement.

19. Closing.

(a) Date. The closing (the "Closing") of the sale of the Property by Sellers to Buyer shall occur on or before August 25th, 2006 ("Closing Date").

(b). Location. The Closing will take place at the Title Company.

(c). Sellers Documents. A warranty deed subject to only the Permitted Exceptions and shall include the form attached hereto as Exhibit A and taxes for the year 2006 and hereinafter (the "Sellers Deed").

(d). The parties will provide to the Title Company: (1) All affidavits and documentation reasonably requested by the Title Company to enable it to close the sale of Sellers Property and to issue an ALTA owner's policy of title insurance (the "Owners Policy") in the amount of the Purchase Price issued by Title Company insuring that Buyer is the fee simple owner of the Property subject to Permitted Exceptions and with the standard exceptions 1 through 7 deleted; (2) such evidence as may be requested by the Title Company as to the authority of parties to enter into and complete this transaction.

(e) Sellers' Closing Costs. The Sellers will each pay one half of the total Sellers' Closing costs at Closing.

(1) The premium for the ALTA Owners Policy.

(2) One half of the escrow fees of the Title Company.

(3) Its attorneys' fees including the fee for preparation of the warranty deed.

(4) The Survey reimbursement due Buyer.

(5) Its portion of the prorated amounts described in paragraph 21 below.

(6) The Title Commitment.

(7) The recording fees for Exhibit B the Memorandum of Purchase Agreement.

(f) Buyer's Closing Costs. Buyer will pay the total Buyer's Closing costs at Closing.

(1) One half of the escrow fees of the Title Company.

(2) Its attorneys' fees.

(3) The fee for recording the warranty deed.

(4) Its portion of the prorated amounts described in paragraph 21 below.

20. Survival of Closing; Notice Successors. The parties hereby expressly stipulate and agree that the representations, covenants, and obligations set forth in this paragraph and paragraphs 8, 9, 11, and 18 hereof shall survive Closing. The parties shall execute and record with the County Clerk of Bernalillo County a Memorandum of Purchase Agreement substantially in the form attached hereto as Exhibit B to give notice of the survival and continuation of those representations, covenants, and obligations.

21. Prorations. All real property taxes and utility, water and refuse charges applicable to the Property will be prorated. The prorations will be effected as of the date of Closing on the basis of the latest available tax bills or other applicable statements. If the amount of any proration, credit or payment amounts described above in paragraphs 19(e)(5) and 19(f)(4) will not have been determined as of Closing, or will have been determined incorrectly at the Closing or inadvertently omitted from the closing statement, the parties will determine the actual and correct amounts as soon after Closing as relevant information is available and either party owing the other amount pursuant to such and subsequent proration or credit will make such payment within ten (10) days after such determination has been made by the Title Company.

22. Commissions. Sandy Wash has used the brokerage services of Umbrage Company Appraisals ("Umbrage") in connection with this transaction and will pay the commission of Umbrage. The Cathedral has not dealt with any real estate brokers in conjunction with this transaction. Buyer has not dealt with any real estate brokers in conjunction with this transaction. Sellers agree to indemnify and hold Buyer harmless from claims of brokerage commission resulting from Sellers dealing with any broker. Buyer agrees to indemnify and hold Sellers harmless from claims of brokerage commissions resulting from Buyer's dealing with any broker.

23. Condemnation of Property. Before Closing, risk of loss with regard to the Property will be borne by Sellers. If before Closing the Property becomes the subject of a taking of all or thirty five percent (35%) or more by virtue of eminent domain, Buyer will have the option, which must be exercised by it within ten (10) days after receipt of written notice from Sellers advising of such condemnation, to terminate this Purchase Agreement or to proceed to Closing. If Buyer elects to terminate this Purchase Agreement, all rights, duties, obligations and liabilities created hereunder will cease and the Earnest Money will be returned to Buyer. If Buyer elects to proceed to Closing, it will be obligated to do so (subject to the other provisions of the Purchase Agreement without the abatement of Purchase Price), but the Buyer will be entitled to any and all condemnation awards payable as a result of such taking and, to the extent the same may be necessary or appropriate, Sellers will assign to Buyer at Closing all Sellers' right, title and interest to such proceeds. If (a) less than thirty five percent (35%) of the Property is subject to taking by eminent domain or condemnation, or (b) Sellers elect to complete the transactions contemplated herein as provided above, this Purchase Agreement will remain in full force and, the purchase of the Property less any part taken by eminent

domain or condemnation, will be consummated with no further adjustment or modification and at the Closing the Sellers will assign, transfer, and set over to Buyer all the right title, and interest of Sellers in and to any awards that have been or may thereafter be made for any taking or condemnation.

24. Remedies.

A. Sellers' Remedies. If Sellers fulfill all of Sellers' obligations pursuant to this Purchase Agreement and Buyer breaches any term of this Purchase Agreement, Sellers will be entitled, as Sellers' sole and exclusive remedy, to (a) waive Buyer's breach in writing; (b) extend the time for performance by such period of time as may be mutually agreed upon in writing by Buyer and Sellers; (c) terminate this Purchase Agreement and receive the Earnest Money as liquidated damages for such default and not as a penalty; or (d) bring an action to specifically enforce this Purchase Agreement.

