



		Supplemental Form (SF)	
SUBDIVISION		<b>S</b>	<b>Z ZONING &amp; PLANNING</b>
<input type="checkbox"/>	Major subdivision action		<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/>	Minor subdivision action		
<input type="checkbox"/>	Vacation	<b>V</b>	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/>	Variance (Non-Zoning)		<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<b>SITE DEVELOPMENT PLAN</b>		<b>P</b>	<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/>	for Subdivision		
<input checked="" type="checkbox"/>	for Building Permit		
<input type="checkbox"/>	Administrative Amendment (AA)		
<input type="checkbox"/>	Administrative Approval (DRT, URT, etc.)		
<input type="checkbox"/>	IP Master Development Plan	<b>D</b>	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)	<b>L A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
	Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any):		RIO GRANDE ENGINEERING		PHONE: 505.321.9099	
ADDRESS:		PO BOX 93924		FAX: 505.872.0999	
CITY:	ALBUQUERQUE	STATE	NM	ZIP	87199
E-MAIL:	david@riograndeengineering.com				
APPLICANT:		Paseo Hospitality, llc		PHONE:	
ADDRESS:		4505 Atherton way		FAX:	
CITY:	ALBUQUERQUE	STATE	NM	ZIP	87120
E-MAIL:	prakash@tmsnm.com				
Proprietary interest in site:		OWNER		List all owners:	

DESCRIPTION OF REQUEST: PRELIMINARY/FINAL PLAT

SITE PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_\_ Yes. X No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 12 and 13 Block: 18 Unit: B, tract A  
 Subdiv/Addn/TBKA: North Albuquerque Acres,  
 Existing Zoning: SU2-M1 or RC Proposed zoning: SU2-M1 or RC MRGCD Map No. \_\_\_\_\_  
 Zone Atlas page(s): C-18 UPC Code: 101806418903930216, 101806420503930215

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1004732

**CASE INFORMATION:**

SE INFORMATION: Within city limits? X Yes Within 1000FT of a landfill? yes  
No. of **existing** lots: 2 No. of **proposed** lots: 1 Total site area (acres): 1.75

LOCATION OF PROPERTY BY STREETS: On or Near: HOLLY NE

Between: INTERSTATE 25 and SAN PEDRO NE

Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☐. Review Date:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

(Print Name) DAVID SOULE Applicant: ☐ Agent: ☒

**FOR OFFICIAL USE ONLY**

- ☐ **INTERNAL ROUTING**
- ☐ All checklists are complete
- ☐ All fees have been collected
- ☐ All case #s are assigned
- ☐ AGIS copy has been sent
- ☒ Case history #s are listed
- ☐ Site is within 1000ft of a landfill
- ☐ F.H.D.P. density bonus
- ☐ F.H.D.P. fee rebate

Application case numbers

### Action

S.F.

Revised: 11/2014

### Fees

Hearing date \_\_\_\_\_

Total  
\$

Staff signature & Date

Project #

**A Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

- \_\_\_ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ *Letter briefly describing, explaining, and justifying the request*
- \_\_\_ List any original and/or related file numbers on the cover application

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

- \_\_\_ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- \_\_\_ Design elevations & cross sections of perimeter walls **3 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- \_\_\_ Copy of recorded SIA
- \_\_\_ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- \_\_\_ List any original and/or related file numbers on the cover application
- \_\_\_ DXF file and hard copy of final plat data for AGIS is required.

✓ X 5 Acres or more: Certificate of No Effect or Approval  
X Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings  
 ensure property owner's and City Surveyor's signatures are on the plat prior to submittal  
na Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only  
na Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**  
X Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street  
 improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**  
X Zone Atlas map with the entire property(ies) clearly outlined  
X Letter briefly describing, explaining, and justifying the request  
X Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat  
na Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer  
X Fee (see schedule)  
X List any original and/or related file numbers on the cover application  
 ✓ X Infrastructure list if required (**verify with DRB Engineer**)  
 — DXF file and hard copy of final plat data for AGIS is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- \_\_\_ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- \_\_\_ List any original and/or related file numbers on the cover application

**Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date

Form revised October 2007



- |  |                          |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected      | _____ - _____            |
| <input type="checkbox"/> Case #s assigned    | _____ - _____            |
| <input type="checkbox"/> Related #s listed   | _____ - _____            |

Project # \_\_\_\_\_ Planner signature / date \_\_\_\_\_

**☐ SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**

- \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Copy of the document delegating approval authority to the DRB
- \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- \_\_\_ *Sign Posting Agreement*
- \_\_\_ Completed Site Plan for Subdivision Checklist
- \_\_\_ 6 copies of the Infrastructure List, if relevant to the site plan
- \_\_\_ TIS/AQIA Traffic Impact Study form with required signature
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

**Q SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14) Maximum Size: 24" x 36"**

- na 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- x Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- na Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
- x Solid Waste Management Department signature on Site Plan
- x Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- x Letter briefly describing, explaining, and justifying the request
- x Letter of authorization from the property owner if application is submitted by an agent
- na Copy of the document delegating approval authority to the DRB zoned SU2
- x Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- x Completed Site Plan for Building Permit Checklist
- na 6 copies of the Infrastructure List, if relevant to the site plan
- x TIS/AQIA Traffic Impact Study form with required signature
- x Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- x List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

**Q AMENDED SITE DEVELOPMENT PLAN**


**FOR SUBDIVISION or BUILDING PERMIT (DRB10) Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

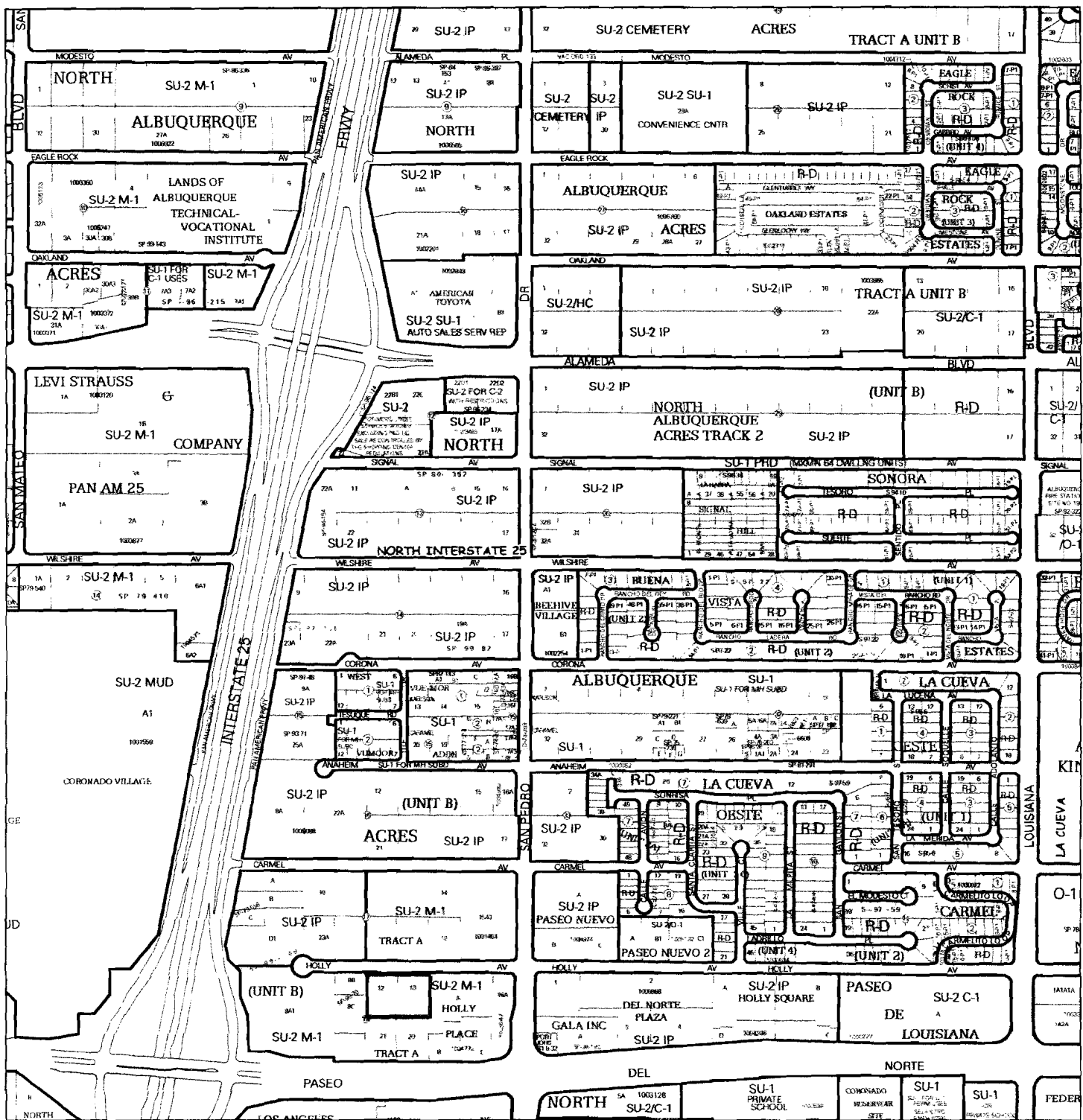
Dan J Sode  
Applicant name (print)  
MM 3/18/16  
Applicant signature / date  
Form revised **October 2007**



