



Completo Ag 6/14/07

DRB CASE ACTION LOG (SITE PLAN SUBD) + BP

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70023(SPS)

Project # 1004735

Project Name: TRAMWAY RIDGE

Agent: DORMAN & BREEN ARCHITECTS

Phone No: 299-5940

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/13/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: _____
- _____
- _____
- _____

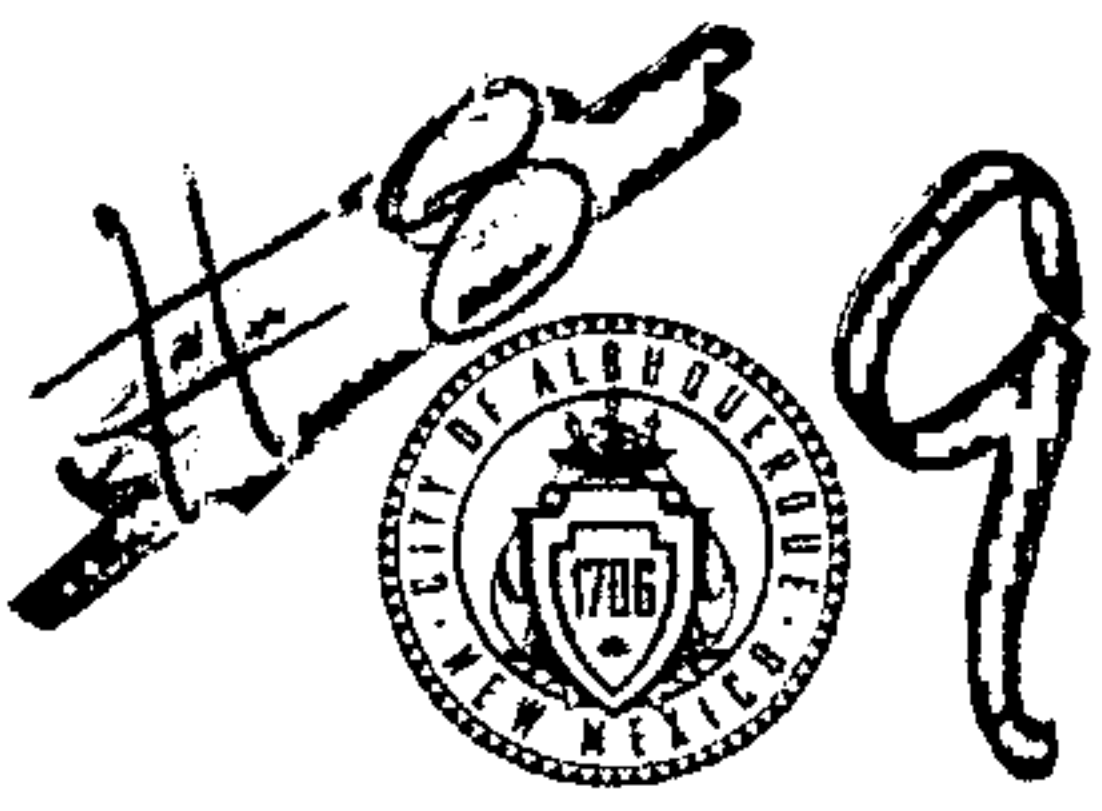
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): Title should be Site Development Plan for Subdivision.
- 3 Copies on Ag
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1004735



DRB CASE ACTION LOG (SITE PLAN SUBD) + BP

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70023(SPS) ⁷⁰⁰²³ Project # 1004735
 Project Name: TRAMWAY RIDGE
 Agent: DORMAN & BREEN ARCHITECTS Phone No: 299-5940

Project Number 1004735

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- _____
- _____
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- _____
- _____
- _____
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- _____
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- _____
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 - Copy of recorded plat for Planning.**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 13, 2007

9:00 A.M.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
David Flores in for Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:25 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000945**
07DRB-00621 Major-Two Year SIA ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for EAGLE ROCK PROPERTIES LLC request(s) the above action(s) for all or any portion of Lot(s) 22, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP located on EAGLE ROCK AVE NE between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). [REF:06DRB-00710] [Deferred from 6/13/07] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 07/18/07.**

2. **Project # 1004368**
07DRB-00656 Major-SiteDev Plan
BldPermit
3. **Project # 1005590**
07DRB-00652 Major-Vacation of
Public Easements
07DRB-00654 Minor-Sketch Plat or
Plan
4. **Project # 1003779**
07DRB-00662 Major-Preliminary Plat
Approval
07DRB-00663 Major-Vacation of
Public Right-of-Way
07DRB-00665 Minor-Sidewalk Waiver
07DRB-00666 Minor-Temp Defer
SDWK

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2, request(s) the above action(s) for all or any portion of Tract(s) 4A2, **RENAISSANCE CENTER**, zoned SU-1, IP USES, located on RENAISSANCE BLVD NE between ALEXANDER NE and CULTURE DR NE containing approximately 1 acre(s). (F-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS AND CROSS PARKING EASEMENTS AND SIDEWALK AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN AND 15 DAY APPEAL PERIOD.**

JEFF MORTENSEN & ASSOCIATES agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or any portion of Tract(s) A & B, **SUSIE RAYOS MARMON ELEMENTARY SCHOOL**, zoned R-D located on ILIFF RD NW between 72ND ST NW and 68TH ST NW containing approximately 15 acre(s). [REF: DRB 97-262] (H-10) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE . THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE GIVEN.**

LARRY READ & ASSOCIATES agent(s) for ADIL RIZVI request(s) the above action(s) for all or any portion of Lot(s) 17 & 18, Block(s) 2, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, **KUMAIL SUBDIVISION**, zoned R-D located on OAKLAND AVE NE , between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/13/07 AND THE APPROVED GRADING PLAN ENGINEER STAMP DATED 01/3/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: PROVIDE A 30- FEET RADIUS ON LOT 7-P-1, A SUBDIVISION DESIGN VARIANCE IS NEEDED FOR STREET CROSS SECTION. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED AS SHOWN OF EXHIBIT C.**

5. **Project # 1000072**
07DRB-00664 Major-Vacation of
Public Easements

D R HORTON request(s) the above action(s) for all or any portion of Tract(s) BB & AA, Block(s) 1, **CARMEL SUBDIVISION**, zoned R-D located on CARMELITO LOOP NE between HOLLY AVE NE and CARMEL AVE NE containing approximately 1 acre(s). [REF: 04DRB-00033] (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE .**

6. **Project # 1002371**
07DRB-00577 Major-Vacation of
Public Easements
07DRB-00576 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, ALBAN HILLS (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 for R-2 with church related uses, located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB01824, 03DRB02150, 05DRB00560, 03DRB02085, 03DRB02086, 03EPC01285, 07DRB00286] [Deferred from 5/30/07 & 06/06/07 & 6/13/07] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 06/27/07.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project# 1004000**
07DRB-70027 MINOR - SDP FOR
BUILDING PERMIT

