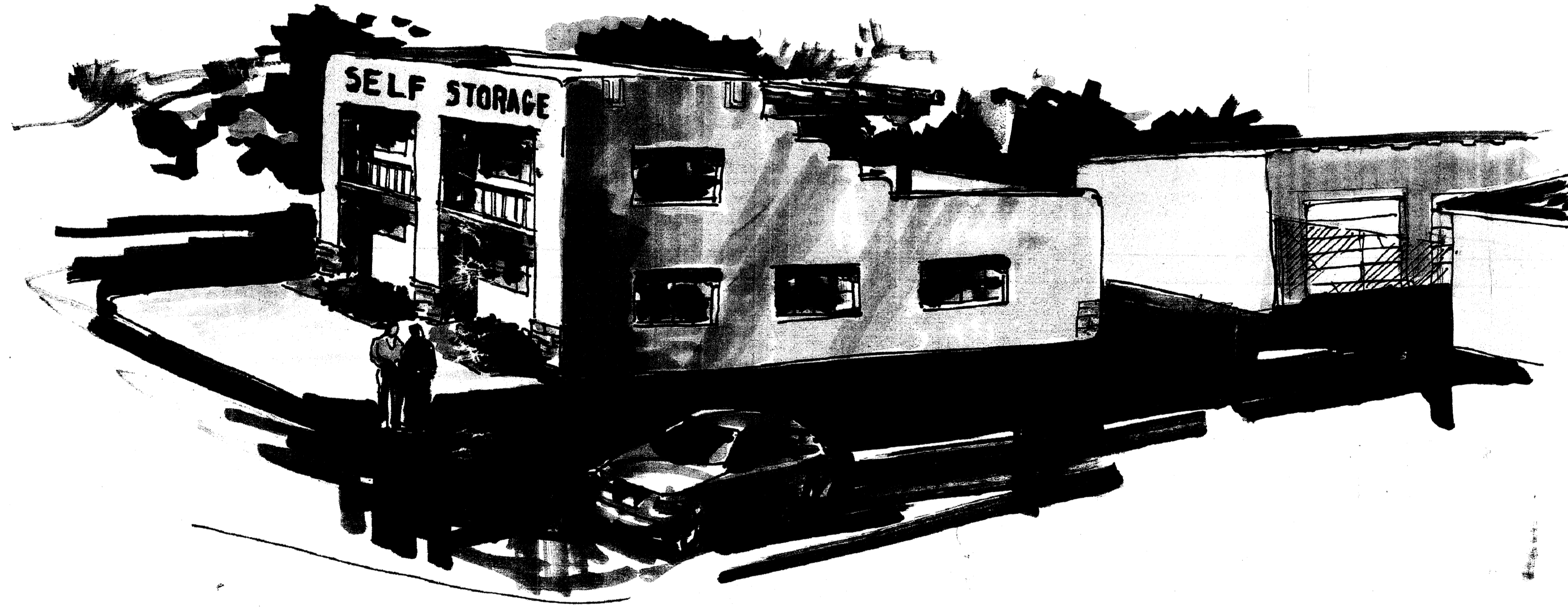


# WATER WORLD CARWASH AND STORAGE



## ALBUQUERQUE, NEW MEXICO

PROJECT# 1004725

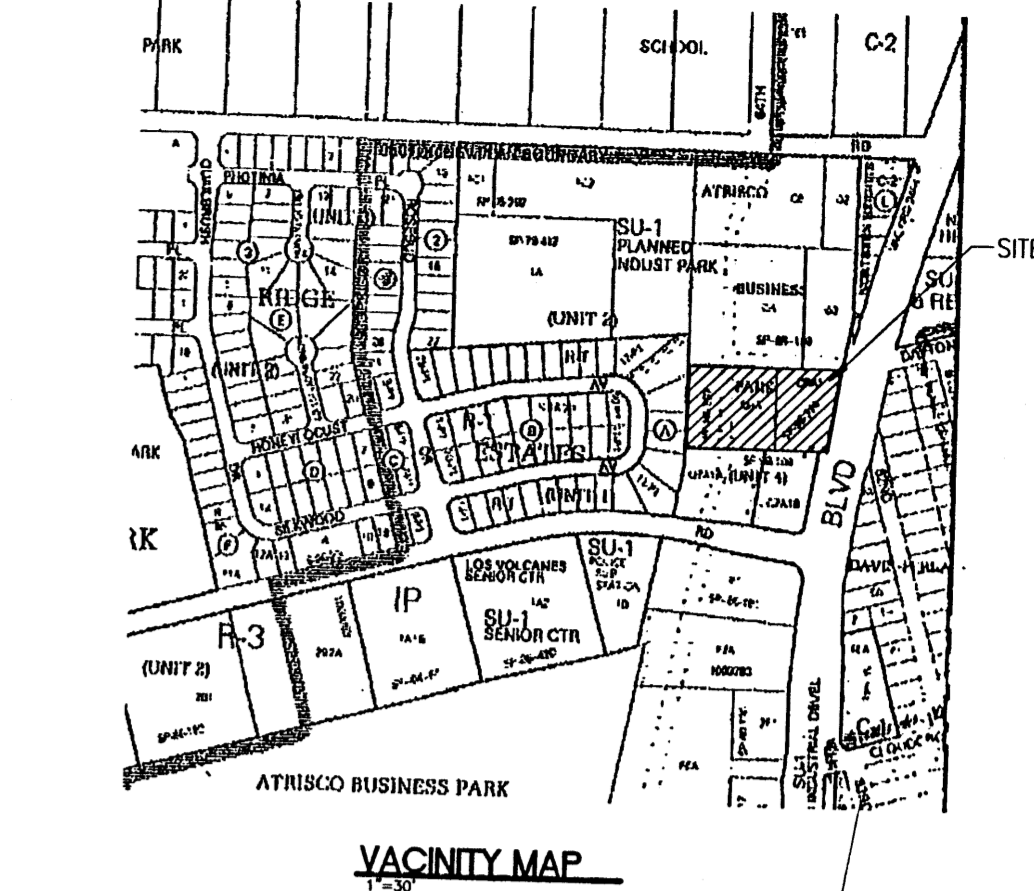
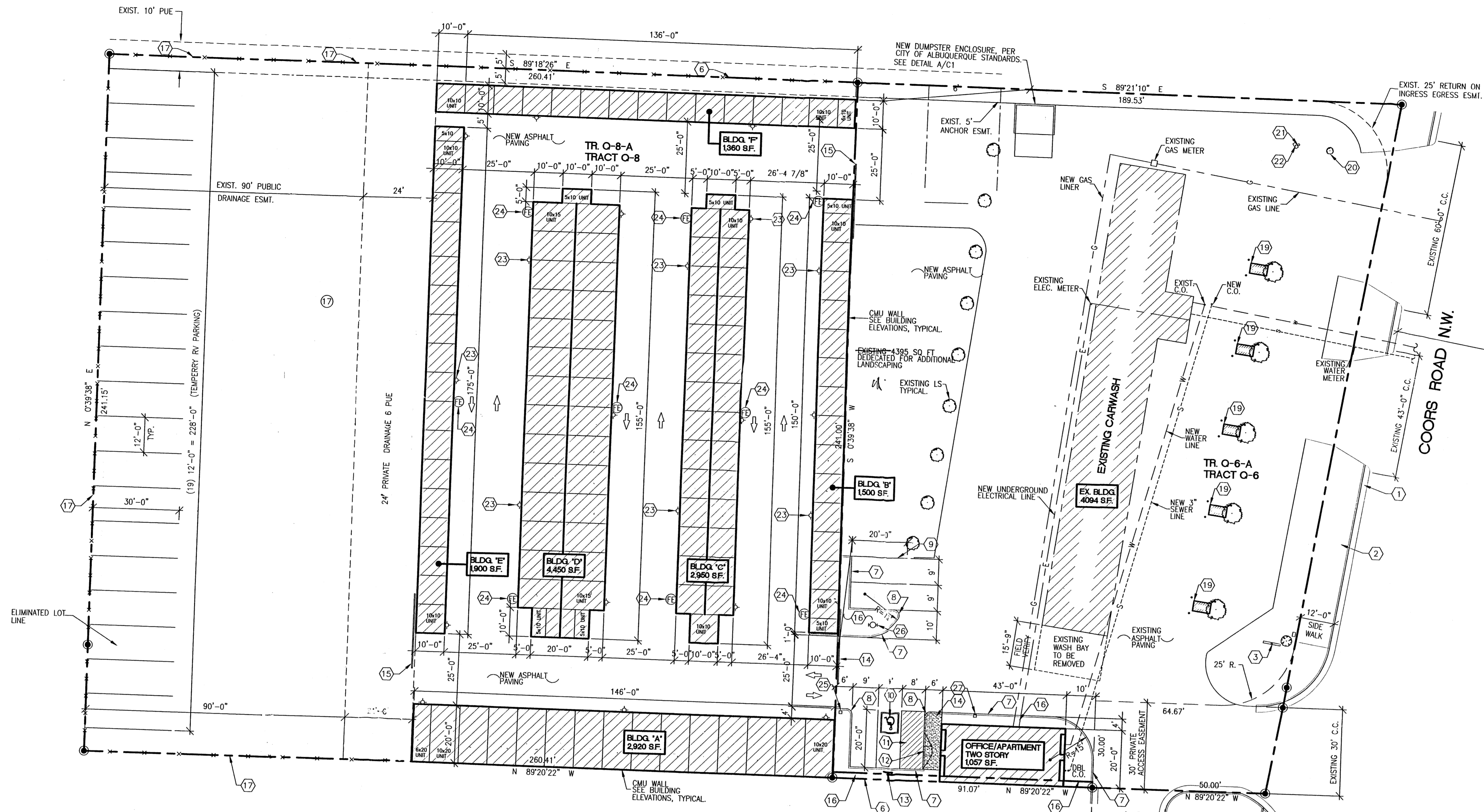
INDEX OF DRAWINGS	
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<b>PROJECT DATA:</b>	
CONSTRUCTION TYPE AND CLASSIFICATION	V-B, TABLE 503, B (OFFICE), R-2 (APARTMENT), S-2, (STORAGE)
ALLOWABLE HEIGHT AND BUILDING AREA	TABLE 503 2 STORY, 7,000 S.F.
SQUARE FOOTAGE	OFFICE = 106 S.F. 1ST FLOOR APARTMENT = 694 S.F. 2ND FLOOR APARTMENT = 257 S.F. STORAGE = 15,430 S.F. TOTAL = 16,487 S.F.
FIRE-RESISTANT RATING REQUIREMENTS OCC. B, R-2, S-2	NOT REQUIRED PER SECTION 302.3.1, NON-SEPARATED USES
<b>OCCUPANT LOAD</b>	
OFFICE:	106 SF/100 = 1 OCC.
APARTMENT	1,057 SF/200 = 5 OCC.
TOTAL	= 9 OCCUPANTS
<b>DESIGN LOADS</b>	
ROOF LIVE LOAD	20 PSF (NON-REDUCIBLE)
WIND LOAD	75 MPH
EXPOSURE	C
SEISMIC ZONE	2B
<b>LANDSCAPING REQUIREMENTS</b>	
ZONING	= SU1 For IP
LOT AREA (TRACT 06)	= 41,063 S.F., 3.23 AC.
LOT AREA (TRACT 08)	= 62,779 S.F., 3.23 AC.
TOTAL LOT AREA	= 103,842 S.F., 2.38 ACRES
EXISTING BUILDING AREA	= 4,094 S.F.
NEW BUILDING AREA	= 16,487 S.F.
NET LOT AREA	= 83,261 S.F.
REQUIRED:	
83,261 x 15%	= 12,489 S.F. OF LANDSCAPING
PROVIDED:	
12,489 PLUS S.E. OF L.S. (REF: LANDSCAPING PLAN)	
<b>PARKING CALCULATIONS</b>	
OFFICE	= 106 S.F./200 = 1 SPACES
APARTMENT	= 1 1/2 PER BATH = 3 SPACES
TOTAL PARKING REQUIRED	= 4 SPACES
PROVIDED	= 4 SPACES (1 HC VAN)
<b>LEGAL DESCRIPTION</b>	
- TR Q-8-A REPL OF TRS Q-6, Q-7 & Q-8 ATRISCO BUSINESS PARK UNIT 4 CONT 1.4412 AC +/- /82,779 SQ. FT. +	
- TR Q-6-A-1 PLAT OF TRS Q-6-A-1 & Q-7-A-1 ATRISCO BUSINESS PARK UNIT 4 CONT 0.9416 AC M/L OR 41,016 SF M/L	
NOTE: PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND. ALL EXTERIOR SITE LIGHTING TO BE SHIELDED DOWN LIGHTING.	

WATER WORLD CARWASH - STORAGE  
COVER SHEET  
ALBUQUERQUE, NM  
PROJECT #0542

REVISION DATE
DATE
05-31-2006
SHEET NUMBER
CVR

rick  
bennett  
ARCHITECTS  
1104 Park Avenue SW · Albuquerque, New Mexico 87102  
(505) 242-1859 · Fax (505) 242-6639 · rick@rickbennett.com





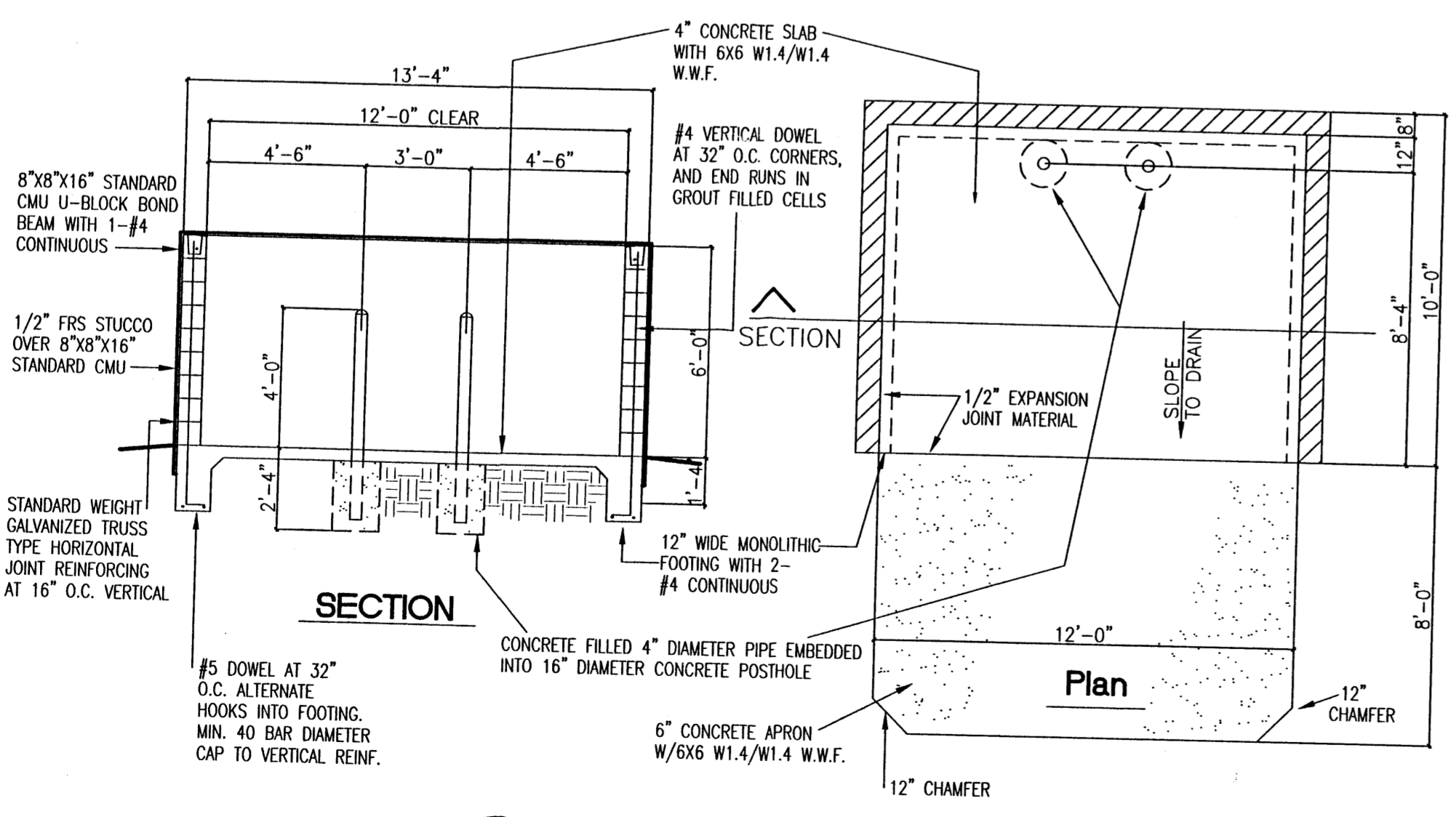
PROJECT DATA:	
CONSTRUCTION TYPE AND CLASSIFICATION	V-B, TABLE 503, B (OFFICE), R-2 (APARTMENT), S-2, (STORAGE)
ALLOWABLE HEIGHT AND BUILDING AREA	TABLE 503 2 STORY, 7,000 S.F.
SQUARE FOOTAGE	OFFICE = 106 S.F. 1ST FLOOR APARTMENT = 694 S.F. 2ND FLOOR APARTMENT = 257 S.F. STORAGE = 15,430 S.F. TOTAL = 16,487 S.F.
FIRE-RESISTANT RATING REQUIREMENTS	NOT REQUIRED PER SECTION 302.3.1, NON-SEPARATED USES
OCCUPANT LOAD	OFFICE: 106 SF/100 = 1 OCC. APARTMENT: 1,057 SF/200 = 5 OCC. TOTAL = 9 OCCUPANTS
DESIGN LOADS	
ROOF LIVE LOAD	20 PSF (NON-REDUCIBLE)
WIND LOAD	75 MPH
EXPOSURE	C
SEISMIC ZONE	2B

LANDSCAPING REQUIREMENTS	
ZONING	= SU1 For IP
LOT AREA (TRACT Q6)	= 41,063 S.F., 3.23 AC.
LOT AREA (TRACT Q8)	= 62,779 S.F., 3.23 AC.
TOTAL LOT AREA	= 103,842 S.F., 2.38 ACRES
EXISTING BUILDING AREA	= -4,094 S.F.
NEW BUILDING AREA	= -16,487 S.F.
NET LOT AREA =	83,261 S.F.
REQUIRED:	83,261 x .15% = 12,489 S.F. OF LANDSCAPING
PROVIDED:	12,489 PLUS S.F. OF LS. (REF: LANDSCAPING PLAN)
PARKING CALCULATIONS	
OFFICE = 106 S.F./200	= 1 SPACES
APARTMENT = 1 1/2 PER BATH	= 3 SPACES
TOTAL PARKING REQUIRED =	4 SPACES
PROVIDED	4 SPACES (1 HC VAN)

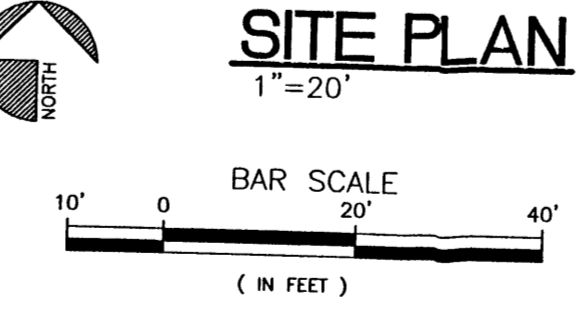
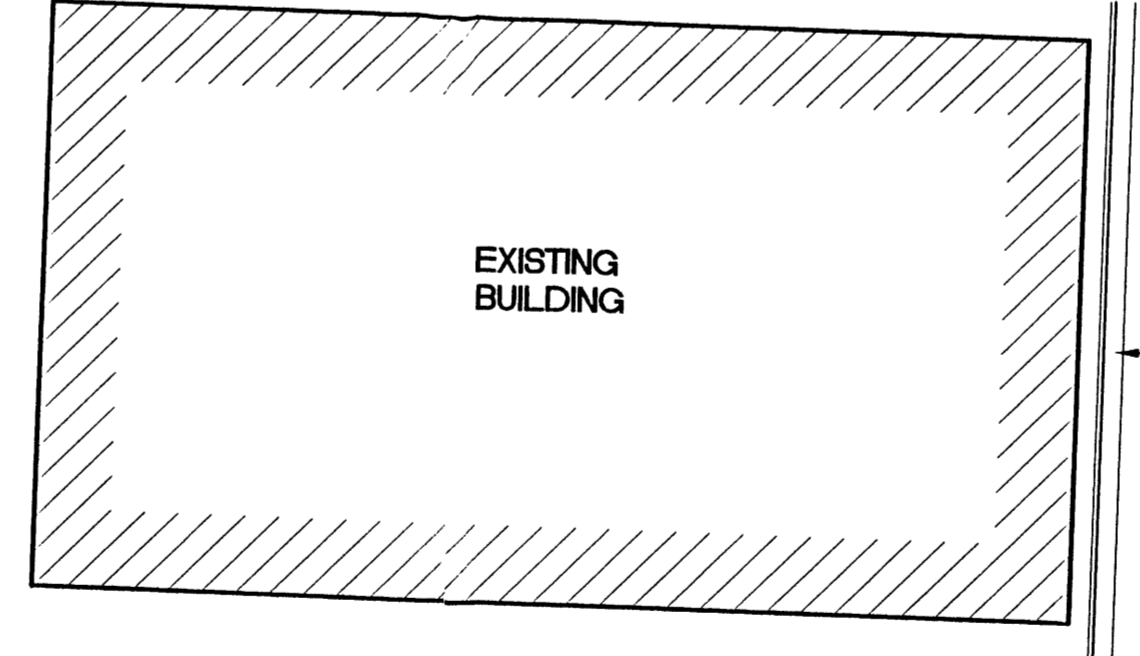
**LEGAL DESCRIPTION:**  
 - TR Q-8-A REPL OF TRS Q-6, Q-7 & Q-8 ATRISCO BUSINESS PARK UNIT 4 CONT 1.4412 AC +/- 82,779 SQ. FT +  
 - TR Q-6-A-1 PLAT OF TRS Q-6-A-1 & Q-7-A-1 ATRISCO BUSINESS PARK UNIT 4 CONT 0.9416 AC M/L OR 41,016 SF M/L

**NOTE:**  
 PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.  
 ALL EXTERIOR SITE LIGHTING TO BE SHIELDED DOWN LIGHTING.

- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING POLE MOUNTED SIGNAGE.
  - EXISTING FIRE HYDRANT.
  - 6" CONCRETE SIDEWALK.
  - 6" CMU FENCE WITH CMU PILASTERS AT 10'-0" O.C., TYPICAL.
  - 6" RAISED CURB, TYPICAL.
  - 2'-0" RADIUS, TYPICAL.
  - PAINTED PARKING STRIPE, PER C.O.A. STANDARDS.
  - PAINTED HC SYMBOL, PER C.O.A. STANDARDS.
  - PAINTED HC ACCESSIBLE STRIPE AISLE, PER C.O.A. STANDARDS.
  - HC ACCESSIBLE CURB RAMP, TYPICAL.
  - HC PARKING SIGNAGE, TYPICAL.
  - 25' LONG WROUGHT IRON AUTOMATIC SLIDING GATE.
  - 25' LONG WROUGHT IRON SLIDING GATE.
  - LANDSCAPING AREA, REF: LANDSCAPING PLAN.
  - 6" HIGH CHAIN LINK FENCE (FUTURE EXPANSION IN R/W)
  - WALL MOUNTED FIRE EXTINGUISHER, REF: PLAN, TYPICAL.
  - EXISTING TREE/LANDSCAPING.
  - EXISTING ADVERTISEMENT SIGN.
  - EXISTING COIN OPERATED AIR COMPRESSOR.
  - SHIELDED WALL PAC, LIGHT FIXTURE.
  - FIRE EXTINGUISHER 2A-10-BC EVERY 75'
  - KNOX-BOX PURCHASED AND INSTALLED BY OWNER FOR FIRE DEPT. USE TO GAIN ACCESS TO COMMERCIAL PROPERTY IN CASE OF EMERGENCY. VERIFY LOCATION BY FIRE DEPT.
  - NEW FIRE PRIVATE HYDRANT.
  - NEW GATE KEY PAD.



