

DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 13, 2013 9:00 am
MEMBERS:

Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Curtis Cherne, City Engineer

Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1006539**
13DRB-70717 BULK LAND VARIANCE
13DRB-70718 PRELIMINARY/ FINAL
PLAT APPROVAL 
BOHANNAN HUSTON INC agents for MESA DEL SOL, LLC request the referenced/ above actions for all or a portion of Tract A-1, **MESA DEL SOL INNOVATION PARK** zoned PC, located on the south side of STRYKER RD SE between HAWKING DR SE and BOBBY FOSTER RD SE containing approximately 1764.7655 acres. (R15-17, S14-17, & T16-17)[*Deferred from 11/6/13*]**DEFERRED TO 11/21/13.**

2. **Project# 1004772**
13DRB-70693 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
13DRB-70747 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL 
ISAACSON & ARFMAN PA agents for APPLE INVESTORS GROUP request the referenced/ above action for Lot 20, Block 18, Tract A. Unit B, **NORTH ALBUQUERQUE ACRES** & Tract B, **HOLLY PLACE** zoned SU-2/M-1 OR SU-2/RC, located on the south side of HOLLY AVE NE between SAN PEDRO DR NE and I-25 containing approximately 1.5709 acres. (C-18) [*Deferred from 10/23/13, 10/30/13*]**THE SITE PLAN FOR BUILDING PERMIT AND THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF, UTILITY COMPANY SIGNATURES AND CLARIFICATION OF EASEMENTS.**



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 23, 2013

Project# 1004772

13DRB-70693 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

ISAACSON & ARFMAN PA agents for APPLE INVESTORS GROUP request the referenced/ above action for Lot 20, Block 18, Tract A. Unit B, **NORTH ALBUQUERQUE ACRES** & Tract B, **HOLLY PLACE** zoned SU-2/M-1 OR SU-2/RC, located on the south side of HOLLY AVE NE between SAN PEDRO DR NE and I-25 containing approximately 1.5709 acres. (C-18)

AMAFCA No comments provided.
COG No comments provided.
TRANSIT No comments
ZONING ENFORCEMENT The pedestrian connection is striped. It should be differentiated from the surrounding pavement by being pavers or etched concrete or bricks etc. page 32 e2 , as per the north I 25 plan. 29 parking spaces are noted as being required, no analysis is provided. Applebees usually has a full service bar and parking is 1 space per 3 of fire occupancy.
NEIGHBORHOOD COORDINATION Affected NA/HOA's: No Neighborhood and/or Homeowner Associations
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT This project is in the Northeast Area Command. - Proposed exterior lighting appear to be in conflict with planned landscaping, particularly tree plantings. Once trees become mature, they will eventually reduce the amount of illumination provided by the pole lights. Recommend eliminating tree plantings immediately adjacent to all pole lights in an around the parking lot. - Bush variety landscaping could reduce natural surveillance in the parking lot. Suggest maintaining site lines in all parking lots, walkways, common areas and building walk-ups. - Recommend the installation of a video surveillance camera system. Cameras should be positioned to view all parking areas, walkways, common areas, building entrances and walk-up areas. Each camera should be monitored and recorded for real-time and historical use.

<p>FIRE DEPARTMENT All site development plans for subdivisions and site development plans for building permit shall be submitted to the Fire Marshal's Office Plans Checking Division for review and approval.</p>
<p>PNM ELECTRIC & NMGCO No comments provided.</p>
<p>COMCAST No comments provided.</p>
<p>CENTURYLINK No comments provided.</p>
<p>ENVIRONMENTAL HEALTH No comments provided.</p>
<p>M.R.G.C.D No comments provided.</p>
<p>OPEN SPACE DIVISION No comments provided.</p>
<p>CITY ENGINEER</p>
<p>TRANSPORTATION DEVELOPMENT <u>ENGINEERING COMMENTS:</u> Provide an exhibit showing the location of sidewalk and defining the distance from back of curb to the property line. Right of way dedication may be required. Sheet CP-501 is referenced for all ramp and sidewalk details; this sheet was not provided in the review set. A replat is referenced on the site plan; what is the timeline for this platting action? Clearly show the location of all access easements and provide a copy. Add the following note to the Landscaping Plan: "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."</p>
<p>PARKS AND RECREATION No comments.</p>
<p>ABCWUA</p>
<p>PLANNING DEPARTMENT All plan sheets need to be consistent (ref Landscape Plan, SW corner). Restaurant parking calculations are needed. Refer to Site Plan for Subdivision this project # for pedestrian connections, particularly thru Tract B. Refer to comments from Zoning Enforcement regarding compliance with the Zoning Code and the North I-25 Sector Development Plan, plus any public hearing comments regarding proposed plan.</p>

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

#9



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00330 Project # 1004772

Project Name: _____

Agent: Isaacson & Arfman Phone No.: _____

Your request was approved on 7-16-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Record signed 7-17-08

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:

Bernalillo County, NM
One Civic Plaza NW
P.O. Box 542
Albuquerque, NM 87102

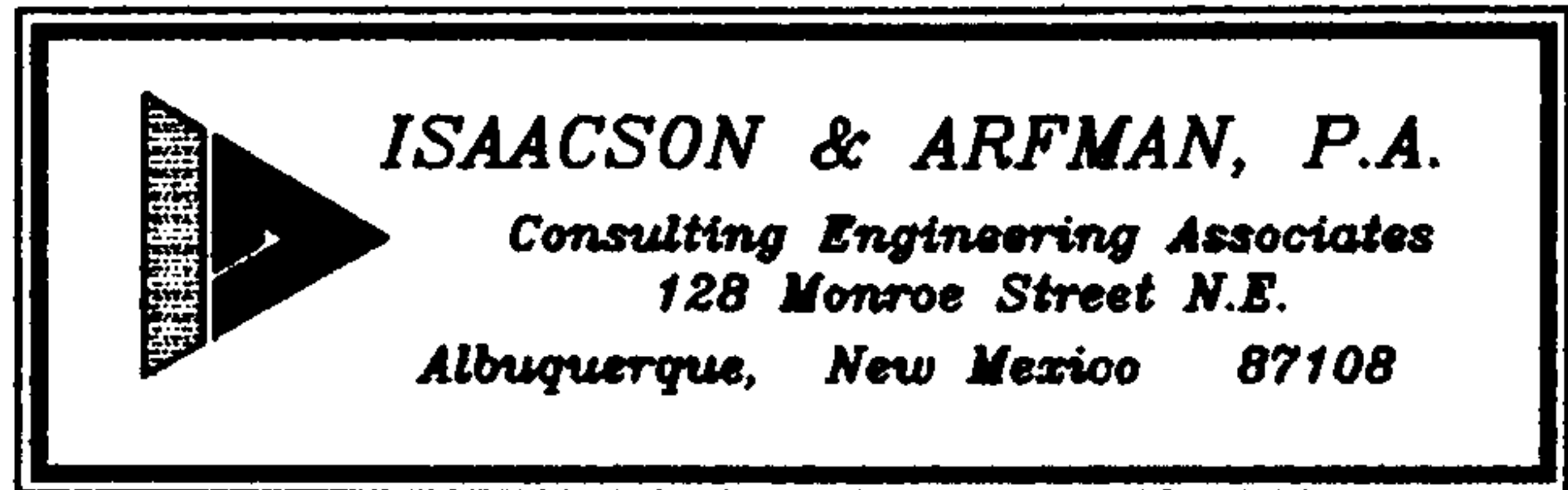
Receipt: 0063813

Product	Name	Extended
PLAT	Plats	\$12.00
# Pages		2
Document #		2008081454
Book/Page:		B: 2008C P: 0161
Second Label Pages		2
Total		\$12.00
Tender (Check)		\$12.00
Check#	18320	
Paid By	isaacson	
Phone #	5052688828	

Thank You!

Fri Jul 18 15:26:41 MDT 2008 sgallegos

Letter of Transmittal



To: Jack Cloud Date: 7/16/08
DRB Chair Job No. 1435.2

Attn: _____
Reference: Holly Place DRB# 1004772

We transmit to you 2 mylars copy(ies) of the following:

- | | | | | |
|-------------------------------------|--|--------|--------------------------|----------------|
| <input checked="" type="checkbox"/> | _____ | Plats | <input type="checkbox"/> | Specifications |
| <input type="checkbox"/> | _____ | Plans | <input type="checkbox"/> | Submittals |
| <input type="checkbox"/> | _____ | Disks | <input type="checkbox"/> | Shop Drawings |
| <input type="checkbox"/> | _____ | Report | <input type="checkbox"/> | Copy of Letter |
| <input checked="" type="checkbox"/> | <u>Tax Certification - Tax Printout</u> | | | |
| <input checked="" type="checkbox"/> | <u>Plat Record Fee (I+Ack 18320/\$12.00)</u> | | | |

This information is transmitted:

- | | | | |
|-------------------------------------|--------------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | As per your request | <input type="checkbox"/> | For your files |
| <input type="checkbox"/> | For your review & approval | <input type="checkbox"/> | For your use |
| <input type="checkbox"/> | For your information | <input type="checkbox"/> | Please review & return |
| <input type="checkbox"/> | For your attention | <input type="checkbox"/> | For return to your files |
| <input checked="" type="checkbox"/> | For your signature + recording | <input type="checkbox"/> | Please advise |
| <input type="checkbox"/> | _____ | | |
| <input type="checkbox"/> | _____ | | |

Remarks: _____

By: Genny Donart Copies to: _____



- Search by**
 - Situs Address
 - Parcel ID
- Assessment Records**
 - Current Ownership Data
 - Notice of Values
 - Map
- Treasurer Records**
 - Tax Bill
 - Tax & Payment History --> Pay Online
- Search Manager**
 - Return to list
- Page Options**
 - Print this page
 - E-mail link to this page
- Portfolio**
 - Add to Portfolio
 - Portfolio Manager

Tax & Payment History

Tax and Payment History for 101806422203930214

YEAR	NET_TAXABLE	TAX	INTEREST	PENALTY	FEES	PAID	AMOUNT_DUE
1998	0.00	497.66	0.00	0.00	0.00	-497.66	0.00
1999	21,398	886.16	0.00	0.00	0.00	-886.16	0.00
2000	21,398	925.26	0.00	0.00	0.00	-925.26	0.00
2001	21,405	968.52	0.00	0.00	0.00	-968.52	0.00
2002	21,405	910.24	0.00	0.00	0.00	-910.24	0.00
2003	21,405	983.60	0.00	0.00	0.00	-983.60	0.00
2004	21,405	973.80	0.00	0.00	0.00	-973.80	0.00
2005	70,359	2,989.76	0.00	0.00	0.00	-2,989.76	0.00
2006	70,359	3,148.50	94.44	78.70	0.00	-3,321.64	0.00
2007	73,293	3,430.46	17.15	17.15	0.00	-3,464.76	0.00

Summary of Taxes Due 1st Half Delinquent after Dec 10th	Payment information Current as of 7/12/2008 7:13:42 AM					Amount Due Valid until 8/10/2008
1st half due	1,715.23	0.00	0.00	0.00	-1,715.23	0.00
2nd half due	1,715.23	17.15	17.15	0.00	-1,749.53	0.00
Total Due	3,430.46	17.15	17.15	0.00	-3,464.76	0.00

**Pay online Now! To get current:
If less, payment will be applied to penalty and
interest first then oldest tax bill**

Total Due \$0.00

CONTACT THE BERNALILLO COUNTY TREASURER AT 505-768-4031 FOR CURRENT TAX AMOUNTS IF PAYMENTS ARE MADE AFTER THE "Valid until" DATE



- Search by**
 - Situs Address
 - Parcel ID
- Assessment Records**
 - Current Ownership Data
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Tax & Payment History

Tax and Payment History for 101806423801730210

YEAR	NET_TAXABLE	TAX	INTEREST	PENALTY	FEES	PAID	AMOUNT_DUE
1998	0.00	490.56	0.00	0.00	0.00	-490.56	0.00
1999	10,799	447.22	0.00	0.00	0.00	-447.22	0.00
2000	10,799	466.96	0.00	0.00	0.00	-466.96	0.00
2001	20,803	941.30	0.00	0.00	0.00	-941.30	0.00
2002	20,803	884.64	0.00	0.00	0.00	-884.64	0.00
2003	20,803	955.92	0.00	0.00	0.00	-955.92	0.00
2004	20,803	946.42	0.00	0.00	0.00	-946.42	0.00
2005	88,191	3,747.52	0.00	0.00	0.00	-3,747.52	0.00
2006	88,191	3,946.46	19.73	19.73	0.00	-3,985.92	0.00
2007	125,487	5,873.42	29.37	29.37	0.00	-5,932.16	0.00

Summary of Taxes Due 1st Half Delinquent after Dec 10th	Payment information Current as of 7/12/2008 7:13:42 AM					Amount Due Valid until 8/10/2008
1st half due	2,936.71	0.00	0.00	0.00	-2,936.71	0.00
2nd half due	2,936.71	29.37	29.37	0.00	-2,995.45	0.00
Total Due	5,873.42	29.37	29.37	0.00	-5,932.16	0.00

**Pay online Now! To get current:
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Total Due \$0.00

CONTACT THE BERNALILLO COUNTY TREASURER AT 505-768-4031 FOR CURRENT TAX AMOUNTS IF PAYMENTS ARE MADE AFTER THE "Valid until" DATE



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 - Portfolio Manager

Tax & Payment History

Tax and Payment History for 101806423803930213

YEAR	NET_TAXABLE	TAX	INTEREST	PENALTY	FEES	PAID	AMOUNT_DUE
1998	0.00	497.66	0.00	0.00	0.00	-497.66	0.00
1999	10,966	454.14	0.00	0.00	0.00	-454.14	0.00
2000	10,966	474.14	0.00	0.00	0.00	-474.14	0.00
2001	21,106	955.02	0.00	0.00	0.00	-955.02	0.00
2002	21,106	897.54	0.06	5.00	0.00	-902.60	0.00
2003	21,106	969.84	0.00	0.00	0.00	-969.84	0.00
2004	21,106	960.22	0.00	0.00	0.00	-960.22	0.00
2005	70,426	2,992.62	0.00	0.00	0.00	-2,992.62	0.00
2006	70,426	3,151.50	94.56	78.80	0.00	-3,324.86	0.00
2007	73,393	3,435.16	17.18	17.18	0.00	-3,469.52	0.00

Summary of Taxes Due 1st Half Delinquent after Dec 10th	Payment information Current as of 7/12/2008 7:13:42 AM					Amount Due Valid until 8/10/2008
1st half due	1,717.58	0.00	0.00	0.00	-1,717.58	0.00
2nd half due	1,717.58	17.18	17.18	0.00	-1,751.94	0.00
Total Due	3,435.16	17.18	17.18	0.00	-3,469.52	0.00

**Pay online Now! To get current:
If less, payment will be applied to penalty and
interest first then oldest tax bill**

Total Due \$0.00

CONTACT THE BERNALILLO COUNTY TREASURER AT 505-768-4031 FOR CURRENT TAX AMOUNTS IF PAYMENTS ARE MADE AFTER THE "Valid until" DATE



- Search by**
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 - Return to list
- Page Options**
 - Print this page
 - E-mail link to this page
- Portfolio**
 - Add to Portfolio
 - Portfolio Manager

Tax & Payment History

Tax and Payment History for 101806422201630209

YEAR	NET_TAXABLE	TAX	INTEREST	PENALTY	FEES	PAID	AMOUNT_DUE
1998	0.00	497.66	0.00	0.00	0.00	-497.66	0.00
1999	66,094	2,737.14	0.00	0.00	0.00	-2,737.14	0.00
2000	66,094	2,857.90	0.00	0.00	0.00	-2,857.90	0.00
2001	21,442	970.20	0.00	0.00	0.00	-970.20	0.00
2002	21,442	911.80	0.00	0.00	0.00	-911.80	0.00
2003	21,442	985.28	0.00	0.00	0.00	-985.28	0.00
2004	21,442	975.48	0.00	0.00	0.00	-975.48	0.00
2005	115,588	4,911.70	0.00	0.00	0.00	-4,911.70	0.00
2006	89,391	4,000.14	120.00	100.00	0.00	-4,220.14	0.00
2007	127,221	5,954.58	29.77	29.77	0.00	-6,014.12	0.00

Summary of Taxes Due	Payment information	Amount Due
1st Half Delinquent after Dec 10th	Current as of 7/12/2008 7:13:42 AM	Valid until 8/10/2008

1st half due	2,977.29	0.00	0.00	0.00	-2,977.29	0.00
2nd half due	2,977.29	29.77	29.77	0.00	-3,036.83	0.00
Total Due	5,954.58	29.77	29.77	0.00	-6,014.12	0.00

Pay online Now! To get current:
If less, payment will be applied to penalty and interest first then oldest tax bill

Total Due \$0.00

CONTACT THE BERNALILLO COUNTY TREASURER AT 505-768-4031 FOR CURRENT TAX AMOUNTS IF PAYMENTS ARE MADE AFTER THE "Valid until" DATE

GoTo AA 05

JURISDICT: 02 PARCEL ID: 1-018-064-238017-3-02-10 SUBDIVISION: NBHD: 8502

Spec Flag ALTERNATE ID: C1830210 BOOK/PAGE: 2006 068289 TAX YEAR: 2007 LUC: 93MI

ALT: NAME: HOLLY-SP LLC Own2: OWN #: CLASS: V

ALT: LOCATION: 6115 PASEO DEL NORTE NE

ALBUQUERQUE NM 87113 TYPE: R

Index	Owner	Mult Owners	Legal	Values	Taxes	Specials	Custom
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Parcel ID: 1-018-064-238017-3-02-10							
Effective Authority/				SP Original			
Rolltype	Year	Project	CycleFlag	Charge	Adjustments	Payments	Total
RP	2007		1	2,936.71	.00	-2,936.71	.00
RP	2007		2	2,936.71	58.74	-2,995.45	.00
				5,873.42	58.74	-5,932.16	.00

GoTo AA 05

JURISDICT 02 PARCEL ID: 1-018-064-238039-3-02-13 SUBDIVISION: NBHD: 8502
 Spec Flag ALTERNATE ID: C1830213 BOOK/PAGE: 2006 068289 TAX YEAR: 2007 LUC: 93MI v
 ALT: NAME: HOLLY-SP LLC Own2: OWN #: CLASS: V
 ALT: LOCATION: HOLLY AVE NE ALBUQUERQUE NM 87113 TYPE: R

Index Owner Mult Owners Legal Values Taxes Specials Custom

Parcel ID: 1-018-064-238039-3-02-13

Rolltype	Year	Effective Authority/Project	SP Original Cycle Flag	Charge	Adjustments	Payments	Total
RP	2007		1	1,717.58	.00	-1,717.58	.00
RP	2007		2	1,717.58	34.36	-1,751.94	.00
				3,435.16	34.36	-3,469.52	.00

GoTo AA 05

JURISDICT: 02 PARCEL ID: 1-018-064-222016-3-02-09 SUBDIVISION: NBHD: 8502
 Spec Flag ALTERNATE ID: C1830209 BOOK/PAGE: 2006 068289 TAX YEAR: 2007 LUC: 93MI
 ALT: NAME: HOLLY-SP LLC Own2: OWN #: CLASS: V
 ALT: LOCATION: PASO DEL NORTE NE
 ALBUQUERQUE NM 87113 TYPE: R

Index	Owner	Mult Owners	Legal	Values	Taxes	Specials	Custom
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Parcel ID: 1-018-064-222016-3-02-09

Effective Authority/Roltype	Year	Project	Cycle	Flag	SP Original Charge	Adjustments	Payments	Total
RP	2007		1		2,977.29	.00	-2,977.29	.00
RP	2007		2		2,977.29	59.54	-3,036.83	.00
					5,954.58	59.54	-6,014.12	.00

GoTo AA 05

JURISDICT: 02 PARCEL ID: 1-018-064-222039-3-02-14 SUBDIVISION: NBHD: 8502

Spec Flag ALTERNATE ID: C1830214 BOOK/PAGE: 2006 068289 TAX YEAR: 2007 LUC: 93MI

ALT: NAME: HOLLY-SP LLC Own2: OWN #: CLASS: V

ALT: LOCATION: HOLLY AVE NE ALBUQUERQUE NM 87113 TYPE: R

Index	Owner	Mult Owners	Legal	Values	Taxes	Specials	Custom
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Parcel ID: 1-018-064-222039-3-02-14

Effective Authority/ Rolltype	Year	Project	Cycle	Flag	SP Original Charge	Adjustments	Payments	Total
RP	2007		1		1,715.23	.00	-1,715.23	.00
RP	2007		2		1,715.23	34.30	-1,749.53	.00
					3,430.46	34.30	-3,464.76	.00

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project#-1004772**

07DRB-70375 MINOR - SDP FOR
SUBDIVISION

07DRB-70376 MINOR - SDP FOR
BUILDING PERMIT

07DRB-70370 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

GEORGE RAINHART ARCHITECTS agent(s) for HOLLY SP , LLC request(s) the above action(s) for all or a portion of Lot(s) 14, **NORTH ALBUQUERQUE ACRES Unit B**, zoned SU2-M1, located on PASEO DEL NORTE NE BETWEEN SAN PEDRO NE AND I-25 containing approximately 1.96 acre(s). (C-18)

THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES AND TO TRANSPORTATION FOR VERIFICATION THAT STRUCTURE SHOWN ON PLAN IS NOT AN UNUSED DRIVE PAD; ADD BUMPERS TO SPACES SURROUNDING LIGHT POLES; CROSS LOT ACCESS EASEMENT TRACTS A & B AND LOTS 13 & 20; IF THERE IS NOT AN EXISTING SIDEWALK ALONG HOLLY, IT MUST BE BUILT WITH PROJECT; WIDTH OF INTERNAL SIDEWALK ALONG OBSTACLES MUST BE INDICATED. SHOW PROPOSED HEAVY VEHICLE PATH AND PROVIDE AN EXHIBIT TO THAT EFFECT.

ISAACSON & ARFMAN, PA agent(s) for HOLLY - SP, LLC request(s) the above action(s) for all or a portion of Lot(s) 14-19, Block 18, Tract A, **NORTH ALBUQUERQUE ACRES Unit B**, zoned SU2-M1, located on HOLLY AVE NE BETWEEN PASEO DEL NORTE NE AND SAN PEDRO NE containing approximately 3.7503 acre(s). (C-18) **WITH THE INFRASTRUCTURE LIST DATED 11/14/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. CONDITIONS OF FINAL PLAT ARE THAT THE PLAT REFERENCES THE EXISTING DECLARATION OF CCCR's AND CROSS EASEMENT AGREEMENT AND TO PROVIDE RECORDING INFORMATION FOR THE CROSS LOT ACCESS EASEMENTS BETWEEN LOTS 13 AND 20 AND TRACTS A & B.**

7. **Project# 1006833**

07DRB-70254 MAJOR - SDP FOR
SUBDIVISION

07DRB-70255 MAJOR - SDP FOR
BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)**, zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) [*Deferred from 10/10/07*] **DEFERRED TO 12/12/07 AT THE AGENT'S REQUEST.**



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004772

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for Subd
Site Plan for BP
Final Plat
Preliminary Plat

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

New Mexico 87103

No adverse comments.

An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat sign-off.

www.cabq.gov

RESOLUTION: *signed I.L*

FP indef

APPROVED X; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: November 14, 2007

**CITY OF ALBUQUERQUE
Planning Department
November 14, 2007
DRB Comments**

ITEM# 6

PROJECT # 1004772 APPLICATION # 07-70375 & 70376

RE: Holly Place/sps/spbp/p&f plat

What are the retail uses planned for this site? They are limited by the zoning. The specific uses must appear on both site plans. Only these uses will be allowed without an administrative amendment at a minimum.

PLAT

1. The zoning is SU2-M1. Surveyor was called on 11-08.
2. Planning will record the plat.

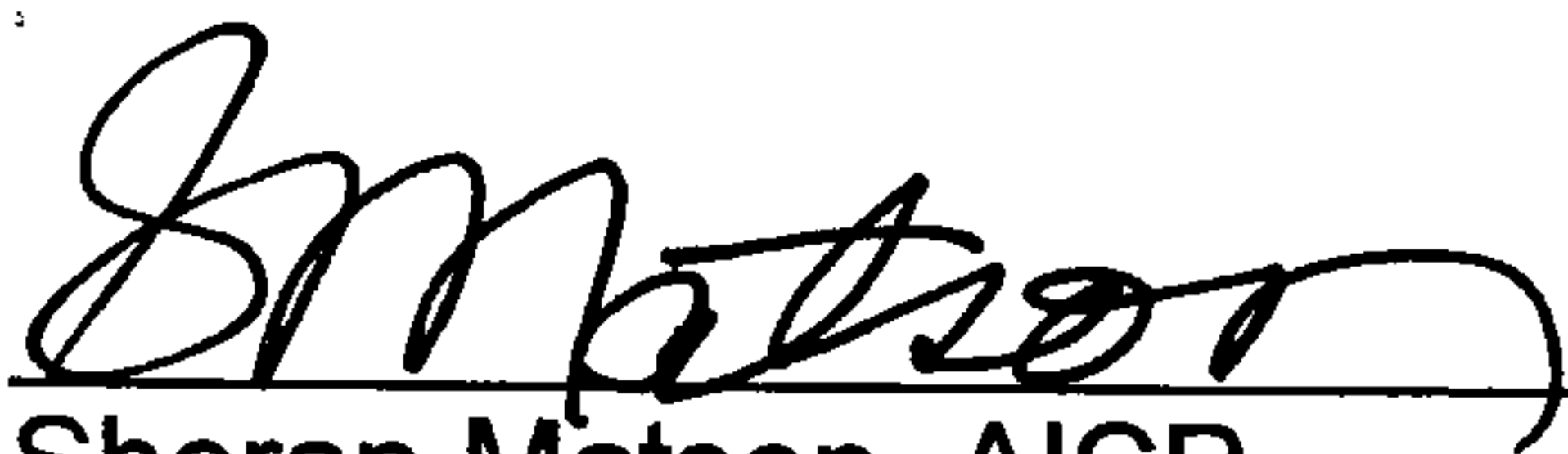
SITE PLAN FOR SUBDIVISION & BUILDING PERMIT

1. The plat & SPS appear to match.
2. The signature block for this plan & the SPBP need a corrected title for the DRB ABCWUA Engineer. "Water Utilities Dept." is no longer correct.
3. The project property needs to be identified on the vicinity maps for each site plan.
4. The pedestrian links to all uses are not continuous.

Page 2

5. SPS: Not all the Checklist requirements are met. Perhaps because there is not a signed SPS Checklist in Planning's packet.
6. The existing & proposed easements are required to be shown on the site plan sheets.
7. "Shops" is not a recognized proposed use.

Please submit a revised set of site plans to Planning by Tuesday at noon for time to review before DRB. We're closed on Monday.



Sheran Matson, AICP

DRB Chair

924-3880/smatson@cabq.gov

#9



DRB CASE ACTION LOG
REVISED 10/08/07

(FINAL PLAT)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00330

Project # 1004772

Project Name:

Agent: Isaacson & Arfman

Phone No.:

Your request was approved on 7-16-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Record

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.** OK
- Copy of recorded plat for Planning.**

Created On:

#9



DRB CASE ACTION LOG

REVISED 10/08/07

(FINAL PLAT)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

~~PLANNING~~

DRB Application No.: 06DRB-00330

Project # 1004772

Project Name:

Agent: Isaacson & Arfman

Phone No.:

Your request was approved on 7-16-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Record

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:

4772

DXF Electronic Approval Form

DRB Project Case #: 1004772

Subdivision Name: HOLLY PLACE

Surveyor: THOMAS D JOHNSTON

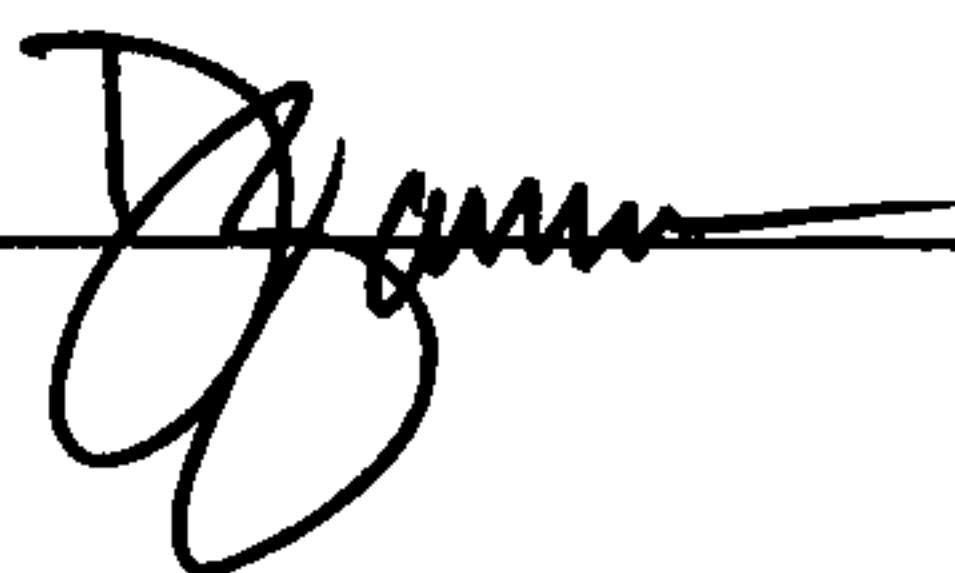
Contact Person: THOMAS D JOHNSTON

Contact Information: 255-2052

DXF Received: 8/15/2008

Hard Copy Received: 8/15/2008

Coordinate System: Ground rotated to NMSP Grid

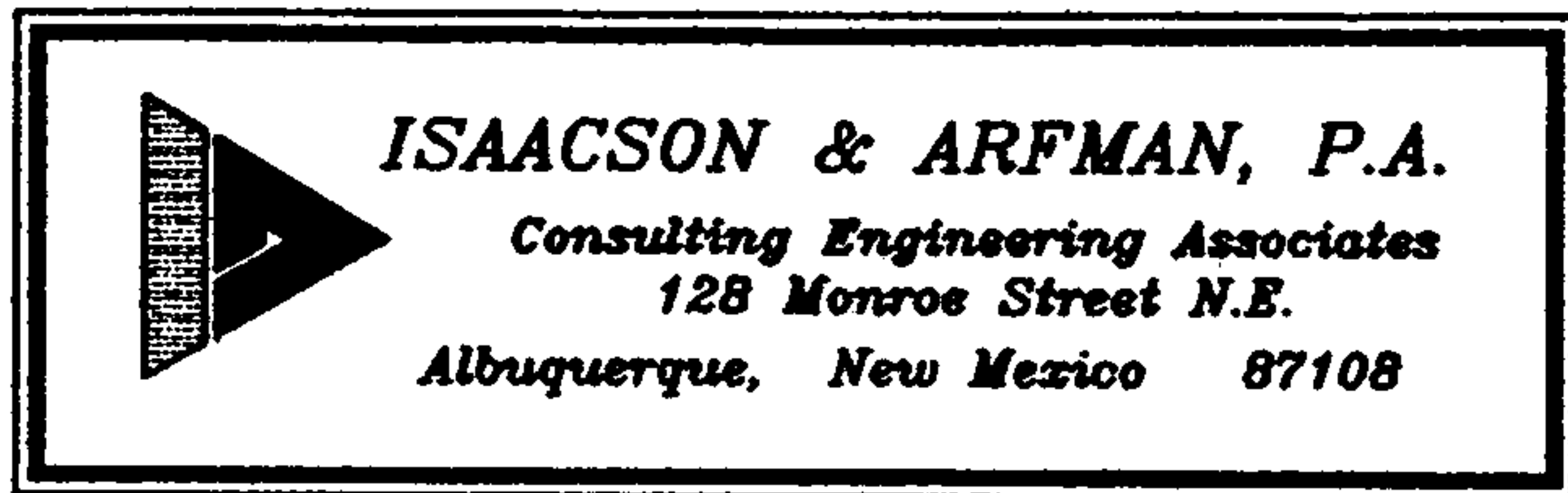
 Approved

08.15.2008
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 4772 to agiscov on 8/15/2008 Contact person notified on 8/15/2008

Letter of Transmittal



To: COA

Date: 7/9/08

Job No. 2435.2

Attn: JACK CLOUD

Reference: HOLLY PLACE (PROJECT # 1004773)

We transmit to you 6 copy(ies) of the following:

- | | | | | |
|-------------------------------------|--------------------|--------|-------------------------------------|----------------|
| <input checked="" type="checkbox"/> | _____ | Plats | <input type="checkbox"/> | Specifications |
| <input type="checkbox"/> | _____ | Plans | <input type="checkbox"/> | Submittals |
| <input type="checkbox"/> | _____ | Disks | <input type="checkbox"/> | Shop Drawings |
| <input type="checkbox"/> | _____ | Report | <input checked="" type="checkbox"/> | Copy of Letter |
| <input checked="" type="checkbox"/> | <u>COPY OF SIA</u> | | | |
| <input type="checkbox"/> | _____ | | | |

This information is transmitted:

- | | |
|--|---|
| <input type="checkbox"/> As per your request | <input type="checkbox"/> For your files |
| <input checked="" type="checkbox"/> For your review & approval | <input type="checkbox"/> For your use |
| <input type="checkbox"/> For your information | <input type="checkbox"/> Please review & return |
| <input type="checkbox"/> For your attention | <input type="checkbox"/> For return to your files |
| <input type="checkbox"/> For your signature | <input type="checkbox"/> Please advise |
| <input type="checkbox"/> _____ | |
| <input type="checkbox"/> _____ | |

Remarks: SINCE THIS PLAT WAS DEFERRED, SEVERAL PAPER EASEMENTS WERE FILED. THOSE EASEMENTS SHOW UP ON THIS VERSION OF THE PLAT.

By: GENNY DONARD

Copies to: _____

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 16th day of April, 2008, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Holly-SP, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] a New Mexico Limited Liability Company, whose address is 7600 Jefferson NE, Suite 27, Albuquerque, NM 87109 and whose telephone number is 505-858-0001, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Lots 14, 15, 18, & 19 in Block 18, Tract A, Unit B, North Albuquerque Acres, recorded on April 24, 1936 in the records of the Bernalillo County Clerk at Book Plat Book D, pages Folio 130 through _____ (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Holly-SP, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Holly Place Phase II and Plat of Holly Place describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 20th day of November, 2008 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 753483.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Walker Surveying, and construction surveying of the private Improvements shall be performed by Walker Surveying. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Isaacson & Arfman, and inspection of the private Improvements shall be performed by Isaacson & Arfman, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider

shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Vineyard & Associates, and field testing of the private Improvements shall be performed by Vineyard & Associates, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following Financial Guaranty:

Type of Financial Guaranty: Irrevocable Letter of Credit No. 2559
Amount: \$ 41,308.64 Name of Financial Institution or Surety
providing Guaranty: First Community Bank
Date City first able to call Guaranty: November 20, 2008
[Construction Completion Deadline]: November 20 20 08
If Guaranty other than a Bond, last day City able to call Guaranty is:
January 20, 20 09
Additional information:

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision. 07/02

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



FIGURE 14

LETTER OF CREDIT
(Procedure B)

March 26, 2008

IRREVOCABLE LETTER OF CREDIT AND AGREEMENT NO. 2559

AMOUNT: Forty One Thousand Three Hundred
Eight Dollars & 64/100, (\$41,308.64)

Dr. Bruce Perlman, PhD
Chief Administrative Officer
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

RE: Letter of Credit for Holly-SP, LLC
City of Albuquerque Project No.: 753483
Project Name: Holly Place Commercial Phase II

Dear Dr. Perlman:

This letter is to advise the City of Albuquerque ("City") that, at the request of, Holly-SP, LLC ("Subdivider"), First Community Bank ("Financial Institution") in Albuquerque, New Mexico, has established an Irrevocable Letter of Credit in the sum of Forty One Thousand Three Hundred Eight Dollars & 64/100; (\$41,308.64) ("Letter of Credit") for the exclusive purpose of providing the financial guarantee which the City requires, Holly-SP, LLC ("Subdivider") to provide for the installation of the improvements which must be constructed at Holly Place Commercial Phase II, Phase/Unit #: 1, Project No. 753483 ("Project"). The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 4-17, 2008 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. NA, at pages NA to NA, as amended ("Agreement"). Document # 2008043675

A Draft or Drafts for any amount up to, but not in excess of Forty One Thousand Three Hundred Eight Dollars & 64/100; (\$41,308.64) is/are available at sight at First Community Bank, 7900 Jefferson NE, Albuquerque, NM 87109 between November 20, 2008 and January 20, 2009.

When presented for negotiation, the Draft(s) is/are to be accompanied by the City's notarized certification stating: "1) Holly-SP, LLC has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements."

We hereby agree with the drawer of Draft(s) drawn under and in compliance with the terms of this credit that such Draft(s) will be duly honored upon presentation to the drawee if negotiated between November 20, 2008 and January 20, 2009.

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit and Agreement No. 2559 of First Community Bank, 7900 Jefferson NE, Albuquerque, NM 87109, dated March 26, 2008 and the original Letter of Credit must be endorsed on the reverse side with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the draft which exhausts this credit.

This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until:

1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of Holly-SP, LLC failure to comply with the terms of the Agreement, and payment by Certified Check from First Community Bank to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement; or
3. Expiration of the date January 20, 2009; or
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

This Letter of Credit will terminate at three o'clock p.m., New Mexico time, January 20, 2009.

This credit is subject to the Uniform Customs and Practice for Documentary Credits (2006 Revision), International Chamber of Commerce Publication No. 600.

Very truly yours,
First Community Bank

V. William Dolan
By: V. William Dolan
Title: Executive Vice President

ACCEPTED:

CITY OF ALBUQUERQUE

By: [Signature]
Chief Administrative Officer

Dated: 4-16-08

[Signature] 4/16/08

[Signature]
4-11-08

ORIGINAL

INFRASTRUCTURE LIST

(Plan Sheet)
EXHIBIT "A"

TO SUBDIVISION IMPROVEMENT AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

HOLLY PLACE
PROPOSED NAME OF SITE DEVELOPMENT PLAN

LOTS 14, 15, 18 & 19, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: November 5, 2007
Date Site Plan Approved: N/A
Date Preliminary Plat Approved: 11/19/07
Date Preliminary Plat Expires: 11/19/10
DRB Project No.: 1024772
DRB Application No.: 01 DRB 70370

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or the review of the construction drawings, if the DRG Chair determines that additional items and/or unforeseen items have not been included in the Infrastructure listing, the DRG Chair may include those items in the listing and related financial guarantees. Likewise, if the DRG Chair determines that additional or non-essential items can be deleted from the listing, those items may be deleted as well as the related administrative. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	DRG #	Constructed Under	DRG #	Size	Type of Improvement	Location	From	To	Construction Certification	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	sq					Private P.E.	City Credit Engineer
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Waterline	20' Onsite Waterline	Holly Ave.	Lot 18	1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Easement				1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>						1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>						1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>						1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>						1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>						1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>						1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>						1	1
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>						1	1

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SUA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	F.E.	City Engr
							/	/	/
							/	/	/

Approval of Creditable Items:

Impact Fee Administrator Signature _____ Date _____ City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

1 All sidewalks to be constructed under building permit

2 Groundwater Drainage Certification required per DPM prior to release of financial guarantee to include private retaining walls as defined on the approved grading plan.

3 All water to include fire hydrants, valves, and appurtenances per DPM.

AGENT / OWNER _____ DEVELOPMENT REVIEW BOARD MEMBER APPROVALS _____

Genevieve L. Donart
 NAME (print)

Isaacson & Arfman, P.A.
 FIRM

Genevieve L. Donart
 SIGNATURE - date

Christina Sandbrook 11/14/07
 DRB CHAIR - date
 PARKS & GENERAL RECREATION - date

Isaacson & Arfman 11/14/07
 TRANSPORTATION DEVELOPMENT - date

Isaacson & Arfman 11/14/07
 UTILITY DEVELOPMENT - date

Bradley A. Bick 11/14/07
 CITY ENGINEER - date

AMAFCG - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FINANCIAL GUARANTY AMOUNT

12/14/2007

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

Project ID #: 753483, Holly Place Commercial Phase II, Phase/Unit #: 1

Requested By: Genny Donart, PE

Approved estimate amount:		\$24,310.94
Contingency Amount:	15.00%	\$3,646.64
Subtotal:		\$27,957.58
NMGRT	6.875%	\$1,922.08
Subtotal:		\$29,879.66
Engineering Fee	6.60%	\$1,972.06
Testing Fee	4.00%	\$1,195.19
Subtotal:		\$33,046.91
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$41,308.64</u>

APPROVAL:

DATE:

J Woodall 12-14-07

Notes: B-1; plans and final eng est have not been approved, 15% contingency,



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 16, 2008 9:00 AM

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1007137**
08DRB-70097 VACATION OF PUBLIC RIGHT-OF-WAY
ISMELDA F. FLORES request(s) the above/ referenced action(s) for all or a portion of the alley at the rear of Lot(s) 1, Block B, **CACY SUBDIVISION** zoned R-2, located on the east side of CORONA DR NW BETWEEN PHEASANT AVE NW AND FLAMINGO AVE NW. (G-11) *[Deferred from 3/26/08 & 5/7/08]* **DEFERRED TO 7/30/08 AT THE AGENT'S REQUEST.**

2. **Project # 1005070**
06DRB-01154 MAJOR-PRELIMINARY PLAT APPROVAL
06DRB-01156 MINOR-SIDEWALK WAIVER
06DRB-01155 MINOR-TEMP DEFER SDWK
SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, **THE TRAILS, UNIT 2 (to be known as TAOS @ THE TRAILS, UNIT 2)** zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). (C-9) *[Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07, 08/22/07 & 09/05/07 & 09/26/07, 10/17/08 , 4/16/08 & 5/14/08].* **DEFERRED TO 7/23/08 AT THE AGENT'S REQUEST.**

3. **Project# 1006516**
07DRB-70030 BULK LAND VARIANCE
07DRB-70031 MAJOR - PRELIMINARY PLAT APPROVAL
07DRB-70032 MINOR - TEMP DEFR SWDK CONST
07DRB-70033 SIDEWALK WAIVER
07DRB-70034 VACATION OF PUBLIC EASEMENT
07DRB-70085 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL
BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) PORTION OF TRACT 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD. SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). (R15, R16, S15, AND S16) *[Deferred from 6/27/07, 7/25/07, 7/22/07, 8/22/07 & 9/26/07, 1/30/08, 3/5/08, 4/9/08, 5/14/08, 5/28/08, 6/4/08, 6/11/08 & 6/25/08]* **DEFERRED TO 8/6/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1000901**
08DRB-70312 EPC APPROVED SDP
FOR BUILD PERMIT
08DRB-70313 EPC APPROVED SDP
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for BOSQUE SCHOOL request(s) the above action(s) for all or a portion of **BOSQUE PREPARATORY SCHOOL & RELATED FACILITIES**, located on LEARNING RD NW BETWEEN COORS BLVD NW AND RIO GRANDE BOSQUE containing approximately 47.11 acre(s). (F-12) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLAN UXJX NINGCOPIES, AND TO TRANSPORTATION FOR COMMENTS. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES.**

- 08DRB-70315 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

PRECISION SURVEYS INC agent(s) for BOSQUE SCHOOL request(s) the above action(s) for all or a portion of Tract(s) 1 & 2, **BOSQUE PREPARATORY SCHOOL & LOT 9 ANDALUCIA @ LA LUZ** located on LEARNING RD NW BETWEEN COORS BLVD NW AND MIRANDELA ST NW containing approximately 31.3093 acre(s). (E-12/F-12) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN. FINAL PLAT WAS DEFERRED TO 7/23/08.**

5. **Project# 1001907**
08DRB-70309 EPC APPROVED SDP
FOR BUILD PERMIT

CONSENSUS PLANNING agent(s) for MED WEST 2008 LLC request(s) the above action(s) for all or a portion of Tract(s) 10-A, **EAGLE RANCH** zoned SU-1 FOR C-1, located on IRVING BLVD NW BETWEEN CONGRESS AVE NW ANDN BRYAN AVE NW containing approximately 1.6911 acre(s). (B-13) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING FOR EASEMENT TO FOR RIGHT TURN LANE IF NEEDED, AND FOR 3 COPIES.**

6. **Project# 1007017**
 08DRB-70255 EPC APPROVED SDP
 FOR BUILD PERMIT
 08DRB-70256 EPC APPROVED SDP
 FOR SUBDIVISION
 08DRB-70258 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL

NMHCR LLC agent(s) for KASSAM HOSPITALITY request(s) the above action(s) for all or a portion of Lot(s) 2-A-1, 2-A-2, 2-A-3, **SUNPORT PARK** zoned IP, located on **WOODWARD RD SE BETWEEN UNIVERSITY AND TRANSPORT SE** containing approximately 4.45 acre(s). (M-15) [Deferred from 6/11/08, 6/25/08 & 7/9/08] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 3 COPIES AND TO COMPLY WITH WRITTEN COMMENTS. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO COMPLY WITH COMMENTS, SIGNATURE OF UTILITY COMPANIES AND ENVIRONMENTAL HEALTH.**

7. **Project# 1000650**
 08DRB-70237 EPC APPROVED SDP
 FOR BUILD PERMIT

GEORGE RAINHART & ASSSOC. agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 2A, **LAMONICA & WENK**, zoned SU-1 / C-1, located on **COORS BLVD AND RIO BRAVO** containing approximately 1.55 acre(s). (P-10) [Deferred from 5/28/08, 6/4/08, 6/11/08, 6/25/08 & 7/9/08] **DEFERRED TO 7/23/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project# 1004622**
 08DRB-70310 EXT OF SIA FOR TEMP
 DEFR SDWK CONST

GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18 W/ PORTIONS OF 15-17, Block(s) 21, **NORTH ALBUQUERQUE ACRES** zoned SU--2 /C-1, located on **PALOMAS NE BETWEEN BARSTOW NE AND WYOMING NE** containing approximately 1.4487 acre(s). (D-19) **A TWO YEAR EXTENSION TO THE 4-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

9. ~~PROJECT# 1004773~~²
 06DRB-00750 MINOR-PRELIM&FINAL
 PLAT APPROVAL

ISAACSON & ARFMAN PA agent(s) for PASEO PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 12, 13, 20 & 21, Block(s) 18, **NORTH ALBUQUERQUE ACRES, UNIT B** (to be known as **PASEO PLACE**) zoned SU-1 for M-1, located on **HOLLY AVE NE, between PASEO DEL NORTE NE and SAN PEDRO DR NE** containing approximately 4 acre(s). [REF: 06DRB-00377] [Was Indef Deferred for the site plan.] (C-18) (Deferred from 6/21/08) **THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**

10. **Project# 1007335**
08DRB-70311 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

DOUG SMITH agent(s) for PATRICK APODACA request(s) the above action(s) for all or a portion of Tract(s) A, **ROMAC-JEAN ADDITION** zoned C-3, located on QUINCY ST NE BETWEEN MENAUL BLVD NE AND PROSPECT AVE NE containing approximately .279 acre(s). (H-17) **THE PRELIMINARY/FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR WRITTEN COMMENTS FOR COUNTY TREASURE SIGNATURE PRIOR TO RECORDING, SOLAR COLLECTORS NOTE, AND AGIS DXF.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project# 1007351**
08DRB-70289 SKETCH PLAT REVIEW
AND COMMENT

E. GILBERT & DOLORES SEDILLO request(s) the above action(s) for all or a portion of Lot(s) D & G, Block(s) 2, **BROADVIEW** zoned RA-2, located on BROADVIEW PL NW BETWEE CHEROKEE NW AND VALLE ALTO NW containing approximately .411 acre(s). (G-13)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project# 1007380**
08DRB-70308 SKETCH PLAT REVIEW
AND COMMENT

GEORGE DUGAS agent(s) for GEORGE DUGAS request(s) the above action(s) for all or a portion of Lot(s) 6, **VOLCANO CLIFFS Unit(s) 9**, zoned SU-2 ER15, ER18 & SU-1 FOR OPEN SPACE, located on VILLA REAL PL NW BETWEEN VILLA REAL RD NW AND RETBALO NW containing approximately 9 acre(s). (D-8) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Other Matters: None

ADJOURNED: 10:30 A.M.




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: July 14, 2008

TO: Jack Cloud, Planning Department -- Design Review Board

COPY: Suzanne Busch, Environmental Health Department
Donna Griffin, Legal Department
Isaccson & Arfman PA

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project No. 1004773, 06DRB-00750, Lots 12, 13, 20, and 21, Block 18, Tract A of the North Albuquerque Acres, Unit B, located on Holly Ave. NE, between Pasco Del Norte NE and San Pedro Dr. NE.

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (Sacramento Landfill). The developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004772

AGENDA ITEM NO: 9

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: July 16, 2008

602



DRB CASE ACTION LOG (PREL/FINAL PLAT)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **07DRB-70370**

Project # **1004772**

Project Name: **NORTH ALBUQUERQUE ACRES UNIT B**

Agent: **ISAACSON AND ARFMAN, PA**

Phone No.:

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

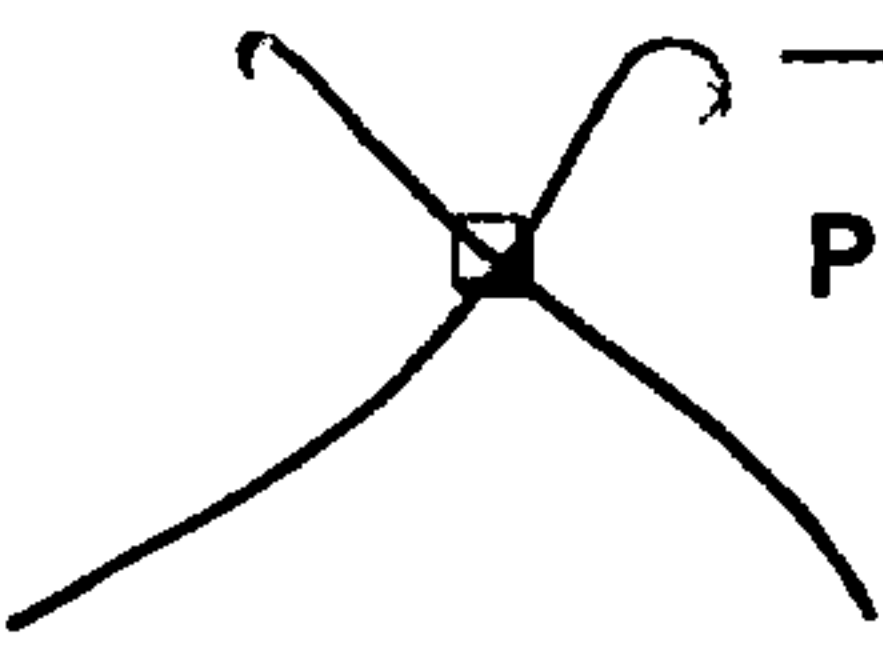
TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *Recd* _____



Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 14, 2007 9:00 AM
MEMBERS:

Sheran Matson, AICP, DRB Chair
Angela Gomez, Administrative Assistant
924-3946

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1003483**
07DRB-70324 MAJOR - 2YR SUBD IMP
AGMT (2YR SIA)

SANTOSH MODY agent(s) for BHARAT H. MODY & CHAMPA B. MODY request(s) the above action(s) for all or a portion of Lot(s) 17-A, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit 2**, zoned SU2/IP, located on SIGNAL AVE NE BETWEEN SAN PEDRO AVE NE AND SIGNAL AVE NE containing approximately 2.74 acre(s). (C-18) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED**

2. **Project# 1004404**
07DRB-70296 VACATION OF PUBLIC
EASEMENT
07DRB-70297 BULK LAND VARIANCE
07DRB-70298 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 1-8, OS-1 & OS-2, 12, **THE TRAILS Unit 3A**, zoned SU2-UR, SU2-SRLL, SU2-SRSL, SU2, SU1, SU-VC, located on PASEO DEL NORTE NW BETWEEN WOODMONT AVE NW AND RAINBOW BLVD NW containing approximately 158.67 acre(s). (C-8 & C-9) [Deferred from 10/31/07] **DEFERRED TO 11/21/07 AT THE AGENT'S REQUEST.**

3. **Project# 1006902**
07DRB-70312 MAJOR - PRELIMINARY
PLAT APPROVAL
- BORDENAVE DESIGNS agent(s) for HARVEST LAND, LLC request(s) the above action(s) for all or a portion of Tract(s) K,L,M & N, LA LUZ DEL OESTE, zoned SU1/PRD, located on COORS BLVD NW AND DELLYNNE NW AND WESTERN TRAILS NW containing approximately 7.5 acre(s). (F-11) [*Deferred from 11/7/07*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/14/07, AND AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 11/7/07 THE PRELIMINARY PLAT WAS APPROVED. A NOTE WAS ADDED TO INFRASTRUCTURE LIST FOR MEDIAN CLOSURE ON COORS TO BE UNDER A MODIFIED "B", WHICH IS NOT TO BE COMPLETED UNTIL THE SIGNAL AT SEVILLE AND ANDALUCIA IS COMPLETED. CONDITION OF FINAL PLAT IS TO SHOW PARKING AREAS ON PLAT.**
4. **Project# 1002962**
07DRB-70326 VACATION OF PUBLIC
EASEMENT
07DRB-70327 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- HIGH MESA CONSULTING GROUP agent(s) for THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS request(s) the above action(s) for all or a portion of Tract(s) 10-A, **THE TRAILS, UNIT 2**, zoned SU2-SRSL 26, located on NORTHWEST CORNER OF WOODMONT AVE NW AND RAINBOW BLVD NW BETWEEN PASEO DEL NORTE AND UNIVERSE BLVD containing approximately 5.1 acre(s). (C-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR LANGUAGE, AGIS DXF AND FOR THE 15 DAY APPEAL PERIOD.**
5. **Project# 1002776**
07DRB-70325 VACATION OF PUBLIC
EASEMENT
07DRB-70328 MAJOR - PRELIMINARY
PLAT APPROVAL
- ISAACSON AND ARFMAN PA agent(s) for KLD ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) Y-2A-1, **TAYLOR RANCH (to be known as TRACTS Y-2A-1-A, Y-2A-1-B, Y-2A-1-C & Y-2A-1-D)**, zoned C-2 (SC), located on TAYLOR RANCH DR NW BETWEEN HOMESTEAD CIR NW AND SOONER TR NW containing approximately 10.16 acre(s). (D-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/14/07 THE PRELIMINARY PLAT WAS APPROVED. CONDITION OF FINAL PLAT IS FOR THE EXISTING WATER LINE TO BE REMOVED AND REPLACED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project#-1004772**

07DRB-70375 MINOR - SDP FOR
SUBDIVISION

07DRB-70376 MINOR - SDP FOR
BUILDING PERMIT

07DRB-70370 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

GEORGE RAINHART ARCHITECTS agent(s) for HOLLY SP , LLC request(s) the above action(s) for all or a portion of Lot(s) 14, **NORTH ALBUQUERQUE ACRES Unit B**, zoned SU2-M1, located on PASEO DEL NORTE NE BETWEEN SAN PEDRO NE AND I-25 containing approximately 1.96 acre(s). (C-18)

THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES AND TO TRANSPORTATION FOR VERIFICATION THAT STRUCTURE SHOWN ON PLAN IS NOT AN UNUSED DRIVE PAD; ADD BUMPERS TO SPACES SURROUNDING LIGHT POLES; CROSS LOT ACCESS EASEMENT TRACTS A & B AND LOTS 13 & 20; IF THERE IS NOT AN EXISTING SIDEWALK ALONG HOLLY, IT MUST BE BUILT WITH PROJECT; WIDTH OF INTERNAL SIDEWALK ALONG OBSTACLES MUST BE INDICATED. SHOW PROPOSED HEAVY VEHICLE PATH AND PROVIDE AN EXHIBIT TO THAT EFFECT.

ISAACSON & ARFMAN, PA agent(s) for HOLLY - SP, LLC request(s) the above action(s) for all or a portion of Lot(s) 14-19, Block 18, Tract A, **NORTH ALBUQUERQUE ACRES Unit B**, zoned SU2-M1, located on HOLLY AVE NE BETWEEN PASEO DEL NORTE NE AND SAN PEDRO NE containing approximately 3.7503 acre(s). (C-18) **WITH THE INFRASTRUCTURE LIST DATED 11/14/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. CONDITIONS OF FINAL PLAT ARE THAT THE PLAT REFERENCES THE EXISTING DECLARATION OF CCCR'S AND CROSS EASEMENT AGREEMENT AND TO PROVIDE RECORDING INFORMATION FOR THE CROSS LOT ACCESS EASEMENTS BETWEEN LOTS 13 AND 20 AND TRACTS A & B.**

7. **Project# 1006833**

07DRB-70254 MAJOR - SDP FOR
SUBDIVISION

07DRB-70255 MAJOR - SDP FOR
BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)**, zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) [*Deferred from 10/10/07*] **DEFERRED TO 12/12/07 AT THE AGENT'S REQUEST.**

8. **Project# 1006721**
07DRB-70373 EPC/ SDP FOR
BUILDING PERMIT
07DRB-70374 EPC APPROVED SDP
FOR SUBDIVISION
- RMKM ARCHITECTURE agent(s) for ALBUQUERQUE POLICE DEPARTMENT request(s) the above action(s) for all or a portion of Tract(s) B-9E-2-A, **SEVEN BAR RANCH**, zoned SU1 FOR R-2, located on CIBOLA LOOP RD NW BETWEEN ELLISON NW AND CIBOLA LOOP NW containing approximately 3.4 acre(s). (A-13) **DEFERRED TO 11/28/07 AT THE AGENT'S REQUEST.**
9. **Project# 1002421**
07DRB-70366 EPC/ SDP FOR
SUBDIVISION
- GARRETT SMITH LTD agent(s) for NEW LIFE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 111-C, **TOWN OF ATRISCO GRANT Unit 6**, zoned SU1-PRD/20 DU-A, located on BATAAN DR SW BETWEEN DELIA AVE SW AND GWIN ST SW containing approximately 3.2 acre(s). (K-10)
[EPC Planner – Anna DiMambro]
THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.
10. **Project# 1006600**
07DRB-70365 EPC/ SDP FOR
BUILDING PERMIT
- GARRETT SMITH LTD agent(s) for NEW LIFE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 111-C, **TOWN OF ATRISCO GRANT Unit 6**, zoned SU-1 PRD /20 DU-A, located on BATAAN DR SW BETWEEN DELIA AVE SW AND GWIN ST SW containing approximately 3.2 acre(s). (K-10) *[EPC Planner – Anna DiMambro]* **DEFERRED TO 11/21/07 AT THE AGENT'S REQUEST.**
11. **Project# 1003714**
07DRB-70364 EPC/SDP FOR BUILDING
PERMIT
- ALEXANDER FINALE agent(s) for ASSOCIATED HOME & RV SALES, INC request(s) the above action(s) for all or a portion of Tract(s) C-3-A, **ADOBE WELLS SUBDIVISION**, zoned SU1 FOR IPC-2/R-2, located on EAGLE RANCH NE BETWEEN WESTSIDE NE AND COORS BYPASS BLVD NE containing approximately 2.29 acre(s). (B-13) *[EPC Planner – Carol Toffaleti]* **DEFERRED TO 11/21/07 AT THE AGENT'S REQUEST.**

12. **Project# 1002776**
07DRB-70329 EPC/SDP FOR BUILDING
PERMIT
07DRB-70330 EPC/SDP FOR
SUBDIVISION

JUNO ARCHITECTS agent(s) for KLD ENTERPRISES LLC request(s) the above action(s) for all or a portion of Tract(s) Y-2A-1, **TAYLOR RANCH STORAGE**, zoned C-2 (SC), located on TAYLOR RANCH DR NW BETWEEN HOMESTEAD CIR NW AND SOONER TR NW containing approximately 10.12 acre(s). (D-11) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES AND TO TRANSPORTATION FOR THE FOLLOWING COMMENTS: ALL RADII MUST BE CALLED OUT. WHEELCHAIR RAMPS MUST BE SHOWN. ALL SIDEWALK WORK MUST BE CALLED OUT. LOCATION OF INTERNAL WHEELCHAIR RAMPS MUST BE CALLED OUT. WIDTH OF ALL ENTRANCES MUST BE DEFINED. DISTANCE FROM BACK OF CURB TO PROPERTY LINE MUST BE DEFINED ALONG HOMESTEAD CIRCLE. BUILD-NOTES WITH ALL OF THE WORK WITHIN CITY RIGHT-OF-WAY REFERRING TO THE APPROPRIATE CITY STANDARDS MUST BE PROVIDED. INDICATION OF EXISTENCE AND WIDTH OF DRIVE PADS. LENGTH AND WIDTH OF PARKING SPACES MUST BE INDICATED.**

13. **Project# 1006922**
07DRB-70351 MINOR - SDP FOR
BUILDING PERMIT

CLARK CONSULTING ENGINEERS agent(s) for JOHN SCHIFFER request(s) the above action(s) for all or a portion of Lot(s) 27-29, Block 9, Unit B, **NORTH ALBUQUERQUE ACRES Tract A**, zoned SU2-M1, located on EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND PAN AMERICAN FREEWAY NE containing approximately 2.67 acre(s). (C-18) *[Deferred from 11/7/07]* **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES AND FOR CITY ENVIRONMENTAL HEALTH DEPARTMENT'S SIGNATURE.**

07DRB-70347 M(C)DR - PRELIMINARY/
FINAL PLAT APPROVAL

TERRAMETRICS OF NEW MEXICO agent(s) for JOHN SCHIFFER request(s) the above action(s) for all or a portion of Lot(s) 27-29, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES (to be known as Lot 27-A) Unit B**, zoned SU-1, M-1, located on EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND I-25 NE containing approximately 2.67 acre(s). (C-18) *[Deferred from 11/7/07]* **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF, CITY ENVIRONMENTAL HEALTH DEPARTMENT SIGNATURE, AND TO RECORD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

14. **Project# 1004851**
07DRB-70367 EXT OF MAJOR
PRELIMINARY PLAT
- HIGH MESA CONSULTING GROUP agent(s) for THE SAWMILL DEVELOPMENT CO, LLC request(s) the above action(s) for all or a portion of Tract(s) 2 & A-3, **TRACT 2, LANDS OF MCLAIN AND TRACT A-3 LANDS OF WILLIAM ANDREW MCCORD**, zoned S-M1, located on 2000 ZEARING AVENUE NW BETWEEN RIO GRANDE NW AND 19TH ST NW containing approximately 2.57 acre(s). (H-13) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**
15. **Project# 1006768**
07DRB-70371 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- DOUG SMITH SURVEYING agent(s) for MICHAEL H MUGEL request(s) the above action(s) for all or a portion of Tract(s) 29 A-1, **HEIGHTS RESERVOIR ADDITION**, zoned C-2, located on LOMAS BLVD NE BETWEEN SAN MATEO NE AND MONZANO ST NE containing approximately 3.98 acre(s). (K-17) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF, TO RECORD PLAT, TO PROVIDE 10FT FROM FACE OF CURB ALONG SAN MATEO BLVD AND MANZANO STREET AND TO ABCWUA TO SHOW INDICATION OF CORRECT ADDRESS, WHERE THE BUILDING IS CONNECTED TO CITY WATER AND WHETHER AN EASEMENT IS NEEDED.**
16. **Project# 1006931**
07DRB-70368 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for JOSEPH LOVATO request(s) the above action(s) for all or a portion of Lot(s) 42 & 43, **REGINA ADDITION**, zoned R-1, located on BLUEWATER RD NW BETWEEN 49TH ST NW AND RINCON RD NW containing approximately 0.71 acre(s). (J-11) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND TO TRANSPORTATION FOR 20 FT RADIUS AT RIGHT-OF-WAY DEDICATION.**
17. **Project# 1006935**
07DRB-70372 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for BLAIRE MARTIN & BERNICE MARTIN request(s) the above action(s) for all or a portion of Lot(s) 52-A, **CAVALIER ADDITION**, zoned R-3, located on PENNSYLVANIA NE BETWEEN COPPER AVE NE AND CHICO RD NE containing approximately 0.2187 acre(s). (K-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

18. **Project# 1006932**
07DRB-70369 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for CIBOLA ENERGY CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 19, 20M AND PORTION OF LOT 21, Block(s) 17, Tract(s) 345, 346 - A, **PEREA ADDITION**, zoned SU2, located on WEST CENTRAL AVE NW BETWEEN 14TH NW AND 15TH NW containing approximately 0.99 acre(s). (J-13) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF, CHANGE ZONING TO SU2-CC, AND TO RECORD AND TO TRANSPORTATION FOR 10 FT FACE OF CURB TO PROPERTY LINE DEDICATION, 6 FT OF RIGHT-OF-WAY FOR BIKE LANE AND RECORDING INFORMATION ON DRIVE PAD ALONG CENTRAL.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

19. **Project# 1006926**
07DRB-70352 SKETCH PLAT REVIEW
AND COMMENT

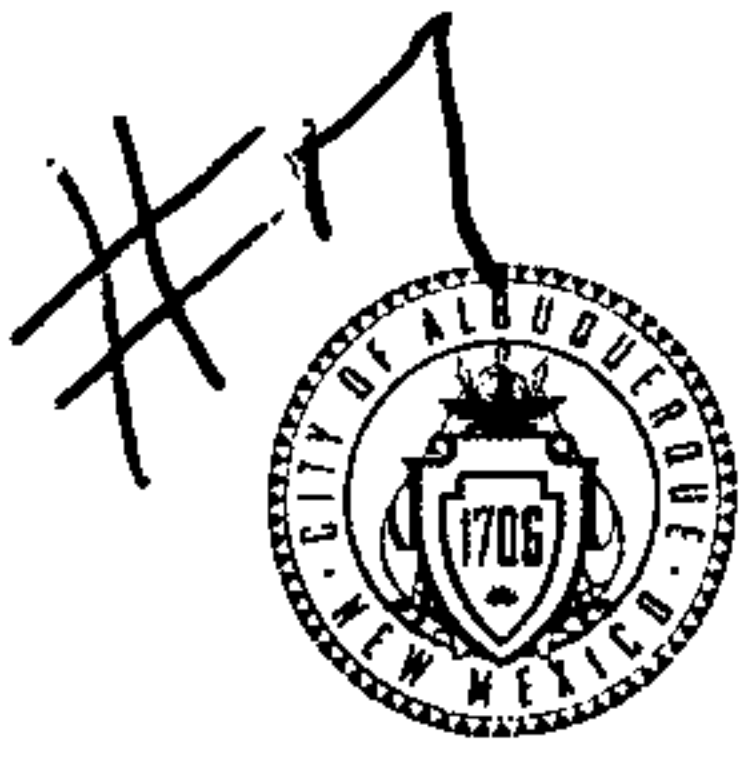
ART MARSHALL agent(s) for MERCEDES R. MARSHALL request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block 3, **SUNSHINE ADDITION**, zoned SU2, located on EDITH BLVD SE BETWEEN SMITH SE AND ANDERSON SE containing approximately 0.33 acre(s). (L-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN.**

20. **Project# 1006927**
07DRB-70353 SKETCH PLAT REVIEW
AND COMMENT

PLAZA SURVEYS LLC agent(s) for CHRISTINA ALVERAZ request(s) the above action(s) for all or a portion of Lot 24, Block 4, **ESPERANZA ADDITION**, zoned C-1, located on KATHRYN SE BETWEEN SAN MATEO SE AND ORTIZ SE containing approximately 0.16 acre(s). (L-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS GIVEN**

21. The Development Review Board Minutes for October 3, 2007 were approved.

ADJOURNED: 11:20



DRB CASE ACTION LOG (SITE PLAN FOR BUILDING PERMIT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00560 (SBP)

Project # 1004772

Project Name: NORTH ALBUQUERQUE ACRES, UNIT B

Agent: George Rainhart Architects & Assoc.

Phone No.: 884-9110

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/23/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: recording of CCR's dc et

UTILITIES: _____

CITY ENGINEER / AMAFCA: SIA
 3 Copies

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Project Number 1004772

#6a

Complete dg
2/15/08



DRB CASE ACTION LOG (SITE PLAN - SUBD)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **07DRB-70375** Project # **1004772**
Project Name: **NORTH ALBUQUERQUE ACRES UNIT B**
Agent: **GEORGE RAINHART ACRCHITECTS** Phone No.:

Your request was approved on 11/14/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Scapies

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:

#66b

Complete AG
2/15/08



DRB CASE ACTION LOG (SITE PLAN - BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **07DRB-70376**

Project # **1004772**

Project Name: **NORTH ALBUQUERQUE ACRES UNIT B**

Agent: **GEORGE RAINHART ARCHITECTS**

Phone No.:

Your request was approved on 11/14/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: draft comment - verify structure shown on plan is not an unused driveway; add bumpers to spaces surrounding light poles; cross lot access esmt Tracts A & B and lots 13 and 20; existing SW along Holly? if not, must build w/ project; width of internal SW along obstacles; proposed heavy vehicle path? provide exhibit

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:

Current DRC
Project Number: _____

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: November 6, 2007

Date Site Plan Approved: MA

Date Preliminary Plat Approved: 11/14/07

Date Preliminary Plat Expires: 11/14/08

DRB Project No.: 1004772

DRB Application No.: 07 DRB-70370

HOLLY PLACE

PROPOSED NAME OF SITE DEVELOPMENT PLAN

LOTS 14, 15, 18 & 19, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		8"	Waterline	20' Onsite Waterline Easement	Holly Ave.	Lot 18	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
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							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 All sidewalks to be constructed under building permit.

11-14-07
JA

2 ~~Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.~~

3 All water to include fire hydrants, valves, and appurtenances per DPM.

AGENT / OWNER

Genevieve L. Donart
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Genevieve L. Donart
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DMatson 11/14/07
DRB CHAIR - date

W.D. 11/14/07
TRANSPORTATION DEVELOPMENT - date

Robert Dean 11/14/07
UTILITY DEVELOPMENT - date

Bradley Z. Bihl 11/14/07
CITY ENGINEER - date

Christina Sandoval 11/14/07
PARKS & GENERAL RECREATION - date

AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Current DRC
Project Number: _____

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 9-20-05)

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DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

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DRB Application No.: 07 DRB-70370

HOLLY PLACE

PROPOSED NAME OF SITE DEVELOPMENT PLAN

**LOTS 14, 15, 18 & 19, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

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		8"	Waterline	20' Onsite Waterline	Holly Ave.	Lot 18	/	/	/
			Easement				/	/	/
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							/	/	/

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							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 All sidewalks to be constructed under building permit.
- 2 ~~Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.~~
- 3 All water to include fire hydrants, valves, and appurtenances per DPM.

11-14-07
JA

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
<u>Genevieve L. Donart</u> NAME (print)	<u><i>M. Mason</i></u> 11/14/07 DRB CHAIR - date	<u><i>Christina Sandoval</i></u> 11/14/07 PARKS & GENERAL RECREATION - date	
<u>Isaacson & Arfman, P.A.</u> FIRM	<u><i>KL25</i></u> 11/14/07 TRANSPORTATION DEVELOPMENT - date		AMAFCA - date
<u><i>Genevieve L. Donart</i></u> SIGNATURE - date	<u><i>Kevin Dean</i></u> 11/14/07 UTILITY DEVELOPMENT - date		- date
	<u><i>Bradley Z. Bih</i></u> 11/14/07 CITY ENGINEER - date		- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



DRB CASE ACTION LOG (SITE PLAN - SUBD)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70375 Project # 1004772
 Project Name: NORTH ALBUQUERQUE ACRES UNIT B
 Agent: GEORGE RAINHART ACRCHITECTS Phone No.: _____

Your request was approved on 11/14/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____

- UTILITIES: _____

- CITY ENGINEER / AMAFCA: _____

- PARKS / CIP: _____

- PLANNING (Last to sign): Scapies

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:

#6a

#606



DRB CASE ACTION LOG (SITE PLAN - BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70376 Project # 1004772
 Project Name: NORTH ALBUQUERQUE ACRES UNIT B
 Agent: GEORGE RAINHART ARCHITECTS Phone No.: _____

Your request was approved on 11/14/07 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: draft comment - verify structure shown on plan is not an unused driveway; add bumpers to spaces surrounding light poles; cross lot access esent Tracts A & B and lots 13 and 20; existing SW along Holly? if not, must build w/ project; width of internal SW along obstacles; proposed heavy vehicle path? provide exhibit

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Scarpis

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 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:

**CITY OF ALBUQUERQUE
Planning Department
November 14, 2007
DRB Comments**

ITEM# 6

PROJECT # 1004772 APPLICATION # 07-70375 & 70376

RE: Holly Place/sps/spbp/p&f plat

What are the retail uses planned for this site? They are limited by the zoning. The specific uses must appear on both site plans. Only these uses will be allowed without an administrative amendment at a minimum.

PLAT

1. The zoning is SU2-M1. Surveyor was called on 11-08.
2. Planning will record the plat.

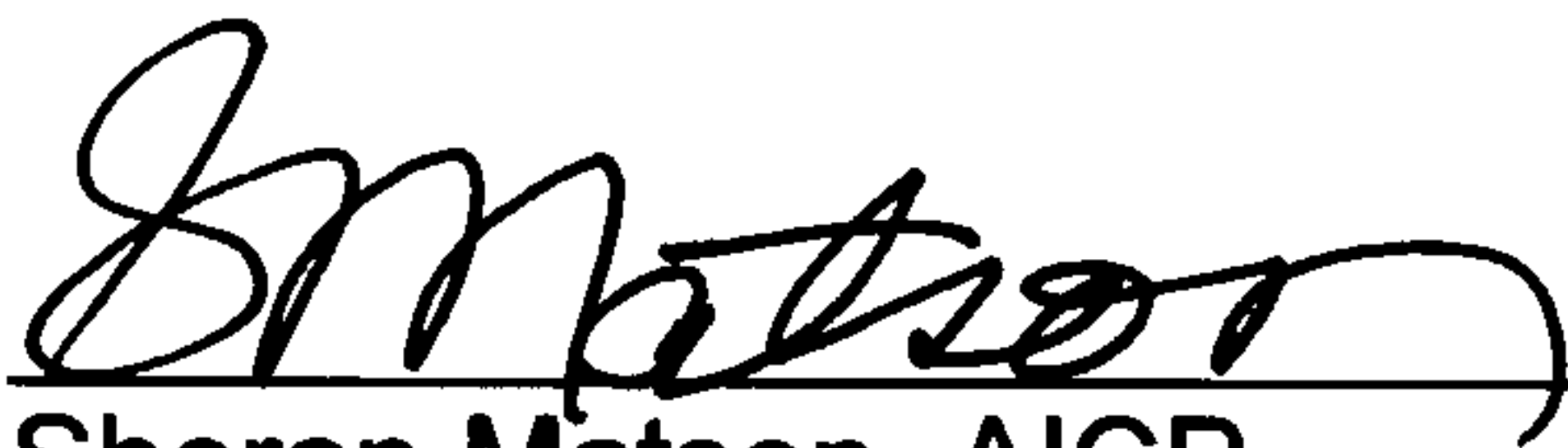
SITE PLAN FOR SUBDIVISION & BUILDING PERMIT

- ✓ 1. The plat & SPS appear to match.
- ✓ 2. The signature block for this plan & the SPBP need a corrected title for the DRB ABCWUA Engineer. "Water Utilities Dept." is no longer correct.
- ✓ 3. The project property needs to be identified on the vicinity maps for each site plan.
- ✓ 4. The pedestrian links to all uses are not continuous.