NCA ARCHITECTS PA agent(s) for NORTH VALLEY SEVENTH DAY ADVENTIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) A-1, **EAGLE RANCH SUBDIVISION, WEST UNIT 2**, zoned SU-1 PDA TO INCLUDE C-3 USES, located on PARADISE BLVD NW BETWEEN EAGLE RANCH NW AND COORS NW containing approximately 3.48 acre(s). [Indef deferred on 6/13/07] (C-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

8. **Project# 1005317**
07DRB-70036 EPC APPROVED SDP
FOR BUILDING PERMIT

SITES SOUTHWEST agent(s) for CITY OF ALBUQUERQUE WATER UTILITY DEPT., WATER RESOURCES DIVISION request(s) the above action(s) for all or a portion of Tract(s) A, **ACADEMY ACRES SUBDIVISION, UNIT 5**, zoned C-3, located on FOREST HILLS DR. NE BETWEEN PAN AMERICAN HWY. NE AND PRESBYTERIAN HEALTHCARE SERVICES containing approximately 4.73 acre(s). [**Carol Toffaleti, EPC Case Planner**] (E-17/18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A COPY OF THE LEASE AGREEMENT AND FUTURE SIDEWALK AND LANDSCAPING PLACEMENT AND TO PLANNING FOR 3 COPIES.**

9. ~~**Project# 1004735**~~
07DRB-70022 EPC APPROVED SDP
FOR BUILD PERMIT
07DRB-70023 EPC APPROVED SDP
FOR SUBDIVISION

DORMAN & BREEN ARCHITECTS agent(s) for TRAMWAY COMMUNITY CHURCH request(s) the above action(s) for all or a portion of Lot(s) 1-A, **TRAMWAY RIDGE**, zoned SU-1 FOR CHURCH AND RELATED FACILITIES, located on TRAMWAY RIDGE NE BETWEEN MANITOBA NE AND MONTGOMERY BLVD NE containing approximately 3.938 acre(s). [**Catalina Lehner, EPC Case Planner**] [*Deferred from 06/06/07*] (F-22) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND DELEGATED TO PLANNING FOR 3 COPIES. THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND DELEGATED TO PLANNING FOR 3 COPIES.**

10. **Project# 1006505**
07DRB-70021 MINOR - SDP FOR
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for EDDIE CORLEY JR & SR LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & a portion 21, Tract(s) A, Block(s) 9, **NORTH ALBUQUERQUE ACRES, UNIT B**, (to be known as **CORLEY'S ALBUQUERQUE**) zoned SU-2 FOR IP USES, located on EAGLE ROCK ROAD NE BETWEEN EAST FRONTAGE ROAD NE AND SAN PEDRO NE containing approximately 3.9 acre(s). [*Deferred from 06/06/07 & 6/13/07*] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 06/20/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1004871**
07DRB-70028 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for ALBUQUERQUE INN KEEPER, LLC request(s) the above action(s) for all or a portion of Tract(s) 1-A & 2-A, **CAVAN SUNPORT CENTRE**, zoned SU-1 FOR PERMISSIVE O-1, C-2 & IP USES, located on ROSS AVE SE BETWEEN YALE BLVD SE AND INTERNATIONAL AVE SE containing approximately 2.9833 acre(s). [REF: Z-93-122, DRB-94-599] [*Indef deferred from 6/13/07*] (L-16) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
12. **Project# 1003692**
07DRB-70035 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL

WILSON AND COMPANY INC agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) A, B, AND C, LANDS OF ALBUQUERQUE PUBLIC SCHOOLS (to be known as **HEIGHTS COMMUNITY CENTER**) zoned SU-2 for O-1, located on BUENA VISTA AVE SE BETWEEN ST. CYR AVE SE AND COAL AVE SE containing approximately 7.916 acre(s)(K-15) [*Deferred from 6/13/07*] **DEFERRED AT THE AGENT'S REQUEST TO 06/20/07.**
13. **Project# 1006518**
07DRB-70039 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL

GEORGE T. RODRIGUEZ - DEVELOPMENT CONSULTANT agent(s) for COE AND PETERSON, LLC request(s) the above action(s) for all or a portion of Block(s) 6, Tract(s) 1, **DUKE CITY INDUSTRIAL AREA**, zoned C-3, located on RICHMOND DR NE BETWEEN CLAREMONT AVE NE AND LOS ARBOLES AVE NE containing approximately .856 acre(s). (H-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH THE FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CLOSURE OF THE DRIVE PADS ON LOS ARBOLES AND DEDICATION ALONG CLAREMONT AND TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

14. **Project# 1005141**
07DRB-70037 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL

ABQ ENGINEERING agent(s) for LOUISE ABQ 2005, LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) L-1, **PANORAMA HEIGHTS**, zoned O-1, located on INDIAN SCHOOL RD NE BETWEEN EASTRIDGE DR NE AND CONSTITUTION AVE NE containing approximately 7.71 acre(s). (J-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 06/13/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT APPROVAL: A GRADING AND DRAINAGE PLAN AS REQUIRED AND THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR SIA.**

15. **Project # 1003790**
07DRB-00299 Minor- Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or any portion of Tract(s) B, C-1 & C-2, **NORTH GATEWAY**, zoned IP located on BALLOON FIESTA PARKWAY NE between SAN MATEO BLVD NE and I-25 NE containing approximately 23 acre(s). [*Final plat was indef deferred 4/4/07*] (B-18) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CLARIFICATION OF LANGUAGE ON NOTE 8 AND PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

16. **Project# 1002743**
07DRB-70024 MAJOR - FINAL PLAT
APPROVAL

DAC ENTERPRISES INC agent(s) for HARVEST LAND LLC request(s) the above action(s) for all or any portion of Tract(s) I & J, **LA LUZ DEL OESTE**, zoned SU-1 PRD located on COORS NW between WESTERN TRAILS NW and DELLYNE NW containing approximately 4 acre(s). [*Deferred from 6/06/07*] (F-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK. . . .

17. Approval of the Development Review Board Minutes for June 6, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR JUNE 6, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10: 25 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004735

AGENDA ITEM NO: 9

SUBJECT:

Site Plan for Building Permit
Site Plan for Subdivision

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

(F-22/D011A5)

DATE: JUNE 13, 2007

INTER-OFFICE MEMO

#8

DATE: June 4, 2007
TO: Sheran Matson, DRB Chair
FROM: Catalina Lehner, Senior Planner *cll*
RE: Project #1004735, Tramway Community Church

On May 17, 2007, the EPC approved a Site Development Plan for Building Permit Amendment (with conditions) and a Site Development Plan for Subdivision Amendment (with conditions) for Lot 1-A, Tramway Ridge. Staff met with the applicant, Ron James of Dorman & Breen Architects, on May 25, 2007 to check for compliance with the Conditions of Approval.

The Site Development Plan for Subdivision and the Site Development Plan for Building Permit satisfactorily meet the EPC conditions of approval as elaborated in the Official Notification of Decision.

If you have any questions regarding this case, please call me at 924-3935.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 6, 2007

9:00 a.m.

MEMBERS:

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Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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A. Call to Order: 9:00 A.M.