**1 DUMPSTER ENCLOSURE DETAIL**  
 C2 NOT TO SCALE



PROJECT NUMBER: 1004735  
 APPLICATION NUMBER: 06DRB.00429

Is an Infrastructure List required? ( ) Yes (X) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

*Full Dent*  
 Planning Engineering, Transportation Division  
 Date: 6-01-06

*Tom Kuen*  
 Water Utility Department  
 Date: 4-26-06

*Christina Sandoval*  
 Parks and Recreation Department  
 Date: 4/26/06

*Bradley S. Dingham*  
 City Engineer  
 Date: 4/26/06

*Michael Holten*  
 Solid Waste Management  
 Date: 4/12/06

*Michael Holten*  
 DRB Chairperson, Planning Department  
 Date: 6/09/06

\* Environmental Health Department (conditional)  
 Date: 4/12/06

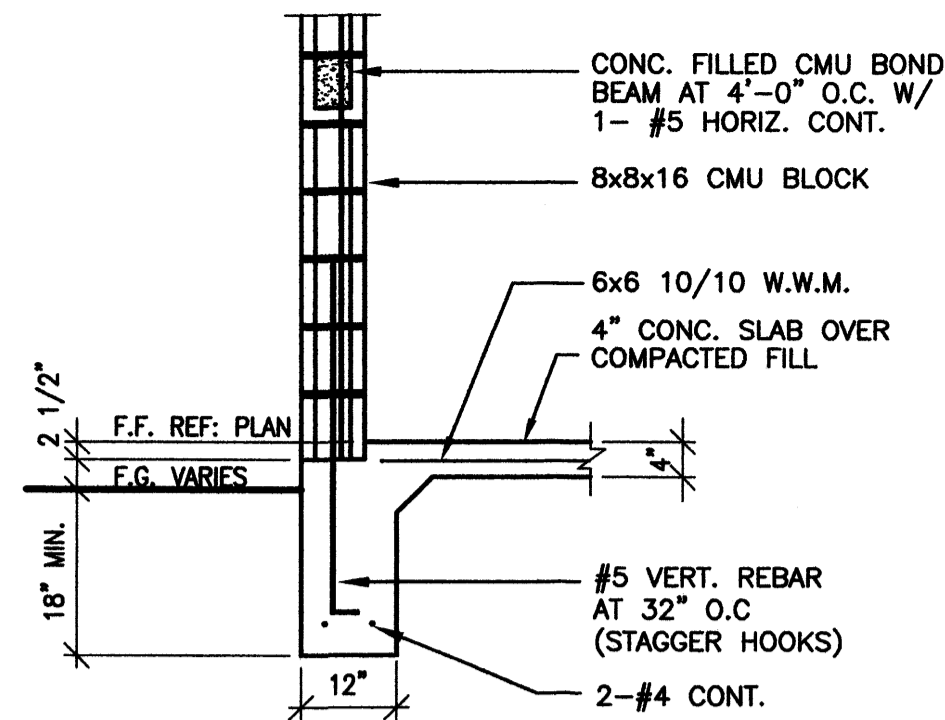
WATER WORLD CARWASH - STORAGE  
 SITE PLAN  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #0542

REVISION DATE: 04-13-06

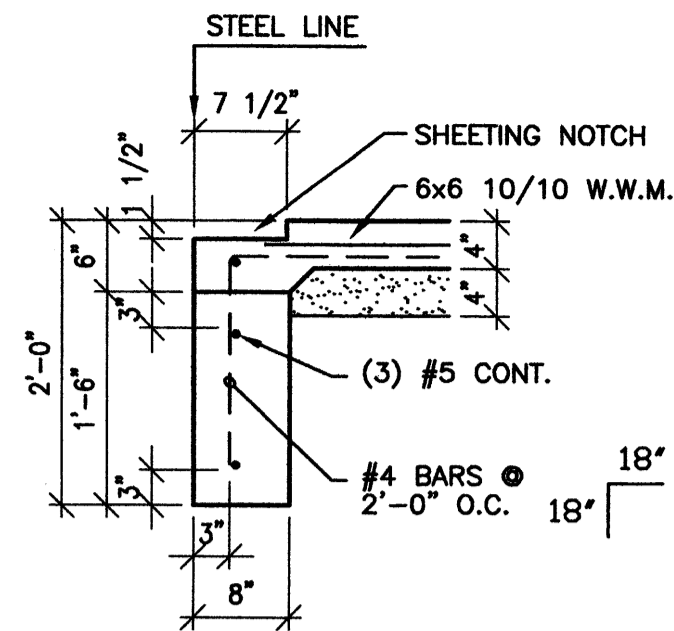
STATE OF NEW MEXICO  
 REGISTERED ARCHITECT  
 RICHARD P. BENNETT  
 No. 1240  
 JUN 03 2006

DATE: 02-02-2006

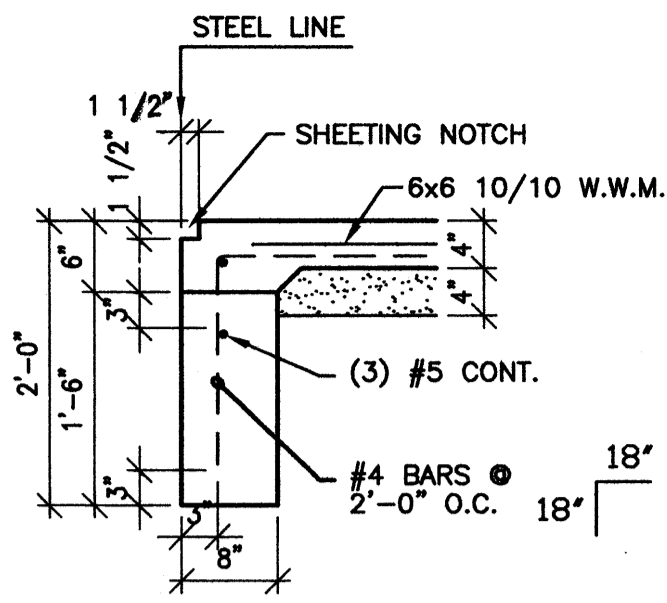
SHEET NUMBER: C-1



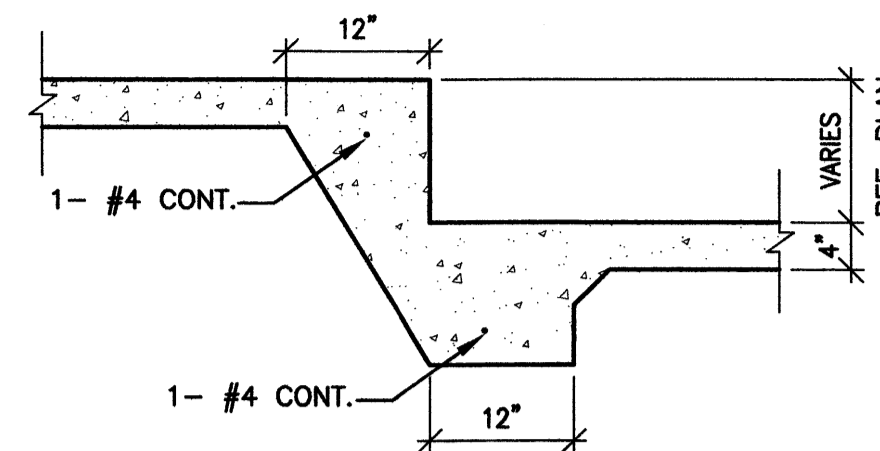
**1 FOOTING DETAIL**  
S1 SCALE: 3/4" = 1'-0"



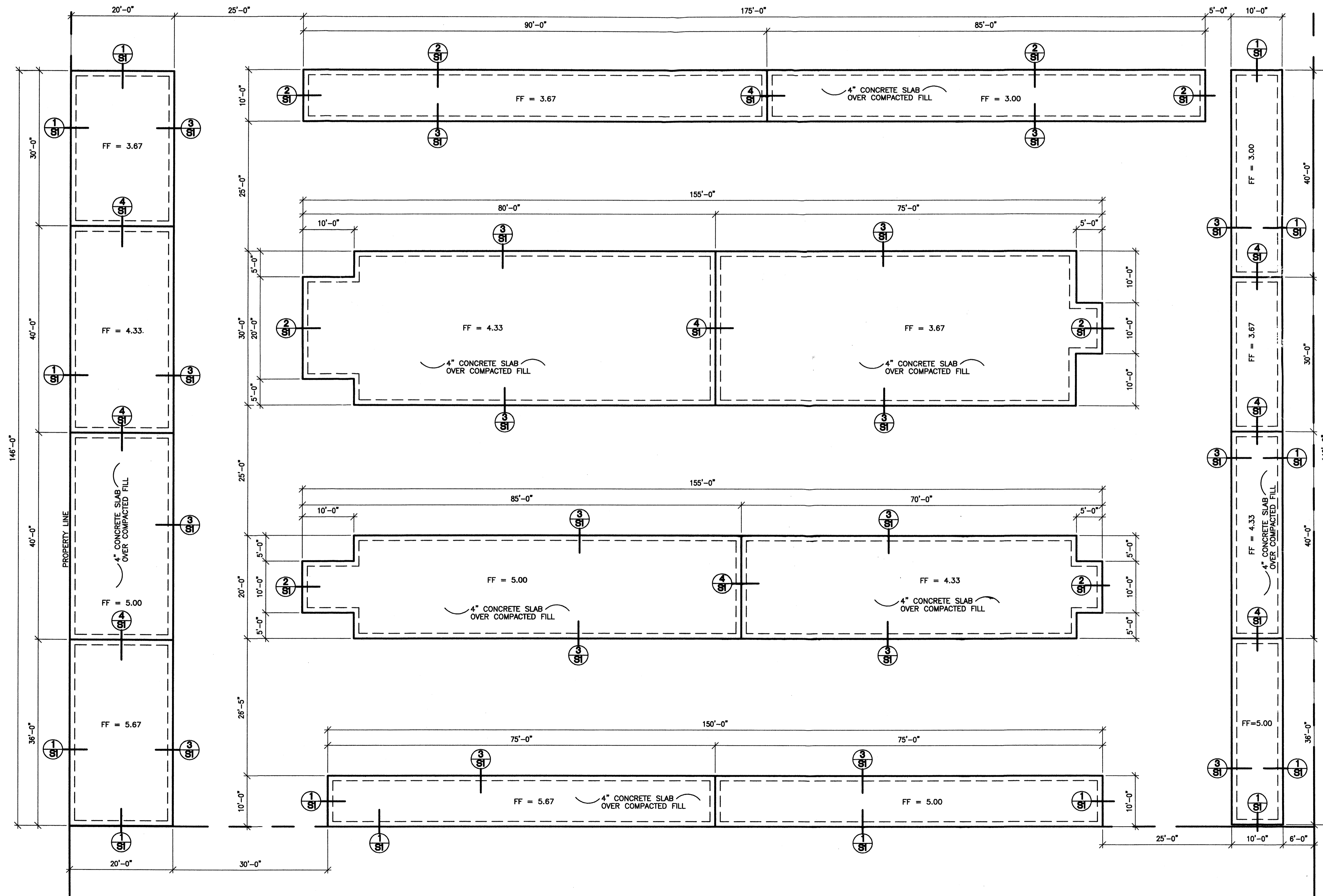
**2 FOOTING DETAIL**  
S1 SCALE: 3/4" = 1'-0"



**3 FOOTING DETAIL**  
S1 SCALE: 3/4" = 1'-0"



**4 FOOTING DETAIL**  
S1 SCALE: 3/4" = 1'-0"



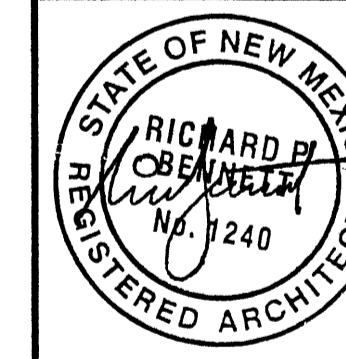
**FOUNDATION PLAN**  
S1 1" = 10'

**GENERAL NOTES:**

1. ALL CONC. TO HAVE 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
2. SEE DETAILS FOR FOOTING DIMENSIONS.
3. ADD MIX PER UBC 2602.
4. CONCRETE TO BE 4" MONOLITHIC SLAB OVER COMPACTED FILL.

WATER WORLD CAR WASH - STORAGE  
FOUNDATION PLAN  
ALBUQUERQUE, NM  
PROJECT #0542

REVISION DATE

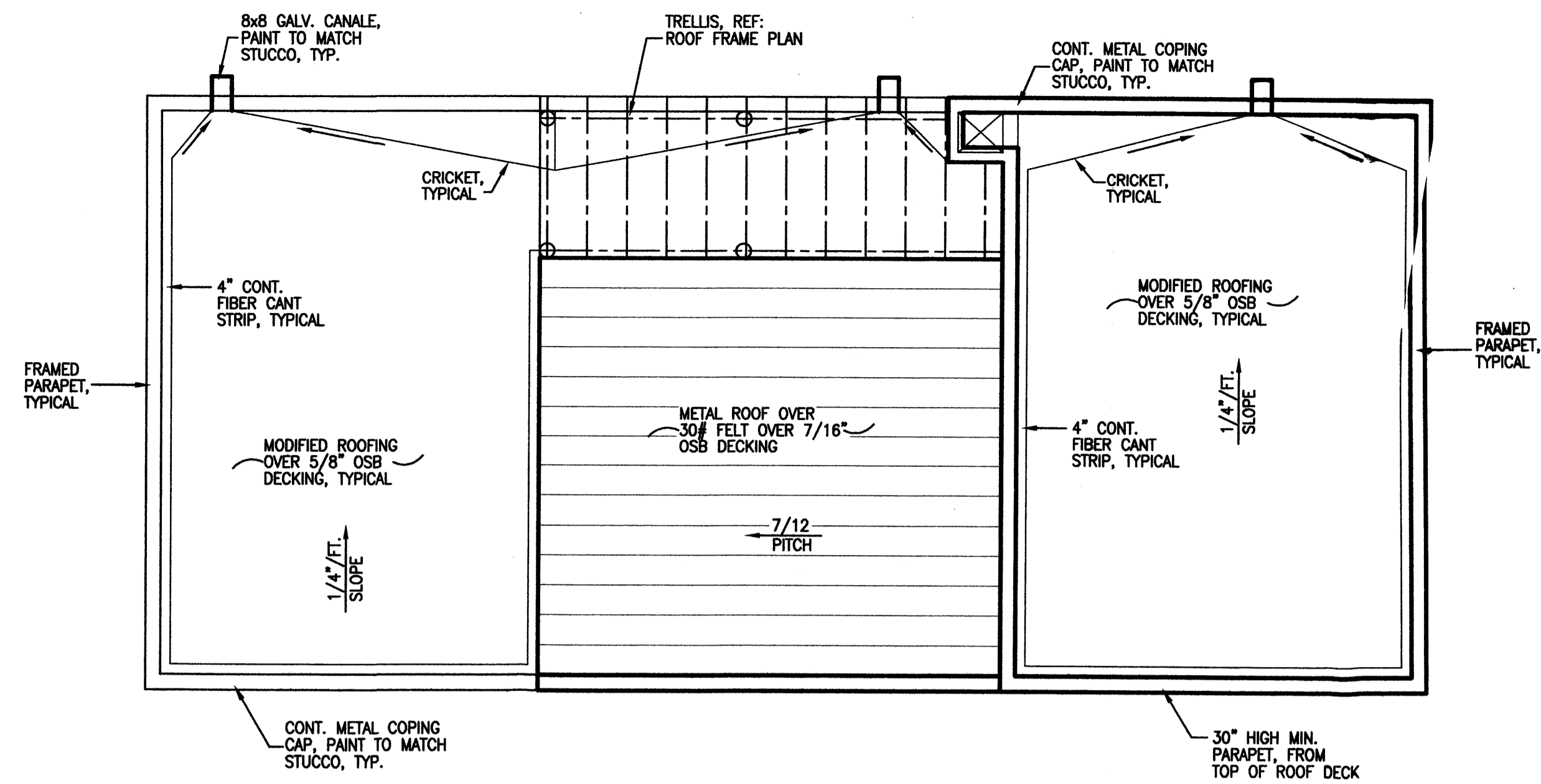


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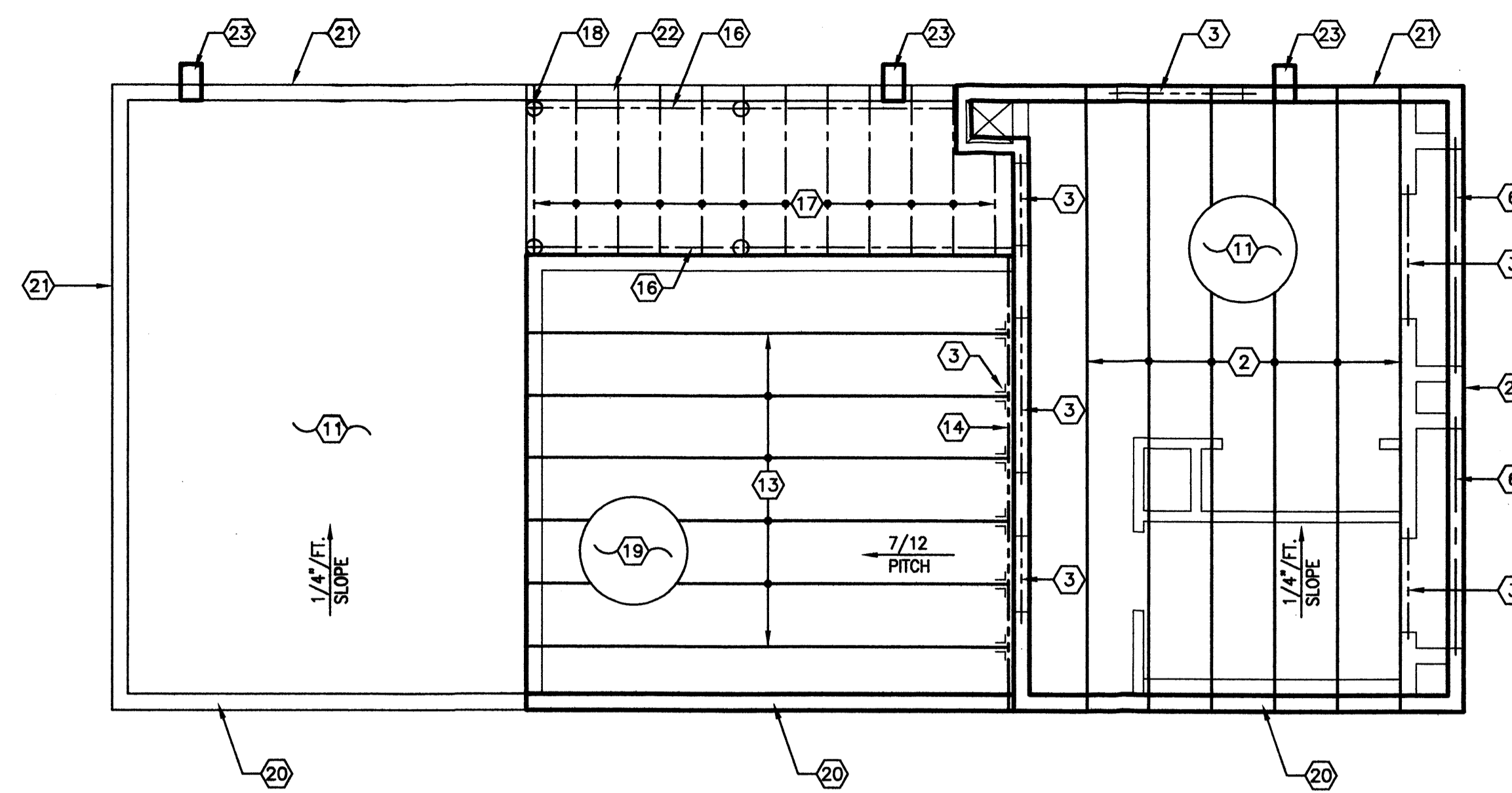
DATE  
05-31-2006

SHEET NUMBER  
**S-1**

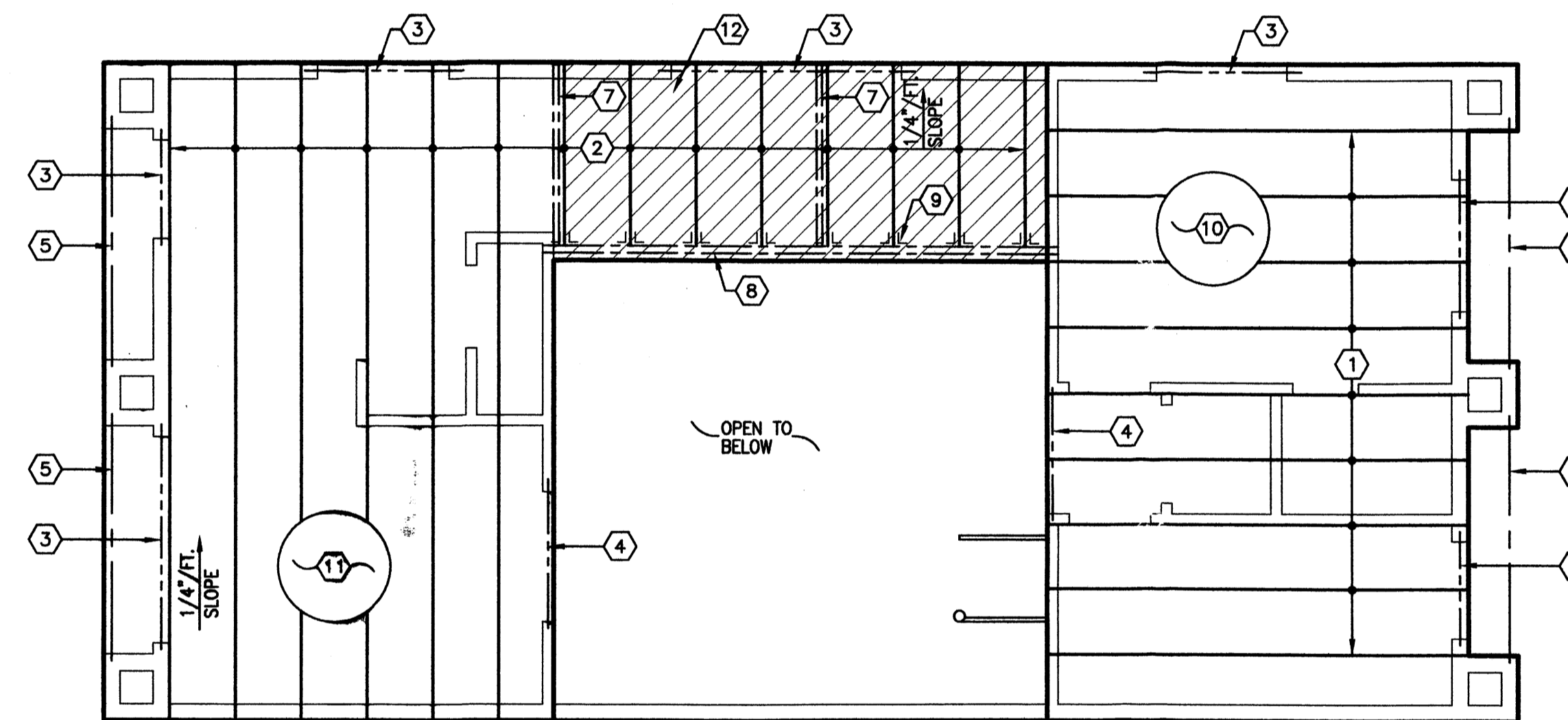




**4 ROOF PLAN**  
1/4"=1'-0"



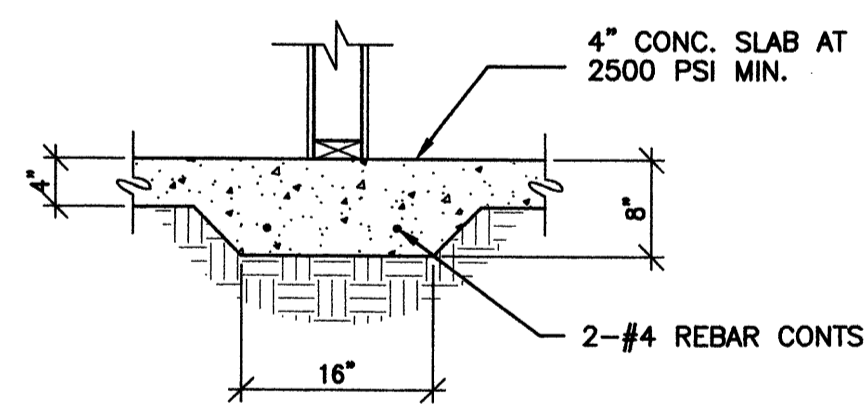
**3 ROOF FRAME PLAN**  
1/4"=1'-0"