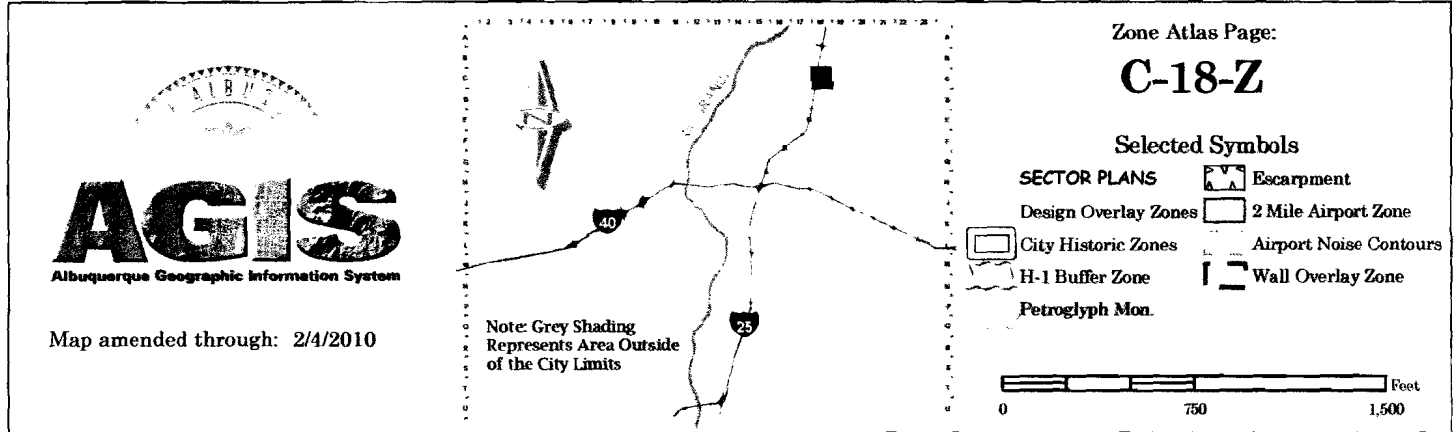
Form revised October 2007

- |  |                          |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected      | _____ - _____ - _____    |
| <input type="checkbox"/> Case #s assigned    | _____ - _____ - _____    |
| <input type="checkbox"/> Related #s listed   | _____ - _____ - _____    |

Project # \_\_\_\_\_ Planner signature / date \_\_\_\_\_



For more current information and more details visit: <http://www.cabq.gov/gis>



March 18, 2016

Jack Cloud  
Chairman  
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

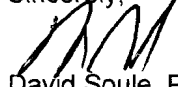
**RE: Site plan for building permit  
Lot consolidation-Preliminary/Final plat  
Lots 12, 13 Block 18, Tract A, Unit B**

Dear Mr. Cloud:

Rio Grande Engineering requests DRB approval of the attached site plan for building permit and lot consolidation plat. The site is located within the North I-25 Sector Development plan. The property is currently zoned SU2- M1 or RC. The permissive uses include all uses allowed within the M1, O1, C1 and C2 zoning category. All permissive IP uses are allowed within the M1 zone. As shown in section 14-16-2-19-24-I, this use is permissive for this site. The purpose of the plat is to consolidate two lots into one and grant easements where existing utilities are present. The combined lot will subsequently be developed in accordance with the existing zoning.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 93924  
ALBUQUERQUE, NM 87199  
321-9099

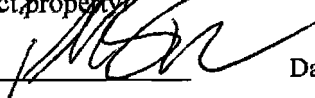
Enclosures

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Letter of Authorization

We, Paseo Hospitality, LLC, owners of lots 12 and 13, block 18, Unit B, tract A, North Albuquerque Acres, UPC # 101806418903930216, 101806420503930215, hereby authorize Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the a platting and site plan for building permit for our Hotel developement within the city of Albuquerque for the subject property.

Property Owners:



