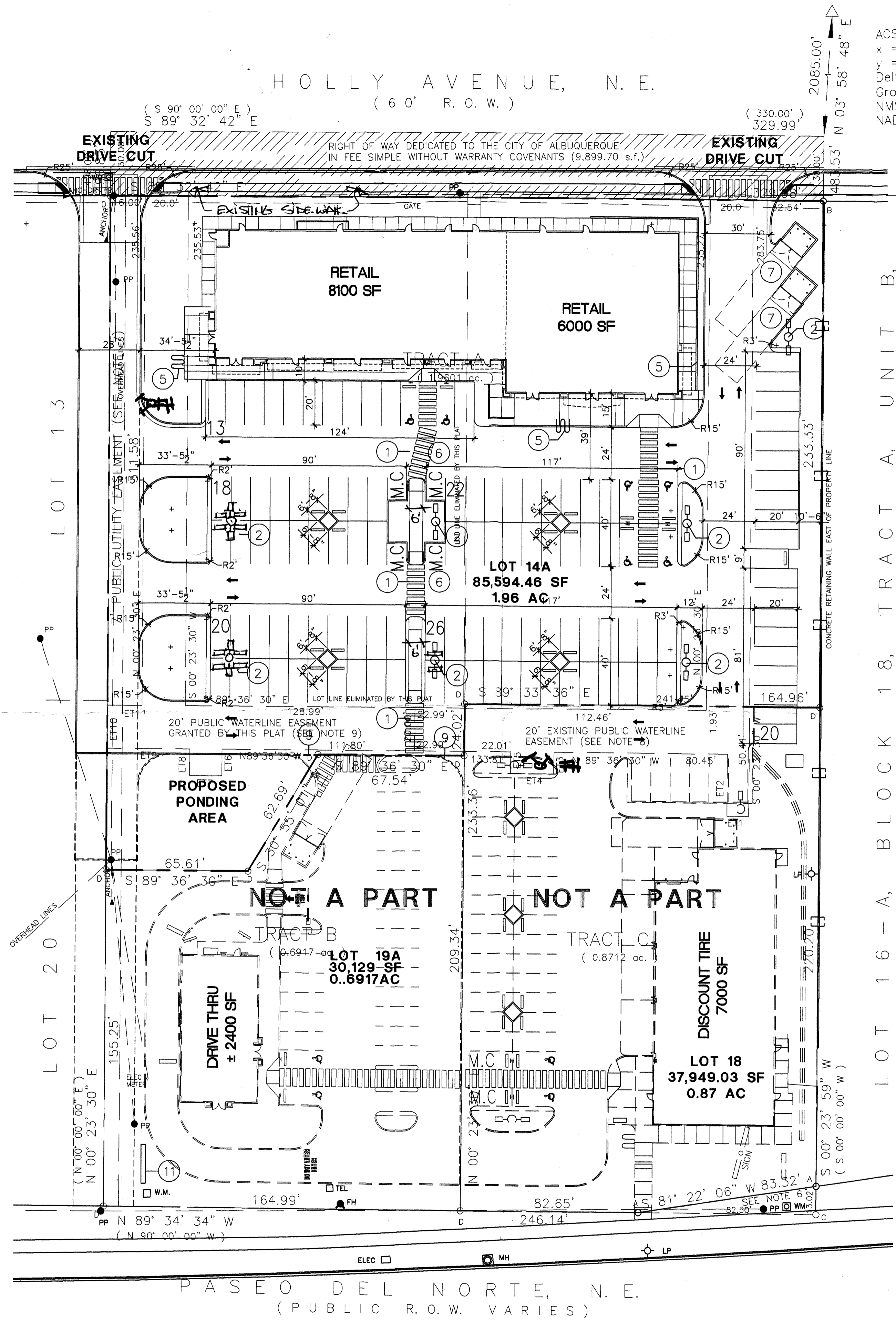
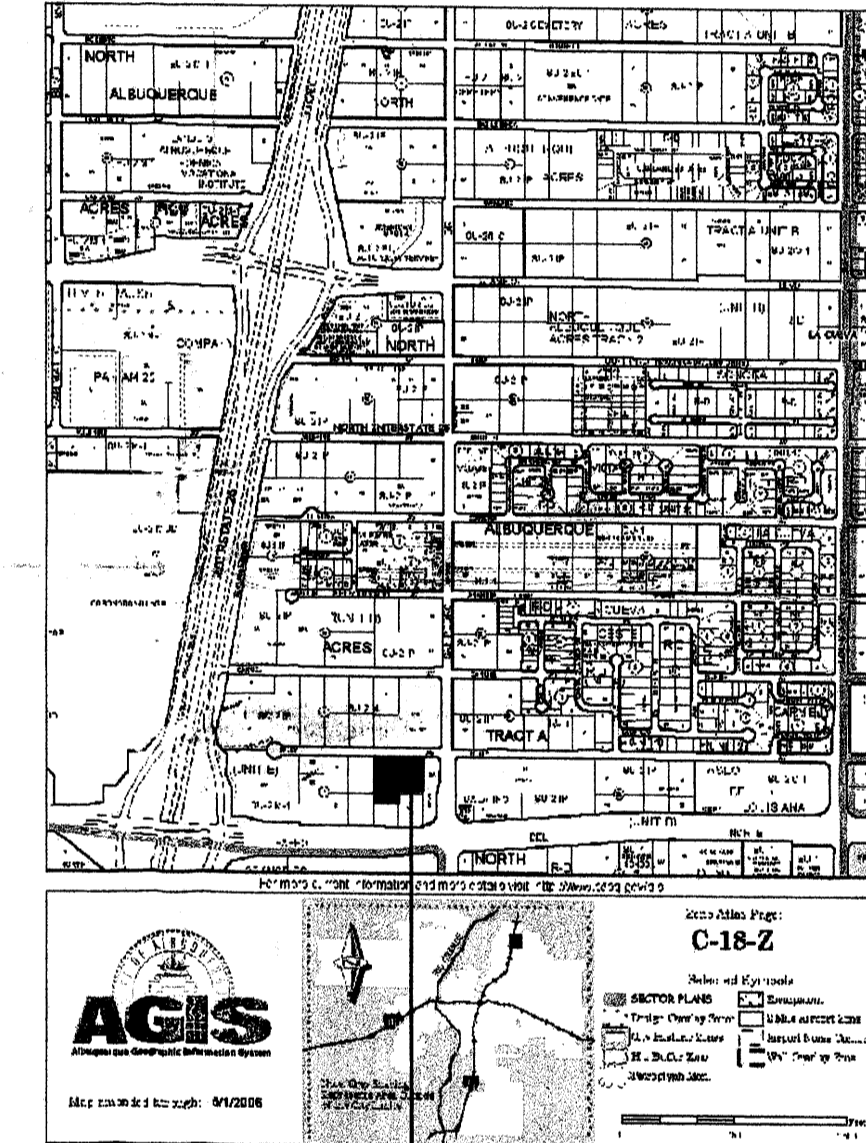


BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
(FILED 4/24/1936 VOL. D, FOLIO 130)



ACS MONUMENT "9-C18"  
 x = 402,255.61  
 y = 1,521,435.09  
 Delta Alpha: -00°11'19"  
 Ground-to-grid: 0.9996608  
 NMSP CENTRAL ZONE  
 NAD 1927

LEGAL DESCRIPTION	
PROPOSED TRACT NUMBER:	LOT-14-14A
TOTAL ACREAGE:	AREA= 85,383 SF/ OR 1.96 AC
EXISTING ZONING:	SU-2 FOR M-1 PURPOSES
PROPOSED ZONING:	
BUILDING SIZE:	14,100SF
FAR:	
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	RETAIL
TOTAL PARKING PROVIDED:	119 SPACES
TOTAL PARKING REQ (INC. EMPLOYEE):	71 SPACES
HC PROVIDED:	6 H.C (INC. 6 VAN ACCESSIBLE)
HC REQUIRED:	6 H.C SPACES
BIKE SPACES PROVIDED:	10 BIKE SPACES
BIKE SPACES REQUIRED:	6 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	4 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED:	4 MOTORCYCLE SPACE



PROJECT LOCATION

KEYED NOTE:

- ① 8' STRIPED PEDESTRIAN CROSSING LOCATION
- ② PROPOSED LIGHT POLE LOCATION  
RE: 6/A1.2 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ HANDICAP RAMP PER COA STD DWG #2441
- ⑤ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)  
RE: 4/A1.2 FOR BIKE RACK DETAIL
- ⑥ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
RE: SITE PLAN FOR LOCATIONS  
RE: 3/A1.2 FOR MOTOR CYCLE SIGN DETAIL
- ⑦ INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0  
NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑧ PROVIDE NEW DRIVE CUT AND H.C ACCESSIBLE WHEEL  
CHAIR RAMP W/ TRUNCATED DOMES AS SPECIFIED WITHIN C.O.A STD. DETAIL #2426
- ⑨ INDICATES TEMPORARY ASPHALT CURB RE: CIVIL FOR TEMPORARY CURB DETAILS
- ⑩ INDICATES NEW BENCH LOCATION  
RE: 4A/A1.2 FOR BENCH DETAIL
- ⑪ INDICATES PROPOSED SIGN LOCATION  
RE: 13/A1.2 FOR SIGN DETAIL

PLANS CHECKING OFFICE  
 824-3611  
 FULL 11/19/07

PROJECT NUMBER: 1004772  
 APPLICATION NUMBER: 07 DBS 70376

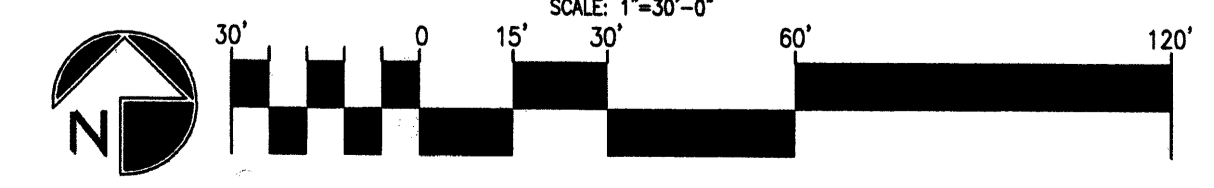
Is an Infrastructure List required? (X) YES ( ) NO if yes, then a set of approved DDC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
<i>Karen J. Green</i>	11-14-07
DRB ABCWU ENGINEER	Date
<i>Christina Sandoval</i>	11/14/07
Parks and Recreation Department	Date
<i>Bradley A. Dwyer</i>	11/19/07
City Engineer	Date
<i>N.H.</i>	
Environmental Health Department	Date
<i>Michael Helton</i>	11/19/07
Solid Waste Management	Date
<i>Andrew Garcia</i>	2/15/08
DRB Chairperson, Planning Department	Date

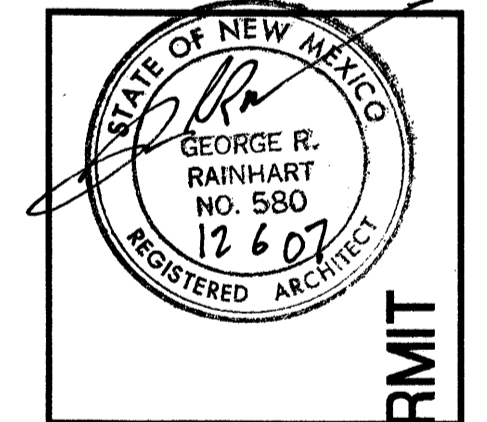
\* Environmental Health, if necessary

HOLLY PLACE PII



REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE  
 HOLLY PLACE PII  
 N.W.C. OF PASO DEL NORTE, N.E. AND SAN PEDRO  
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER  
 STEPHEN DUNBAR AIA

JOB NO.  
 S

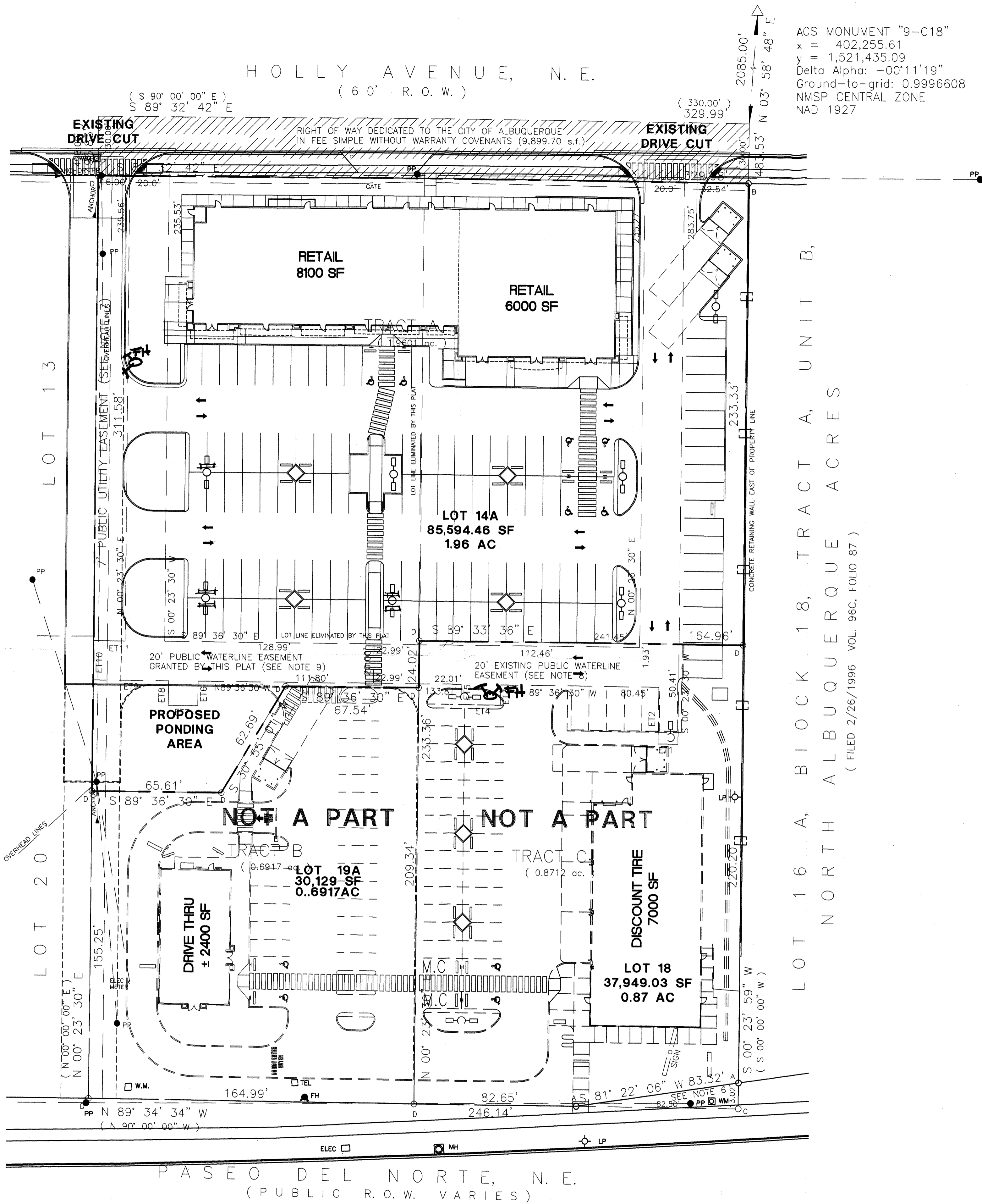
DRAWN BY  
 S

SHEET TITLE  
 SITE PLAN FOR BUILDING PERMIT

DATE: sheet-  
 SCALE: A1.0  
 1"=30'  
 of-

1004772

BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
( FILED 4/24/1936 VOL. D, FOLIO 130 )