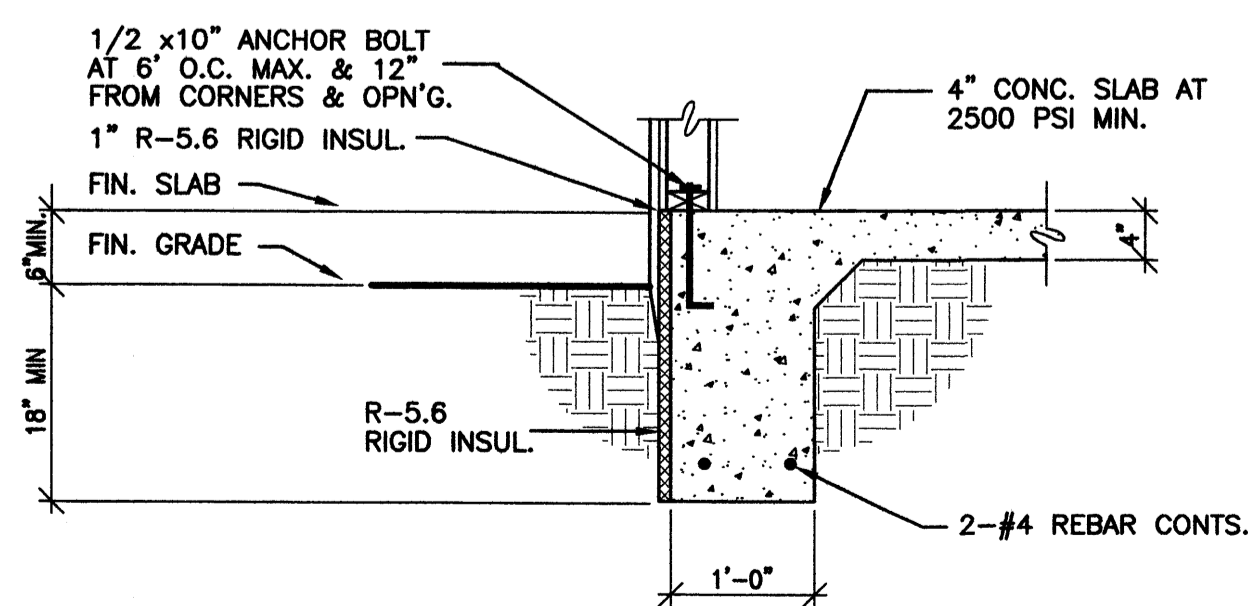
**2 2ND FLOOR FRAME PLAN**  
1/4"=1'-0"

**KEYED NOTES**

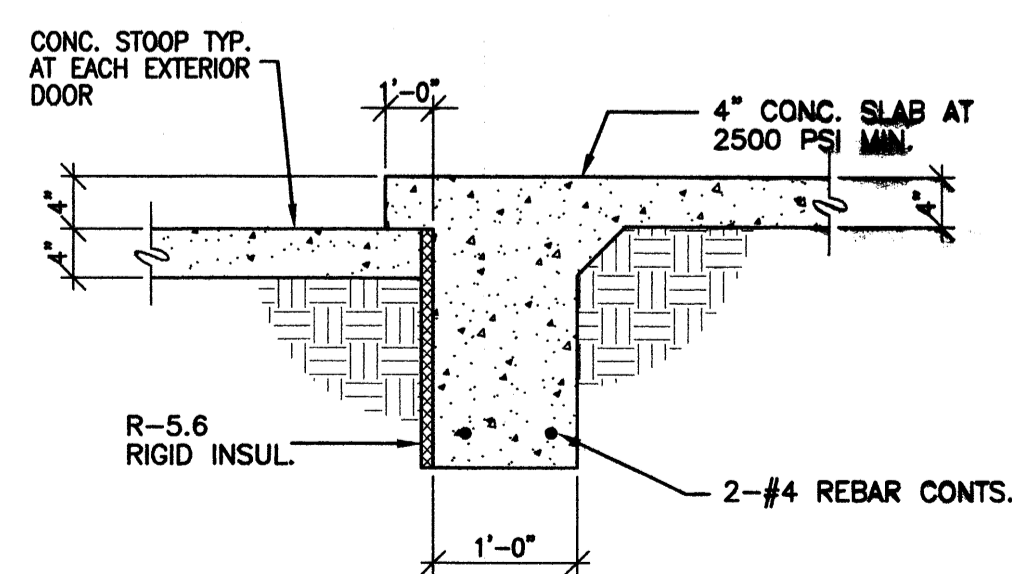
1. 18" DEEP PRE-ENGINEERED FLOOR TRUSSES AT 24" O.C.
2. 11 7/8" TJI JOISTS (SERIES 210) AT 24" O.C. W/ 2x RIPPERS WITH 1/4" FT. SLOPE
3. (2)-2x12 (H.F. #2) DROPPED HEADER W/ 2x SPACERS AT 16" O.C.
4. (2)-2x12 (H.F. #2) DROPPED HEADER W/ 1/2" OSB SPACERS.
5. (3)-2x12 (H.F. #2) BEAM, BOTTOM AT 9'-1" A.F.F.
6. 6x6 EXPOSED WOOD BEAM.
7. 5 1/4"x11 7/8" PARALLAM BEAM, LOCATE AT VIGA POST LOCATION.
8. 5 1/4"x14" PARALLAM BEAM, BOTTOM AT 9'-1" A.F.F.
9. TJI JOIST HANGER, SIMPSON OR EQUAL.
10. 3/4" T&G OSB DECKING, GLUED AND SCREWED OR EQUAL.
11. MODIFIED MEMBRANE ROOFING OVER 5/8" OSB DECKING WITH H-CLIPS, TYP.
12. CROSS HATCH AREA DENOTES 2x6 "TREX" DECKING OVER MODIFIED ROOFING OVER 3/4" T&G OSB DECKING GLUED AND SCREWED OR EQUAL.
13. 11 7/8" TJI JOIST (SERIES 210) AT 24" O.C.
14. 2x12 (H.F. #2) LEDGER, TYPICAL.
15. TJI VARIABLE SLOPE SEAT JOIST HANGER, SIMPSON OR EQUAL.
16. 6x6 EXPOSED WOOD BEAM, TYPICAL.
17. 2" DIA. LATILLAS, TYPICAL.
18. 6" DIA. VIGA POST, TYPICAL.
19. METAL ROOF OVER 30# FELT OVER 7/16" OSB DECKING W/ H-CLIPS.
20. 30" HIGH (MIN.) FRAMED PARAPET FROM TOP OF ROOF DECK ("O" LOT LINE).
21. FRAME PARAPET, TYPICAL.
22. STEPPED FRAMED PARAPET, REF: BUILDING ELEVATIONS.
23. CANALE, TYPICAL, REF: ROOF PLAN.



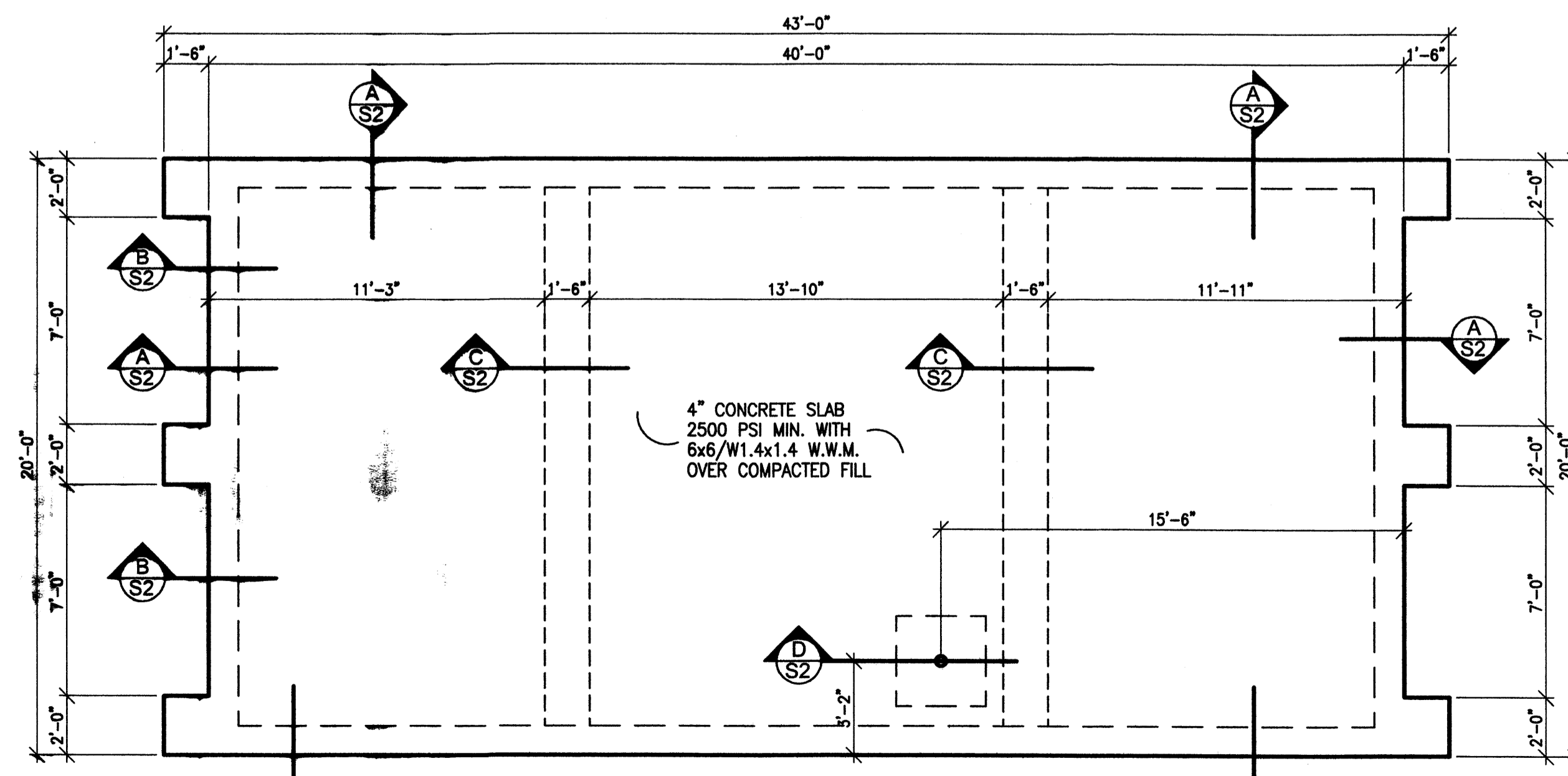
**C TYP. THICKEND SLAB DETAIL**  
3/4"=1'-0"



**A TYP. MONOLITHIC FOOTING**  
3/4"=1'-0"



**B TYP. SILL DETAIL**  
3/4"=1'-0"

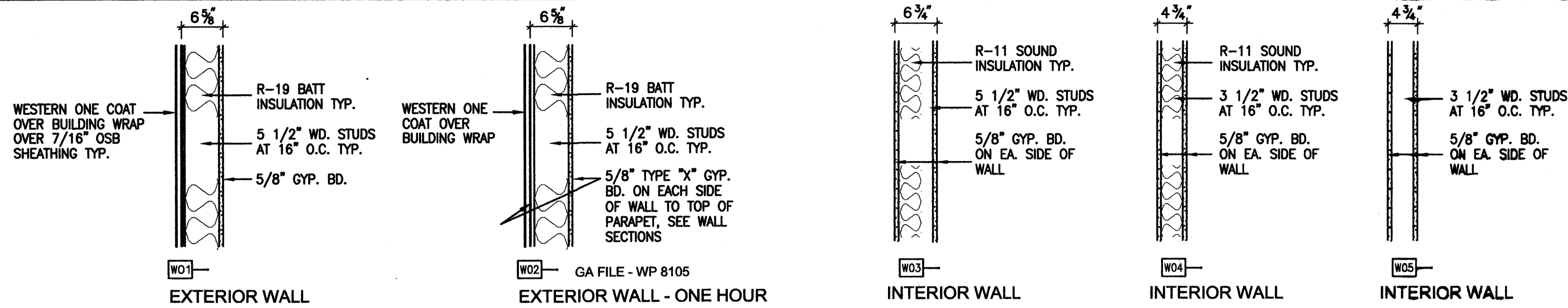


**1 FOUNDATION PLAN**  
1/4"=1'-0"

WATER WORLD CARWASH - STORAGE  
 ALBUQUERQUE, NEW MEXICO  
 FLOOR PLAN  
 PROJECT #0542

REVISION DATE
DATE 05-31-2006
SHEET NUMBER S-2

**PARTITION TYPES**



**GENERAL NOTES**

- A. REFERENCE EXTERIOR ELEVATION AND DESIGN SECTIONS FOR ALL EXTERIOR WALL MATERIAL SPECIFICATIONS. PROVIDE SAMPLES OF ALL MATERIAL TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- B. ALL INTERIOR CONSTRUCTION BASED UPON THE USE OF STANDARD 2X4 WOOD STUDS AT 16" O.C. WITH 5/8" GYP. BOARD BOTH SIDES (TYPE "X" PER PLAN). EXTERIOR WALLS BASED UPON USE OF 2X6 WOOD STUDS AT 16" O.C. W/ STUCCO SYSTEM AND 7/16" OSB SHEATHING OR EQUAL. ALL WALLS RECEIVING CERAMIC TILE FINISH SHALL HAVE 5/8" "GREEN BOARD" TYPE GYP. BOARD. ALL WET WALLS SHALL HAVE 5/8" "GREEN BOARD" (WATER RESISTANT) TYPICAL.
- C. ALL GLAZING TO BE INSULATED GLASS, STOREFRONT WINDOWS PER FLOOR PLAN. VINYL OR ALUM. WINDOWS TO BE USED AT LIVING QUARTERS, COLOR AND STYLE BY OWNER.
- D. ALL PRODUCT SUPPLIERS TO PROVIDE G.C. WITH SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY AND APPROVE ALL SHOP DRAWINGS PRIOR TO CONSTRUCTION.
- E. NO SUBSTITUTIONS OF MATERIALS WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE. ALL MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- F. SEE SITE PLAN FOR LOCATION OF CONCRETE CURBS, SIDEWALKS AND SLABS.
- G. SEE STRUCTURAL SHEETS FOR FOUNDATION AND ROOF FRAMING PLANS.
- H. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO ANY CONSTRUCTION.
- I. ALL WORK TO BE DONE TO INDUSTRY STANDARDS AND CONFORM TO STATE AND LOCAL CODES, AND THE AMERICANS WITH DISABILITIES ACT OF CABO/ANSI 1998
- J. PROVIDE ALL LIFE SAFETY DEVICES TO CODE.

**APARTMENT GENERAL NOTES**

- A. ALL LUMBER SHALL BE #2 OR BETTER PINE, UNLESS OTHERWISE NOTED.
- B. EXTERIOR SHEATHING TO BE 7/16" OSB SHEATHING OR EQUAL.
- C. ALL EXTERIOR WALL FRAMING TO BE 2x6 STUDS AT 16" O.C., (D.F.#2).
- D. INTERIOR WALL FRAMING TO BE 2x4 STUDS AT 16" O.C. (D.F.#2)
- E. NOT USED.
- F. ALL APARTMENT WINDOW TO BE DOUBLE GLAZED, TEMPERED GLASS AS REQUIRED.
- G. ALL SMOKE DETECTORS TO BE AUDIBLE IN ALL SLEEPING AREAS, AND WIRED TOGETHER WITH BATTERY BACKUP, (SEE ELECTRICAL PLANS).
- H. ROOF/CEILING INSULATION TO BE R-38 BATT INSULATION, FULL COVERAGE, TYPICAL.
- I. EXTERIOR WALL INSULATION TO BE R-19 BATT INSULATION, FULL HEIGHT OF WALL, UNLESS OTHERWISE NOTED.
- J. G.C. TO PROVIDE FIRE EXTINGUISHERS, REF: OVERALL PLANS FOR LOCATION.
- K. ALL GYP. CORNERS TO BE BULLNOSED.

**APARTMENT DOOR NOTES**

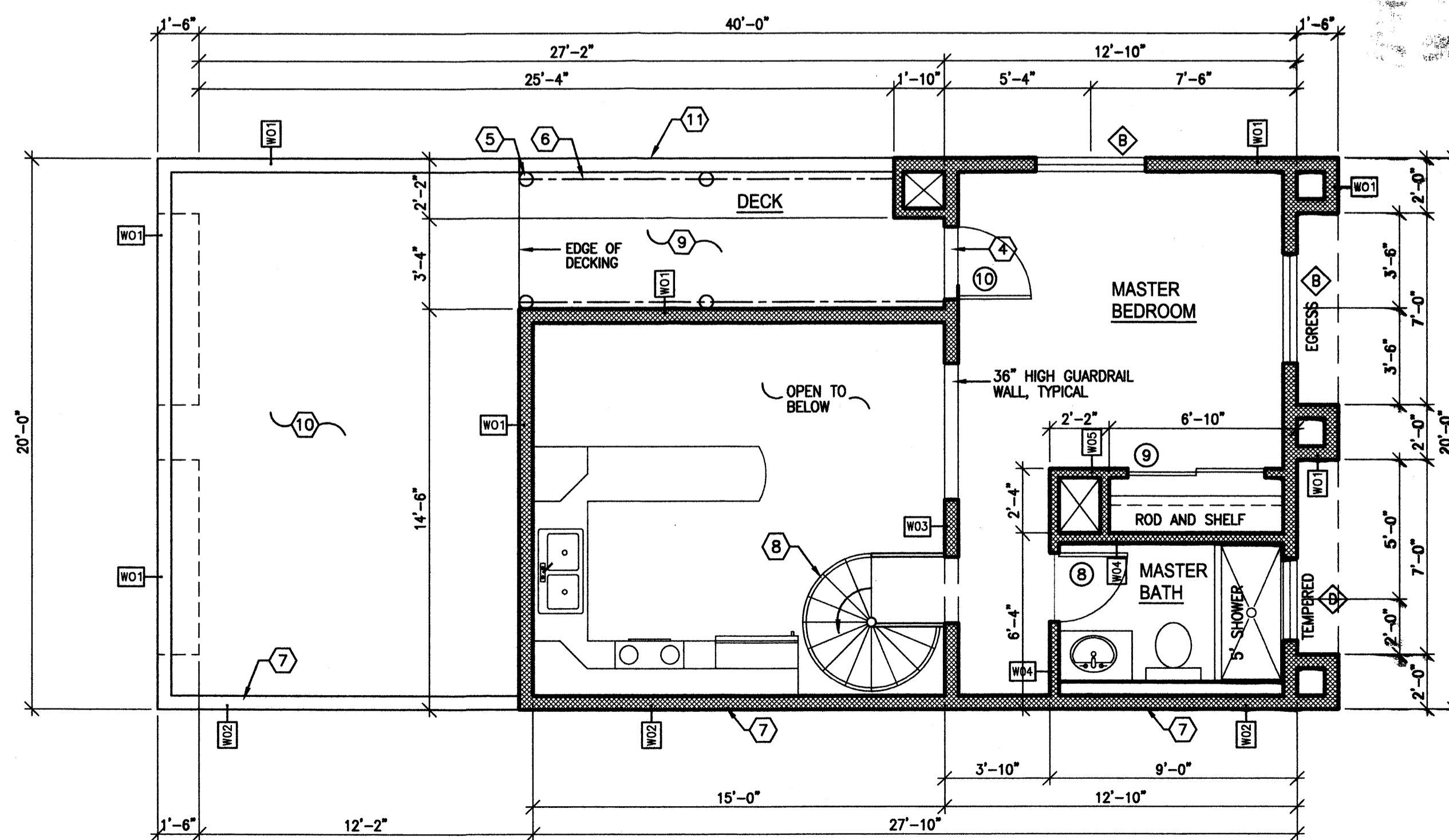
1. INTERIOR DOORS: COLONIST STYLE, PRE-HUNG HOLLOW CORE, PAINT GRADE DOOR, FRAME AND TRIM.
2. EXTERIOR DOORS: COLONIST STYLE, PRE-HUNG FOAM CORE METAL DOOR W/ PAINT GRADE FRAME.
3. DOOR HARDWARE: ALL HARDWARE TO BE WEISER OR KWIKSET RESIDENTIAL, PRE-HUNG DOOR UNITS W/ BRIGHT BRASS PR 1-1/2" HINGES.
4. LOCK FUNCTIONS:  
 ENTRANCE LOCK: ENTRANCE LOCK  
 EXTERIOR DOORS: PRIVACY LOCK  
 EXTERIOR STORAGE: PASSAGE LATCH  
 BEDROOM & BATH: PASSAGE LATCH  
 ALL OTHER INT. DRS. ALL OTHER INT. DRS.  
 NOTE: FOR HANDICAPPED USE PROVIDE "VEN" LEVER FOR ALL DOORS.

**BUILDING AREAS**

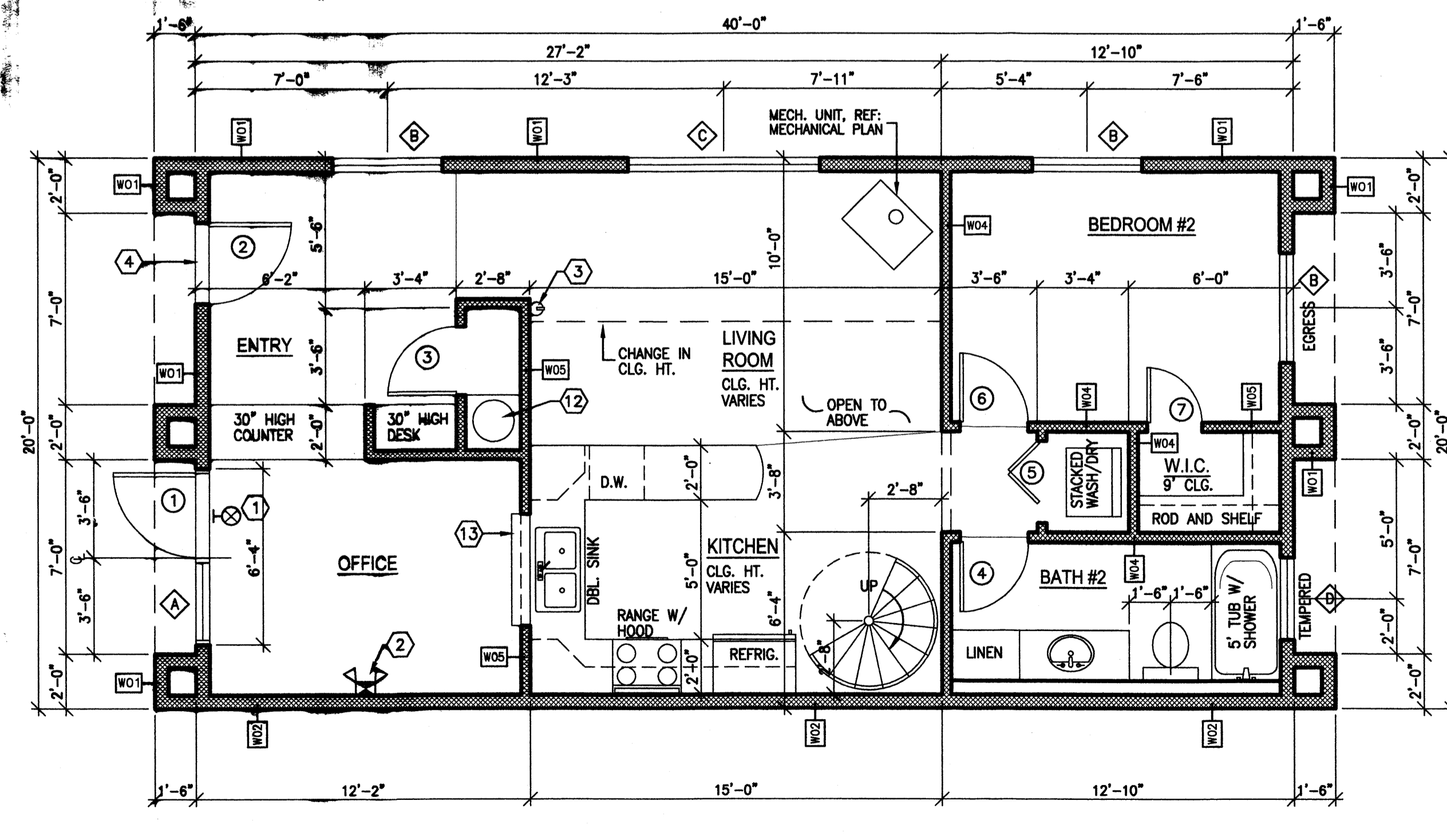
1ST FLOOR AREA:	106 S.F.
OFFICE AREA:	694 S.F.
APARTMENT AREA:	800 S.F.
TOTAL 1ST FLOOR AREA:	257 S.F.
2ND FLOOR AREA:	1,057 S.F.
TOTAL BUILDING AREA:	1,057 S.F.