Page 2

- ✓ 5. SPS: Not all the Checklist requirements are met. Perhaps because there is not a signed SPS Checklist in Planning's packet.
- ✓ 6. The existing & proposed easements are required to be shown on the site plan sheets.
- ✓ 7. "Shops" is not a recognized proposed use.

Please submit a revised set of site plans to Planning by Tuesday at noon for time to review before DRB. We're closed on Monday.



Sheran Matson, AICP
DRB Chair
924-3880/smatson@cabq.gov

HOLLY

Item# 6
Project# 1004772
Hearing Date: Nov. 14, 2007

15

14

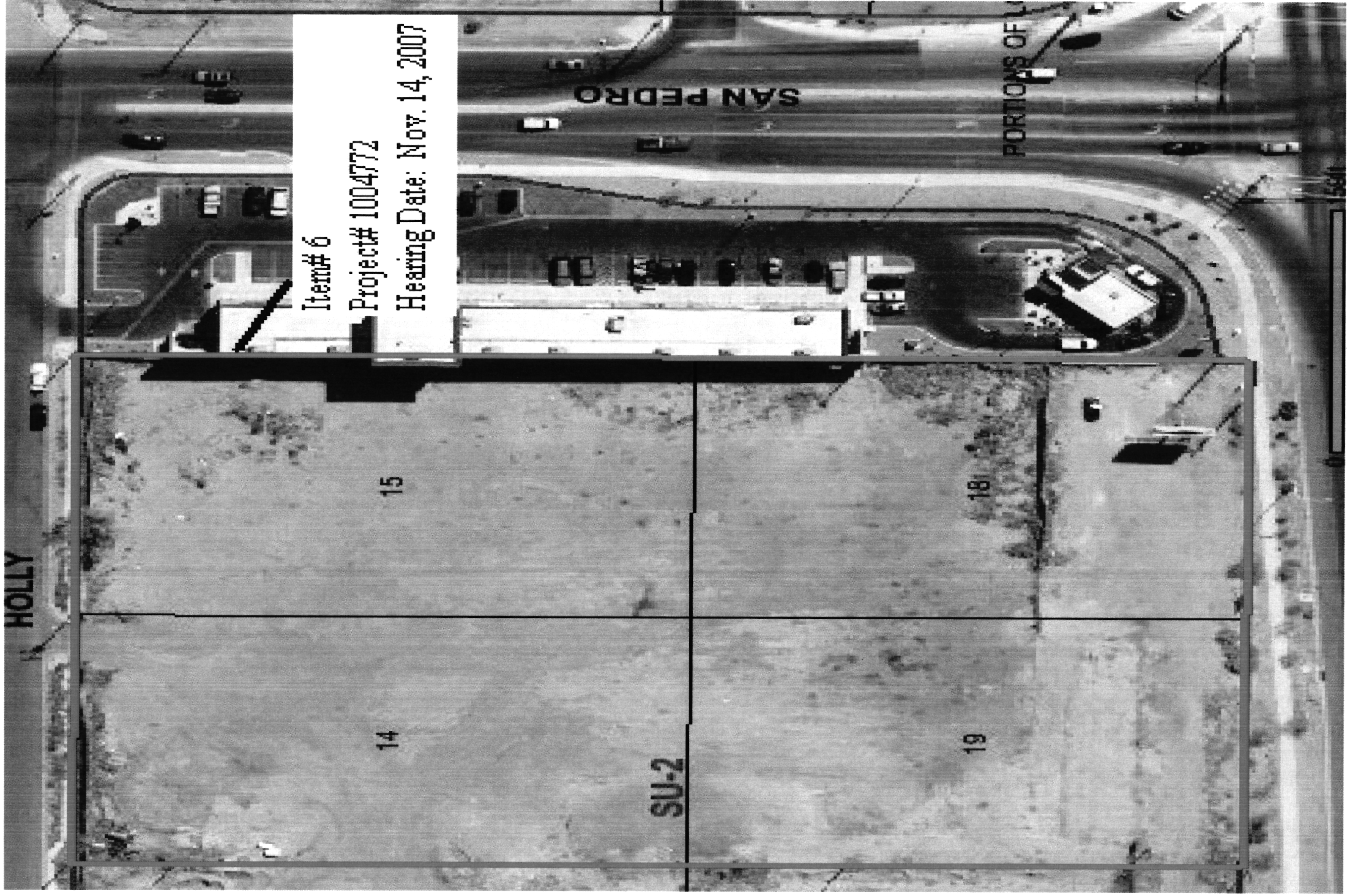
SU-2

18

19

SAN PEDRO

PORTIONS OF



TRANSMISSION VERIFICATION REPORT

TIME : 11/08/2007 13:39
NAME :
FAX : 9243864
TEL : 5059243979
SER.# : BROL6J570919

DATE, TIME	11/08 13:38
FAX NO./NAME	98379877
DURATION	00:00:35
PAGE(S)	03
RESULT	OK
MODE	STANDARD ECM

**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO Stephen Dunbar

FAX NUMBER 837-9377 # PAGES ~~2~~ 3

SENT BY: Sheran Matson, DRB Chair PHONE : 924-3880

FAX # 924-3864 PROJECT: 1004TR

**CITY OF ALBUQUERQUE
Planning Department
November 14, 2007
DRB Comments**

ITEM# 6

PROJECT # 1004772 APPLICATION # 07-70375 & 70376

RE: Holly Place/sps/spbp/p&f plat

What are the retail uses planned for this site? They are limited by the zoning. The specific uses must appear on both site plans. Only these uses will be allowed without an administrative amendment at a minimum.

PLAT

1. The zoning is SU2-M1. Surveyor was called on 11-08.
2. Planning will record the plat.

SITE PLAN FOR SUBDIVISION & BUILDING PERMIT

1. The plat & SPS appear to match.
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3. The project property needs to be identified on the vicinity maps for each site plan.
4. The pedestrian links to all uses are not continuous.

Page 2

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7. "Shops" is not a recognized proposed use.

Please submit a revised set of site plans to Planning by Tuesday at noon for time to review before DRB. We're closed on Monday.



Sheran Matson, AICP
DRB Chair
924-3880/smatson@cabq.gov



DRB CASE ACTION LOG (SITE PLAN FOR BUILDING PERMIT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00560 (SBP)	Project # 1004772
Project Name: NORTH ALBUQUERQUE ACRES, UNIT B	
Agent: George Rainhart Architects & Assoc.	Phone No.: 884-9110

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/23/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: recording of CCR's

UTILITIES: _____

CITY ENGINEER / AMAFCA: SIA

3 copies

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
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- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1004772



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 23, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned 11:30 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004272**
 07DRB-00547 Major-Preliminary Plat Approval
 07DRB-00548 Major-Vacation of Public Easements
 07DRB-00549 Minor-Sidewalk Waiver
 07DRB-00550 Minor-Temp Defer SDWK
 ISAACSON & ARFMAN PA agent(s) for CURB, INC request(s) the above action(s) for all or any portion of Tract(s) 16-D-1, EL RANCHO GRANDE UNIT 16 (to be known as **EL RANCHO GRANDE, UNIT 17**) zoned R-D located on GIBSON BLVD SW between MESSINA DR SW and DELGADO DR SW containing approximately 3 acre(s). [REF: 05DRB01033, 05DRB01038, 05DRB01039, 05DRB01084, 05DRB01447] (N-8) **WITH THE ISSUANCE OF THE CERTIFICATE OF COMPLETION FOR THE INFRASTRUCTURE AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/15/06 THE PRELIMINARY PLAT WAS APPROVED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT**

B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

07DRB-00643 Minor-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CURB, INC request(s) the above action(s) for all or any portion of Tract(s) 16-D-1, EL RANCHO GRANDE UNIT 16 (to be known as EL RANCHO GRANDE, UNIT 17) zoned R-D located on GIBSON BLVD SW between MESSINA DR SW and DELGADO DR SW containing approximately 3 acre(s). [REF: 05DRB01033, 05DRB01038, 05DRB01039, 05DRB01084, 05DRB01447] (N-8) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE PAYMENT AND PLANNING FOR SUBDIVISION DESIGN VARIANCE, 15-DAY APPEAL PERIOD AND TO RECORD.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

2. **Project # 1000762**
07DRB-00597 Minor-SiteDev Plan
BldPermit/EPC

GOLDEN ASSOCIATES LLC agent(s) for FIRST BAPTIST CHURCH request(s) the above action(s) for all or any portion of Tract(s) B, RICHLAND HILLS, UNIT 1, **FIRST BAPTIST CHURCH**, zoned SU-1 FOR IP uses with exceptions, located on PASEO DEL NORTE NW between RICHLAND HILLS RD NW and EAGLE RANCH RD NW containing approximately 6 acre(s). [REF: 06EPC01711] **[Stephanie Shumsky, EPC Case Planner] [Deferred from 5/23/07] (C-12) DEFERRED AT THE AGENT'S REQUEST TO 5/30/07.**

3. **Project # 1005242**
07DRB-00601 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for COMPASS BANK request(s) the above action(s) for all or any portion of Tract(s) A-1-E, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned SU-1 for C-1, located on SAGE RD SW between SNOW VISTA BLVD SW and REBA AVE SW containing approximately 1 acre(s). [REF: 05DRB-01293, 05EPC-00364 THRU 00367, 05DRB-01716, 06EPC-01588] **[Stephanie Shumsky, EPC Case Planner] (M-9) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/23/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR NOTE 17, SMALL CAR SPACES, MOTORCYCLE SPACES AND SIDEWALK EASEMENTS AND CITY ENGINEER FOR SIA, STEPHANIE SHUMSKY'S INITIALS AND 3 COPIES OF THE SITE PLAN.**

4. **Project # 1005390**
07DRB-00648 Minor-SiteDev Plan
BldPermit

TIMOTHY OTT request(s) the above action(s) for all or any portion of Lot(s) 9, 10 & 12, **NZ COMMERCIAL, THE RANDOLPH BUILDING**, zoned IP, located on RANDOLPH RD SE between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). [REF: 07DRB-00648] *[Deferred from 5/23/07]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 5/30/07.**

07DRB-00206 Minor-Final Plat Approval

BORDENAVE DESIGNS agent(s) for TIMOTHY OTT request(s) the above action(s) for all or a portion of Lot(s) 9, 10 & 12, **NZ COMMERCIAL THE RANDOLPH BUILDING** zoned IP industrial park zone, located on RANDOLPH RD SE between YALE BLVD SE and UNIVERSITY BLVD SE containing approximately 4 acre(s). *[Deferred from 2/28/07 & Indef deferred 3/7/07]* *[Deferred from 5/23/07]* (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 5/30/07.**

~~5. Project # 1004772~~

07DRB-00560 Minor-SiteDev Plan
BldPermit

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for HOLLY-SP LLC request(s) the above action(s) for all or any portion of Lot(s) 18, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone M-1 located on PASEO DEL NORTE NE between SAN PEDRO NE and I-25 containing approximately 1 acre(s). [*Deferred from 05/09/07 & 05/16/07*] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/23/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDING OF CCR'S AND CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN.**

6. **Project # 1003993**

07DRB-00591 Minor-SiteDev Plan
BldPermit/EPC

SUJAY THAKUR request(s) the above action(s) for all or any portion of Tract(s) A-37-1, **NE UNIT TOWN OF ATRISCO GRANT**, zoned SU-1 O-1 located on COORS BLVD NW between ST JOSEPHS NW and SEQUOIA NW containing approximately 4 acre(s). [REF: 07EPC-00113, 07EPC-00112, 06DRB01003, 06DRB01005] [**Maggie Gould, EPC Case Planner**] [*Indef deferred on 5/16/07*] [*Deferred from 5/23/07*] (G-11) **DEFERRED AT AGENT'S REQUEST TO 6/6/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1003102**

07DRB-00620 Minor-Extension of
Preliminary Plat

ISAACSON & ARFMAN PA agent(s) for LOS CANDELARIAS PARTNERS LLC request(s) the above action(s) for all or any portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **SOFT LOFTS**), zoned SU-1 PRD & office, located on JUAN TABO BLVD NE between LAGRIMA DE ORO RD NE and MONTGOMERY BLVD NE containing approximately 2 acre(s). [REF: 06EPC-00146, 06EPC-00147, 06DRB-00832, 06DRB-00837, 06DRB-00838, 06DRB-01054] (F-21) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

8. **Project # 1002739**
07DRB-00630 Major-Final Plat Approval
- MARK GOODWIN & ASSOCIATES agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or any portion of Parcel(s) 7-A & 8-A-1, **ANDERSON HEIGHTS, UNITS 7 & 8**, zoned R-LT, located on DENNIS CHAVEZ BLVD SW between 98th ST SW and 118th ST SW containing approximately 22 acre(s). (N-8/P-8) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR STORM DRAIN EASEMENT EXTENSION TO DENNIS CHAVEZ BLVD SW, CROSS-LOT DRAINAGE EASEMENT, POSSIBLE JOINT ACCESS EASEMENTS ON DUPLEX LOTS AND PLANNING TO RECORD.**
9. **Project # 1005417**
07DRB-00575 Minor-Prelim&Final Plat Approval
- KEVIN SMITH request(s) the above action(s) for all or any portion of Lot(s) 9A & 9B, Block(s) G, **PACIFIC ADDITION**, zoned SU-2 RG located on 3rd ST SW between STOVER SW and HAZELDINE SW containing approximately 1 acre(s). [REF: 07DRB00280] (K-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR GREEN TAGS FOR RELOCATION AND PLANNING TO RECORD.**
10. **Project # 1005584**
07DRB-00642 Minor-Prelim&Final Plat Approval
- SURVEYS SOUTHWEST LTD agent(s) for IZZY GALLEGOS, J.A.B. REINVEST LLC, request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 17, together with a portion of vacated alley, **ALBRIGHT-MOORE ADDITION**, zoned S-R located on BELLAMAN AVE NW between LOS TOMASES DR NW and ASPEN AVE NW containing approximately 1 acre(s). (J-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1003928**
07DRB-00068 Minor-Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JIM MOCHO request(s) the above action(s) for LOT 16D, **TOHATCHI ADDITION & LOT 12, BLOCK C, J M MOORE REALTY COMPANY'S 3RD ADDITION**, zoned R-1 residential zone, located on MOUNTAIN RD NW, between RIO GRANDE BLVD NW and PUEBLO BONITO NW containing approximately 1 acre(s). [REF: 06DRB01203] *[Deferred from 1/31/07 & Indef deferred on 2/14/07 & 4/04/07]* (J-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT AND RECORD THE HOME OWNER'S ASSOCIATION ANNEXAION AGREEMENT.**

12. **Project # 1005458**
07DRB-00379 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for DAN MUNIZA request(s) the above action(s) for all or any portion of Tract(s) Q, **TOWN OF ATRISCO GRANT, NORTHERN UNIT**, zoned C-1/P located on COORS RD NW between REDLANDS RD NW and ATRISCO DR NW containing approximately 4 acre(s). *[Indef deferred from 4/4/07]* (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/23/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project # 1005585**
07DRB-00647 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for M. D. LOHMAN request(s) the above action(s) for all or any portion of Tract(s) A-1 & A-2, Block(s) 15, **DEL NORTE SUBDIVISION**, zoned C-2 located on LOMAS BLVD NE between CHAMA ST NE and GROVE ST NE containing approximately 2 acre(s). (K-19) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

14. **Project # 1005401**
07DRB-00593 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT MIERA request(s) the above action(s) for all or any portion of Lot(s) 17-20, Block(s) K, **NEW KIMO ADDITION**, zoned O-1, located on SAN PEDRO DR NE between TAYLOR AVE NE and CUTLER AVE NE containing approximately 1 acre(s). [REF: 07DRB-00233] *[Deferred from 5/16/07]* (H-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

15. **Project # 1005250**
06DRB-01613 Minor-Final Plat Approval

JOSE RODRIGUEZ request(s) the above action(s) for all or a portion of Lot(s) A, B & C, Block T-1, **CARLOS REY SUBDIVISION**, zoned R-2 residential zone, located on CHURCHILL RD SW, between COORS BLVD SW and BATAAN DR SW containing approximately 1 acre(s). *[Deferred from 11/15/06 & 11/22/06 & 11/29/06 & 12/6/06]* *[Indef deferred from 12/13/06]* (K-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR P-1 LOT DESIGNATIONS ON THE PLAN AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1005547**
07DRB-00590 Minor-Sketch Plat or Plan

KEITH MEYER or JIM HAKEEM request(s) the above action(s) for Tract(s) 2-A plat of Tract A-1, UNIT 2, Tract(s) A-2 & C-2, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned IP, located on LOS VOLCANES RD NW between UNSER BLVD NW and SAUL BELL NW containing approximately 5 acre(s). (K-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

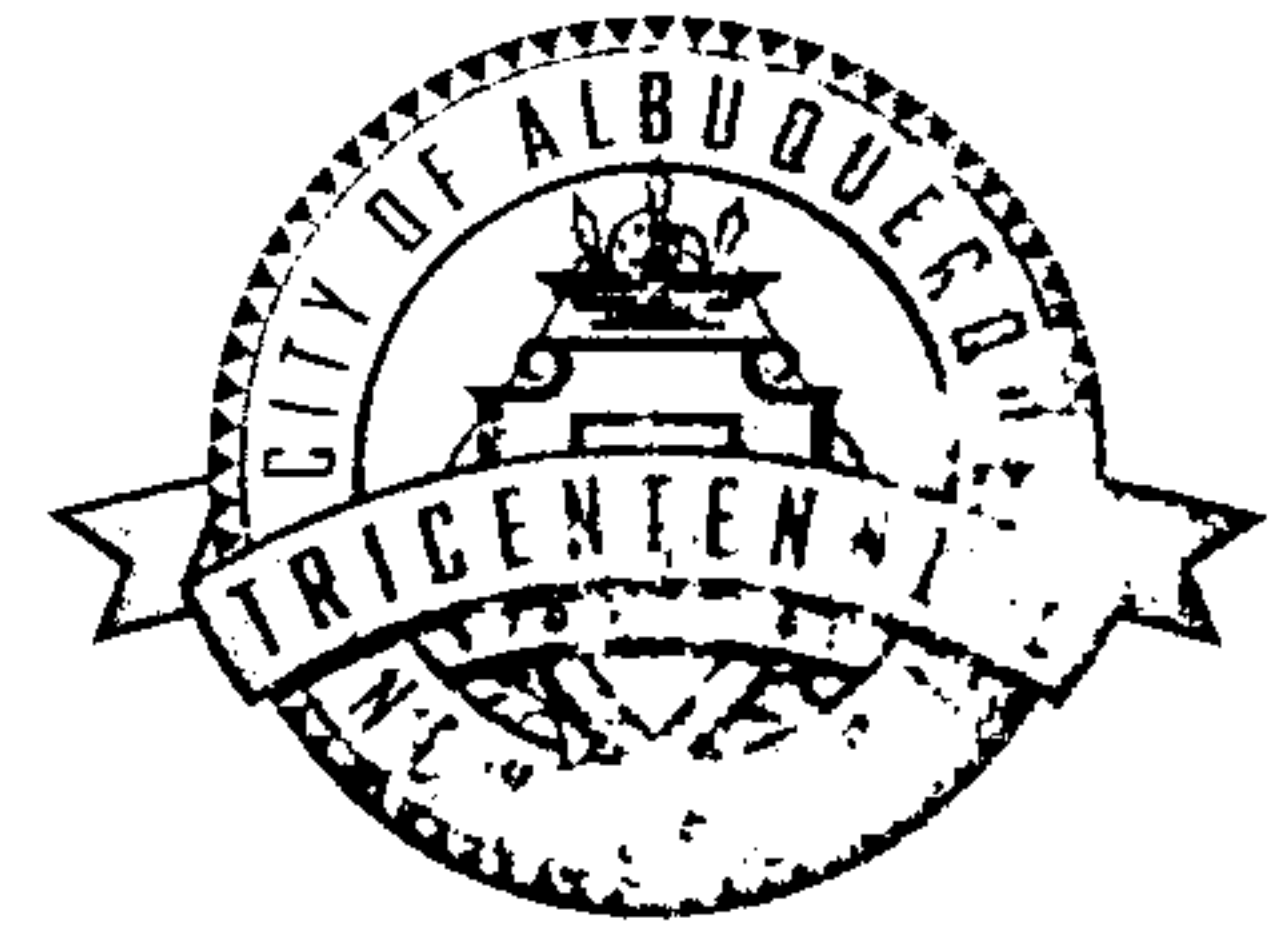
17. **Project # 1005586**
07DRB-00646 Minor-Sketch Plat or Plan

CARTESIAN SURVEYS INC agent(s) for DRAGONFLY DEVELOPMENT request(s) the above action(s) for all or any portion of Lot(s) 6-17 & 23-27, Tract(s) A, Block(s) 21, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 O-1, located on PALOMAS AVE NE between WYOMING NE and BARSTOW NE containing approximately 7 acre(s).
(D-19) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

18. Approval of the Development Review Board Minutes for May 16, 2007. **THE DRB MINUTES FOR MAY 16, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:30 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004772

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved SIA with Financial Guarantee(s) is required prior to site plan sign off by City Engineer.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

(C-18/D073)

DATE: MAY 23, 2007



**DEVELOPMENT REVIEW BOARD
ACTION SHEET
Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 9, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order:
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:40 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002591**
07DRB-00464 Major-One Year SIA

TIERRA WEST LLC agent(s) for KPS GROUP INC request(s) the above action(s) for all or any portion of Tract(s) C & G, **FOUR HILLS VILLAGE SHOPPING CENTER AND APARTMENT COMPLEX**, zoned SU-1 PDA FOR RES & COMM located on CENTRAL AVE SE between TRAMWAY BLVD SE and DORADO PLACE SE containing approximately 6 acre(s). [REF: 06DRB00249] (L-22) **A ONE YEAR SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1002642**
07DRB-00503 Major-Vacation of Public Easements

PRECISION SURVEYS INC agent(s) for AVALON TOWER LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A (to be known as **TRACTS B-1-A-2 & B-1-A-1, TOWER WEST SUBDIVISION**) zoned SU-1 for C-2 and R-1 Uses located on TOWER RD SW between 97TH ST SW and 98TH ST containing approximately 2 acre(s). (L-9) **THE VACATION(S) WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

07DRB-00556 Minor-Prelim&Final Plat Approval

PRECISION SURVEYS INC agent(s) for AVALON TOWER LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A (to be known as **TRACTS B-1-A-2 & B-1-A-1, TOWER WEST SUBDIVISION**) zoned SU-1 for C-2 and R-1 Uses located on TOWER RD SW between 97TH ST SW and 98TH ST containing approximately 2 acre(s). (L-9) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS SECTIONS AT 98TH ST AND TOWER RD, CROSS ACCESS EASEMENTS AND TO PLANNING FOR THE 15-DAY APPEAL PERIOD.**

3. **Project # 1004361**
07DRB-00493 Major-Vacation of Pub Right-of-Way

DON DUDLEY ARCHITECTS agent(s) for RIVER HORSE INVESTMENTS request(s) the above action(s) for Lot(s) 1-P-1 & 13-P-1, Block(s) 1, **TULANE TOWNHOUSES**, zoned R-3 located on TULANE NE between COMANCHE NE and CARLISLE NE containing approximately 1 acre(s). [REF: 05DRB01698] (G-16) **THE VACATION(S) WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1005354**
07DRB-00499 Major-Vacation of Public Easements
07DRB-00500 Minor-Vacation of Private Easements

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND TRUST request(s) the above action(s) for all or any portion of Lot(s) B-2-A, **DUKE CITY LUMBER COMPANY ADDITION**, zoned SU-2 SMI located on BELLAMAH AVE NW between 18TH ST NW and 19TH ST NW containing approximately 8 acre(s). [REF: 07EPC00107, 07EPC00109] (J-13/H-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE**

PLANNING FILE. THE VACATION OF PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 5. Project # 1005437**
07DRB-00559 Minor-SiteDev Plan
BldPermit

STUDIO SOUTHWEST ARCHITECTS agent(s) for MARBLE BREWERY INC request(s) the above action(s) for all or any portion of Lot(s) 9-12, Block(s) 5, (to be known as **MARBLE BREWERY**) zoned SU-2 C, located on the northwest corner of 1ST ST NW and MARBLE AVE NW and containing approximately 1 acre(s). *[Deferred from 05/09/07]* (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.**

- 6. Project # 1004997**
07DRB-00557 Minor-SiteDev Plan
BldPermit/EPC

MULLEN HELLER ARCHITECTURE agent(s) for 98TH TOWER JACK LLC request(s) the above action(s) for all or any portion of Lot(s) B-1-A, **TOWER WEST SUBDIVISION**, zoned SU-1 for C-1 and R-2 uses, located on TOWER RD SW between 98TH ST SW and 97TH ST SW containing approximately 2 acre(s). [REF: 06EPC00952, 06EPC00953, 07EPC00105] **[Catalina Lehner, EPC Case Planner]** (L-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR THE CITY STANDARD WORK DRAWING NUMBERS, A WIDER CROSS ACCESS SIMILAR TO THE PLAT AND PLANNING FOR CATALINA LEHNER'S INITIALS AND 3 COPIES OF THE PLAN.**

7. **Project # 1004772**
07DRB-00560 Minor-SiteDev Plan
BldPermit

GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for HOLLY-SP LLC request(s) the above action(s) for all or any portion of Lot(s) 18, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone M-1 located on PASEO DEL NORTE NE between SAN PEDRO NE and I-25 containing approximately 1 acre(s). *[Deferred from 05/09/07]* (C-18)
DEFERRED AT THE AGENT'S REQUEST TO 5/23/07.

8. **Project # 1000504**
07DRB-00378 Minor-SiteDev Plan
BldPermit

NCA ARCHITECTS agent(s) for JEFFERSON PLAZA LLC request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP, located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 6 acre(s). [REF: 07DRB-00364] *[Indef deferred from 4/4/07]* *[Deferred from 5/09/07]* (E-17)
DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.

07DRB-00364 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for CINCO BISCO LIMITED request(s) the above action(s) for all or any portion of Tract(s) B-1-A-1-B, **GROUP NINE INDUSTRIAL PARK**, zoned IP located on JEFFERSON PLAZA NE between OSUNA RD NE and SINGER BLVD NE containing approximately 9 acre(s). [REF: 00DRB-00608] *[Indef deferred from 4/4/07]* *[Deferred from 5/09/07]* (E-17)
DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.

9. **Project # 1004927**
06DRB-01632 Minor-SiteDev Plan
BldPermit/EPC

MULLEN HELLER ARCHITECTURE agent(s) for HARVARD MALL PARTNERS request(s) the above action(s) for all or a portion of Lot(s) 6-10 & 16-21, Block(s) 1, **UNIVERSITY HEIGHTS ADDITION**, zoned SU-1 for UC & R3C, located on HARVARD DR SE between CENTRAL AVE SE and SILVER AVE SE containing approximately 2 acre(s). [REF: 06EPC-00777] [**Stephanie Shumsky, EPC Planner**] [Def.11/22/06,1/24/07 & 2/7/07] (K-15 & K-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/09/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA, ADDITIONAL SANITARY SEWER EASEMENTS ALONG THE ALLEY (5-FEET) AND PLANNING FOR STEPHANIE SHUMSKY'S INITIALS AND 3 COPIES.**

07DRB-00555 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC. agent(s) for HARVARD MALL PARTNERS request(s) the above action(s) for all or any portion of Lot(s)16-21, Block(s) 1, **UNIVERSITY HEIGHTS ADDITION**, zoned SU-2 for UC & R3C, located on HARVARD DR SE between CENTRAL AVE SE and SILVER AVE SE containing approximately 1 acre(s). [REF: 06DRB01632] (K-15 & K-16) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ADDITIONAL WATER AND SEWER EASEMENT AND TO PLANNING FOR APS LANGUAGE, AGIS DXF FILE AND TO RECORD.**

10. **Project # 1002404**
07DRB-00535 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS agent(s) for WALGREEN CO. request(s) the above action(s) for all or any portion of Lot(s) 1C, LADERA INDUSTRIAL CENTER (to be known as **WALGREENS @ VISTA ORIENTE AND UNSER**) zoned SU-1 FOR IP USES located on UNSER BLVD NW between VISTA ORIENTE NW and AUSTIN AVE NW containing approximately 2 acre(s). [REF: 07EPC-00104] [**Carol Toffaleti, EPC Case Planner**] [Defered from 05/02/07 & 5/09/07] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1005349**
07DRB-00511 Minor-Prelim&Final Plat
Approval
- ROLANDO PEREZ request(s) the above action(s) for all or any portion of Lot(s) 9 & 10, Block(s) 8, **LOMA VERDE SUBDIVISION**, zoned R-2 located on SAN PABLO ST NE between DOMINGO NE and CHICO NE containing approximately 1 acre(s). [REF: 07DRB-00097] [*Indef deferred 4/25/07*] (K-19) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR OPENING NEW ACCOUNTS, TAPPING PERMITS AND SIDEWALK CONSTRUCTION AND TO PLANNING FOR AGIS DXF FILE, CROSS ACCESS EASEMENT AND TO RECORD.**
12. **Project # 1004617**
07DRB-00542 Minor-Prelim&Final Plat
Approval
- JACKS HIGH COUNTRY agent(s) for TONY & MYRA GUTIERREZ request(s) the above action(s) for all or any portion of Lot(s) 100, Block(s) A, **LA VICTORIA**, zoned C-2 located on BLUEWATER NW between YUCCA NW and 56TH ST NW containing approximately 2 acre(s). [REF: 06DRB00721] [*Final plat indef deferred form 5/09/07*] (J-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 5/09/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/17/07 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: PROOF THAT THE CONDITIONAL USE WAS REINSTATED FOR THE PROPERTY. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**
13. **Project # 1003128**
07DRB-00514 Minor-Prelim&Final Plat
Approval
- JOSH SKARSGARD agent(s) for BANDELIER EQUITIES LTD CO request(s) the above action(s) for all or any portion of Lot(s) 1 - 5, Block(s) 11, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned SU-2 for C-1 located on PASEO DEL NORTE NE between SAN PEDRO NE and PALOMAS NE containing approximately 3 acre(s). [*Indef deferred 4/25/07*](C-18) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING**

FOR AGIS DXF FILE, ZONING DESIGNATION ON THE PLAT AND TO RECORD.

14. **Project # 1000365**
07DRB-00073 Minor-Prelim&Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for TUAN VAN HUYNH request(s) the above action(s) for all or a portion of Lot(s) 2-4 and 19-21, Block(s) 1, UNITY ADDITION (to be known as **UNITY TOWNHOMES**) zoned SU-1/C-1, located on RHODE ISLAND ST SE, between CENTRAL AVE SE and ZUNI RD SE containing approximately 1 acre(s). [REF: ZA-95-296, ZA-97-2, ZA-97-4] [Deferred from 1/31/07 & 5/09/07] (K-19) **DEFERRED AT THE AGENT'S REQUEST TO 5/16/07.**

15. **Project # 1004228**
07DRB-00538 Major-Final Plat Approval

TERRAMETRICS OF NEW MEXICO agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for Tract(s) A, **GUTHRIE COMMERCE PARK**, zoned M-1 light manufacturing zone located on MONTANO RD NE between EDITH BLVD NE and PAN AMERICAN FREEWAY containing approximately 4 acre(s). [REF: 07DRB00199] [Defer from 05/02/07] (F-15). **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1005536**
07DRB-00553 Minor-Sketch Plat or Plan

ISAACSON & ARFMAN PA agent(s) for BCR CONSTRUCTION request(s) the above action(s) for all or any portion of Lot(s) 57-58-59, ROSSITER ADDITION (to be known as **BACA TOWNHOMES SUBDIVISION**) zoned R-2 located on 12TH ST NW between GRIEGOS RD NW and CANDELARIA BLVD NW containing approximately 2 acre(s). (G-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1005537**
07DRB-00554 Minor-Sketch Plat or Plan

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for the NE ¼, NW ¼, SEC 8, 11N 2E, (to be known as **VENTANA OESTE**) zoned A-1 located on DEL OESTE RD NW between CORN MOUNTAIN PLACE NW and COYOTE CANYON PLACE NW containing approximately 40 acre(s).(B-8) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1005538**
07DRB-00558 Minor-Sketch Plat or Plan

URS agent(s) for MESA DEL SOL LLC request(s) the above action(s) for Tract(s) 4-A-1 thru 4-A-4, **MESA DEL SOL**, zoned SU-2 Planned Community, located on UNIVERSITY BLVD SE between SOLAR MESA SE and MESA DEL SOL BLVD SE containing approximately 33 acre(s). [REF: 06DRB01612] (R-15/S-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1005539**
07DRB-00561 Minor-Sketch Plat or Plan

WILSON AND COMPANY agent(s) for MGMe DEVELOPMENT INC request(s) the above action(s) for all or any portion of Lot(s) 1, Block(s) 5, VOLCANO CLIFFS SUBDIVISION, UNIT 26 (to be known as **TIERRA BUENA ESTATES**) zoned SU-2 - SRLL located on ROSA PARKS RD NW between UNSER BLVD NW and CALLE NORTENA NW containing approximately 4 acre(s). (C-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1005540**
07DRB-00562 Minor-Sketch Plat or Plan

WILSON AND COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT INC request(s) the above action(s) for all or any portion of Tract(s) D, **LA CUENTISTA SUBDIVISION, UNIT 3**, zoned SU-2 – SRLL, located on KIMMICK DR NW between ROSA PARKS RD NW and PETROGLYPH NATIONAL MONUMENT containing approximately 20 acre(s). [REF: 1000922] (C-11/D-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. Approval of the Development Review Board Minutes for May 2, 2007. **THE DRB MINUTES FOR MAY 2, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:40 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004772

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for Building Permit

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved SIA with Financial Guarantee(s) is required prior to site plan approval.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

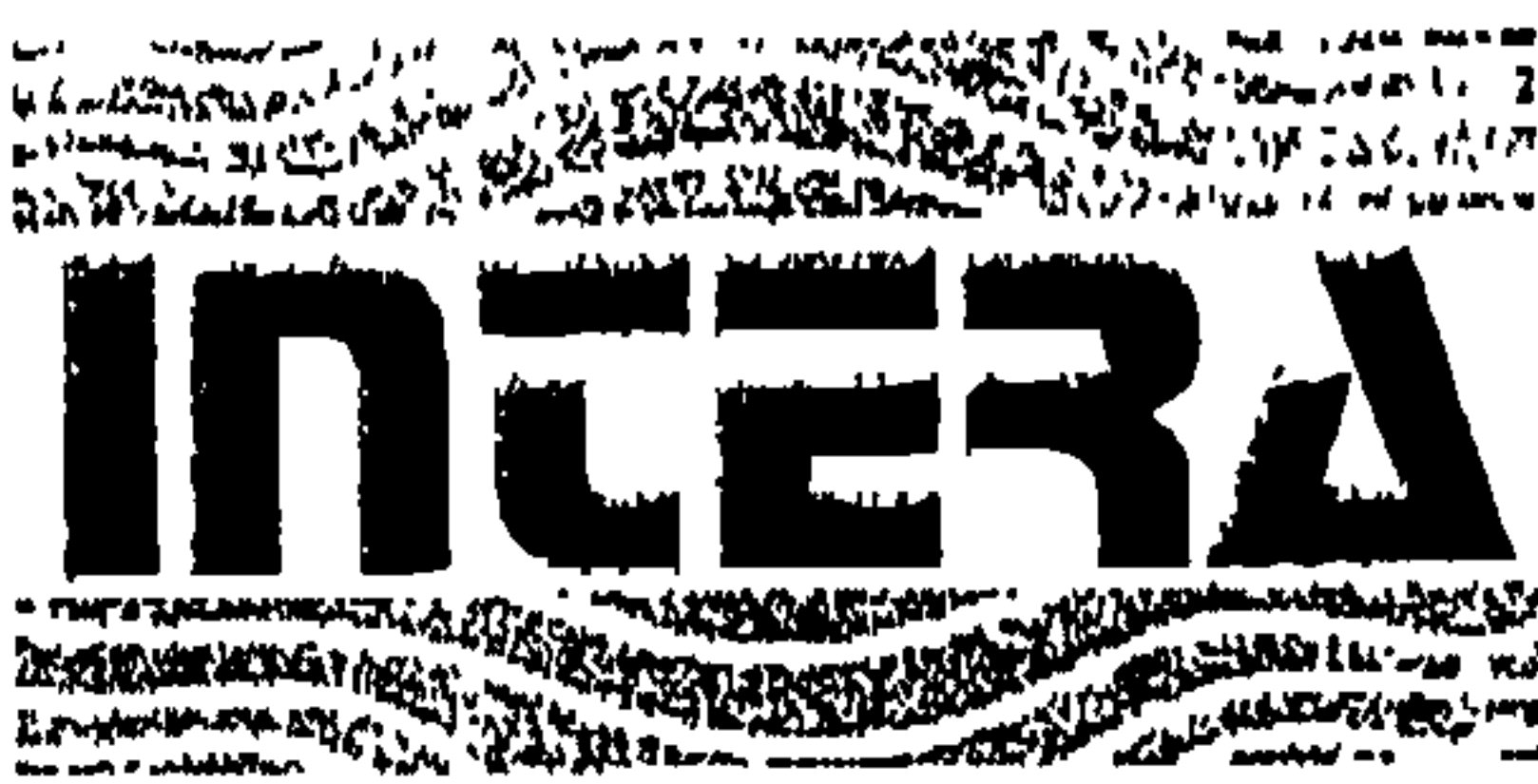
APPROVED ___; DENIED ___; DEFERRED ^{5/23/07} ; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MAY 9, 2007

(C-18/D073)



#7

INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: May 9, 2007

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
Isaccson & Arfman PA

FROM: Jim Joseph, P.E., INTERA Inc.

SUBJECT: Project No. 1004772-07DRB-00560, Lot 18, Tract A of the North Albuquerque Acres, Unit B, located on Pasco Del Norte NE between Paseo San Pedro Dr. NE and I-25.

The above-referenced project is within the former buffer zone of a former privately owned/operated landfill (Holly Avenue Landfill), and partially within the buffer zone of a former City owned/operated landfill (Sacramento Landfill). The Holly Landfill was removed during March 2005 and no longer provides a source for potential landfill gas impacts. Because the project activities will be performed at the outer edge of the 500-foot buffer zone of the Sacramento Landfill, the Albuquerque Environmental Health Department has exempted the project from following the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones." The project may proceed through the development process provided all other City requirements are met.

PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
3/29/06	No Albany Acres TRA BLK 18 LOTS 14-15-18+19 Pty 1004772	Sketch	Comments given

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1004773 & 1004772
18

Item No. 14 & 13

Zone Atlas C-

DATE ON AGENDA 3-29-06

INFRASTRUCTURE REQUIRED YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
() SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
() SITE PLAN FOR BUILDING PERMIT

No. Comment

- 1) Applicant will need to provide a cross-section of the existing road improvements in relation to the right-of-way in order to evaluate infrastructure requirements.
- 2) What is the condition of the sidewalk on Holly?
- 3) Is the "Future 14'" easement needed now?
- 4) Site needs to meet DPM requirements.
- 5) Sight distance onto Holly needs to be evaluated.
- 6) Is a TIS required?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



IMPACT FEES – # 1004772

Development Review Board 3/29/06

Agenda Item # 13

Sketch Plat: Lots 14 – 19, Block 18, Tract A,
North Albuquerque Acres Unit B

Impact Fees will be required at the time a building permit is issued. These fees will be adjusted according to the types of uses, the size of the buildings and the amount of impervious acreage.

Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006.

JACK CLOUD
IMPACT FEE ADMINISTRATOR



13

**CITY OF ALBUQUERQUE
Planning Department
March 29, 2006
DRB Comments**

ITEM # 13

PROJECT # 1004772 APPLICATION # 06-00376

RE: lots 14,15,18, & 19 Block 18, N.A.A Unit B/sketch

The site is located in the North I-25 Sector Development Plan.

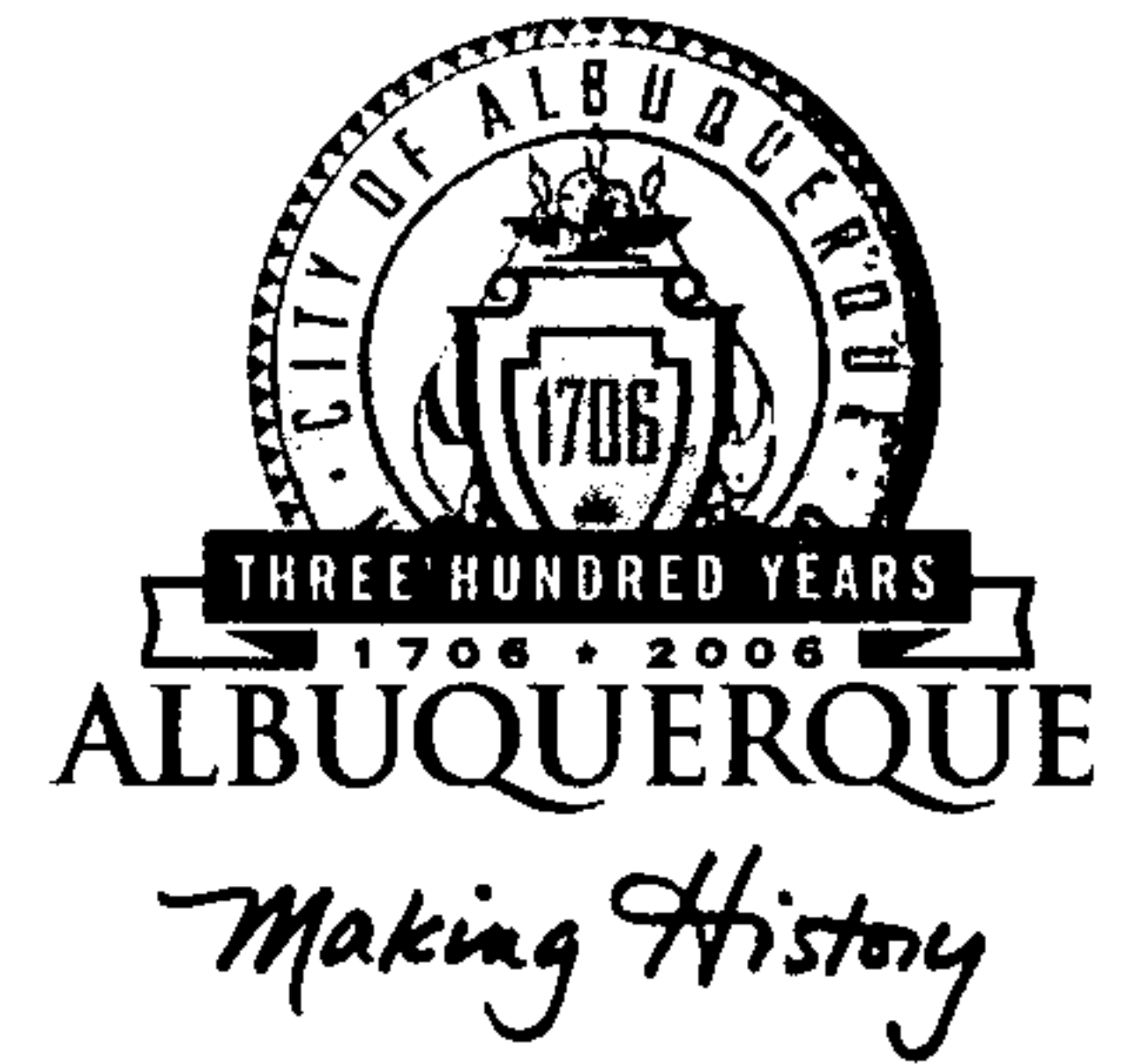
A site plan for subdivision and landscape plan incorporating the design standards contained in Section VI of the North I-25 Sector Development Plan are required.

Site is located within 1000 feet of a landfill area. Please contact the Albuquerque Environmental Health Department at 268-2600 to find out what steps, if any, are required to mitigate the site.



Andrew Garcia, Planning Alternate
924-3858 fax 924-3864 agarcia@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004772

AGENDA ITEM NO: 13

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An approved conceptual grading and drainage plan is required for Preliminary Plat approval in order to size the area needed to place the pond.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED *discussal* X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 29, 2006

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/27/2013 Issued By: BLDAVM 208691

Category Code **910**
2013 070 693

Application Number: 13DRB-70693, Major - Sdp For Building Permit

Address:

Location Description: HOLLY BETWEEN SAN PEDRO AND EAST OF I-25

Project Number: 1004772

Applicant

APPLE INVESTORS GROUP

917 RAVENWOOD WAY
CANTON GA 30115

Agent / Contact

ISAACSON & ARFMAN
GENEVIEVE DONART
128 MONROE ST NE
ALBUQUERQUE NM 87108
5052688828

Application Fees

APN Fee	\$75.00
Conflict Mgmt Fee	\$20.00
DRB Actions	\$385.00
TOTAL:	\$480.00

City of Albuquerque Treasury
Date: 9/27/2013 Office: ANNEX
Stat ID: W5000009 Cashier: TRSRMS
Batch: 2631 Trans #: 6
Permit: 2013070693
Receipt Num 00154406
Payment Total: \$480.00
0900 APN Fee \$75.00
0901 Conflict Mgmt. Fee \$20.00
0903 DRB Actions \$385.00
VISA Tendered: \$480.00

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1004772

AGENDA ITEM NO: 5

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Provide an exhibit showing the location of sidewalk and defining the distance from back of curb to the property line. Right of way dedication may be required.

Sheet CP-501 is referenced for all ramp and sidewalk details; this sheet was not provided in the review set.

A replat is referenced on the site plan; what is the timeline for this platting action?

Clearly show the location of all access easements and provide a copy.

Add the following note to the Landscaping Plan: “Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.”



Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: OCTOBER 30, 2013

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1004772

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for Building Permit

ENGINEERING COMMENTS:

It appears the required ponding can be accommodated with this site plan.

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 10-23-13

Complete
12/13

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1004772

Application #: 13DRB-70693

Project Name: NORTH ALBUQUERQUE ACRES

Agent: ISAACSON & ARFMAN PA

Phone #:

Your request was approved on 11-13-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): clarify E' ment, utility right of way

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

Add E' ment Notes B, C, D, and E

Agent has original blue sheet

DRB CASE ACTION LOG - BLUE SHEET

Not filled out @ meeting

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1004772

Application #: 13DRB-70693

Project Name: NORTH ALBUQUERQUE ACRES

Agent: ISAACSON & ARFMAN PA

Phone #:

****Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed****

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: (505) 268-8828
 ADDRESS: 128 Monroe Street NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: gennyd@iacivil.com

APPLICANT: Apple Investors Group PHONE: (770) 547-5920
 ADDRESS: 917 Ravenwood Way FAX: _____
 CITY: Canton STATE GA ZIP 30115 E-MAIL: michael.mcgough@appleig.com
 Proprietary interest in site: Developer List all owners: Paseo Place, LLC

DESCRIPTION OF REQUEST: Approval for Minor Subdivision Preliminary/Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 20, Tract A, North Albuquerque Acres Block: 18 Unit: B
 Subdiv/Addn/TBKA: & Tract B, Holly Place (tbka Tract B-1, Holly Place)
 Existing Zoning: SU-2 M-1 or SU-2 RC Proposed zoning: Same MRGCD Map No NA
 Zone Atlas page(s): C-18 UPC Code: 101806420501630208 - Lot 20
101806422301630209 - Tract B, Holly Place

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 13DRB-70693

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 1.5700

LOCATION OF PROPERTY BY STREETS: On or Near: Holly Ave. NE
 Between: San Pedro Dr. NE and East of I-25

Check if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Genevieve Donart DATE 11/4/13
 (Print Name) Genevieve Donart Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB - 70747</u>	<u>P3F</u>		<u>\$ 215.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>November 13, 2013</u>			Total <u>\$ 235.00</u>

[Signature] 11-5-13
 Staff signature & Date

Project # 1004772

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- NA** 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- NA** Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- NA** Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- NA** Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- NA** Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required. Forthcoming

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Genevieve Donart

Genevieve Donart Applicant name (print)
M/4/13 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
BDRB - 70747

[Signature] 11-5-13
 Planner signature / date
 Project # 1004772



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: (505) 268-8828

ADDRESS: 128 Monroe Street NE FAX: _____

CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: gennyd@iacivil.com

APPLICANT: Apple Investors Group PHONE: (770) 547-5920

ADDRESS: 917 Ravenwood Way FAX: _____

CITY: Canton STATE GA ZIP 30115 E-MAIL: michael.mcgough@appleig.com

Proprietary interest in site: Developer List all owners: Paseo Place, LLC

DESCRIPTION OF REQUEST: Approval for Minor Subdivision Preliminary/Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 20, Tract A, North Albuquerque Acres Block: 18 Unit: B

Subdiv/Addn/TBKA: & Tract B, Holly Place (tbka Tract B-1, Holly Place)

Existing Zoning: SU-2 M-1 or SU-2 RC Proposed zoning: Same MRGCD Map No NA

Zone Atlas page(s): C-18 UPC Code: 101806420501630208 - Lot 20
101806422301630209 - Tract B, Holly Place

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 13DRB-70693

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 1.5700

LOCATION OF PROPERTY BY STREETS: On or Near: Holly Ave. NE

Between: San Pedro Dr. NE and East of I-25

Check if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Genevieve Donart DATE 11/9/13

(Print Name) Genevieve Donart Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB - 70747</u>	<u>P3F</u>	_____	<u>\$ 215.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				<u>\$ 235.00</u>

Hearing date November 13, 2013

[Signature] 11-5-13
Staff signature & Date

Project # 1004772

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL REVIEW

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application


- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**
- NA 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - NA Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
 - NA Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - NA Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - NA Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required. Forthcoming

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

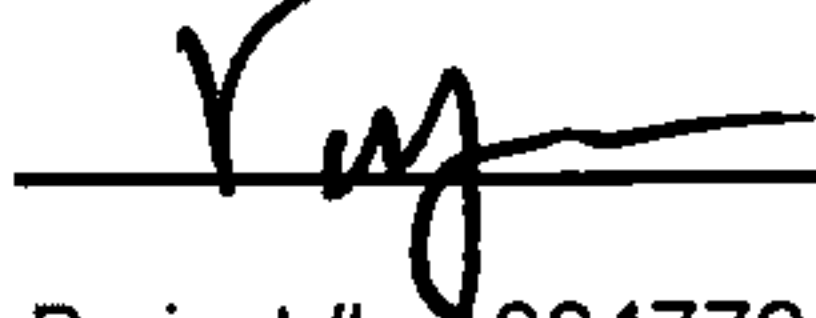
Genevieve Donart
 Applicant name (print)

 Applicant signature / date

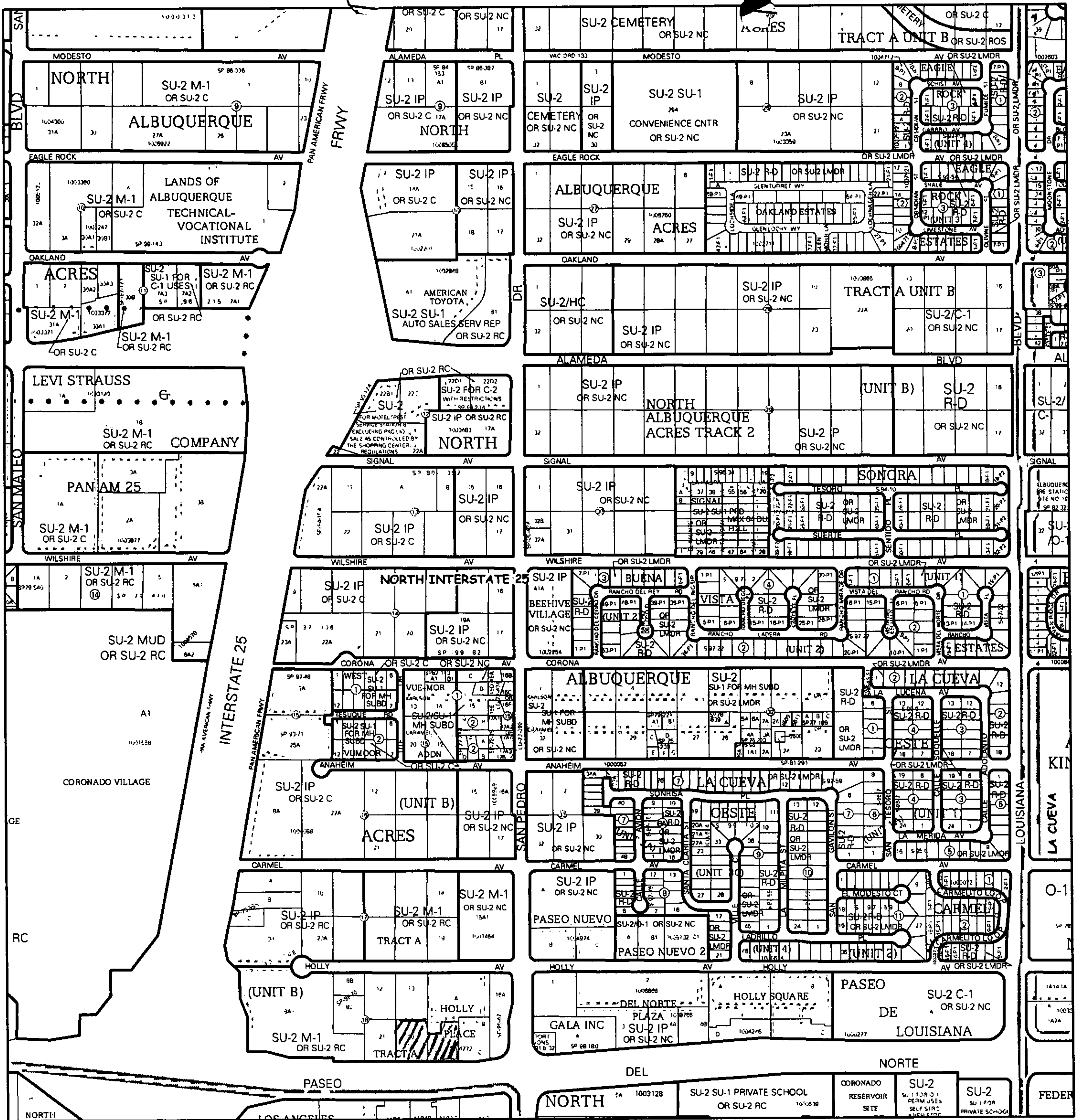


Form revised October 2007

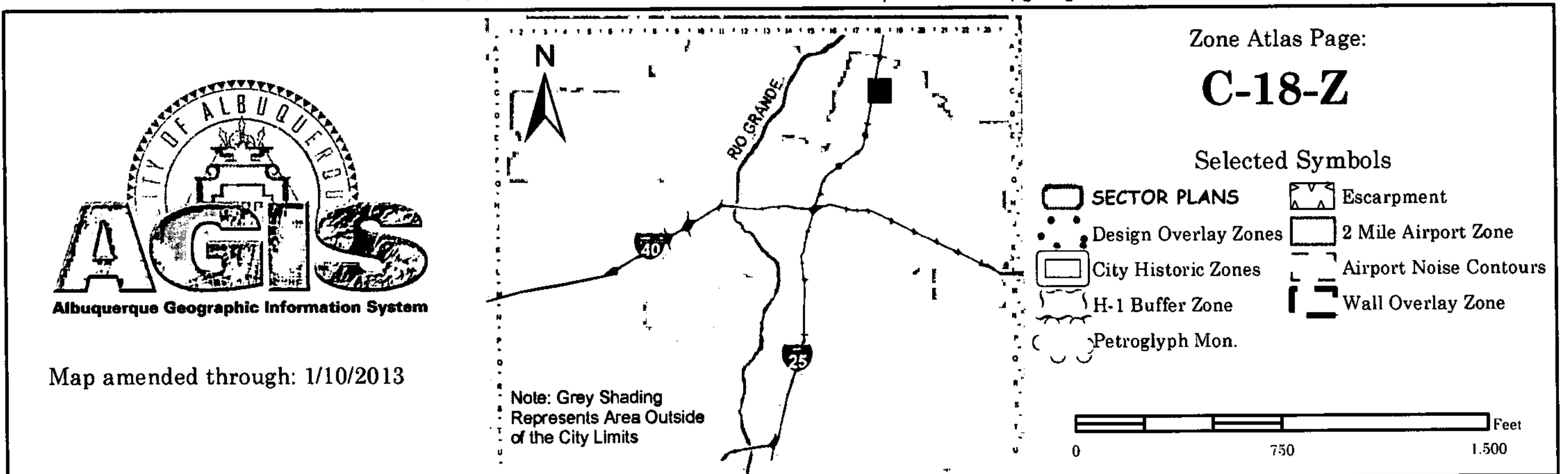
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

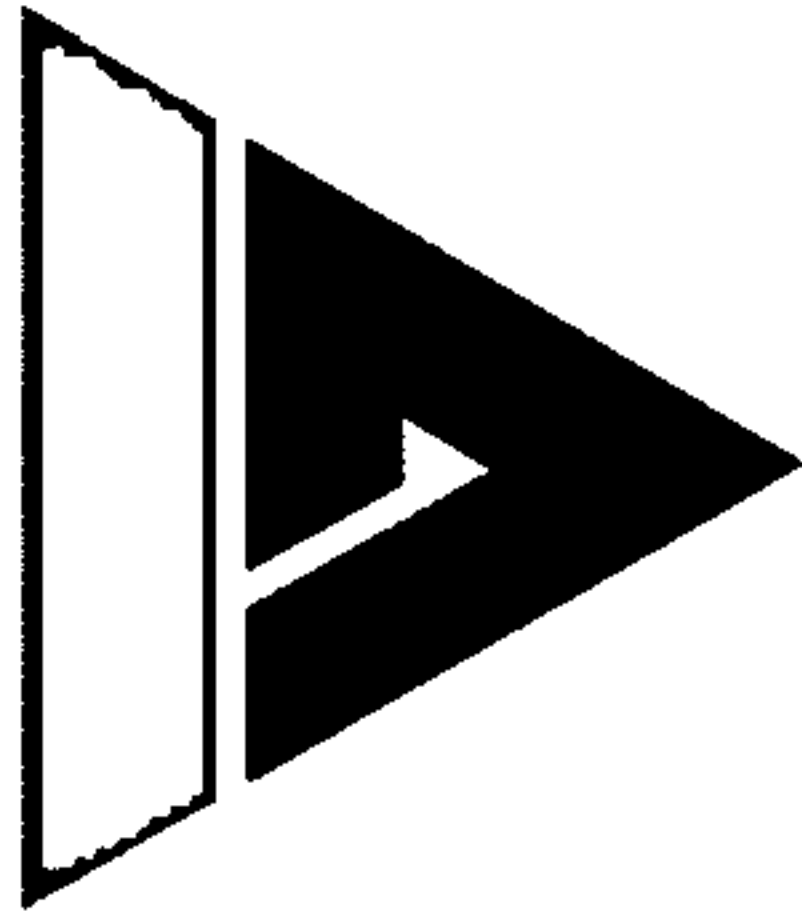
Application case numbers
 BDRB - 70747

 11-5-13
 Planner signature / date
 Project # 1004772



For more current information and details visit: <http://www.cabq.gov/gis>





Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

November 4, 2013

Mr. Jack Cloud, DRB Chair
City of Albuquerque
600 2nd St NE
Albuquerque, NM 87102

**RE: Tract B, Holly Place & Lot 20, Block 18, Tract A, Unit B, North Albuquerque Acres
DRB Project #1004772**

Dear Mr Cloud;

Isaacson & Arfman, P.A., as agents for AIG TN Holding, LLC, and with permission from Paseo Place, LLC, submit the attached preliminary/final plat for the consolidation of the above 2 properties into a single tract of land.

This replat is submitted in support of the Site Development Plan for Building Permit for the Applebee's at Holly Place that is in process at DRB. In order to keep all the required parking on the same property, we must replat the 2 properties.

We would like to have the plat heard on November 13th at the same time as the site plan.

Sincerely,
ISAACSON & ARFMAN P.A.

Genny Donart, PE
GD/gld

ATTACHMENTS

PASEO PLACE, LLC

6801 JEFFERSON NE, SUITE 100 . ALBUQUERQUE, NEW MEXICO 87109 . PH:505-338-2149 . FAX:505-878-0002

October 24, 2013

Mr. Jack Cloud, Chair
City of Albuquerque Development Review Board

Re: Letter of Authorization, Tract B of Holly Place and Lot 20, Tract A, Unit B of North Albuquerque Acres

Dear Mr. Cloud:

We hereby authorize Apple 64010, LLC, AIG TN Holding, LLC and Issacson & Arfman, P.A. to act as applicant and agents on our property legally described above for the proposed development of an Applebee's restaurant on the property.

Please feel free to contact us with any questions.

Respectfully,



Wes Butero,
Director of Project Management

November 13. 2013



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: (505) 268-8828
 ADDRESS: 128 Monroe Street NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: gennyd@iacivil.com

APPLICANT: Apple Investors Group PHONE: (770) 547-5920
 ADDRESS: 917 Ravenwood Way FAX: _____
 CITY: Canton STATE GA ZIP 30115 E-MAIL: michael.mcgough@appleig.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 20, Tract A, North Albuquerque Acres Block: 18 Unit: B
 Subdiv/Addn/TBKA: & Tract B, Holly Place
 Existing Zoning: SU-2 M-1 or SU-2 RC Proposed zoning: Same MRGCD Map No NA
 Zone Atlas page(s): C-18 UPC Code: 101806420501630208 - Lot 20
101806422301630209 - Tract B, Holly Place

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1004772

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 1.5687
 LOCATION OF PROPERTY BY STREETS: On or Near: Holly Ave. NE
 Between: San Pedro Dr. NE and East of I-25

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE *Genevieve Donart* DATE 9/27/13
 (Print Name) Genevieve Donart Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13 DRB - 70693</u>	<u>SBP</u>	___	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	___	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	___	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	___	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	___	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	___	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	___	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	___	\$ _____
				Total
				<u>\$ 480.00</u>

Hearing date Sept 27, 2013

Genevieve Donart
 Staff signature & Date 9-27-13

Project # 1004772

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)

(DRB14)

Maximum Size: 24" x 36"

- NA 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- N/A Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- N/A 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Genevieve Donart

Genevieve Donart Applicant name (print)
Genevieve Donart Applicant signature / date

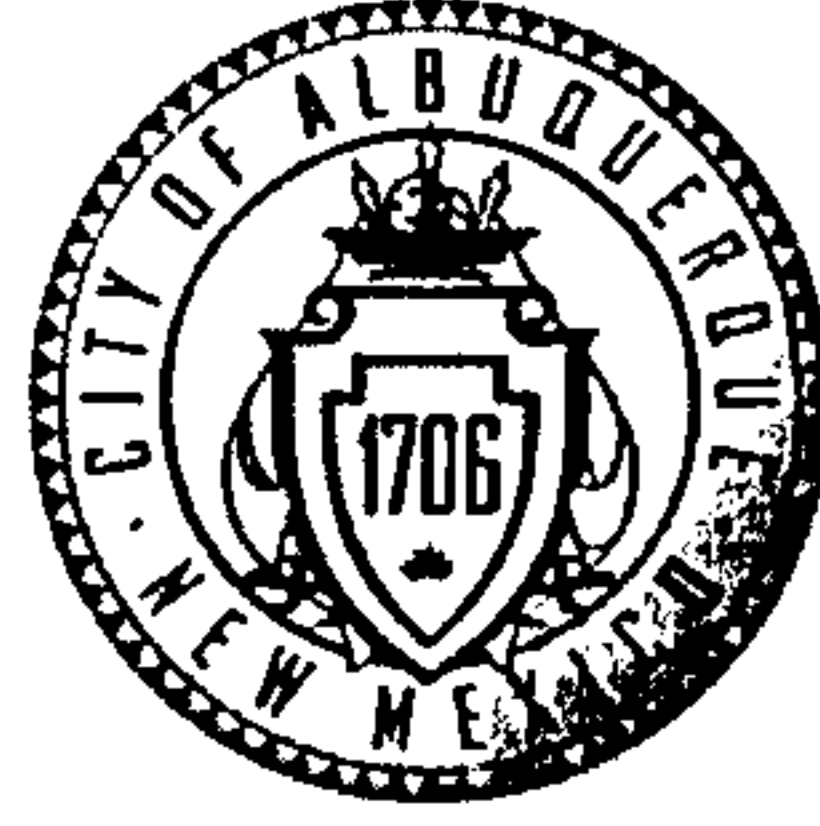


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13 - DRB - 70693

Genevieve Donart Planner signature / date
9-27-13
Project # 1004772



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

DEBBIE BAUMAN -	Transportation Development
SHABIH RIZVI -	Transit & Parking Department
KENDRA WATKINS/	
ANDREW GINGERICH -	Council of Governments
LYNN MAZUR -	AMAFCA
STEVE SINK -	APD Crime Prevention
SUSANNAH ABBEY -	Open Space Division
ANTONIO CHINCHILLA -	Fire Department
DAVID KILPATRICK -	Zoning Enforcement Inspector
STEPHANI WINKLEPLECK -	Neighborhood Coordination
DANIEL ARAGON -	Public Service Company of New Mexico
PATRICK SANCHEZ -	New Mexico Gas Company
APRIL WINTERS -	Albuquerque Public Schools
MICHELE RAMIREZ -	CenturyLink
MIKE MORTUS -	Comcast Cable
RAY GOMEZ -	Middle Rio Grande
	Conservancy District (MRGCD)
SUZANNE BUSCH -	Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1004772

Wednesday, October 23, 2013

Comments must be received by:

Wednesday, October 16, 2013

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests. **If you have any questions, please contact me at 924-3946 or agomez@cabq.gov**



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, P.A. PHONE: (505) 268-8828
 ADDRESS: 128 Monroe Street NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: gennyd@iacivil.com

APPLICANT: Apple Investors Group PHONE: (770) 547-5920
 ADDRESS: 917 Ravenwood Way FAX: _____
 CITY: Canton STATE GA ZIP 30115 E-MAIL: michael.mcough@appleig.com

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 20, Tract A, North Albuquerque Acres Block: 18 Unit: B
 Subdiv/Addn/TBKA: & Tract B, Holly Place
 Existing Zoning: SU-2 M-1 or SU-2 RC Proposed zoning: Same MRGCD Map No. NA
 Zone Atlas page(s): C-18 UPC Code: 101806420501630208 - Lot 20
101806422301630209 - Tract B, Holly Place

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1004772

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 1.5687
 LOCATION OF PROPERTY BY STREETS: On or Near: Holly Ave. NE
 Between: San Pedro Dr. NE and East of I-25

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Genevieve Donart DATE 9/27/13
 (Print Name) Genevieve Donart Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13 DRB - 70693</u>	<u>SBP</u>	—	<u>\$385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	—	<u>CMF</u>	—	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	—	<u>ADV</u>	—	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	—	—	—	\$ —
<input type="checkbox"/> Case history #s are listed	—	—	—	\$ —
<input type="checkbox"/> Site is within 1000ft of a landfill	—	—	—	\$ —
<input type="checkbox"/> F.H.D.P. density bonus	—	—	—	\$ —
<input type="checkbox"/> F.H.D.P. fee rebate	—	—	—	\$ —
				Total
				<u>\$ 480.00</u>

Hearing date Sept 27, 2013

[Signature]
 Staff signature & Date 9-27-13

Project # 1004772

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Subdivision Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)

(DRB14)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
- DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- 6 copies of the Infrastructure List, if relevant to the site plan
- TIS/AQIA Traffic Impact Study form with required signature
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Genevieve Donart

Genevieve Donart Applicant name (print)
Genevieve Donart Applicant signature / date

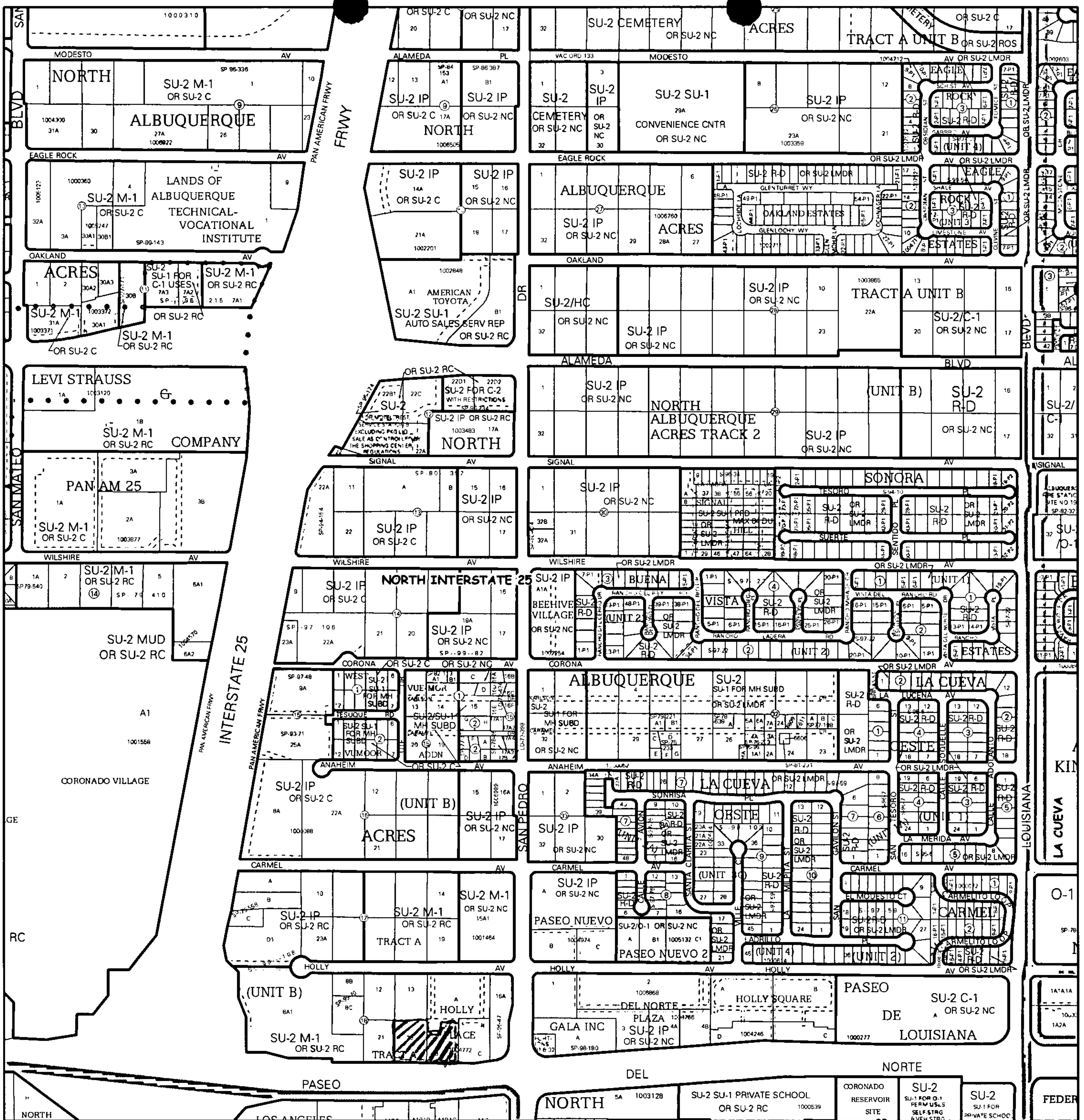


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13 - DRB - 70693

[Signature] 9-27-13
 Planner signature / date
 Project # 1004772



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/10/2013

Zone Atlas Page:
C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Note: Grey Shading Represents Area Outside of the City Limits

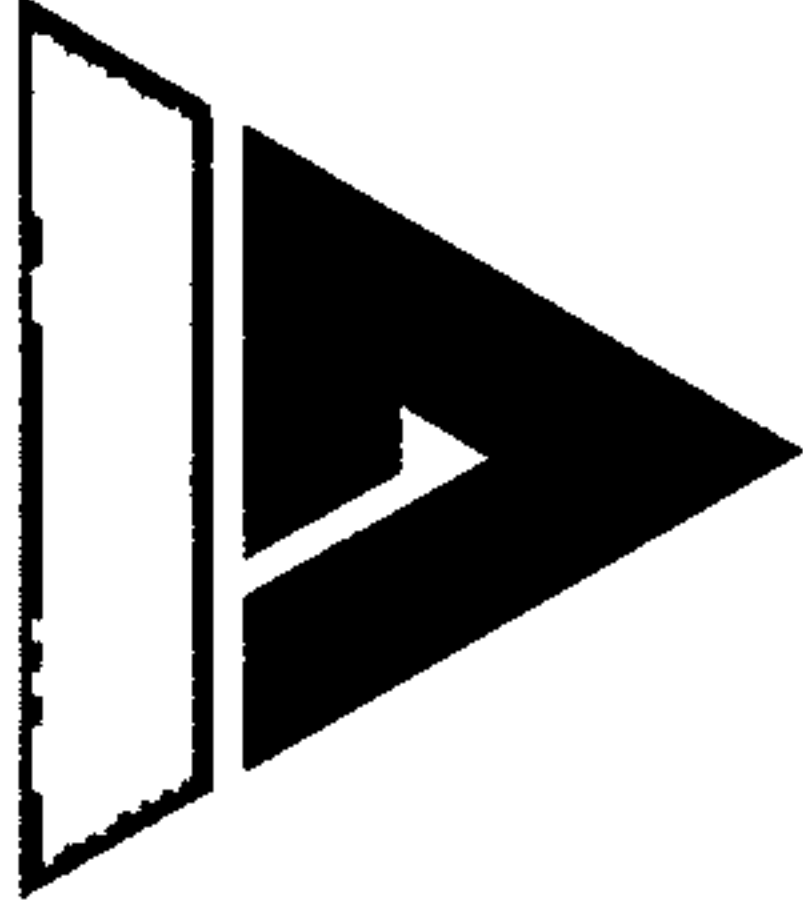
0 750 1,500 Feet

Zone Atlas Page:
C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
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- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

September 27, 2013

Mr. Jack Cloud, DRB Chair
City of Albuquerque
600 2nd Street NE
Albuquerque, NM 87102

**RE: Applebee's at Holly Place
Site Development Plan for Building Permit by Administrative Approval**

Dear Mr. Cloud;

Isaacson & Arfman, P.A., as agents for Apple Investment Group, submit the attached site development plan for building permit for the proposed Applebee's restaurant at the Holly Place commercial development, west of San Pedro between Holly Drive and Paseo del Norte.


The site is zoned SU-2 for M-1, and is covered by the North I-25 Sector Plan.

The site is surrounded by existing restaurants, retail and medical offices. The character of the proposed development is within keeping of the surrounding businesses, and the zoning.