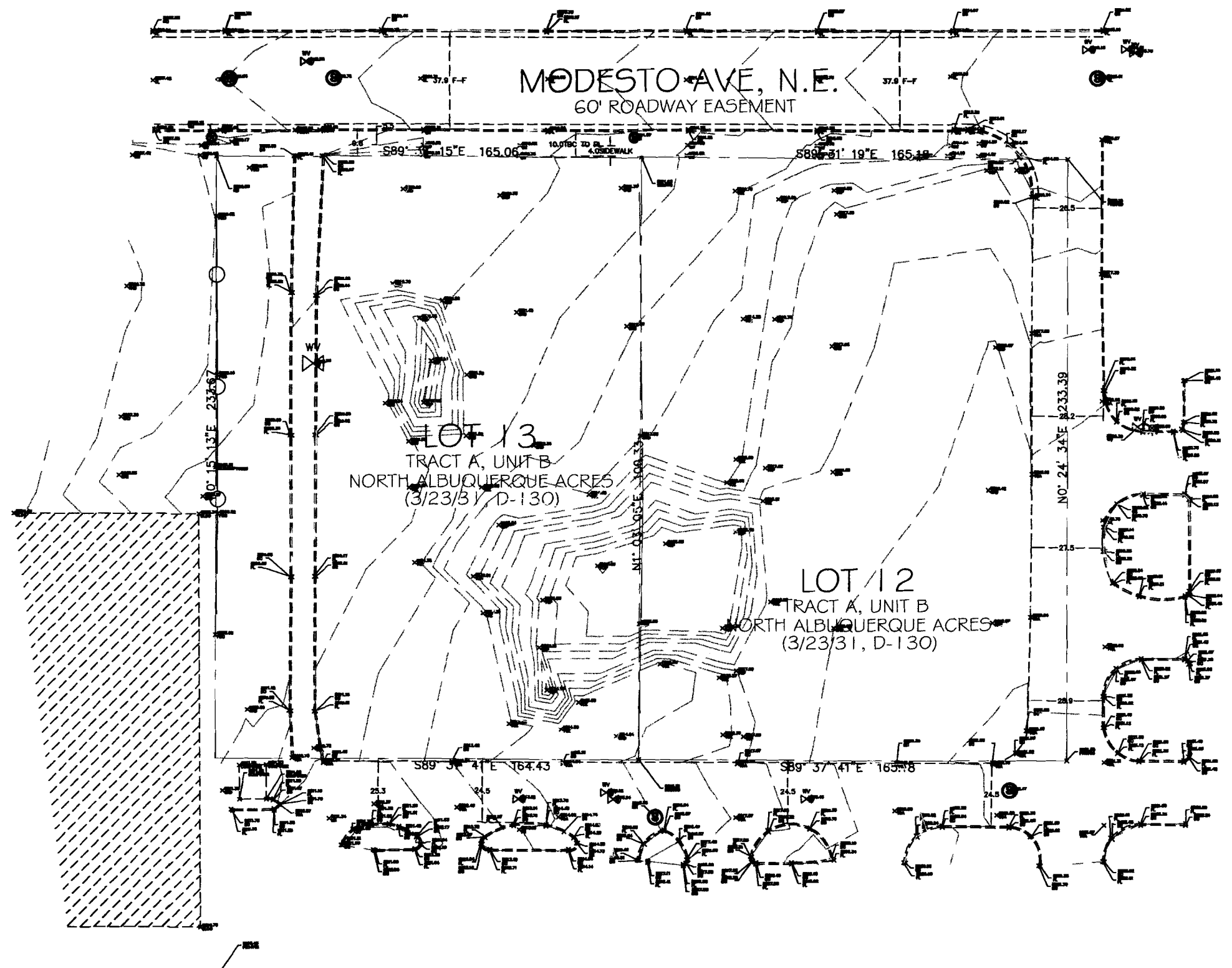
Date

3/17/16

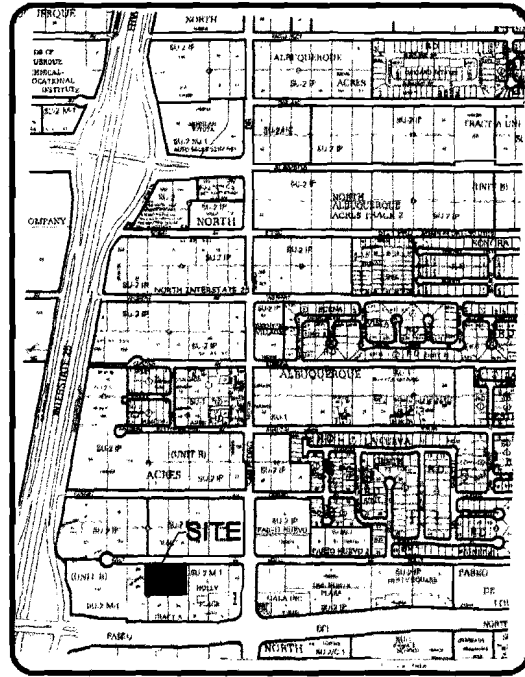
Letter of Acknowledgement

We, Paseo Hospitality, LLC, owners of lots 12 and 13, block 18, Unit B, tract A, North Albuquerque Acres , UPC # 101806418903930216, 101806420503930215 , hereby acknowledge this site is located within a land fill buffer zone and agree to construct the mitigation measures required for this site. We agree to develop this site to conform to the design recommendations specified within the 'Landfill Gas Survey and Mitigation report', prepared by Zia Engineering dated 2/29/16

Property Owners: PM SIL Date 3/18/2016







ZONE ATLAS C-18-Z NO SCALE

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE 1 LOT FROM 2 LOTS AND GRANT ANY EASEMENTS AS SHOWN HEREON.

NOTES:

1. BEARINGS ARE GRID BASED--NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET" ARE 5/8" REBAR WITH CAP STAMPED "PS 21082" AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED
4. BEARINGS AND DISTANCES IN ( ) ARE RECORD

SUBDIVISION DATA:

DRS#  
ZONE ATLAS INDEX NO. C-18-Z  
DATE OF FIELD SURVEY: NOVEMBER 2015  
TOTAL NO. OF LOTS EXISTING 2  
TOTAL NO. OF LOTS CREATED 1  
GROSS SUBDIVISION ACREAGE 1.7895  
MILEAGE OF PRIVATE STREETS CREATED 0.00

DOCUMENTS USED:

- NORTH ALBUQUERQUE ACRES, BLOCK 18, TRACT A, UNIT B (BK. D, PG. 130, APRIL 24, 1936)
- PLAT OF TRACT B-1, HOLLY PLACE (BK. 2014C, PG. 0013, 3/7/14)
- PLAT OF LOTS D-1 & 23A, BLOCK 17 & LOT 8A1, BLOCK 18, TRACT A, UNIT B (BK. 90C, PG. 218, 8/2/99)
- PLAT OF HOLLY PLACE, A REPLAT OF LOTS 14-15, 18-19, BLOCK 18 (BK. 2008C, PG. 0181, 7/18/08)

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

LEGAL DESCRIPTION:

LOTS NUMBERED TWELVE (12) AND THIRTEEN (13), BLOCK NUMBERED EIGHTEEN (18) OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE" INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL ABOVEGROUND OR SUBSURFACE, HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT & DEDICATION

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF LOTS NUMBERED TWELVE (12) AND THIRTEEN (13), BLOCK NUMBERED EIGHTEEN (18) OF TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AND DEDICATION OF OF RIGHT OF WAY TO THE CITY OF ALBUQUERQUE WITH WARRANTY COVENANTS AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT

BY: \_\_\_\_\_  
OWNER/DATE

ACKNOWLEDGMENT

STATE OF )  
COUNTY OF ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2015, BY \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE # \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE \_\_\_\_\_

SHEET INDEX

PAGE 1 COVER  
PAGE 2. SUBDIVISION PLAT

PLAT OF  
LOT 13-A  
NORTH ALBUQUERQUE ACRES  
BLOCK 18, TRACT A, UNIT B  
PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
DECEMBER 2015

PROJECT NUMBER \_\_\_\_\_

CITY APPROVALS

CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A. \_\_\_\_\_ DATE \_\_\_\_\_

ABCWJA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

REAL PROPERTY DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY APPROVALS:

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO GAS \_\_\_\_\_ DATE \_\_\_\_\_

QWEST CORPORATION D.B.A. CENTURY LINK QC \_\_\_\_\_ DATE \_\_\_\_\_

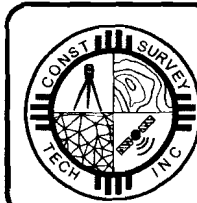
COMCAST \_\_\_\_\_ DATE \_\_\_\_\_

SURVEYOR'S CERTIFICATE:

I, DAVID P. ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE. SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID P. ACOSTA, NMPLS NO. 21082