**KEYED NOTES**

1. EXIT LIGHT W/ BATTERY BACK-UP.
2. EMERGENCY LIGHT W/ BATTERY BACK-UP.
3. FIRE EXTINGUISHER, WALL MOUNTED, 2A-10-BC.
4. 1/2" HIGH MAX. ALLUM. THRESHOLD, PART OF DOOR LINE.
5. 6" DIA. VEGA BOST, TYPICAL.
6. 6x6 EXPOSED WOOD BEAM, TYPICAL.
7. 30" HIGH WALL, FRAMED PARAPET FROM TOP OF ROOF DECK WITH 5/8" TYPE "X" GYP. BD. FROM 1ST FLOOR FINISH FLOOR TO TOP OF FRAMED PARAPET, ONE HOUR CONSTRUCTION AT 10' LOT LINE.
8. PRE-MANUFACTURED 5'-0" DIA. STEEL SPIRAL STAIRWAY 17'-7 1/2" RISERS = 10'-7 3/4" TOTAL RISE.
9. 2x6 TRUSS DECKING OVER MODIFIED MEMBRANE ROOF OVER 3/4" OSB TAG DECKING GLUED AND SCREENED OR EQ.
10. MODIFIED MEMBRANE ROOF OVER 5/8" OSB DECKING, TYP.
11. STEPPED WALL, SEE BLDG. ELEVATIONS.
12. 42" HIGH HEATER OR 18" RAISED PLATFORM.
13. 42" HIGH SILL.



**2 2ND FLOOR PLAN**  
1/4"=1'-0"



**1 1ST FLOOR PLAN**  
1/4"=1'-0"

**WATER WORLD CARWASH - STORAGE**  
**FIRST AND SECOND FLOOR PLAN**  
**ALBUQUERQUE, NM**  
**PROJECT #0542**

REVISION DATE

STATE OF NEW MEXICO  
 RICHARD P. BENNETT  
 REGISTERED ARCHITECT

rick bennett architects  
 104 Park Avenue SW - Albuquerque, New Mexico 87102  
 (505) 242-1899 - Fax (505) 242-6653 - rpb@rbaa.com

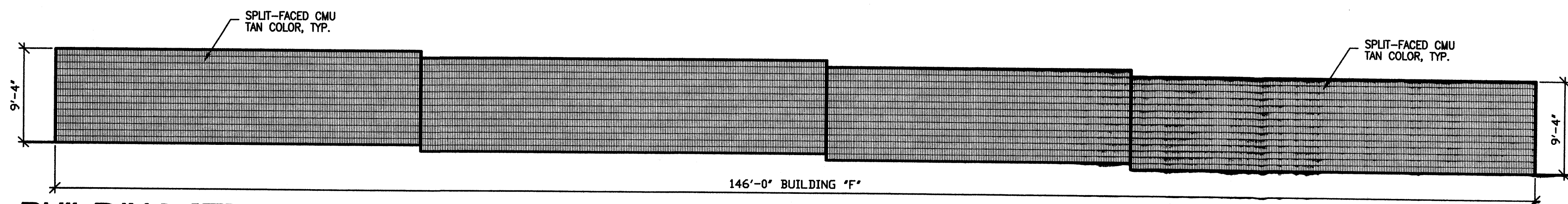
DATE  
05-31-2006

SHEET NUMBER  
A-1

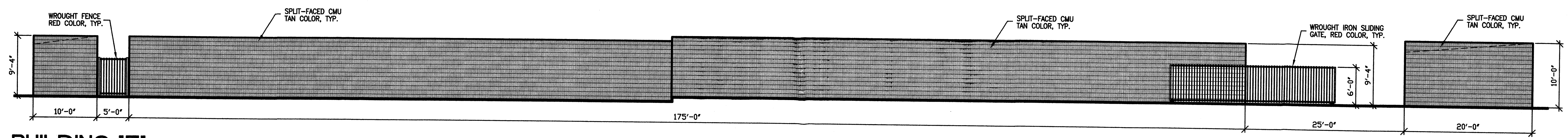




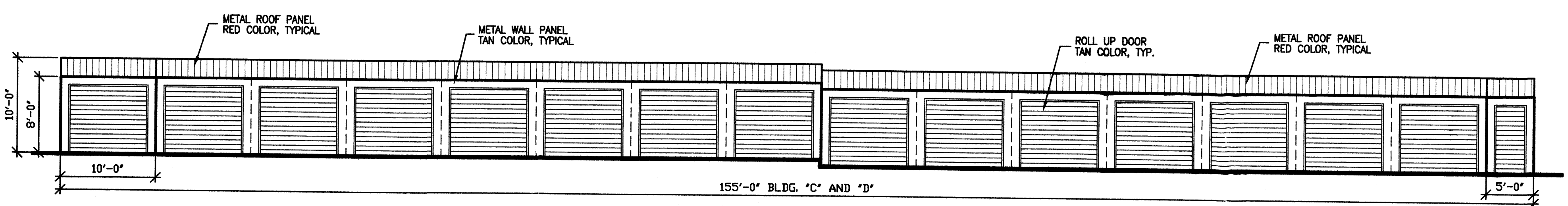




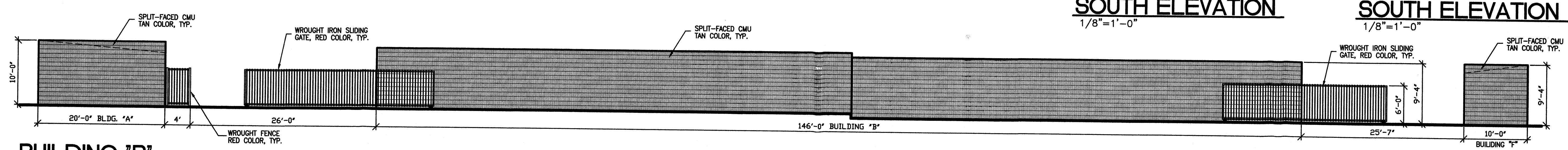
**BUILDING "F"  
NORTH ELEVATION**  
1/8"=1'-0"



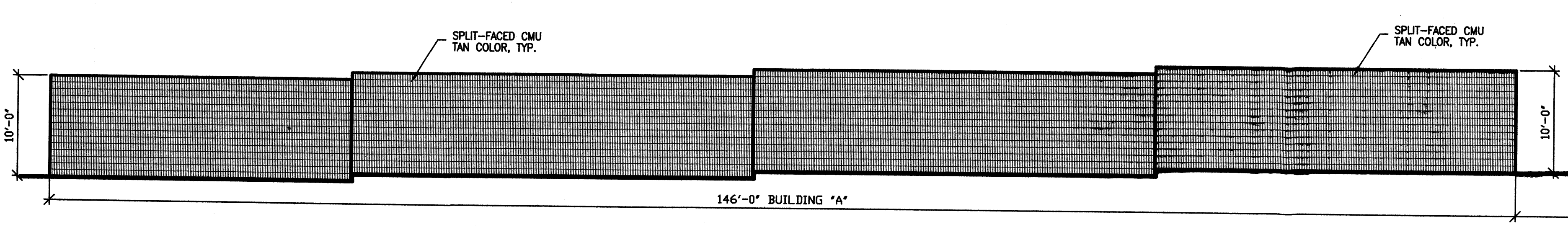
**BUILDING "E"  
WEST ELEVATION**  
1/8"=1'-0"



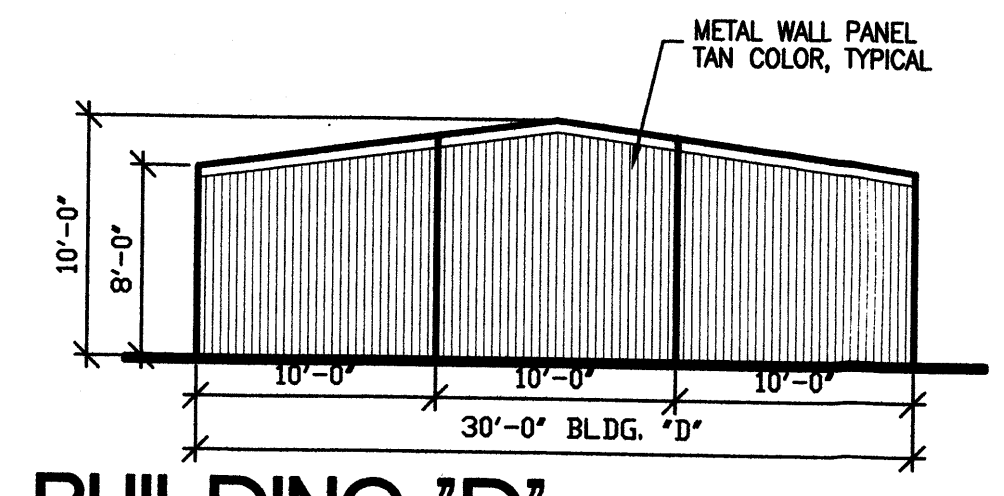
**BUILDING "C" AND "D"  
EAST AND WEST ELEVATION**  
1/8"=1'-0"



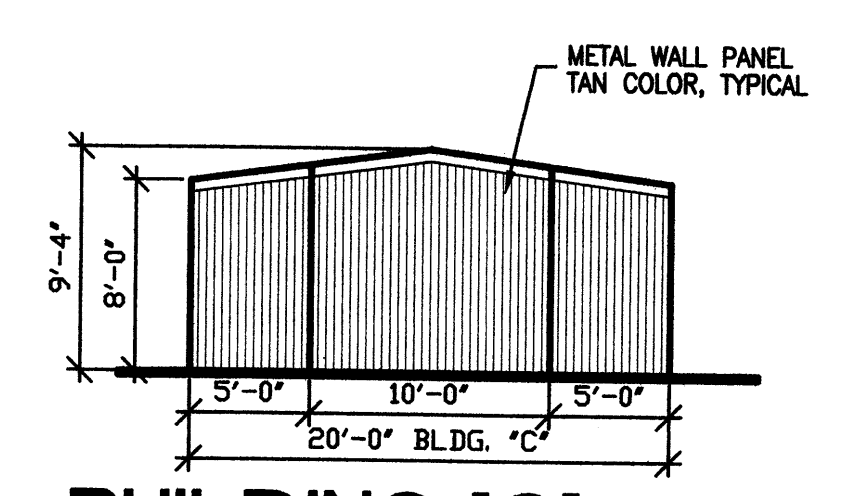
**BUILDING "B"  
EAST ELEVATION**  
1/8"=1'-0"



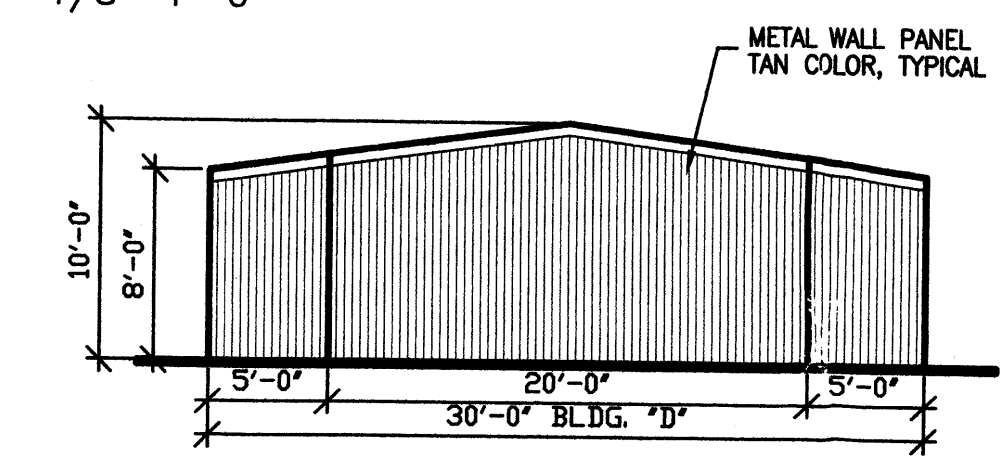
**BUILDING "A"  
SOUTH ELEVATION**  
1/8"=1'-0"



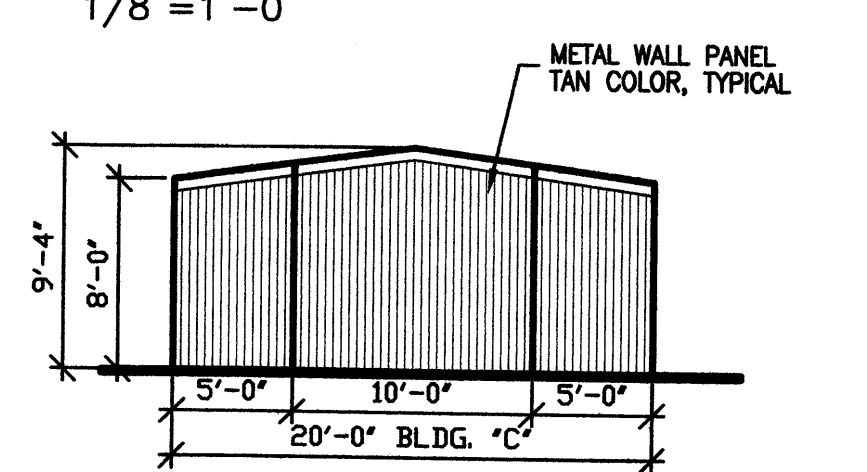
**BUILDING "D"  
NORTH ELEVATION**  
1/8"=1'-0"



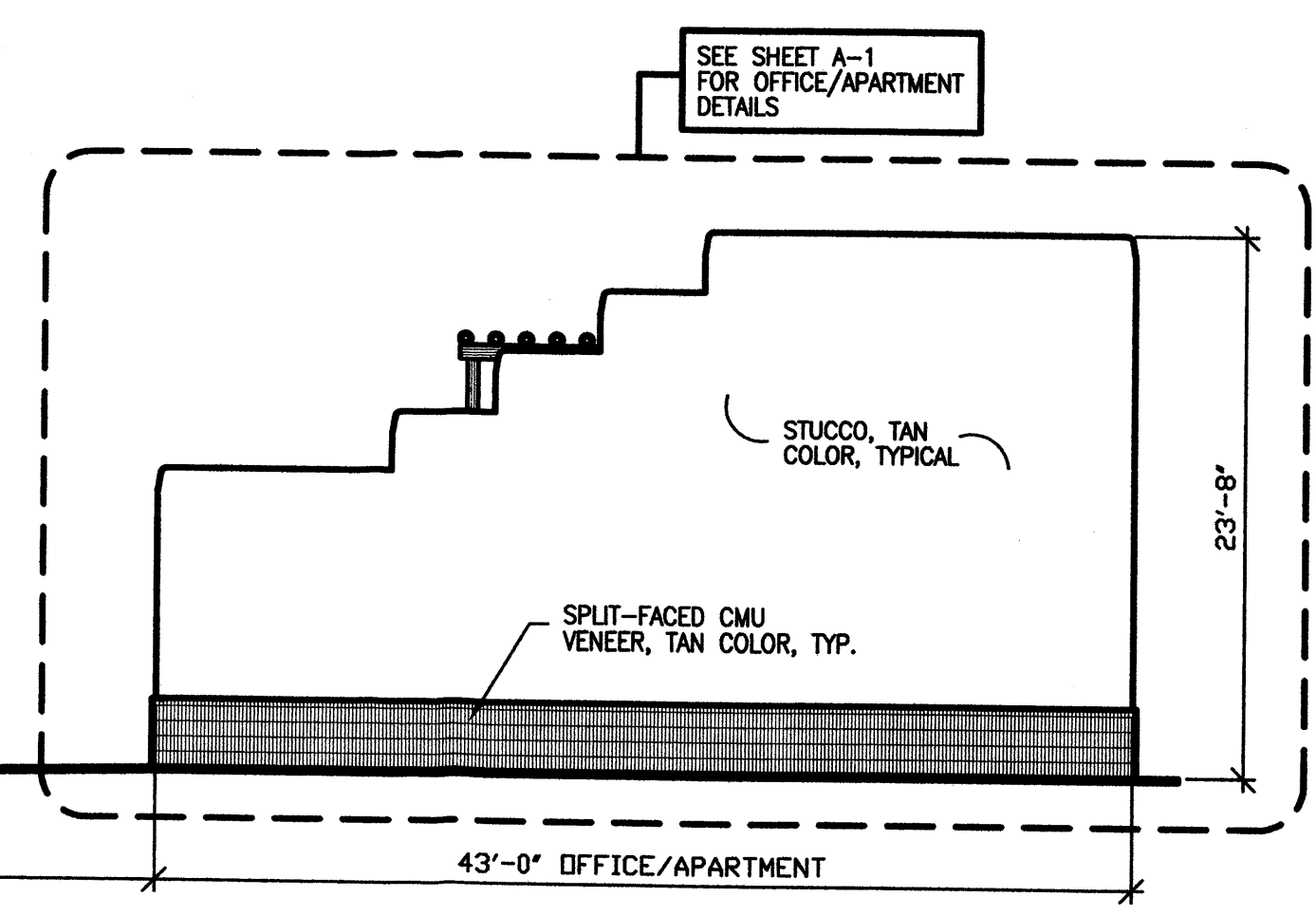
**BUILDING "C"  
NORTH ELEVATION**  
1/8"=1'-0"



**BUILDING "D"  
SOUTH ELEVATION**  
1/8"=1'-0"



**BUILDING "C"  
SOUTH ELEVATION**  
1/8"=1'-0"

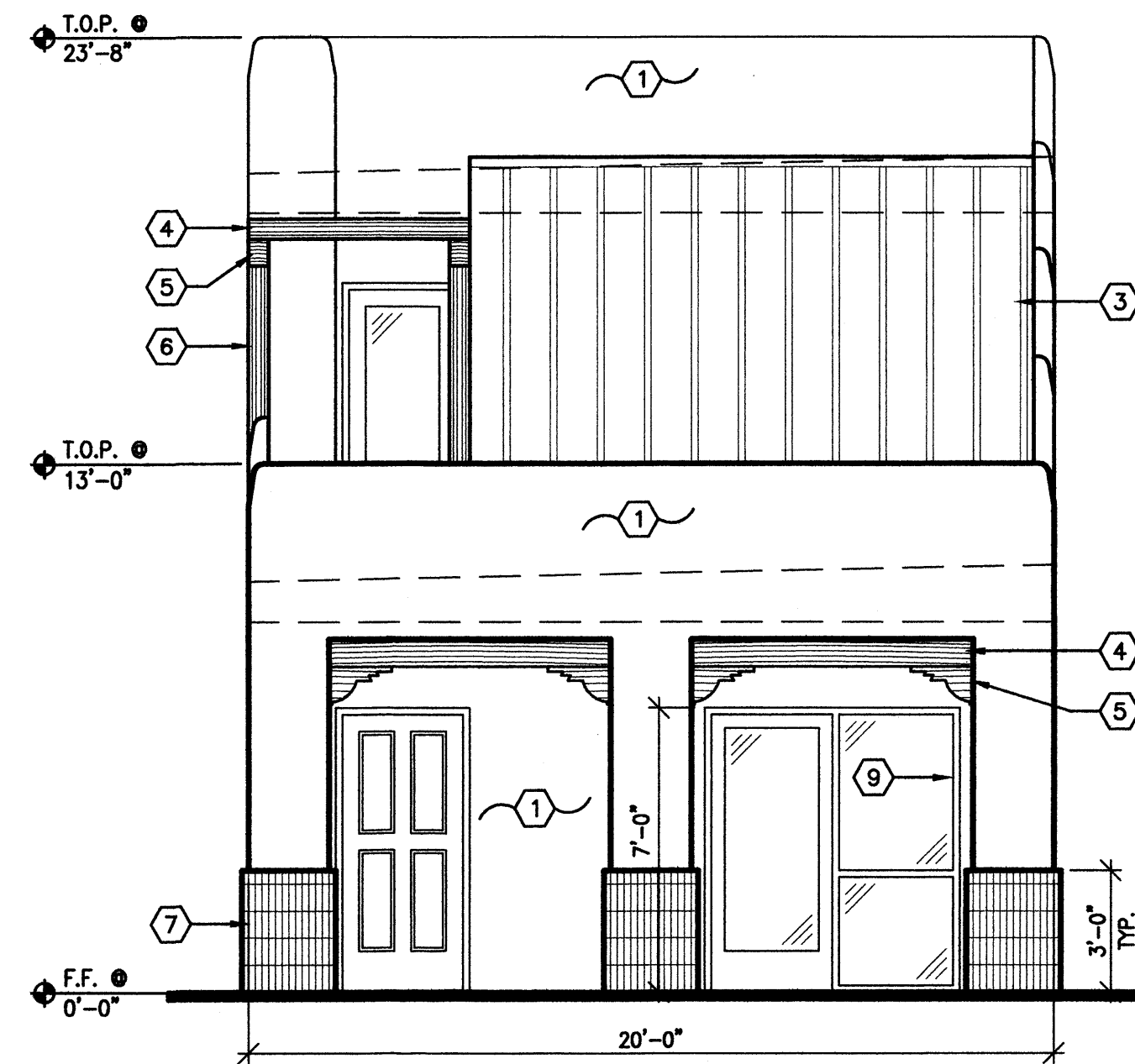


SEE SHEET A-1  
FOR OFFICE/APARTMENT  
DETAILS

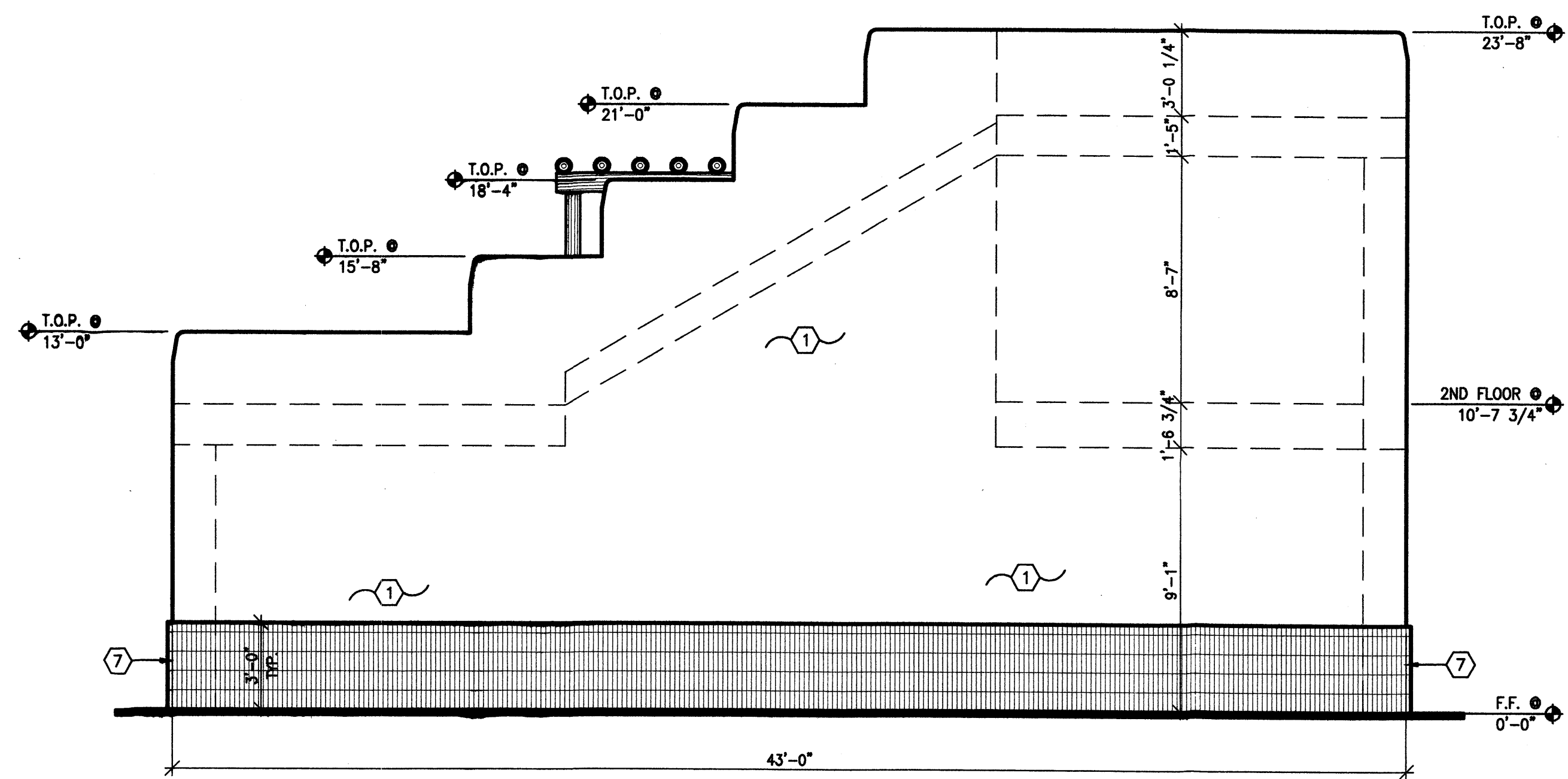
WATER WORLD CARWASH - STORAGE  
ALBUQUERQUE, NEW MEXICO  
STORAGE BUILDING ELEVATIONS  
PROJECT #0542