Adjourned: 11:15 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001140**
07DRB-00606 Major-Two Year SIA

SCOTT COLE request(s) the above action(s) for all or any portion of Lot(s) 21, Tract(s) A, Block(s) 26, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 for IP, located on EAGLE ROCK NE between SAN PEDRO NE and LOUISIANA NE containing approximately 1 acre(s). [REF: 01DRB00391, 03DRB00557, 05DRB00717] (C-18) **ONE YEAR EXTENTION OF THE SIA WAS APPROVED.**

2. **Project # 1005546**
07DRB-00589 Major-Vacation of Pub
Right-of-Way

SURV TEK INC agent(s) for BLACK FARMS LLC request(s) the above action(s) for **BLACK FARMS ESTATE, UNIT 2**, zoned RA-1 located on IRVING BLVD NW between VALLEY VIEW DR NW and RIVERFRONTE DR NW. [Deferred from 06/06/07] (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 9/5/07.**

3. **Project # 1002962**
07DRB-00613 Major-SiteDev Plan Subd
07DRB-00615 Major-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC agent(s) for CANTATA AT THE TRAILS INC request(s) the above action(s) for Tract 5 and a portion of Tract 4 OS, THE TRAILS, UNIT 2, (to be known as **CANTATA AT THE TRAILS**) zoned SU-2 UR located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE NW containing approximately 25 acre(s). [REF: 04DRB-01322] *[Deferred from 06/06/07]* (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

4. **Project # 1003094**
07DRB-00616 Major-Preliminary Plat
Approval
07DRB-00617 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for ALVARADO-SG LLC C/O ROMERO ROSE LLC request(s) the above action(s) for all or any portion of Lot(s) 1-24, Block(s) 30, NEW MEXICO TOWN COMPANYS ORIGINAL TOWNSITE (to be known as **SILVER TOWNHOMES**) zoned SU-3 housing focus, located on SILVER AVE SW between 2nd ST SW and 3rd ST SW containing approximately 2 acre(s). [REF: 03DRB01886, 03DRB01997, 06DRB01787] (K-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/06/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/10/07 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

5. **Project # 1005354**
07DRB-00614 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND TRUST request(s) the above action(s) for all or any portion of Lot(s) B-2-A, **DUKE CITY LUMBER COMPANY ADDITION**, zoned SU2-S-I, located on BELLAMAH AVE NW between 18th ST NW and 19th ST NW containing approximately 8 acre(s). [REF: 07DRB-00499, 07DRB-00500] (J-13) **THE VACATION WAS APPROVED AS SHOWN OF EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITION OF FINAL PLAT: THE EXISTING WATERLINE MUST BE RELOCATED AND ABANDONED AS REQUIRED BY THE WATER UTILITY DEPARTMENT.**

6. **Project # 1005564**
07DRB-00619 Major-Preliminary Plat
Approval

MARK SNAPP agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or any portion of Tract(s) 212-BIA & 210-BIA, **RIO PERLES ADDITION**, zoned R-2, located on AMADO NW between RICE RD NW and SERNA RD NW containing approximately 1 acre(s). [Deferred from 06/06/07] (H-12) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

7. **Project # 1002371**
07DRB-00577 Major-Vacation of Public
Easements
07DRB-00576 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for HOFFMANTOWN WEST CHURCH request(s) the above action(s) for all or any portion of Tract(s) 1-A-1, Block(s) 15, ALBAN HILLS (to be known as **HOFFMANTOWN WEST CHURCH**) zoned SU-1 for R-2 with church related uses, located on LA ORILLA RD NW between COORS BLVD NW and the CORRALES DRAIN containing approximately 17 acre(s). [REF: 02DRB01824, 03DRB02150, 05DRB00560, 03DRB02085, 03DRB02086, 03EPC01285, 07DRB00286] [Deferred from 5/30/07 & 06/06/07] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 6/20/07.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

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8. ~~Project# 1004735~~
07DRB-70022 EPC APPROVED SDP
FOR BUILD PERMIT
07DRB-70023 EPC APPROVED SDP
FOR SUBDIVISION

DORMAN & BREEN ARCHITECTS agent(s) for TRAMWAY COMMUNITY CHURCH request(s) the above action(s) for all or a portion of Lot(s) 1-A, **TRAMWAY RIDGE**, zoned SU-1 FOR CHURCH AND RELATED FACILITIES, located on TRAMWAY RIDGE NE BETWEEN MANITOBA NE AND MONTGOMERY BLVD NE containing approximately 3.938 acre(s). [**Catalina Lehner, EPC Case Planner**] [Deferred from 06/06/07] (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 6/13/07.**

9. **Project# 1006505**
07DRB-70021 MINOR - SDP FOR
BUILDING PERMIT

CLAUDIO VIGIL ARCHITECTS agent(s) for EDDIE CORLEY JR & SR LLC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19, 20 & a portion 21, Tract(s) A, Block(s) 9, NORTH ALBUQUERQUE ACRES, UNIT B, (to be known as **CORLEY'S ALBUQUERQUE**) zoned SU-2 FOR IP USES, located on EAGLE ROCK ROAD NE BETWEEN EAST FRONTAGE ROAD NE AND SAN PEDRO NE containing approximately 3.9 acre(s). [Deferred from 06/06/07] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 6/13/07.**

10. **Project # 1003993**
07DRB-00591 Minor-SiteDev Plan
BldPermit/EPC

SUJAY THAKUR request(s) the above action(s) for all or any portion of Tract(s) A-37-1, NE UNIT TOWN OF ATRISCO GRANT (to be known as **GLOBAL STORAGE**) zoned SU-1 O-1 located on COORS BLVD NW between ST JOSEPHS NW and SEQUOIA NW containing approximately 4 acre(s). [REF: 07EPC-00113, 07EPC-00112, 06DRB01003, 06DRB01005] [**Maggie Gould, EPC Case Planner**] [*Indef deferred on 5/16/07*] [*Deferred from 5/23/07*] (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/6/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR INFRASTRUCTURE LANGUAGE, SMALL CAR SPACES TO BE PAINTED ON PAVEMENT, AISLE WIDTHS TO BE LABELLED AND 3 COPIES OF THE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1002743**
07DRB-70024 MAJOR - FINAL PLAT
APPROVAL

DAC ENTERPRISES, INC agent(s) for HARVEST LAND, LLC request(s) the above action(s) for all or a portion of Tract(s) I & J, **LA LUZ DEL OESTE**, zoned SU-1 FOR PRD, located on COORS BLVD NW BETWEEN WESTERN TRAIL NW AND DELLYNE NW containing approximately 4 acre(s). [*Deferred from 6/6/07*] (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/13/07.**

12. **Project# 1006507**
07DRB-70025 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 17, 18, 19 & 20, Block(s) 30, RAYNOLDS ADDITION (to be known as **14TH & COAL SUBDIVISION, UNIT 1**) zoned SU-2/MFR, located on 14TH ST SW BETWEEN IRON SW AND LEAD SW containing approximately 0.33 acre(s). [REF: DRB 1005244] (K-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/6/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/1/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: P-2 LOT DESIGNATIONS ARE REQUIRED ON ALL LOTS. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project# 1006509**
07DRB-70026 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

