

SUBDIVISION DATA:

1. PRIOR DRB CASE #97-267
2. PRIOR EPC CASE #Z-97-27
3. NEW EPC CASE #07EPC00441/00443
4. ZONE ATLAS MAP #F-22-Z
5. CURRENT ZONING SU-1 (OFFICE, INSTITUTIONAL & COMMERCIAL)

R=11514.43'
L=108.14'
Δ=0°32'17"
CH=S02°17'36"W
108.14'

THIS PROPERTY DOES NOT FALL WITHIN A FLOOD PLAIN. PER FLOOD PANEL INSURANCE RATE MAP, COMMUNITY PANEL #0163F DATED NOV. 19, 2003

BUILDING AREA SUMMARIES

LOT AREA 3.9380 ACRES OR 171,539.28 s.f.

PHASED BUILDING AREA/GROSS FIRST FLOOR AREAS (FOOTPRINT)

EXISTING PHASE I 15,305 s.f.
PHASE I 5,812 s.f.
PHASE II 2,043 s.f.
PHASE III 1,200 s.f.
PHASE IV 12,151 s.f.
TOTAL 36,511 s.f.

SECOND FLOOR AREA
EXISTING 2,943 s.f.
PHASE I 6,430 s.f.
TOTAL 9,373 s.f.

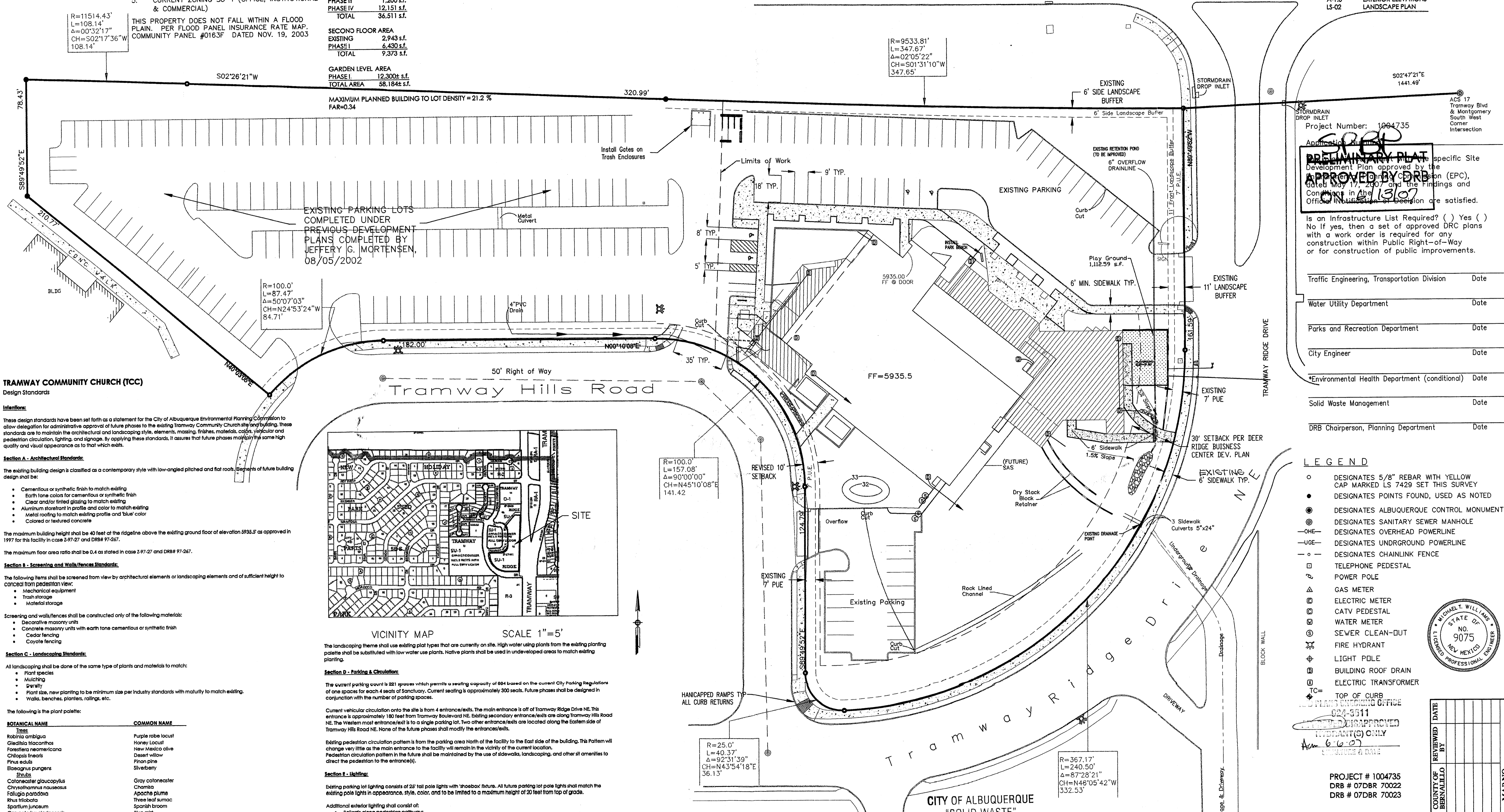
GARDEN LEVEL AREA
PHASE I 12,300 s.f.
TOTAL AREA 58,184 s.f.

MAXIMUM PLANNED BUILDING TO LOT DENSITY = 21.2 %
FAR=0.34

DRAWING INDEX

- C-1 SITE DEVELOPMENT PLAN FOR SUBDIVISION & BUILDING PERMIT.
- C-2 GRADING & DRAINAGE
- C-2.1 DRAINAGE PLANS AND CALCULATIONS
- C-3 STORM WATER MANAGEMENT PLAN
- C-4 UTILITY PLAN
- A-1.0 EXTERIOR ELEVATIONS
- LS-02 LANDSCAPE PLAN

Tramway Boulevard NE
Right of Way Varies



Project Number: 1004735
Application Number: ~~1004735~~
PRELIMINARY PLAT
Development Plan approved by the City of Albuquerque Engineering Department (EPC), dated May 17, 2007 and the Findings and Conclusions in the Official Notice of Decision are satisfied.
APPROVED BY DRB
DATE: 6/6/07

Is an Infrastructure List Required? () Yes () No
If No, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

TRAMWAY COMMUNITY CHURCH (TCC)
Design Standards

Intent:
These design standards have been set forth as a statement for the City of Albuquerque Environmental Planning Commission to allow delegation for administrative approval of future phases to the existing Tramway Community Church site building. These standards are to maintain the architectural and landscaping style, elements, finishes, materials, colors, vegetation and pedestrian circulation, lighting, and signage. By applying these standards, it assures that future phases maintain the same high quality and visual appearance as to that which exists.

Section A - Architectural Standards:
The existing building design is classified as a contemporary style with low-angled pitched and flat roofs. Elements of future building design shall be:

- Cementitious or synthetic finish to match existing
- Earth tone colors for cementitious or synthetic finish
- Clear and/or tinted glazing to match existing
- Aluminum storefront in profile and color to match existing
- Metal roofing to match existing profile and blue color
- Colored or textured concrete

The maximum building height shall be 40 feet at the ridge line above the existing ground floor of elevation 5935.5' as approved in 1997 for this facility in case 2-97-27 and DRB# 97-267.
The maximum floor area ratio shall be 0.4 as stated in case 2-97-27 and DRB# 97-267.

Section B - Screening and Walls/Fences Standards:
The following items shall be screened from view by architectural elements or landscaping elements and of sufficient height to conceal from pedestrian view:

- Mechanical equipment
- Trash storage
- Material storage

Screening and walls/fences shall be constructed only of the following materials:

- Decorative masonry units
- Concrete masonry units with earth tone cementitious or synthetic finish
- Cedar fencing
- Coyote fencing

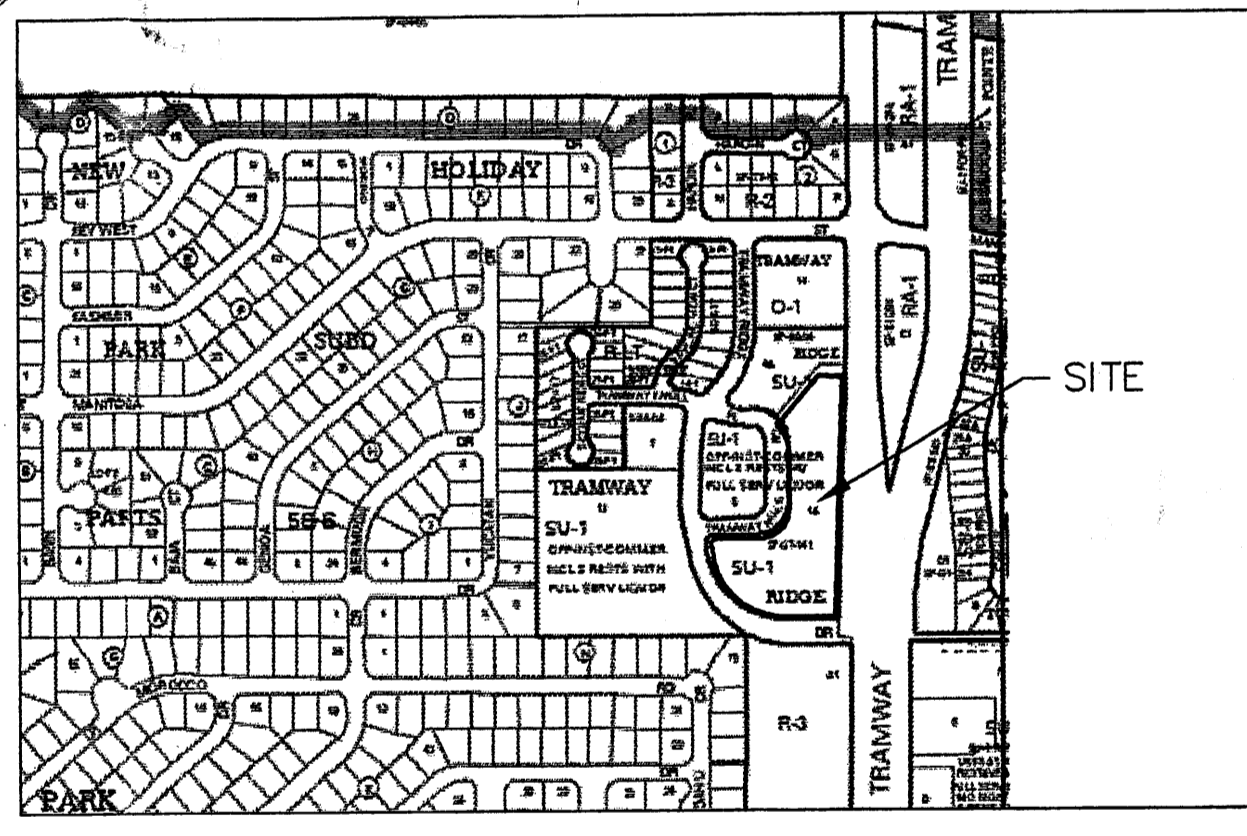
Section C - Landscaping Standards:
All landscaping shall be done of the same type of plants and materials to match:

- Plant species
- Mulching
- Irrigation
- Plant size, new planting to be minimum size per industry standards with maturity to match existing.
- Walks, benches, planters, railings, etc.

The following is the plant palette:

BOTANICAL NAME	COMMON NAME
<i>Rubia atropurpurea</i>	Purple robe locust
<i>Gleditsia triacanthos</i>	Honey Locust
<i>New Mexico olive</i>	New Mexico olive
<i>Chilopsis linearis</i>	Desert willow
<i>Pinus edulis</i>	Pinon pine
<i>Elaeagnus pungens</i>	Silverberry
<i>Coloreaster glaucocylus</i>	Gray cotoneaster
<i>Chrysothamnus nauseosus</i>	Chromola
<i>Folgia parviflora</i>	Apache plume
<i>Rhus trilobata</i>	Three leaf sumac
<i>Spartium junceum</i>	Spanish broom
<i>Caryopteris cladonensis</i>	Blue mist
<i>Perovskia atriplicifolia</i>	Russian sage
<i>Rosmarinus officinalis</i>	Rosemary
<i>Raphanistrum indicum</i>	India hawthorn
<i>Miscanthus sinensis</i>	Walden grass
<i>Hesperaloe parviflora</i>	Red yucca
<i>Larandula angustifolia</i>	English lavender
<i>Pinus besselii</i>	Sand cherry
<i>Potentilla fruticosa</i>	Strawberry cinquefoil
<i>Artemisia</i>	Big sage

All planting shall be done in accordance with City of Albuquerque Landscaping Regulations and per those indicated on the submitted Landscape Plan.
Street trees for future phases will be installed with that phase. Until that time, the landscaping shall remain native planting per current conditions.



VICINITY MAP SCALE 1"=5'

The landscaping theme shall use existing plant types that are currently on site. High water using plants from the existing planting palette shall be substituted with low water use plants. Native plants shall be used in undeveloped areas to match existing planting.

Section D - Parking & Circulation:
The current parking count is 221 spaces which permits a seating capacity of 884 based on the current City Parking Regulations of one space for each 4 seats of Sanctuary. Current seating is approximately 300 seats. Future phases shall be designed in conjunction with the number of parking spaces.

Current vehicular circulation onto the site is from 4 entrance/exits. The main entrance is off of Tramway Ridge Drive NE. This entrance is approximately 180 feet from Tramway Boulevard NE. Existing secondary entrance/exits are along Tramway Hills Road NE. The Western most entrance/exit is to a single parking lot. Two other entrance/exits are located along the Eastern side of Tramway Hills Road NE. None of the future phases shall modify the entrance/exits.