REVISION DATE
DATE 05-31-2006
SHEET NUMBER A-3

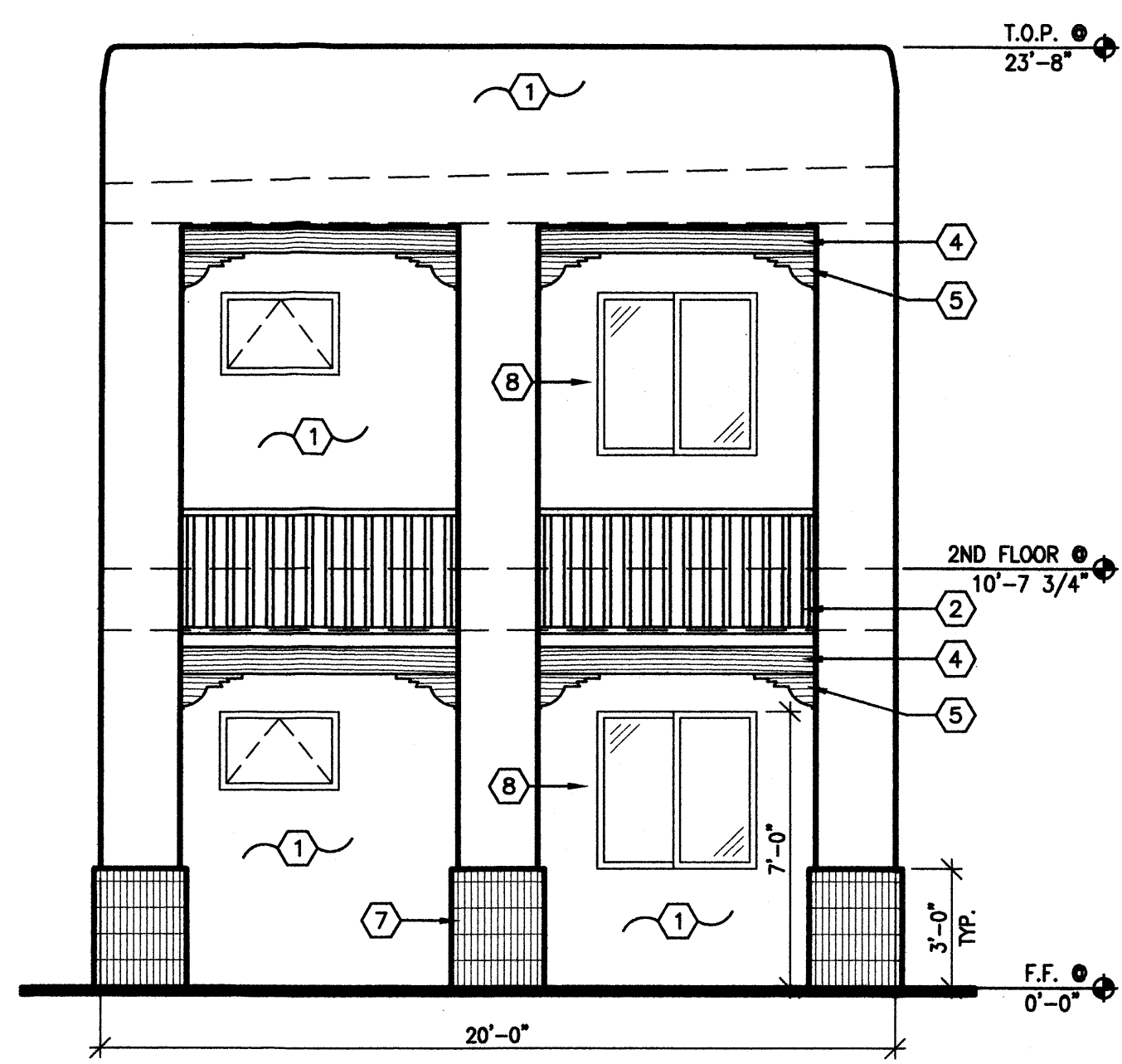




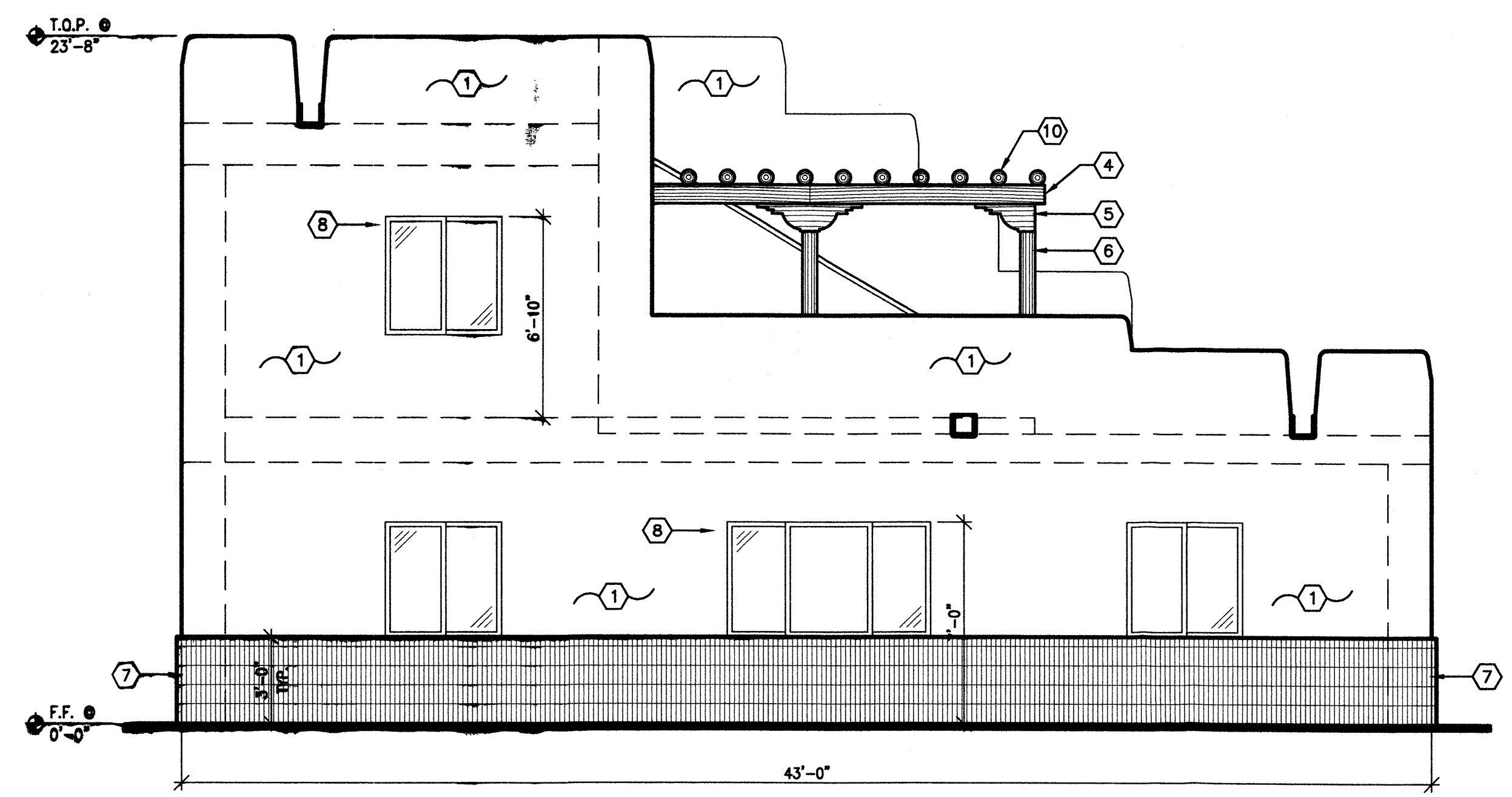
**3 WEST ELEVATION**  
1/4"=1'-0"



**4 SOUTH ELEVATION**  
1/4"=1'-0"



**2 EAST ELEVATION**  
1/4"=1'-0"



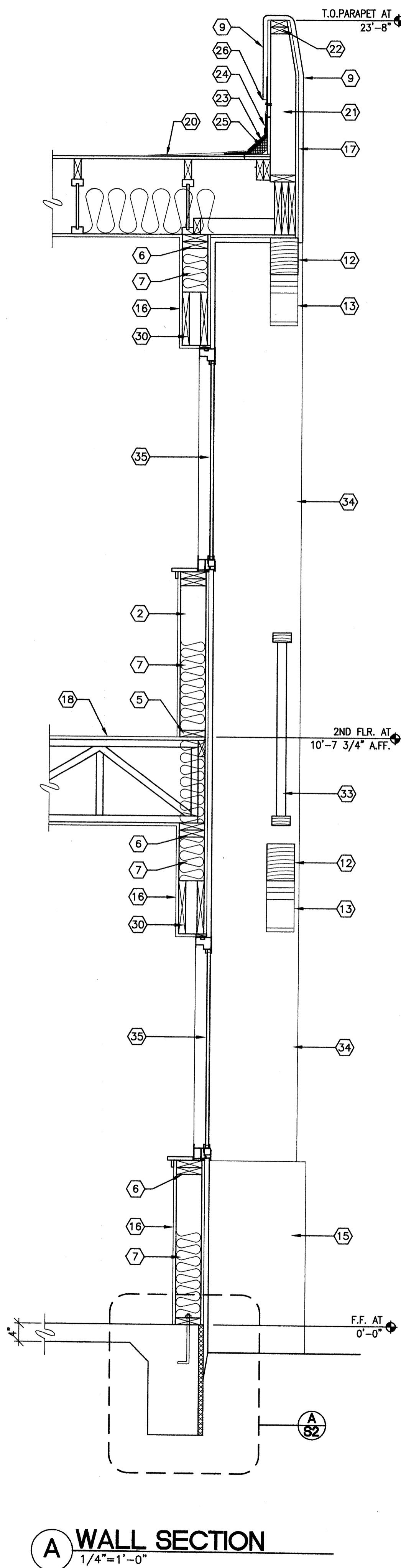
**1 NORTH ELEVATION**  
1/4"=1'-0"

- KEYED NOTES**
1. 3-COAT STUCCO SYSTEM OVER 30# FELT OVER 7/16" OSB SHEATHING - TAN STUCCO COLOR
  2. "TREX" RAILING, TYPICAL - COLOR BROWN STAIN
  3. METAL ROOF OVER 30# FELT OVER 7/16" OSB PECKING - COLOR RED.
  4. 6x8 EXPOSED WOOD BEAM, TYPICAL - COLOR BROWN STAIN
  5. WOOD CORBEL, TYPICAL - COLOR BROWN STAIN
  6. 8" DIA. WOOD VIGA, TYPICAL - COLOR BROWN STAIN
  7. SPLIT FACED OAK VENEER - COLOR TAN.
  8. ALUMINUM WINDOWS /BRONZE
  9. ALUMINUM DOOR/WINDOWS STORE FRONT /BRONZE
  10. 2" DIA. LATTILAS, TYPICAL - SEALED

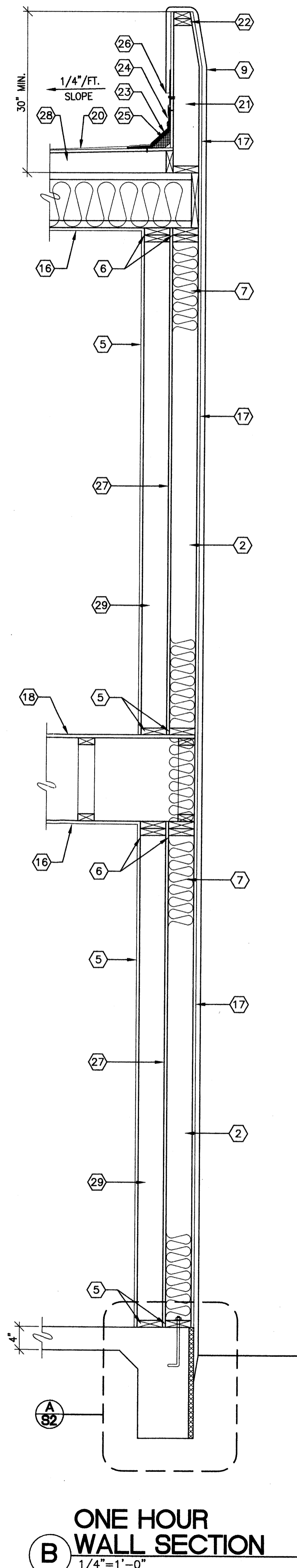
WATER WORLD CARWASH - STORAGE  
 ALBUQUERQUE, NEW MEXICO  
 OFFICE/ APARTMENT ELEVATIONS  
 PROJECT #0542

REVISION DATE
<small>1104 Park Avenue SW • Albuquerque, New Mexico 87102 (505) 242-1859 • Fax: (505) 242-6203 • rba@rbaa.com</small>
DATE
05-31-2006
SHEET NUMBER
<b>A-4</b>

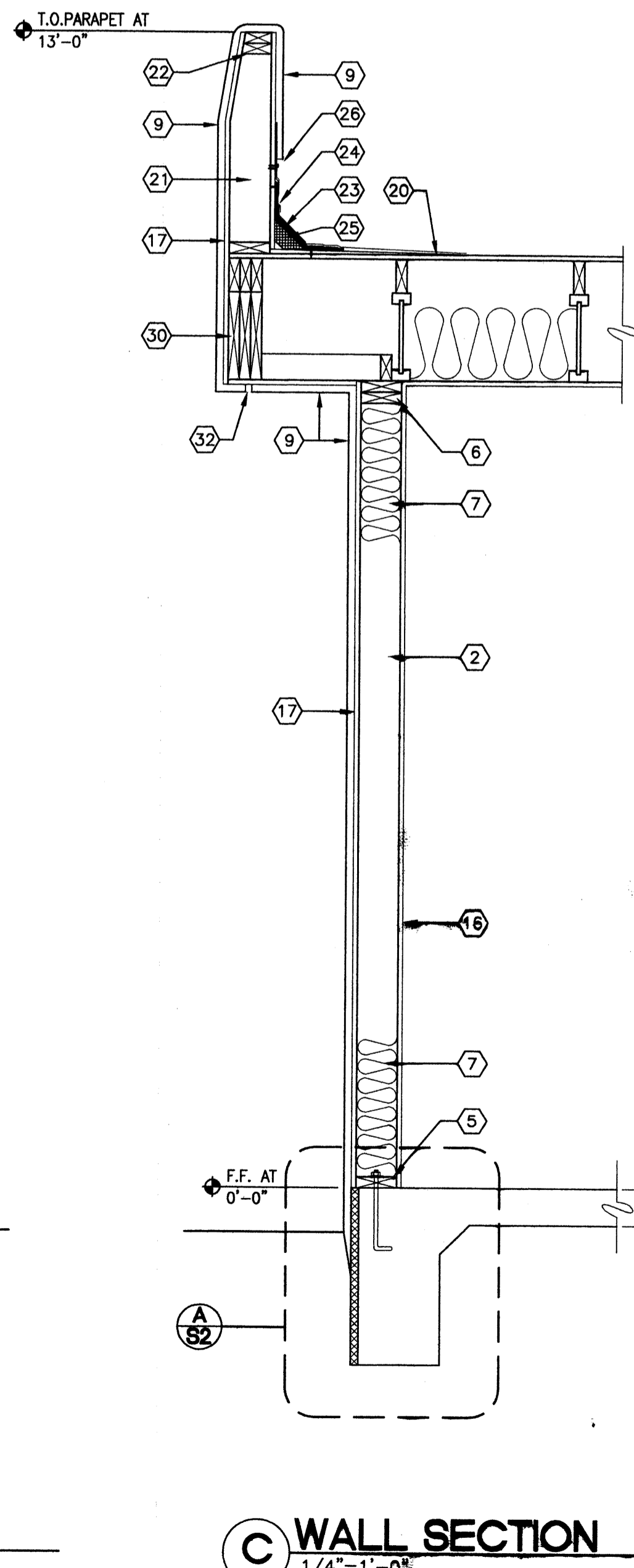




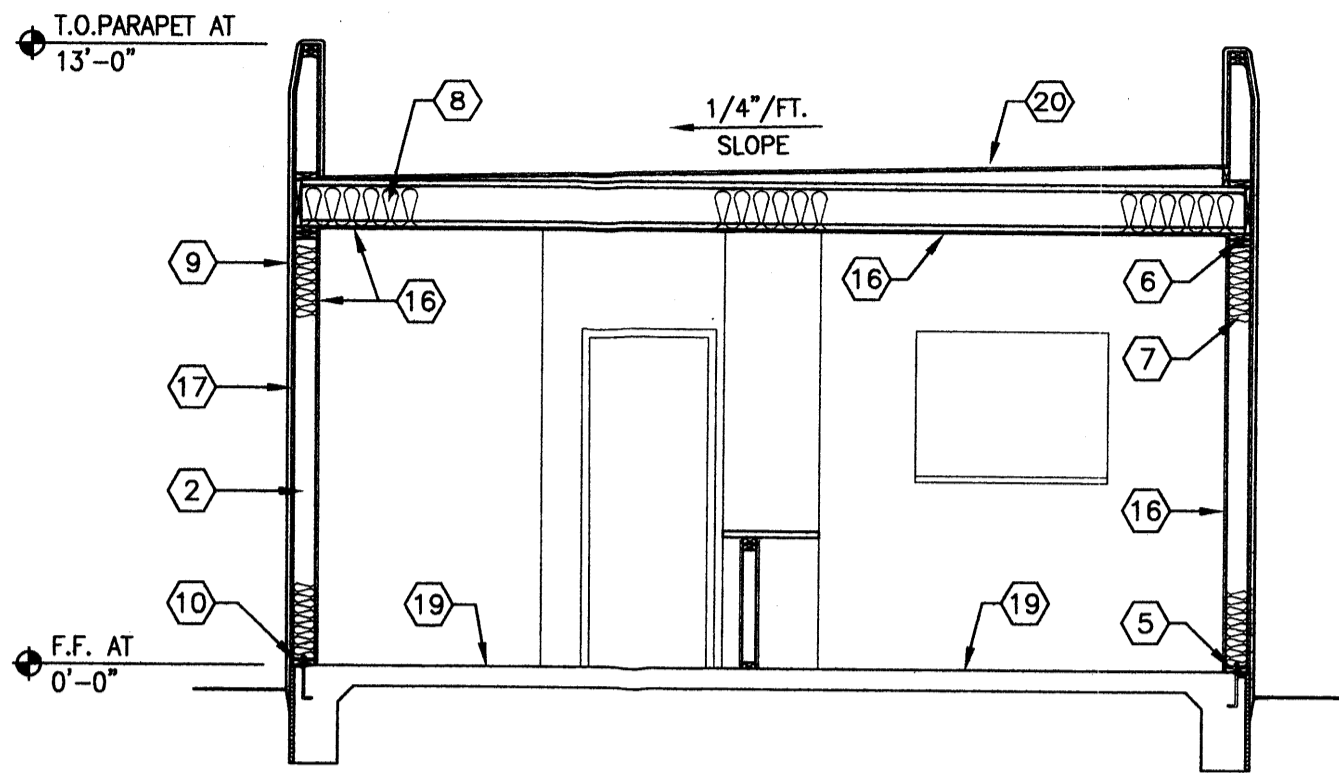
**A WALL SECTION**  
1/4"=1'-0"



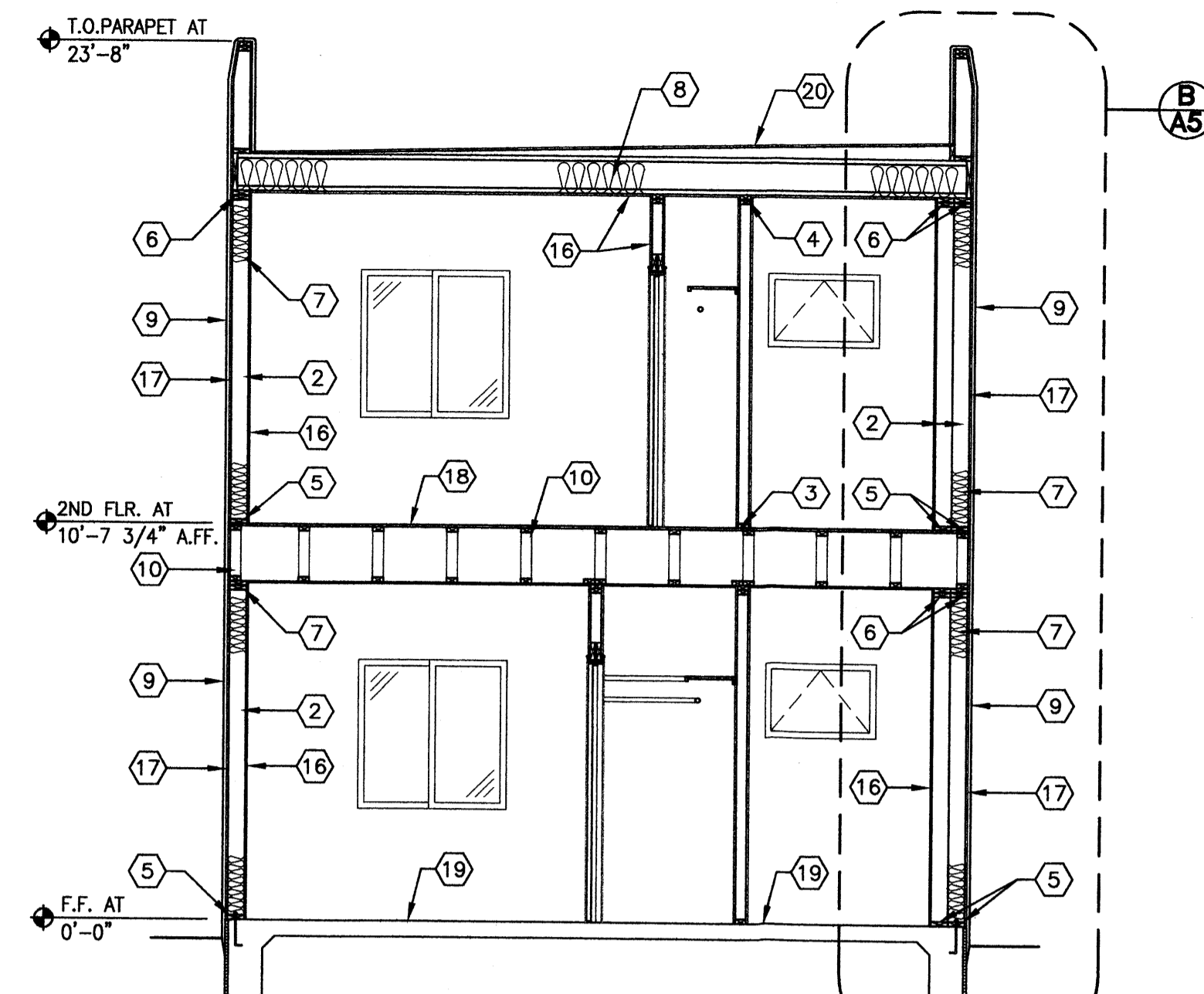
**B ONE HOUR WALL SECTION**  
1/4"=1'-0"