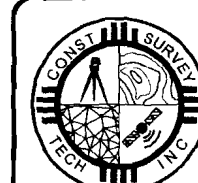
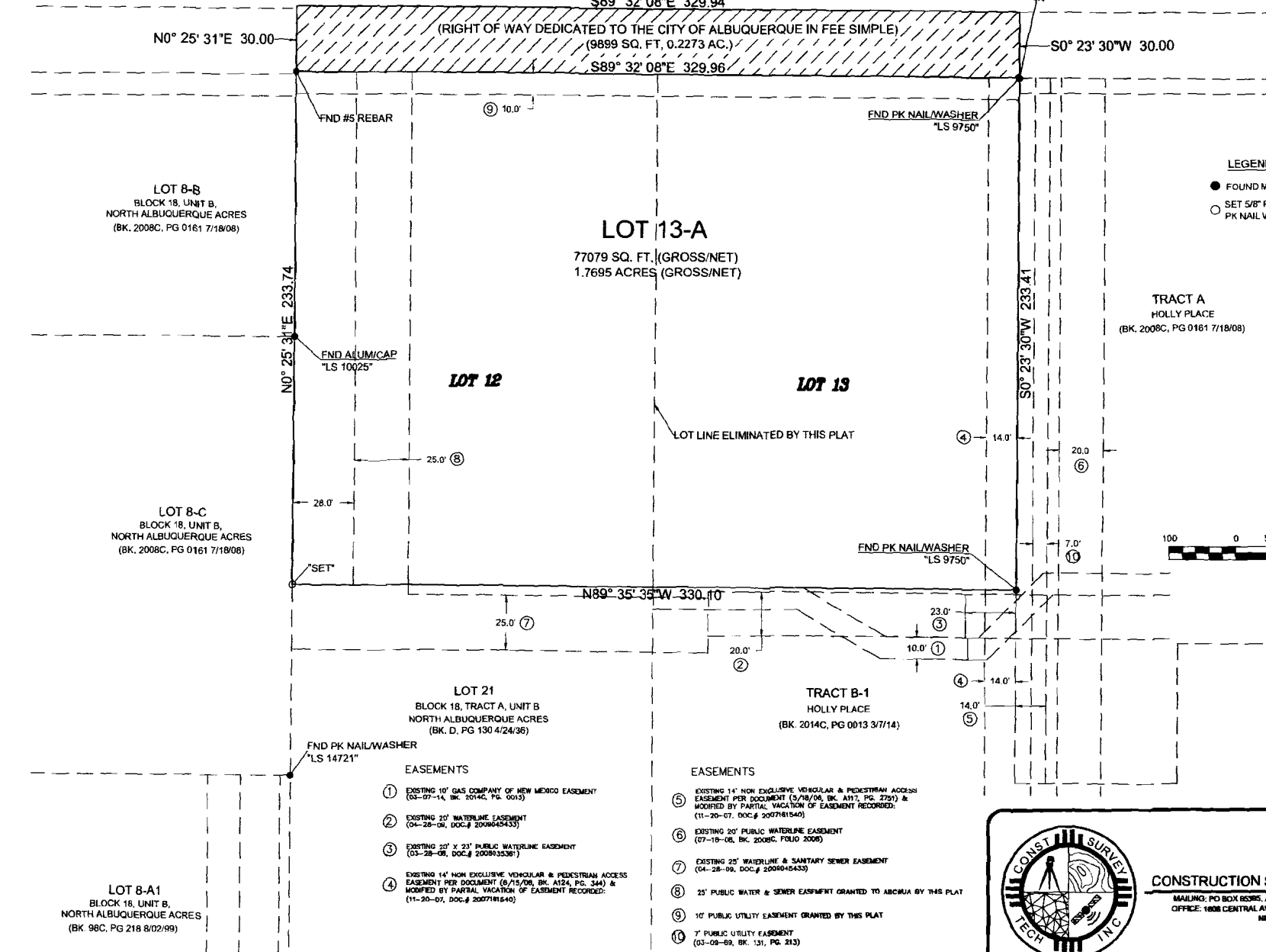
DATE \_\_\_\_\_



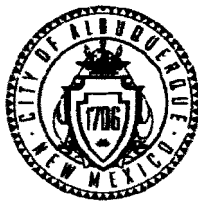
CONSTRUCTION SURVEY TECHNOLOGIES, INC.

MAILING: PO BOX 65365, ALBUQUERQUE, NM 87183 505-917-8921  
OFFICE: 1808 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106  
NMSURVEYOR@GMAIL.COM

PLAT OF  
**LOT 13-A**  
 NORTH ALBUQUERQUE ACRES  
 BLOCK 18, TRACT A, UNIT B  
 PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.  
 ELENA GALLEGOS GRANT  
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 DECEMBER 2015



CONSTRUCTION SURVEY TECHNOLOGIES, INC.  
 MAILING: PO BOX 16096, ALBUQUERQUE, NM 87103 505-617-8821  
 OFFICE: 1808 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106  
 SURVEYOR@GMAIL.COM



**City of Albuquerque**  
P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter you will need to get an updated letter from ONC.

March 17, 2016

Planning Department  
Plaza Del Sol Building  
600 Second St. NW  
Second Floor (924-3860)

This letter will serve to notify you that on **March 17, 2016:**

Contact Name: DAVID SOULE  
Company or Agency: RIO GRANDE ENGINEERING  
P.O. BOX 93924  
PHONE: 505-321-9099/FAX: 505-872-0999  
E-mail: [david@riograndeengineering.com](mailto:david@riograndeengineering.com)

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) -LOTS 12 AND 13, BLOCK 18, UNIT B, TRACT A, NORTH ALBUQUERQUE ACRES, LOCATED ON HOLLY AVENUE NE BETWEEN I-25 FREEWAY AND SAN PEDRO DRIVE NE zone map C-18.**

***Our records indicate that as of March 17, 2016, there were no Neighborhood and/or Homeowner Associations in this area.***

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you were required to notify our office prior to your submittal to the Planning Department (***please attach: 1) Copy of this letter***) with your application to show proof that you did contact our office to obtain NA/HOA information. If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
PLANNING DEPARTMENT

planningnrnaform(01/22/16)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

- 1. The street address of the subject property.
- 2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- 3. A physical description of the location, referenced to streets and existing land uses.
- 4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [ ]      ONC's "Official" Letter to the applicant *(if there are associations)*. A copy must be submitted with application packet -OR-
- [X]      **The ONC "Official" Letter *(if there are no associations)*. A copy must be submitted with application packet.**
- [ ]      Copies of Letters to Neighborhood and/or Homeowners Associations *(if there are associations)*. A copy must be submitted with application packet.
- [ ]      Copies of the certified receipts to Neighborhood and/or Homeowners Associations *(if there are associations)*. A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*  
(below this line for ONC use only)

Date of Inquiry: 03/17/16 Time Entered: 1:20 p.m. ONC Rep. Initials: siw

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.**

 3/17/16  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

*Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.*

### Accompanying Material

- ☒ A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- ☒ B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 – SITE PLAN