Existing pedestrian circulation pattern is from the parking area North of the facility to the East side of the building. This pattern will change very little as the main entrance to the facility will remain in the vicinity of the current location.
Pedestrian circulation pattern in the future shall be maintained by the use of sidewalks, landscaping, and other site amenities to direct the pedestrian to the entrance(s).

Section E - Lighting:
Existing parking lot lighting consists of 25' tall pole lights with 'shoebox' fixtures. All future parking lot pole lights shall match the existing pole lights in appearance, style, color, and to be limited to a maximum height of 20 feet from top of grade.

Additional exterior lighting shall consist of:

- Bollards along pedestrian pathways
- Wall sconces/pods on the building
- Under soffit lighting at entrances and/or architectural features
- Ground uplighting

All new lighting shall be designed in accordance with the State of New Mexico Dark Sky Regulations.
Section F - Signage:
All new signage shall be consistent with existing signage. All current signage complies and shall comply with City of Albuquerque Signage Ordinance. Signage changes shall be submitted to the City for approval and permitting.

A monument sign exists at the main entry off of Tramway Ridge Drive NE. No monument signage is planned for future phases.
Existing building signage is comprised of individual, metal letters. Existing building signage shall be removed and relocated on new phase. Future building signage shall match existing in type and color. All signage shall comply with City of Albuquerque Signage Ordinance.
Existing sign is approximately 6'-0" long, 5'-4" high and 2'-8" wide of masonry construction. Finish is stucco of same material and color as main building. Incorporated on both sides of the sign is the Church logo and name.

R=100.0'
L=157.08'
Δ=90°00'00"
CH=N45°10'08"E
141.42

R=25.0'
L=40.37'
Δ=92°31'39"
CH=N43°54'18"E
36.13

R=367.17'
L=240.50'
Δ=87°28'21"
CH=N46°05'42"W
332.53'

PLAT OF LOT 1-A BEING A REPLAT OF LOTS 1, 2, 3-A & 6 OF TRAMWAY RIDGE WITHIN THE ELENA GALLEGOS GRANT PROJECTED SECTION 34, T11N., R4E., N.M.P.M. AS RECORDED IN THE RECORDS OF BERNALILLO COUNTY CLERK'S OFFICE. VOLUME 97C FOLIO 217
BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE)
PLAT OF SURVEY PREPARED BY RICHARD V. HALL N.M.R.P.L.S #7264 DATED 06/02/1997



SCALE: 1"=30'

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED

LAND DEVELOPMENT CONSULTANTS, LLC
An Associate Firm of Williams & Beck, Inc.

5620 B. SAN FRANCISCO DRIVE NE,
ALBUQUERQUE, NEW MEXICO 87109
PHONE: (505) 797-4120 FAX: (505) 821-0392
E-MAIL: ldc_llc@msm.com

TITLE	
SITE DEVELOPMENT PLAN FOR SUBDIVISION & BUILDING PERMIT	
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	
PROJECT FOR: TRAMWAY COMMUNITY CHURCH ADDITION AND REMODEL 4800 TRAMWAY RIDGE DR. NE ALBUQUERQUE NEW MEXICO 87111	
JOB #:	07-7001
DATE:	APRIL 2007
DRAWN BY:	CW
SHEET NO.:	C-1

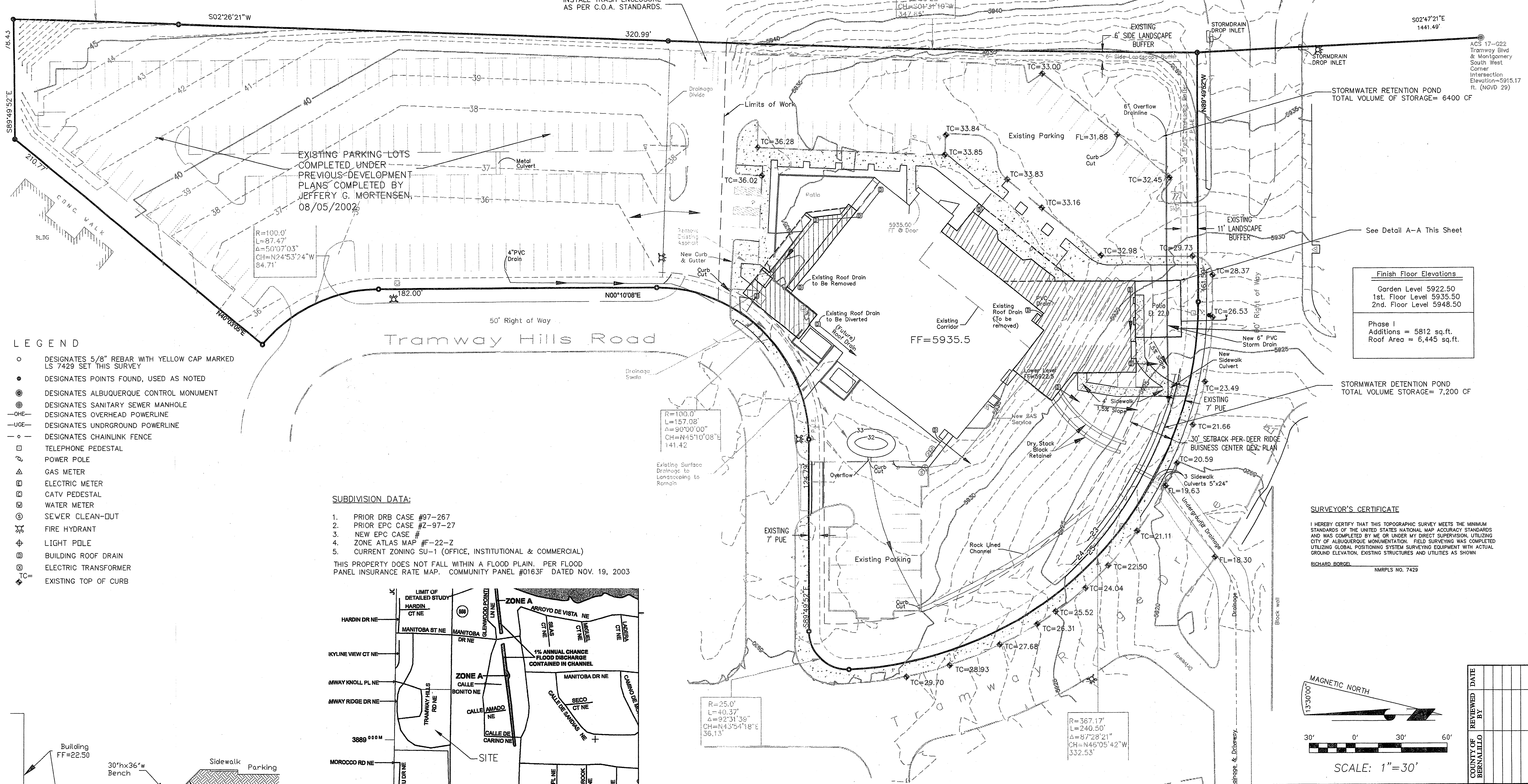


REVIEWED BY	DATE

MAP NO.

Tramway Boulevard NE

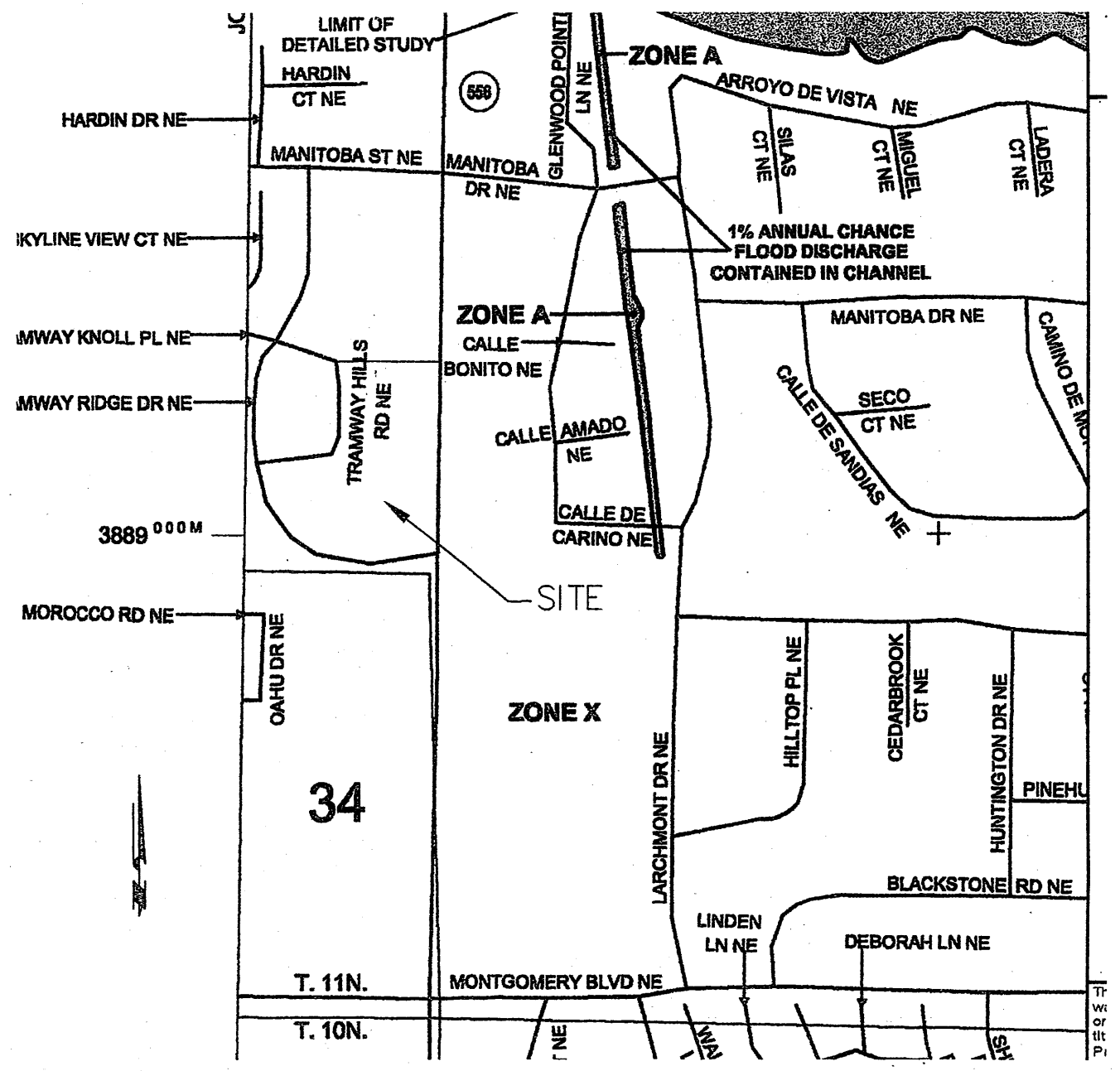
R=11514.43'
L=108.14'
Δ=00°32'17"
CH=S02°17'36"W
108.14'



- LEGEND**
- DESIGNATES 5/8" REBAR WITH YELLOW CAP MARKED LS 7429 SET THIS SURVEY
 - DESIGNATES POINTS FOUND, USED AS NOTED
 - ⊙ DESIGNATES ALBUQUERQUE CONTROL MONUMENT
 - ⊙ DESIGNATES SANITARY SEWER MANHOLE
 - OHE- DESIGNATES OVERHEAD POWERLINE
 - UGE- DESIGNATES UNDERGROUND POWERLINE
 - DESIGNATES CHAINLINK FENCE
 - TELEPHONE PEDESTAL
 - POWER POLE
 - △ GAS METER
 - ⊕ ELECTRIC METER
 - ⊕ CATV PEDESTAL
 - ⊕ WATER METER
 - ⊕ SEWER CLEAN-OUT
 - ⊕ FIRE HYDRANT
 - ⊕ LIGHT POLE
 - ⊕ BUILDING ROOF DRAIN
 - ⊕ ELECTRIC TRANSFORMER
 - ⊕ EXISTING TOP OF CURB

- SUBDIVISION DATA:**
1. PRIOR DRB CASE #97-267
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 3. NEW EPC CASE #
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 5. CURRENT ZONING SU-1 (OFFICE, INSTITUTIONAL & COMMERCIAL)

THIS PROPERTY DOES NOT FALL WITHIN A FLOOD PLAIN. PER FLOOD PANEL INSURANCE RATE MAP. COMMUNITY PANEL #0163F DATED NOV. 19, 2003