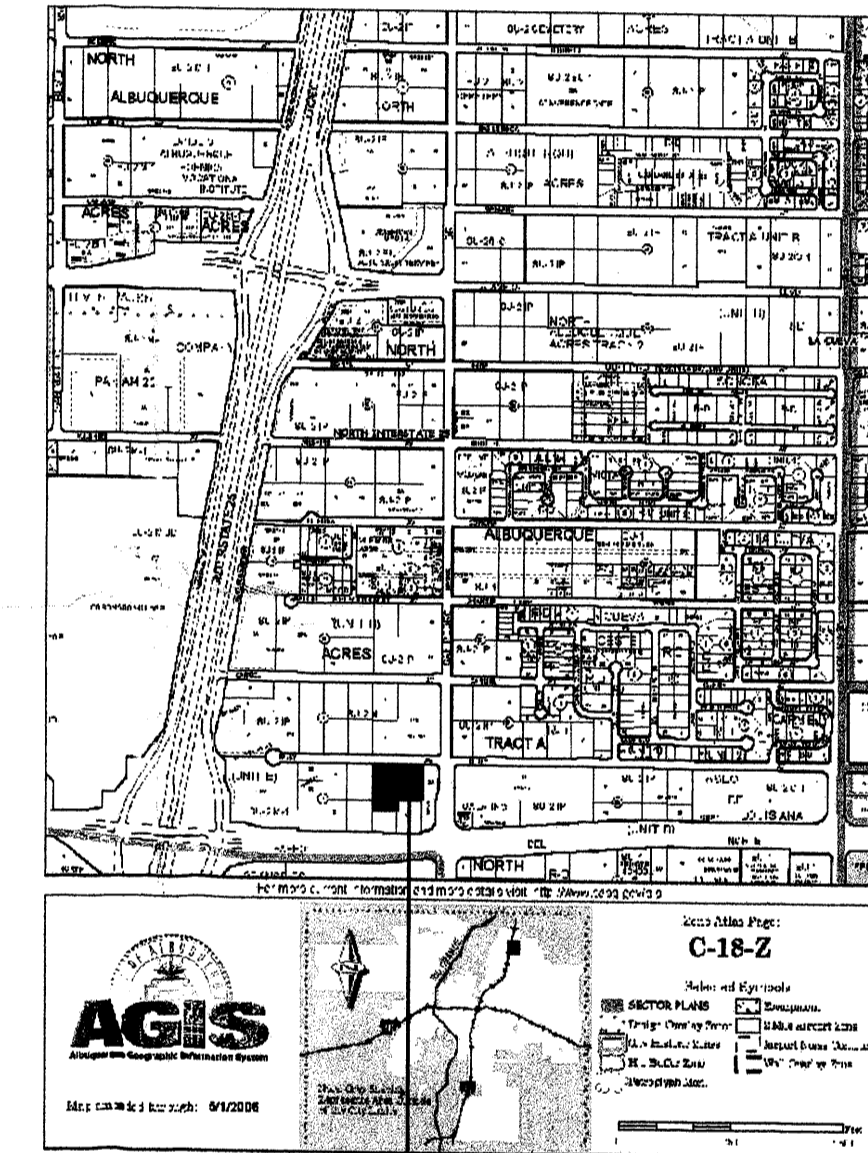
ACS MONUMENT "9-C18"  
x = 402,255.61  
y = 1,521,435.09  
Delta Alpha: -00°11'19"  
Ground-to-grid: 0.9996608  
NMSP CENTRAL ZONE  
NAD 1927

LOT 16-A, BLOCK 18, TRACT A, UNIT B,  
NORTH ALBUQUERQUE ACRES  
( FILED 2/26/1996 VOL. 96C, FOLIO 87 )

PASEO DEL NORTE, N.E.  
( PUBLIC R.O.W. VARIES )

LEGAL DESCRIPTION	
PROPOSED TRACT NUMBER:	LOT-14-14A
TOTAL ACREAGE:	AREA= 85,383 SF/ OR 1.96 AC
EXISTING ZONING:	SU-2 FOR M-1 PURPOSES
PROPOSED ZONING:	
BUILDING SIZE:	14,100SF
FAR:	
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	RETAIL
TOTAL PARKING PROVIDED:	119 SPACES
TOTAL PARKING REQ (INC. EMPLOYEE):	71 SPACES
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MOTORCYCLE SPACES REQUIRED:	4 MOTORCYCLE SPACE

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			



PROJECT LOCATION

PROJECT NUMBER: 1004772  
APPLICATION NUMBER: 07DEC-70315

Is an Infrastructure List required? ( ) YES (X) NO if yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

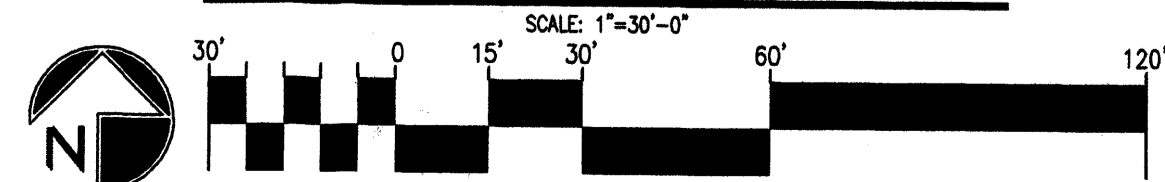
*Kevin Green* Engineering, Transportation Division 11-14-07 Date  
*Kevin Green* DRB ABQ/UA ENGINEER 11-14-07 Date  
*Christina Sandoval* Parks and Recreation Department 11/16/07 Date  
*Brendly J. Bingham* City Engineer 11/16/07 Date  
*N.A. Michael Holton* Environmental Health Department 11/19/07 Date  
Solid Waste Management Date

DRB Chairperson, Planning Department Date

\* Environmental Health, if necessary

APD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
FILE 11/19/07  
SIGNATURE & DATE

HOLLY PLACE PII



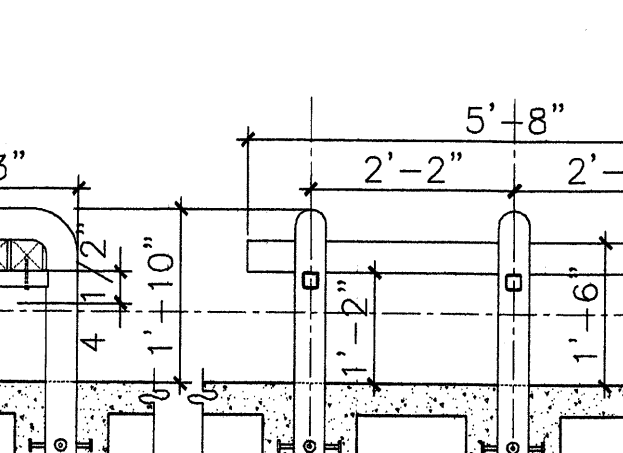
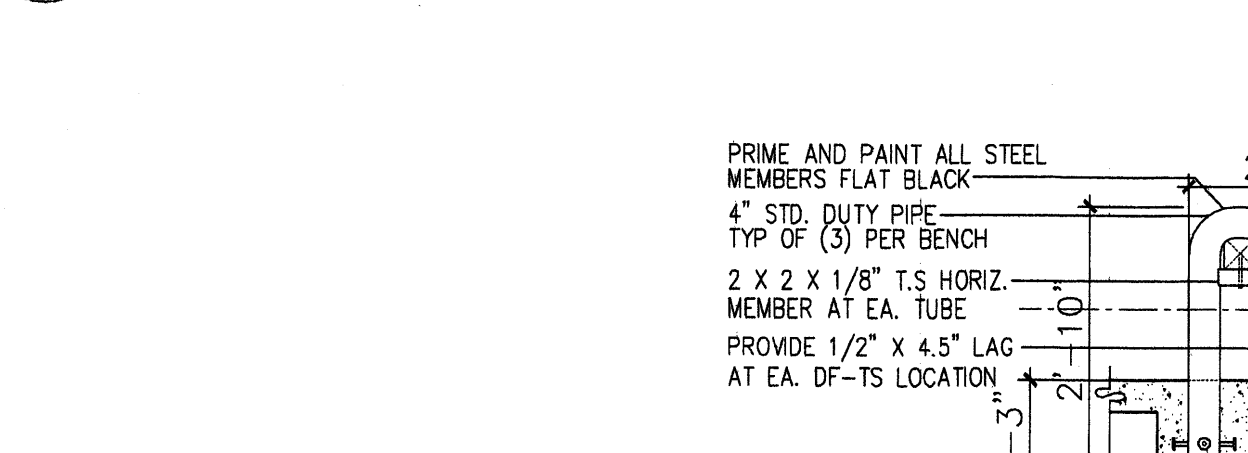
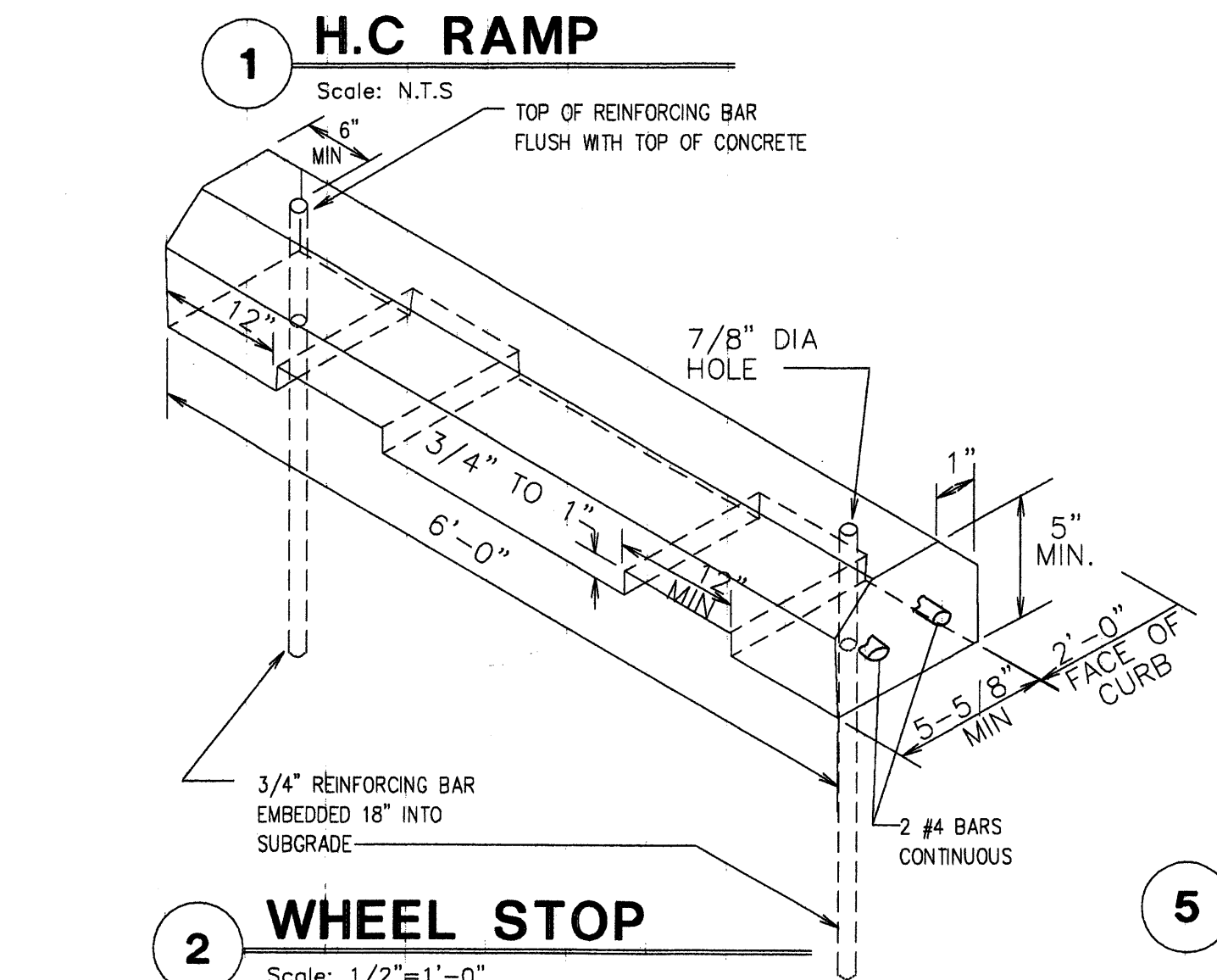
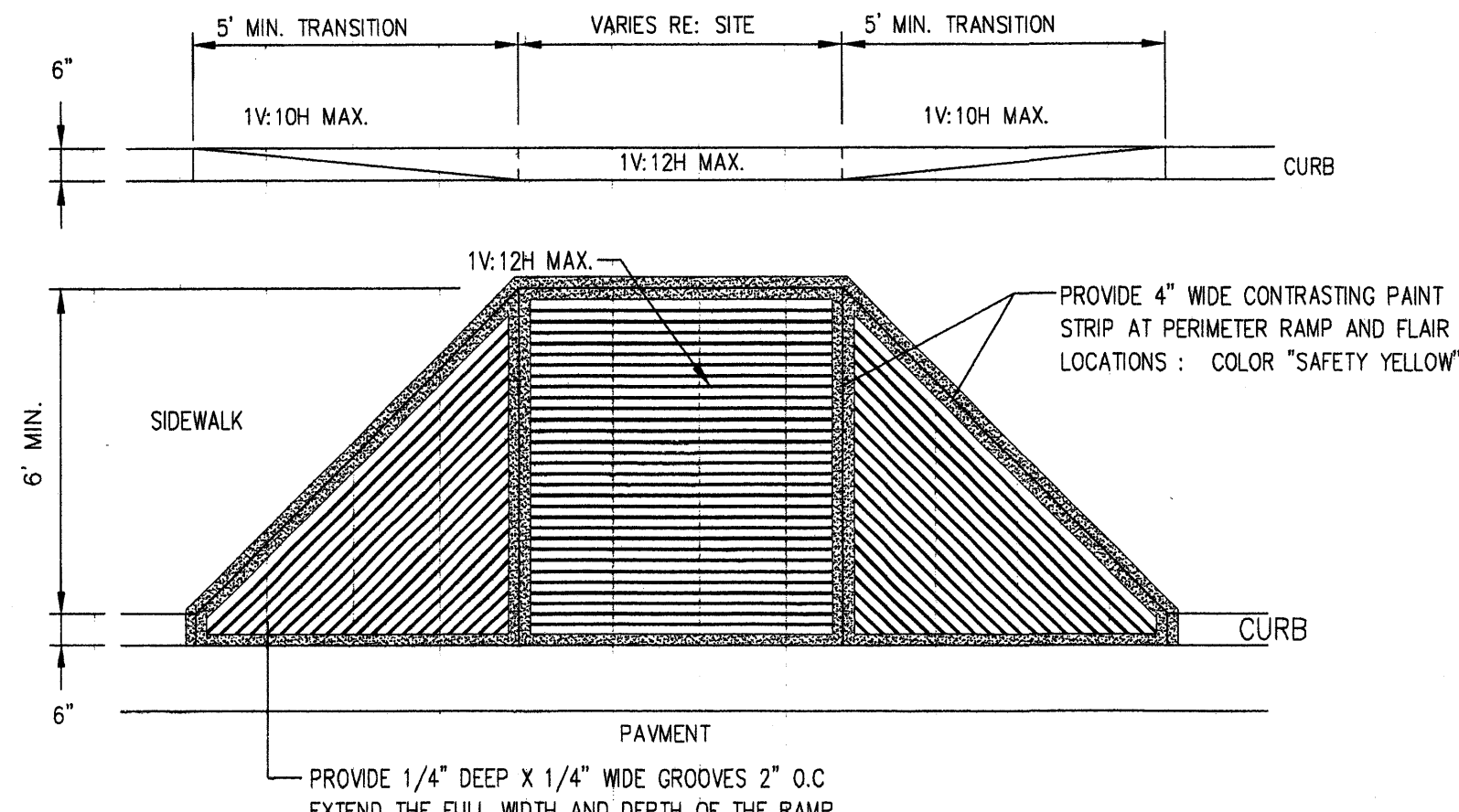
**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO NE SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE: HOLLY PLACE PII  
N.W.C. OF PASEO BLVD. AND SAN PEDRO  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: STEPHEN DUNBAR AIA  
JOB NO.: 06-41C  
DRAWN BY: S