### A. General Information

- ☒ 1. Date of drawing and/or last revision
- ☒ 2. Scale:
- |                  |          |               |           |
|------------------|----------|---------------|-----------|
| 1.0 acre or less | 1" = 10' | Over 5 acres  | 1" = 50'  |
| 1.0 - 5.0 acres  | 1" = 20' | Over 20 acres | 1" = 100' |
- [other scales, if approved by staff]
- ☒ 3. Bar scale
- ☒ 4. North arrow
- ☒ 5. Vicinity map
- ☒ 6. Signature Block (for DRB site dev. plans)
- ☒ 7. Property lines (clearly identify)
- ☒ 8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- ☒ 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
- ☒ 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- ☒ 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- ☒ 2. Dimensions and square footage of each structure
- ☒ 3. Proposed use of each structure
- ☒ 4. Walls, fences, and screening: indicate height, length, color and materials
- ☒ 5. Loading facilities
- ☒ 6. Conceptual site lighting (indicate general location & maximum height)
- ☒ 7. Location of refuse container and enclosure
- ☒ 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- ☒ A. Parking layout with spaces numbered per aisle and totaled.
  - ☒ 1. Location and typical dimensions, including handicapped spaces
  - ☒ 2. Calculations: spaces required: 94 provided: 94Handicapped spaces (included in required total) required: 4 provided: 5  
Motorcycle spaces (in addition to required total) required: 3 provided: 3
- ☒ B. Bicycle parking & facilities
  - ☒ 1. Bicycle racks, spaces required: 3 provided: 3
  - ☒ 2. Bikeways and other bicycle facilities, if applicable
- ☒ C. Public Transit
  - ☒ 1. Bus facilities, including routes, bays and shelters existing or required
- ☒ D. Pedestrian Circulation
  - ☒ 1. Location and dimensions of all sidewalks and pedestrian paths
  - ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
  - ☒ 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- ☒ E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
  - ☒ 1. Ingress and egress locations, including width and curve radii dimensions
  - ☒ 2. Drive aisle locations, including width and curve radii dimensions
  - ☒ 3. End aisle locations, including width and curve radii dimensions
  - ☒ 4. Location & orientation of refuse enclosure, with dimensions
  - ☒ 5. Curb cut locations and dimensions
  - ☒ 6. Existing and proposed street widths, right-of-way widths and curve radii
  - ☒ 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - ☒ 8. Location of traffic signs and signals related to the functioning of the proposal
  - ☒ 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- ☒ Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- x   1. Scale - must be same as scale on sheet #1 - Site Plan
- x   2. Bar Scale
- x   3. North Arrow
- x   4. Property Lines
- x   5. Existing and proposed easements
- x   6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- x   7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- x   8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- x   9. Identify location and size (SF) of all landscaping areas, including:
  - A. Type, location and size of trees (common and/or botanical names)
  - B. Type and location of all ground cover material (organic/inorganic)
  - C. Existing vegetation, indicating whether it is to be preserved or removed
  - D. Ponding areas either for drainage or landscaping/recreational use
  - E. Turf area – only 20% of landscaped area can be high water-use turf
- x   10. Landscape calculation table:
  - A. Required and Provided Landscape Area – square footage and percent
  - B. Required and Provided Trees (street, parking lot, screening, etc.)
- x   11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- x   12. Verification of adequate sight distance
- x   13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- x   1. Scale - must be same as Sheet #1 - Site Plan
- x   2. Bar Scale
- x   3. North Arrow
- x   4. Property Lines
- x   5. Building footprints
- x   6. Location of Retaining walls

B. Grading Information

- x   1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- x   2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- x   3. Identify whether ponding is required
- x   4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- na 5. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- x 6. In addition to the above, the following must be provided for DRB applications:
  - A. Conceptual onsite drainage system
  - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- x 1. Fire hydrant locations, existing and proposed.
- x 2. Distribution lines
- x 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- x 4. Existing water, sewer, storm drainage facilities (public and/or private).
- x 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

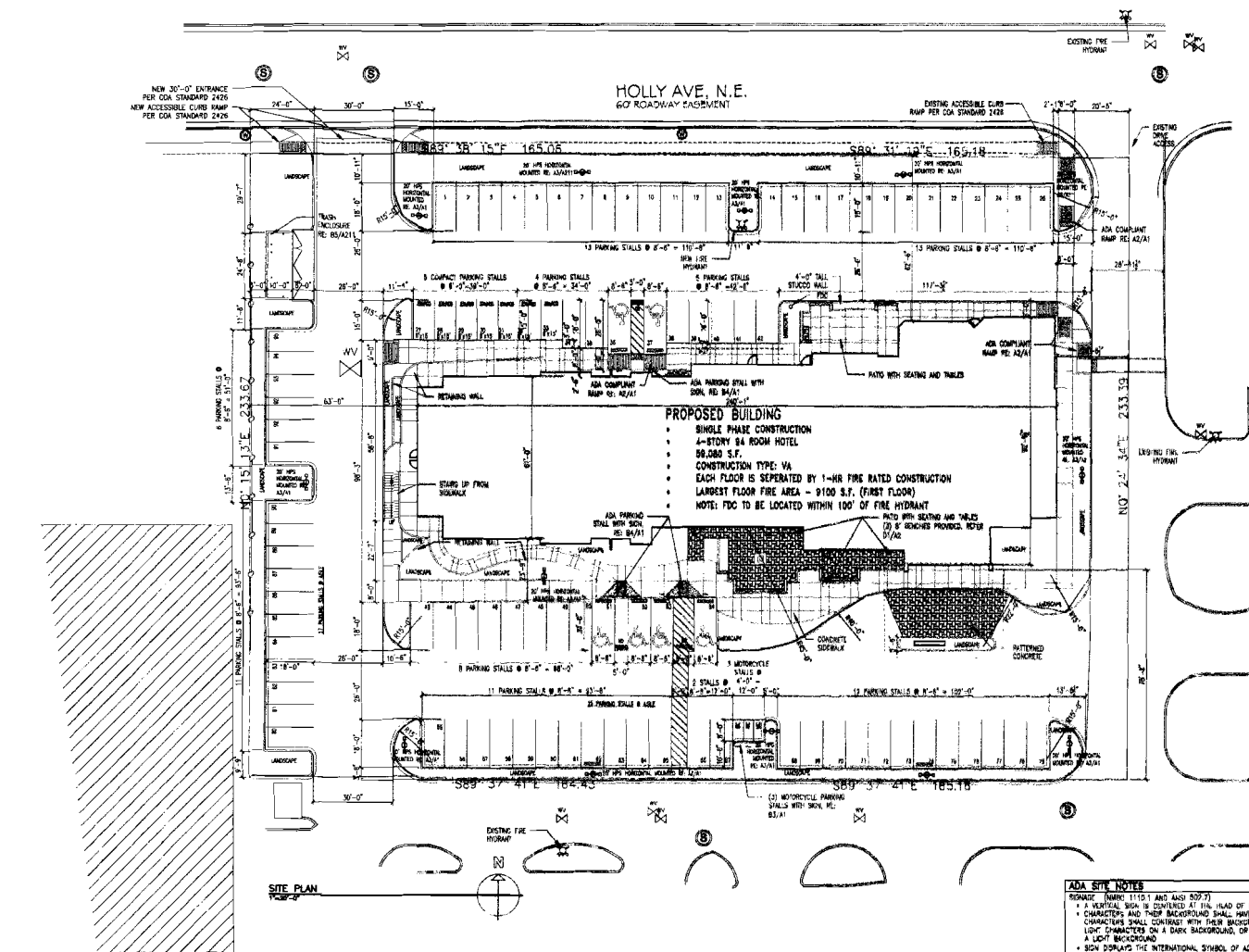
A. General Information

- x 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- x 2. Bar Scale
- x 3. Detailed Building Elevations for each facade
  - x a. Identify facade orientation (north, south, east, & west)
  - x b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
  - x c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
  - x d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- x 4. Dimensions, colors and materials of Refuse Enclosure
- na 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- x 1. Site location(s)
- x 2. Sign elevations to scale
- x 3. Dimensions, including height and width
- x 4. Sign face area - dimensions and square footage clearly indicated
- x 5. Lighting
- x 6. Materials and colors for sign face and structural elements
- x 7. Verification of adequate sight distance





**LAND FILL DISCLOSURE**  
The subject property is located within the buffer zone of an existing landfill. Certain precautionary measures are required to be implemented to ensure the health and safety of the public. The development of this site must conform to the land fill gas mitigation requirements specified by Zia Engineering within the landfill Gas survey and mitigation design report, dated 2/29/16.