COMMUNITY SCIENCES CORP agent(s) for K & M DEVELOPMENT INC. request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 17, 18 AND 19, Block(s) 29, **HUNING CASTLE ADDITION** zoned SU-2 FOR MFR, located on 14TH ST SW BETWEEN IRON SW AND LEAD SW containing approximately .68 acre(s). [REF: 1005244] (K-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/6/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/1/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: P-2 LOT DESIGNATIONS ARE REQUIRED ON ALL LOTS. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

14. **Project# 1005182**
07DRB-70014 AMENDMENT TO
PRELIMINARY PLAT

WILSON AND COMPANY INC agent(s) for LA CUENTISTA II LLC request(s) the above action(s) for all or a portion of Tract(s) C, **LA CUENTISTA SUBDIVISION, UNIT 2**, zoned SU-2 SRSL, located on ROSA PARKS RD NW between ALOE RD NW and KIMMICK DR NW containing approximately 35.4714 acre(s). [REF: 1000922] [Deferred from 5/30/07] (C-10 & C-11) **WITH THE SIGNING OF THE NEW INFRASTRUCTURE LIST DATED 6/6/07 THE PREVIOUS INFRASTRUCTURE LIST IS VOID, HOWEVER, THIS INFRASTRUCTURE LIST WILL HAVE THE SAME DATE AS THE VOIDED ONE. THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT APPROVAL: REVISE GATE QUEQUING ANALYSIS, RE-EVALUATE RIGHT-OF-WAY WIDTHS AT ENTRANCES OF SUBDIVISION. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

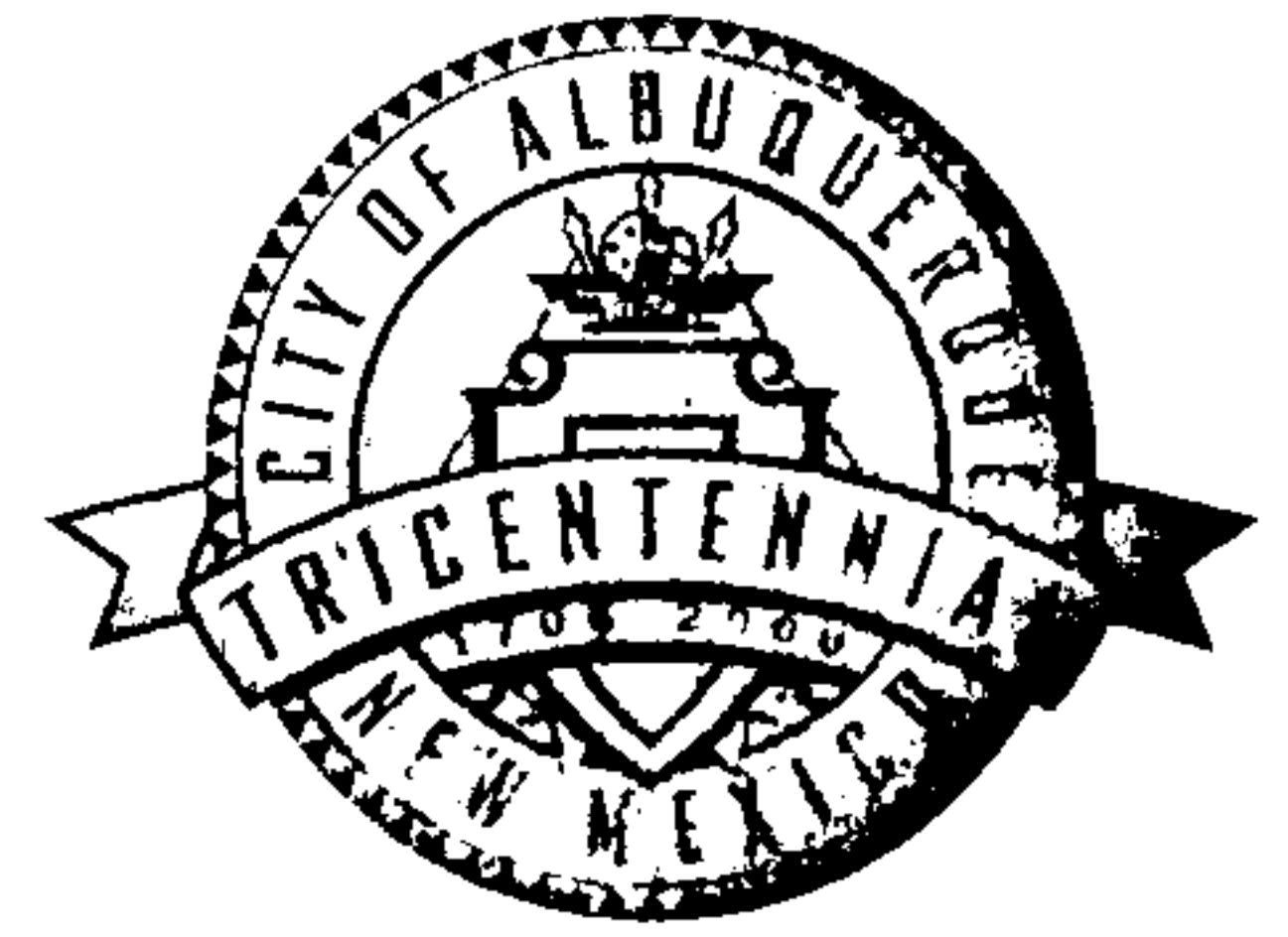
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

NO SKETCH PLATS THIS WEEK

15. Approval of the Development Review Board Minutes for May 30, 2007. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MAY 30, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:15 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004735

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for Building Permit
Site Plan for Subdivision

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

6-13-07

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JUNE 6, 2007

(F-22/D011A5)

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME DORMAN & BREEN ARCH.
AGENT TRAMWAY COMMUNITY CHURCH
ADDRESS _____
PROJECT & APP # 1004735/07DRB 70022, 70023
PROJECT NAME TRAMWAY RIDGE

\$ _____ 441032/3424000 Conflict Management Fee
\$ 50.00 441006/4983000 DRB Actions DEFERRAL
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

6/11/2007 10:42AM LOC: ANNX
RECEIPT# 00077882 WS# 006 TRANS# 0019
Account. 441006 Fund 0110
Activity 4983000 TRSCCS
Trans Amt \$50.00
J24 Misc \$50.00
VI \$50.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/29/2007 Issued By: PLNCAS

Permit Number: 2007-070-022

Application Number: 07DRB-70022, Epc Approved Sdp For Build Permit

Address:

Location Description: TRAMWAY RIDGE NE BETWEEN MANITOBA NE AND MONTGOMERY BLVD NE

Project Number: 1004735

Applicant:
Tramway Community Church

4800 Tramway Ridge Ne
Albuquerque, NM 87112

Agent / Contact:
Dorman & Breen Architects

13804 Rebonito Court Ne
Albuquerque, NM 87112

hrj_arc@cybermesa.com

Application Fees:

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City of Albuquerque
Treasury Division

5/29/2007 10:03AM LOC: ANNX
RECEIPT# 00077271 WSH: 006 TRANS# 0017
Account 441032 Fund: 0110
Activity: 3424000 TRSCCS
Trans Amt \$20.00
J24 Niéc \$20.00
VI \$20.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): DORMAN + BREEN ARCHITECTS PHONE: 505 299.5940
 ADDRESS: 13604 REBONITO COURT NE FAX: 505.296.0431
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: hry_arch@cybermesa.com

