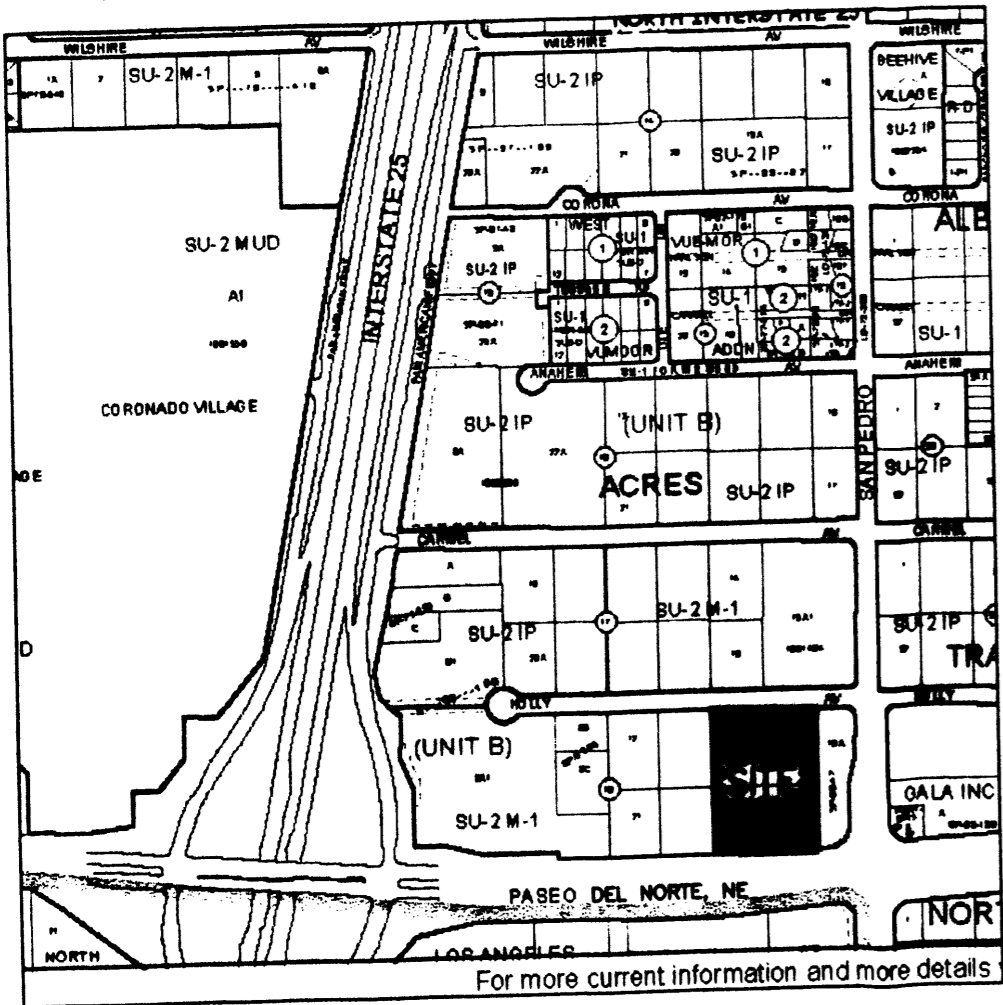


VICINITY MAP (C-18)

NO SCALE



DOC# 2008081454
07/19/2008 03:26 PM Page: 1 of 2
COUNTY CLERK RECORDING LABEL HERE

PLAT OF
HOLLY PLACE

A REPLAT OF LOTS 14, 15, 18 & 19, BLOCK 18,
TRACT A, UNIT B NORTH ALBUQUERQUE ACRES
WITHIN PROJECTED SECTION 13, T.11N., R.3E., N.M.P.M.
ELENA GALLEGOS GRANT

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2007

DESCRIPTION

Lots numbered Fourteen (14), Fifteen (15), Eighteen (18), and Nineteen (19) in Block
numbered Eighteen (18) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is
shown and designated on the plat thereof, filed in the Office of the County Clerk of
Bernalillo County, New Mexico, on April 24, 1936, and being more particularly described as
follows:
BEGINNING at the Northeast corner of the property herein described, a point on the
Southerly Right of Way line of Holly Avenue, NE, being the Northeast corner of Lot 15,
from whence the ACS Monument "9-C18" (x=402,255.61, y=1,521,435.09, NAD 1927
from whence the ACS Monument "9-C18" (x=402,255.61, y=1,521,435.09, NAD 1927
NMSR Central Zone) bears N 03° 58' 48" E, 2085.00 feet distant;
THENCE leaving said Southerly Right of Way line and along the Easterly boundary of Lots
15 and 18, S 00° 23' 59" W, 483.53 feet to the Southeast corner, being a point on the
Northerly Right of Way line of Paseo Del Norte, NE;
THENCE along said Northerly Right of Way line and along the Southerly boundary of Lot
18, S 81° 22' 08" W, 83.32 feet;
THENCE continuing along said Northerly Right of Way line and along the Southerly
boundary of Lots 18 and 19, N 89° 34' 34" W, 246.14 feet to the Southwest corner;
THENCE leaving said Northerly Right of Way line and along the Westerly boundary of Lots
19 and 14, N 00° 23' 30" E, 496.83 feet to the Northwest corner, being a point on said
Southerly Right of Way line;
THENCE along said Southerly Right of Way line and along the Northerly boundary of Lots
14 and 15, S 89° 32' 42" E, 329.99 feet to the Point of Beginning and containing
3.7503 acres, more or less.

PROJECT NUMBER: 10047722
Application Number: 07DRB-70370

City Approvals: [Signatures]
City Surveyor: [Signature] 11-6-07
Traffic Engineering, Transportation Division: [Signature] 7-16-08
ABCWUA: [Signature] 7-16-08
Parks and Recreation Department: [Signature] 7/16/08
AMARC: [Signature] 7/16/08
City Engineer: [Signature]
DRB Chairperson, Planning Department: [Signature] 7-17-08

SUBDIVISION DATA

- 1. DRB Proj. No. 10047722
2. Zone Atlas Index No. C-18
3. Current Zoning SU-2 M-1
4. Gross acreage 3.7503 Ac.
5. Existing number of deeded parcels 4
Replatted number of lots 3

LOG NO. 2007061788

NOTES

- 1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Bearings and distances in parenthesis are from existing plat.
2. Perimeter distances are field measurements made on the ground.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (REF. City Ordinance Sec. 14-14-4-7)
5. Grant of Acknowledgement of Access Control filed June 16, 1997, recorded in Book 97-16, Page 1755, as Document No. 97060396, restricting of access to Paseo Del Norte, NE, from Lots 18 and 19, Block 18, Tract A, Unit B, North Albuquerque Acres.
6. A right-of-way exception for Paseo Del Norte, NE, granted by document recorded June 6, 1997, in Book 96-16, Page 1756.
7. Existing Seven foot (7') public utility easement granted by document recorded March 6, 1969, in Book Misc. 131, Page 213, as Document No. 27584.
8. Existing Twenty foot (20') public waterline easement to the City of Albuquerque granted by document recorded July 17, 2007, as document no. 2007103011.
9. Twenty foot (20') public waterline easement is granted to the Albuquerque Bernalillo County Water Use Authority by this plat.

NOTES CONTINUED ON SHEET 2

PURPOSE OF PLAT

This plat has been prepared for the purposes of creating three lots from four lots, dedicate right of way and to grant easements.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1 018 064 222 036 30214, 1 018 064 236 039 30213,

PROPERTY OWNER OF RECORD:
HOLLY-SP LLC
BERNALILLO COUNTY TREASURER'S OFFICE

FREE CONSENT

The plating of the property as described above, granting of all public and private easements, and dedication of additional right-of-way to the City of Albuquerque, a Municipal Corporation, in fee simple without warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

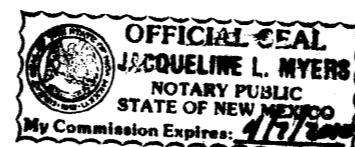
[Signature] 11-5-07
Date
Ben F. Spencer, managing partner, Holly-SP LLC., a New Mexico Limited Liability Company, on behalf of said Company.

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this 5th day of November, 2007, the foregoing instrument was acknowledged before me by [Signature], managing partner, Holly-SP LLC., a New Mexico Limited Liability Company, on behalf of said Company.

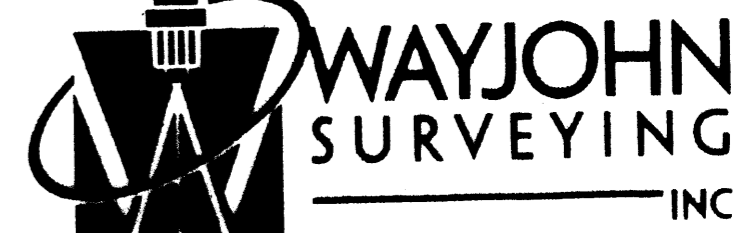
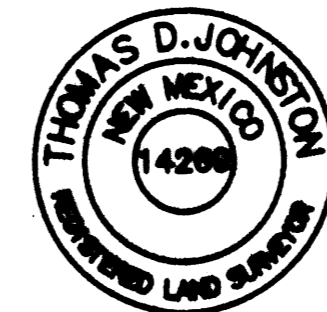
My Commission expires 4/7/2010
[Signature]
Notary Public



SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

[Signature] 11-05-07
Date
Thomas D. Johnston, N.M.P.S. No. 14269



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

Table with 4 columns: Indexing Information for County Clerk, Drawn (E W K), Checked (T D J), Drawing No. (SP90307.DWG), Location (SEC. 13, T10N, R3E, NMPM), Scale (1" = 40'), File No. (SP-9-03-2007), and Sheet (SHEET 1 OF 2).

PLAT OF HOLLY PLACE

A REPLAT OF LOTS 14, 15, 18 & 19, BLOCK 18,
 TRACT A, UNIT B NORTH ALBUQUERQUE ACRES
 WITHIN PROJECTED SECTION 13, T.11N., R.3E., N.M.P.M.
 ELENA GALLEGOS GRANT

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2007

COUNTY CLERK RECORDING LABEL HERE

HOLLY AVENUE, N.E.
 (60' R.O.W.)

ACS MONUMENT "9-C18"
 x = 402,255.61
 y = 1,521,435.09
 Delta Alpha: -00°11'19"
 Ground-to-grid: 0.9996608
 NMSP CENTRAL ZONE
 NAD 1927

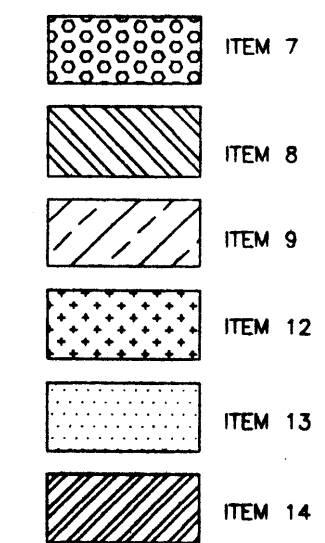
CONTINUATION OF NOTES FROM SHEET 1

10. Existing Blanket Access, drainage and utility easements within the common areas of Tracts A, B and C for the benefit of Tracts A, B and C granted by Declaration of Covenants, Conditions and Restrictions and Cross-Easements Agreement recorded 6/20/2007 as Document No. 2007090250, and First Amendment to Declaration of Covenants, Conditions and Restrictions and Cross-Easements Agreement recorded 6/19/2008 as Document No. 2008069999. Maintenance of said easements are the responsibility of the owners of Tracts A, B and C.
11. Existing Blanket Drainage agreement within the common areas of Tracts A, B, and C and Lots 12, 13, 20 and 21, Block 18 of Tract A, Unit B, North Albuquerque Acres, for the benefit of the previously described parcels granted by document recorded 2/19/2008 as Document No. 2008018451. Maintenance of said easement is the responsibility of the previously described parcels.
12. Existing 7 foot Public Service Company of New Mexico Easement granted by document recorded 6/12/2008 as Document No. 2008067083.
13. Existing 10 foot Public Service Company of New Mexico Electric and Gas Easement granted by document recorded 6/12/2008 as Document No. 2008067086.
14. Existing 20 foot Public Waterline Easement granted by document recorded 3/28/2008 as Document No. 2008035361.

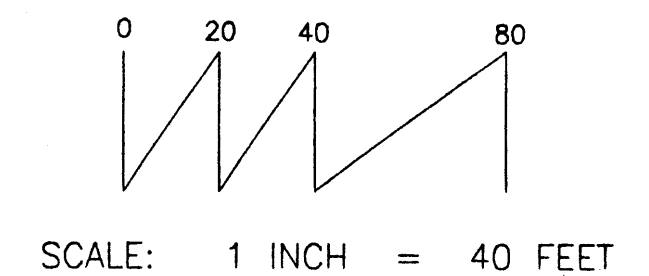
EASEMENT TANGENT TABLE FOR WATERLINE		
TANGENT NO.	BEARING	DISTANCE
ET1	N 89° 36' 30" W	10.00'
ET2	N 00° 23' 30" E	28.50'
ET3	S 00° 23' 30" W	10.00'
ET4	N 89° 36' 30" W	20.00'
ET5	N 00° 23' 30" E	10.00'
ET6	S 00° 23' 30" W	12.32'
ET7	N 89° 36' 30" W	10.00'
ET8	N 00° 23' 30" E	12.32'
ET9	N 89° 36' 30" W	5.00'
ET10	N 00° 23' 30" E	20.00'
ET11	S 89° 36' 30" E	19.00'

EASEMENT TANGENT TABLE FOR PUBLIC UTILITY EASEMENT		
TANGENT NO.	BEARING	DISTANCE
ET12	N 89° 32' 42" W	11.80'
ET13	S 45° 23' 30" W	15.18'
ET14	S 44° 36' 30" E	13.14'
ET15	N 45° 23' 30" E	2.50'
ET16	S 44° 36' 30" E	15.00'
ET17	S 45° 23' 30" W	15.00'
ET18	N 44° 36' 30" W	15.00'
ET19	N 45° 23' 30" E	2.50'
ET20	N 44° 36' 30" W	17.28'
ET21	N 00° 23' 30" E	8.81'
ET22	S 45° 23' 30" W	24.14'
ET23	N 00° 23' 30" E	14.14'
ET24	N 45° 23' 30" E	18.28'

EASEMENT LEGEND:



FOUND MONUMENT LEGEND
 A: FOUND #5 REBAR - NO CAP
 B: FOUND #5 REBAR AND CAP "LS 10855"
 C: FOUND "+" IN CONCRETE
 D: SET #4 REBAR AND CAP "WAYJOHN PS 14269"

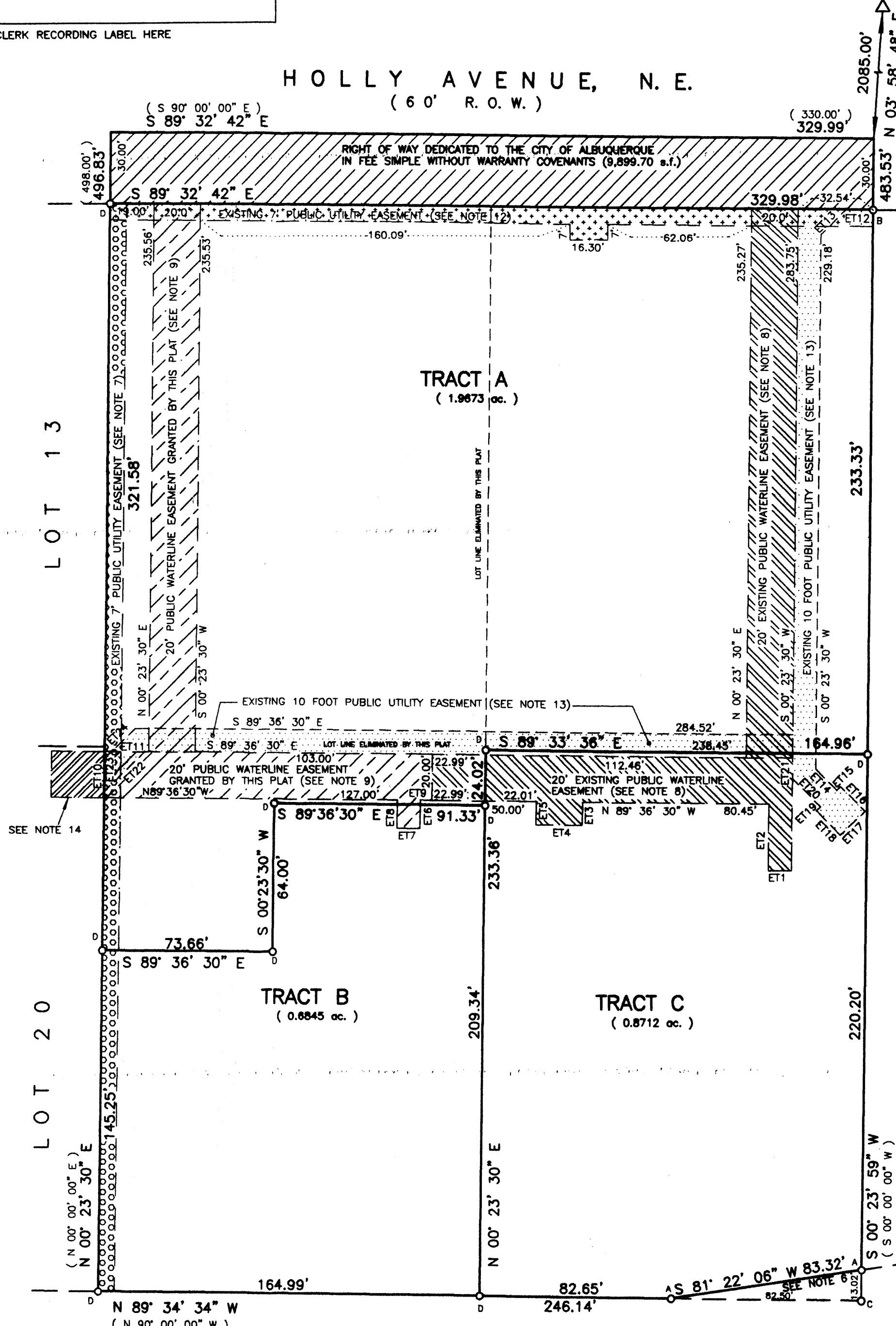


BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 (FILED 4/24/1936 VOL. D. FOLIO 130)

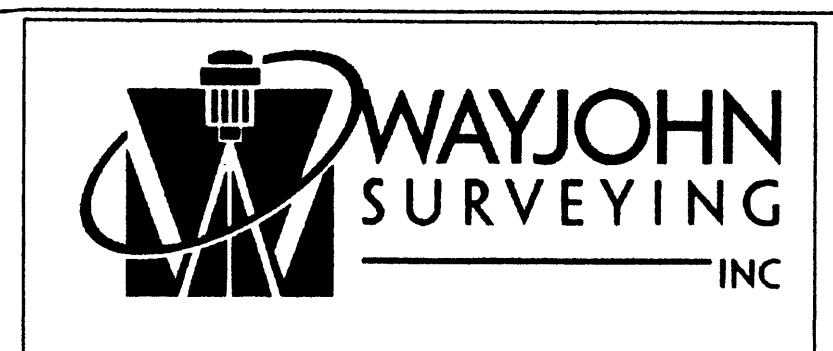
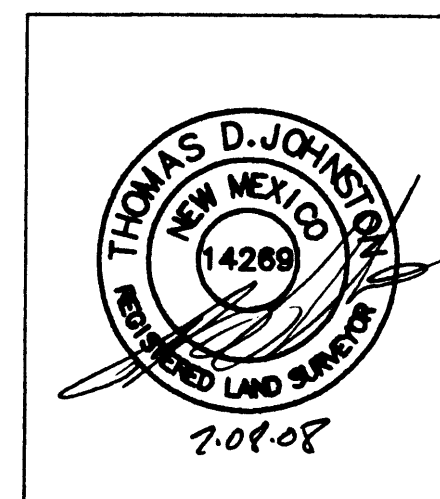
LOT 13

LOT 20

LOT 16 - A, BLOCK 18, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES
 (FILED 2/26/1996 VOL. 96C, FOLIO 87)



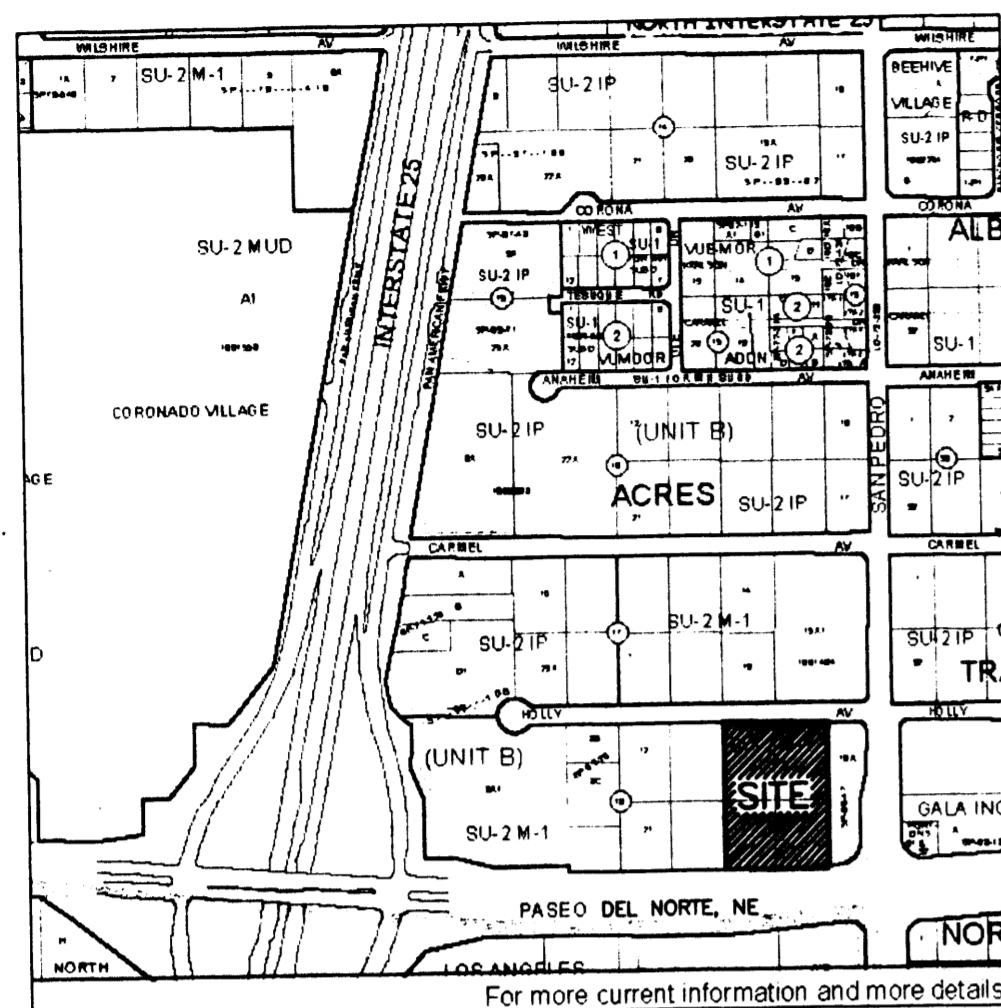
PASEO DEL NORTE, N.E.
 (PUBLIC R.O.W. VARIES)



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: HOLLY-SP LLC LOCATION: SEC. 13, T10N, R3E, NMPM LOTS 14, 15, 18 & 19, BLOCK 18 TRACT A, UNIT B, NORTH ALBU. ACRES NOW HOLLY PLACE	DRAWN: E W K	SCALE: 1" = 40'	FILE NO. SP-9-03-2007
	CHECKED: T D J	DRAWING NO. SP90307.DWG	SHEET 2 OF 2

VICINITY MAP (C-18) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION

Lots numbered Fourteen (14), Fifteen (15), Eighteen (18), and Nineteen (19) in Block numbered Eighteen (18) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, and being more particularly described as follows:
 BEGINNING at the Northeast corner of the property herein described, a point on the Southerly Right of Way line of Holly Avenue, NE, being the Northeast corner of Lot 15, from whence the ACS Monument "9-C18" (x=402,255.61, y=1,521,435.09, NAD 1927 NMSP Central Zone) bears N 03° 58' 48" E, 2085.00 feet distant;
 THENCE leaving said Southerly Right of Way line and along the Easterly boundary of Lots 15 and 18, S 00° 23' 59" W, 483.53 feet to the Southeast corner, being a point on the Northerly Right of Way line of Paseo Del Norte, NE;
 THENCE along said Northerly Right of Way line and along the Southerly boundary of Lot 18, S 81° 22' 06" W, 83.32 feet;
 THENCE continuing along said Northerly Right of Way line and along the Southerly boundary of Lots 18 and 19, N 89° 34' 34" W, 246.14 feet to the Southwest corner;
 THENCE leaving said Northerly Right of Way line and along the Westerly boundary of Lots 19 and 14, N 00° 23' 30" E, 496.83 feet to the Northwest corner, being a point on said Southerly Right of Way line;
 THENCE along said Southerly Right of Way line and along the Northerly boundary of Lots 14 and 15, S 89° 32' 42" E, 329.99 feet to the Point of Beginning and containing 3.7503 acres, more or less.

PLAT OF
HOLLY PLACE
 A REPLAT OF LOTS 14, 15, 18 & 19, BLOCK 18,
 TRACT A, UNIT B NORTH ALBUQUERQUE ACRES
 WITHIN PROJECTED SECTION 13, T.11N., R.3E., N.M.P.M.
 ELENA GALLEGOS GRANT

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2007

V. J. J. J.
**PRELIMINARY PLAT
 APPROVED BY DRB
 ON**

PROJECT NUMBER: _____

Application Number: _____

City Approvals:

[Signature]
 City Surveyor

11-6-07

Date

Traffic Engineering, Transportation Division

Date

ABCWUA

Date

Parks and Recreation Department

Date

AMAFCA

Date

City Engineer

Date

DRB Chairperson, Planning Department

Date

SUBDIVISION DATA

1. DRB Proj. No.
2. Zone Atlas Index No. C-18
3. Current Zoning SU-2 *M1*
4. Gross acreage 3.7503 Ac.
5. Existing number of deeded parcels 4
 Replatted number of lots 3

LOG NO. 2007061788

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Bearings and distances in parenthesis are from existing plat.
2. Perimeter distances are field measurements made on the ground.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (REF. City Ordinance Sec. 14-14-4-7)
5. Grant of Acknowledgement of Access Control filed June 16, 1997, recorded in Book 97-16, Page 1755, as Document No. 97060396, restricting of access to Paseo Del Norte, NE, from Lots 18 and 19, Block 18, Tract A, Unit B, North Albuquerque Acres.
6. A right-of-way exception for Paseo Del Norte, NE, granted by document recorded June 6, 1997, in Book 96-16, Page 1756.
7. Existing Seven foot (7') public utility easement granted by document recorded March 6, 1969, in Book Misc. 131, Page 213, as Document No. 27584.
8. Existing Twenty foot (20') public waterline easement to the City of Albuquerque granted by document recorded July 17, 2007, as document no. 2007103011.
9. Twenty foot (20') public waterline easement is granted to the Albuquerque Bernalillo County Water Use Authority by this plat.

NOTES CONTINUED ON SHEET 2

PURPOSE OF PLAT

This plat has been prepared for the purposes of creating three lots from four lots, dedicate right of way and to grant easements.

FREE CONSENT

The platting of the property as described above, granting of all public and private easements, and dedication of additional right-of-way to the City of Albuquerque, a Municipal Corporation, in fee simple without warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

[Signature] 11-5-07
 Date

Ben F. Spencer, managing partner, Holly-SP LLC., a New Mexico Limited Liability Company, on behalf of said Company.

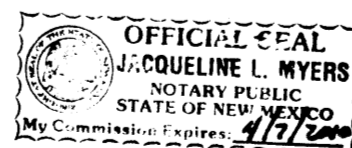
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 5th day of November, 2007, the foregoing instrument was acknowledged before me by _____, managing partner, Holly-SP LLC., a New Mexico Limited Liability Company, on behalf of said Company.

My Commission expires 4/9/2010

Jacqueline L. Myers
 Notary Public

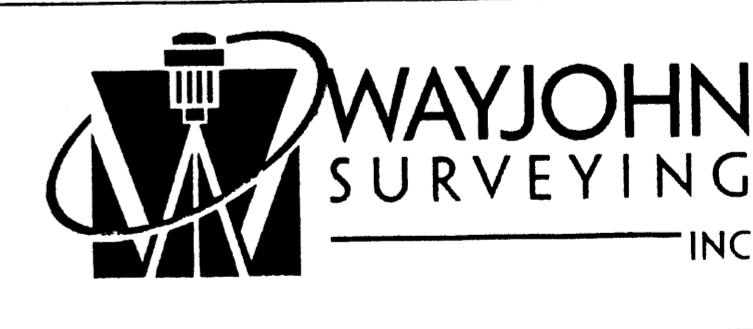
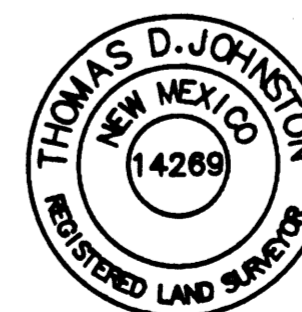


SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

[Signature]
 Thomas D. Johnston, N.M.P.S. No. 14269

11-05-07
 Date



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER: HOLLY-SP LLC
 LOCATION: SEC. 13, T10N, R3E, NMPM
 LOTS 14, 15, 18 & 19, BLOCK 18
 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 NOW HOLLY PLACE

DRAWN: E W K
 CHECKED: T D J
 DRAWING NO. SP90307.DWG

SCALE: 1" = 40'
 DATE: 22 OCT 2007

FILE NO. SP-9-03-2007
 SHEET 1 OF 2

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 018 064 222 039 30214, 1 018 064 238 039 30213,
 1 018 064 238 017 30210, 1 018 064 222 016 30209
 PROPERTY OWNER OF RECORD:
 HOLLY-SP LLC
 BERNALILLO COUNTY TREASURER'S OFFICE

PLAT OF HOLLY PLACE

A REPLAT OF LOTS 14, 15, 18 & 19, BLOCK 18,
TRACT A, UNIT B NORTH ALBUQUERQUE ACRES
WITHIN PROJECTED SECTION 13, T.11N., R.3E., N.M.P.M.
ELENA GALLEGOS GRANT

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2007

COUNTY CLERK RECORDING LABEL HERE

HOLLY AVENUE, N.E.
(6' 0" R.O.W.)

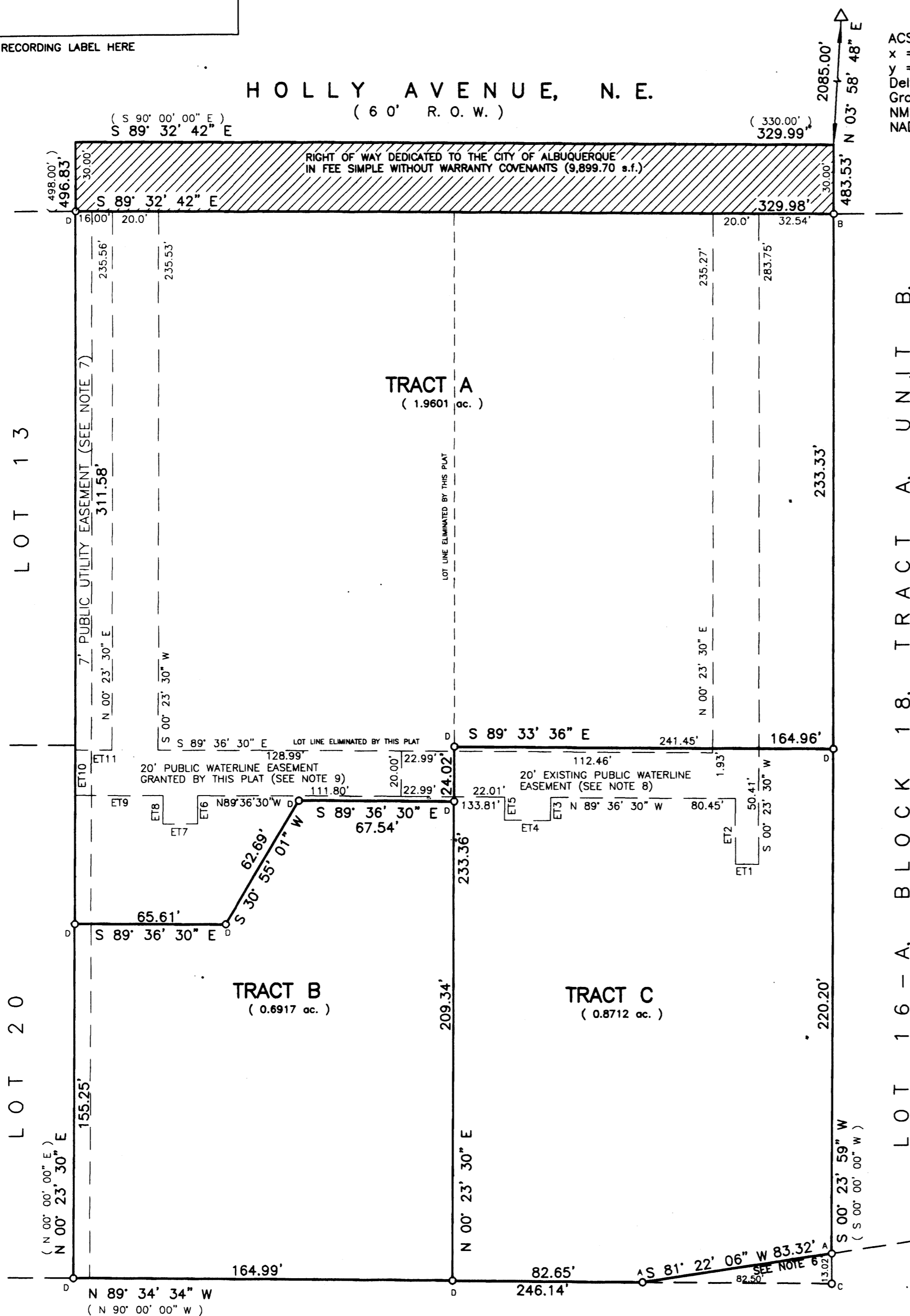
ACS MONUMENT "9-C18"
x = 402,255.61
y = 1,521,435.09
Delta Alpha: -00°11'19"
Ground-to-grid: 0.9996608
NMSP CENTRAL ZONE
NAD 1927

BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
(FILED 4/24/1936 VOL. D, FOLIO 130)

LOT 13

LOT 20

LOT 16 - A, BLOCK 18, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES
(FILED 2/26/1996 VOL. 96C, FOLIO 87)

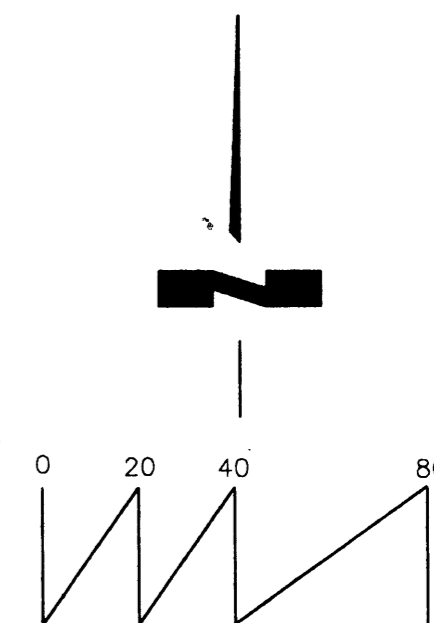


CONTINUATION OF NOTES FROM SHEET 1

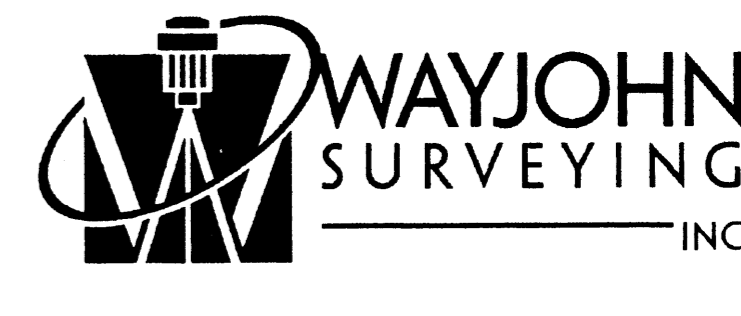
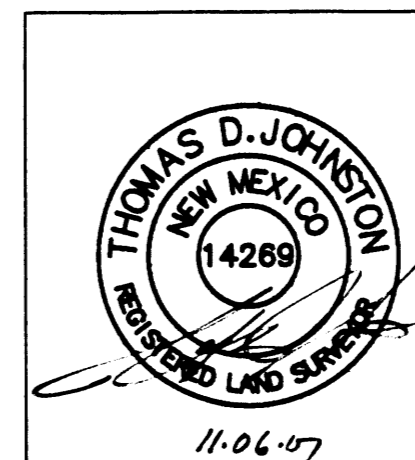
10. A blanket drainage and cross-access and parking easement across Tracts A, B and C is granted by this plat. Maintenance of said easement is the responsibility of the owners of Tracts A, B and C.