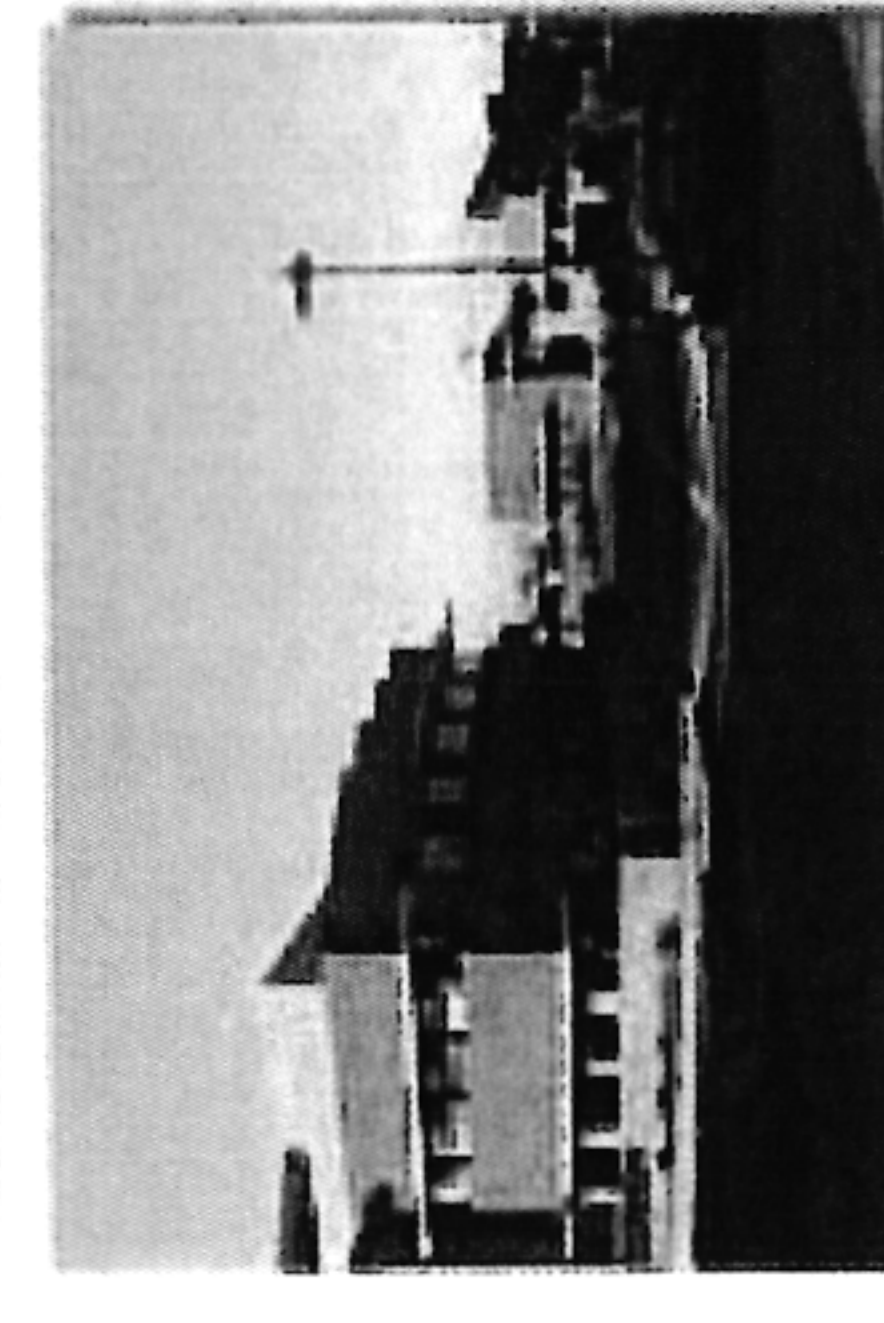
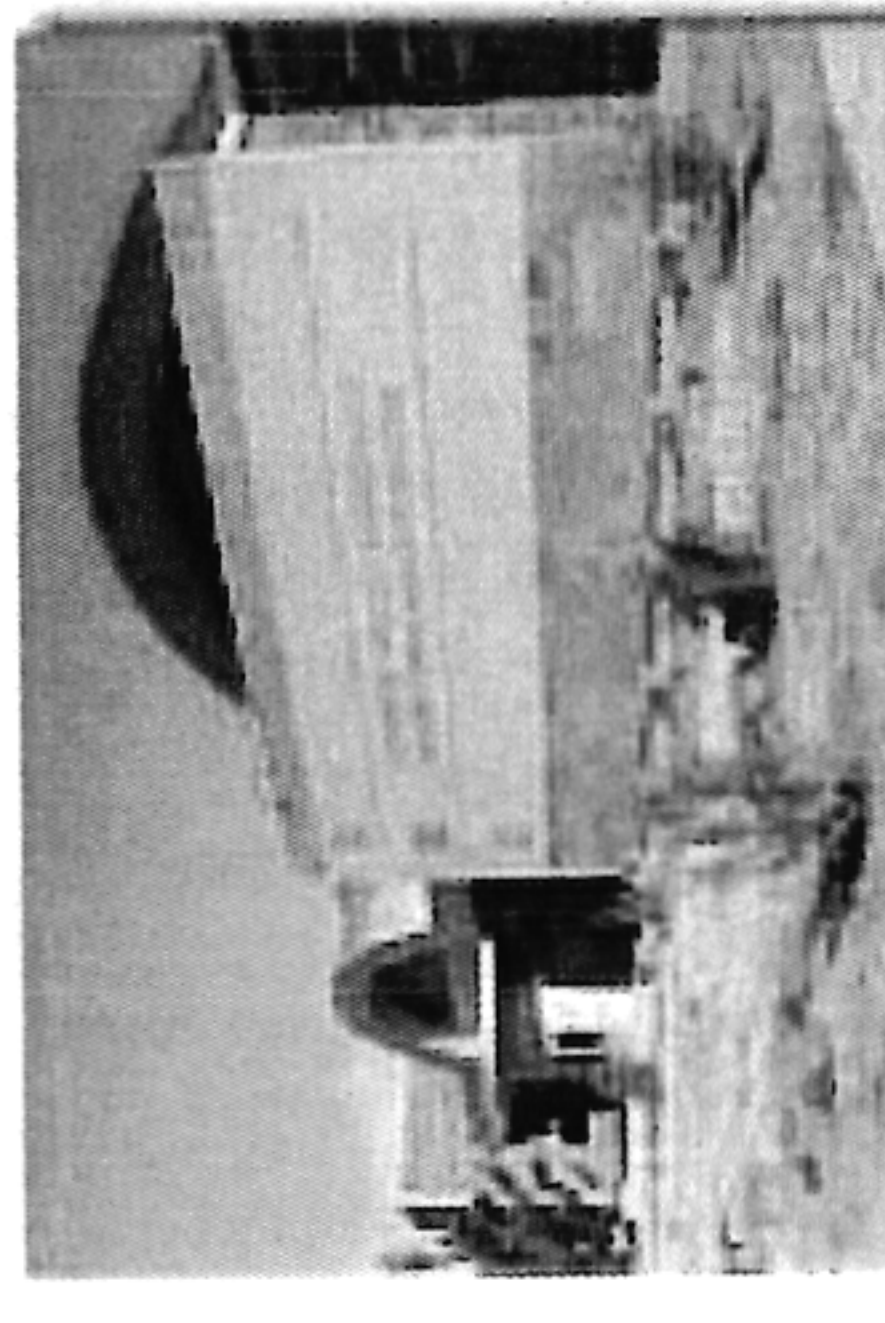
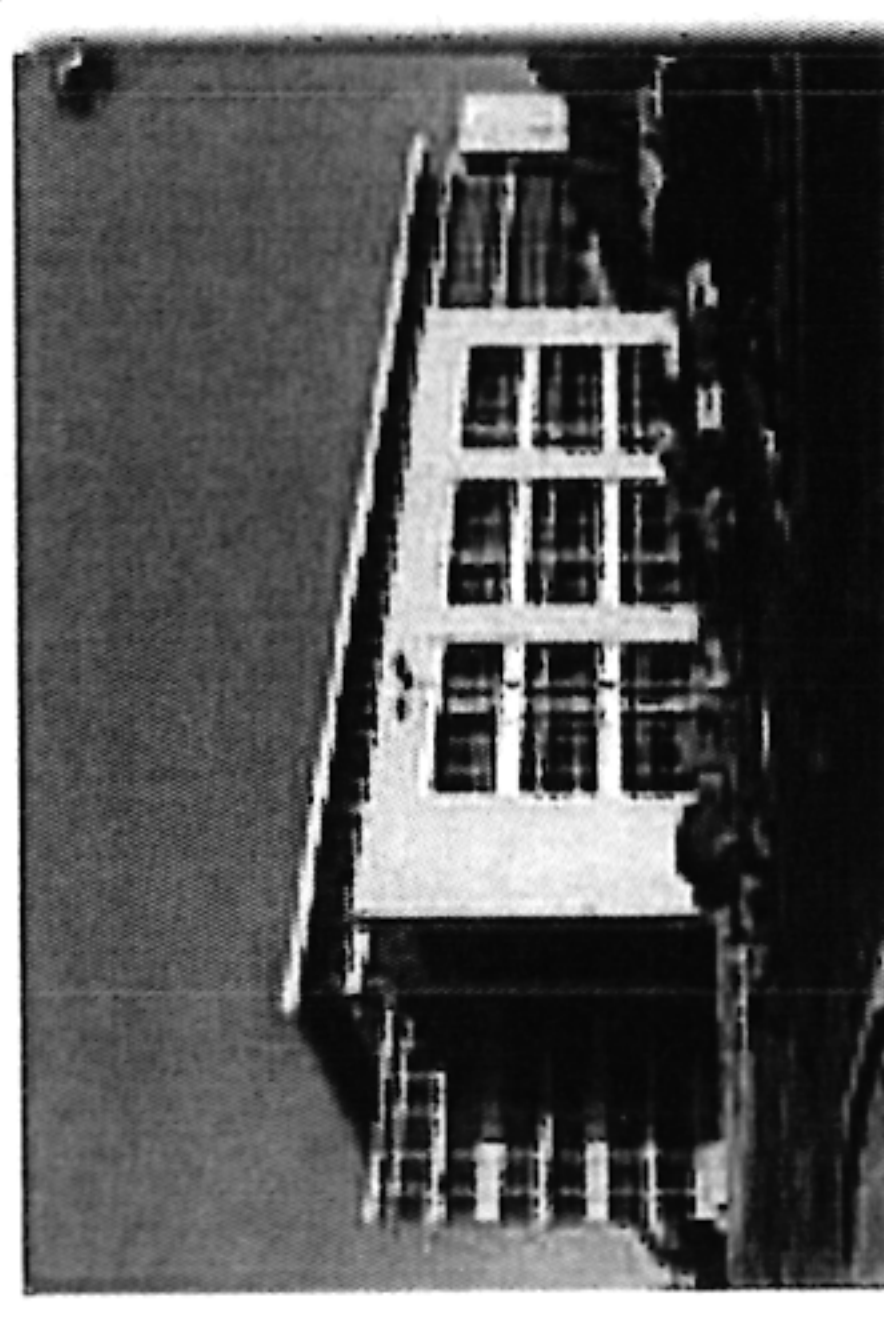
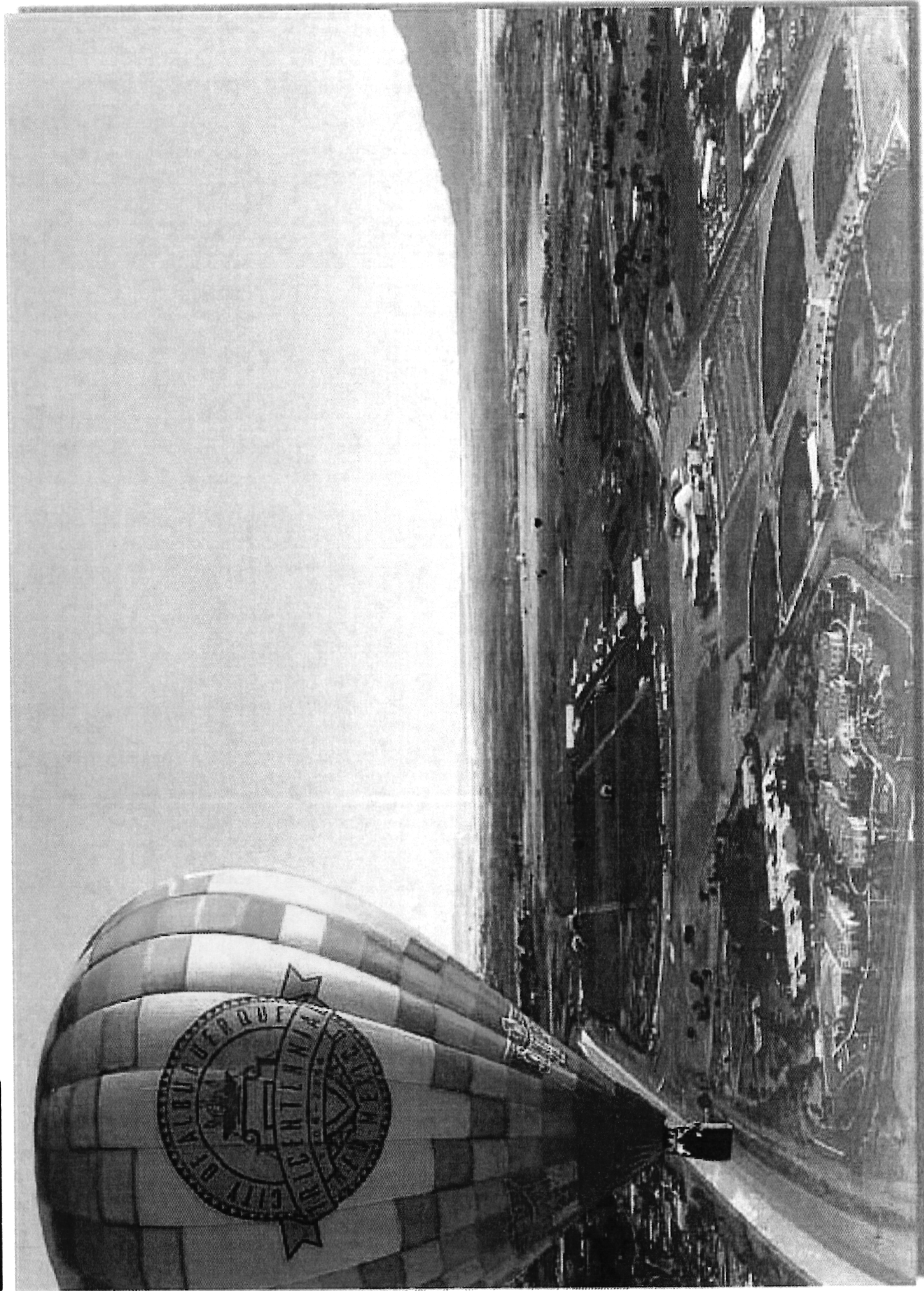
If you have any questions regarding this site plan, please contact me at 268-8828 or gennyd@iacivil.com.

Thanks very much for your assistance.

Sincerely,
ISAACSON & ARFMAN P.A.


Genny Donart, PE
GD/gld

ASPORTH-25 Sector Plan



March 2008

1.3 PLAN AREA BOUNDARIES

The Plan area is within the City of Albuquerque Council District's 2 (west of I-25) and District 4 (east of I-25). Sandia Pueblo's Reservation defines the Plan area's northern boundary; Louisiana Boulevard defines the eastern boundary; Paseo del Norte (SR 423) and the Domingo Baca Arroyo define the southern boundary; and the North Diversion Channel and Edith Boulevard define the western boundary. **Figure 1** illustrates the boundaries for the Sector Plan area.

1.4 PLAN DEVELOPMENT PROCESS

The North I-25 Sector Plan was developed in collaboration between the public and the City of Albuquerque. Public input, including input from residences, business and landowners, and community organizations, was integral in the planning process.

The development of the North I-25 Sector Plan began with a three-day design charrette held in March 2006. The purpose of the charrette was to receive input from the public regarding the vision for the Sector Plan area and to identify plan area issues. Two additional public meetings were later held to seek public comment through a draft plan review process performed by a stakeholder committee. From this process, a new land use plan was formulated and made available to the public via the City of Albuquerque's web site (www.cabq.gov) in October 2006. A draft plan was presented for review and comment at the public meeting held in November 2006 and was presented to the Environmental Planning Commission (EPC) in June 2007. The plan was updated based on comments from the EPC and presented to the public in November 2007 for review and again in January

2008. After incorporating public comments, the Plan was presented before the EPC in March 2008.

1.5 HOW TO USE THIS PLAN

This Plan does **NOT** change the existing zoning for properties within the plan area boundaries. All properties will have the SU-2 prefix to show that they are within this sector plan's boundaries and control. The Plan expands upon the uses allowed under current zoning through the use of a Land Use District Overlay, described in Chapter 3. When developing your property, you will have the choice of either developing in accordance to the uses allowed under your existing zoning or developing in accordance to the uses allowed in the Land Use District Overlay.

This Plan contains design regulations in §4.2 that will be enforced for **ALL** development proposals within the Plan area regardless of whether you choose to develop your property in accordance with the uses allowed under your existing zoning or within the Land Use Districts.

Sites that have obtained EPC or DRB approval of a site development plan since May 1, 2008 will not be subject to the design regulations.

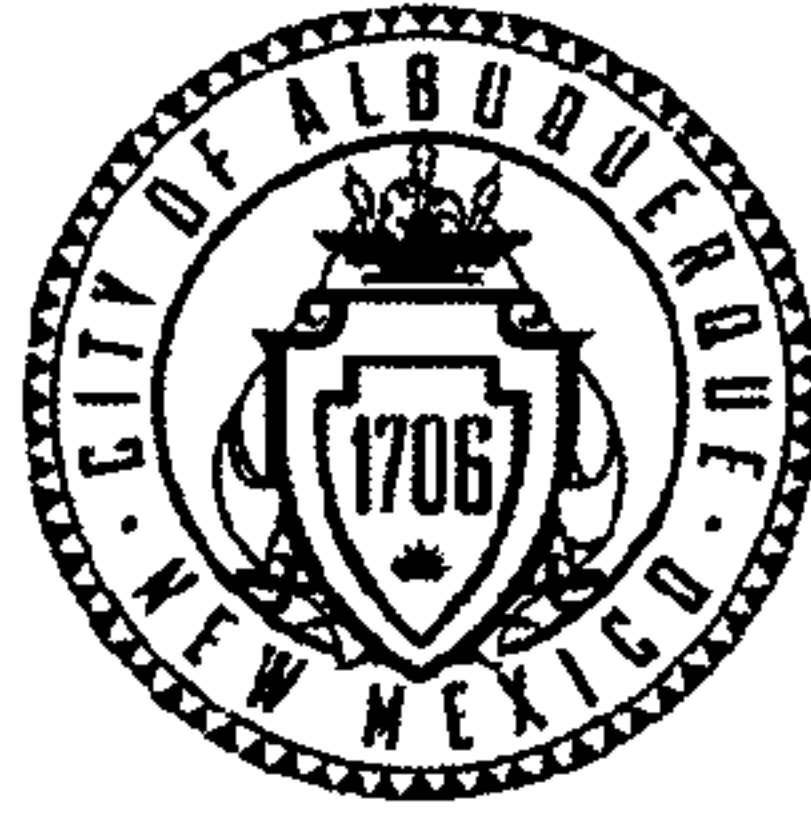
This Plan strongly discourages any zoning change requests that are not in conformance with this Plan.

Procedures for Development Proposals

When developing a site within the Plan area, the following steps should be taken:

- 1) Locate your property on the Zoning Map referenced on page 18 of this Plan.

- 2) Decide whether you want to proceed using the uses allowed under your current zoning or the uses allowed in the Land Use District, Map on page 25, that overlays your property, as described in Chapter 3.
- 3) Refer to the Design Regulations in Chapter 4, beginning on page 30. These Design Regulations apply to all developments in the Plan area.
- 4) A Site Development Plan shall be required for all development within the North I-25 Sector Plan area.
- 5) All Site Development Plans must be approved by the Development Review Board (DRB) unless otherwise indicated below. Refer to the DRB for public hearing and advertisement requirements.
- 6) All Site Plans for Building Permit must include a landscaping plan and other documentation required by this Plan.
- 7) All properties that have SU-1 in their zoning descriptor are required to go to the Environmental Planning Commission for a public hearing (§14-16-2-22).
- 8) All properties zoned P, C-1, C-2, C-3, M-1 or M-2 that are five acres or greater shall comply with the Shopping Center Regulations (See §14-16-3-2 of the City Zoning Code).
- 9) All signs that exist at the time of the adoption of the Plan that do not conform to the Plan, are allowed to remain for the life of the sign.



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

September 26, 2013

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **September 26, 2013:**

Contact Name: RUTH LOZANO

Company or Agency: ISAACSON AND ARFMAN, P.A.
128 MONROE STREET NE/87108
PHONE: 505-268-8828/FAX: NONE
E-MAIL: ruthl@iacivil.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES AND TRACT B, HOLLY PLACE, LOCATED ON HOLLY AVENUE NE BETWEEN SAN PEDRO DRIVE NE AND EAST OF I-25 FREEWAY** zone map **C-18**.

Our records indicate that as of September 26, 2013, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Genevieve D. A. 9/24/13
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

ad

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 29 provided: 60
Handicapped spaces (included in required total) required: 4 provided: 4
Motorcycle spaces (in addition to required total) required: 2 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: provided: 4
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions Private access to
 - 8. Location of traffic signs and signals related to the functioning of the proposal Private
 - 9. Identify existing and proposed medians and median cuts access

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

N/A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping. *No phasing*

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- 0 3. North Arrow
- X 4. Property Lines
- 0 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
 - X A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - X B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - X C. Ponding areas either for drainage or landscaping/recreational use
- 0 7. Identify type, location and size of plantings (common and/or botanical names).
 - 0 A. Existing, indicating whether it is to preserved or removed.
 - 0 B. Proposed, to be established for general landscaping.
 - 0 C. Proposed, to be established for screening/buffering.
- X 8. Describe irrigation system – Phase I & II . . .
- X 9. Backflow prevention detail
- X 10. Planting Beds, indicating square footage of each bed
- N/A 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. *No turf*
- X 12. Responsibility for Maintenance (statement)
- X 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- X 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 0 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- X 16. Planting or tree well detail
- 0 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 0 1. Scale - must be same as Sheet #1 - Site Plan
- 0 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- N/A 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point. All ← 4 →

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

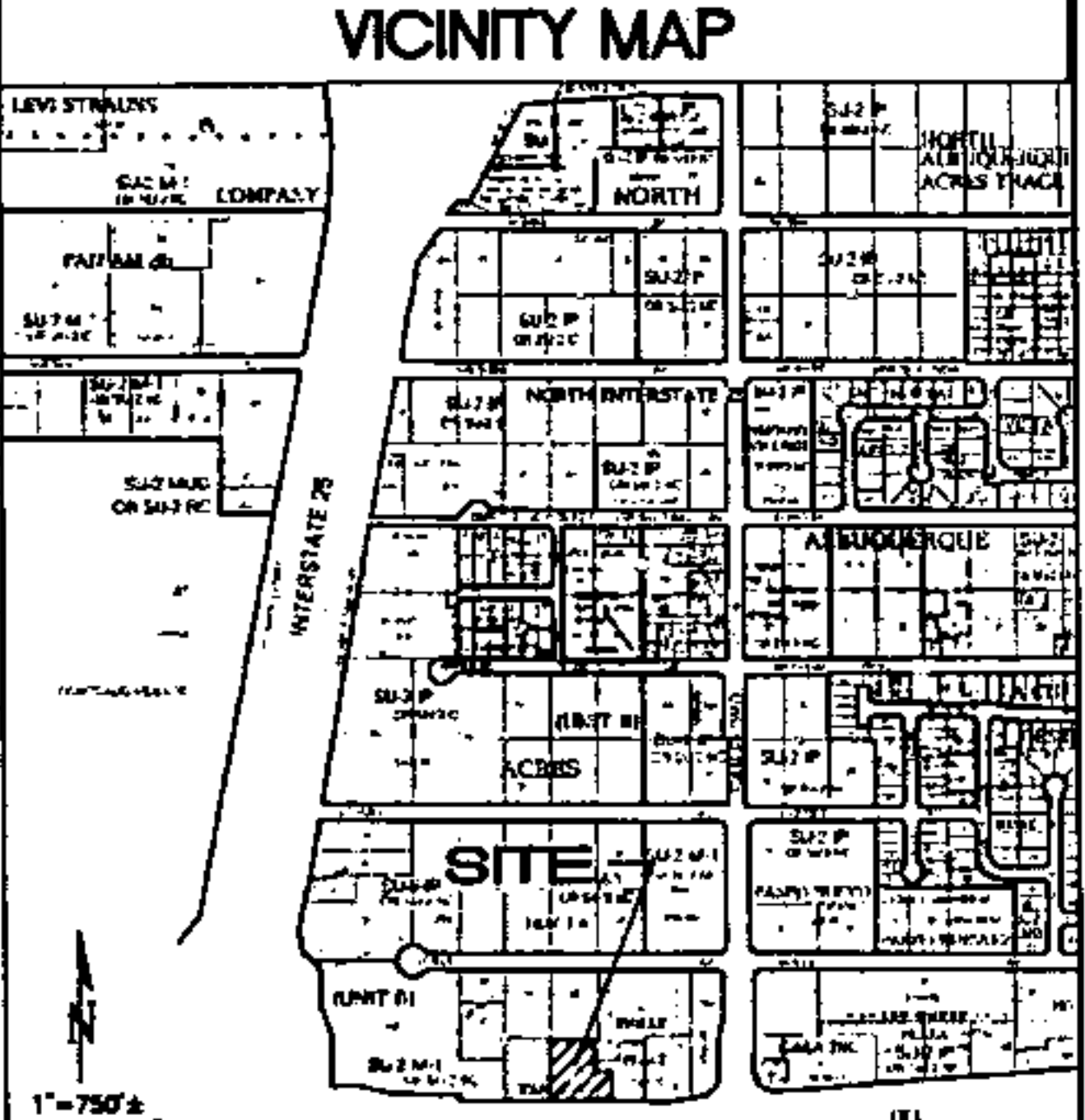
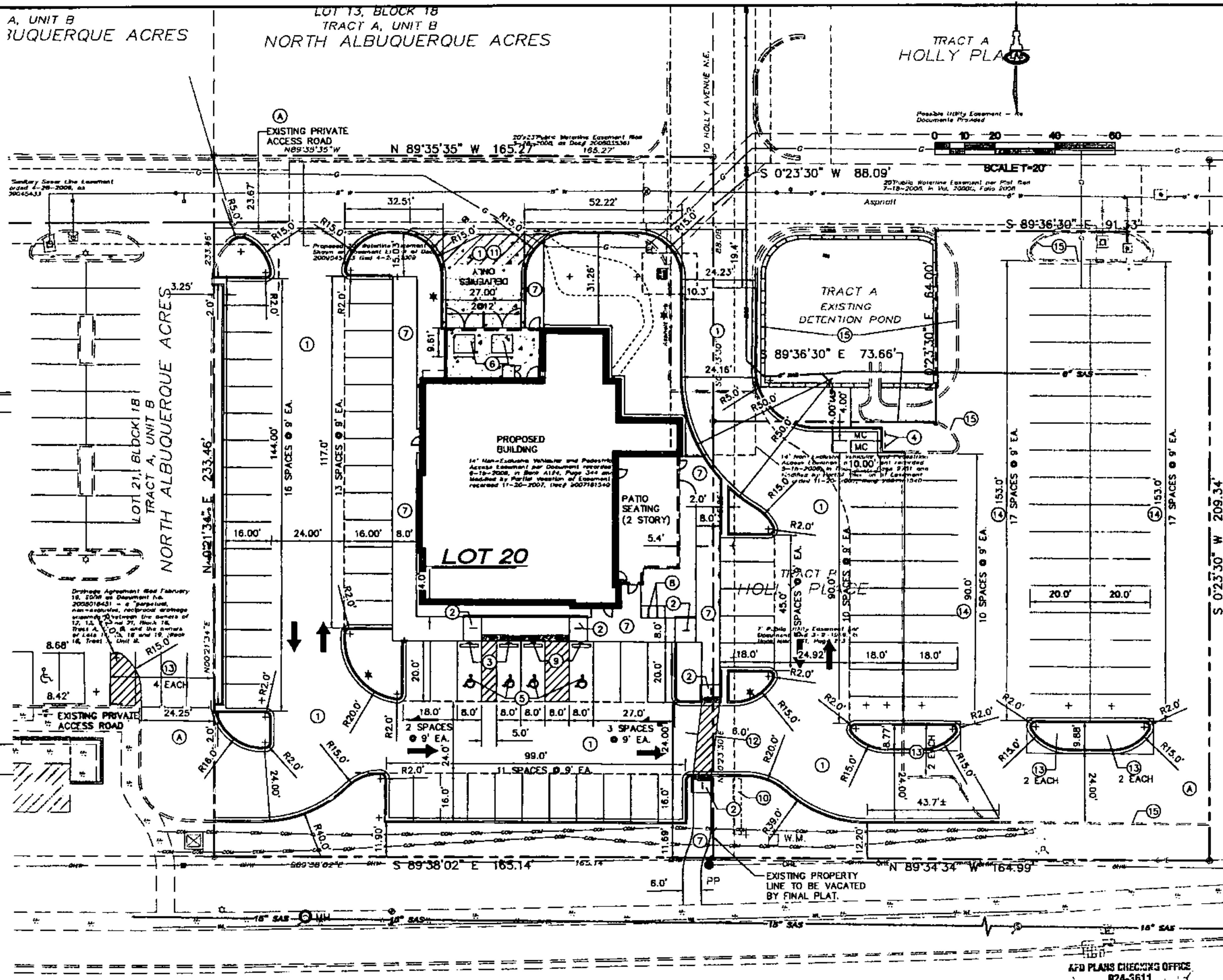
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle facade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- N/A E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s) *Exst monument sign, with space for users*
- 2. Sign elevations to scale *Sign on bldg face*
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



INDEX TO DRAWINGS	
SHEET NO.	TITLE
CP-001	SITE DEVELOPMENT PLAN
CP-501	PAVING DETAILS
CG-101	GRADING & DRAINAGE PLAN
CU-101	UTILITY PLAN
LS-101	LANDSCAPE PLAN
A-200	ELEVATIONS (FRONT & SIDE)
A-201	ELEVATIONS (REAR & SIDE)
A-202	ELEVATIONS (PATIO)

EASEMENT NOTES

A. EXISTING PRIVATE CROSS-LOT ACCESS EASEMENT PER DOC# 20060618450 FILED 02/19/08.

PROJECT DATA	
LEGAL DESCRIPTION:	TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, NM
ZONING:	SU-2 FOR M-1
AREAS:	TRACT AREA: 68,377 SF BUILDING FOOTPRINT: 5,881 SF PATIO AREA: 1,606 SF I.P.A.R.: 0.083
PROPOSED USE:	RESTAURANT WITH PATIO DINING

PARKING ANALYSIS	
STANDARD PARKING SPACES	REQUIRED = 5681 SF/200 = 29 SPACES PROVIDED = 60 SPACES
ADA PARKING SPACES	REQUIRED = 4 SPACES PROVIDED = 4 SPACES (INCLUDING 2 VAN ACCESSIBLE)
MOTORCYCLE PARKING SPACES	REQUIRED = 2 SPACES PROVIDED = 2 SPACES
BICYCLE PARKING	REQUIRED = 4 SPACES PROVIDED = 4 SPACES

KEYED NOTES

- 1. PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- 2. ADA ACCESSIBILITY RAMP, SEE DETAILS CP-501.
- 3. ACCESSIBLE PARKING SIGN, SEE DETAIL CP-501.
- 4. MOTORCYCLE PARKING SIGN, SEE DETAIL CP-501.
- 5. ACCESSIBLE PARKING STALL, SEE DETAILS CP-501.
- 6. GARBAGE ENCLOSURE (ROLL-OUT).
- 7. PCC SIDEWALKS, SEE DETAIL SHEET CP-501.
- 8. 2-BIKE RACKS, SEE DETAIL SHEET CP-501.
- 9. VAN ACCESSIBLE PARKING SIGN, SEE DETAIL CP-501.
- 10. EXISTING MONUMENT SIGN, SHARED PER MASTER AGREEMENT.
- 11. GARBAGE/LOADING ACCESS.
- 12. ADA PATH, STRIPED.
- 13. EXISTING PARKING SPACES TO BE REMOVED.
- 14. EXISTING PARKING SPACES TO REMAIN.
- 15. EXISTING TO REMAIN.

- GENERAL NOTES**
- SIGNAGE SHALL COMPLY WITH CITY DESIGN STANDARDS. ONE SHARED MONUMENT SIGN IS EXISTING ALONG PASEO DEL NORTE. FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
 - ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6% OF EACH BUILDING ELEVATION FACADE.
 - ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE MONTAÑO PLAZA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 18FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
 - ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED (SEE ARCHITECTS ELEVATIONS)
 - THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE EFFICIENT USE OF ENERGY.
 - RAINWATER HARVESTING MEASURES SUCH AS DEPRESSED LANDSCAPE, SHALL BE PROVIDED WHERE PRACTICAL.
 - RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
 - ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES PER PNM DESIGN GUIDELINES.
 - PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DEPARTMENT TO COORDINATE ELECTRICAL SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTION.
 - FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NM811 FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

- PROJECT SUMMARY**
- THE PROPOSED PROJECT CONSISTS OF A SINGLE-STORY RESTAURANT WITH AN "OUTDOOR" PATIO SPACE, AN OUTDOOR LOFT, AND ASSOCIATED PARKING, ACCESS AND LANDSCAPING TO BE BUILT IN A SINGLE PHASE. THE SITE IS SITUATED ON TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, HAVING A LAND AREA OF 1.5687 ACRES (68,377 SF). A PLAT ACTION TO ASSEMBLE THE TRACTS INTO A SINGLE PARCEL IS CURRENTLY BEING PROCESSED THROUGH THE DEVELOPMENT REVIEW BOARD.
- MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PEDESTRIAN CONNECTIONS: THE EXISTING PEDESTRIAN SIDEWALK FROM PASEO DEL NORTE TO THE SOUTH WILL CONNECT TO THE ONSITE PEDESTRIAN ACCESS WALK.
- ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.
 - SEE CIVIL DETAIL SHEET, CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
 - ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 18'-0" WITH 2' OVERHANG. 2' OVERHANG INTO LANDSCAPE AREA IS NOT PART OF LANDSCAPE CREDIT.
 - ALL ACCESSIBLE PARKING SPACES AS DIMENSIONED AND 20'-0" DEEP.
 - ALL MOTORCYCLE PARKING SPACES ARE 4'-0" WIDE BY 10'-0" DEEP.
 - ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
 - ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.
 - ALL CURB RADI AT END OF ISLANDS ARE 2'R UNLESS OTHERWISE DIMENSIONED.

PROJECT NUMBER:

Application Number:
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

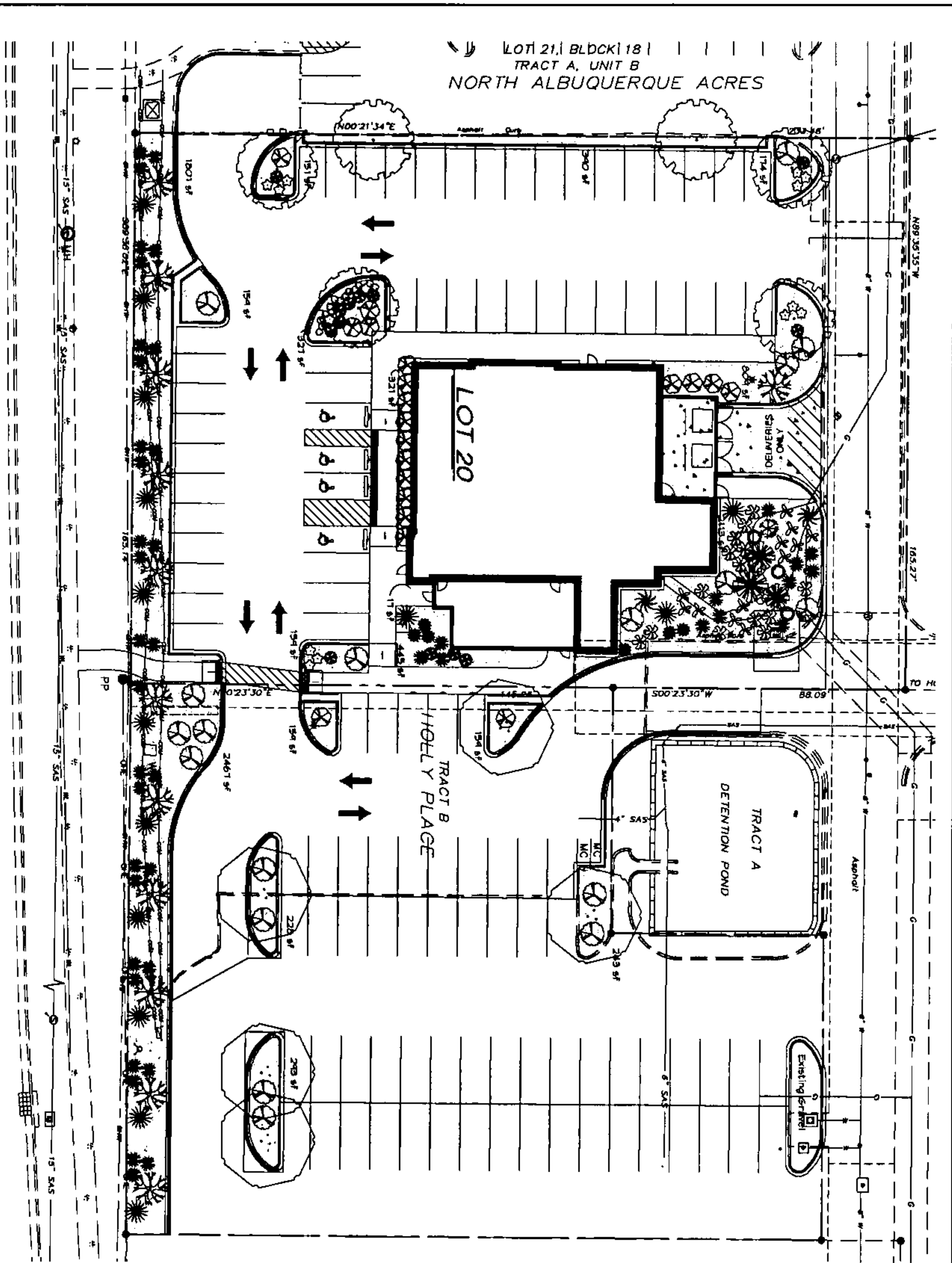
DRB SITE DEVELOPMENT PLAN APPROVAL:

Department	Date
Traffic Engineering, Transportation Division	
ABCWUA	
Parks and Recreation Department	
City Engineer	
* Environmental Health Department (conditional)	
Solid Waste Management	07-27-13
DRB Chairperson, Planning Department	

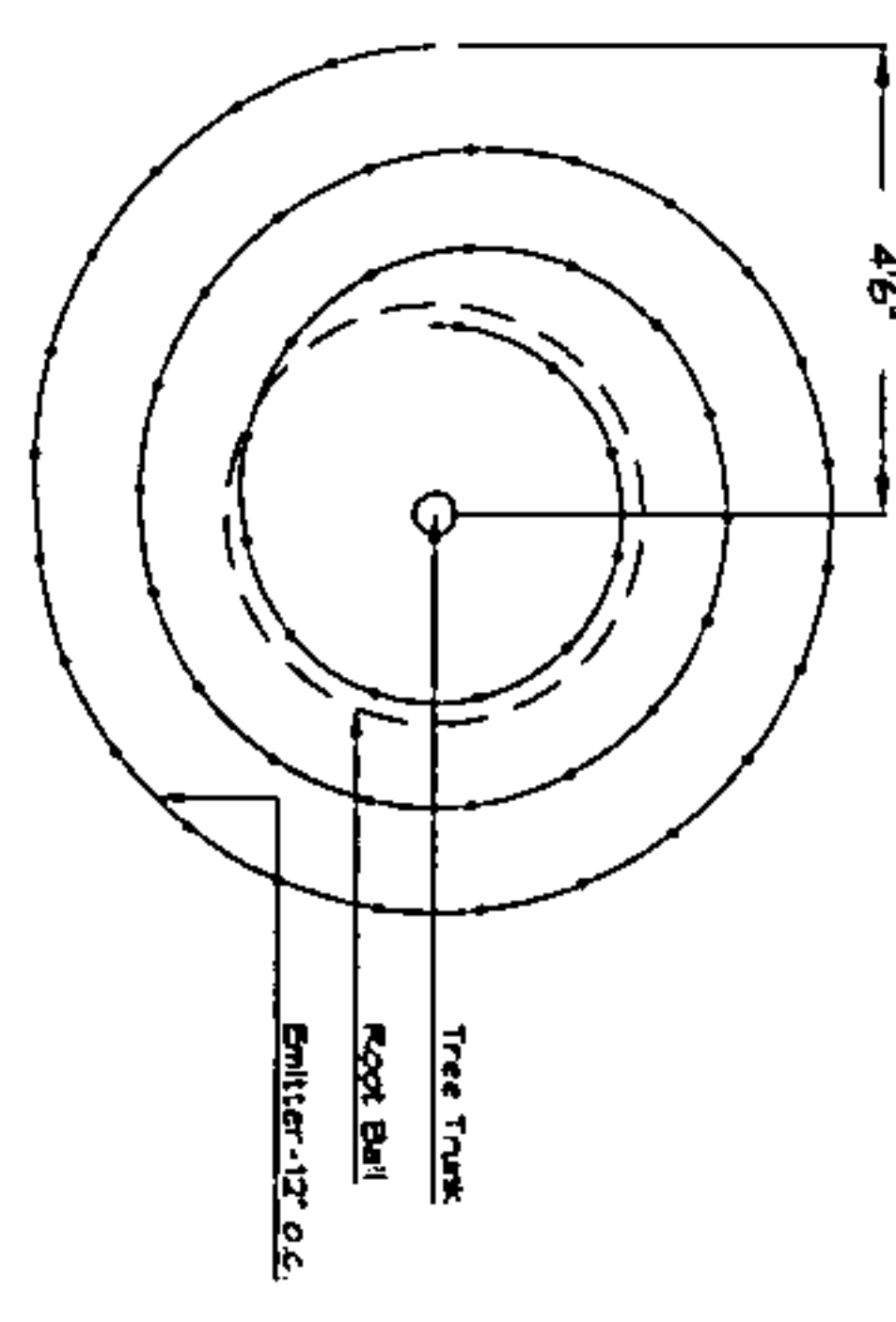
PREPARED FOR: APPLE INVESTORS GROUP
917 RAVENWOOD WAY
CANTON, GA 30115

PREPARED BY: ISAACSON & ARFMAN, P.A.
128 MONROE ST NE
ALBUQUERQUE, NM 87108

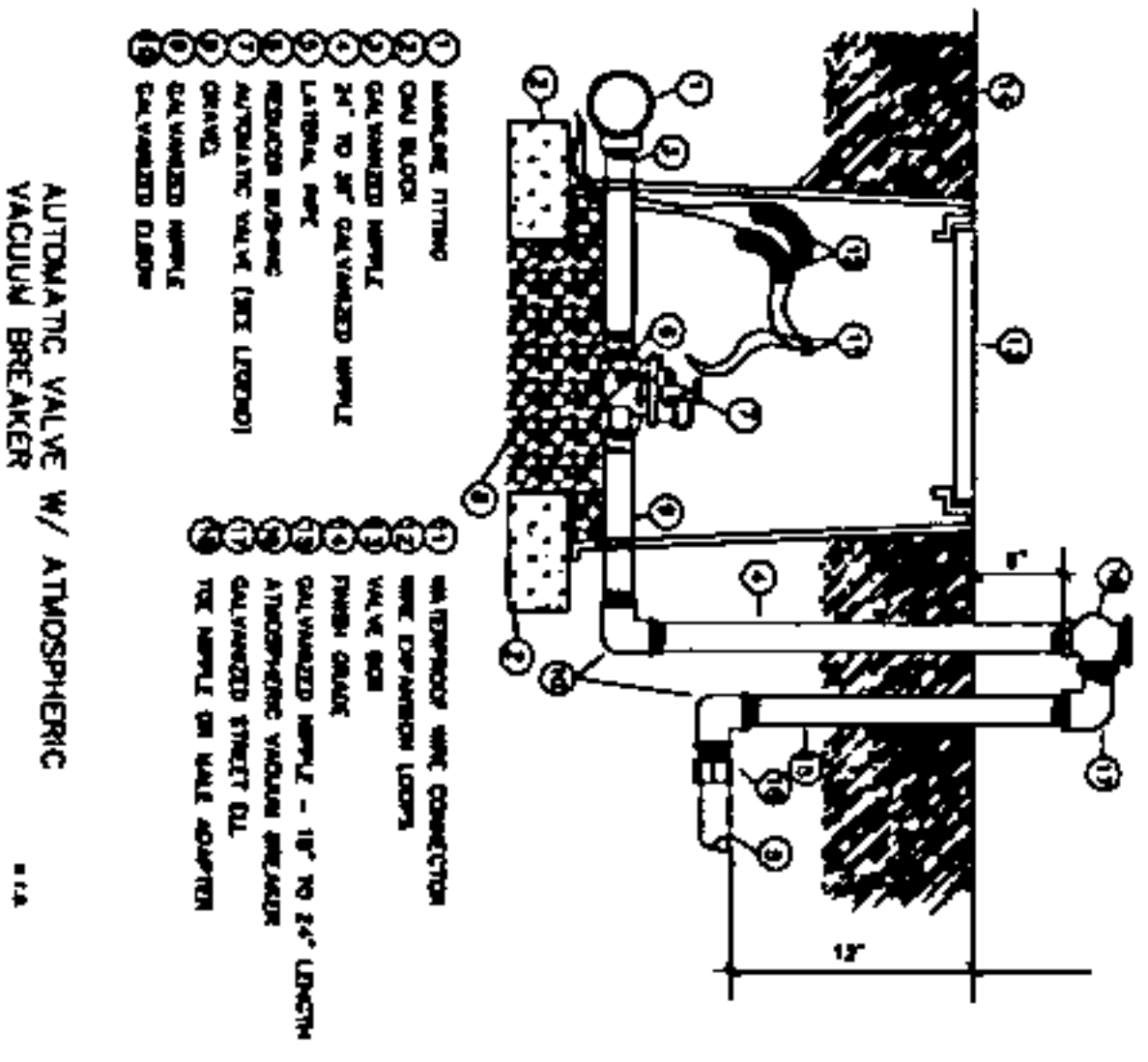




LOT 21, BLDCK118
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES



Netatim Spiral Detail



LANDSCAPE BED DETAIL

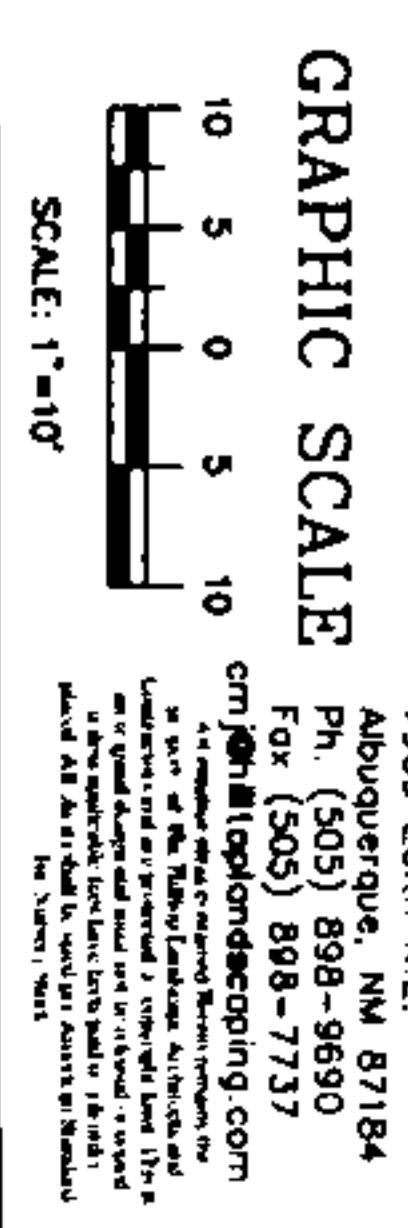
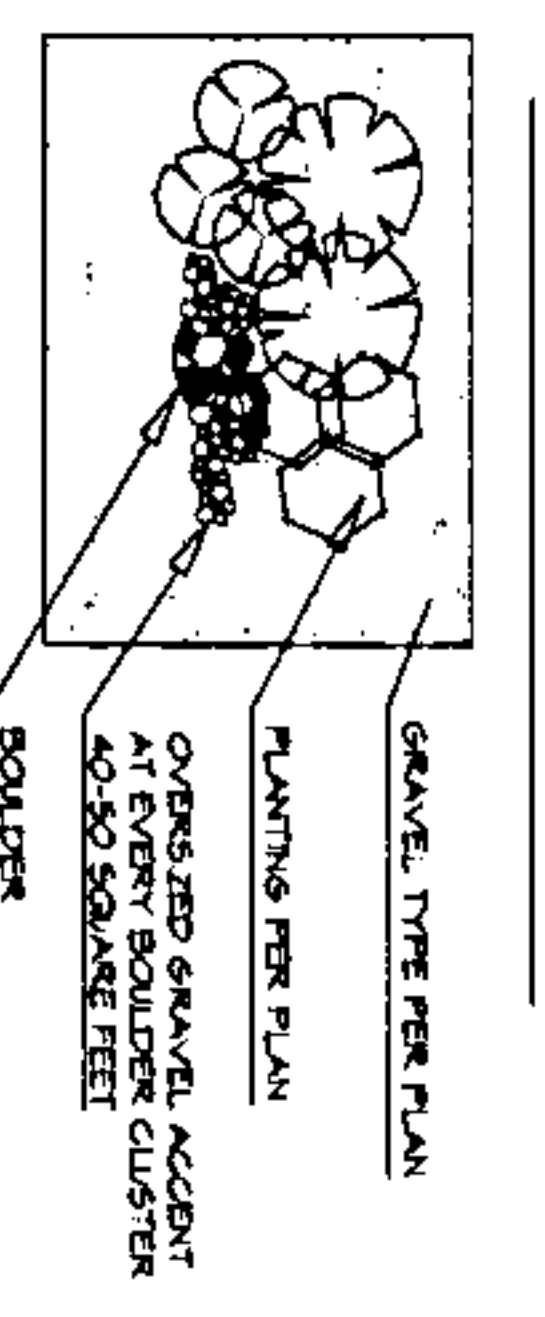
PASEO DEL NORTE BOULEVARD NE

LANDSCAPE CALCULATIONS

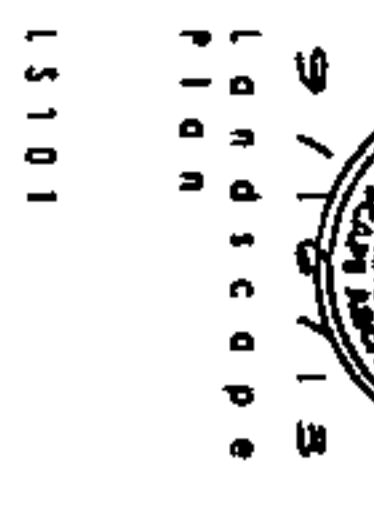
TOTAL LOT AREA	38994	Square Feet
TOTAL BUILDINGS AREA	7183	Square Feet
NET LOT AREA	31816	Square Feet
LANDSCAPE REQUIREMENT	7936	Square Feet
TOTAL LANDSCAPE REQUIREMENT	4694	Square Feet
TOTAL BED PROVIDED	10419	Square Feet
GROUNDCOVER REQS	7936	Square Feet
TOTAL GROUNDCOVER REQUIREMENT	7811	Square Feet
TOTAL GROUNDCOVER PROVIDED	8950 (7936)	Square Feet
TOTAL PAVING AREA	0	Square Feet
TOTAL SOB AREA	0	Square Feet
TOTAL EXISTING BED AREA	10419	Square Feet
TOTAL LANDSCAPE PROVIDED	10419	Square Feet

- PLANT LEGEND**
- All plants shall be listed per American Standard for Nursery Stock. The Property Owner shall maintain street trees in a living, healthy, and safe condition. Approximate quantities have been provided for reference purposes. Actual quantities shall be determined at the time of construction. Measurement should be by spread or root ball rather than by the height of the plant requirement.
- SHADE TREES - STREET TREE REQUIREMENT**
- EASTERN REDBUD - 5
12' Cal. 12-14' Hgt. 20" x 30" maturity
 - CATALPA - 5
20' Cal. 12-14' Hgt. 20" x 30" maturity
- SHADE TREES - PARKING LOT TREE REQUIREMENT**
- PINK YUCCA - 3
Yucca filamentosa 6' maturity
Water (W) Alter (A) (U) (S)
 - Ocotillo - 1
Fouquieria splendens
4-6' mat./7.5' x 10' maturity
Water (W) Alter (A) (U) (S)
 - Nolina microcarpa - 14
Nolina microcarpa 4' maturity
Water (W) Alter (A) (U) (S)
 - BLUE SOTOL - 6
Dasylirion wheeleri
18-3' mat./7.5' x 9' maturity
Water (W) Alter (A) (U) (S)
 - BANANA YUCCA - 2
5' gal. 18-21" mat./2' x 5' maturity
Water (W) Alter (A) (U) (S)
 - AGAVE - 14
Agave spp.
14-15' mat./4' x 4' maturity
Water (W) Alter (A) (U) (S)
 - RED YUCCA - 45
Heistermannia spectabilis
3' gal. 18-21" mat./2' x 4' maturity
Water (W) Alter (A) (U) (S)
 - PEACHY PINE - 12
Cordia alliodora 3' maturity
Water (W) Alter (A) (U) (S)
- DESERT ACCENTS**
- SPANISH BROOM - 12
5' gal. 2-4' mat./10" x 10" maturity
Water (W) Alter (A) (U) (S)
 - FLOWERING GUM - 20
Asterisma linearis 2' maturity
Water (W) Alter (A) (U) (S)
 - PINO MUGO - 3
5' gal. 12-15" mat./2' x 3' maturity
Water (W) Alter (A) (U) (S)
 - REGAL HEART - 15
Hesperaloe parviflora
5' gal. 12-15" mat./2' x 3' maturity
Water (W) Alter (A) (U) (S)
 - POTENTILLA - 14
1.5' gal. 2-3' mat./2' x 3' maturity
Water (W) Alter (A) (U) (S)
 - PLUM LOVER - 16
1.5' gal. 2-3' mat./2' x 3' maturity
Water (W) Alter (A) (U) (S)
- GRANDCOVERS**
- HONOLULU - 19
1.5' gal. 18-21" mat./2' x 3' maturity
Water (W) Alter (A) (U) (S)
- LANDSCAPES**
- CRUSHED GRAVEL - 3.5 BOLDERS
 - 1-1/4" BAZON GRAVEL WITH FILTER FABRIC 3" DEPTH
 - 3-4" SAN LUYVAES GOLD COBBLE WITH FILTER FABRIC
- NOTES TO CLIENT:**
- NOTE: The client is responsible for providing all plants and materials. The client shall be responsible for the maintenance and care of all plants and materials. The client shall be responsible for the removal and disposal of all plants and materials.

GRAVEL ACCENT DETAIL



ISAACSON & ARMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505 266 8833 www.isaacson.com



The Hilltop
Landscape Architects & Consultants
Cont. Lic. #28458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9890
Fax (505) 898-7737
www.hilltoplandscape.com

NO.	DESCRIPTION	DATE
1	By: Author	4/1/13
2	By: Landscaping Consultant	4/1/13
3	Checked by: Author	4/1/13



PROJECTIONS

0 1/8" (CONTRACT)

0 1/4" (CONTRACT)

1/2" (CONTRACT)

3/4" (CONTRACT)

1" (CONTRACT)

1 1/2" (CONTRACT)

2" (CONTRACT)

3" (CONTRACT)

4" (CONTRACT)

6" (CONTRACT)

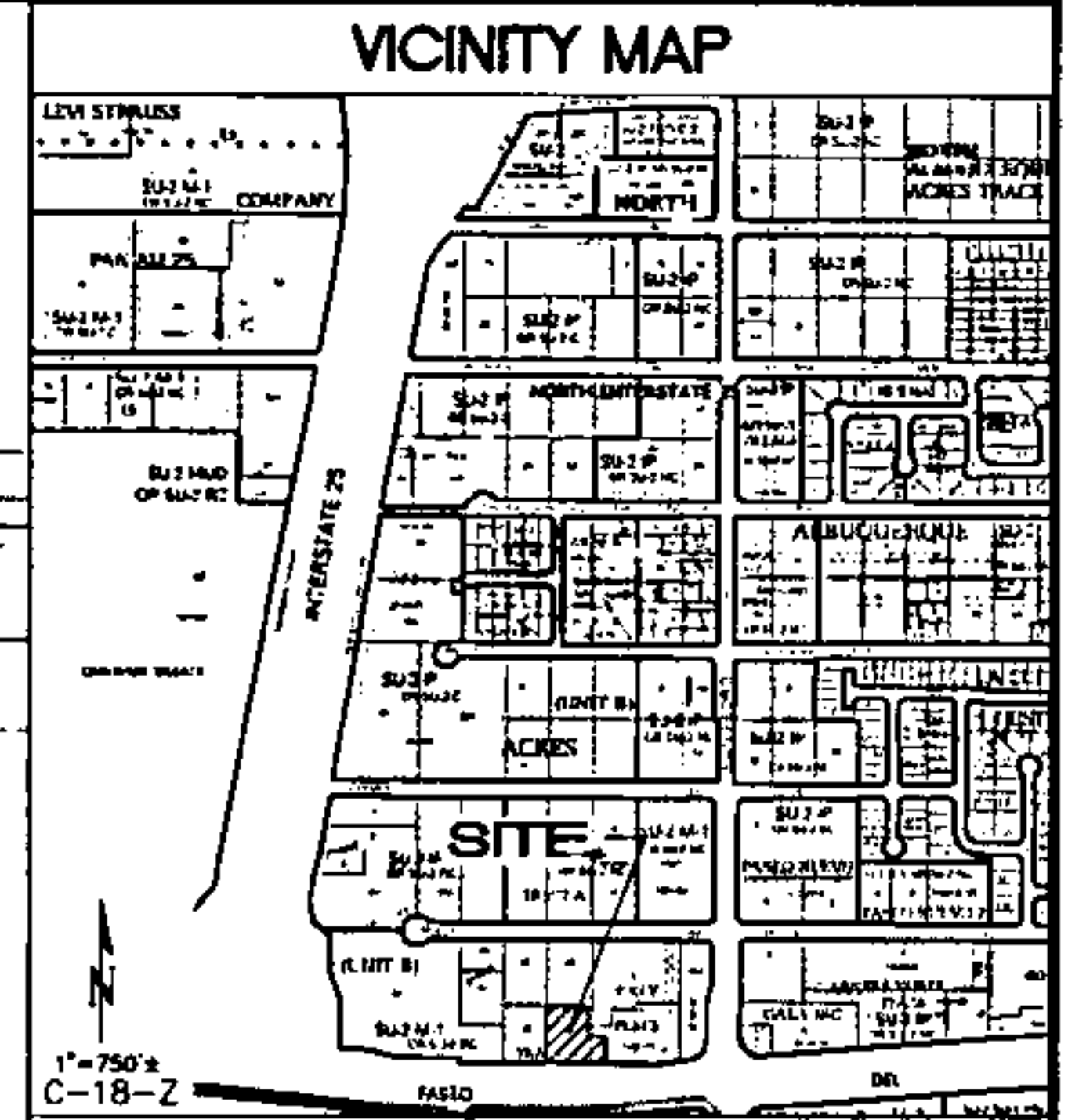
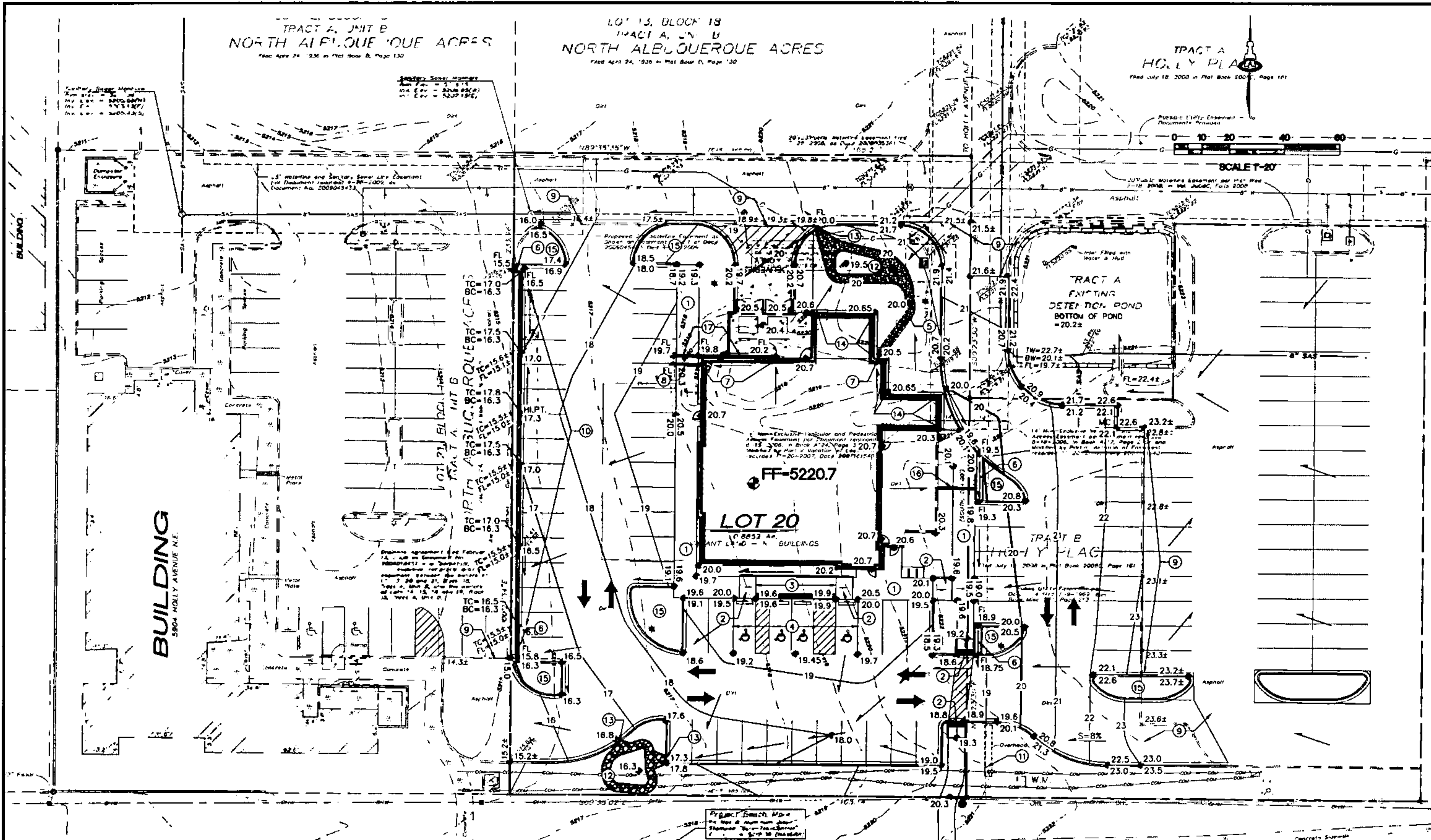
8" (CONTRACT)

12" (CONTRACT)

18" (CONTRACT)

24" (CONTRACT)

hcklover architect
10955 LOWELL AVENUE, SUITE 700 • OVERLAND PARK, KS 66210
ph: 913.649.8181 • fx: 913.649.1275 • www.klover.net



GENERAL NOTES

A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.

B. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFF-SITE.

C. ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.

D. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.

E. UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.

F. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.

G. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.

H. OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.

I. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS) A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.

J. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.

K. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW AREAS ARE SHOWN AS MATCH OR \pm , TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND LEVEL.

L. ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGLUM F A C E D ROCK PLACED OVER G O I E X 5 0 1 N O N - W O V E N G E O T E X T I L E (O.E.).

M. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

khckloverarchitect

10855 LOWELL AVENUE, SUITE 700 • OVERLAND PARK, KS 66210
ph: 913.649.8181 • f: 913.649.1275 • www.khcklover.net

KEYED NOTES

- CONCRETE WALK WITH TURN-DOWN EDGE. SEE DETAIL ON CP-501.
- ADA ACCESSIBLE RAMP. SEE DETAIL ON CP-501.
- SIDEWALK FLUSH WITH PAVING.
- ADA ACCESSIBLE PARKING AREA WITH 2% MAXIMUM SLOPE IN ANY DIRECTION. SEE DETAIL ON CP-501.
- FRACTURED FACE ROCK SWALE. SEE GENERAL NOTE 'L'. SEE DETAIL ON CG-501.
- 2' WIDE CONCRETE RUNDOWN. SEE DETAIL ON CP-501.
- ROOF DRAIN LOCATION. SEE ARCHITECTURAL PLANS.
- EXTEND 4" ROOF DRAIN THROUGH FACE OF WALK. SEE DETAIL ON CG-501.
- THE NEW PAVING TO EXISTING PAVING. PROVIDE SMOOTH TRANSITION.
- EXTENDED DEPTH HEADER CURB WITH GUTTER TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE DETAIL ON CG-501.
- EXISTING SIGN. CONTRACTOR TO PROTECT DURING CONSTRUCTION.
- 6" DEEP WATER HARVESTING AREA WITH FRACTURED FACE ROCK SIDE SLOPES AT 6:1. MUST BE AT LEAST 10' AWAY FROM BUILDING FOOTPRINT. SEE GENERAL NOTE 'L'.
- 2' WIDE CURB OPENING. SEE DETAIL ON CG-501.
- CONSTRUCT 6" WIDE CONCRETE MOW CURB ADJACENT TO BUILDING THIS AREA TO ACHIEVE GRADES SHOWN. SEE DETAIL ON CG-501.
- DEPRESS AREA LANDSCAPING MIN. 6" TO PROVIDE WATER HARVESTING EXCEPT FOR ALL AREAS WITHIN 10' OF BLDG.
- TRENCH DRAIN THROUGH SIDEWALK. SEE DETAIL ON CG-501. CUT GRATE AS NEEDED TO ALLOW ROOF DRAIN FLOWS TO ENTER TRENCH DRAIN.
- TRENCH DRAIN TO CAPTURE ROOF DRAIN FLOWS, AND DIRECT THEM TO THE WESTERN PARKING AREA. SEE DETAIL ON CG-501. CUT GRATE AS NEEDED TO ALLOW ROOF DRAIN FLOWS TO ENTER TRENCH DRAIN.

PASEO DEL NORTE BOULEVARD N.E.
PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, TOGETHER WITH PORTIONS OF TRACT B, HOLLY PLACE.

AREA: 1.16 ACRES

BENCHMARK: VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-C18" HAVING A PUBLISHED ELEVATION OF 5232.470' (NAVD 1988)

SURVEYOR: SURV-TEK, INC.
6384 VALLEY VIEW DR NW
ALBUQUERQUE, NM 87114
RUSS T. HUGG, PLS
(505) 897-3386

FLOOD HAZARD: THIS SITE IS OUTSIDE OF THE 100-YEAR FLOOD PLAIN. PER FEMA FIRM PANEL 30001C0137M DATED AUGUST 18, 2012

EXISTING CONDITIONS: THIS SITE IS AN UNDEVELOPED, PREVIOUSLY GRADED PROPERTY, THAT IS PART OF THE MASTER PLANNED HOLLY PLACE (AKA PASEO PLACE) COMMERCIAL PROJECT. PASEO DEL NORTE IS TO THE SOUTH. THERE ARE EXISTING DEVELOPMENTS TO THE EAST AND WEST, WITH UNDEVELOPED COMMERCIAL TRACTS TO THE NORTH.

THE PROPERTY SLOPES TO THE WEST, AND HAS HAD PREVIOUS GRADING ACTIVITIES.

PROPOSED CONDITIONS: PER THE MASTER DRAINAGE PLAN, THIS SITE IS ALLOWED FREE DISCHARGE FOR UP TO 85% TYPE D LAND TREATMENT. STORM WATER FROM THE THIS SITE WILL BE DIRECTED TO THE WEST.

BASINS 1, 2, & 3 ARE DIRECTED TO THE SE CORNER OF THE PROPERTY, WHERE THEY ARE SURFACE DISCHARGED TO THE ADJACENT PARKING LOT THROUGH CONCRETE RUNDOWNS AND A DRIVE PATH CONNECTION.

BASIN 4, WHICH INCLUDES THE ROOF RUNOFF, IS DIRECTED NORTH, WHERE IT DISCHARGES THE SITE EITHER TO THE ADJACENT PARKING LOT THROUGH A CONCRETE RUNDOWN, OR NORTH TO THE EXISTING ACCESS ROAD.

BASIN 5 IS AN EXISTING PARKING AREA THAT IS BEING INCORPORATED INTO THE APPLBEE'S PROPERTY. THE BASIN FLOWS TO THE EXISTING RETENTION POND ON THE NORTHEAST CORNER OF THE BASIN.

SEE CALCULATIONS ON SHEET CG-501

LEGEND

- - - - EXISTING CONTOUR
- TC=15.5±x EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5220.7 FINISH FLOOR ELEVATION

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 www.isacvll.com
1988 CG-101.dwg Sep 20, 2013

project title

Applebees
Lot 20 Holly Place
ALBUQUERQUE, NEW MEXICO 87245

project number
1302401a

drawing issuance
NO PERMIT 05.31.2013

drawing revisions

No.	Description	Date
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professionalseal

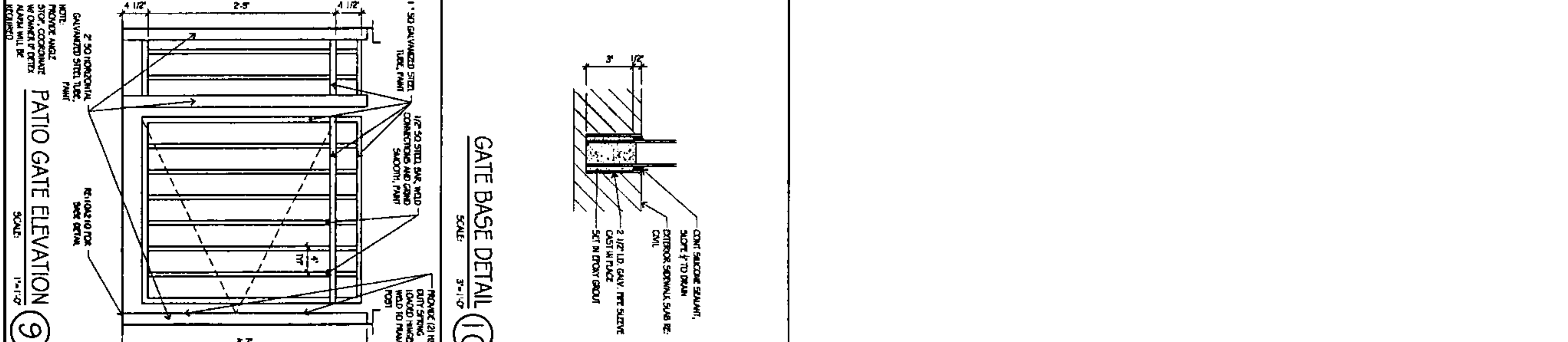
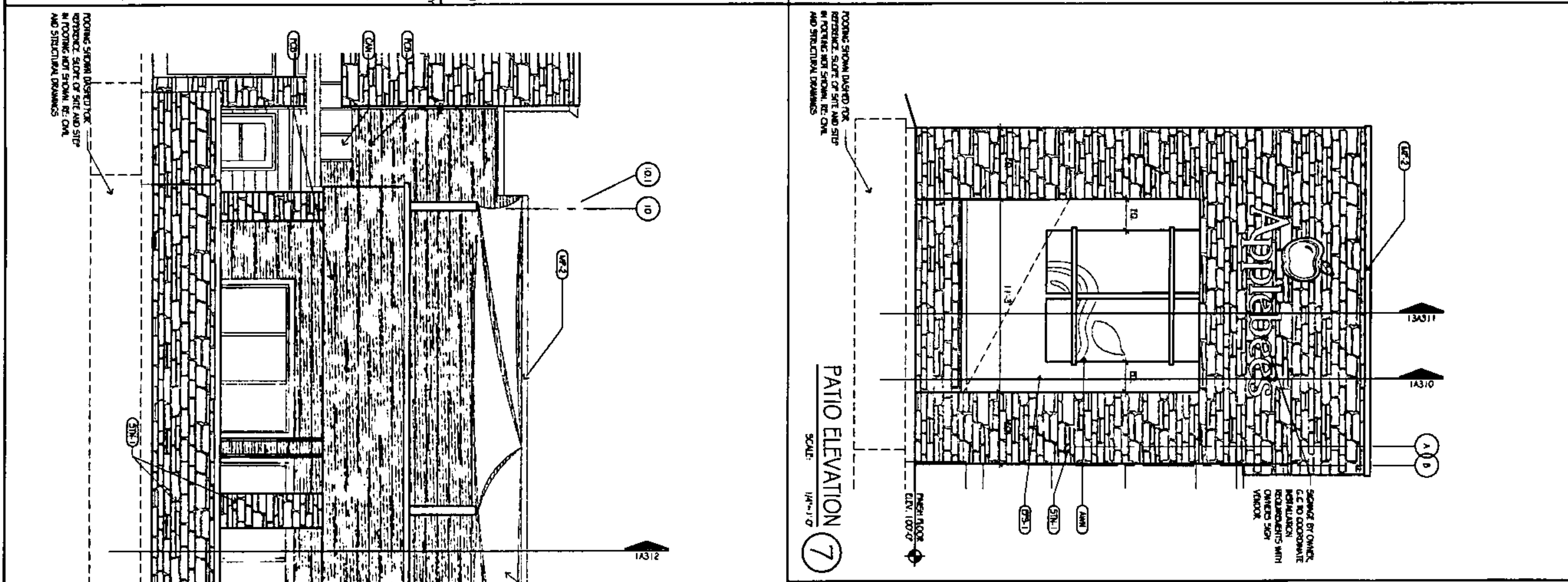
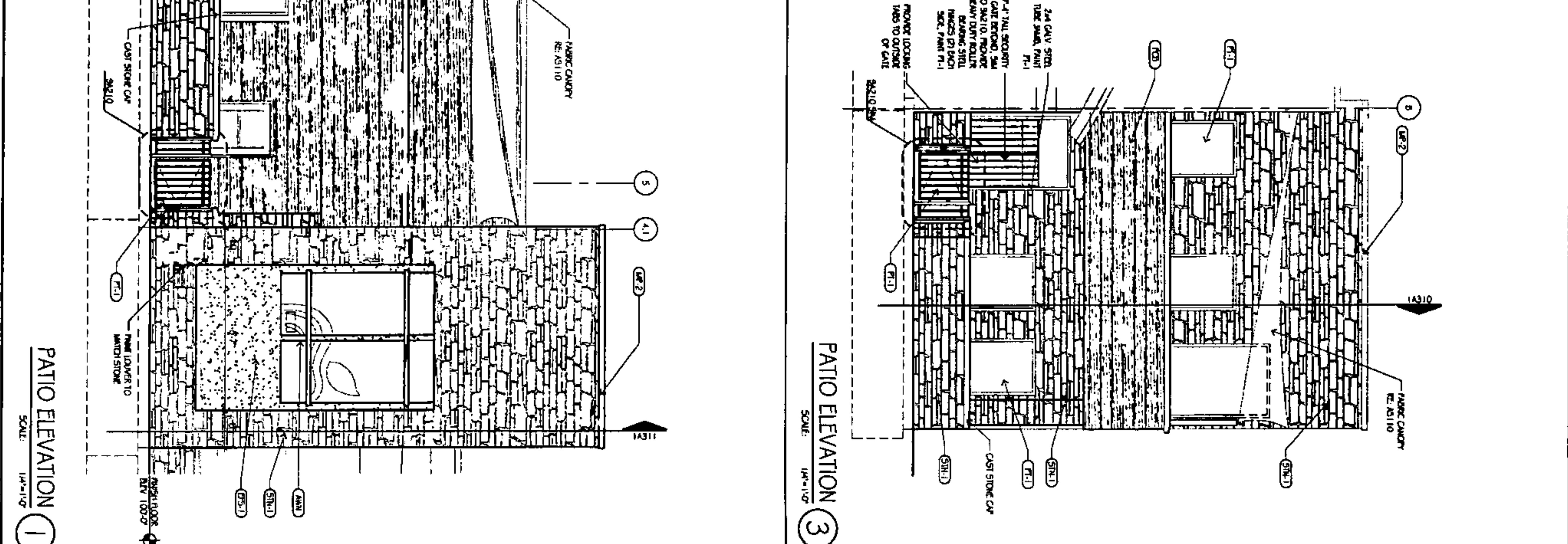
ISAACSON & ARFMAN, P.A.
Professional Engineer
New Mexico
1988

drawing title
GRADING & DRAINAGE PLAN

drawing number
CG-101



- NOTES: 1. SEE GENERAL NOTES ON SHEET 01. 2. SEE SPECIFICATIONS FOR MATERIALS AND FINISHES. 3. SEE NOTES ON SHEET 02 FOR FINISH SCHEDULE. 4. SEE NOTES ON SHEET 03 FOR PATIO ELEVATION 1. 5. SEE NOTES ON SHEET 04 FOR PATIO ELEVATION 3. 6. SEE NOTES ON SHEET 05 FOR PATIO ELEVATION 7. 7. SEE NOTES ON SHEET 06 FOR PATIO GATE ELEVATION 9. 8. SEE NOTES ON SHEET 07 FOR GATE BASE DETAIL 10. 9. SEE NOTES ON SHEET 08 FOR EXTERIOR FINISH SCHEDULE. 10. SEE NOTES ON SHEET 09 FOR REMOVALS.