SHEET TITLE: SITE PLAN FOR SUBDIVISION

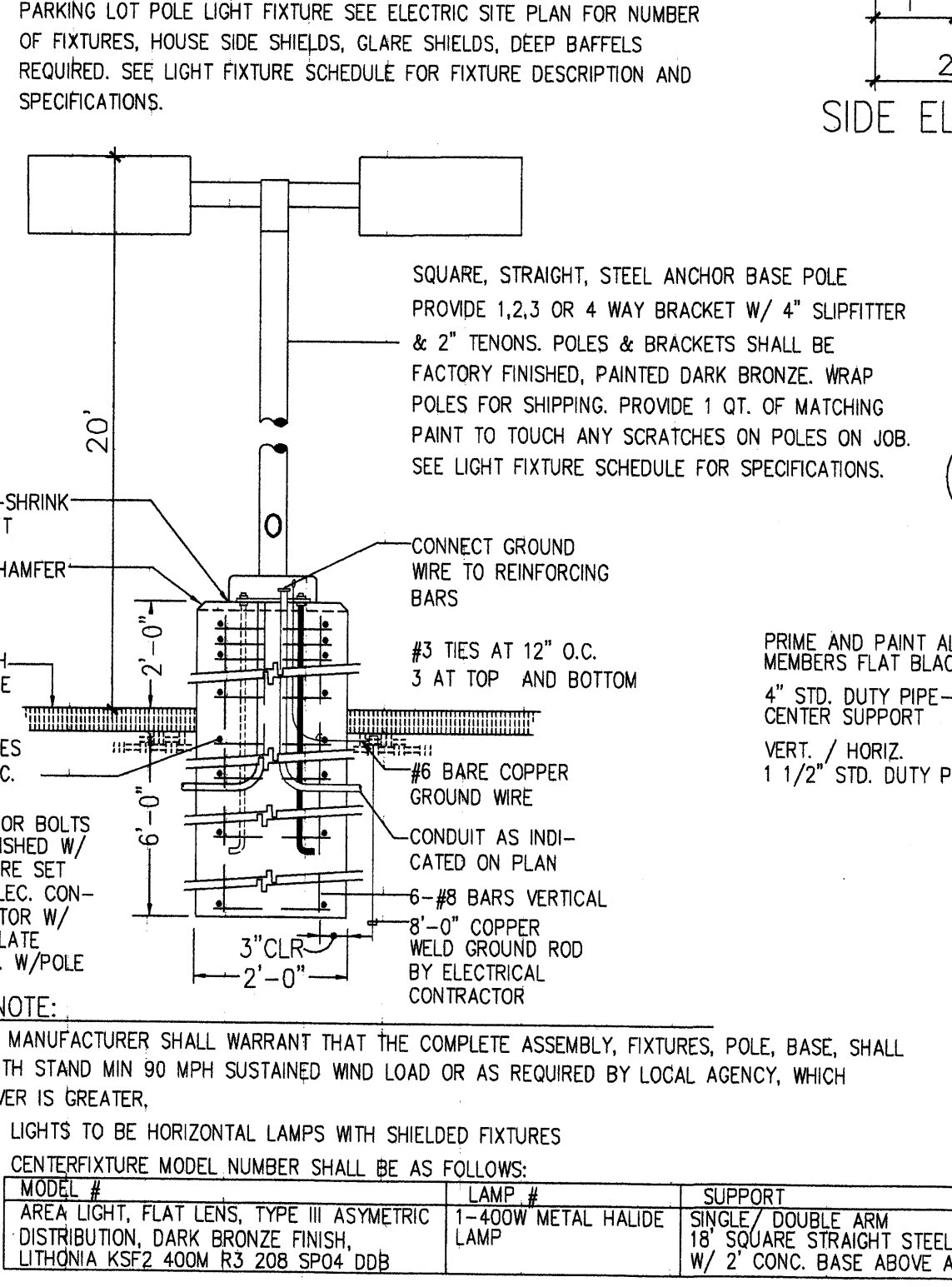
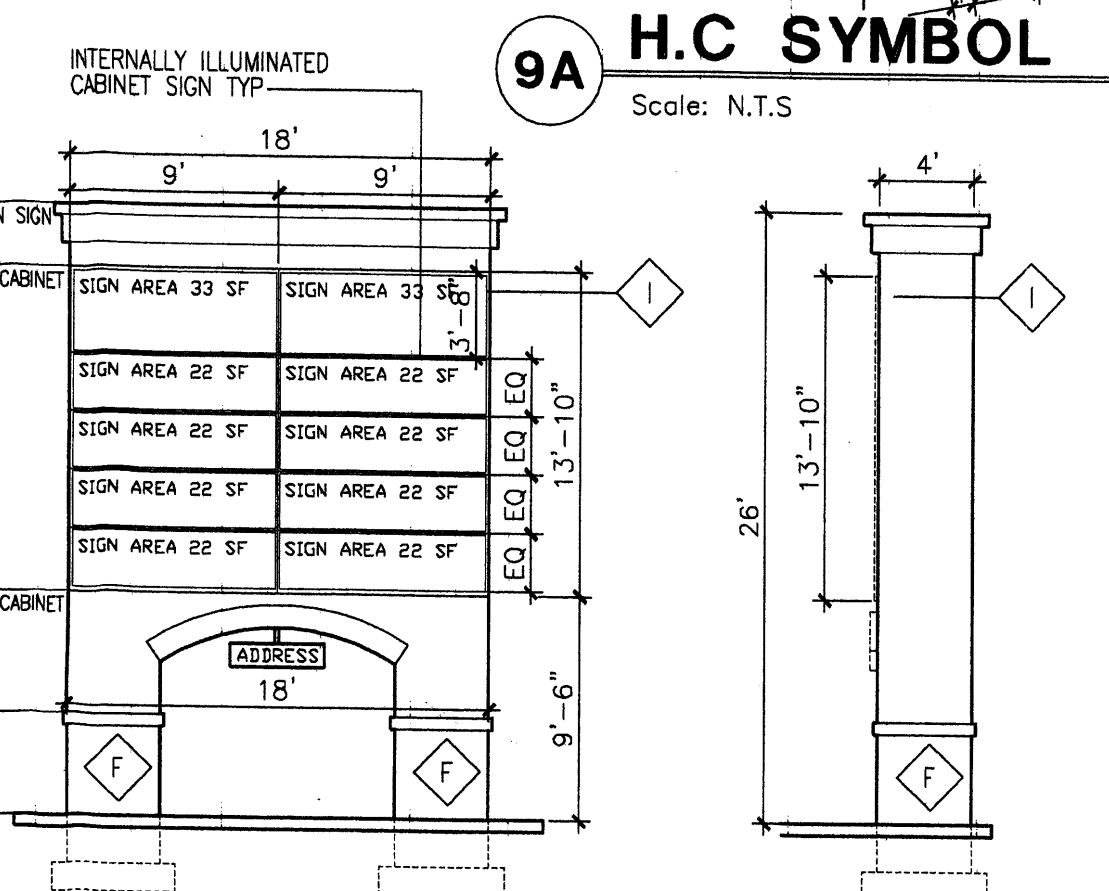
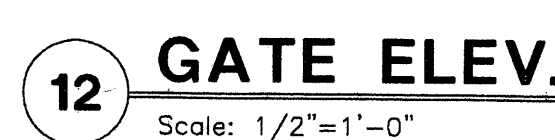
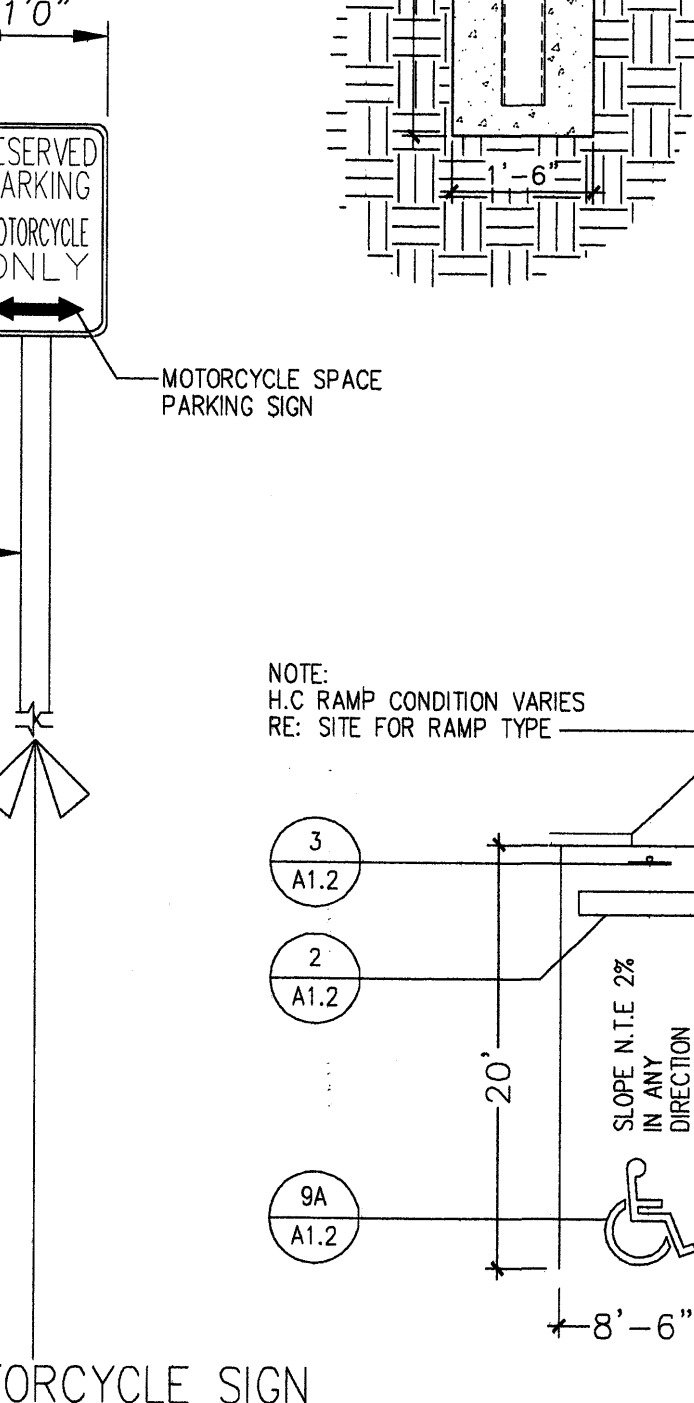
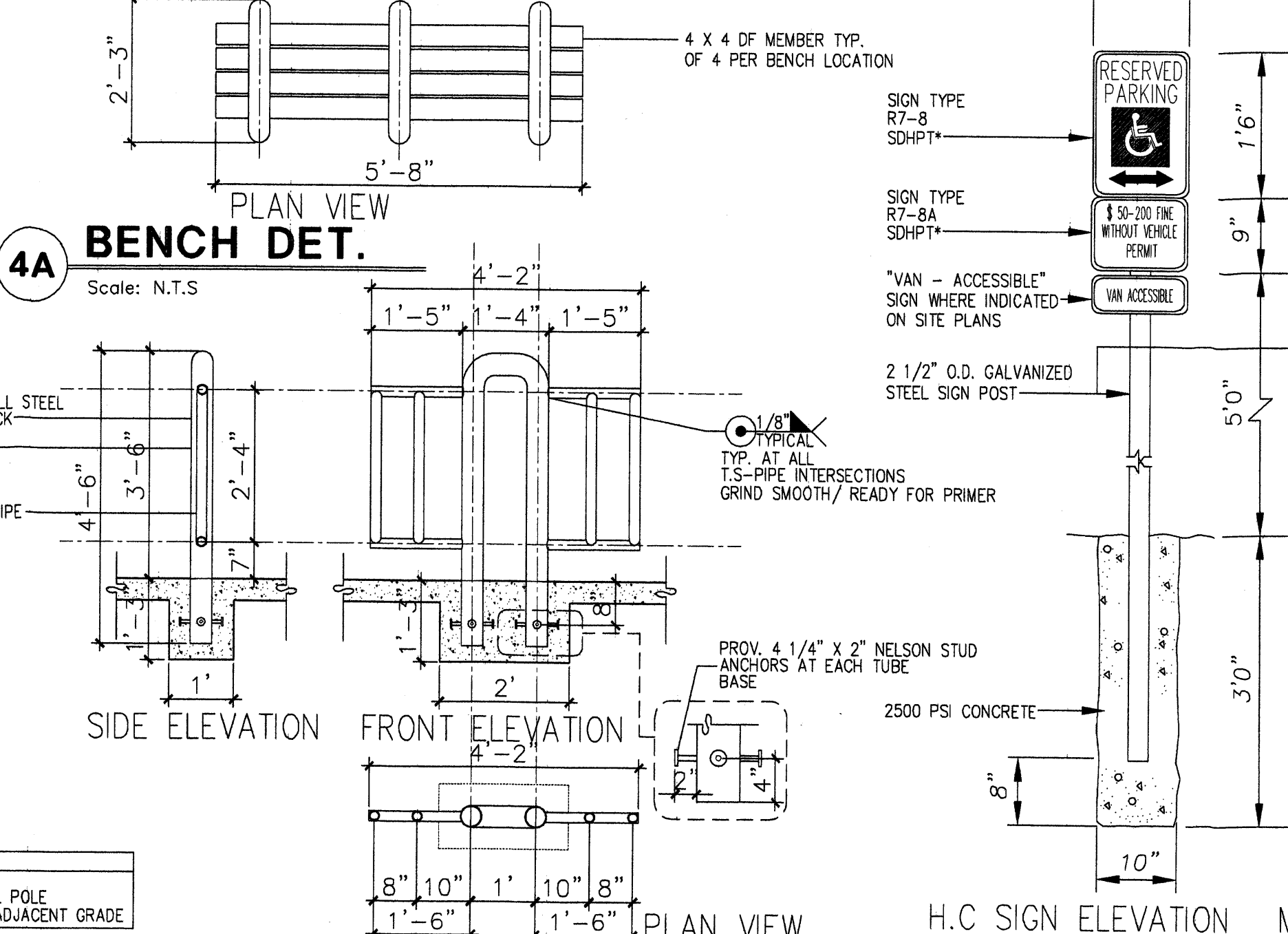
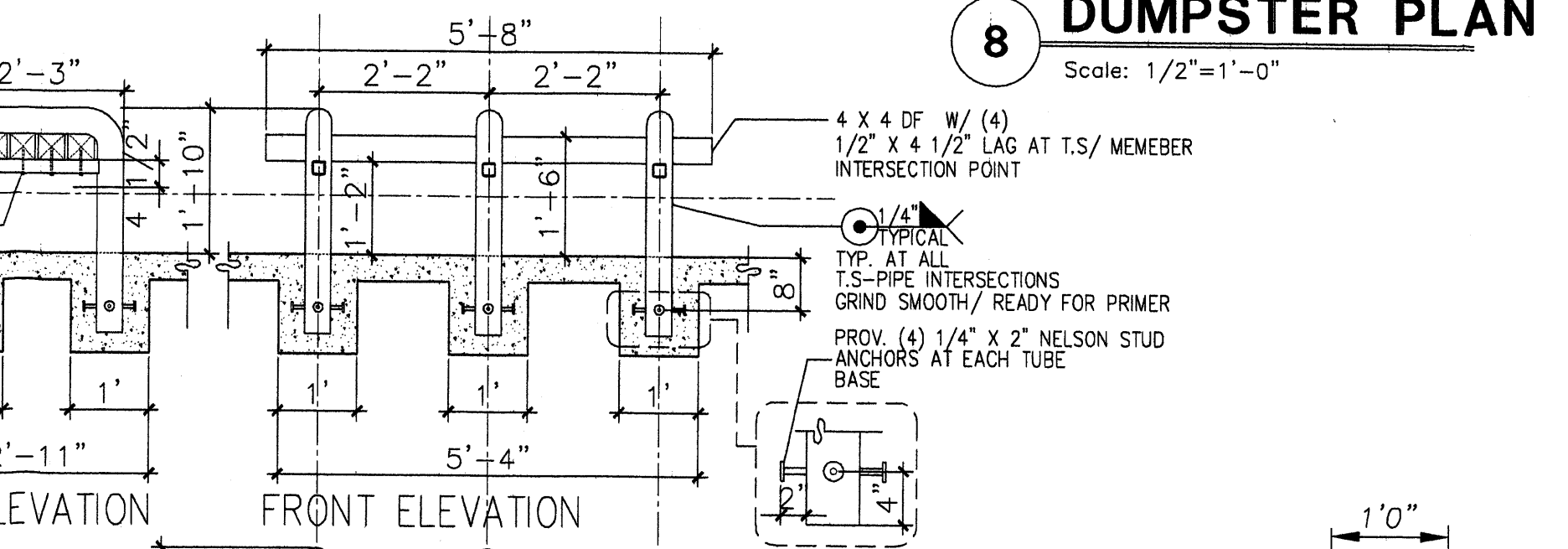
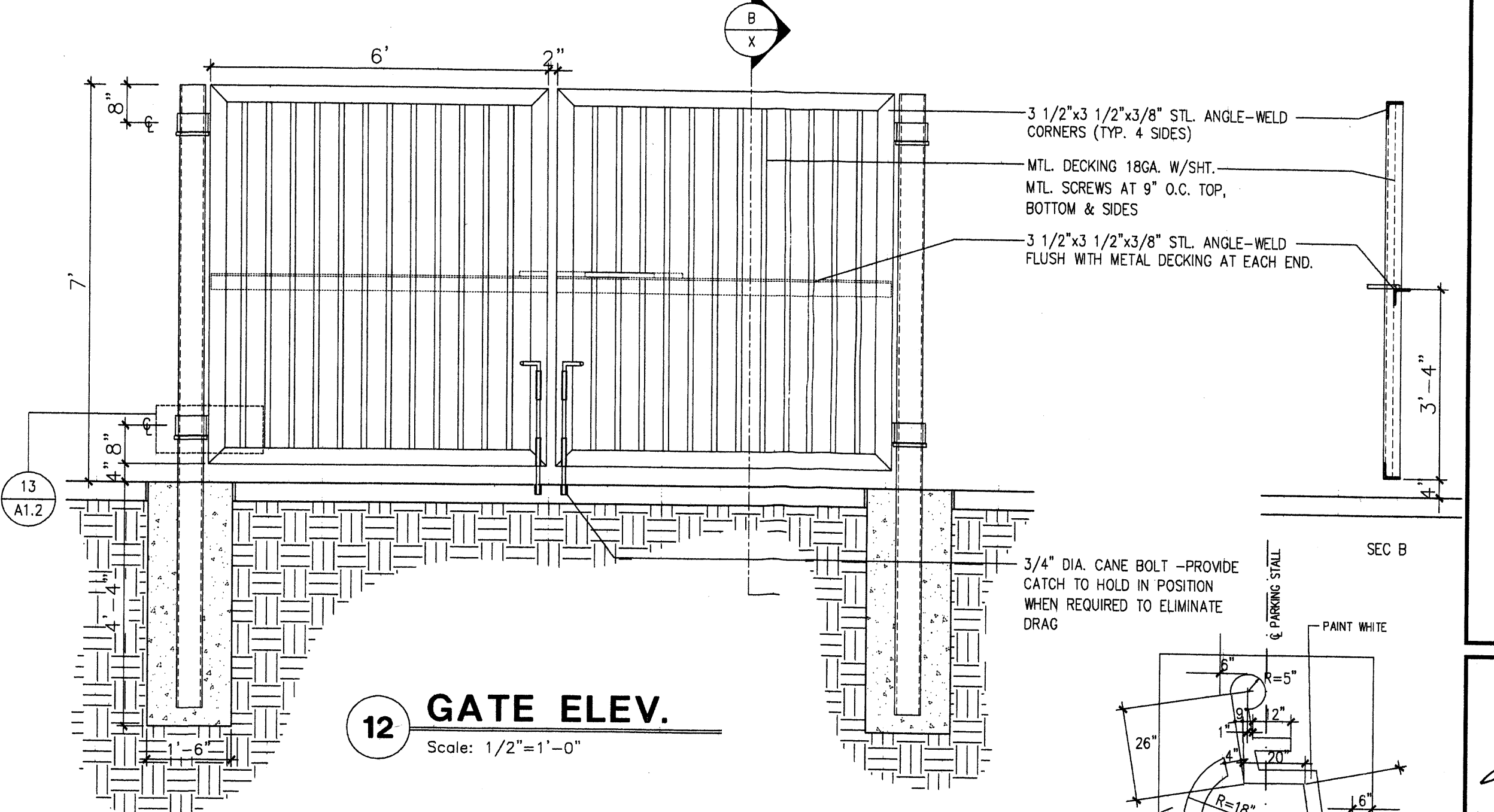
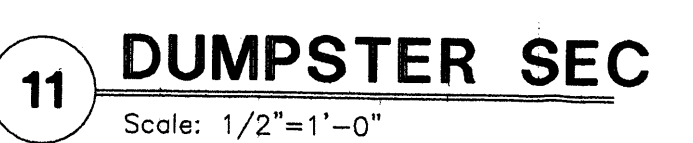
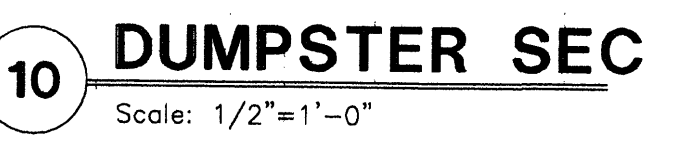
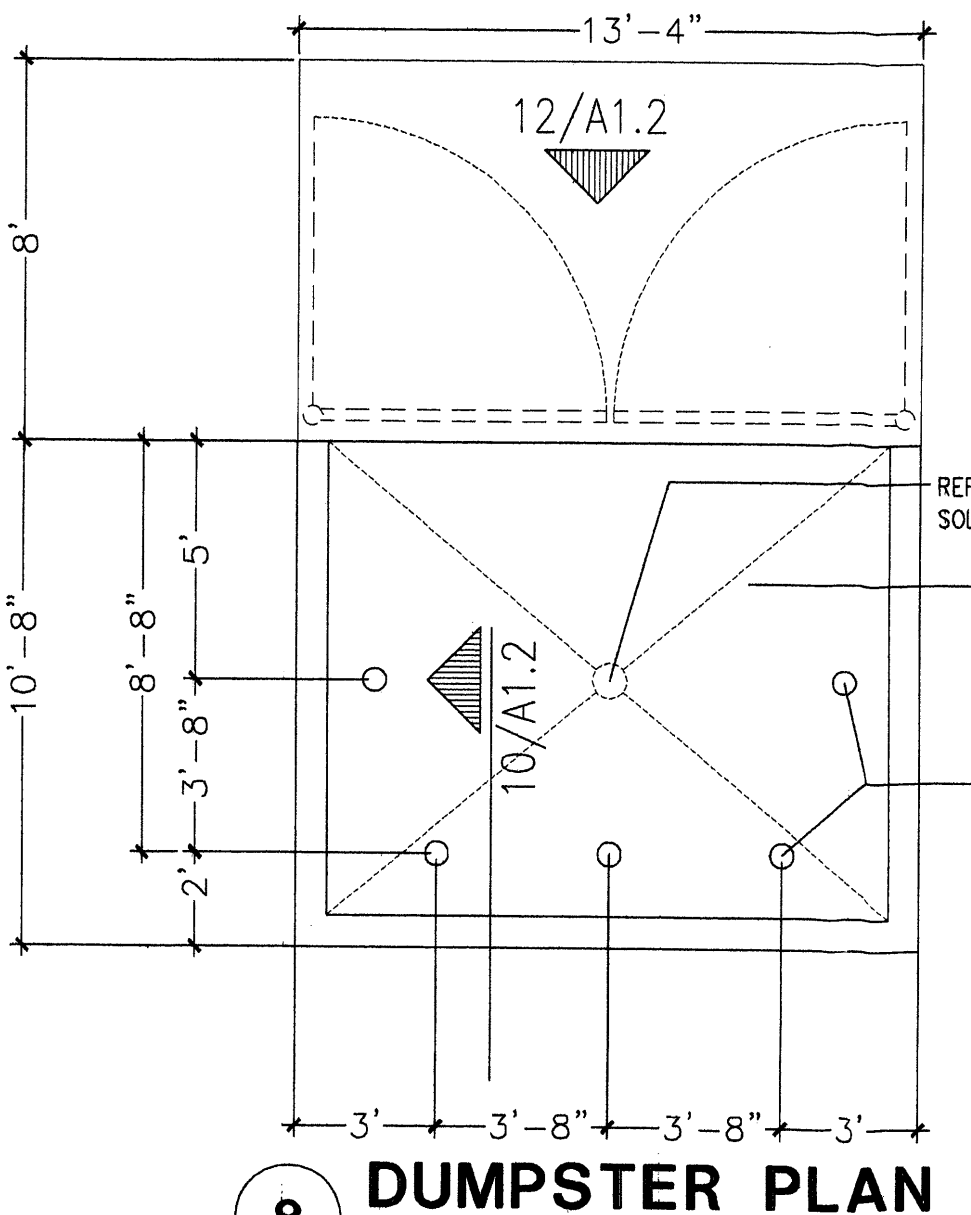
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SCALE: A1.1  
1"=30'



- ### KEYED NOTES
- 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM, COLOR TO MATCH ADJACENT BUILDING BASE COLOR.
  - FINISH GRADE.
  - SLOPE STUCCO CAP.
  - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
  - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS @ 32" O.C. VERTICAL GROUT REIN-FORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