EASEMENT TANGENT TABLE		
TANGENT NO.	BEARING	DISTANCE
ET1	N 89° 36' 30" W	10.00'
ET2	N 00° 23' 30" E	28.50'
ET3	S 00° 23' 30" W	10.00'
ET4	N 89° 36' 30" W	20.00'
ET5	N 00° 23' 30" E	10.00'
ET6	S 00° 23' 30" W	10.00'
ET7	N 89° 36' 30" W	15.00'
ET8	N 00° 23' 30" E	10.00'
ET9	N 89° 36' 30" W	38.19'
ET10	N 00° 23' 30" E	20.00'
ET11	S 89° 36' 30" E	16.00'

FOUND MONUMENT LEGEND
A: FOUND #5 REBAR - NO CAP
B: FOUND #5 REBAR AND CAP "LS 10855"
C: FOUND "+" IN CONCRETE
D: SET #4 REBAR AND CAP "WAYJOHN PS 14269"



SCALE: 1 INCH = 40 FEET



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK
OWNER: HOLLY-SP LLC
LOCATION: SEC. 13, T10N, R3E, NMPM
LOTS 14, 15, 18 & 19, BLOCK 18
TRACT A, UNIT B, NORTH ABQ. ACRES
NOW HOLLY PLACE

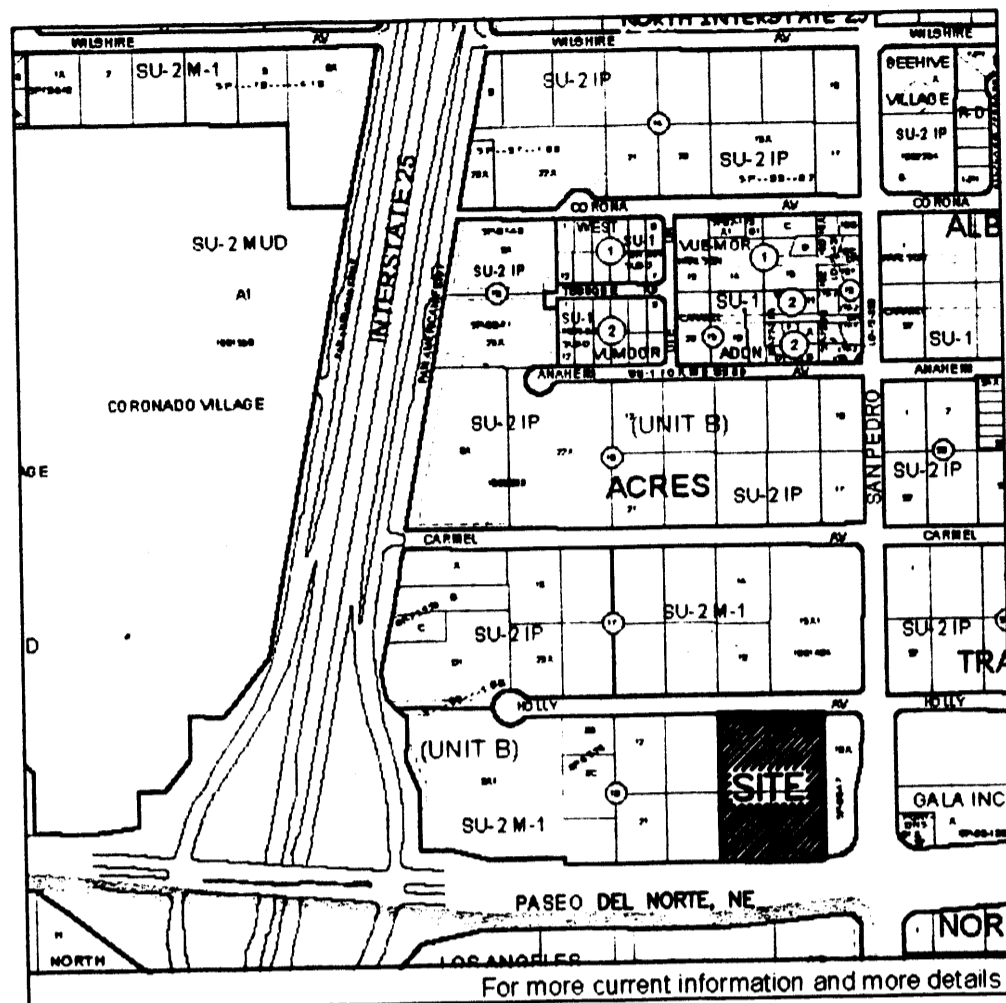
DRAWN: E W K
CHECKED: T D J
DRAWING NO. SP90307.DWG

SCALE: 1" = 40'
22 OCT 2007

FILE NO. SP-9-03-2007
SHEET 2 OF 2

PASEO DEL NORTE, N.E.
(PUBLIC R.O.W. VARIES)

VICINITY MAP (C-18) NO SCALE



For more current information and more details:

COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION

Lots numbered Fourteen (14), Fifteen (15), Eighteen (18), and Nineteen (19) in Block numbered Eighteen (18) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, and being more particularly described as follows:
 BEGINNING at the Northeast corner of the property herein described, a point on the Southerly Right of Way line of Holly Avenue, NE, being the Northeast corner of Lot 15, from whence the ACS Monument "9-C18" (x=402,255.61, y=1,521,435.09, NAD 1927 NMSP Central Zone) bears N 03° 58' 48" E, 2085.00 feet distant;
 THENCE leaving said Southerly Right of Way line and along the Easterly boundary of Lots 15 and 18, S 00° 23' 59" W, 483.53 feet to the Southeast corner, being a point on the Northerly Right of Way line of Paseo Del Norte, NE;
 THENCE along said Northerly Right of Way line and along the Southerly boundary of Lot 18, S 81° 22' 06" W, 83.32 feet;
 THENCE continuing along said Northerly Right of Way line and along the Southerly boundary of Lots 18 and 19, N 89° 34' 34" W, 246.14 feet to the Southwest corner;
 THENCE leaving said Northerly Right of Way line and along the Westerly boundary of Lots 19 and 14, N 00° 23' 30" E, 496.83 feet to the Northwest corner, being a point on said Southerly Right of Way line;
 THENCE along said Southerly Right of Way line and along the Northerly boundary of Lots 14 and 15, S 89° 32' 42" E, 329.99 feet to the Point of Beginning and containing 3.7503 acres, more or less.

PLAT OF
HOLLY PLACE
 A REPLAT OF LOTS 14, 15, 18 & 19, BLOCK 18,
 TRACT A, UNIT B NORTH ALBUQUERQUE ACRES
 WITHIN PROJECTED SECTION 13, T.11N., R.3E., N.M.P.M.
 ELENA GALLEGOS GRANT

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2007

PROJECT NUMBER: ~~1004773~~ 1004772
 Application Number: ~~06DRB-00750~~ 07DRB-70370

City Approvals:

	11-6-07
City Surveyor	Date
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SUBMISSION DATA

- DRB Proj. No. 1004773
 - Zone Atlas Index No. C-18
 - Current Zoning SU-2 M-1
 - Gross acreage 3.7503 Ac.
 - Existing number of deeded parcels 4
 Replatted number of lots 3
- LOG NO. 2007061788

NOTES

- Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Bearings and distances in parenthesis are from existing plat.
- Perimeter distances are field measurements made on the ground.
- Monuments recovered and accepted or reset are noted on inscribed plat.
- No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (REF. City Ordinance Sec. 14-14-4-7)
- Grant of Acknowledgement of Access Control filed June 16, 1997, recorded in Book 97-16, Page 1755, as Document No. 97060396, restricting of access to Paseo Del Norte, NE, from Lots 18 and 19, Block 18, Tract A, Unit B, North Albuquerque Acres.
- A right-of-way exception for Paseo Del Norte, NE, granted by document recorded June 6, 1997, in Book 96-16, Page 1756.
- Existing Seven foot (7') public utility easement granted by document recorded March 6, 1969, in Book Misc. 131, Page 213, as Document No. 27584.
- Existing Twenty foot (20') public waterline easement to the City of Albuquerque granted by document recorded July 17, 2007, as document no. 2007103011.
- Twenty foot (20') public waterline easement is granted to the Albuquerque Bernalillo County Water Use Authority by this plat.

NOTES CONTINUED ON SHEET 2

PURPOSE OF PLAT

This plat has been prepared for the purposes of creating three lots from four lots, dedicate right of way and to grant easements.

FREE CONSENT

The platting of the property as described above, granting of all public and private easements, and dedication of additional right-of-way to the City of Albuquerque, a Municipal Corporation, in fee simple without warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in the fee simple to the land subdivided.

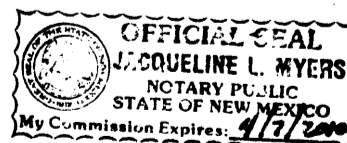
Date 11-5-07
 Ben F. SPENCER, managing partner, Holly-SP LLC., a New Mexico Limited Liability Company, on behalf of said Company.

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss
 On this 5th day of November, 2007, the foregoing instrument was acknowledged before me by _____, managing partner, Holly-SP LLC., a New Mexico Limited Liability Company, on behalf of said Company.

My Commission expires 4/7/2010

 Notary Public



SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Date 11-05-07
 Thomas D. Johnston, N.M.P.S. No. 14269

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 018 064 222 039 30214, 1 018 064 238 039 30213,
 1 018 064 238 017 30210, 1 018 064 222 016 30209
 PROPERTY OWNER OF RECORD:
 HOLLY-SP LLC
 BERNALILLO COUNTY TREASURER'S OFFICE

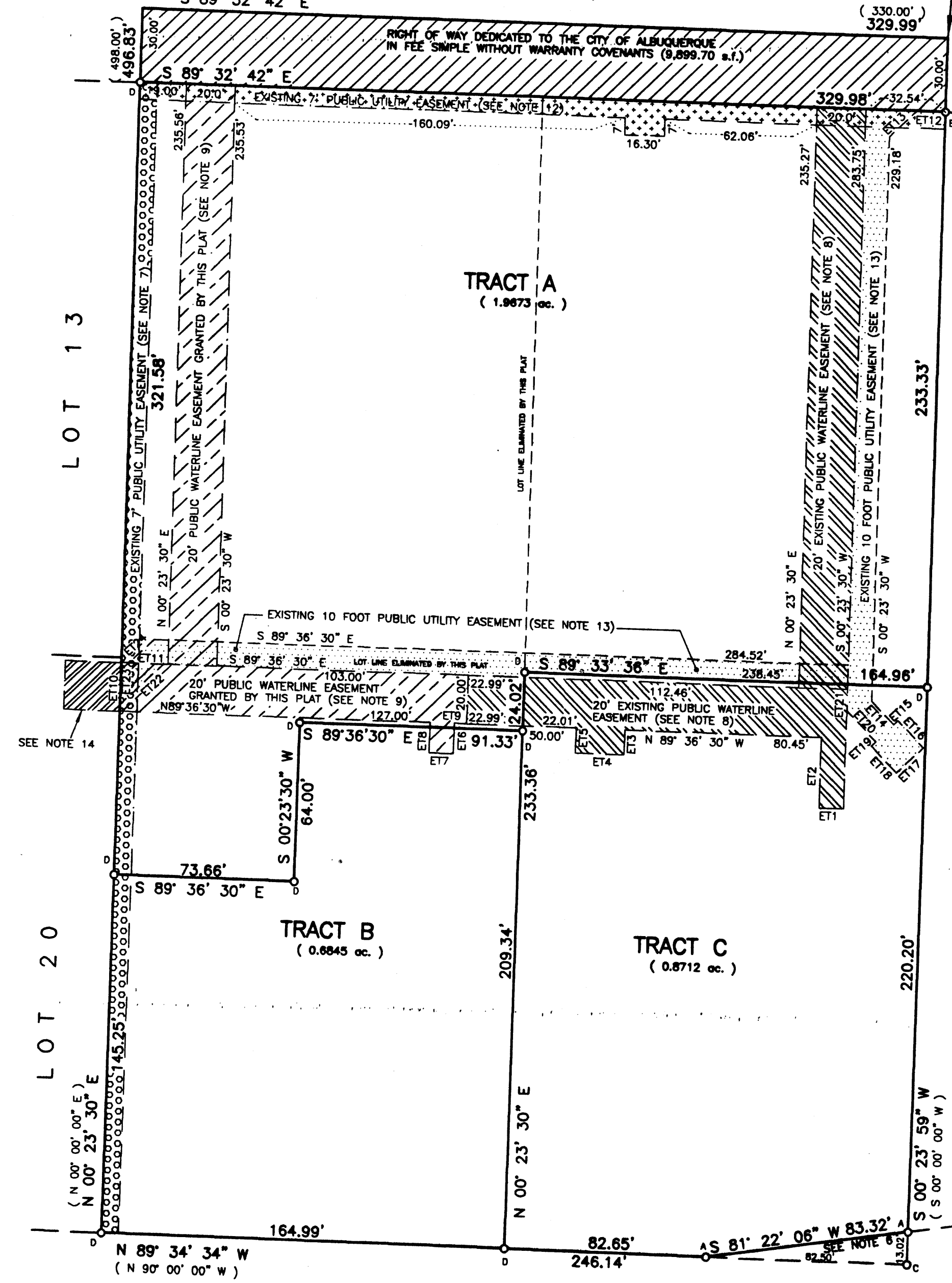
	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY CLERK OWNER: HOLLY-SP LLC LOCATION: SEC. 13, T10N, R3E, NMPM LOTS 14, 15, 18 & 19, BLOCK 18 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES NOW HOLLY PLACE	DRAWN: E W K CHECKED: T D J DRAWING NO. SP90307.DWG	SCALE: 1" = 40' 22 OCT 2007	FILE NO. SP-9-03-2007 SHEET 1 OF 2

PLAT OF
HOLLY PLACE
 A REPLAT OF LOTS 14, 15, 18 & 19, BLOCK 18,
 TRACT A, UNIT B NORTH ALBUQUERQUE ACRES
 WITHIN PROJECTED SECTION 13, T.11N., R.3E., N.M.P.M.
 ELENA GALLEGOS GRANT
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2007

COUNTY CLERK RECORDING LABEL HERE

HOLLY AVENUE, N. E.
 (6 0' R. O. W.)

ACS MONUMENT "9-C18"
 x = 402,255.61
 y = 1,521,435.09
 Delta Alpha: -00°11'19"
 Ground-to-grid: 0.9996608
 NMSZ CENTRAL ZONE
 NAD 1927



BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 (FILED 4/24/1936 VOL. D, FOLIO 130)

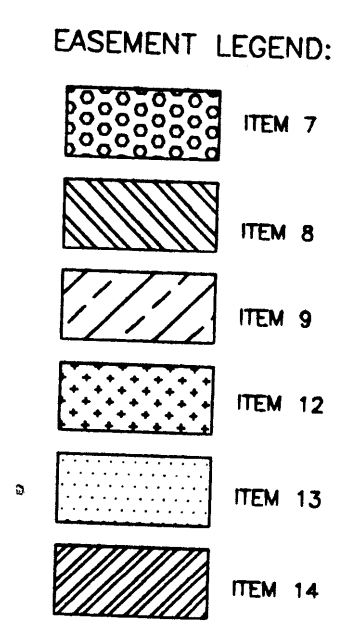
LOT 16-A, BLOCK 18, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES
 (FILED 2/28/1996 VOL. 96C, FOLIO 87)

CONTINUATION OF NOTES FROM SHEET 1

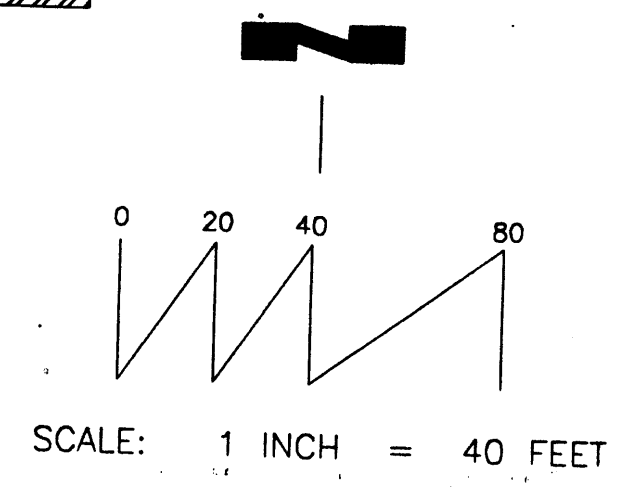
10. Existing Blanket Access, drainage and utility easements within the common areas of Tracts A, B and C for the benefit of Tracts A, B and C granted by Declaration of Covenants, Conditions and Restrictions and Cross-Easements Agreement recorded 6/20/2007 as Document No. 2007090250, and First Amendment to Declaration of Covenants, Conditions and Restrictions and Cross-Easements Agreement recorded 6/19/2008 as Document No. 2008069999. Maintenance of said easements are the responsibility of the owners of Tracts A, B and C.
11. Existing Blanket Drainage agreement within the common areas of Tracts A, B, and C and Lots 12, 13, 20 and 21, Block 18 of Tract A, Unit B, North Albuquerque Acres, for the benefit of the previously described parcels granted by document recorded 2/19/2008 as Document No. 2008018451. Maintenance of said easement is the responsibility of the previously described parcels.
12. Existing 7 foot Public Service Company of New Mexico Easement granted by document recorded 6/12/2008 as Document No. 2008067083.
13. Existing 10 foot Public Service Company of New Mexico Electric and Gas Easement granted by document recorded 6/12/2008 as Document No. 2008067086.
14. Existing 20 foot Public Waterline Easement granted by document recorded 3/28/2008 as Document No. 2008035361.

EASEMENT TANGENT TABLE FOR WATERLINE		
TANGENT NO.	BEARING	DISTANCE
ET1	N 89° 36' 30" W	10.00'
ET2	N 00° 23' 30" E	28.50'
ET3	S 00° 23' 30" W	10.00'
ET4	N 89° 36' 30" W	20.00'
ET5	N 00° 23' 30" E	10.00'
ET6	S 00° 23' 30" W	12.32'
ET7	N 89° 36' 30" W	10.00'
ET8	N 00° 23' 30" E	12.32'
ET9	N 89° 36' 30" W	5.00'
ET10	N 00° 23' 30" E	20.00'
ET11	S 89° 36' 30" E	19.00'

EASEMENT TANGENT TABLE FOR PUBLIC UTILITY EASEMENT		
TANGENT NO.	BEARING	DISTANCE
ET12	N 89° 32' 42" W	11.80'
ET13	S 45° 23' 30" W	15.18'
ET14	S 44° 36' 30" E	13.14'
ET15	N 45° 23' 30" E	2.50'
ET16	S 44° 36' 30" E	15.00'
ET17	S 45° 23' 30" W	15.00'
ET18	N 44° 36' 30" W	15.00'
ET19	N 45° 23' 30" E	2.50'
ET20	N 44° 36' 30" W	17.28'
ET21	N 00° 23' 30" E	8.81'
ET22	S 45° 23' 30" W	24.14'
ET23	N 00° 23' 30" E	14.14'
ET24	N 45° 23' 30" E	18.28'



FOUND MONUMENT LEGEND
 A: FOUND #5 REBAR - NO CAP
 B: FOUND #5 REBAR AND CAP "LS 10855"
 C: FOUND "+" IN CONCRETE
 D: SET #4 REBAR AND CAP "WAYJOHN PS 14269"

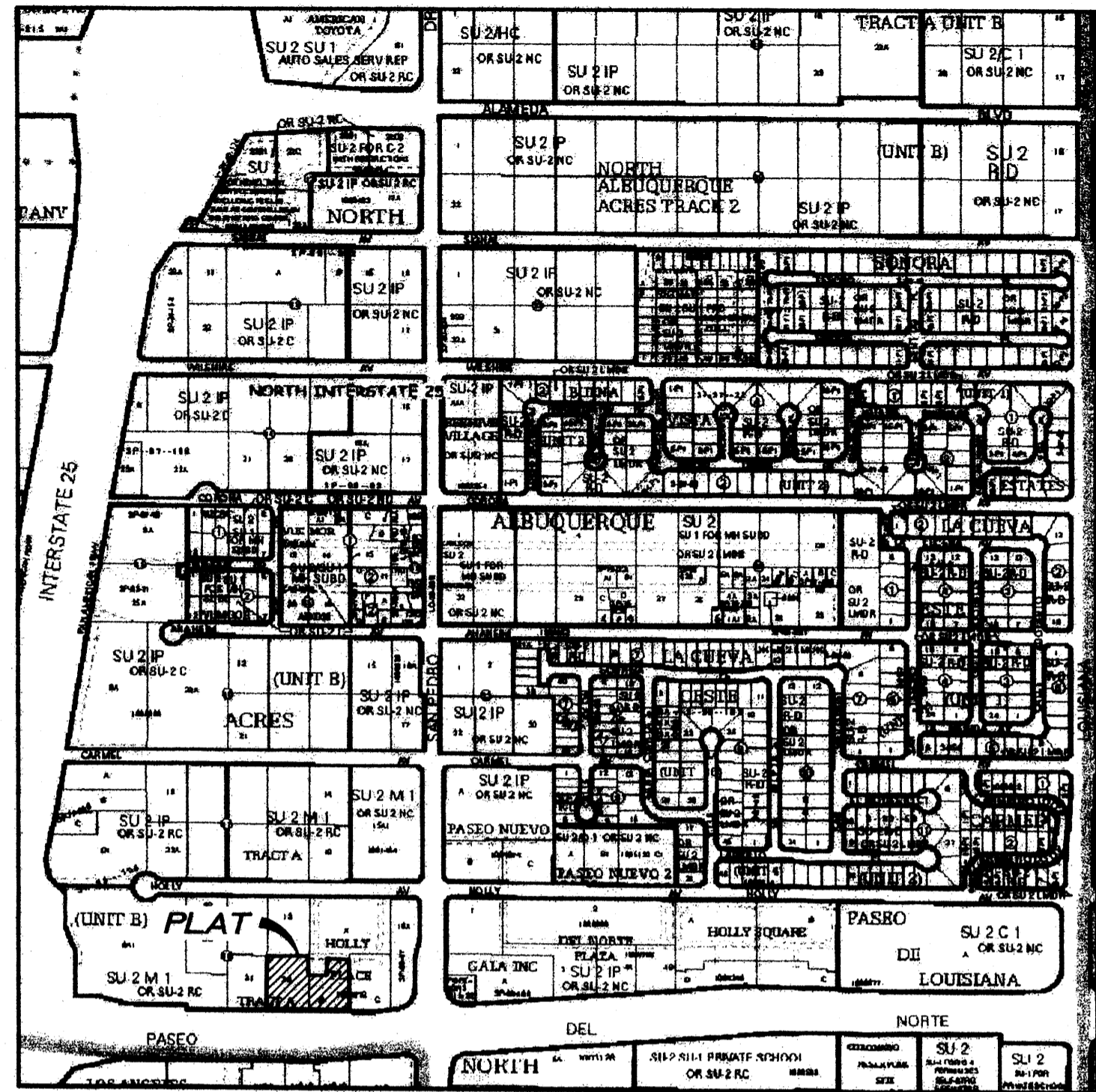


PASEO DEL NORTE, N. E.
 (PUBLIC R. O. W. VARIES)

WAYJOHN SURVEYING INC.

330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK	DRAWN: E W K	SCALE: 1" = 40'	FILE NO. SP-9-03-2007
OWNER: HOLLY-SP LLC LOCATION: SEC. 13, T10N, R3E, NMPM LOTS 14, 15, 18 & 19, BLOCK 18 TRACT A, UNIT B, NORTH ALBUQ. ACRES NOW HOLLY PLACE	CHECKED: T D J	DRAWING NO. SP90307.DWG	DATE: 22 OCT 2007



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page C-18-Z.

SUBDIVISION DATA

- Total number of existing Tracts/Lots: 2
- Total number of Tracts created: 1
- Gross Subdivision acreage: 1.5700 acres

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

_____ Date
Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

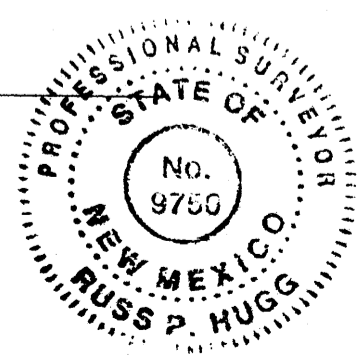
The purpose of this plat is to:

- Grant the new easements as shown hereon.
- Combine two (2) existing tracts into one (1) tract as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMRS No. 9750
October 30, 2013



**PLAT OF
TRACT B-1
HOLLY PLACE**

(BEING A REPLAT OF TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES)

SITUATE WITHIN

THE ELENA GALLEGOS GRANT

IN

PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2013

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

Lernando Vigil 11-1-13
Public Service Company of New Mexico Date

New Mexico Gas Company Date

Qwest Corporation d/b/a CenturyLink QC. Date

Comcast Date

CITY APPROVALS:

Dan P. Aposta 11/1/13
City Surveyor Date
Department of Municipal Development

Real Property Division Date

Environmental Health Department Date

Traffic Engineering, Transportation Division Date

ABCWUA Date

Parks and Recreation Department Date

AMAFCA Date

City Engineer Date

DRB Chairperson, Planning Department Date

SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PROJECT # 10041772
 13-70747 (P) (H)

LEGAL DESCRIPTION

That certain parcel of land situate within The Elena Gallegos Grant in Projected Section 13, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract B, of Holly Place as the same is shown and designated on the plat entitled "PLAT OF HOLLY PLACE, A REPLAT OF LOTS 14, 15, 18 & 19, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES WITHIN PROJECTED SECTION 13, T.11 N., R.3 E., N.M.P.M., ELENA GALLEGOS GRANT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 18, 2008, in Plat Book 2008C, Page 161 and all of Lot 20, Block 18, Tract A, Unit B, North Albuquerque Acres as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Volume D, Folio 130 more particularly described by survey performed by Russ. P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane grid bearings (NAD 83) and ground distances as follows:

BEGINNING at the Northwest corner of said Lot 20, Block 18, Tract A, Unit B, North Albuquerque Acres (a 5/8" Rebar and cap stamped "L.S. 9750" found in place) whence the Albuquerque Control Survey Monument "9-C18" bears N 15°19'57" E, 2427.10 feet distant; Thence,

S 89°35'35" E, 165.27 feet to the Northeast corner of said Lot 20, Block 18, Tract A, Unit B, North Albuquerque Acres (a 5/8" Rebar and cap stamped "L.S. 9750" found in place); Thence,

S 00°23'30" W, 88.09 feet to the Northwest corner of said Tract B, of Holly Place; Thence Southeasterly and Northeasterly along the Northerly line of said Tract B for the following three (3) courses:

S 89°36'30" E, 73.66 feet to a point; Thence,

N 00°23'30" E, 64.00 feet to a point; Thence,

S 89°36'30" E, 91.33 feet to the Northeast corner of said Tract B, of Holly Place; Thence,

S 00°23'30" W, 209.34 feet to the Southeast corner of said Tract B and a point on the Northerly right of way line of Paseo Del Norte N.E.; Thence,

N 89°36'21" W, 330.13 feet along said Northerly right of way line of Paseo Del Norte N.E. to the Southwest corner of said Lot 20, Block 18, Tract A, Unit B, North Albuquerque Acres (a 5/8" Rebar and cap stamped "L.S. 9750" found in place); Thence,

N 00°21'34" E, 233.46 feet along the Westerly line of said Lot 20 to the Northwest corner and point of beginning of the parcel herein described.

Said parcel contains 1.5700 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF TRACT B-1, HOLLY PLAZA (BEING A REPLAT OF TRACT B, HOLLY PLAZA AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Paseo Place, LLC, a New Mexico limited liability company

By: **STEVE MAESTAS, MANAGER**

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 31st
day of October, 2013, by Steve Maestas

My commission expires July 19, 2017
Notary Public

PLAT OF
TRACT B-1
HOLLY PLACE

(BEING A REPLAT OF TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES)

SITUATE WITHIN

THE ELENA GALLEGOS GRANT

IN

PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2013

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



SHEET 2 OF 3

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF
TRACT B-1
HOLLY PLACE

(BEING A REPLAT OF TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES)

SITUATE WITHIN
THE ELENA GALLEGOS GRANT

IN
PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2013

EXISTING EASEMENT NOTES

1. This property is subject to Declaration of Covenants, Conditions, Restrictions and Cross-Easements Agreement recorded February 19, 2008, as Doc# 2008018450
2. Access to Holly Avenue N.E. via Lot 20 Cross-Easements Agreement recorded 2-19-2008, as Document No. 2008018450 and Grant of Easement per Document recorded 5-18-2006 in Book A117, Page 2751 and Non-Exclusive Vehicular and Pedestrian Access Easement per Document recorded 6-15-2006, in Book A124
3. Blanket Drainage Agreement within the common areas of Tracts A, B and C, Holly Place and Lots 12, 13, 20 and 21, Block 18, Tract A, Unit B, North Albuquerque Acres, for the benefit of the previously described parcels granted by document filed February 19, 2008 as Document No. 2008018451. Maintenance of said easement is the responsibility of the previously described parcels.
4. Blanket Access, Drainage and Utility Easements within the common areas of Tracts A, B and C, Holly Place, for the benefit of the previously described parcels granted by Declaration of Covenants, Conditions and Restrictions and Cross-easements Agreement filed June 20, 2007 as Doc. # 2007090250 and First Amendment to Declaration of Covenants, Conditions and Restrictions and Cross-easements Agreement filed June 19, 2008 as Doc. # 2008069999. Maintenance of said easements is the responsibility of the previously described parcels.

Albuquerque Control Survey Monument "9-C18"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North= 1,521,497.624 feet
East= 1,542,501.428 feet
Elevation= 5232.470 feet (NAVD 1988)
Delta Alpha= -00'11'19.69"
Ground To Grid Factor= 0.999664563

LOT 12, BLOCK 18
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
Filed April 24, 1936 in Plat Book D, Page 130

LOT 13, BLOCK 18
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
Filed April 24, 1936 in Plat Book D, Page 130

TRACT A
HOLLY PLACE
Filed July 18, 2008 in Plat Book 2008C, Page 161

LOT 21, BLOCK 18
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
Filed April 24, 1936 in Plat Book D, Page 130

LOT 20, BLOCK 18
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
Filed April 24, 1936 in Plat Book D, Page 130

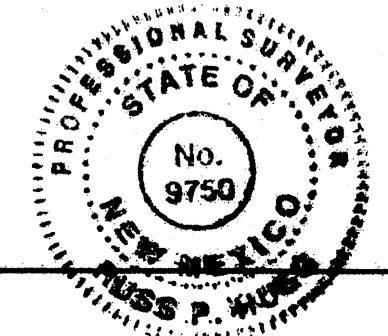
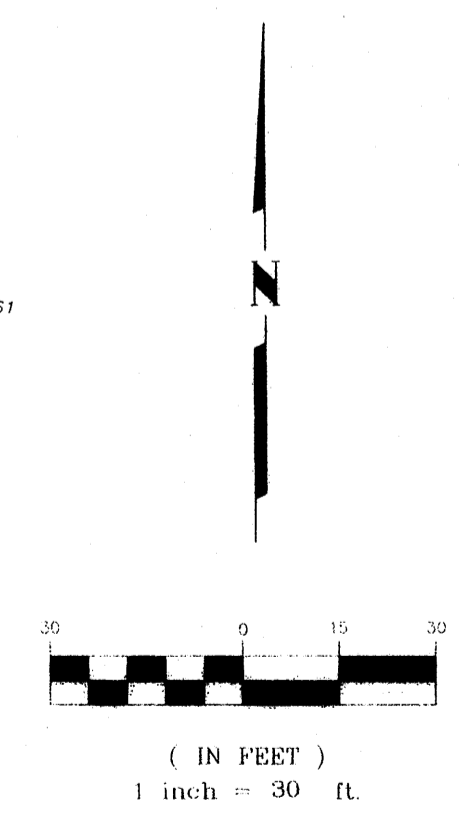
TRACT B
HOLLY PLACE
Filed July 18, 2008 in Plat Book 2008C, Page 161

TRACT C
HOLLY PLACE
Filed July 18, 2008 in Plat Book 2008C, Page 161

TRACT B-1
1.5700 Ac.

PASEO DEL NORTE BOULEVARD N.E.

Variable width R/W

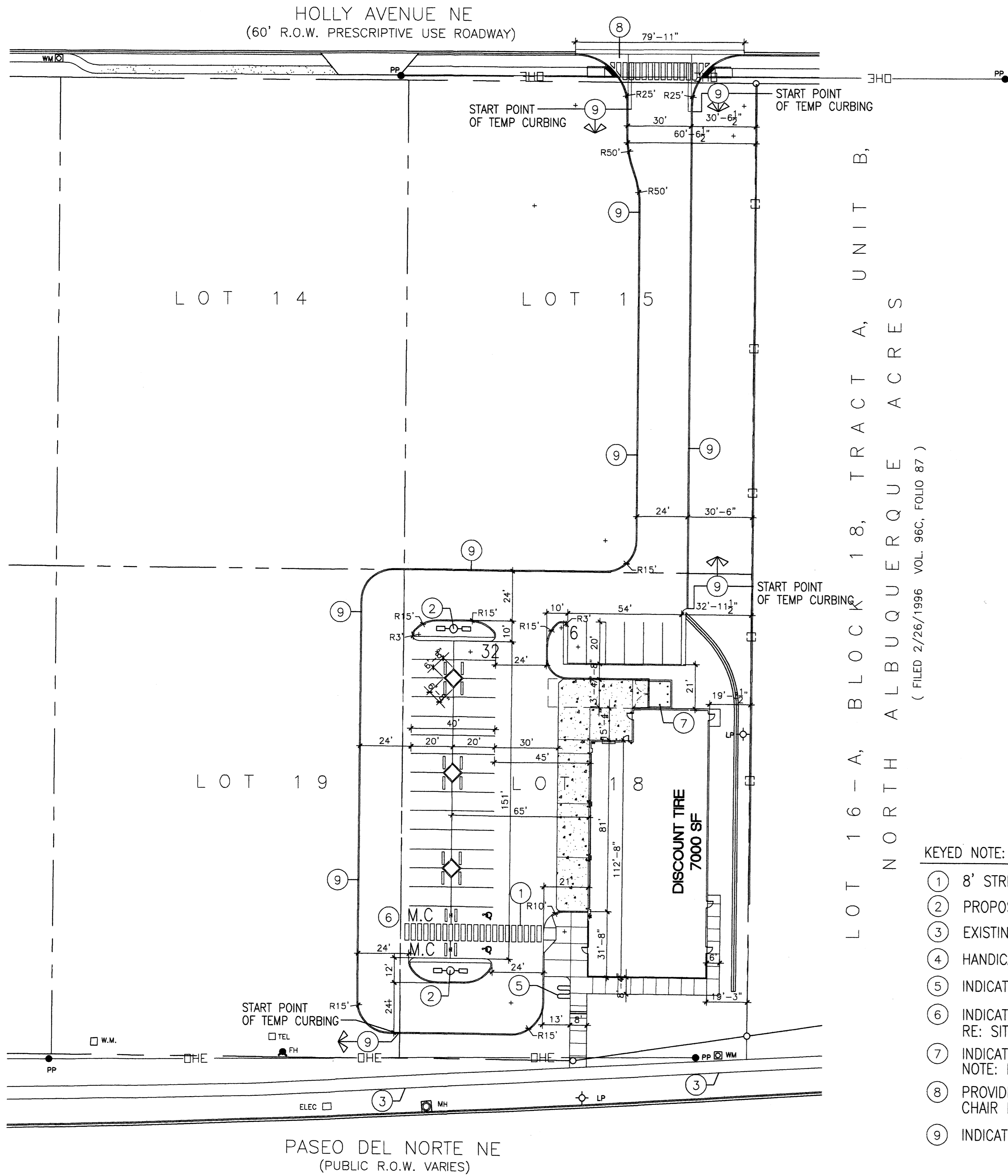


130459.dwg

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

SHEET 3 OF 3

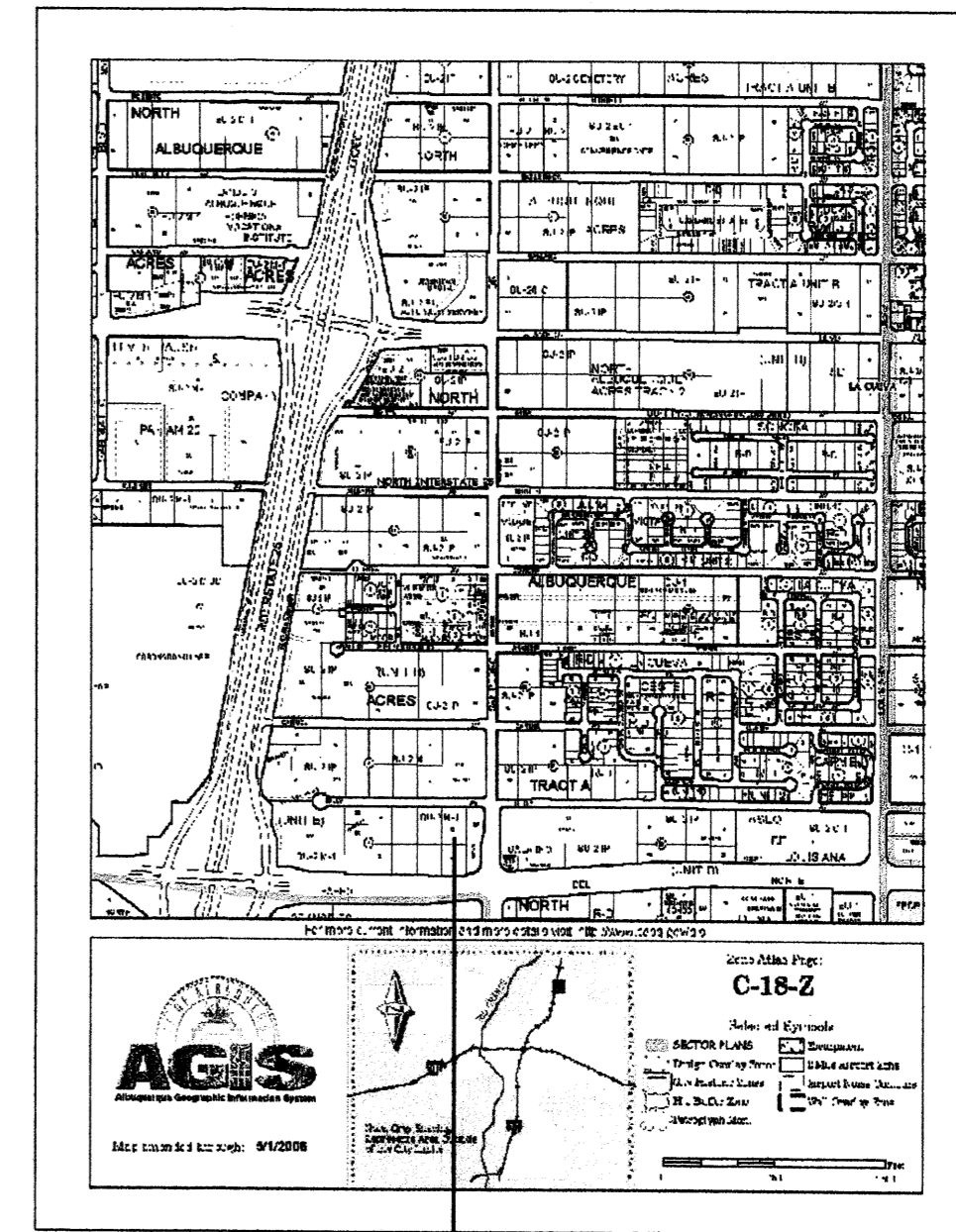


LOT 16 - A, BLOCK 18, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES
 (FILED 2/26/1996 VOL. 96C, FOLIO 87)

