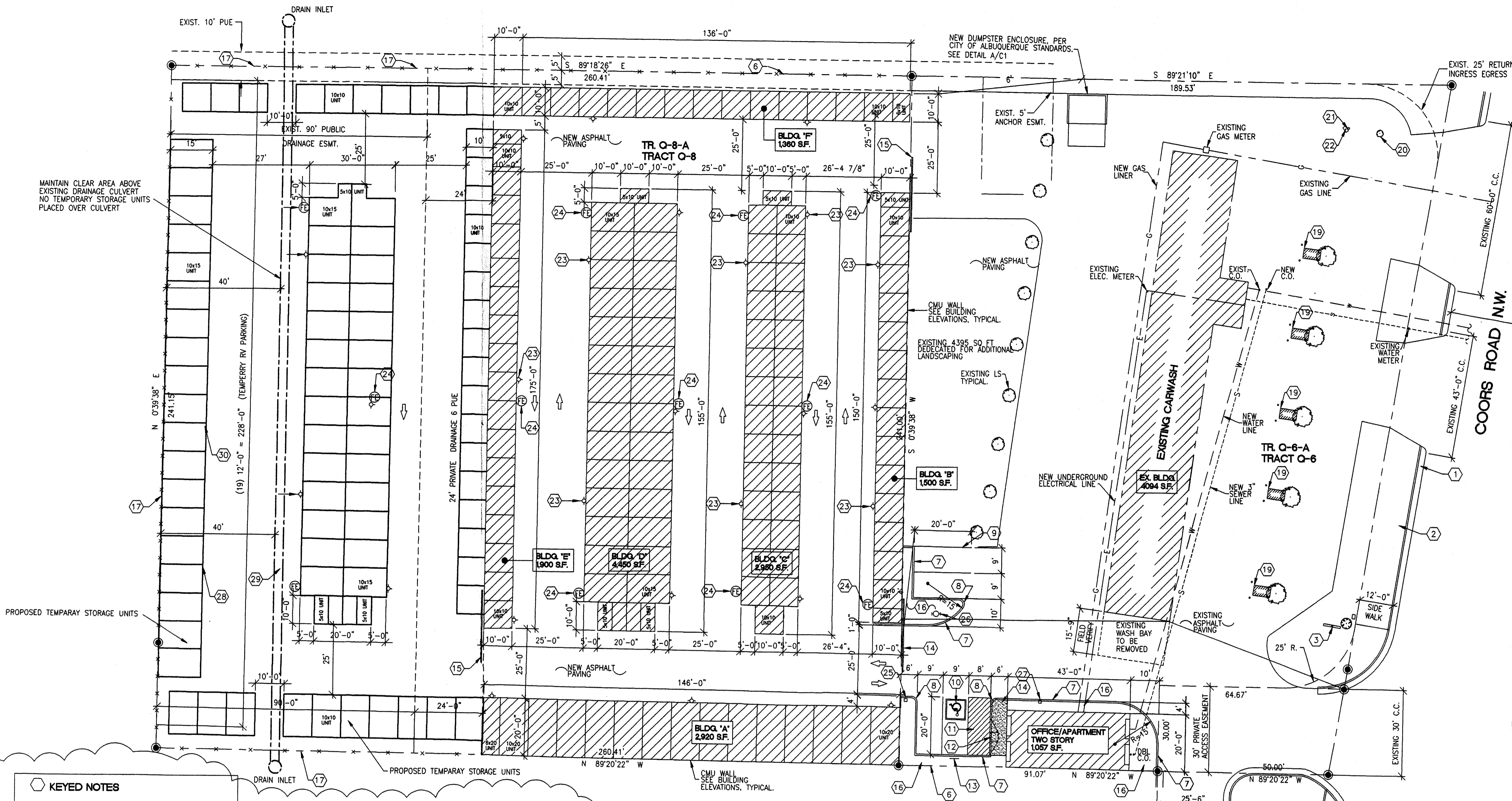


ADMINISTRATIVE AGREEMENT  
 File # 1004715 Project # 1004715  
 Temporary storage units  
 Approved by *[Signature]* DATE 8 Feb 2008

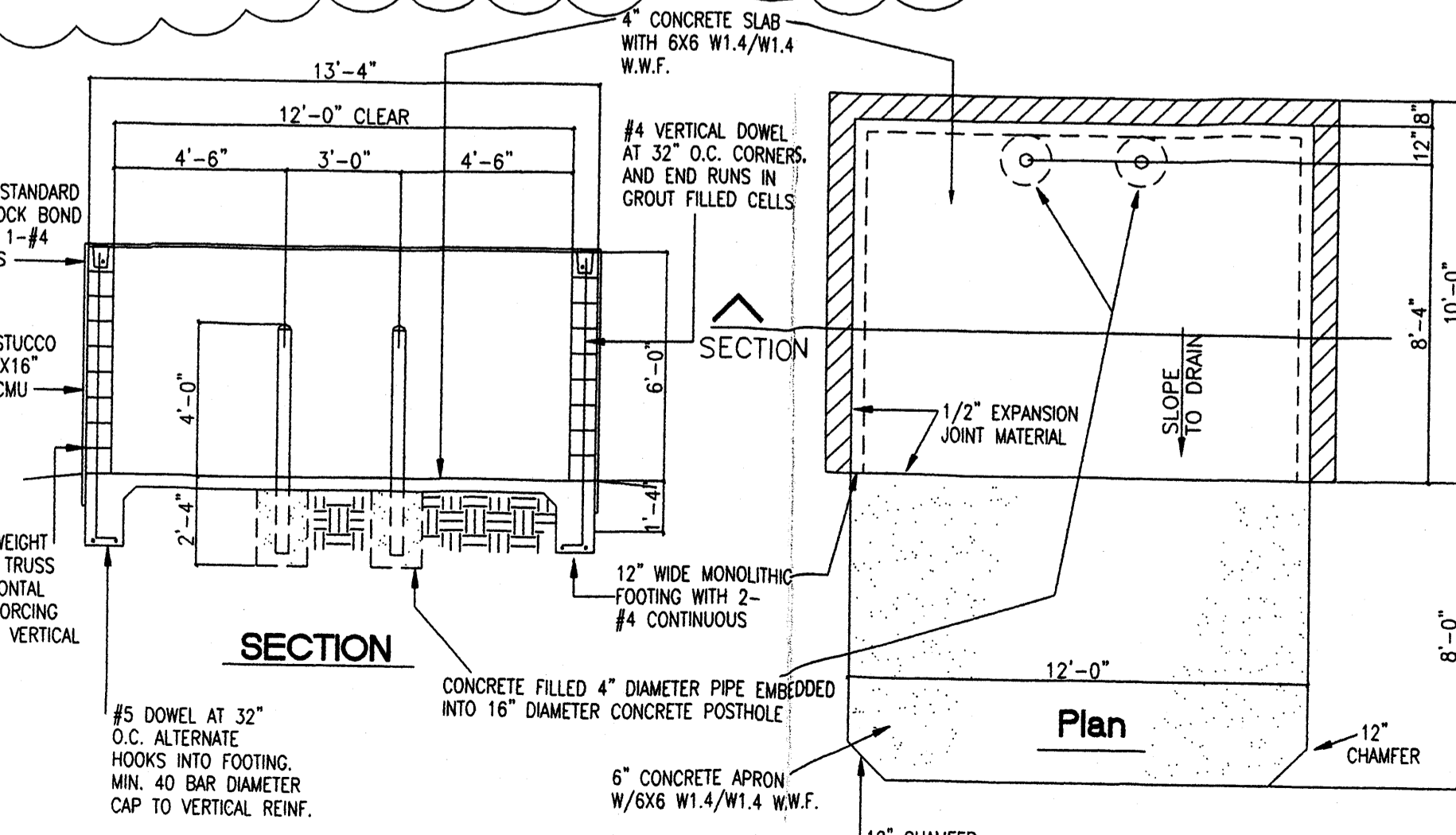
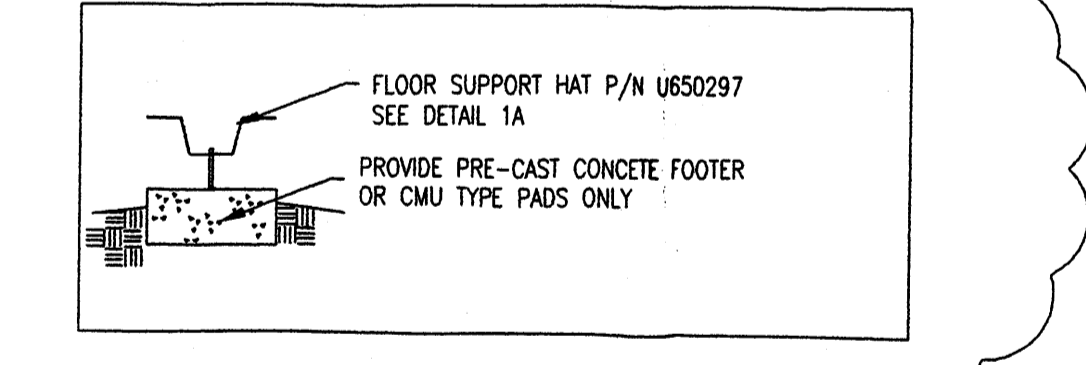
PROJECT #: 1004715  
 DATE: 3-12-14  
 APP #: 14-10057 (SK)



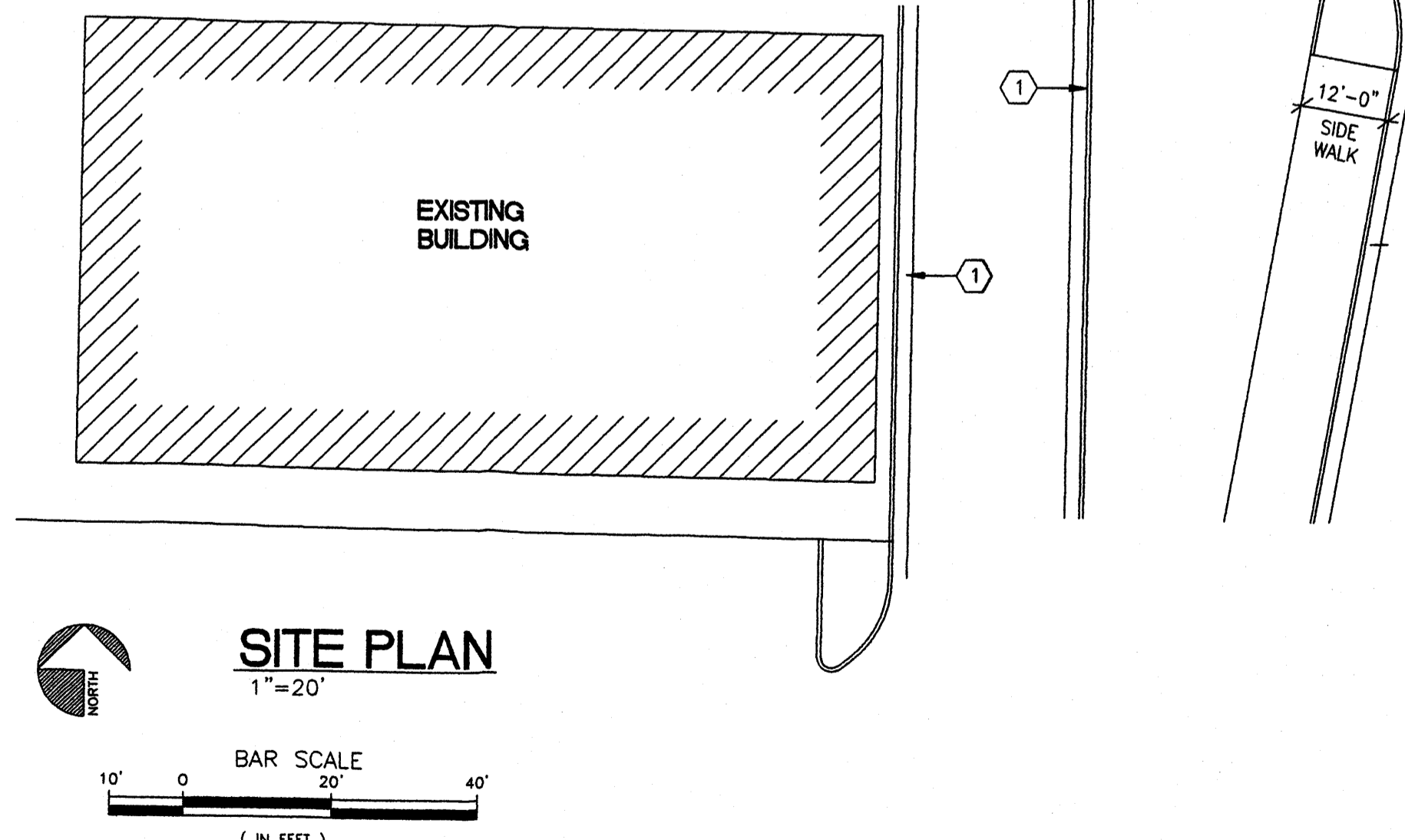
**KEYED NOTES**

28. PROPOSED TEMPORARY STORAGE UNITS SHALL BE PLACED ON PRE-CAST CONCRETE FOOTERS ONLY PER MANUFACTURER'S SPECIFICATIONS.

29. NO TEMPORARY UNITS SHALL BE PLACED OVER EXISTING DRAIN CULVERT.



**1 DUMPSTER ENCLOSURE DETAIL**  
 NOT TO SCALE



**SITE PLAN**  
 1"=20'

PROJECT DATA:	
CONSTRUCTION TYPE:	V-B, TABLE 503, B (OFFICE), AND CLASSIFICATION R-2 (APARTMENT), S-2, (STORAGE)
ALLOWABLE HEIGHT AND BUILDING AREA:	TABLE 503 2 STORY, 7,000 S.F.
SQUARE FOOTAGE:	OFFICE = 106 S.F.
	1ST FLOOR APARTMENT = 694 S.F.
	2ND FLOOR APARTMENT = 257 S.F.
	STORAGE = 15,430 S.F.
TOTAL:	= 16,487 S.F.
FIRE-RESISTANT RATING REQUIREMENTS:	NOT REQUIRED PER SECTION 302.3.1, NON-SEPARATED USES OCC. B, R-2, S-2
<b>OCCUPANT LOAD</b>	
OFFICE:	106 SF/100 = 1 OCC.
APARTMENT:	1,057 SF/200 = 5 OCC.
TOTAL:	= 9 OCCUPANTS
<b>DESIGN LOADS</b>	
ROOF LIVE LOAD:	20 PSF (NON-REDUCABLE)
WIND LOAD:	75 MPH
EXPOSURE:	C
SEISMIC ZONE:	2B

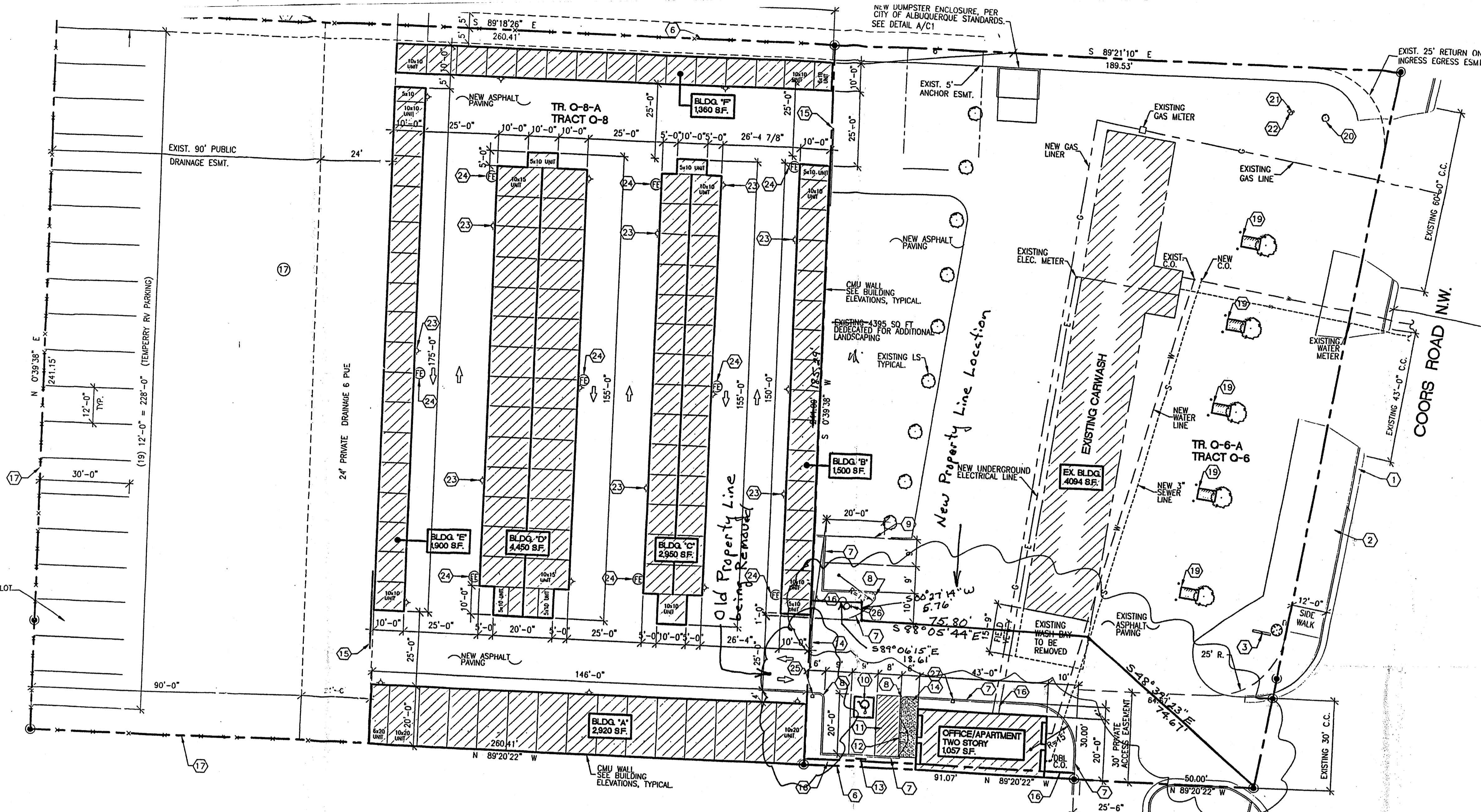
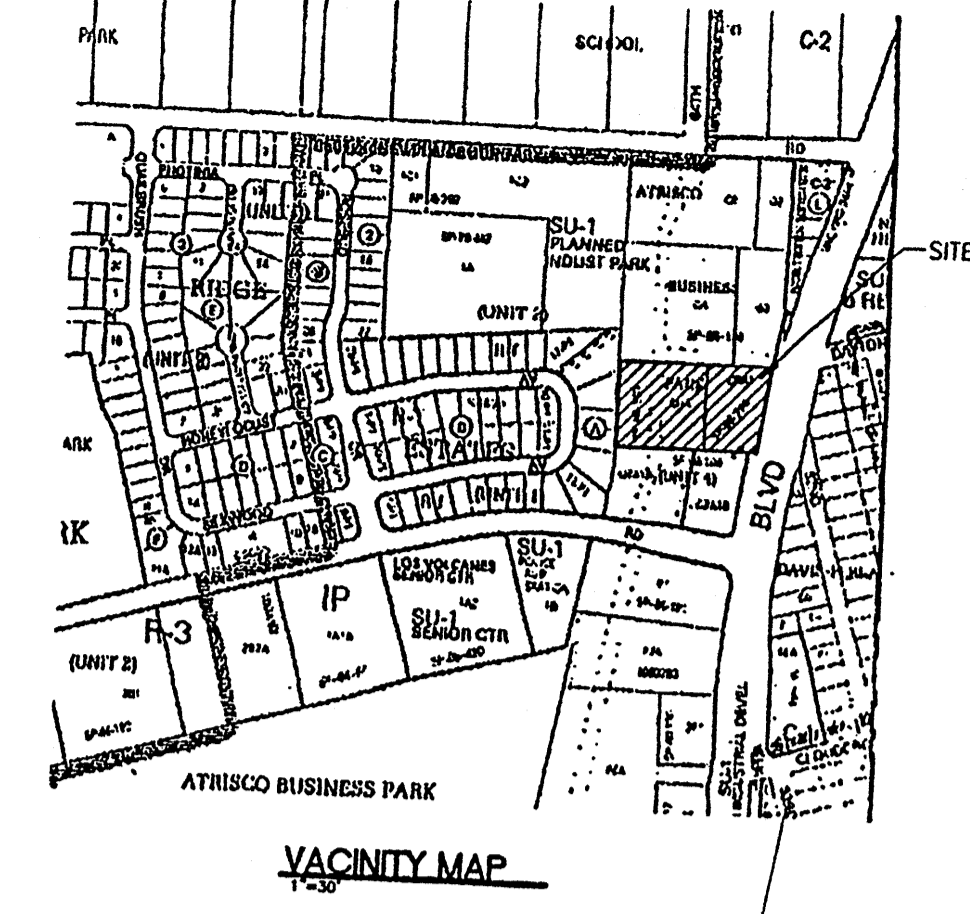
LANDSCAPING REQUIREMENTS	
ZONING:	= SU1 For IP
LOT AREA (TRACT 06):	= 41,063 S.F., 3.23 AC.
LOT AREA (TRACT 08):	= 62,779 S.F., 3.23 AC.
TOTAL LOT AREA:	= 103,842 S.F., 2.38 ACRES
EXISTING BUILDING AREA:	= -4,094 S.F.
NEW BUILDING AREA:	= -16,487 S.F.
NET LOT AREA:	= 83,261 S.F.
REQUIRED:	83,261 x .15% = 12,489 S.F. OF LANDSCAPING
PROVIDED:	12,489 PLUS S.F. OF LS. (REF: LANDSCAPING PLAN)
<b>PARKING CALCULATIONS</b>	
OFFICE = 106 S.F./200 = 1 SPACES	
APARTMENT = 1 1/2 PER BATH = 3 SPACES	
TOTAL PARKING REQUIRED = 4 SPACES	
PROVIDED = 4 SPACES (1 HC VAN)	
<b>LEGAL DESCRIPTION:</b>	
- TR 0-8-A REPL. OF TRS 0-6, Q-7 & Q-8 ATRISCO BUSINESS PARK UNIT 4 CONT 1.4412 AC +/- 872.79 SQ. FT +	
- TR 0-6-A-1 PLAT OF TRS 0-6-A-1 & Q-7-A-1 ATRISCO BUSINESS PARK UNIT 4 CONT 0.9416 AC M/L OR 41,016 SF M/L	
NOTE: PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND. ALL EXTERIOR SITE LIGHTING TO BE SHIELDED DOWN LIGHTING.	

- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING POLE MOUNTED SIGNAGE.
  - EXISTING FIRE HYDRANT.
  - 6" CONCRETE SIDEWALK.
  - 6" CMU FENCE WITH CMU PILASTERS AT 10'-0" O.C., TYPICAL.
  - 6" RAISED CURB, TYPICAL.
  - 2'-0" RADIUS, TYPICAL.
  - PAINTED PARKING STRIPE, PER C.O.A. STANDARDS.
  - PAINTED HC SYMBOL, PER C.O.A. STANDARDS.
  - PAINTED HC ACCESSIBLE STRIPE AISLE, PER C.O.A. STANDARDS.
  - HC ACCESSIBLE CURB RAMP, TYPICAL.
  - HC PARKING SIGNAGE, TYPICAL.
  - 25' LONG WROUGHT IRON AUTOMATIC SLIDING GATE.
  - 25' LONG WROUGHT IRON SLIDING GATE.
  - LANDSCAPING AREA, REF: LANDSCAPING PLAN.
  - 6' HIGH CHAIN LINK FENCE (FUTURE EXPANSION IN R/W)
  - WALL MOUNTED FIRE EXTINGUISHER, REF: PLAN, TYPICAL.
  - EXISTING VACUUM ISLAND.
  - EXISTING TREE/LANDSCAPING.
  - EXISTING ADVERTISEMENT SIGN.
  - EXISTING COIN OPERATED AIR COMPRESSOR.
  - SHIELDED WALL PAC, LIGHT FIXTURE.
  - FIRE EXTINGUISHER 2A-10-BC EVERY 75'
  - KNOX-BOX PURCHASED AND INSTALLED BY OWNER FOR FIRE DEPT. USE TO GAIN ACCESS TO COMMERCIAL PROPERTY IN CASE OF EMERGENCY. VERIFY LOCATION BY FIRE DEPT.
  - NEW FIRE PRIVATE HYDRANT.
  - NEW GATE KEY PAD.