  - 1/2" EXPANSION JOINT MATERIAL.
  - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.M.
  - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.M. W/ TURNDOWN EDGE.
  - 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
  - ASPHALT PAWING
  - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

### 7 ENCLOSURE NOTES

Scale: N.T.S



### 6 LIGHT POLE DETAIL

Scale: N.T.S

### 4 BIKE RACK

Scale: N.T.S

### 3 H.C/MOTOR CYCLE SIGN DETAIL

Scale: N.T.S

### 9 H.C TYP. PARKING DET.

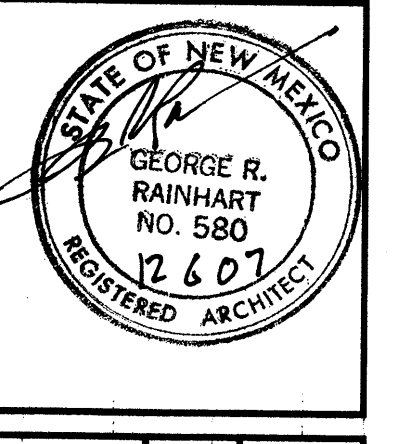
Scale: N.T.S

### 13 PYLON SIGN ELEVATIONS

Scale: N.T.S  
249 SF PYLON SIGN

REV	DATE	BY	REVISION

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO NE. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