KEYED NOTE:

- ① 8' STRIPED PEDESTRIAN CROSSING LOCATION
- ② PROPOSED LIGHT POLE LOCATION RE: 6/A1.2 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ HANDICAP RAMP PER COA STD DWG #2441
- ⑤ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
- ⑥ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
- ⑦ INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0 NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑧ PROVIDE NEW DRIVE CUT AND H.C ACCESSIBLE WHEEL CHAIR RAMP W/ TRUNCATED DOMES AS SPECIFIED WITHIN C.O.A STD. DETAIL #2426
- ⑨ INDICATES TEMPORARY ASPHALT CURB RE: CIVIL FOR TEMPORARY CURB DETAILS

LEGAL DESCRIPTION	
PROPOSED TRACT NUMBER:	LOT-18
TOTAL ACREAGE:	AREA= 37,948 SF/ OR .871 AC
EXISTING ZONING:	
PROPOSED ZONING:	
BUILDING SIZE:	7,000SF
FAR:	.1844
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	DISCOUNT TIRE STORE
TOTAL PARKING PROVIDED:	38 SPACES
TOTAL PARKING REQ (INC. EMPLOYEE):	36 SPACES
HC PROVIDED:	2 H.C (INC. 2 VAN ACCESSIBLE)
HC REQUIRED:	2 H.C SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES
BIKE SPACES REQUIRED:	2 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED:	1 MOTORCYCLE SPACE
MAX BUILDING HT	30' TO TOP OF PARAPET



PROJECT LOCATION

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

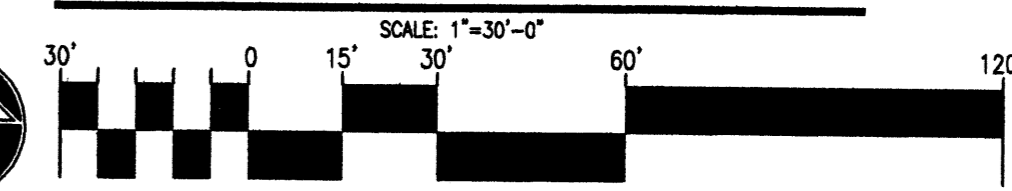
Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
Environmental Health Department	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

* Environmental Health, if necessary

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 SIGNATURE & DATE

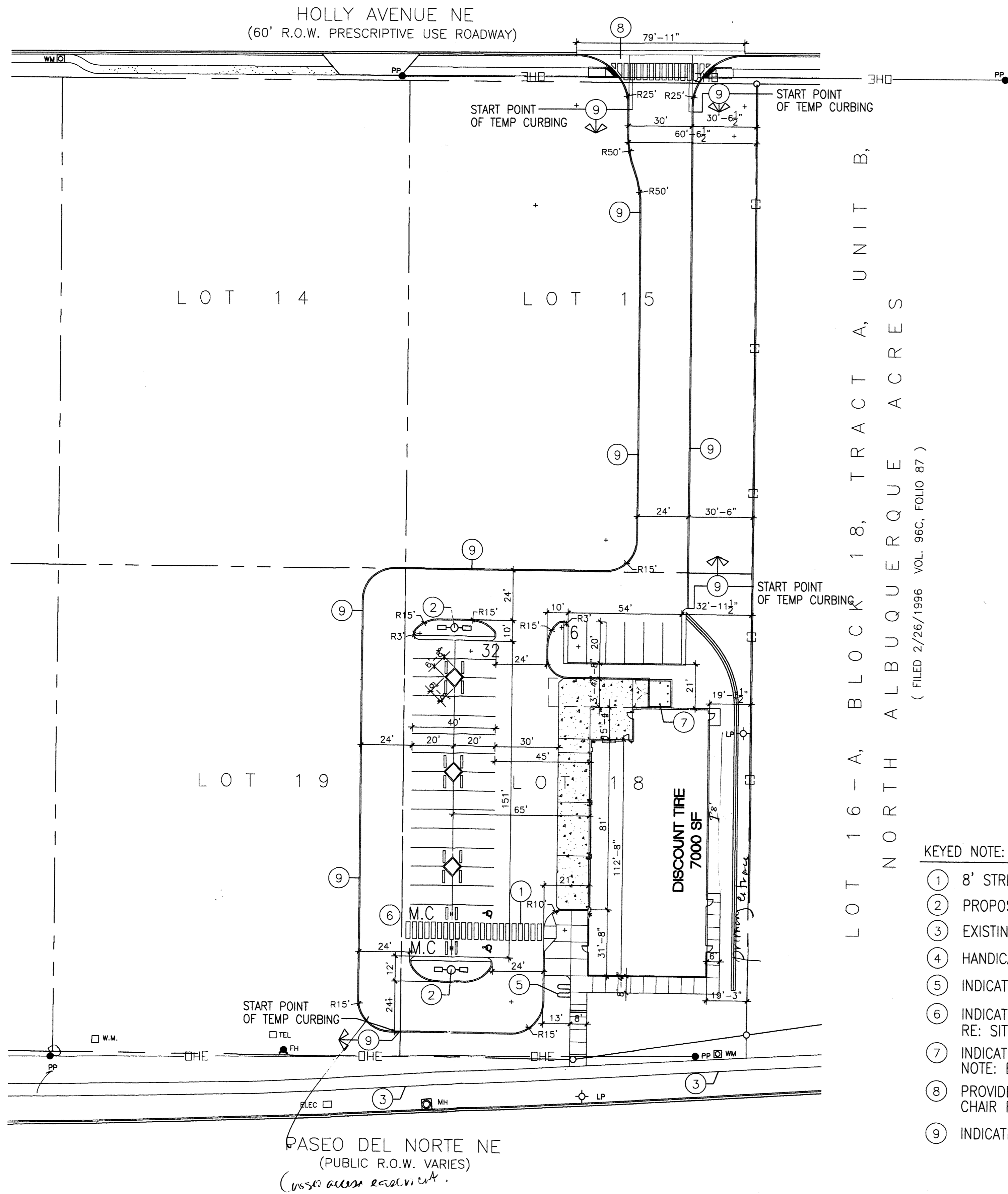


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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
 HOLLY PLACE
 N.W.C. OF PASEO BLVD. AND SAN PEDRO
 ALBUQUERQUE NEW MEXICO
PROJECT MANAGER
 STEPHEN DUNBAR AIA
DRAWN BY
 S
SHEET TITLE
 SITE PLAN FOR BUILDING PERMIT

DATE: 4/23/07
 SCALE: 1"=30'
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A1.0
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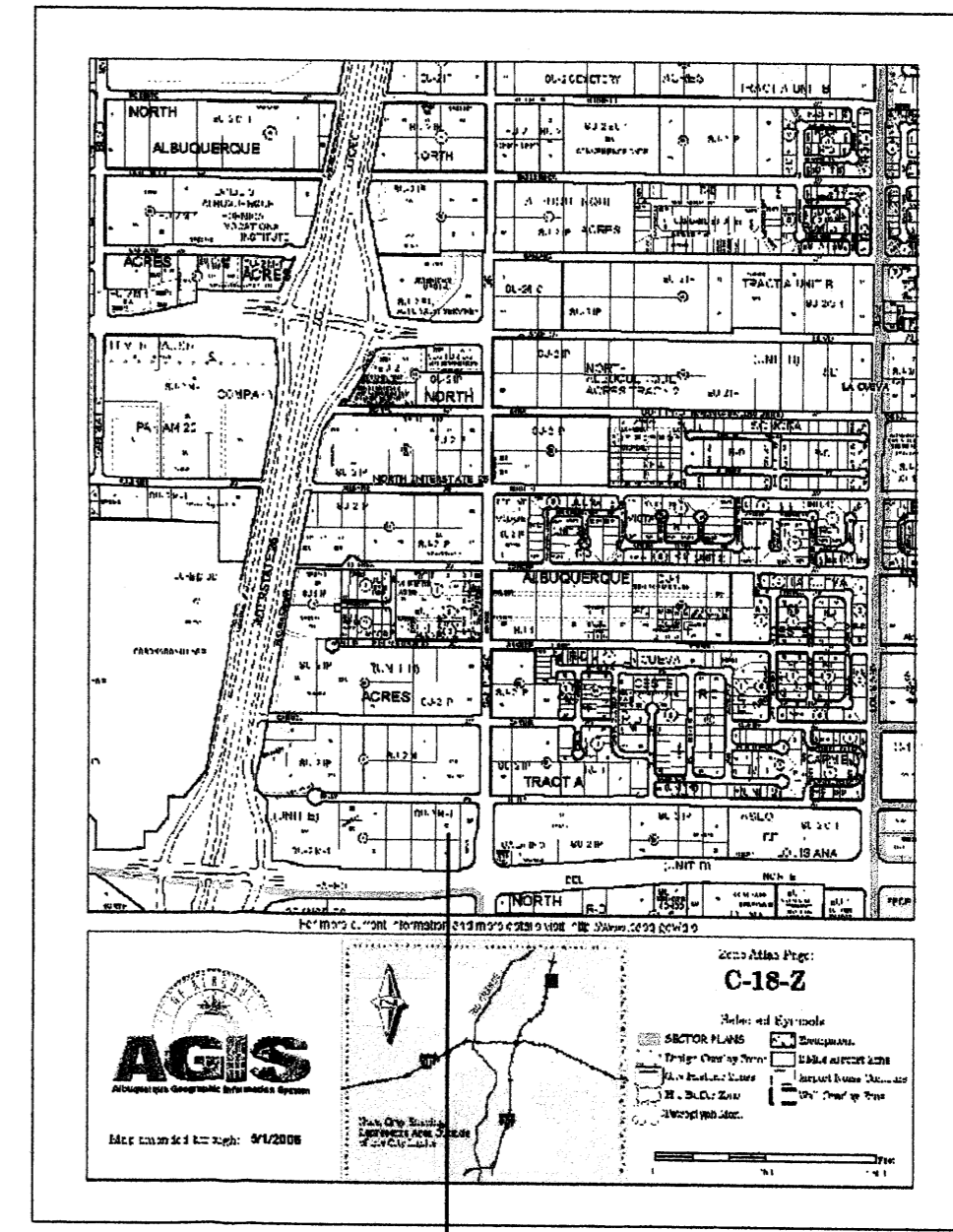


(FILED 2/26/1996 VOL. 96C, FOLIO 87)

KEYED NOTE:

- ① 8' STRIPED PEDESTRIAN CROSSING LOCATION
- ② PROPOSED LIGHT POLE LOCATION RE: 6/A1.2 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ HANDICAP RAMP PER COA STD DWG #2441
- ⑤ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
- ⑥ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
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MOTORCYCLE SPACES REQUIRED:	1 MOTORCYCLE SPACE
MAX BUILDING HT	30' TO TOP OF PARAPET



PROJECT LOCATION

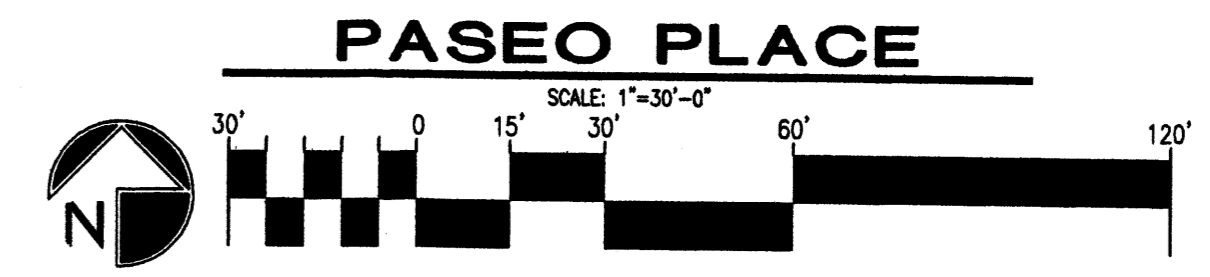
PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	_____	Date
Water Utility Department	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary



REV	DATE	BY	REVISION
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

SITE PLAN FOR BUILDING PERMIT

PROJECT TITLE
HOLLY PLACE
 N.W.C. OF PASEO BLVD. AND SAN PEDRO
 ALBUQUERQUE, NEW MEXICO

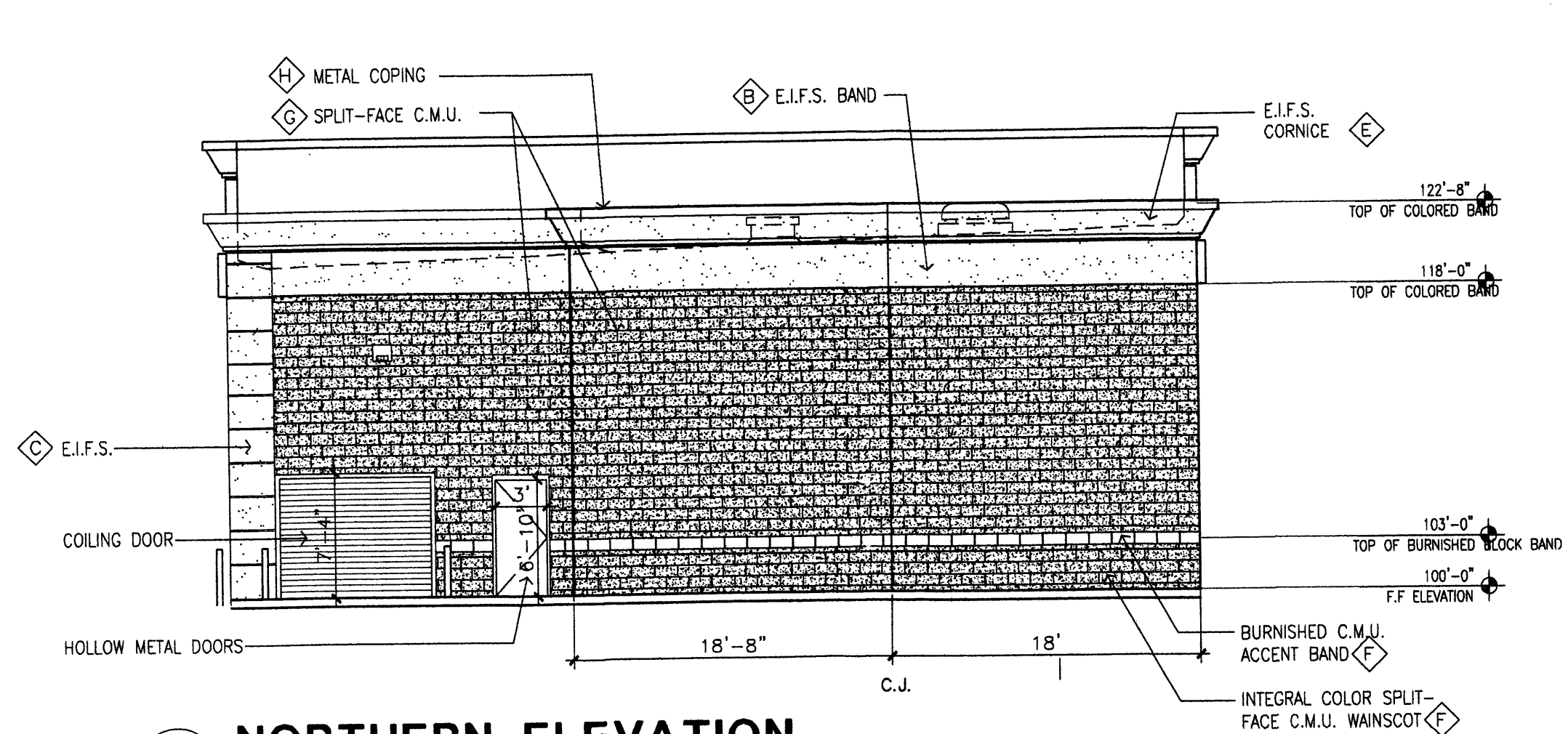
PROJECT MANAGER
 STEPHEN DUNBAR, AIA

DRAWN BY:
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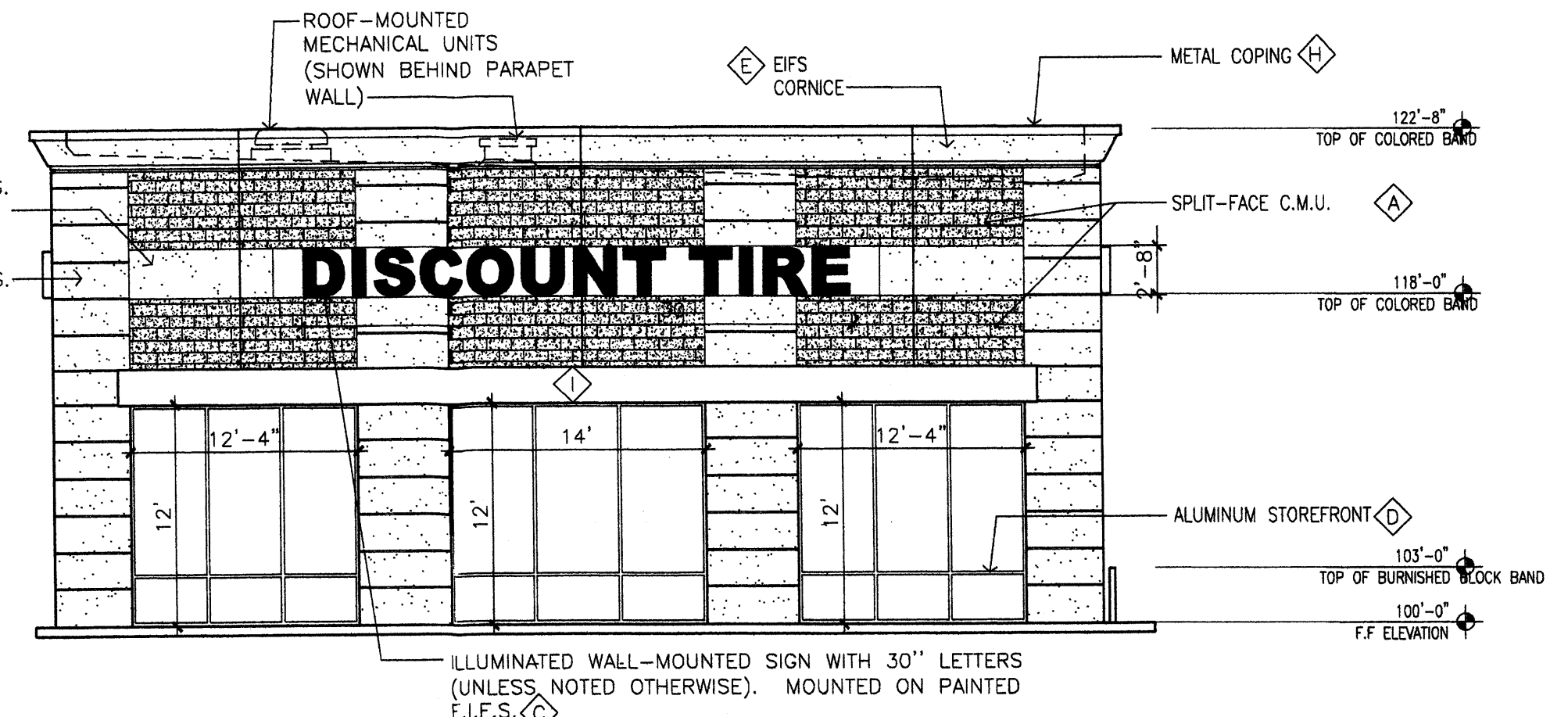
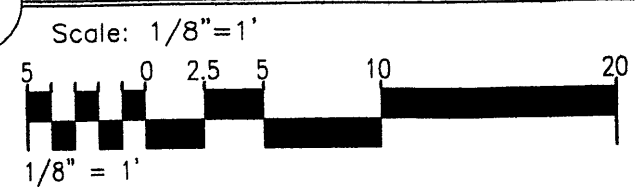
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 4/23/07

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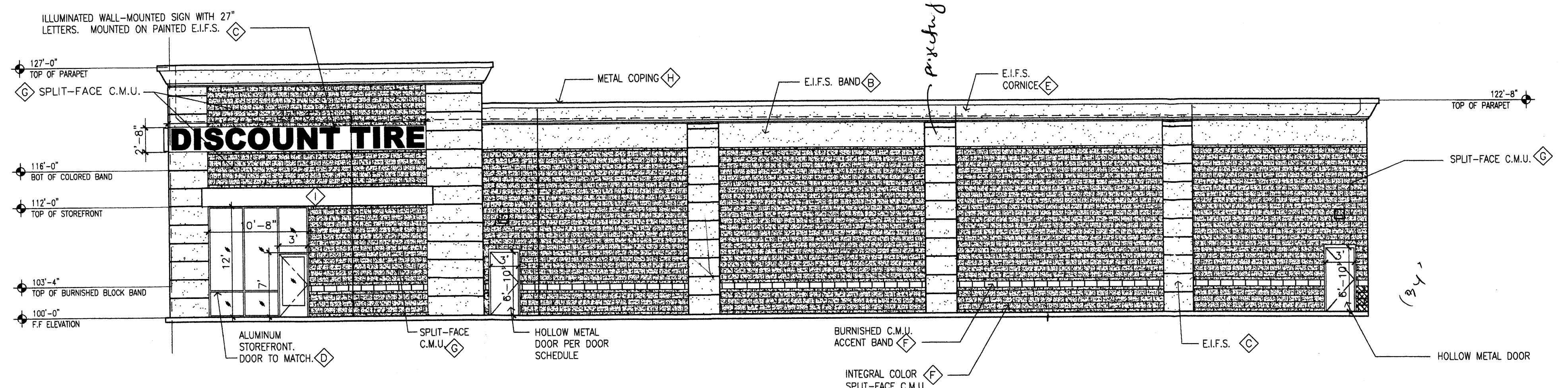
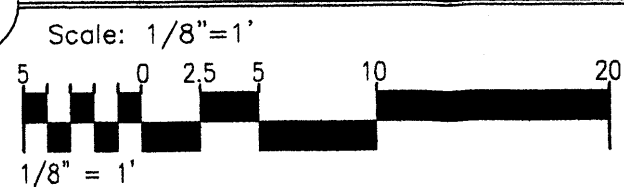
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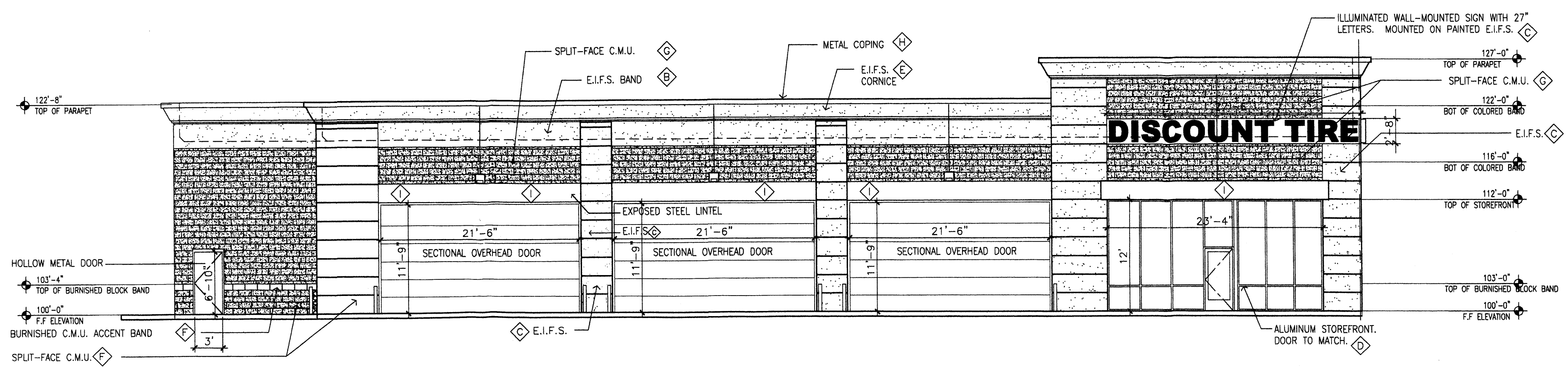
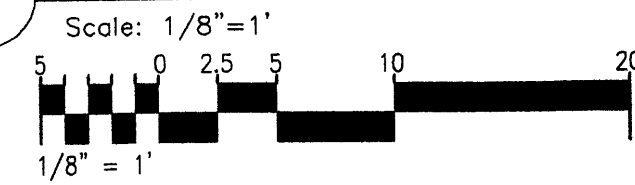
1 NORTHERN ELEVATION



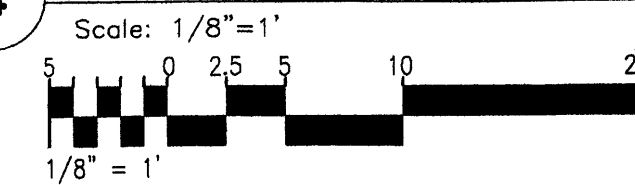
2 SOUTHERN ELEVATION



3 EASTERN ELEVATION



4 WESTERN ELEVATION



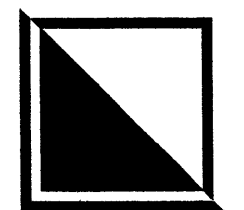
COLOR / PAINT NOTES:

- Ⓐ INTEGRAL COLOR C.M.U., COLOR CREGO TAN (DARK BROWN)
- Ⓑ INTEGRAL COLOR E.I.F.S., COLOR BURGUNDY
- Ⓒ INTEGRAL COLOR E.I.F.S., COLOR AESTHETIC WHITE (SW 7035)
- Ⓓ ALUMINUM STOREFRONT, MANUFACTURER'S STANDARD COLOR TO MATCH "BANNER RED"
- Ⓔ INTEGRAL COLOR E.I.F.S. CORNICE, COLOR CREGO TAN (DARK BROWN)
- Ⓕ INTEGRAL COLOR C.M.U., COLOR EL PASO BUFF. SPLIT-FACE OR BURNISHED C.M.U. AS NOTED.
- Ⓖ SPLIT-FACE C.M.U., PAINTED TO MATCH EL PASO BUFF
- Ⓗ METAL COPING, FACTORY PAINTED/FACTORY FINISH "TEAL"
- Ⓘ EXPOSED STEEL, PAINTED TO MATCH DARK BROWN C.M.U.

GENERAL FINISH NOTES:

1. INTEGRAL COLOR. C.M.U. BASE COURSE
2. INTEGRAL COLOR. C.M.U. WATERTABLE COURSE
3. PAINTED C.M.U. MAIN BODY
4. ALUMINUM STOREFRONT, TO BE FACTORY FINISH
5. E.I.F.S. PROVIDE AS NOTED PER COLOR/PAINT NOTES. MATERIALS AND INSTALLATION PER PROJECT SPECIFICATION, TO PROVIDE DURABLE, WEATHER RESISTANT WALL FINISH.
6. OVERHEAD DOORS TO BE FACTORY FINISH. SEE DOOR SCHEDULE.
7. ALL EXPOSED STRUCTURAL STEEL TO BE FACTORY PRIMED / FINISHED / PAINTED ON THE JOB SITE.

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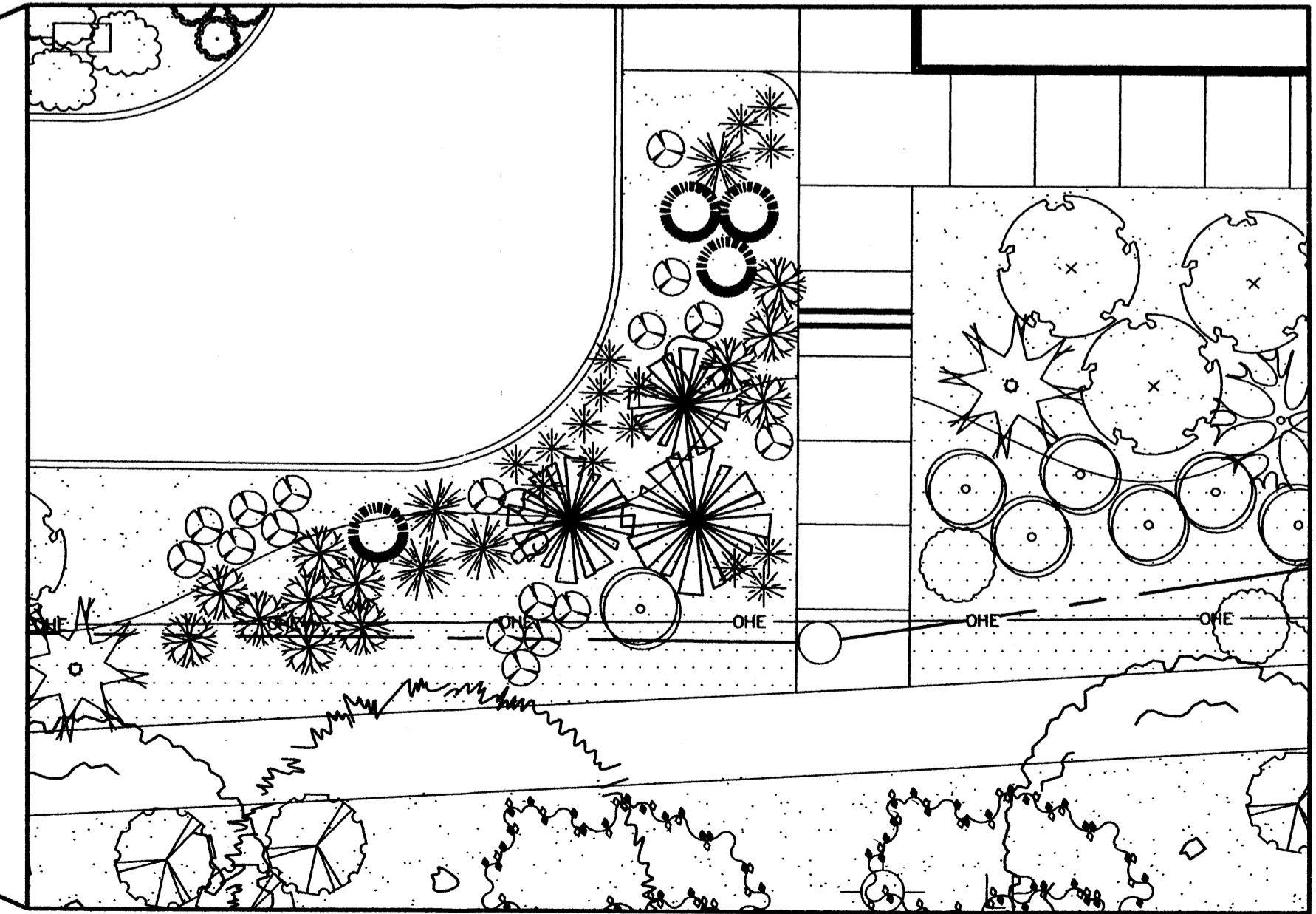
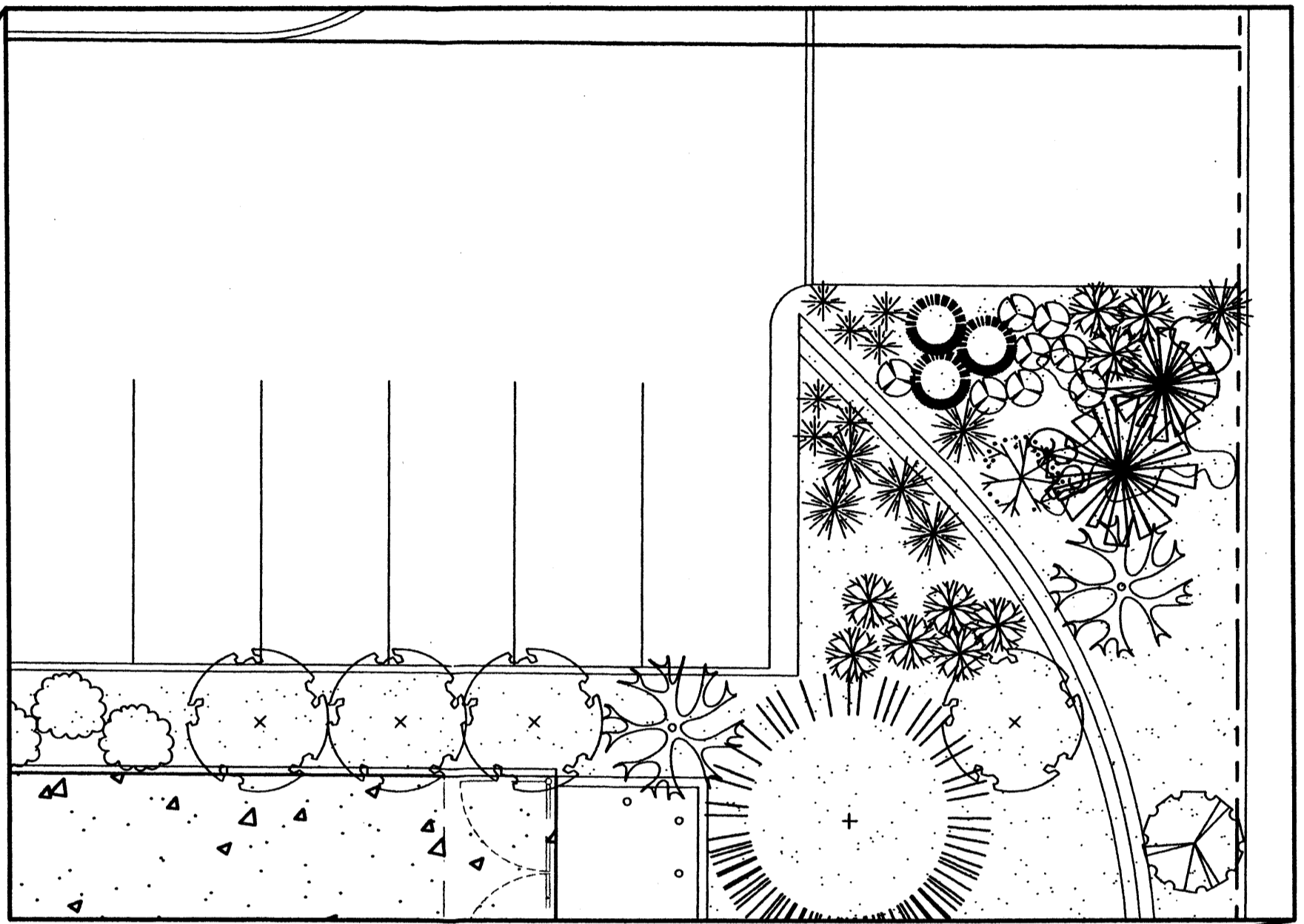
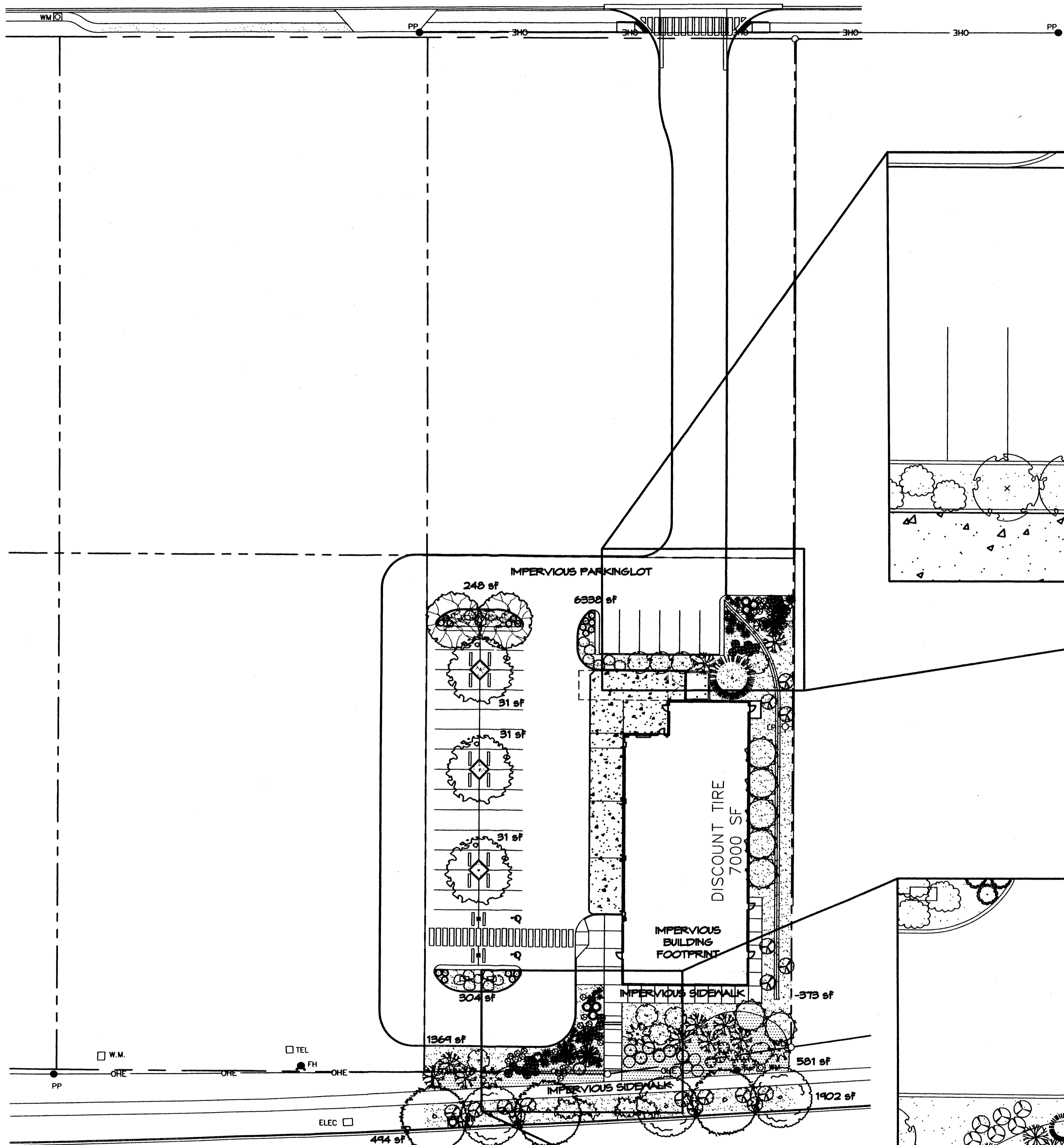


GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE HOLLY PLACE N.W.C OF PASO DEL NORTE, AND SAN PEDRO ALBUQUERQUE NEW MEXICO	JOB NO. STEPHEN DUNBAR - AA	DRAWN BY: SD
PROJECT MANAGER STEPHEN DUNBAR - AA		SHEET TITLE DISCOUNT TIRE ELEVATION

DATE: 4/23/07	sheet- A4.0
SCALE: 1/8"=1'-0"	of-

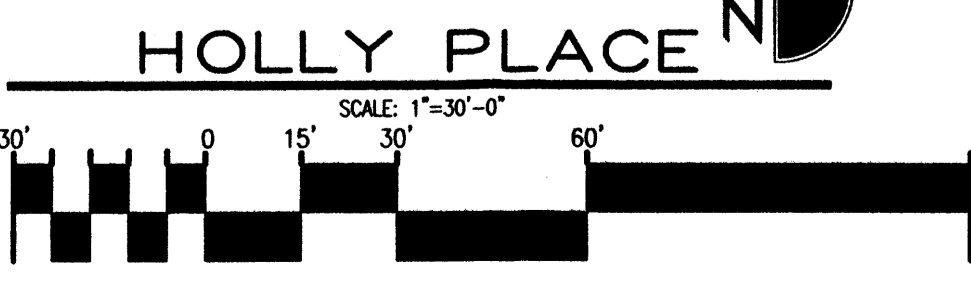
HOLLY AVENUE NE
(60' R.O.W. PRESCRIPTIVE USE ROADWAY)



PLANT LEGEND

- SHADE TREES**
- CHINESE PISTACHE (M) 3
Pistacia chinensis
2" Gal.
 - SHUMARD OAK (M) 3
Quercus shumardii
2" Gal.
 - SYCAMORE (M) 3
Platanus spp.
2" Gal.
 - EASTERN REDBUD (M) 2
Cercis canadensis
2" Gal.
 - AUSTRIAN PINE (M) 1
Pinus nigra
6"-8"
- SHRUBS/ORNAMENTAL GRASSES**
- FIVE GAL.
- DESERT WILLOW (M) 7
Chilopsis linearis
5 Gal. 225sf
 - SPANISH BROOM (M) 10
Genista hispanica
5 Gal. 100sf
 - BUTTERFLY BUSH (M) 4
Buddleia davidii
5 Gal. 100sf
 - ROSE OF SHARON (M) 3
Hibiscus syriacus
5 Gal. 100sf
 - RUSSIAN SAGE (M) 7
Perovskia atriplicifolia
5 Gal. 36sf
 - APACHE PLUME (L) 5
Fellugia paradoxa
5 Gal. 25sf
 - REGAL MIST (M) 21
Muhlenbergia capillaris
5 Gal. 4sf
- DESERT ACCENTS**
- PALM YUCCA (L) 5
 - MUGO PINE (M) 7
Pinus mugo
5 Gal. 4sf
 - OCOTILLO (L) 1
Fouquieria splendens
 - RED YUCCA (L) 10
Hesperaloe parviflora
5 Gal. 4sf
- ONE GAL.**
- CHAMISA (L) 7
Chrysothamnus nauseosus
1 Gal. 25sf
 - POWIS CASTLE SAGE (L+) 15
Artemisia x Powis Castle
1 Gal. 25sf
 - LAVENDER (M) 10
Lavandula angustifolia
1 Gal. 4sf
 - BLUE FESCUE (M) 22
Festuca ovina glauca
1 Gal. 4sf
 - WILDFLOWER 25
1 Gal. 4sf
- GROUNDCOVERS**
- LADY BANKS ROSE (M) 2
Rosa banksiae
5 Gal. 400sf
Unstaked Groundcover
 - HONEYSUCKLE (M) 10
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked Groundcover

- HARDSCAPES**
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC
 - OVERSIZED GRAVEL & BOULDERS



The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cm@hilltoplandscaping.com

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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-4877



PROJECT TITLE HOLLY PLACE PASEO N.E. ALBUQUERQUE NEW MEXICO	DRAWN BY: cj
PROJECT MANAGER JOB NO.	SHEET TITLE LANDSCAPE PLAN
DATE: 03/03/06	sheet - 1
SCALE: 1"=30'	L1.0 of - 2

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	37944	square feet
TOTAL BUILDINGS AREA	7000	square feet
OFFSITE AREA	2977	square feet
NET LOT AREA	27972	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4195	square feet
TOTAL BED PROVIDED	7779	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	5984	square feet
TOTAL GROUND COVER PROVIDED	6258 (78%)	square feet
TOTAL OFFSITE BED PROVIDED	2977	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	2232	square feet
TOTAL GROUND COVER PROVIDED	2529 (84%)	square feet
TOTAL SOD AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	10956 (39%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street **FASEO DEL NORTE**
Required 6 Provided 6

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 4 Provided 5

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all pervious landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

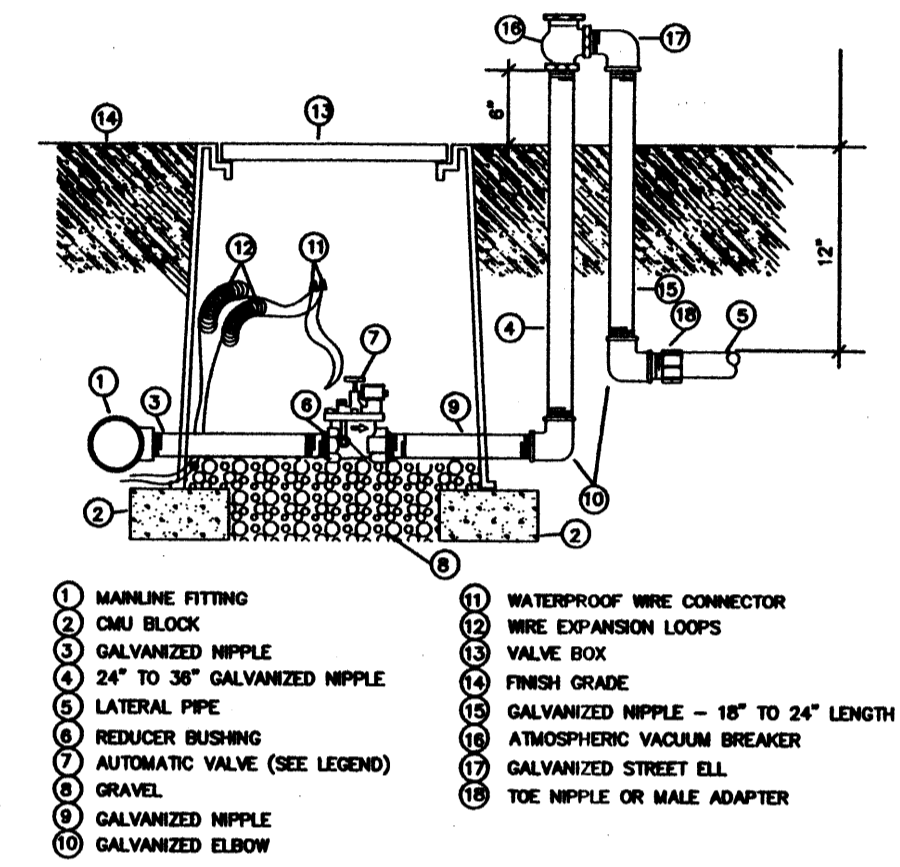
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

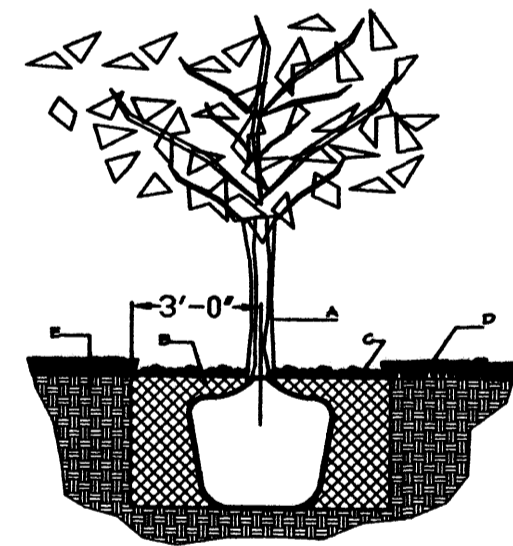
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



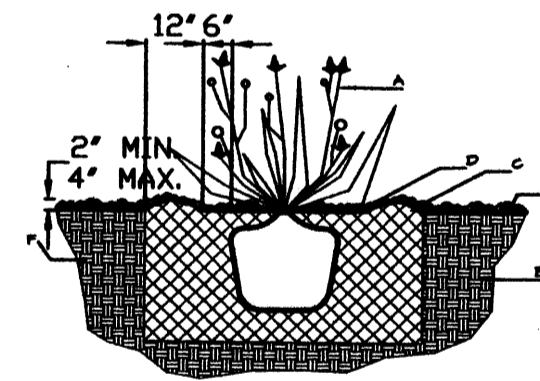
GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS



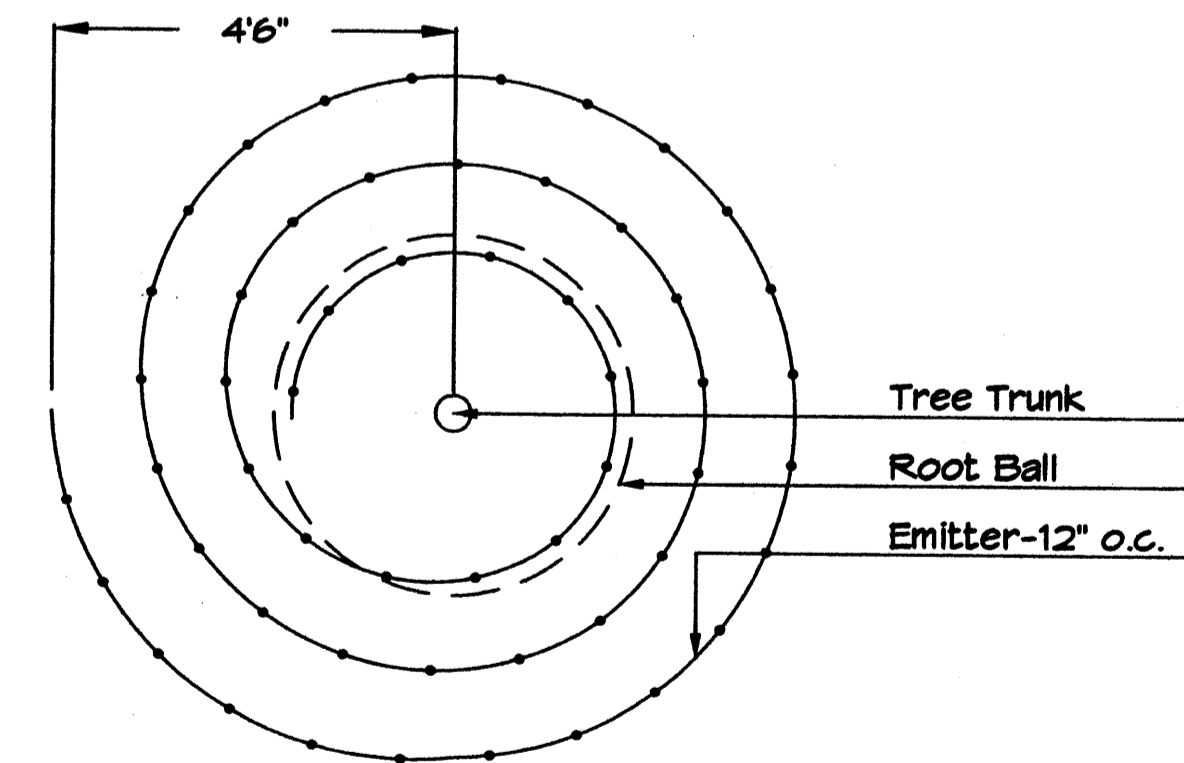
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

SHRUB PLANTING DETAIL NTS

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



Netafim Spiral Detail

The Hilltop

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cmj@hilltoplandscaping.com

DATE: 03/03/06
SCALE: 1/2" = 1'-0"

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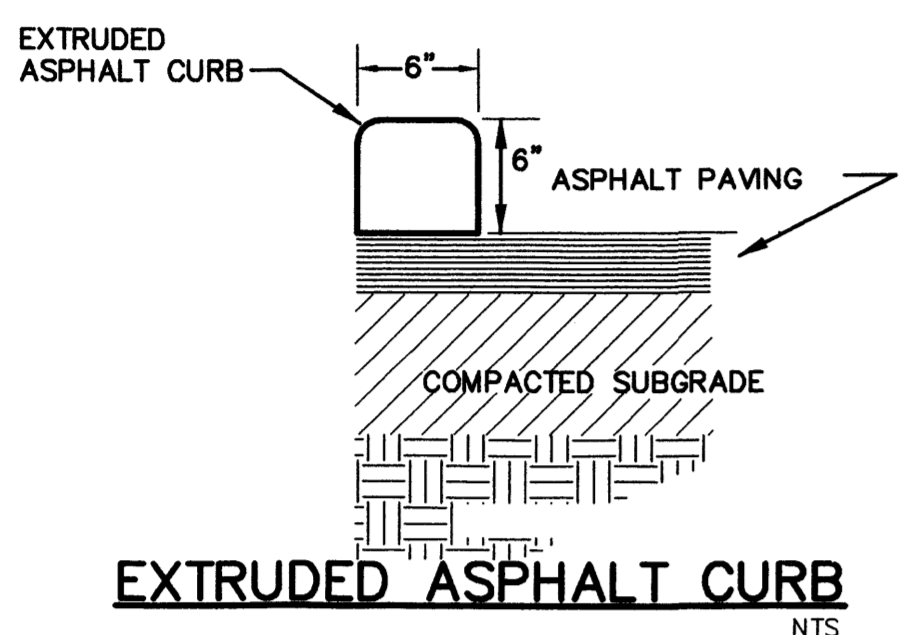
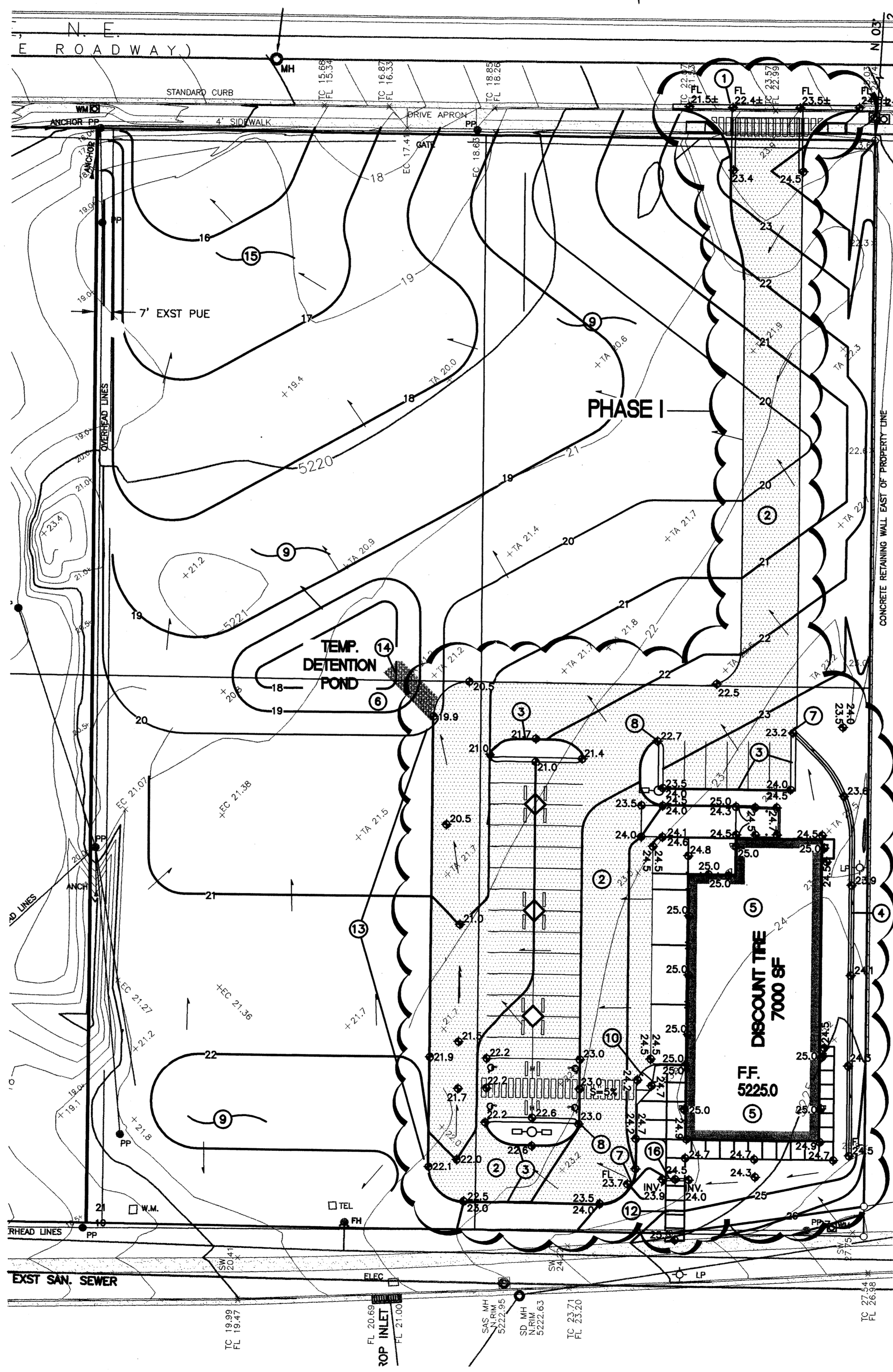
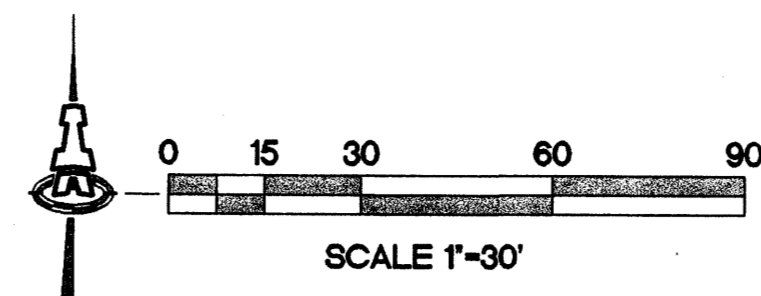
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
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ALBUQUERQUE, NEW MEXICO 87110
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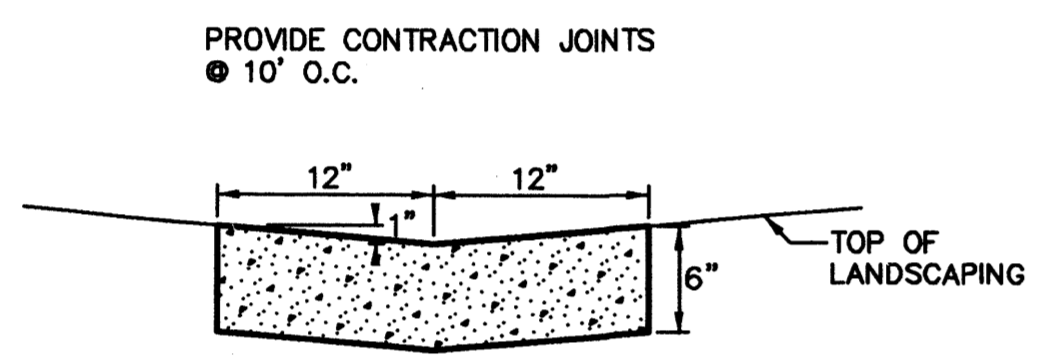
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PROJECT TITLE HOLLY PLACE FASEO N.E. ALBUQUERQUE NEW MEXICO	PROJECT MANAGER	JOB NO.	DRAWN BY: cj
SHEET TITLE LANDSCAPE PLAN			

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EXTRUDED ASPHALT CURB
NTS



VALLEY GUTTER
NTS

SITE INFORMATION

LEGAL: LOTS 14, 15, 18 AND 19 OF BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 AREA: 3.53 ACRES
 SURVEYOR: THOMAS D. JOHNSTON - NMPS#14269
 OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.
 FLOOD HAZARD: PER BERNAILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOOD ZONE 'X', DESIGNATED AS AREAS OUTSIDE THE 500 YEAR FLOODZONE.

GENERAL NOTES

- A. COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION, REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. WHERE PROPOSED GRADES ARE SHOWN AS '+', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- D. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.

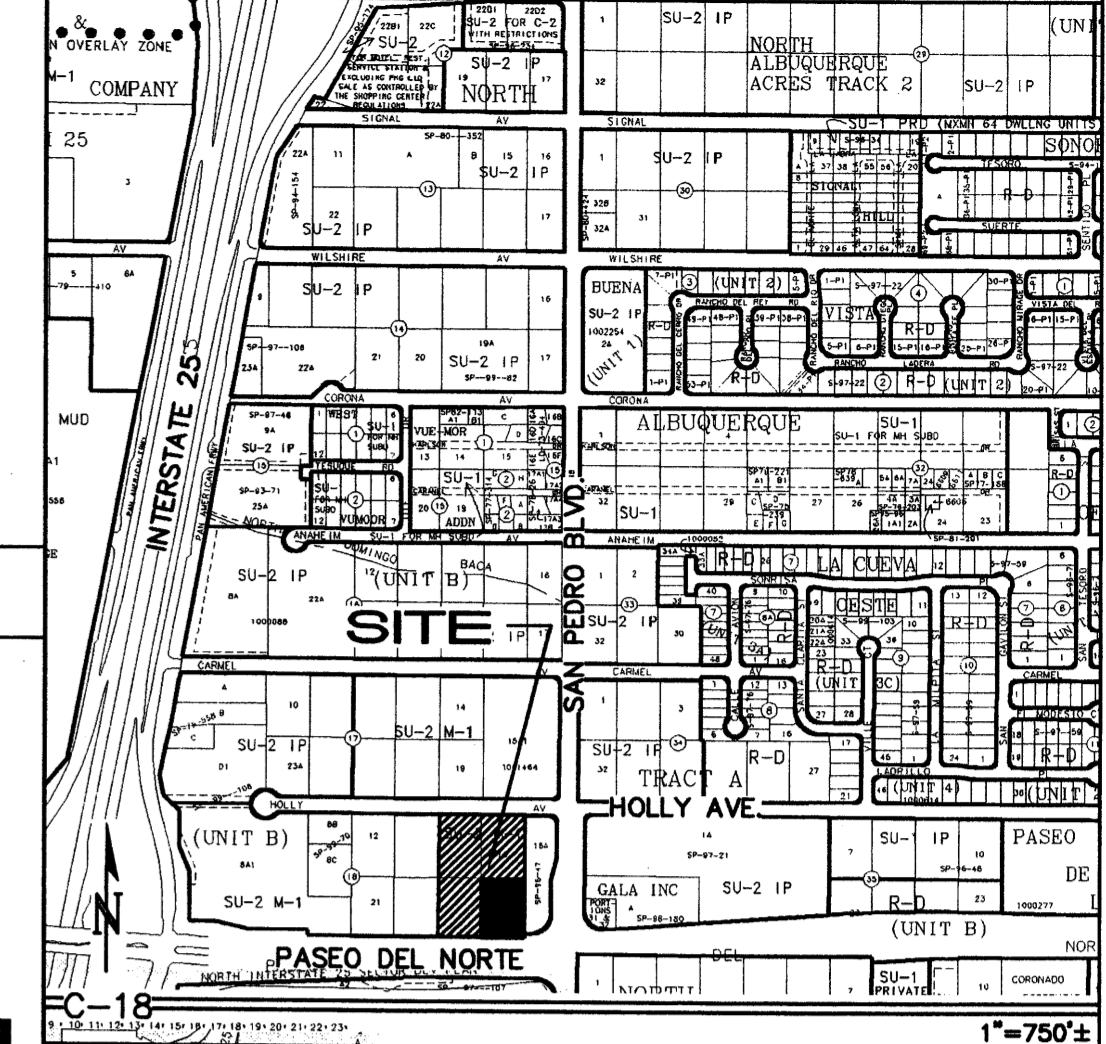
NOTES FROM SURVEY

1. BOUNDARY DIMENSIONS ARE BETWEEN RECOVERED CORNERS AND CORRESPOND TO THOSE ON A PREVIOUS SURVEY BY WAYJOHN SURVEYING, INC. BEARINGS HAVE BEEN ROTATED TO NEW MEXICO STATE PLANE GRID, CENTRAL ZONE.
2. BASIS OF ELEVATIONS: ACS BM "14-C18", 1-3/4" ALUM. DISK, SET ON TOP OF CONCRETE DROP INLET, APPROX. 1150' WEST OF CENTERLINE OF SAN PEDRO DRIVE. ELEV. 5207.00 (NGVD 29).
3. TBM: N. MANHOLE RIM, LOCATED IN CONC. SIDEWALK, S. OF SOUTH PROPERTY LINE ELEV. 5214.98.
4. LOCATIONS OF SANITARY SEWERS AND WATERLINES ARE FROM VISUAL NOTES SUPPLEMENTED BY ON-LINE GRAPHICS PROVIDED BY CITY GIS SITE.

LEGEND

- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- ◆ 75.2 PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- SURFACE FLOW DIRECTION
- ▲ ENTRY / EXIT LOCATION
- FL FLOW LINE
- FF FINISHED FLOOR
- TRW TOP OF RETAINING WALL

COA ZONE ATLAS MAP #C-18



KEYED NOTES

- 1 CONSTRUCT SITE ENTRANCE WITH ASSOCIATED CONCRETE VALLEY GUTTER AND ACCESS RAMPS PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 8" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
- 2 CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
- 3 CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL ON-SITE CURB LOCATIONS. SEE C-2 FOR DTL.
- 4 CONSTRUCT 2" WIDE CONCRETE VALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN (0.0050' / MIN. SLOPE) TO DIRECT SURFACE FLOW. SEE DETAIL THIS SHEET.
- 5 ROOF DISCHARGE TO BE RELEASED TO INTERIOR PAVED AREAS. SEE ARCHITECTURAL PLANS.
- 6 CONSTRUCT TEMPORARY DETENTION POND TO DIMENSIONS / ELEVATIONS SHOWN. SEE SEPARATE CALCULATIONS AND DETAILS.
- 7 PROVIDE 2.0' WIDE OPENING IN CURB AT FLOWLINE ELEVATIONS SHOWN TO PASS DISCHARGE.
- 8 SPOTS SHOWN WITHIN PAVED AREAS REFERENCE TO TOP OF PAVEMENT ELEVATIONS. ADD 0.5' TYPICAL FOR TOP OF ADJACENT CURB OR CONCRETE WALK.
- 9 ROUGH GRADING OF LOTS 14, 15 AND 19 TO BE PROVIDED AS PART OF THIS DEVELOPMENT. (SAME OWNER)
- 10 CONSTRUCT HANDICAP RAMPS PER ADA STANDARDS. SEE ARCHITECTURAL FOR SPECIFIC RAMP LOCATIONS AND DETAILS. TYPICAL.
- 11 CONSTRUCT HANDICAP RAMPS PER ADA STANDARDS. SEE ARCHITECTURAL FOR SPECIFIC RAMP LOCATIONS AND DETAILS. TYPICAL.
- 12 CONCRETE SIDEWALK TO ACCESS PUBLIC PASEO DEL NORTE WALK. MAX. SLOPE = 5%.
- 13 CONSTRUCT 6" HIGH TEMPORARY ASPHALT CURB ALONG EDGE OF NEW PHASE I ASPHALT TO DIRECT FLOW TO PROPOSED DETENTION POND.
- 14 CONSTRUCT 9' WIDE X 25' LONG X 12" DEEP ANGULAR COBBLE (6" AVG. DIA.) PAD OVER PERMANENT EROSION CONTROL FABRIC FROM EDGE OF ASPHALT (LOW POINT) TO BOTTOM OF DETENTION POND.
- 15 STOCKPILE EXCESS CUT THIS AREA FOR FUTURE PHASES.
- 16 INSTALL TWO 4" DIA. PVC PIPES THROUGH WALK AT LOW POINT ELEVATION TO PASS MINOR FLOW.

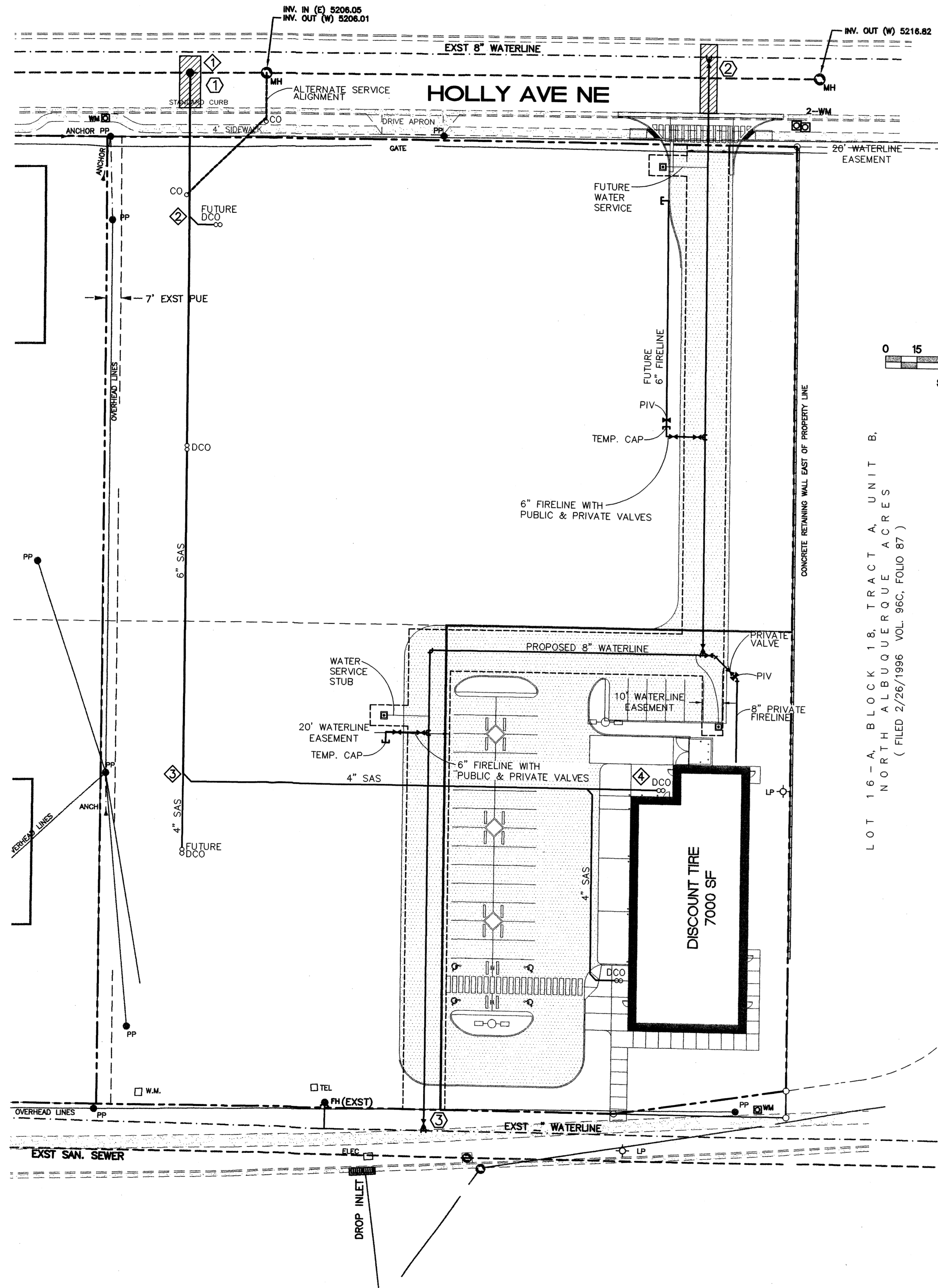
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 Fax. 505-268-2632
 1435.1GRD-PH1.dwg Apr 30, 2007

**DISCOUNT TIRES
 HOLLY PLACE COMMERCIAL**
 Paseo Place, LLC

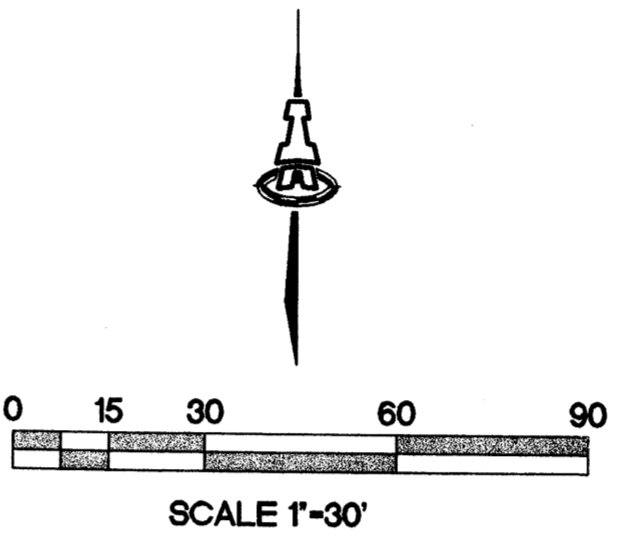
GRADING AND DRAINAGE PLAN

Date:	4/30/07	No. Revisions:		Date:		Job No.:	1435.1
Drawn By:	BJB						C-1
Ckd By:	FCA						SH. OF

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LOT 16-A, BLOCK 18, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES
(FILED 2/26/1996 VOL. 96C, FOLIO 87)



KEYED NOTES ◻

- 4" PUBLIC SANITARY SEWER MANHOLE W/ 6" DIA. PRIVATE STUB SOUTH, INV=
- 8" CONNECTION TO EXST 8" WL.
- 8" CONNECTION TO EXST WL.

NOTE:
WATERLINE TO BE CONSTRUCTED BY PUBLIC WORK ORDER PLANS.

SANITARY SEWER TABLE				
NODE ID	DOWNSTREAM PIPE LENGTH (FT)	SAS BEARING	INVERT	SLOPE (%)
1	XX.XX	X 00° 00' 00" X	XX.XX	XX.XX
2	XX.XX	X 00° 00' 00" X	XX.XX	XX.XX
3	XX.XX	X 00° 00' 00" X	XX.XX	XX.XX
4	XX.XX	X 00° 00' 00" X	XX.XX	XX.XX

GENERAL NOTES CONT.

- INSTALLATION OF SUBSURFACE UTILITY PLUGS IS REQUIRED BY THE ENVIRONMENTAL ENGINEER. PLAN LAYOUT OF UTILITY PLUGS IS SHOWN ON SHEET ENV-2. TYPICAL DETAIL IS SHOWN ON SHEET ENV-3.
- ADDITIONAL UTILITY PLUGS WILL BE INSTALLED UNDER FUTURE DESIGN BY BUILDING CONTRACTOR WITHIN 10 FEET FROM THE EXTERIOR WALL OF THE STRUCTURE.
- THE FUTURE INSTALLATION OF FREE STANDING LIGHTING POLES, IF ANY, WILL REQUIRE THE INCORPORATION OF LANDFILL GAS MITIGATION MEASURES.