**615 Coors Blvd NW**  
 NORTH-COORS-STORAGE-UNITS  
 SITE-PLAN  
 ALBUQUERQUE-NEW-MEXICO  
 615-NORTH-COORS-BLVD

REVISION DATE	02-28-08
DATE	01-28-08
SHEET NUMBER	C1

PROJECT #: 1004725  
 DATE: 3-12-04  
 APP #: 14-10057(SK)



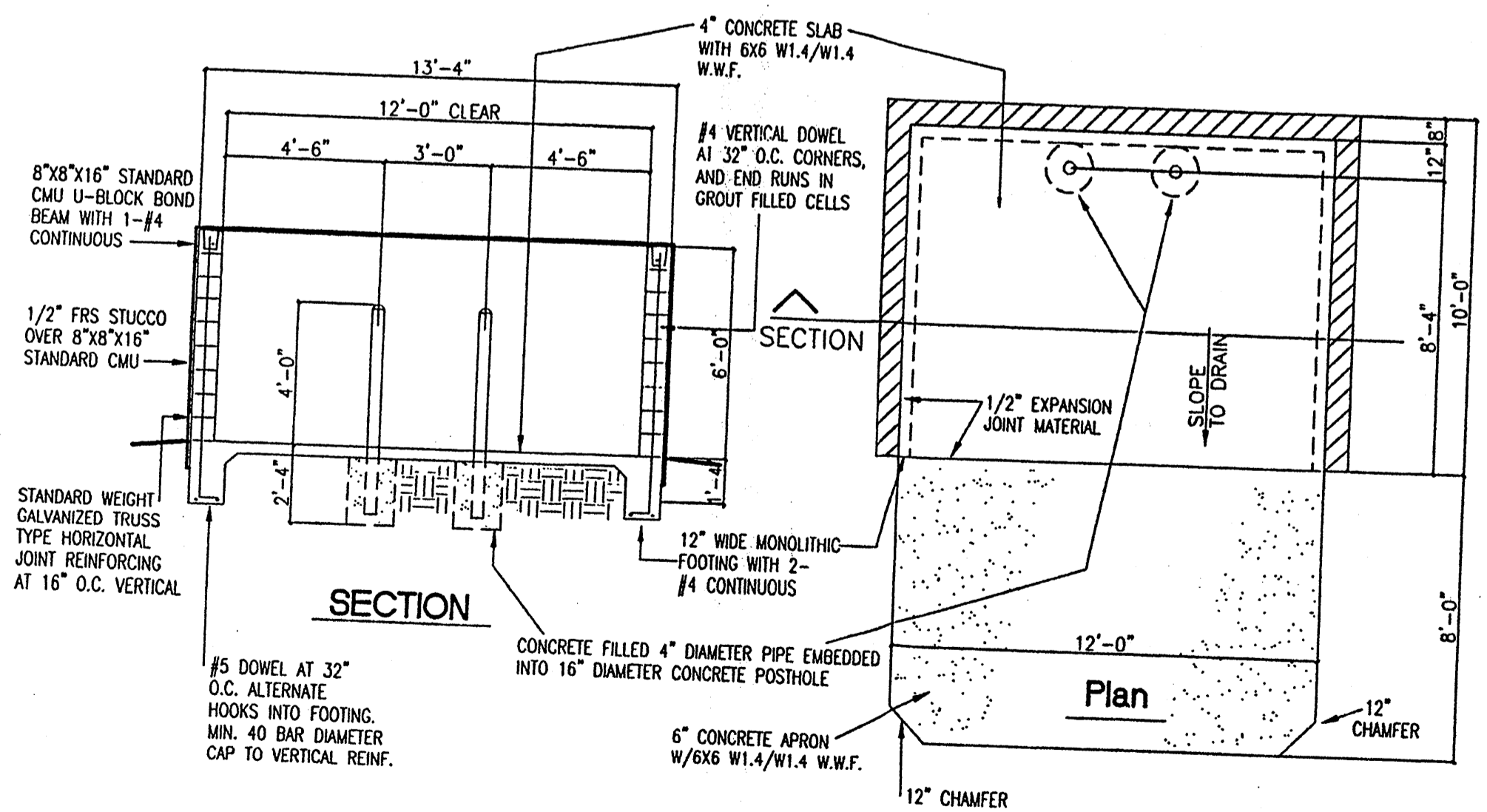
<b>PROJECT DATA:</b>	
CONSTRUCTION TYPE AND CLASSIFICATION	V-B, TABLE 503, B (OFFICE), R-2 (APARTMENT), S-2, (STORAGE)
ALLOWABLE HEIGHT AND BUILDING AREA	TABLE 503
SQUARE FOOTAGE	2 STORY, 7,000 S.F.
	OFFICE = 106 S.F.
	1ST FLOOR APARTMENT = 694 S.F.
	2ND FLOOR APARTMENT = 257 S.F.
	STORAGE = 15,430 S.F.
	TOTAL = 16,487 S.F.
FIRE-RESISTANT RATING REQUIREMENTS	NOT REQUIRED PER SECTION 302.3.1, NON-SEPARATED USES
OCCUPANT LOAD	
OFFICE:	106 SF/100 = 1 OCC.
APARTMENT:	1,057 SF/200 = 5 OCC.
	TOTAL = 9 OCCUPANTS
<b>DESIGN LOADS</b>	
ROOF LIVE LOAD	20 PSF (NON-REDUCABLE)
WIND LOAD	75 MPH
EXPOSURE	C
SEISMIC ZONE	2B

<b>LANDSCAPING REQUIREMENTS</b>	
ZONING	= SU1 For IP
LOT AREA (TRACT 06)	= 41,063 S.F., 3.23 AC.
LOT AREA (TRACT 08)	= 82,779 S.F., 3.23 AC.
TOTAL LOT AREA	= 103,842 S.F., 2.38 ACRES
EXISTING BUILDING AREA	= -4,094 S.F.
NEW BUILDING AREA	= -16,487 S.F.
NET LOT AREA =	83,261 S.F.
REQUIRED:	83,261 x .15% = 12,489 S.F. OF LANDSCAPING
PROVIDED:	12,489 PLUS S.F. OF LS. (REF: LANDSCAPING PLAN)
<b>PARKING CALCULATIONS</b>	
OFFICE	= 106 S.F./200 = 1 SPACES
APARTMENT	= 1 1/2 PER BATH = 3 SPACES
TOTAL PARKING REQUIRED =	4 SPACES
PROVIDED	4 SPACES (1 HC VAN)

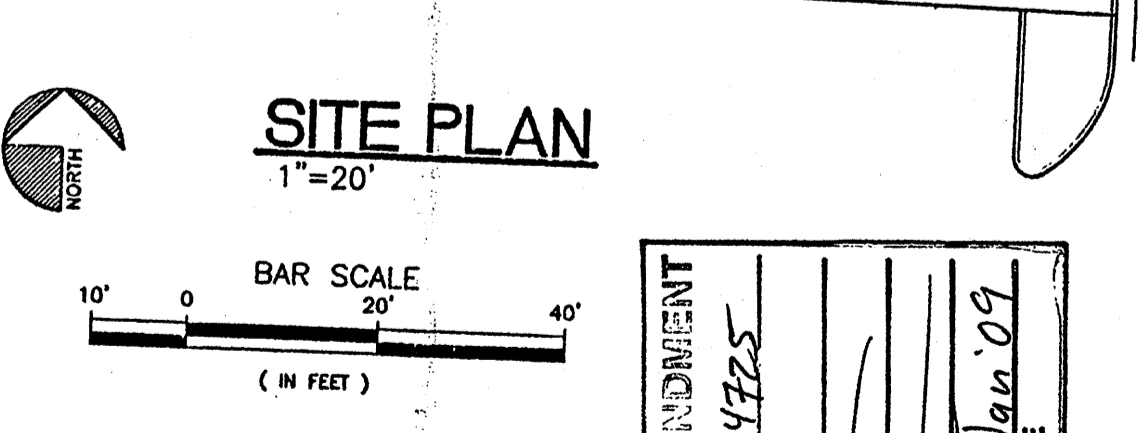
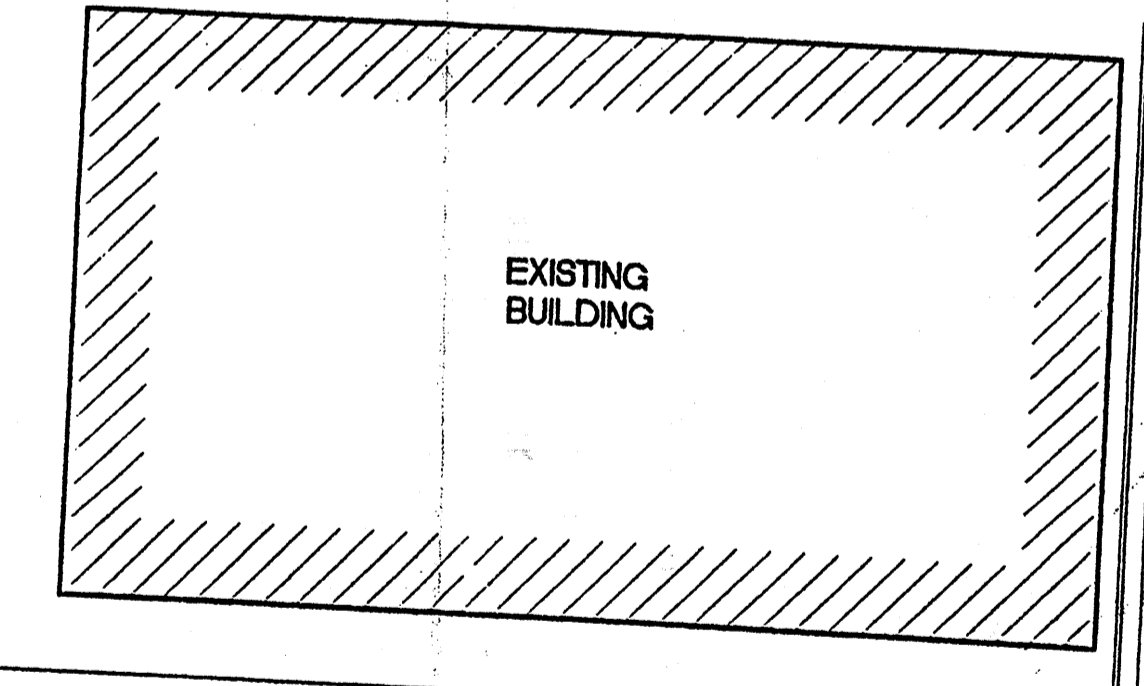
**LEGAL DESCRIPTION:**  
 - TR Q-8-A REPL OF TRS Q-6, Q-7 & Q-8 ATRISCO BUSINESS PARK UNIT 4 CONT 1,4412 AC +/- /82,779 SQ. FT +  
 - TR Q-6-A-1 PLAT OF TRS Q-6-A-1 & Q-7-A-1 ATRISCO BUSINESS PARK UNIT 4 CONT 0.9416 AC M/L OR 41,016 SF M/L

**NOTE:**  
 PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.  
 ALL EXTERIOR SITE LIGHTING TO BE SHIELDED DOWN LIGHTING.

- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING POLE MOUNTED SIGNAGE
  - EXISTING FIRE HYDRANT.
  - 6" CONCRETE SIDEWALK
  - 6" CMU FENCE WITH CMU PILASTERS AT 10'-0" O.C., TYPICAL.
  - 6" RAISED CURB, TYPICAL.
  - 2'-0" RADIUS, TYPICAL.
  - PAINTED PARKING STRIPE, PER C.O.A. STANDARDS.
  - PAINTED HC. SYMBOL, PER C.O.A. STANDARDS.
  - PAINTED HC. ACCESSIBLE STRIPE AISLE, PER C.O.A. STANDARDS.
  - HC. ACCESSIBLE CURB RAMP, TYPICAL.
  - HC. PARKING SIGNAGE, TYPICAL.
  - 25' LONG WROUGHT IRON AUTOMATIC SLIDING GATE.
  - 25' LONG WROUGHT IRON SLIDING GATE.
  - LANDSCAPING AREA, REF: LANDSCAPING PLAN.
  - 6" HIGH CHAIN LINK FENCE (FUTURE EXPANSION IN R/W)
  - WALL MOUNTED FIRE EXTINGUISHER, REF: PLAN, TYPICAL.
  - EXISTING VACUUM ISLAND.
  - EXISTING TREE/LANDSCAPING.
  - EXISTING CON OPERATED SIGN.
  - EXISTING CON OPERATED AIR COMPRESSOR.
  - SHIELDED WALL PAC. LIGHT FIXTURE.
  - FIRE EXTINGUISHER 2A-10-BC EVERY 75'
  - KNOX-BOX PURCHASED AND INSTALLED BY OWNER FOR FIRE DEPT. USE TO GAIN ACCESS TO COMMERCIAL PROPERTY IN CASE OF EMERGENCY. VERIFY LOCATION BY FIRE DEPT.
  - NEW FIRE PRIVATE HYDRANT.
  - NEW GATE KEY PAD.



1 DUMPSTER ENCLOSURE DETAIL  
 C2 NOT TO SCALE



ADMINISTRATIVE AMENDMENT  
 PROJECT # 1004725  
 DATE 3/21/04

PROJECT NUMBER: 1004725  
 APPLICATION NUMBER: C2DRB-05A29

Is an Infrastructure List required? ( ) Yes (X) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

*Richard P. Bennett*  
 Planning Division  
 Date: 6-01-06

*Christina Sandoval*  
 Parks and Recreation Department  
 Date: 4-26-06

*Bradley S. Bingham*  
 City Engineer  
 Date: 4-26-06

*Michael Hutton*  
 Solid Waste Management  
 Date: 4/26/06

*Jim Allen*  
 DRB Chairperson, Planning Department  
 Date: 6/29/06

WATER WORLD CARWASH - STORAGE  
 SITE PLAN  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #0542

615 COORS BLD. DRG

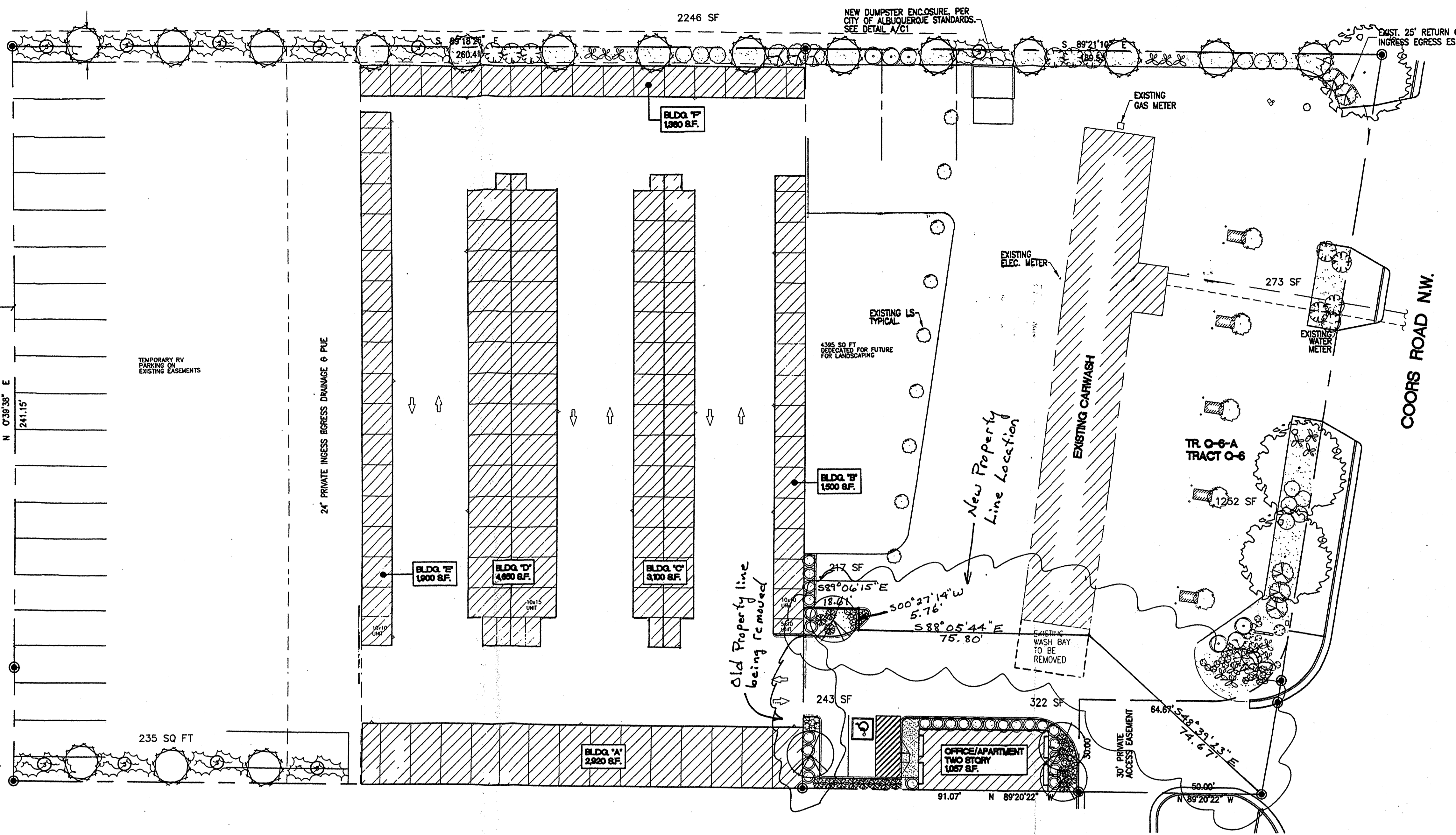
REVISION DATE  
 04-13-06  
 12-24-08

STATE OF NEW MEXICO  
 REGISTERED ARCHITECT  
 RICHARD P. BENNETT  
 No. 12410

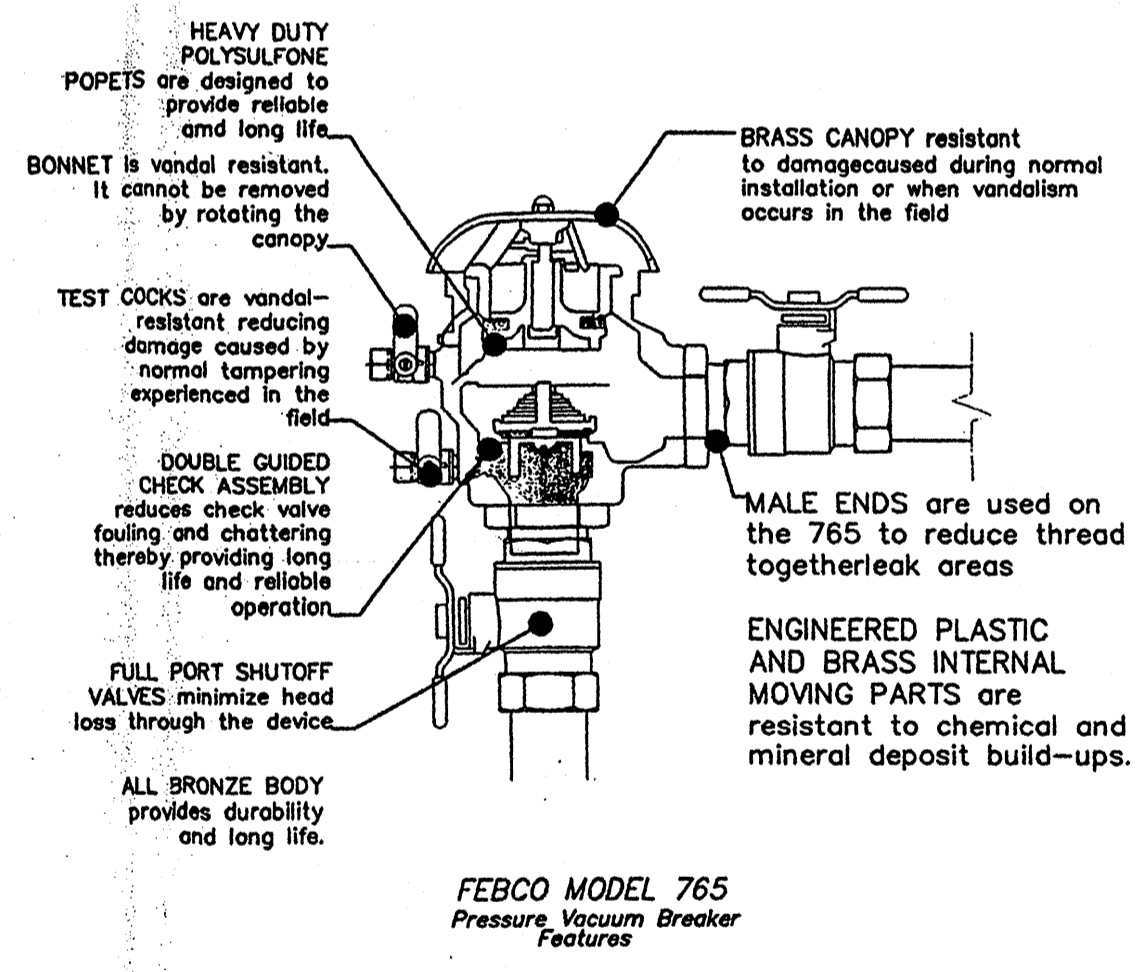
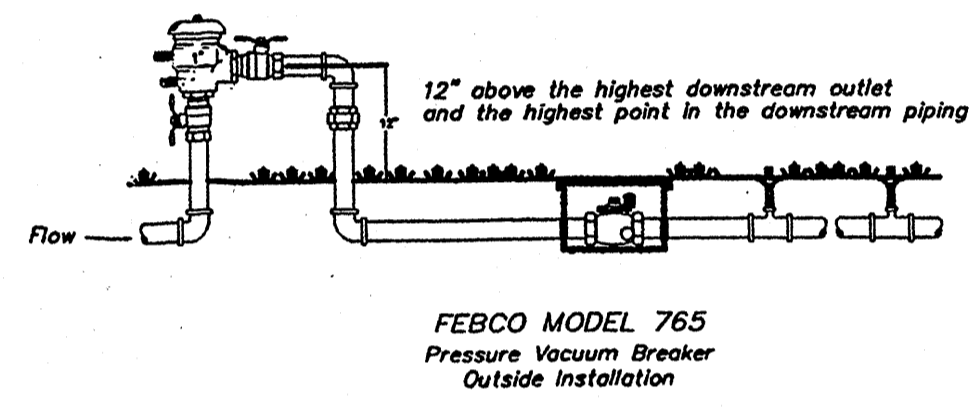
JUN 02 2006

DATE  
 02-02-2006

SHEET NUMBER  
 C-1



- ### PLANT LEGEND
- LACEBACK ELM (H) 3
  - CHINESE PISTACHE 4
  - JAPANESE PAGODA 2" Cal.
  - FLOWERING PEAR (M+) 4
  - Pyrus calleryana 2" Cal.
  - OCOTILLO (L) 1
  - Fouquieria splendens
  - PRICKLY PEAR (L) 15
  - Opuntia macrocentra 9 sf
  - HALLS HONEYSUCKLE (M) 8
  - Japonica 'Halliana' 1 Gal. 144sf
  - Unstaked-Groundcover
  - CHAMISA (L) 11
  - Chrysothamnus nauseosus 1 Gal. 25sf
  - WILDFLOWER 54
  - 1 Gal. 4sf
  - CREEPING ROSEMARY (L) 2
  - Rosmarinus officinalis Prostrata 1 Gal. 36sf
  - Symbol indicates 3 plants
  - OVERSIZED GRAVEL & 3 BOULDERS
  - 3" TAN GRAVEL WITH FILTER FABRIC



### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	76385	square feet
TOTAL BUILDINGS AREA	20,581	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	55,804	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	8371	square feet
TOTAL BED PROVIDED	6287	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	2943	square feet
TOTAL GROUNDCOVER PROVIDED	3358	square feet
TOTAL LANDSCAPE PROVIDED	8171	square feet

### STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Coors Road  
Required: 7      Provided: 7 (5 New, 2 Existing)

### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

### IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

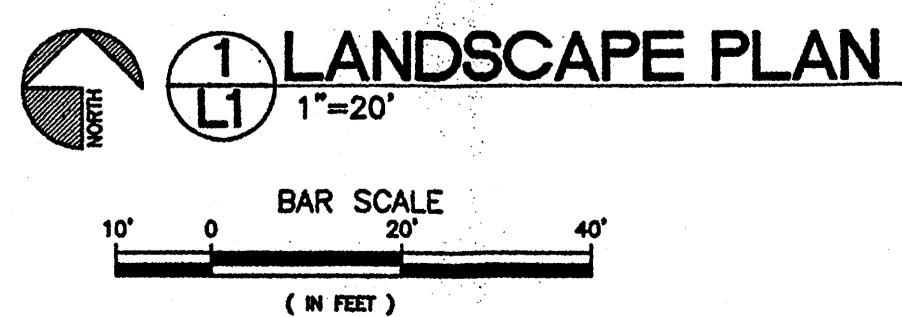
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



WATER WORLD CARWASH - STORAGE  
 LANDSCAPE PLAN  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #0542

REVISION DATE	04-14-06 12-24-08
DATE	10-24-2005
SHEET NUMBER	L-1

**The Hilltop**  
 LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cjohnson@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

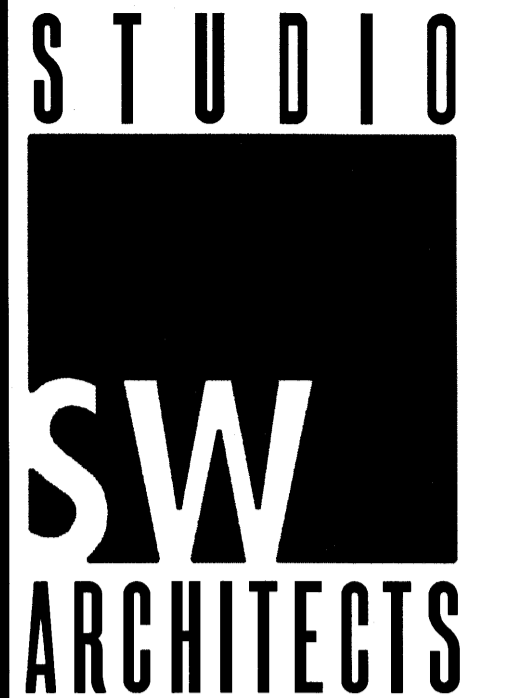




# NORTH COORS SELF STORAGE PHASE 3

615B COORS BLVD NW  
ALBUQUERQUE, NM 87121

PROJECT: 1004725  
DATE: 1-14-15  
APP: 14-10413



STUDIO SOUTHWEST ARCHITECTS, INC.  
2101 Mountain Rd. NW, Albuquerque, NM 87104  
505.843.9639 fax 505.843.9683  
Web Site: www.studioswarch.com  
E-Mail: mail@studioswarch.com

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CONSULTANTS



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3111 Boequer del Sol, La NW Albuquerque, NM 87120

505-452-4657

rdineen@ltdout.com

Architect Engineer

NOT FOR CONSTRUCTION

NORTH COORS  
SELF STORAGE  
PHASE 3  
615B COORS BLVD NW  
ALBUQUERQUE, NM

## DRAWING INDEX

GENERAL

G-001 COVER SHEET & VICINITY MAP

ARCHITECTURAL SITE

AS-101 SITE PLAN  
AS-102 LANDSCAPING PLAN

CIVIL

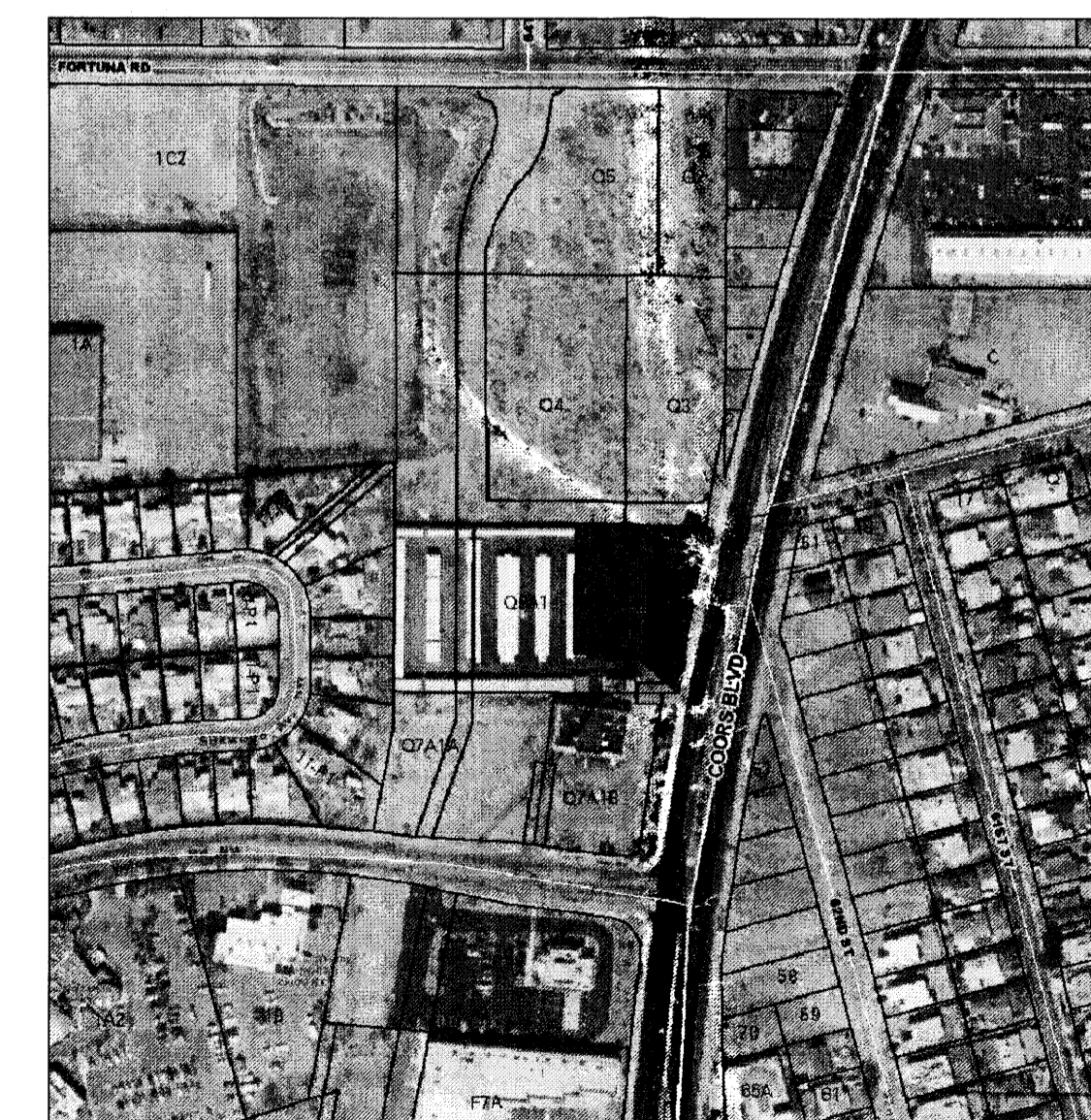
C-001 GRADING AND DRAINAGE

ELECTRICAL

E-001 PARTIAL ELECTRICAL UTILITY PLAN & SCHEDULES

ARCHITECTURAL

A-201 BUILDING ELEVATIONS  
A-202 BUILDING ELEVATIONS  
A-401 ENLARGED ELEVATIONS



VICINITY MAP J-10Z

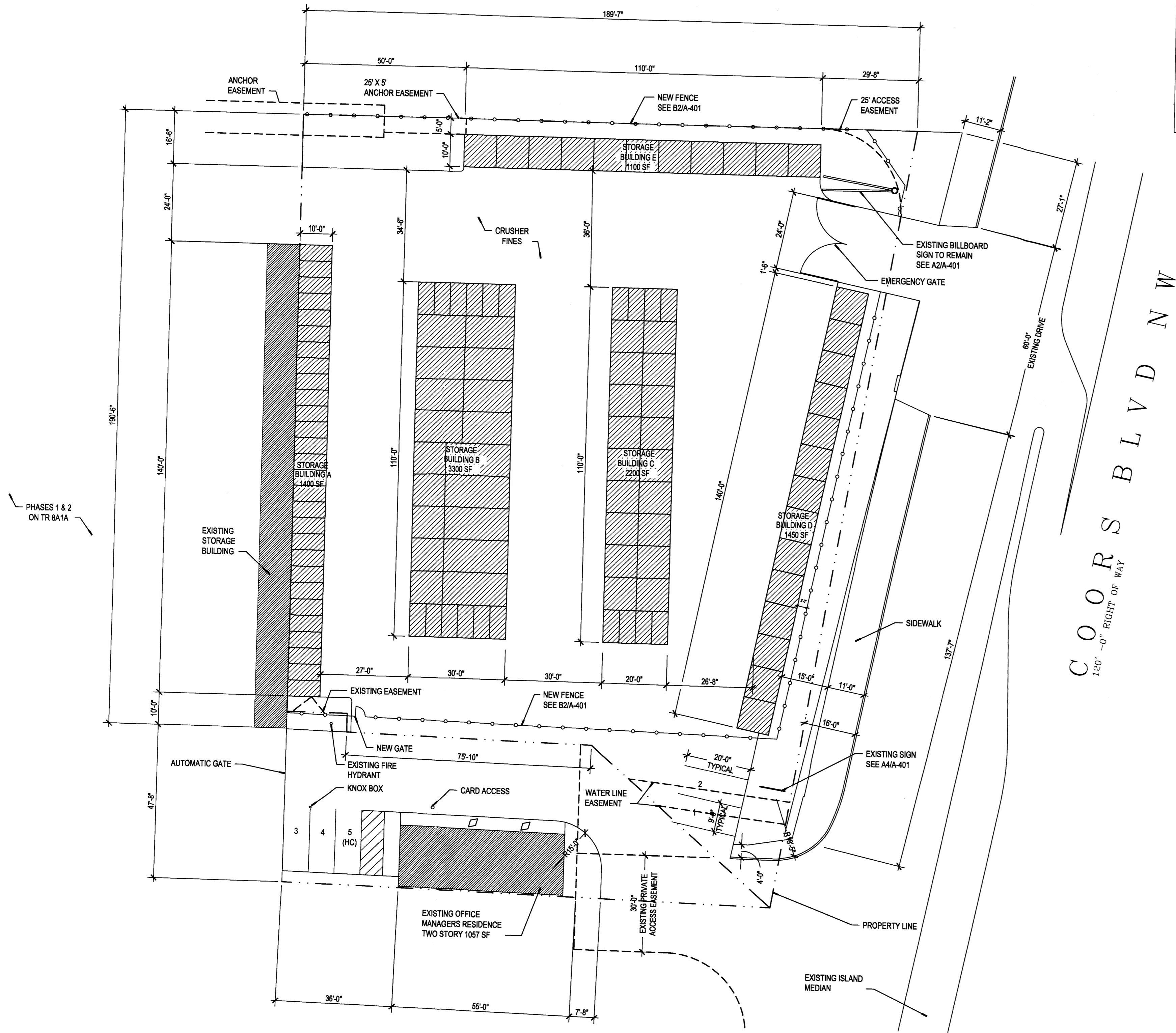
1" = 300'