Finish Floor Elevations

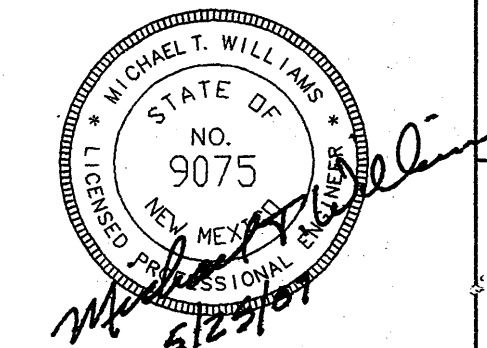
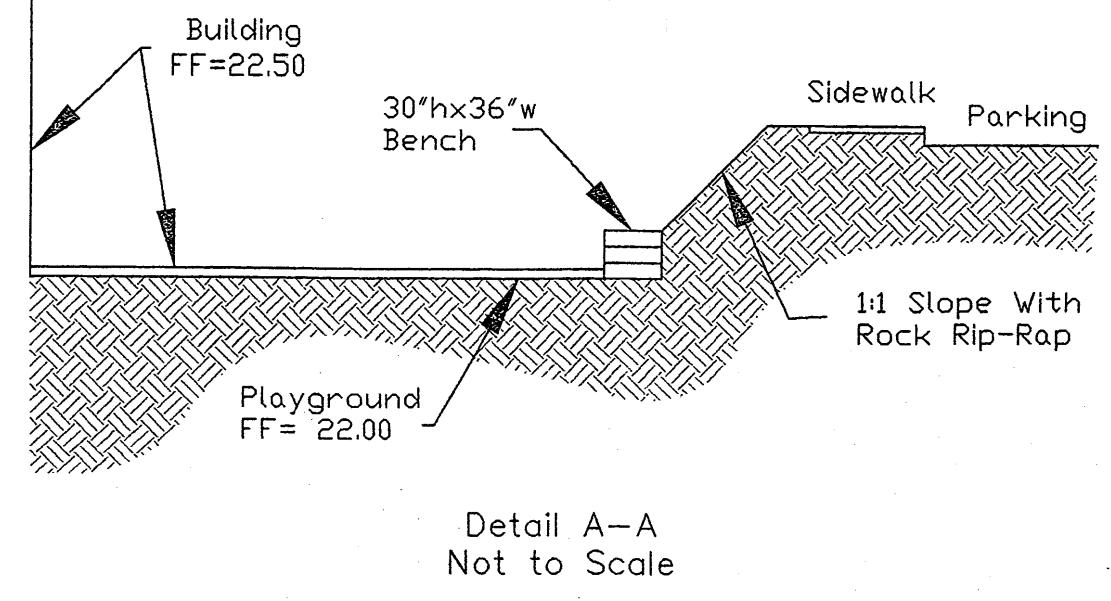
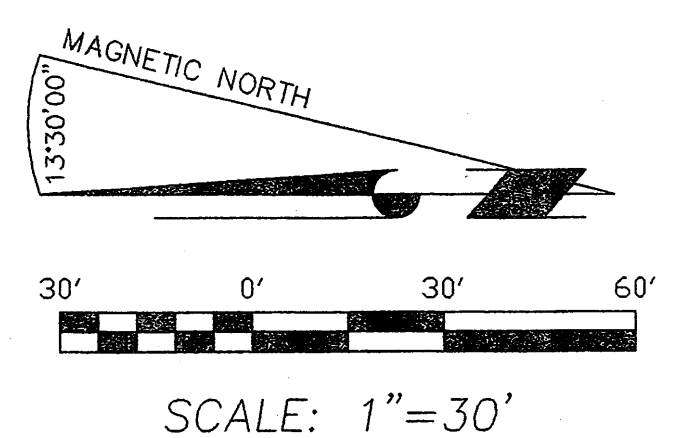
Garden Level	5922.50
1st. Floor Level	5935.50
2nd. Floor Level	5948.50

Phase I
Additions = 5812 sq.ft.
Roof Area = 6,445 sq.ft.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY MEETS THE MINIMUM STANDARDS OF THE UNITED STATES NATIONAL MAP ACCURACY STANDARDS AND WAS COMPLETED BY ME OR UNDER MY DIRECT SUPERVISION, UTILIZING CITY OF ALBUQUERQUE MONUMENTATION. FIELD SURVEYING WAS COMPLETED UTILIZING GLOBAL POSITIONING SYSTEM SURVEYING EQUIPMENT WITH ACTUAL GROUND ELEVATION, EXISTING STRUCTURES AND UTILITIES AS SHOWN

RICHARD BORDEL
NIRMLS NO. 7429



<p>TITLE GRADING & DRAINAGE</p> <p>CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO</p> <p>PROJECT FOR: TRAMWAY COMMUNITY CHURCH ADDITION AND REMODEL 4800 TRAMWAY RIDGE DR. NE ALBUQUERQUE NEW MEXICO 87111</p>		COUNTY OF BERNALILLO	REVIEWED BY	DATE
		<p>5620 B. SAN FRANCISCO DRIVE NE, ALBUQUERQUE, NEW MEXICO 87109</p> <p>PHONE: (505) 797-4120 FAX: (505) 821-0392 E-MAIL: ldc_llc@msn.com</p>	<p>JOB #. 07-7001</p> <p>DATE: APRIL 2007</p>	<p>DRAWN BY: CW</p> <p>SHEET NO. C-2</p>

TRAMWAY COMMUNITY CHURCH DRAINAGE PLAN

1. Executive Summary

This project represents a phased expansion of the existing Tramway Community Church. The site is located on the west side of Tramway Boulevard approximately 1/2 mile north of Montgomery Boulevard.

In accordance with the Conceptual Master Drainage Plan (F22/D11A) and the Drainage Grading Plan (F22/D11A5) prepared in 1997, the Tramway Church site is divided into two distinct drainage basins. The southern portion of the site, which contains the church building, limited parking and an existing storm water detention pond, is identified as Basin I. Basin I outlets at a controlled rate to an existing drainage easement at the southwest corner of the site. The northern portion of the site is primarily devoted to parking and is identified as Basin II. Basin II outlets at a controlled rate to Knoll Place, a public street that borders the west side of the Basin II area.

This project will involve the phased expansion of the Church building facilities located in the Basin I drainage area. Storm water runoff will continue to be discharged to the existing drainage easement at a controlled rate in accordance with the previously established limits.

The submittal is made in support of the foundation and grading permit approvals for construction purposes.

2. Project Description

As shown on the vicinity map, the site is located on the west side of Tramway Boulevard NE at the northeast corner of the intersection with Tramway Ridge NE. The legal description of the site is Lot 1A, Tramway Ridge.

Panel 163 of 825 of the National Flood Insurance Program Flood Insurance Rate Maps for Bernalillo County, New Mexico, and dated November 19, 2003 shows that the site does not lie within or adjacent to a designated flood hazard zone. However, in accordance with the previously approved Conceptual Drainage Plan and Drainage/Grading Plan (F22/D11A) and F22/D11A5), the site is subject to a controlled storm water discharge.

The project consists of the phased expansion of the existing church building that is located within the boundaries of the previously defined Basin I drainage area. Phases I & II are included in the current project and Phases III & IV are to be constructed in the future.

3. Background Documents

The preparation of this drainage plan utilized the following previous submittal documents for the Tramway Church Site.

- A. F22/D11A: Original Master Drainage Plan prepared by Espey-Huston Associates identifying downstream capacity limits and designing the downstream improvements that are now in place.
- B. F22/D11A5: Original Drainage/Grading Plan for the Tramway Church site prepared by C.L. Weiss Engineering Inc. and dated 6-19-97. This plan defined the allowable discharge limit for the Basin I drainage area as 3.3 cfs/acre and the allowable discharge limit for the Basin II drainage area as 2.9 cfs/acre. This plan also designed the existing drainage improvements for the Basin I drainage area.
- C. F22/D11A: Drainage/Grading Plan for Phase 2 prepared by Jeff Mortensen & Associates Inc. and dated 8-05-2002. This plan designed the drainage improvements for the Basin II drainage area.

4. Existing Conditions

The site is already developed. The existing conditions are shown on the Grading & Drainage Plan of this submittal. As discussed above, the site is divided into two distinct drainage basins. The basin boundaries are shown on the Plan sheet.

The southern portion of the site, identified as Basin I, is occupied by the existing church building as well as limited amounts of parking areas and the existing storm water detention pond. Flows from this basin discharge to the existing drainage easement at the southwest corner of the site.

The northern portion of the site, identified as Basin II, is primarily composed of paved parking areas. Basin II discharges to the Knoll Place right-of-way along the western side of the site.

Offsite drainage that enters the site is from the westerly portion of the Tramway Boulevard right-of-way that borders the eastern side of the site. The right-of-way is characterized by native landscaping.

5. Proposed Conditions

The proposed development is shown of the Grading & Drainage Plan and consists of the phased expansion of the existing church building facilities. The proposed development is confined to the Basin I drainage area. The drainage is designed to limit the maximum rate of discharge to the previously approved rate of 3.3 cfs/acre.

6. Grading Plan

The Grading & Drainage Plan shows the following:

- A. The boundaries of Basin I, Basin II, and the sub-basins used in the storm water analyses.
- B. The existing site grades.
- C. The proposed site grades.
- D. The proposed phased building additions.

As previously stated, the proposed improvements will impact the Basin I drainage area only. The drainage for the Basin II area will not be altered. The grading plans show that the existing drainage patterns for the Basin I area will not be significantly altered.

7. Calculations

Storm water drainage calculations have been performed for the Basin I area analyzing the proposed conditions. The analyses were based on the 100-Year, 6-Hour rainfall event. The analyses procedures were in accordance with the methodology set forth in Chapter 22 of the City of Albuquerque Development Process Manual, October 2006 revision.

As shown by the calculation results, the discharge from the Basin I area for the proposed conditions will be limited to a maximum of 3.3 cfs/acre in accordance with the previously determined allowable discharge rates.

8. Conclusions

The proposed control and discharge of runoff for the Basin I area resulting from the proposed development is appropriate based upon the following:

- A. The rate of runoff conforms to the previously established limited downstream capacity conditions.
- B. The existing drainage pattern will not be significantly altered.
- C. The drainage plan is consistent with previously approved submittals.

All onsite drainage improvements will be owned, operated and maintained by the Church. The downstream streets and storm drainage systems are owned, operated maintained by either Albuquerque Public Works Department or the underlying property owner.

Tramway Community Church
Projected Storm Water Runoff

Note: Basis of design per Albuquerque Development Process Manual Chapter 22, October 2006 Revision

A. Precipitation Zone: Zone 4 per Table A-1

B. Precipitation Depth: per Table A-2

1. 100 Year, 6 Hour Storm = 2.90 Inches

C. Excess Precipitation: per Table A-8

Treatment	Excess Precip. (6 Hr Storm), Inches
100 Yr	2.90
A	0.89
B	1.08
C	1.48
D	2.84

D. Peak Discharges: per Table A-9

Treatment	Peak Discharge: CFS/Acre
A	2.20
B	2.92
C	3.73
D	5.25

E. Sub Basin 1

1. Drainage Areas and Treatment Classifications

Description	Area: SF	Treatment Class
Parking Lot	17,457	D
Sidewalk	4,295	D
Exist. Bldg	9,110	D
Phase I	6,141	D
Addition	4,128	B
Open area	4,128	B

Total Area = 40,101 SF
Treatment B = 4,128 SF
Treatment D = 35,973 SF

2. Runoff Volumes

a. 100 Year - 6 Hour Storm
Volume = (40,101)(1.08/12) + (35,973)(2.84/12) = 7,588 CF

3. Peak Discharge
Qp = (4,128/43560)(2.92) + (35,973/43560)(5.25) = 0.28 + 4.34 = 4.62 CFS

F. Sub Basin 2

1. Drainage Areas and Treatment Classifications

Description	Area: SF	Treatment Class
Parking Lot	987	D
Sidewalk	242	D
Open area	480	B

Total Area = 1,709 SF
Treatment B = 480 SF
Treatment D = 1,229 SF

2. Runoff Volumes

a. 100 Year - 6 Hour Storm
Volume = (480)(1.08/12) + (1,229)(2.84/12) = 311 CF

3. Peak Discharge
Qp = (480/43560)(2.92) + (1,229/43560)(5.25) = 0.03 + 0.15 = 0.18 CFS

A. Sub Basin 3

1. Drainage Areas and Treatment Classifications

Description	Area: SF	Treatment Class
Parking Lot	0	D
Sidewalk	38	D
Exist. Bldg	7,095	D
Future Bldg (Phase IV)	12,420	D
Open area	1,430	B

Total Area = 21,583 SF
Treatment B = 1,430 SF
Treatment D = 20,153 SF

2. Runoff Volumes

a. 100 Year - 6 Hour Storm
Volume = (1,430)(1.08/12) + (20,153)(2.84/12) = 4,563 CF

3. Peak Discharge
Qp = (1,430/43560)(2.92) + (20,153/43560)(5.25) = 0.10 + 2.43 = 2.53 CFS

H. Sub Basin 4

1. Drainage Areas and Treatment Classifications

Description	Area: SF	Treatment Class
Parking Lot	5,840	D
Sidewalk	3,148	D
Future Bldg (Phase III)	1,838	D
Open area	5,800	B

Total Area = 15,426 SF
Treatment B = 5,800 SF
Treatment D = 9,626 SF

2. Runoff Volumes

a. 100 Year - 6 Hour Storm
Volume = (5,800)(1.08/12) + (9,626)(2.84/12) = 2,840 CF

3. Peak Discharge
Qp = (5,800/43560)(2.92) + (9,626/43560)(5.25) = 0.39 + 1.16 = 1.55 CFS

I. Sub Basin 5

1. Drainage Areas and Treatment Classifications

Description	Area: SF	Treatment Class
Pond Area	4,808	C

Total Area = 4,808 SF
Treatment C = 4,808 SF

2. Runoff Volumes

a. 100 Year - 6 Hour Storm
Volume = (4,808)(1.46/12) = 585 CF

3. Peak Discharge
Qp = (4,808/43560)(3.73) = 0.41 CFS

J. Sub Basin 6

1. Drainage Areas and Treatment Classifications

Description	Area: SF	Treatment Class
Open Area	8,733	B
Playground	1,295	C

Total Area = 10,028 SF
Treatment B = 8,733 SF
Treatment C = 1,295 SF

2. Runoff Volumes

a. 100 Year - 6 Hour Storm
Volume = (8,733)(1.08/12) + (1,295)(1.46/12) = 943 CF

3. Peak Discharge
Qp = (8,733/43560)(2.92) + (1,295/43560)(3.73) = 0.58 + 0.11 = 0.69 CFS

K. Sub Basin 7

1. Drainage Areas and Treatment Classifications

Description	Area: SF	Treatment Class
Parking Lot	10,360	D
Sidewalk	480	D
Phase II	1,180	D
Addition	480	B
Open Area	480	B

Total Area = 12,400 SF
Treatment B = 480 SF
Treatment D = 12,000 SF

2. Runoff Volumes

a. 100 Year - 6 Hour Storm
Volume = (480)(1.08/12) + (12,000)(2.84/12) = 2,676 CF

3. Peak Discharge
Qp = (480/43560)(2.92) + (12,000/43560)(5.25) = 0.03 + 1.45 = 1.48 CFS

Total Area for Basin 1
Total Area = A1 + A2 + A3 + A4 + A5 + A6 + A7
Total Area = 48,191 + 1,700 + 21,583 + 15,426 + 4,808 + 10,028 + 12,400 = 105,046 SF = 2.43 Acres

M. Maximum Allowable Discharge

In accordance with the originally approved Master Drainage Plan (F22/D1A), the maximum allowable discharge for the Basin I drainage area was based upon an allowable discharge of 3.3 cfs/acre. Thus, the maximum allowable discharge based upon the total drainage area of 3.43 acres is 8.92 cfs.