LEGEND

- PROPOSED PAVEMENT CUT
- EXST WL
- EXISTING WL
- EXST SAS
- EXISTING SAS
- GATE VALVE W/ VALVE BOX
- POST INDICATOR VALVE
- FIRE HYDRANT
- WATER LINE W/ FITTING
- 6" SAS
- PROPOSED SAS
- DOUBLE CLEANOUT
- WATER METER
- PHASE LINE
- PROPOSED EASEMENT

GENERAL NOTES

- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 6.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWERLINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- PNM WILL PROVIDE AT NO COST TO THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
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Ph. 505-268-8828 Fax. 505-268-2632
1435.1UMSTR.dwg Apr 30, 2007

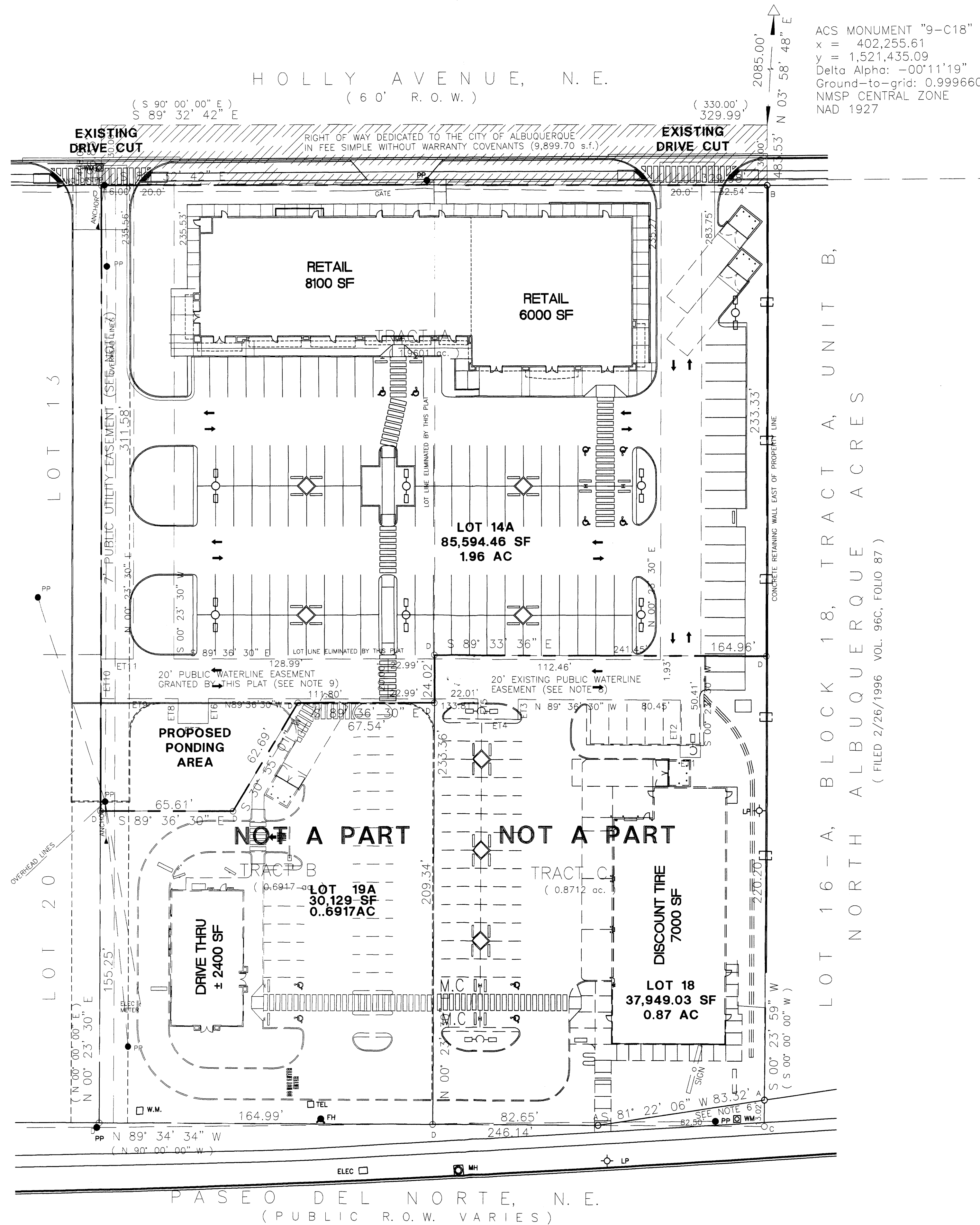
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HOLLY PLACE COMMERCIAL
Argus Dev. Co.

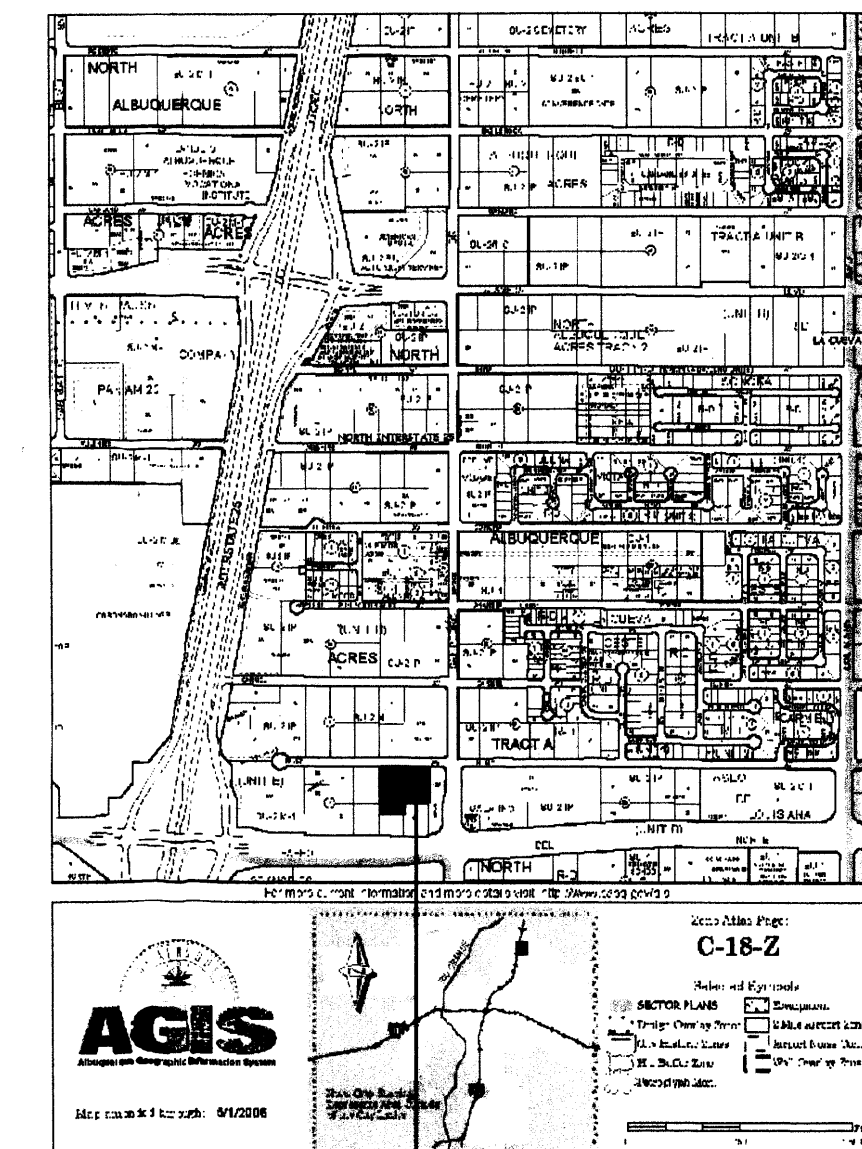
UTILITY PLAN

Date:	12/05/05	No.:	Revision:	Date:	Job No.:	1435
Drawn By:	dip				PAGE	
Ckd By:	FCA				SH. OF	

BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
(L1111 4/24/1936 VOL. D, FOLIO 130)



LEGAL DESCRIPTION	
PROPOSED TRACT NUMBER:	LOT-14-14A
TOTAL ACREAGE:	AREA= 85,383 SF/ OR 1.96 AC
EXISTING ZONING:	SU-2 FOR M-1 PURPOSES
PROPOSED ZONING:	
BUILDING SIZE:	14,100SF
FAR:	
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	RETAIL
TOTAL PARKING PROVIDED:	119 SPACES
TOTAL PARKING REQ (INC. EMPLOYEE):	71 SPACES
HC PROVIDED:	6 H.C (INC. 6 VAN ACCESIBLE)
HC REQUIRED:	6 H.C SPACES
BIKE SPACES PROVIDED:	10 BIKE SPACES
BIKE SPACES REQUIRED:	6 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	4 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED:	4 MOTORCYCLE SPACE



PROJECT LOCATION

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division _____ Date _____

DRB ABCQUA ENGINEER _____

Parks and Recreation Department _____

City Engineer _____

Environmental Health Department _____

Solid Waste Management _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

* Environmental Health, if necessary

SPS + SPDP

PRELIMINARY PLAN

APPROVED BY DRB

REV	DATE	BY	REVISION
△			
△			
△			
△			
△			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
HOLLY PLACE PII
 N.W.C OF PASEO BLVD. AND SAN PEDRO
 ALBUQUERQUE, NEW MEXICO

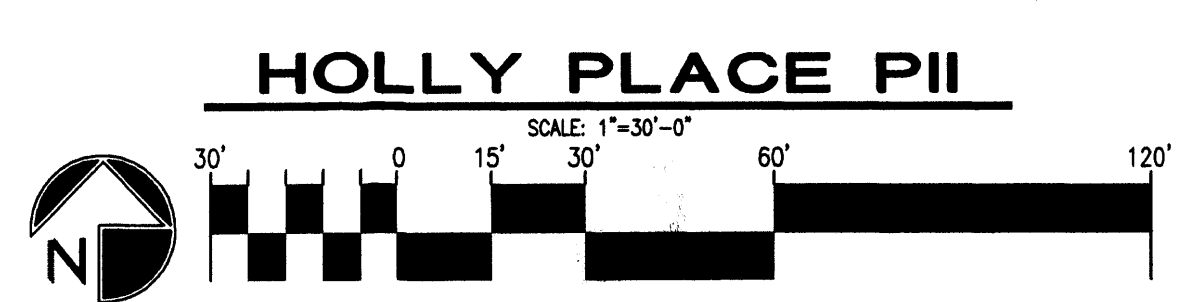
PROJECT MANAGER
STEPHEN DUNBAR AIA

DRAWN BY
S

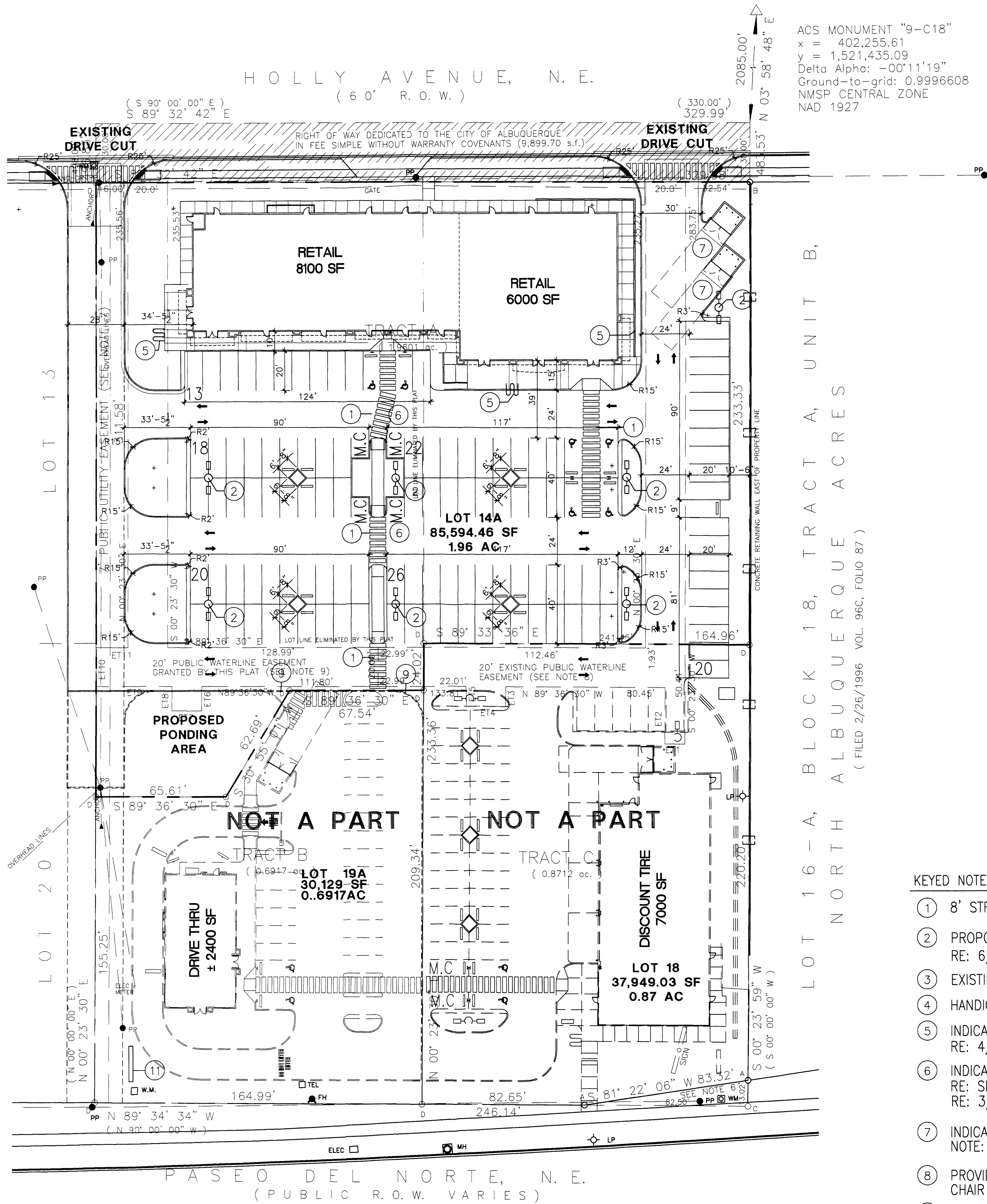
JOB NO.

SHEET TITLE
SITE PLAN FOR SUBDIVISION

DATE: _____ sheet-
SCALE: **A1.1**
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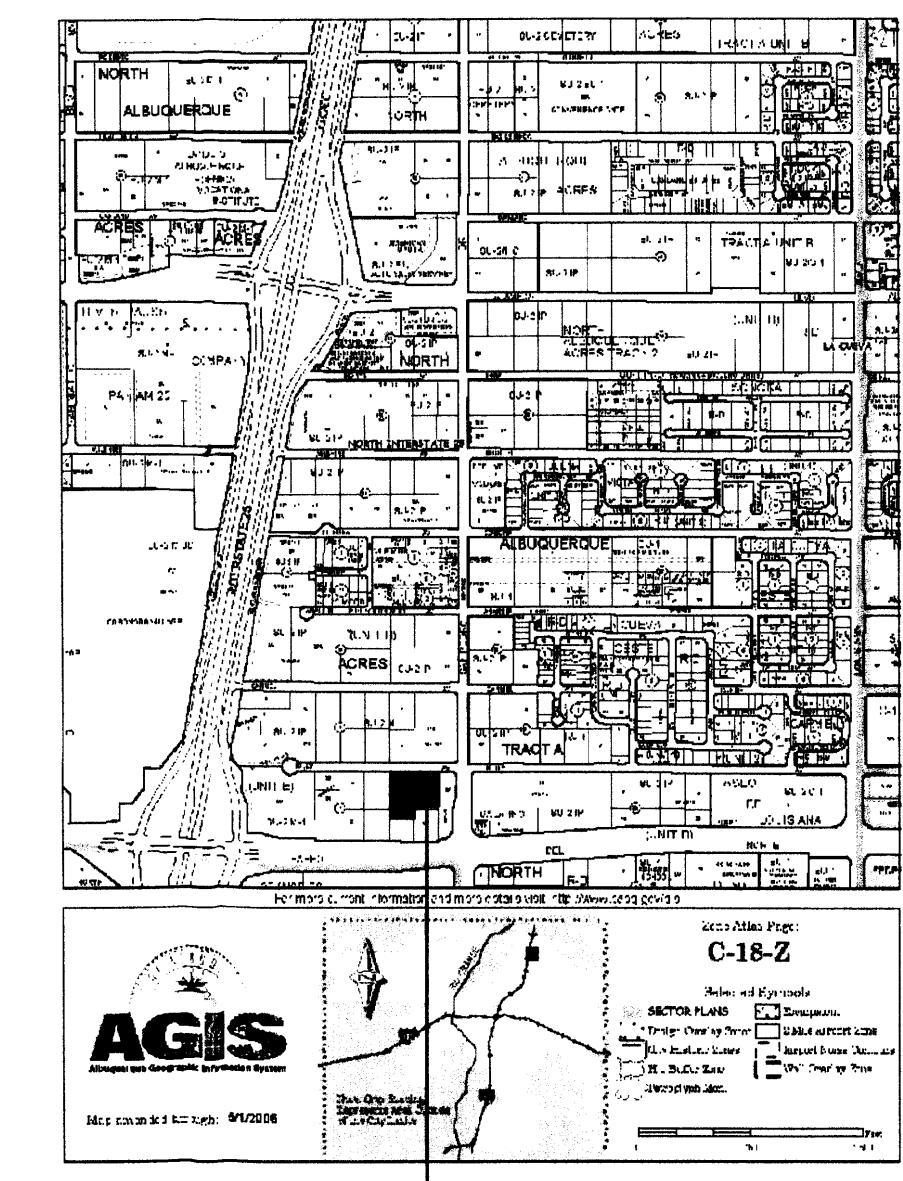
BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
(IIIID 4/24/1946 VOL. D, FOLIO 130)



KEYED NOTE:

- ① 8' STRIPED PEDESTRIAN CROSSING LOCATION
- ② PROPOSED LIGHT POLE LOCATION
RE: 6/A1.2 FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ HANDICAP RAMP PER COA STD DWG #2441
- ⑤ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
RE: 4/A1.2 FOR BIKE RACK DETAIL
- ⑥ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
RE: SITE PLAN FOR LOCATIONS
RE: 3/A1.2 FOR MOTOR CYCLE SIGN DETAIL
- ⑦ INDICATES DUMPSTER/COMPACTOR LOCATION RE: DETAIL 8/A3.0
NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑧ PROVIDE NEW DRIVE CUT AND H.C ACCESSIBLE WHEEL
CHAIR RAMP W/ TRUNCATED DOMES AS SPECIFIED WITHIN C.O.A STD. DETAIL #2426
- ⑨ INDICATES TEMPORARY ASPHALT CURB RE: CIVIL FOR TEMPORARY CURB DETAILS
- ⑩ INDICATES NEW BENCH LOCATION
RE: 4A/A1.2 FOR BENCH DETAIL
- ⑪ INDICATES PROPOSED SIGN LOCATION
RE: 13/A1.2 FOR SIGN DETAIL

LEGAL DESCRIPTION	
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TOTAL ACREAGE:	AREA= 85,383 SF/ OR 1.96 AC
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MOTORCYCLE SPACES REQUIRED:	4 MOTORCYCLE SPACE



PROJECT LOCATION

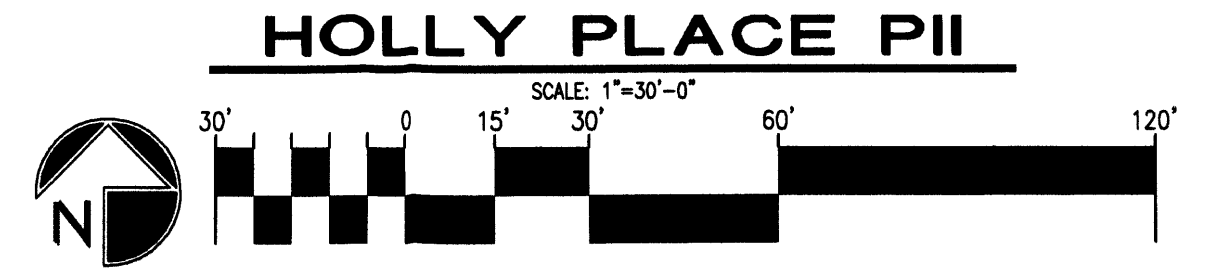
PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	_____	Date
DRB ABOVEVA ENGINEER	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary



REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
HOLLY PLACE PII
N.W.C OF PASO DEL NORTE, N.E. AND SAN PEDRO ALBUQUERQUE NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR AIA

JOB NO.
S

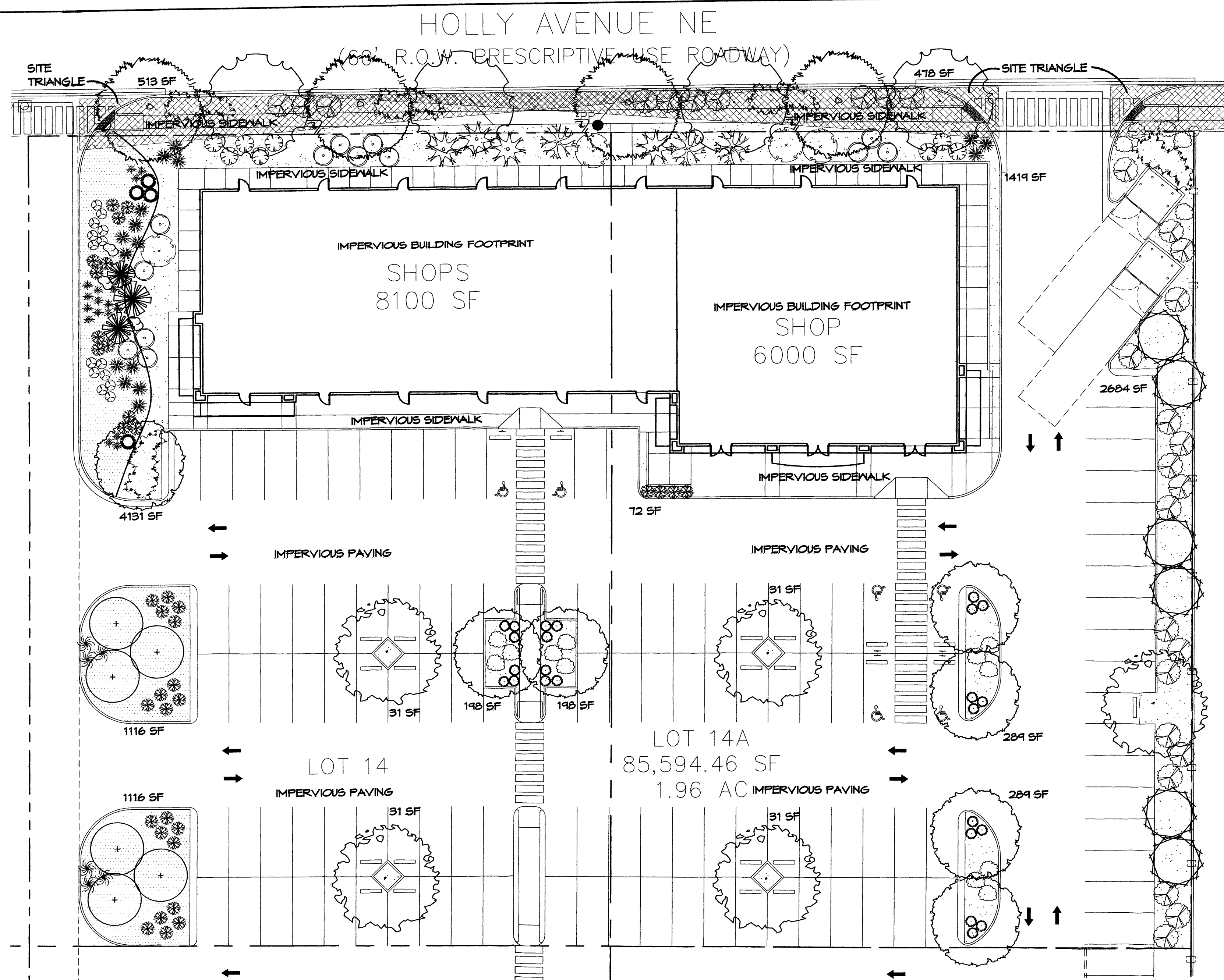
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SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

DATE: _____

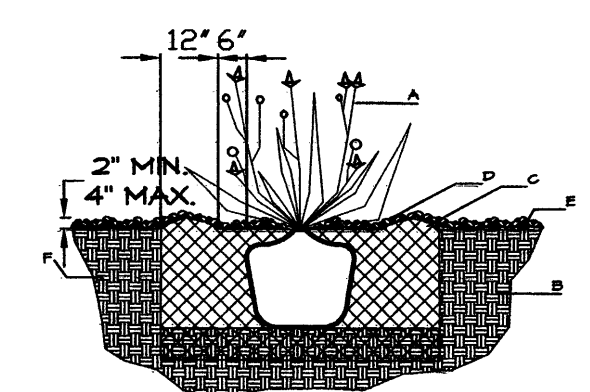
SCALE: 1"=30'

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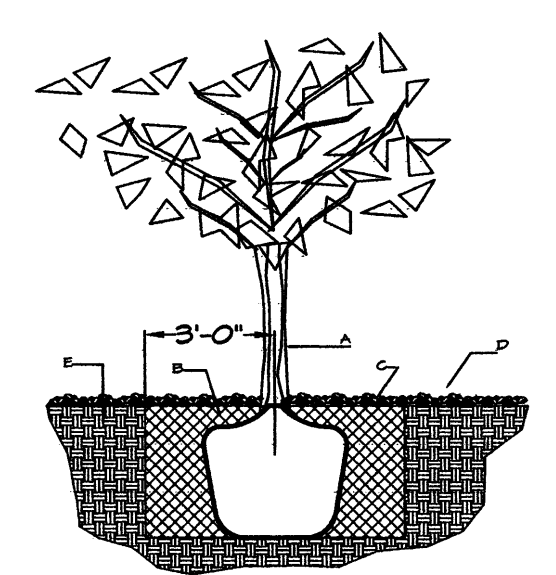
PLANT LEGEND

- SHADE TREES**
 - CHINESE PISTACHE (M) 5
Pistacia chinensis
2' Cal., 60' H x 60' W
 - SHUMARD OAK (M) 4
Quercus shumardii
2' Cal., 60' H x 60' W
 - SYCAMORE (M) 4
Platanus spp.
2' Cal., 60' H x 70' W
 - EASTERN REDBUD (M) 7
Cercis canadensis
2' Cal., 30' H x 30' W
- SHRUBS/ORNAMENTAL GRASSES**
 - NEW MEXICO OLIVE (L) 13
Forestiera neomexicana
15 Gal., 225sf, 15' H x 15' W
 - DESERT MILLOW (L) 6
Chilopsis linearis
5 Gal., 225sf, 20' H x 25' W
 - SPANISH BROOM (M) 3
Genista hispanica
5 Gal., 100sf, 10' H x 10' W
 - BUTTERFLY BUSH (M) 4
Buddleia davidii
5 Gal., 100sf, 10' H x 10' W
 - ROSE OF SHARON (M) 4
Hibiscus syriacus
5 Gal., 100sf, 10' H x 10' W
 - PAMPAS GRASS (M+) 9
Cortaderia selloana
5 Gal., 9sf, 12' H x 3' W
 - RUSSIAN SAGE (M) 13
Perovskia atriplicifolia
5 Gal., 36sf, 6' H x 6' W
 - MAIDENGRASS (M) 19
Miscanthus sinensis
5 Gal., 25sf, 5' H x 5' W
 - REGAL MIST (M) 40
Muhlenbergia capillaris
5 Gal., 9sf, 3' H x 3' W
 - CHAMISA (L) 8
Chrysothamnus nauseosus
1 Gal., 25sf, 5' H x 5' W
 - POINIS CASTLE SAGE (L+) 17
Artemisia X Pouis Castle
1 Gal., 25sf, 2' H x 5' W
 - CATMINT (M) 24
Nepeta mussini
1 Gal., 4sf, 1' H x 2' W
 - BLUE FESCUE (M) 17
Festuca ovina glauca
1 Gal., 4sf, 1' tall
 - MILDFLOWER 14
1 Gal., 4sf, size varies
 - HONEYSUCKLE (M) 26
Lonicera japonica 'Halliana'
1 Gal., 144sf, 3' H x 12' W
Unstaked Groundcover
 - LADY BANK'S ROSE (M) 4
Rosa banksiae
5 Gal., 400sf, 3' H x 20' W
Unstaked Groundcover
- DESERT ACCENTS**
 - PALM YUCCA (L) 3
Yucca faxonia
15' H x 6' W
 - MUGO PINE (M) 4
Pinus mugo
5 Gal., 9sf, 4' H x 3' W
 - RED YUCCA (L) 16
Hesperaloe parviflora
5 Gal., 9sf, 3' H x 4' W
- HARDSCAPES**
 - OVERSIZED GRAVEL & BOULDERS
 - SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - COBBLE WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- GROUNDCOVERS**



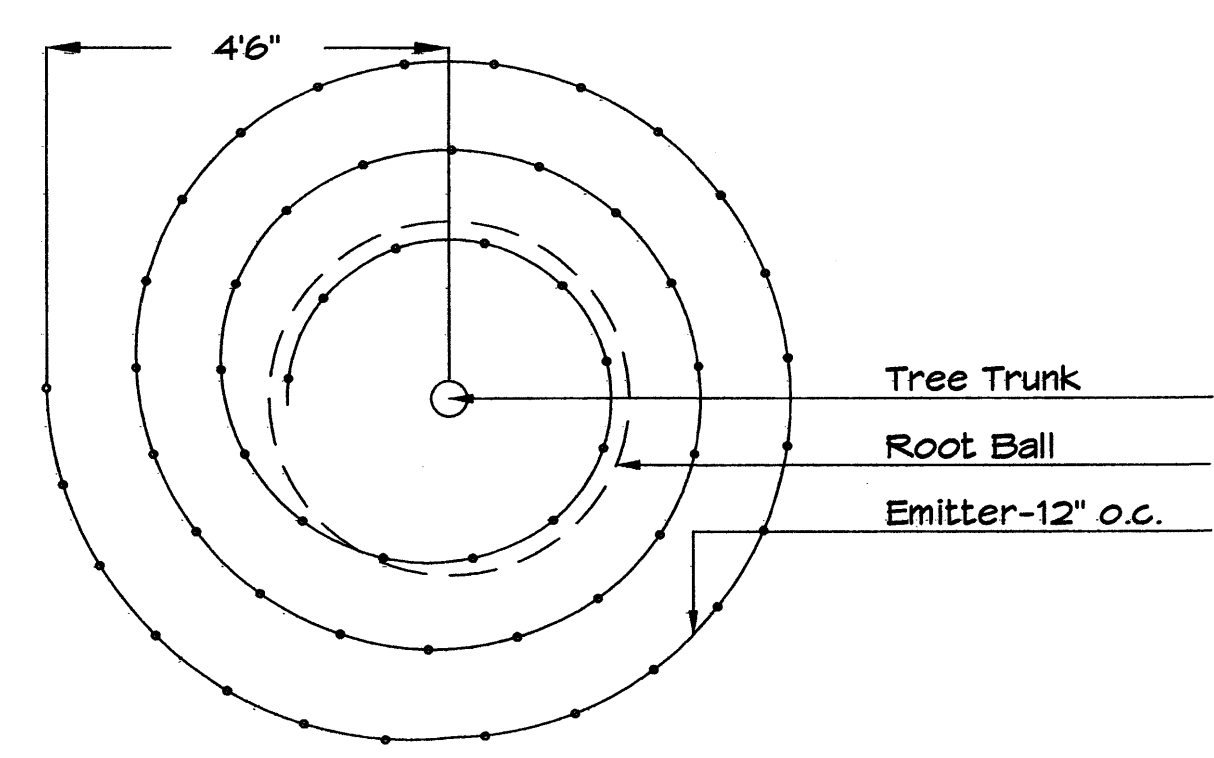
SHRUB PLANTING DETAIL
NTS

- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB.
 - BACKFILL WITH EXISTING SOIL.
 - EARTH BERM AROUND WATER RETENTION BASIN.
 - 3" DEPTH OF GRAVEL MULCH.
 - FINISH GRADE.
 - UNDISTURBED SOIL.

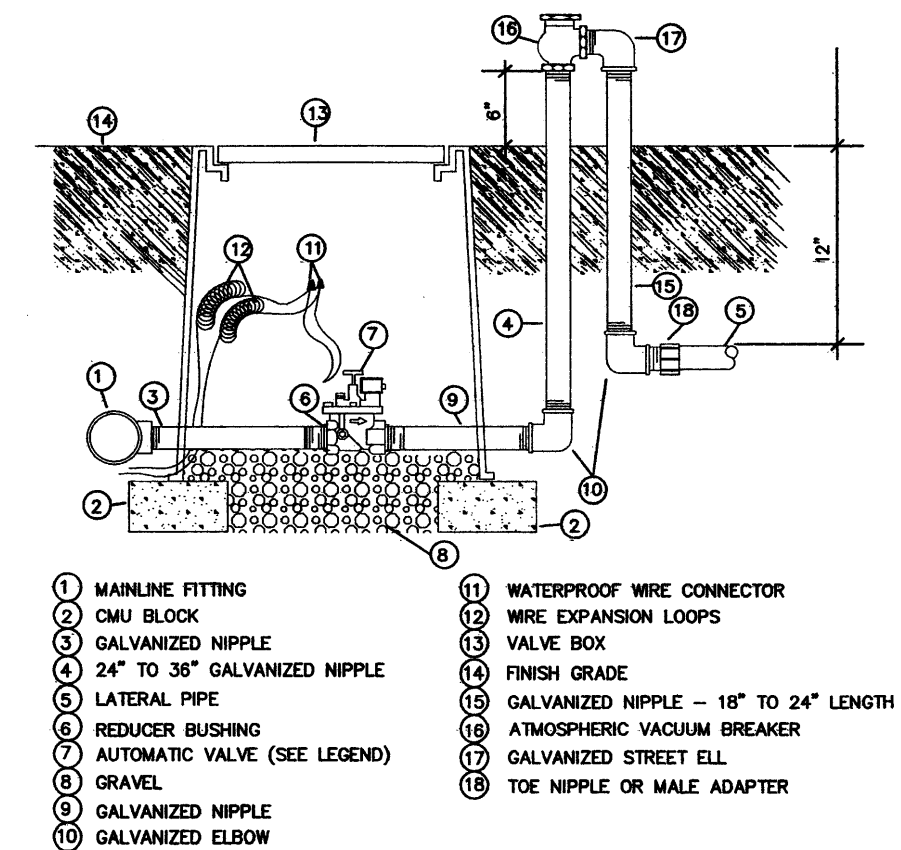


TREE PLANTING DETAIL
NTS

- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
 - BACKFILL WITH EXISTING SOIL.
 - 3" DEPTH OF GRAVEL MULCH.
 - UNDISTURBED SOIL.



Netafim Spiral Detail



AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all pervious landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: HOLLY
Required 8 Provided 8

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 8 Provided 8

LANDSCAPE CALCULATIONS

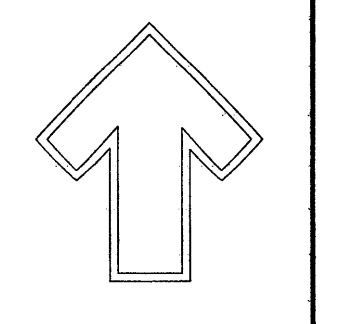
TOTAL LOT AREA	85594	square feet
TOTAL BUILDINGS AREA	14100	square feet
NET LOT AREA	71494	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10724	square feet
TOTAL BED PROVIDED	18361	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	13710	square feet
TOTAL GROUNDCOVER PROVIDED	13780 (75%)	square feet
TOTAL SOD AREA	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	18361 (25%)	square feet

GRAPHIC SCALE



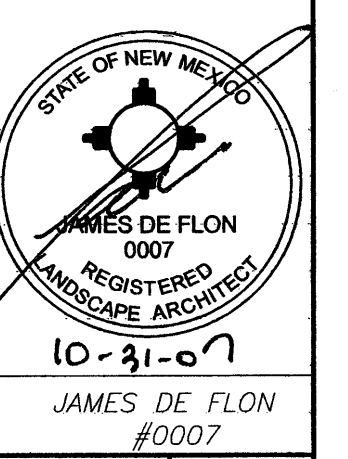
SCALE: 1"=20'

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. This will be addressed as an infield-change order.



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cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

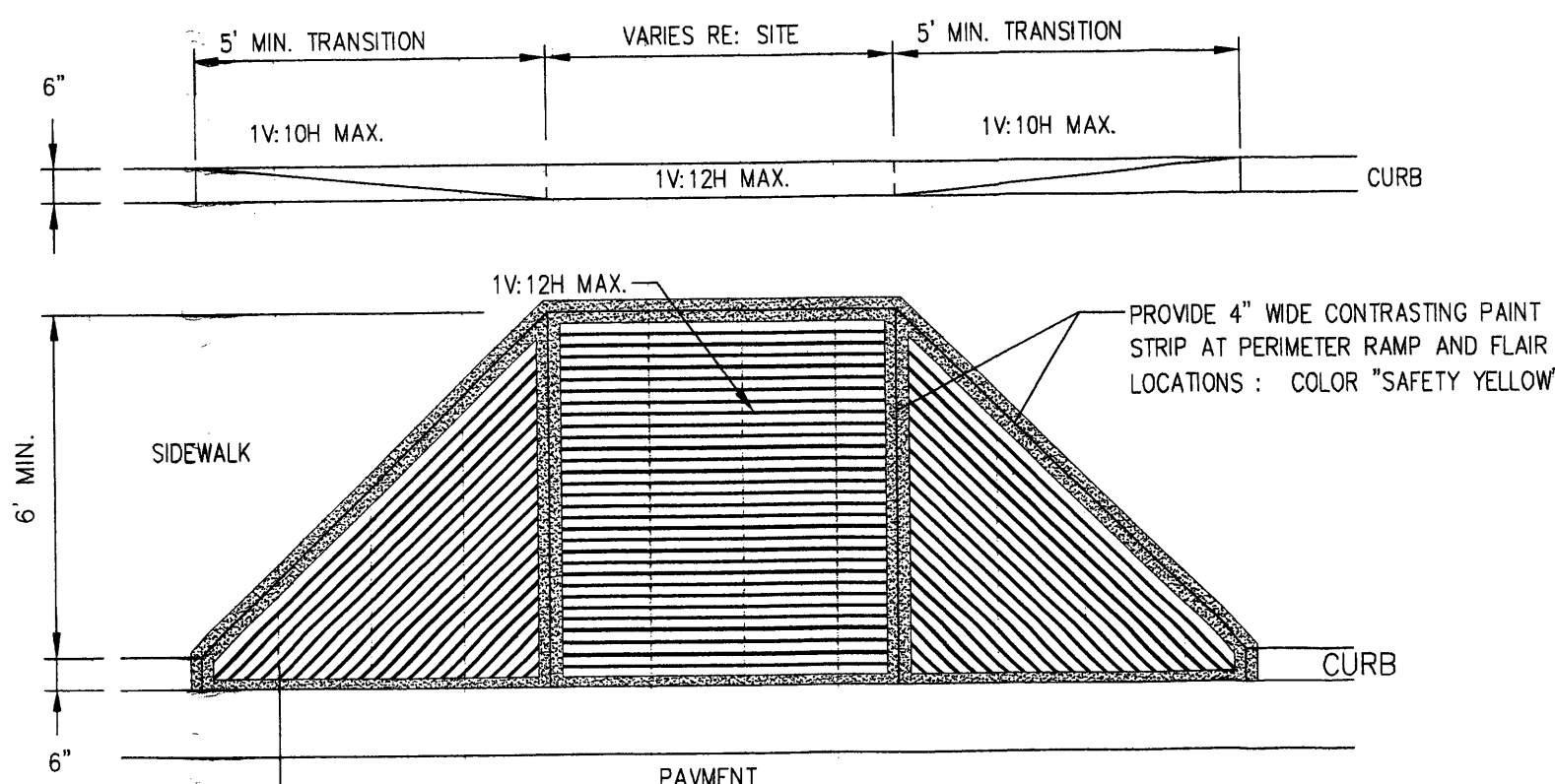
HOLLY PLACE
PHASE 2
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are not to be used for any other project without the express written consent of The Hilltop Landscape Architects. This is an original design and must not be reprinted or copied unless applicable fees have been paid or job order placed.