MARK	DATE	DESCRIPTION
ISSUE:		SITE DEVELOPMENT
PROJECT NO:		1452.1
CAD DWG FILE:		1452-G001.DWG
DRAWN BY:		CAD
CHECKED BY:		PROJECT ARCH
DATE:		12/12/2014

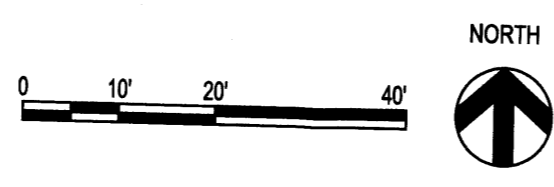
SHEET TITLE

COVER SHEET  
VICINITY MAP

G-001



**A1** SITE PLAN  
SCALE: 1" = 20'-0"



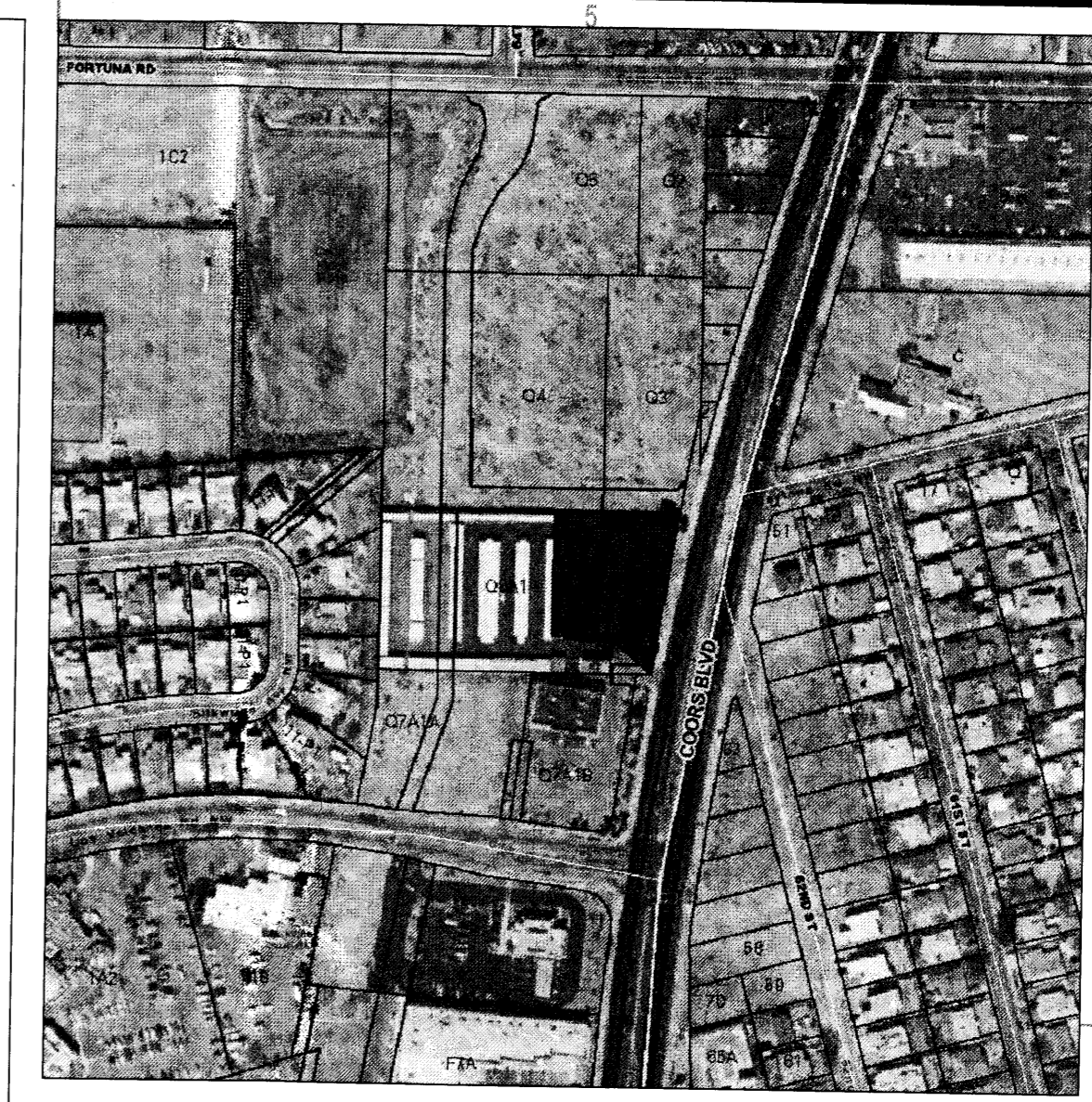
PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

\*Environmental Health, if necessary  
8/25/07



**VICINITY MAP J-10Z**  
1" = 300'

<b>PROJECT DATA:</b>	
CONSTRUCTION TYPE AND CLASSIFICATION	V-B S-2 (STORAGE)
ALLOWABLE HEIGHT AND BUILDING AREA	TABLE 503 2 STORY, 7,000 S.F.
SQUARE FOOTAGE	STORAGE: 9,450 S.F. TOTAL: 9,450 S.F.
FIRE RESISTANT RATING REQUIREMENTS OCC. S-2	NOT REQUIRED PER SECTION 302.3.1, NON-SEPARATED USES
OCCUPANT LOAD	
STORAGE:	N/A
<b>DESIGN LOADS</b>	
ROOF LIVE LOAD	20 PSF (NON-REDUCABLE)
WIND LOAD	90 MPH
EXPOSURE	C
SEISMIC ZONE	2B

<b>LANDSCAPING REQUIREMENTS</b>	
ZONING	
LOT AREA (TRACT 06)	= 34,905 S.F., .8013 ACRES
TOTAL LOT AREA	= 34,905 S.F., .8013 ACRES
NEW BUILDING AREA	= 9,450 S.F.
NET LOT AREA	= 25,455 S.F.
REQUIRED	
25,455 x .15% =	3,819 S.F. OF LANDSCAPING
PROVIDED	
25,455 x .15% =	3,819 S.F. OF LANDSCAPING
<b>PARKING CALCULATIONS</b>	
OFFICE = 106 S.F./200	= 1 SPACES
APARTMENT = 1 1/2 PER BATH	= 3 SPACES
TOTAL PARKING REQUIRED	= 4 SPACES
PROVIDED	= 5 SPACES (1 HC VAN)
<b>LEGAL DESCRIPTION</b>	
- TR Q-6-A-1-A ATRISCO BUSINESS PARK UNIT 4 CONT. 0.8013 AC ML OR 34,905 S.F.	
<b>NOTE:</b> PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND. ALL EXTERIOR LIGHTING TO BE SHIELDED DOWN LIGHTING.	

**STUDIO SW ARCHITECTS**

STUDIO SOUTHWEST ARCHITECTS, INC.  
 2101 Mountain Rd. NW, Albuquerque, NM 87104  
 505.843.9639 fax 505.843.9683  
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**CONSULTANTS**

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 Architecture - Land Planning Development  
 8111 Bosque del Sol Ln NW Albuquerque, NM 87120  
 505-452-6857 rdineen@tdccout.com

Architect: \_\_\_\_\_ Engineer: \_\_\_\_\_

**NOT FOR CONSTRUCTION**

**NORTH COORS SELF STORAGE PHASE 3**  
 615B COORS BLVD NW ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		SITE DEVELOPMENT
PROJECT NO:		1452.1
CAD DWG FILE:		1452-AS101.DWG
DRAWN BY:		CAD
CHECKED BY:		PROJECT ARCH
DATE:		12/12/2014

SHEET TITLE  
**SITE PLAN**

**AS-101**

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from the water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Palms Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey gravel over Filter Fabric shall be placed in all landscaping area which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Location of controller to be field determined and power source for controller to be provided by others.

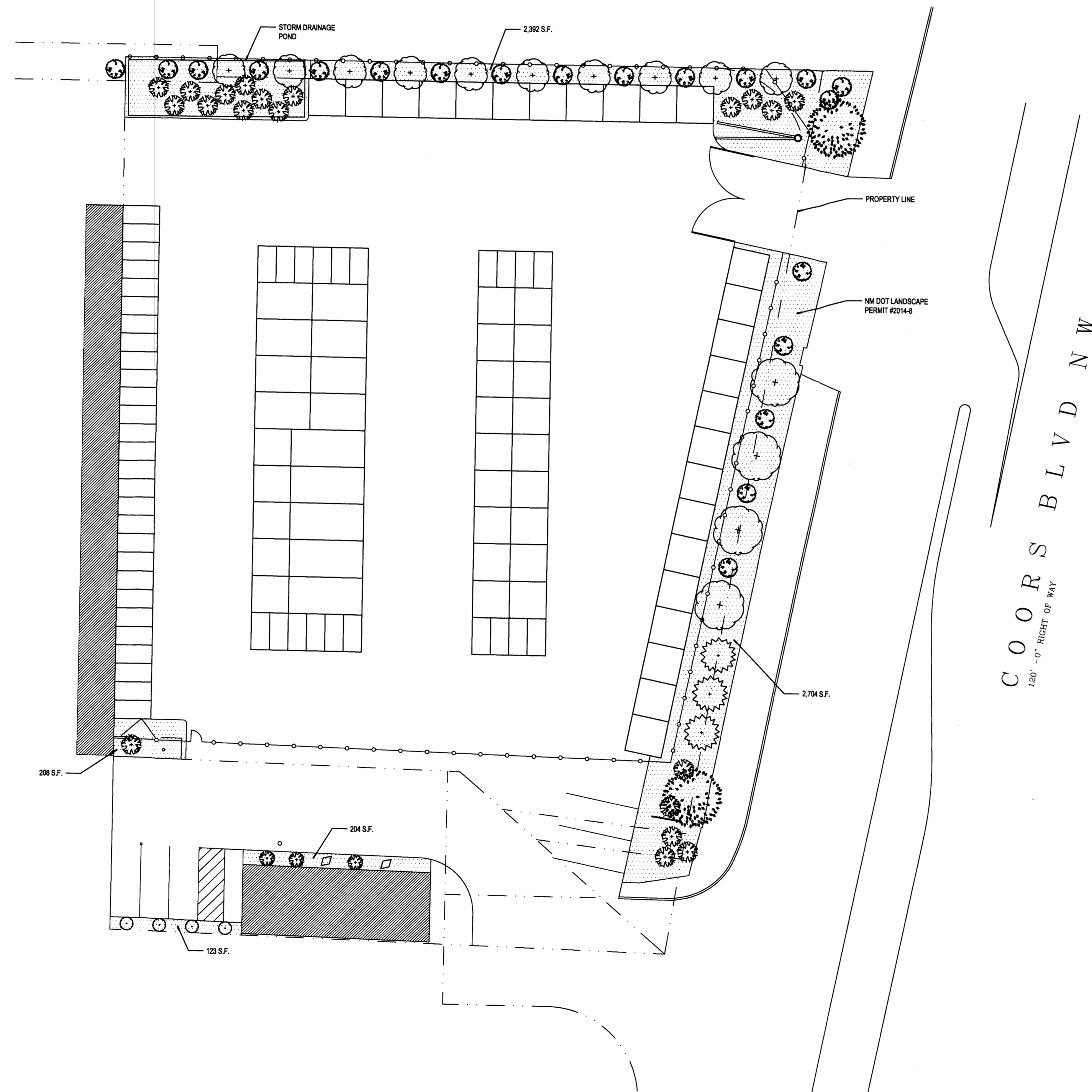
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

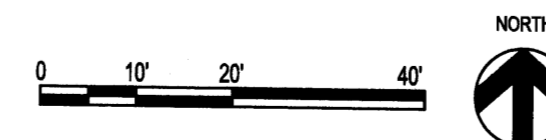
**STREET TREE REQUIREMENTS:**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Coors Road  
Required: 7 Provided: 7



**A1 SITE PLAN**  
SCALE: 1" = 20'



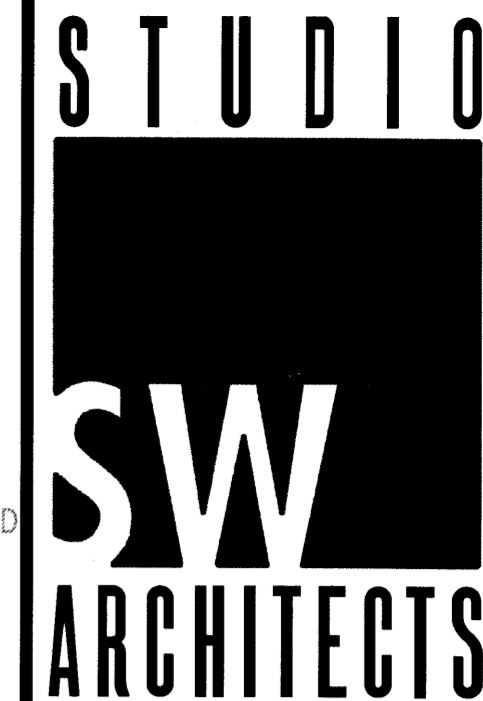
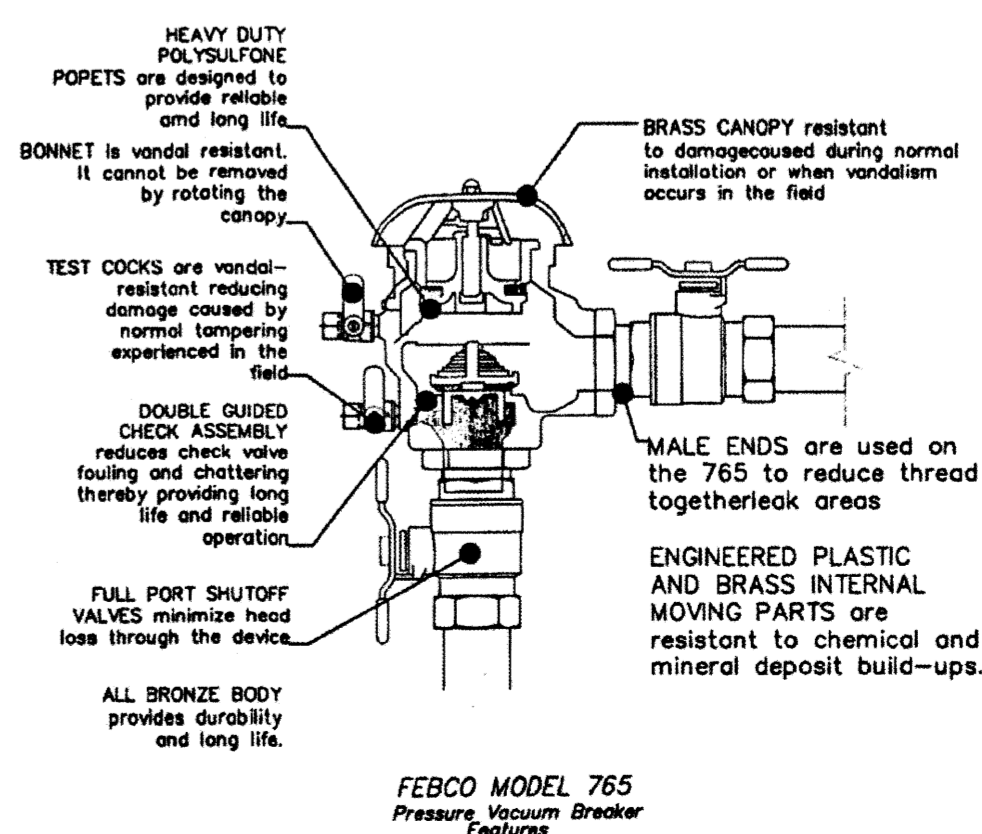
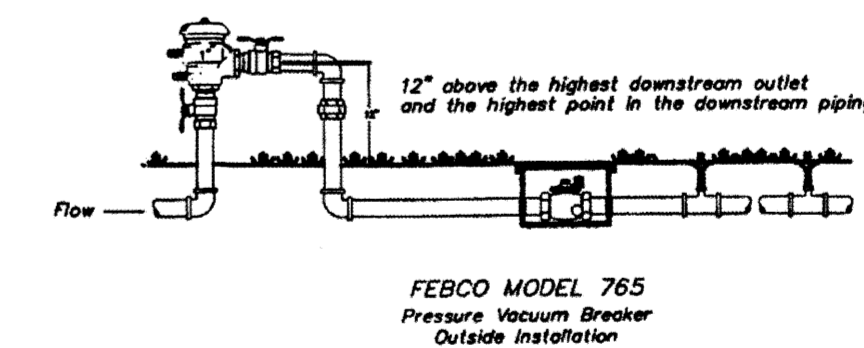
**VICINITY MAP J-10Z**

1" = 300'

**PLANT LEGEND**

- EXISTING PINON VERDE PINUS EDULIS 2
- EXISTING ITALIAN CYPRESS CUPRESSUS SEMPERVIRENS 3
- PURPLE LEAF PLUM PRUNUS CERASIFERA 14
- BOXWOOD HEDGE BUXUS OBTUSIFOLIA 15
- ELYONIMUS FORTUNEI GREEN, EMERALD, AND GOLD # SPREAD 20
- HALLS HONEYSUCKLE JAPONICA HALLIANA 4
- 3" TAN GRAVEL WITH FILTER FABRIC
- BOULDER 2

LANDSCAPING CALCULATIONS	
TOTAL LOT AREA	= 34,905 S.F.
TOTAL BUILDINGS AREA	= 9,450 S.F.
OFFSITE AREA	= 0 S.F.
NET LOT AREA	= 25,455 S.F.
LANDSCAPE REQUIREMENT	= 20%
TOTAL LANDSCAPE REQUIREMENT	= 5,091 S.F.
<hr/>	
TOTAL BED PROVIDED	= 5,091 S.F.
GROUND COVER REQ.	75%
TOTAL GROUND COVER REQUIREMENT	= 3,819 S.F.
TOTAL GROUND COVER PROVIDED	= 3,819 S.F.
<hr/>	
TOTAL LANDSCAPE PROVIDED	= 5,138 S.F.



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Architect Engineer

**NOT FOR CONSTRUCTION**

**NORTH COORS SELF STORAGE PHASE 3**  
615B COORS BLVD NW  
ALBUQUERQUE, NM

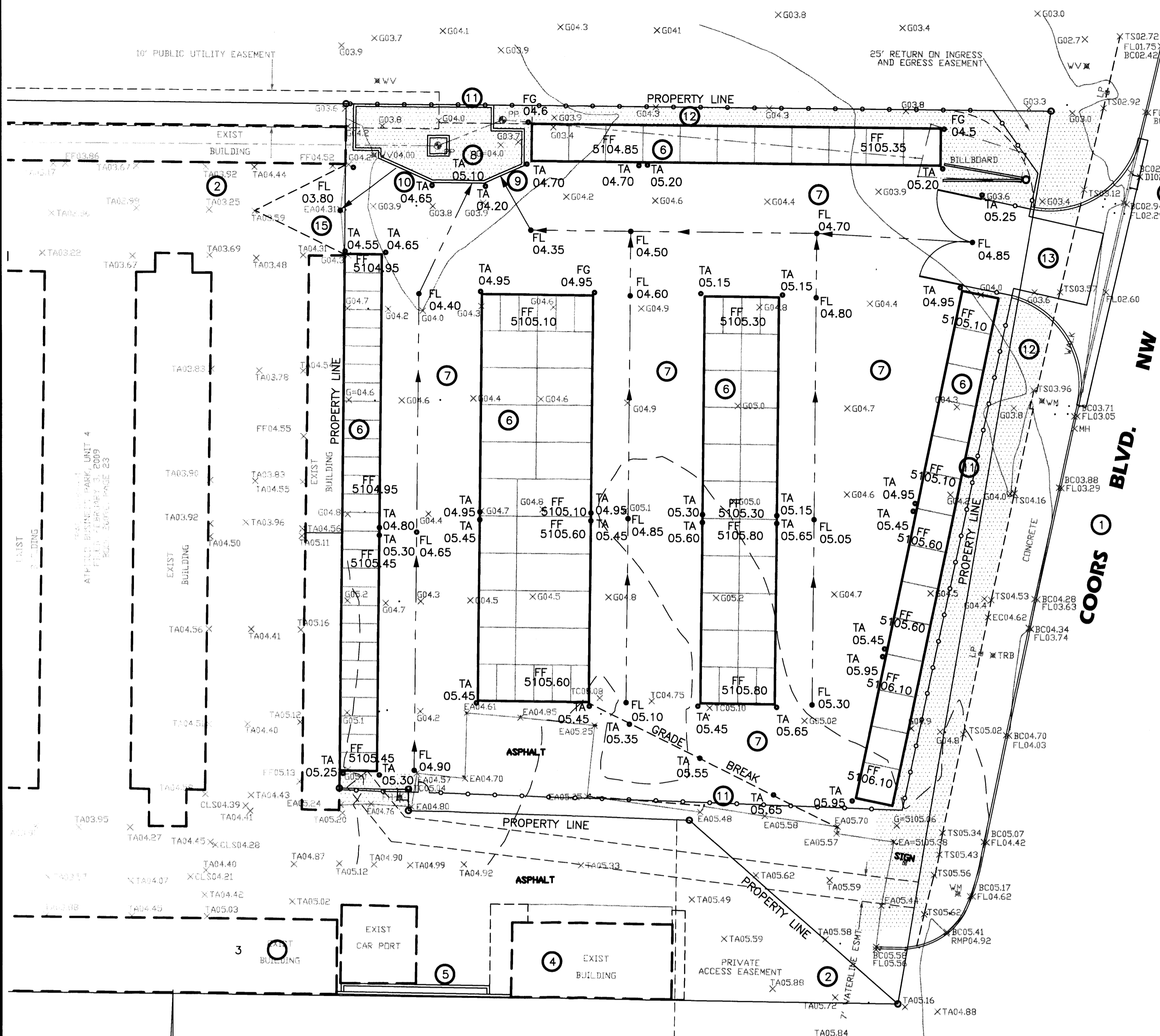
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ISSUE:		SITE DEVELOPMENT
PROJECT NO:		1452.1
CAD DWG FILE:		1452-AS102.DWG
DRAWN BY:		CAD
CHECKED BY:		PROJECT ARCH
DATE:		12/12/2014

SHEET TITLE  
**LANDSCAPING PLAN**

**AS-102**



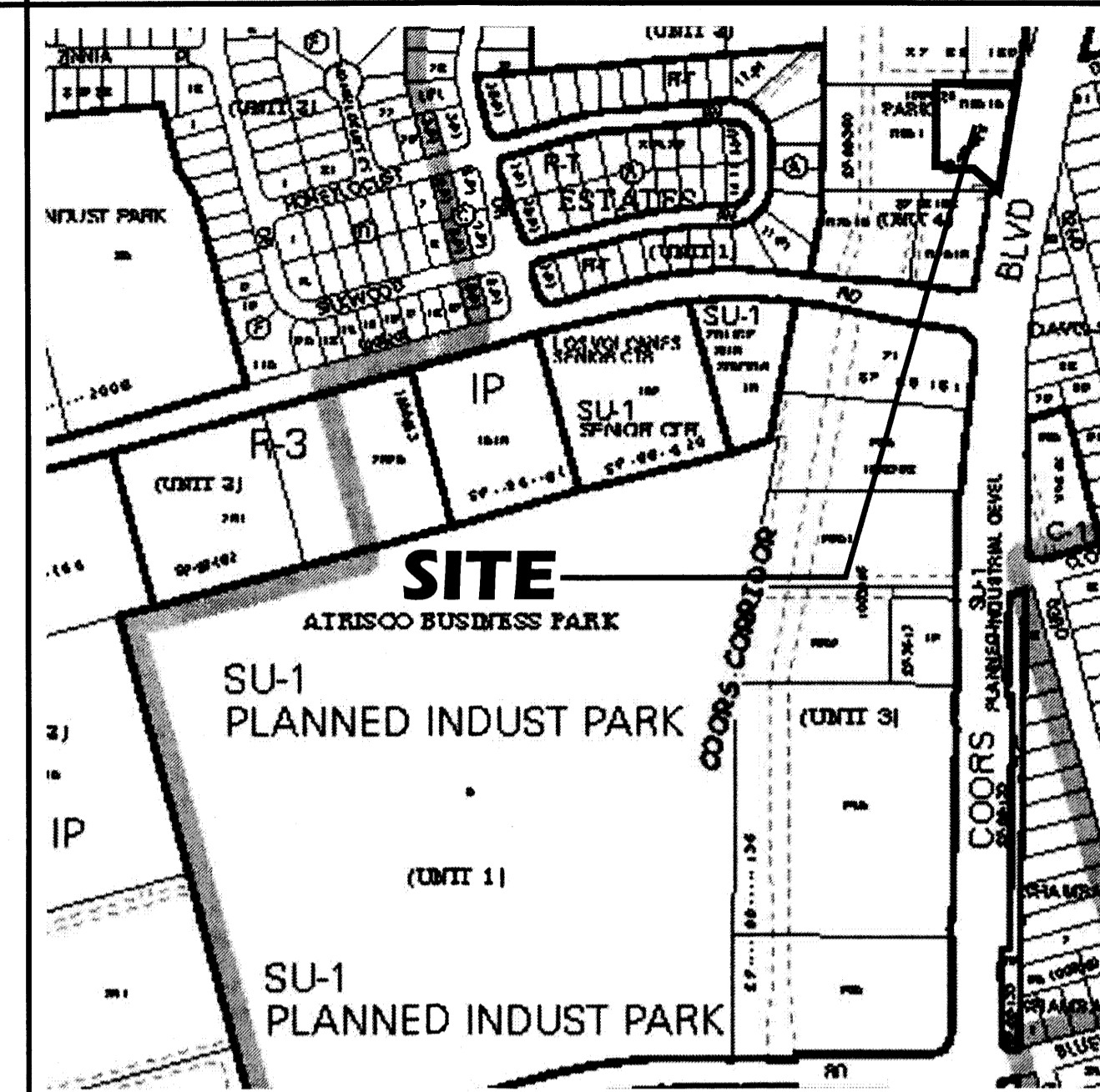
**GRADING PLAN**



**KEYED NOTES**

- EXISTING PAVED PUBLIC STREET w/ STD. CURB & GUTTER AND SIDEWALK
- EXISTING ASPHALT DRIVE TO MULTIPLE LOTS.
- EXISTING STORAGE UNIT FACILITY.
- EXISTING OFFICE FOR BOTH EXISTING AND NEW STORAGE UNIT FACILITY.
- EXISTING CMU YARD/RETAINING WALL.
- NEW STORAGE UNITS.
- NEW ASPHALT PAVEMENT.
- POND FOR FIRST FLUSH FLOW RETENTION. 8" CMU RETAINING WALL AT PERIMETER AND AROUND POWER POLE. ALL CELLS SHALL BE FILLED WITH CONCRETE. TOP OF WALL ELEVATION 5104.70. BOTTOM OF POND ELEVATION 5102.70.
- 7" OPENING FOR STORM WATER ENTRY TO POND. ELEVATION OF ENTRY 5104.20.
- 7" OPENING FOR STORM WATER EXIT FROM POND. ELEVATION OF EXIT 5104.20.
- NEW WROUGHT IRON FENCE. SEE LANDSCAPING PLAN.
- LANDSCAPED AREA. SEE LANDSCAPING PLAN.
- 24' WIDE PRIVATE ENTRANCE DETAIL PER COA STD DETAIL 2426 w/ 25' RADIUS RETURNS.
- REMOVE SINGLE 'C' CATCH BASIN. CONSTRUCT DOUBLE 'D' CATCH BASIN ON EXISTING OUT PIPE.
- REMOVE EXISTING ASPHALT, REGRADE AND REPLACE ASPHALT.