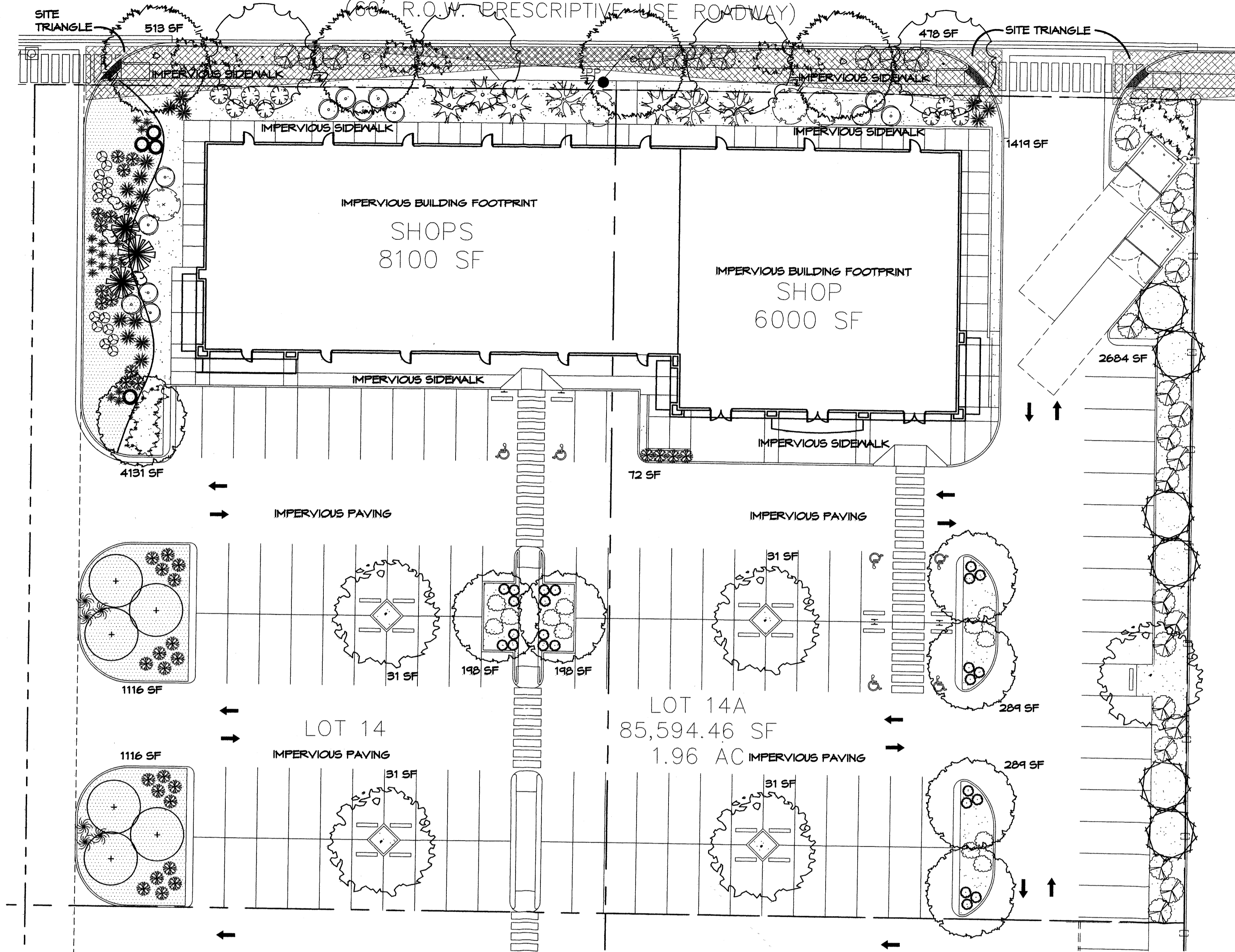


**PROJECT TITLE**  
 HOLLY PLACE  
 N.E.C. OF PASEO AND SAN PEDRO  
 ALBUQUERQUE, NEW MEXICO  
**PROJECT MANAGER**  
 STEPHEN DUNBAR  
**JOB NO.**  
 DRAWN BY:  
 SD  
**SHEET TITLE**  
 SITE DETAILS

**DATE:**  
 4/23/07  
**SCALE:**  
 1/8"=1'-0"  
**sheet-**  
**A1.2**  
 of

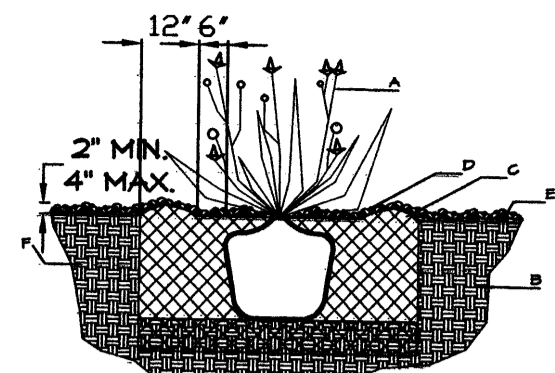
# HOLLY AVENUE NE

60' R.O.W. PRESCRIPTIVE USE ROADWAY



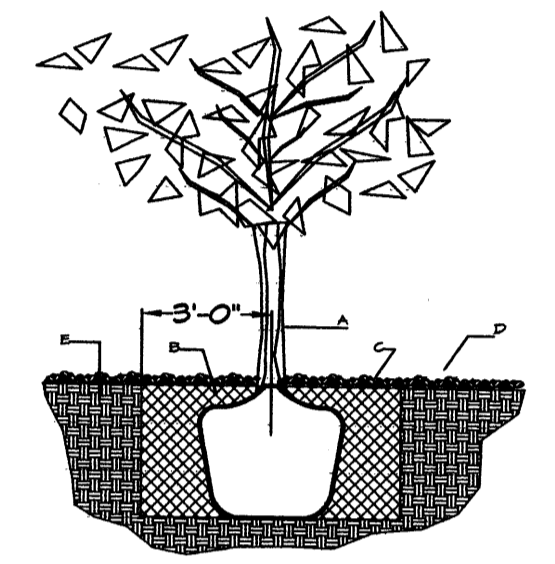
## PLANT LEGEND

- SHADE TREES**
  - CHINESE PISTACHE (M) 5  
*Pistacia chinensis*  
2" Cal., 60' H x 60' W
  - SHUMARD OAK (M) 4  
*Quercus shumardii*  
2" Cal., 60' H x 60' W
  - SYCAMORE (M) 4  
*Platanus spp.*  
2" Cal., 60' H x 70' W
  - EASTERN REDBUD (M) 7  
*Cercis canadensis*  
2" Cal., 30' H x 30' W
- SHRUBS/ORNAMENTAL GRASSES**
  - NEW MEXICO OLIVE (L) 13  
*Forestiera neomexicana*  
15 Gal., 225sf, 15' H x 15' W
  - DESERT MILLOW (L) 6  
*Chilopsis linearis*  
5 Gal., 225sf, 20' H x 25' W
  - SPANISH BROOM (M) 3  
*Genista hispanica*  
5 Gal., 100sf, 10' H x 10' W
  - BUTTERFLY BUSH (M) 4  
*Buddleia davidii*  
5 Gal., 100sf, 10' H x 10' W
  - ROSE OF SHARON (M) 4  
*Hibiscus syriacus*  
5 Gal., 100sf, 10' H x 10' W
  - PAMPAS GRASS (M) 9  
*Cortaderia selloana*  
5 Gal., 9sf, 12' H x 3' W
  - RUSSIAN SAGE (M) 13  
*Perovskia atriplicifolia*  
5 Gal., 36sf, 6' H x 6' W
  - MAIDENGRASS (M) 19  
*Miscanthus sinensis*  
5 Gal., 25sf, 5' H x 5' W
  - REGAL MIST (M) 40  
*Muhlenbergia capillaris*  
5 Gal., 9sf, 3' H x 3' W
  - CHAMISA (L) 8  
*Chrysothamnus nauseosus*  
1 Gal., 25sf, 5' H x 5' W
  - POWIS CASTLE SAGE (L) 17  
*Artemisia X Powis Castle*  
1 Gal., 25sf, 2' H x 5' W
  - CATMINT (M) 24  
*Nepeta mussini*  
1 Gal., 4sf, 1' H x 2' W
  - BLUE FESCUE (M) 17  
*Festuca ovina glauca*  
1 Gal., 4sf, 1' tall
  - WILDFLOWER 14  
1 Gal., 4sf, size varies
  - HONEYBUCKLE (M) 26  
*Lonicera japonica 'Halliana'*  
1 Gal., 144sf, 3' H x 12' W  
Unstaked-Groundcover
  - LADY BANKS ROSE (M) 4  
*Rosa banksiae*  
5 Gal., 400sf, 3' H x 20' W  
Unstaked Groundcover
- DESERT ACCENTS**
  - PALM YUCCA (L) 3  
*Yucca faxonila*  
15' H x 6' W
  - MUGO PINE (M) 4  
*Pinus mugo*  
5 Gal., 4sf, 4' H x 3' W
  - RED YUCCA (L) 16  
*Hesperaloe parviflora*  
5 Gal., 4sf, 3' H x 4' W
- HARDSCAPES**
  - OVERSIZED GRAVEL & BOULDERS
  - SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
  - COBBLE WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- GROUNDCOVERS**



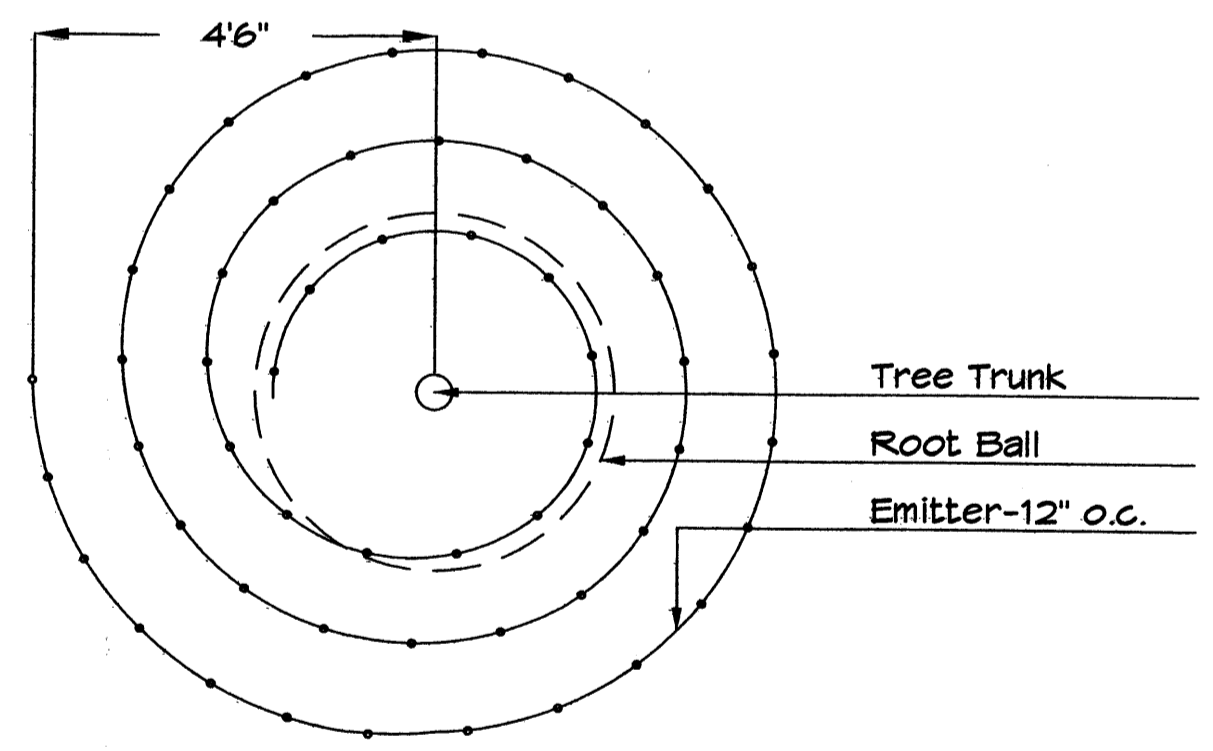
### SHRUB PLANTING DETAIL

- GENERAL NOTES:
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE.
  - UNDISTURBED SOIL.

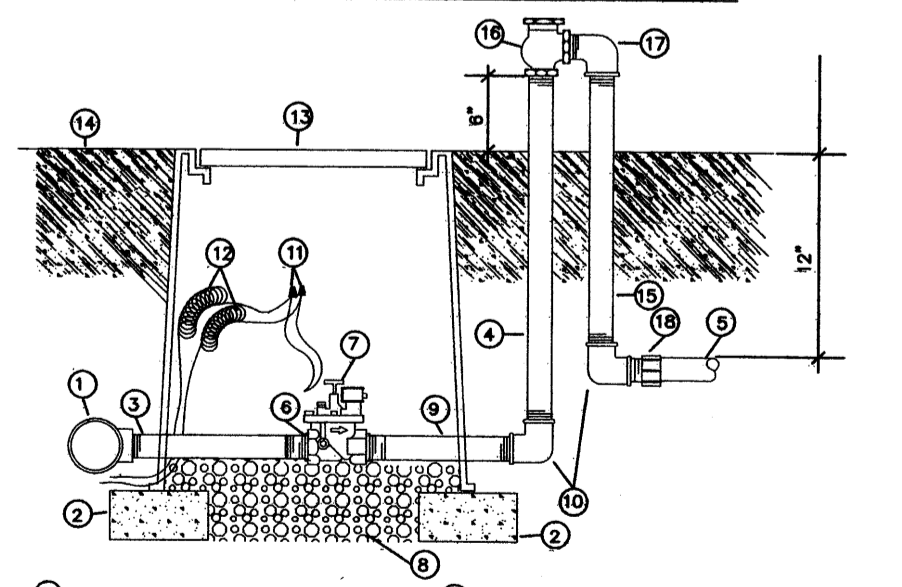


### TREE PLANTING DETAIL

- GENERAL NOTES:
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- TREE
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH OF GRAVEL MULCH.
  - UNDISTURBED SOIL.



### Netafim Spiral Detail



- ① MAINLINE FITTING
- ② OMI BLOCK
- ③ GALVANIZED NIPPLE
- ④ 24" TO 36" GALVANIZED NIPPLE
- ⑤ LATERAL PIPE
- ⑥ REDUCER BUSHING
- ⑦ AUTOMATIC VALVE (SEE LEGEND)
- ⑧ GRAVEL
- ⑨ GALVANIZED NIPPLE
- ⑩ GALVANIZED ELBOW
- ⑪ WATERPROOF WIRE CONNECTOR
- ⑫ WIRE EXPANSION LOOPS
- ⑬ VALVE BOX
- ⑭ FINISH GRADE
- ⑮ GALVANIZED NIPPLE - 18" TO 24" LENGTH
- ⑯ ATMOSPHERIC VACUUM BREAKER
- ⑰ GALVANIZED STREET ELL
- ⑱ TEE NIPPLE OR MALE ADAPTER

**STREET TREE REQUIREMENTS**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: HOLLY  
Required 8 Provided 8

**PARKING LOT TREE REQUIREMENTS**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required 8 Provided 8

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all pervious landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

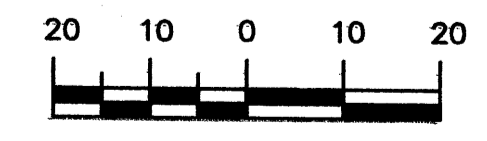
Water and Power source shall be the responsibility of the Developer/Builder.