N. Control of Basin I Discharge

A. Maximum Uncontrolled Discharge
Q total = Q1 + Q2 + Q3 + Q4 + Q5 + Q6 + Q7
= 1.02 + 0.18 + 2.53 + 1.55 + 0.89 + 1.45 = 11.62 cfs

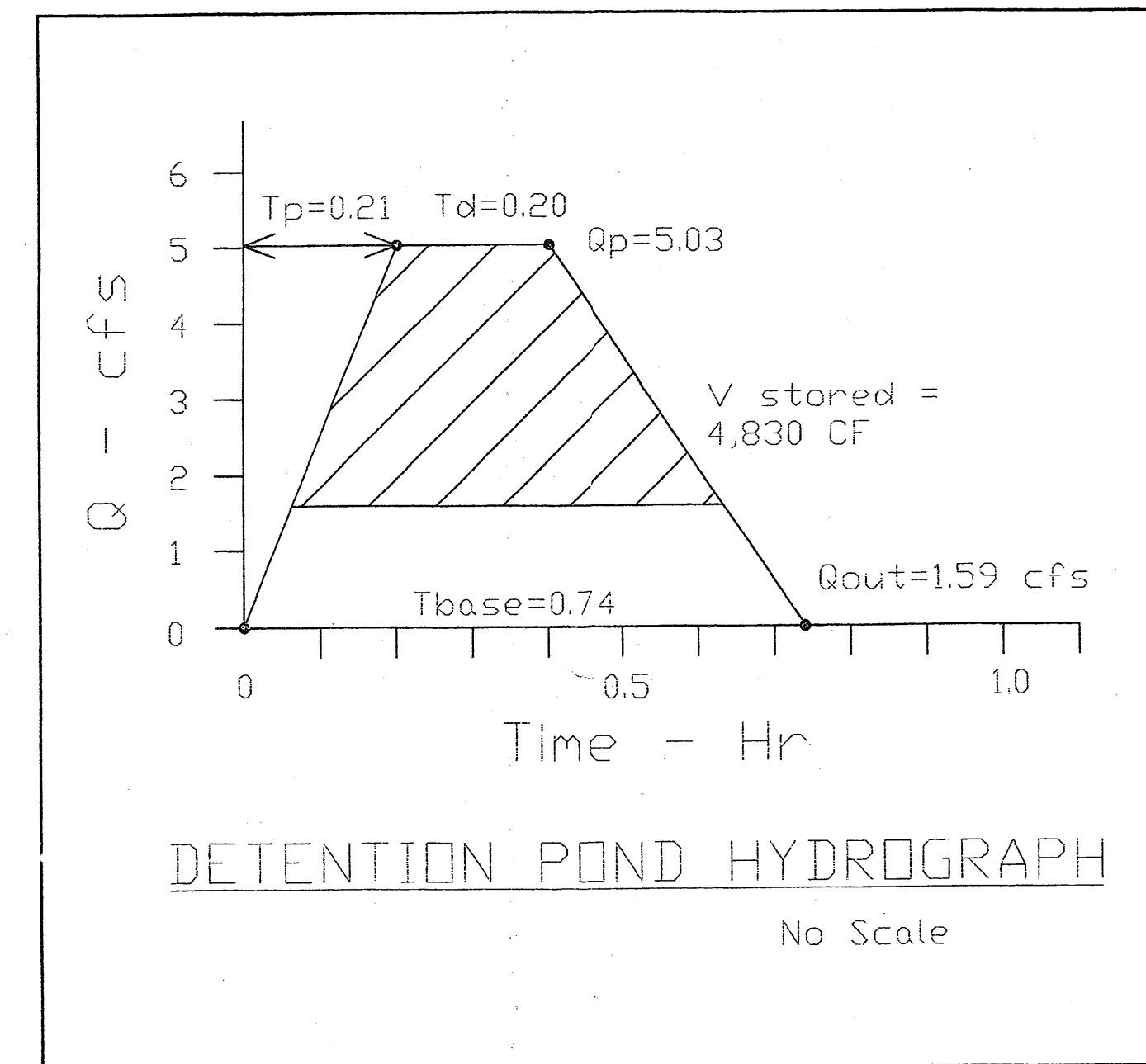
B. Maximum Allowable Discharge (see M above) = 8.92 cfs. Therefore, need to provide outlet control to reduce the maximum uncontrolled discharge by 3.44 cfs.

C. Use of Existing Stormwater Detention Basin at Southwest Corner of Site to Control Discharge

1. Hydrograph of Flow to Detention Basin

a. Contributing Areas = Sub Basins 1 and 5
b. Base Time = Tbase = (2.107)(E)(A total)^(0.78) / (0.25)(Area D/A total)
A total = 40,101 + 4,808 = 44,909 sft = 1.03 acres
Q peak = 4.82 + 0.41 = 5.23 cfs
Area D = 35,973 + 0 = 35,973 sft = 0.83 acres
E = (V1 + V5)/A total = (7,588 + 585)/44,909 = 0.18 ft = 2.16 inches
Tbase = (2.107)(2.16)(1.03)^(0.78) / (0.25)(0.83/1.03) = 0.94 - 0.20 = 0.74 Hr

c. Time to Peak: T peak = (0.7)(Tc) + ((1.8 - Area D/A total)^(1/2))
Tc = 0.2 hr, thus T peak = (0.7)(0.74) + ((1.8 - 0.83/1.03)^(1/2)) = 0.52 Hr



1. Allowable Basin Discharge
Q allow = 8.02 - (Q2 + Q3 + Q4 + Q6 + Q7)
= 8.02 - (0.18 + 2.53 + 1.55 + 0.89 + 1.48) = 1.58 cfs

2. Detention Pond Storage Required
From Hydrograph analysis, storage required = 4,830 CF

3. Available Detention Pond Storage

Contour Elevation	Area - SF	Volume - CF
5831	1,220	1,830
5832	2,440	
5832.5	5,200	3,820
Total Volume		5,650

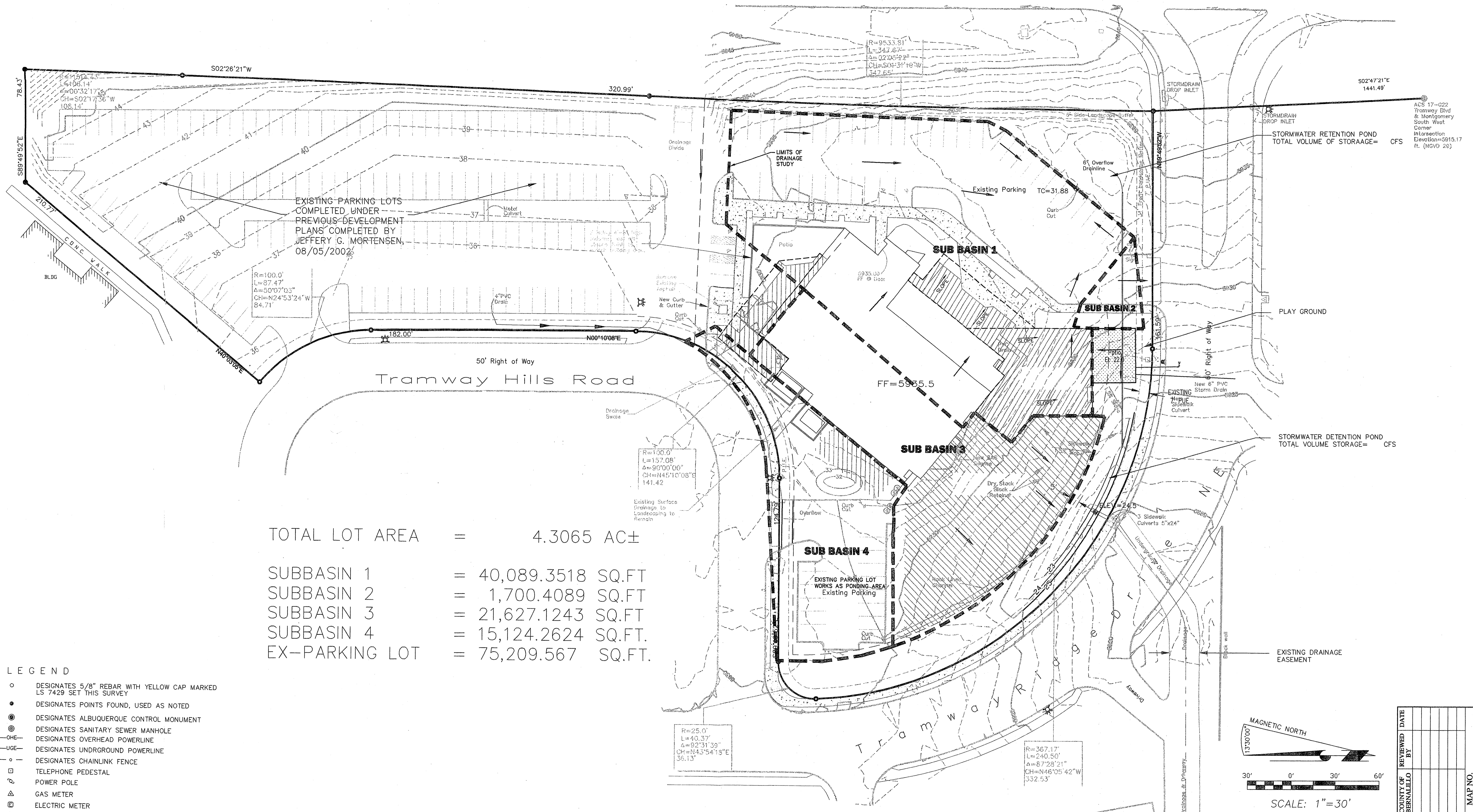
Since available storage of 5,650 cf exceeds required storage of 4,830 cf, the existing pond is adequate.

4. Pond Outlet
The existing detention pond outlet standpipe is a 6-inch pipe with seven 1-inch diameter outlet orifices.
From the above computations, the outlet must pass 1.59 cfs. Using the available head of 1.5 feet, the total orifice area required is:
Q = C(A)(2gh)^{0.5}
1.59 = (0.6)(A)(96.6)^{0.5} = (0.6)(A)(9.83), Thus A = 0.27 SF
A 2-inch diameter orifice has an area of 0.022 SF. Thus, re-drill standpipe to provide twelve 2-inch diameter orifices.

TITLE		CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	PROJECT FOR: TRAMWAY COMMUNITY CHURCH ADDITION AND REMODEL 4800 TRAMWAY RIDGE DR. NE ALBUQUERQUE NEW MEXICO 87111
DRAINAGE PLANS & CALCULATIONS			
LAND DEVELOPMENT CONSULTANTS, LLC. An Associate Firm of Williams & Beck, Inc.		5620 B. SAN FRANCISCO DRIVE NE, ALBUQUERQUE, NEW MEXICO 87109 PHONE: (505) 797-4120 FAX: (505) 821-0392 E-MAIL: ldc_llc@msn.com	JOB #. 07-7001
DATE: APRIL 2007			DRAWN BY: CW
			SHEET NO. C-21

COUNTY OF BERNALILLO REVIEWED DATE BY MAP NO.

Tramway Boulevard NE



TOTAL LOT AREA = 4.3065 AC ±

SUBBASIN 1 = 40,089.3518 SQ.FT

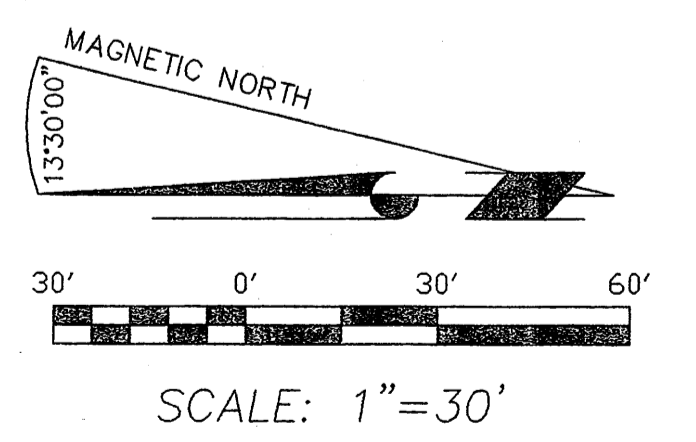
SUBBASIN 2 = 1,700.4089 SQ.FT

SUBBASIN 3 = 21,627.1243 SQ.FT

SUBBASIN 4 = 15,124.2624 SQ.FT.