**VICINITY MAP J-10**



**FEMA FIRM PANEL NO. 329H**



**GRADING NOTES**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

**EROSION CONTROL NOTES**

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

**DRAINAGE DATA**

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year		sq. ft.	in.	cfs/acre	cu. ft.	cfs
EXISTING	10	A	0	0.08	0.24	0	0.00
		B	0	0.22	0.76	0	0.00
		C	0	0.44	1.49	0	0.00
		D	34905	1.24	2.89	3607	2.32
		TOTAL	34905				3607
PROPOSED	10	A	0	0.44	1.29	0	0.00
		B	3873	0.67	2.03	0	0.00
		C	0	0.99	2.87	0	0.00
		D	34905	1.97	4.37	5730	3.50
		TOTAL	34905				5730
PROPOSED	100	A	0	0.44	1.29	0	0.00
		B	3873	0.67	2.03	216	0.18
		C	0	0.99	2.87	0	0.00
		D	31032	1.97	4.37	5094	3.11
		TOTAL	34905				5311

**OFFSITE DRAINAGE DATA**

THERE ARE NO OFFSITE FLOWS ENTERING THE PROPERTY.

**LEGEND**

TBM	TEMPORARY BENCHMARK	GM	GAS METER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	ELEC WIRE
TA	TOP OF ASPHALT	PED	GUY OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD OR C	ROOF DRAINAGE POINT
BC	TOP OF CURB		
TP	TOP OF EARTH PAD		
TS	TOP OF SIDEWALK		
TW	TOP OF WALL		
FH	FIRE HYDRANT		
WM	WATER METER		
WV	WATER VALVE	XX.XX	EXISTING SPOT ELEVATION
MH	MANHOLE	XX.XX	PROPOSED SPOT ELEVATION
CB	CATCH BASIN GRATE	XX.XX	RECORD SPOT ELEVATION

**DRAINAGE NOTES**

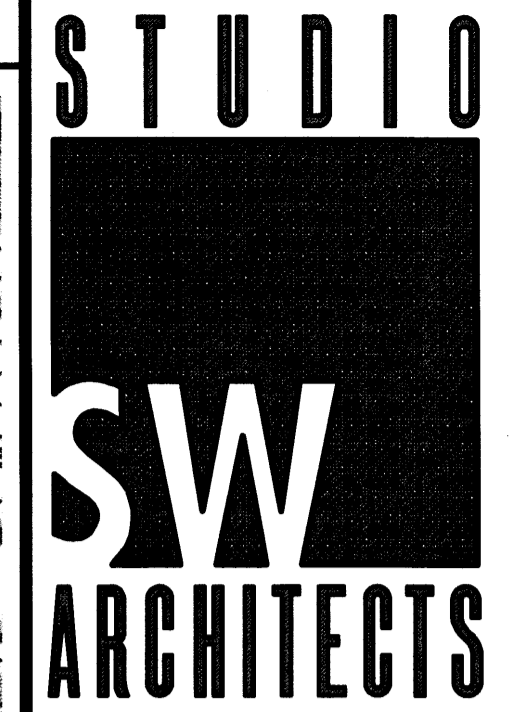
- THE SITE WAS PREVIOUSLY DEVELOPED AS A CAR WASH. THE BUILDINGS HAVE BEEN REMOVED AS HAS MOST OF THE ASPHALT. THE SITE PREVIOUSLY DISCHARGED STORM RUNOFF TO THE VACANT PROPERTY TO THE NORTH OF THE SITE. THE PROPOSED DESIGN WILL ENLARGE THE EXISTING STORAGE UNIT FACILITY. THE EXISTING AND PROPOSED STORAGE UNIT FACILITIES ARE IN COMMON OWNERSHIP. STORM WATER RUNOFF WILL BE DIRECTED TO THE EXISTING STORAGE FACILITY WHICH DISCHARGES TO VACANT PROPERTY TO THE NORTH AND A LARGE STORMWATER INLET WHICH DISCHARGES TO THE WEST MESA POND.
- THE SITE IS LOCATED IN RAINFALL ZONE 1. MOST OF THE SITE IS ROUTED VIA ASPHALT SWALES TO A FIRST FLUSH RETENTION POND. OVERFLOW FROM THE POND IS ROUTED VIA ASPHALT SWALES TO OFFSITE STORMWATER COLLECTION AND STORAGE FACILITIES.
- THE SITE IS LOCATED IN 'ZONE X' PER FEMA FIRM MAP NO. 329H, DATED AUGUST, 2012.
- TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY HARRIS SURVEYING, INC. IN DECEMBER, 2014.

**LEGAL DESCRIPTION**

TRACT Q-6-A-1-A. ATRISCO BUSINESS PARK, UNIT 4

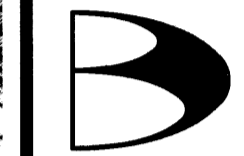
**PERMANENT BENCHMARK**

ACS 13-K10 ELEVATION 5146.610 (NAVD 1988)



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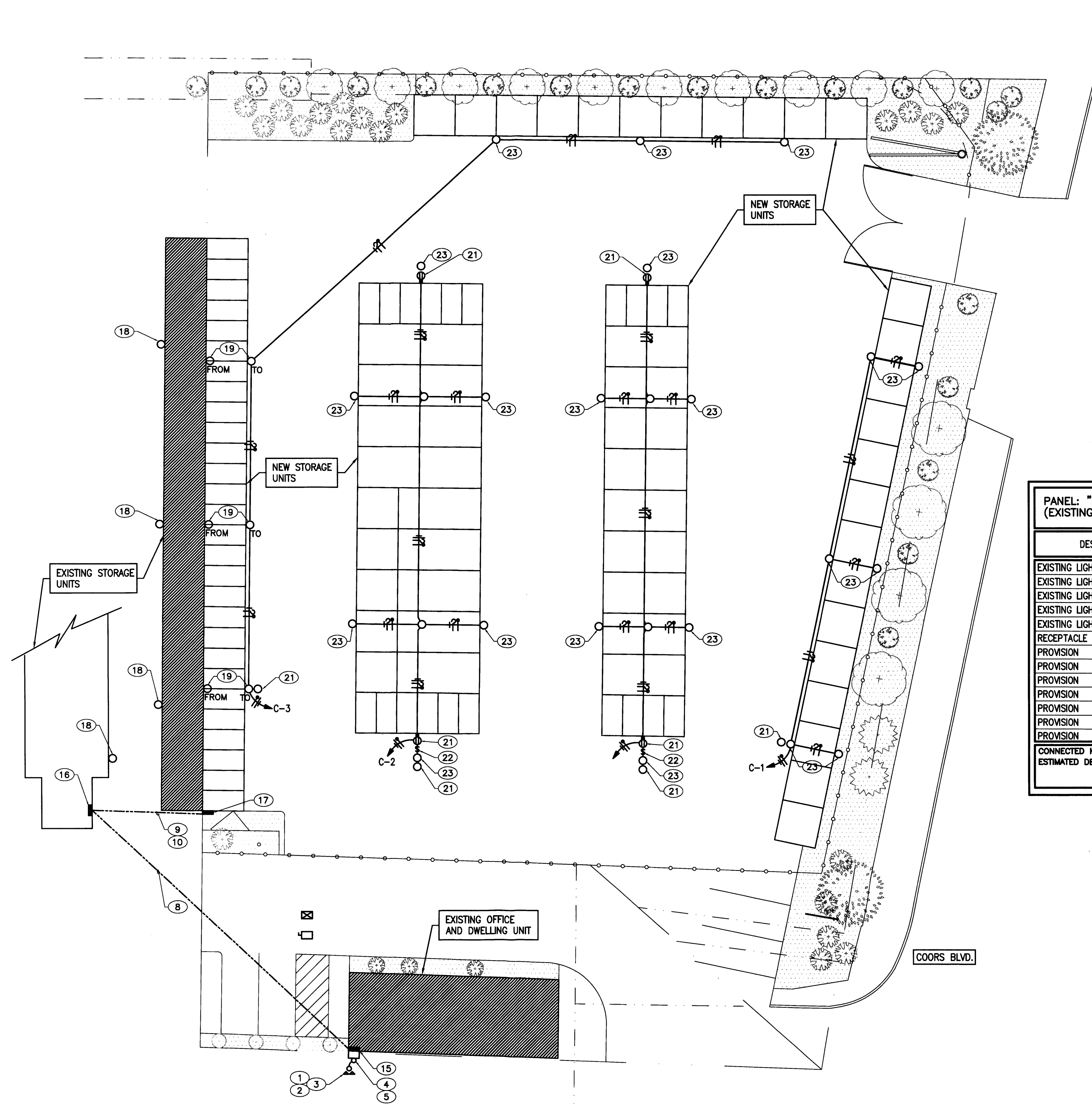
**NORTH COORS SELF STORAGE PHASE 3**  
615B COORS BLVD NW  
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION

**SHEET TITLE**

**GRADING AND DRAINAGE**

C-001



PANEL: "A" (EXISTING) VOLTAGE: 240/120 MAINS: 200 AMP AIC: 10,000  
 SKIRTS: NONE FEED: TOP MAIN BREAKER: 200A-2P MOUNTING: SURFACE

DESCRIPTION	BREAKER	LOAD (VA)	CCT NO.		LOAD (VA)		BREAKER	DESCRIPTION	
			#A	#B	#A	#B			
EXISTING	20A-1P	1			2		20A-1P	EXISTING	
EXISTING	20A-1P	3			4		20A-1P	EXISTING	
EXISTING	20A-1P	5			6		20A-1P	EXISTING	
EXISTING	20A-1P	7			8		20A-1P	EXISTING	
EXISTING	20A-1P	9			10		20A-1P	EXISTING	
EXISTING	20A-1P	11			12		20A-1P	EXISTING	
EXISTING	20A-1P	13			14		20A-1P	EXISTING	
EXISTING	20A-1P	15			16		20A-1P	EXISTING	
EXISTING	30A	17			18		20A-1P	EXISTING	
EXISTING	2P	19			20		20A-1P	EXISTING	
EXISTING	30A	21			22		20A-1P	EXISTING	
EXISTING	20A	23			24		20A-1P	EXISTING	
EXISTING	2P	25			26		20A-1P	EXISTING	
EXISTING	20A-1P	27			28		20A-1P	EXISTING	
EXISTING	20A-1P	29			30		20A-1P	EXISTING	
EXISTING	20A-1P	31			32		20A-1P	EXISTING	
EXISTING	20A-1P	33			34		20A-1P	EXISTING	
EXISTING	20A-1P	35			36		20A-1P	EXISTING	
EXISTING	20A-1P	37			38		20A-1P	EXISTING	
ELECTRIC HEATER	20A	39			40		100A	EXISTING PANEL "B"	
EXISTING	2P	41			42		2P	EXISTING PANEL "B"	
CONNECTED KVA:				TOTAL VA				GROUND BUSS	
ESTIMATED DEMAND KVA:									

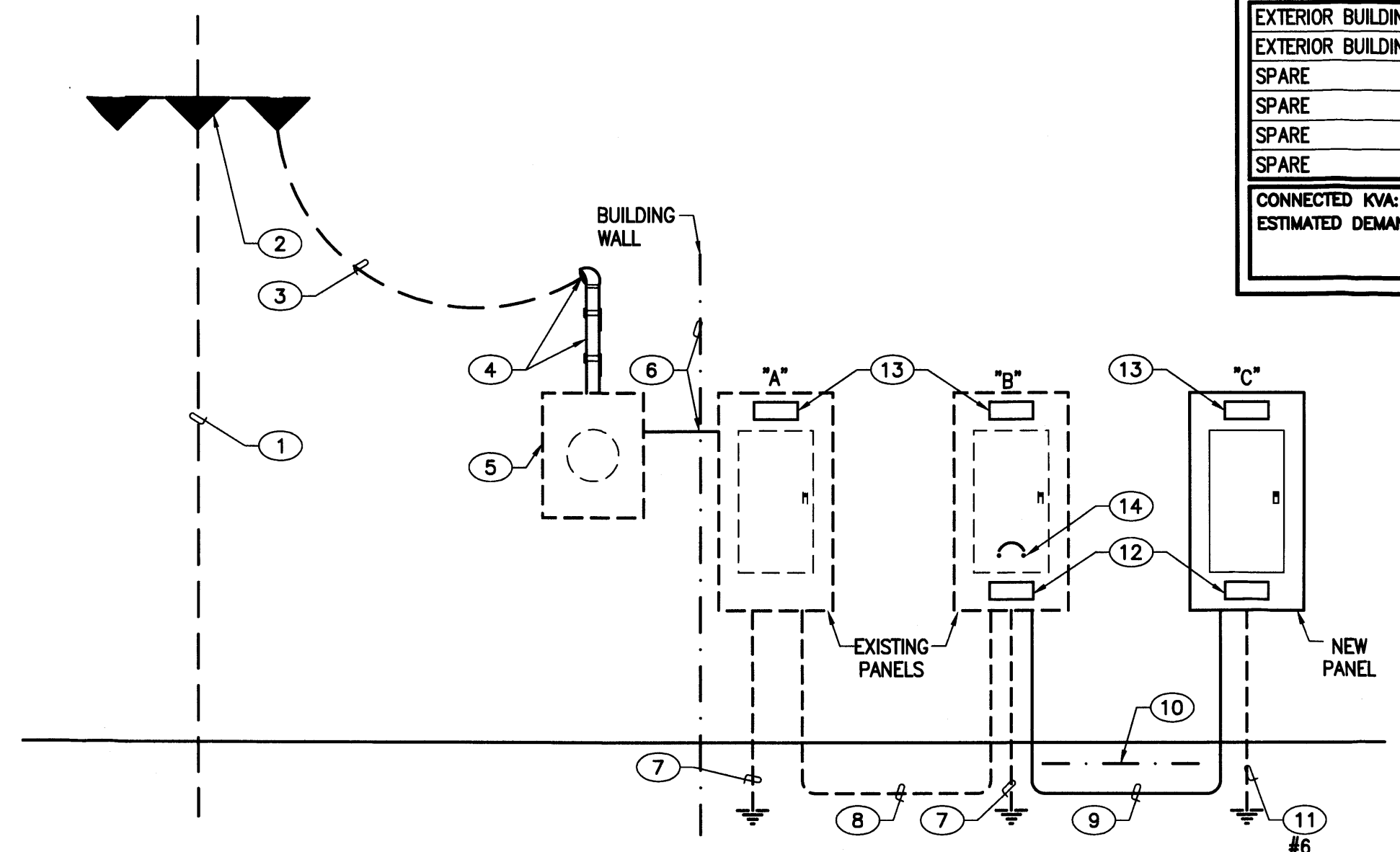
PANEL: "B" (EXISTING) VOLTAGE: 240/120 MAINS: 100 AMP AIC: 10,000  
 SKIRTS: NONE FEED: BOTTOM MAIN BREAKER: 100A-2P MOUNTING: SURFACE

DESCRIPTION	BREAKER	LOAD (VA)	CCT NO.		LOAD (VA)		BREAKER	DESCRIPTION	
			#A	#B	#A	#B			
EXISTING LIGHTING	20A-1P	1			2		20A-1P	EXISTING LIGHTING	
EXISTING LIGHTING	20A-1P	3			4		20A-1P	EXISTING LIGHTING	
EXISTING LIGHTING	20A-1P	5			6		20A-1P	EXISTING LIGHTING	
EXISTING LIGHTING	20A-1P	7			8		20A-1P	EXISTING LIGHTING	
EXISTING LIGHTING	20A-1P	9			10		20A-1P	EXISTING LIGHTING	
RECEPTACLE	20A-1P	11			12		20A-1P	EXISTING LIGHTING	
PROVISION	1-POLE	13			14		1-POLE	PROVISION	
PROVISION	1-POLE	15			16		1-POLE	PROVISION	
PROVISION	1-POLE	17			18		1-POLE	PROVISION	
PROVISION	1-POLE	19			20		1-POLE	PROVISION	
PROVISION	1-POLE	21			22		60A	NEW PANEL "C" (14)	
PROVISION	1-POLE	23			24		2-POLE		
CONNECTED KVA:				TOTAL VA				GROUND BUSS	
ESTIMATED DEMAND KVA:									
				NOTE: UPDATED CIRCUIT DIRECTORY PER NEC 408.4				NOTE: LOAD CONSISTS OF 55 LUMINAIRES AT 100 KVA	

NEW PANEL: "C" (NEMA 3R ENCLOSURE LOCKABLE) VOLTAGE: 240/120 MAINS: 100 AMP AIC: 10,000  
 SKIRTS: NONE FEED: BOTTOM MAIN BREAKER: 60A-2P MOUNTING: SURFACE

DESCRIPTION	BREAKER	LOAD (VA)	CCT NO.		LOAD (VA)		BREAKER	DESCRIPTION	
			#A	#B	#A	#B			
EXTERIOR BUILDING LIGHTING	20A-1P	600	1		1660	2	1060	20A-1P	RECP.T. EXTERIOR BUILDING LIGHTING
EXTERIOR BUILDING LIGHTING	20A-1P	900	3		1860	4	960	20A-1P	RECP.T. EXTERIOR BUILDING LIGHTING
SPARE	20A-1P		5			6		1-POLE	PROVISION
SPARE	20A-1P		7			8		1-POLE	PROVISION
SPARE	20A-1P		9			10		1-POLE	PROVISION
SPARE	20A-1P		11			12		1-POLE	PROVISION
CONNECTED KVA:				TOTAL VA				GROUND BUSS	
ESTIMATED DEMAND KVA:				1860 / 120 = 16 AMPS					

- ### KEYED NOTES
- EXISTING PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) RISER POLE.
  - EXISTING 3-25KVA NETWORK/POLE MOUNTED PNM TRANSFORMERS; 2 TRANSFORMERS TAPPED FOR 240/120, SINGLE PHASE, 3 WIRE AERIAL SERVICE.
  - EXISTING PNM AERIAL FEEDER.
  - EXISTING RISER TO REMAIN.
  - EXISTING PNM METERING TO REMAIN.
  - EXISTING FEEDER THRU WALL DIRECTLY INTO EXISTING PANEL "A" (LESS THAN 4 FT.)
  - EXISTING SERVICE GROUNDING ELECTRODE SYSTEM TO REMAIN.
  - EXISTING 100AMP, 240/120 VOLT, 3 WIRE+GRND UNDERGROUND FEEDER TO REMAIN.
  - PROVIDE NEW (3) #6 THHN AND (1) #8 GROUND/COPPER CONDUCTORS IN 1-1/4" CONDUIT (OVERSIZED) AT 18" BURY MINIMUM.
  - PROVIDE CONTINUOUS MAGNETIC MARKING TAPE AT 12" BURY IN TRENCH.
  - PROVIDE SERVICE GROUNDING ELECTRODE PER NEC 250.32.
  - PROVIDE MARKING/IDENTIFICATION PER NEC 408.4(B) AND UPDATE CIRCUIT DIRECTORY PER 408.4(A).
  - PROVIDE MARKING/IDENTIFICATION OF IBC PER NEC 110.24.
  - PROVIDE 60AMP/2 POLE BREAKER AND CONNECT NEW PANEL "C" FEEDER.
  - EXISTING PANEL "A".
  - APPROXIMATE PANEL "B" LOCATION.
  - NEW PANEL "C" LOCATION.
  - EXISTING BUILDING LUMINAIRES TO REMAIN.
  - RELOCATED EXISTING LUMINAIRES ALONG WITH BRANCH CIRCUIT AND CONTROLS.
  - PROVIDE PHOTO-CELL CONTROLLER FOR CONTROL OF LUMINAIRES ON BRANCH CIRCUIT INDICATED.
  - PROVIDE 20 AMP/120 VOLT WEATHERPROOF/GFCI DUPLEX RECEPTACLE, UP 24" ABOVE FINISH GRADE.
  - PROVIDE SPST/120 VOLT, THERMAL DISCONNECT SWITCH IN NEMA 3R/LOCKABLE ENCLOSURE. SWITCH SHALL CONTROL DUPLEX RECEPTACLES ON RESPECTIVE BUILDING; INSTALL SWITCH UP 48" ABOVE FINISH GRADE.
  - CONTRACTOR SHALL COORDINATE WITH PROJECT OWNER AND MATCH NEW LUMINAIRES WITH EXISTING SITE LUMINAIRES (EXISTING LUMINAIRES ARE CFL TYPE LAMPS). INSTALL LUMINAIRES AT SAME BUILDING HEIGHT AS EXISTING.



**INTERNATIONAL ENERGY CONSERVATION CODE (2009 ED)**

EXTERIOR LIGHTING 505.6  
 LIGHTING ZONE 2  
 BASIC ALLOWANCE/TABLE 505.6(6) = 600VA  
 UNCOVERED PARKING AREAS  
 ALLOWANCE = 0.6 VA/SQ. FT.  
 23,400 SQ. FT. @ 0.6VA = 1,404VA  
 50 DOORS @ 20VA/LN. FT. = 3,000VA  
 62 DOORS @ 20VA/LN. FT. = 7,440VA  
 62 DOORS @ 20VA x SET/DOOR = 7,440VA  
 TOTAL ALLOWANCE = 12,440VA  
 CONNECTED VOLT AMPERE (VA) = 3,520VA

CODE COMPLIANT

**REVISED PARTIAL POWER RISER DIAGRAM**

- NOT TO SCALE
- LOAD ANALYSIS:
- EXISTING PANEL "A" IS LESS THAN 24 KVA (100 AMP) DEMAND WHICH INCLUDES PANEL "B" DEMAND OF 5.5 KVA (23 AMP) FOR EXTERIOR LIGHTING ONLY.
  - NEW PANEL "C" CONNECTED LOAD IS 3.5 KVA (15 AMP).
  - EXISTING AND NEW LOADS ON PANELS "B" AND "C" ARE EXTERIOR LIGHTING.
  - ALL THE STORAGE UNITS ARE VOID OF LIGHTING AND POWER EQUIPMENT.

REV.	DATE	DESCRIPTION	INT.

06 DECEMBER 2014

eng3group

NORTH COORS STORAGE UNITS  
 615 NORTH COORS BLVD. ALBUQUERQUE, NM

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 ALBUQUERQUE, NEW MEXICO 87113

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PARTIAL ELECTRICAL UTILITY PLAN & SCHEDULES

SHEET NO. E-001



06 DECEMBER 2014

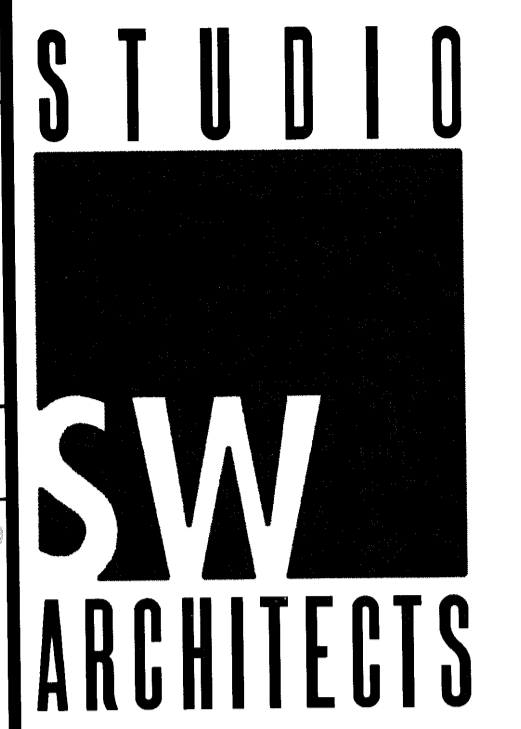


**GENERAL NOTES**

A. ALL SITE LIGHTING BUILDING MOUNTED. SEE ELECTRICAL

**COLOR LEGEND**


-  MBCI SIGNATURE 200 ASH GRAY SR: 48 SRI 56
-  MBCI SIGNATURE 200 HAWAIIAN BLUE SR: 32 SRI 35



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Architect: \_\_\_\_\_ Engineer: \_\_\_\_\_

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**NORTH COORS  
SELF STORAGE  
PHASE 3**  
615B COORS BLVD NW  
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		SITE DEVELOPMENT
PROJECT NO:		1452.1
CAD DWG FILE:		1452-A201.DWG
DRAWN BY:		CAD
CHECKED BY:		PROJECT ARCH
DATE:		12/12/2014

SHEET TITLE  
**BUILDING ELEVATIONS**

**A-201**

GENERAL NOTES

A. ALL SITE LIGHTING BUILDING MOUNTED. SEE ELECTRICAL

COLOR LEGEND

- MBCI SIGNATURE 200  
ASH GRAY  
SR: 48 SRI 56
- MBCI SIGNATURE 200  
HAWAIIAN BLUE  
SR: 32 SRI 35



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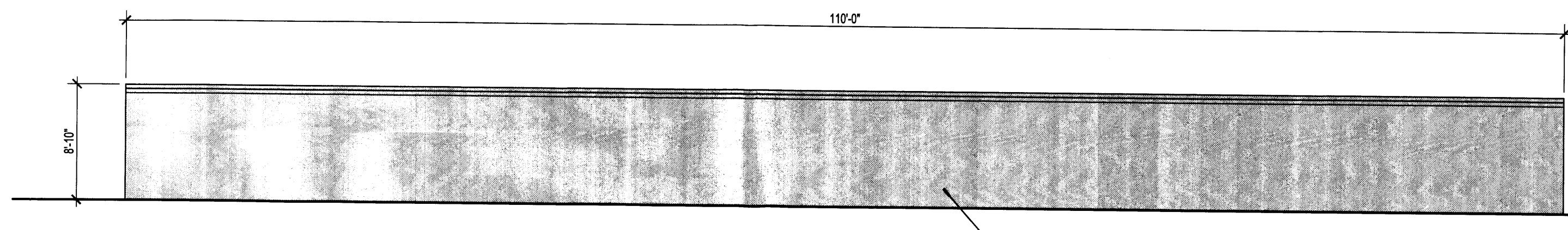
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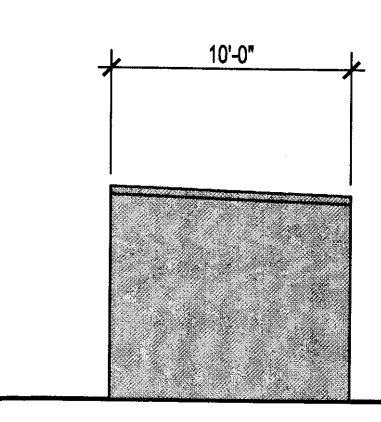
Architect Engineer