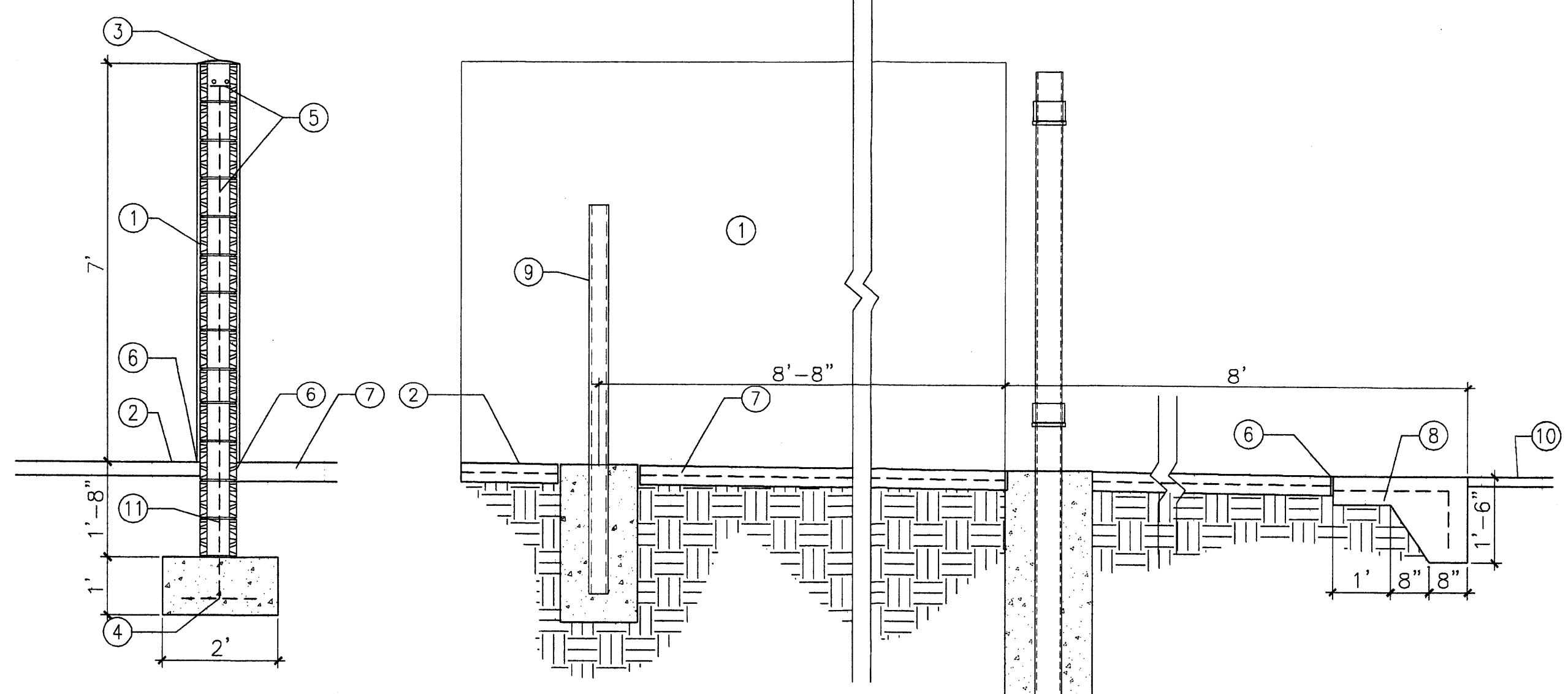
DRAWN BY: CJ
REVISION # 1/10-31-07
DATE 10-11-07

SHEET #
L1 OF L1



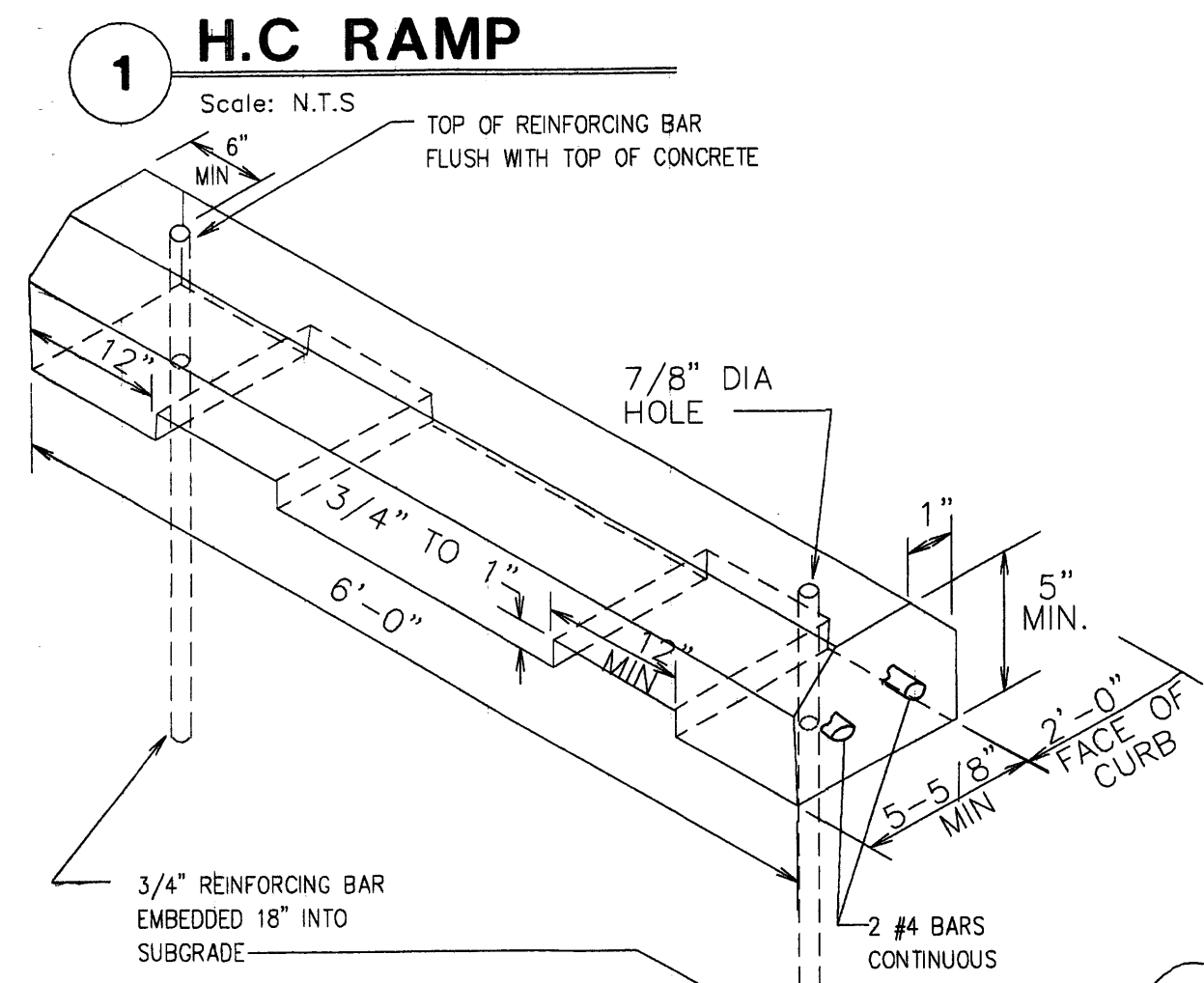
- KEYED NOTES**
- 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH ADJACENT BUILDING BASE COLOR
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.M.
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.M. W/ TURNDOWN EDGE.
 - 6" CONCRETE FILLED PIPE IN 18" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

7 ENCLOSURE NOTES
Scale: N.T.S.

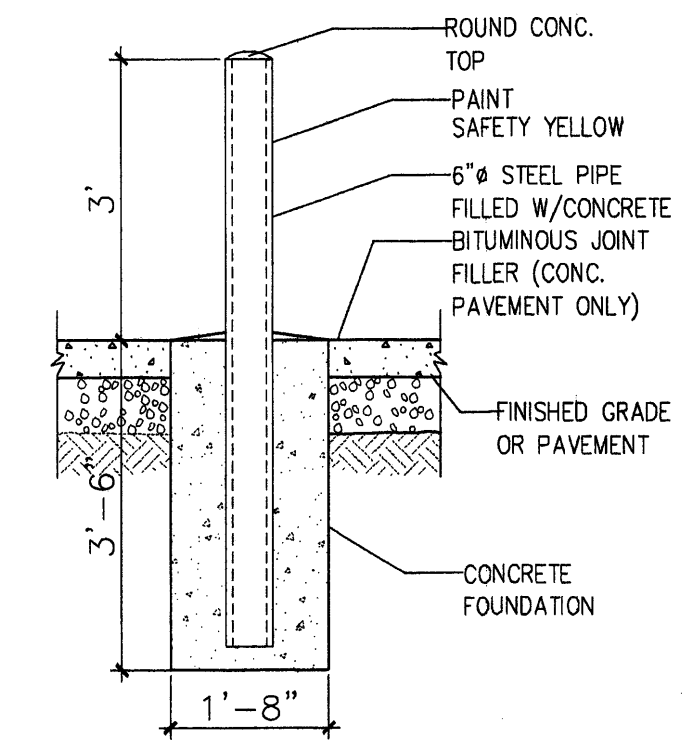


10 DUMPSTER SEC
Scale: 1/2"=1'-0"

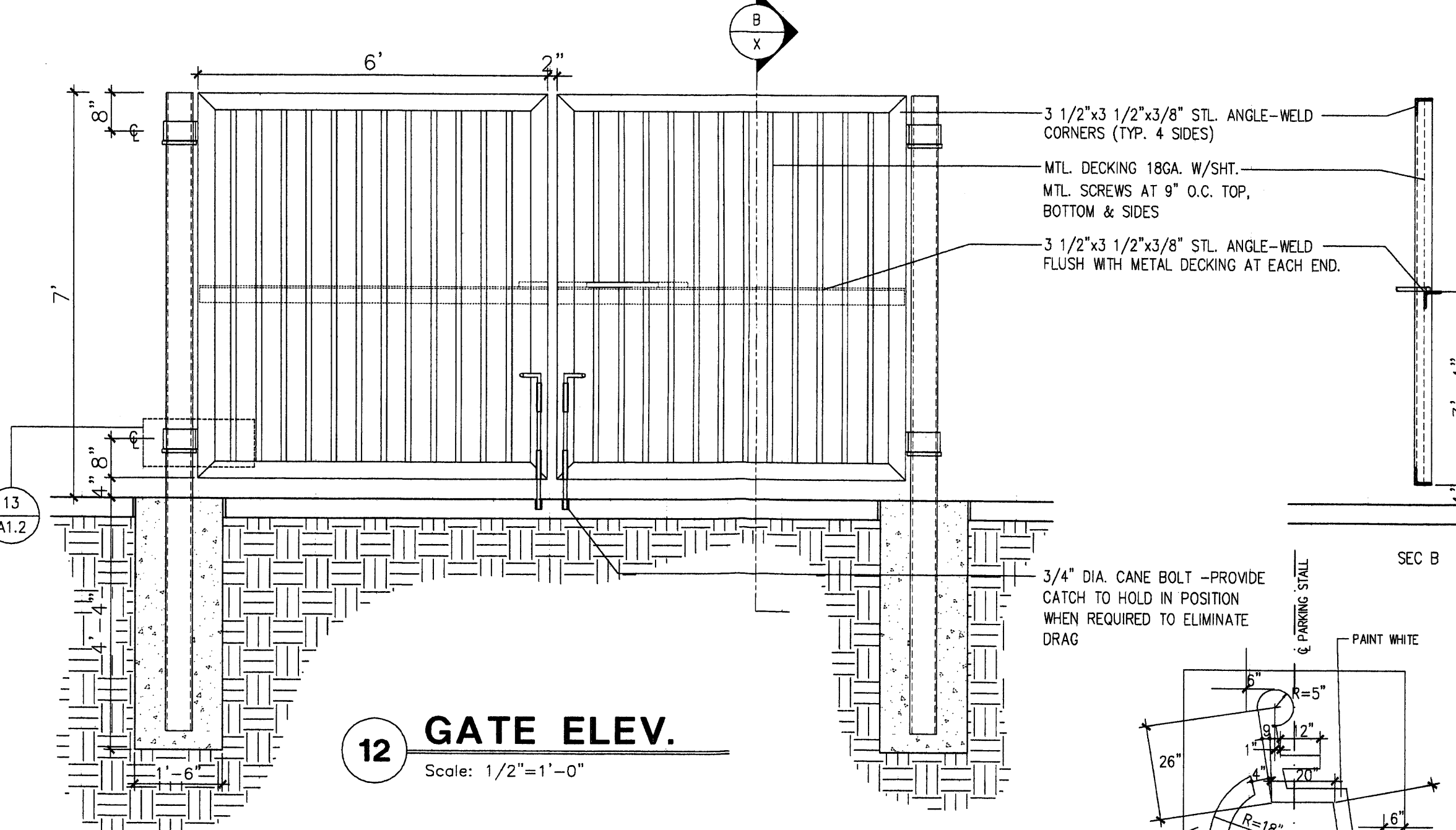
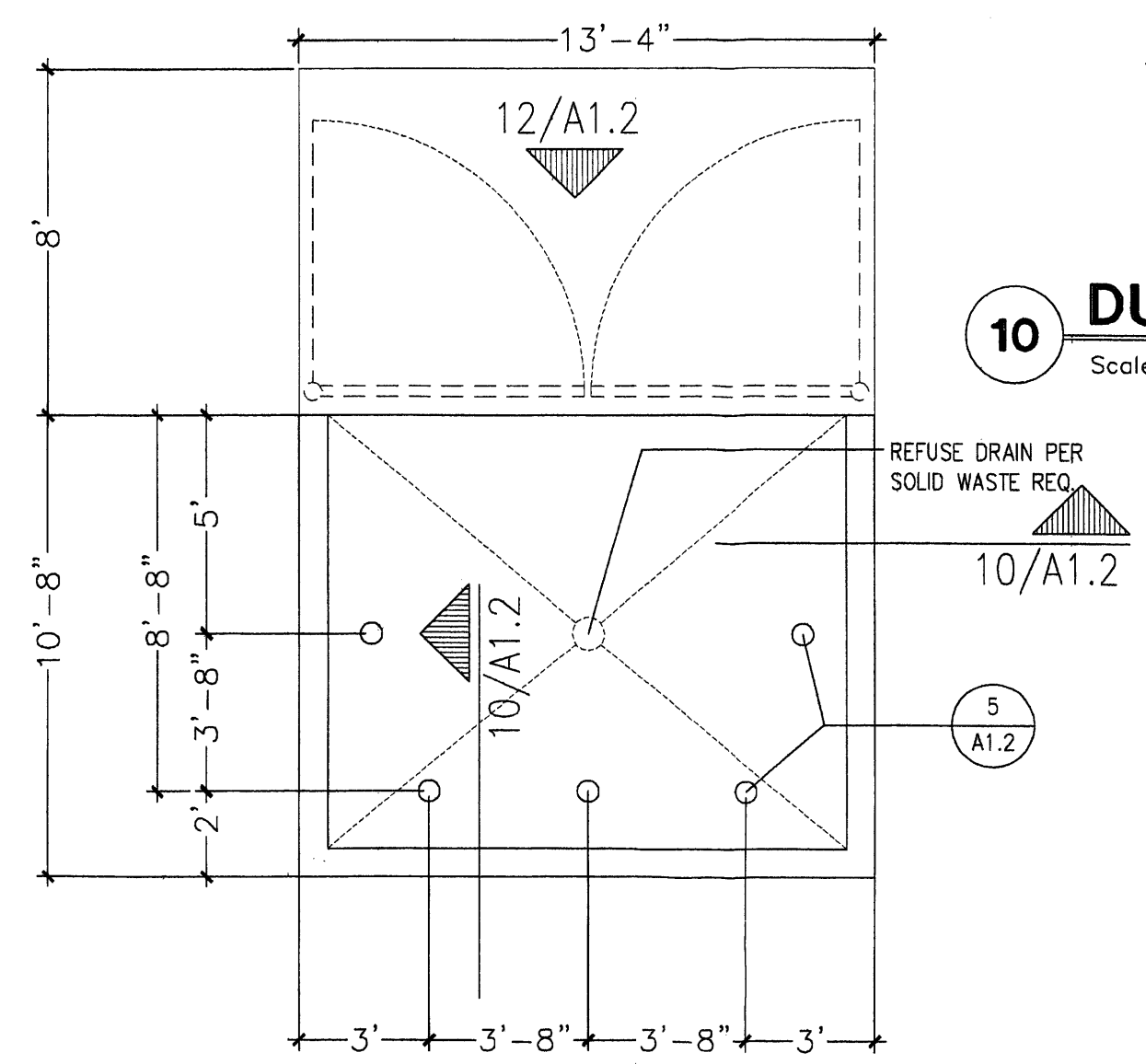
11 DUMPSTER SEC
Scale: 1/2"=1'-0"



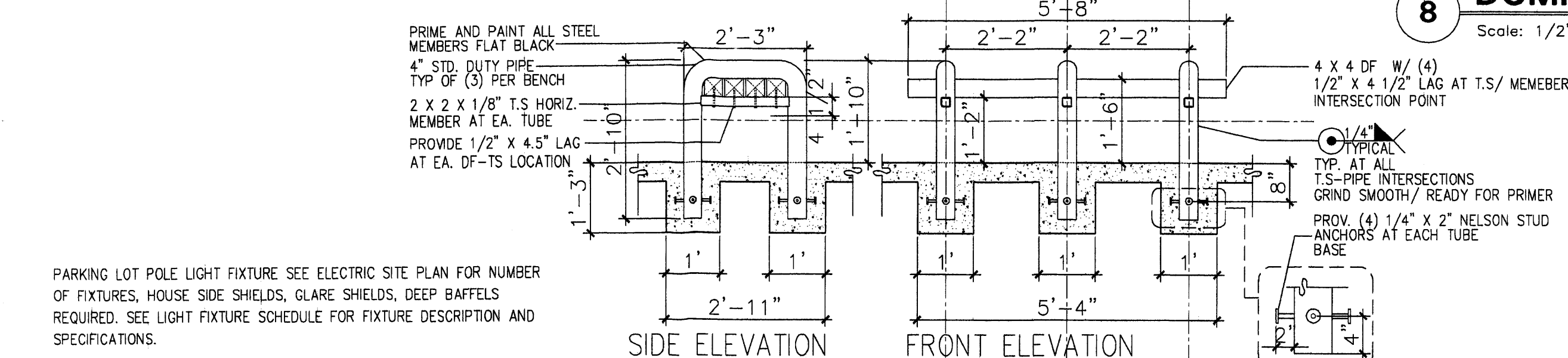
2 WHEEL STOP
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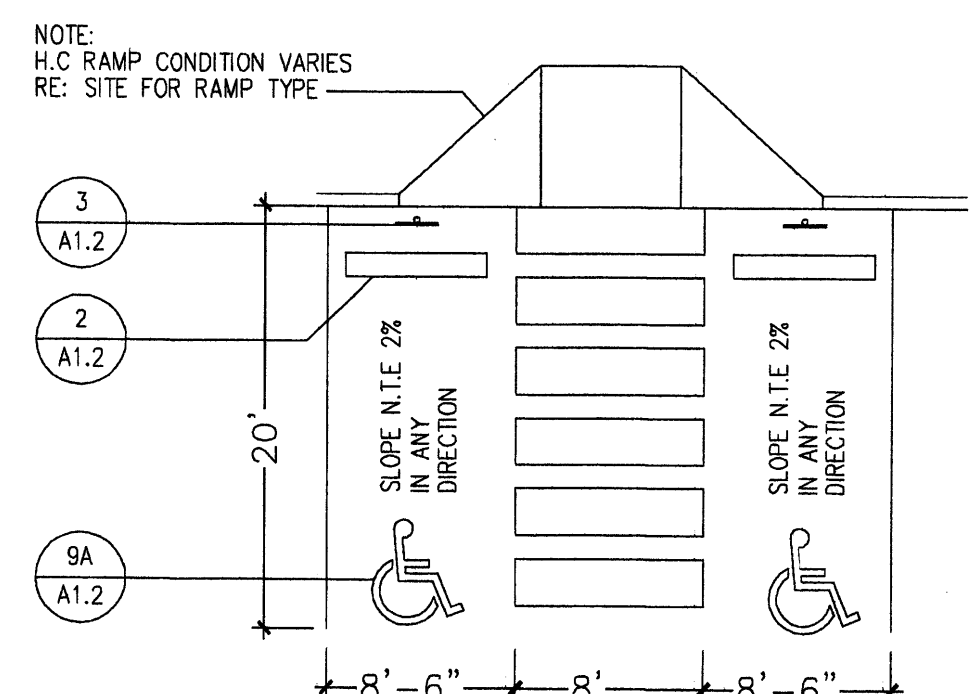
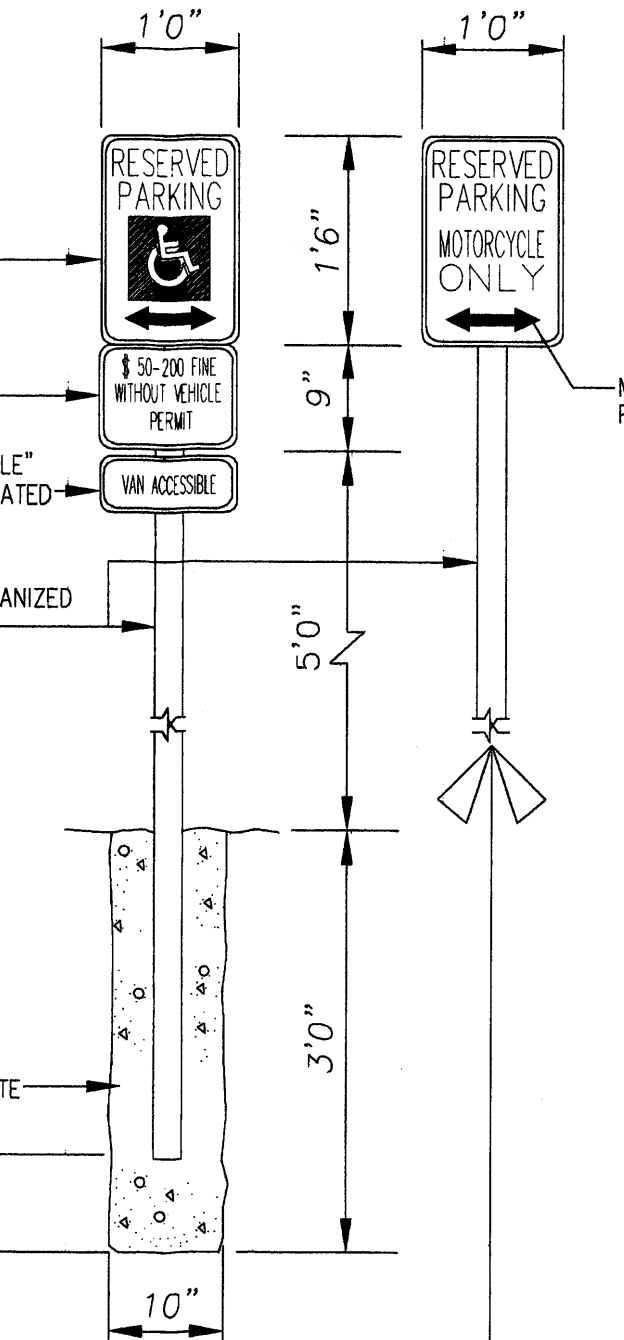
5 BOLLARD DETAIL
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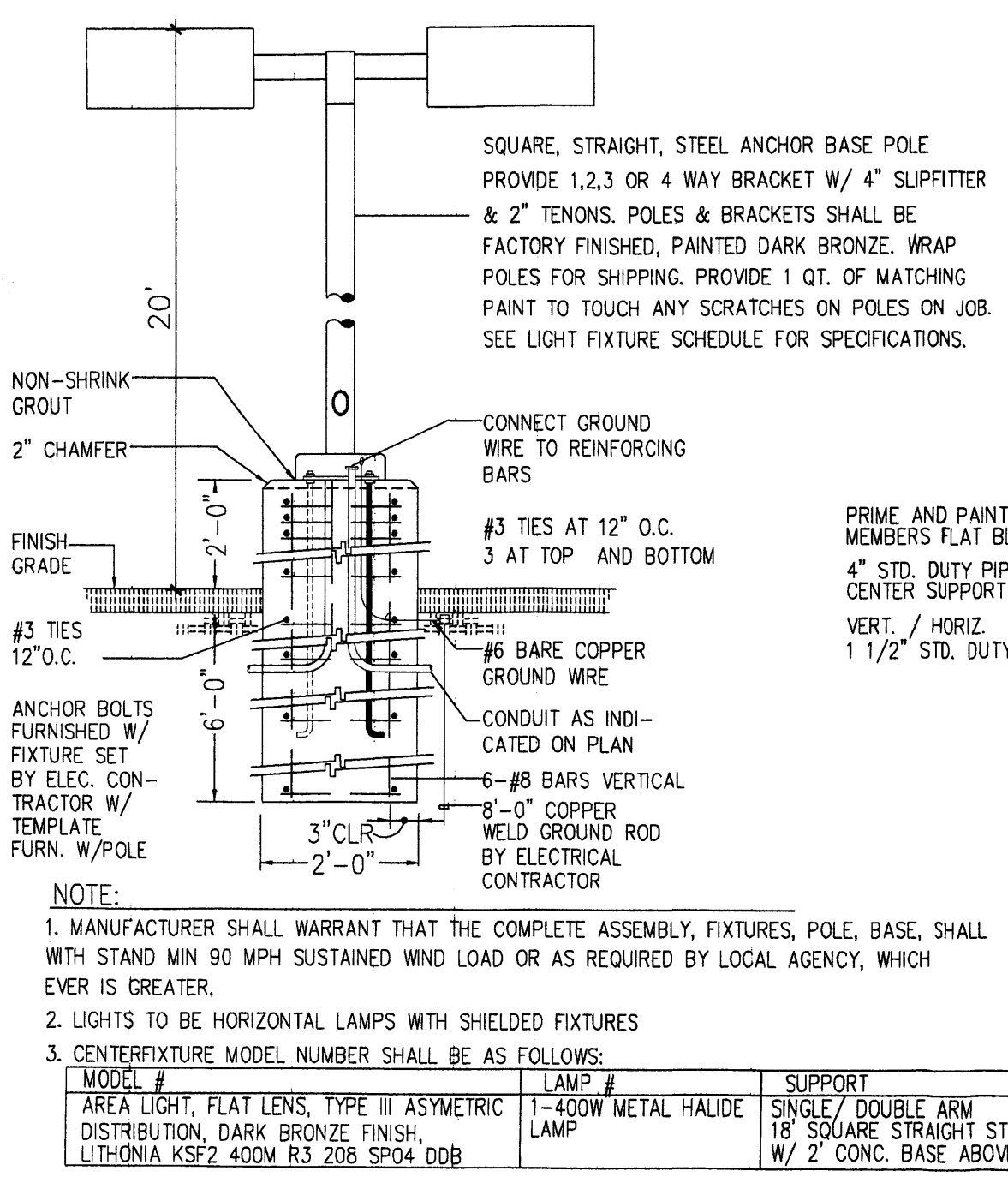
12 GATE ELEV.
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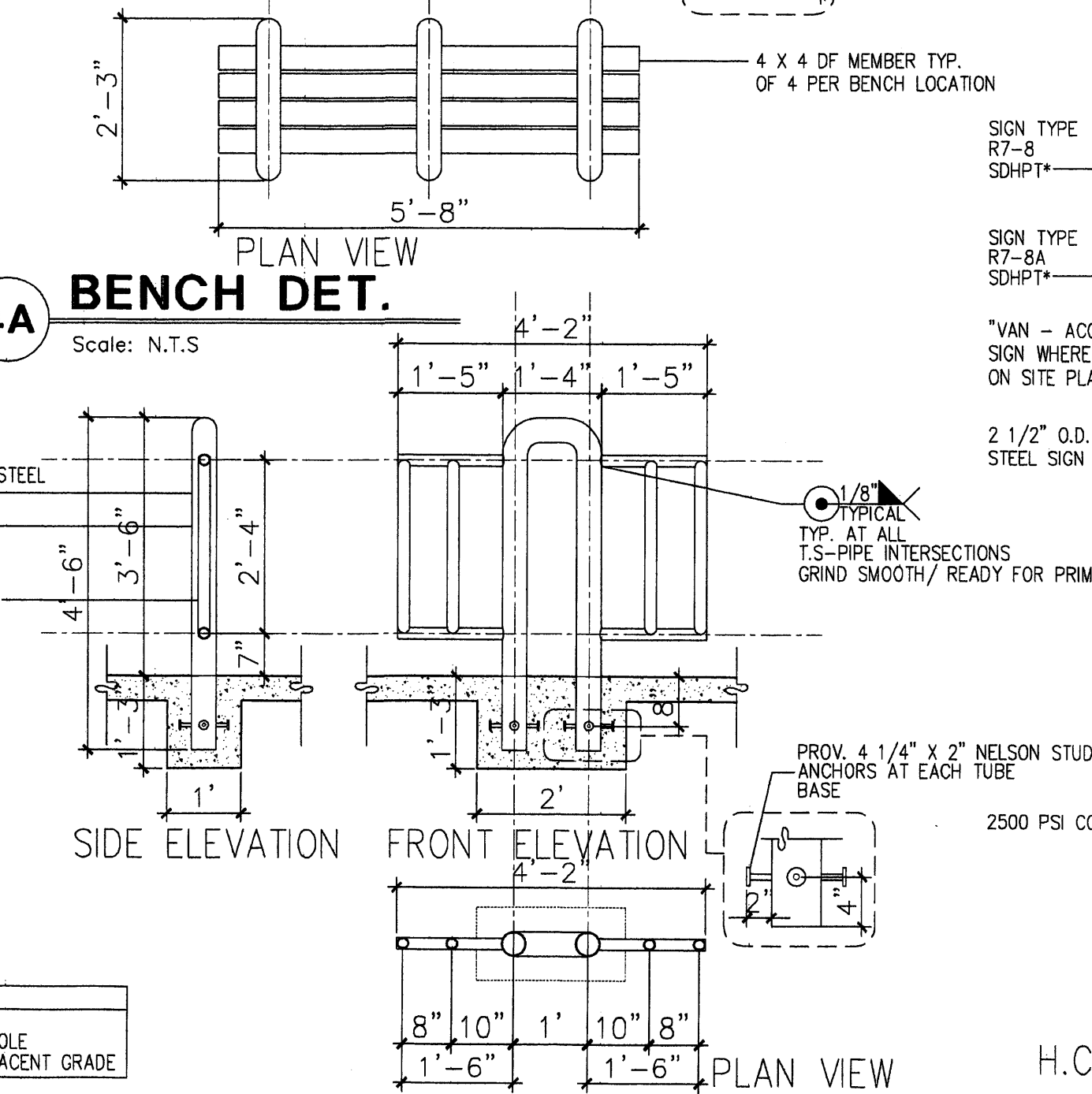
4A BENCH DET.
Scale: N.T.S.



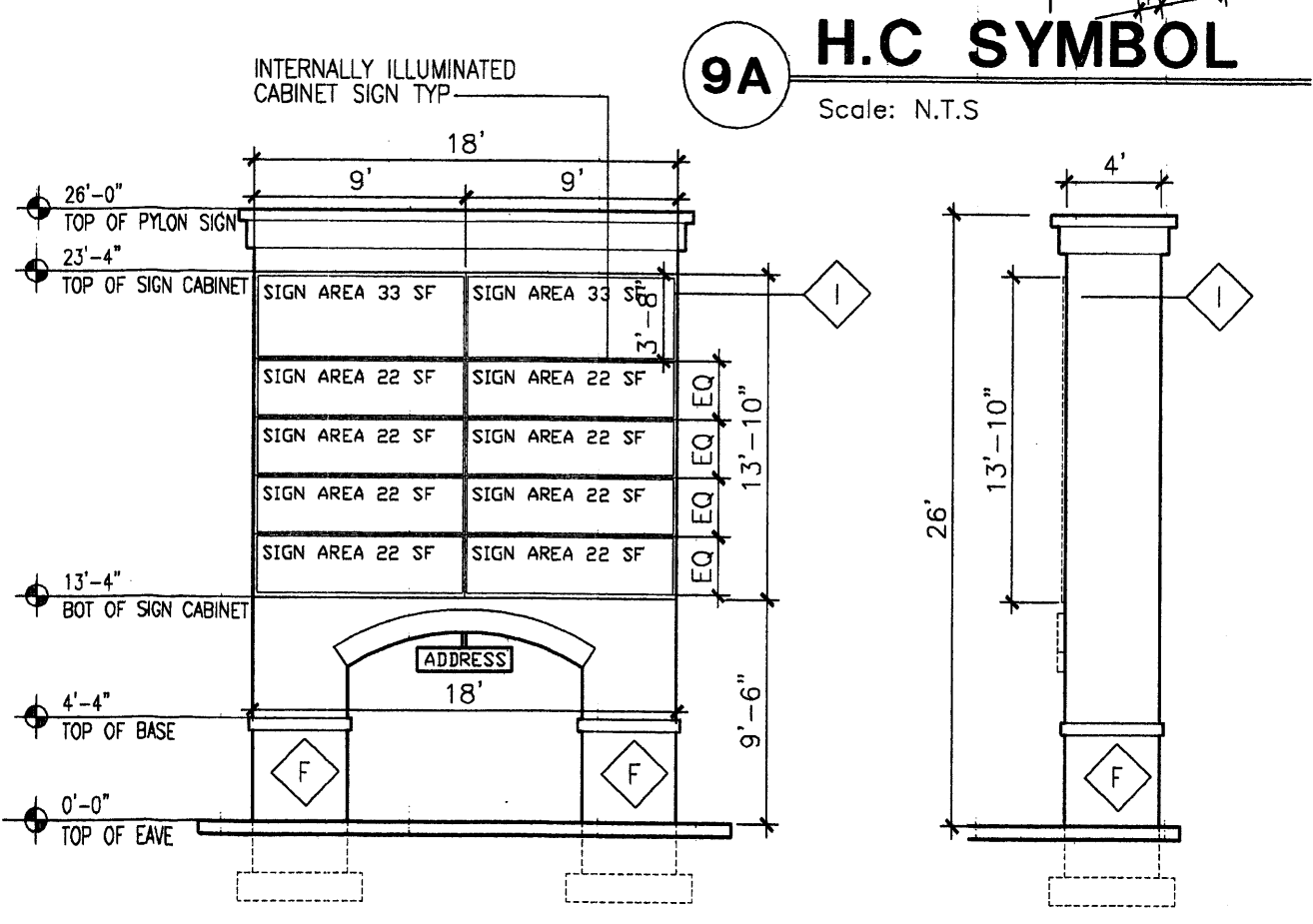
9 H.C TYP. PARKING DET.
Scale: N.T.S.



6 LIGHT POLE DETAIL
Scale: N.T.S.



4 BIKE RACK
Scale: N.T.S.



13 PYLON SIGN ELEVATIONS
Scale: N.T.S.

REV	DATE	BY	REVISION
1			
2			
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4			
5			
6			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO NE SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
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PROJECT TITLE
HOLLY PLACE
N.E.C. OF PASO AND SAN PEDRO
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR, AIA

DRAWN BY:
SD

JOB NO.
STEPHEN DUNBAR, AIA

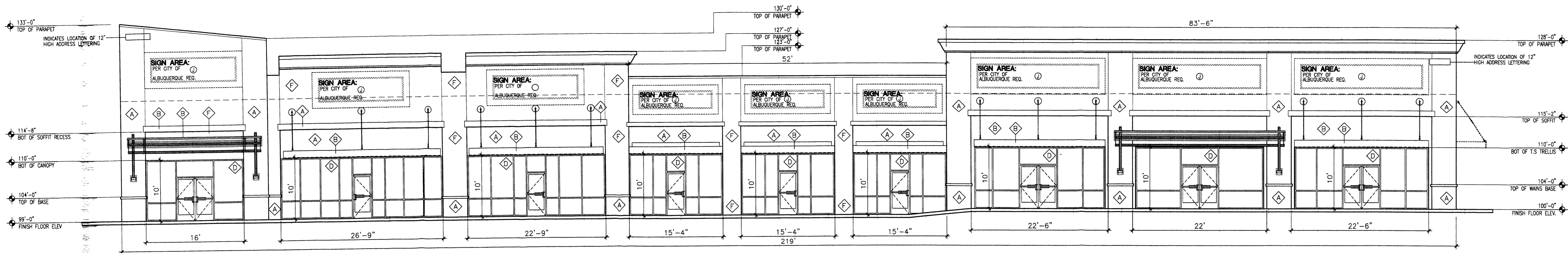
SHEET TITLE
SITE DETAILS

DATE:
4/23/07

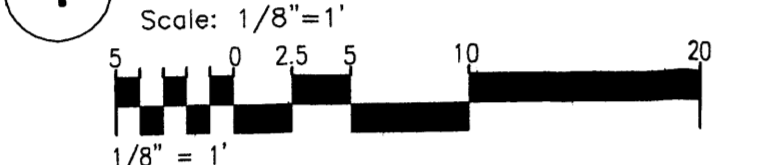
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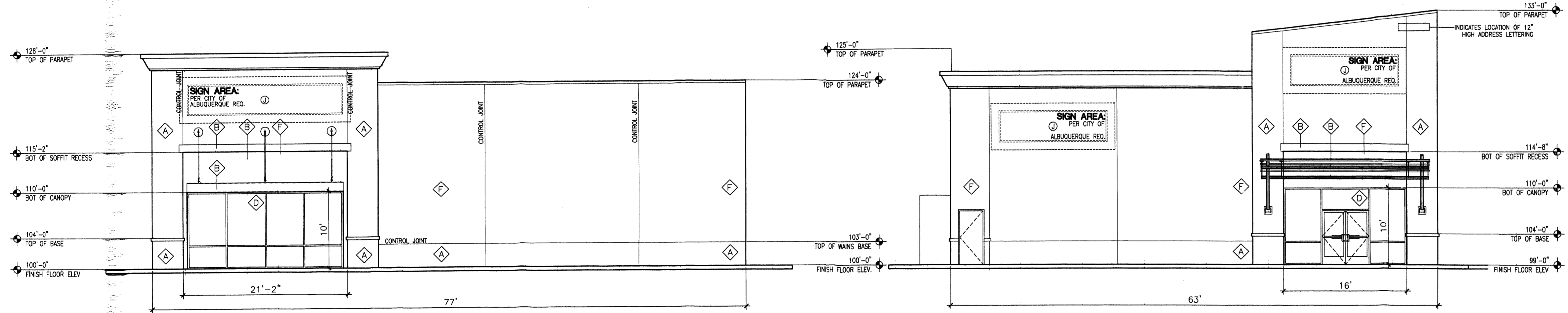
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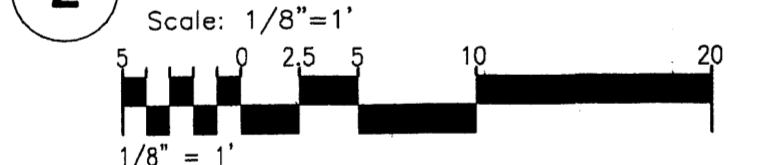
1 SOUTHERN ELEV.



NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 J 1" BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE

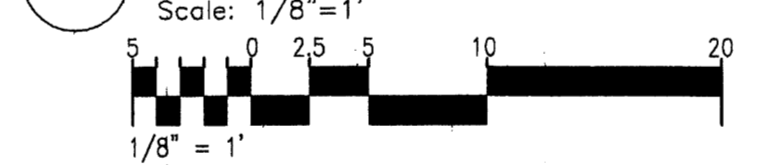


2 WESTERN/EASTERN ELEV.



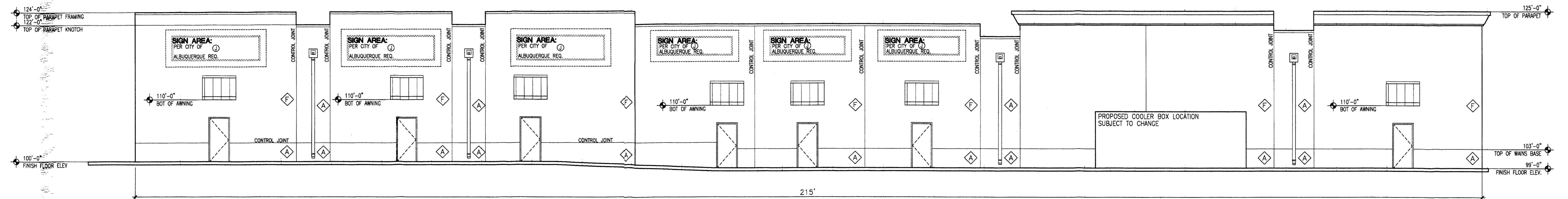
NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 J 1" BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE

3 WESTERN/EASTERN ELEV.

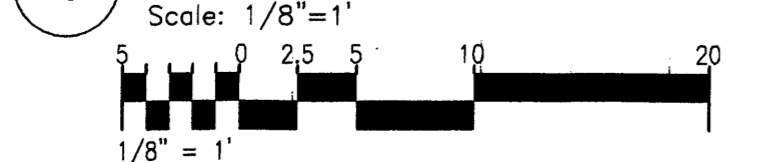


NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 J 1" BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE

- COLOR / PAINT NOTES:**
- A SYNTHETIC STUCCO SYSTEM TO MATCH COLOR CREGO TAN (DARK BROWN)
 - B SYNTHETIC STUCCO SYSTEM COLOR AESTHETIC WHITE (SW 7035)
 - C ALUMINUM STOREFRONT SYSTEM COLOR: SILVER ANNO. ALUMINUM
 - D SYNTHETIC STUCCO SYSTEM TO MATCH COLOR: EL PASO BUFF. SPLIT-FACE CMU (LIGHT BROWN)
 - E CORNICE-COPING MATERIAL COLOR TO MATCH; EL PASO BUFF. SPLIT-FACE CMU
 - F STEEL CANOPY COLOR AESTHETIC WHITE (SW 7035)



4 NORTHERN ELEV.



NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 J 1" BOX LOCATION W/ CONDUIT AND PULL-STRING STUBBED INTO TENANT SPACE

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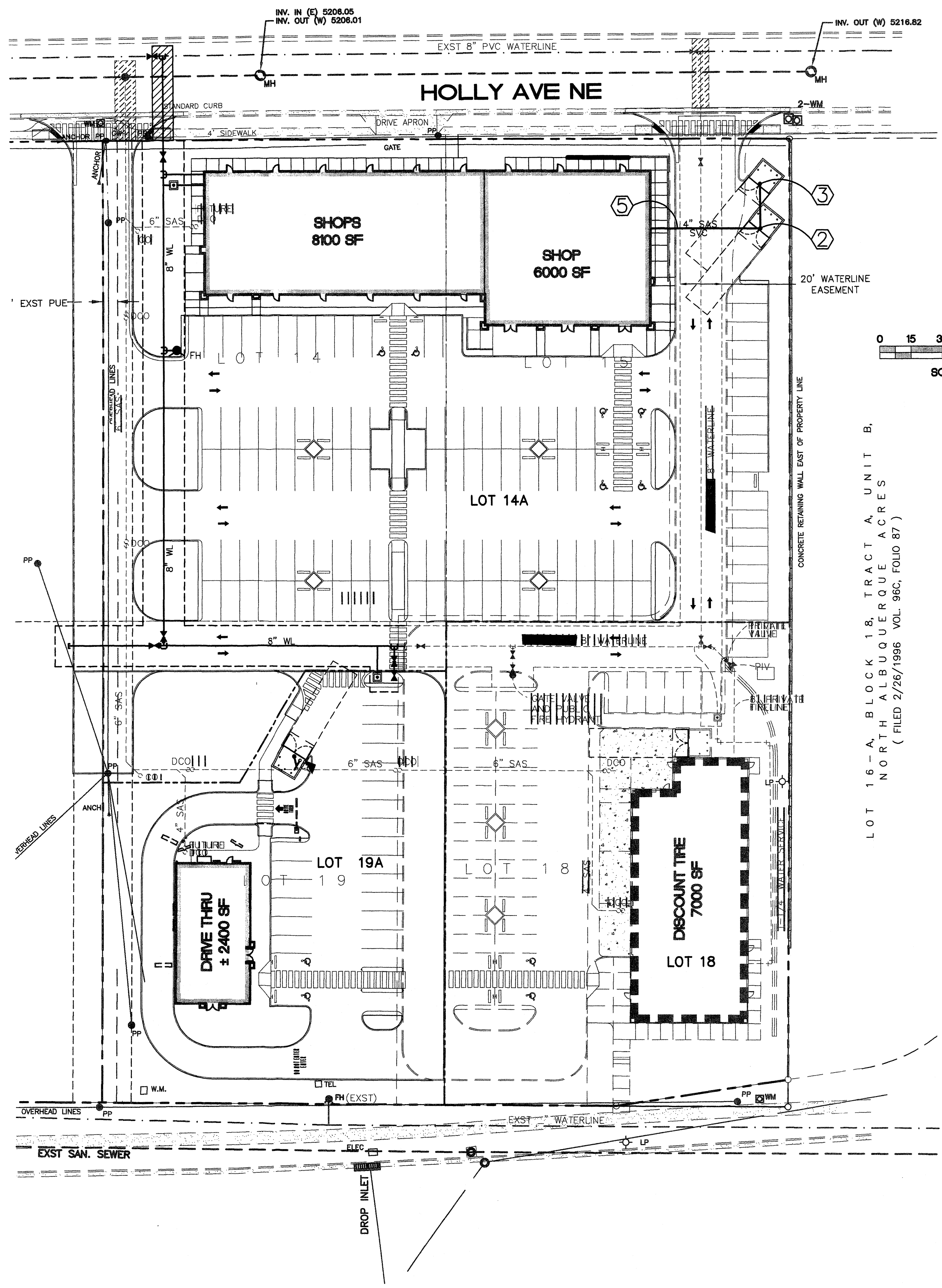
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
HOLLY PLACE
 N.W.C OF PASO DEL NORTE, AND SAN PEDRO
 ALBUQUERQUE, NEW MEXICO

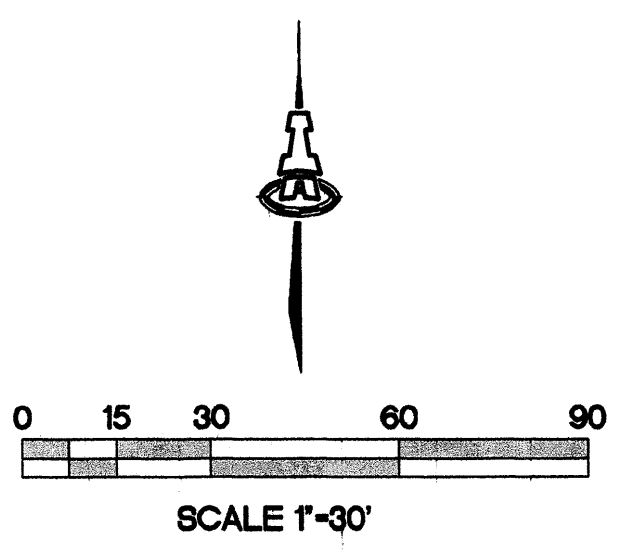
PROJECT MANAGER
 STEPHEN DUNBAR AIA
 SHEET TITLE
SHOPS-1 ELEVATION

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 SCALE:
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 of.

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LOT 16-A, BLOCK 18, TRACT A, UNIT B,
NORTH ALBUQUERQUE VOL. 96C, FOLIO 87
(FILED 2/26/1996)



KEYED CONSTRUCTION NOTES

1. AREA DRAIN W/ P-TRAP
GRATE ELEV= 20.20
2. AREA DRAIN W/ P-TRAP
GRATE ELEV= 23.40
INV= 16.50
3. AREA DRAIN W/ P-TRAP
GRATE ELEV= 24.50
INV= 17.00
4. 6" PRIVATE GATE VALVE W/VALVE BOX.
5. SAS SVC INV= 15.97
CONNECT TO BUILDING SEWER PLUMBING.

NOTE:
ALL WATERLINE IN PUBLIC
RIGHT-OF-WAY AND EASEMENTS
TO BE CONSTRUCTED BY PUBLIC
WORK ORDER PLANS.

GENERAL NOTES

1. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
4. CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 6.
5. THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
6. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
7. EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
8. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
9. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
10. CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATER-LINE AND/OR SEWERLINE COSTS.
11. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
12. PNM WILL PROVIDE AT NO COST TO THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
13. WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

LEGEND

- PROPOSED PAVEMENT CUT
- EXST WL
- EXST SAS
- EXISTING SAS
- GATE VALVE W/ VALVE BOX
- PIV
- POST INDICATOR VALVE
- FIRE HYDRANT
- WATER LINE W/ FITTING
- PROPOSED SAS
- SEWER CLEANOUT
- DOUBLE CLEANOUT
- WATER METER
- PHASE LINE
- PROPOSED EASEMENT
- 6" SAS
- FUTURE SAS
- FUTURE DOUBLE CLEANOUT
- AREA DRAIN

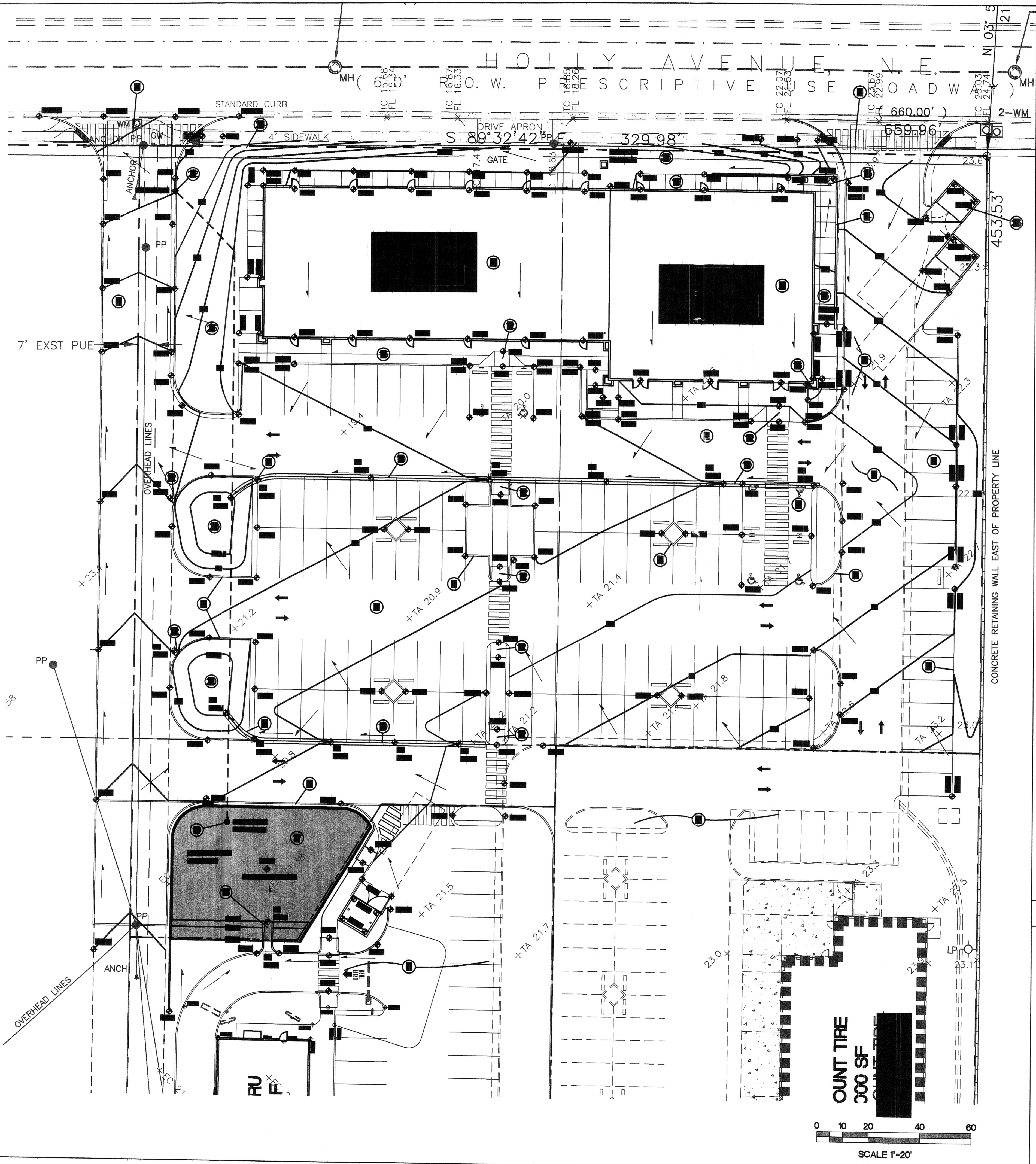
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632
1435-2\UNSTR.dwg Oct 31, 2007

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**HOLLY PLACE
COMMERCIAL**
Argus Dev. Co.

UTILITY PLAN

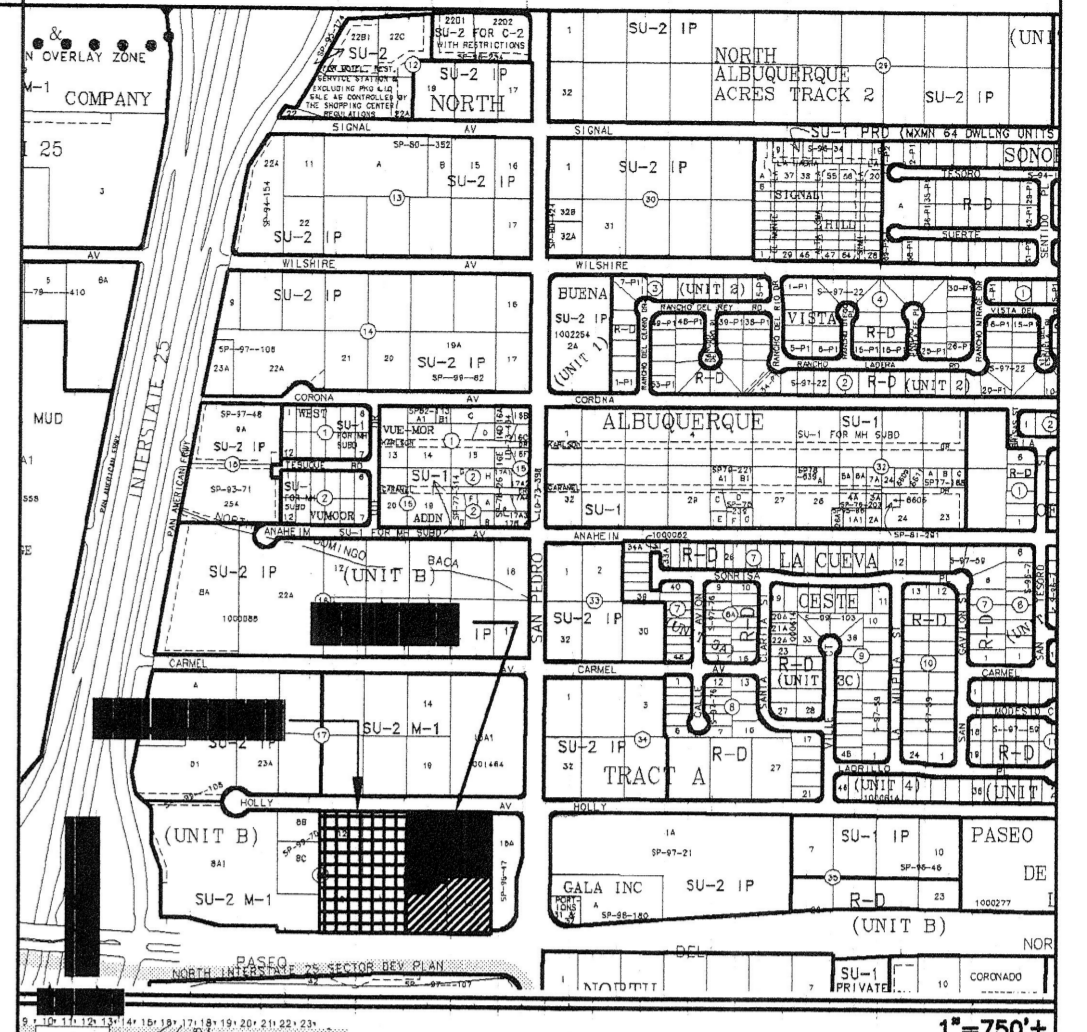
Date:	12/05/05	No.:	Revised:	Date:	Job No.:	1435
Drawn By:	djp					PAGE
Ckd By:	FCA					C102



KEYED NOTES

- EXISTING SITE ENTRANCE CONSTRUCTED AS PART OF PHASE I. MATCH EXISTING FOR SMOOTH TRANSITION.
- EXISTING PAVED ACCESS ROAD TO LOT 18 CONSTRUCTED AS PART OF PHASE I. MATCH EXISTING FOR SMOOTH TRANSITION.
- PHASE I CONSTRUCTION (LOT 18) CURRENTLY UNDERWAY. PHASE II CONSTRUCTION SHALL MATCH PHASE I FOR SMOOTH TRANSITIONS - ALL SIDES.
- LOT 19A (SAME OWNER) WILL BE CONSTRUCTED AS PART OF PHASE III (FUTURE).
- CONSTRUCT NEW ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA. PROVIDE SMOOTH TRANSITION WITHIN ASPHALT PAVING FROM FLUSH WITH WALK TO 6" MEDIAN CURB AND GUTTER OVER 10' THIS AREA.
- CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL ON-SITE CURB LOCATIONS. SEE DETAIL SHEET C-2.
- CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN (0.0050' / MIN. SLOPE). SEE DETAIL SHEET C-2.
- PROVIDE 2' WIDE OPENING IN CURB TO PASS VALLEY GUTTER TO LANDSCAPING. SEE DETAIL SHEET C-2.
- PROVIDE 2' WIDE OPENING IN CURB AT PAVING LOW POINT TO PASS EXCESS FLOW TO PAVEMENT. SEE DETAIL SHEET C-2.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL.
- CONSTRUCT CONCRETE WALK ALONG BUILDING PERIMETER AT ELEVATIONS SHOWN.
- CONSTRUCT GARDEN WALL AT NORTHEAST PORTION OF BUILDING TO ACHIEVE GRADE DIFFERENCES. SEE ARCHITECTURAL FOR DETAILS.
- CONSTRUCT CONCRETE WALK THIS AREA TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING. NO BIRDBATHS. PROVIDE 2" WEEPHOLES THROUGH WALL TO 0.5 CF GRAVEL POCKETS AT 4' O.C. TO PASS MINOR FLOW.
- SLOPE TRANSITION WITHIN CONCRETE AS SHOWN.
- CONSTRUCT DETENTION POND THIS AREA. SEE SHEET C-2 FOR DETAILS. PROVIDE EROSION PROTECTION ON SOUTH POND SLOPE.
- CONSTRUCT CONCRETE RUNDOWN PER DETAIL SHEET C-2. CONSTRUCT TEMPORARY ASPHALT CURB BOTH SIDES TO DIRECT SUB-BASIN 1 FLOW TO NEW RUNDOWN.
- INSTALL POND OUTLET WITH 6" DIA. POND DRAIN AT 0.5% SLOPE. SEE SHEET C-2 FOR ADDITIONAL INFORMATION.
- CONSTRUCT LANDSCAPED DETENTION AREA AT GRADES SHOWN TO ACCEPT VALLEY GUTTER FLOW. FLOW IN EXCESS OF BASIN CAPACITY WILL DISCHARGE TO PAVEMENT AT LOW SIDE OVERFLOW.
- BUILDING ROOF DISCHARGE TO BE RELEASED TO INTERIOR PAVEMENT VIA DOWNSPOUTS WITH SIDEWALK CULVERTS OR PIPED AND RELEASED AT FACE OF TURNED DOWN WALK.
- SEE SHEET C-2 FOR PIPE OUTLET THIS AREA.
- CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- INSTALL PERMANENT TURF REINFORCEMENT MAT (TRM) ON ALL SIDESLOPES > 3:1. SEE LANDSCAPE PLAN.
- GRADES SHOWN WITHIN LANDSCAPED AREAS ARE FOR GENERAL GRADING INFORMATION TO INDICATE DRAINAGE DIRECTION. PROVIDE POSITIVE GRADING AWAY FROM BUILDING ALL SIDES. SEE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE INFORMATION.

COA ZONE ATLAS MAP #C-18



SITE INFORMATION

LEGAL: LOT 14A OF BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

AREA: 1.96 ACRES

SURVEYOR: THOMAS D. JOHNSTON - NMPS#14269

OFF-SITE: LOTS 18 AND 19A DRAIN THROUGH THIS PROPERTY. THE INCLUDED DRAINAGE REPORT ACCOUNTS FOR DISCHARGE FOR LOTS 12, 13, 14A, 18, 19A, 20 AND 21.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOOD ZONE 'X', DESIGNATED AS AREAS OUTSIDE THE 500 YEAR FLOODZONE.

GENERAL NOTES

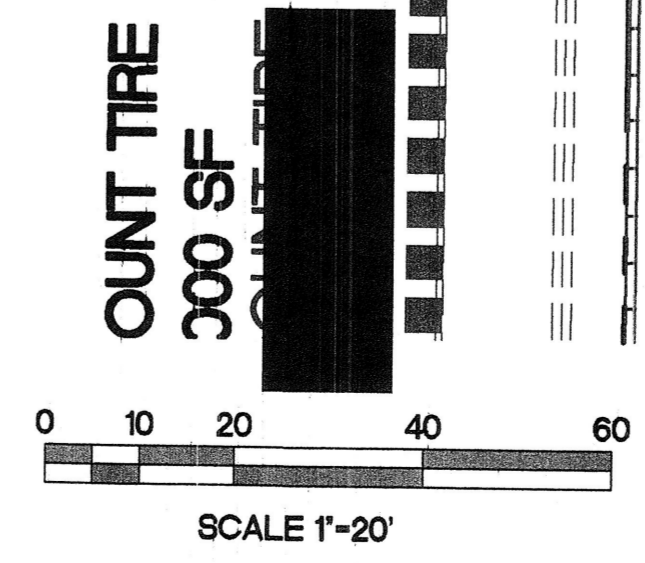
- COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES ARE SHOWN AS '+', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.

NOTES FROM SURVEY

- BOUNDARY DIMENSIONS ARE BETWEEN RECOVERED CORNERS AND CORRESPOND TO THOSE ON A PREVIOUS SURVEY BY WAYJOHN SURVEYING, INC. BEARINGS HAVE BEEN ROTATED TO NEW MEXICO STATE PLANE GRID, CENTRAL ZONE.
- BASIS OF ELEVATIONS: ACS BM "14-C18", 1-3/4" ALUM. DISK, SET ON TOP OF CONCRETE DROP INLET, APPROX. 1150' WEST OF CENTERLINE OF SAN PEDRO DRIVE. ELEV. 5207.00 (NGVD 29).
- TBM: N. MANHOLE RIM, LOCATED IN CONC. SIDEWALK, S. OF SOUTH PROPERTY LINE ELEV. 5214.98.
- LOCATIONS OF SANITARY SEWERS AND WATERLINES ARE FROM VISUAL NOTES SUPPLEMENTED BY ON-LINE GRAPHICS PROVIDED BY CITY GIS SITE.

LEGEND

- PROPERTY LINE
- x 50.0 EXISTING SPOT ELEVATION
- 5080 EXISTING CONTOUR
- 75.2 PROPOSED SPOT ELEVATION
- 60 PROPOSED CONTOUR
- SURFACE FLOW DIRECTION
- ▲ ENTRY / EXIT LOCATION
- FL FLOW LINE
- FF FINISHED FLOOR
- TRW TOP OF RETAINING WALL

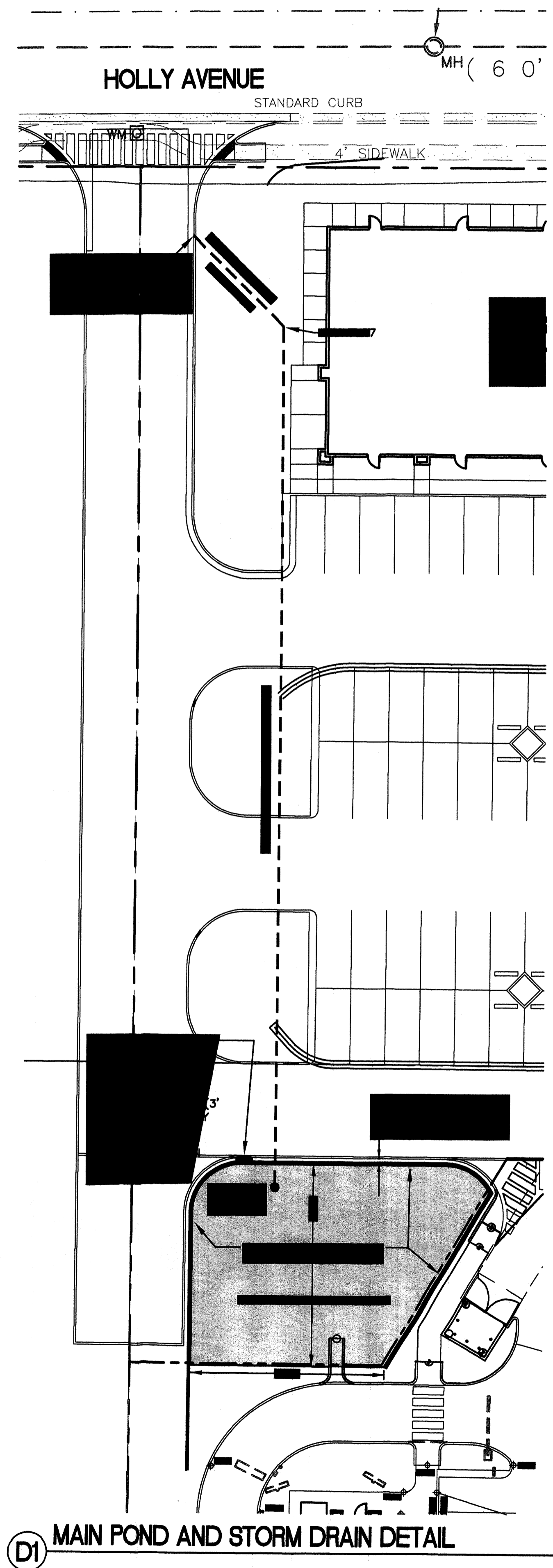


ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 PH. 505-268-8528 Fax. 505-268-2632
 1435.2GRD.dwg Oct 26, 2007

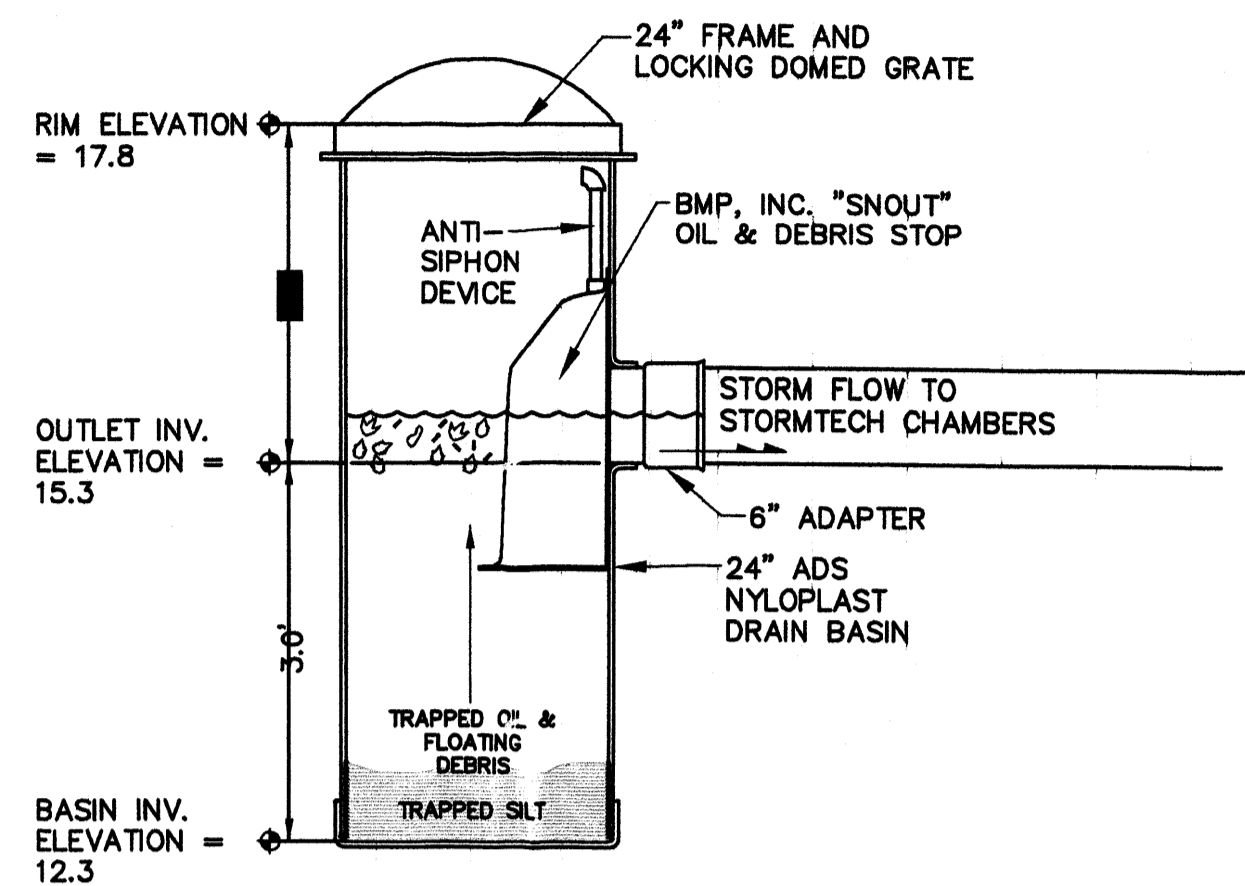
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HOLLY PLACE COMMERCIAL
Paseo Place, LLC
GRADING AND DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.:
..			1435.2
Drawn By:			
BJB			
Ckd By:			
FCA			
			C-1
			SH. OF



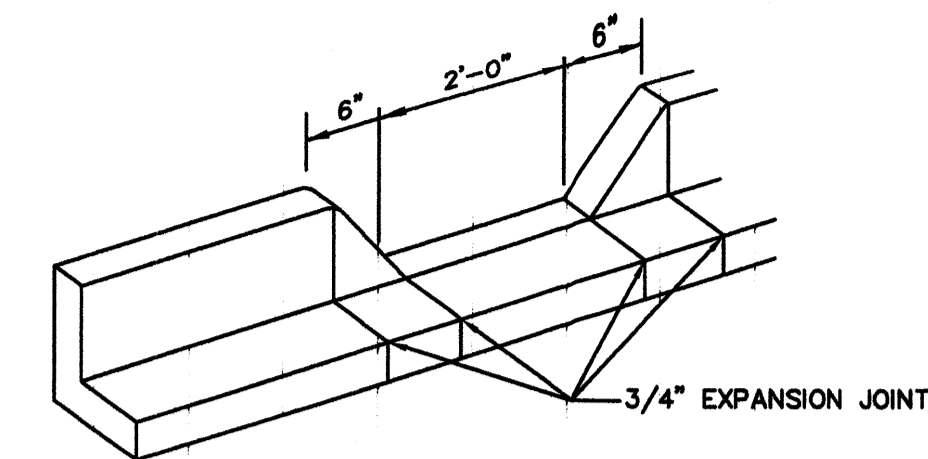
D1 MAIN POND AND STORM DRAIN DETAIL



NOTES:

1. MAIN POND OUTLET BASIN SHALL BE 24" DIA. MANUFACTURED BY NYLOPLAST, A DIVISION OF ADVANCED DRAINAGE SYSTEMS, INC. (800-821-6710) WITH BMP, INC. 'SNOUT' OIL AND DEBRIS HOOD (800 504-8008).
2. HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN.
3. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH STAINLESS STEEL SCREWS, STAINLESS RUBBER BACKED WASHERS, AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER.
4. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.

B2 MAIN POND OUTLET STRUCTURE

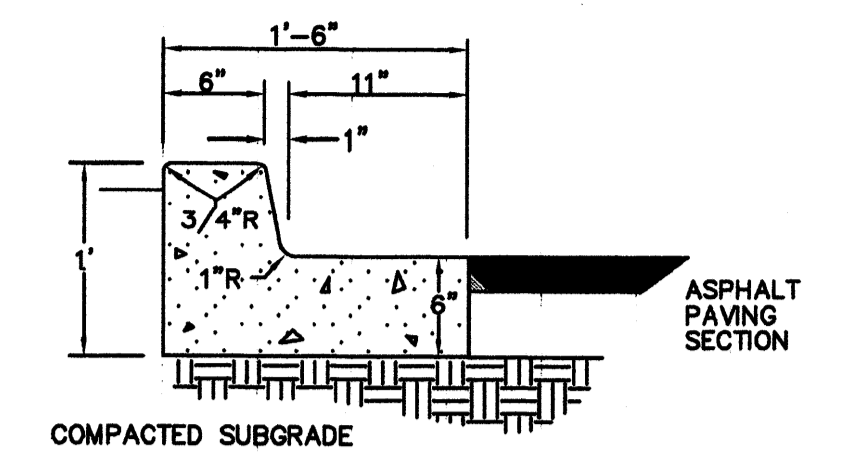


GENERAL NOTES

1. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.

A3 CURB OPENING

N.T.S.

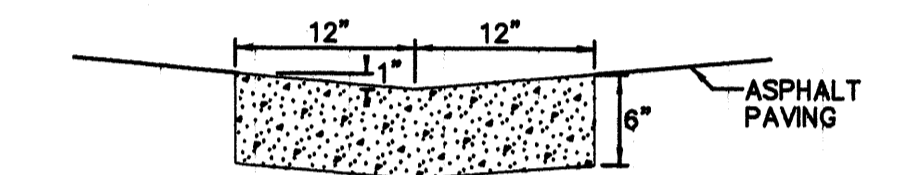


GENERAL NOTES

1. PROVIDE CONST. CONTROL JOINTS @ 6" O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48" O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.
3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES.

A4 MEDIAN CURB AND GUTTER

N.T.S.

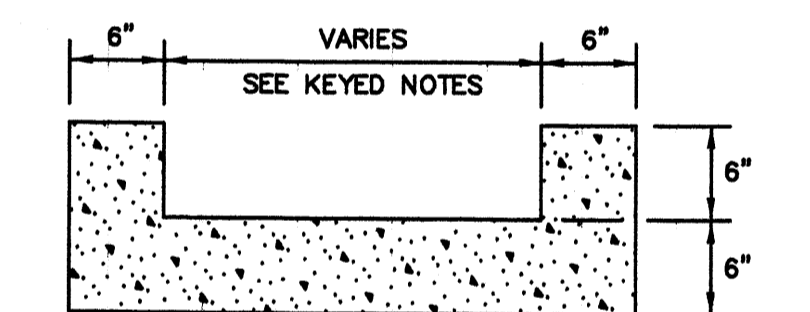


GENERAL NOTES

1. PROVIDE CONST CONTROL JOINTS @ 7" O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.

B4 CONCRETE ALLEY GUTTER

N.T.S.