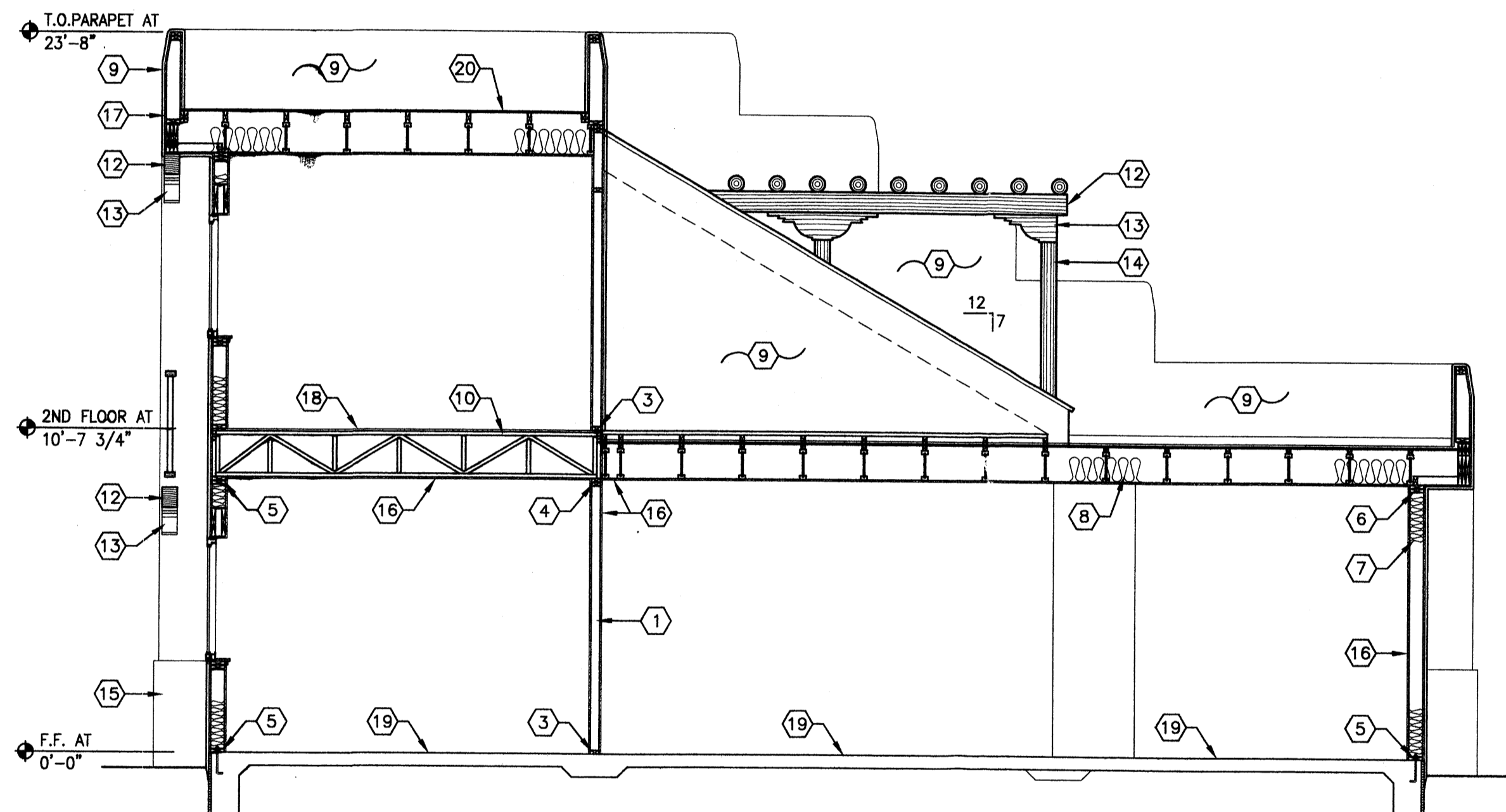
**C WALL SECTION**  
1/4"=1'-0"



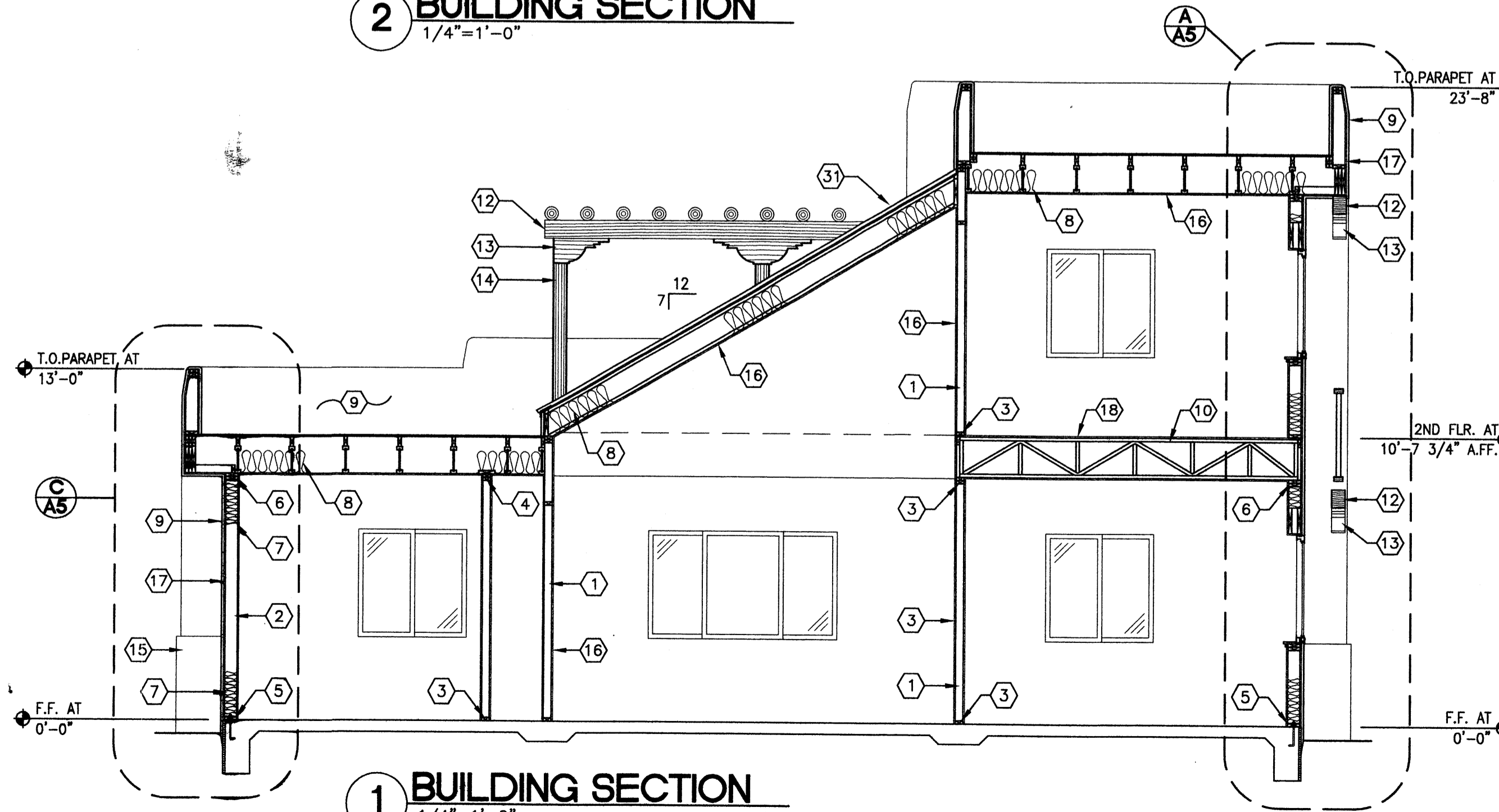
**4 BUILDING SECTION**  
1/4"=1'-0"



**3 BUILDING SECTION**  
1/4"=1'-0"



**2 BUILDING SECTION**  
1/4"=1'-0"



**1 BUILDING SECTION**  
1/4"=1'-0"

- KEYED NOTES**
- 2x4 WOOD STUD FRAMING, 16" O.C. (H.F. #2).
  - 2x6 WOOD STUD FRAMING, 16" O.C. (H.F. #2).
  - 2x4 BOTTOM PLATE.
  - 2x4 DBL. TOP PLATE.
  - 2x6 BOTTOM PLATE.
  - 2x6 DBL. TOP PLATE.
  - R-19 BATT. INSUL. FULL HT. OF WALL.
  - R-30 BATT. INSUL. FULL COVERAGE.
  - 3-COAT STUCCO SYSTEM OVER 30# FELT OVER 7/16" OSB SHEATHING.
  - 18" DEEP PRE-ENGINEERED FLOOR TRUSSES AT 24" O.C., SEE STRUCTURAL.
  - METAL ROOF OVER 30# FELT OVER 5/8" OSB DECKING.
  - 6x8 EXPOSED WOOD BEAM, TYPICAL.
  - WOOD CORBEL, TYPICAL.
  - 6" DIA. WOOD VIGA, TYPICAL.
  - SPLIT-FACED CMU VENER, REF. BLDG. ELEVATIONS.
  - 5/8" GYP. BD. TAPE, TEXTURE, AND PAINT.
  - 7/16" OSB OR EQUAL SHEATHING, TYPICAL.
  - 3/4" T&G OSB DECKING, GLUED AND SCREWED OR EQUAL.
  - 4" CONC. SLAB 3000 PSI MIN. WITH 6x6-W 1.4x1.4 W.W.F. OVER COMPACTED FILL.
  - MODIFIED MEMBRANE ROOFING OVER 5/8" OSB DECKING OR EQ.
  - 2X6 STUDS AT 24" O.C. AT PARAPETS, TYPICAL.
  - CONT. DBL. 2X6 TOP PLATES, TYPICAL.
  - MEMBRANE ROOFING UP AND OVER SIDE OF PARAPET, TYPICAL.
  - CONT. FLASHING/COUNTER FLASHING, TYPICAL.
  - CONT. 4" FIBER CANT STRIP, TYPICAL.
  - STUCCO STOP, TYPICAL.
  - 5/8" TYPE "X" GYP. BD. TO TOP OF PARAPET ON EACH SIDE OF WALL.
  - 2X RIPPER WITH A 1/4" PER FT. SLOPE, TYPICAL.
  - 2x6 STUDS AT 16" O.C. AT PLUMBING WALL.
  - HEADER REF. STRUCTURAL.
  - METAL ROOF OVER 30# FELT OVER 7/16" OSB DECKING-COLOR RED.
  - METAL DRIP EDGE.
  - "Trex" RAILING, TYPICAL-COLOR BROWN STAIN.
  - STUCCO BEYOND.
  - ALUMINUM WINDOWS-BRONZE COLOR.

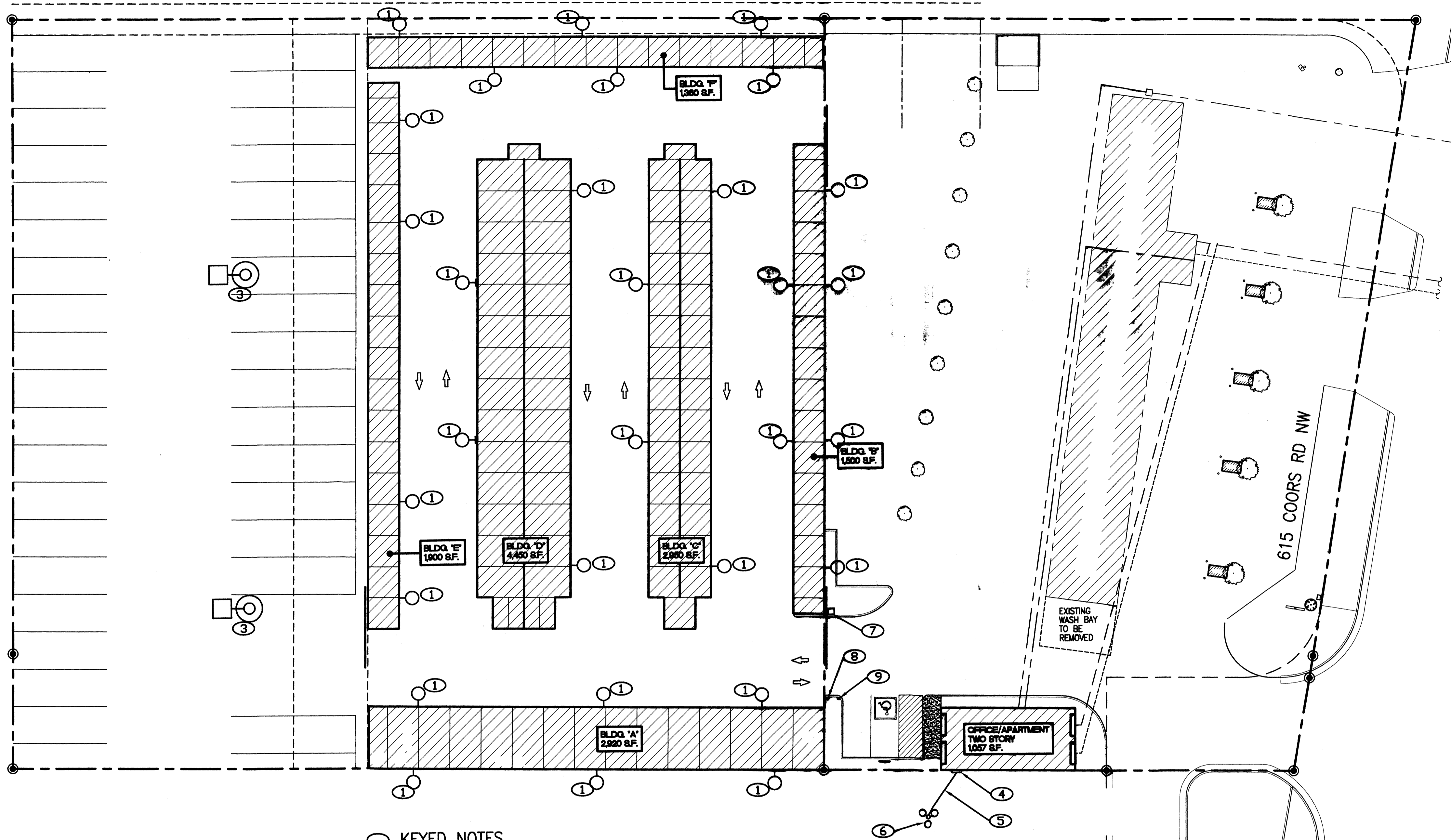
WATER WORLD CARWASH - STORAGE  
ALBUQUERQUE, NEW MEXICO  
FLOOR PLAN  
PROJECT #0542

REVISION DATE
DATE 05-31-2006
SHEET NUMBER A-5

1104 Park Avenue SW · Albuquerque, New Mexico 87102  
(505) 242-8899 · Fax (505) 242-6600 · rick@rickbennett.com





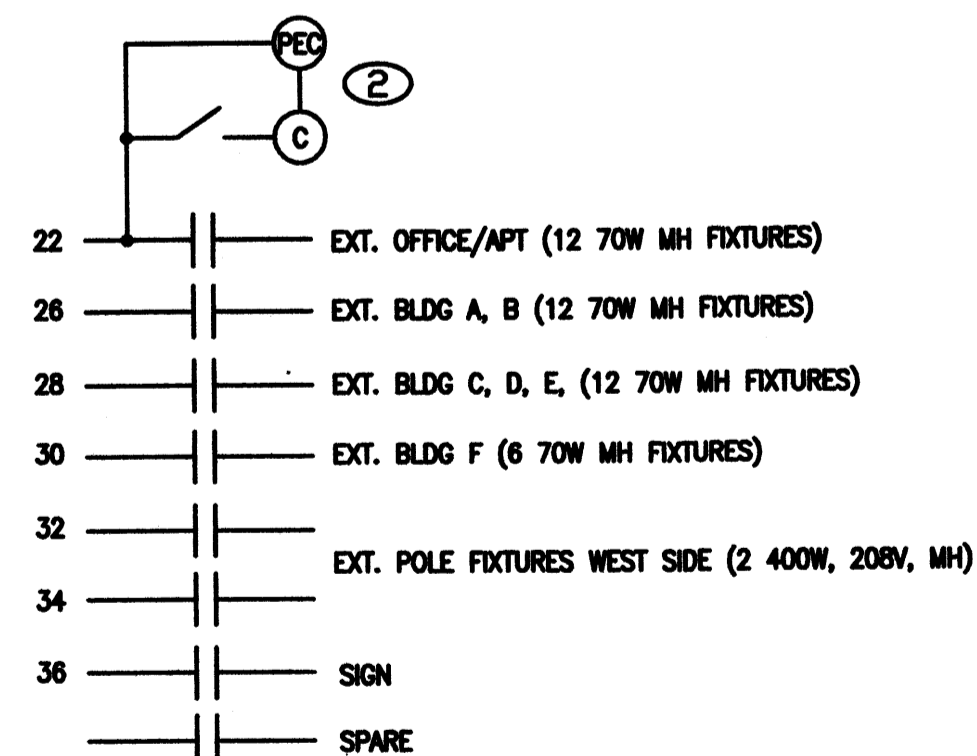


**KEYED NOTES**

1. 70W, 120VAC, MH WALL PACK FIXTURE. SEE SHEET E-3. CONNECT TO LIGHTING CONTACTOR. SEE DIAGRAM THIS SHEET.
2. PHOTO-CELL LIGHT CONTROLLER. SEE SHEET E-3 FOR LOCATION OF CONTROLLER AND PHOTO-CELL.
3. 400W, 208V, MH POLE FIXTURE ON 16" STEEL POLE. INVUE EXM X-FORM. SEE STRUCTURAL FOR POLE BASE DIMENSIONS. CONNECT TO LIGHTING CONTACTOR.
4. NEW UTILITY METER. SEE SHEET E-3.
5. NEW OVERHEAD SERVICE CONDUCTORS.
6. EXISTING PHM POLE AND POLE MOUNTED TRANSFORMERS.
7. AUTOMATIC SLIDING GATE OPERATOR. ROUTE 2 #12 CU, 1 #12 CU EGC IN 3/4" CONDUIT TO PANEL IN OFFICE FOR POWER. CONNECT TO CKT 41. COORDINATE EXACT LOCATION/REQUIREMENTS WITH EQUIPMENT SUPPLIER/OWNER.
8. "KNOX BOX" FOR FIRE DEPT ACCESS. COORDINATE EXACT LOCATION WITH EQUIPMENT SUPPLIER/FIRE DEPARTMENT. PROVIDE ALL CONNECTIONS TO GATE OPERATOR AS REQUIRED.
9. ACCESS KEY PAD. COORDINATE WITH COMPLETE GATE SYSTEM AND PROVIDE ALL REQUIRED CONNECTIONS.

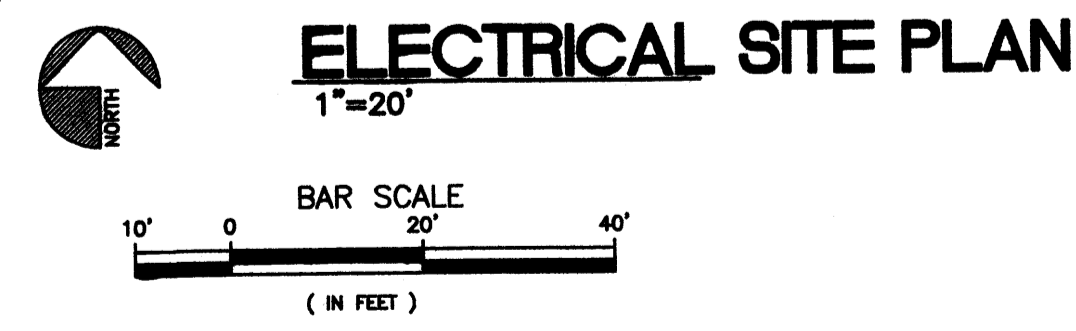
**GENERAL NOTES**

1. SUBMIT ALL LIGHTING FIXTURES TO OWNER FOR APPROVAL.
2. ALL OUTDOOR LIGHTING SHALL COMPLY WITH "NIGHT SKY PROTECTION ACT" OR "DARK SKY COMPLIANT."
3. CONNECT ALL EXTERIOR LIGHTING FIXTURES TO LIGHTING CONTACTOR WITH #10 CU CONDUCTORS. SEE CONDUCTOR TABLE SHEET E-3.
4. COMPLY WITH NEC TABLE 300-5 FOR MINIMUM BURIAL DEPTHS FOR CONDUCTORS.
5. SEE SHEET E-3 FOR NEW SERVICE TO OFFICE/APARTMENT.
6. MAXIMUM VOLTAGE DROP TO FARTHEST LIGHT FIXTURE IS LESS THAN 2.5% BASED ON #10 CU CONDUCTORS IN NON-MAGNETIC CONDUIT AND ESTIMATED POWER FACTOR OF 0.95. VOLTAGE DROP CALCULATED USING THE IEEE "RED BOOK" METHOD (AMPERE-FOOT).



NOTE: GROUND AND NEUTRAL NOT SHOWN BUT REQUIRED.  
 NP: LIGHT CONTROLS ENERGIZED FROM MORE THAN ONE SOURCE.