NOT FOR CONSTRUCTION

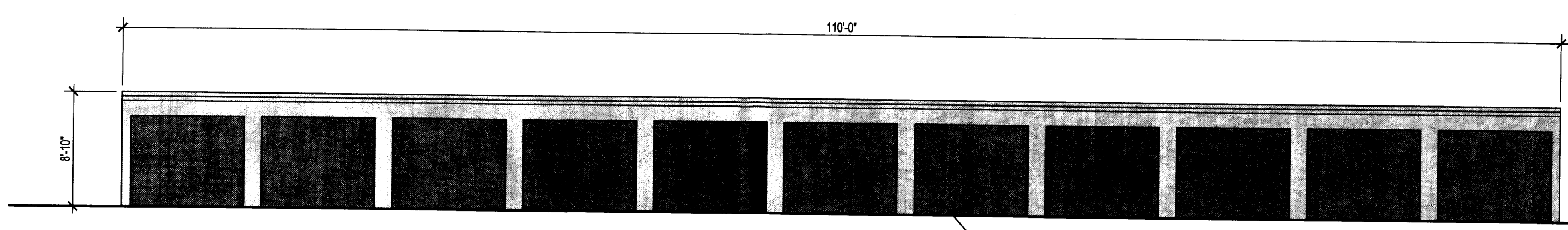
**NORTH COORS  
SELF STORAGE  
PHASE 3**  
615B COORS BLVD NW  
ALBUQUERQUE, NM



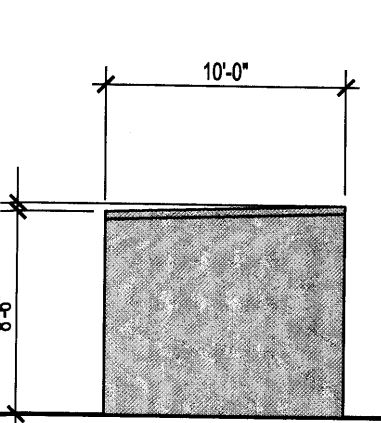
**B1** BUILDING E-NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**B3** BUILDING E-WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** BUILDING E-SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**A3** BUILDING E-EAST ELEVATION  
SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION
ISSUE:		SITE DEVELOPMENT
PROJECT NO:		1452.1
CAD DWG FILE:		1452-A202.DWG
DRAWN BY:		CAD
CHECKED BY:		PROJECT ARCH
DATE:		12/12/2014

SHEET TITLE  
BUILDING ELEVATIONS



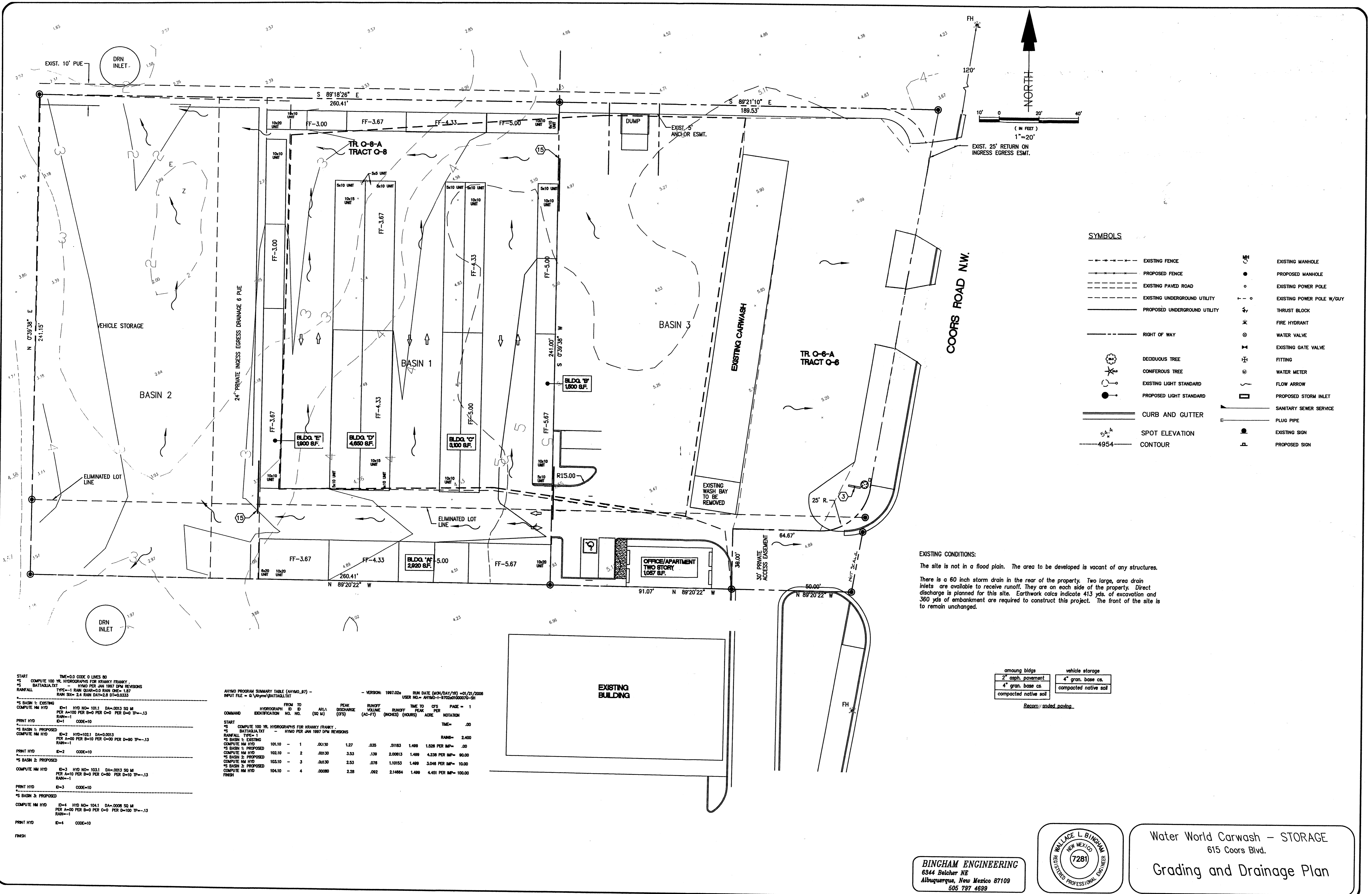












**SYMBOLS**

---	EXISTING FENCE	●	EXISTING MANHOLE
- - -	PROPOSED FENCE	○	PROPOSED MANHOLE
---	EXISTING PAVED ROAD	○	EXISTING POWER POLE
---	EXISTING UNDERGROUND UTILITY	○	EXISTING POWER POLE W/GUY
- - -	PROPOSED UNDERGROUND UTILITY	○	THRUST BLOCK
---	RIGHT OF WAY	○	FIRE HYDRANT
○	DECIDUOUS TREE	○	WATER VALVE
○	CONIFEROUS TREE	○	EXISTING GATE VALVE
○	EXISTING LIGHT STANDARD	○	FITTING
○	PROPOSED LIGHT STANDARD	○	WATER METER
○	CURB AND GUTTER	○	FLOW ARROW
○	SPOT ELEVATION	○	PROPOSED STORM INLET
○	CONTOUR	○	SANITARY SEWER SERVICE
		○	PLUG PIPE
		○	EXISTING SIGN
		○	PROPOSED SIGN

**EXISTING CONDITIONS:**  
 The site is not in a flood plain. The area to be developed is vacant of any structures.  
 There is a 60 inch storm drain in the rear of the property. Two large, area drain inlets are available to receive runoff. They are on each side of the property. Direct discharge is planned for this site. Earthwork calcs indicate 413 yds. of excavation and 360 yds of embankment are required to construct this project. The front of the site is to remain unchanged.

among bldgs	vehicle storage
2" asph. pavement	4" gran. base ca.
4" gran. base ca.	compacted native soil
compacted native soil	

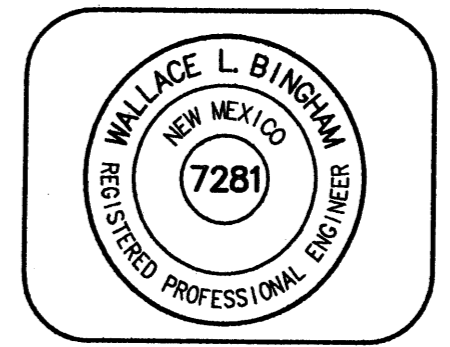
Recommended paving.

START TIME=0.0 CODE 0 LINES 80  
 \*S COMPUTE 100 YR. HYDROGRAPHS FOR KRANKY FRANKY  
 \*S BATTAGLIA.TXT - HYDRO PER JAN 1997 DPM REVISIONS  
 RAINFALL TYPE=1 RAIN QUAR=0.0 RAIN ONE=1.87  
 RAIN SIX=2.4 RAIN DAY=2.8 DT=0.0533  
 \*S BASIN 1: EXISTING  
 COMPUTE NM HYD ID=1 HYD NO=101.1 DA=0.003 SQ MI  
 PER A=100 PER B=0 PER C=0 PER D=100 TP=-.13  
 RAIN=-1  
 D=1 CODE=10  
 PRINT HYD  
 \*S BASIN 1: PROPOSED  
 COMPUTE NM HYD ID=2 HYD NO=102.1 DA=0.0013  
 PER A=100 PER B=10 PER C=0 PER D=90 TP=-.13  
 RAIN=-1  
 D=2 CODE=10  
 PRINT HYD  
 \*S BASIN 2: PROPOSED  
 COMPUTE NM HYD ID=3 HYD NO=103.1 DA=0.003 SQ MI  
 PER A=10 PER B=0 PER C=90 PER D=10 TP=-.13  
 RAIN=-1  
 D=3 CODE=10  
 PRINT HYD  
 \*S BASIN 3: PROPOSED  
 COMPUTE NM HYD ID=4 HYD NO=104.1 DA=0.008 SQ MI  
 PER A=0 PER B=0 PER C=0 PER D=100 TP=-.13  
 RAIN=-1  
 D=4 CODE=10  
 PRINT HYD  
 FINISH

HYDRO PROGRAM SUMMARY TABLE (HYDRO\_87) -  
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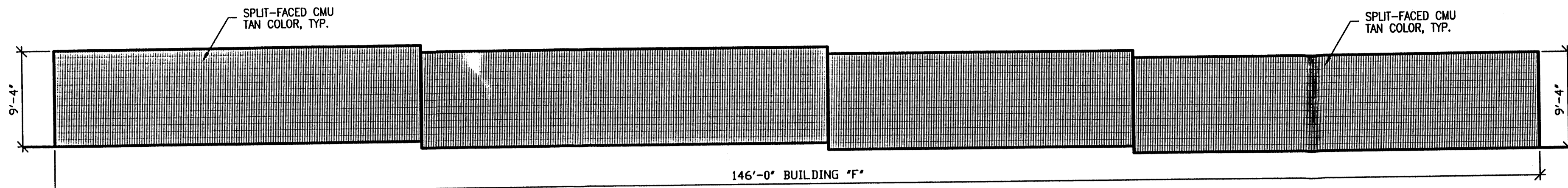
COMMAND	HYDROGRAPH IDENTIFICATION NO.	ID	DA	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF PEAK (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE
START										1
*S	COMPUTE 100 YR. HYDROGRAPHS FOR KRANKY FRANKY									
*S	BATTAGLIA.TXT - HYDRO PER JAN 1997 DPM REVISIONS									
*S	BASIN 1: EXISTING	101.10	-	1	.00130	1.27	.035	.51183	1.499	1.828 PER IMP=
*S	BASIN 1: PROPOSED	102.10	-	2	.00130	3.53	.139	2.00813	1.499	4.338 PER IMP= 90.00
*S	BASIN 2: PROPOSED	103.10	-	3	.00130	2.53	.076	1.10153	1.499	3.046 PER IMP= 10.00
*S	BASIN 3: PROPOSED	104.10	-	4	.00800	2.28	.062	2.14884	1.499	4.451 PER IMP= 100.00

**BINGHAM ENGINEERING**  
 6344 Belcher NE  
 Albuquerque, New Mexico 87109  
 505 797 4699



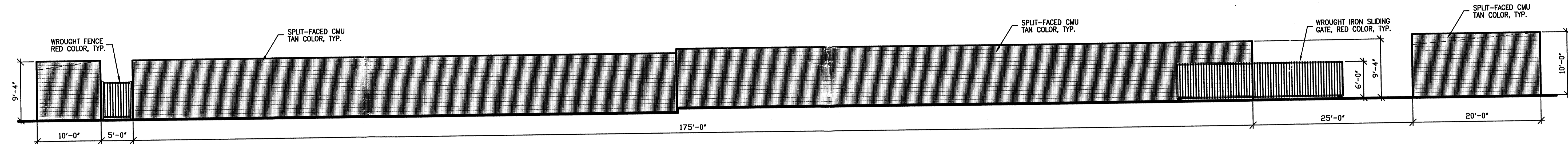
Water World Carwash - STORAGE  
 615 Coors Blvd.  
 Grading and Drainage Plan





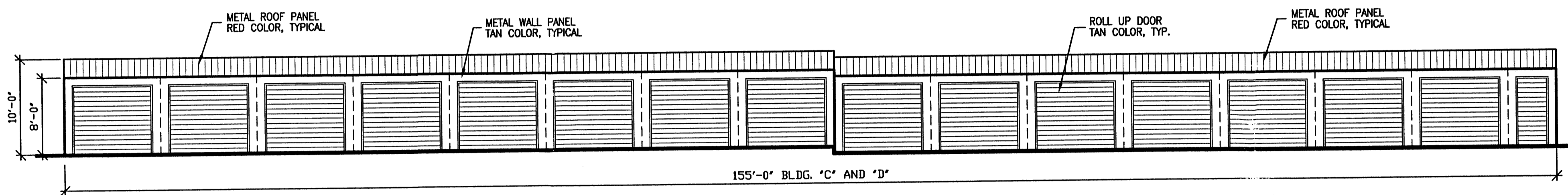
**BUILDING "F"  
NORTH ELEVATION**

1/8"=1'-0"



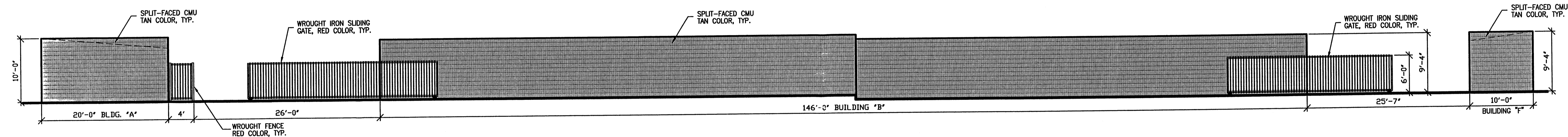
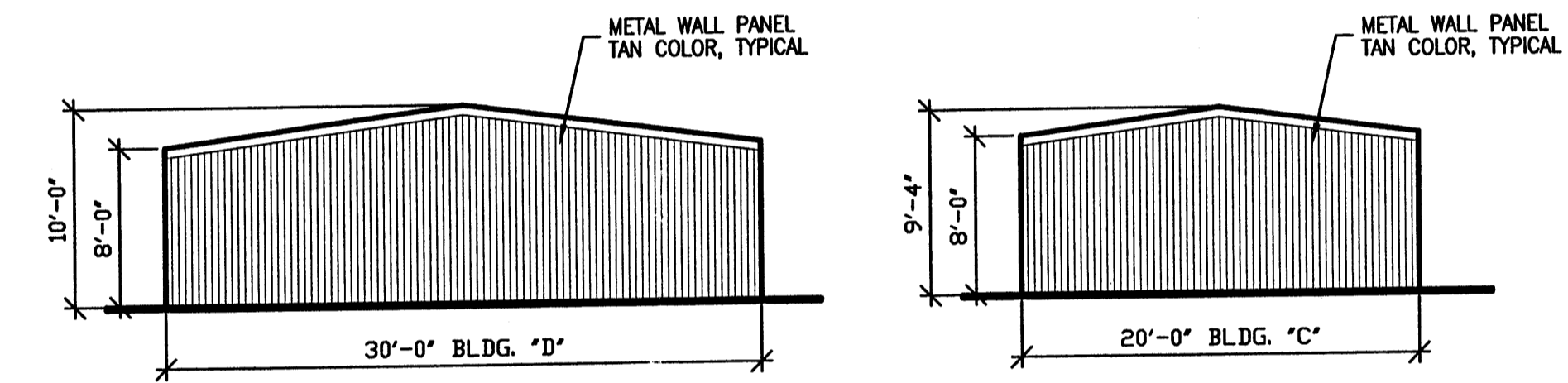
**BUILDING "E"  
WEST ELEVATION**

1/8"=1'-0"



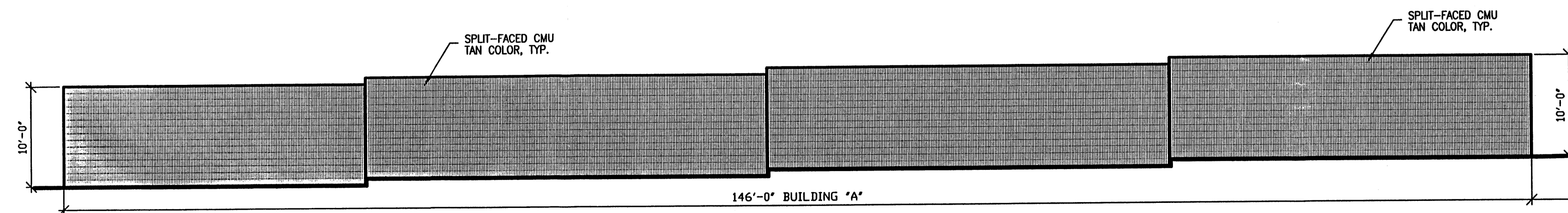
**BUILDING "C" AND "D"  
EAST AND WEST ELEVATION**

1/8"=1'-0"



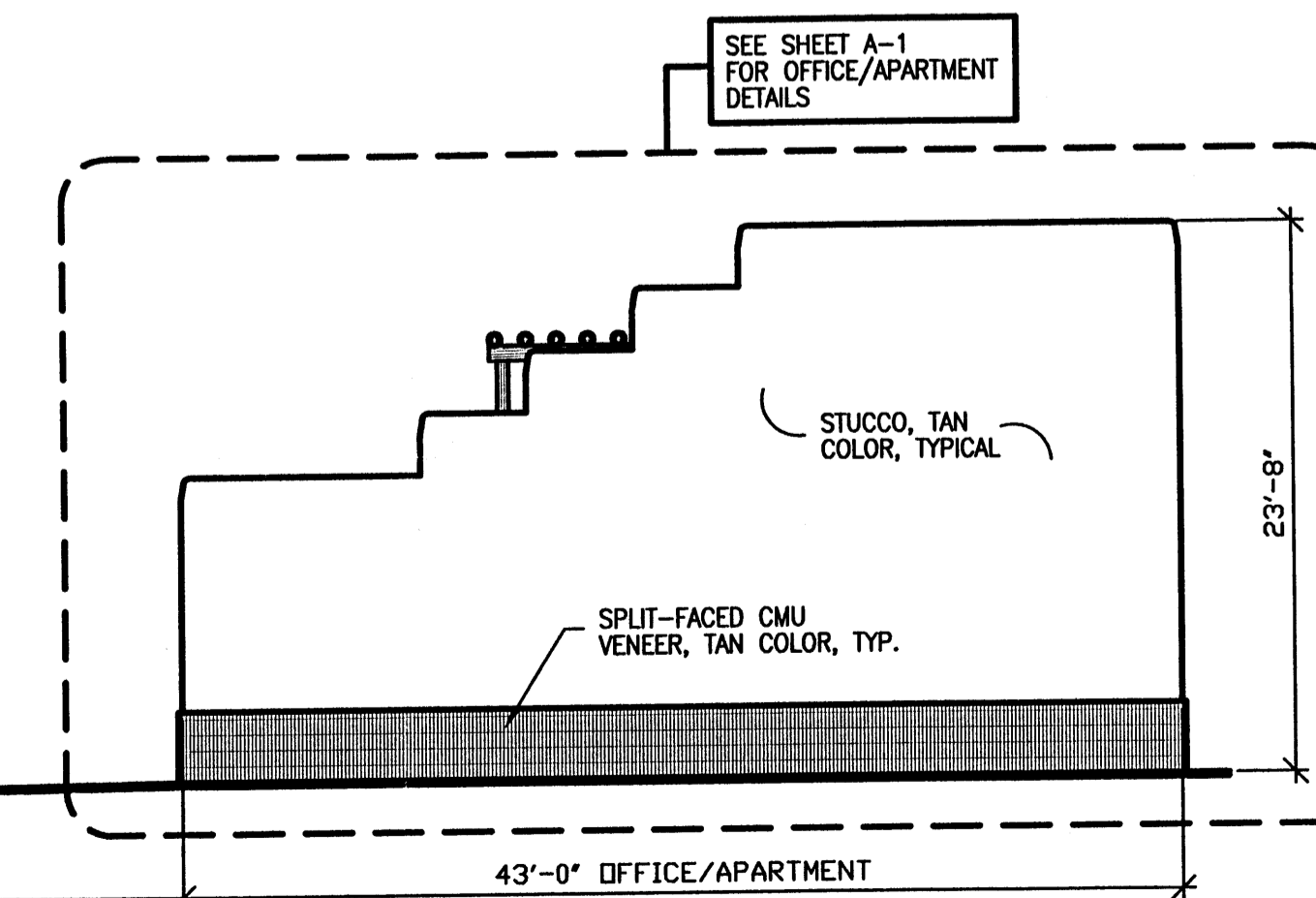
**BUILDING "B"  
EAST ELEVATION**

1/8"=1'-0"



**BUILDING "A"  
SOUTH ELEVATION**

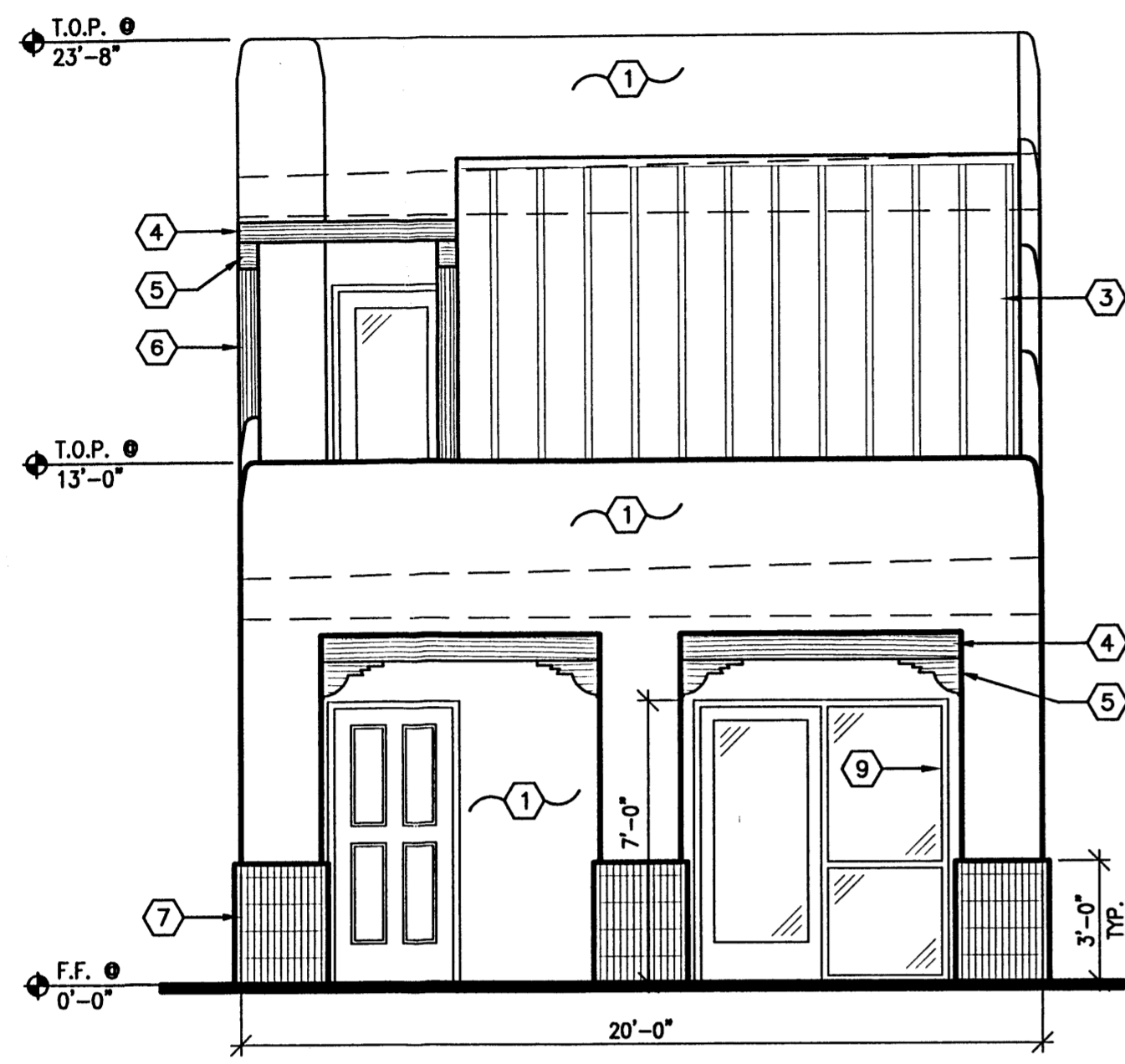
1/8"=1'-0"



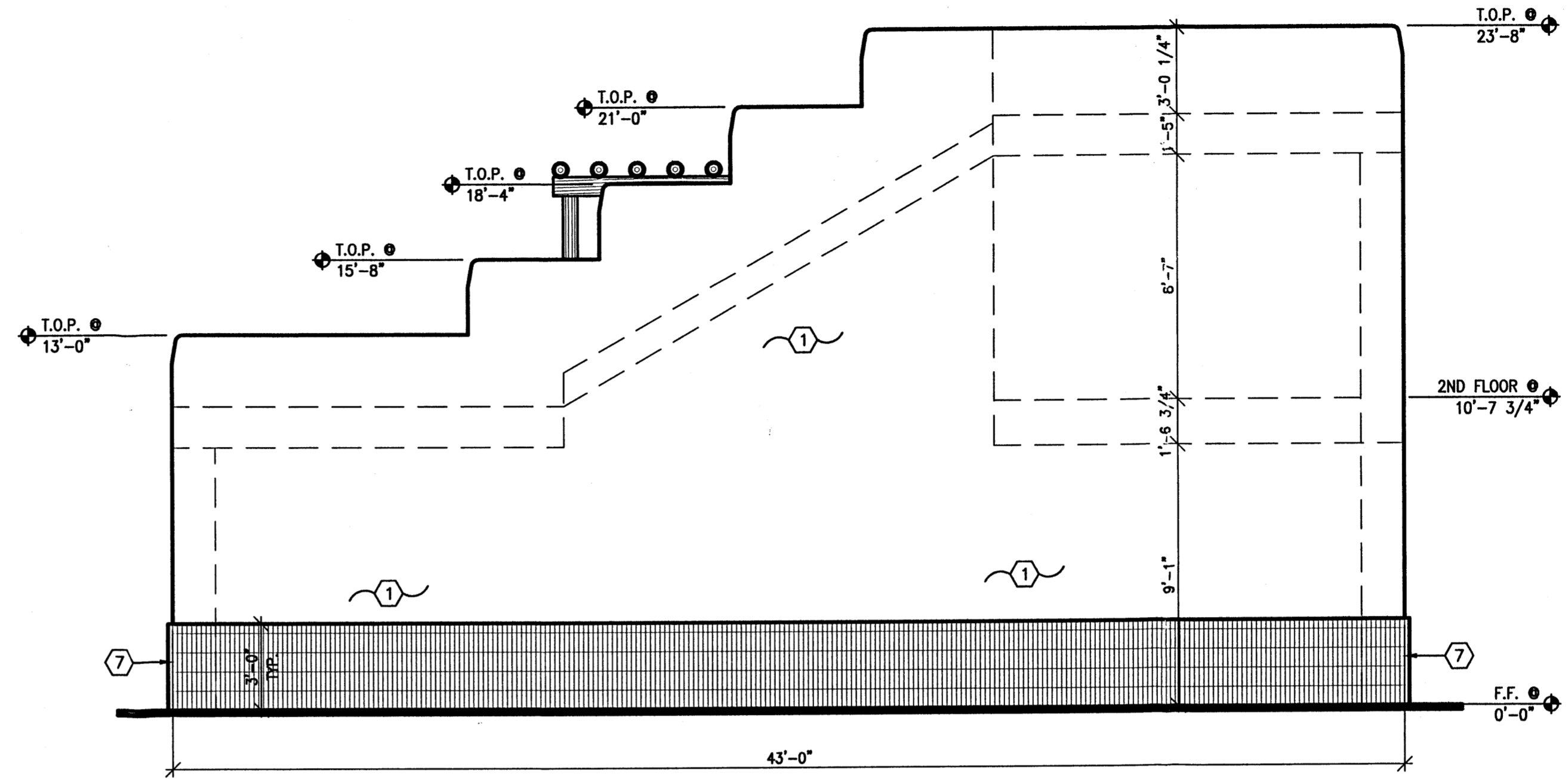
**WATER WORLD CARWASH - STORAGE**  
**ALBUQUERQUE, NEW MEXICO**  
**STORAGE BUILDING ELEVATIONS**  
**PROJECT #0642**