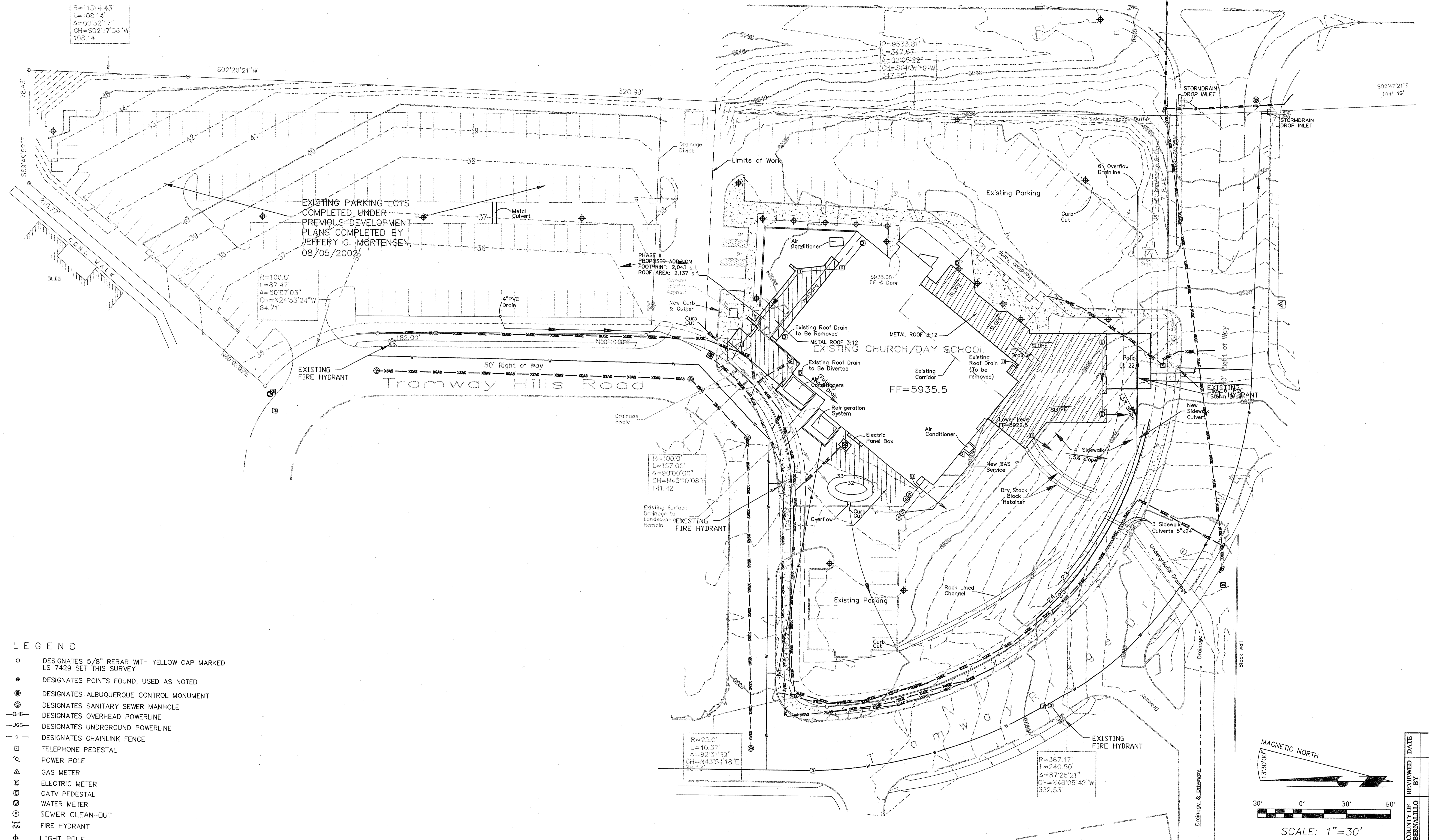
EX-PARKING LOT = 75,209.567 SQ.FT.

- LEGEND**
- DESIGNATES 5/8" REBAR WITH YELLOW CAP MARKED LS 7429 SET THIS SURVEY
 - DESIGNATES POINTS FOUND, USED AS NOTED
 - ⊙ DESIGNATES ALBUQUERQUE CONTROL MONUMENT
 - ⊙-H- DESIGNATES SANITARY SEWER MANHOLE
 - ⊙-E- DESIGNATES OVERHEAD POWERLINE
 - ⊙-G- DESIGNATES UNDERGROUND POWERLINE
 - ⊙-F- DESIGNATES CHAINLINK FENCE
 - ⊙-P- TELEPHONE PEDESTAL
 - ⊙-L- POWER POLE
 - ⊙-M- GAS METER
 - ⊙-N- ELECTRIC METER
 - ⊙-O- CATV PEDESTAL
 - ⊙-Q- WATER METER
 - ⊙-R- SEWER CLEAN-OUT
 - ⊙-S- FIRE HYDRANT
 - ⊙-T- LIGHT POLE
 - ⊙-U- BUILDING ROOF DRAIN
 - ⊙-V- ELECTRIC TRANSFORMER
 - ⊙-W- TOP OF CURB

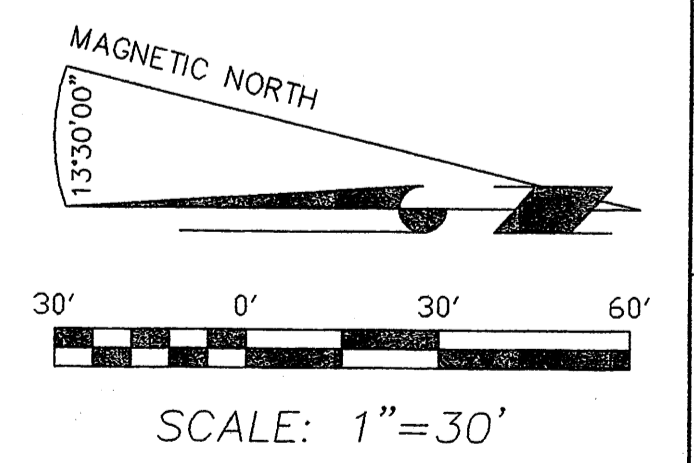


LAND DEVELOPMENT CONSULTANTS, LLC. An Associate Firm of Williams & Beck, Inc. 5620 B. SAN FRANCISCO DRIVE NE, ALBUQUERQUE, NEW MEXICO 87109 PHONE: (505) 797-4120 FAX: (505) 821-0392 E-MAIL: ldc_llc@msn.com	TITLE STORM WATER MANAGEMENT PLAN CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	
	PROJECT FOR: TRAMWAY COMMUNITY CHURCH ADDITION AND REMODEL 4800 TRAMWAY RIDGE DR. NE ALBUQUERQUE NEW MEXICO 87111	
JOB #. 07-7001 DATE: APRIL 2007	DRAWN BY: CW SHEET NO. C-3	COUNTY OF BERNALILLO REVIEWED BY DATE





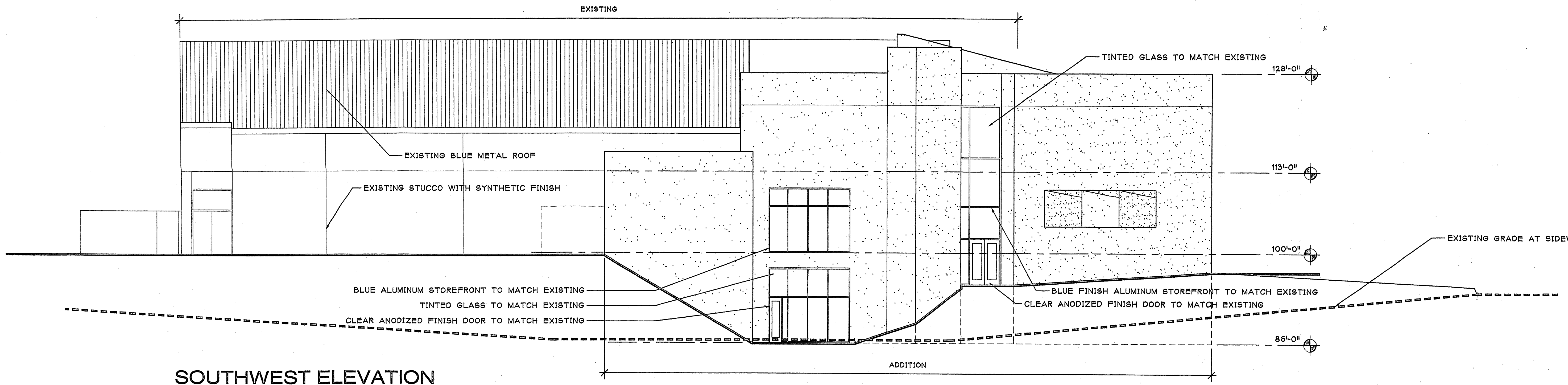
- LEGEND**
- DESIGNATES 5/8" REBAR WITH YELLOW CAP MARKED LS 7429 SET THIS SURVEY
 - DESIGNATES POINTS FOUND, USED AS NOTED
 - ⊙ DESIGNATES ALBUQUERQUE CONTROL MONUMENT
 - ⊙ DESIGNATES SANITARY SEWER MANHOLE
 - OHE— DESIGNATES OVERHEAD POWERLINE
 - UG— DESIGNATES UNDERGROUND POWERLINE
 - - - - - DESIGNATES CHAINLINK FENCE
 - TELEPHONE PEDESTAL
 - POWER POLE
 - △ GAS METER
 - ⊖ ELECTRIC METER
 - ⊖ CATV PEDESTAL
 - ⊖ WATER METER
 - ⊖ SEWER CLEAN-DUT
 - ⊖ FIRE HYDRANT
 - ⊖ LIGHT POLE
 - ⊖ BUILDING ROOF DRAIN
 - ⊖ ELECTRIC TRANSFORMER
 - ⊖ TOP OF CURB



COUNTY OF	REVIEWED DATE
BERNALILLO	

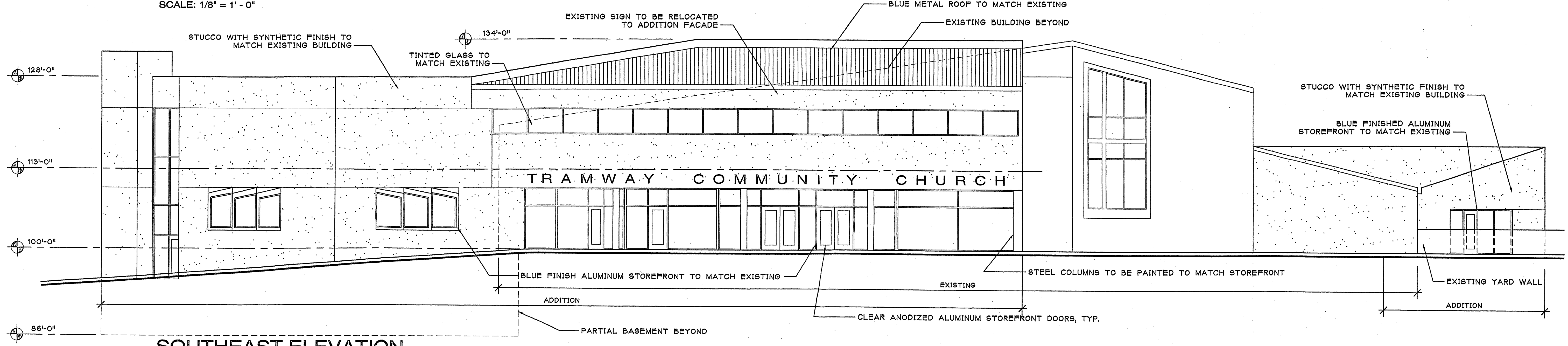


LAND DEVELOPMENT CONSULTANTS, LLC An Associate Firm of Williams & Beck, Inc. 5620 B. SAN FRANCISCO DRIVE NE, ALBUQUERQUE, NEW MEXICO 87109 PHONE: (505) 797-4120 FAX: (505) 821-0392 E-MAIL: ldc_llc@msn.com	TITLE UTILITY PLAN	
	CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO PROJECT FOR: TRAMWAY COMMUNITY CHURCH ADDITION AND REMODEL 4800 TRAMWAY RIDGE DR. NE ALBUQUERQUE NEW MEXICO 87111	
JOB #. 07-7001 DATE: APRIL 2007	DRAWN BY: CW SHEET NO. C-4	MAP NO.