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. This will be addressed as an infield-change order.

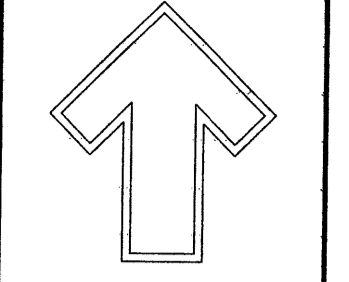
## LANDSCAPE CALCULATIONS

TOTAL LOT AREA	85594	square feet
TOTAL BUILDINGS AREA	14100	square feet
NET LOT AREA	71494	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10724	square feet
TOTAL BED PROVIDED	18361	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	13770	square feet
TOTAL GROUND COVER PROVIDED	13780 (75%)	square feet
TOTAL SOD AREA	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	18361 (25%)	square feet

## GRAPHIC SCALE

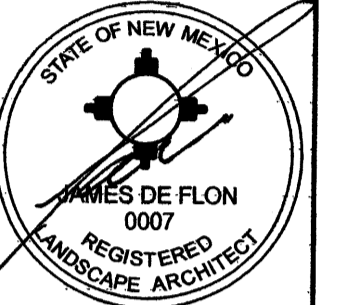


SCALE: 1"=20'



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Fax (505) 898-7737  
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

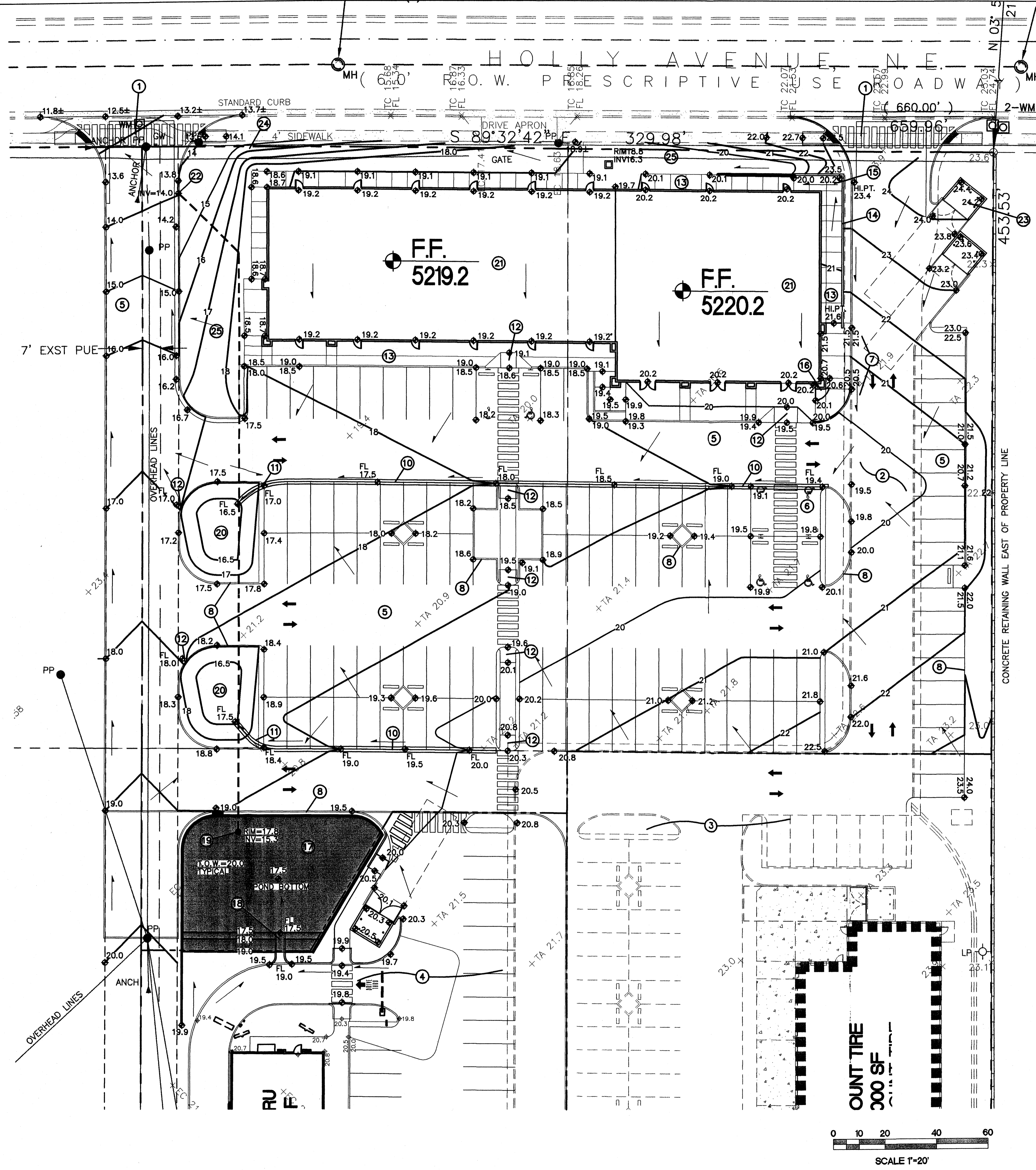
HOLLY PLACE PHASE 2 LANDSCAPE PLAN

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DRAWN BY: CJ  
REVISION: 7/10-31-07  
DATE: 10-11-07

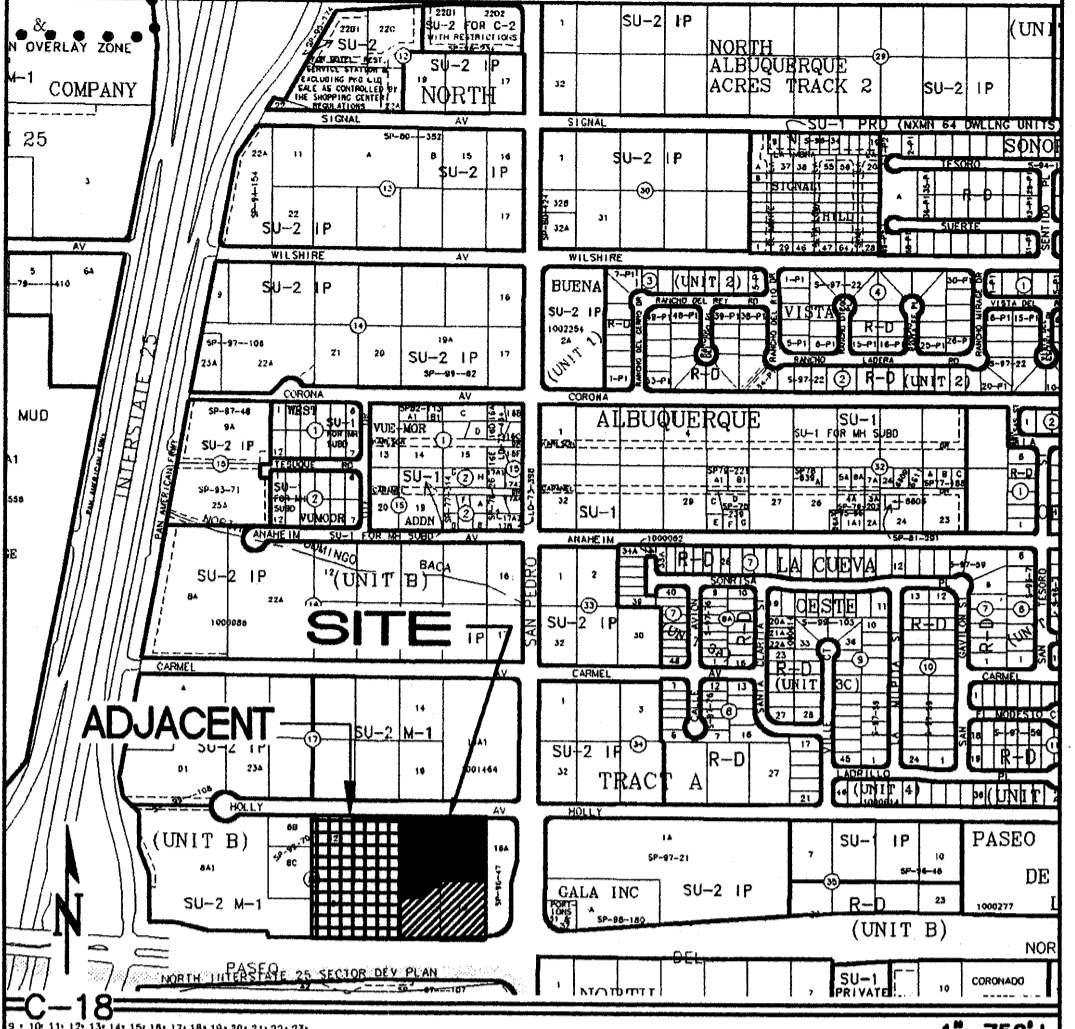
SHEET # 11 OF 11



**KEYED NOTES**

- EXISTING SITE ENTRANCE CONSTRUCTED AS PART OF PHASE I. MATCH EXISTING FOR SMOOTH TRANSITION.
- EXISTING PAVED ACCESS ROAD TO LOT 18 CONSTRUCTED AS PART OF PHASE I. MATCH EXISTING FOR SMOOTH TRANSITION.
- PHASE I CONSTRUCTION (LOT 18) CURRENTLY UNDERWAY. PHASE II CONSTRUCTION SHALL MATCH PHASE I FOR SMOOTH TRANSITIONS - ALL SIDES.
- LOT 19A (SAME OWNER) WILL BE CONSTRUCTED AS PART OF PHASE III (FUTURE).
- CONSTRUCT NEW ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA. PROVIDE SMOOTH TRANSITION WITHIN ASPHALT PAVING FROM FLUSH WITH WALK TO 6" MEDIAN CURB AND GUTTER OVER 10' THIS AREA.
- CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL ON-SITE CURB LOCATIONS. SEE DETAIL SHEET C-2.
- CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN (0.0050' MIN. SLOPE). SEE DETAIL SHEET C-2.
- PROVIDE 2' WIDE OPENING IN CURB TO PASS VALLEY GUTTER TO LANDSCAPING. SEE DETAIL SHEET C-2.
- PROVIDE 2' WIDE OPENING IN CURB AT PAVING LOW POINT TO PASS EXCESS FLOW TO PAVEMENT. SEE DETAIL SHEET C-2.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL.
- CONSTRUCT CONCRETE WALK ALONG BUILDING PERIMETER AT ELEVATIONS SHOWN.
- CONSTRUCT GARDEN WALL AT NORTHEAST PORTION OF BUILDING TO ACHIEVE GRADE DIFFERENCES. SEE ARCHITECTURAL FOR DETAILS.
- CONSTRUCT CONCRETE WALK THIS AREA TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING. NO BIRDBATHS. PROVIDE 2" WEEPHOLES THROUGH WALL TO 0.5 CF GRAVEL POCKETS AT 4' O.C. TO PASS MINOR FLOW.
- SLOPE TRANSITION WITHIN CONCRETE AS SHOWN.
- CONSTRUCT DETENTION POND THIS AREA. SEE SHEET C-2 FOR DETAILS. PROVIDE EROSION PROTECTION ON SOUTH POND SLOPE.
- CONSTRUCT CONCRETE RUNDOWN PER DETAIL SHEET C-2. CONSTRUCT TEMPORARY ASPHALT CURB BOTH SIDES TO DIRECT SUB-BASIN FLOW TO NEW RUNDOWN.
- INSTALL POND OUTLET WITH 6" DIA. POND DRAIN AT 0.5% SLOPE. SEE SHEET C-2 FOR ADDITIONAL INFORMATION.
- CONSTRUCT LANDSCAPED DETENTION AREA AT GRADES SHOWN TO ACCEPT VALLEY GUTTER FLOW. FLOW IN EXCESS OF BASIN CAPACITY WILL DISCHARGE TO PAVEMENT AT LOW SIDE OVERFLOW.
- BUILDING ROOF DISCHARGE TO BE RELEASED TO INTERIOR PAVEMENT VIA DOWNSPOUTS WITH SIDEWALK CULVERTS OR PIPED AND RELEASED AT FACE OF TURNED DOWN WALK.
- SEE SHEET C-2 FOR PIPE OUTLET THIS AREA.
- CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- INSTALL PERMANENT TURF REINFORCEMENT MAT (TRM) ON ALL SIDESLOPES > 3:1. SEE LANDSCAPE PLAN.
- GRADES SHOWN WITHIN LANDSCAPED AREAS ARE FOR GENERAL GRADING INFORMATION TO INDICATE DRAINAGE DIRECTION. PROVIDE POSITIVE GRADING AWAY FROM BUILDING ALL SIDES. SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE INFORMATION.

**COA ZONE ATLAS MAP #C-18**



**SITE INFORMATION**

LEGAL: LOT 14A OF BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
 AREA: 1.96 ACRES  
 SURVEYOR: THOMAS D. JOHNSTON - NMPS#14269  
 OFF-SITE: LOTS 18 AND 19A DRAIN THROUGH THIS PROPERTY. THE INCLUDED DRAINAGE REPORT ACCOUNTS FOR DISCHARGE FOR LOTS 12, 13, 14A, 18, 19A, 20 AND 21.  
 FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOOD ZONE 'X', DESIGNATED AS AREAS OUTSIDE THE 500 YEAR FLOODZONE.

**GENERAL NOTES**

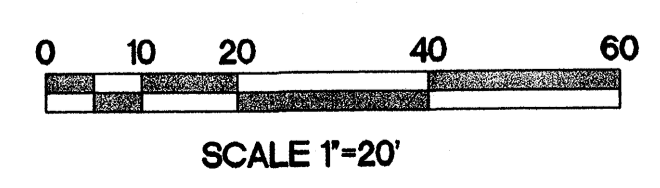
- COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.

**NOTES FROM SURVEY**

- BOUNDARY DIMENSIONS ARE BETWEEN RECOVERED CORNERS AND CORRESPOND TO THOSE ON A PREVIOUS SURVEY BY WAYJOHN SURVEYING, INC. BEARINGS HAVE BEEN ROTATED TO NEW MEXICO STATE PLANE GRID, CENTRAL ZONE.
- BASIS OF ELEVATIONS: ACS BM "14-C18", 1-3/4" ALUM. DISK, SET ON TOP OF CONCRETE DROP INLET, APPROX. 1150' WEST OF CENTERLINE OF SAN PEDRO DRIVE. ELEV. 5207.00 (NGVD 29).
- TBM: N. MANHOLE RIM, LOCATED IN CONC. SIDEWALK, S. OF SOUTH PROPERTY LINE ELEV. 5214.98.
- LOCATIONS OF SANITARY SEWERS AND WATERLINES ARE FROM VISUAL NOTES SUPPLEMENTED BY ON-LINE GRAPHICS PROVIDED BY CITY GIS SITE.