APPLICANT: TRAMWAY COMMUNITY CHURCH PHONE: _____
 ADDRESS: 4800 TRAMWAY RIDGE NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: DRB APPROVAL OF SDP for Subdivision and SDP for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 1-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: TRAMWAY RIDGE
 Existing Zoning: SU-1/for Church use Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): F-22-7 UPC Code: _____

CASE HISTORY: Catalina Lehner, EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): _____

DRB 97-267; EPC 97-27, EPC 07 EPC 00441/00443

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 3.9380±
 LOCATION OF PROPERTY BY STREETS: On or Near: TRAMWAY RIDGE off TRAMWAY BLVD
 Between: Montoya and Montgomery

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5/29/07
 (Print) H. RONALD JAMES JR. Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	07DRB - 70022	SBV	_____	\$ 0
<input type="checkbox"/> All fees have been collected	07DRB - 70023	SPB	_____	\$ 0
<input type="checkbox"/> All case #s are assigned	_____	CMF	_____	\$ 20.00
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.F. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.F. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>June 6, 2007</u>			Total \$ <u>20.00</u>

[Signature] 5-29-07
 Planner signature / date

Project # 1004735

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 ___ Solid Waste Management Department signature on Site Plan
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist
 ___ Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
 Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 Solid Waste Management Department signature on Site Plan for Building Permit
 Zone Atlas map with the entire property(ies) clearly outlined
 Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 Infrastructure List, if relevant to the site plan
 Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

H. RONALD JAMES, Jr.
 Applicant name (print)
H. Ronald James Jr. 5/29/07
 Applicant signature / date

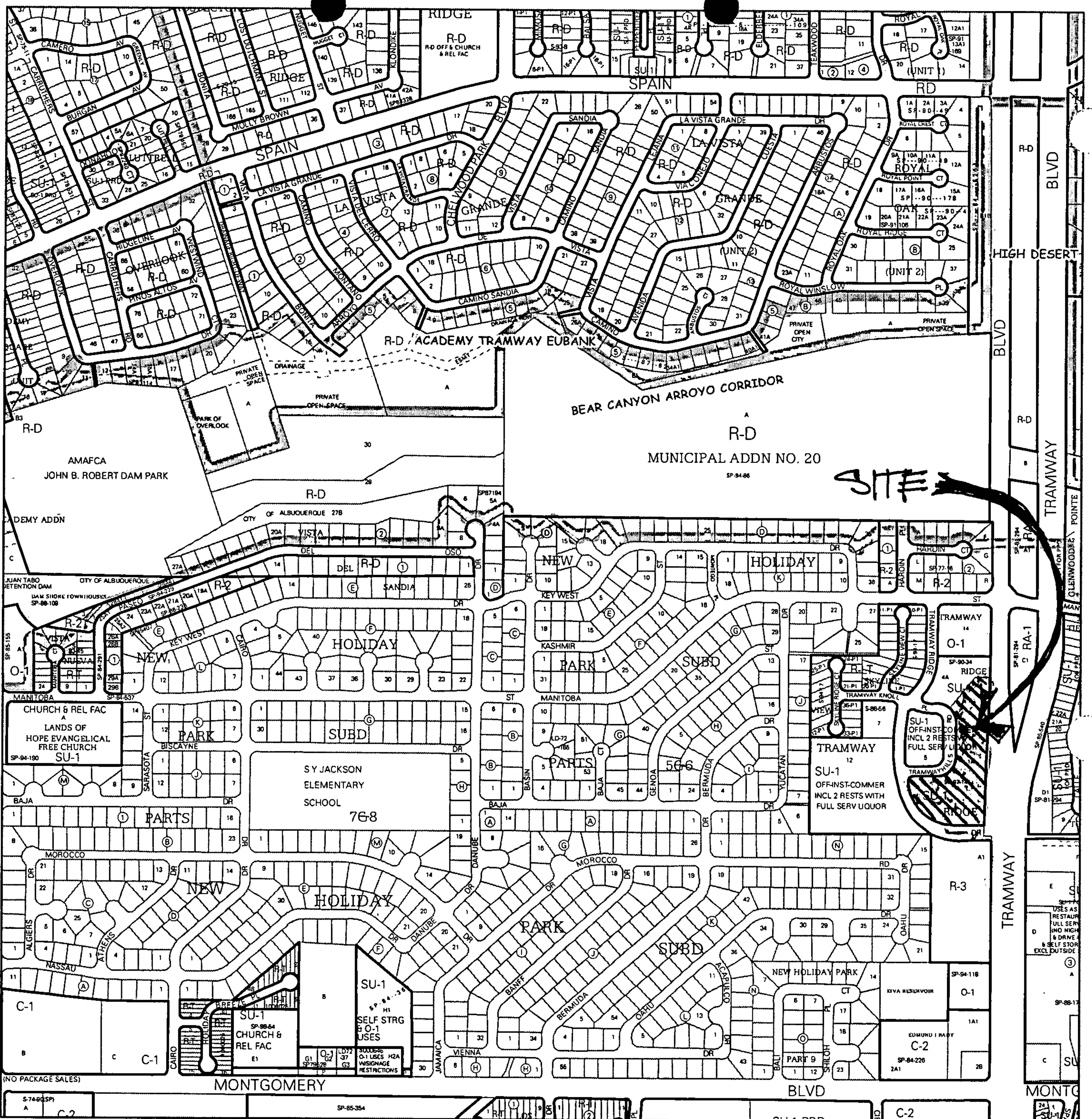


Form revised APRIL 2007

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
 07DRB - 700 22
 07PRB - 700 23

Andrew J. Inca
 Planner signature / date
Project # 1004735



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-22-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Map amended through: 5/17/2007

0 750 1,500 Feet

Ms. Catalina Lehner, AICP
Senior Planner
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87103

May 25, 2007

Dear Ms. Lehner,

The following is our written response to the conditions set for from the hearing of the Environmental Planning Commission's (EPC) approval regarding Tramway Community Church, case numbers 07EPC00441/00443. This response is submitted as required to allow us to progress to the next phase which is approval by the Design Review Board (DRB). Our responses are as follows:

CONDITIONS OF APPROVAL - 07EPC 00441, May 17, 2007- Site Development Plan for Subdivision Amendment

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

Response: This letter is the required response on how we have met the conditions set forth by the EPC. We are aware that unauthorized changes may result in forfeiture of approvals. A letter shall accompany future developments explaining any modifications along with justification for those modifications.

2. Prior to final DRB sign off, the applicant shall meet with the Development Review staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.

Response: A meeting was held on May 25, 2007 at 2:15 pm with the Staff Planner in charge of our case, Ms. Catalina Lehner of the City of Albuquerque Planning Department to review our response. Evidence of this meeting will be attached.

3. Walls/Fencing: Walls and fencing shall be of earth tone colors compatible with building architecture.

Response: All walls and fences shall meet the "Design Standards" set forth on the site plan.

4. Landscaping:

A. A landscape theme shall be elaborated upon in the Landscape Standards.

Response: A note was added that states: "The landscaping theme shall use existing plant types that are currently on site. High water using plants from the existing planting palette shall be substituted with low water use plants. Native plants shall be used in undeveloped areas to match existing planting."