- ADA SITE NOTES**
- A VERTICAL SIGN IS REQUIRED AT THE HEAD OF EACH PARKING SPACE.
  - CHARACTER AND THEIR BACKGROUND SHALL HAVE A HIGH-CONTRAST COLOR CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
  - SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE WHEELCHAIR AND 11778 IN A BLUE BACKGROUND, NOVEMBER 2015 STANDARD, OR MAY BE USED FOR SIGNAGE).
  - SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (UNLESS NOTED OTHERWISE).
  - SIGN MUST INCLUDE THE LANGUAGE: VIOLATORS ARE SUBJECT TO A FINE AND/OR IMPRISONMENT (SEE 2015 N.M.S.A. 18-2-1, SECTION 7 (D) (2)).
  - THE SIGN SHALL BE PLACED IN THE CENTER OF THE PARKING SPACE.
  - IN PARKING LOTS THE BOTTOM OF THE SIGN IS 5' MINIMUM ABOVE THE GROUND OR PARKING SURFACE (UNLESS NOTED OTHERWISE).
  - ALONG THE PUBLIC RIGHTS-OF-WAY (SIDEWALK) THE BOTTOM OF THE SIGN IS 5' MINIMUM ABOVE THE GROUND.
  - PARKING SPACE HAS A CLEARLY VISIBLE BLUE INTERNATIONAL SYMBOL OF ACCESSIBILITY PLACED ON THE PAVEMENT AT THE REAR OF THE SPACE (SEE 1-4.1.5 N.M.S.A. 18-2-1) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
  - PARKING SPACE LINES BE PAINTED BLUE.
  - ACCESSIBLE VEHICLE BLUE DIAGONAL STRIPING (SEE 1-4.1.8 N.M.S.A. 18-2-1).
  - ACCESSIBLE VEHICLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED (SEE 1-4.1.8 N.M.S.A. 18-2-1).
  - IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

**WRITTEN PROJECT SUMMARY**

The proposed project is located on the site of the former hotel building with approximately 15,000 sq. ft. and 15,000 sq. ft. of parking space. The proposed use of the building will be a short-term stay hotel which is allowed within North (1-25) sector development plan for 15,000 sq. ft. of parking space. All elements of the site plan and building envelope comply with the setback requirements of the North (1-25) sector development plan requirements.

**DRAWING INDEX**

1	1.01	SITE PLAN
2	2.01	LANDSCAPE PLAN
3	3.01	GRADING AND DRAINAGE PLAN
4	4.01	UTILITY PLAN
5	5.01	SECTION ELEVATIONS
6	6.01	ARCHITECTURAL DETAILS

**PROJECT DATA**

LEGAL DESCRIPTION: LOT 12 & 13 TRACT A, UNIT 8 NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

OWNER: [REDACTED]

DESIGNER: [REDACTED]

PROJECT AREA: 1.8180 ACRES (79,236 S.F.)

BUILDING FOOTPRINT: 15,000 S.F.

TOTAL BUILDING AREA: 15,000 S.F.

P.A.R.: 72%

PERCENTAGE OF SITE SURFACE COVERED BY BUILDINGS: 19.8%

PROPOSED USE: HOTEL

EXTERIOR MAJOR FACILITY SEATING REQUIREMENTS: 240 / 17,250 S.F. = 10 SEATS REQUIRED 1' 0" PER SEAT LENGTH = 10' LINEAR FEET REQUIRED. TOTAL SEAT LENGTH PROVIDED = 3 BENCHES AT 6' FOR A TOTAL OF 18 SEATS.

<b>PARKING REQUIREMENTS</b>	94 STALLS
PARKING REQUIRED (1 PER UNIT)	94 STALLS
TOTAL PARKING PROVIDED	94 STALLS
ADA PARKING REQUIRED	5 STALLS
ADA PARKING PROVIDED	5 STALLS
BIKE PARKING REQUIRED (NOTE)	0
BIKE PARKING PROVIDED	0
MOTORCYCLE PARKING REQUIRED	3 STALLS
MOTORCYCLE PARKING PROVIDED	3 STALLS

**PROJECT NUMBER**

Application Number: [REDACTED]

The Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated [REDACTED] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is or Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	Date
ABQ/CA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**AGIS**

AGIS is a registered professional engineering firm. The firm is not responsible for the design or construction of the project. The firm is only responsible for the design and construction of the project.

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.




**LEGAL DESCRIPTION:**  
LOTS 12 AND 13, TRACT 2, UNIT 1 NORTH ALBUQUERQUE ACRES

**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

# LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	PROPOSED SETBACK
---	PROPOSED LOT LINE
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL
---	LIMITS OF FLOODPLAIN

ROUGH GRADING APPROVAL		DATE	
ENGINEER'S SEAL		ORDRIN BY NEW YORK	
		DATE	
		11-16-15	
		GRADING AND DRAINAGE PLAN	
		<i>Rocio Grande</i> <b>Engineering</b> 1000 CENTRAL AVENUE SE SUITE 200 ALBUQUERQUE, NM 87102 (505) 263-1234	SHEET #  C001
11/16/15 144 SCALE #14322			JTB 214623

1. AN EAVIGATION/CONSTRUCTION POINT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITH BERNALILLO COUNTY EASEMENT. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED TO THE TIME OF THE APPLICATION AND THE PERMIT MUST BE OBTAINED.

2. ALL WORK DETAINED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #4.

3. TWO WORKING DAYS PRIOR TO ANY EAVIGATION, CONTRACTOR MUST CONTACT AN ONE CALL SERVICE 280-1101 TO REPORT THE EAVIGATION.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL LOCATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE EAVIGNOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. BACKFILL CONSTRUCTION SHALL BE ACCORDING TO ARTERIAL STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE ARTERIAL.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-3 NMSA 1978.

9. CONTRACTOR SHALL PLAN AN EAVIGATION TO MINIMIZE INTERFERENCE OR DAMAGE TO UNDERGROUND FACILITIES.

10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EAVIGATION WORK TO THE ONE-CALL NOTIFICATION CENTER, OR TO THE OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITIES LOCATED IN OR NEAR EAVIGATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER, IN ORDER THAT THEY MAY LOCATE AND IDENTIFY ANY EXISTING UNDERGROUND FACILITIES. PER SECTION 82-14-3 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL EAVIGATION.

11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES AND ANY NEW EAVIGATION. CONTRACTOR SHALL PROVIDE REMEDIAL SUPPORT DURING AND AFTER OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EQUIPMENT USED IN EAVIGATION SHALL BE PROTECTED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.

12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EAVIGATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.

13. CONTRACTOR SHALL BACKFILL ALL EAVIGATIONS IN A MANNER AND WITH MATERIALS AS NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EAVIGATION AREA.

14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISCLOSED DURING EAVIGATION WORK.

15. CONTRACTOR SHALL NOT MOVE OR DELIBERATE MARKINGS MADE PURSUANT TO CHAPTER 82-14-3 NMSA 1978 FOR THE PURPOSE OF IDENTIFYING UNDERGROUND FACILITIES FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 NMSA 1978.