**LEGEND**

- PROPERTY LINE
- x 50.0 EXISTING SPOT ELEVATION
- 50.00 EXISTING CONTOUR
- ◆ 75.2 PROPOSED SPOT ELEVATION
- 60 PROPOSED CONTOUR
- SURFACE FLOW DIRECTION
- ▲ ENTRY / EXIT LOCATION
- FL FLOW LINE
- FF FINISHED FLOOR
- TRW TOP OF RETAINING WALL

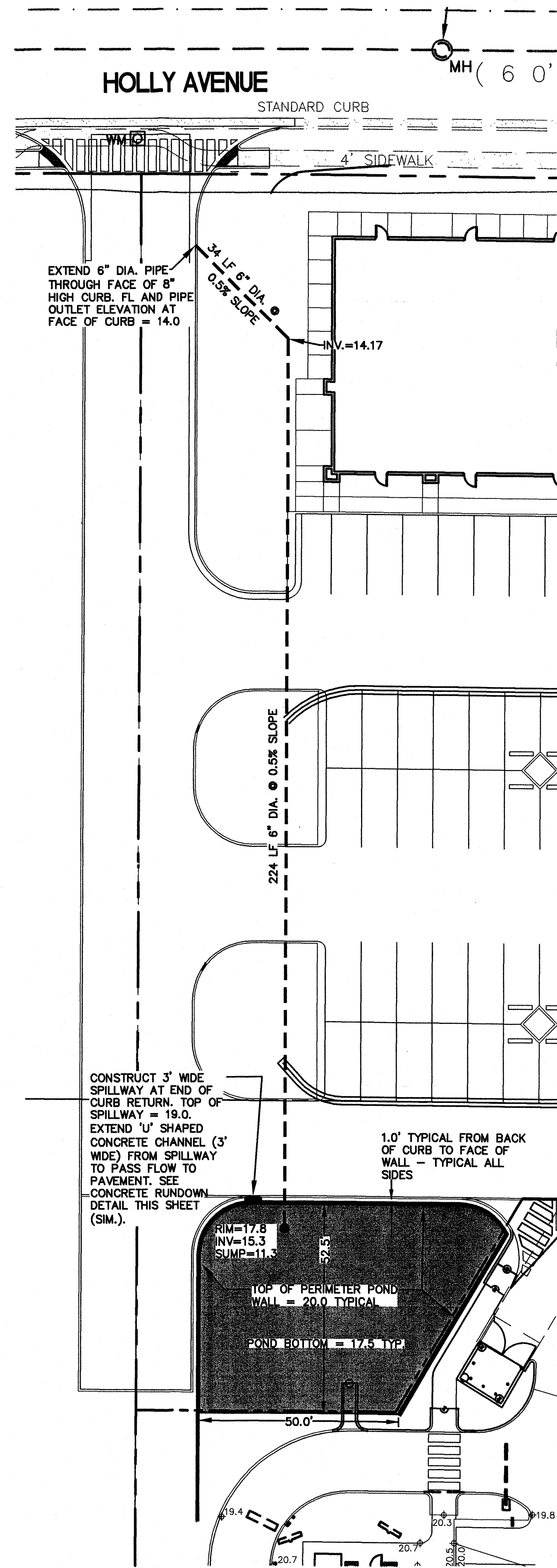


**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632  
 1435.2GRD.dwg Oct 26, 2007

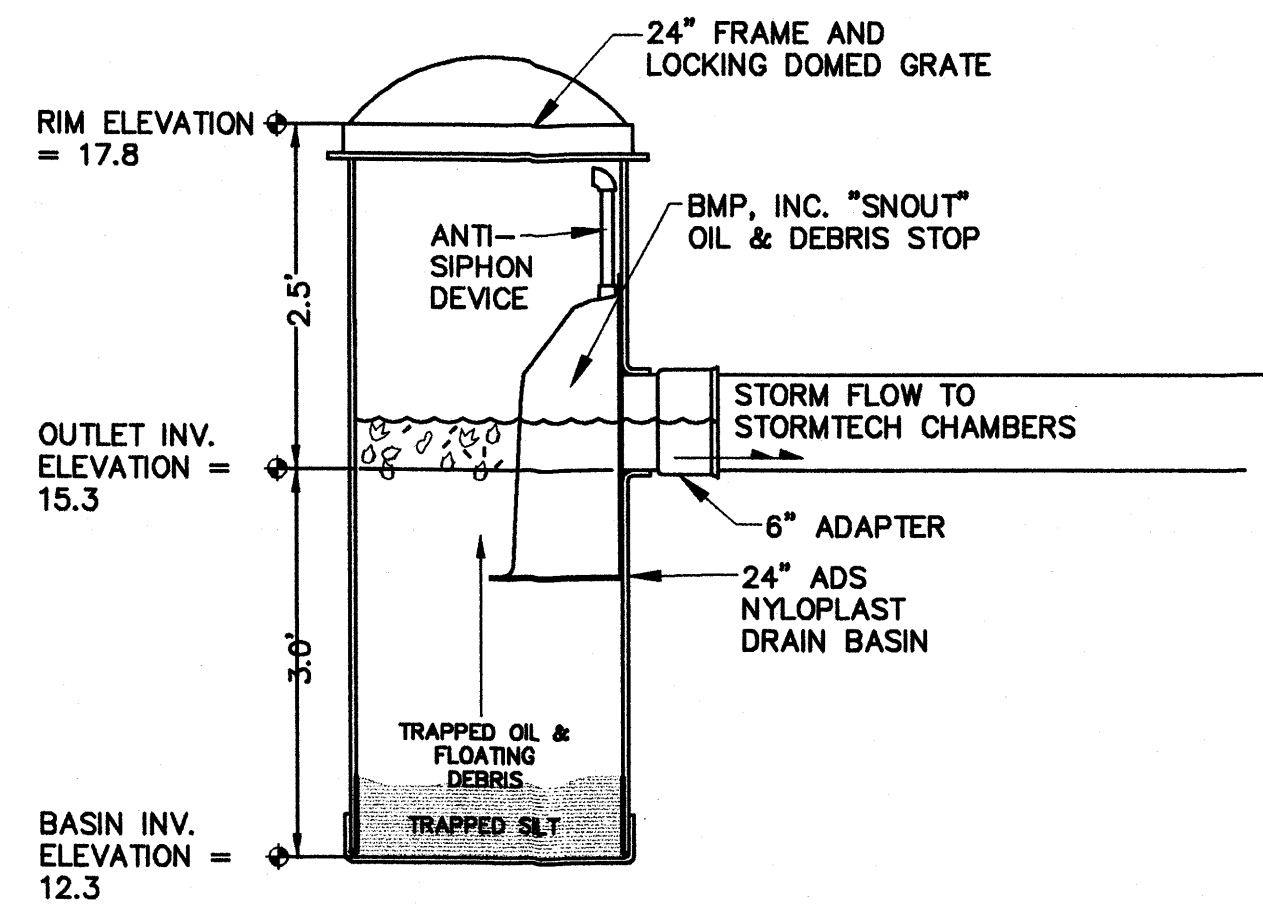
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**HOLLY PLACE COMMERCIAL**  
**Paseo Place, LLC**  
**GRADING AND DRAINAGE PLAN**

Date:	No.	Revised:	Date:	Job No.
..				1435.2
Drawn By:				C-1
BJB				
Old By:				
FCA				SH. OF



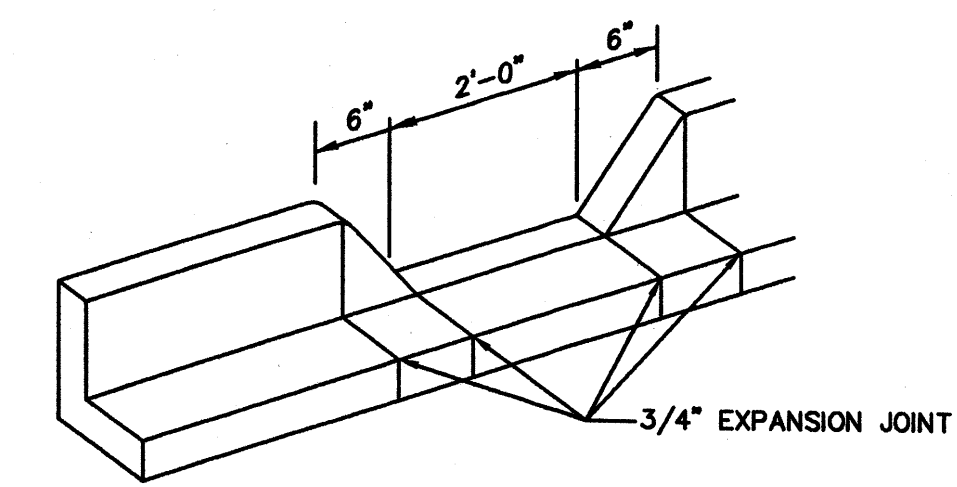
**D1 MAIN POND AND STORM DRAIN DETAIL**



**NOTES:**

1. MAIN POND OUTLET BASIN SHALL BE 24" DIA. MANUFACTURED BY NYLOPLAST, A DIVISION OF ADVANCED DRAINAGE SYSTEMS, INC. (800-821-6710) WITH BMP, INC. 'SNOUT' OIL AND DEBRIS HOOD (800 504-8008).
2. HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN.
3. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH STAINLESS STEEL SCREWS, STAINLESS RUBBER BACKED WASHERS, AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER.
4. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.

**B2 MAIN POND OUTLET STRUCTURE**

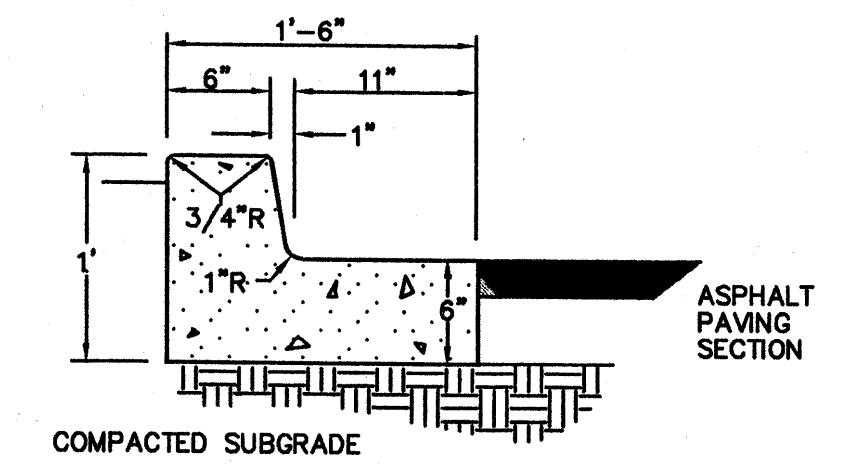


**GENERAL NOTES**

1. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.

**A3 CURB OPENING**

N.T.S.

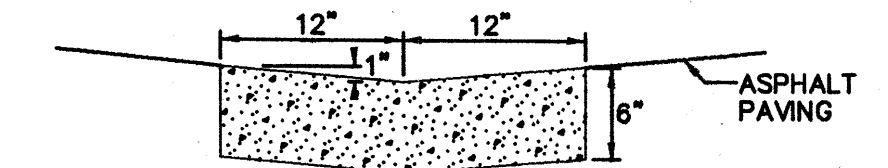


**GENERAL NOTES**

1. PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.
3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES.

**A4 MEDIAN CURB AND GUTTER**

N.T.S.

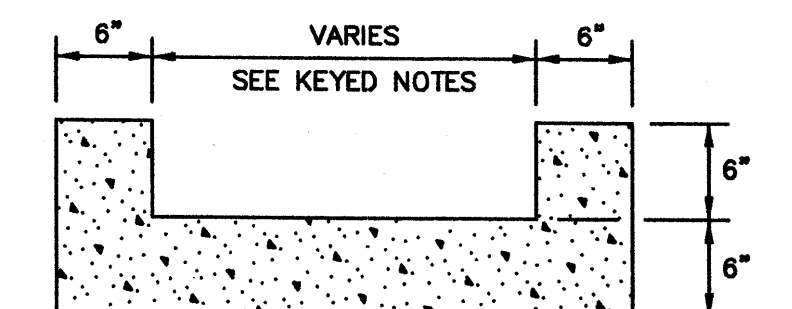


**GENERAL NOTES**

1. PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.

**B4 CONCRETE ALLEY GUTTER**

N.T.S.