B. The following plants shall not be used for the future development phases:
Ash, Redbud, Austrian Pine, Flowering Pear and Juniper.

Response: These plants will not be used in future plantings, and are removed from the Design Standards and Plant Legend/Proposed.

5. Circulation: Pedestrian circulation shall be discussed in Section D.

Response: A note was added to the Design Standards that states: "Existing pedestrian circulation pattern is from the parking area to the North of the facility to the East side of the building. This pattern will change very little as the main entrance to the facility will remain in the vicinity of the current location. Pedestrian circulation patterns in the future shall be maintained by the use of sidewalks, landscaping, and other site amenities to direct the pedestrian to the entrance."

6. Lighting: Any new light poles shall comply with the Zoning Code §14-16-3-9. Parking lot lighting shall be a maximum of 20 ft. tall from top to grade for sites less than 5 acres.

Response: The note was revised from: "Any added site lighting shall match the existing pole lights in appearance, style, color, and be equal or less than in height."

To read: "All future parking lot pole lights shall match the existing pole lights in appearance, style, color, and be limited to a maximum height of 20 feet from top to grade."

7. Signage: The size, materials and colors of the existing monument sign shall be specified.

Response: A note was added: "Existing sign is approximately 6'-0" long, 5'-4" high, and 2'-8" wide of masonry construction. Finish is stucco of same material and color as main building. Incorporated on both sides of the sign is the Church logo and name."

8. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDQT:

Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:

- A. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

Response: To our knowledge, all have been completed and/or provided for.

- B. If applicable (i.e. existing building expansion only), the Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg 2441).

Response: To our knowledge, all have been completed and/or provided for. All new infrastructure will be constructed according to the City Standards.

- C. Site plan shall comply and be designed per DPM Standards.

Response: Current and future site modifications will be designed to comply with DPM Standards.

CONDITIONS OF APPROVAL - 07EPC 00443, May 17, 2007- Site Development Plan for Building Permit Amendment

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements

have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

Response: This letter is the required response on how we have met the conditions set forth by the EPC. We are aware that unauthorized changes may result in forfeiture of approvals. A letter shall accompany future developments explaining any modifications along with justification for those modifications.

2. Prior to final DRB sign off, the applicant shall meet with the Development Review staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.

Response: A meeting was held on May 25, 2007 at 2:15 pm with the Staff Planner in charge of our case, Ms. Catalina Lehner of the City of Albuquerque Planning Department to review our response. Evidence of this meeting will be attached.

3. The site development plan for building permit amendment request shall comply with the updated design standards in the site development plan for subdivision amendment request (07EPC-00441).

Response: The Design Standards have been modified and the documents modified to comply where required.

4. Parking: Three motorcycle parking spaces shall be provided in a visible location to comply with Zoning Code §14-16-3-1, Off-Street Parking regulations.

Response: Provided and indicated on Site Plan.

5. Walls/Fences: The height and material of the existing wall on the building's northeastern side shall be specified.

Response: A note was added that states: "Existing 4'-8" high masonry wall with stucco finish to match building."

6. Landscaping-Plants:

- A. The landscaping plan shall accurately depict the on-site vegetation and distinguish between existing and proposed landscape, especially for the Phase II expansion area.

Response: The landscaping plan depicts the existing vegetation. Graphics indicate the difference between existing and proposed landscape. Phase II landscape has been indicated.

- B. Additional plants shall be added to the Phase I and Phase II expansion areas to comply with Zoning Code § 14-16-3- 10(G)(3), which requires 75% coverage with living, vegetative materials.

Response: Planting is designed to provide a minimum of 75% coverage at plant maturity. Plants have been added to Phase II to provide the required 75% coverage.

- C. Purple Robe Locust shall replace Modesto Ash in the Phase I area.

Response: Purple Robe Locust has replaced Modesto Ash in Plant Legend/Proposed.

- D. Chamisa or Artemesia shall replace Shrubby Cinquefoil, a medium+ water user, in the Phase I area.

Response: Due to some people's allergy to Chamisa, we prefer to not place them near entrances. Artemesia will be used and is indicated on the plan to replace the Shrubby Cinquefoil in Phase I.

- E. The landscape plan shall indicate what plants will be used in the Phase II area and distinguish between existing and proposed plants.

Response: Planting area at Phase II has been further clarified and planting has been added. Difference between new and existing planting has been indicated.

7. Landscaping-Other:

- A. Any future tree wells shall comply with Zoning Code §14-16-3-10(G)(l)(c), which requires a minimum of 36 square feet for tree wells in off-street parking areas.

Response: All future site design and construction will comply with City Codes, Regulations, and Standards.

- B. Any landscaping for the playground area shall be specified.

Response: Playground area shall be future with 12" deep of sand and is indicated on the Landscaping Drawings.

C. Irrigation specifications, including number of emitters and rate, shall be shown.

Response: Irrigation specifications have been modified and are indicated on the Landscape Plan.

8. Lighting: Any new light poles shall comply with the Zoning Code §14-16-3-9. Parking lot lighting shall be a maximum of 20 ft. tall from top to grade for sites less than 5 acres.

Response: The note was revised from: "Any added site lighting shall match the existing pole lights in appearance, style, color, and be equal or less than in height."

To read: "All future parking lot pole lights shall match the existing pole lights in appearance, style, color, and be limited to a maximum height of 20 feet from top to grade."

9. Outdoor Space: A bench shall be added near the church's entrance to comply with Zoning Code §14 16-3-18(C)(3).

Response: A bench has been added at the entrance to the building and is indicated on the Site Plan.

10. Refuse Enclosure: The refuse enclosure, visible from the internal street, shall be gated.

Response: A gate shall be added to the trash enclosure and is indicated on the Site Plan.

11. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:

A. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

Response: To our knowledge, all have been completed and/or provided for.

B. If applicable (i.e. existing building expansion only), the Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will

**DORMAN + BREEN
ARCHITECTS**

include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg 2441).

Response: To our knowledge, all have been completed and/or provided for. All new infrastructure will be constructed according to the City Standards.