REVISION DATE 04-17-06
DATE 02-02-2006
SHEET NUMBER <b>A-2</b>

rick  
 benmet  
 ARCHITECTS  
 1104 Park Avenue SW • Albuquerque, New Mexico 87102  
 (505) 243-1859 • Fax (505) 243-0830 • rick@rickbenmet.com



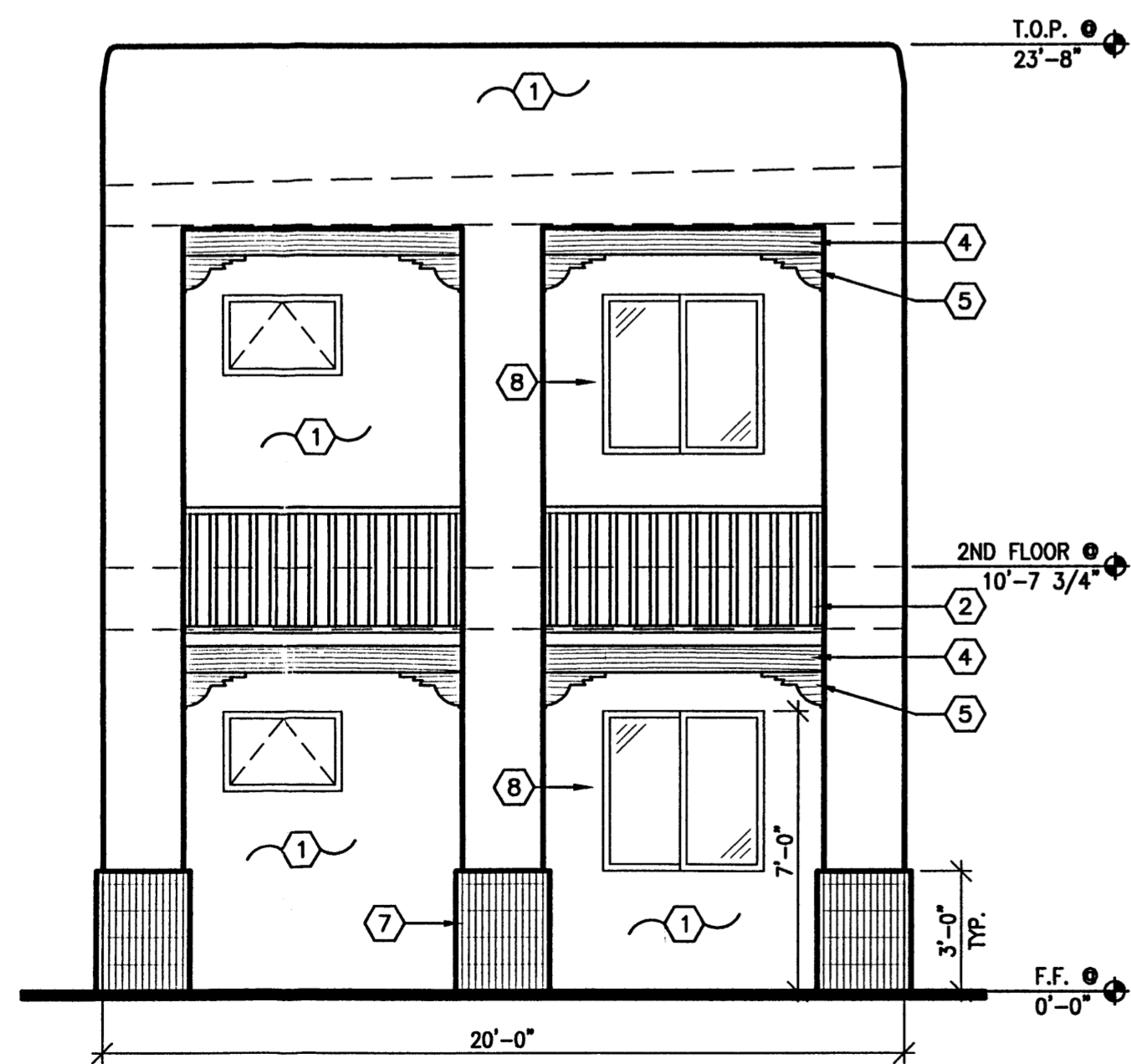
**3 WEST ELEVATION**  
1/4"=1'-0"



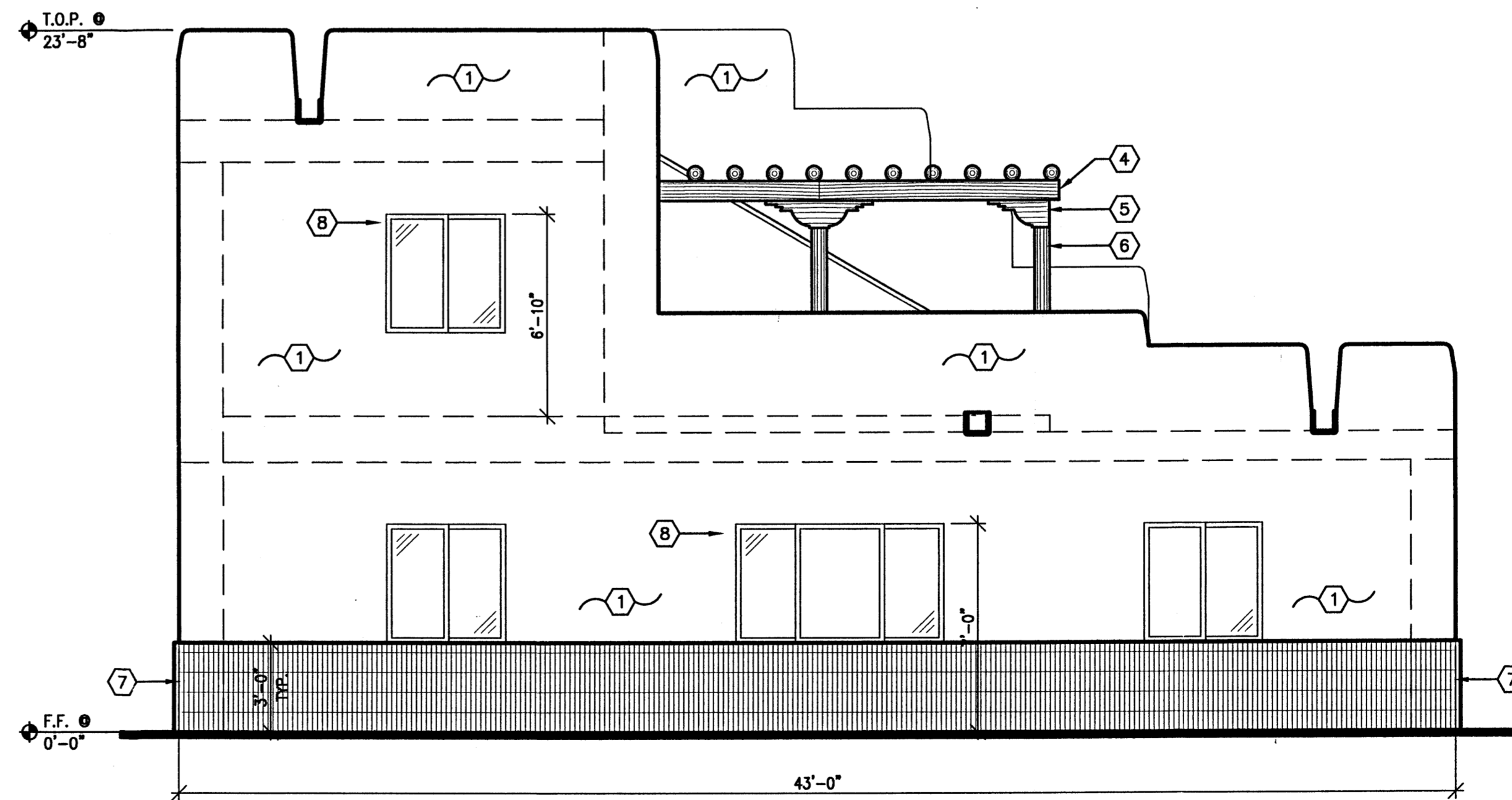
**4 SOUTH ELEVATION**  
1/4"=1'-0"

**KEYED NOTES**

1. 3-COAT STUCCO SYSTEM OVER 30# FELT OVER 7/16" OSB SHEATHING - TAN STUCCO COLOR
2. "TREX" RAILING, TYPICAL - COLOR BROWN STAIN
3. METAL ROOF OVER 30# FELT OVER 7/16" OSB DECKING. - COLOR RED.
4. 6x8 EXPOSED WOOD BEAM, TYPICAL - COLOR BROWN STAIN
5. WOOD CORBEL, TYPICAL - COLOR BROWN STAIN
6. 6" DIA. WOOD VIGA, TYPICAL - COLOR BROWN STAIN
7. SPLIT FACED CMU VENEER - COLOR TAN.
8. ALUMINUM WINDOWS /BRONZE
9. ALUMINUM DOOR/WINDOWS STORE FRONT /BRONZE



**2 EAST ELEVATION**  
1/4"=1'-0"



**1 NORTH ELEVATION**  
1/4"=1'-0"

WATER WORLD CARWASH - STORAGE  
 ALBUQUERQUE, NEW MEXICO  
 OFFICE/ APARTMENT ELEVATIONS  
 PROJECT #0542

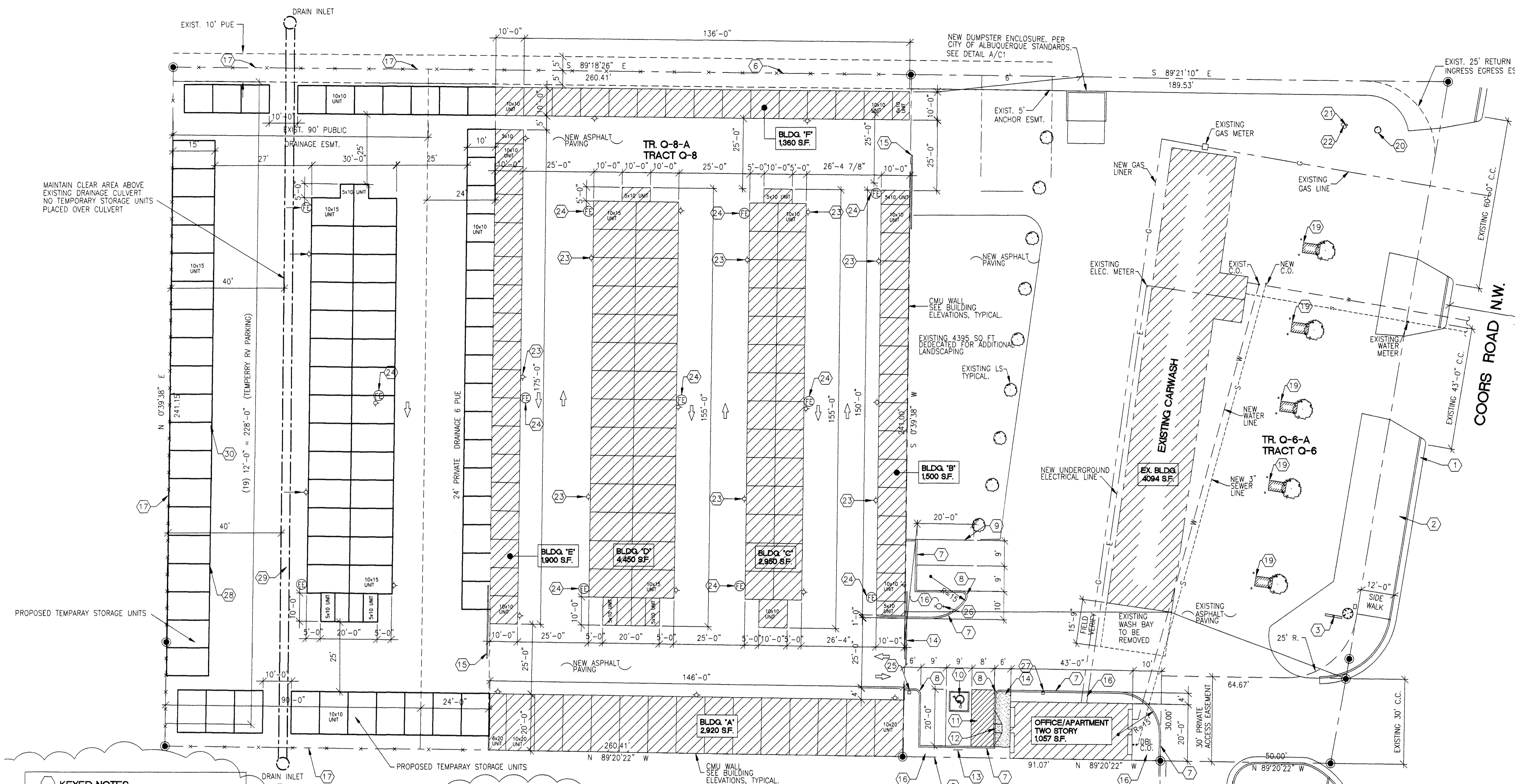
REVISION DATE  
04-17-06

rick  
barnett  
ARCHITECTS  
1104 Park Avenue SW • Albuquerque, New Mexico 87102  
(505) 242-1859 • Fax (505) 242-6630 • rba@rickb.com

DATE  
02-02-2006

SHEET NUMBER  
**A-3**

**ADMINISTRATIVE APPROVAL**  
 File # 07AA-0037 Project # 1004725  
 Temporary storage units.  
 Approved by *Russell B. E.* 8 Feb 2008  
 DATE



**PROJECT DATA:**

CONSTRUCTION TYPE AND CLASSIFICATION	V-B, TABLE 503, B (OFFICE), R-2 (APARTMENT), S-2, (STORAGE)
ALLOWABLE HEIGHT AND BUILDING AREA	TABLE 503 2 STORY, 7,000 S.F.
SQUARE FOOTAGE	OFFICE = 106 S.F. 1ST FLOOR APARTMENT = 694 S.F. 2ND FLOOR APARTMENT = 257 S.F. STORAGE = 15,430 S.F. TOTAL = 16,487 S.F.
FIRE-RESISTANT RATING REQUIREMENTS	NOT REQUIRED PER SECTION OCC. B, R-2, S-2 302.3.1, NON-SEPARATED USES
OCCUPANT LOAD	OFFICE: 106 SF/100 = 1 OCC. APARTMENT: 1,057 SF/200 = 5 OCC. TOTAL = 9 OCCUPANTS
DESIGN LOADS	ROOF LIVE LOAD: 20 PSF (NON-REDUCABLE) WIND LOAD: 75 MPH EXPOSURE: C SEISMIC ZONE: 2B

**LANDSCAPING REQUIREMENTS**

ZONING	= SU1 For IP
LOT AREA (TRACT O6)	= 41,063 S.F., 3.23 AC.
LOT AREA (TRACT O8)	= 62,779 S.F., 3.23 AC.
TOTAL LOT AREA	= 103,842 S.F., 2.38 ACRES
EXISTING BUILDING AREA	= -4,094 S.F.
NEW BUILDING AREA	= -16,487 S.F.
NET LOT AREA	= 83,261 S.F.
REQUIRED:	83,261 x .15% = 12,489 S.F. OF LANDSCAPING
PROVIDED:	12,489 PLUS S.F. OF LS. (REF: LANDSCAPING PLAN)

**PARKING CALCULATIONS**

OFFICE	= 106 S.F./200 = 1 SPACES
APARTMENT	= 1 1/2 PER BATH = 3 SPACES
TOTAL PARKING REQUIRED	= 4 SPACES
PROVIDED	4 SPACES (1 HC VAN)

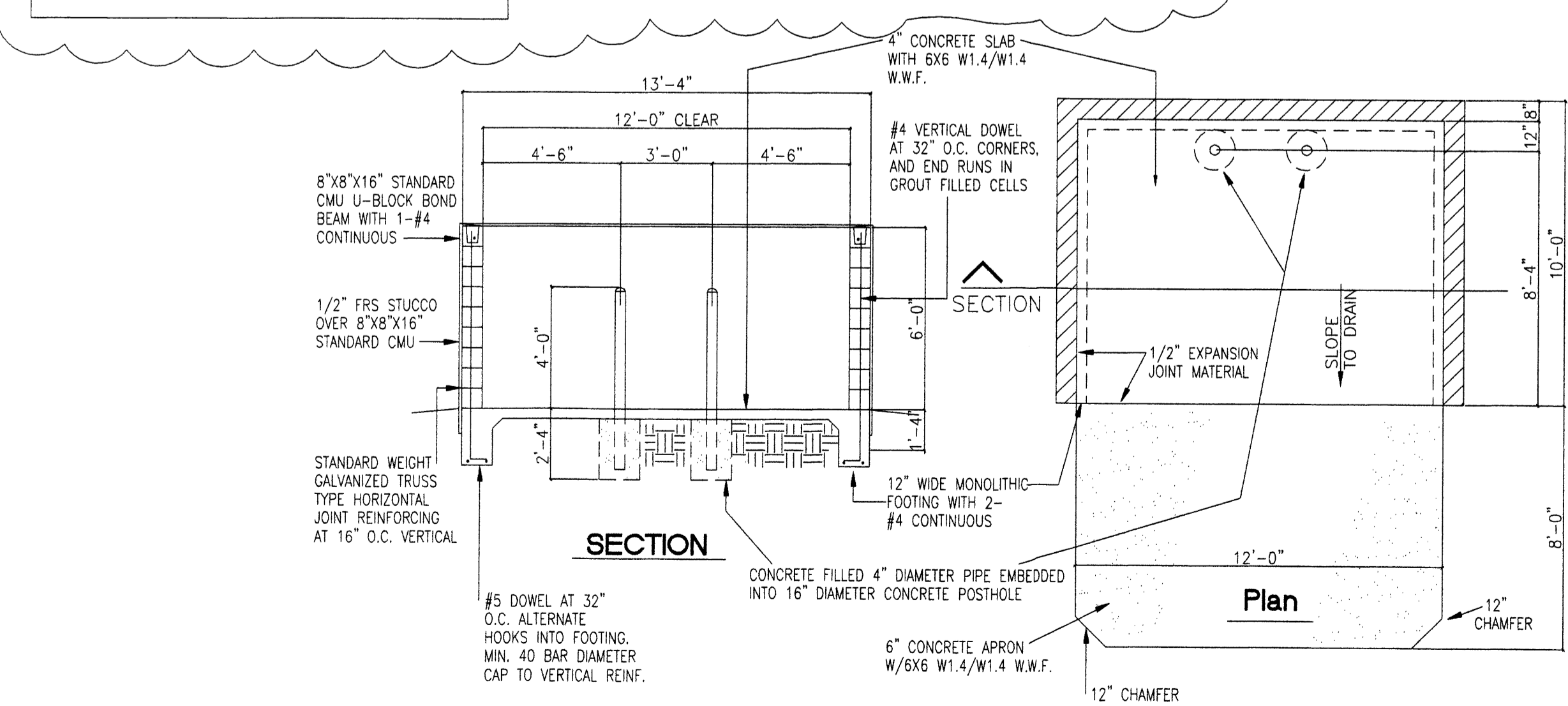
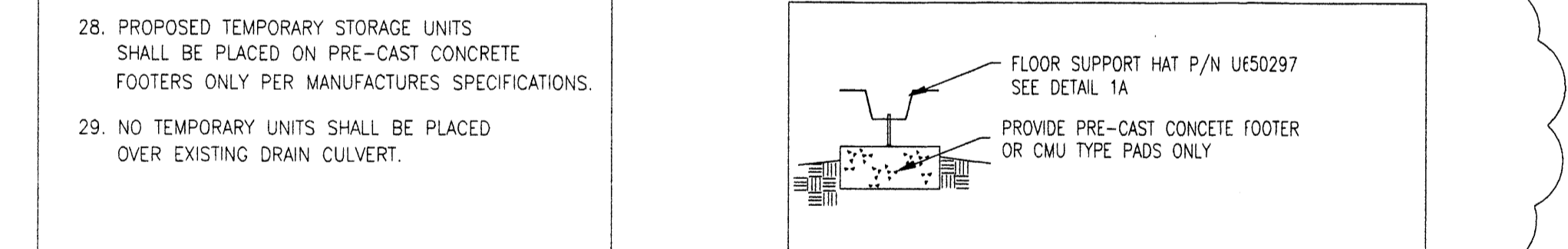
**LEGAL DESCRIPTION:**

- TR O-8-A REPL. OF TRS O-6, O-7 & O-8 ATRISCO BUSINESS PARK UNIT 4 CONT 1.4412 AC +/- / 82,779 SQ. FT. +  
 - TR O-6-A-1 PLAT OF TRS O-6-A-1 & O-7-A-1 ATRISCO BUSINESS PARK UNIT 4 CONT 0.9416 AC M/L OR 41,016 SF M/L

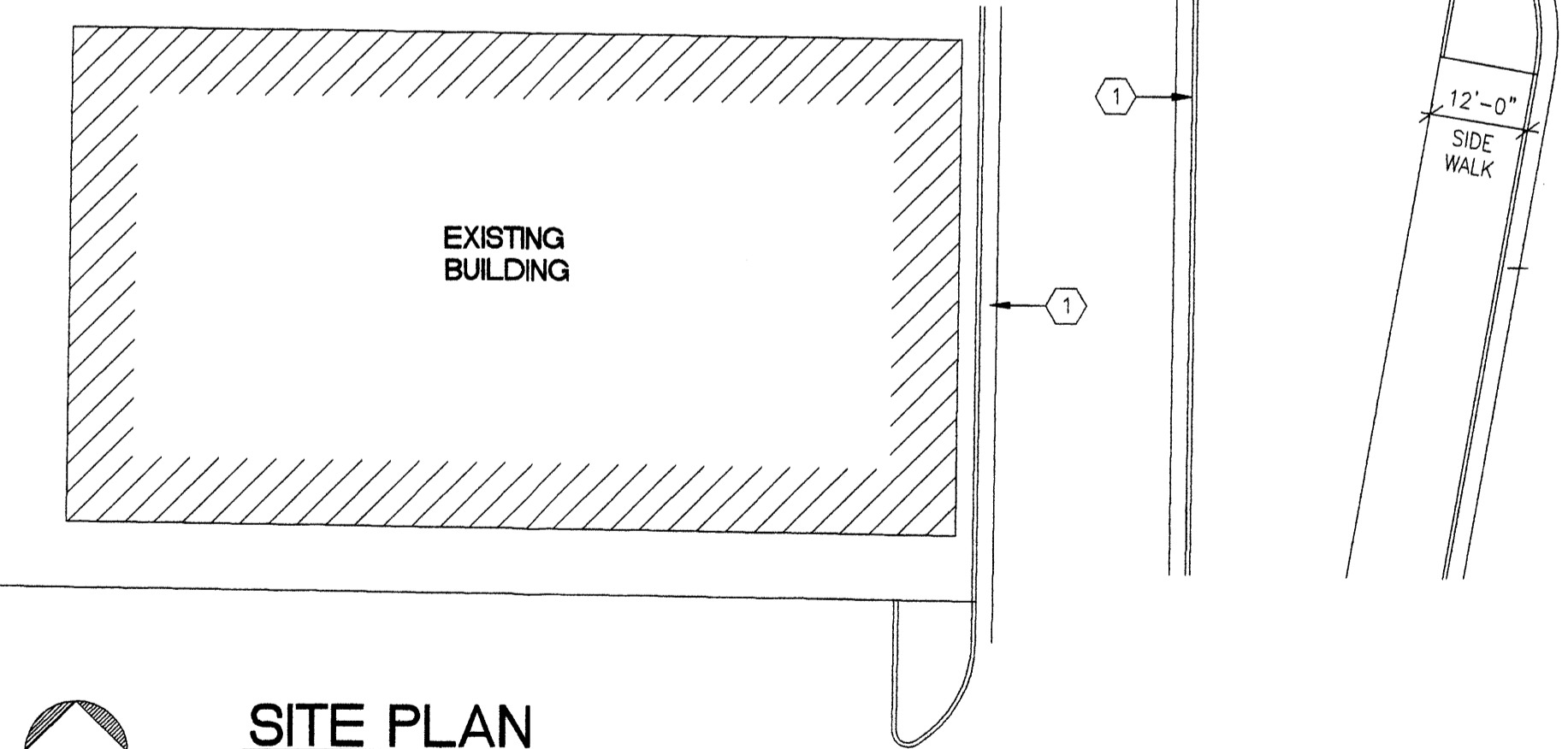
**NOTE:**  
 PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.  
 ALL EXTERIOR SITE LIGHTING TO BE SHIELDED DOWN LIGHTING.

- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING POLE MOUNTED SIGNAGE.
  - EXISTING FIRE HYDRANT.
  - CONCRETE SIDEWALK.
  - CMU FENCE WITH CMU PILASTERS AT 10'-0" O.C., TYPICAL.
  - RAISED CURB, TYPICAL.
  - 2'-0" RADIUS, TYPICAL.
  - PAINTED PARKING STRIPE, PER C.O.A. STANDARDS.
  - PAINTED HC. SYMBOL, PER C.O.A. STANDARDS.
  - PAINTED HC. ACCESSIBLE STRIPE AISLE, PER C.O.A. STANDARDS.
  - HC. ACCESSIBLE CURB RAMP, TYPICAL.
  - HC. PARKING SIGNAGE, TYPICAL.
  - 25' LONG WROUGHT IRON AUTOMATIC SLIDING GATE.
  - 25' LONG WROUGHT IRON SLIDING GATE.
  - LANDSCAPING AREA, REF: LANDSCAPING PLAN.
  - 6' HIGH CHAIN LINK FENCE (FUTURE EXPANSION IN R/W)
  - WALL MOUNTED FIRE EXTINGUISHER, REF: PLAN, TYPICAL.
  - EXISTING VACUUM ISLAND.
  - EXISTING TREE/LANDSCAPING.
  - EXISTING ADVERTISEMENT SIGN.
  - EXISTING COIN OPERATED AIR COMPRESSOR.
  - SHIELDED WALL PAC. LIGHT FIXTURE.
  - FIRE EXTINGUISHER 2A-10-BC EVERY 75'
  - KNOX-BOX PURCHASED AND INSTALLED BY OWNER FOR FIRE DEPT. USE TO GAIN ACCESS TO COMMERCIAL PROPERTY IN CASE OF EMERGENCY. VERIFY LOCATION BY FIRE DEPT.
  - NEW FIRE PRIVATE HYDRANT.
  - NEW GATE KEY PAD.

- KEYED NOTES**
- PROPOSED TEMPORARY STORAGE UNITS SHALL BE PLACED ON PRE-CAST CONCRETE FOOTERS ONLY PER MANUFACTURERS SPECIFICATIONS.
  - NO TEMPORARY UNITS SHALL BE PLACED OVER EXISTING DRAIN CULVERT.