16. DAY'S SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS 1984 EDITION AS REVISED THROUGH UPDATE #4.

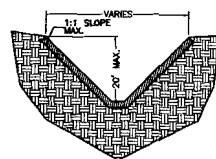
17. THE WATER AUTHORITY (857-5000) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) DAYS PRIOR TO THE EAVIGATION. THE WATER AUTHORITY SHALL BE ADVISED OF THE PURPOSE OF THE EAVIGATION AND THE LOCATION OF ANY UNDERGROUND FACILITIES. THE WATER AUTHORITY OFFICES MAY OPERATE PUBLIC VALVES.

18. ALL EAVIGATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6450 SUBPART P.

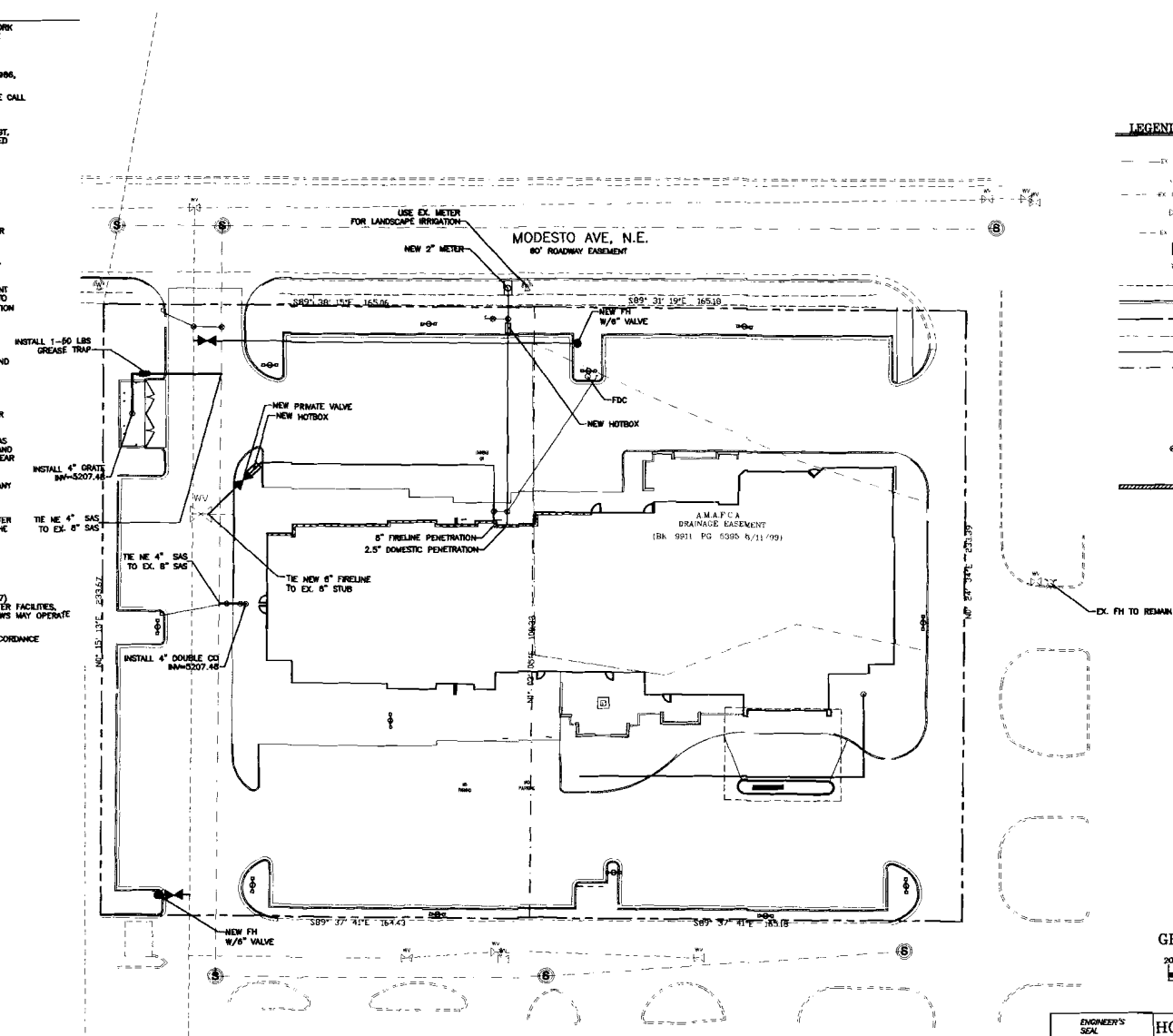
19. ALL IMPACTED STRIPS SHALL BE REPLACED BY CONTRACTOR.

INSTALL - 11  
GRADE  
DAY

THE E  
TO EX



NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 98% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, GAS SERVICES.



The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://ibcwva.org/control/view/463729/>.


--- E 12' 0" ---	EXISTING STORM SEWER LINE
--- E 6' 0" ---	EXISTING SAS MANHOLE
--- E 6' 0" ---	EXISTING SANITARY SEWER LINE
--- E 6' 0" ---	EXISTING VALVE W/BOX
--- E 6' 0" ---	EXISTING WATER LINE
--- E 6' 0" ---	PROPOSED METER
--- E 6' 0" ---	PROPOSED FIRE HYDRANT
--- E 6' 0" ---	EXISTING EDGE OF PAVEMENT
--- E 6' 0" ---	PROPOSED CURB & GUTTER
--- E 6' 0" ---	BOUNDARY LINE
--- E 6' 0" ---	CENTERLINE
--- E 6' 0" ---	RIGHT-OF-WAY
--- E 6' 0" ---	LOT LINES
--- E 6' 0" ---	STREET LIGHTS

LANDFILL GAS VENT LOCATIONS  
REFERENCE LANDFILL GAS MITIGATION  
STUDY PREPARED BY 21A ENGINEERING  
2/26/16 FOR DETAIL  
CONTRACTOR SHALL REMOVE AND REPLACE PAVING  
FOR COA STD DWG #2465 (COLLECTOR).