**EXTERIOR LIGHTING CONTACTOR DIAGRAM**



**WATER WORLD CARWASH - STORAGE**  
**ELECTRICAL SITE PLAN**  
**ALBUQUERQUE, NEW MEXICO**  
**PROJECT #0542**

REVISION DATE 02-10-06
DATE 02-02-2006
SHEET NUMBER <b>E-2</b>

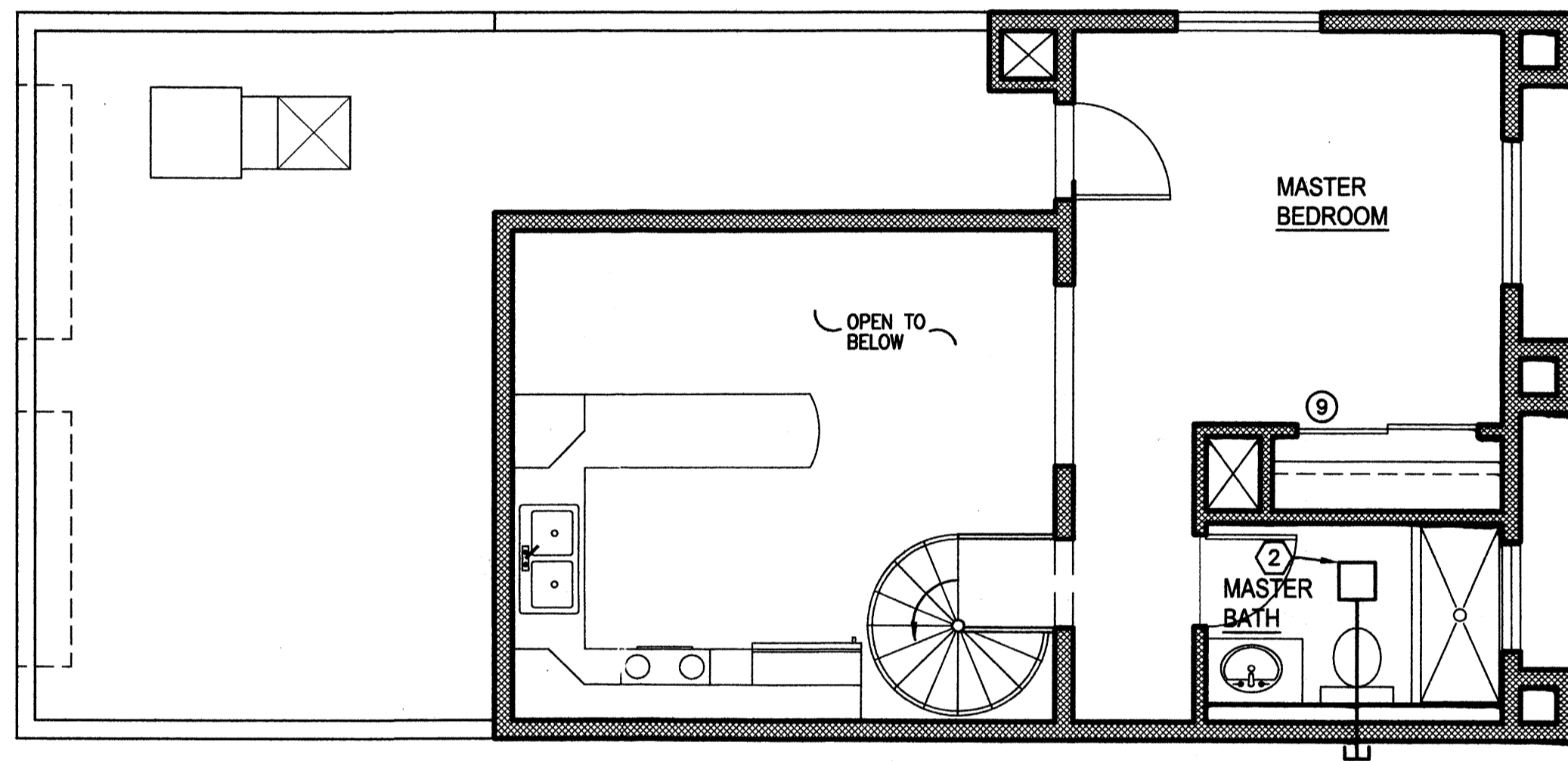


LINE-VOLTAGE: 208		PANEL -		BUS SIZE: 200	
**S.C.A. 22KA MCB				MAINS: 200A MCB	
MOUNTING: NEMA 1 FLUSH					
LOAD (KVA)	CB	LOAD (KVA)	CB	LOAD (KVA)	CB
RECEPT ENTRY	0.54	20	1	1	A 2
RECEPT OFFICE	0.72	20	1	3	B 4
RECEPT LIVING RM	0.9	20	1	5	C 6
RECEPT REFRIG	0.75	20	1	7	A 8
RECEPT GAR DISPOSAL	1.2	20	1	9	B 10
RECEPT DW	0.8	20	1	11	C 12
RECEPT KITCHEN	1.5	20	1	13	A 14
RECEPT CLOTHES WSR	1.5	20	1	15	B 16
RECEPT BR 2, MSTR BR	0.36	20	1	17	C 18
*RECEPT BED RM 2	1.08	20	1	19	A 20
RECEPT CLOTHES DRYER	2.5	30	2	21	B 22
	2.5	30	2	23	C 24
RECEPT ELECT RANGE	3	40	2	25	A 26
	3	40	2	27	B 28
RECEPT OUTDOOR	0.18	20	1	29	C 30
*RECEPT MSTR BED RM	1.08	20	1	31	A 32
RECEPT HALL	0.36	20	1	33	B 34
RECEPT LIVING RM HTR	0.25	20	1	35	C 36
SPARE	20	1	37	A 38	20
SPARE	20	1	39	B 40	20
*GATE OPERATOR	1.176	20	1	41	C 42
	20	1	43	A 44	20
	20	1	45	B 46	20
	20	1	47	C 48	20
	20	1	49	A 50	20
	20	1	51	B 52	20
	20	1	53	C 54	20
	20	1	55	A 56	20
	20	1	57	B 58	20
	20	1	59	C 60	20
	20	1	61	A 62	20
	20	1	63	B 64	20
	20	1	65	C 66	20
	20	1	67	A 68	20
	20	1	69	B 70	20
	20	1	71	C 72	20
	20	1	73	A 74	20
	20	1	75	B 76	20
	20	1	77	C 78	20
	20	1	79	A 80	20
	20	1	81	B 82	20
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	20	1	111	B 112	20
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	20	1	115	A 116	20
	20	1	117	B 118	20
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	20	1	159	B 160	20
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	20	1	183	B 184	20
	20	1	185	C 186	20
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	20	1	189	B 190	20
	20	1	191	C 192	20
	20	1	193	A 194	20
	20	1	195	B 196	20
	20	1	197	C 198	20
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	20	1	429	B 430	20
	20	1	431	C 432	20
	20	1	433	A 434	20
	20	1	435	B 436	20
	20	1	437	C 438	20
	20	1	439	A 440	20
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	20	1	445	A 446	20
	20	1	447	B 448	20

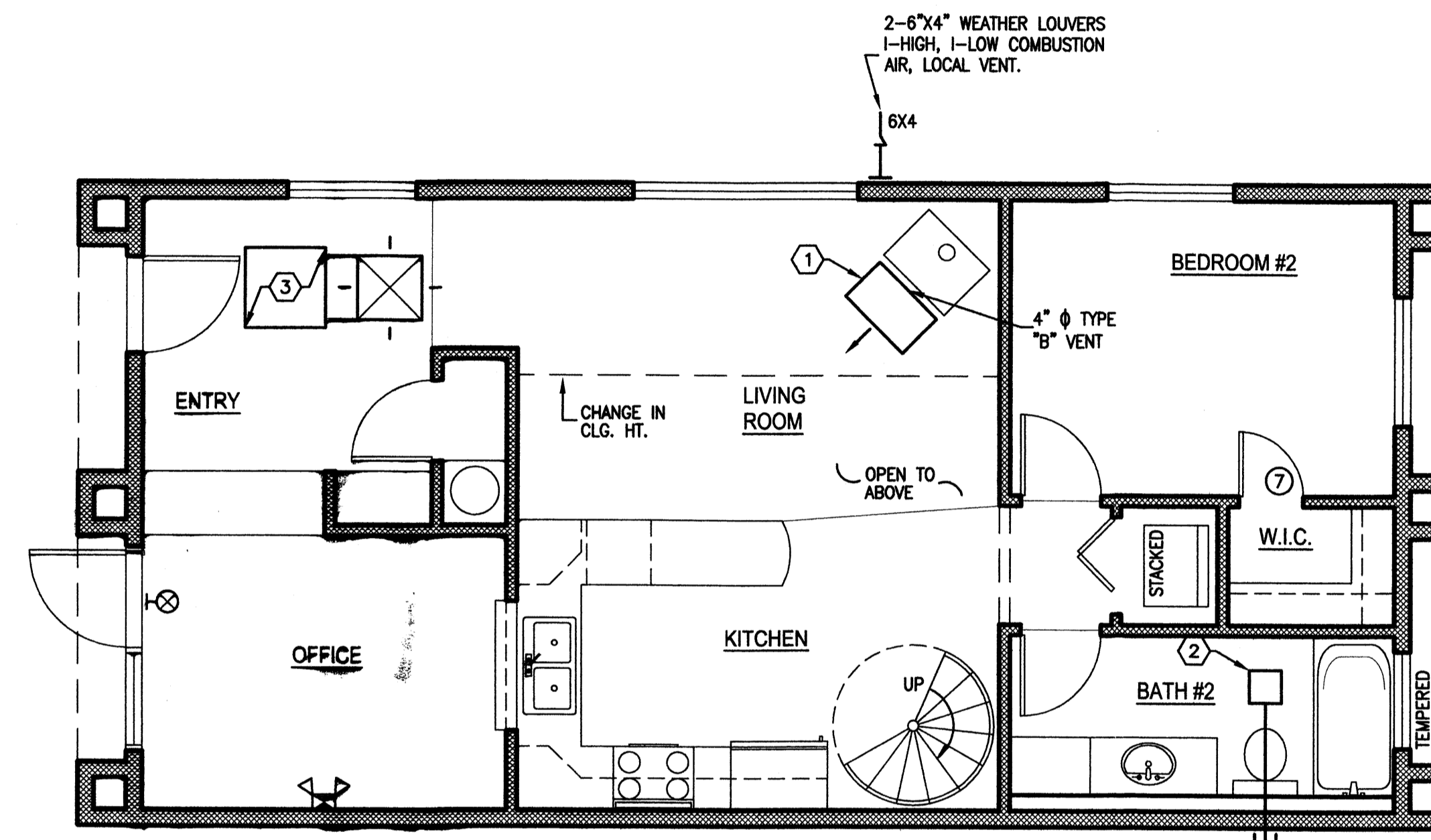


EQUIPMENT SCHEDULE

- ① COZY GAS CONSOLE HEATER MODEL VC502A, 50,000 BTUH INPUT WITH THERMOSTATIC BLOWER ASSEMBLY 115/60, 4" ROUND TYPE "B" VENTER MATERIAL O.A.E.
- ② BROAN COMBINATION FAN/LIGHT AND HEATER MODEL 655, 70 CFM, 1,545 WATTS WITH 66V CONTRL 4" ROUND VENT WITH APPROVED WALL CAP. O.A.E.
- ③ ARTIC CIRCLE EVAPORATIVE COOLER MODEL ES-430, 3,350 CFM @.2" S.P., 1/2H.P., 2 SPEED, 115/160 WITH EP200A PUMP AND FLOAT KIT, WITH KRUGER 20"x20" MODEL #002 O.B.D. SUPPLY DIFFUSER. O.A.E.



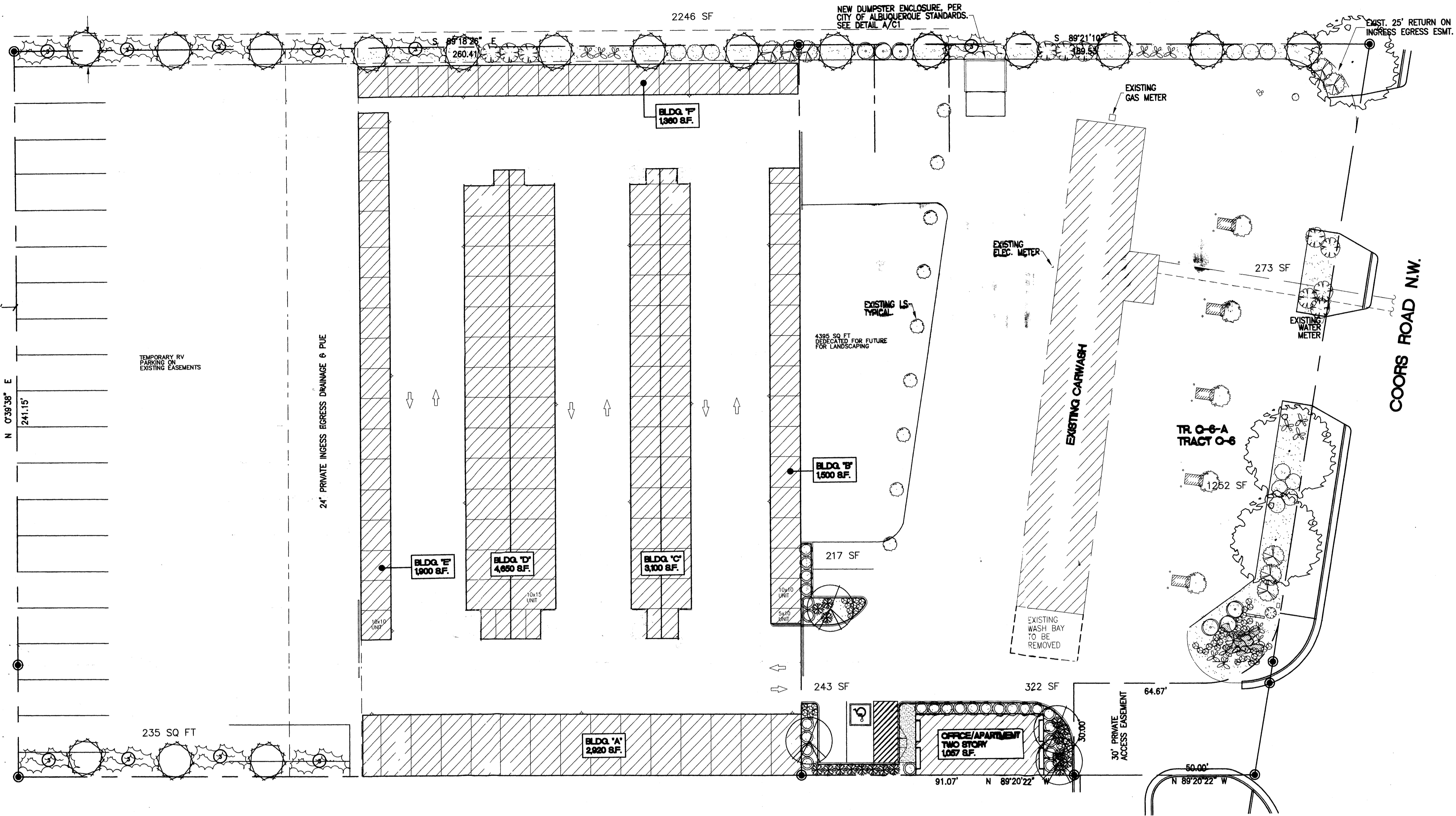
② 2ND FLOOR MECHANICAL PLAN  
1/4"=1'-0"



① 1ST FLOOR MECHANICAL PLAN  
1/4"=1'-0"

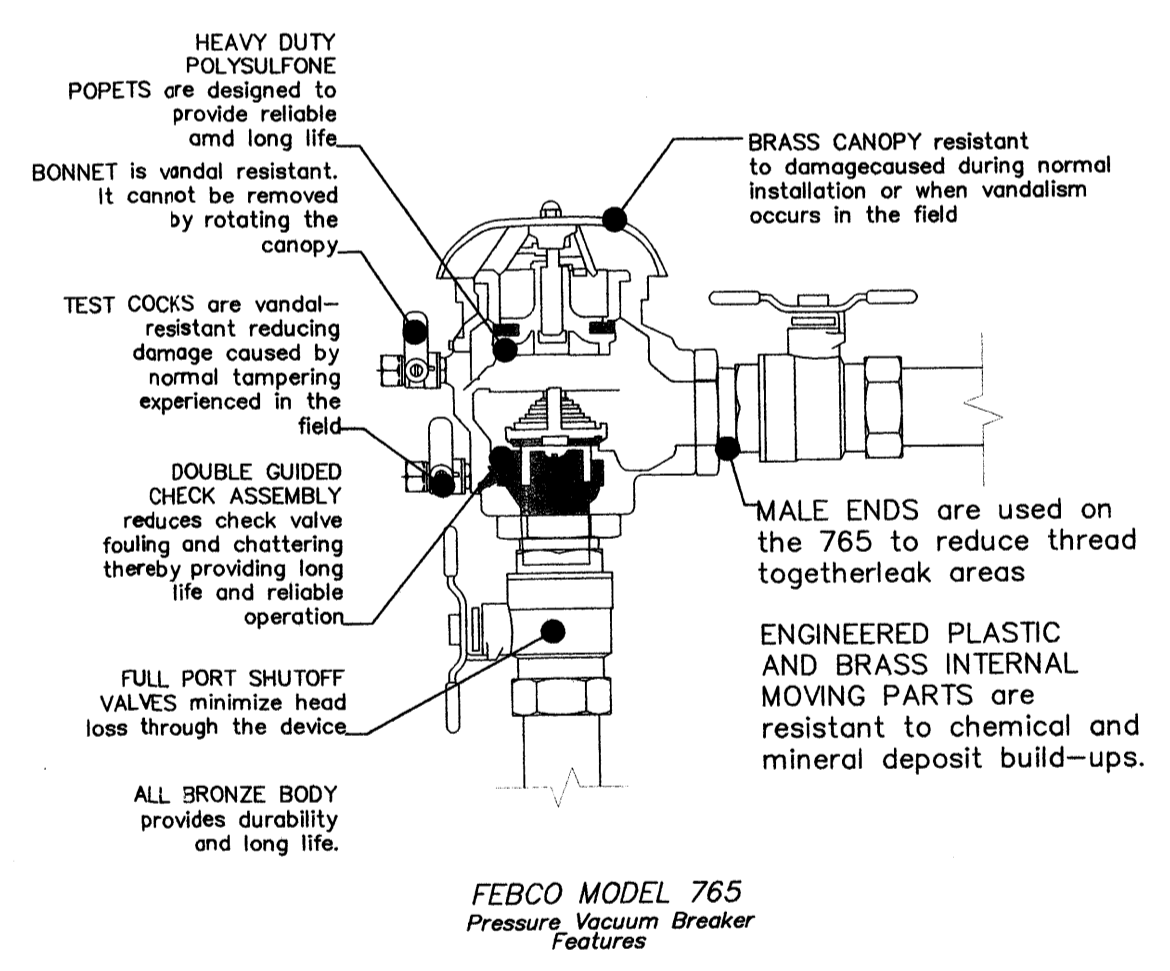
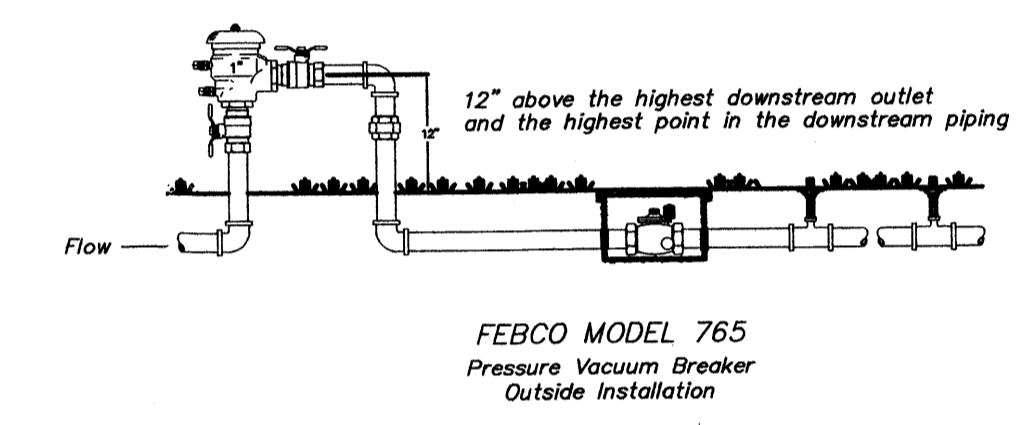
WATER WORLD CARWASH - STORAGE  
ALBUQUERQUE, NEW MEXICO  
MECHANICAL PLAN  
PROJECT #0542

REVISION DATE
 <small>1124 Park Avenue SW - Albuquerque, New Mexico 87102 (505) 242-1859 - Fax (505) 242-6850 - rick@rbaa.com</small>
DATE 05-31-2006
SHEET NUMBER M-1



**PLANT LEGEND**

- LACEBACK ELM (H) 3
- CHINESE PISTACHE 3
- JAPANESE PAGODA 2" Cal.
- FLORING PEAR (M+) 4
- Pyrus calleryana 2" Cal.
- OCOTILLO (L) 1
- Fouquieria splendens
- PRICKLY PEAR (L) 15
- Opuntia macrocentra 9 sf
- HALLS HONEYSUCKLE (M) 8
- Japonica 'Halliana' 1 Gal. 144sf
- Unstaked-Groundcover
- CHAMISA (L) 11
- Chrysothamnus nauseosus 1 Gal. 25sf
- WILDFLOWER 54
- 1 Gal. 4sf
- CREeping ROSEMARY (L) 2
- Rosmarinus officinalis 'Prostrata' 1 Gal. 36sf
- Symbol indicates 3 plants
- OVERSIZED GRAVEL & 3 BOULDERS
- DESERT WILLOW (L) 11
- Chilopsis linearis 15 Gal.
- RUSSIAN SAGE (M) 6
- Perovskia atriplicifolia 5 Gal. 36sf
- REGAL MIST (M) 17
- Muhlenbergia capillaris 5 Gal. 9sf
- APACHE PLUME (L) 11
- Fallugia paradoxa 5 Gal. 25sf
- ARP ROSEMARY (M) 26
- Rosmarinus officinalis 5 Gal. 36sf
- 3" TAN GRAVEL WITH FILTER FABRIC



**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	76385	square feet
TOTAL BUILDINGS AREA	20,581	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	55,804	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	8371	square feet
TOTAL BED PROVIDED	6287	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	2943	square feet
TOTAL GROUNDCOVER PROVIDED	3358	square feet
TOTAL LANDSCAPE PROVIDED	8171	square feet

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:  
Coors Road  
Required: 7 Provided: 7 (5 New, 2 Existing)

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.  
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

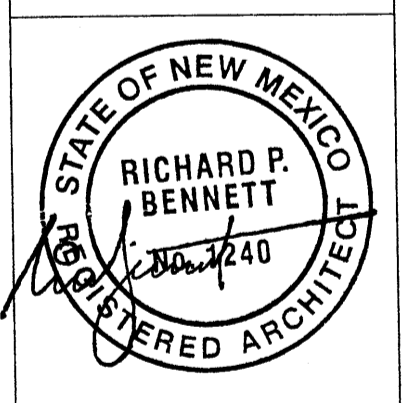
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