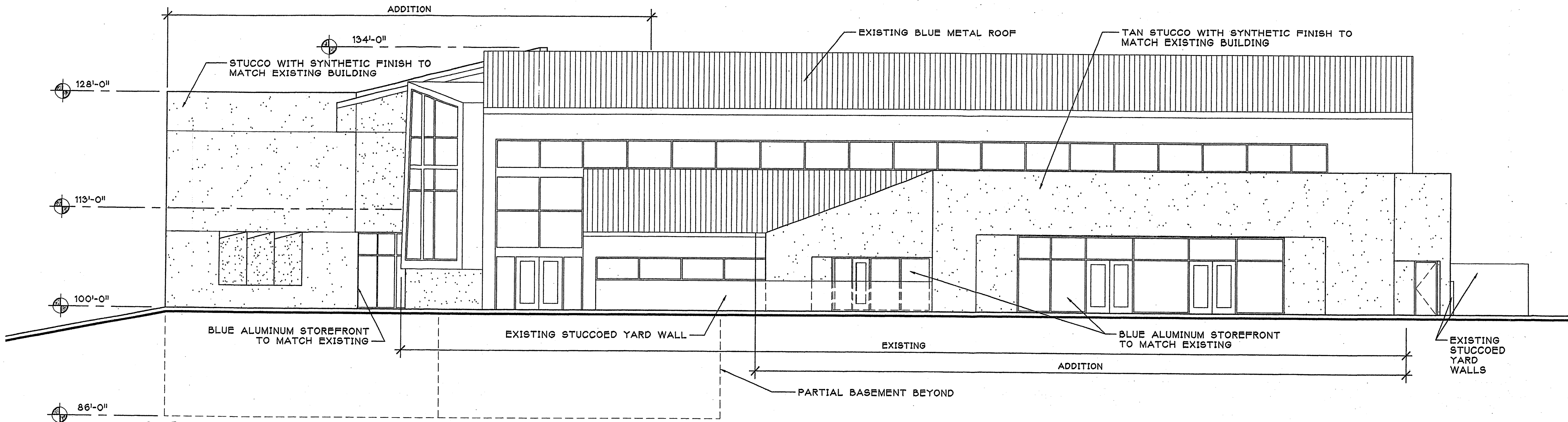
SOUTHWEST ELEVATION

SCALE: 1/8" = 1' - 0"



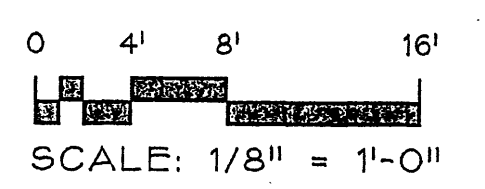
SOUTHEAST ELEVATION

SCALE: 1/8" = 1' - 0"



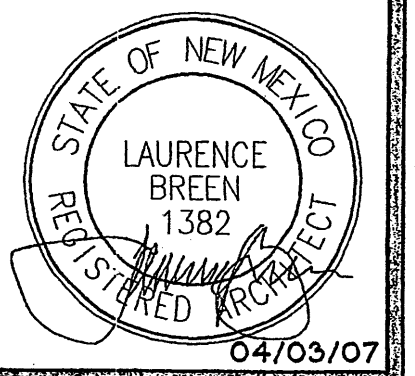
NORTHEAST ELEVATION

SCALE: 1/8" = 1' - 0"



DORMAN and BREEN
 LAURENCE BREEN F.A.I.A.
 SANTA FE, NM 505-982-9196
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-299-5940

**Tramway Community Church
 Addition and Remodel
 4800 Tramway Ridge Dr NE
 Albuquerque, New Mexico**

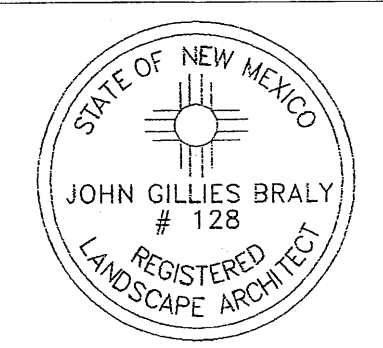


SHEET TITLE:
EXTERIOR ELEVATIONS

JOB NUMBER:
0406
 DATE:
4/3/07

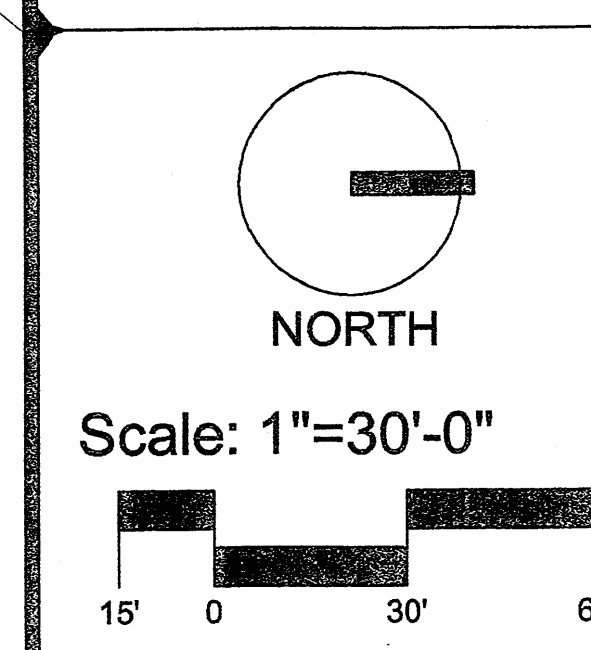
REVISIONS:	DATE:

SHEET:
A-1.0



Date: 3/28/07
 Revisions:
 ▲
 ▲
 ▲
 ▲
 Drawn by: JC
 Reviewed by: MS

Tramway Community Church/Addition & Remodel
 4800 Tramway Ridge Dr. NE
 Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LS-01

SITE DATA

GROSS LOT AREA	174,582 SF
LESS BUILDING(S)	23,160 SF
NET LOT AREA	151,422 SF
REQUIRED LANDSCAPE	22,713 SF
15% OF NET LOT AREA	22,713 SF
EXISTING LANDSCAPE	25,666 SF
PROPOSED LANDSCAPE	1,425 SF
TOTAL LANDSCAPE PROVIDED	27,091 SF
PERCENT OF NET LOT AREA	18 %

REQUIRED STREET TREES
 PROVIDED AT 30' O.C. SPACING ALONG STREET 18
 REQUIRED PARKING LOT TREES
 PROVIDED AT 1 PER 10 SPACES (221 SPACES/10) 36 Ex. Parking Lot Trees

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
 LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
 HIGH WATER USE TURF

NOTE

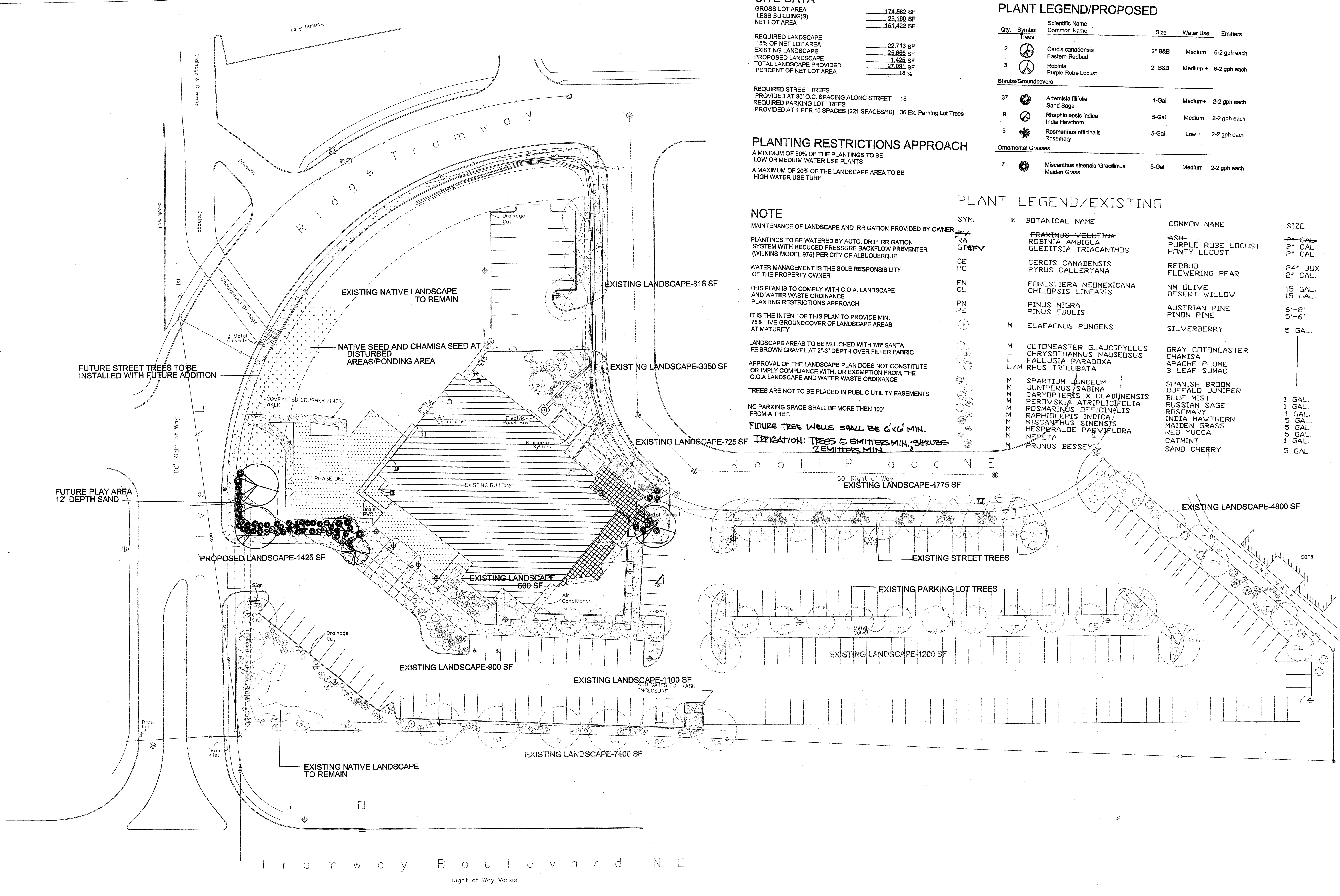
MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH 7/8" SANTA FE BROWN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.
 FUTURE TREE WELLS SHALL BE 6"x6" MIN.
 IRRIGATION: TREES 6 EMITTERS MIN., SHRUBS 2 EMITTERS MIN.

PLANT LEGEND/PROPOSED

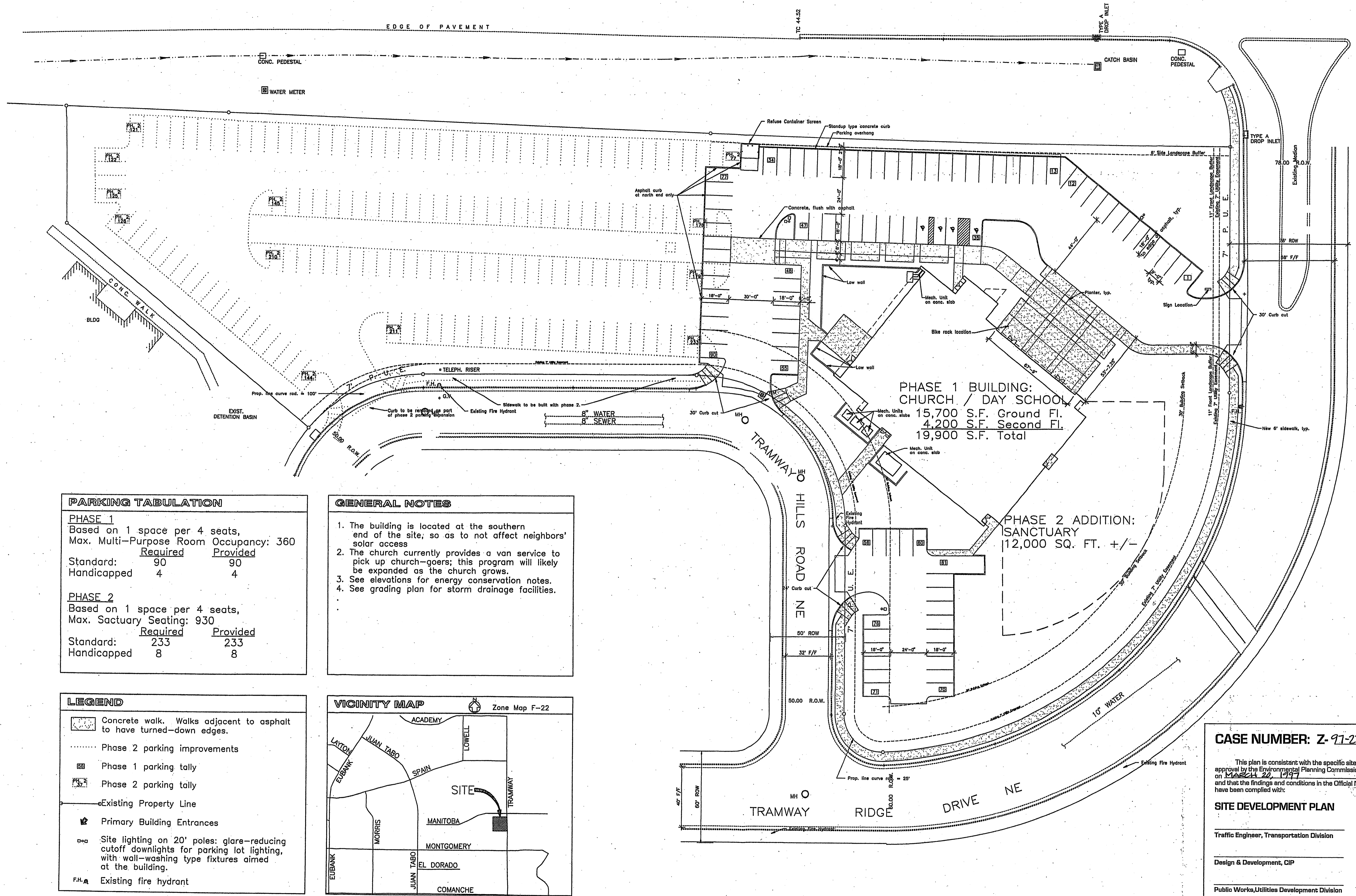
Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Emitters
Trees					
2	(Symbol)	Cercis canadensis Eastern Redbud	2" B&B	Medium	6-2 gph each
3	(Symbol)	Robinia Purple Robe Locust	2" B&B	Medium +	6-2 gph each
Shrubs/Groundcovers					
37	(Symbol)	Artemisia filifolia Sand Sage	1-Gal	Medium+	2-2 gph each
9	(Symbol)	Raphiolepis indica India Hawthorn	5-Gal	Medium	2-2 gph each
5	(Symbol)	Rosmarinus officinalis Rosemary	5-Gal	Low +	2-2 gph each
Ornamental Grasses					
7	(Symbol)	Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium	2-2 gph each

PLANT LEGEND/EXISTING

SYM.	BOTANICAL NAME	COMMON NAME	SIZE
RA	FRAXINUS VELUTINA	ASH	2" CAL.
GT	ROBINIA AMBIGUA	PURPLE ROBE LOCUST	2" CAL.
GT	GLEDITSIA TRIACANTHOS	HONEY LOCUST	2" CAL.
CE	CERCIS CANADENSIS	REDBUD	24" BOX
PC	PYRUS CALLERYANA	FLOWERING PEAR	2" CAL.
FN	FORESTIERA NEOMEXICANA	NM OLIVE	15 GAL.
CL	CHILOPSIS LINEARIS	DESERT WILLOW	15 GAL.
PN	PINUS NIGRA	AUSTRIAN PINE	6'-8'
PE	PINUS EDULIS	PINON PINE	5'-6'
M	ELAEAGNUS PUNGENS	SILVERBERRY	5 GAL.
M	COTONEASTER GLAUDOPHYLLUS	GRAY COTONEASTER	1 GAL.
L	CHRYSOTHAMNUS NAUSEDSUS	CHAMISA	1 GAL.
L	FALLUGIA PARADIXA	APACHE PLUME	5 GAL.
L/M	RHUS TRILOBATA	3' LEAF SUMAC	5 GAL.
M	SPARTIUM JUNCEUM	SPANISH BROOM	1 GAL.
M	JUNIPERUS SABINA	BUFFALO JUNIPER	1 GAL.
M	CARYOPTERIS X CLADONENSIS	BLUE MIST	1 GAL.
M	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL.
M	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL.
M	RAPHIOLEPIS INDICA	INDIA HAWTHORN	5 GAL.
M	MISCANTHUS SINENSIS	MAIDEN GRASS	1 GAL.
M	HESPERALDE PARVIFLORA	RED YUCCA	5 GAL.
M	NEPETA	CATMINT	1 GAL.
M	PRUNUS BESSEYI	SAND CHERRY	5 GAL.