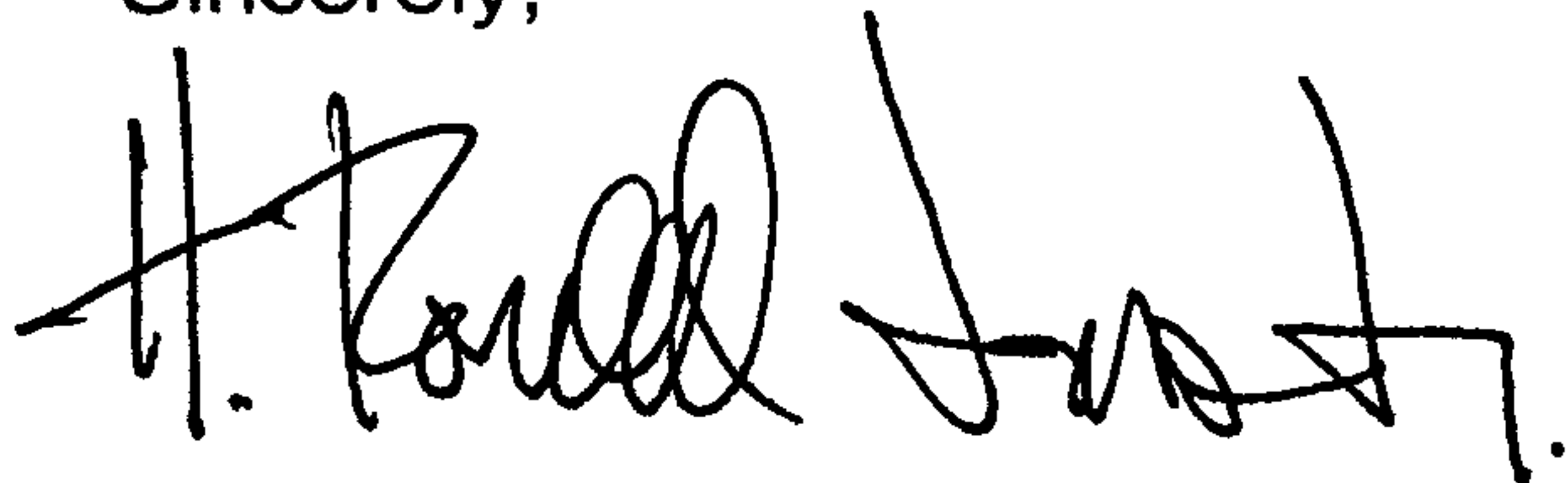
C. Site plan shall comply and be designed per DPM Standards.

Response: Current and future site modifications will be designed to comply with DPM Standards.

We believe that we have responded and accurately meet all conditions of the EPC approval. We request that you provide us with evidence of our meeting so that we are able to submit for DRB approval by the next submission deadline.

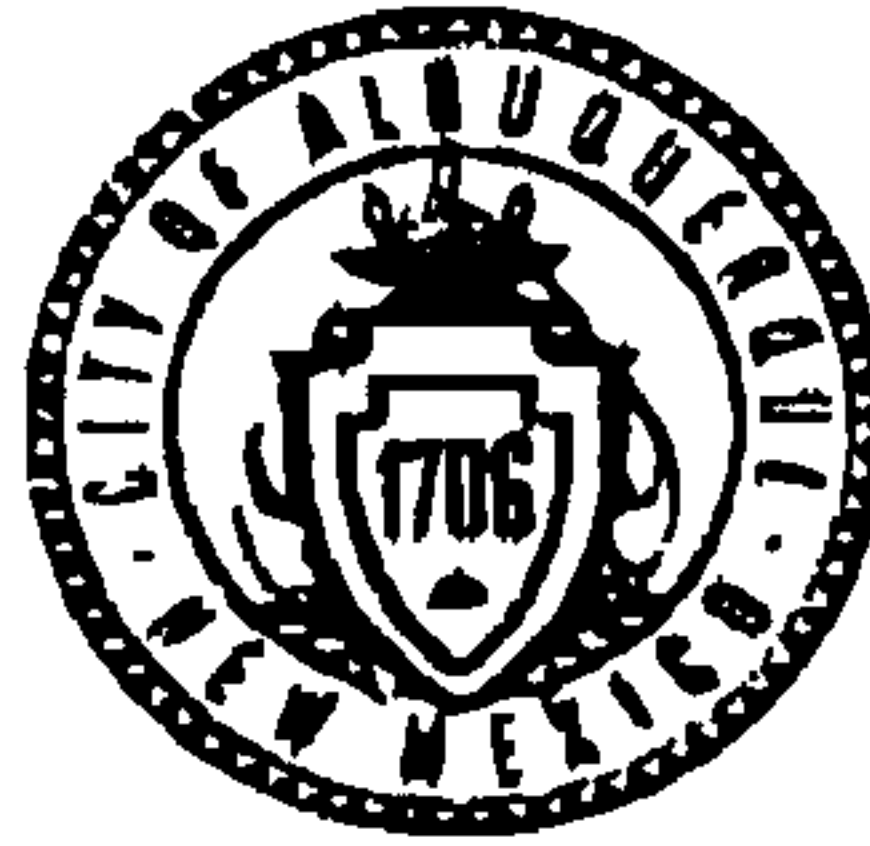
Your attention to and assistance on this project to obtain EPC and BRB approvals has been greatly appreciated.

Sincerely,



H. Ronald James, Jr.

Architect



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 18, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1004735*
07EPC-00441 EPC Site Development Plan-
Subdivision
07EPC-00443 EPC Site Development Plan-
Building Permit

Tramway Community Church
4800 Tramway Ridge NE
Albuq. NM 87111

LEGAL DESCRIPTION: for all or a portion of Lot 1-A, Tramway Ridge, zoned SU-1 for Office-institutional-commercial including 2 restaurants with full service liquor, located on TRAMWAY RIDGE Dr. NE, between MONTGOMERY BLVD. NE and MANITOBA St. NE, containing approximately 4 acres. (F-22)
Catalina Lehner, Staff Planner

On May 17, 2007 the Environmental Planning Commission voted to approve Project 1004735/ 07EPC 00441, a Site Development Plan for Subdivision Amendment for Lot 1-A, Tramway Ridge, zoned SU-1 for office-institutional-commercial including 2 restaurants with full-service liquor, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is for an amendment to a site development plan for subdivision for Lot 1-A of Tramway Ridge, an approximately 4 acre site located on the west side of Tramway Blvd. between Manitoba St. and Tramway Ridge Dr. NE. An existing church occupies the subject site.
2. A request for an amendment to a site development plan for building permit (07EPC-00443) for Phase I and Phase II of the church expansion accompanies this request.
3. The applicant proposes to amend the existing site development plan for subdivision for the Deer Ridge Business Center (1986) to clarify the allowable height limit and change the setback requirements. Updated design standards for the future development phases are proposed. Delegation of approval authority to the Development Review Board (DRB) is requested.

OFFICIAL NOTICE OF DECISION**MAY 17, 2007****PROJECT #1004735****Page 2 OF 7**

4. The subject site is zoned "SU-1 for office-institutional-commercial including 2 restaurants with full-service liquor." The church-related institutional uses that will take place in the expanded facility are allowed under the current zoning.
5. The subject site lies within the boundaries of the Established Urban Area of the Comprehensive Plan and is located in the Glenwood Hills Village Community Activity Center.
6. The request *further*s the following applicable Comprehensive Plan Goals:
 - A. Developing and Established Urban Areas Goal- The additions will help create a quality urban environment and perpetuate the tradition that communities are an identifiable part of the metropolitan area.
 - B. Activity Centers Goal- The additions will help strengthen an existing use, which provides services that benefit the surrounding community, in a designated Activity Center.
7. The request *further*s Land Use Policy II.B.5m-design/quality of the visual environment. Views from Tramway Boulevard and the site will be maintained. The design's consistency with the existing structure will maintain the quality of the visual environment.
8. Zoning Code §14-16-3-10, Landscaping Regulations, requires that all landscape areas 36 square feet or larger be covered with living, vegetative materials over at least 75% of the required landscape area. The proposed landscaping plan does not meet this requirement in places.
9. Zoning Code §14-16-3-9, Area Lighting Regulations, requires that light poles do not exceed 20 feet from top to grade for sites that are less than five acres. Any future light poles, new or replacement, will need to comply.
10. Zoning Code §14-16-3-18(C)(3) contains design standards applicable to institutional uses which state that major facades greater than 100 ft. in length shall incorporate outdoor seating. No outdoor seating is proposed.
11. A Traffic Impact Study (TIS) was not required.
12. A facilitated meeting was held as part of a neighborhood association board meeting. There is no known opposition, though one neighbor expressed concern that not enough information was presented at the meeting and another felt there was not enough time to thoughtfully comment.