FINISH	PATTERN
SMOOTH EXTERIOR SURFACE OF CONCRETE	CONCRETE
SMOOTH EXTERIOR SURFACE OF BRICK	BRICK
SMOOTH EXTERIOR SURFACE OF STONE	STONE
SMOOTH EXTERIOR SURFACE OF PLASTER	PLASTER
SMOOTH EXTERIOR SURFACE OF GIPSUM BOARD	GIPSUM BOARD
SMOOTH EXTERIOR SURFACE OF SHEET ROOFING	ROOFING
SMOOTH EXTERIOR SURFACE OF METAL	METAL
SMOOTH EXTERIOR SURFACE OF GLASS	GLASS
SMOOTH EXTERIOR SURFACE OF WOOD	WOOD
SMOOTH EXTERIOR SURFACE OF PAINT	PAINT
SMOOTH EXTERIOR SURFACE OF STAIN	STAIN
SMOOTH EXTERIOR SURFACE OF POLISH	POLISH
SMOOTH EXTERIOR SURFACE OF VARNISH	VARNISH
SMOOTH EXTERIOR SURFACE OF SEALANT	SEALANT
SMOOTH EXTERIOR SURFACE OF ADHESIVE	ADHESIVE
SMOOTH EXTERIOR SURFACE OF GROUT	GROUT
SMOOTH EXTERIOR SURFACE OF MORTAR	MORTAR
SMOOTH EXTERIOR SURFACE OF PLASTER	PLASTER
SMOOTH EXTERIOR SURFACE OF GIPSUM BOARD	GIPSUM BOARD
SMOOTH EXTERIOR SURFACE OF SHEET ROOFING	ROOFING
SMOOTH EXTERIOR SURFACE OF METAL	METAL
SMOOTH EXTERIOR SURFACE OF GLASS	GLASS
SMOOTH EXTERIOR SURFACE OF WOOD	WOOD
SMOOTH EXTERIOR SURFACE OF PAINT	PAINT
SMOOTH EXTERIOR SURFACE OF STAIN	STAIN
SMOOTH EXTERIOR SURFACE OF POLISH	POLISH
SMOOTH EXTERIOR SURFACE OF VARNISH	VARNISH
SMOOTH EXTERIOR SURFACE OF SEALANT	SEALANT
SMOOTH EXTERIOR SURFACE OF ADHESIVE	ADHESIVE
SMOOTH EXTERIOR SURFACE OF GROUT	GROUT
SMOOTH EXTERIOR SURFACE OF MORTAR	MORTAR

GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING.
- ALL WATER FITTING SHALL HAVE JOINT RESTRAINTS.

KEYED NOTES

WATER KEYED NOTES

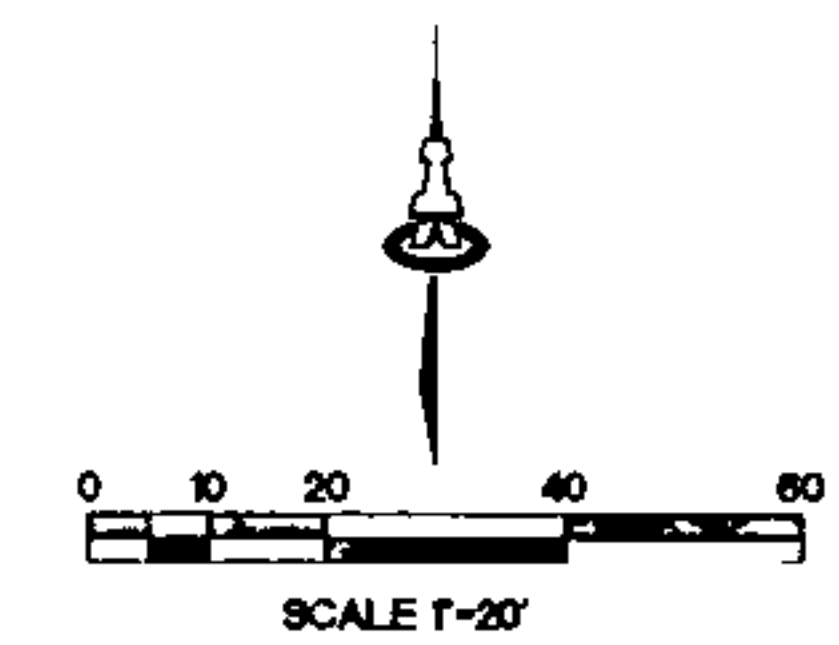
- CONNECT NEW 6" FIRE LINE TO EXISTING 6" STUB.
- 6" FIRE LINE.
- 4" FDC LINE.
- FIRE DEPT. CONNECTION (FDC).
- POST INDICATOR VALVE (PIV).
- 2" SERVICE PER COA STD. DWG. 2261 & 2363.
- 2" WATER SERVICE LINE.
- METER BOX PER COA STD. DWG. 2367.
- 6" - 45° BEND.
- 4" - 45° BEND.
- 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.

SEWER

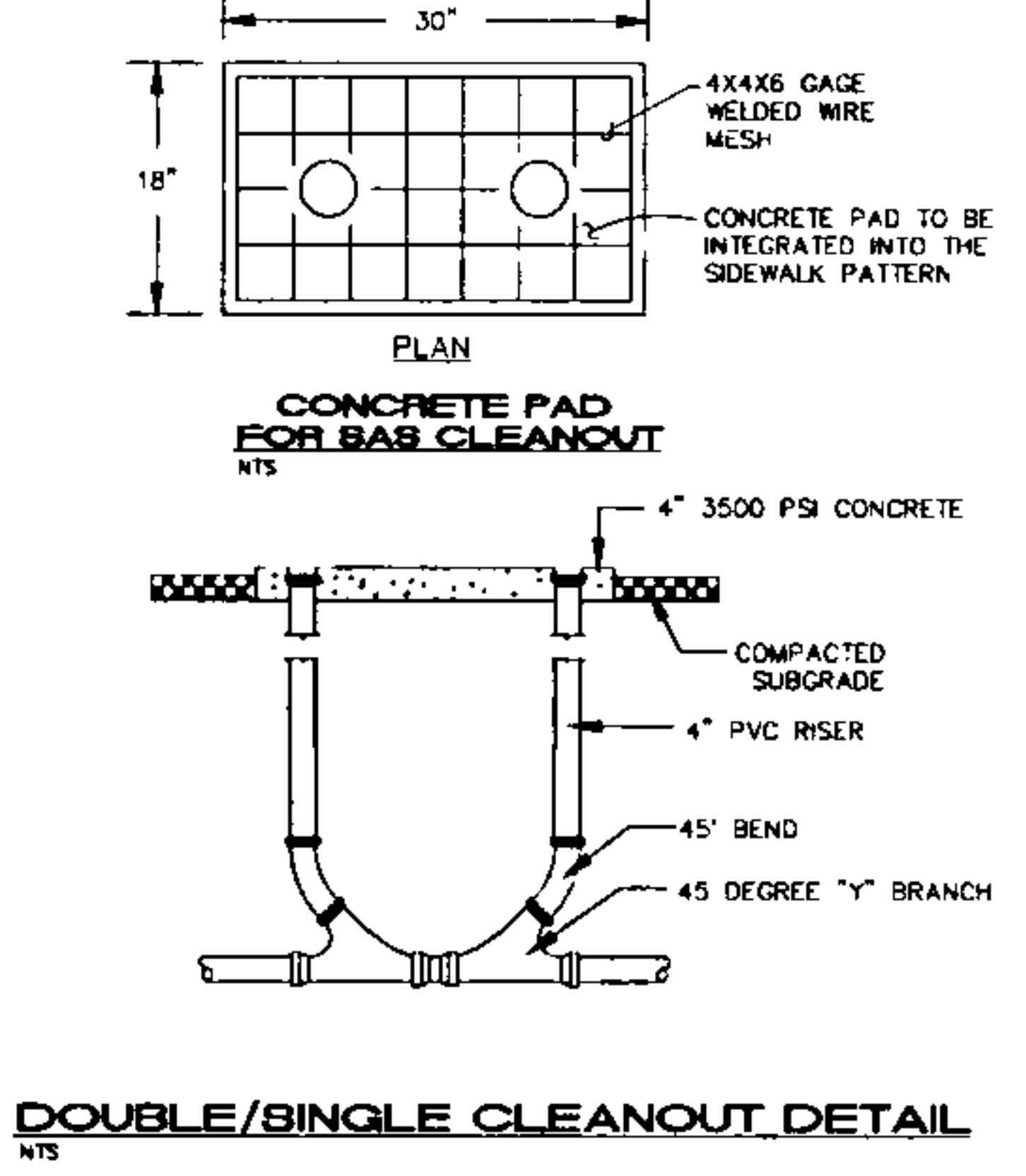
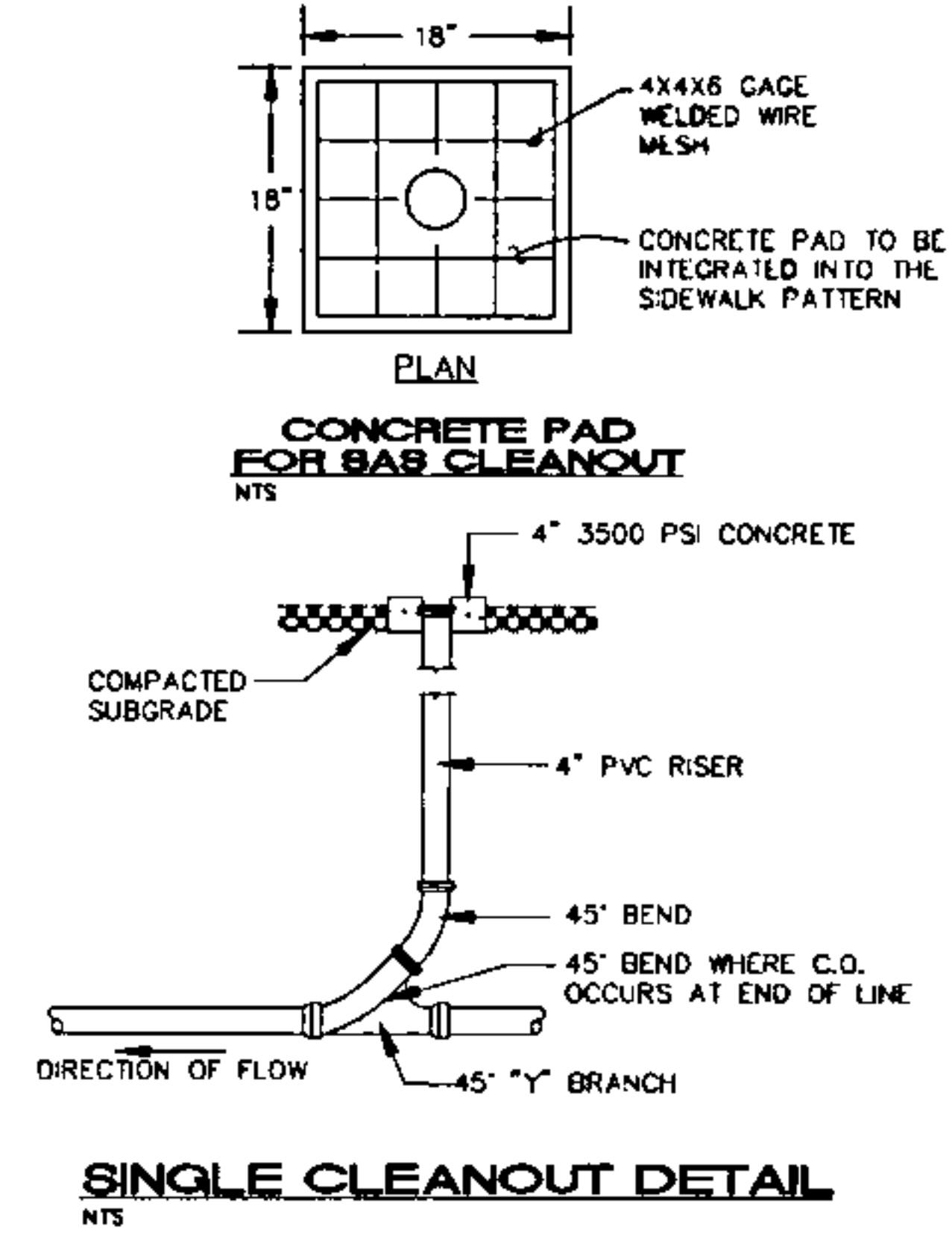
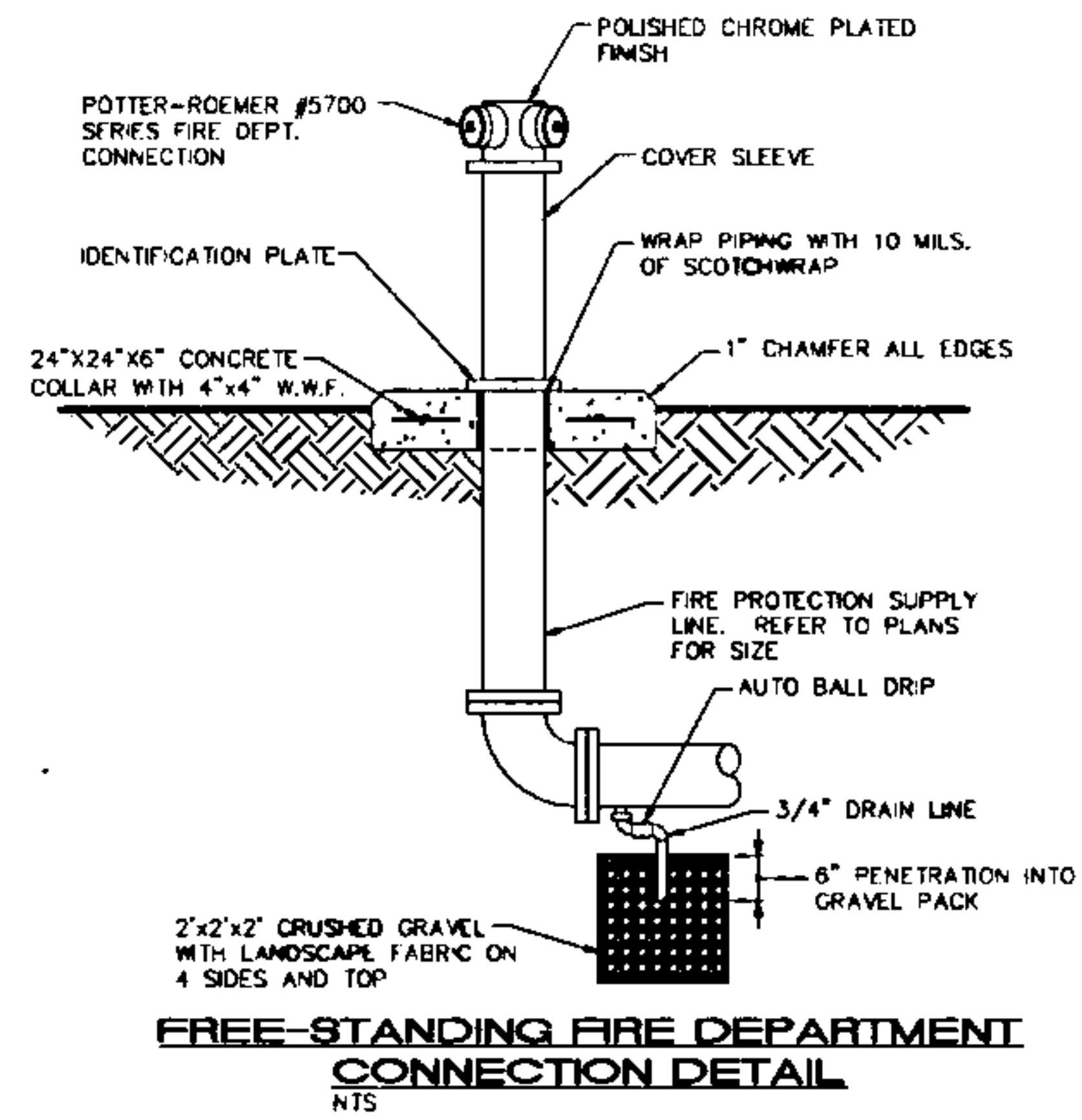
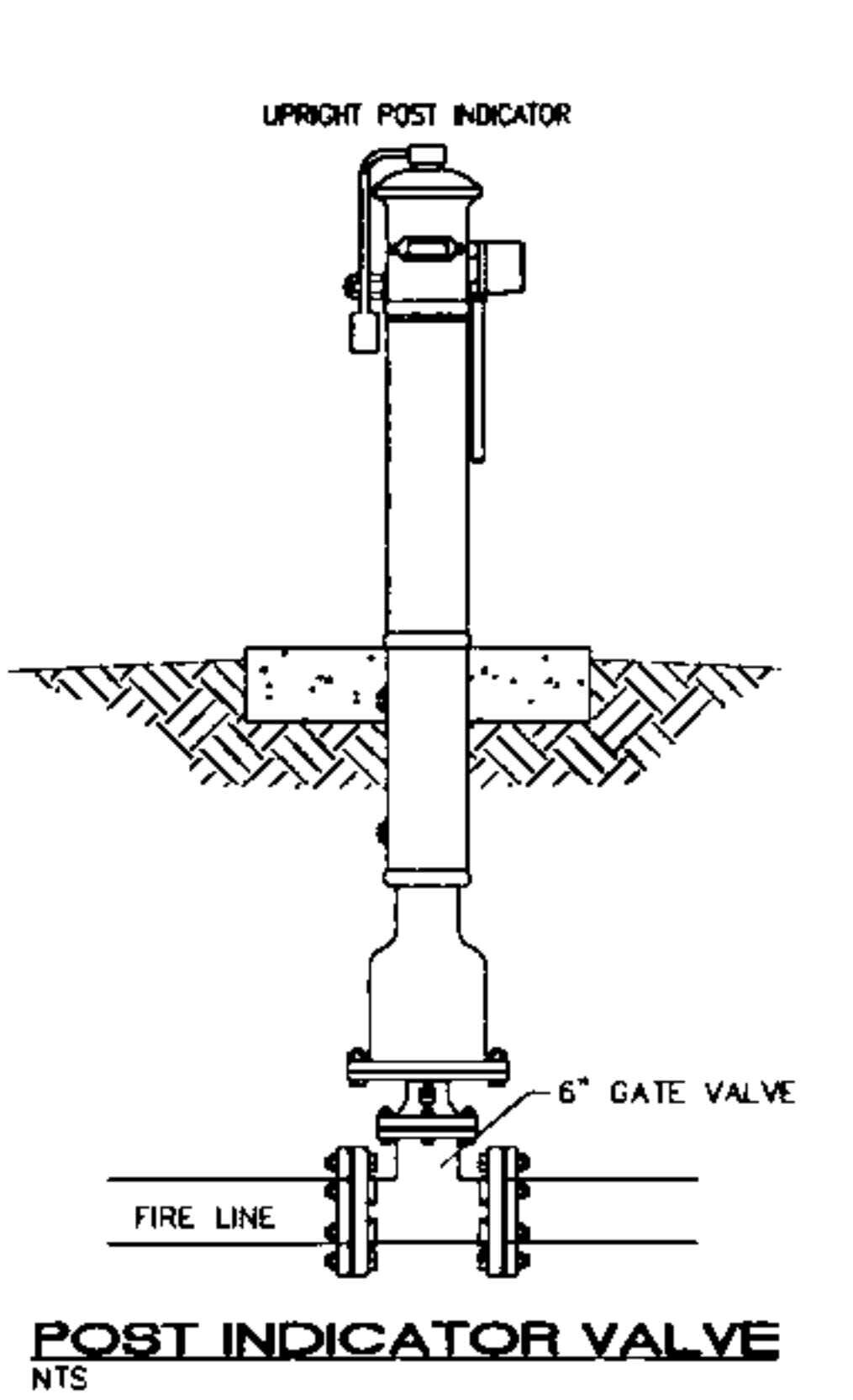
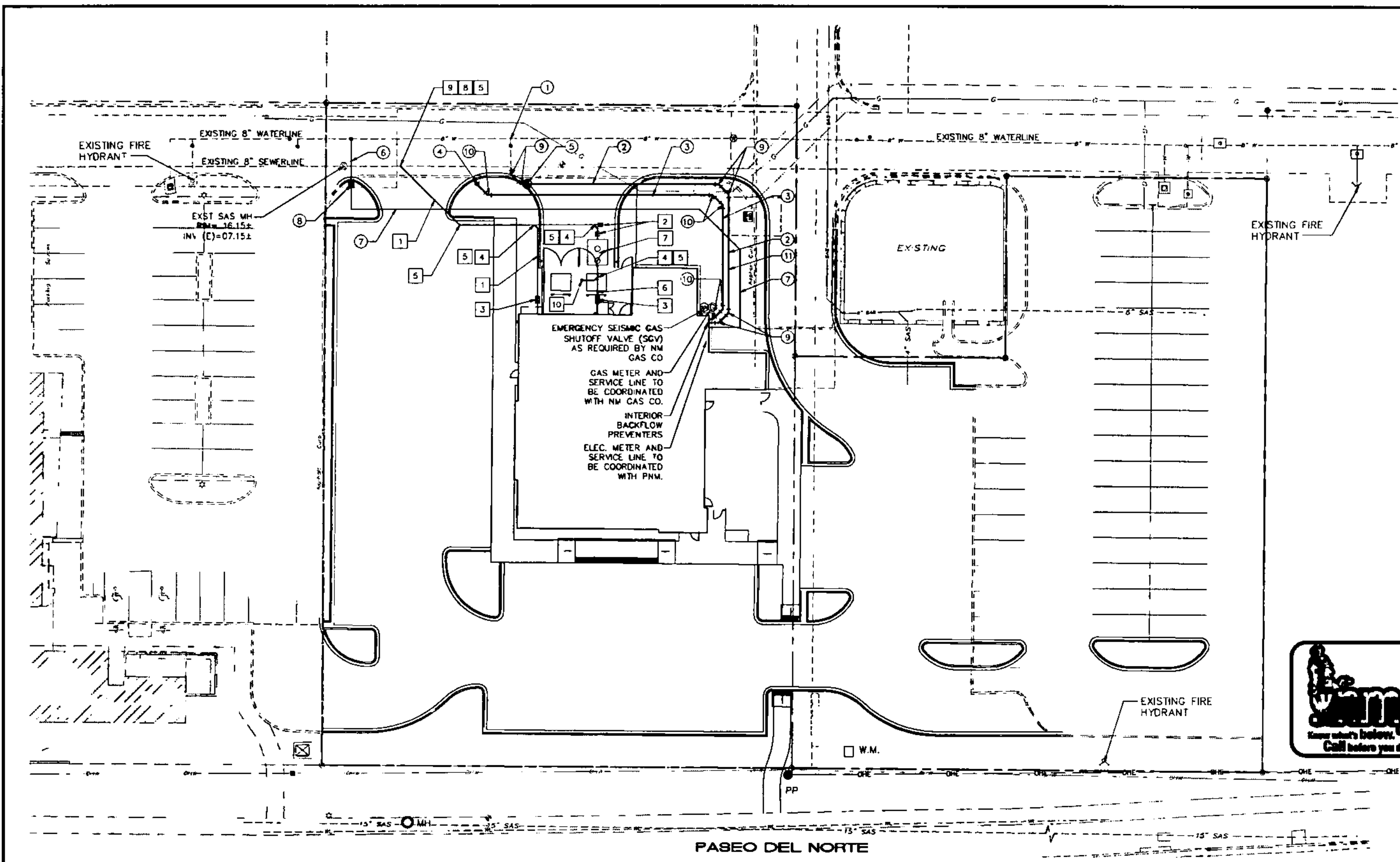
- NEW 4" SAS SERVICE LINE AT 2% MIN. SLOPE.
- SINGLE CLEANOUT PER DETAIL THIS SHEET.
- DOUBLE CLEANOUT PER DETAIL THIS SHEET.
- 4" WYE.
- 4" 45° BEND.
- 6" GREASE LINE
- 1500 GALLON GREASE INTERCEPTOR. SEE MECHANICAL PLANS FOR DETAILS.
- 6" x 4" REDUCER.
- CONNECT NEW SEWER LINE TO EXISTING 6" STUB.
- 4" HEAVY DUTY CAST IRON FLOOR DRAIN W/ P-TRAP.

LEGEND

- WATER METER & BOX
- WATER SERVICE LINE
- SAS SERVICE LINE
- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- NEW GAS METER
- WL- EXISTING WATERLINE
- SAS- EXISTING SEWER LINE



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 1985 CU-101.dwg Sep 24, 2013



chkloverarchitect
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Applebees
 Lot 20 Holly Place
 ALBUQUERQUE, NEW MEXICO, 12345

project number 13024016
 drawing issuance 06.31.2013
 drawing revisions
 100 EXIST PARKING LOT 08-20-13

professionalseal

drawing title **SITE UTILITY PLAN**
 drawing number **CU-101**

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Apple Investors Group, LLC.

PO Box 1180

Chino Hills, Ca. 91709

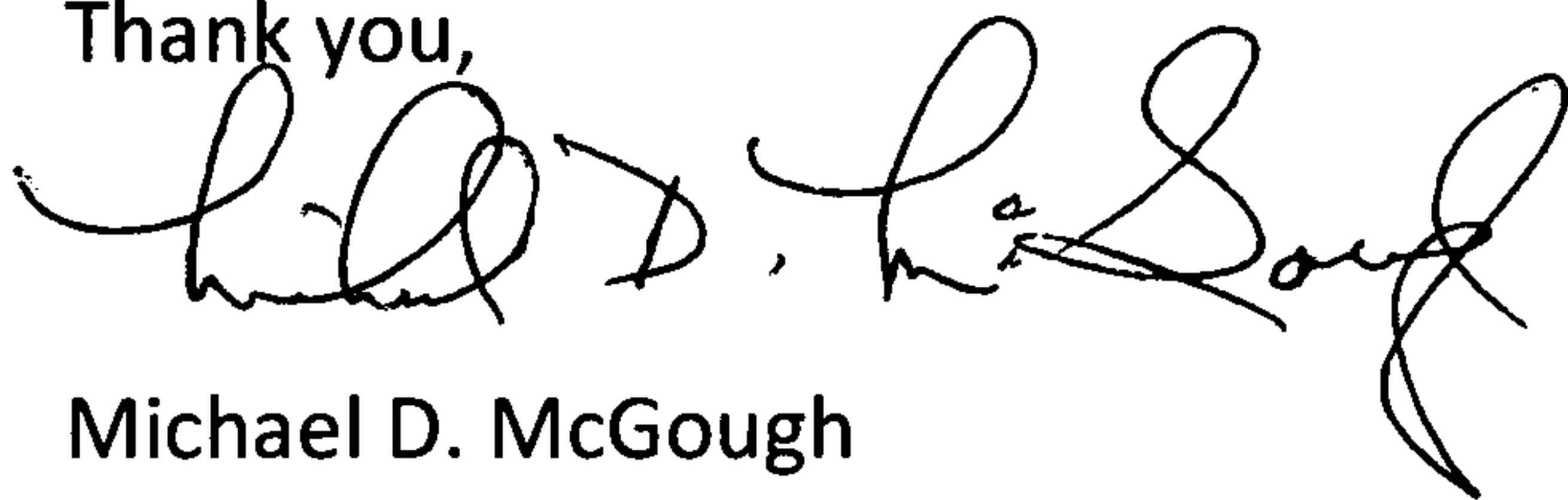
September 27, 2013

To Whom It May Concern:

The firm of Isaacson & Arfman, P.A. is authorized to represent Apple Investors Group, LLC. As an agent in all matters with the City of Albuquerque, New Mexico.

They are our engineers of record for all civil plans, etc. for our Applebee's Restaurant project at 5904 Holly Avenue, Albuquerque NM. 87113

Thank you,

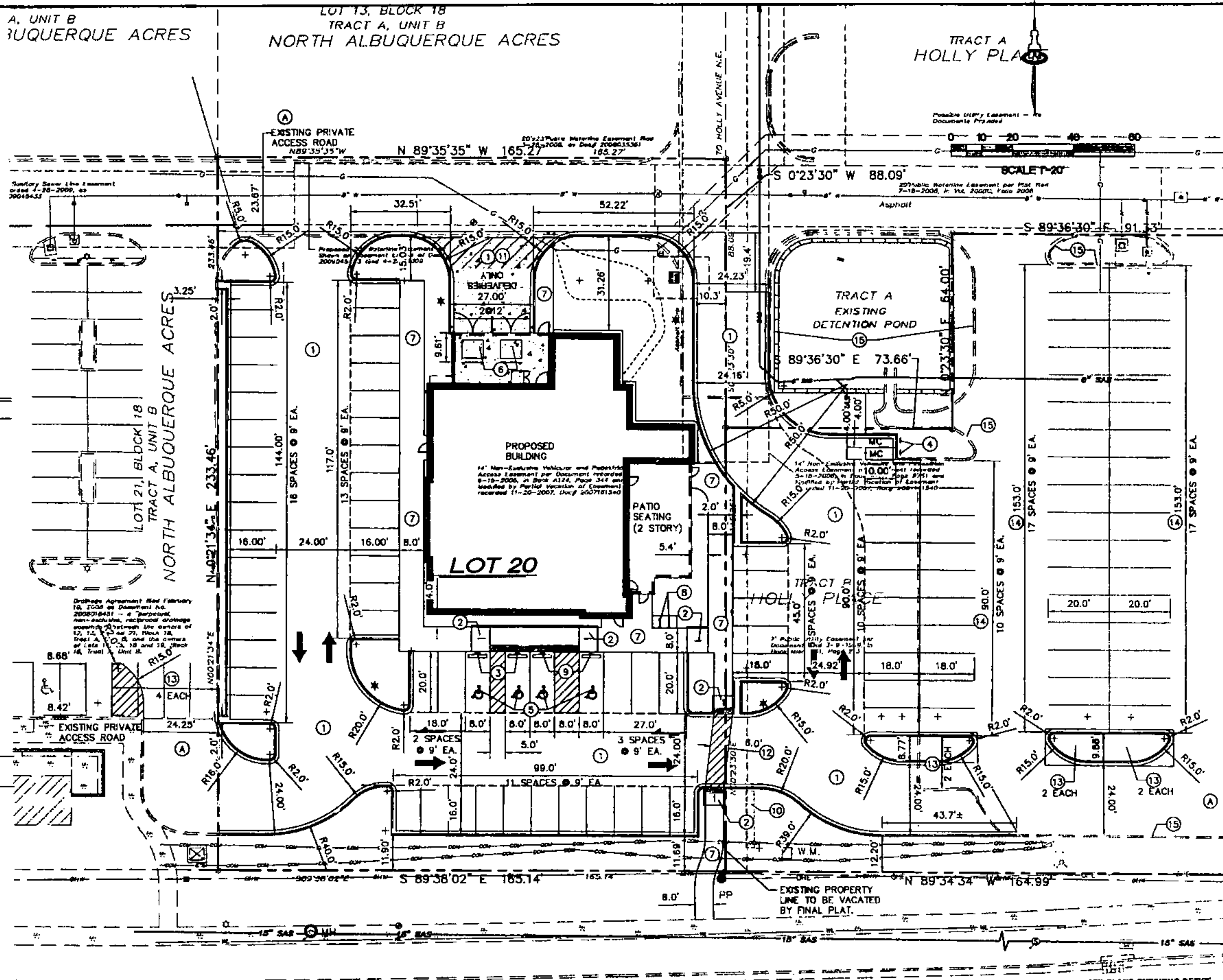
A handwritten signature in black ink, appearing to read "Michael D. McGough". The signature is fluid and cursive, with a large, stylized initial "M".

Michael D. McGough

Director of Development and Facilities

Apple Investors Group, LLC.

770-547-5920 or 909-374-8343



INDEX TO DRAWINGS

SHEET NO.	TITLE
CP-001	SITE DEVELOPMENT PLAN
CP-501	PAVING DETAILS
CG-101	GRADING & DRAINAGE PLAN
CU-101	UTILITY PLAN
LS-101	LANDSCAPE PLAN
A-200	ELEVATIONS (FRONT & SIDE)
A-201	ELEVATIONS (REAR & SIDE)
A-202	ELEVATIONS (PATIO)

EASEMENT NOTES

A. EXISTING PRIVATE CROSS-LOT ACCESS EASEMENT PER DOC# 20080818450 FILED 02/19/08.

GENERAL NOTES

- SIGNAGE SHALL COMPLY WITH CITY DESIGN STANDARDS. ONE SHARED MONUMENT SIGN IS EXISTING ALONG PASEO DEL NORTE. FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
- ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6% OF EACH BUILDING ELEVATION FACADE.
- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE MONTANO PLAZA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 16FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
- ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED (SEE ARCHITECTS ELEVATIONS)
- THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES SUCH AS DEPRESSED LANDSCAPE, SHALL BE PROVIDED WHERE PRACTICAL.
- RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES PER PNM DESIGN GUIDELINES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DEPARTMENT TO COORDINATE ELECTRICAL SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTION.
- FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NM811 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.
- SEE CIVIL DETAIL SHEET, CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0", WITH 2' OVERHANG. 2' OVERHANG INTO LANDSCAPE AREA IS NOT PART OF LANDSCAPE CREDIT.
- ALL ACCESSIBLE PARKING SPACES AS DIMENSIONED AND 20'-0" DEEP.
- ALL MOTORCYCLE PARKING SPACES ARE 4'-0" WIDE BY 10'-0" DEEP.
- ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.
- ALL CURB RADII AT END OF ISLANDS ARE 2'R UNLESS OTHERWISE DIMENSIONED.

PASEO DEL NORTE BOULEVARD NE

PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF A SINGLE-STORY RESTAURANT WITH AN "OUTDOOR" PATIO SPACE, AN OUTDOOR LOFT, AND ASSOCIATED PARKING, ACCESS AND LANDSCAPING TO BE BUILT IN A SINGLE PHASE. THE SITE IS SITUATED ON TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, HAVING A LAND AREA OF 1,569.77 SQ. FT. A PLAT ACTION TO ASSEMBLE THE TRACTS INTO A SINGLE PARCEL IS CURRENTLY BEING PROCESSED THROUGH THE DEVELOPMENT REVIEW BOARD.

MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PEDESTRIAN CONNECTIONS: THE EXISTING PEDESTRIAN SIDEWALK FROM PASEO DEL NORTE TO THE SOUTH WILL CONNECT TO THE ONSITE PEDESTRIAN ACCESS WALK.

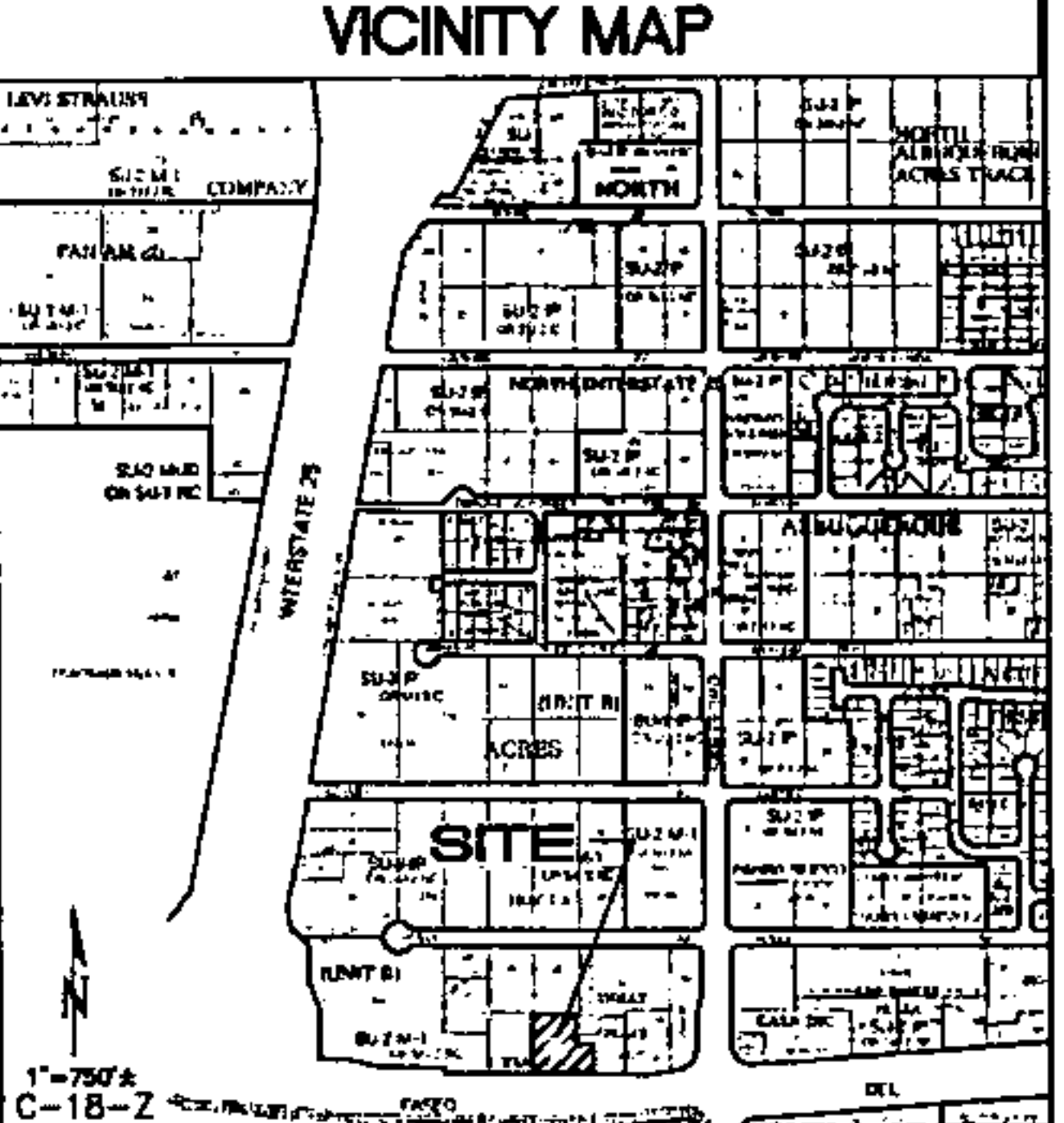
PROJ # 100477Z
13-70693 (S&P)
10-23-13

PROJECT NUMBER:

Application Number:
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWJA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRG Chairperson, Planning Department	Date



PROJECT DATA

LEGAL DESCRIPTION: TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, NM

ZONING: SU-2 FOR M-1

AREAS:
TRACT AREA: 68,377 SF
BUILDING FOOTPRINT: 5,681 SF
PATIO AREA: 1,806 SF
F.A.R. 0.083

PROPOSED USE: RESTAURANT WITH PATIO DINING

PARKING ANALYSIS

STANDARD PARKING SPACES
REQUIRED = 5681 SF / 200 = 29 SPACES
PROVIDED = 60 SPACES

ADA PARKING SPACES
REQUIRED = 4 SPACES
PROVIDED = 4 SPACES (INCLUDING 2 VAN ACCESSIBLE)

MOTORCYCLE PARKING SPACES
REQUIRED = 2 SPACES
PROVIDED = 2 SPACES

BICYCLE PARKING
REQUIRED = 4 SPACES
PROVIDED = 4 SPACES

KEYED NOTES

- PAVED AREAS. SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- ADA ACCESSIBILITY RAMP. SEE DETAILS CP-501.
- ACCESSIBLE PARKING SIGN. SEE DETAIL CP-501.
- MOTORCYCLE PARKING SIGN. SEE DETAIL CP-501.
- ACCESSIBLE PARKING STALL. SEE DETAILS CP-501.
- GARBAGE ENCLOSURE (ROLL-OUT).
- PCC SIDEWALKS. SEE DETAIL SHEET CP-501.
- 2-BIKE RACKS. SEE DETAIL SHEET CP-501.
- VAN ACCESSIBLE PARKING SIGN. SEE DETAIL CP-501.
- EXISTING MONUMENT SIGN, SHARED PER MASTER AGREEMENT.
- GARBAGE/LOADING ACCESS.
- ADA PATH, STRIPED.
- EXISTING PARKING SPACES TO BE REMOVED.
- EXISTING PARKING SPACES TO REMAIN.
- EXISTING TO REMAIN.

PREPARED FOR: APPLE INVESTORS GROUP
917 RAVENWOOD WAY
CANTON, GA 30115

PREPARED BY: ISAACSON & ARFMAN, P.A.
128 MONROE ST NE
ALBUQUERQUE, NM 87108

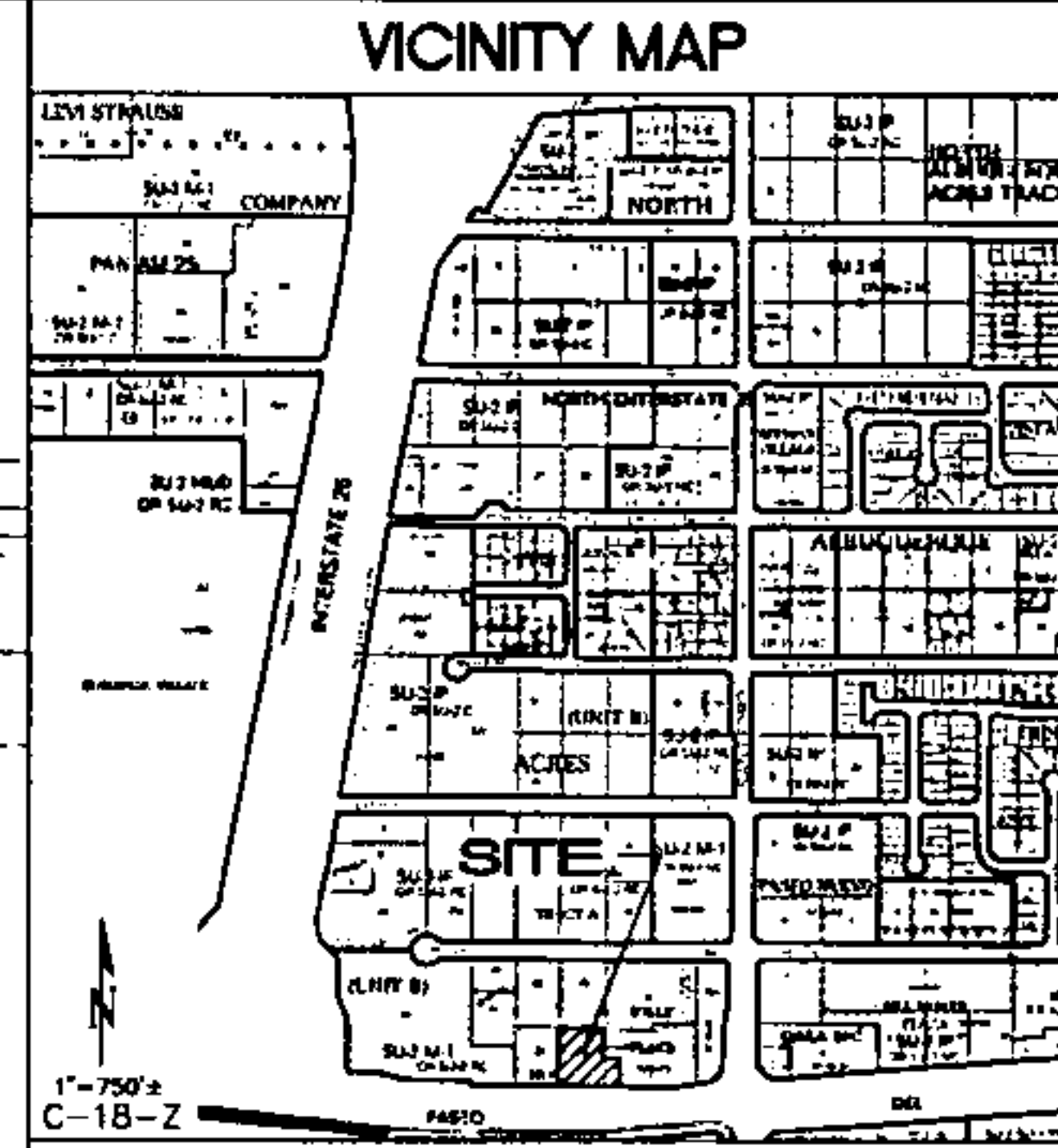
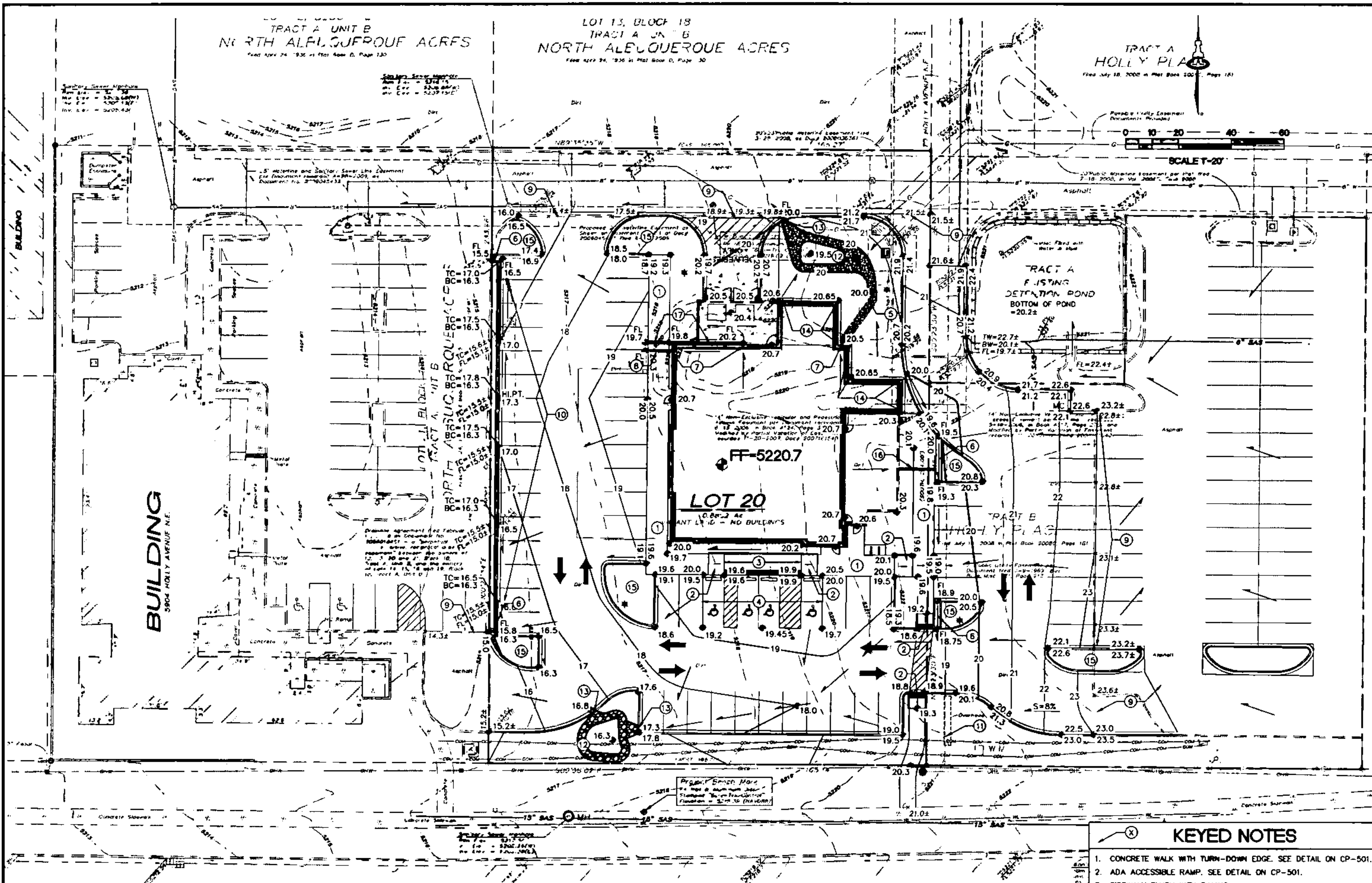
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
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Applebees
Lot 20 Holly Place
ALBUQUERQUE, NEW MEXICO, 12345

project number: 13024616
drawing issuance: 10/23/13
drawing revisions:
professional seal:
drawing title: DEVELOPMENT PLAN FOR BUILDING PERMIT
drawing number:

MAXCAD FILEN(500...), 1/28/2012, 10:55 AM, CG-101.dwg, PLOTTED 13:21:18, 08/13/2012



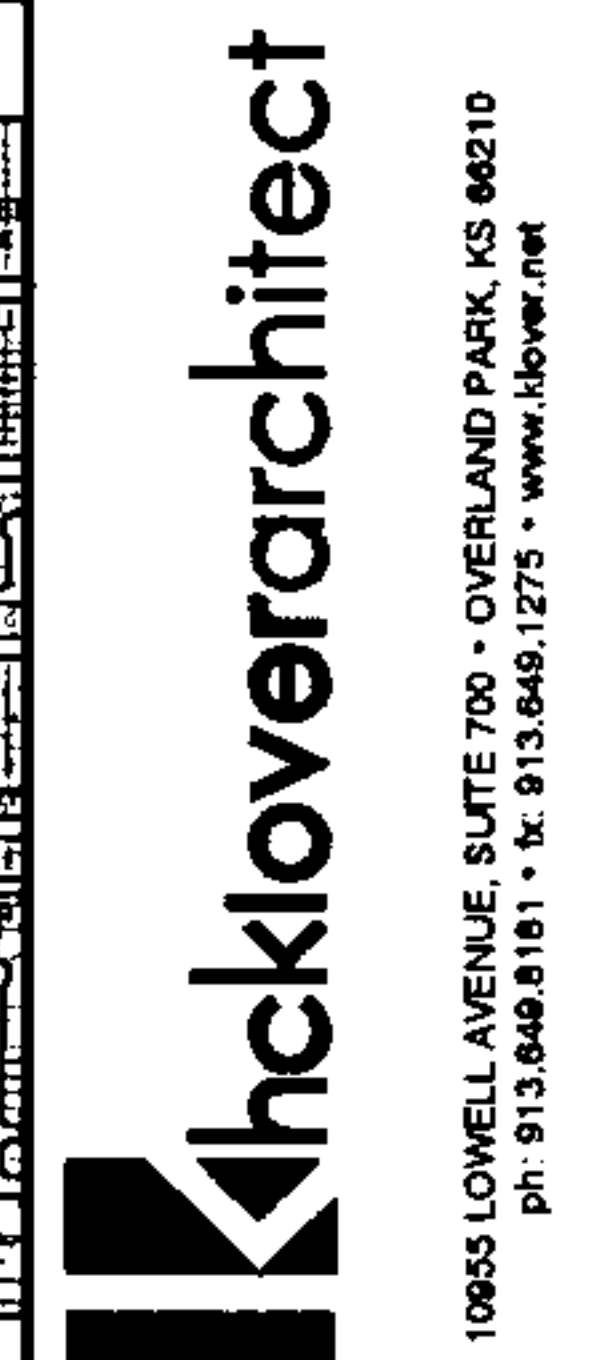
GENERAL NOTES: COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFF-SITE.

KEYED NOTES: 1. CONCRETE WALK WITH TURN-DOWN EDGE. SEE DETAIL ON CP-501. 2. ADA ACCESSIBLE RAMP. SEE DETAIL ON CP-501.

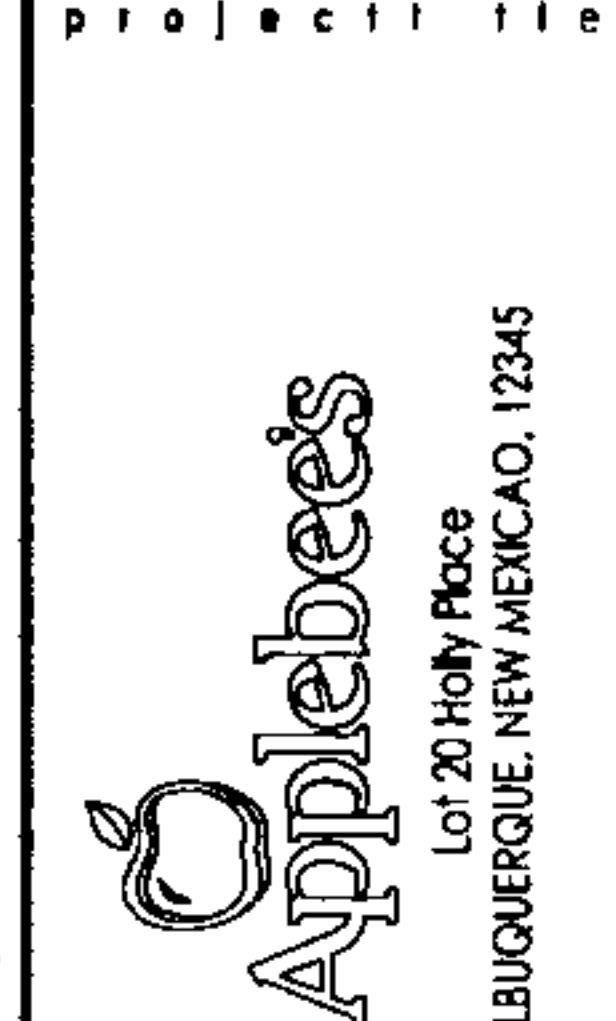
PASEO DEL NORTE BOULEVARD N.E.

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, TOGETHER WITH PORTIONS OF TRACT B, HOLLY PLACE. AREA: 1.16 ACRES.



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project number: 13024016
drawing issuance: 05/31/2013
drawing revisions: NO

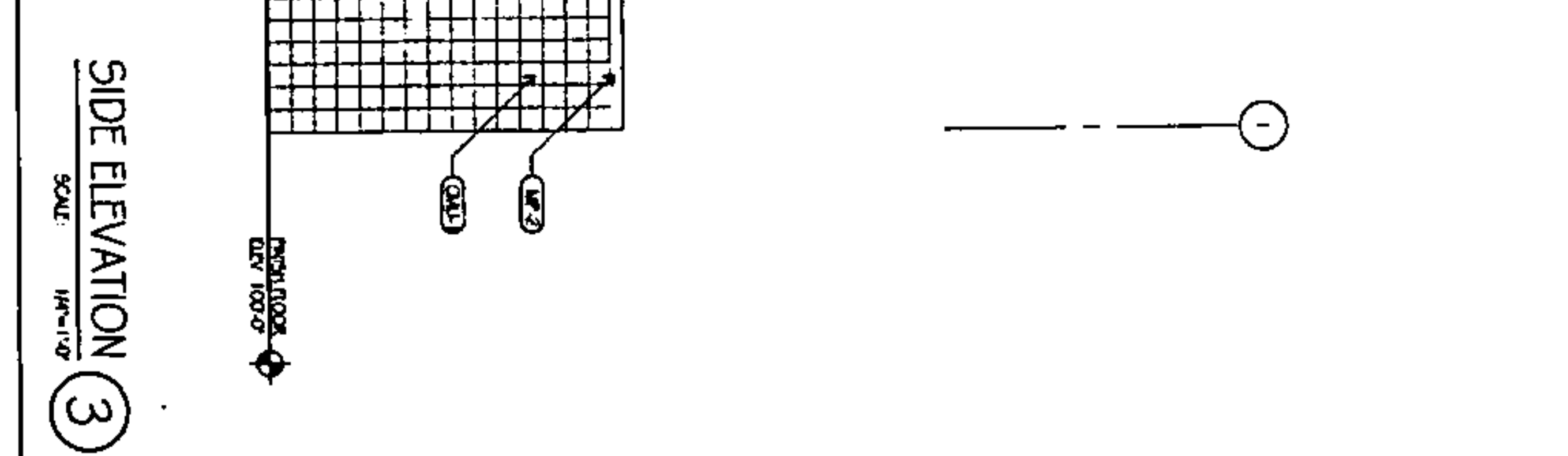
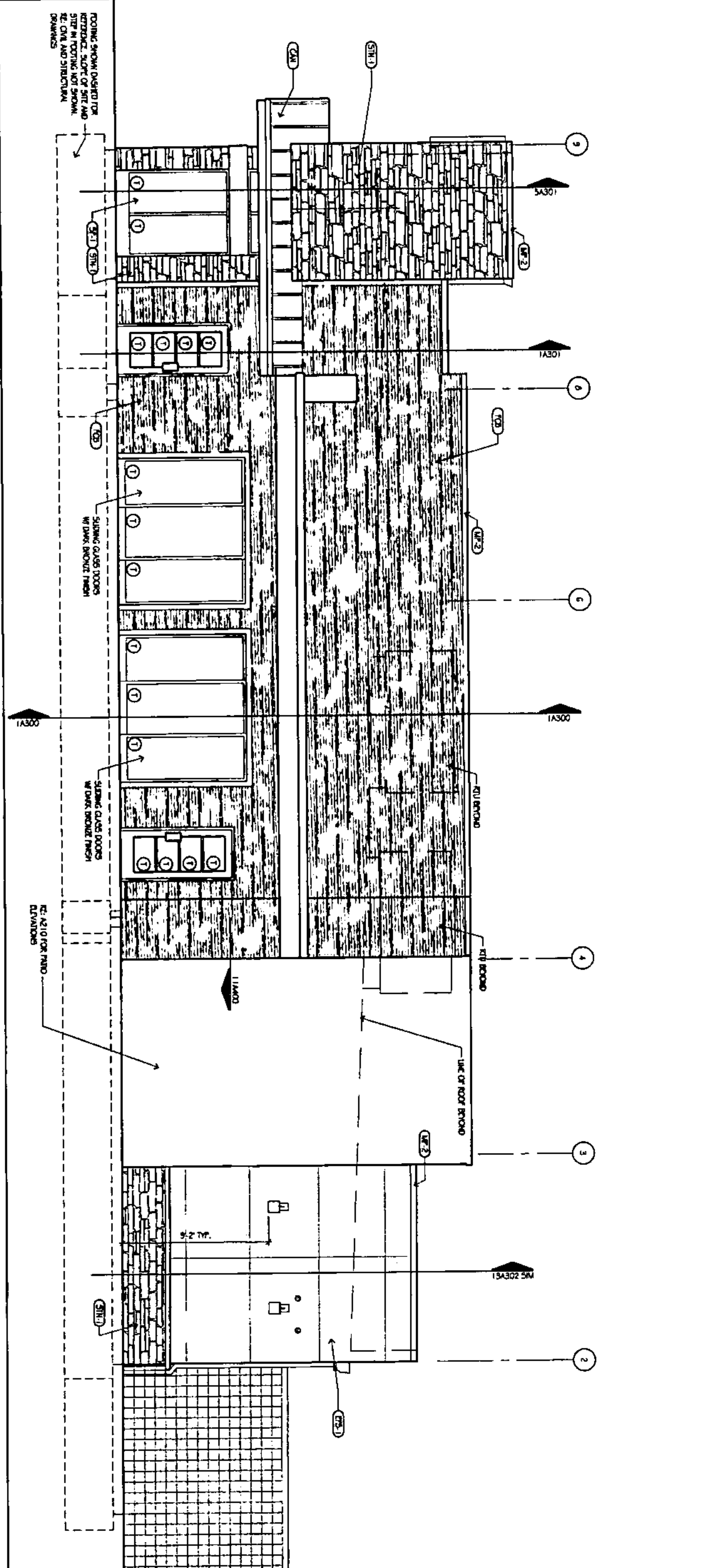


drawing title: GRADING & DRAINAGE PLAN
drawing number: CG-101



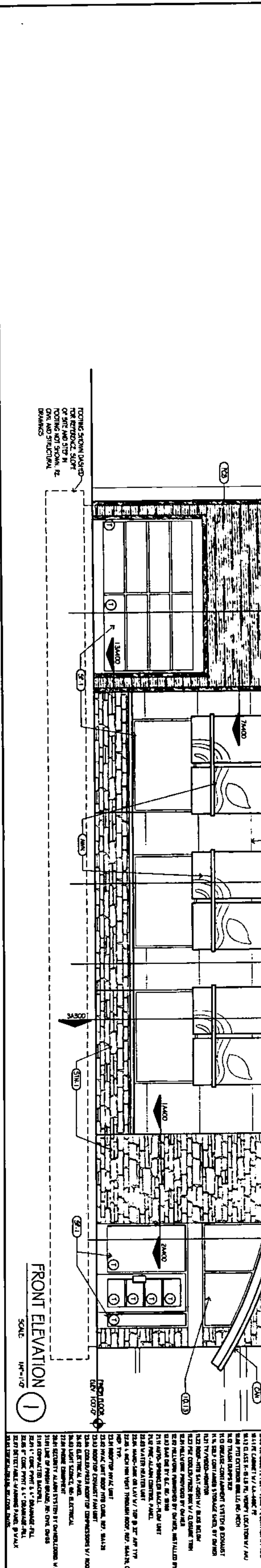
EXTERIOR FINISH SCHEDULE	
FINISH	PATTERN
MAINTENANCE	
FINISH 1	MAINTENANCE
FINISH 2	MAINTENANCE
FINISH 3	MAINTENANCE
FINISH 4	MAINTENANCE
FINISH 5	MAINTENANCE
FINISH 6	MAINTENANCE
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FINISH 48	MAINTENANCE
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FINISH 50	MAINTENANCE

NOTE: 1. SEE NOTES ON DRAWINGS FOR MATERIALS AND FINISHES.
 2. MATERIAL CALIBRATED TO MEET THE REQUIREMENTS OF THE APPLBEE'S BRAND.
 3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND FINISHES.
 4. FINISHES TO BE MATCHED TO THE APPLBEE'S BRAND.



EXTERIOR FINISH SCHEDULE	
FINISH	PATTERN
MAINTENANCE	
FINISH 1	MAINTENANCE
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NOTE: 1. SEE NOTES ON DRAWINGS FOR MATERIALS AND FINISHES.
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- 1. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND FINISHES.
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- 3. FINISHES TO BE MATCHED TO THE APPLBEE'S BRAND.
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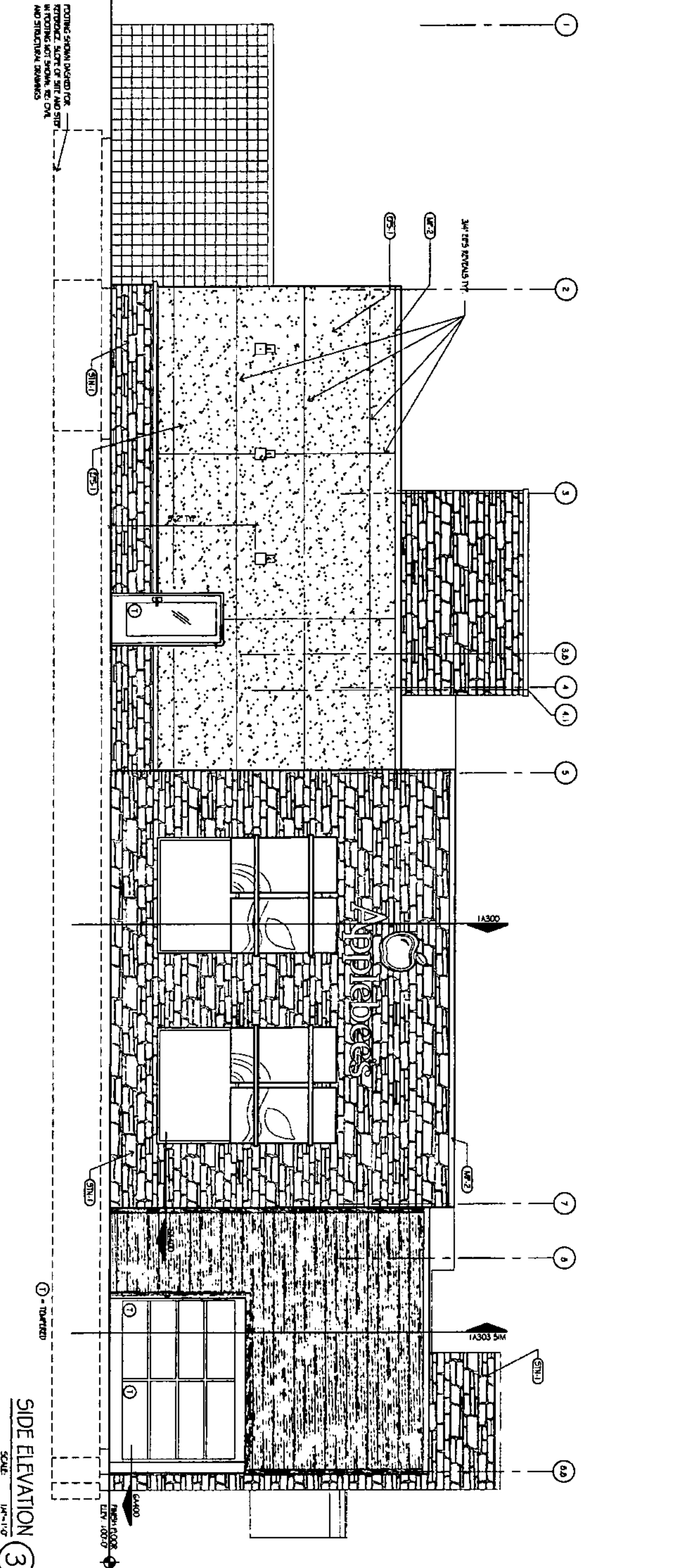
PROFESSIONAL DESIGNER
 DRAWINGS NUMBER
A200
 OTHER DRAWINGS

PROJECT NUMBER
 DRAWINGS NUMBER
 DRAWING REVISIONS



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 ALBUQUERQUE, NEW MEXICO

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SIDE ELEVATION 3
SCALE 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

FINISH	MATERIAL	PATTERN
APPLY-1	APPLY 2" TO 3" COORDINATE INSULATION TO EXTERIOR SURFACE OF CONCRETE WALLS.	
APPLY-2	APPLY 2" TO 3" COORDINATE INSULATION TO EXTERIOR SURFACE OF CONCRETE WALLS.	
5TH-1	STONE VENEER, CULTURED STONE, COLOR MATCHED TO EXISTING STONE VENEER.	
CMU-1	CONCRETE MASONRY UNITS (CMU) WITH EXTERIOR FINISH TO MATCH EXISTING STONE VENEER.	
FT-1	FORM FINISH TO MATCH EXISTING CONCRETE FINISH.	
FT-2	FORM FINISH TO MATCH EXISTING CONCRETE FINISH.	
SM-1	SMOOTH FINE-SHADED SAND/GRANITE/SLATE CEMENT PLASTER TO MATCH EXISTING PLASTER.	
CMU-1	CONCRETE MASONRY UNITS (CMU) WITH EXTERIOR FINISH TO MATCH EXISTING STONE VENEER.	

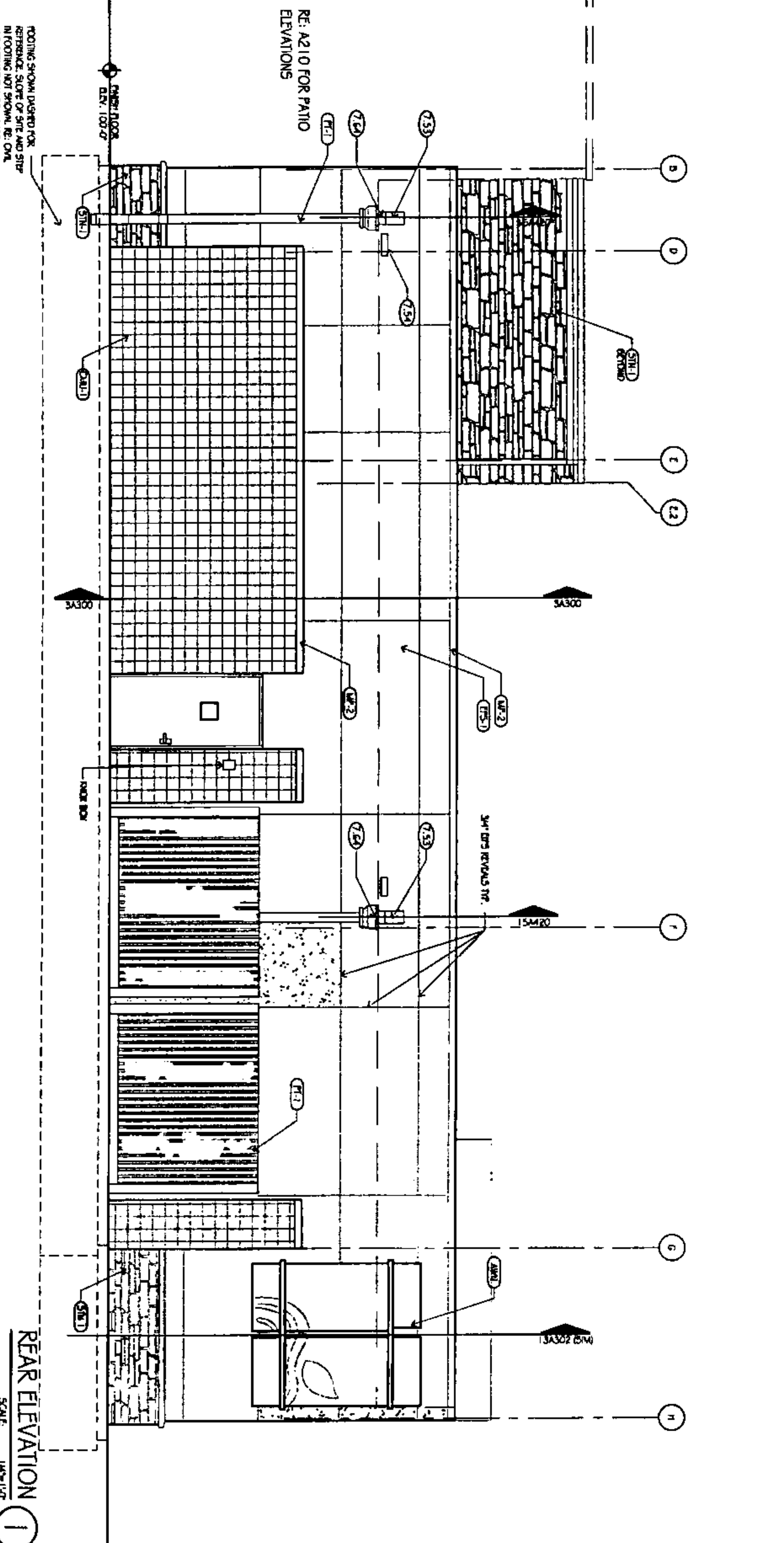
NOTE 1: SET TO VERIFY WITH LANDSCAPE ARCHITECTURE FINISHES AND PAINT COLOR FOR SUBMITTALS TO BE PROVIDED, LISTED OTHERWISE SPECIFIED.

NOTE 2: VISUAL CALCULATED STONE WITH JOINTS.

NOTE 3: VISUAL CALCULATED STONE WITH JOINTS.

NOTE 4: VISUAL CALCULATED STONE WITH JOINTS.

NOTE 5: VISUAL CALCULATED STONE WITH JOINTS.