LANDSCAPE PLAN
 SCALE: 1" = 30' - 0"



PHASE 1 BUILDING:
CHURCH / DAY SCHOOL
15,700 S.F. Ground Fl.
4,200 S.F. Second Fl.
19,900 S.F. Total

PHASE 2 ADDITION:
SANCTUARY
12,000 SQ. FT. +/-

PARKING TABULATION

PHASE 1
Based on 1 space per 4 seats,
Max. Multi-Purpose Room Occupancy: 360

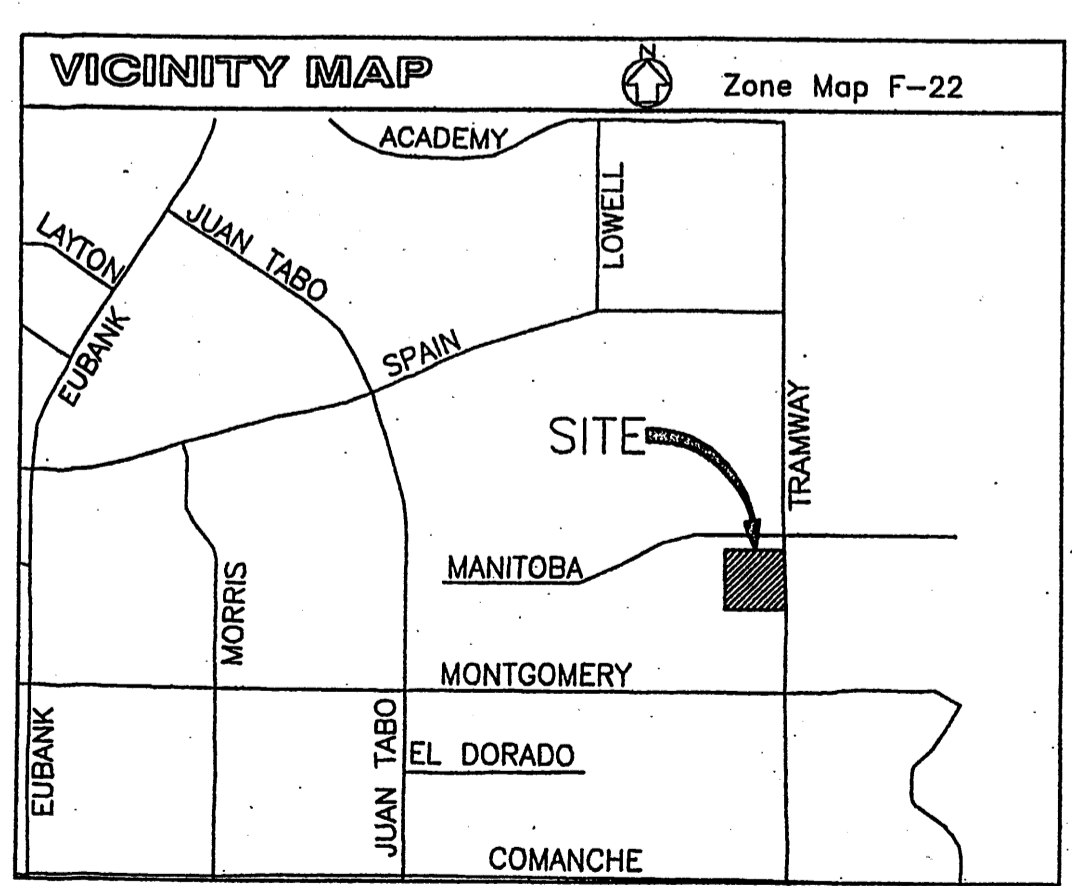
	Required	Provided
Standard:	90	90
Handicapped:	4	4

PHASE 2
Based on 1 space per 4 seats,
Max. Sactuary Seating: 930

	Required	Provided
Standard:	233	233
Handicapped:	8	8

- GENERAL NOTES**
1. The building is located at the southern end of the site, so as to not affect neighbors' solar access.
 2. The church currently provides a van service to pick up church-goers; this program will likely be expanded as the church grows.
 3. See elevations for energy conservation notes.
 4. See grading plan for storm drainage facilities.

- LEGEND**
- Concrete walk. Walks adjacent to asphalt to have turned-down edges.
 - Phase 2 parking improvements
 - Phase 1 parking tally
 - Phase 2 parking tally
 - Existing Property Line
 - Primary Building Entrances
 - Site lighting on 20' poles: glare-reducing cutoff downlights for parking lot lighting, with wall-washing type fixtures aimed at the building.
 - F.H. Existing fire hydrant



SITE DEVELOPMENT PLAN
SCALE: 1" = 30'-0"

CASE NUMBER: Z-97-27

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on MARCH 20, 1997 and that the findings and conditions in the Official Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Design & Development, CIP	Date
Public Works, Utilities Development Division	Date
City Engineer, Engineering Division/AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque Planning Department	Date
---	------

PLNZ (10706) 4/98

SITE DEVELOPMENT PLAN
TRAMWAY COMMUNITY CHURCH
DEER RIDGE BUSINESS CENTER
ALBUQUERQUE, NEW MEXICO

DORMAN and BREEN
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-269-5940

LAURENCE BREEN A.I.A.
SANTA FE, NM 505-962-9196

SHEET TITLE:
SITE DEVELOPMENT PLAN

JOB NUMBER:
9605

DATE:
JUNE 2, 1997

REVISIONS:

NO.	DATE	DESCRIPTION

SHEET:
DRB-1

1 of 3

T R A M W A Y

B L V D .

N . E .

SCALE: 1" = 50'

R=11,553.36' L=272.44' CHORD=S00°33'43"W-272.43' R=11,553.36' L=220.01' CHORD=S01°49'58"E-220.01' S 02° 22' 42" W 321.13' R=9,563.15' L=396.58' CHORD=S 01° 11' 26" W - 396.55'

NOT A PART OF THIS REQUEST

PARCEL 4

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 25.0
E: 20.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.4

PARCEL 3

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 20.0
E: 15.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.15

PARCEL 2

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 40' at all facades except 45' only at setbacks
SETBACKS: step down transition near elevator shaft at southwest corner of building
N: 20.0
S: 20.0
E: 15.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.05

PARCEL 1

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 40' at all facades except 45' only at setbacks
SETBACKS: step down transition near elevator shaft at southwest corner of building
N: 20.0
S: 30.0
E: 15.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.2

TRAMWAY RIDGE DRIVE

PARCEL 5

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 25.0
S: 25.0
E: 30.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.32

PARCEL 6

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 40' at all facades except 45' only at setbacks
SETBACKS: step down transition near elevator shaft at southwest corner of building
N: 20.0
S: 30.0
E: 20.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.03

TRAMWAY HILLS DRIVE

CHURCH

PARCEL 7

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 30.0
S: 20.0
E: 20.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 0.86

DEER RIDGE BUSINESS CENTER

DESIGN GUIDELINES
The following guidelines have been developed as a statement of architectural and landscape design intent. They are not meant to control the design process, but to provide a framework for the design team. The design team is responsible for the final design of the project, which must meet the intent of these guidelines. The design team is encouraged to provide a high quality design that meets the intent of these guidelines. The design team is responsible for the final design of the project, which must meet the intent of these guidelines.

PARCEL 8

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 20.0
E: 20.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 0.86

PARCEL 9

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 20.0
E: 20.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 0.81

PARCEL 10

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 30.0
E: 20.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.12

PARCEL 11

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 30.0
E: 30.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 0.972

NOTES:

* Related Commercial uses shall be less than fifteen percent (15%) of the total project and shall be restricted to the following specific uses:

- Restaurant
- Office Supply
- Computer Hard and Software
- Book and Magazine Store
- Men's and Women Clothing Store
- Gift Shop
- Flower Shop
- Specialty Shops
- Art Supply Store
- Art Gallery
- Specialty Food Shop including Bakery
- Barber and Beauty Shops
- Drug Store
- Insurance Agency
- Title Company
- Real Estate Agency
- Photocopy Store
- Tobacco Shop
- Athletic Club
- Day Care Facility

Conditions as imposed by the EPC:

- 1) Final configuration of the access on Tramway to be approved by the Traffic Engineer.
- 2) Drainage Plan to be approved by the City Engineer.
- 3) No drive-in or drive-thru restaurants to be allowed.
- 4) Allowable number of small car spaces to be 3% of the total for each parcel.
- 5) Parking for athletic clubs to be at one space per 125 square feet.
- 6) The 20 foot setbacks along residential property to include parking lots.
- 7) Design guidelines be refined to include tree species, and number of signs per parcel.
- 8) Individual site plans for each parcel shall be brought back to the Environmental Planning Commission for approval.

AMENDED 4.6.2007
PARCELS 4, 2 & 6
FOR SETBACK &
HEIGHT LIMIT

DRB-86-332 7-11-86	
I certify that this area is zoned SU-1 for Office/Institutional and Commercial and this plan is consistent with the specific site development plan approval by the Environmental Planning Commission on January 20, 1986.	
APPROVED AS TO REQUIREMENTS: <i>Richard D. Moore</i> City Planning Department	8-19-86 Date
<i>John M. Stone</i> Parks & Recreation Department	6-17-86 Date
<i>Terry J. Brown</i> Transportation Development Division, Traffic Engineer	6-17-86 Date
<i>Paul J. Quinn</i> City Engineer	6-17-86 Date
<i>Shirley J. Scaugh</i> Utility Development Division, City Engineer	6-17-86 Date

WILSON WISWALD 92 600
M. LEE COLEMAN 764-1589

BARKER-DOL & ASSOCIATES
ARCHITECTS AND PLANNERS
200 GOLD AVENUE S.W.
ALBUQUERQUE, NEW MEXICO 87102
TELEPHONE AREA CODE 505-442-6788

ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 INDIAN SCHOOL ROAD NE SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-1625

DEER RIDGE BUSINESS CENTER SITE DEVELOPMENT PLAN FOR A SUBDIVISION

NEW HOLIDAY PARK
FILED: APR 27, 1971
DAIRY, 120

MANITOBA STREET

STREET

T R A M W A Y L V D . N . E .

SCALE: 1" = 50'

R=11,553.36' L=272.44' CHORD=S00°33'43"W-272.43' R=11,553.36' L=220.01' CHORD=S01°49'58"E-220.01' S 02°22'42"W 321.13' R=9,563.15' L=396.58' CHORD=S 01°11'26"W-396.55'

NOTES:

* Related Commercial uses shall be less than fifteen percent (15%) of the total project and shall be restricted to the following specific uses:

- Restaurant
- Office Supply
- Computer Hard and Software
- Book and Magazine Store
- Men's and Women Clothing Store
- Gift Shop
- Flower Shop
- Specialty Shops
- Art Supply Store
- Art Gallery
- Specialty Food Shop including Bakery

- Barber and Beauty Shops
- Drug Store
- Insurance Agency
- Title Company
- Real Estate Agency
- Photocopy Store
- Photographic Studio
- Tobacco Shop
- Athletic Club
- Day Care Facility

Conditions as imposed by the EPC:

- 1) Final configuration of the access on Tramway to be approved by the Traffic Engineer.
- 2) Drainage Plan to be approved by the City Engineer.
- 3) No drive-in or drive-thru restaurants to be allowed.
- 4) Allowable number of small car spaces to be 33% of the total for each parcel.
- 5) Parking for athletic clubs to be at one space per 125 square feet.
- 6) The 20 foot setbacks along residential property to include parking lots.
- 7) Design guidelines be refined to include tree species, and number of signs per parcel.
- 8) Individual site plans for each parcel shall be brought back to the Environmental Planning Commission for approval.