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CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Development Review staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. Walls/Fencing: Walls and fencing shall be of earth tone colors compatible with building architecture.
4. Landscaping:
 - A. A landscape theme shall be elaborated upon in the Landscape Standards.
 - B. The following plants shall not be used for the future development phases: Ash, Redbud, Austrian Pine, Flowering Pear and Juniper.
5. Circulation: Pedestrian circulation shall be discussed in Section D.
6. Lighting: Any new light poles shall comply with the Zoning Code §14-16-3-9. Parking lot lighting shall be a maximum of 20 ft. tall from top to grade for sites less than .5 acres.
7. Signage: The size, materials and colors of the existing monument sign shall be specified.

8. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT,**

WATER AUTHORITY and NMDOT:

Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:

- A. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
- B. If applicable (i.e. existing building expansion only), the Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

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C. Site plan shall comply and be designed per DPM Standards.

On May 17, 2007 the Environmental Planning Commission voted to approve Project 1004735/ 07EPC 00443, a Site Development Plan for Building Permit Amendment Lot 1-A, Tramway Ridge, zoned SU-1 for office-institutional-commercial including 2 restaurants with full-service liquor, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is for an amendment to a site development plan for building permit for Lot 1-A of Tramway Ridge, an approximately 4 acre site located on the west side of Tramway Blvd. between Manitoba St. and Tramway Ridge Dr. NE. An existing church occupies the subject site:
2. A request for an amendment to a site development plan for subdivision (07EPC-00441) to clarify the allowable height limit, change the setback requirements and update design standards accompanies this request.
3. The applicant proposes to amend the existing site development plan for building permit approved in 1997 (Z-97-27) to depict the church's current expansion plans. Phase I (classroom and lobby extension) and Phase II (expanded fellowship/dining hall, kitchen and nursery) are included in this request. Phases III and IV are future phases.
4. The subject site is zoned "SU-1 for office-institutional-commercial including 2 restaurants with full-service liquor." The church-related institutional uses that will take place in the expanded facility are allowed under the current zoning.
5. The subject site lies within the boundaries of the Established Urban Area of the Comprehensive Plan and is located in the Glenwood Hills Village Community Activity Center.
6. The request *further*s the following applicable Comprehensive Plan Goals:
 - A. Developing and Established Urban Areas Goal- The additions will help create a quality urban environment and perpetuate the tradition that communities are an identifiable part of the metropolitan area.
 - B. Activity Centers Goal- The additions will help strengthen an existing use, which provides services that benefit the surrounding community, in a designated Activity Center.
7. The request *further*s Land Use Policy II.B.5m-design/quality of the visual environment. Views from Tramway Boulevard and the site will be maintained. The design's consistency with the existing structure will maintain the quality of the visual environment.

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8. Zoning Code §14-16-3-10, Landscaping Regulations, requires that all landscape areas 36 square feet or larger be covered with living, vegetative materials over at least 75% of the required landscape area. The proposed landscaping plan does not meet this requirement in places.
9. Zoning Code §14-16-3-9, Area Lighting Regulations, requires that light poles do not exceed 20 feet from top to grade for sites that are less than five acres. Any future light poles will need to comply.
10. Zoning Code §14-16-3-18(C)(3) contains design standards applicable to institutional uses which state that major facades greater than 100 ft. in length shall incorporate outdoor seating. No outdoor seating is proposed.
11. A Traffic Impact Study (TIS) was not required.
12. A facilitated meeting was held as part of a neighborhood association board meeting. There is no known opposition, though one neighbor expressed concern that not enough information was presented at the meeting and another felt there was not enough time to thoughtfully comment.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final DRB sign off, the applicant shall meet with the Development Review staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided to the DRB at the time of application.
3. The site development plan for building permit amendment request shall comply with the updated design standards in the site development plan for subdivision amendment request (07EPC-00441).
4. Parking: Three motorcycle parking spaces shall be provided in a visible location to comply with Zoning Code §14-16-3-1, Off-Street Parking regulations.
5. Walls/Fences: The height and material of the existing wall on the building's northeastern side shall be specified.

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6. **Landscaping-Plants:**
- A. The landscaping plan shall accurately depict the on-site vegetation and distinguish between existing and proposed landscape, especially for the Phase II expansion area.
 - B. Additional plants shall be added to the Phase I and Phase II expansion areas to comply with Zoning Code §14-16-3-10(G)(3), which requires 75% coverage with living, vegetative materials.
 - C. Purple Robe Locust shall replace Modesto Ash in the Phase I area.
 - D. Chamisa or Artemesia shall replace Shrubby Cinquefoil, a medium water user, in the Phase I area.
 - E. The landscape plan shall indicate what plants will be used in the Phase II area and distinguish between existing and proposed plants.
7. **Landscaping-Other:**
- A. Any future tree wells shall comply with Zoning Code §14-16-3-10(G)(1)(c), which requires a minimum of 36 square feet for tree wells in off-street parking areas.
 - B. Any landscaping for the playground area shall be specified.
 - C. Irrigation specifications, including number of emitters and rate, shall be shown.
8. **Lighting:** Any new light poles shall comply with the Zoning Code §14-16-3-9. Parking lot lighting shall be a maximum of 20 ft. tall from top to grade for sites less than 5 acres.
9. **Outdoor Space:** A bench shall be added near the church's entrance to comply with Zoning Code §14-16-3-18(C)(3).
10. **Refuse Enclosure:** The refuse enclosure, visible from the internal street, shall be gated.
11. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:**
Conditions of approval for the proposed Site Development Plan for Subdivision and Site Development Plan for Building Permit shall include:
- A. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - B. If applicable (i.e. existing building expansion only), the Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - C. Site plan shall comply and be designed per DPM Standards.

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IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 1, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen

Richard Dineen

Planning Director

RD/CL/ac

cc: Dorman & Breen Arch., 13604 Rebonito Ct., Albuquerque, NM 87112
Steve Ciepiela, Glenwood Hills NA, 12924 Manitoba NE, Albuquerque, NM 87111
Thurlow Caffey, Glenwood Hills NA, 4801 Glenwood Hills Dr. NE, Albuquerque, NM 87111
Toni Fine, 13633 Cedarbrook NE, Albuquerque, NM 87111
Bing LeRoy, 13625 Cedarbrook NE, Albuquerque, NM 87111
Jack LeRoy, 13625 Cedarbrook NE, Albuquerque, NM 87111
Steve Hogan, 4909 Skyline Ridge Ct. NE, Albuquerque, NM 87111