B. Buyer's Remedies. If Buyer fulfills all of Buyer's obligations pursuant to this Purchase Agreement and Sellers' breach any term of this Purchase Agreement, Buyer will be entitled, as Buyer's sole and exclusive remedy, to (a) waive Sellers' breach in writing; (b) extend the time for performance by such period of time as may be mutually agreed upon in writing by Sellers and Buyer; (c) terminate this Purchase Agreement and receive a return of the Earnest Money or (d) bring an action to specifically enforce this Purchase Agreement.

25. Limits on Indemnity. To the extent, if at all, that Section 56-7-1 NMSA 1978 applies to this Purchase Agreement, any agreement to indemnify, hold harmless, insure or defend another party herein will not extend to liability, claims, damages, losses or expense, including attorneys' fees, arising out of bodily injury to persons or damage to property caused by or resulting from, in whole or in part, the negligence, act or omission of any indemnitee, its officers, employees or agents.

26. Assignment. Buyer may not assign this Purchase Agreement without Sellers written consent; provided, however, that Sellers consent to Buyer's assignment of this Purchase Agreement to a limited liability company, corporation or partnership owned by Buyer.

27. Choice of Law. This Purchase Agreement will be governed by and construed in accordance with the laws of the State of New Mexico (without consideration to conflict of laws provisions) and the venue will be in Bernalillo County, New Mexico.

28. Waiver. Each party may waive any breach by the other party of any of the provisions contained in this Purchase Agreement or any default by such other party in the observance or performance of any covenant or condition required to be observed or performed by it contained herein; provided, however, that such waiver or waivers be in writing, will not be construed as a continuing waiver, and will not extend or be taken in any manner whatsoever to affect any subsequent breach, act or omission or default or affect each party's rights resulting therefrom. No waiver will be implied from any delay

or failure by either party to take action on account of any default by the other party. No extension of time for performance of any obligation or act will be deemed an extension of the time for performance of any obligation or act.

29. Notices. All notices and demands, given or required to be given by either party hereto to any other party ("Notices") shall be in writing and will be deemed to have been properly given if and when (a) delivered in person; (b) by facsimile with electronic confirmation of receipt thereof and with concurrent mailing by U.S. Postal Service delivery (c) three business days after having been deposited in any Post Office, branch office, or mail depository maintained by the U.S. Postal Service and sent by registered or certified mail, postage prepaid, or (d) when sent via overnight delivery service, such Notice being deemed given one (1) business day after proper delivery of such Notice to such national delivery services. All notices must be addressed as follows (or sent to such other address as any party will specify to the other party pursuant to the provisions of this paragraph):

To the Cathedral St. Johns Episcopal Cathedral
ATTN: Dean Dennis
318 Silver SW
Albuquerque, New Mexico 87102

With a copy to Robert M. St. John Esq.
Rodey, Dickason, Sloan, Akin & Robb P.A.
201 Third Street, NW Suite 2200
Albuquerque, New Mexico 87102

To Sandy Wash LLC Sandy Wash LLC
Randy Glasebrook, Manager
744 Montclair NE
Albuquerque, New Mexico 87110

With a copy to Catherine F. Davis, Esq.
Hunt & Davis, P.C.
2632 Mesilla NE
Albuquerque, New Mexico 87110

To Buyer East Mesa Holdings, LLC
4131 Barbara Loop SE
Rio Rancho, New Mexico 87124
ATTN: Robert Lupton

To Buyer Mr. Rex Wilson
209 Carlisle SE

Albuquerque NM 87106
Facsimile 505-822-6301

With a copy to
Buyer's Counsel

Ms. Anne Browne
Sutton Thayer Browne
Two Park Square
6565 America's Parkway NE
Albuquerque, NM 87103

Hand delivery

30. Entire Agreement. This Purchase Agreement supersedes all prior discussions, agreements and understandings between Sellers and the Buyer and constitutes the entire agreement between Sellers and Buyer with respect to the transaction herein contemplated. This Purchase Agreement may be amended or modified only by a written instrument signed by Sellers and Buyer.

31. Successors. This Purchase Agreement will be binding upon, and inure to the benefit of, the parties hereto and their respective successors, administrators and assigns.

32. Attorneys' Fees. In the event either party hereto fails to perform any of its obligations under this Purchase Agreement or in the event a dispute arises concerning the meaning or interpretation of any provision of this Purchase Agreement the defaulting party or the party not prevailing in such dispute, as the case may be, will pay any and all costs and expenses incurred by the other party in enforcing or establishing its rights hereunder, including, without limitation, court costs and reasonable attorneys' fees.