REAR ELEVATION 1
SCALE 1/4"=1'-0"

RENOTES (NOT ALL NOTES SHOWN)

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Applebee's
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Khckloverarchitect
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professional seal

PROJECT NO. 20101101

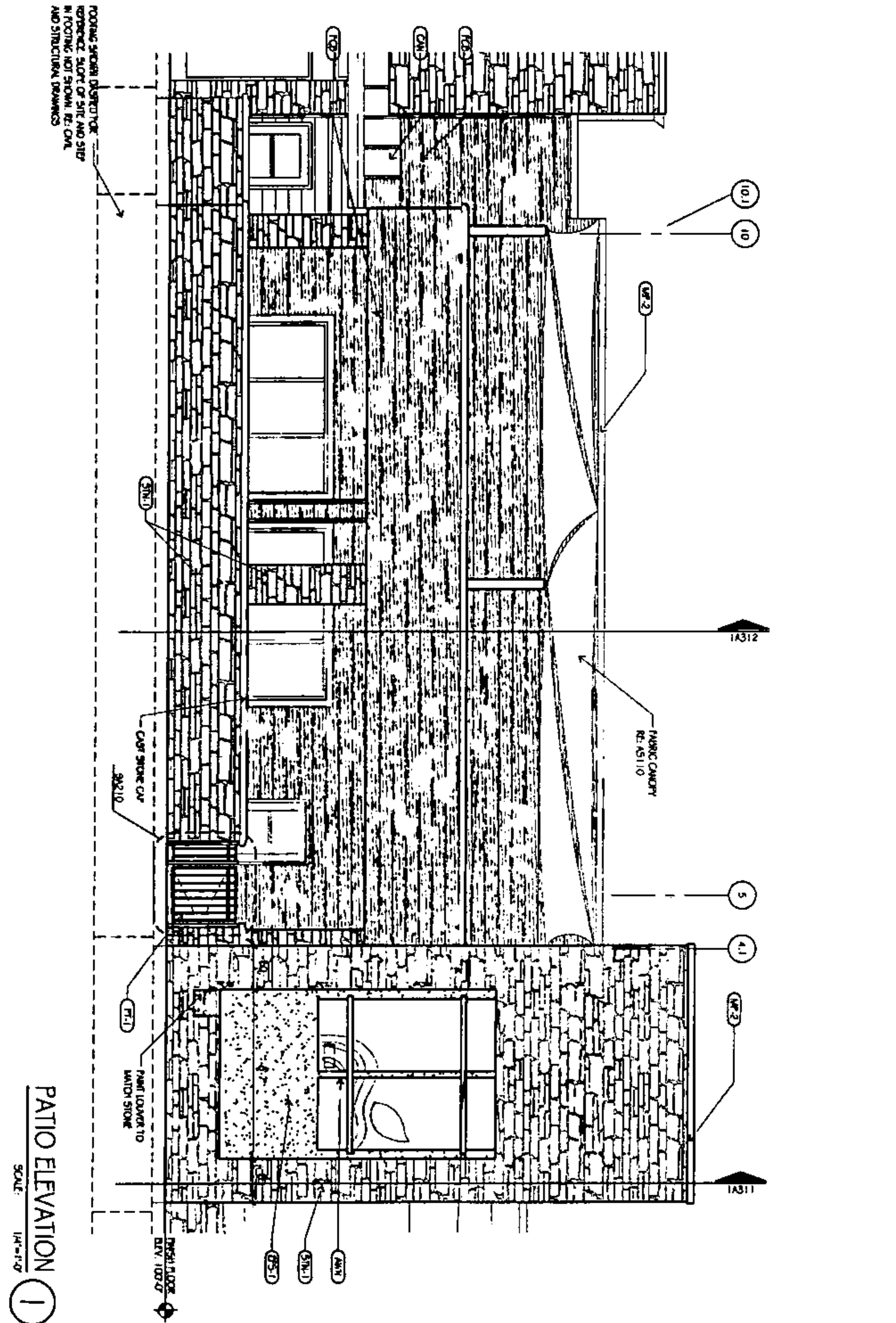
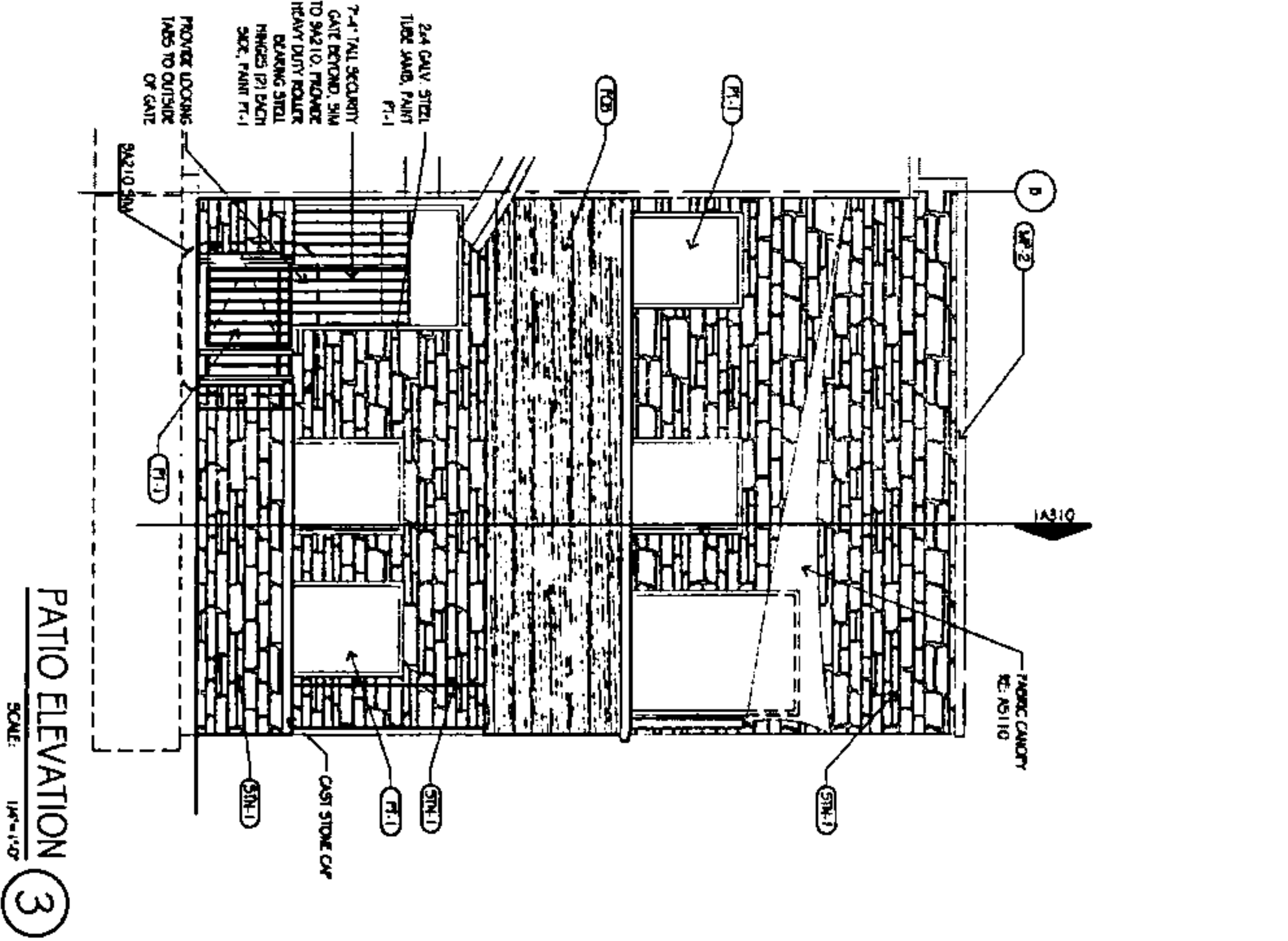
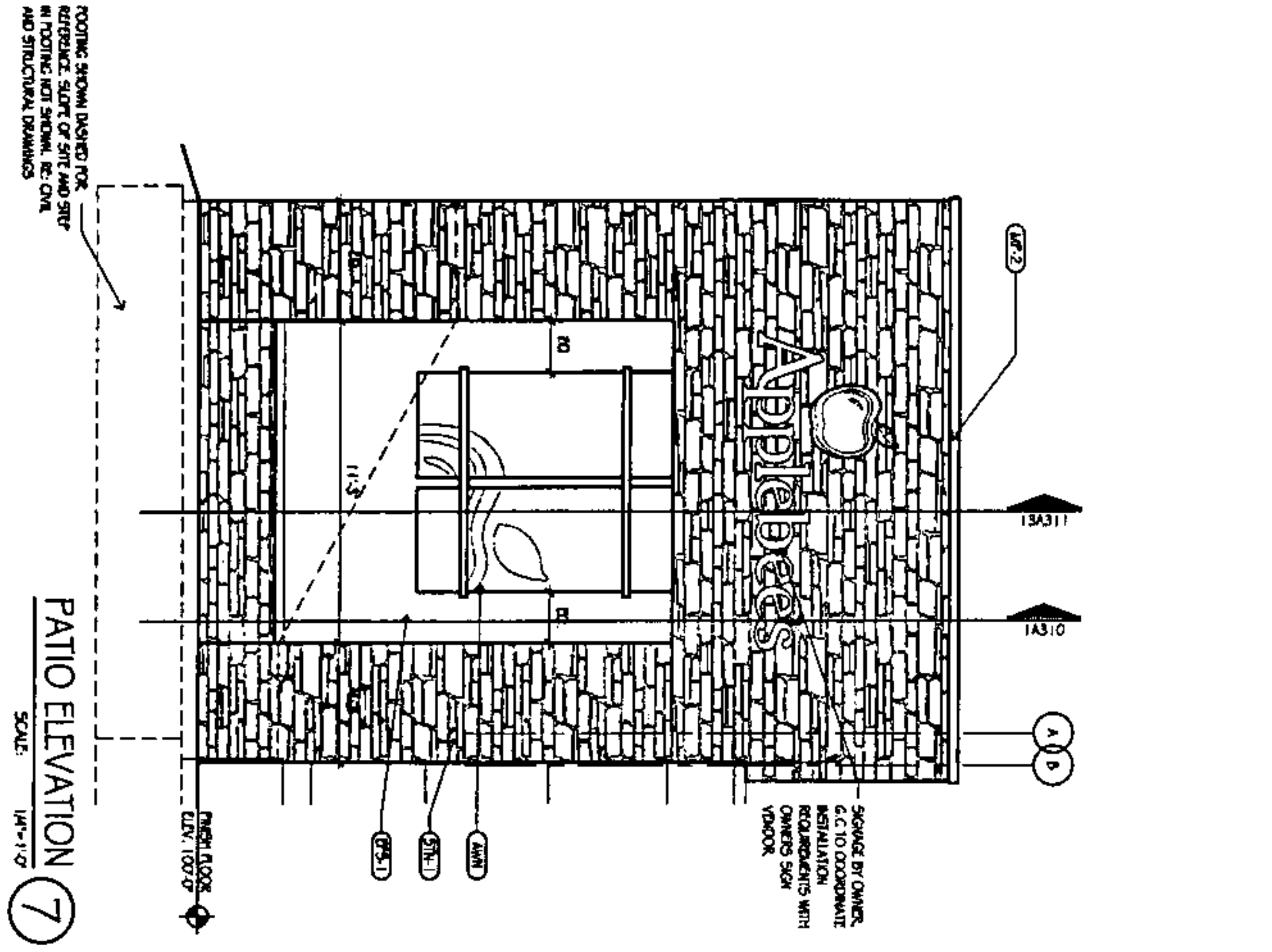
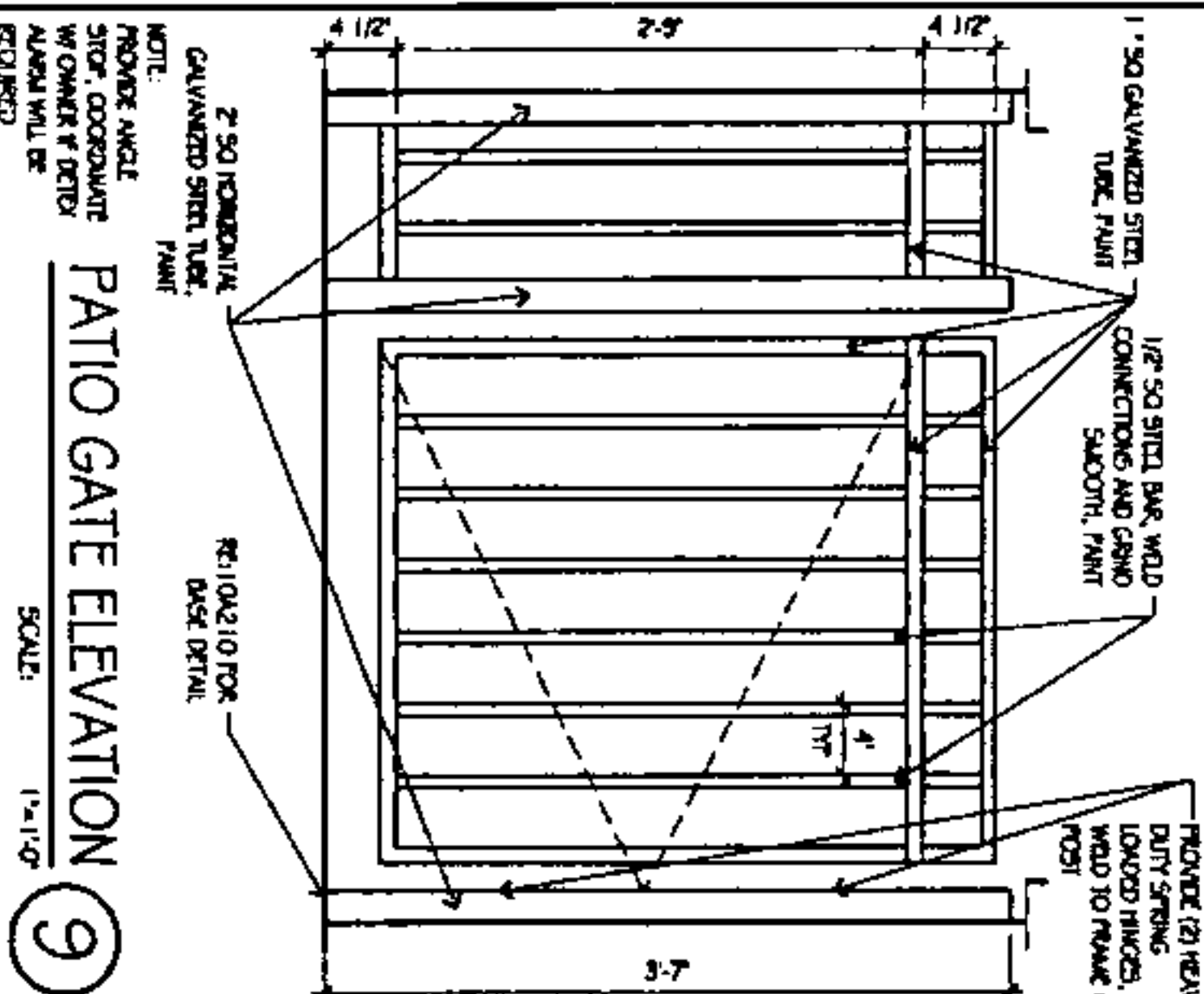
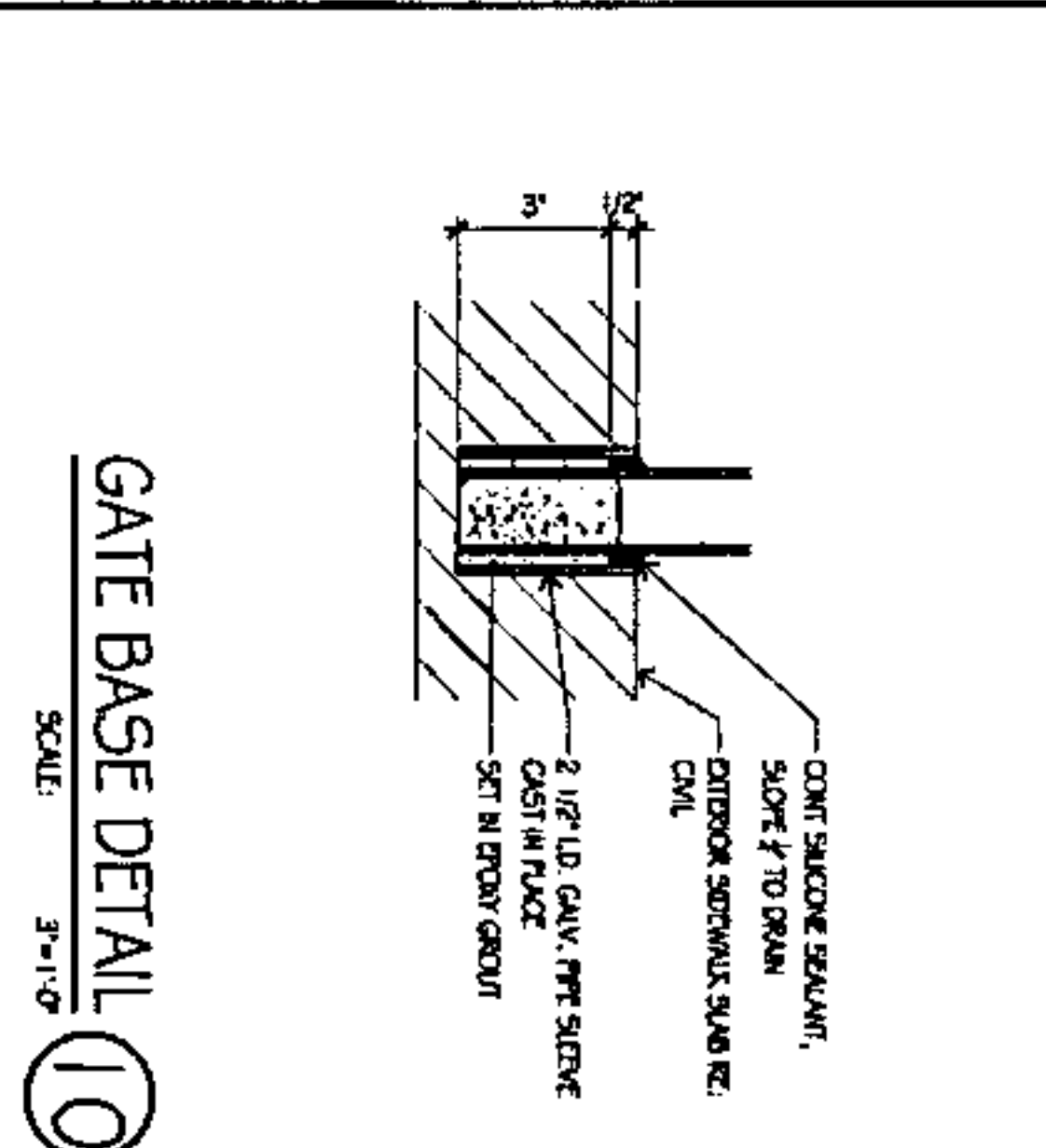
DATE: 11/11/10

DRAWING NO. 20101101-001

A201

EXTERIOR FINISH SCHEDULE

	FINISH	PATTERN
AMN-1	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-2	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-3	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-4	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-5	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-6	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-7	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-8	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-9	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-10	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-11	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-12	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-13	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-14	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-15	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-16	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-17	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-18	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-19	THICK ACRYLIC G.C. TO COORDINATE INSULATION	
AMN-20	THICK ACRYLIC G.C. TO COORDINATE INSULATION	



- 1. GENERAL NOTES
- 2. EXTERIOR FINISH SCHEDULE
- 3. PATIO ELEVATION
- 4. PATIO GATE ELEVATION
- 5. GATE BASE DETAIL
- 6. ELEVATIONS
- 7. FINISHES
- 8. MATERIALS
- 9. CONSTRUCTION
- 10. NOTES

chkloverarchitect
10955 LOWELL AVENUE, SUITE 700 • OVERLAND PARK, KS 66210
ph: 913.649.8181 • fx: 913.649.1275 • www.klover.net

Applebee's
5904 Holly Ave.
ALBUQUERQUE, NEW MEXICO

profession 0011001
drawing 011001
drawing 011001
drawing 011001

A210
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GENERAL NOTES

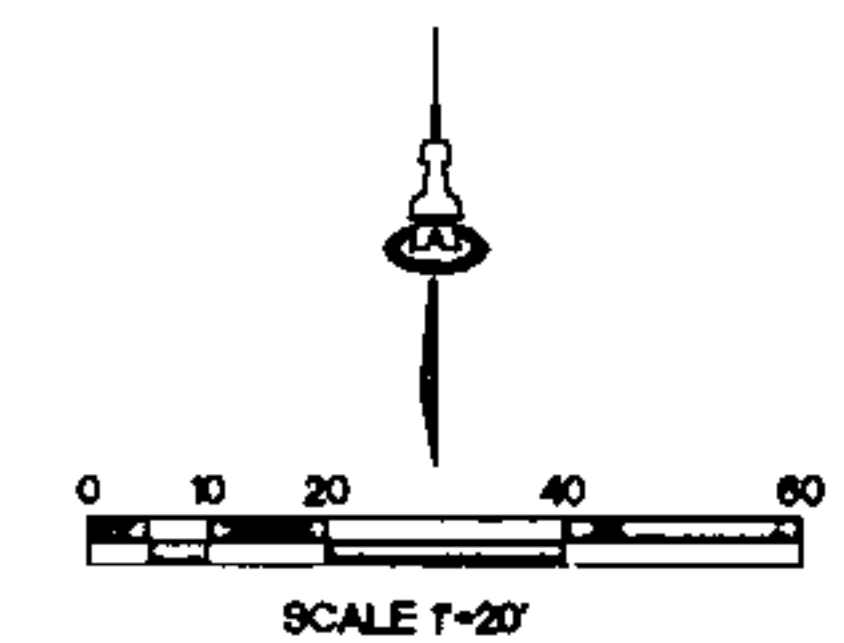
1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
3. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
4. SITE ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING.
5. ALL WATER FITTING SHALL HAVE JOINT RESTRAINTS.

KEYED NOTES

- ⊖ WATER KEYED NOTES
1. CONNECT NEW 6" FIRE LINE TO EXISTING 6" STUB.
 2. 6" FIRE LINE.
 3. 4" FDC LINE.
 4. FIRE DEPT. CONNECTION (FDC).
 5. POST INDICATOR VALVE (PIV).
 6. 2" SERVICE PER COA STD. DWG. 2261 & 2363.
 7. 2" WATER SERVICE LINE.
 8. METER BOX PER COA STD. DWG. 2367.
 9. 6" - 45° BEND.
 10. 4" - 45° BEND.
 11. 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.
- ☐ SEWER
1. NEW 4" SAS SERVICE LINE AT 2% MIN. SLOPE.
 2. SINGLE CLEANOUT PER DETAIL THIS SHEET.
 3. DOUBLE CLEANOUT PER DETAIL THIS SHEET.
 4. 4" WYE.
 5. 4" 45° BEND.
 6. 4" GREASE LINE.
 7. 1500 GALLON GREASE INTERCEPTOR. SEE MECHANICAL PLANS FOR DETAILS.
 8. 6" x 4" REDUCER.
 9. CONNECT NEW SEWER LINE TO EXISTING 6" STUB.
 10. 4" HEAVY DUTY CAST IRON FLOOR DRAIN W/ P-TRAP.

LEGEND

- ⊖ WATER METER & BOX
- WATER SERVICE LINE
- SAS SERVICE LINE
- ⊖ SAS SINGLE CLEANOUT
- ⊖ SAS DOUBLE CLEANOUT
- ⊖ NEW GAS METER
- WL— EXISTING WATERLINE
- SAS— EXISTING SEWER LINE



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 129 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isaacson.com
 1985 CS-101.dwg Sep. 24, 2013

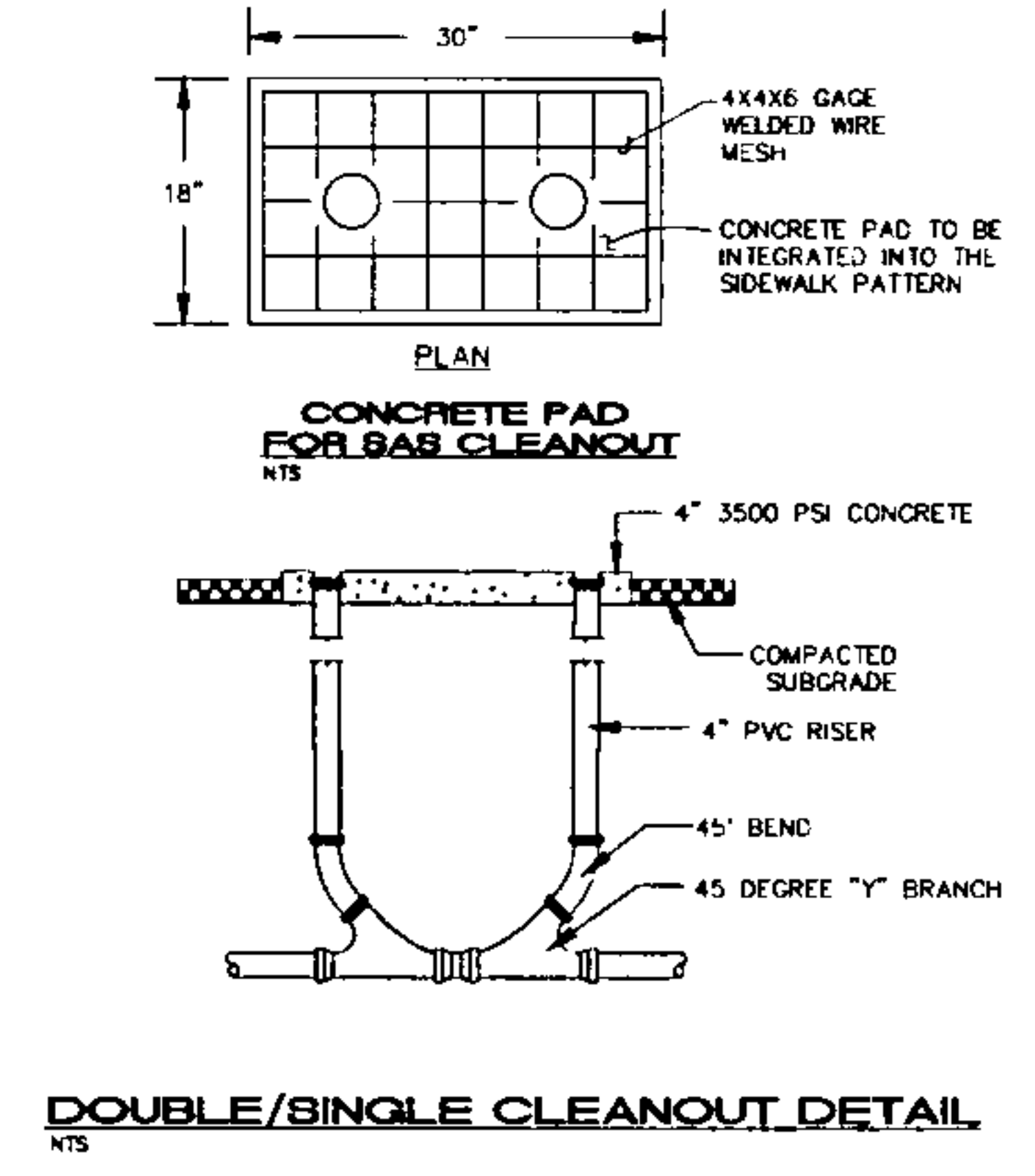
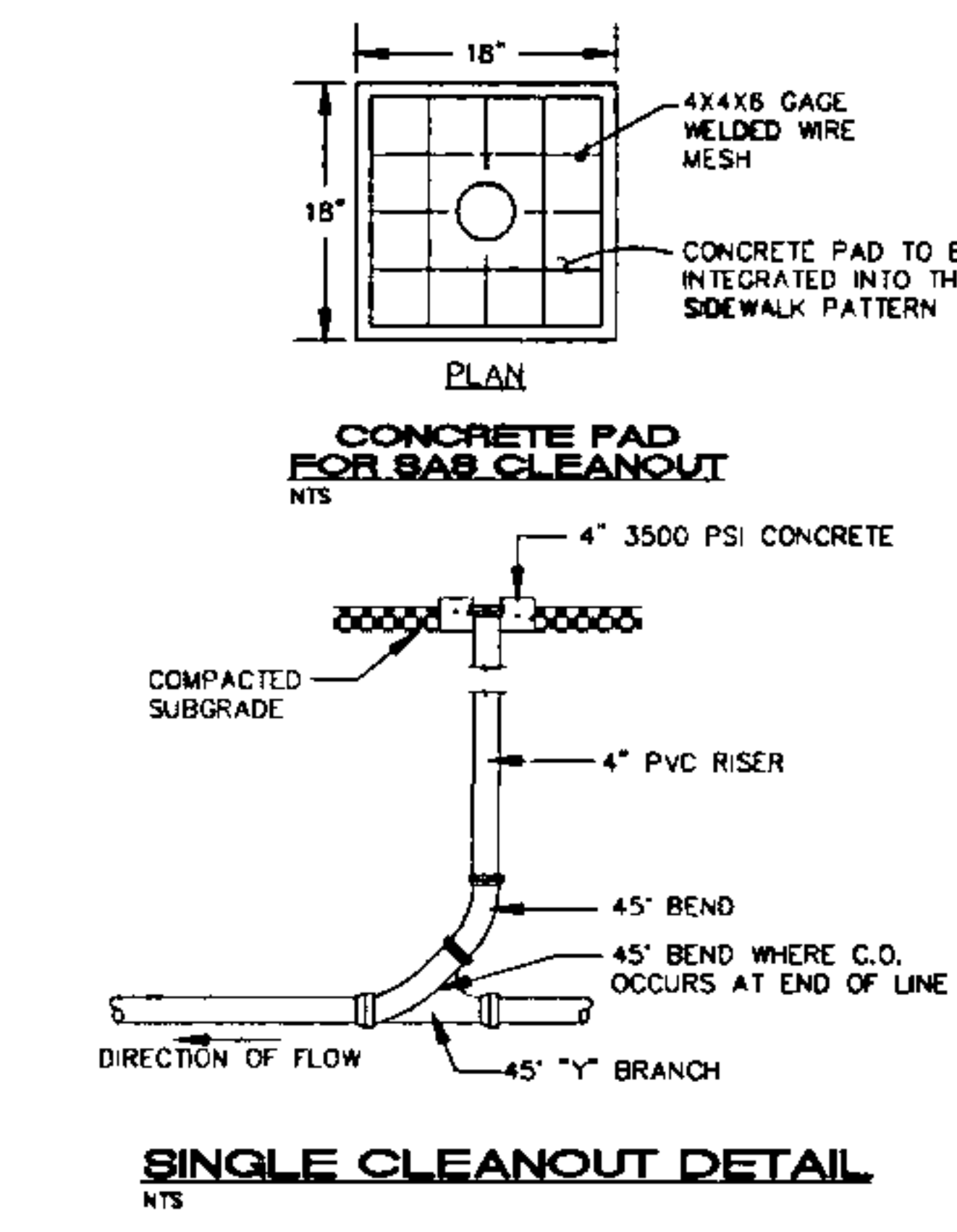
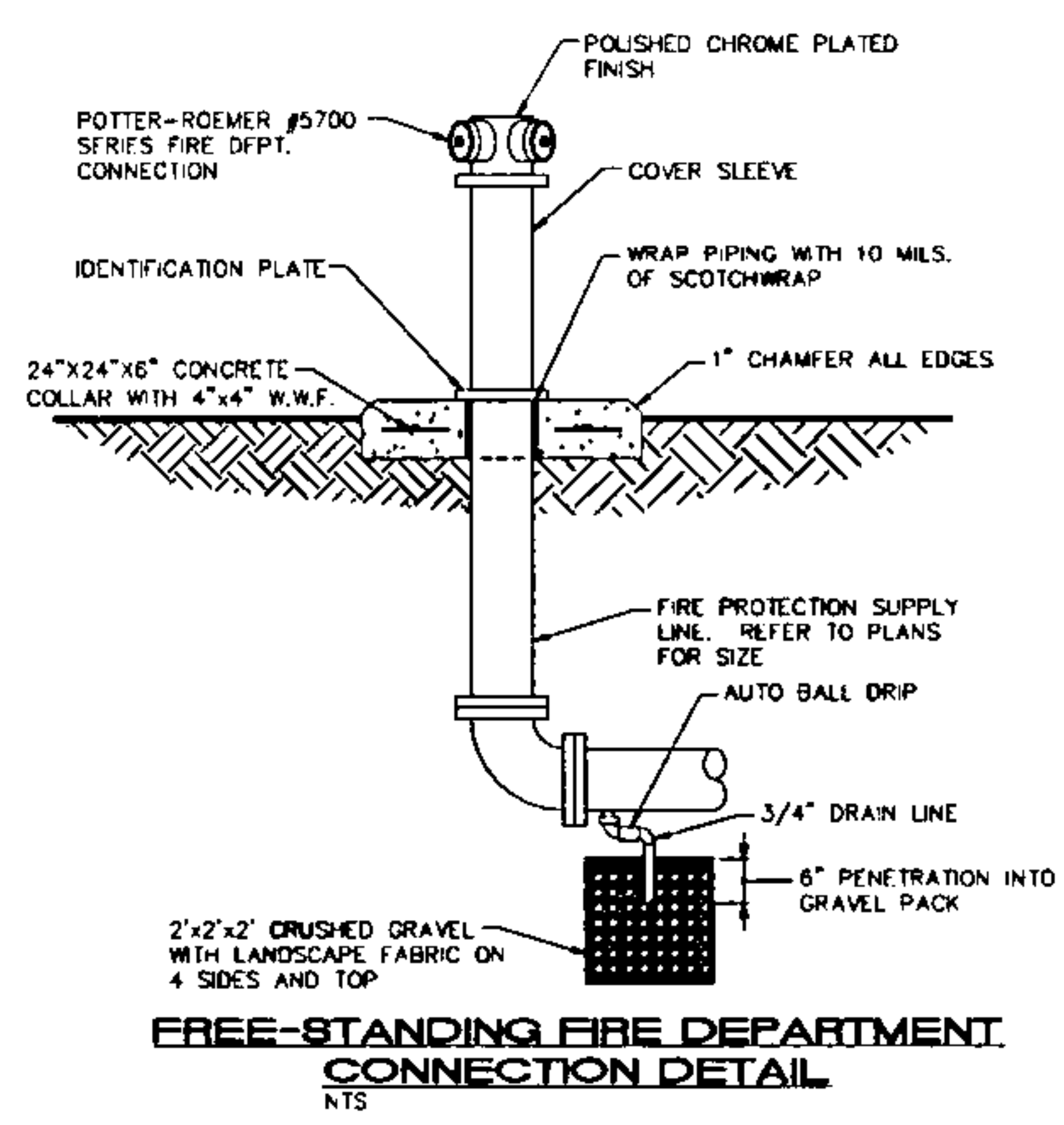
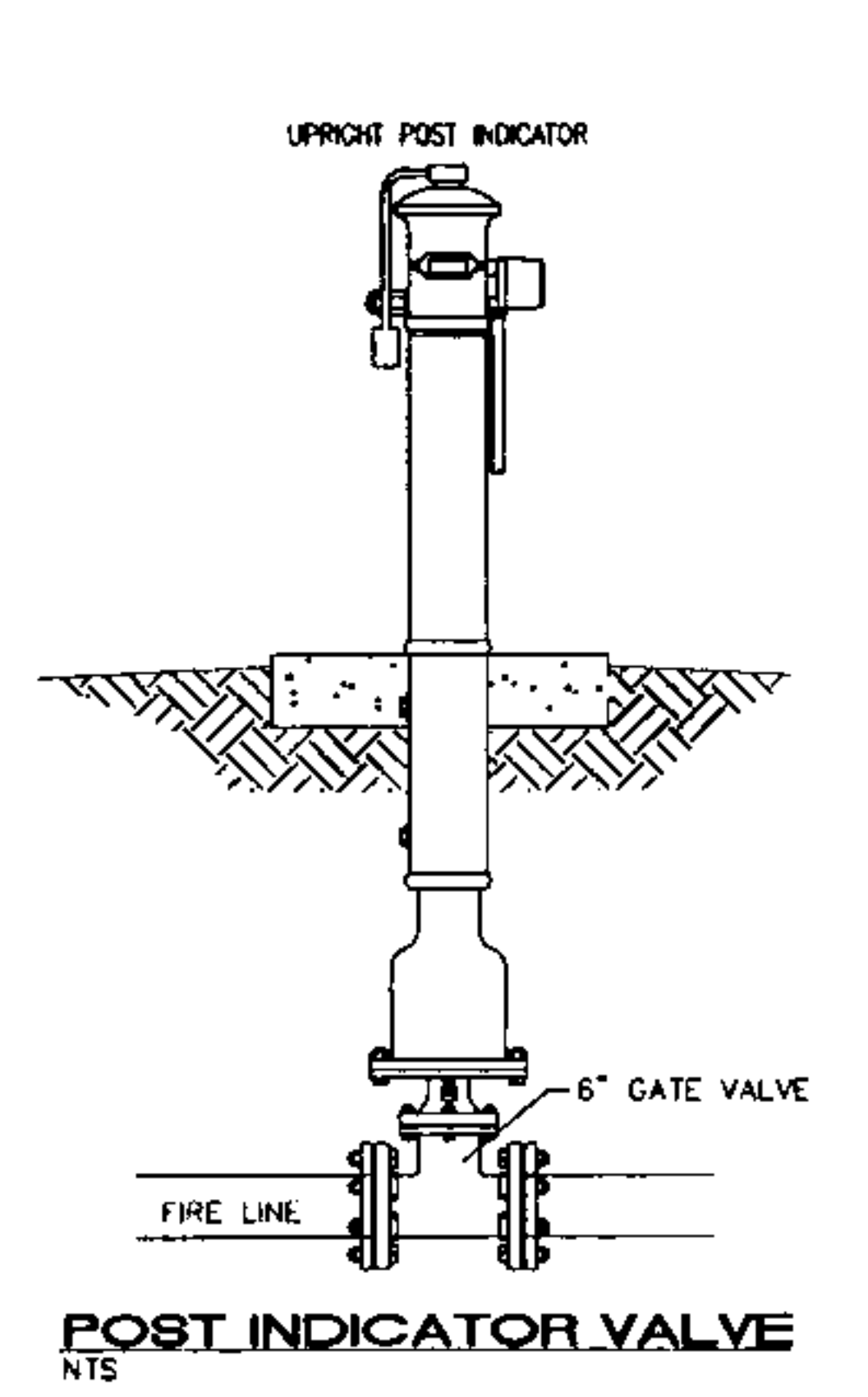
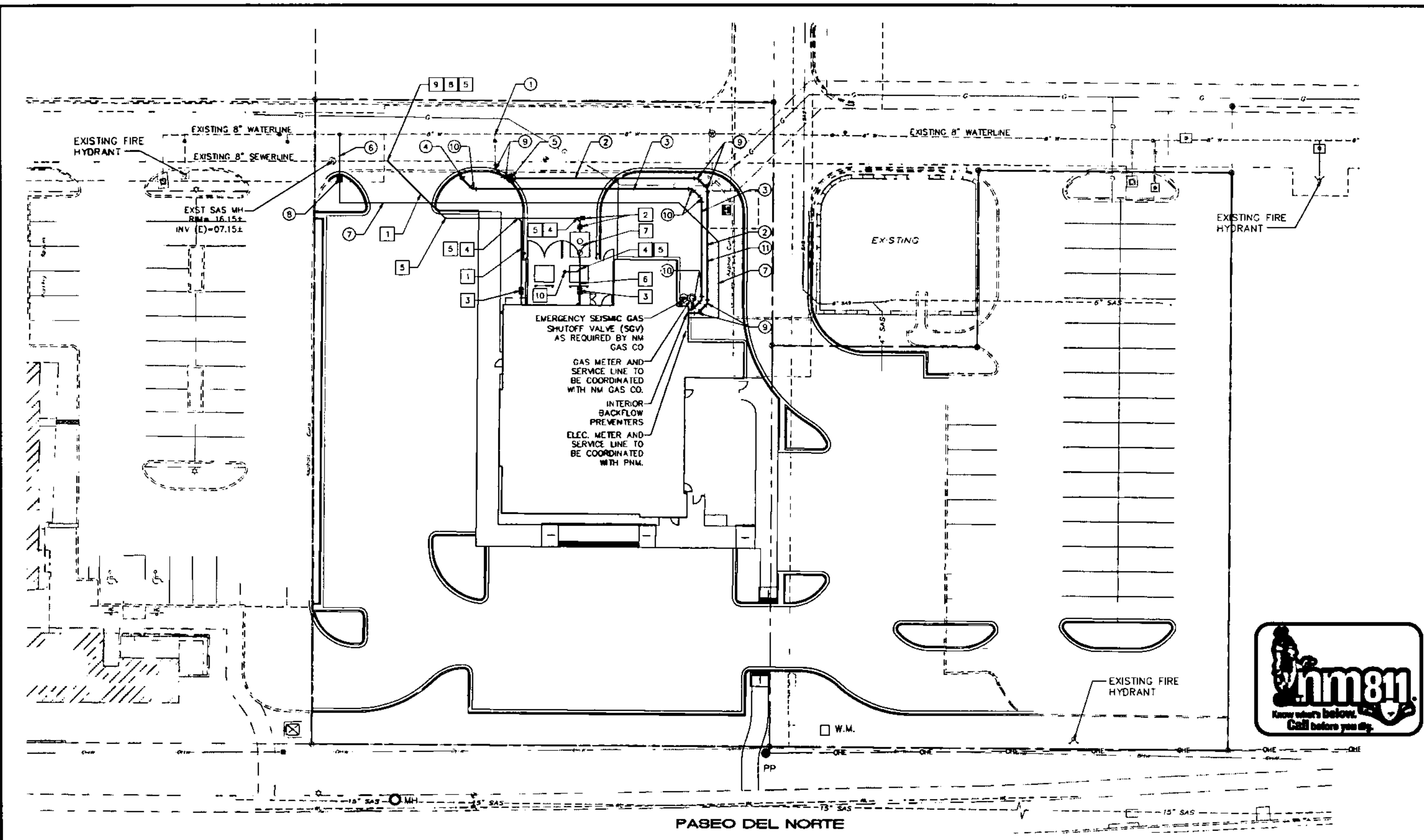
hckloverarchitect
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 ph. 913.649.8181 • fx. 913.649.1275 • www.hcklover.net

Applebees
 Lot 20 Holly Place
 ALBUQUERQUE, NEW MEXICO, 12345

projectnumber 1302401a
 drawingissuance NO / PIP/VE 06.31.2013
 drawingrevisions
 No. Description Date
 1 ADD EAST PARKING LOT 09-20-13

professionalseal

drawingtitle **SITE UTILITY PLAN**
 drawingnumber **CU-101**

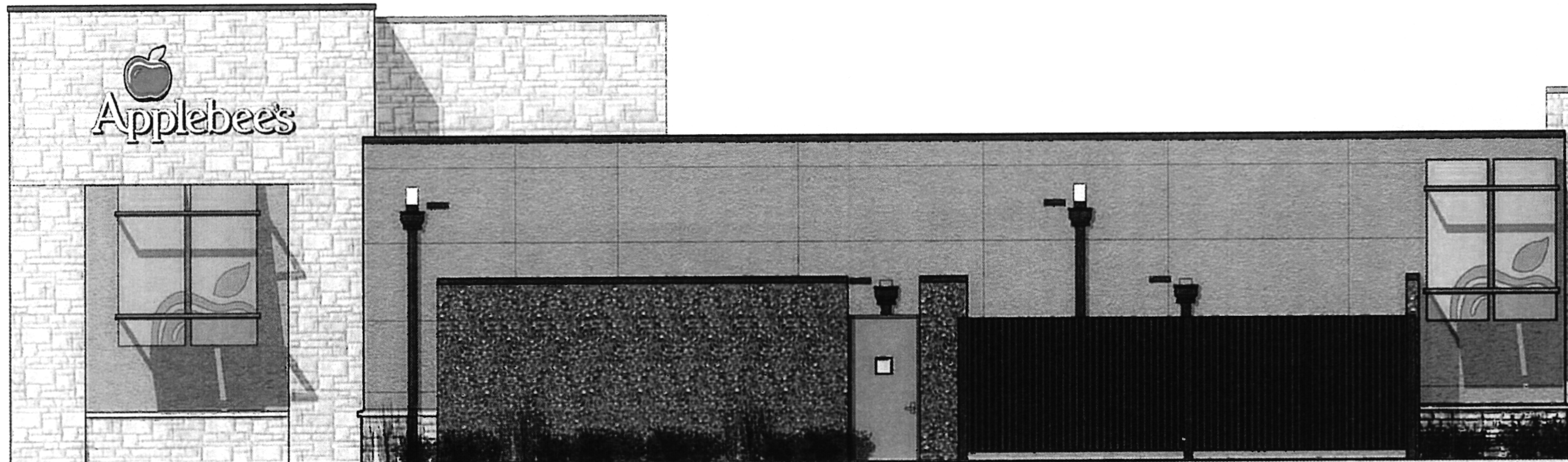


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SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tear out less easily.

4. TIME

Signs must be posted from October 8, 2013 To October 23, 2013

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

9/27/13
(Date)

I issued 2 signs for this application, 9-27-13 (Date) [Signature] (Staff Member)

DRB PROJECT NUMBER: 1004772

October 23. 2013

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

11/06/2007 Issued By: PLNSDH

Permit Number: 2007 070 375

Category Code 910

Application Number: 07DRB-70375, Minor - Sdp For Subdivision

Address:

Location Description: PASEO DEL NORTE NE BETWEEN SAN PEDRO NE AND I-25

Project Number: 1004772

Applicant

Holly Sp , Llc

10400 West 18th Ave
Lakewood CO 80215

Agent / Contact

George Rainhart Architects

William Johnson

2325 San Pedro Ne

Albuquerque NM 87110

bjohnson@gra-arch.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$385.00

City Of Albuquerque
Treasury Division

11/6/2007 3:41PM LDC: ANNX
WSH 006 TRANSH 0027
RECEIPT# 00084365-00084365
PERMIT# 2007070375 TRSCCS
Trans Amt \$770.00
DRB Actions \$385.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

11/06/2007 Issued By: PLNSDH

.....
Permit Number: 2007 070 376 **Category Code 910**

Application Number: 07DRB-70376, Minor - Sdp For Building Permit

Address:

Location Description: PASEO DEL NORTE NE BETWEEN SAN PEDRO NE AND I-25

Project Number: 1004772

Applicant

Holly Sp , Llc

10400 West 18th Ave
Lakewood CO 80215

Agent / Contact

George Rainhart Architects

William Johnson

2325 San Pedro Ne

Albuquerque NM 87110

bjohnson@gra-arch.com

Application Fees

441018/4871000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$385.00

City Of Albuquerque
Treasury Division

11/6/2007 3:41PM LOC: ANNX
WS# 006 TRANS# 0027
RECEIPT# 00094365-00084366
PERMIT# 2007070376 TRSCC
Trans Amt \$770.00
DRB Actions \$385.00
CK \$770.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

11/06/2007 Issued By: PLNSDH

Permit Number: 2007 070 370 **Category Code 910**

Application Number: 07DRB-70370, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: HOLLY AVE NE BETWEEN PASEO DEL NORTE NE AND SAN PEDRO NE

Project Number: 1004772

Applicant
Holly - Sp, Llc

7600 Jefferson Ste 27
Albuquerque NM 87109
268-8828

Agent / Contact
Isaacson & Arfman, Pa

128 Monroe Ne
Albuquerque NM 87108

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$355.00
TOTAL:		\$375.00

City Of Albuquerque
Treasury Division

11/6/2007 11:40AM LOC: ANNX
 WSH 006 TRANSH 0009
 RECEIPT# 00084344-00084344
 PERMITH 2007070370 TRSCCS
 Trans Amt \$375.00
 Conflict Manag. Fee \$20.00
 DRB Actions \$355.00
 CK \$375.00
 CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): ISAACSON & ARFMAN, P.A. PHONE: 268-8828
 ADDRESS: 128 MONROE NE FAX: 268-2632
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: FREDA@iociivil.com

APPLICANT: HOLLY-SP, LLC PHONE: _____
 ADDRESS: 7600 JEFFERSON NE, STE. 27 FAX: _____
 CITY: ALBUQ. STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: PRELIMINARY/FINAL PLAT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 14, 15, 18 & 19, TRACT A Block: 18 Unit: B
 Subdiv/Addn/TBKA: NORTH ALBUQ. ACRES
 Existing Zoning: SU-27 M-1 Proposed zoning: SAME
 Zone Atlas page(s): C-18 UPC Code: 10806422203930214 MRGCD Map No N/A
10806422201630209
10806423801730210
10806423803930213

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1004772
App # 06DRB-00376, -00750

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 4 No. of proposed lots: 3 Total area of site (acres): 3.7503 AC.

LOCATION OF PROPERTY BY STREETS: On or Near: HOLLY AVE NE
 Between: PASEO DEL NORTE NE and SAN PEDRO NE

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: _____

SIGNATURE Fred C. Arfman DATE 11.06.07
 (Print) FRED C. ARFMAN Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB-70370</u>	<u>PBF</u>		<u>\$ 355.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>NOV. 14 2007</u>			Total <u>\$ 375.00</u>

[Signature] 11/6/07
 Planner signature / date

Project # 1004772

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- N/A* 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- N/A* Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- N/A* Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- N/A* Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- N/A* Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

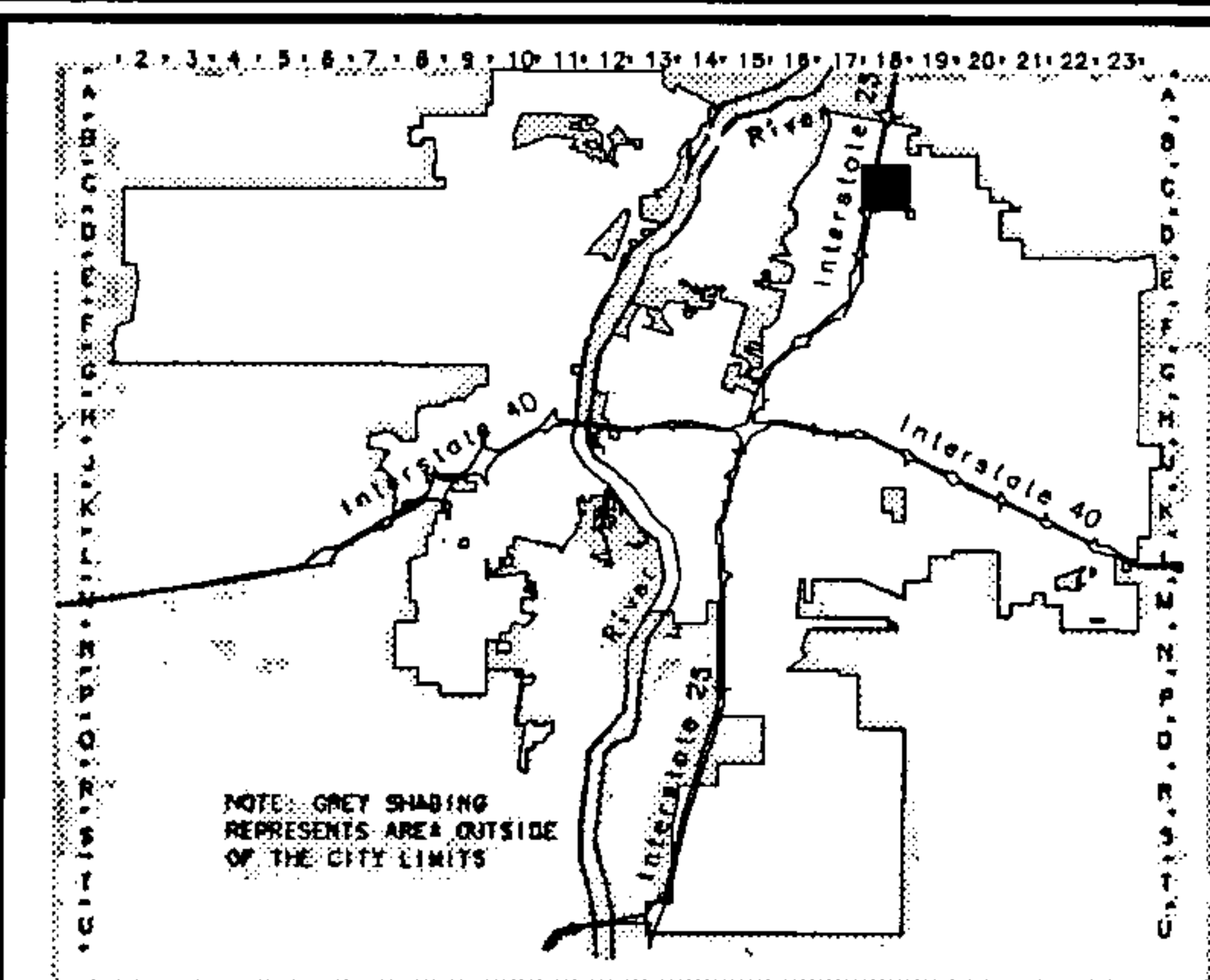
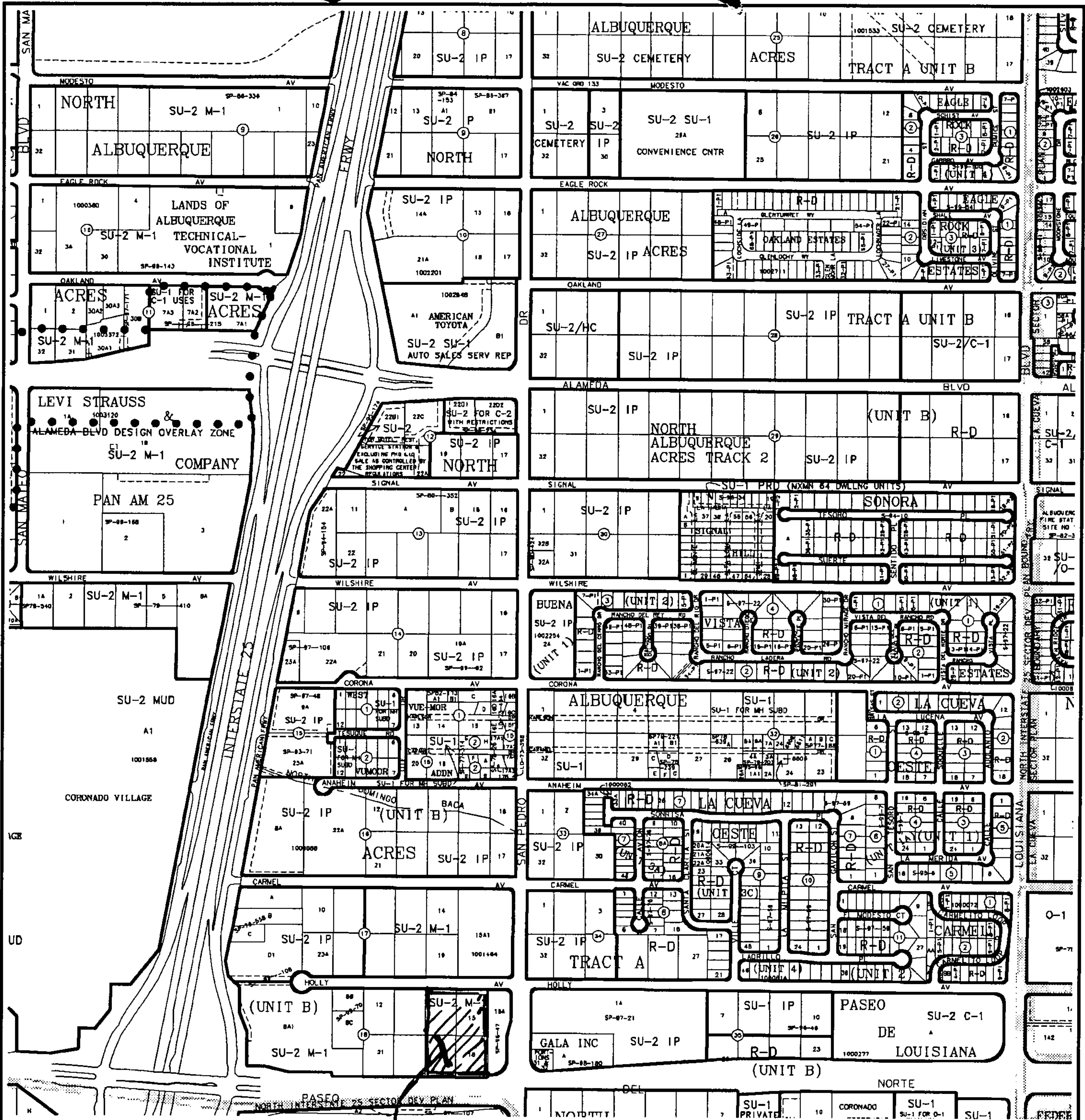
FRED C. AREMAN
Applicant name (print)
Fred C. Arman 11.06.07
Applicant signature / date



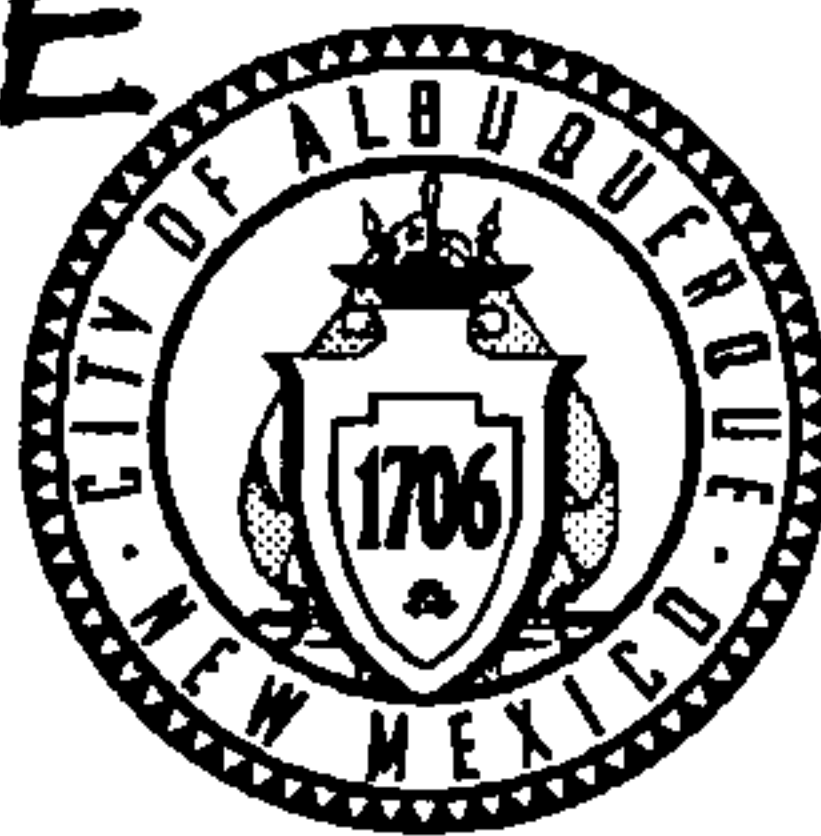
Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- | | |
|--------------------------|-------|
| Application case numbers | |
| 07DRB - | 70370 |
| - | - |
| - | - |

[Signature] 11/6/07
Planner signature / date
Project # 1004772



SITE



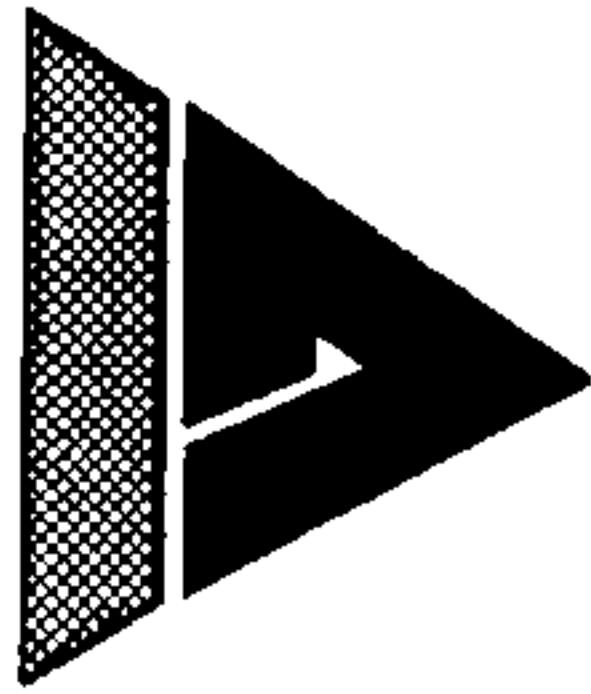
Zone Atlas Page

C-18-Z

Map Amended through February 01, 2005

Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

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PROJECT MEMORANDUM

11 106107

TO: SHERAN MATSON, CHAIR, DRB

FROM: FRED C. ARFMAN, Isaacson & Arfman, P.A.

REF: HOLLY PLACE PROJ NO: _____

SUBJ: PREL./FINAL PLAT SUBMITTAL

THE SUBJECT MINOR PLAT IS BEING PROCESSED THROUGH THE DRB IN ORDER TO ELIMINATE OLD NORTH ABQ ACRES LOT LINES, DEDICATE THE EXISTING SOUTH HALF OF THE FULLY DEVELOPED HOLLY AV. NE AND TO GRANT BOTH PUBLIC AND PRIVATE EASEMENTS REQUIRED TO SUPPORT THE PROPOSED COMMERCIAL DEVELOPMENT.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Stephen A. Dandane 11/6/07
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 71 provided: 119
 Handicapped spaces required: 6 provided: 6
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 6
 provided: 12
 - ~~NA~~ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- ~~NA~~ B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- UA 2. Pedestrian trails and linkages
- NA 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- ✓ 1. Fire hydrant locations, existing and proposed.
- ✓ 2. Distribution lines
- ✓ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ✓ 4. Existing water, sewer, storm drainage facilities (public and/or private).
- ✓ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- ✓ 1. Scale - must be same as scale on sheet #1 - Site plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Identify nature of ground cover materials
 - ✓ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ✓ B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - ✓ C. Ponding areas either for drainage or landscaping/recreational use
- ✓ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ✓ A. Existing, indicating whether it is to be preserved or removed.
 - ✓ B. Proposed, to be established for general landscaping.
 - ✓ C. Proposed, to be established for screening/buffering.
- ✓ 8. Describe irrigation system – Phase I & II . . .
- ✓ 9. Planting Beds, indicating square footage of each bed
- ✓ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ✓ 11. Responsibility for Maintenance (statement)
- ✓ 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- ✓ 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ✓ 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- ✓ 15. Planting or tree well detail
- ✓ 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- ~~HA~~E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

DRB

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): GEORGE RAINHART ARCH'S ASSOC. PHONE: 884-9110 Ext 105
 ADDRESS: 2325 SAN PEDRO N.E FAX: 837-9877
 CITY: Abq STATE NM ZIP 87110 E-MAIL: SDUNBAR@GRA-ARCH.COM

APPLICANT: Holly-Sp LLC PHONE: _____
 ADDRESS: 10400 WEST 18th AVE FAX: _____
 CITY: LAKELAND STATE TX ZIP 75025 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: Site plan for building permit / subdivision approval for a 14,000 sq retail facility

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 4 Block: _____ Unit: B
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES
 Existing Zoning: SUZ-M-1 Proposed zoning: " " MRGCD Map No _____
 Zone Atlas page(s): C-13 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill?
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 1.96
 LOCATION OF PROPERTY BY STREETS: On or Near: N.W.C of PASO & SAN PEDRO N.E
 Between: SAN PEDRO N.E and I-25

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Stephen A. Dunbar DATE 11/14/07
 (Print) STEPHEN A. DUNBAR Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>07DRB 70375</u>	<u>SPS</u>	<u>P(3)</u>	<u>\$ 385.00</u>
<u>07DRB 70376</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$ 385.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>11/14/07</u>			Total <u>\$ 770.00</u>

Sandy Handley 11/06/07
 Planner signature / date

Project # 1004772

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ~~NA~~ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ~~NA~~ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ~~NA~~ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - ~~NA~~ Copy of the document delegating approval authority to the DRB **NORTH 1-25**
 - ~~NA~~ Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

STEPHEN A. DUNBAR 11/6/07
Applicant name (print)
Stephen A. Dunbar 11/6/07
Applicant signature / date

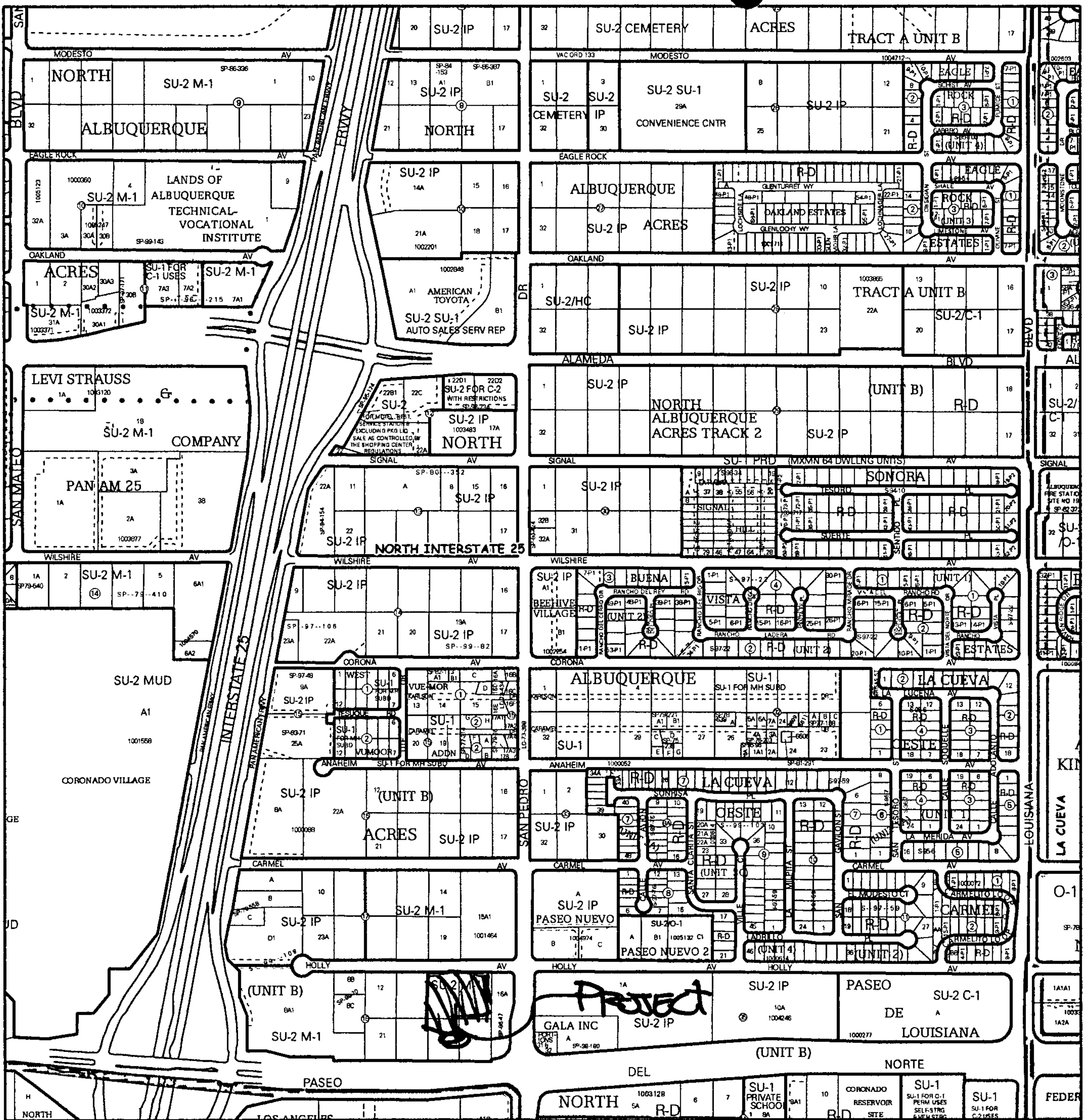


Form revised October 2007

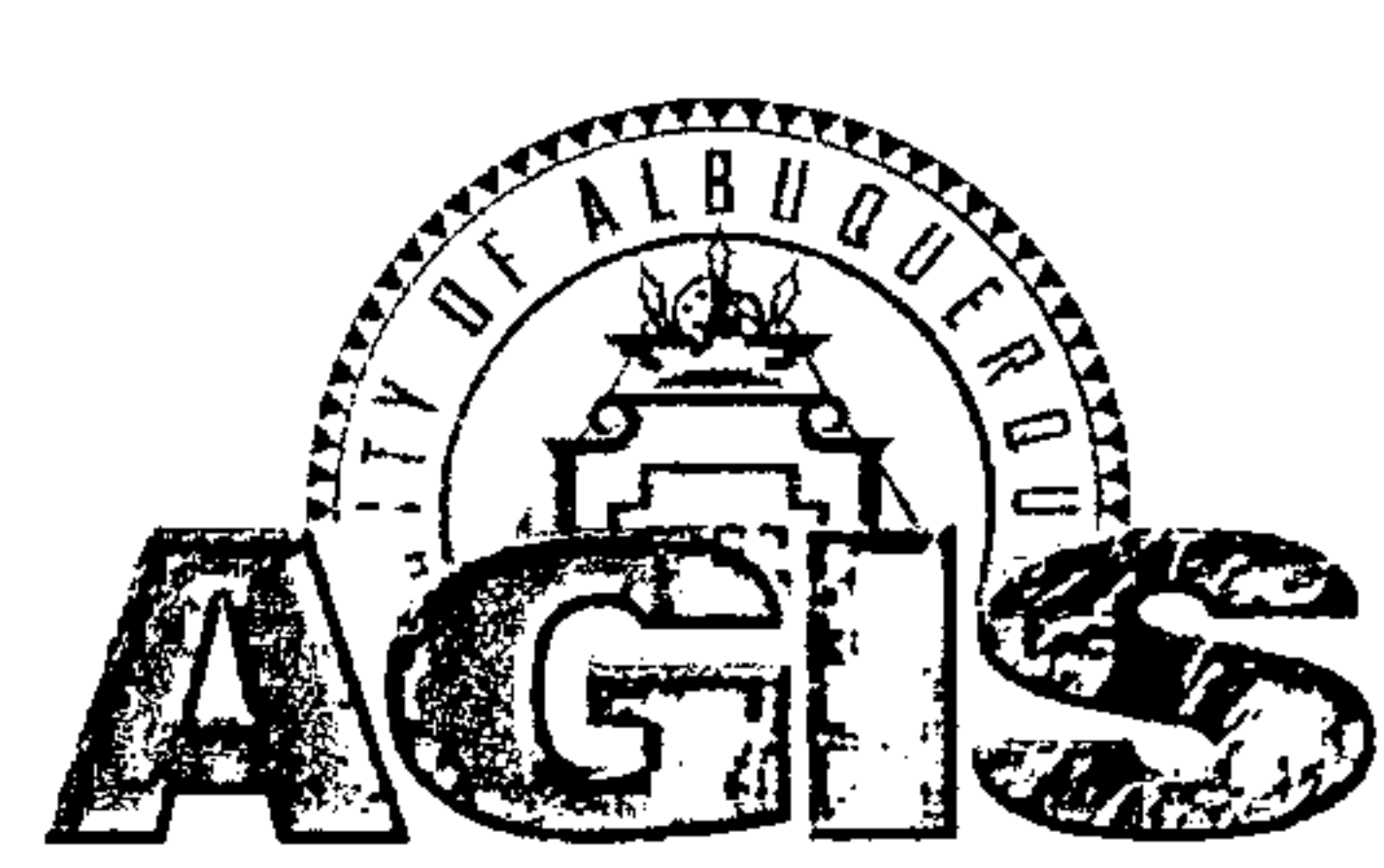
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07DRB - 70375
 07DRB - 70376

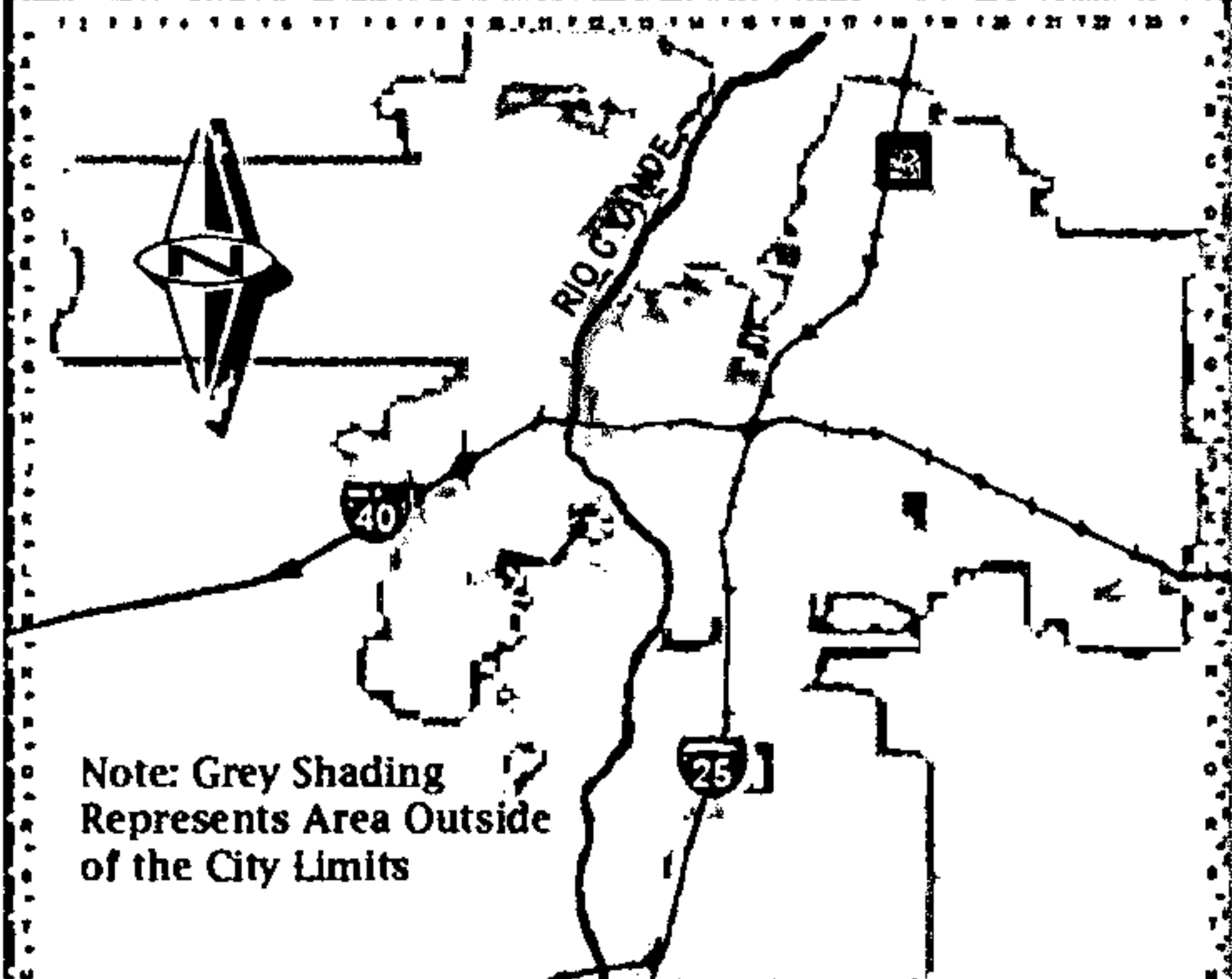
Sandy Handley 11/06/07
Planner signature / date
 Project # 1009772



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 9/6/2007



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500
Feet

Memo

To: City of Albuquerque Planning Department
From: Holly-SP, LLC
Date: April 30, 2007
Re: Lots 14, 15, 18, and 19, Block 18, Tract A, Unit B, North
Albuquerque Acres

As owner of the above referenced property, I hereby provide authorization for George Rainhart Architect & Associates P.C. to act as agents on behalf of the owner of Lots 14, 15, 18, and 19, Block 18, Tract A, Unit B, North Albuquerque Acres, City of Albuquerque, Bernalillo County, State of New Mexico.

By:  _____

Name: Wes Butero

City of Albuquerque
Planning department
600 2nd St. N.W
Albuquerque NM 87103

Re: Site plan for Building Permit and Subdivision for tract14-15 North Albuquerque Acres.