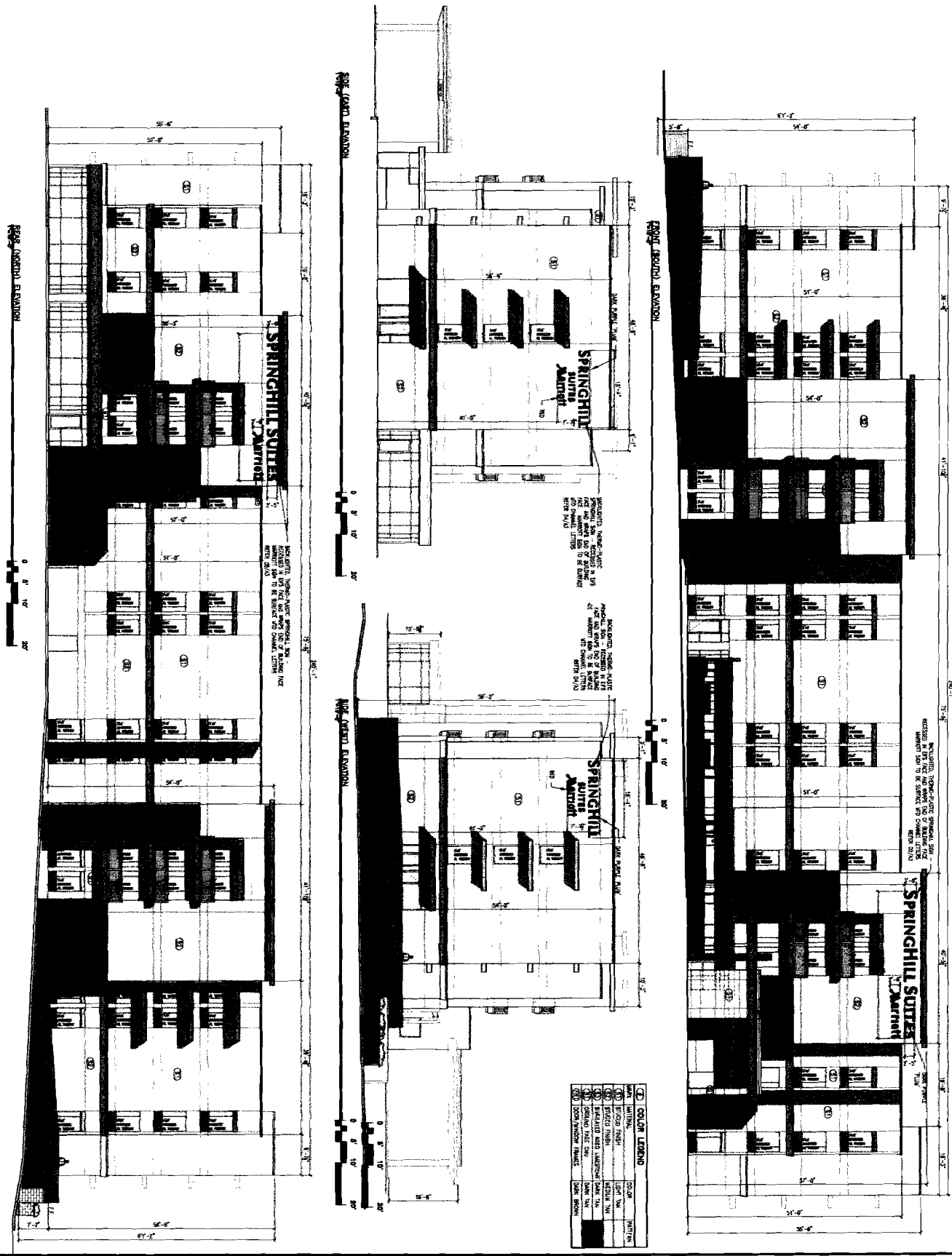


20 10 0 10 20

SCALE: 1" = 20'

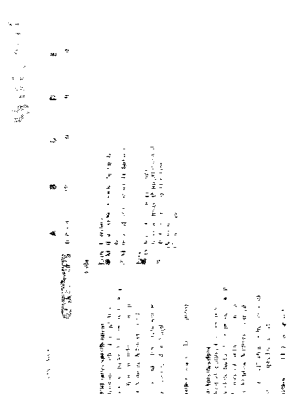
ENGINEER'S SEAL	HOLLY HAMPTON INN	DISPATCH BY WFOU
		DATE 3-17-18
	MASTER UTILITY PLAN	FIELD NUMBER - 12-00-14
	 <p><i>Rio Grande Engineering</i></p> <p>1000 CENTRAL AVENUE SE SUITE 200 ALBUQUERQUE, NM 87102 505-262-1000</p>	SHEET #
DAVID SCULP P.E. #140522		JOB # 21423





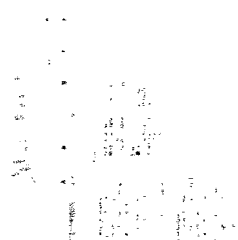


## SPRINGHILL SUITES

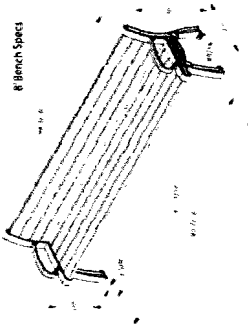


03 BUILDING SIGN - NORTH AND SOUTH ELEVATION

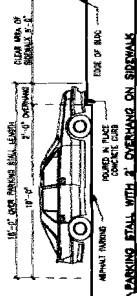
## SPRINGHILL SUITES



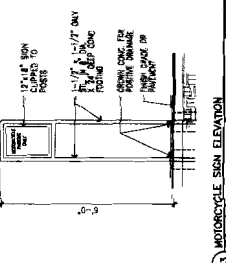
04 BUILDING SIGN - EAST AND WEST ELEVATION



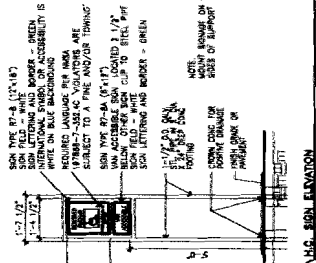
05 BENCH DETAIL



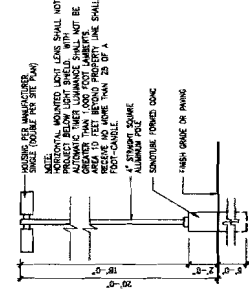
06 PARKING DETAIL WITH A CAR PARKING ON SIDEWALK



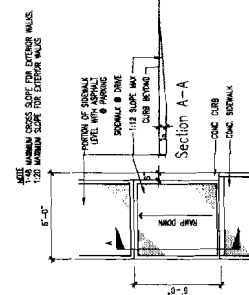
07 MOTORCYCLE SIGN ELEVATION



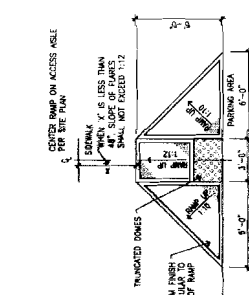
08 LIGHT POLE DETAIL



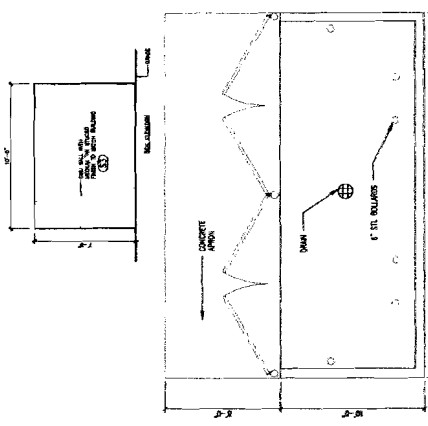
09 RAMP & SIDEWALK



10 RAMP & SIDEWALK



11 RAMP & SIDEWALK



12 RAMP & SIDEWALK

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: RIO GRANDE ENGINEERING DATE OF REQUEST: 3/18/16 ZONE ATLAS PAGE(S): C18

### CURRENT:

ZONING SU-2 M1

PARCEL SIZE (AC/SQ. FT.) 1.82AC

### LEGAL DESCRIPTION:

LOT OR TRACT # 12/13 BLOCK # 18

SUBDIVISION NAME NAA UNIT B TRACT A

### REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☐: From \_\_\_\_\_ To \_\_\_\_\_

SECTOR, AREA, FAC, COMP PLAN ☐

AMENDMENT (Map/Text) ☐

### SITE DEVELOPMENT PLAN:

SUBDIVISION\* ☐ AMENDMENT ☐

BUILDING PERMIT ☒ ACCESS PERMIT ☐

BUILDING PURPOSES ☐ OTHER ☐

\*includes platting actions

### PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☐

### GENERAL DESCRIPTION OF ACTION:

# OF UNITS: 94 rooms

BUILDING SIZE: 59080 (sq. ft.)

**Note:** changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE 

DATE 3/18/16

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☐ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒

MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐

Notes:

**If a TIS is required:** a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

  
TRAFFIC ENGINEER

3/18/16  
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED   /  /    
-FINALIZED   /  /  

TRAFFIC ENGINEER

DATE

Revised January 20, 2011