**1 DUMPSTER ENCLOSURE DETAIL**  
 NOT TO SCALE



**SITE PLAN**  
 1" = 20'  
 BAR SCALE  
 (IN FEET)

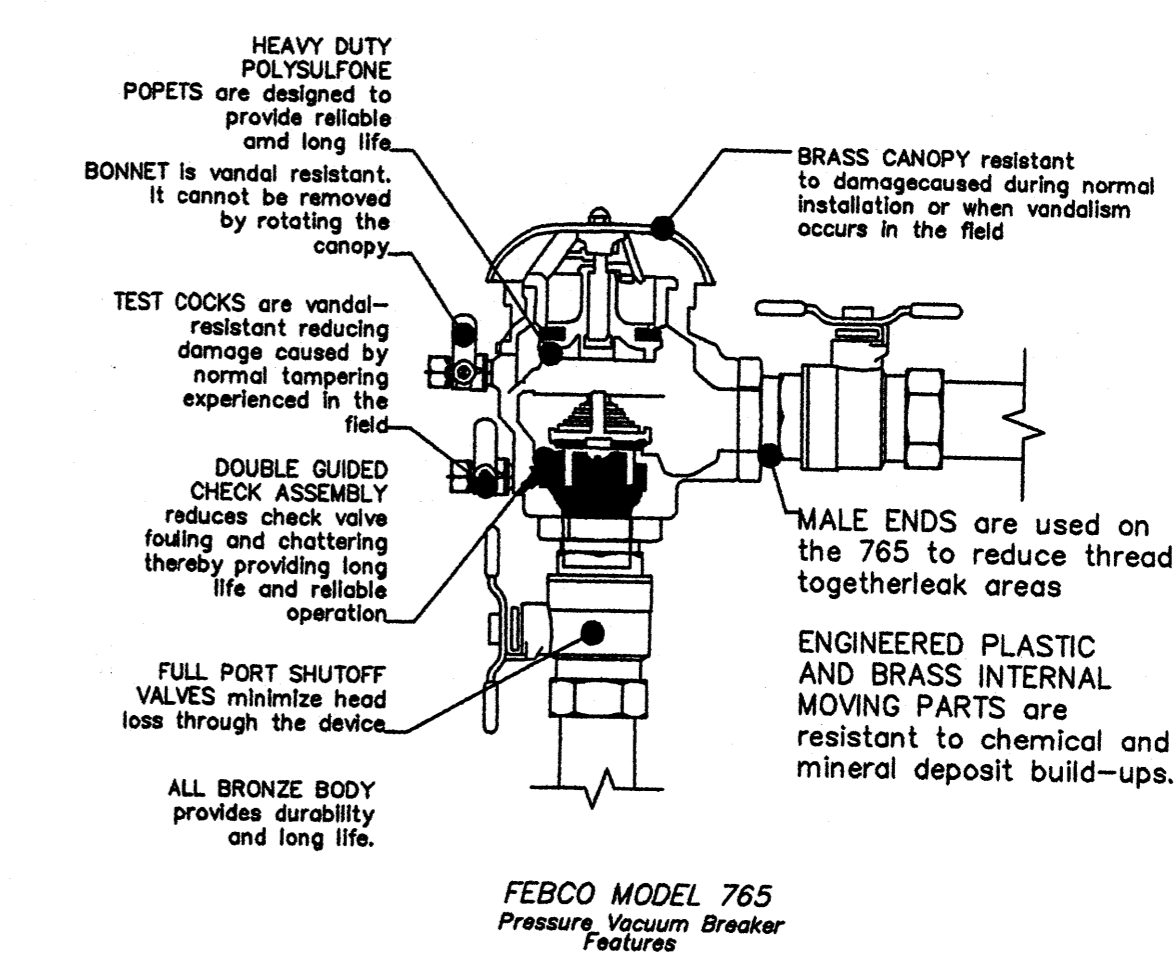
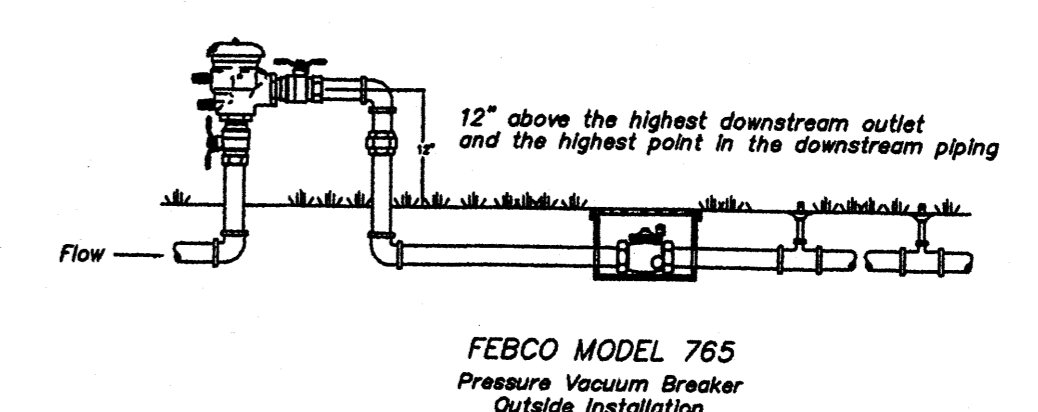
**NORTH-COORS-STORAGE-UNITS  
 SITE PLAN  
 ALBUQUERQUE-NEW-MEXICO  
 615-NORTH-COORS-BLVD**

REVISION DATE	02-28-08
DATE	01-28-08
SHEET NUMBER	<b>C1</b>

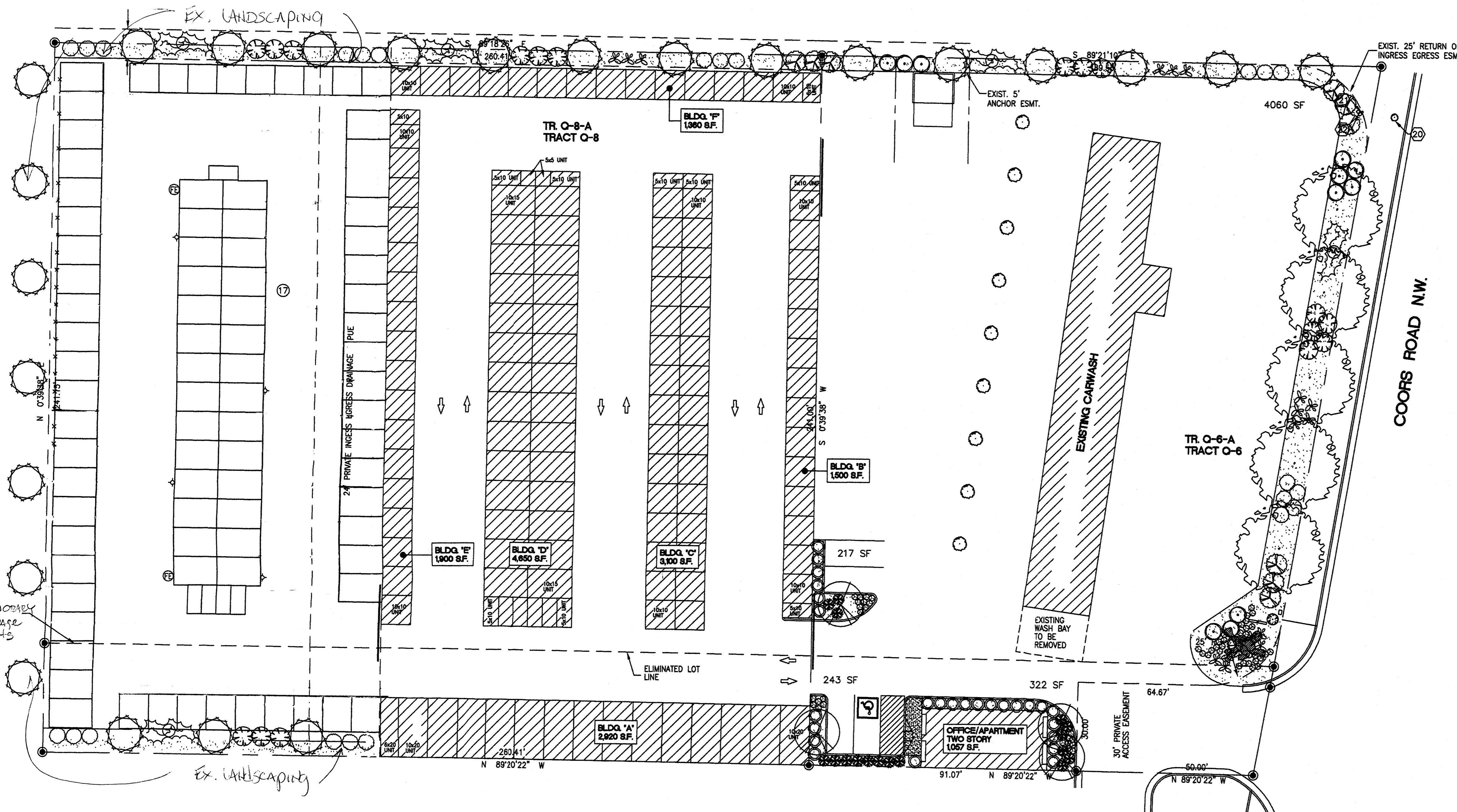
*Prepared by: Slang Jr*

**PLANT LEGEND**

- ASH (H) OR HONEY LOCUST (M) 5  
Fraxinus pennsylvanica  
Gleditsia triacanthos  
2" Cal.
- DESERT WILLOW (L) 11  
Chilopsis linearis  
15 Gal.
- RUSSIAN SAGE (M) 11  
Perovskia atriplicifolia  
5 Gal. 36sf
- REGAL MIST (M) 17  
Muhlenbergia capillaris  
5 Gal. 9sf
- APACHE PLUME (L) 11  
Fallugia paradoxa  
5 Gal. 25sf
- ARP ROSEMARY (M) 26  
Rosmarinus officinalis  
5 Gal. 36sf
- 3/4" GRAY GRAVEL  
WITH FILTER FABRIC
- FLOWERING PEAR (M+) 4  
Pyrus calleryana  
2" Cal.
- OCOTILLO (L) 1  
Fouquieria splendens
- PRICKLY PEAR (L) 17  
Opuntia macrocentra  
9 sf
- HALLS HONEYSUCKLE (M) 9  
Japonica 'Halliana'  
1 Gal. 144sf  
Unstaked-Groundcover
- CHAMISA (L) 11  
Chrysothamnus nauseosus  
1 Gal. 25sf
- WILDFLOWER 54  
1 Gal. 4sf
- CREeping ROSEMARY (L) 9  
Rosmarinus officinalis 'Prostrata'  
1 Gal. 36sf  
Symbol indicates 3 plants
- OVERSIZED GRAVEL  
& 3 BOULDERS



**WATER WORLD CARWASH - STORAGE**  
**LANDSCAPE PLAN**  
**ALBUQUERQUE, NEW MEXICO**  
**PROJECT #0542**



**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	76385	square feet
TOTAL BUILDINGS AREA	16487	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	59898	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	8984	square feet
TOTAL BED PROVIDED	4842	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	3631	square feet
TOTAL GROUND COVER PROVIDED	4024	square feet
TOTAL LANDSCAPE PROVIDED	4842	square feet

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Coors Road  
Required: 7      Provided: 7 (5 New, 2 Existing)

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

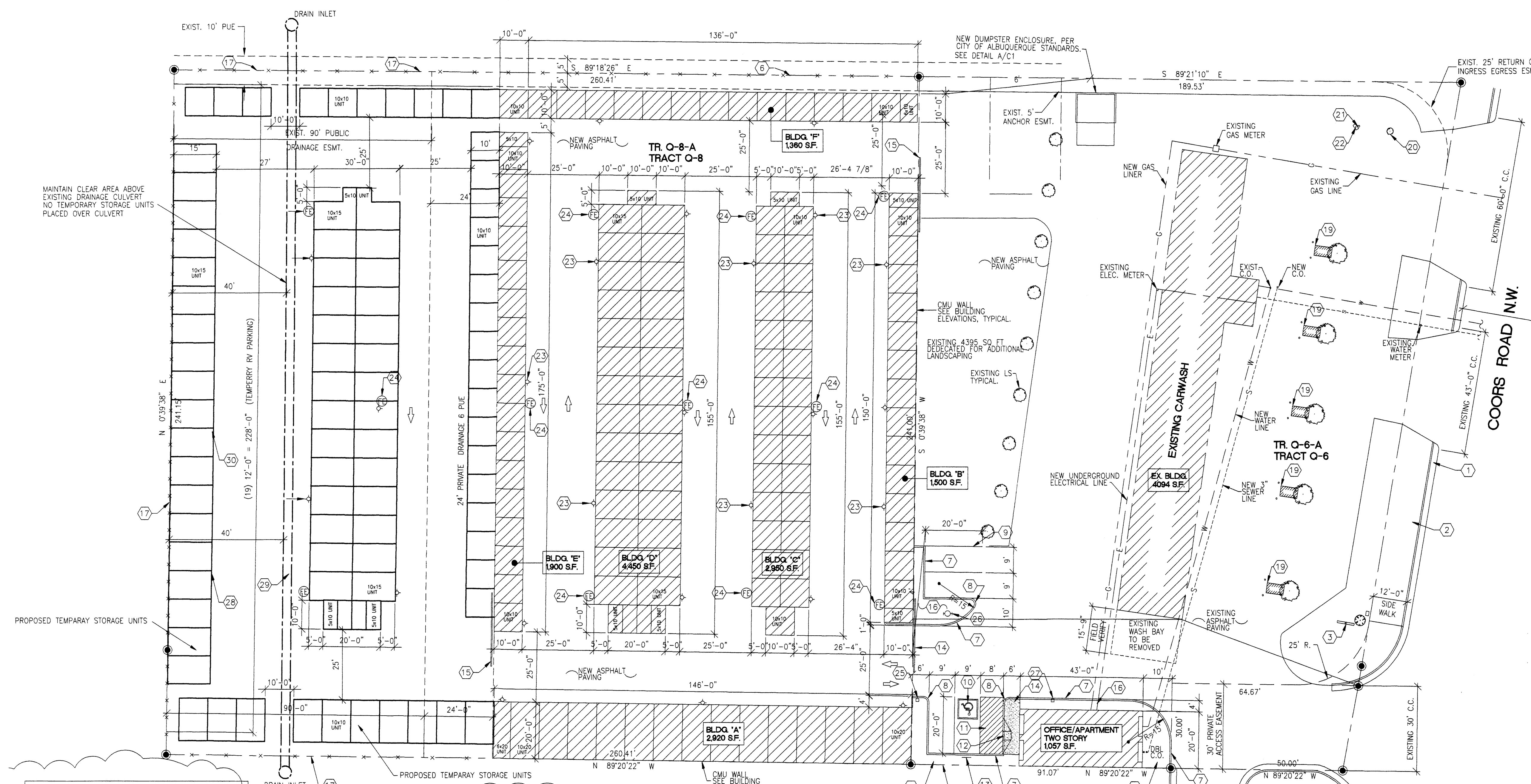
**LANDSCAPE PLAN**  
1"=20'

BAR SCALE  
0 20' 40'  
( IN FEET )

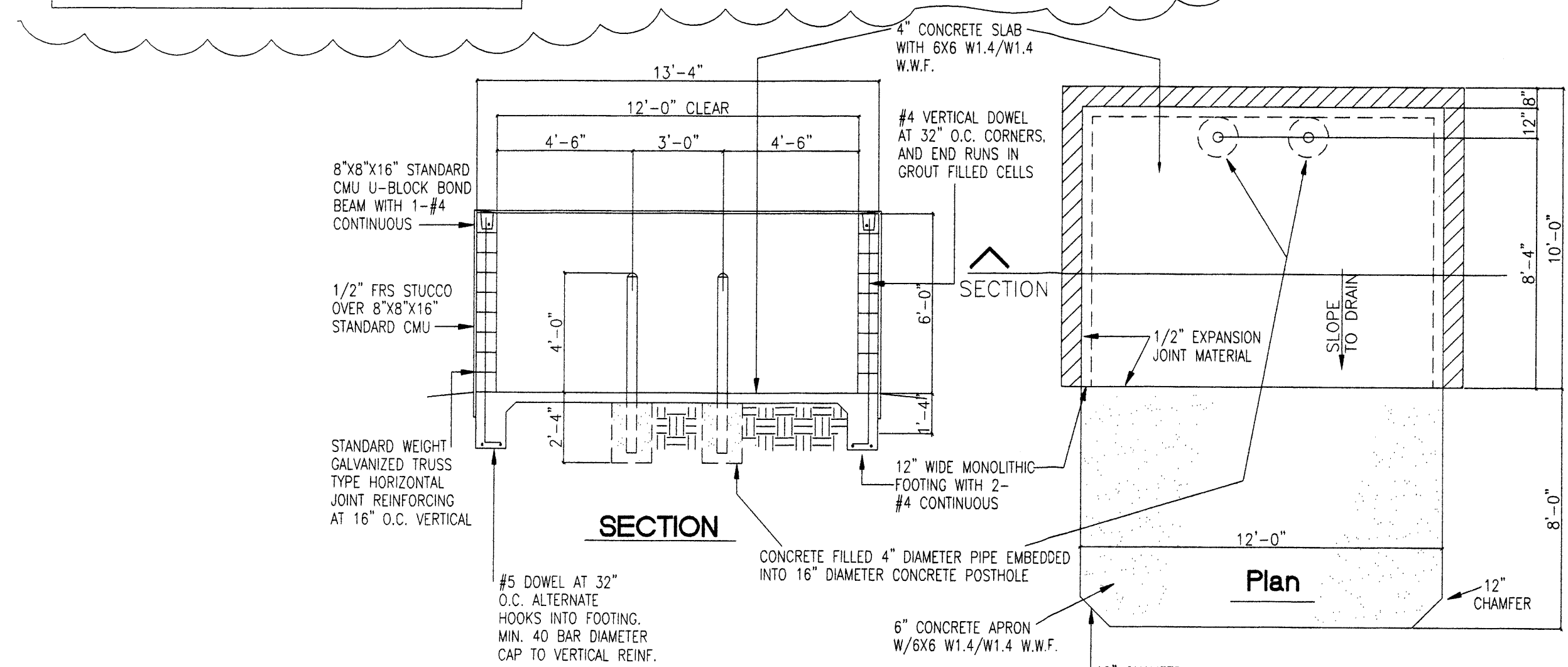
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cjohnson@hilltoplandscaping.com

REVISION DATE
DATE
12-13-2007
SHEET NUMBER
L-1

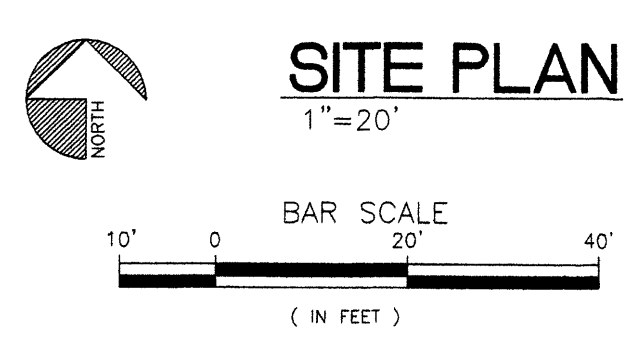
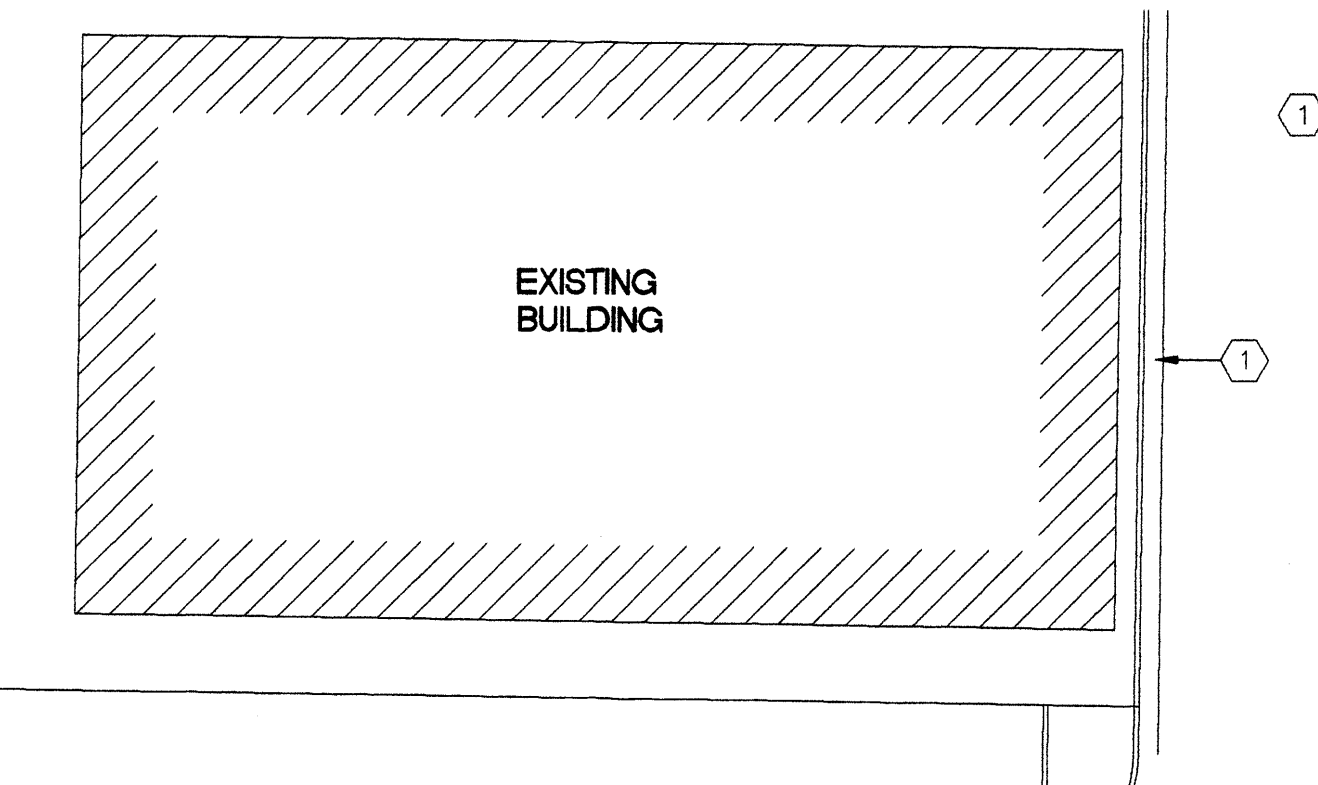
1100 Park Avenue SW • Albuquerque, New Mexico 87102  
 (505) 242-1859 • Fax (505) 242-6200 • rick@hilltop.com



- KEYED NOTES**
- 28. PROPOSED TEMPORARY STORAGE UNITS SHALL BE PLACED ON PRE-CAST CONCRETE FOOTERS ONLY PER MANUFACTURER'S SPECIFICATIONS.
  - 29. NO TEMPORARY UNITS SHALL BE PLACED OVER EXISTING DRAIN CULVERT.
  - 29. NO TEMPORARY UNITS SHALL BE PLACED OVER EXISTING DRAIN CULVERT.



**1 DUMPSTER ENCLOSURE DETAIL**  
C1 NOT TO SCALE



PROJECT DATA:	
CONSTRUCTION TYPE:	V-B, TABLE 503, B (OFFICE),
AND CLASSIFICATION:	R-2 (APARTMENT), S-2, (STORAGE)
ALLOWABLE HEIGHT AND BUILDING AREA:	TABLE 503 2 STORY, 7,000 S.F.
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	1ST FLOOR APARTMENT = 694 S.F.
	2ND FLOOR APARTMENT = 257 S.F.
	STORAGE = 15,430 S.F.
TOTAL:	= 16,487 S.F.
FIRE-RESISTANT RATING REQUIREMENTS OCC. B, R-2, S-2:	NOT REQUIRED PER SECTION 302.3.1, NON-SEPARATED USES
<b>OCCUPANT LOAD</b>	
OFFICE:	106 SF/100 = 1 OCC.
APARTMENT:	1,057 SF/200 = 5 OCC.
TOTAL:	= 9 OCCUPANTS
<b>DESIGN LOADS</b>	
ROOF LIVE LOAD:	20 PSF (NON-REDUCABLE)
WIND LOAD:	75 MPH
EXPOSURE:	C
SEISMIC ZONE:	2B

LANDSCAPING REQUIREMENTS	
ZONING:	= SU1 For IP
LOT AREA (TRACT Q6):	= 41,063 S.F., 3.23 AC.
LOT AREA (TRACT Q8):	= 62,779 S.F., 3.23 AC.
TOTAL LOT AREA:	= 103,842 S.F., 2.38 ACRES
EXISTING BUILDING AREA:	= -4,094 S.F.
NEW BUILDING AREA:	= -16,487 S.F.
NET LOT AREA:	= 83,261 S.F.
REQUIRED:	83,261 x .15% = 12,489 S.F. OF LANDSCAPING
PROVIDED:	12,489 PLUS S.F. OF LS. (REF: LANDSCAPING PLAN)
<b>PARKING CALCULATIONS</b>	
OFFICE = 106 S.F./200 = 1 SPACES	
APARTMENT = 1 1/2 PER BATH = 3 SPACES	
TOTAL PARKING REQUIRED = 4 SPACES	
PROVIDED = 4 SPACES (1 HC VAN)	

**LEGAL DESCRIPTION:**

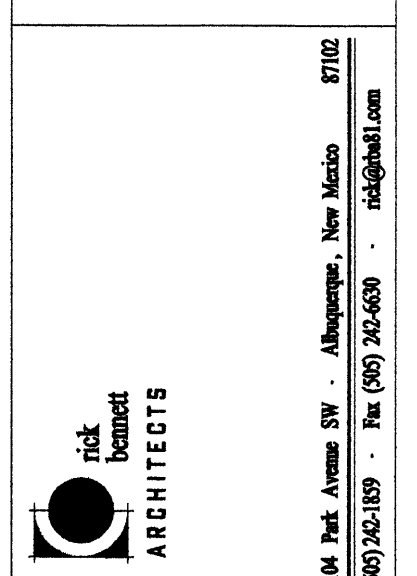
- TR Q-8-A REPL OF TRS Q-6, Q-7 & Q-8 ATRISCO BUSINESS PARK UNIT 4 CONT 1.4412 AC+-/82,779 SQ. FT +
- TR Q-6-A-1 PLAT OF TRS Q-6-A-1 & Q-7-A-1 ATRISCO BUSINESS PARK UNIT 4 CONT 0.9416 AC M/L OR 41,016 SF M/L

**NOTE:**  
PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.  
ALL EXTERIOR SITE LIGHTING TO BE SHIELDED DOWN LIGHTING.

- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING POLE MOUNTED SIGNAGE
  - EXISTING FIRE HYDRANT.
  - CONCRETE SIDEWALK.
  - CMU FENCE WITH CMU PILASTERS AT 10'-0" O.C., TYPICAL.
  - RAISED CURB, TYPICAL.
  - 2'-0" RADIUS, TYPICAL.
  - PAINTED PARKING STRIPE, PER C.O.A. STANDARDS.
  - PAINTED HC. SYMBOL PER C.O.A. STANDARDS.
  - PAINTED HC. ACCESSIBLE STRIPE AISLE, PER C.O.A. STANDARDS.
  - HC. ACCESSIBLE CURB RAMP, TYPICAL.
  - HC. PARKING SIGNAGE, TYPICAL.
  - 25' LONG WROUGHT IRON AUTOMATIC SLIDING GATE.
  - 25' LONG WROUGHT IRON SLIDING GATE.
  - LANDSCAPING AREA, REF: LANDSCAPING PLAN.
  - 6' HIGH CHAIN LINK FENCE (FUTURE EXPANSION IN R/W)
  - WALL MOUNTED FIRE EXTINGUISHER, REF: PLAN, TYPICAL.
  - EXISTING VACUUM ISLAND.
  - EXISTING TREE/LANDSCAPING.
  - EXISTING ADVERTISEMENT SIGN.
  - EXISTING COIN OPERATED AIR COMPRESSOR.
  - SHIELDED WALL PAC. LIGHT FIXTURE.
  - FIRE EXTINGUISHER 2A-10-BC EVERY 75'
  - KNOX-BOX PURCHASED AND INSTALLED BY OWNER FOR FIRE DEPT. USE TO GAIN ACCESS TO COMMERCIAL PROPERTY IN CASE OF EMERGENCY. VERIFY LOCATION BY FIRE DEPT.
  - NEW FIRE PRIVATE HYDRANT.
  - NEW GATE KEY PAD.