To Whom It May Concern:

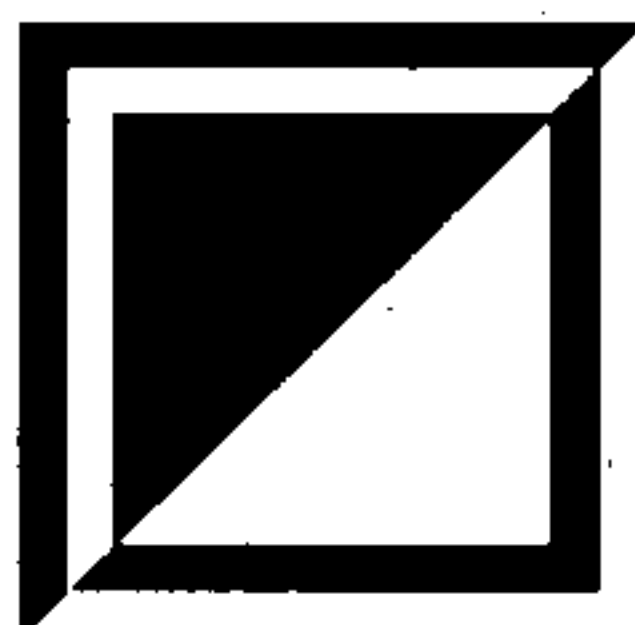
George Rainhart Architects and Associates has been authorized to represent a request for site plan for building permit and subdivision approval for Tract 14-15 North Albuquerque Acres

The proposed project encompasses a 14,100 sf retail facility. The proposed location will serve the retail needs of the surrounding area by providing services allowable within the su-2 for m-1 zoned parcels which encompass the proposed structure.

Sincerely,



Stephen A. Dunbar RA. A.I.A
George Rainhart Architects and Associates P.C



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: GEORGE RAINHART DATE OF REQUEST: 11/6/07 ZONE ATLAS PAGE(S): C-13

CURRENT: ARCH 3 ASSOC

LEGAL DESCRIPTION:

ZONING SUZ-M-1

LOT OR TRACT # 14 BLOCK # _____

PARCEL SIZE (AC/SQ. FT.) 1.96

SUBDIVISION NAME NAA

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---------------------|--|---|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION <input checked="" type="checkbox"/> | BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] | ACCESS PERMIT [] |
| | | C) AMENDMENT [] | OTHER [] |

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: ¹

- | | |
|---------------------------------------|--|
| NO CONSTRUCTION/DEVELOPMENT [] | # OF UNITS: <u>1</u> |
| NEW CONSTRUCTION [] | BUILDING SIZE: <u>14,100</u> (sq. ft.) |
| EXPANSION OF EXISTING DEVELOPMENT [] | |

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Stephen A. Dunbar DATE 11/6/07
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO [] BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

Notes: HOLLY PLAZA II (HOLLY AVE WEST OF SAN PEDRO DR.) TIS 10/2007

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study: *Any subsequent changes to the development proposal identified above may require an update or new TIS.*

Tony Jel
TRAFFIC ENGINEER

11-6-07
DATE

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. *Any subsequent changes to the development proposal identified above may require an update or new AQIA.*

Stephen A. Dunbar
APPLICANT

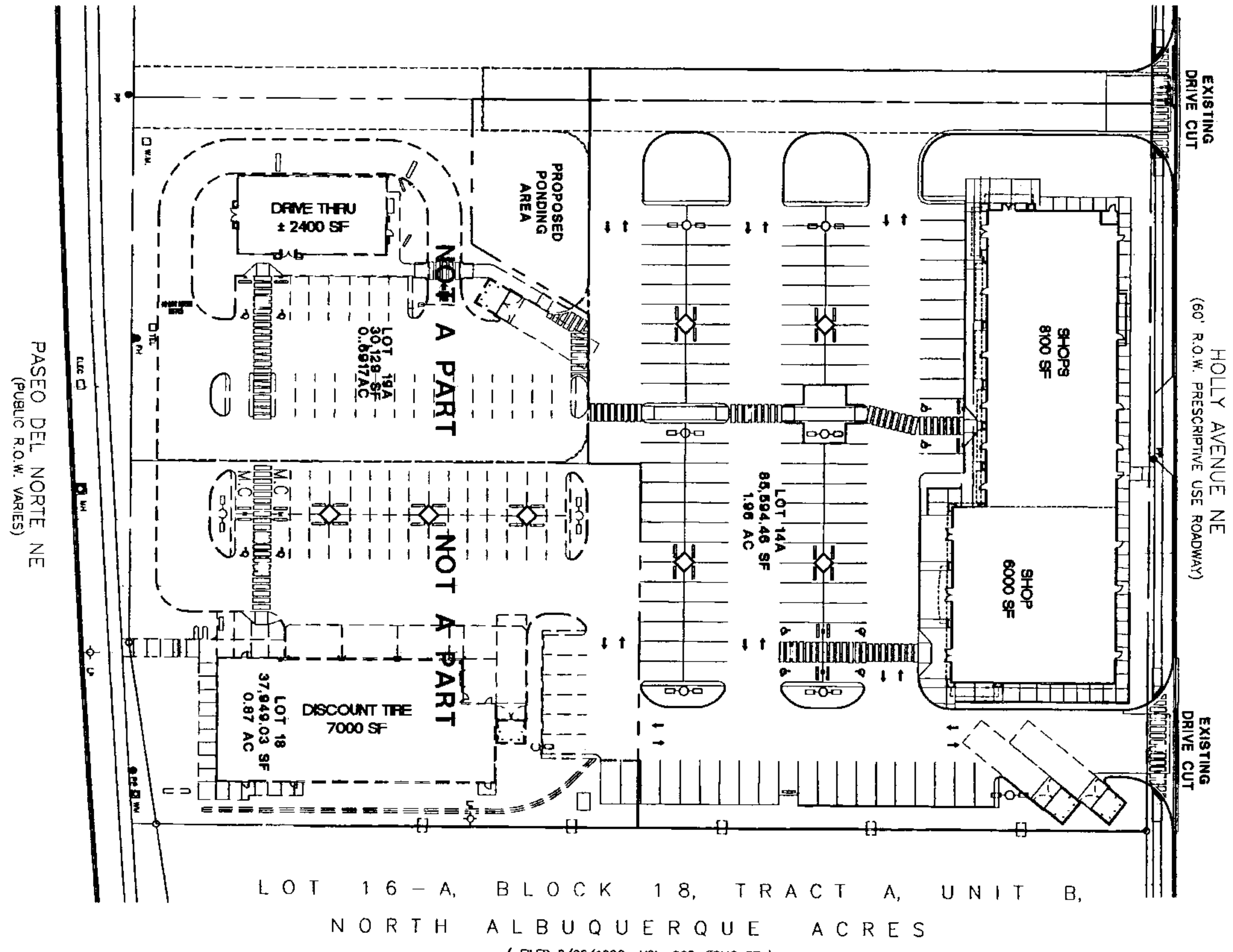
11/6/07
DATE

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 10/31/07
-FINALIZED / /

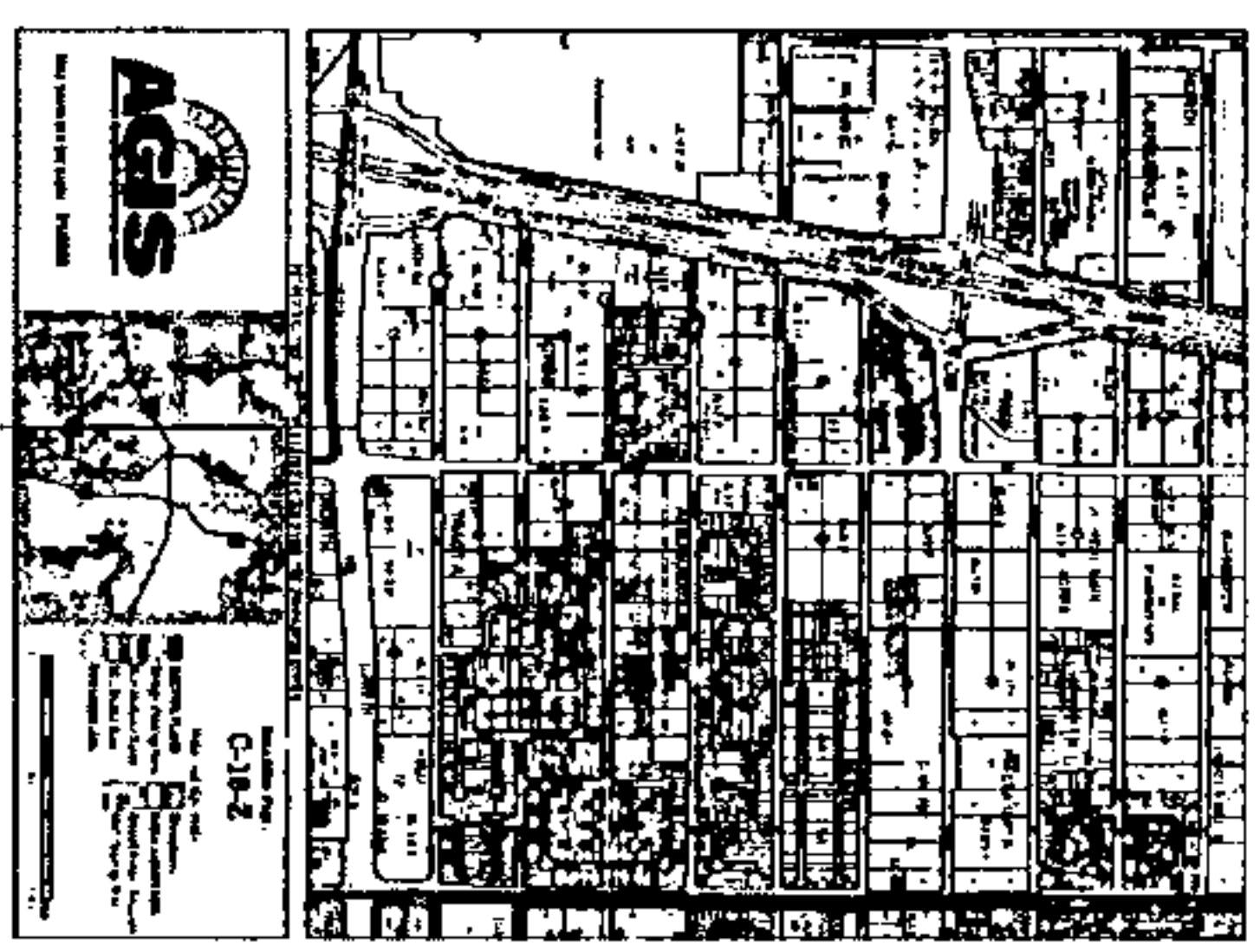
Tony Jel
TRAFFIC ENGINEER

11-6-07
DATE



LOT 16 - A, BLOCK 18, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES
(FILED 2/26/1996 VOL. 96C, FOLIO 87)

LEGAL DESCRIPTION	LOT-14-14A
PROPOSED TRACT NUMBER	LOT-14-14A
TOTAL AREA:	AREA= 85,383 SF/ OR 1.96 AC
EXISTING ZONING:	SU-2 FOR M-1 PURPOSES
PROPOSED ZONING:	SU-2 FOR M-1 PURPOSES
BUILDING SIZE:	14,100 SF
PAR:	1
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	RETAIL
TOTAL PARKING PROVIDED:	119 SPACES
TOTAL PARKING REQ. (INC. EMPLOYEE):	71 SPACES
HC PROVIDED:	6 H.C (INC. 6 VAN ACCESSIBLE)
HC REQUIRED:	6 H.C SPACES
BIKE SPACES PROVIDED:	10 BIKE SPACES
BIKE SPACES REQUIRED:	6 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	4 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED:	4 MOTORCYCLE SPACE



PROJECT NUMBER:	
APPLICATION NUMBER:	
DATE:	
PROJECT MANAGER:	
DATE:	
PROJECT ENGINEER:	
DATE:	
PROJECT ARCHITECT:	
DATE:	
PROJECT LANDSCAPE ARCHITECT:	
DATE:	
PROJECT CIVIL ENGINEER:	
DATE:	
PROJECT MECHANICAL ENGINEER:	
DATE:	
PROJECT ELECTRICAL ENGINEER:	
DATE:	
PROJECT ENVIRONMENTAL ENGINEER:	
DATE:	
PROJECT SURVEYOR:	
DATE:	
PROJECT GEOLOGIST:	
DATE:	
PROJECT HISTORIC PRESERVATION:	
DATE:	
PROJECT OTHER:	
DATE:	



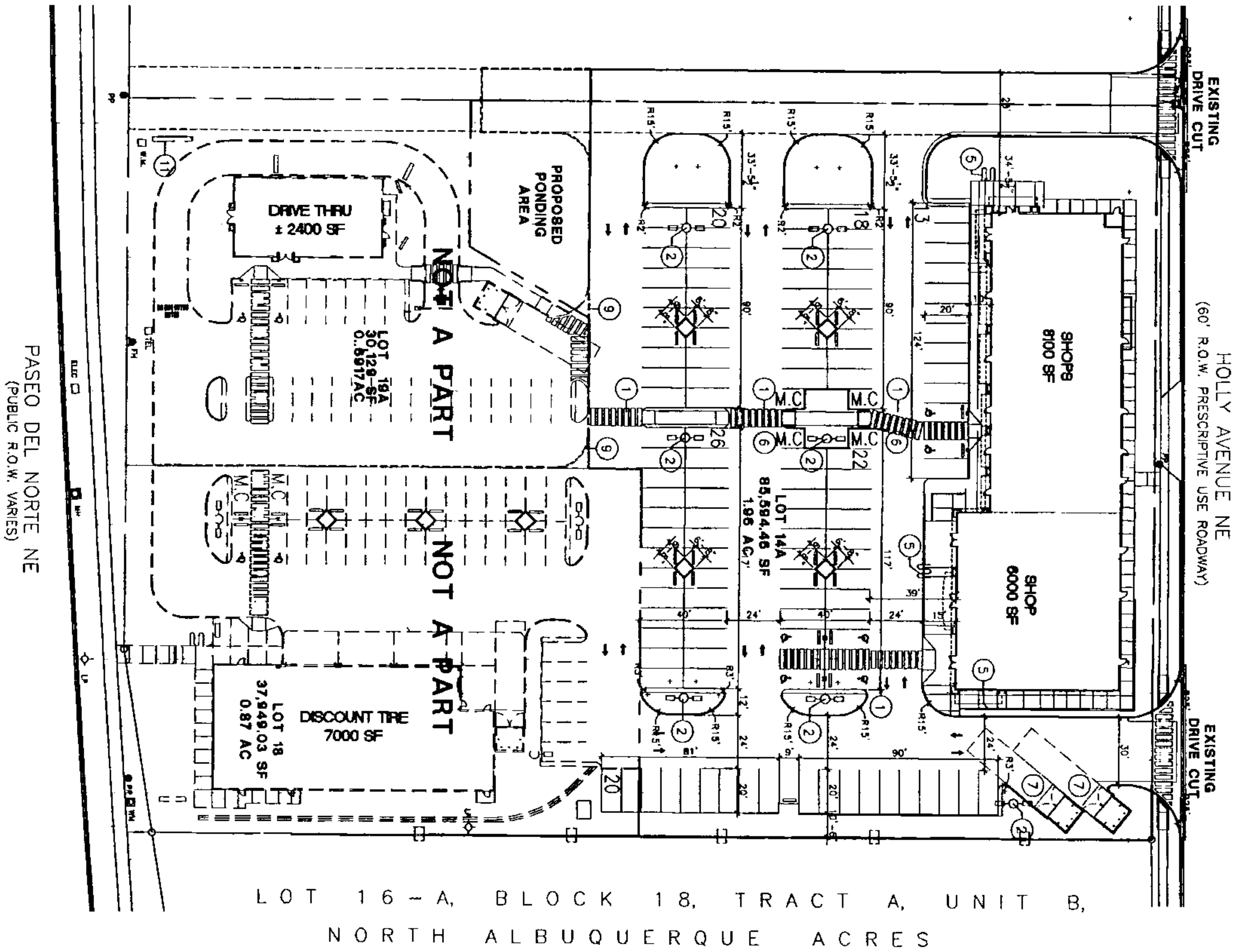
HOLLY PLACE PI
SCALE: 1"=50'
SHEET: A1.1

PROJECT TITLE
HOLLY PLACE PI
N.W.C OF PASCO BLVD. AND SAN PEDRO
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER: STEPHEN DUNBAR MA
JOB NO.:
DRAWN BY: S

SHEET TITLE
SITE PLAN FOR SUBDIVISION

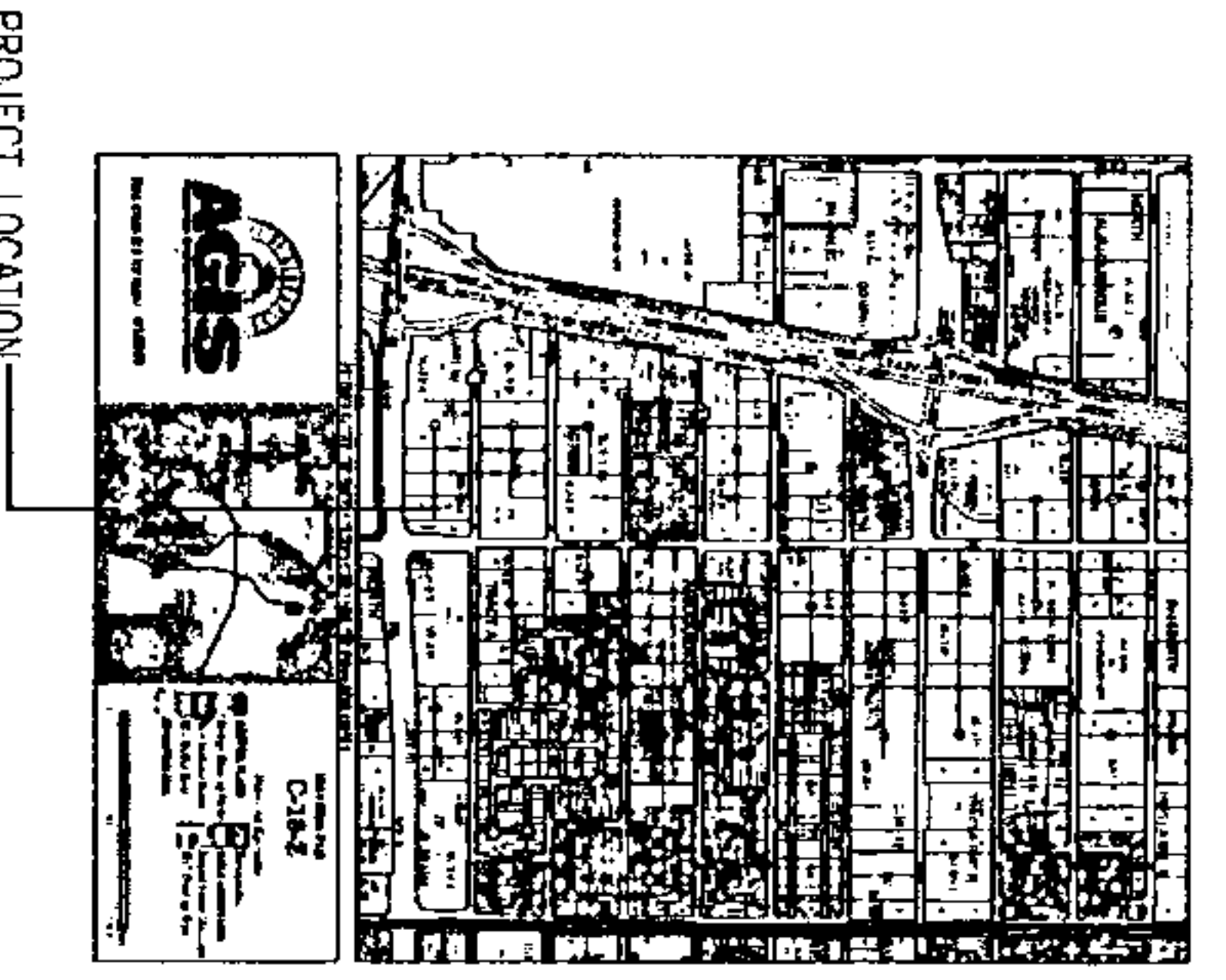
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION
△			
△			
△			
△			
△			



- KEYED NOTE:
- ① 8' STRIPPED PEDESTRIAN CROSSING LOCATION
 - ② PROPOSED LIGHT POLE LOCATION
RE: 6/A1.2 FOR POLE DETAIL
 - ③ EXISTING 6' SIDEWALK
 - ④ HANDICAP RAMP PER COA STD DWG #2441
 - ⑤ INDICATES BIKE RACK LOCATION, (5 BIKE CAPACITY)
RE: 4/A1.2 FOR BIKE RACK DETAIL
 - ⑥ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
RE: SITE PLAN FOR LOCATIONS
RE: 3/A1.2 FOR MOTOR CYCLE SIGN DETAIL
 - ⑦ INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0
NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
 - ⑧ PROVIDE NEW DRIVE CUT AND H.C ACCESSIBLE WHEEL CHAIR RAMP W/ TRUNCATED DOMES AS SPECIFIED WITHIN COA STD. DETAIL #2428
 - ⑨ INDICATES TEMPORARY ASPHALT CURB RE: CIVIL FOR TEMPORARY CURB DETAILS
RE: 4A/A1.2 FOR BENCH DETAIL
 - ⑩ INDICATES NEW BENCH LOCATION
RE: 4A/A1.2 FOR BENCH DETAIL
 - ⑪ INDICATES PROPOSED SIGN LOCATION
RE: 13/A1.2 FOR SIGN DETAIL

LEGAL DESCRIPTION	LOT-14-14A
PROPOSED TRACT NUMBER:	AREA= 85,383 SF/ OR 1.96 AC
TOTAL ACREAGE:	SU-2 FOR M-1 PURPOSES
EXISTING ZONING:	
PROPOSED ZONING:	
BUILDING SIZE:	14,100SF
FAR:	
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	RETAIL
TOTAL PARKING PROVIDED:	119 SPACES
TOTAL PARKING REQ (INC. EMPLOYEE):	119 SPACES
H.C PROVIDED:	6 H.C (INC. 6 VAN ACCESSIBLE)
H.C REQUIRED:	6 H.C SPACES
BIKE SPACES PROVIDED:	10 BIKE SPACES
BIKE SPACES REQUIRED:	6 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	4 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED:	4 MOTORCYCLE SPACE



PROJECT NUMBER:	
APPLICATION NUMBER:	
DATE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
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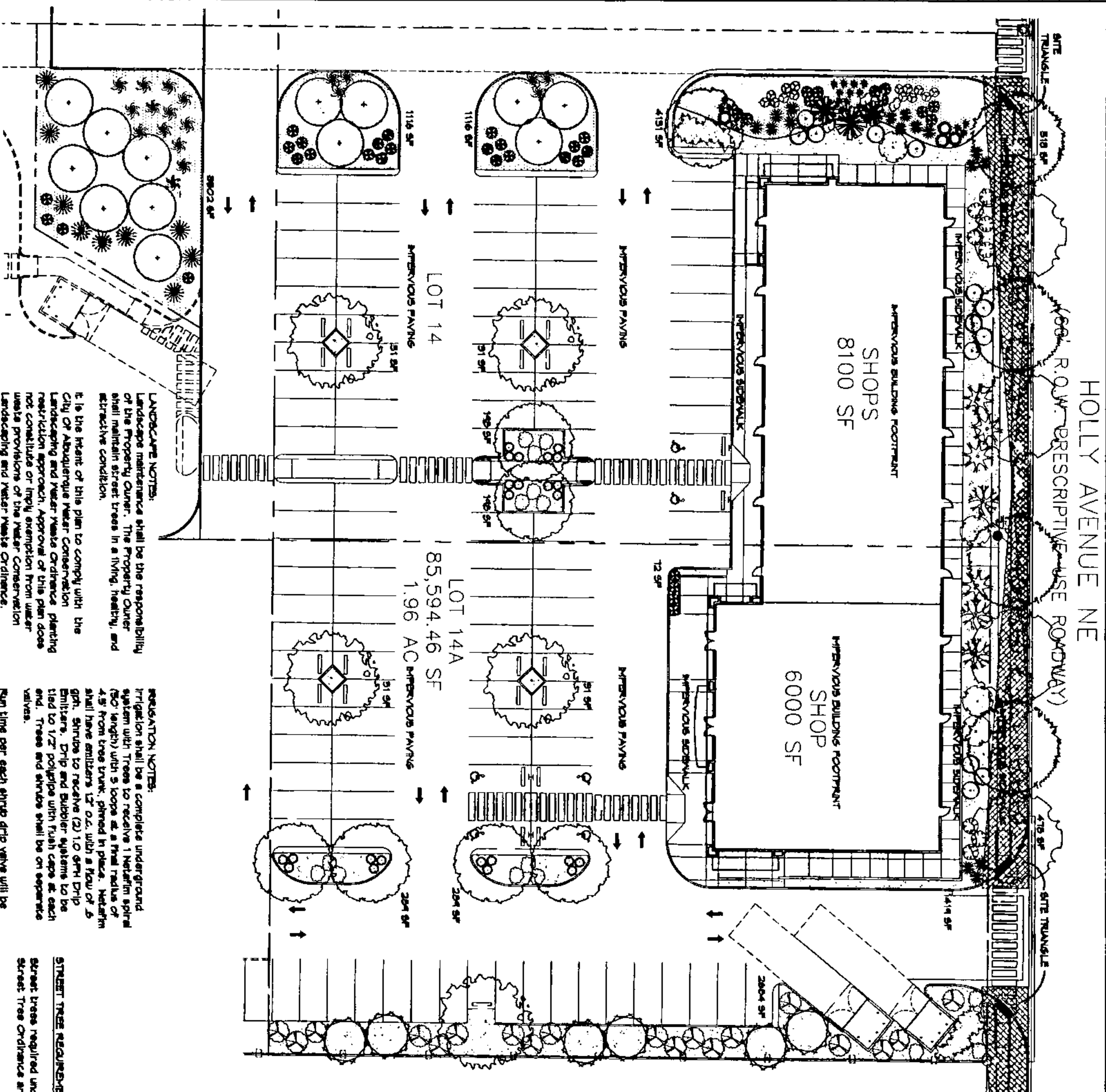
HOLLY PLACE PI

DATE:	11-30
SCALE:	1"=30'
SHEET:	A1.0
TOTAL SHEETS:	01
PROJECT TITLE:	SITE PLAN FOR BUILDING PERMIT

PROJECT TITLE:	HOLLY PLACE PI		
PROJECT ADDRESS:	N.W.C. OF PASSEO BLVD. AND SAN PEDRO ALBUQUERQUE NEW MEXICO		
PROJECT MANAGER:	STEPHEN DUNBAR MA	JOB NO.:	
DRAWN BY:	S	DATE:	
DATE:		DATE:	
DATE:		DATE:	
DATE:		DATE:	
DATE:		DATE:	
DATE:		DATE:	
DATE:		DATE:	
DATE:		DATE:	

REV:	DATE:	BY:	REVISION:

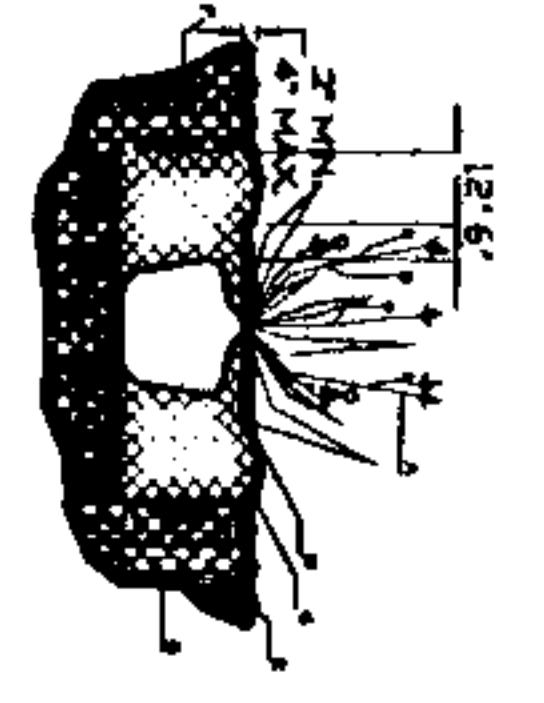
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE SUITE 210
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



HOLLY AVENUE NE
 PRESCRIPTIVE USE ROADWAY

PLANT LEGEND

- SHRUB/ORNAMENTAL GRASSES**
- 19 NON MEXICO OLIVE (N)
 - 20 FORTINERIA MONSIEUR
 - 21 CERCIS CANADENSIS
 - 22 EASTERN REDBUD (M)
 - 23 BRICKWORKER (M)
 - 24 SHAWANO OAK (M)
 - 25 CHINESE FRUITBARK (M)
 - 26 PRUNELLA SPINOSA
 - 27 SHAWANO OAK (M)
 - 28 BRICKWORKER (M)
 - 29 SPANISH BROCCOLI (M)
 - 30 BUTTERNUT FLUSH (M)
 - 31 BUTTERNUT FLUSH (M)
 - 32 BUTTERNUT FLUSH (M)
 - 33 BUTTERNUT FLUSH (M)
 - 34 BUTTERNUT FLUSH (M)
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 - 47 BUTTERNUT FLUSH (M)
 - 48 BUTTERNUT FLUSH (M)
 - 49 BUTTERNUT FLUSH (M)
 - 50 BUTTERNUT FLUSH (M)
- EMERGENT ACCENTS**
- 1 PALM YUCCA (L)
 - 2 YUCCA TROPICALIS
 - 3 PALM YUCCA (L)
 - 4 PALM YUCCA (L)
 - 5 PALM YUCCA (L)
 - 6 PALM YUCCA (L)
 - 7 PALM YUCCA (L)
 - 8 PALM YUCCA (L)
 - 9 PALM YUCCA (L)
 - 10 PALM YUCCA (L)
 - 11 PALM YUCCA (L)
- GROUNDCOVERS**
- 1 HONOLULU (M)
 - 2 LANTANA
 - 3 LANTANA
 - 4 LANTANA
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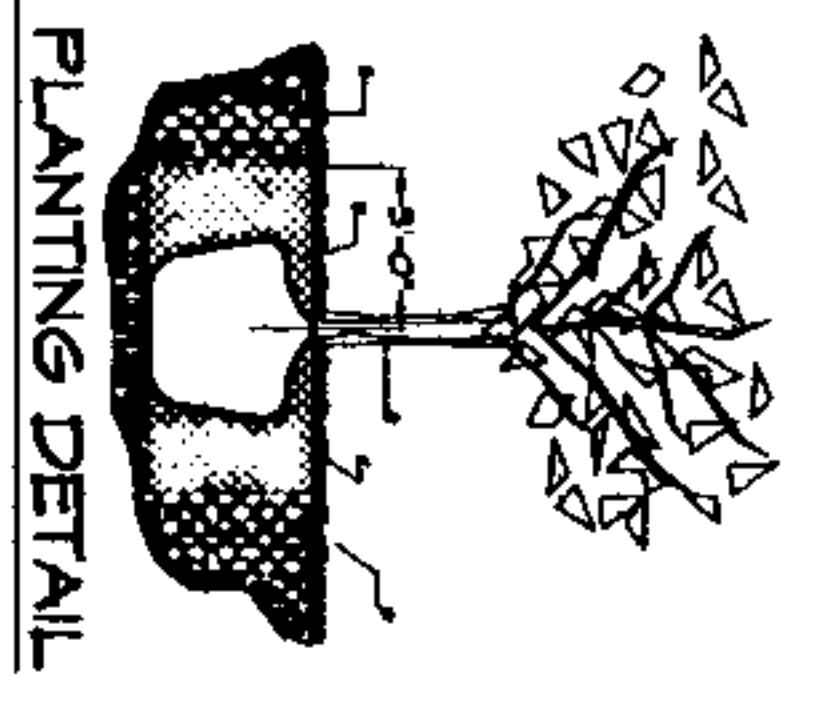
SHRUB PLANTING DETAIL

GENERAL NOTES:

- THE OUTSIDE DIAMETER OF THE WATER DISTRIBUTION PIPING SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- SHRUBS
- BACKFILL WITH EXISTING SOIL
- EARTH BENCH AROUND WATER RETENTION BASIN
- 3\"/>



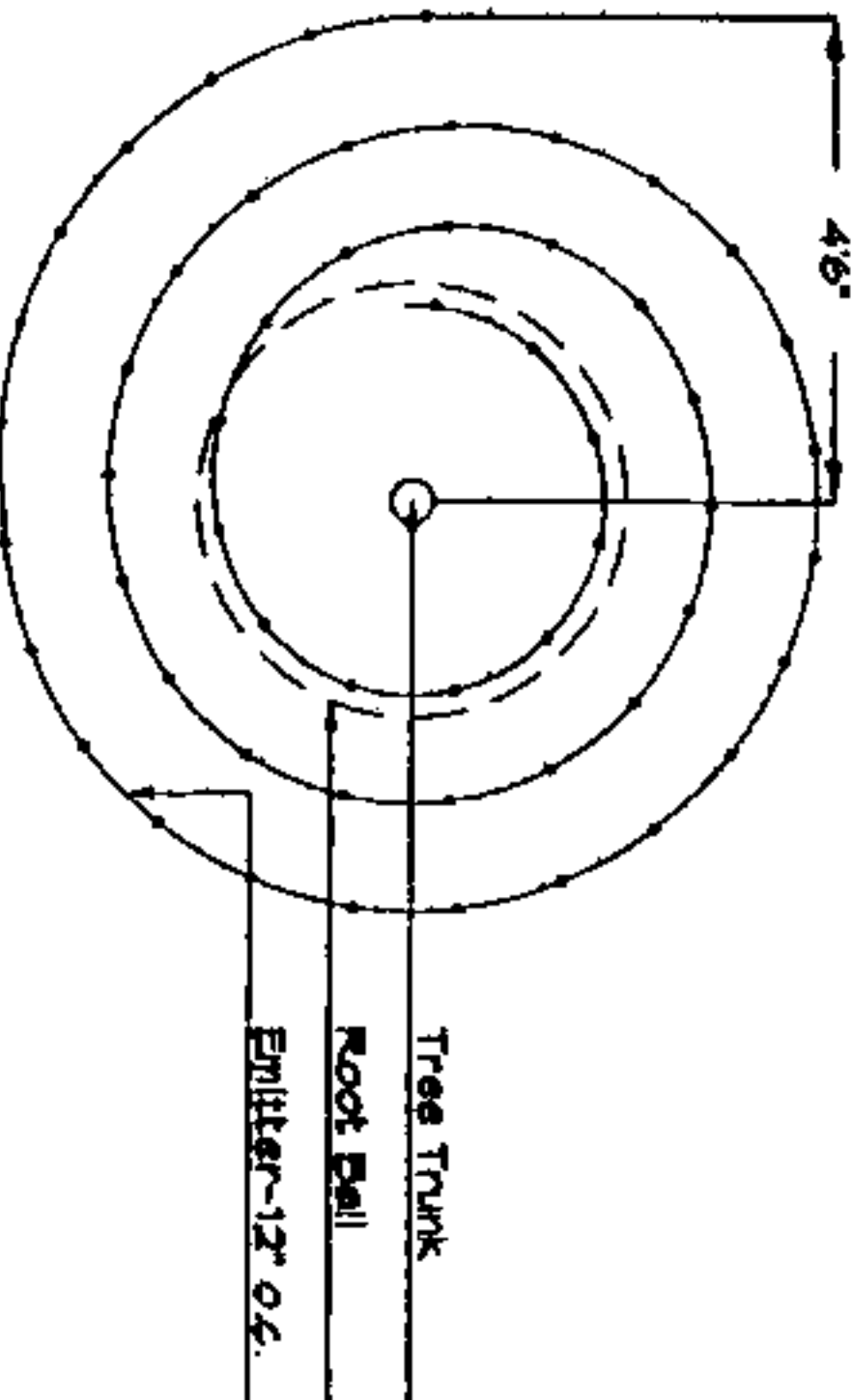
TREE PLANTING DETAIL

GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DO NOT THIS NEARBY LEVEL AT WHICH TREE WAS PLANTED UNLESS OTHERWISE NOTED ON DRAWING.
- FRONT TO BACKFILLING TREE ALL WEED, ROOTS AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- FRONT TO BACKFILLING ALL BRUSH SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

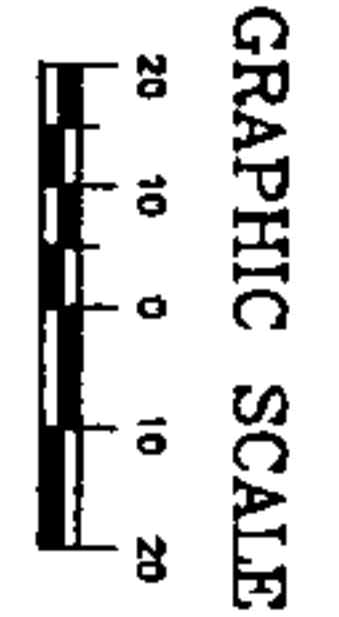
CONSTRUCTION NOTES:

- TREE
- BACKFILL WITH EXISTING SOIL
- 3\"/>



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	69594	square feet
TOTAL BUILDINGS AREA	14100	square feet
NET LOT AREA	71494	square feet
LANDSCAPE REQUIREMENT	193%	square feet
TOTAL LANDSCAPE REQUIREMENT	10734	square feet
TOTAL BED PROVIDED	18961	square feet
GROUNDCOVER REQ.	175%	square feet
TOTAL GROUNDCOVER PROVIDED	15710	square feet
TOTAL GROUNDCOVER PROVIDED	15710 (75%)	square feet
TOTAL SOIL AREA	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	18961 (29%)	square feet



should the hilltop not receive a grading and drainage plan during the design process or the on site grades differ from the grading and drainage plan received. The hilltop reserves the right to apply slope stabilization materials under the specified grades will not be suitable. This will be addressed as an individual change order.

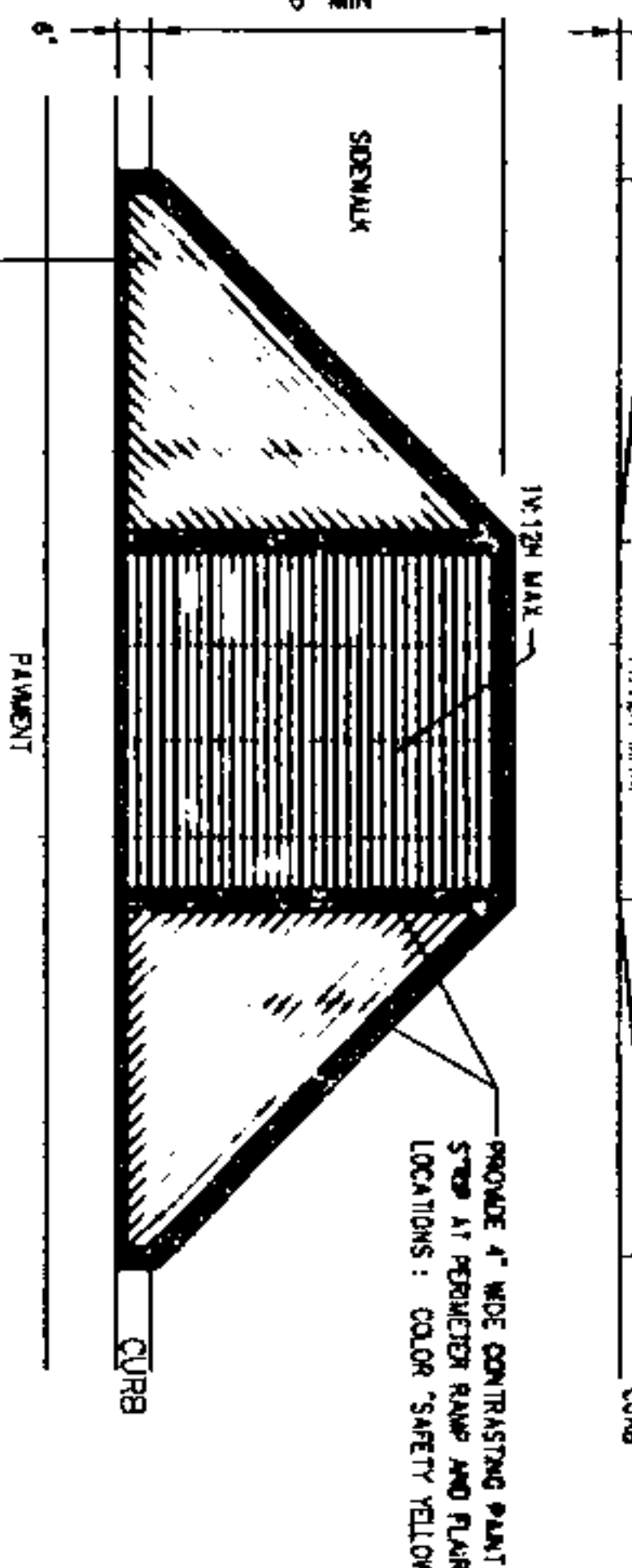
LANDSCAPE NOTES:
 Landscaping maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.
 e. In the event of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Reuse Ordinance, planting not constituting an irrigation system shall be approved by the Water Conservation Landscaping and Water Reuse Ordinance.
 Water management is the sole responsibility of the Property Owner. All landscaping will be in accordance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Rollin Ordinance, and Water Conservation Landscaping and Water Reuse Ordinance. In general, water conservation, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Santa Fe Brown gravel over filter fabric to a minimum depth of 3\"/>

RESURFACING NOTES:
 Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50 length) with 5 loops at a final radius of 4.5\"/>

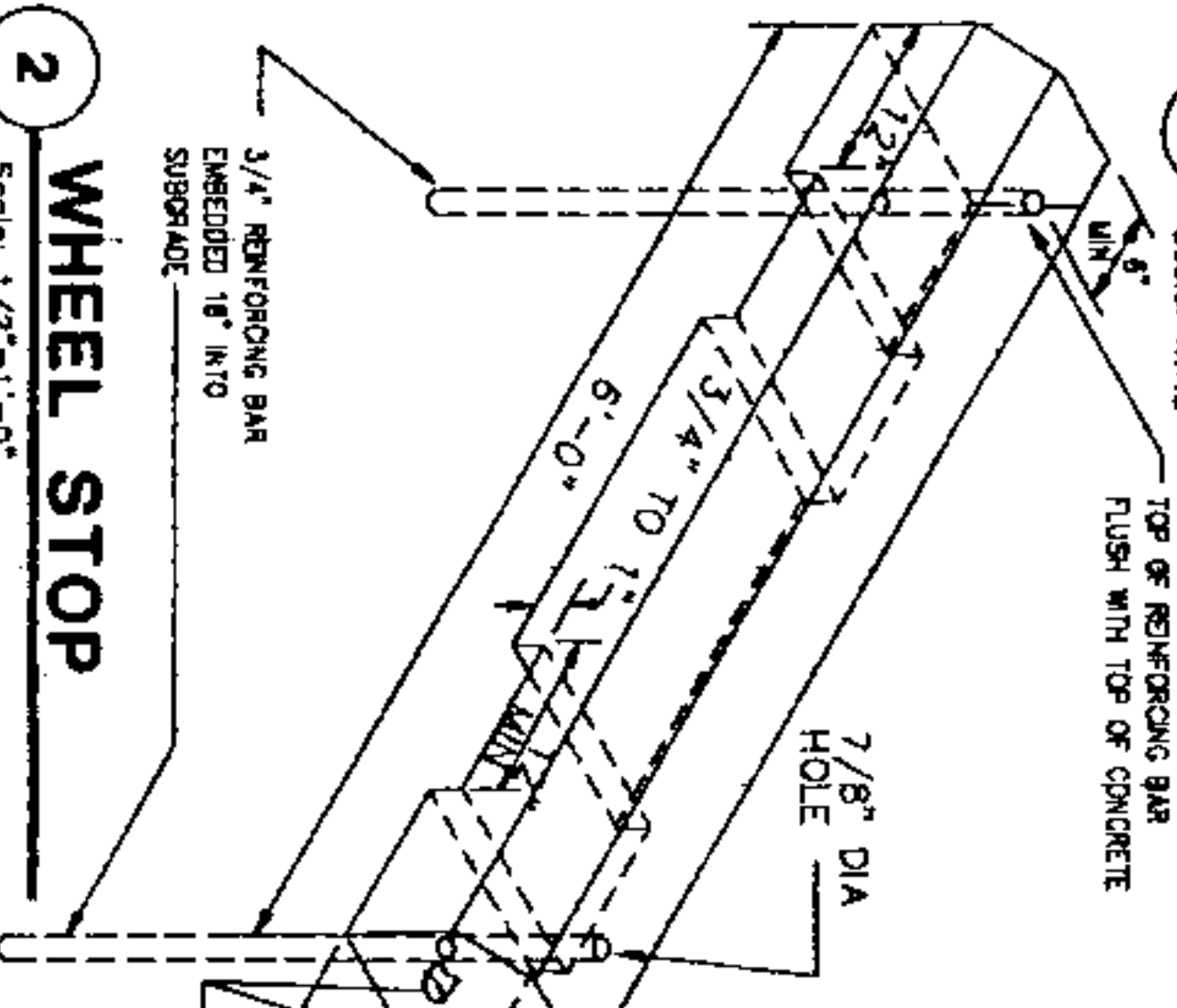
STREET TREE REQUIREMENTS
 Street trees required under the City of Albuquerque Ordinance are as follows:
 Name of Street: HOLLY
 Required: 5 Provided: 5

PARKING LOT TREE REQUIREMENTS
 Shade trees required under the City of Albuquerque Ordinance are as follows:
 1 Shade tree per 10 spaces Required: 6 Provided: 6

<p>LANDSCAPE ARCHITECTS & CONTRACTORS</p>	<p>CONTRACTOR'S SEAL</p> <p>DATE: 10-11-07</p>	<p>HOLLY PLACE PHASE 2</p>	<p>LANDSCAPE PLAN</p>	<p>JAMES DE FLOW 10-11-07</p>	<p>Cont. Lic #28458 7908 Edin N.E. Albuquerque, NM 87184 Ph. (505) 898-9690 Fax (505) 898-7737 cm@hilltoplandscaping.com</p>
	<p>DRAWN BY: [Signature]</p> <p>REVISION: [Signature]</p> <p>DATE: 10-11-07</p>	<p>11 of 11</p>	<p>11 of 11</p>	<p>11 of 11</p>	<p>11 of 11</p>



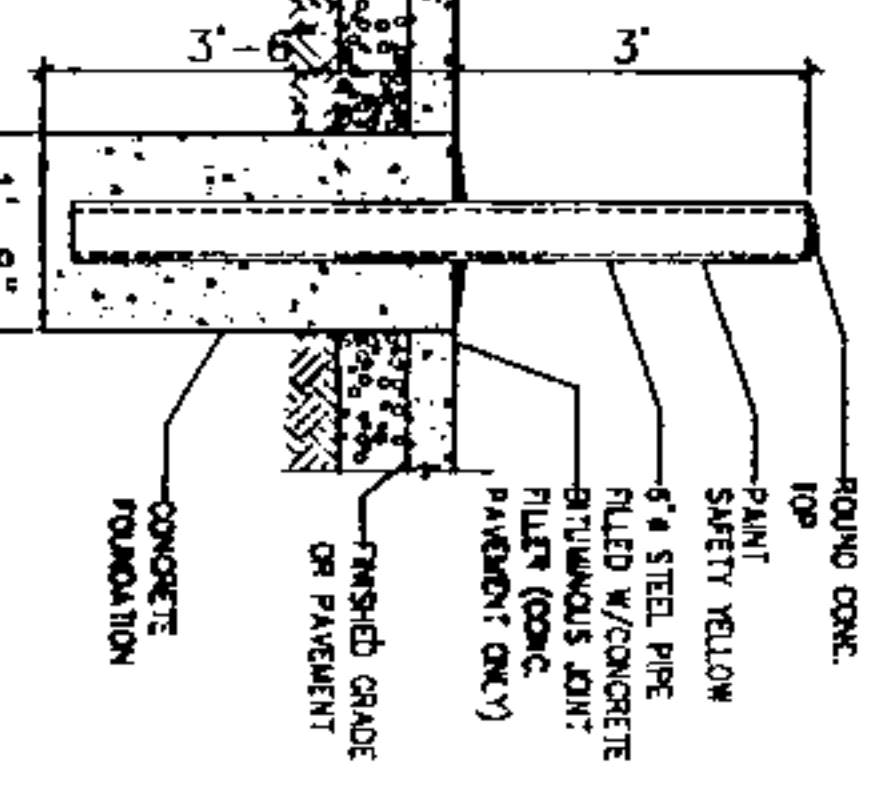
1 H.C. RAMP
Scale: N.T.S.



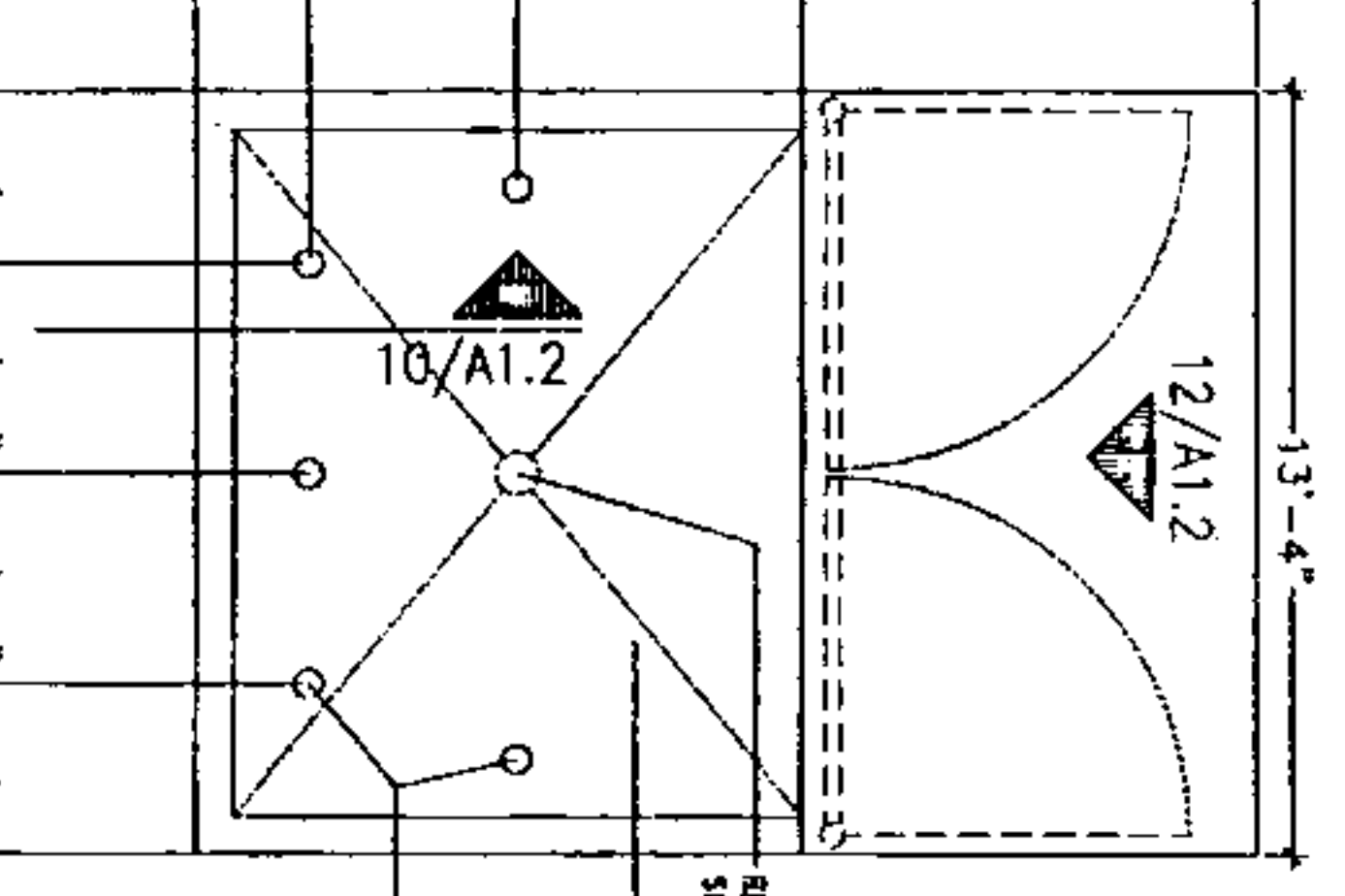
2 WHEEL STOP
Scale: 1/2"=1'-0"

7 ENCLOSURE NOTES
Scale: N.T.S.

- CHECKED NOTES**
- 1. 8" OUL. WALL WITH 2 COAT S.M. STUCCO
 - 2. FINISH GRADE
 - 3. 4" CONCRETE SLAB 3000 P.S. BASE COLOR
 - 4. 3/4" ASPHALT WITH EBT - 1800 T.M.M.
 - 5. 3/4" CONCRETE APPROX. 3000 P.S. 1800 T.M.M. W/ TURNOVER EDGE
 - 6. 2" P.B. BASE @ TOP APPROX. 20' LONG
 - 7. 2" ASPHALT PAINT TO MATCH SURROUNDING AREA
 - 8. 2" ASPHALT PAINT TO MATCH SURROUNDING AREA
 - 9. 2" ASPHALT PAINT TO MATCH SURROUNDING AREA
 - 10. 2" ASPHALT PAINT TO MATCH SURROUNDING AREA
 - 11. 2" ASPHALT PAINT TO MATCH SURROUNDING AREA



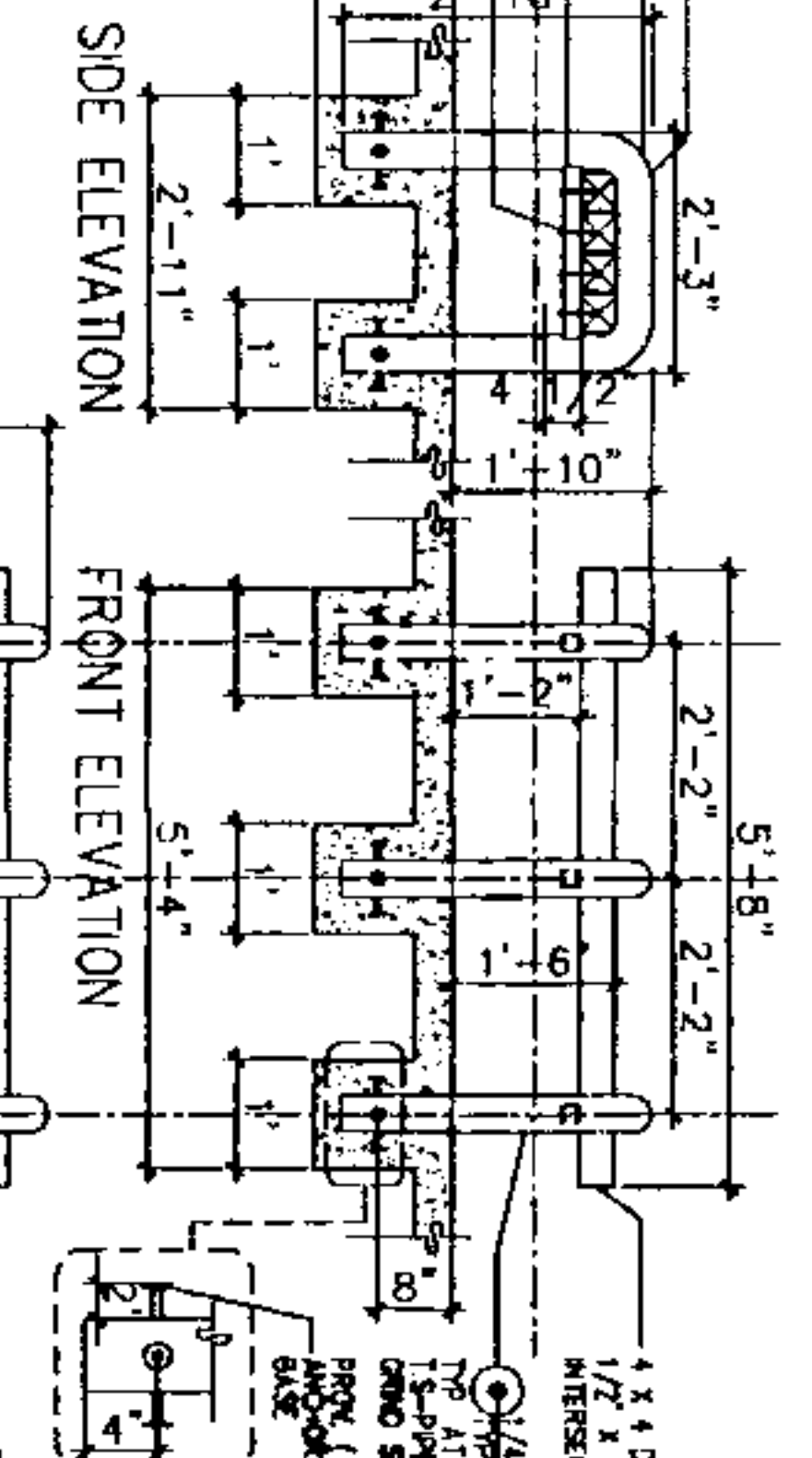
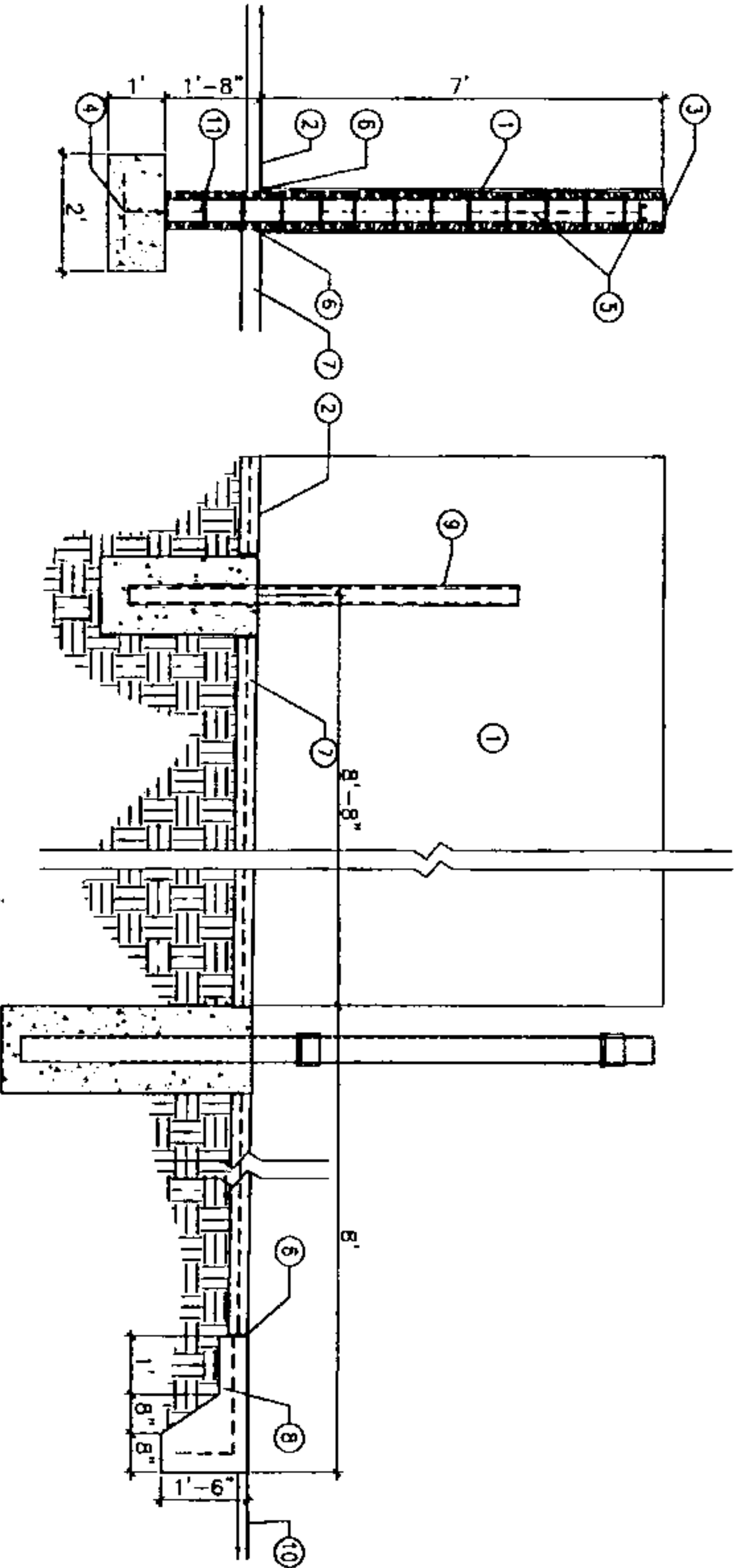
5 BOLLARD DETAIL
Scale: 1/2"=1'-0"



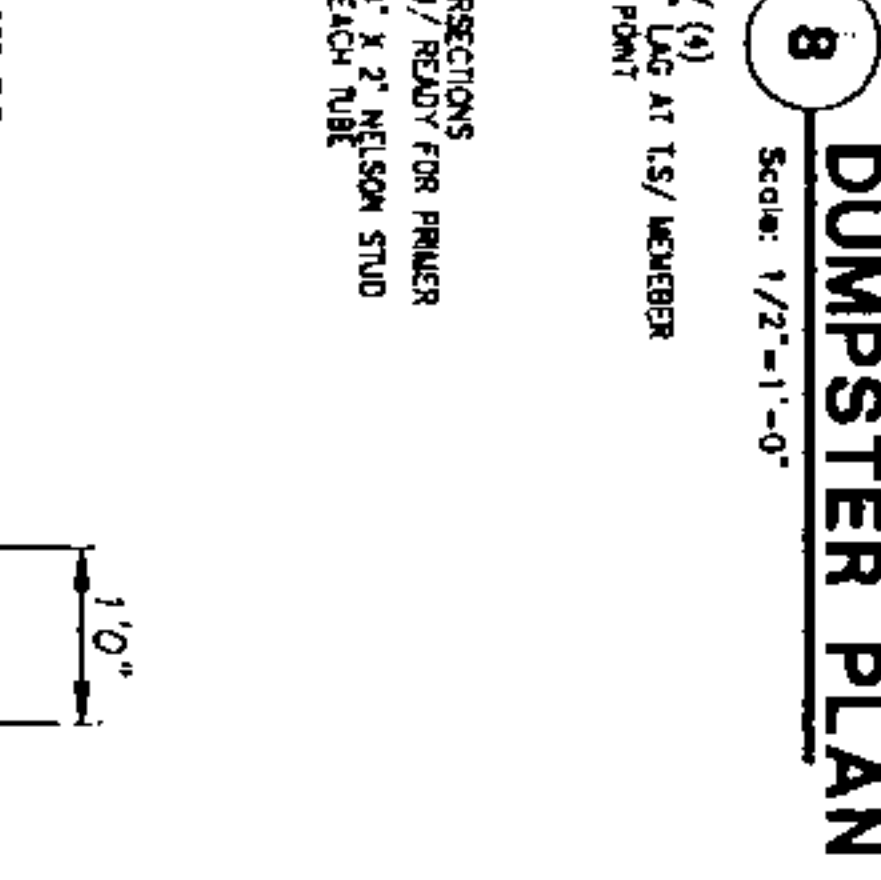
8 DUMPSTER PLAN
Scale: 1/2"=1'-0"

10 DUMPSTER SEC
Scale: 1/2"=1'-0"

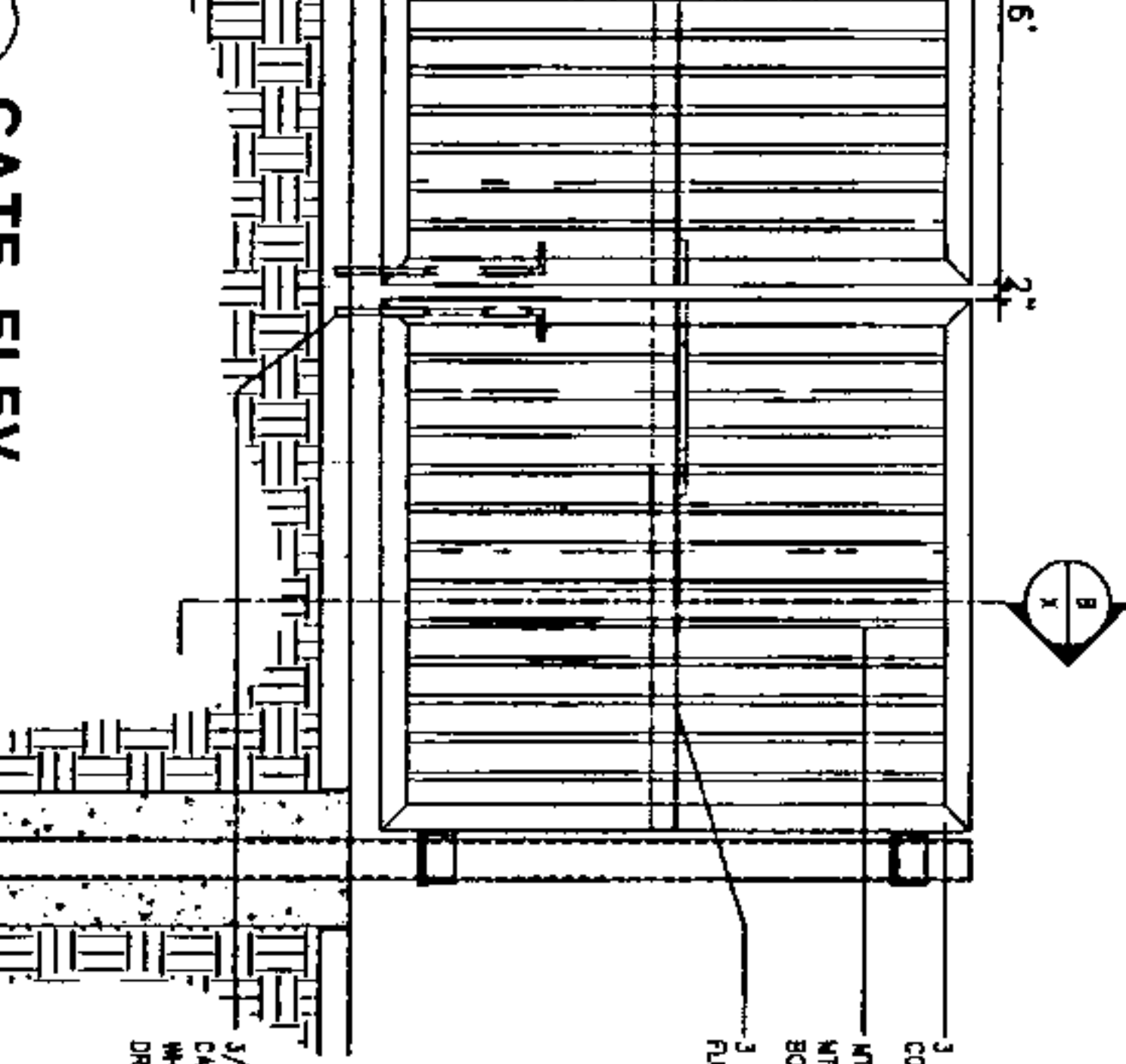
11 DUMPSTER SEC
Scale: 1/2"=1'-0"



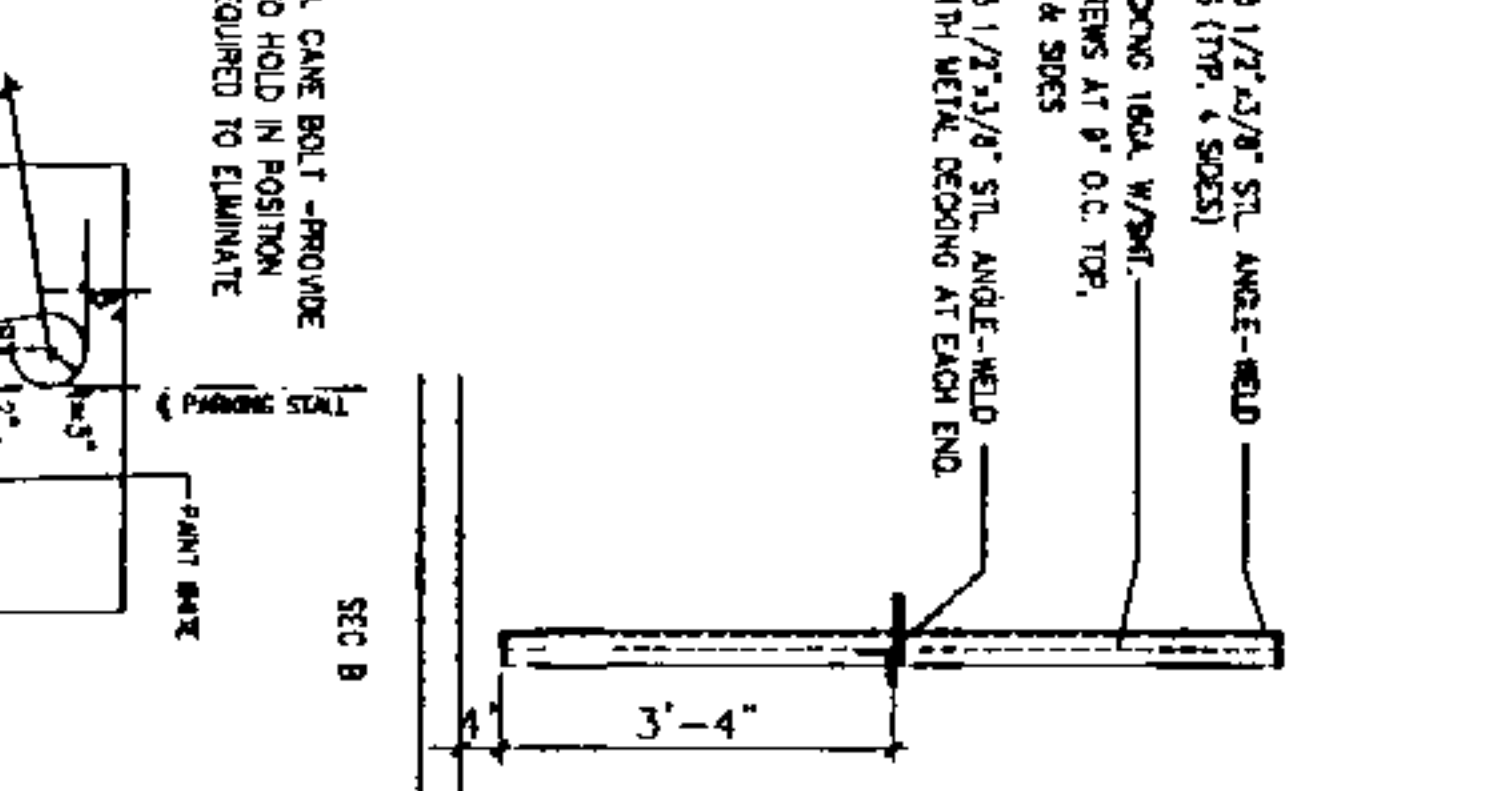
4A BENCH DET.
Scale: N.T.S.



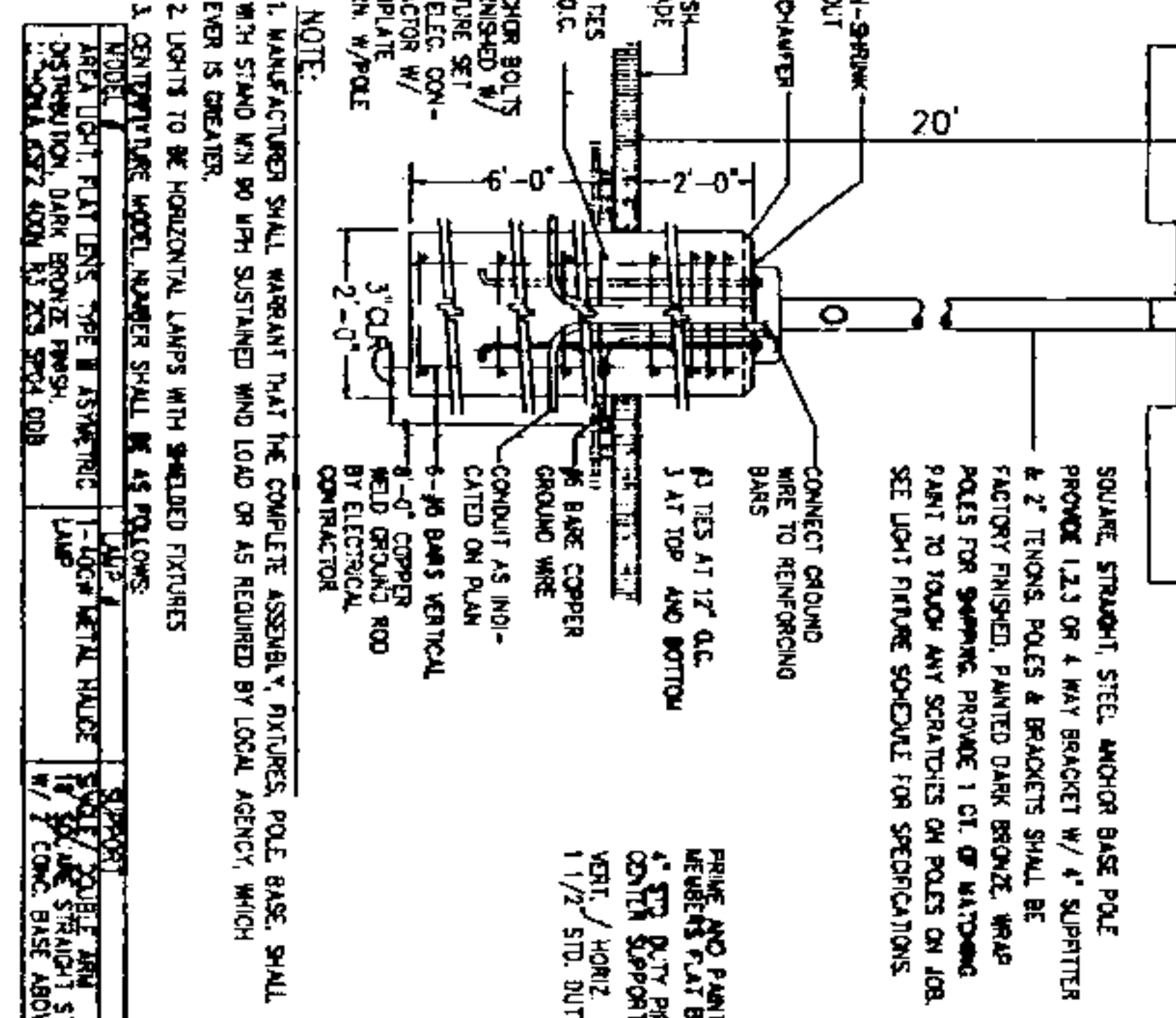
9 H.C. TYP. PARKING DET.
Scale: N.T.S.