33. Construction. The section title or captions in this Purchase Agreement are for convenience only and will not be deemed to be part of this Purchase Agreement. All pronouns and any variations of pronouns will be deemed to refer to the masculine, feminine, or neuter, singular or plural, as the identity of the parties may require. Whenever the terms referred to herein are singular, the same will be deemed to mean plural, as the context indicates, and vice versa. If any term, covenant, condition or provision of this Purchase Agreement or the application thereof to any person or circumstance will, at any time or to any extent, be invalid or unenforceable, the remainder of this Purchase Agreement, or the application of such term or provision to

persons or circumstances other than those to which it is held invalid or unenforceable, will not be affected thereby, and each provision of this Purchase Agreement will be valid and will be enforced to the fullest extent permitted by law.

34. Neutral Interpretation. The provisions contained herein will not be construed in favor of or against either party because that party or its counsel drafted this Purchase Agreement, but will be construed as if all parties prepared this Purchase Agreement, notwithstanding any rules of construction to the contrary.

35. Expiration of Offer. This Purchase Agreement shall be null and void if it is not fully executed by July 14, 2006.

36. Time is of the essence. Time is of the essence of this Purchase Agreement and each and every term and provision hereof.

SELLERS

Sandy Wash, LLC,
a New Mexico limited liability company

By: Randy Glasebrook
Randy Glasebrook, Manager

Date: 6/28/06

The Cathedral Church of St. John,
A Protestant Episcopal Church Inc.
a New Mexico corporation

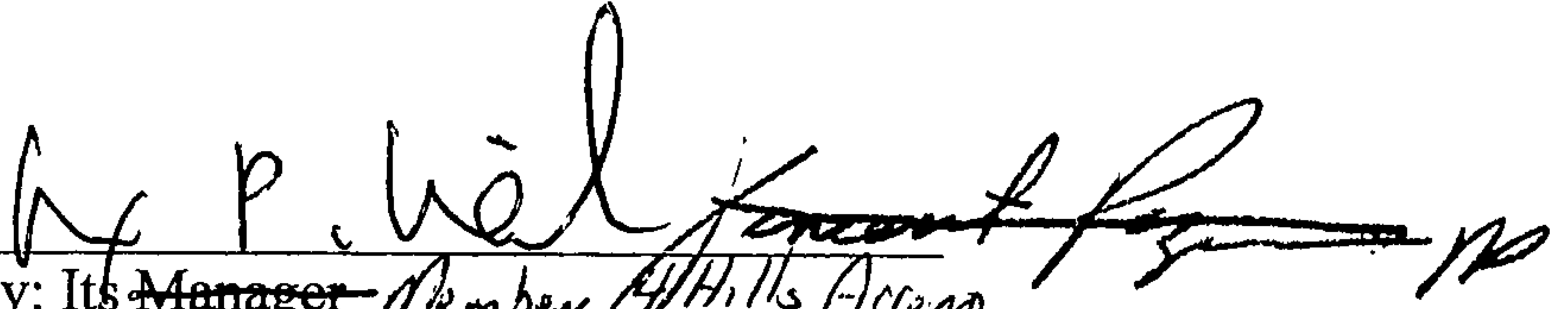
By: Robert T. Booms
~~The Very Reverend Alan G. Dennis, Dean~~
ROBERT T. BOOMS

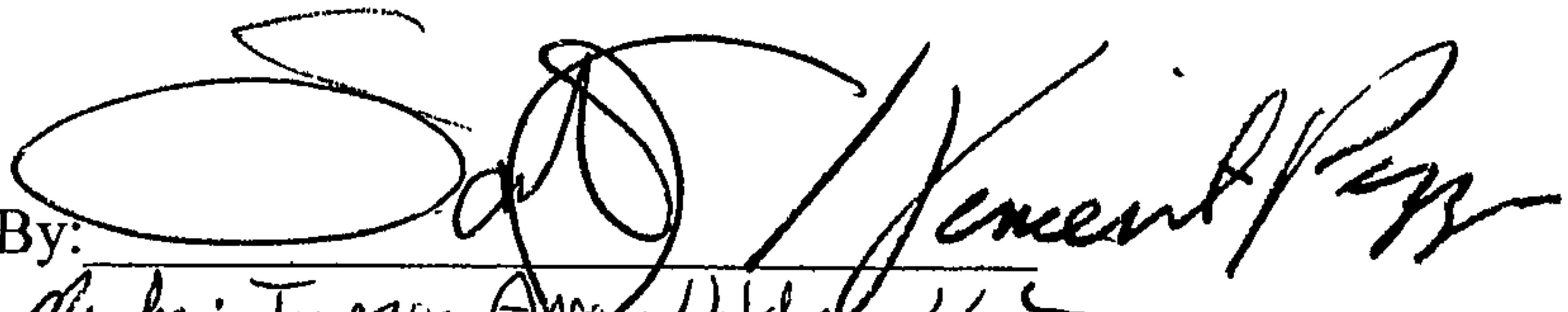
SENIOR WARDEN

Date: July 10, 2006

BUYER

East Mesa Holdings, LLC.
A New Mexico limited liability company.


By: ~~Its Manager~~ ~~Member~~ ~~Hills Arroyo~~
Holdings LLC
Date: 7-11-06


By: ~~Member~~ ~~Tijeras Arroyo Holdings, LLC~~
Date: 7-11-09