**WATER WORLD CARWASH - STORAGE**  
**SITE PLAN**  
**ALBUQUERQUE, NEW MEXICO**  
**PROJECT #0542**

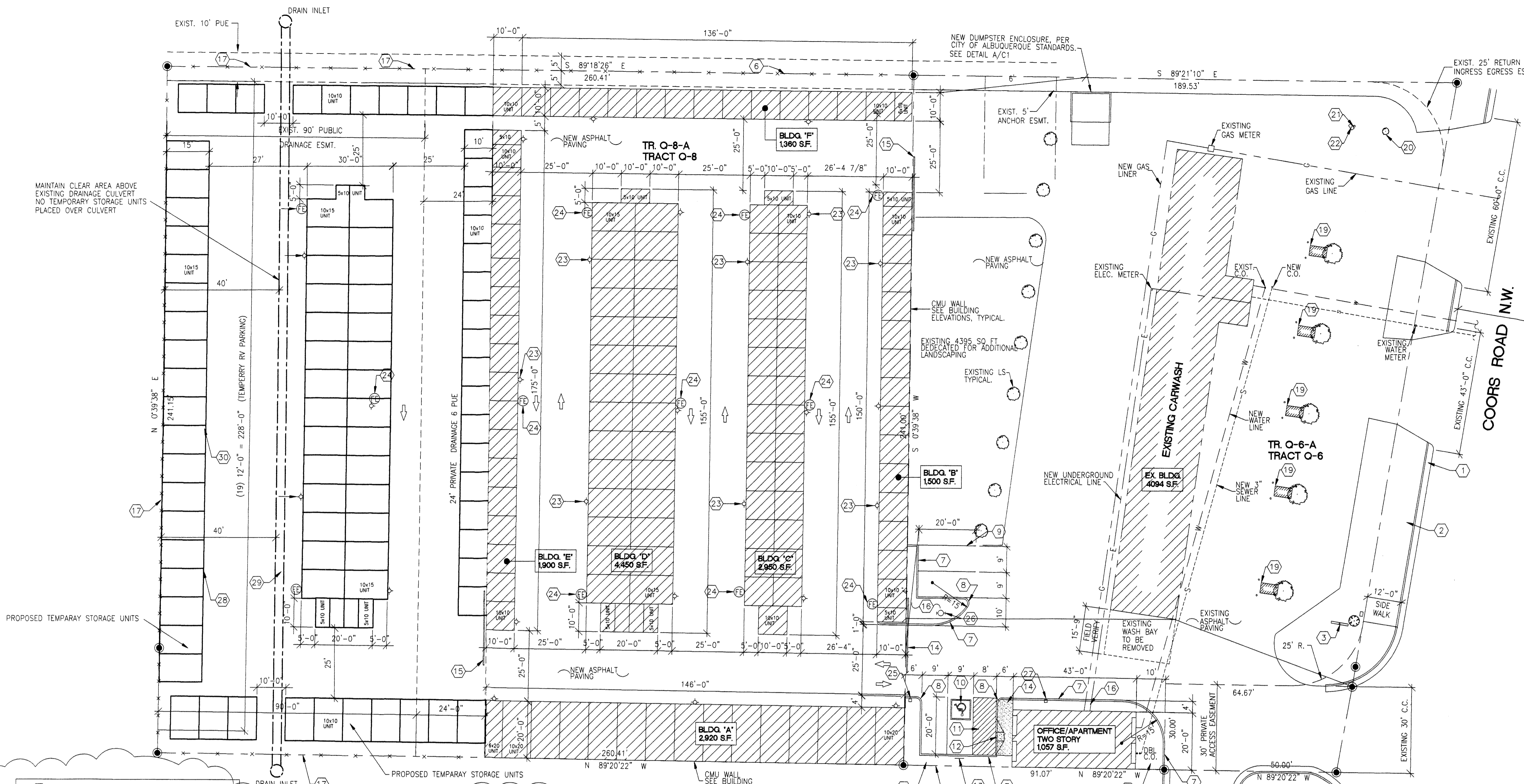
REVISION DATE  
04-13-06



DATE  
01-22-2008

SHEET NUMBER  
**C-1**





PROJECT DATA:	
CONSTRUCTION TYPE AND CLASSIFICATION	V-B, TABLE 503, B (OFFICE), R-2 (APARTMENT), S-2, (STORAGE)
ALLOWABLE HEIGHT AND BUILDING AREA	TABLE 503 2 STORY, 7,000 S.F.
SQUARE FOOTAGE	OFFICE = 106 S.F. 1ST FLOOR APARTMENT = 694 S.F. 2ND FLOOR APARTMENT = 257 S.F. STORAGE = 15,430 S.F. TOTAL = 16,487 S.F.
FIRE-RESISTANT RATING REQUIREMENTS	NOT REQUIRED PER SECTION 302.3.1, NON-SEPARATED USES
OCCUPANT LOAD	
OFFICE:	106 SF/100 = 1 OCC.
APARTMENT	1,057 SF/200 = 5 OCC.
TOTAL	= 9 OCCUPANTS
DESIGN LOADS	
ROOF LIVE LOAD	20 PSF (NON-REDUCABLE)
WIND LOAD	75 MPH
EXPOSURE	C
SEISMIC ZONE	2B

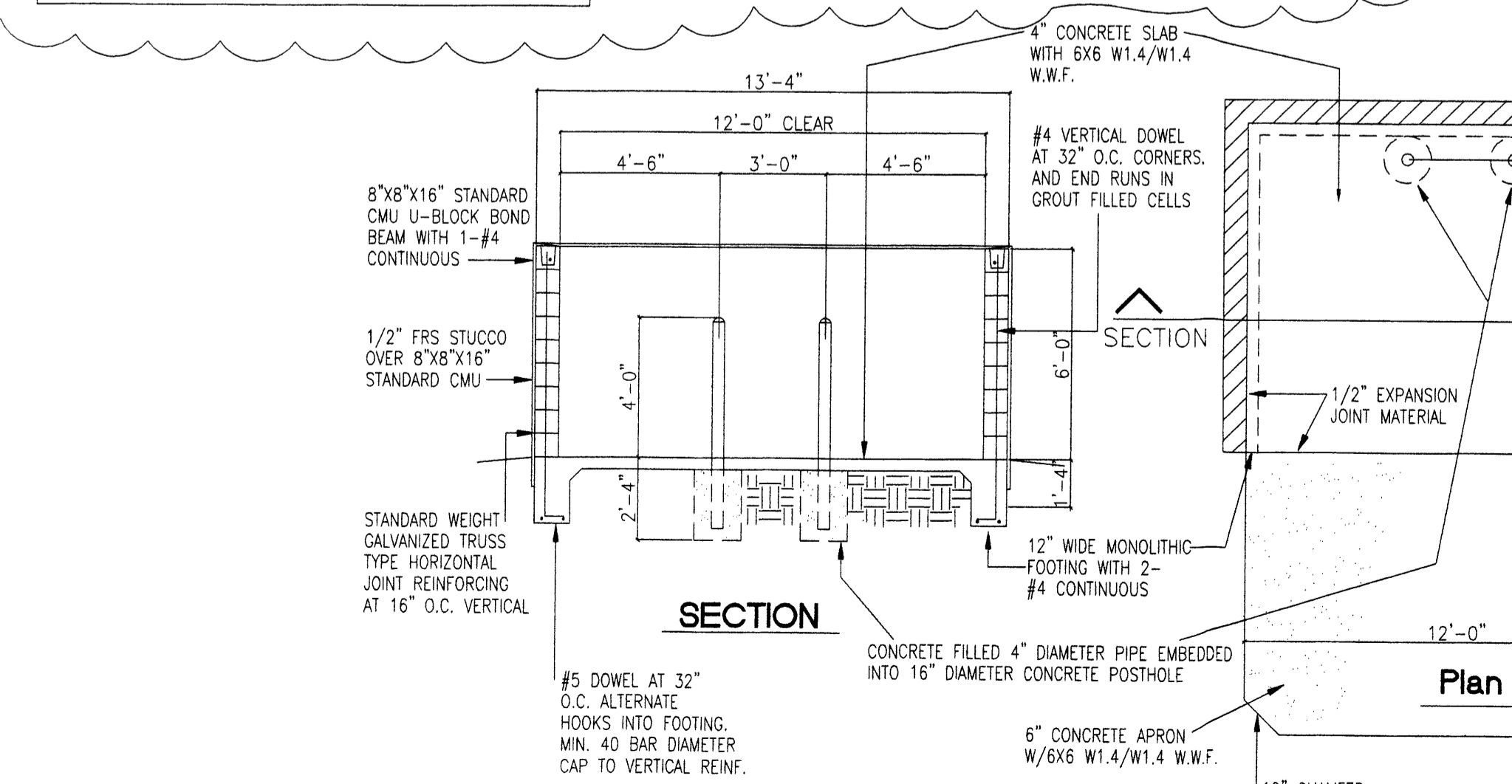
LANDSCAPING REQUIREMENTS	
ZONING	= SU1 For IP
LOT AREA (TRACT O6)	= 41,063 S.F., 3.23 AC.
LOT AREA (TRACT O8)	= 62,779 S.F., 3.23 AC.
TOTAL LOT AREA	= 103,842 S.F., 2.38 ACRES
EXISTING BUILDING AREA	= -4,094 S.F.
NEW BUILDING AREA	= -16,487 S.F.
NET LOT AREA	= 83,261 S.F.
REQUIRED:	83,261 x .15% = 12,489 S.F. OF LANDSCAPING
PROVIDED:	12,489 PLUS S.F. OF LS. (REF: LANDSCAPING PLAN)
PARKING CALCULATIONS	
OFFICE	= 106 S.F./200 = 1 SPACES
APARTMENT	= 1 1/2 PER BATH = 3 SPACES
TOTAL PARKING REQUIRED	= 4 SPACES
PROVIDED	4 SPACES (1 HC VAN)

**LEGAL DESCRIPTION:**  
 - TR O-8-A REPL OF TRS O-6, O-7 & O-8 ATRISCO BUSINESS PARK UNIT 4 CONT 1.4412 AC +/- 82,779 SQ. FT +  
 - TR O-6-A-1 PLAT OF TRS O-6-A-1 & O-7-A-1 ATRISCO BUSINESS PARK UNIT 4 CONT 0.9416 AC M/L OR 41,016 SF M/L

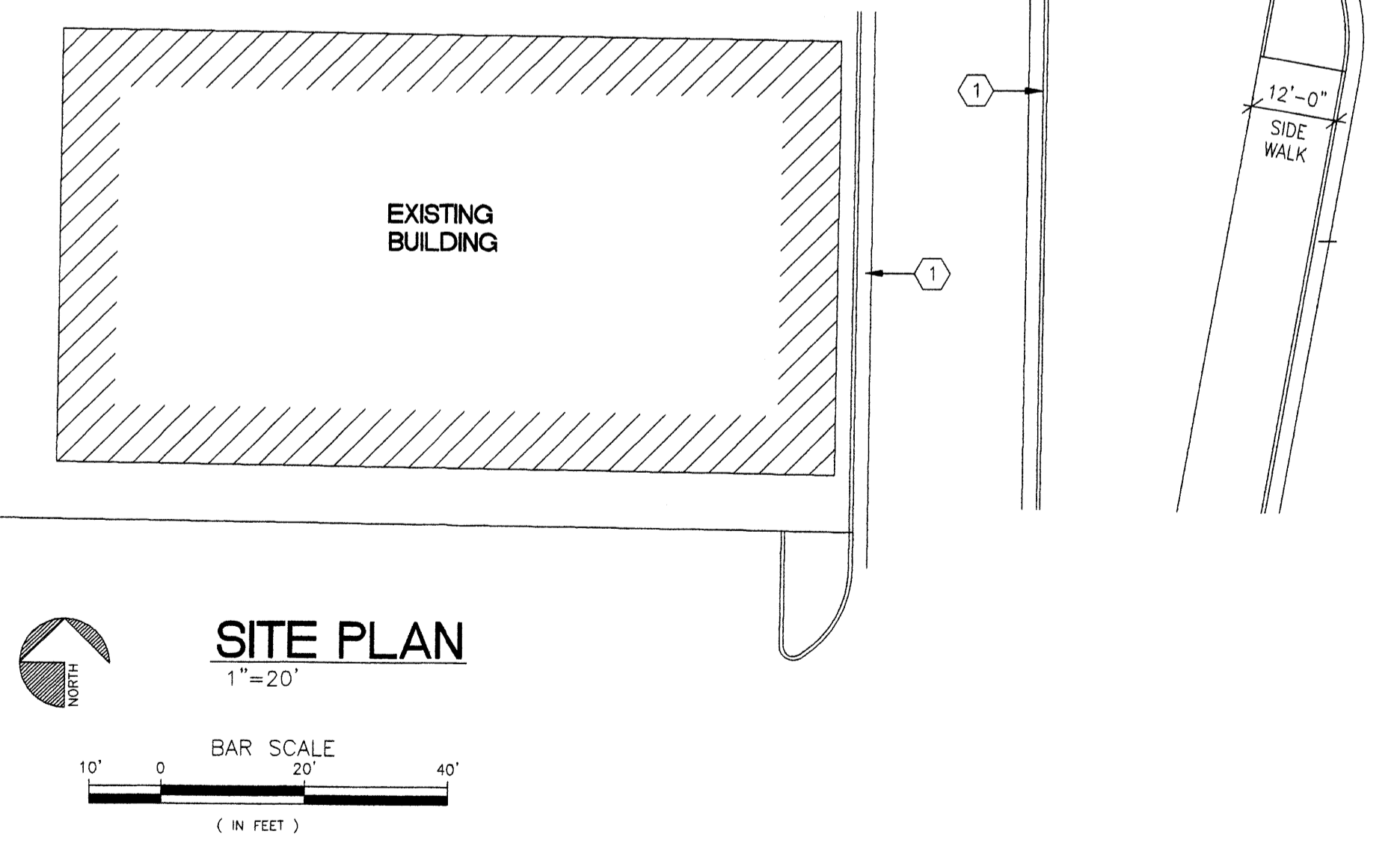
**NOTE:**  
 PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.  
 ALL EXTERIOR SITE LIGHTING TO BE SHIELDED DOWN LIGHTING.

- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER.
  - EXISTING CONCRETE SIDEWALK.
  - EXISTING POLE MOUNTED SIGNAGE
  - EXISTING FIRE HYDRANT.
  - CONCRETE SIDEWALK.
  - 6" CMU FENCE WITH CMU PILASTERS AT 10'-0" O.C., TYPICAL.
  - 6" RAISED CURB, TYPICAL.
  - 2'-0" RADIUS, TYPICAL.
  - PAINTED PARKING STRIPE, PER C.O.A. STANDARDS.
  - PAINTED HC. SYMBOL, PER C.O.A. STANDARDS.
  - PAINTED HC. ACCESSIBLE STRIPE AISLE, PER C.O.A. STANDARDS.
  - HC. ACCESSIBLE CURB RAMP, TYPICAL.
  - HC. PARKING SIGNAGE, TYPICAL.
  - 25' LONG WROUGHT IRON AUTOMATIC SLIDING GATE.
  - 25' LONG WROUGHT IRON SLIDING GATE.
  - LANDSCAPING AREA, REF: LANDSCAPING PLAN.
  - 6' HIGH CHAIN LINK FENCE (FUTURE EXPANSION IN R/W)
  - WALL MOUNTED FIRE EXTINGUISHER, REF: PLAN, TYPICAL.
  - EXISTING VACUUM ISLAND.
  - EXISTING TREE/LANDSCAPING.
  - EXISTING ADVERTISEMENT SIGN.
  - EXISTING COIN OPERATED AIR COMPRESSOR.
  - SHIELDED WALL PAC. LIGHT FIXTURE.
  - FIRE EXTINGUISHER 2A-10-BC EVERY 75'
  - KNOX-BOX PURCHASED AND INSTALLED BY OWNER FOR FIRE DEPT. USE TO GAIN ACCESS TO COMMERCIAL PROPERTY IN CASE OF EMERGENCY. VERIFY LOCATION BY FIRE DEPT.
  - NEW FIRE PRIVATE HYDRANT.
  - NEW GATE KEY PAD.

- KEYED NOTES**
- PROPOSED TEMPORARY STORAGE UNITS SHALL BE PLACED ON PRE-CAST CONCRETE FOOTERS ONLY PER MANUFACTURER'S SPECIFICATIONS.
  - NO TEMPORARY UNITS SHALL BE PLACED OVER EXISTING DRAIN CULVERT.
  - NO TEMPORARY UNITS SHALL BE PLACED OVER EXISTING DRAIN CULVERT.



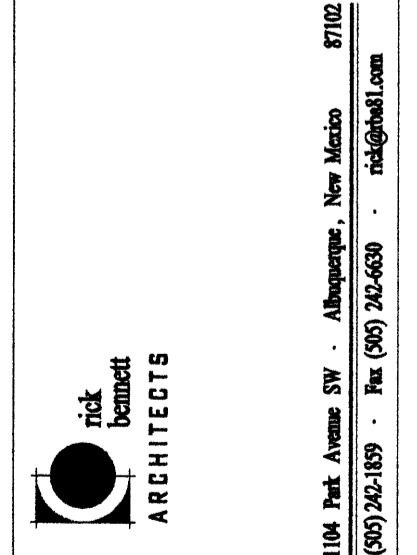
**1 DUMPSTER ENCLOSURE DETAIL**  
 C1 NOT TO SCALE



**SITE PLAN**  
 1"=20'  
 BAR SCALE  
 ( IN FEET )

**WATER WORLD CARWASH - STORAGE**  
**SITE PLAN**  
**ALBUQUERQUE, NEW MEXICO**  
**PROJECT #0542**

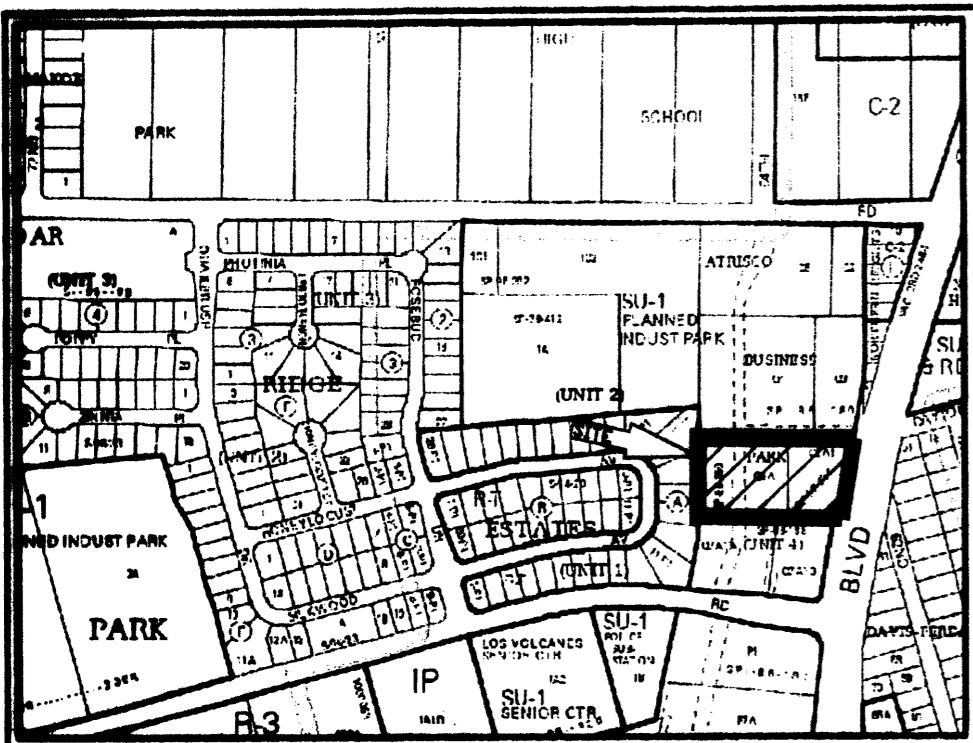
REVISION DATE  
 04-13-06



DATE  
 01-22-2008

SHEET NUMBER  
**C-1**

**PLAT OF  
TRACTS Q-6-A-1-A AND Q-8-A-1  
ATRISCO BUSINESS PARK UNIT 4**  
WITHIN  
TOWN OF ATRISCO GRANT  
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
NOVEMBER, 2008



**LEGAL DESCRIPTION**  
TRACT LETTERED Q-SIX-A-ONE (Q-6-A-1) OF THE PLAT OF TRACTS Q-6-A-1 AND Q-7-A-1, ATRISCO BUSINESS PARK, UNIT 4, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 21, 1995 IN VOLUME 95C, FOLIO 351 AND TRACT LETTERED Q-EIGHT-A (Q-8-A) OF THE REPLAT OF TRACTS Q-6, Q-7 AND Q-8, ATRISCO BUSINESS PARK, UNIT 4, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 9, 1988 IN VOLUME C38, FOLIO 13, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE WESTERLY LINE OF COORS BOULEVARD, WHENCE CITY OF ALBUQUERQUE CONTROL STATION "7-J10" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) N=1,488,821.059 AND E=1,502,616.272 BEARS S 06°54'09" W, A DISTANCE OF 239.31 FEET, RUNNING THENCE N 89°18'24" W, A DISTANCE OF 411.48 FEET TO THE SOUTHWEST CORNER;  
THENCE N 00°41'45" E, A DISTANCE OF 241.35 FEET TO THE NORTHWEST CORNER;  
THENCE S 89°18'26" E, A DISTANCE OF 260.16 FEET TO A POINT;  
THENCE S 89°21'56" E, A DISTANCE OF 189.64 FEET TO THE NORTHEAST CORNER, BEING A POINT ON THE WESTERLY LINE OF COORS BOULEVARD;  
THENCE ALONG THE WESTERLY LINE OF COORS BOULEVARD, 244.57 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 24,270.69 FEET, A CENTRAL ANGLE OF 00°34'39" AND HAVING AN CHORD BEARING AND DISTANCE OF S 09°42'43" W, 244.57 FEET TO THE SOUTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 2.3852 ACRES MORE OR LESS

PROJECT NUMBER: 1004725  
APPLICATION NUMBER: 08-70513

**UTILITY APPROVALS:**

Fernando Vigil 6-9-09  
PRM ELECTRIC SERVICES DATE

Fernando Vigil 1-9-09  
PRM GAS SERVICES DATE

12/30/08  
WEST TELECOMMUNICATIONS DATE

12-29-08  
Sonic Bank DATE

COMCAST DATE

N/A DATE  
NEW MEXICO UTILITIES

**CITY APPROVALS:**

12-3-08  
CITY SURVEYOR DATE

N/A DATE  
\*REAL PROPERTY DIVISION (CONDITIONAL)

N/A DATE  
\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

12/17/08  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

12-17-08  
ABOJWA DATE

12/17/08  
Christina Sandoval DATE  
PARKS AND RECREATION DEPARTMENT

12/17/08  
Bradley D. Bingham DATE  
AMAPCA

12/17/08  
Bradley D. Bingham DATE  
CITY ENGINEER

02-03-09  
Frank Claus DATE  
DRE CHAIRPERSON, PLANNING DEPARTMENT

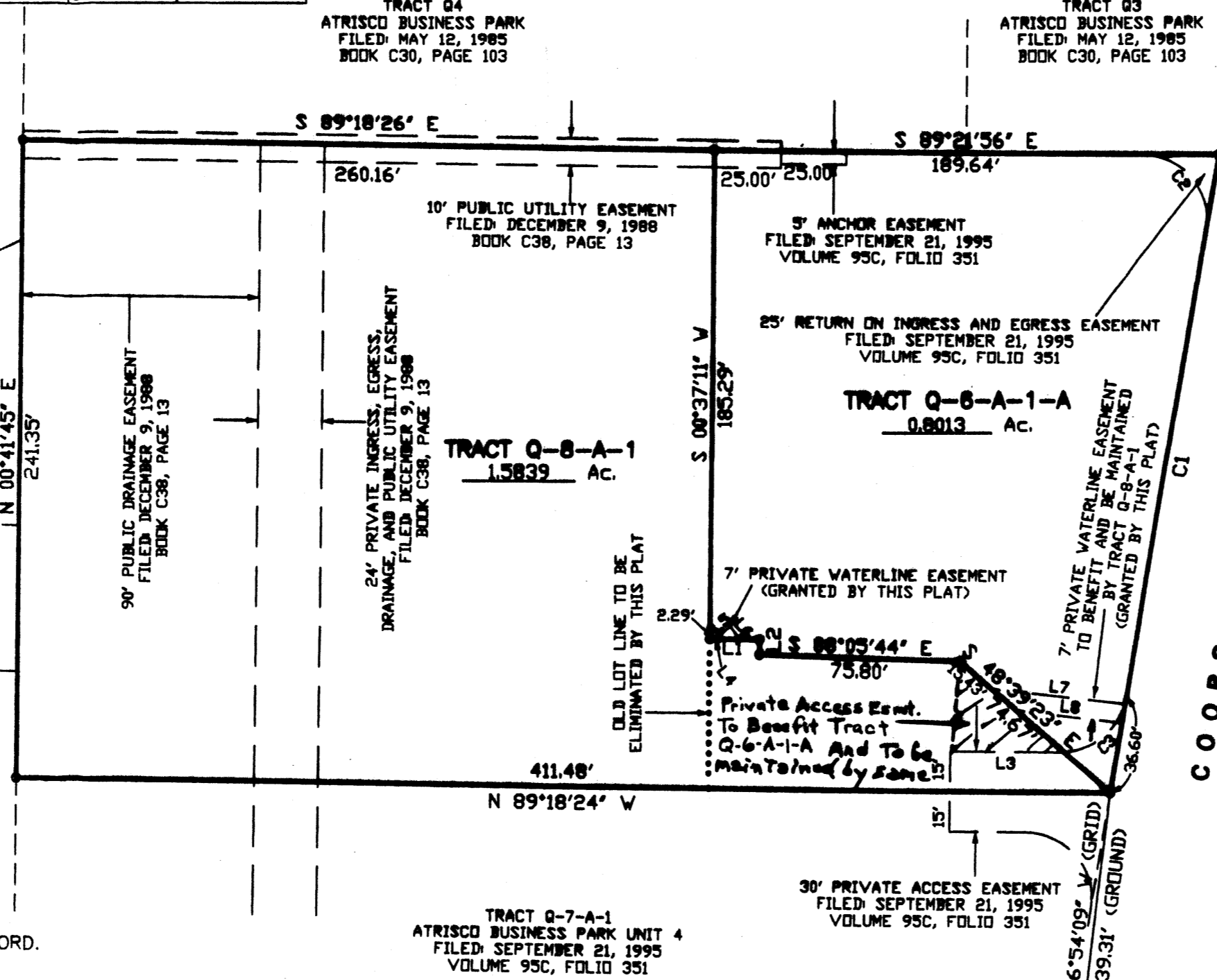
VICINITY MAP No. J-10

**CURVE TABLE**

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	00°34'39"	S 09°42'43" W	24270.69	244.57	244.57
C2	99°17'48"	N 39°43'02" W	25.00	43.33	38.10
C3	81°11'02"	N 50°06'06" E	25.00	35.42	32.53

**LINE TABLE**

NUMBER	DIRECTION	DISTANCE
L1	S 89°06'15" E	18.61'
L2	S 00°27'14" W	5.76'
L3	N 89°18'24" W	40.88'
L4	N 39°02'11" W	0.41'
L5	N 50°57'49" E	7.00'
L6	N 39°02'11" W	6.27'
L8	N 82°53'10" W	42.95'



**PURPOSE OF PLAT:**  
THE PURPOSE OF THIS PLAT IS TO RE-ALIGN THE PROPERTY LINE BETWEEN TRACT Q-6-A-1 AND Q-8-A AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
  - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - TOTAL AREA OF PROPERTY: 2.3852 ACRES.
  - TALOS LOG NO. 2008019787
  - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
  - DISTANCES ARE GROUND, BEARINGS ARE GRID.
  - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
  - DATE OF FIELD WORK: OCTOBER, 2008
  - NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT

**FREE CONSENT**  
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

**FREE CONSENT**  
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
THIS 17th DAY OF November, 2008  
BY: JOHN J. BATTAGLIA, KATHLEEN A. BATTAGLIA  
OWNERS NAME  
MY COMMISSION EXPIRES: 09/13/2010

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
THIS 19th DAY OF November, 2008  
BY: SANDRA DRAKE-RUBIN, JOSEPH N. RUBIN  
OWNERS NAME  
MY COMMISSION EXPIRES: 09/13/2010

ACS STATION "7-J10"  
X=1,502,616.272  
Y=1,488,821.059  
GRD TO GRID=0.999681447  
Δα = -00° 15' 53.37"  
CENTRAL ZONE, NAD 1983

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPCA # 10107049110210716  
PROPERTY OWNER OF RECORD: BATTAGLIA JOHN  
BERNALILLO CO. TREASURER'S OFFICE: 2-7-09

**SURVEYORS CERTIFICATE:**  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 26th DAY OF Nov, 2008.

Anthony L. Harris  
ANTHONY L. HARRIS, P.S. # 11463