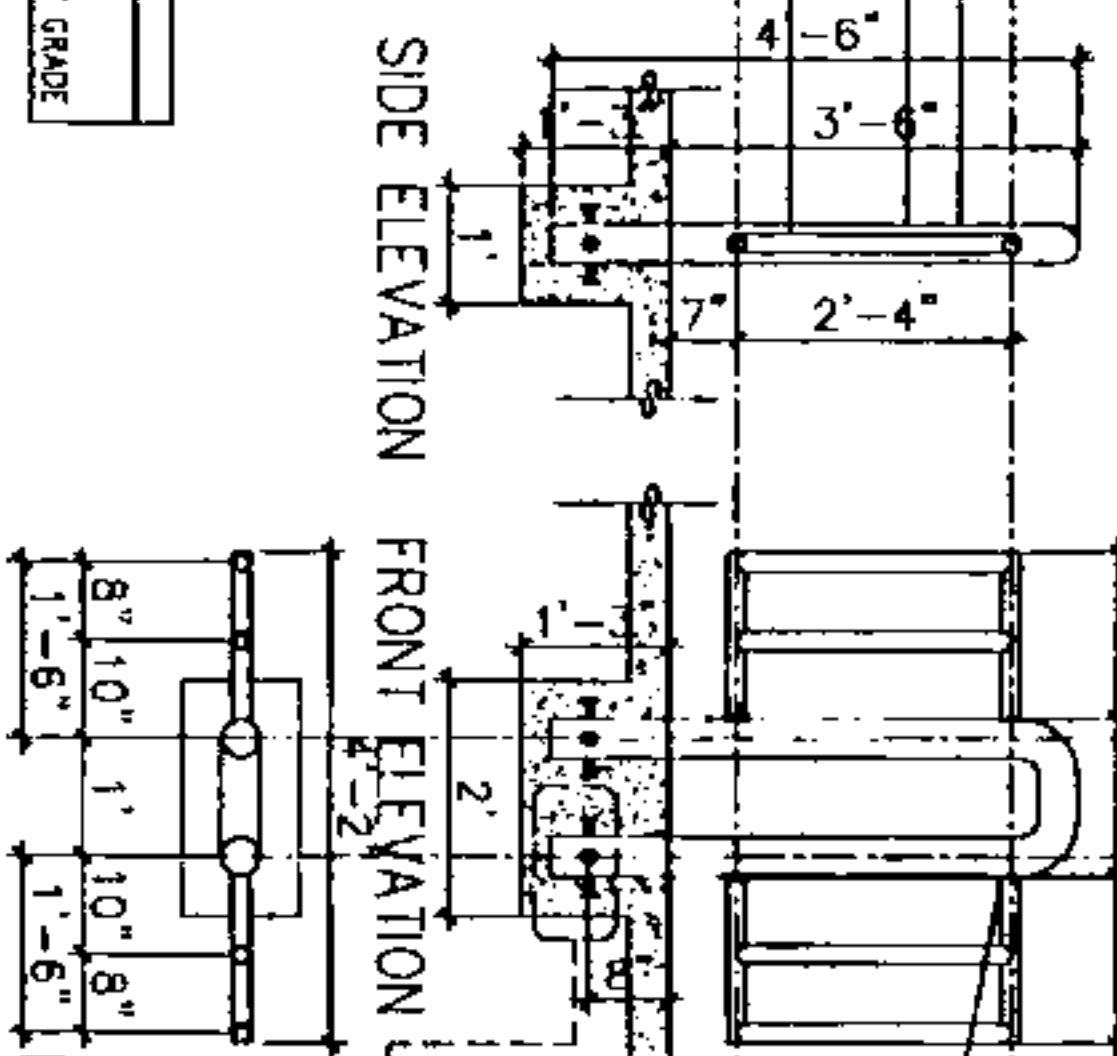
12 GATE ELEV.
Scale: 1/2"=1'-0"



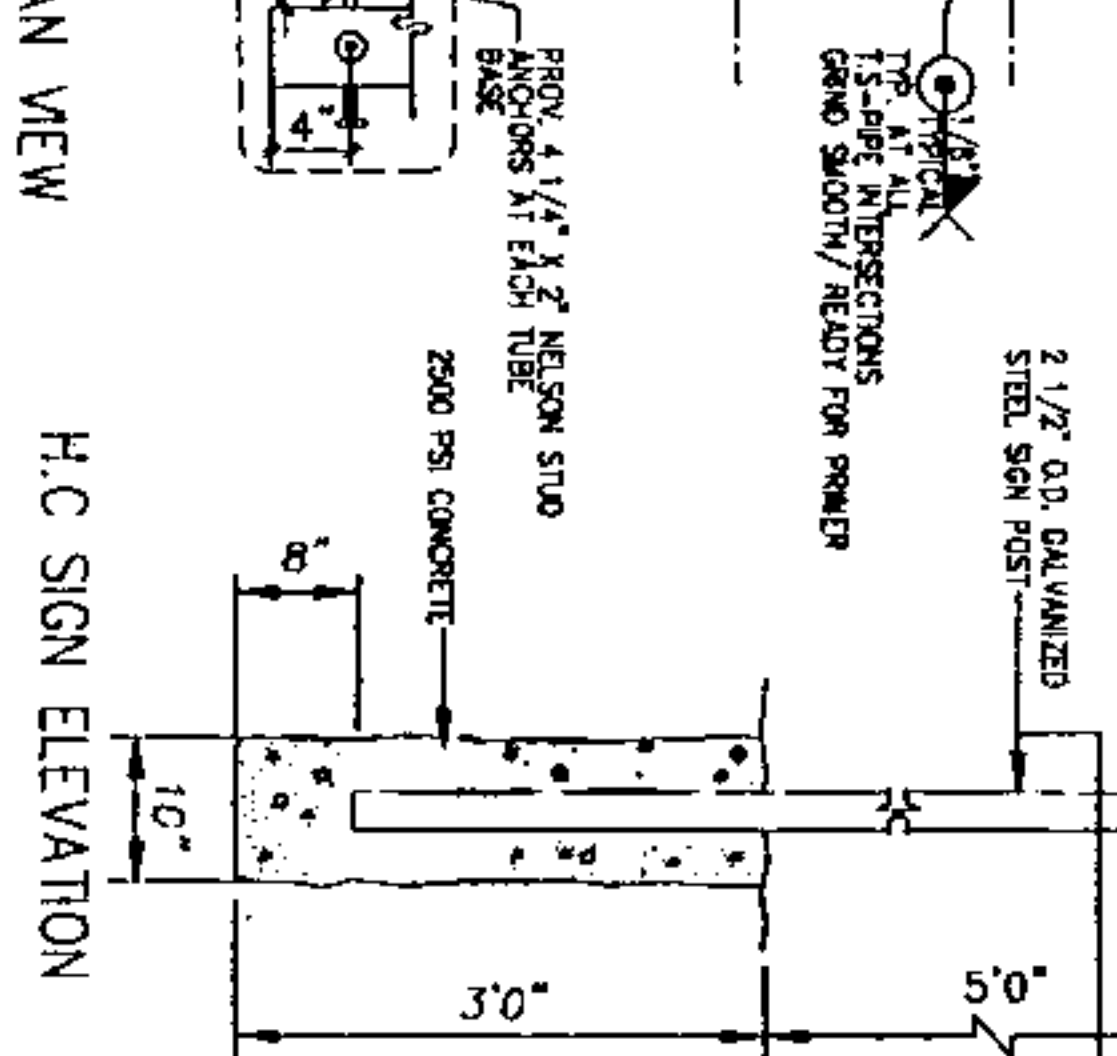
9A H.C. SYMBOL
Scale: N.T.S.



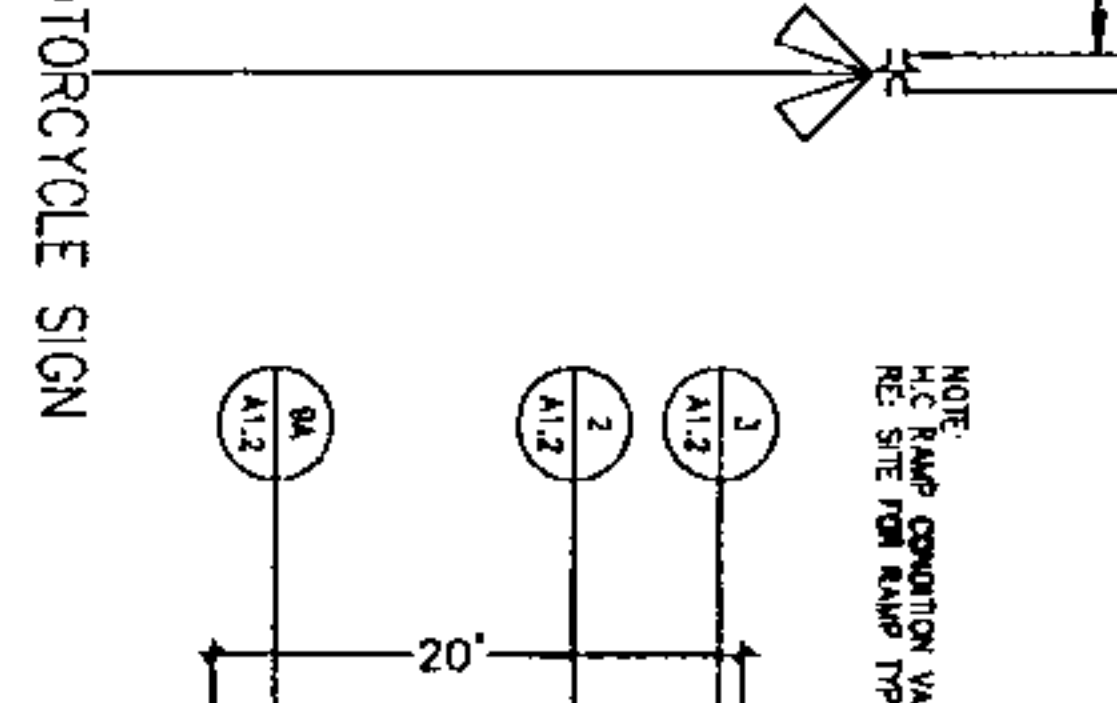
6 LIGHT POLE DETAIL
Scale: N.T.S.



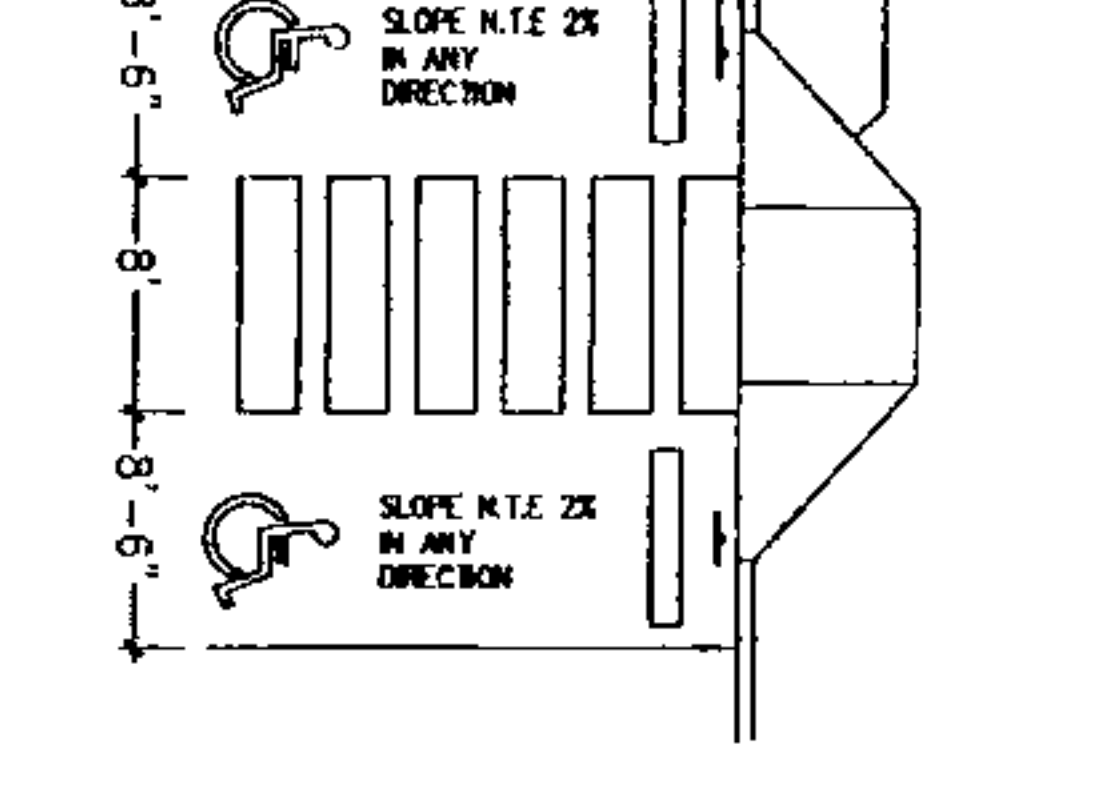
4 BIKE RACK
Scale: N.T.S.



3 H.C. MOTOR CYCLE SIGN DETAIL
Scale: N.T.S.



9 H.C. TYP. PARKING DET.
Scale: N.T.S.



19 PYLON SIGN ELEVATIONS
Scale: N.T.S.
248\"/>

PROJECT TITLE
HOLLY PLACE
N.E.C. OF PASO AND SAN PEDRO
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER JOHNSON
STEPHEN DUMBAR AA

JOB NO. _____

DATE 4/23/07
SCALE 1/8"=1'-0"

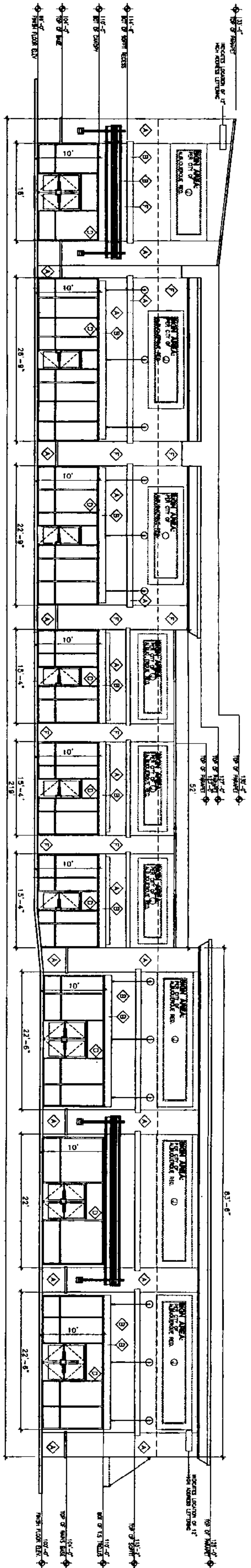
DRAWN BY: SD

SHEET TITLE
SITE DETAILS

SHEET NO. A1.2
OF 1

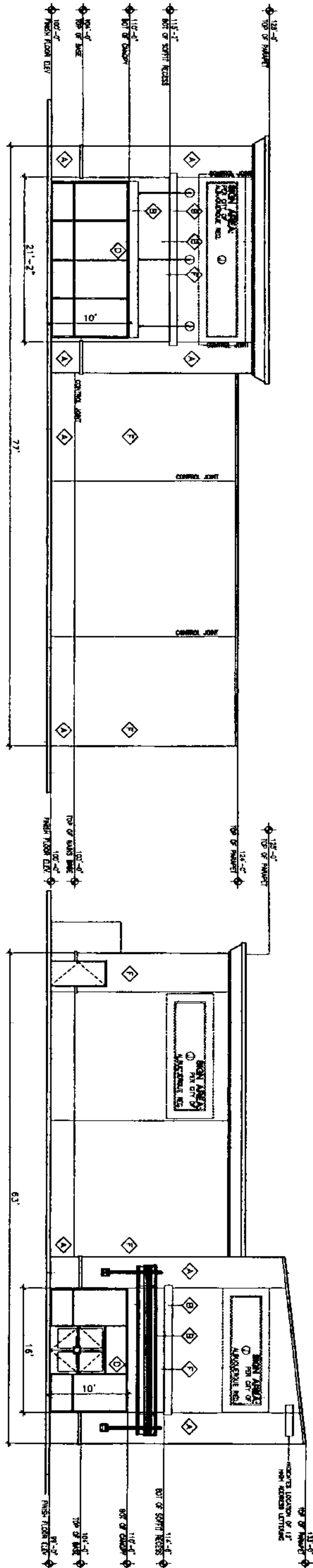
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION



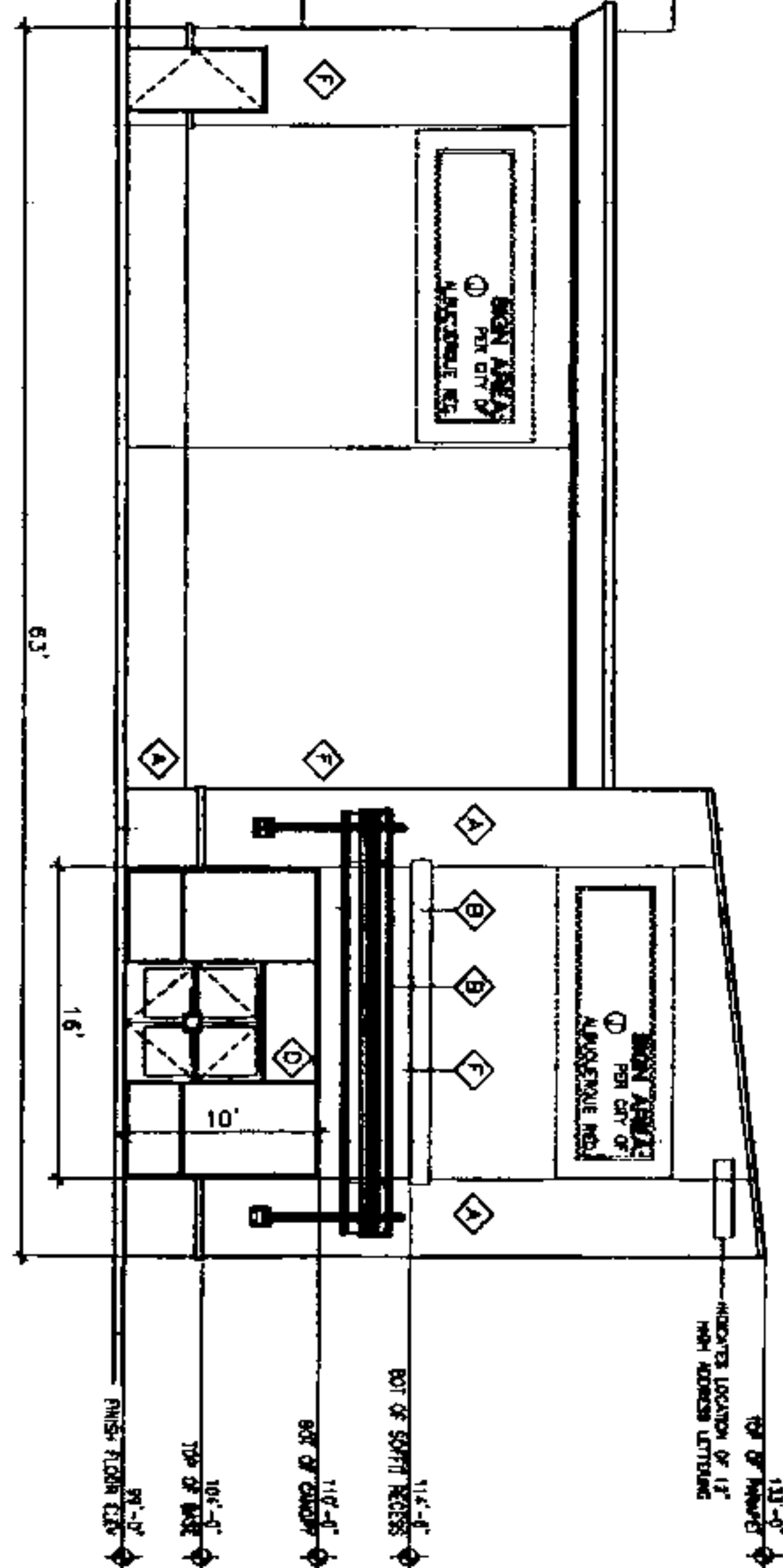
1 SOUTHERN ELEV.
Scale: 1/8" = 1'-0"
1" = 0' 2 1/2"

NOTE: ALL BUILDING MATERIALS TO BE MATCHED TO INSTALLATION BY TOWN AND COUNTY CONTRACTOR.
1" = BOX LOCATION W/ CREDIT AND FULL-SHINE STORED INTO TOWN SPACE.



2 WESTERN/EASTERN ELEV.
Scale: 1/8" = 1'-0"
1" = 0' 2 1/2"

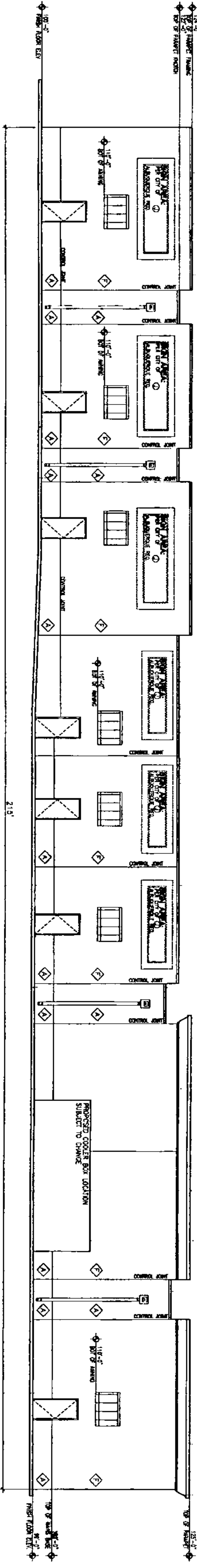
NOTE: ALL BUILDING MATERIALS TO BE MATCHED TO INSTALLATION BY TOWN AND COUNTY CONTRACTOR.
1" = BOX LOCATION W/ CREDIT AND FULL-SHINE STORED INTO TOWN SPACE.



3 WESTERN/EASTERN ELEV.
Scale: 1/8" = 1'-0"
1" = 0' 2 1/2"

NOTE: ALL BUILDING MATERIALS TO BE MATCHED TO INSTALLATION BY TOWN AND COUNTY CONTRACTOR.
1" = BOX LOCATION W/ CREDIT AND FULL-SHINE STORED INTO TOWN SPACE.

- ◇ COLOR / SHADE NOTES:
- ◇ STAINLESS STEEL SYSTEM TO MATCH
- ◇ COLOR (OAK OR (OAK BROWN)
- ◇ COLOR (DARK BROWN)
- ◇ COLOR (DARK BROWN)
- ◇ ALUMINUM EXTERIOR SYSTEM
- ◇ COLOR: SLATE AND ALUMINUM
- ◇ STAINLESS STEEL SYSTEM TO MATCH
- ◇ COLOR: (1) (OAK BROWN) (2) (OAK BROWN)
- ◇ COLOR TO MATCH: (1) (OAK BROWN) (2) (OAK BROWN)
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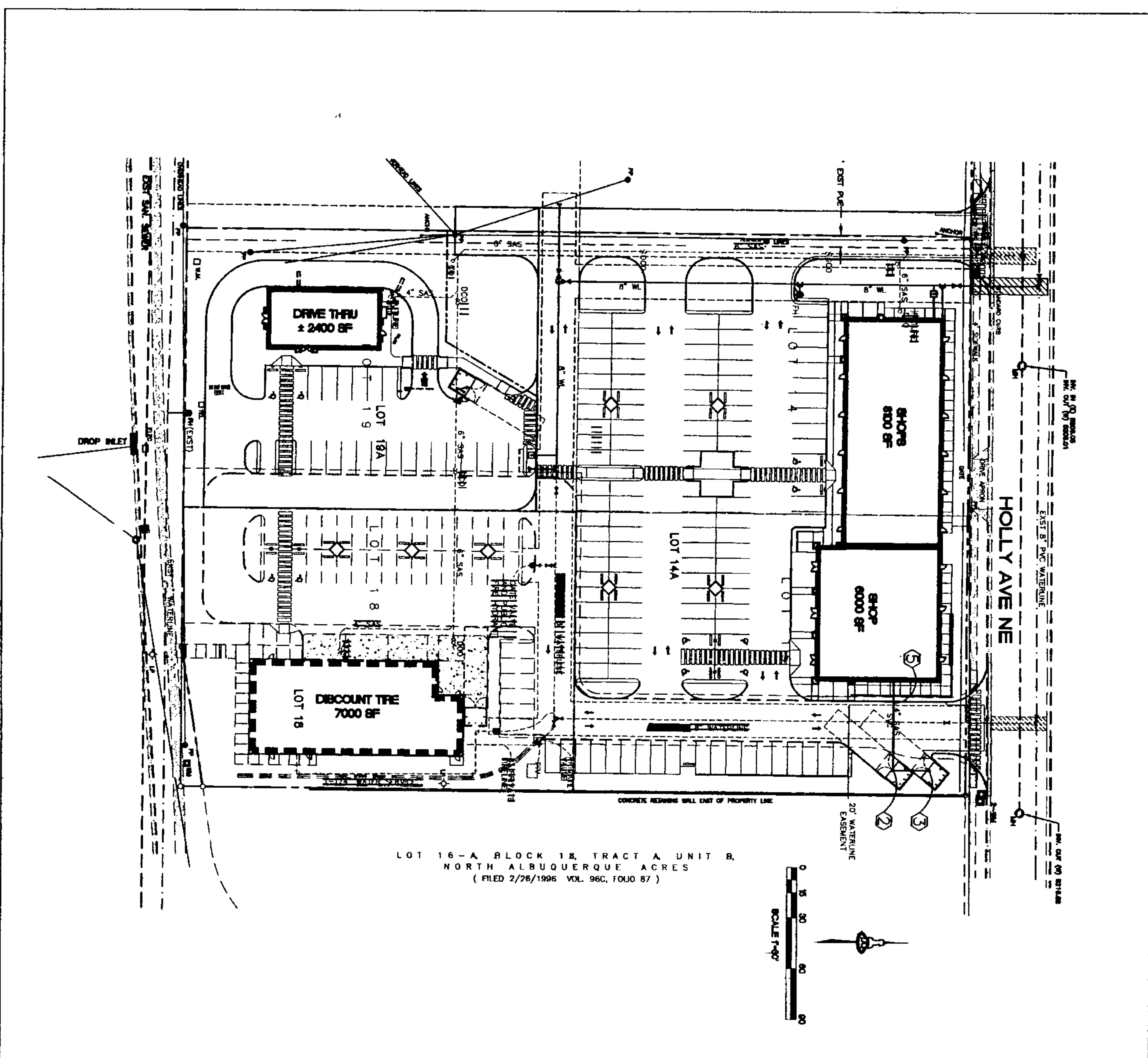
4 NORTHERN ELEV.
Scale: 1/8" = 1'-0"
1" = 0' 2 1/2"

NOTE: ALL BUILDING MATERIALS TO BE MATCHED TO INSTALLATION BY TOWN AND COUNTY CONTRACTOR.
1" = BOX LOCATION W/ CREDIT AND FULL-SHINE STORED INTO TOWN SPACE.

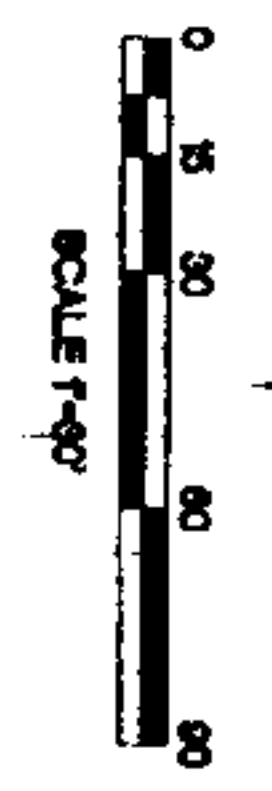
PROJECT TITLE	HOLLY PLACE		
	N.W.C. OF PASO DEL NORTE, AND SAN PEDRO ALBUQUERQUE NEW MEXICO		
PROJECT MANAGER	JOB NO.	DRAWN BY	
STEPHEN DANBAR AIA		SD	
SHEET TITLE	SHOPS-1 ELEVATION		
DATE	4/23/07		
SCALE	1/8" = 1'-0"		
SHEET NO.	A4.0		

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-8110 FAX (505) 837-9877

REV	DATE	BY	REVISION



LOT 16-A BLOCK 18, TRACT A UNIT B,
NORTH ALBUQUERQUE ACRES
(FILED 2/76/1996 VOL. 96C, FOLIO 87)



KEYED CONSTRUCTION NOTES

1. AREA DRAIN W/ 6" RAMP GRATE ELEV. 20.20
2. AREA DRAIN W/ 6" RAMP MANHOLE ELEV. 23.40
3. AREA DRAIN W/ 6" RAMP MANHOLE ELEV. 24.50
4. 6" PRIVATE GATE VALVE W/ VALVE BOX.
5. 8" GAS SPC. INH. 15.87

NOTE:
ALL WATERLINE IN PUBLIC RIGHT-OF-WAY AND EASEMENTS TO BE CONSTRUCTED BY PUBLIC WORK ORDER PLANS.

GENERAL NOTES

1. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE @ 280-1890 FOR LOCATION OF EXISTING UTILITIES.
4. CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND AGREEMENTS OF THE CITY OF ALBUQUERQUE AND TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS. CONTRACTORS SHALL EXERCISE AND MAINTAIN, AS REQUIRED BY THE CONDITIONS OF THE CONTRACT, THE SAFETY OF THE PUBLIC AND THE PROGRESS OF THE PROJECT THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADVISE TO SECTION 18 OF THE GENERAL CONDITIONS OF THE CONTRACT ANY AND ALL LIABILITIES OF CONTRACTOR TO BE MAINTAINED THROUGHOUT THE PROJECT, AS REFERRED TO IN SPEC. 100.01.
5. THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
6. WHEN ADJUSTING EXISTING PAVEMENT TO NEW EXISTING PAVED BY THE FIELD ENGINEER, REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
7. EXISTING CURBS AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR AT HIS EXPENSE.
8. ALL FINAL BALANCE FOR THE CONTRACT SHALL BE COMPACTED TO A MINIMUM 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 501.12 AND STANDARD DRAWING NUMBER 210.
9. THE CONTRACTOR SHALL PROPERLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM THE EFFECT OF THIS CONTRACTOR'S ACTIVITIES.
10. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. LIFT AND/OR SCHEDULE WORK SHALL BE INDEMNIFIED TO WATER-UTILITY LINES AND/OR SEWER LINES.
11. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF ALL UTILITY LINES AND ACCESSORIES AS OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
12. THE CONTRACTOR SHALL PROVIDE AT NO COST TO THE CONTRACTOR THE RECORD DRAWINGS OF ALL UTILITY LINES AND ACCESSORIES AS OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
13. WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY. LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SHOULD BE VERIFIED WHERE THE CONTRACTOR IS BIDDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED UTILITIES.

LEGEND

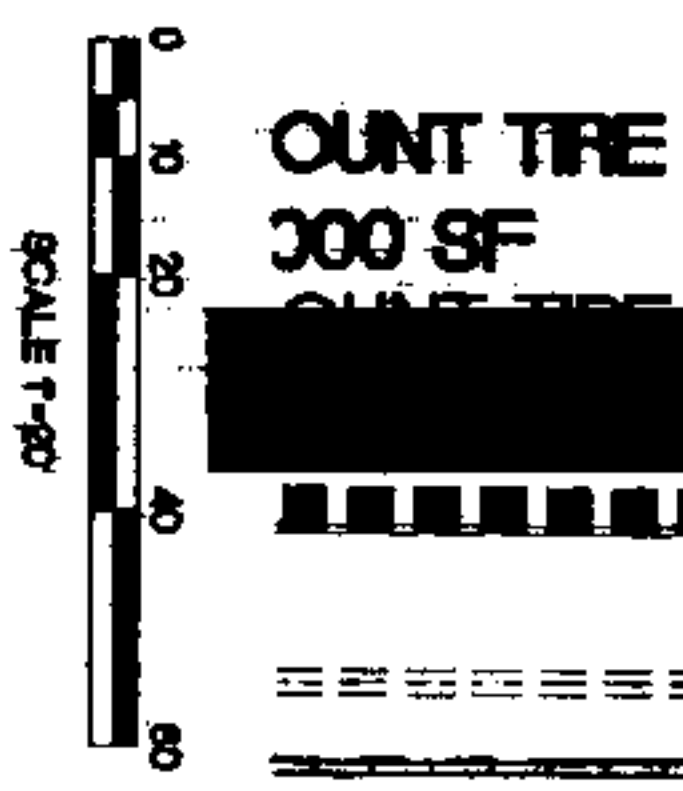
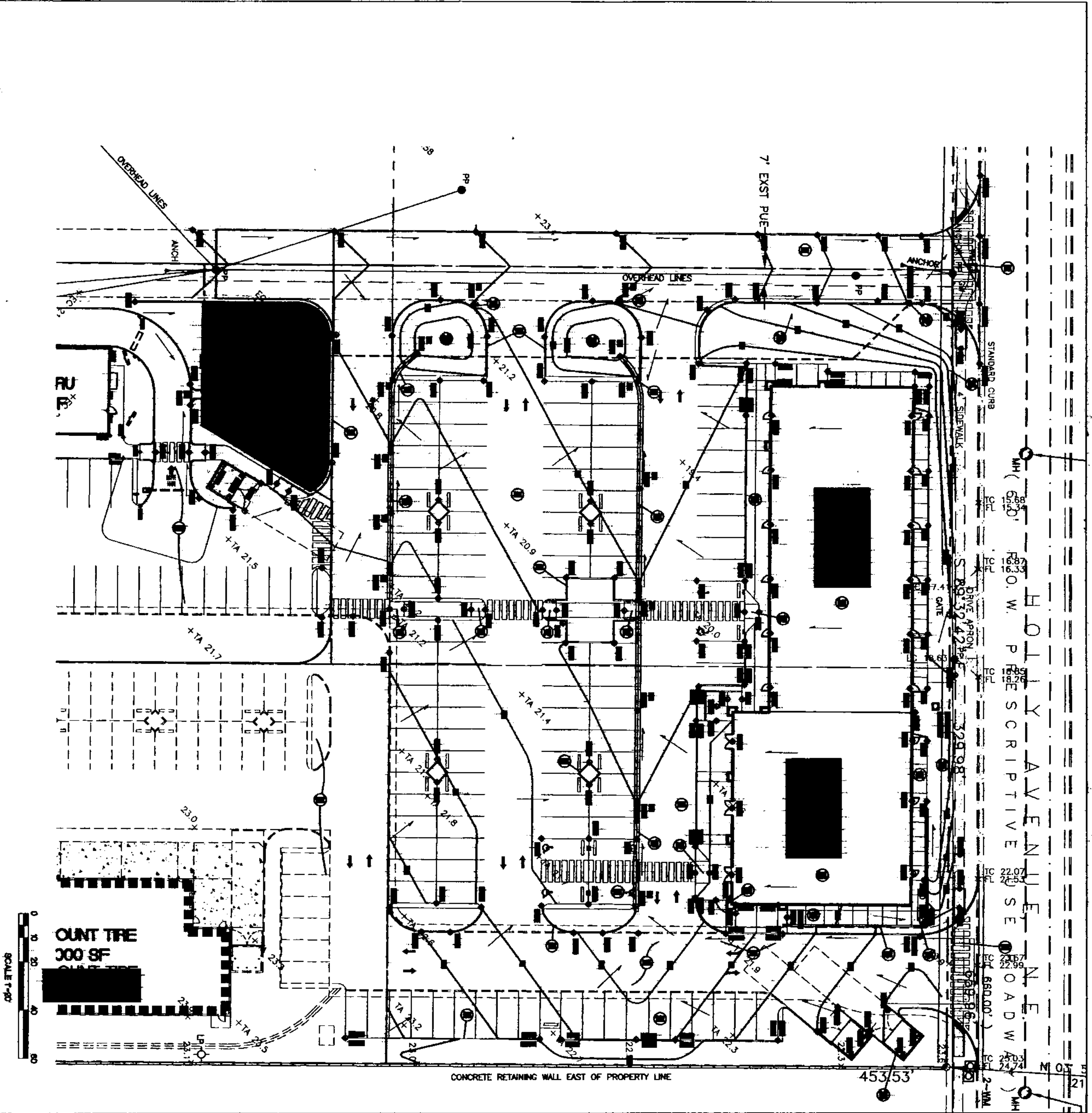
	PROPOSED PAVEMENT CUT
	EXISTING W./
	EXISTING S.S.
	GATE VALVE W/ VALVE BOX
	POST INDICATOR VALVE
	FIRE HYDRANT
	WATER LINE W/ FITTING
	PROPOSED S.S.
	SEWER CLEANOUT
	DOUBLE CLEANOUT
	WATER METER
	PHASE LINE
	PROPOSED EASEMENT
	6\" S.S.
	FUTURE S.S.
	AREA DRAIN

UTILITY PLAN

ISAACSON & ARTMAN, P.A.
 Consulting Engineering Associates
 1100 North 16th Street, N.E.
 Albuquerque, New Mexico 87108
 Tel: 505-268-8224 Fax: 505-268-2632
 14636040840949 04-11-2007

Date:	12/09/05	Job No.:	1438
Drawn By:	dl		
Scale:	As Shown		
Job No.:	1438		

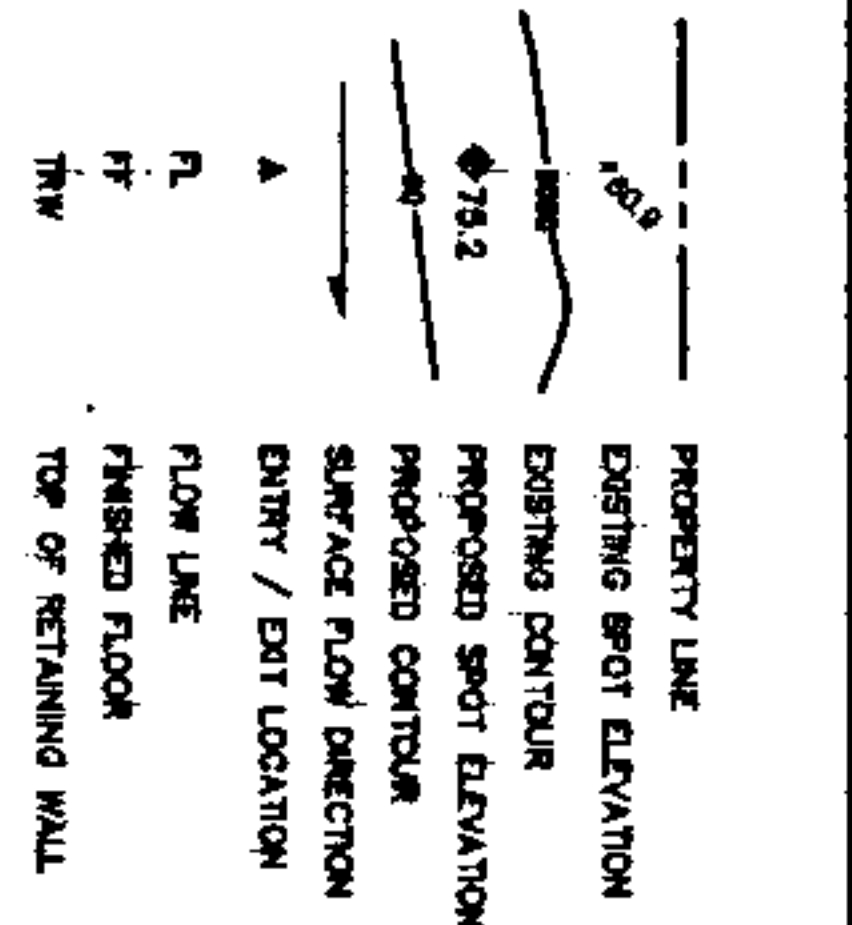
The Engineer, Architect, or Designer herein is not responsible for any errors or omissions in this drawing which may result from the use of this drawing for any purpose other than that intended by the Engineer, Architect, or Designer herein.



KEYED NOTES

- EXISTING SITE ENTRANCE CONSTRUCTED AS PART OF PHASE 1. MATCH EXISTING FOR SMOOTH TRANSITION.
- EXISTING PAVED ACCESS ROAD TO LOT 18 CONSTRUCTED AS PART OF PHASE 1. MATCH EXISTING FOR SMOOTH TRANSITION.
- PHASE 1 CONSTRUCTION (LOT 18) CURRENTLY UNDERWAY. TRANSITIONS - ALL SIZES.
- LOT 18A (STATE OWNED) WILL BE CONSTRUCTED AS PART OF PHASE 3 (OUTLINE).
- CONSTRUCT NEW ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- TOP OF ASPHALT TO BE FINISH WITH TOP OF CONCRETE WALK THROUGH. MATCH EXISTING TO PREVIOUS PHASES. PLANING FROM FLUSH WITH WALK TO 6" MEDIAN CURB AND OUTLET OVER 10' THIS AREA.
- CONSTRUCT 6" HIGH MEDIAN CURB AND OUTLET AT ELEVATIONS SHOWN FOR ALL ON-SITE CURB LOCATIONS. SEE DETAIL SHEET C-2.
- CONSTRUCT 2" WIDE CONCRETE ALLEY OUTLET AT FLOWLINE ELEVATIONS SHOWN (GROUND / MIN. SLOPE). SEE DETAIL SHEET C-2.
- PROVIDE 2" WIDE OPENING IN CURB TO PASS VALLEY OUTLET TO LANDSCAPING. SEE DETAIL SHEET C-2.
- PROVIDE 2" WIDE OPENING IN CURB AT PAVING LOW POINT TO PASS EXCESS FLOW TO PAVED AREA. SEE DETAIL SHEET C-2.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL ELEVATIONS SHOWN.
- CONSTRUCT CONCRETE WALK ALONG BUILDING PERIMETER AT ELEVATIONS SHOWN.
- CONSTRUCT CONCRETE WALK AT NORTHEAST PORTION OF BUILDING TO ACHIEVE GRADE DIFFERENCES. SEE ARCHITECTURAL FOR DETAILS.
- CONSTRUCT CONCRETE WALK THIS AREA TO DISBURSE POSITIVE GRADIENT AWAY FROM BUILDING. NO BROADWAYS. PROVIDE 2" WIDE HOLES THROUGH WALL TO 0.5' OF GRAVEL. PROVIDE 2" 4" O.C. TO PASS UNIFORM FLOW.
- SLOPE TRANSITION WITHIN CONCRETE AS SHOWN.
- CONSTRUCT DETENTION POND THIS AREA. SEE SHEET C-2 FOR DETAILS. PROVIDE EROSION PROTECTION ON SOUTH POND SLOPE.
- CONSTRUCT CONCRETE RUNDOWN PER DETAIL SHEET C-2. CONSTRUCT TEMPORARY ASPHALT CURB BOTH SIDES TO PROTECT SUB-BASIN 1 FLOW TO NEW RUNDOWN.
- INSTALL POND OUTLET WITH 6" DIA. SAND STRAIN AT 0.25' ABOVE FINISH GRADE WITH 2" DIA. ADDITIONAL INVERSION.
- CONSTRUCT LANDSCAPED DETENTION AREA AT GRADES SHOWN TO ACCEPT VALLEY OUTLET FLOW. FLOW IN EXCESS OF BASIN CAPACITY WILL DISCHARGE TO PAVED AREA AT LOW SIDE OVERFLOW.
- BUILDING ROOF DISCHARGE TO BE RELEASED TO INTERIOR PATENT VIA DOWNSPUTS WITH SWIRLWALL COLLECTORS OR PAVED AND RELEASED AT FACE OF TYPICAL DOWN WALL.
- SEE SHEET C-2 FOR PPE OUTLET THIS AREA.
- CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- INSTALL PERMANENT TYPE REINFORCEMENT MAT (TRM) ON ALL ROOFDECKS > 3:1. SEE LANDSCAPE PLAN.
- GRADES SHOWN WITHIN LANDSCAPED AREAS ARE FOR GENERAL GRADING INFORMATION TO INDICATE DRAINAGE DIRECTION. PROVIDE POSITIVE GRADING AWAY FROM BUILDING ALL SIZES. SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE INFORMATION.

LEGEND



COA ZONE ATLAS MAP #C-18



SITE INFORMATION

LEGAL: LOT 14A OR BLOCK 18, TRACT A, UNIT 8, NORTH ALBUQUERQUE ACRES
 AREA: 1.86 ACRES
 SUBDIVISION: THOMAS D. JOHNSON - MAP#04258
 OFF-SITE: LOTS 18 AND 18A DRAIN THROUGH THIS REPORT. THE INCLUDED DRAINAGE REPORT ACCOUNTS FOR DISCHARGE FOR LOTS 12, 13, 14A, 15, 16A, 20 AND 21.
 FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #177, THE SITE IS LOCATED WITHIN FLOOD ZONE 'X', DESIGNATED AS AREAS OUTSIDE THE 500 YEAR FLOODZONE.

GENERAL NOTES

- COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DETAIL PLAN, FLUTE UTILITY DRAWINGS AND DETAILS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO READ, VERIFY, AND DISSEMINATE TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES ARE SHOWN AS 'E', TRANSITION TO EXISTING SHALL BE SHOWN AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH WATER, (IE. FINISH GRADE), TOP OF CONCRETE, TOP OF LANDSCAPING MATERIAL, ETC. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS SHOWN SHIMS LATERAL INTERFERENCES.

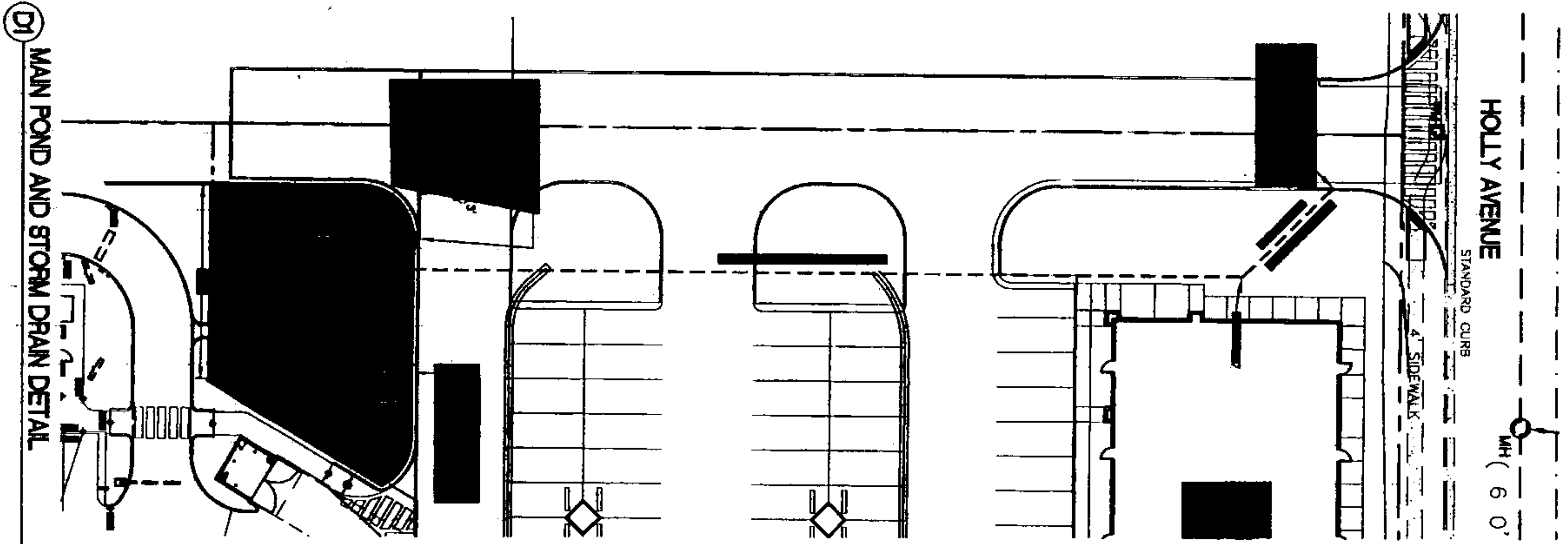
NOTES FROM SURVEY

- BOUNDARY DIMENSIONS ARE BETWEEN RECORD CORNERS AND SURVEY POINTS. THE BUILDING HAS BEEN MOVED TO NEW LOCATION STATE PLANS 080, 081, 082.
- BASE OF ELEVATIONS ARE 84' 7.41" (21' 1.34" ALUM. DIRK - SET ON TOP OF CONCRETE DRIVE MOUNT APPROX. 100' WEST OF CENTERLINE OF SAN PABLO DRIVE, ELEV. 1207.00 (NAD 83)).
- TRM IN LAUNDRY RM LOCATED IN CONC. BEHAVIOR B. OR SOUTH PROPERTY LINE ELEV. 21.15.
- LOCATIONS OF SURVEY STAKES AND MILEMARKS ARE FROM VERTICAL NOTES SUPPLIED BY 60'-LX-ONE CHANNEL PROVIDED BY CITY OF SITE.

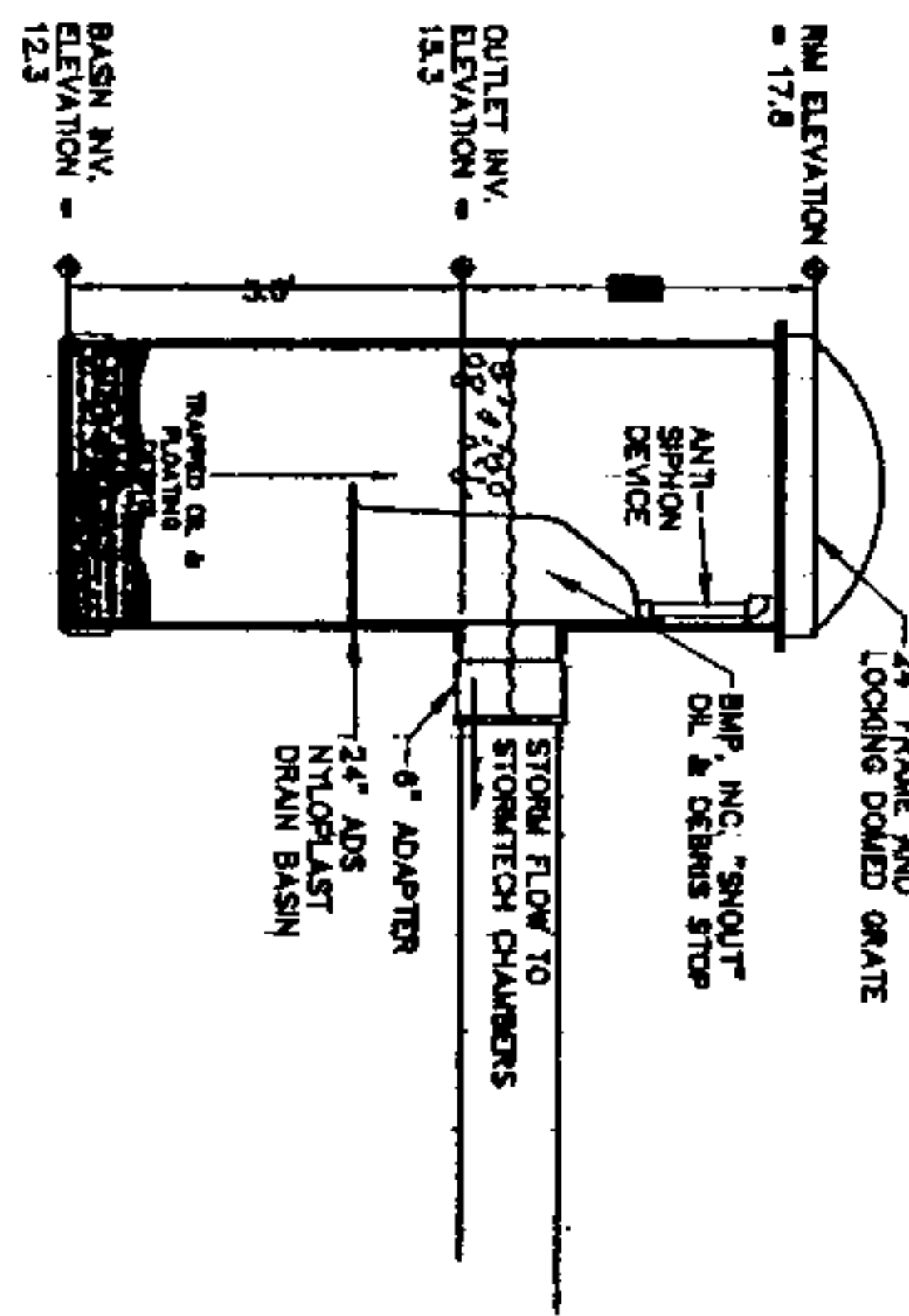
JACOBSON & ARPMAN, P.A.
 Consulting Engineering Associates
 1400 West 13th Street, Suite 200
 Albuquerque, New Mexico 87106
 (505) 255-8628 Fax: (505) 255-2632
 www.jacobsen.com

GRADING AND DRAINAGE PLAN

Drawn by	ML	Check by	ML
Date	10/29/07	Scale	As Shown

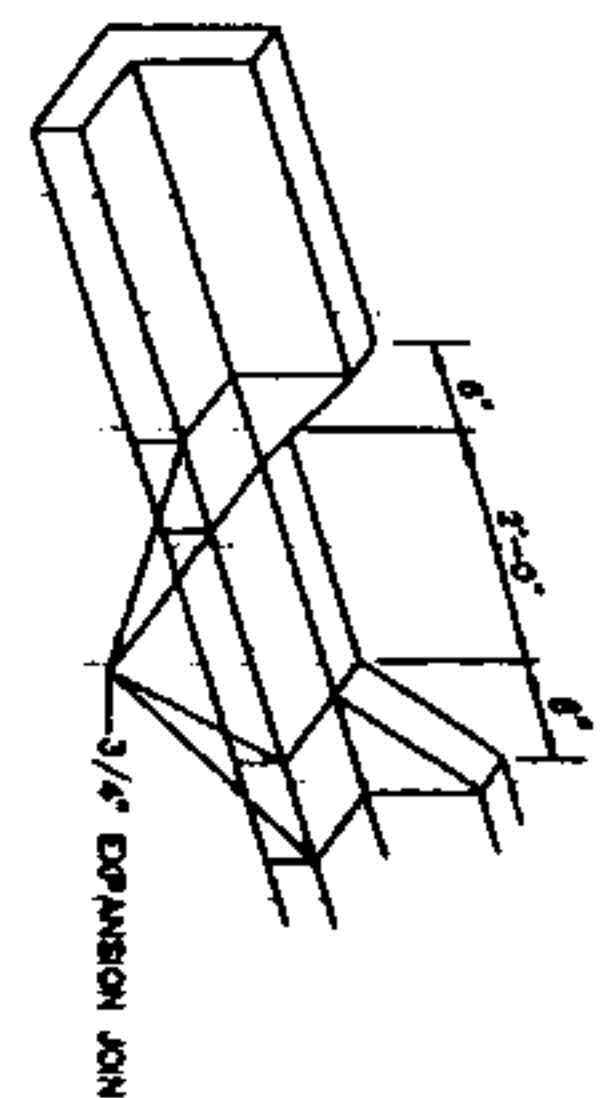


D1 MAIN POND AND STORM DRAIN DETAIL



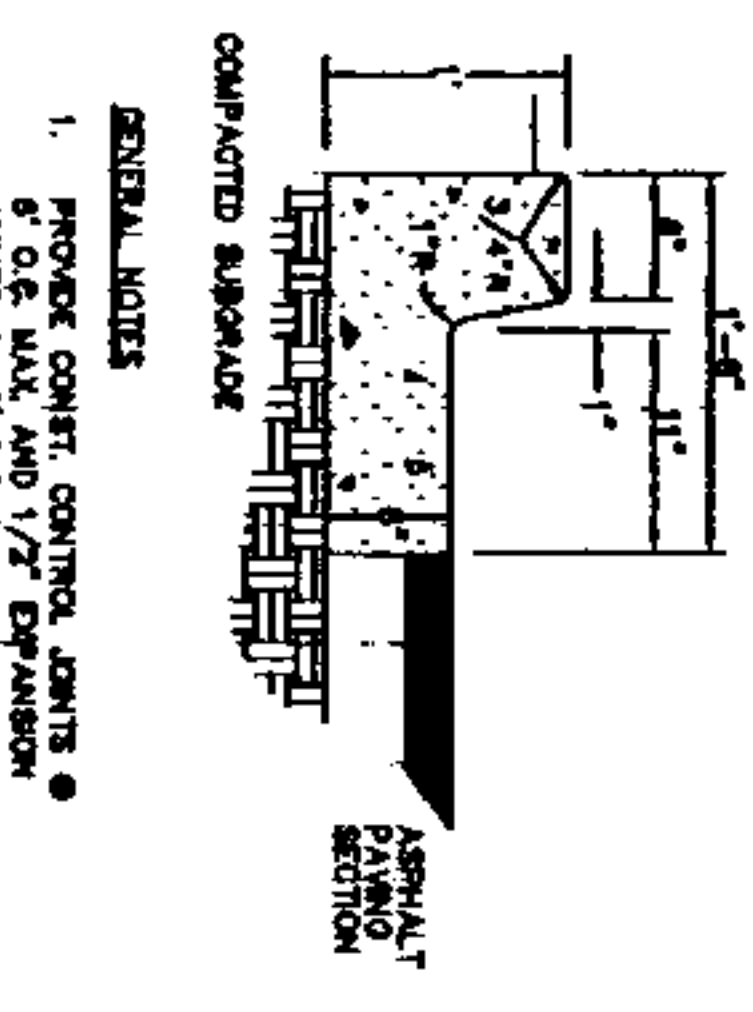
B2 MAIN POND OUTLET STRUCTURE

- NOTES:
1. MAIN POND OUTLET BASIN SHALL BE 34" DIA. MANUFACTURED BY NYLONLAST, A DIVISION OF ADVANCED DRAINAGE SYSTEMS INC. (800-851-8710) WITH BHP, INC. SNOUT OR AND OVERS HOOD (800 504-8006).
 2. HOODS SHALL BE EQUIPPED WITH A WATERIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SHOCK VENT AS DRAWN.
 3. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH NYLONLASTS AND AN ANTI-SHOCK VENT AS DRAWN. NYLONLASTS, AND ANTI-SHOCK VENT AS DRAWN SHALL BE SUPPLIED BY MANUFACTURER.
 4. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.



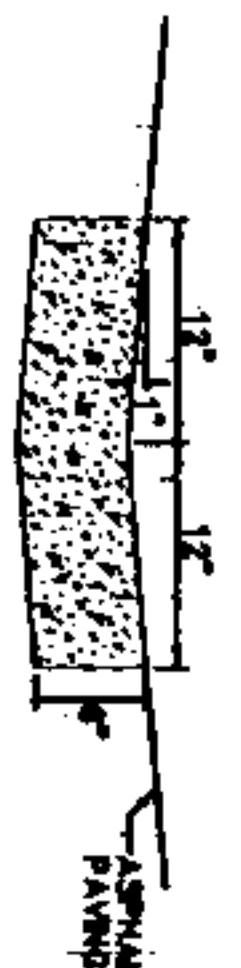
A3 CURB OPENING

- GENERAL NOTES:
1. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.



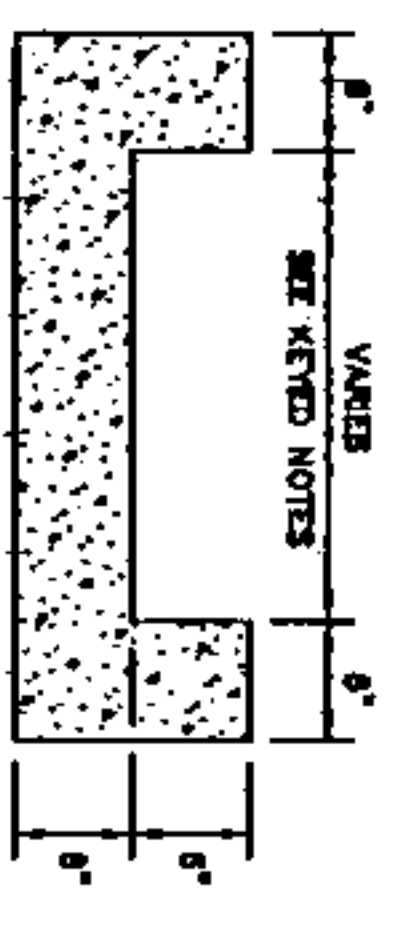
A4 MEDIAN CURB AND GUTTER

- GENERAL NOTES:
1. PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX.
 2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.
 3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES.



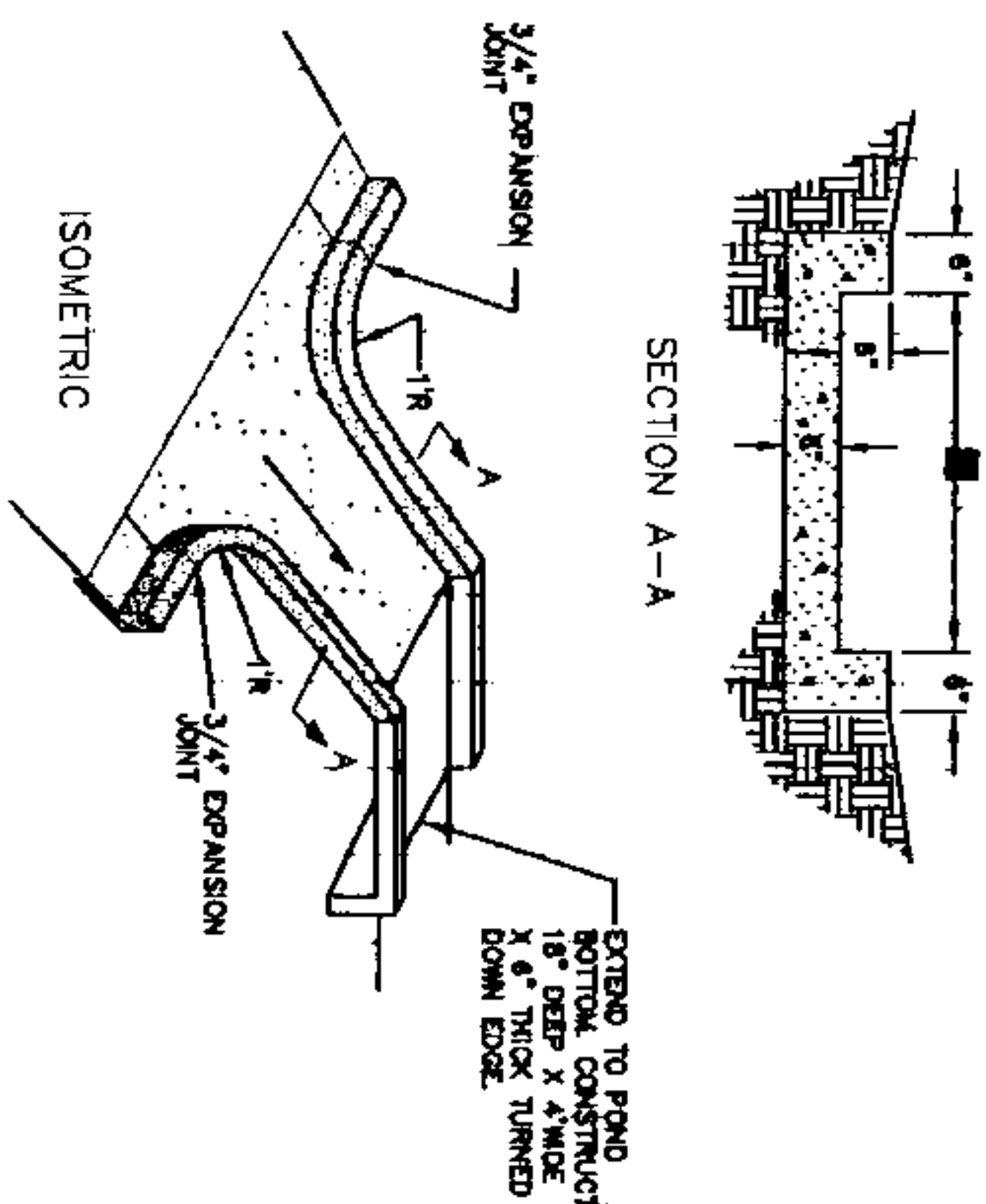
B4 CONCRETE ALLEY GUTTER

- GENERAL NOTES:
1. PROVIDE CONST. CONTROL JOINTS @ 7' O.C. MAX.
 2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.



C4 U SHAPED CONC. CHANNEL

- GENERAL NOTES:
1. PROVIDE CONST. CONTROL JOINTS @ 7' O.C. MAX.
 2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.



B3 CONCRETE RAMPDOWN

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 1430 Market Street, N.E.
 Atlanta, Georgia 30309
 Tel: 404.525.8628 Fax: 404.525.2032
 www.isaacson.com

REGISTERED PROFESSIONAL ENGINEER
 STATE OF GEORGIA
 13222

GRADING AND DRAINAGE DETAILS

DATE	NO.	BY	CHK BY
10/29/07	1	RA	RA
10/29/07	2	RA	RA
10/29/07	3	RA	RA
10/29/07	4	RA	RA
10/29/07	5	RA	RA

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

11/05/2013 Issued By: E08375 214247

Application Number: 13DRB-70747, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: HOLLY AVE NE BETWEEN SAN PEDRO DR NE AND I-25

Project Number: 1004772

Applicant
APPLE INVESTORS GROUP

917 RAVENWOOD WAY
CANTON GA 30115
770-547-5920

Agent / Contact
ISAACSON AND ARFMAN PA
JENNY DONART
128 MONROE ST NE
ALBUQUERQUE NM 87108

IAMENGRS@SWCP.COM

Category Code 910
2013 070 747

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions **\$215.00**

TOTAL: **\$235.00**

CITY OF ALBUQUERQUE TREASURY
DATE: 11/05/2013 OFFICE: ANNEX
STAC ID: W3000006 CASHIER: TROSKO
BATCH: 2808 TRAMS #14
PERMIT: 2013070747
RECEIPT NUM 00160747
PAYMENT TOTAL: \$235.00
0701 CONFLICT MGMTS. FEE
0703 DRB ACTIONS
CHECK TENDERED

\$20.00
\$215.00
\$235.00

4772

DXF Electronic Approval Form

DRB Project Case #: 1004772

Subdivision Name: HOLLY PLACE TRACT B1

Surveyor: RUSS P HUGG

Contact Person: RUSS P HUGG

Contact Information:

DXF Received: 11/11/2013

Hard Copy Received: 11/11/2013

Coordinate System: NMSP Grid (NAD 83)


Approved

11-14-2013
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 4772 to agiscov on 11/14/2013 Contact person notified on 11/14/2013



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 13, 2013

Project# 1004772

13DRB-70693 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

13DRB-70747 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

ISAACSON & ARFMAN PA agents for APPLE INVESTORS GROUP request the referenced/ above action for Lot 20, Block 18, Tract A. Unit B, **NORTH ALBUQUERQUE ACRES** & Tract B, **HOLLY PLACE** zoned SU-2/M-1 OR SU-2/RC, located on the south side of HOLLY AVE NE between SAN PEDRO DR NE and I-25 containing approximately 1.5709 acres. (C-18) [*Deferred from 10/23/13, 10/30/13*]

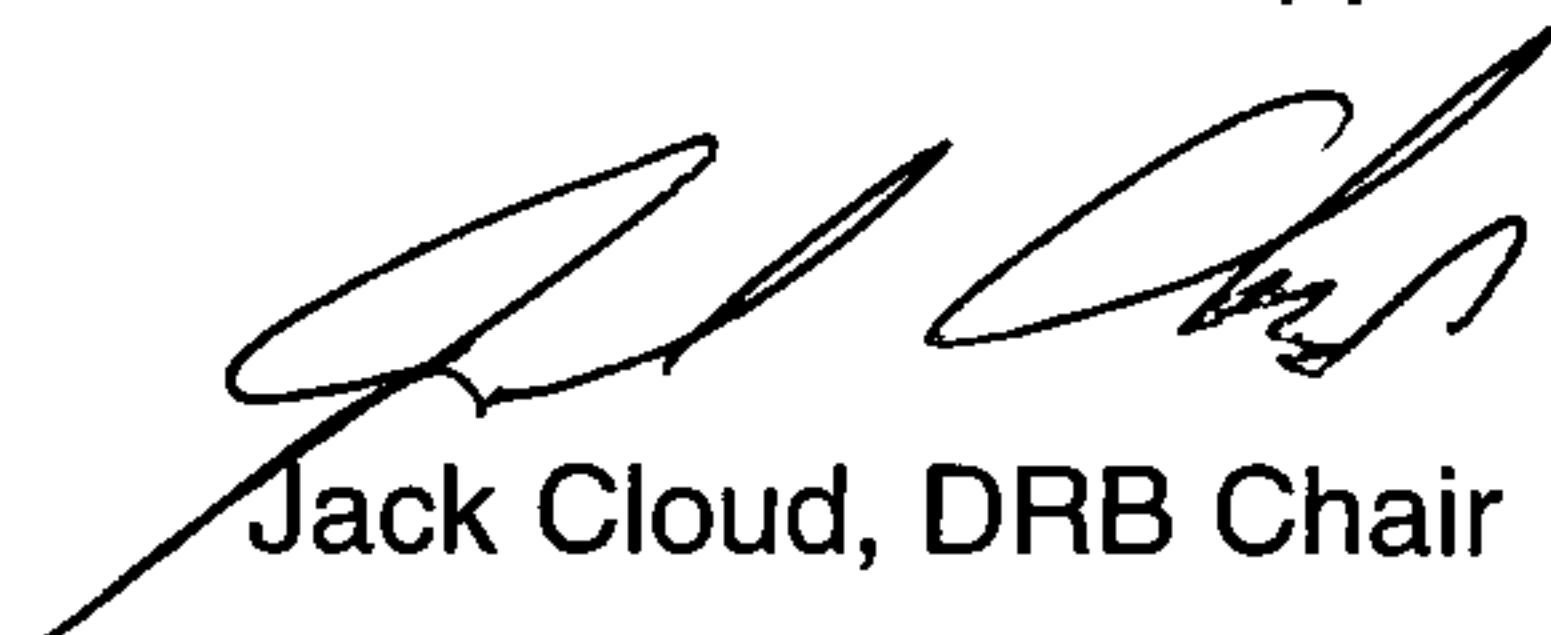
At the November 13, 2013 Development Review Board meeting, the site plan for building permit and the preliminary/final plat was approved with final sign off delegated to the Planning Department for AGIS DXF, utility company signatures and clarification of easements.

If you wish to appeal this decision, you must do so by November 28, 2013, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair

Cc: ISAACSON & ARFMAN PA
Marilyn Maldonado
File

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

PASEO PLACE COMMERCIAL

PROPOSED NAME OF SITE DEVELOPMENT PLAN

LOTS 14, 15, 18, & 19, BLOCK 8, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8"	Waterline	20' Onsite Waterline	Holly Ave.	<u>INTERIOR OF Paseo del Norte</u>	/	/	/
				Easement		<u>SITE w/ PUBLIC EASEMENT</u>			
<input type="text"/>	<input type="text"/>	4' DIA	SAS Manhole	Holly Ave. at NW Corner of Property to Accept Private 6" SAS			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

#5 FILE ORIGINAL

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 All sidewalks to be constructed under building permit.
- 2 Grading and Drainage Certification required per DPM (prior to release of financial guarantees) to include private retaining walls as defined on the approved grading plan.
- 3 All water to include fire hydrants, valves, and appurtenances per DPM.

AGENT / OWNER

Fred C. Arfman, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman
SIGNATURE - date
04-27-07

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

J. Matson 0/23/07 DRB CHAIR - date
Christina Sandoral 5/23/07 PARKS & GENERAL RECREATION - date

[Signature] 5-23-07
TRANSPORTATION DEVELOPMENT - date

[Signature] 5/23/07
UTILITY DEVELOPMENT - date

Bradley D. Bingham 5/23/07
CITY ENGINEER - date

AMAFCA - date
- date
- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: May 9, 2007

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
George Rainhart Architects & Associates

FROM: Jim Joseph, P.E., INTERA Inc. 

SUBJECT: Project No. 1004772, 07DRB-00560, Lot 18, Tract A of the North Albuquerque Acres, Unit B, located on Paseo Del Norte NE between Paseo San Pedro Dr. NE and I-25.