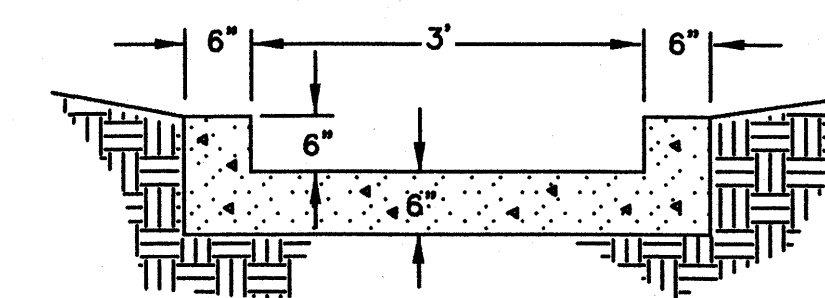


**GENERAL NOTES**

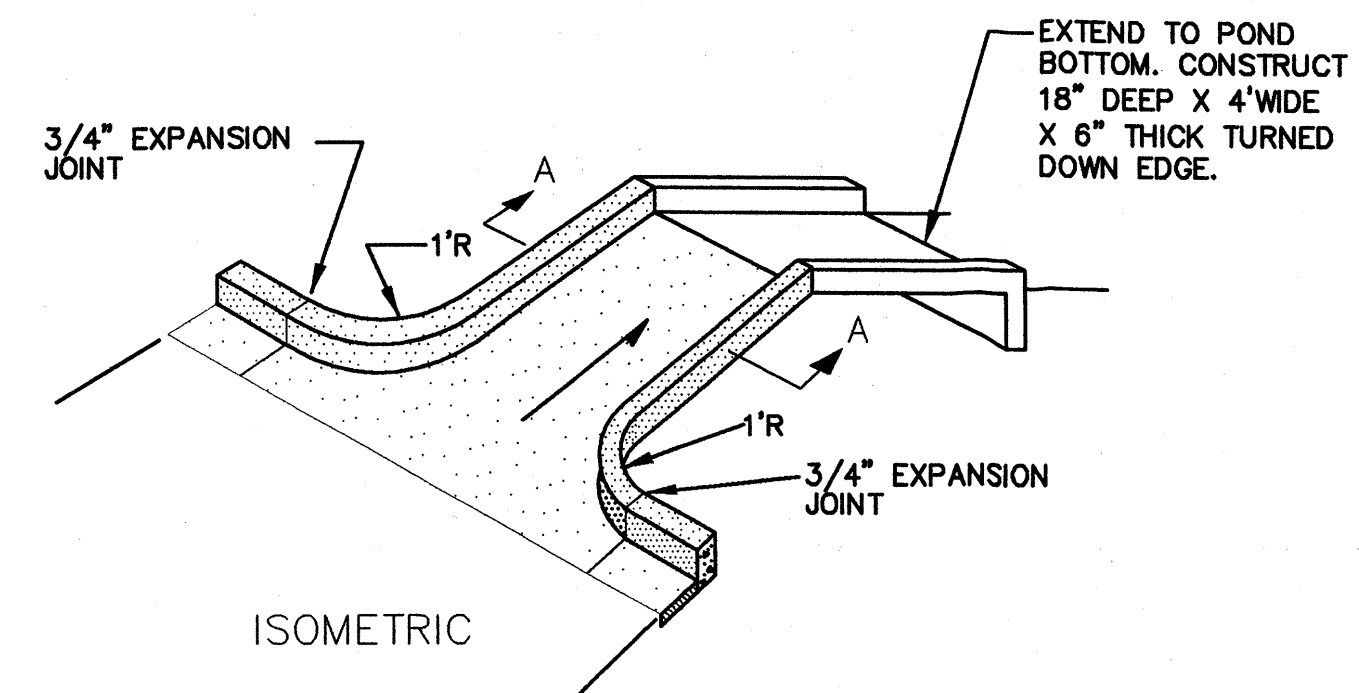
1. PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.

**C4 'U' SHAPED CONC. CHANNEL**

N.T.S.



SECTION A-A



ISOMETRIC

**D3 CONCRETE RUNDOWN**

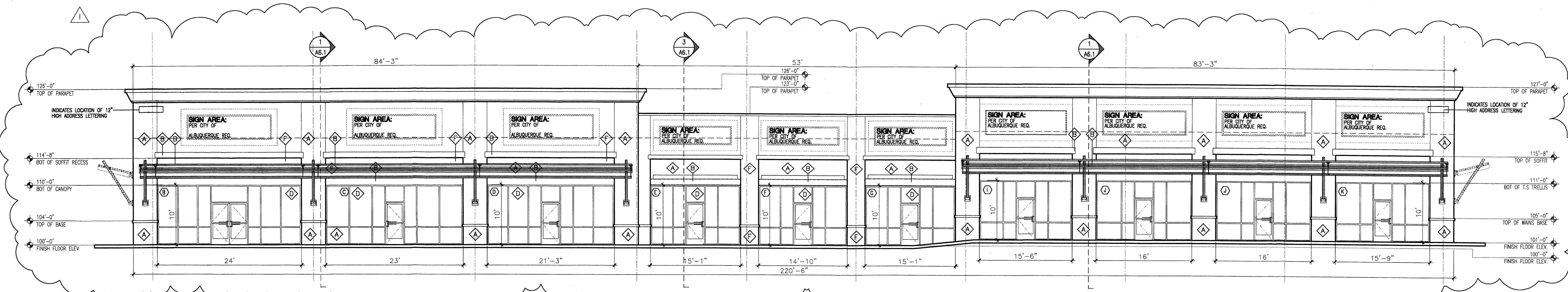
**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
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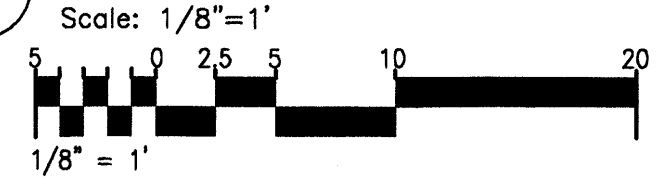
**HOLLY PLACE COMMERCIAL**  
**Paseo Place, LLC**

**GRADING AND DRAINAGE DETAILS**

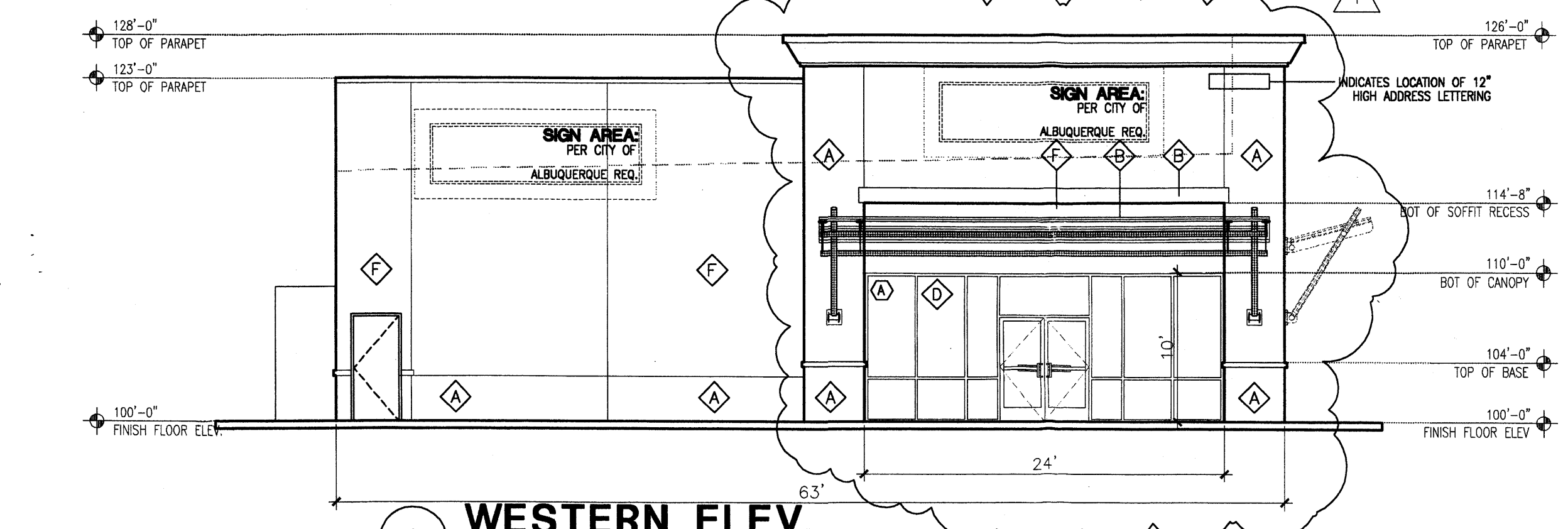
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Drawn By:				C-2
Chk By:				SH OF
FCA				



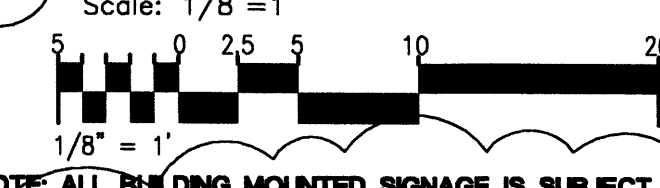
**1 SOUTHERN ELEV.**



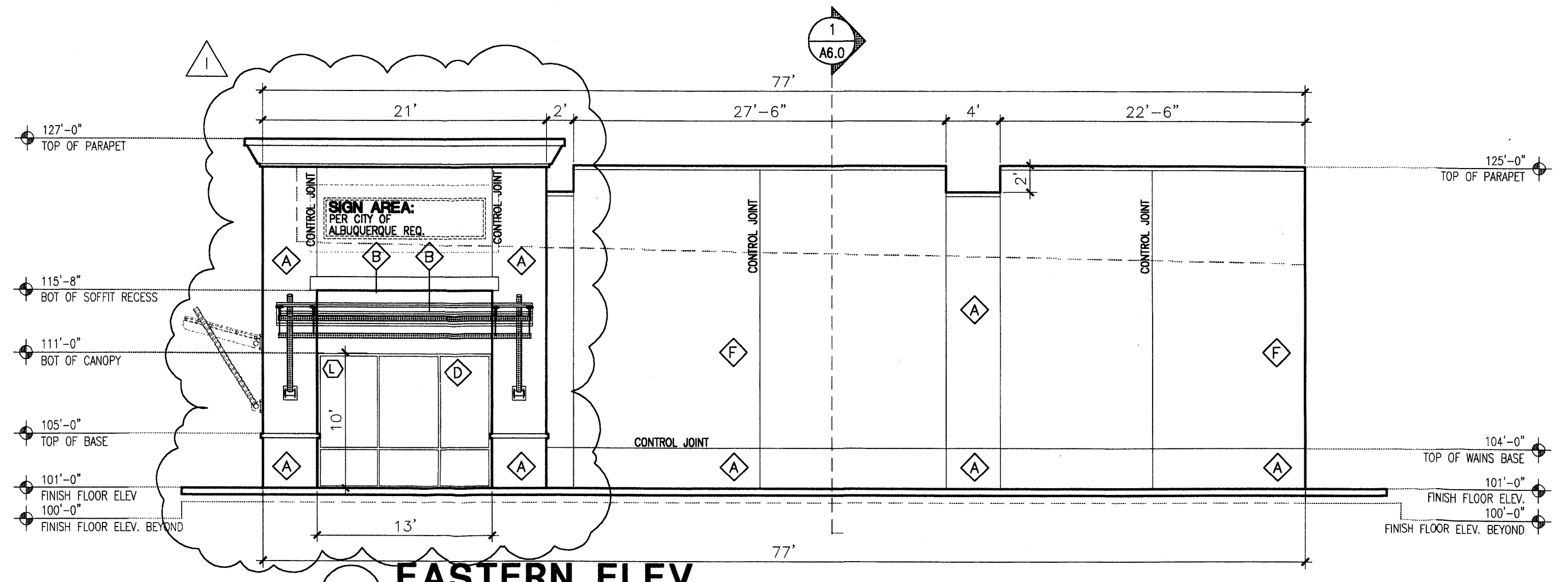
NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR  
 "J" BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE



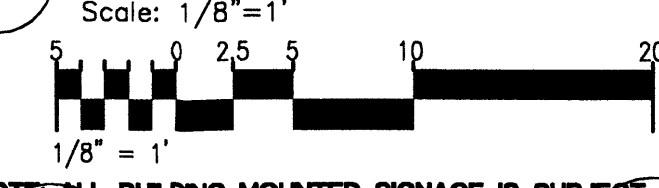
**2 WESTERN ELEV.**



NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR  
 "J" BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE

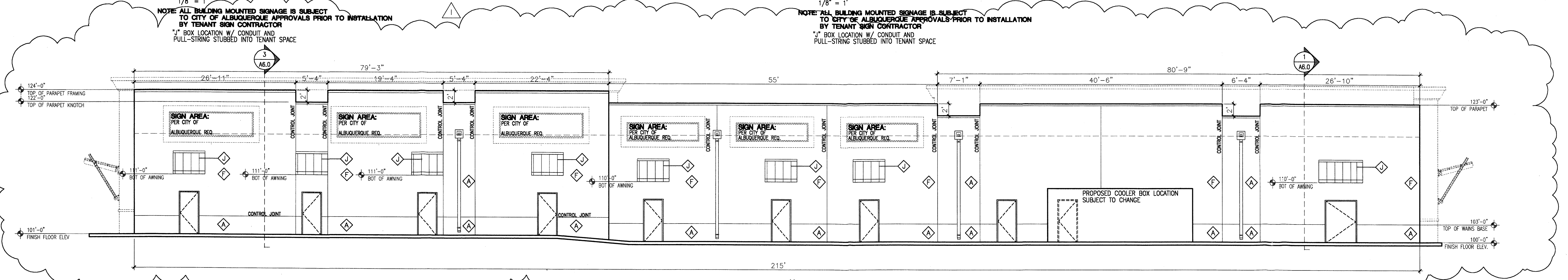


**3 EASTERN ELEV.**

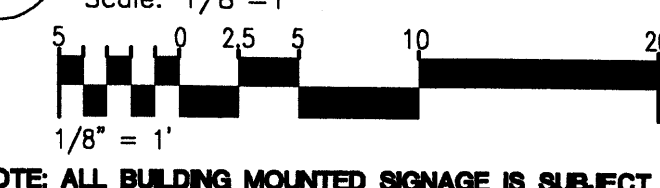


NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR  
 "J" BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE

- COLOR / PAINT NOTES:**
- ⊠ SYNTHETIC STUCCO SYSTEM TO MATCH COLOR CREGO TAN (DARK BROWN)
  - ⊡ SYNTHETIC STUCCO SYSTEM COLOR AESTHETIC WHITE (SW 7035)
  - ⊢ ALUMINUM STOREFRONT SYSTEM COLOR: SILVER ANNO. ALUMINUM
  - ⊣ SYNTHETIC STUCCO SYSTEM TO MATCH COLOR: EL PASO BUFF. SPLIT-FACE CMU (LIGHT BROWN)
  - ⊤ CORNICE-COPING MATERIAL COLOR TO MATCH; EL PASO BUFF. SPLIT-FACE CMU
  - ⊥ STEEL CANOPY COLOR AESTHETIC WHITE (SW 7035)
  - ⊦ STANDING SEAM ROOFING MATERIAL GALVALUME(SILVER)



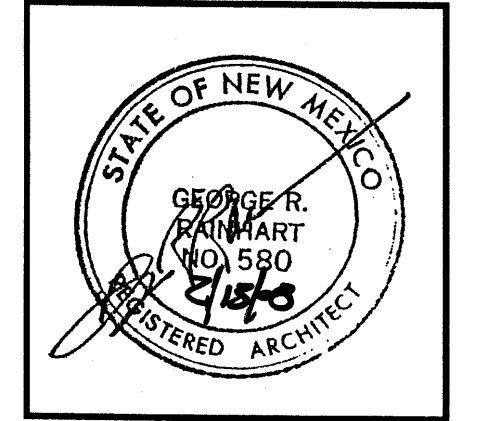
**4 NORTHERN ELEV.**



NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR  
 "J" BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE

REV	DATE	BY	REVISION
1			
2			
3			
4			
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**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
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**PROJECT TITLE**  
 HOLLY PLACE PI SHOPS  
 5920 HOLLY AVE N.E.  
 ALBUQUERQUE NEW MEXICO

**PROJECT MANAGER**  
 STEPHEN DUNBAR AIA

**JOB NO.**

**DRAWN BY:**  
 SD

**SHEET TITLE**  
 ELEVATION

**DATE:** 11/9/07 **sheet-**

**SCALE:** 1/8"=1'-0" **A4.0**

**of-**