NOT A PART OF THIS REQUEST

PARCEL 4

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 25.0
E: 20.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.4

PARCEL 3

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 20.0
E: 15.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.15

PARCEL 2

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 20.0
E: 15.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.05

PARCEL 1

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 30.0
E: 15.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.2

TRAMWAY RIDGE DRIVE

PARCEL 5

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 25.0
S: 25.0
E: 30.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.32

PARCEL 6

F.A.R.: 0.40
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 30.0
S: 30.0
E: 20.0
W: 30.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 1.03

TRAMWAY HILLS DRIVE

NOT A PART OF THIS REQUEST

PARCEL 11

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 30.0
E: 30.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 0.972

PARCEL 7

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 30.0
S: 30.0
E: 30.0
W: 20.0
LAND USE: Office - Institutional and Related Commercial
NET ACRES: 0.86

DEER RIDGE BUSINESS CENTER

DESIGN GUIDELINES

Introduction
This plan has been developed as a statement of architectural and landscaping intentions. They are not meant to suppress the creative talents of the architect. They are meant to guide the architect in the development of a design that is in harmony with the surrounding environment. The architect is encouraged to use the guidelines as a starting point for the design process. The architect is encouraged to use the guidelines as a starting point for the design process. The architect is encouraged to use the guidelines as a starting point for the design process.

Architectural Guidelines
The design should be in harmony with the surrounding environment. The design should be in harmony with the surrounding environment. The design should be in harmony with the surrounding environment.

Landscaping Guidelines
The landscaping should be in harmony with the surrounding environment. The landscaping should be in harmony with the surrounding environment. The landscaping should be in harmony with the surrounding environment.

PARCEL 8

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 20.0
E: 20.0
W: 20.0
LAND USE: Office - Institutional
NET ACRES: 0.86

PARCEL 9

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 20.0
E: 20.0
W: 20.0
LAND USE: Office - Institutional
NET ACRES: 0.81

PARCEL 10

F.A.R.: 0.35
O.S.R.: 25 %
HT. LIMIT: 2 stories
SETBACKS:
N: 20.0
S: 30.0
E: 20.0
W: 20.0
LAND USE: Office - Institutional
NET ACRES: 1.12

MANITOBA STREET

DRB-86-312
2-71-34-1

I certify that this area is zoned SU-1 for Office/Institutional and Commercial and this plan is consistent with the specific site development plan approval by the Environmental Planning Commission on January 20, 1986.

APPROVED AS TO REQUIREMENTS:

Rickshaw Dineen 8-18-86
City Planning Department Date

John H. Stone 6-17-86
Parks & Recreation Department Date

Terry D. Brown 6-17-86
Transportation Development Division, Traffic Engineer Date

Paul J. Gagnon 6-17-86
City Engineer Date

Rhonda A. Saught 6-17-86
Utility Development Division, City Engineer Date

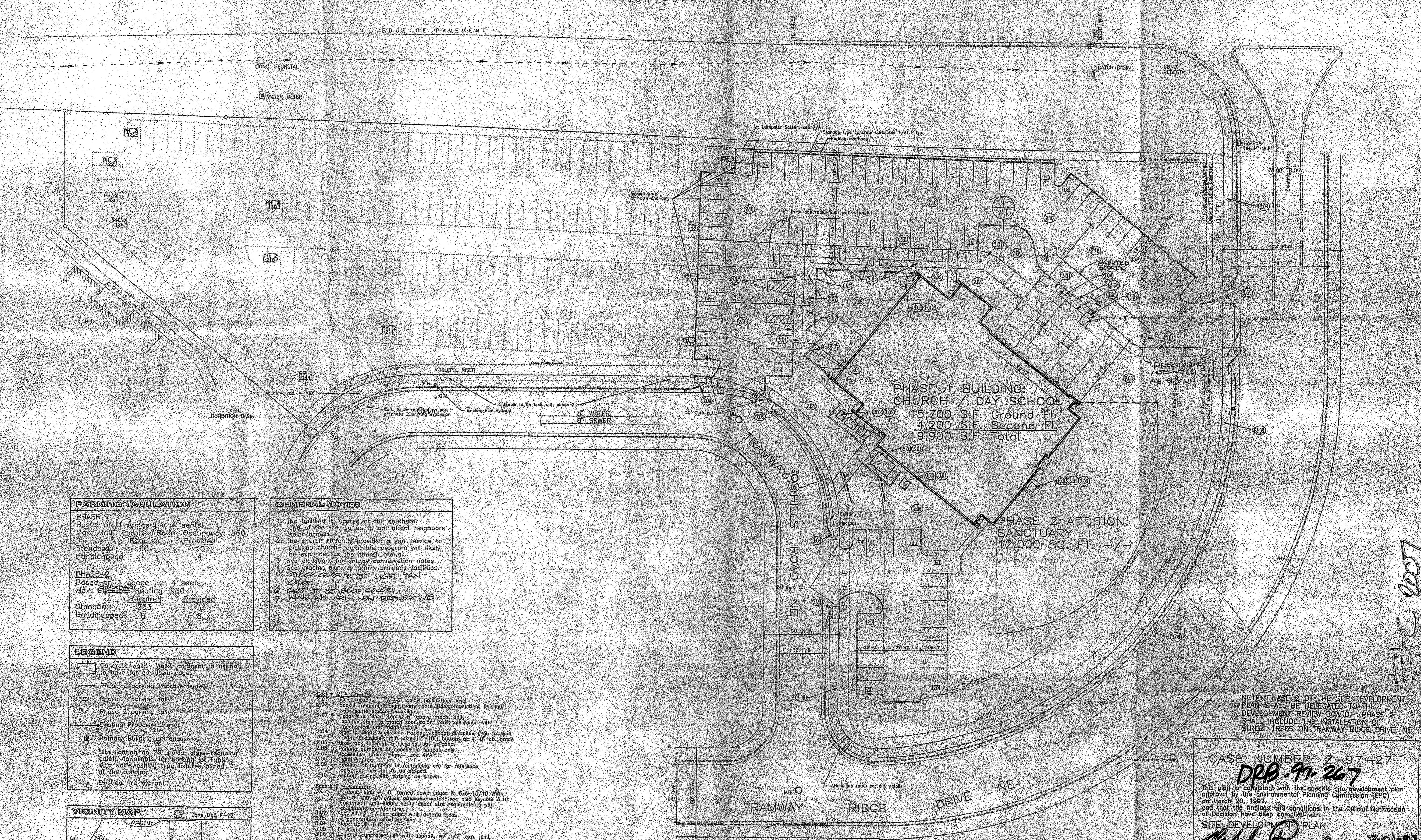
BARKER-BOL & ASSOCIATES
ARCHITECTS AND PLANNERS
208 GOLD AVENUE, S.W.
ALBUQUERQUE, NEW MEXICO 87102
TELEPHONE AREA CODE 505-642-8789

ESPEY, HUSTON & ASSOC., INC.
Engineering & Environmental Consultants
4801 INDIAN SCHOOL ROAD, N.E. SUITE 204
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 255-1625

DEER RIDGE BUSINESS CENTER SITE DEVELOPMENT PLAN FOR A SUBDIVISION

NEW HOLIDAY PARK
FILED: APR 27, 1987
DAVID J. BO

TRAMWAY BOULEVARD NE
RIGHT-OF-WAY VARIES



PHASE 1 BUILDING:
CHURCH / DAY SCHOOL
15,700 S.F. Ground Fl.
4,200 S.F. Second Fl.
19,900 S.F. Total

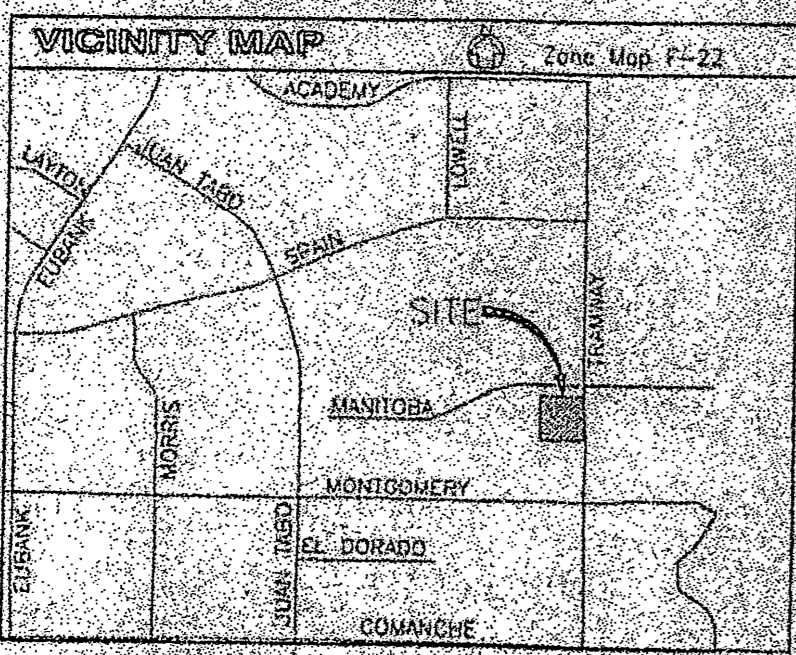
PHASE 2 ADDITION:
SANCTUARY
12,000 SQ. FT. +/-

PARKING TABULATION

PHASE	Based on 1 space per 4 seats	Max. Multi-Purpose Room Occupancy	Standard	Required	Provided
PHASE 1		360	90	90	
			Handicapped	4	4
PHASE 2		936	233	233	
			Handicapped	8	8

- GENERAL NOTES**
- The building is located at the southern end of the site, so as to not affect neighbors' solar access.
 - The church currently provides a van service to sick or church members; this program will likely be expanded as the church grows.
 - See elevations for energy conservation notes.
 - See grading plan for storm drainage facilities.
 - STREET CURB TO BE LIGHT TAN**
 - ROSE TO BE BLUE COLOR**
 - WINDOWS ARE NON-REFLECTIVE**

- LEGEND**
- Concrete walk, walks adjacent to asphalt to have turned-down edges.
 - Phase 2 parking improvements
 - Phase 1 parking tally
 - Phase 2 parking tally
 - Existing Property Line
 - Primary Building Entrances
 - Site lighting on 20' poles, pole-reducing cutoff downlights for parking lot lighting, with wall-washing type fixtures aimed at the building.
 - Existing fire hydrant



- SECTION 2 - SELECTIONS**
- 2.01 1/2" x 1/2" x 1/2" - 6" below finish floor level
 - 2.02 Backlit monument sign, same depth, instrument finished with same stucco as building
 - 2.03 Cast iron fence, 4' x 6" above masonry, unit opaque stain to match roof color. Verify alignment with mechanical unit manufacturer's percent at space #49, to read "Van Accessible" - min size 12" x 15", bottom at 4'-0" ab. grade
 - 2.04 Sign to read "Accessible Parking" - percent at space #49, to read "Van Accessible" - min size 12" x 15", bottom at 4'-0" ab. grade
 - 2.05 Blue roof for min. 5' building, set in color
 - 2.06 Parking bumpers at accessible spaces only
 - 2.07 Accessible parking sign - see 4/A1.1
 - 2.08 Planting Area
 - 2.09 Parking lot numbers in rectangles are for reference only and are not to be striped
 - 2.10 Asphalt paving with striping as shown
- SECTION 3 - CONCRETE**
- 3.01 4" conc. slab w/ 8" turned down edges & 6x6-10/10 WWM, top @ 300'-0" unless otherwise noted; see also Keynote 3.10
 - 3.02 2" conc. curb, 1/2" slope, early wear size requirements with equipment manufacturer
 - 3.03 4" x 12" x 12" w/ 8" conc. walk around trees
 - 3.04 2" conc. curb on steel coping
 - 3.05 8" x 8" x 1 1/2"
 - 3.06 Edge of concrete flush with asphalt, w/ 1/2" exp. joint
 - 3.07 3" thick conc. base
 - 3.08 4" wide x 12" high conc. sidewalk w/ 6x6-10/10 WWM, set in R.O.W. adjacent to the property line; see also 3.10
 - 3.09 Unidirectional curb ramp per city detail 2428
 - 3.10 Where not specifically noted, provide 1/2" x 1/2" x 1/2" joint @ 20' o.c. & control joints @ 8' o.c. Contractor to verify proposed positioning of expansion and control joints are to match.
- SECTION 4 - MASONRY**
- 4.01 8" CMU wall to height noted; stucco finish to match building; See detail 3/A1.1
- SECTION 5 - WOOD AND PLASTIC**
- 5.01 3" x 4" pressure treated timber, set 2'-0" into ground, started above blue to match building roof
- SECTION 6 - FINISHES**
- 6.01 Paint all mechanical units and all exterior exposed masonry to match stucco color
- SECTION 15 - MECHANICAL/PLUMBING**
- 15.01 Mechanical Unit, see note B.11
- SECTION 16 - ELECTRICAL**
- 16.01 Transformer, see note 16.01

SITE PLAN
SCALE: 1" = 30'-0"

CASE NUMBER: Z-97-27
DRB-97-267

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on March 20, 1997, and that the findings and conditions in the Official Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

<i>Richard Breen</i> Traffic Engineer, Transportation Division	7-01-97 Date
<i>John Mustang II</i> Public Works, Utilities Development Division	7-16-97 Date
<i>Frank D. ...</i> City Engineer, Engineering Division/AMAFCA	7-1-97 Date
<i>Kevin ...</i> City Planner, Albuquerque Planning Department	8-1-97 Date

APPROVAL AND CONDITION ACCEPTANCE as specified by the Development Process Manual

DORMAN and BREEN
LAURENCE BREEN A.I.A.
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-289-5940 SANTA FE, NM 505-982-9196

TRAMWAY COMMUNITY CHURCH
ALBUQUERQUE, NEW MEXICO



SHEET TITLE: SITE PLAN

JOB NUMBER: 9605
DATE: JUNE 20, 1997
PERMIT SET
REVISIONS:
SHEET: DRB-