The above-referenced project is within the former buffer zone of a former privately owned/operated landfill (Holly Avenue Landfill), and partially within the buffer zone of a former City owned/operated landfill (Sacramento Landfill). The Holly Landfill was removed during March 2005 and no longer provides a source for potential landfill gas impacts. Because the project activities will be performed at the outer edge of the 500-foot buffer zone of the Sacramento Landfill, the Albuquerque Environmental Health Department has exempted the project from following the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones." The project may proceed through the development process provided all other City requirements are met.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: SPUNBAR HOLLY-SP/IC PHONE: _____
 ADDRESS: 10700 WEST 18th AVE FAX: _____
 CITY: LAKEWOOD, STATE CO ZIP 80215 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): GEORGE KOINHAERT ARCH & ASSOC. PHONE: 881-910 Ext 106
 ADDRESS: 2325 SAN PEDRO NE Suite 25 FAX: _____
 CITY: ABQ STATE NM ZIP 87110 E-MAIL: SPUNBAR@QRA-ARCH.COM

DESCRIPTION OF REQUEST: SITE PLAN APPROVAL

is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 18 TRACT A Block: _____ Unit: 5
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES ~~TBKA - Paseo Plaza Commercial~~
 Existing Zoning: SU-2-ME M-1 Proposed zoning: SU-2-ME M-1
 Zone Atlas page(s): C-13 MRGCD Map No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill: No
 No. of existing lots: _____ No. of proposed lots: _____ Total area of site (acres): .871
 LOCATION OF PROPERTY BY STREETS: On or Near: N.W.C. OF PASEO & SAN PEDRO N.E
 Between: SAN PEDRO NE and 1-25

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Stephen A Dunbar DATE 5/1/07
 (Print) Stephen A Dunbar _____ Applicant _____ Agent

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>01DRB-00560</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CME</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill <u>ALMOST</u>	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$405.00</u>

Hearing date 05/09/07
Sandy Handley 05/01/07 Project # 1004772
 Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 \ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 \ Solid Waste Management Department signature on Site Plan
 \ Zone Atlas map with the entire property(ies) clearly outlined
 \ Letter briefly describing, explaining, and justifying the request
 \ Letter of authorization from the property owner if application is submitted by an agent
 \ Copy of the document delegating approval authority to the DRB **NOTED 1-28**
 \ Infrastructure List, if relevant to the site plan
 \ Completed Site Plan for Building Permit Checklist
 \ Copy of Site Plan with Fire Marshal's stamp
 \ Fee (see schedule)
 \ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Solid Waste Management Department signature on Site Plan for Building Permit
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 ___ Infrastructure List, if relevant to the site plan
 ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

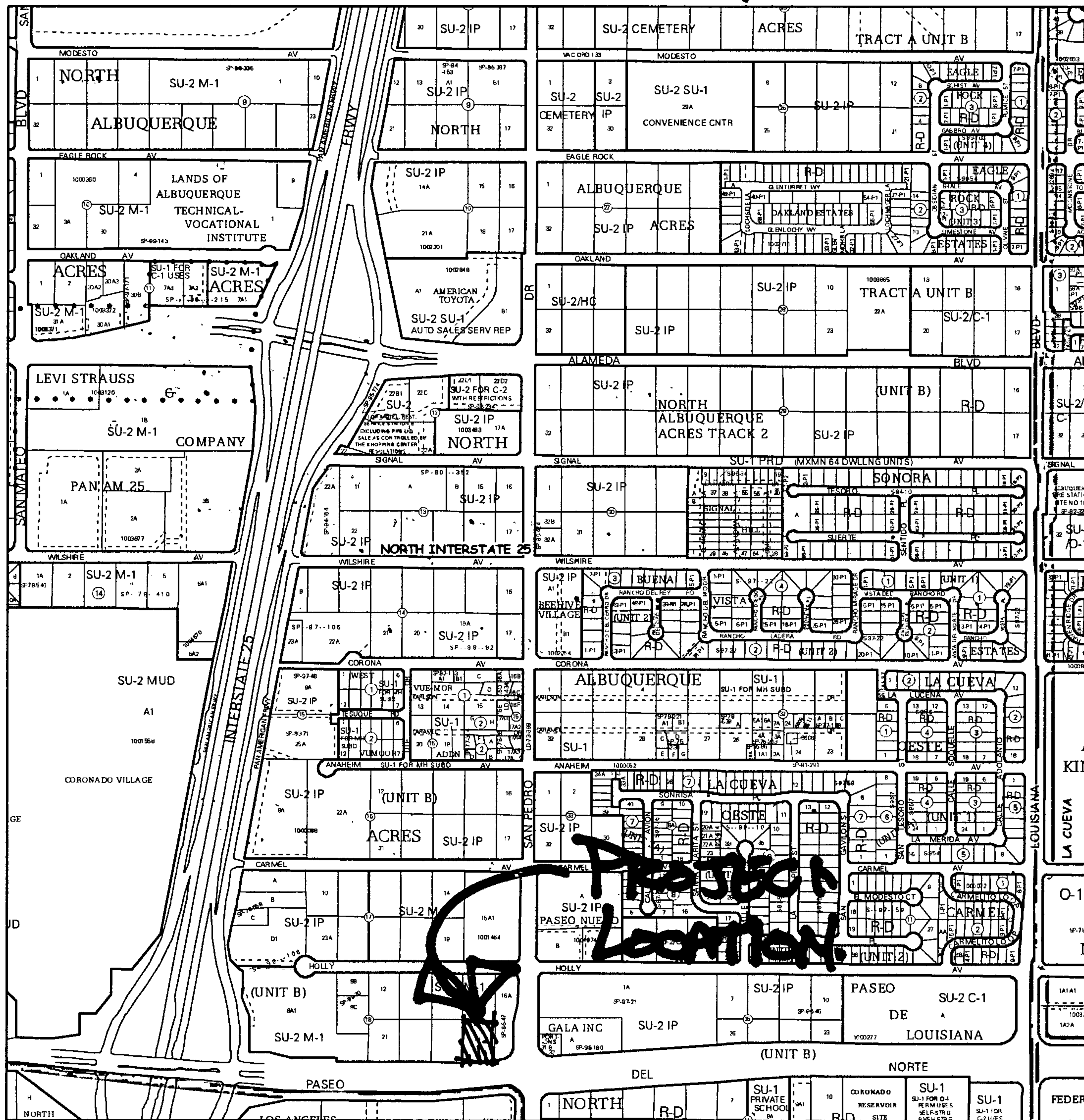
STEPHAN DANISAR 8/1/07
 Applicant name (print)
Stephan DanisAR 5/1/07
 Applicant signature / date



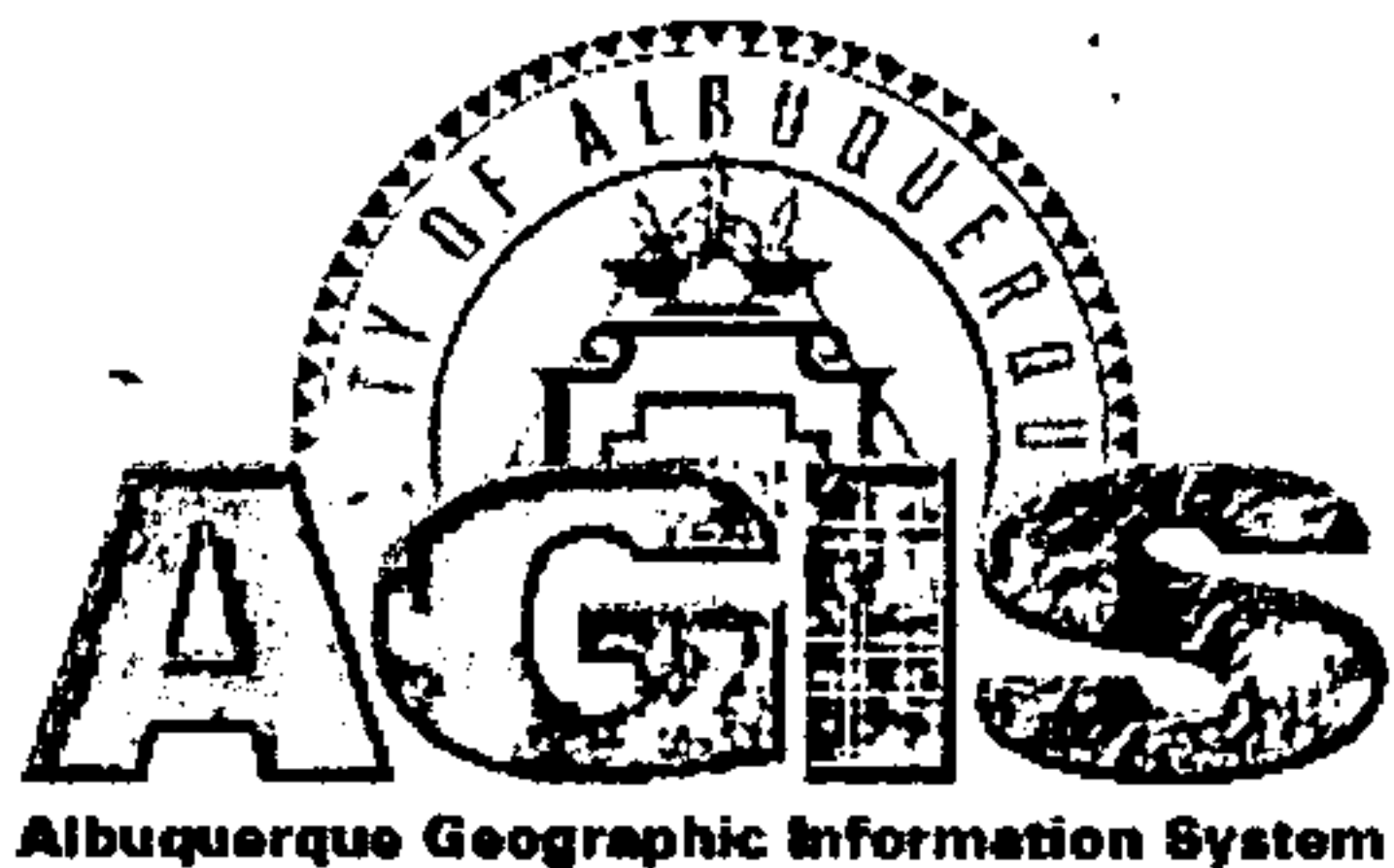
Form revised APRIL 2007

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed
- Application case numbers
07DRB - -00560

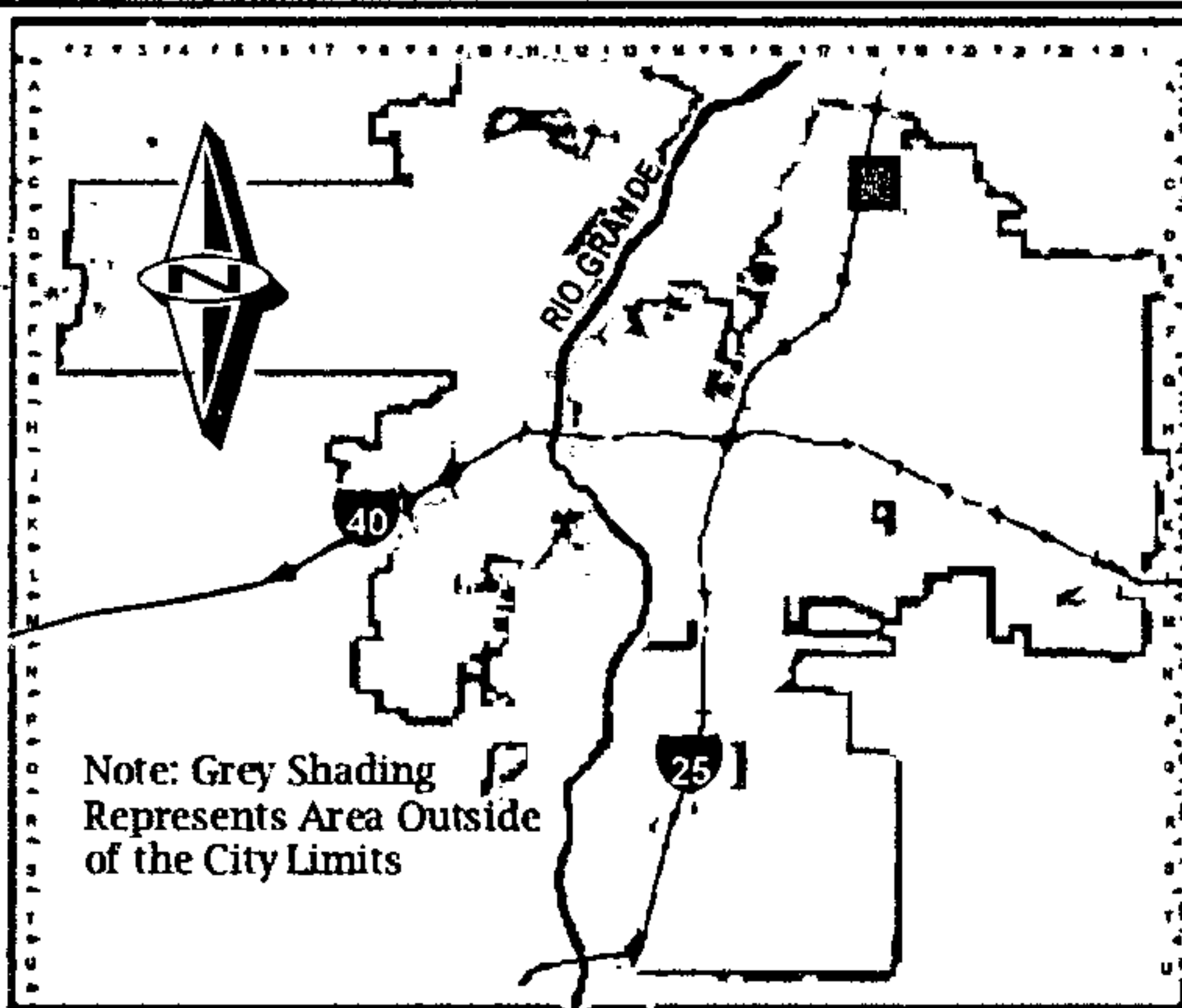
Sandy Handley 05/01/07
 Planner signature / date
Project # 1004772



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 3/22/2007



Zone Atlas Page:

C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



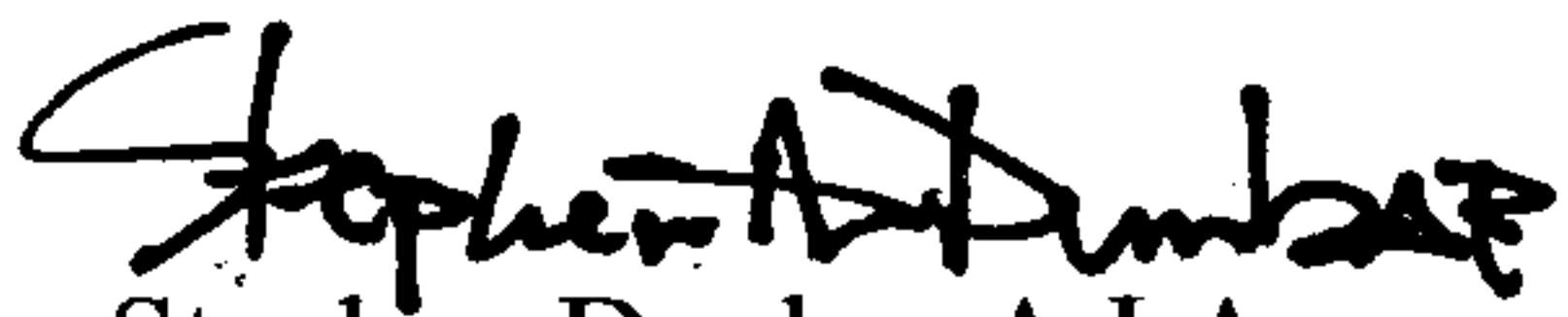
Sharon Matson
City of Albuquerque
Planning department
600 2nd St. N.W.
Albuquerque NM 87103

**Re: SITE PLAN FOR BUILDING PERMIT LOT 18 OF TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES**

Mrs. Matson:

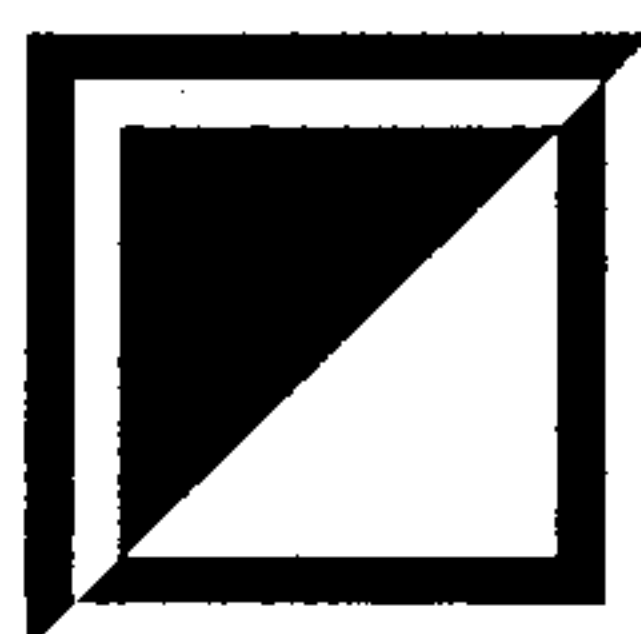
To briefly describe our submittal, we are submitting for your review and approval a site plan for building permit, elevations, and landscape plans for a Discount tire store. This store is located within lot 18 tract A, unit B of North Albuquerque Acres.

Thank you,



Stephen Dunbar A.I.A.

George Rainhart Architects and Associates P.C.



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

Memo

To: City of Albuquerque Planning Department
From: Holly-SP, LLC
Date: April 30, 2007
Re: Lots 14, 15, 18, and 19, Block 18, Tract A, Unit B, North Albuquerque Acres

As owner of the above referenced property, I hereby provide authorization for George Rainhart Architect & Associates P.C. to act as agents on behalf of the owner of Lots 14, 15, 18, and 19, Block 18, Tract A, Unit B, North Albuquerque Acres, City of Albuquerque, Bernalillo County, State of New Mexico.

By: 

Name: Wes Butero

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Stephen A. Dunbar

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type) ✓
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 36 provided: 38
Handicapped spaces required: 2 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2
provided: 3
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail
- 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

POLE DETAIL

LOCATION

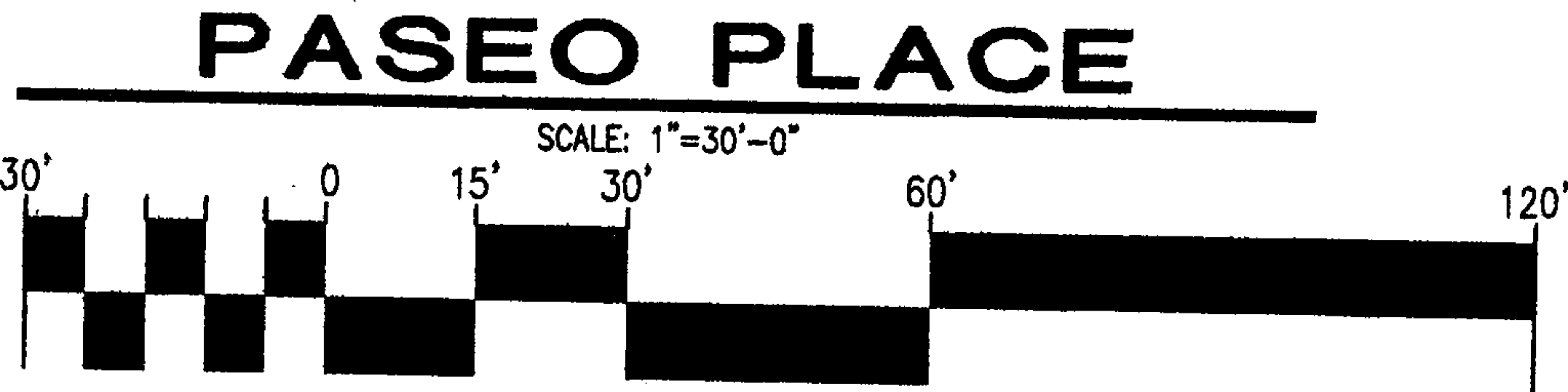
DETAIL 8/A3.0
NG COLOR

WHEEL
WITHIN C.O.A STD. DETAIL #2426

OR TEMPORARY CURB DETAILS

AFD PLANS CHECKING OFFICE
924-3611

APPROVED/DISAPPROVED
HYDRANT(S) ONLY
Dem 5-1-07
SIGNATURE & DATE



PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

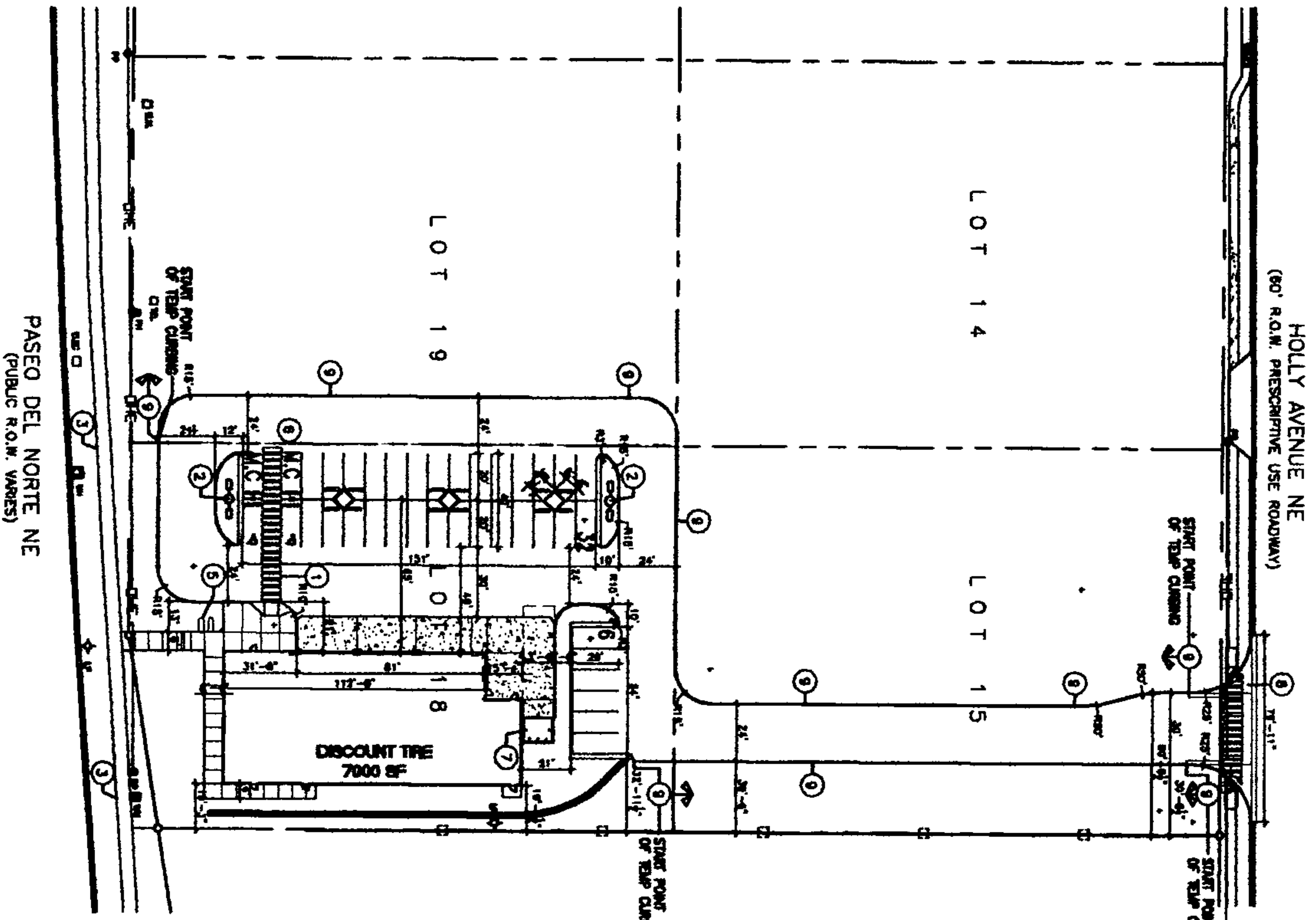
_____ Traffic Engineering, Transportation Division	_____ Date
_____ Water Utility Department	_____ Date
_____ Parks and Recreation Department	_____ Date
_____ City Engineer	_____ Date
_____ Environmental Health Department	_____ Date
<i>Michael Holton (requires 2man crew)</i> _____ Solid Waste Management	<i>5/1/07</i> _____ Date
_____ DRB Chairperson, Planning Department	_____ Date

* Environmental Health, if necessary

PROJECT TITLE
UTILITY DIVISION

DATE
4/2

SCALE
1"

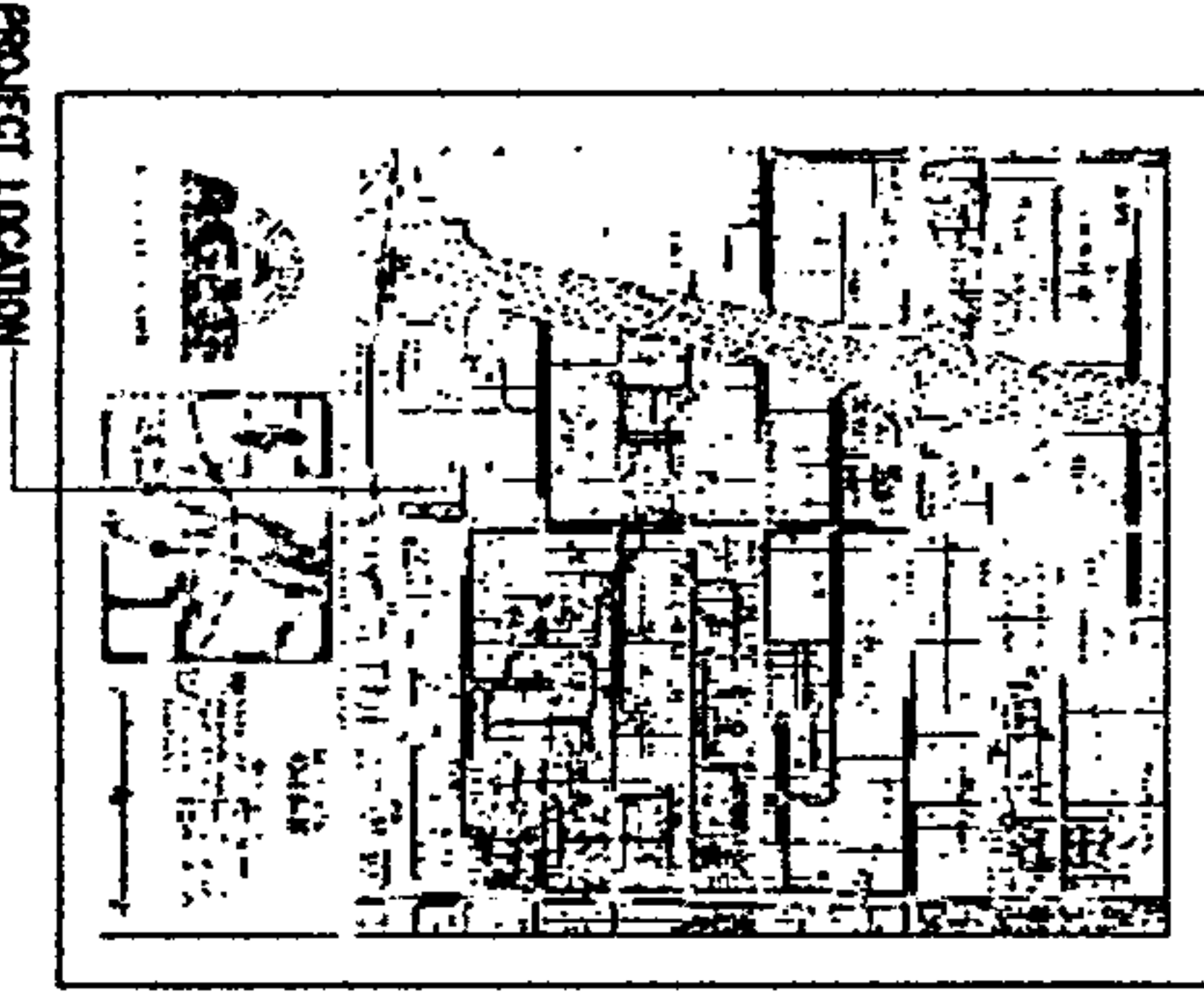


LOT 16-A, BLOCK 18, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

(FILED 2/26/1986 VOL. 96C, FOLIO 87)

- KEYED NOTE:**
- ① 8' STRIPED PEDESTRIAN CROSSING LOCATION
 - ② PROPOSED LIGHT POLE LOCATION RE: 6/11.2 FOR POLE DETAIL
 - ③ EXISTING 6' SIDEWALK
 - ④ HANDICAP RAMP PER COA STD DWG #2441
 - ⑤ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
 - ⑥ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
 - ⑦ INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/AS3.0 NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
 - ⑧ PROVIDE NEW DRIVE CUT AND H.C. ACCESSIBLE WHEEL CHAIR RAMP W/ TRUNGOLED DOORS AS SPECIFIED WITHIN COA STD. DETAIL #2426
 - ⑨ INDICATES TEMPORARY ASPHALT CURB RE: CML FOR TEMPORARY CURB DETAILS

LOCAL DESCRIPTION		LOT-16
PROPOSED TRACT NUMBER		LOT-16
TOTAL ACRES		AREA: 37.948 877 OR 37.971 AC
EXISTING ZONING		
PROPOSED ZONING		
BUILDING SIZE		7,000 SF
FARE		1044
PROPOSED NUMBER OF SINGLEDRIVE		1
PROPOSED USE		DISCOUNT TIRE STORE
TOTAL PARKING PROVIDED		33 SPACES
TOTAL PARKING REQ (INC. EMPLOYEES)		34 SPACES
HC PROVIDED		2 HC (INC. 2 VAN ACCESSIBLE)
HC REQUIRED		2 H.C. SPACES
BIKE SPACES PROVIDED		5 BIKE SPACES
BIKE SPACES REQUIRED		5 BIKE SPACES
MOTORCYCLE SPACES PROVIDED		2 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED		1 MOTORCYCLE SPACE
MAX BUILDING HT		30' TO TOP OF PARAPET



PROPOSED MATERIAL	EXISTING MATERIAL
Asph. on concrete	Asph. on concrete
Concrete	Concrete
Gravel	Gravel
Grass	Grass
Asph. on concrete	Asph. on concrete
Concrete	Concrete
Gravel	Gravel
Grass	Grass
Asph. on concrete	Asph. on concrete
Concrete	Concrete
Gravel	Gravel
Grass	Grass



PROJECT TITLE
HOLLY PLACE
N.W.C. OF PASEO BLVD. AND SAN PEDRO
ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER
STEPHEN DUMBAR AA

DRAWN BY
S

DATE
4/21/87

SCALE
1"=30'

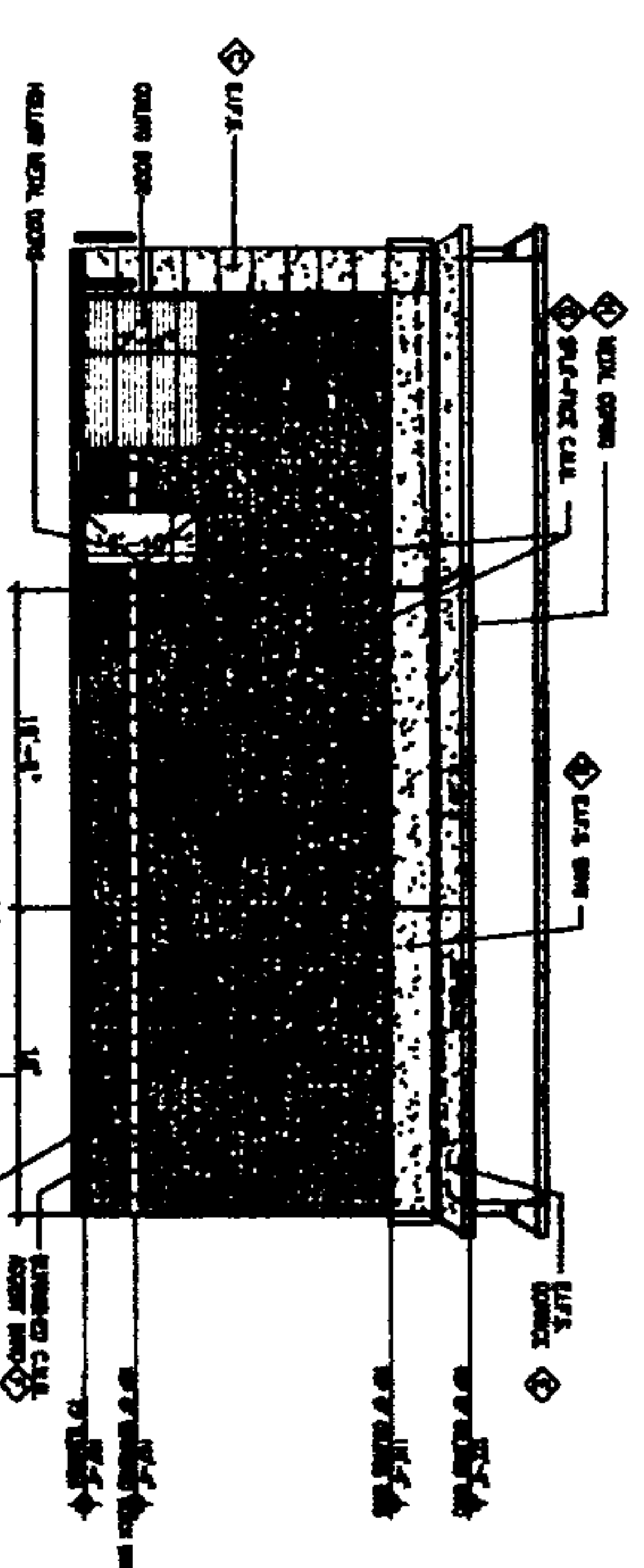
DATE
4/21/87

SCALE
A1.0

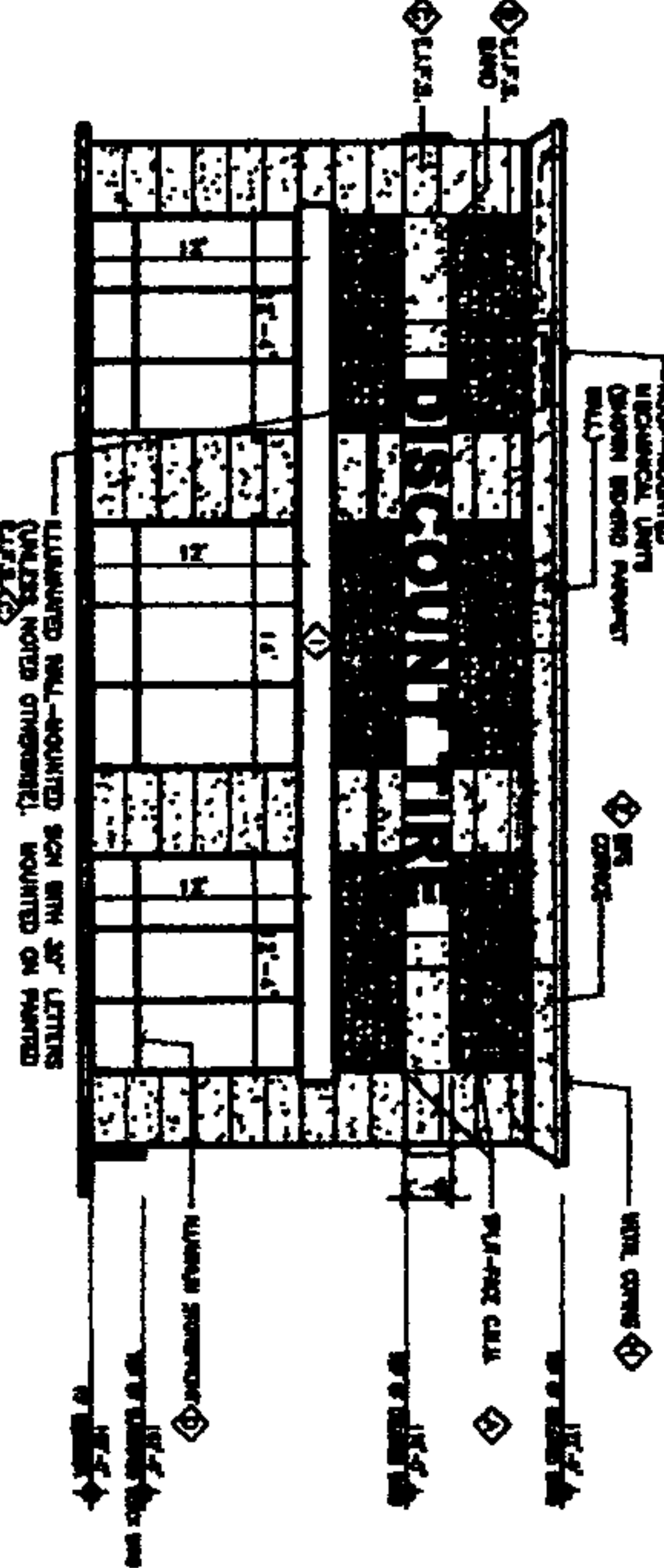
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 664-9110 FAX (505) 637-9677

SITE PLAN FOR BUILDING PERMIT

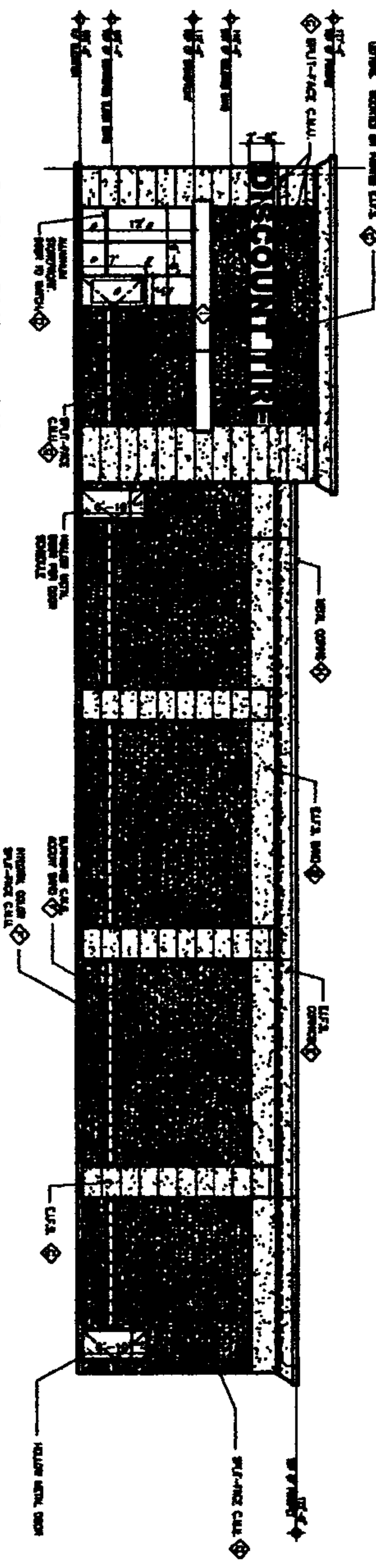
REV	DATE	BY	REVISION
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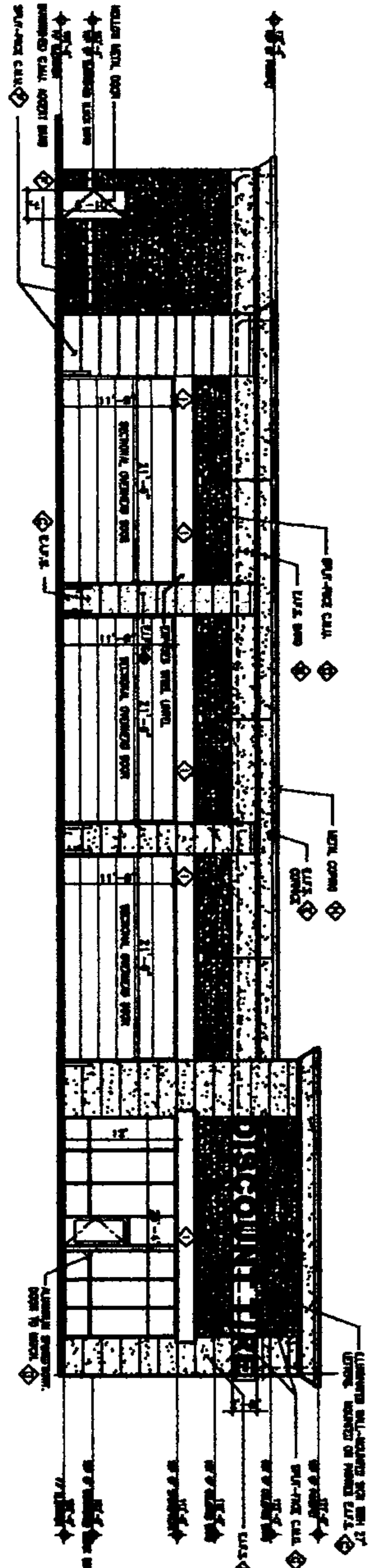
1 NORTHERN ELEVATION
Scale: 1/8"=1'-0"



2 SOUTHERN ELEVATION
Scale: 1/8"=1'-0"



3 EASTERN ELEVATION
Scale: 1/8"=1'-0"



4 WESTERN ELEVATION
Scale: 1/8"=1'-0"

- DOOR / WINDOW NOTES
- ◇ RETAIL COLOR CALL, COLOR CORN. (BY OWNER)
 - ◇ RETAIL COLOR LIFE'S, COLOR WINDOW
 - ◇ RETAIL COLOR LIFE'S, COLOR WINDOW (BY OWNER)
 - ◇ ALUMINUM WINDOW, WINDOW/DOOR FINISH TO MATCH WINDOW
 - ◇ RETAIL COLOR LIFE'S CORNER, COLOR CORN. (BY OWNER)
 - ◇ RETAIL COLOR CALL, CORN. & HEAD CAS. SURFING OR SHIMMER CALL. BY OWNER.
 - ◇ SURFING CALL, FINISH TO MATCH LIFE'S, HEAD CAS.
 - ◇ WALL CORNER, WINDOW/DOOR FINISH TO MATCH WINDOW CORN.
 - ◇ WINDOW FINISH, FINISH TO MATCH WINDOW CORN.

- GENERAL NOTES
1. RETAIL COLOR CALL, WALL CORNER
 2. RETAIL COLOR CALL, WINDOW CORNER
 3. PAINTED CALL, MAIN BODY
 4. ALUMINUM WINDOW, TO BE FACTORY FINISH
 5. LIFE'S FINISH AS NOTED FOR COMPANY NOTES, WINDOW AND INSTALLATION FOR PRODUCT SPECIFICATION, TO MATCH EXISTING WINDOW FINISH. WINDOW WALL FINISH.
 6. OVERHEAD DOORS TO BE FACTORY FINISH. SEE DOOR SCHEDULE
 7. ALL EXPOSED STRUCTURAL STEEL TO BE FACTORY FINISH / PAINTED / FINISH TO THE JOB SITE

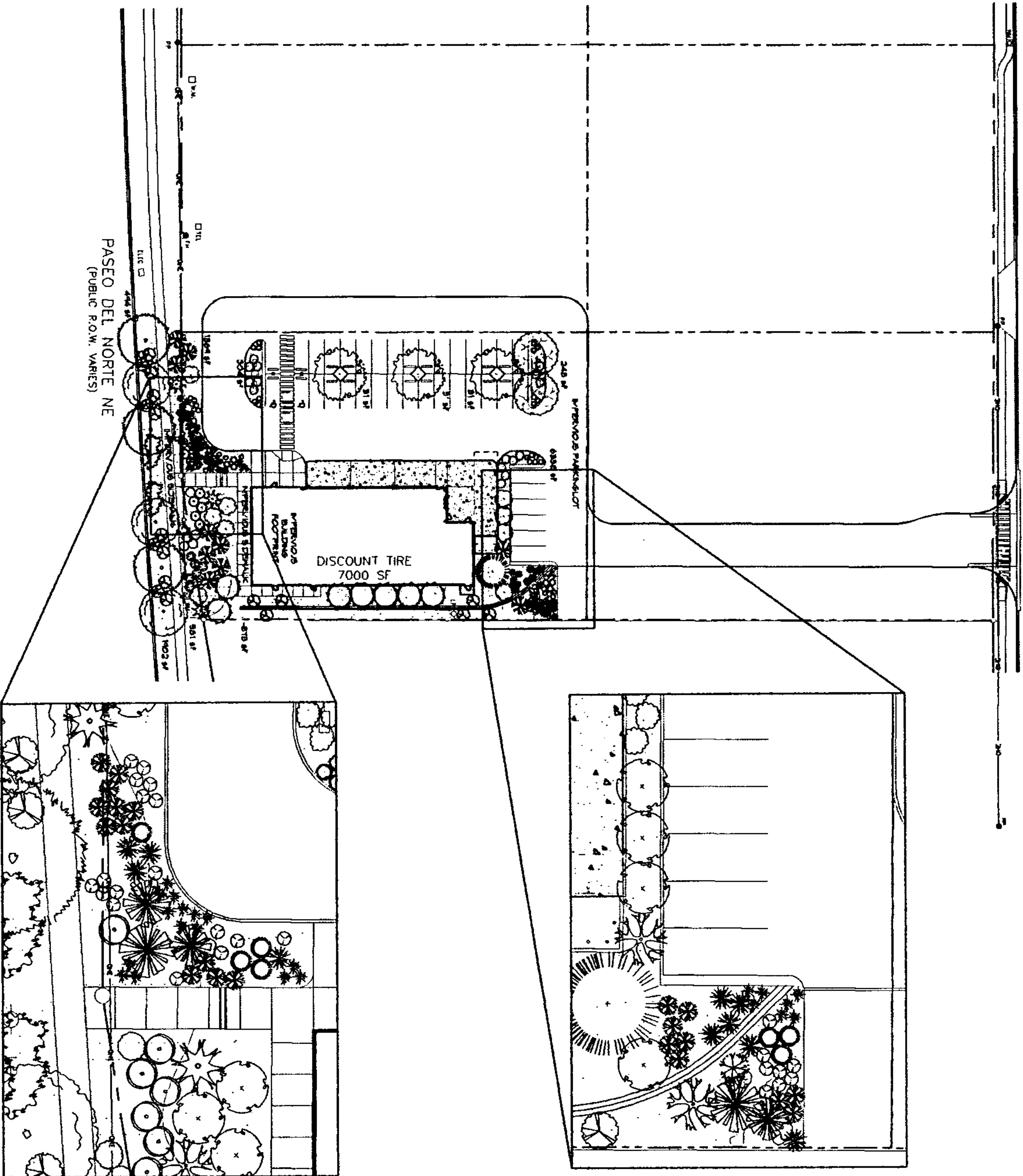
PROJECT TITLE	HOLLY PLACE		
CLIENT	N.I.C. OF PASO DEL NORTE, AND SWEDEBO		
LOCATION	ALBUQUERQUE NEW MEXICO		
DESIGNER	STEPHEN BURTON PA	DATE	5/23/07
SCALE	1/8"=1'-0"	DATE	4/23/07
A4.C			
DISCOUNT TIRE ELEVATION			

GEORGE RAHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE. SUITE 2-8
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 264-0710 FAX (505) 637-9877

REV	DATE	BY	REVISION
△			
△			
△			
△			

HOLLY AVENUE NE
(60' R.O.W. PRESCRIPTIVE USE ROADWAY)

PASEO DEL NORTE NE
(PUBLIC R.O.W. VARIES)



PLANT LEGEND

- SHADE TREES**
 - CHANDLER PRITCHARD (T) 3
 - FRASER CYPRESS 2
 - BALANCED OAK (M) 3
 - QUINCY BURNING 2
 - BIRCHMAPLE (M) 3
 - REDWOOD (M) 3
 - EASTERN REDWOOD (M) 3
 - ARIZONA PINE (M) 1
- DESERT ACCENTS**
 - PALM YUCCA (L) 3
 - MESO QUINCY (M) 1
 - SCOTTLO (L) 1
 - RED YUCCA (L) 10
- SHRUBS/SMALL TREES**
 - FRASER CYPRESS 2
 - BALANCED OAK (M) 3
 - QUINCY BURNING 2
 - BIRCHMAPLE (M) 3
 - REDWOOD (M) 3
 - EASTERN REDWOOD (M) 3
 - ARIZONA PINE (M) 1
- GRASSES**
 - CHANDLER PRITCHARD (T) 3
 - FRASER CYPRESS 2
 - BALANCED OAK (M) 3
 - QUINCY BURNING 2
 - BIRCHMAPLE (M) 3
 - REDWOOD (M) 3
 - EASTERN REDWOOD (M) 3
 - ARIZONA PINE (M) 1
- HARDSCAPE**
 - SAFETY BARRIERS
 - CONCRETE PAVEMENT
 - LANDSCAPE LIGHTING



The Hilltop
LANDSCAPE ARCHITECTS & CONSTRUCTORS
7000 E. 11th St.
Albuquerque, NM 87114
Tel: (505) 898-8830
Fax: (505) 898-7737
www.hilltoplandscape.com

PROJECT TITLE	HOLLY PLACE
CLIENT	PASEO NLE ALBUQUERQUE NEW MEXICO
DATE	02/03/06
SCALE	1"=30'

PEOPLE WORKSHOP ARCHITECT AND ASSOCIATES P
1505 W. 11th St. SUITE 2 B
ALBUQUERQUE, NEW MEXICO 87114
PHONE (505) 254-9110 FAX (505) 857-3177

REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	37944	square feet
TOTAL BUILDINGS AREA	1000	square feet
OFFSITE AREA	2471	square feet
NET LOT AREA	27472	square feet
LANDSCAPE REQUIREMENT	15%	square feet
TOTAL LANDSCAPE REQUIREMENT	4121	square feet
TOTAL BED PROVIDED	2471	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	2352	square feet
TOTAL GROUND COVER PROVIDED	2329 (94%)	square feet
TOTAL SOD AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	1056 (39%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
 Name of Street: PASADO DEL NORTE
 Required: 6 Provided: 6

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
 Required: 4 Provided: 5

NOTE TO CLIENT:

Should the Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap. In lieu of the specified gravel, to stabilize the slope, all vegetative material shall remain per plan.

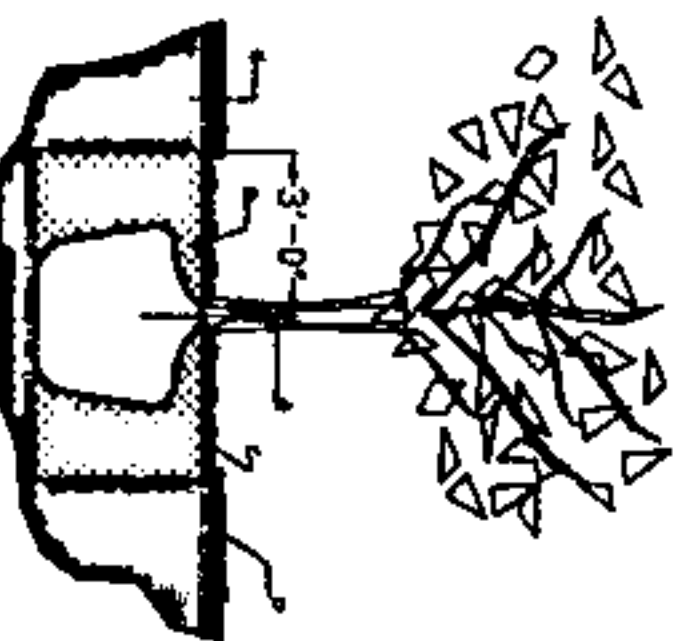
LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

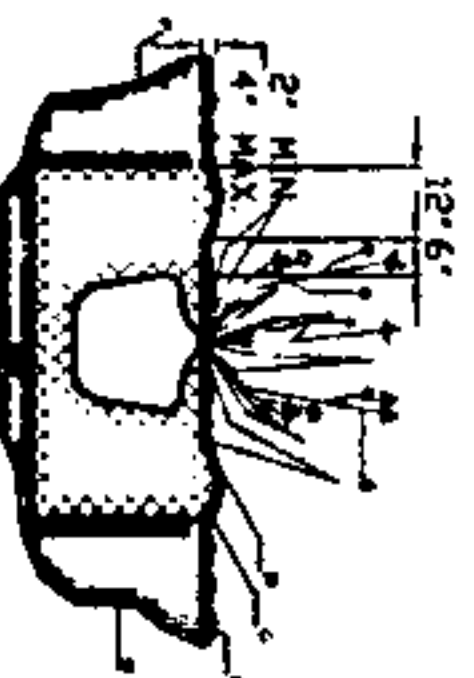
Sierra Fire Brown Gravel over Filter Fabric, shall be placed in all pervious landscape areas which are not designated to receive native seed.



CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL
- C. 2" DEPTH OF BARK MULCH
- D. 4" DEPTH OF BARK MULCH
- E. FINISH GRADE
- F. UNDISTURBED SOIL

TREE PLANTING DETAIL



CONSTRUCTION NOTES:

- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL
- C. 2" DEPTH OF BARK MULCH
- D. 4" DEPTH OF BARK MULCH
- E. FINISH GRADE
- F. UNDISTURBED SOIL

GENERAL NOTES:

- 1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING PIT.

SHRUB PLANTING DETAIL

IRRIGATION NOTES:

Irrigation shall be a complete underground system with trees to receive 1 Netatim spiral (50' length) with 3 loops at a final radius of 4-5' from tree trunk, joined in place. Netatim shall have emitters 12" o.c. with a flow of 6 gph. Stripes 120 receive (2) 1/2" o.d. drip emitters. Drip and bubble systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

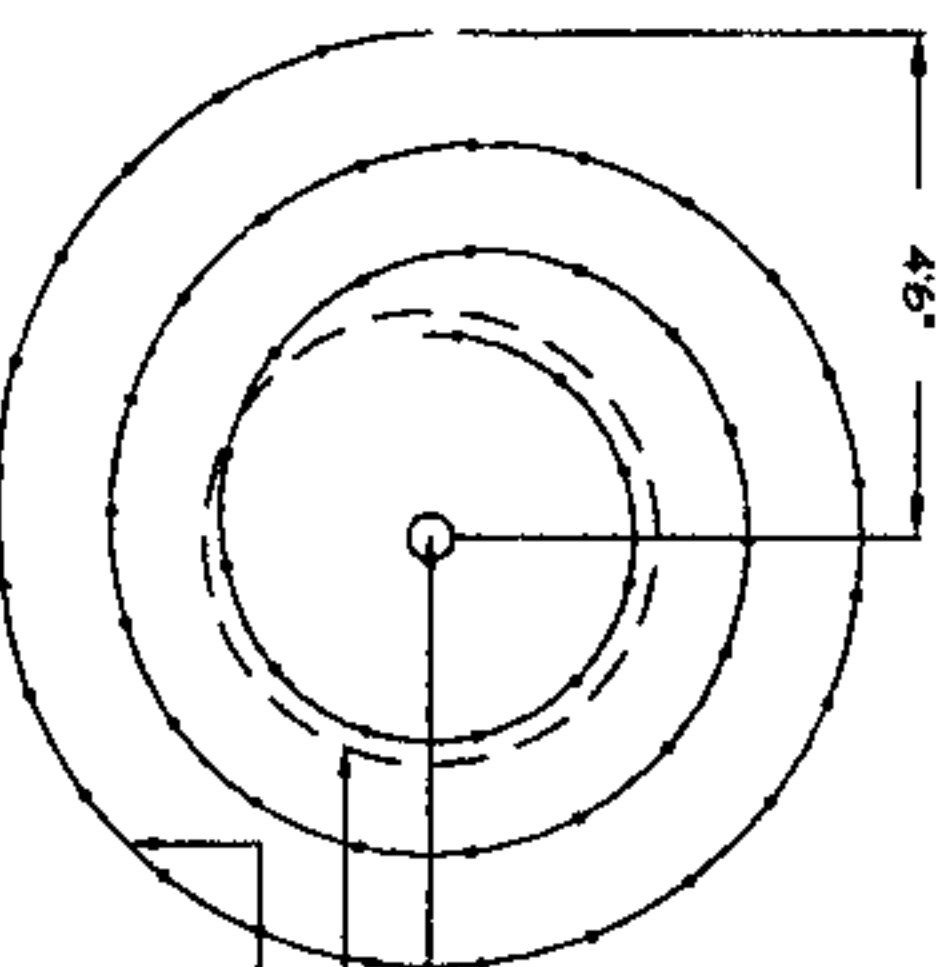
Run time per each strip drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated by automatic controller.

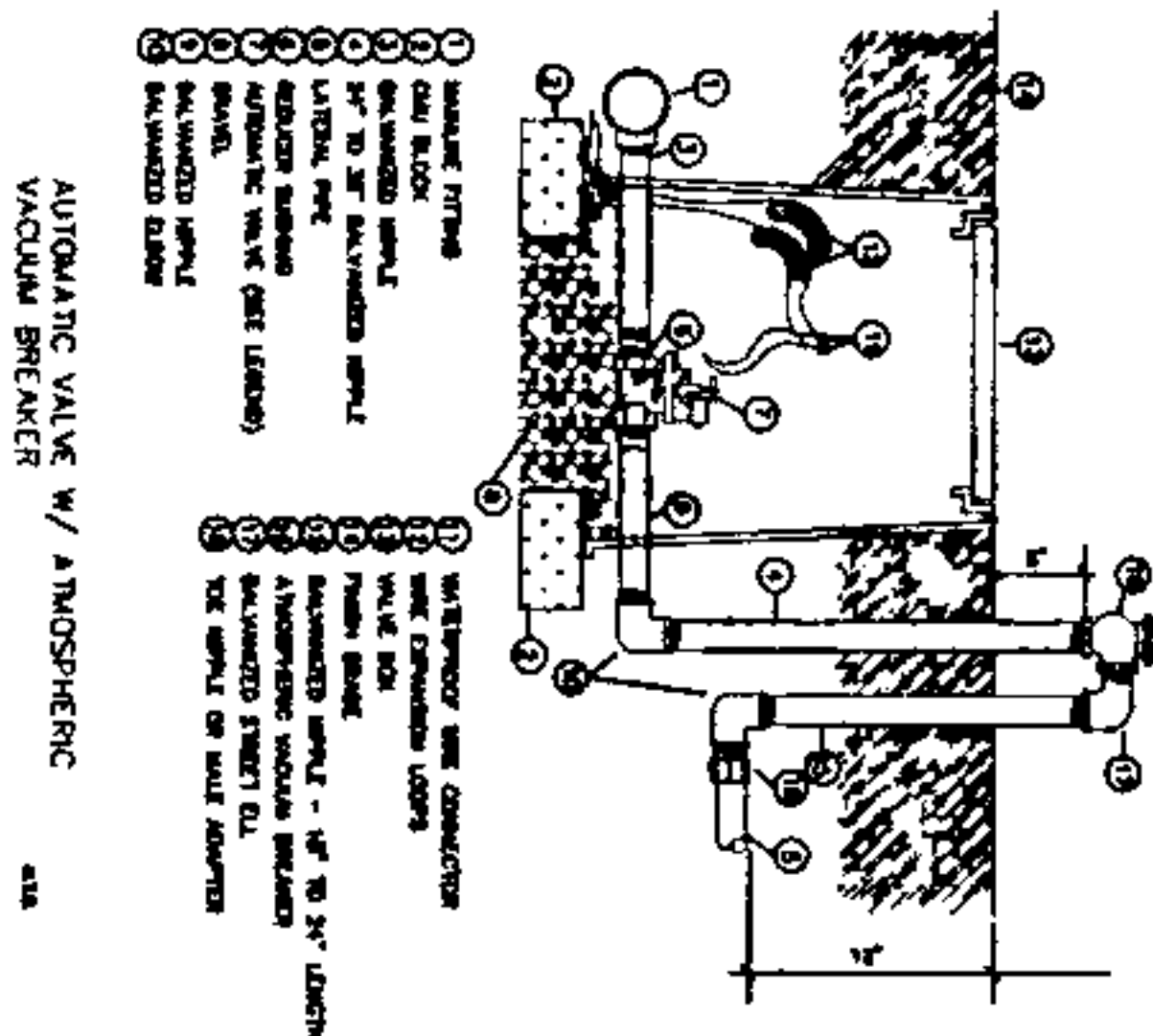
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



Netatim Spiral Detail



AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

The Hilltop
 LANDSCAPE ARCHITECTS & CONSTRUCTORS
 Coni, Le #28458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 888-9690
 Fax (505) 888-7737
 con@hilltoplandscape.com
 www.hilltoplandscape.com

PROJECT TITLE HOLLY PLACE PASADO N.E. ALBUQUERQUE, NEW MEXICO	PROJECT MANAGER DATE DRAWN BY	SHEET TITLE LANDSCAPE PLAN	DATE 03/03/08	SCALE AS SHOWN	PROJECT NO. 7	SHEET NO. 2	REV DATE BY	NO. OF SHEETS 2	PROJECT NO. 7	CLIENT GORGAN HARRIS WHITE T AND ASSOCIATES PC 2325 SAN PEDRO N.E. SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 384-9110 FAX (505) 837-077
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ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME HOLLY - SP LLC
AGENT GEORGE RAINHART ARCH & ASSOC
ADDRESS 2325 SAN PEDRO NE STE 2B
PROJECT & APP # 1004772/07 DRB 00560
PROJECT NAME HOLLY PLACE

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 385.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 405.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

GEORGE R. RAINHART
ARCHITECT & ASSOCIATES, P.C.
2325 SAN PEDRO NE SUITE 2B
ALBUQUERQUE, NM 87110
884-9110

2926

DATE May 1, 2007

95-78/1070
893

PAY TO THE ORDER OF City of Albuquerque
four hundred five & 10/100

AMOUNT \$ 405.00
ACCOUNT # 441032 TRANS# 0029
ACTIVITY 3424000
TRANS AMT \$ 405.00
J24 Misc \$ 20.00

Compass Bank
Albuquerque, New Mexico

FOR Holly Place

Dolly Rainhart
Thank You

⑈002926⑈ ⑆107000783⑆ 0012577984⑈

City Of Albuquerque
Treasury Division

5/1/2007 11:42AM LOC: ANNX
RECEIPT# 00075935 WSH 006 TRANSH 0029
Account 441006 Fund 0110
Activity 4983000 TRSCXG
Trans Amt \$405.00
J24 Misc \$385.00
CK \$405.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: HOLLY S.P., LLC % SCM PROPERTY CO. LLC PHONE: (720) 226-0370
 ADDRESS: 10400 W. 18th Av. FAX: (720) 226-9402
 CITY: LAKEWOOD STATE Co. ZIP 80215 E-MAIL: wes@scmpropertyco.com
 Proprietary interest in site: BUYER UNDER CONTRACT List all owners: (SEE ABOVE)
 AGENT (if any): ISAACSON & ARFMAN, P.A. PHONE: 268-8828
 ADDRESS: 128 MONROE ST. NE. FAX: 268-2652
 CITY: ABQ STATE NM ZIP 87108 E-MAIL: FREDA@IACIVIL.COM

DESCRIPTION OF REQUEST: REVIEW & COMMENT FOR SKETCH PLAT OF A 3.5 AC. COMMERCIAL DEVELOPMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 14, 15, 18 & 19, TRACT A Block: 18 Unit: B
 Subdiv. / Addn. NORTH ALBUQUERQUE ACRES
 Current Zoning: SW-2, M-1 Proposed zoning: SAME
 Zone Atlas page(s): C-18 No. of existing lots: 4 No. of proposed lots: 3
 Total area of site (acres): 3.535 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? Yes. No, but site is within 5 miles of the city limits.
 (14) 101806422203930214 (15) 101806423803930213 Within 1000FT of a landfill? YES (MARGIN-W)
 UPC No. (18) 101806423801730210 (19) 101806422201630209 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: HOLLY AVE / PASEO DEL NORTE
 Between: I-25 and SAN PEDRO DR.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
AX-93, Z-1534, ZA-88-217

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Fred C. Arfman DATE 03.21.06
 (Print) FRED C. ARFMAN Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB-00376</u>	<u>SK</u>	<u>5(3)</u>	<u>\$ 0.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>03/29/06</u>			Total <u>\$ 0.00</u>

Sandy Handley 03/21/06

Project # 1004772

FORM S(3): SUBDIVISION D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Signed** Pre-Annexation Agreement if Annexation required.
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

NO INTERNAL ROUTING
DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Artman

Applicant name (print)

Fred C. Artman

Applicant signature / date

Form revised 11/04



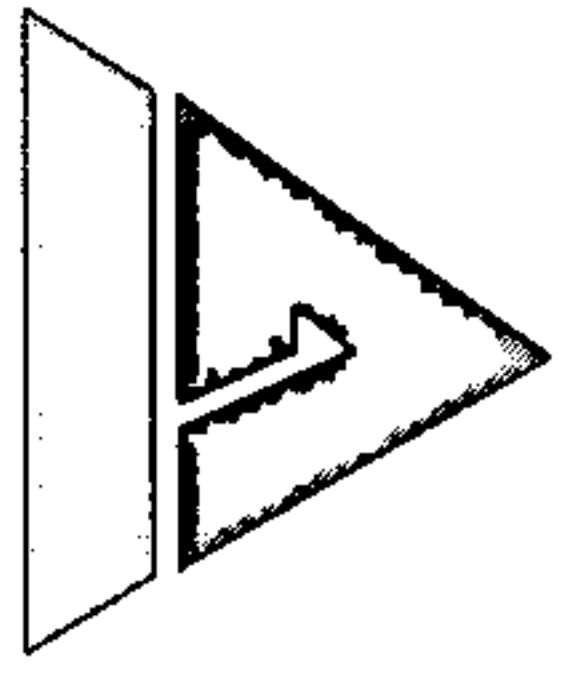
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

06DEB - - - - - 00376

Sandy Handley 03/21/06
Planner signature / date

Project # 1004772



PROJECT MEMORANDUM

03/21/06

TO: Sheran Matson, Chair, Development Review Board

FROM: Fred C. Arfman, PE, Isaacson & Arfman, P.A.

REF: Holly SP, LLC

I&A PROJ NO: 1435

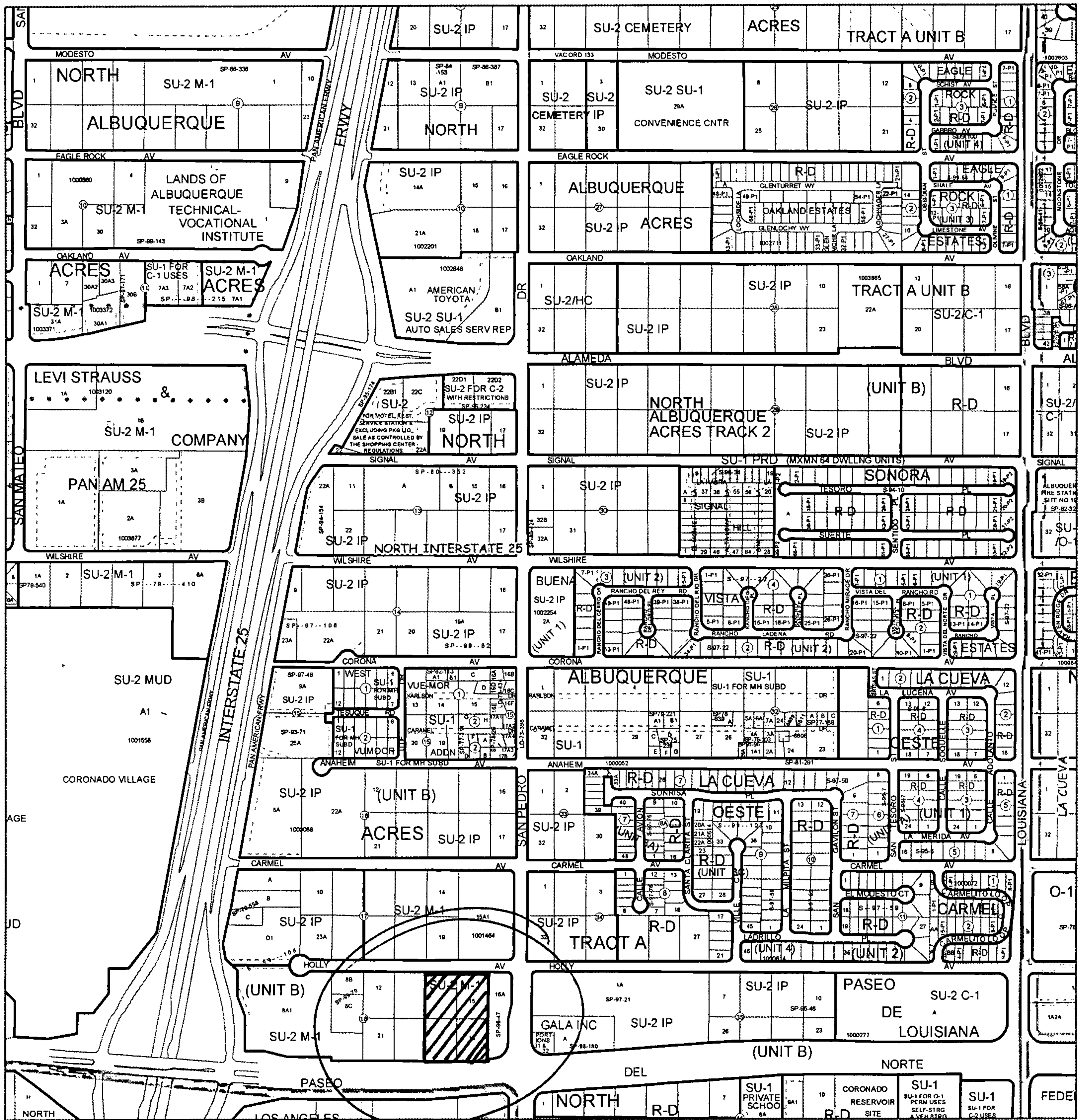
SUBJ: Sketch Plat Submittal

Isaacson & Arfman, P.A., agent for Holly SP, LLC request review and comments for the four (4) lots consisting of 3.5 acres to be developed as three (3) commercial buildings on three (3) tracts.

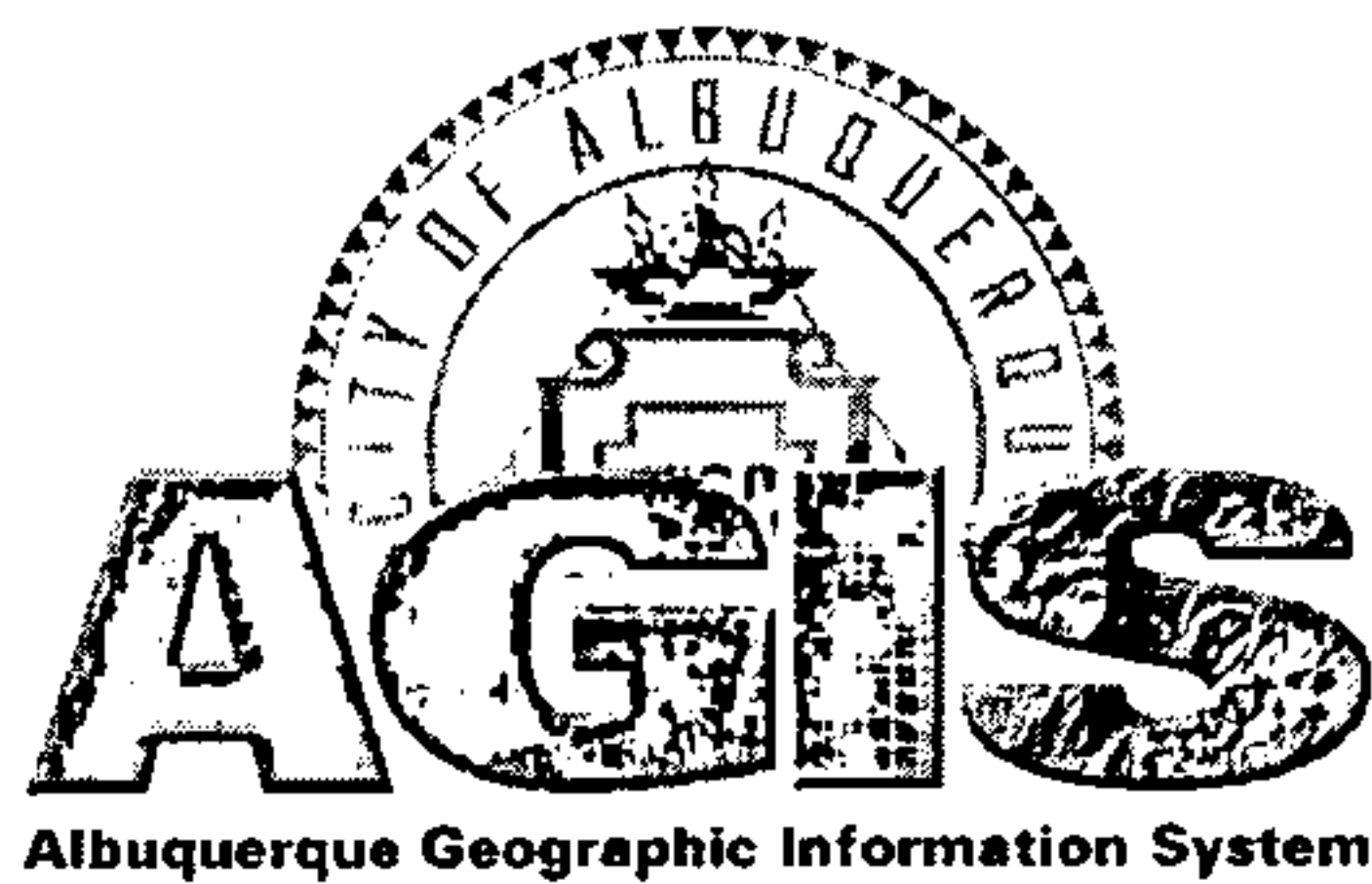
Site is not within the buffer zone of the Sacramento Landfill.

Easements for cross access, reciprocal parking, and cross-lot drainage will be granted on the final plat.

Water and Sanitary Sewer Availability Statement was issued by the City of Albuquerque on February 6, 2006.

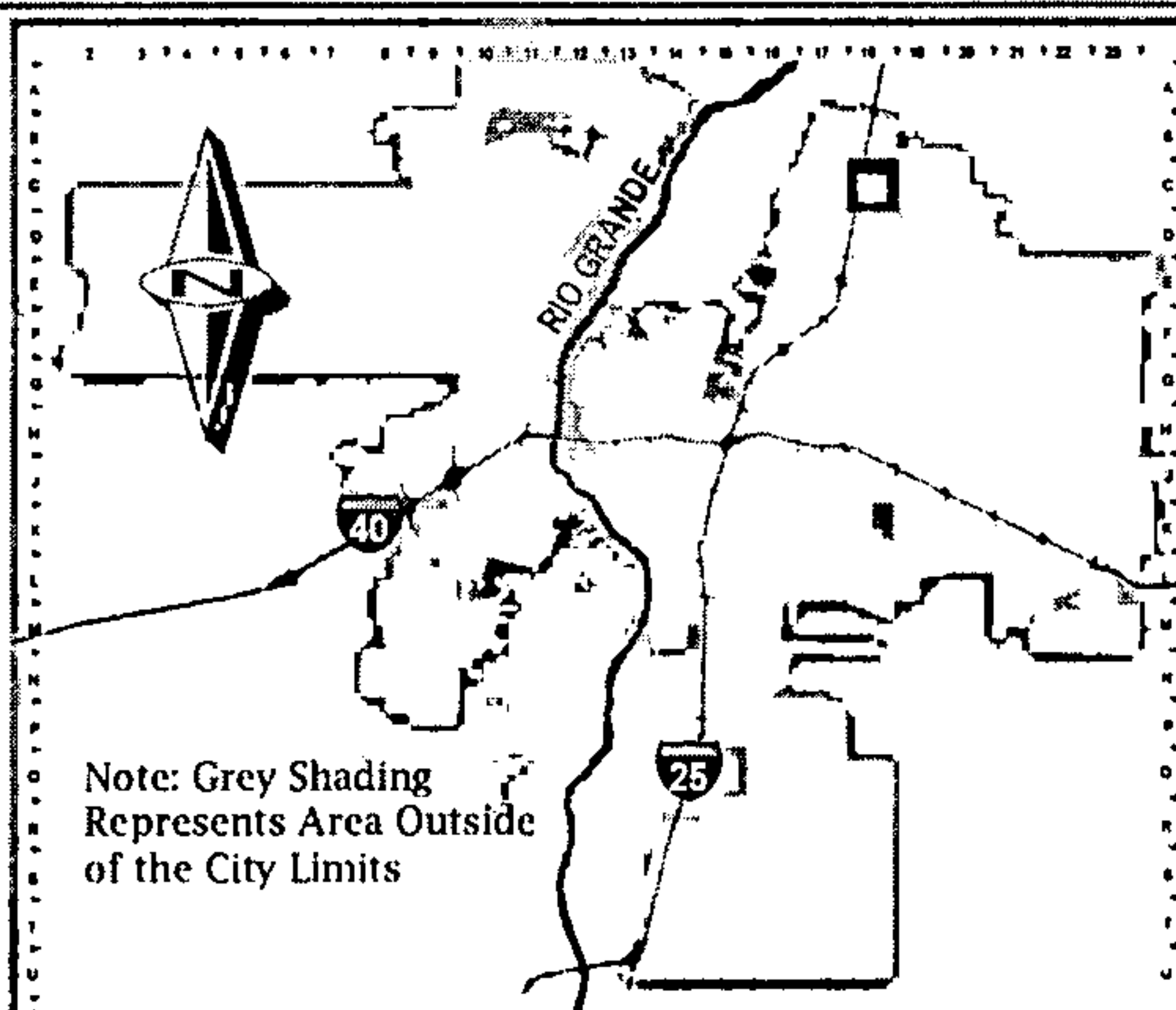


For more current information and more details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System

Map amended through: 11/2/2005



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