**WATER WORLD CARWASH - STORAGE LANDSCAPE PLAN**  
**ALBUQUERQUE, NEW MEXICO**  
**PROJECT #0542**

REVISION DATE  
04-14-06

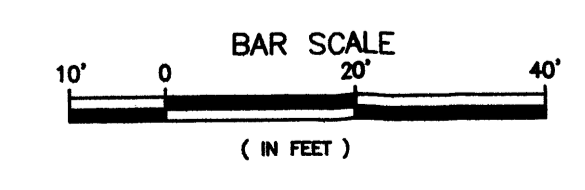


1104 First Avenue SW • Albuquerque, New Mexico 87102  
(505) 241-1187 • Fax (505) 242-2420 • rpb@hilltop.com

DATE  
10-24-2005

SHEET NUMBER  
**L-1**

**LANDSCAPE PLAN**  
1"=20'

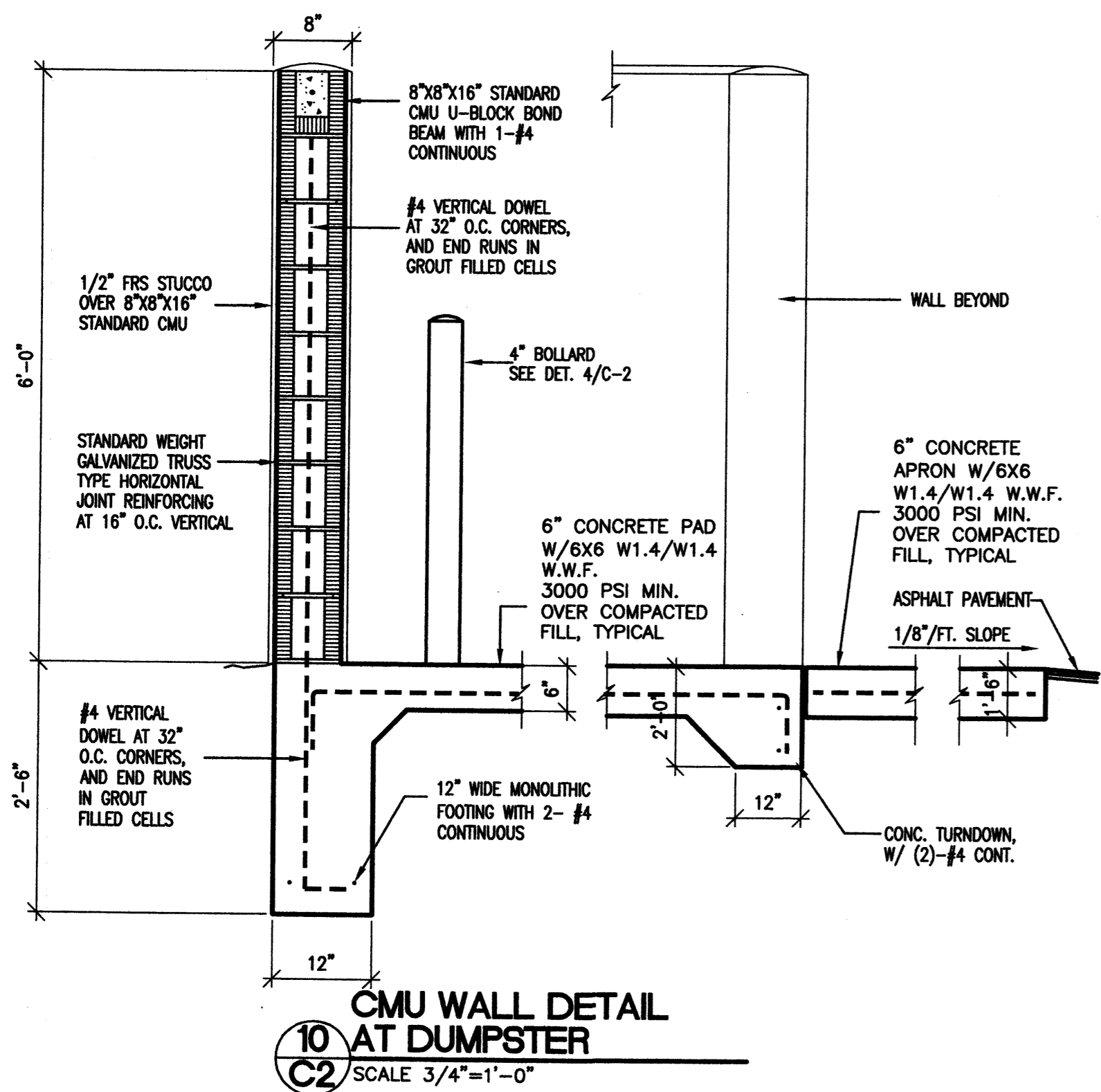


LANDSCAPE ARCHITECTS & CONTRACTORS  
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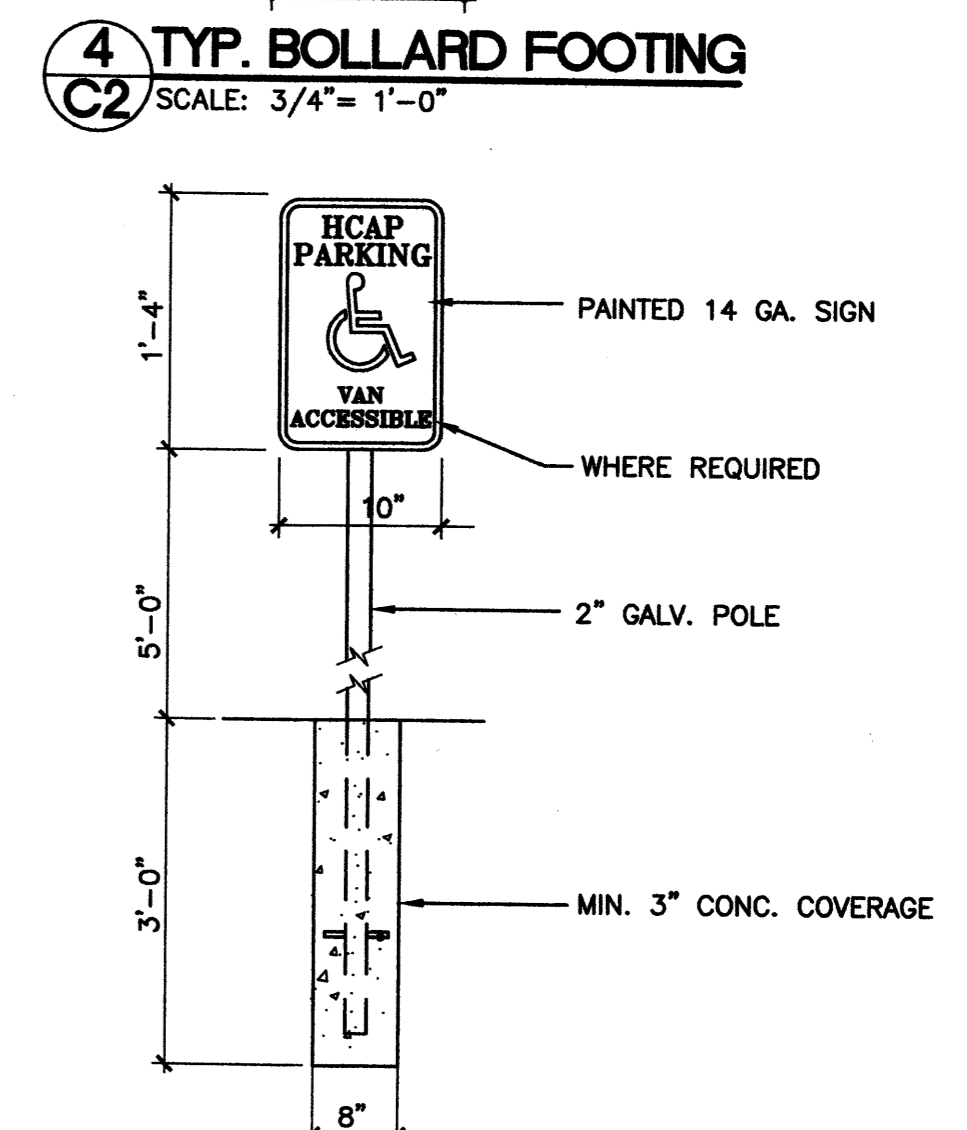
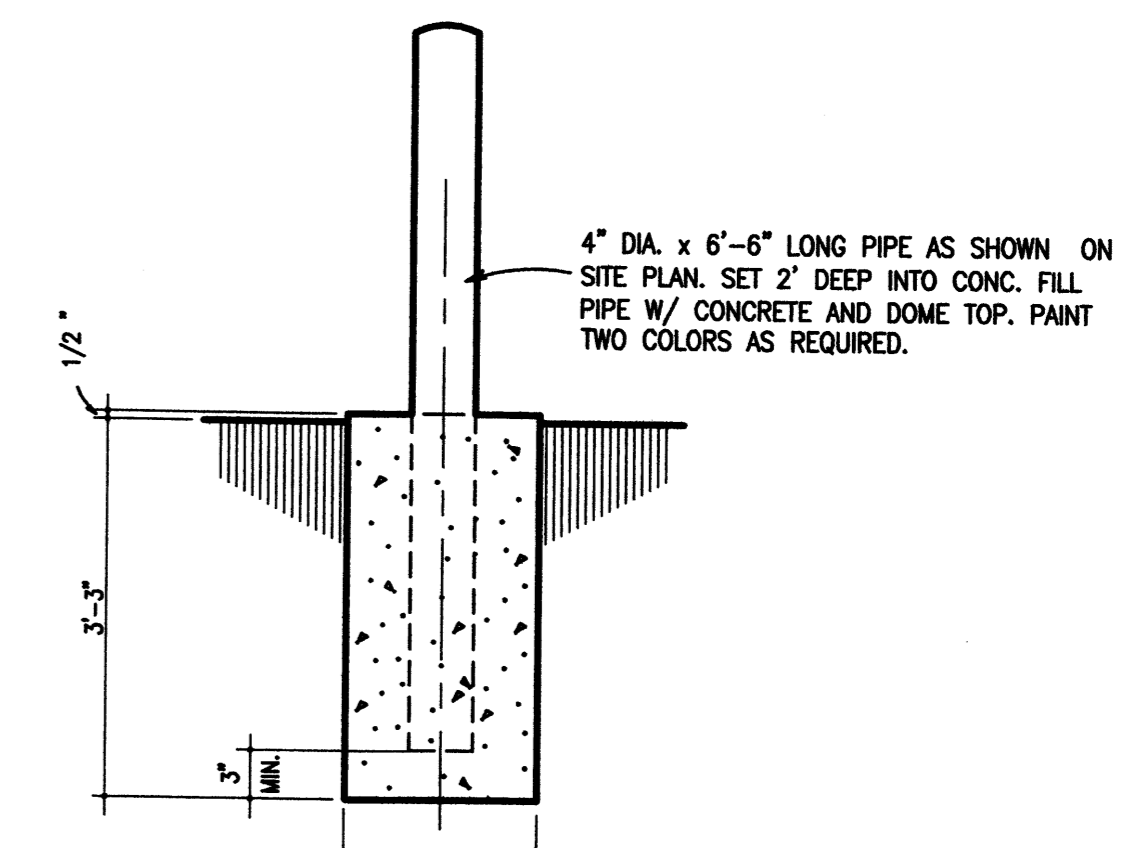
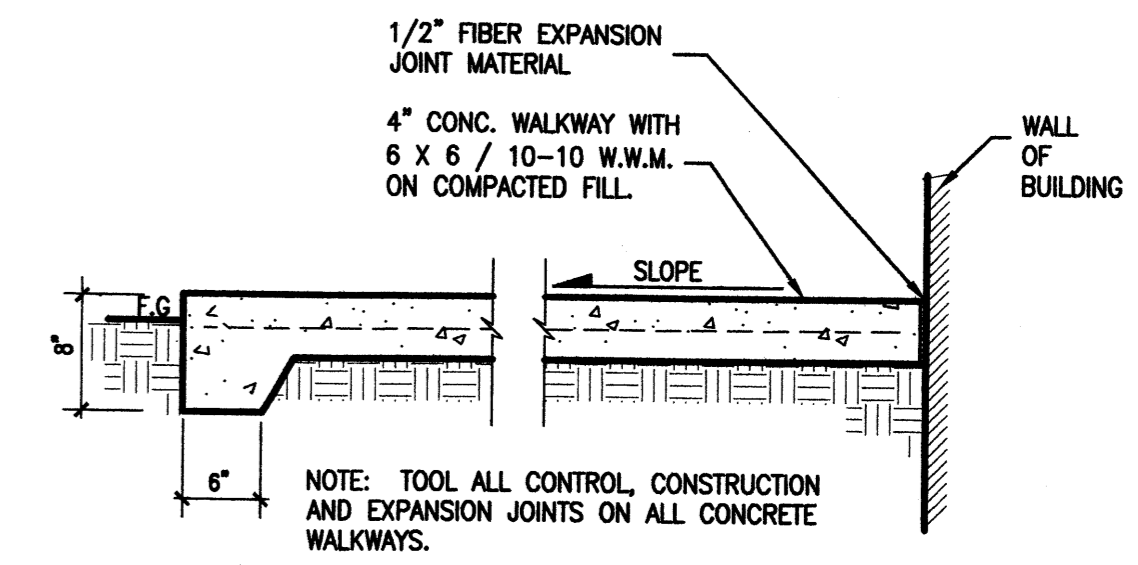
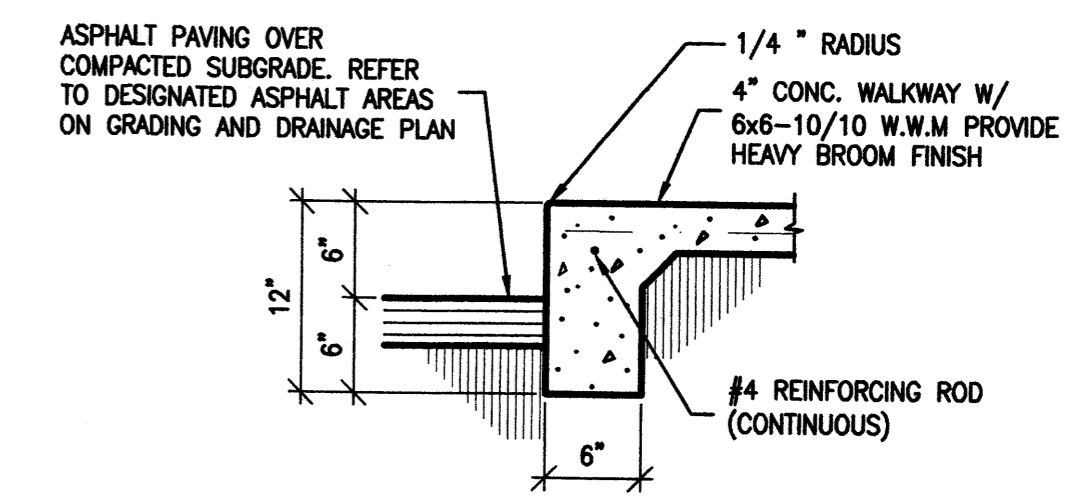
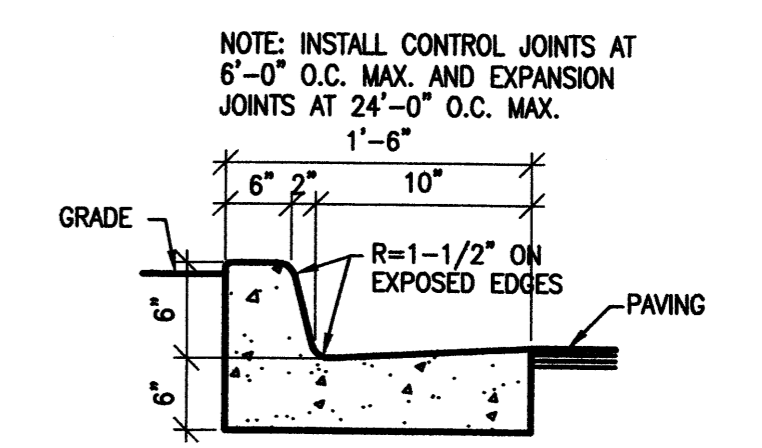
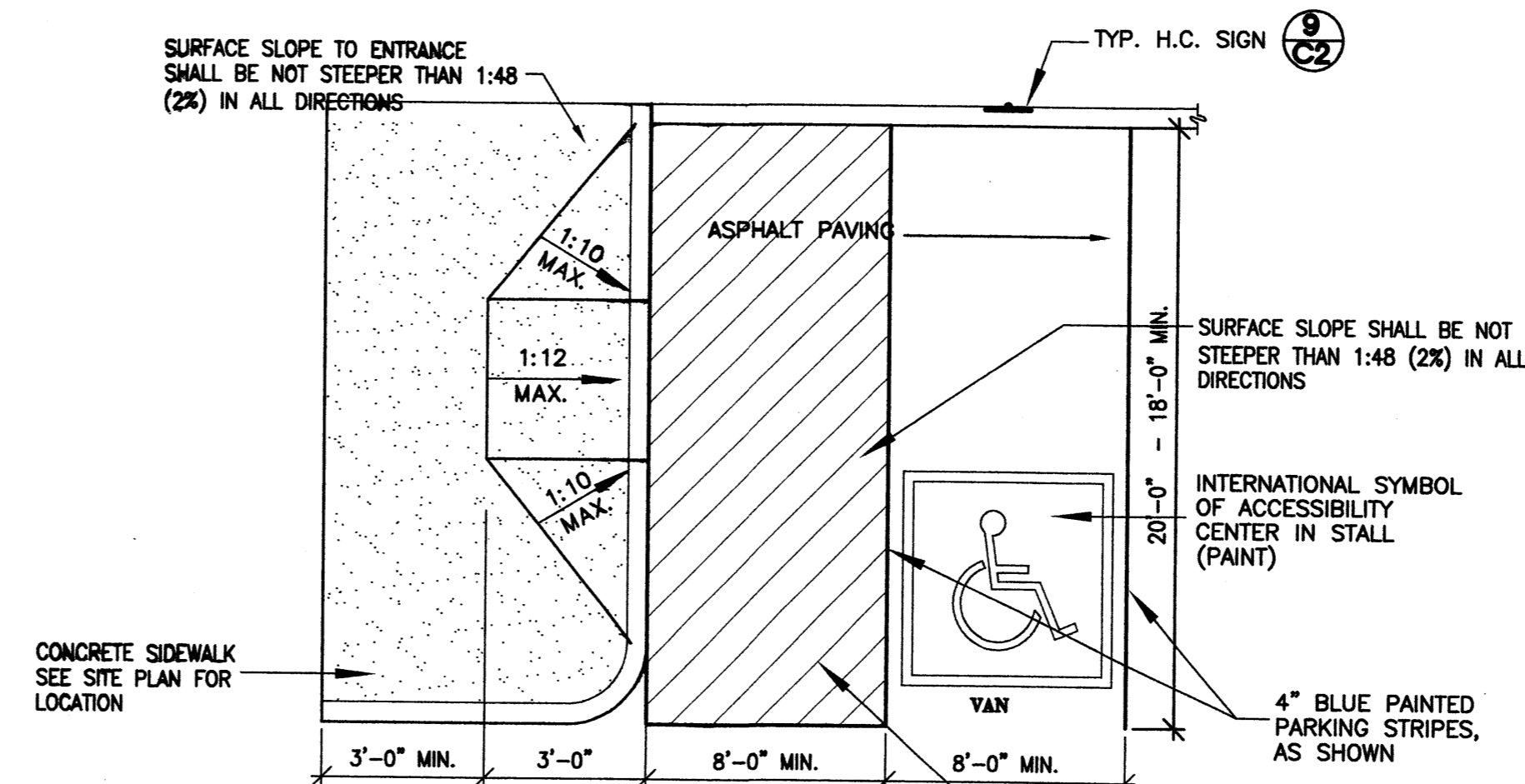
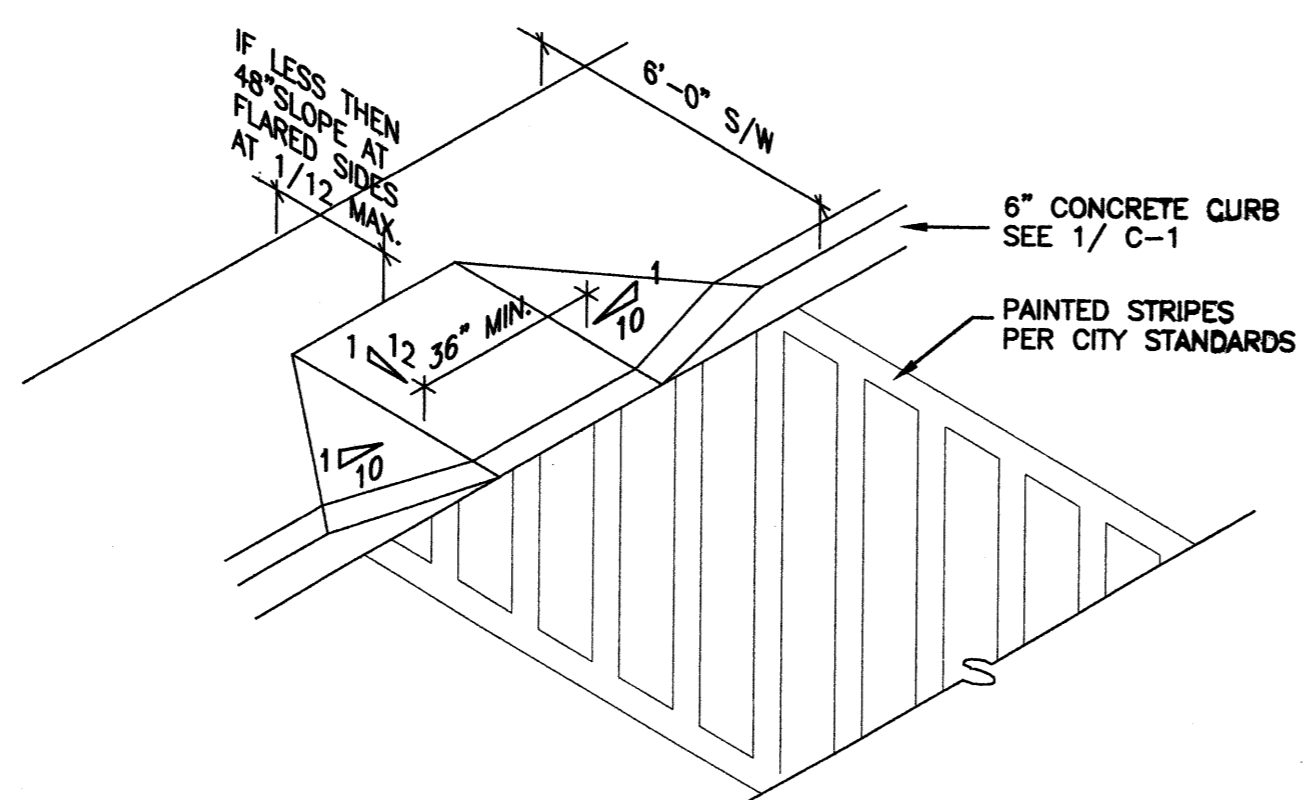
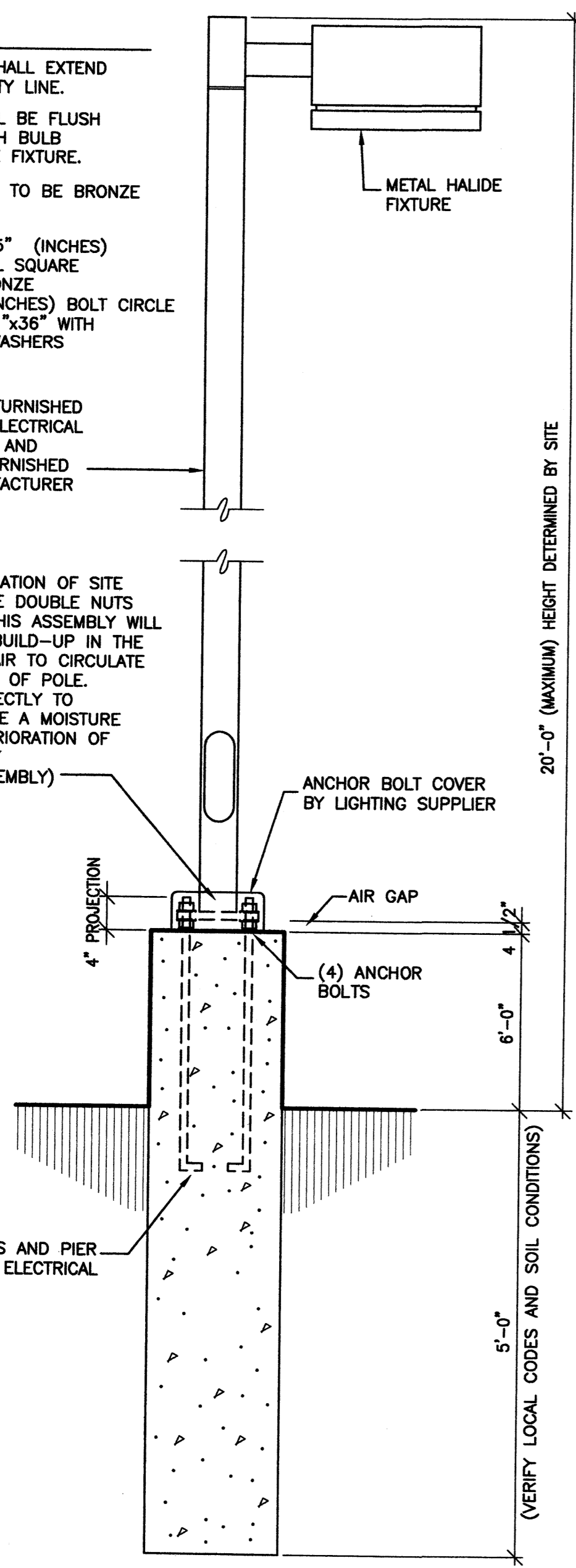
**SITE LIGHTING NOTES**

1. NO LIGHT RAY SHALL EXTEND BEYOND PROPERTY LINE.
2. LIGHT UNIT SHALL BE FLUSH MOUNT TYPE WITH BULB RECESSED INSIDE FIXTURE.
3. LUMINAIRE FINISH TO BE BRONZE

POLE DIAMETER - 5" (INCHES)  
POLE TYPE - STEEL SQUARE  
POLE FINISH - BRONZE  
BOLT SIZE - 11 (INCHES) BOLT CIRCLE  
ANCHOR BOLTS - 1"x3/8" WITH DOUBLE NUT AND WASHERS

LIGHT POLE TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. POLE AND LUMINAIRE TO BE FURNISHED BY THE SAME MANUFACTURER

FOR PROPER INSTALLATION OF SITE LIGHTING ALWAYS USE DOUBLE NUTS AND WASHERS. THIS ASSEMBLY WILL PREVENT MOISTURE BUILD-UP IN THE POLE BY ALLOWING AIR TO CIRCULATE THROUGH THE INSIDE OF POLE. BASES MOUNTED DIRECTLY TO CONCRETE CAN CAUSE A MOISTURE BUILD-UP AND DETERIORATION OF THE POLE'S STABILITY (DO NOT GROUT ASSEMBLY)



WATER WORLD CAR WASH - STORAGE  
SITE DETAILS  
ALBUQUERQUE, NEW MEXICO  
PROJECT #0542

REVISION DATE
<p>DATE 05-31-2006</p> <p>SHEET NUMBER C-2</p>