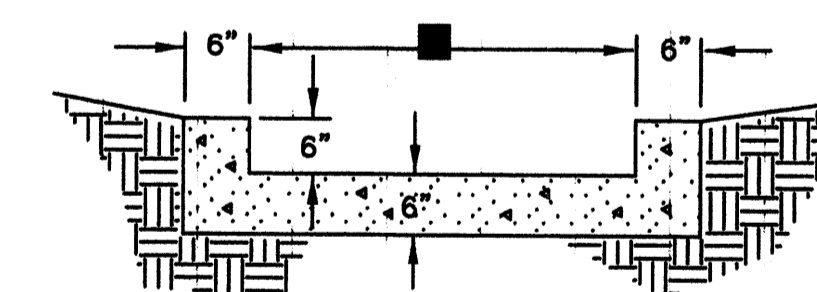


GENERAL NOTES

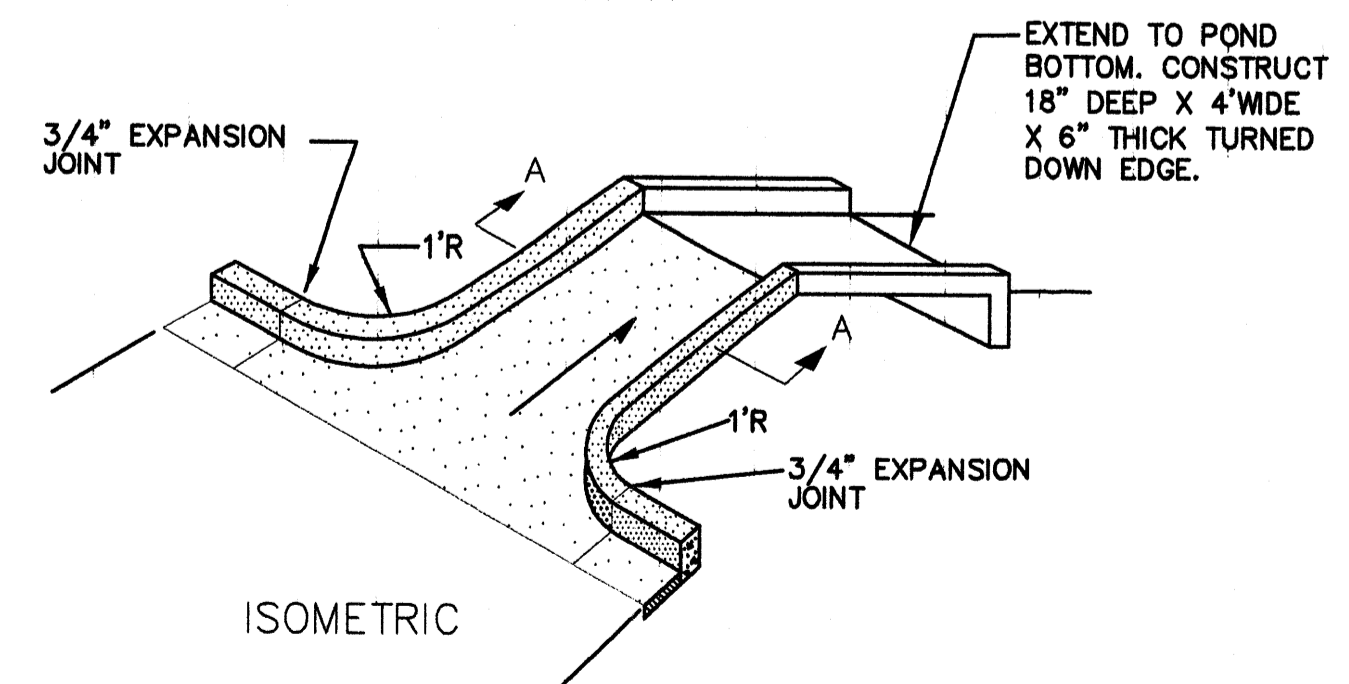
1. PROVIDE CONST CONTROL JOINTS @ 7" O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.

C4 'U' SHAPED CONC. CHANNEL

N.T.S.



SECTION A-A



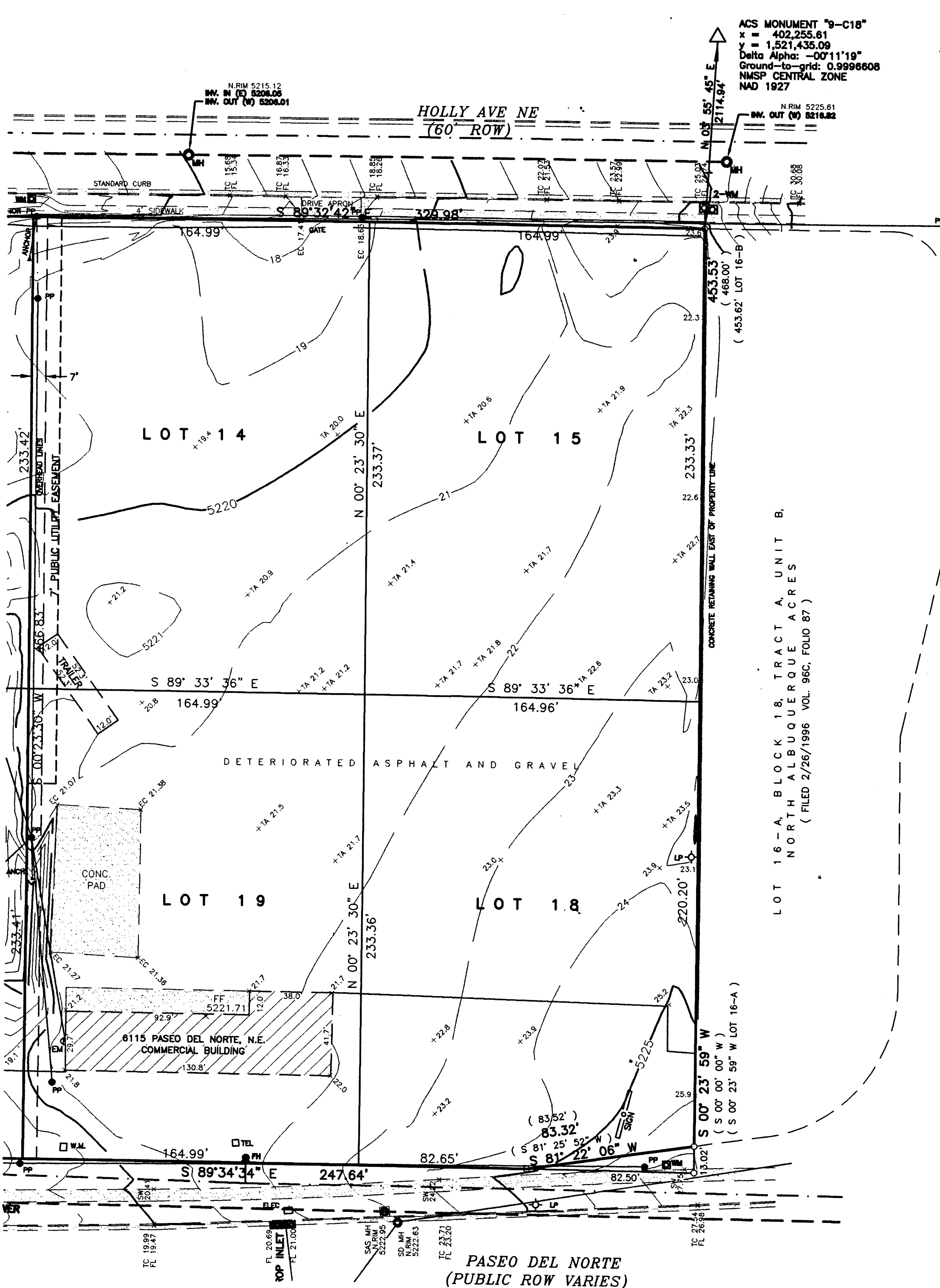
ISOMETRIC

D3 CONCRETE RUNDOWN

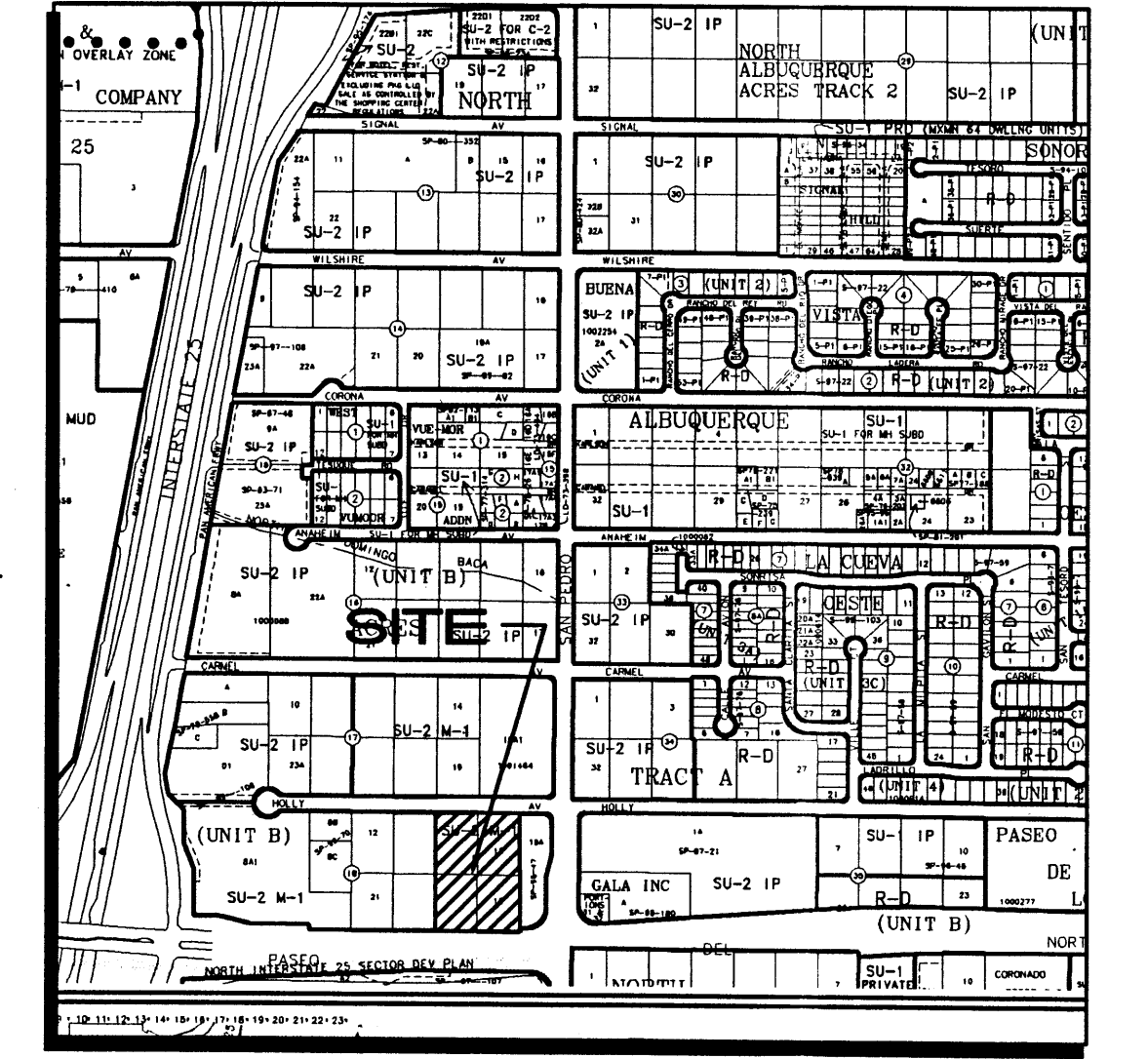
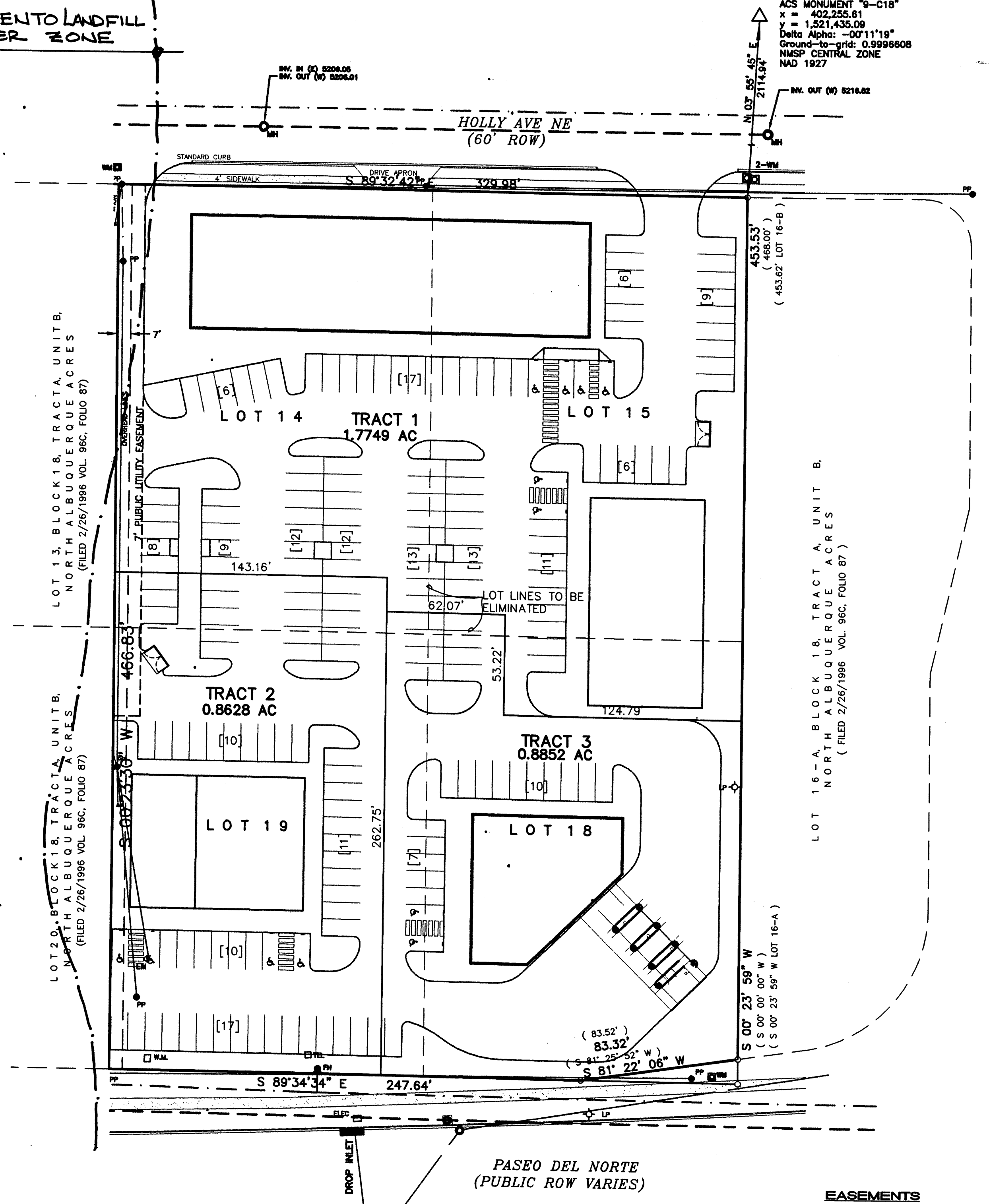
	ISAACSON & ARFMAN, P.A. Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph. 505-268-8828 Fax. 505-268-2632 1435.20RD.dwg Oct. 26, 2007	
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HOLLY PLACE COMMERCIAL			
Paseo Place, LLC			
GRADING AND DRAINAGE DETAILS			
Date:	No. Revisions:	Date:	Job No. 1435.2
Drawn By: BJB			C-2
Chk By: FCA			SH. OF

M:\ACTIVE\DA\1435-5\PLAT.dwg, 3/21/2006 9:57:29 AM



SACRAMENTO LANDFILL BUFFER ZONE



SITE DATA:

LEGAL DESCRIPTION:
Lots numbered Twelve (12), Thirteen (13), Fourteen (14), Fifteen (15), Eighteen (18), Nineteen (19), Twenty (20), and Twenty-one (21) in Block numbered Eighteen (18) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936.

LESS AND EXCEPTING therefrom property described in Warranty Deed filed June 16, 1997, recorded in Book 97-16, Page 1756, as Document No. 97060397, records of Bernalillo County, New Mexico.

The above described property is located within Zone "X (No Flood Hazards)", Community Panel No. 350002 0137 F, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

OWNER:
HOLLY SP, LCC

LEGEND

- EXISTING CONTOUR
- PROPOSED LOT LINE
- - - EXISTING LOT LINE
- == EXISTING CURB & GUTTER
- TRACT A PROPOSED TRACT
- LOT 12 EXISTING LOT
- [10] PROPOSED NUMBER OF SPACES.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Tel: 505-268-8828 Fax: 505-268-2632
1435GRD.DWG.dwg 3/21/06

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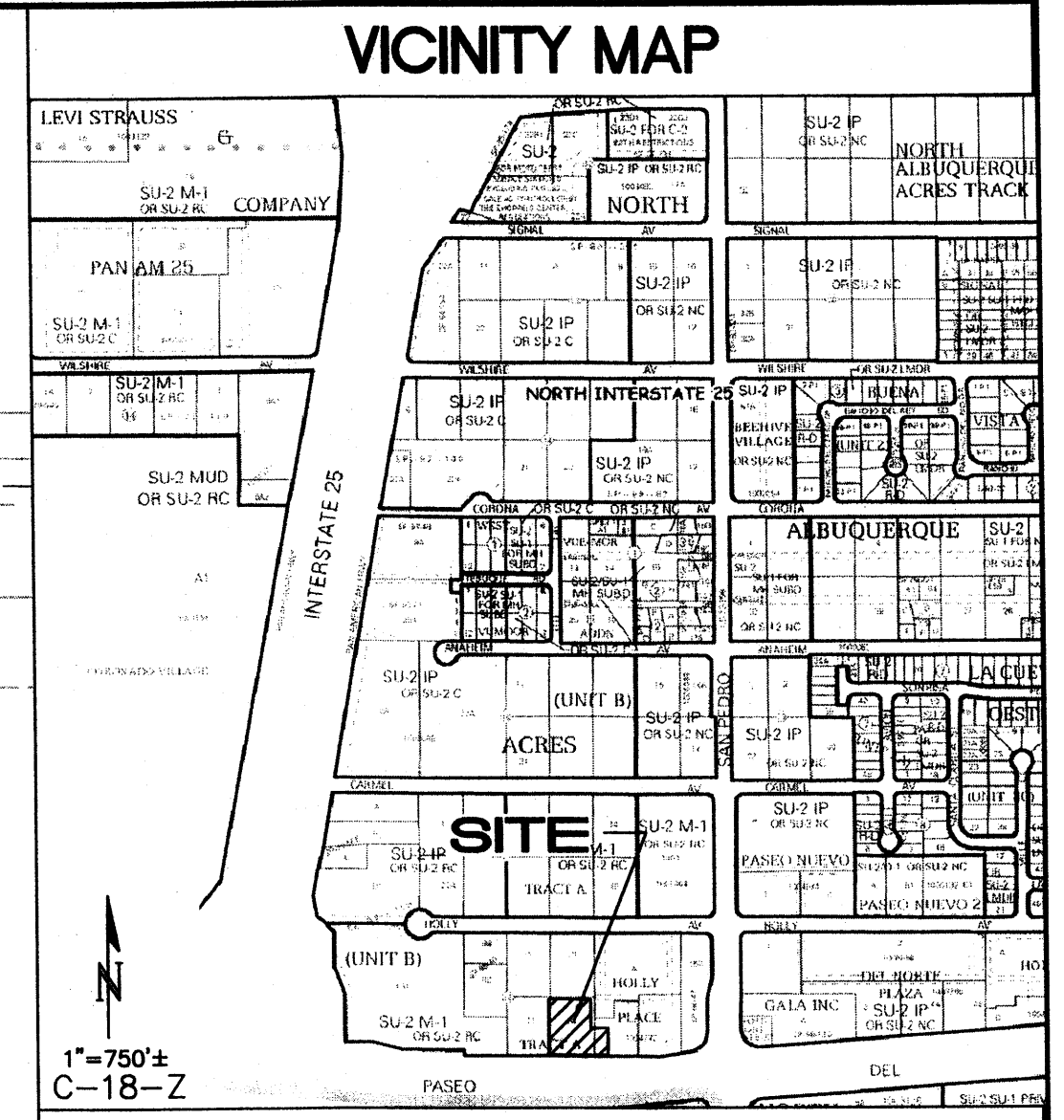
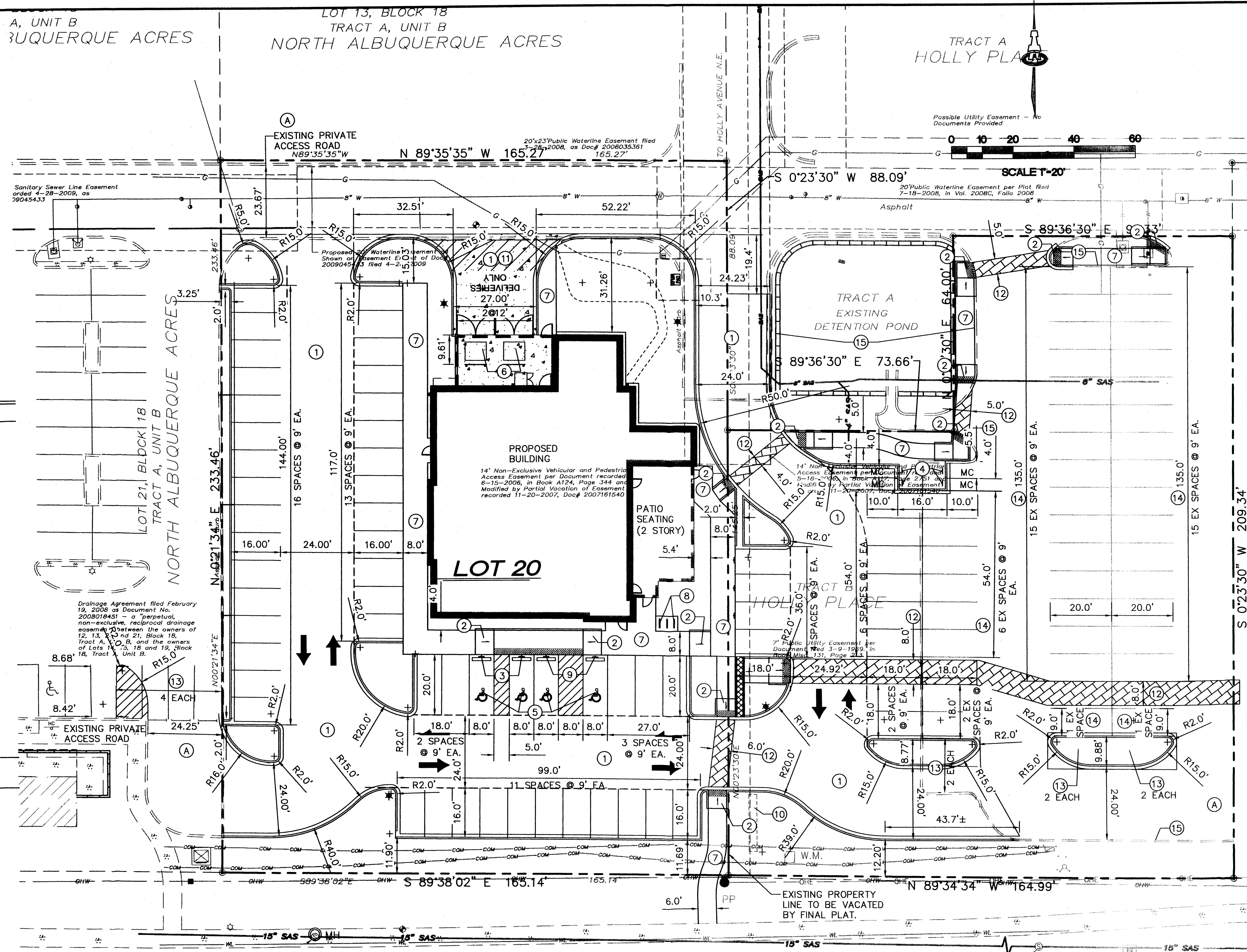
PASEO PLACE COMMERCIAL
HOLLY SP, LCC

SKETCH PLAT

Date:	3/20/06	No. Revision:		Date:		Job No.:	1435
Drawn By:	dip					PAGE	
Ckd By:	FCA					81	OF

EASEMENTS

CROSS-LOT ACCESS, PARKING AND PRIVATE DRAINAGES SHALL BE GRANTED TO THE BENEFIT OF PROPOSED SHOWN TRACTS AND THE ADJOINING TRACT(S) TO THE EAST.



INDEX TO DRAWINGS

SHEET NO.	TITLE
CP-001	SITE DEVELOPMENT PLAN
CP-501	PAVING DETAILS
CG-101	GRADING & DRAINAGE PLAN
CU-101	UTILITY PLAN
LS-101	LANDSCAPE PLAN
A-200	ELEVATIONS (FRONT & SIDE)
A-201	ELEVATIONS (REAR & SIDE)
A-202	ELEVATIONS (PATIO)

PROJECT DATA

LEGAL DESCRIPTION: TRACT 8, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, NM

ZONING: SU-2 FOR M-1

AREAS:

TRACT AREA:	68,377 SF
BUILDING FOOTPRINT:	5,681 SF
PATIO AREA:	1,606 SF
F.A.R.	0.083

PROPOSED USE: RESTAURANT WITH PATIO DINING

PARKING ANALYSIS

TOTAL PARKING SPACES	REQUIRED = 397 OCCUPANCY/3 = 99 SPACES
PROVIDED = 101 SPACES	
NORMAL SPACES = 97	
ADA PARKING SPACES	REQUIRED = 4 SPACES
PROVIDED = 4 SPACES (INCLUDING 2 VAN ACCESSIBLE)	
MOTORCYCLE PARKING SPACES	REQUIRED = 3 SPACES
PROVIDED = 4 SPACES	
BICYCLE PARKING	REQUIRED = 97/20 = 5 SPACES
PROVIDED = 5 SPACES	

EASEMENT NOTES

A. EXISTING PRIVATE CROSS-LOT ACCESS EASEMENT PER DOC# 20080818450 FILED 02/19/08.

GENERAL NOTES

- SIGNAGE SHALL COMPLY WITH CITY DESIGN STANDARDS. ONE SHARED MONUMENT SIGN IS EXISTING ALONG PASEO DEL NORTE. FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
- ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6% OF EACH BUILDING ELEVATION FACADE.
- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE MONTANO PLAZA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 16FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
- ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED (SEE ARCHITECTS ELEVATIONS)
- THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES SUCH AS DEPRESSED LANDSCAPE, SHALL BE PROVIDED WHERE PRACTICAL.
- RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES PER PNM DESIGN GUIDELINES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DEPARTMENT TO COORDINATE ELECTRICAL SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTION.
- FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NM811 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

PASEO DEL NORTE BOULEVARD N.E.

PROJECT SUMMARY

- ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.
 - SEE CIVIL DETAIL SHEET, CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
 - ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0", WITH 2' OVERHANG, 2' OVERHANG INTO LANDSCAPE AREA IS NOT PART OF LANDSCAPE CREDIT.
 - ALL ACCESSIBLE PARKING SPACES AS DIMENSIONED AND 20'-0" DEEP.
 - ALL MOTORCYCLE PARKING SPACES ARE 4'-0" WIDE BY 10'-0" DEEP.
 - ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
 - ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.
 - ALL CURB RADII AT END OF ISLANDS ARE 2'R UNLESS OTHERWISE DIMENSIONED.
- THE PROPOSED PROJECT CONSISTS OF A SINGLE-STORY RESTAURANT WITH AN "OUTDOOR" PATIO SPACE, AN OUTDOOR LOFT, AND ASSOCIATED PARKING, ACCESS AND LANDSCAPING TO BE BUILT IN A SINGLE PHASE. THE SITE IS SITUATED ON TRACT 8, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, HAVING A LAND AREA OF 1.5697 ACRES (68,377 SF). A PLAT WILL COMBINE THESE 2 LOTS INTO A SINGLE TRACT.
- MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PEDESTRIAN CONNECTIONS:
- THE EXISTING PEDESTRIAN SIDEWALK FROM PASEO DEL NORTE TO THE SOUTH WILL CONNECT TO THE ONSITE PEDESTRIAN ACCESS WALK.
 - AN EXISTING PEDESTRIAN PATH FROM THE DISCOUNT TIRE PARKING TO THE EAST WILL BE EXTENDED WEST TO THE BUILDING.
 - AN EXISTING PEDESTRIAN PATH FROM THE NORTHEAST WILL BE EXTENDED SOUTH TO THE BUILDING.

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

KEYED NOTES

- PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- ADA ACCESSIBILITY RAMP, SEE DETAILS CP-501.
- ACCESSIBLE PARKING SIGN, SEE DETAIL CP-501.
- MOTORCYCLE PARKING SIGN, SEE DETAIL CP-501.
- ACCESSIBLE PARKING STALL, SEE DETAILS CP-501.
- GARBAGE ENCLOSURE (ROLL-OUT).
- PCC SIDEWALKS, SEE DETAIL SHEET CP-501.
- 3-BIKE RACKS. SEE DETAIL SHEET CP-501.
- VAN ACCESSIBLE PARKING SIGN, SEE DETAIL CP-501.
- EXISTING MONUMENT SIGN, SHARED PER MASTER AGREEMENT.
- GARBAGE/LOADING ACCESS.
- ADA PATH, STAMPED, COLORED CONCRETE.
- EXISTING PARKING SPACES TO BE REMOVED.
- EXISTING PARKING SPACES TO REMAIN.
- EXISTING TO REMAIN.

PREPARED FOR: APPLE INVESTORS GROUP
917 RAVENWOOD WAY
CANTON, GA 30115

PREPARED BY: ISAACSON & ARFMAN, P.A.
128 MONROE ST NE
ALBUQUERQUE, NM 87108

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com

1985 CP-001.dwg Nov 04, 2013

PROJECT # 100477Z
13-1047(CIP)
11-13-13

hckl
10965 LOWELL AVENUE,
ph: 913.646.8181

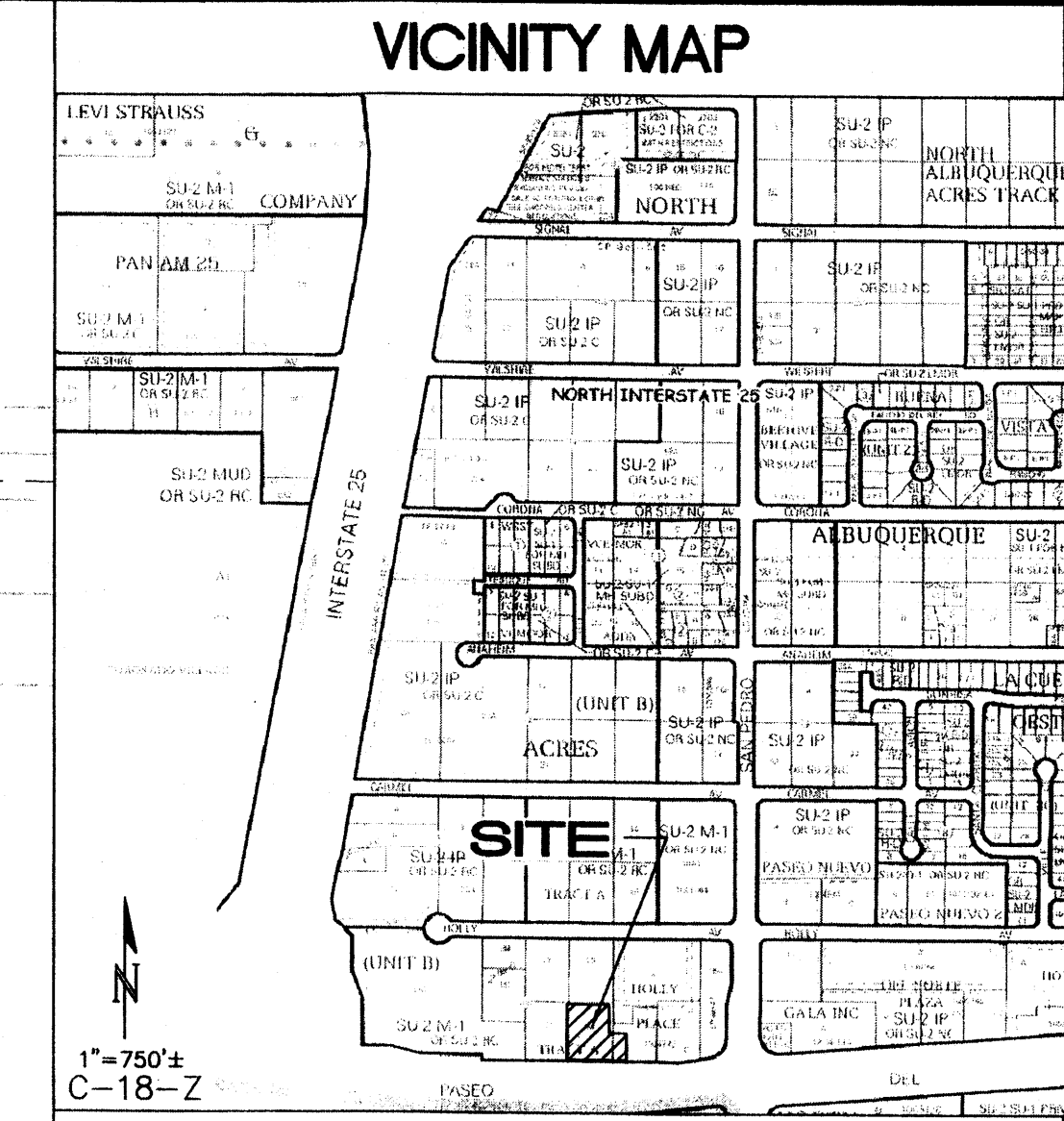
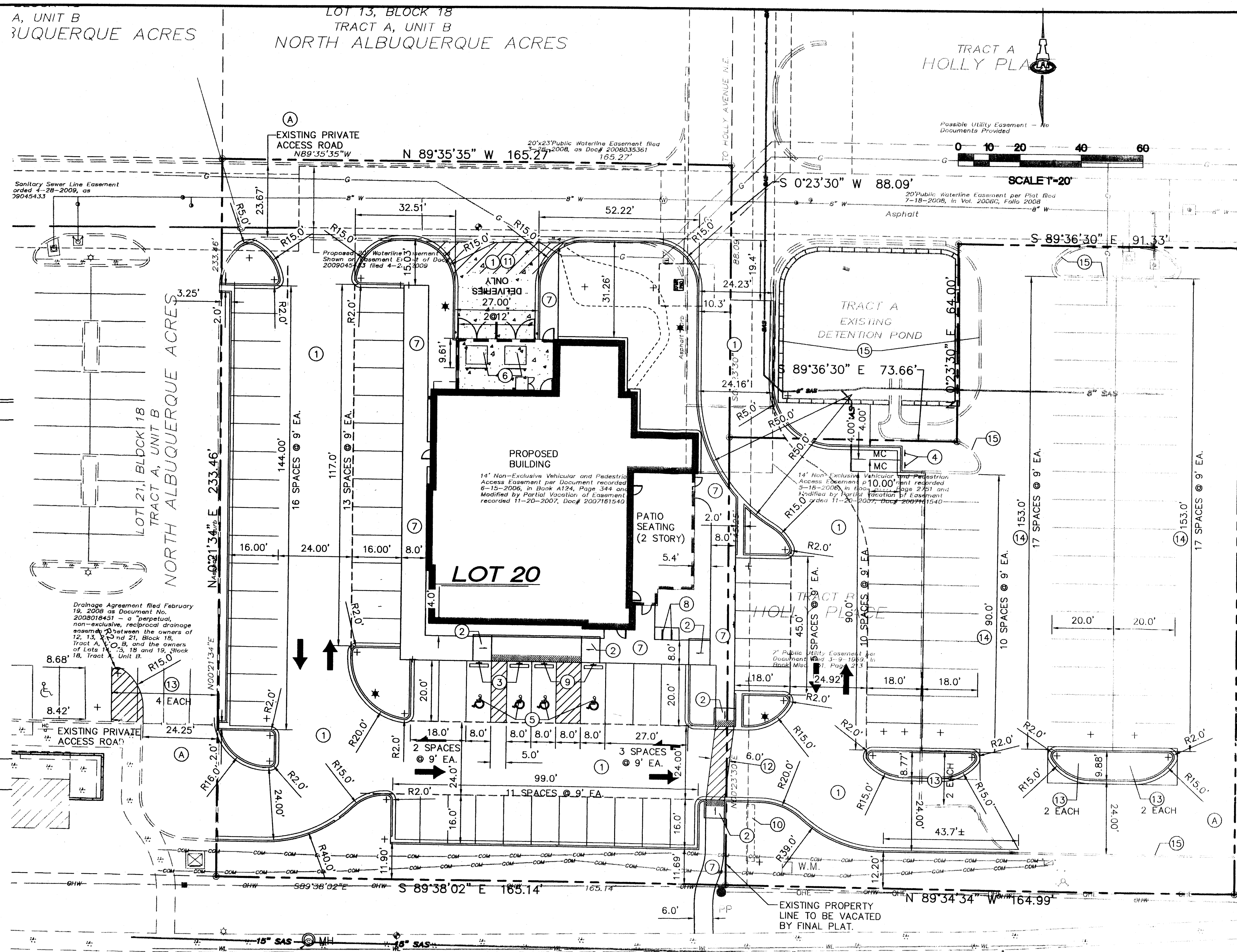
project title
CP-001 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT drawing number

professional seal

project number
13024.016

drawing issuance
BID / PERMIT 09/23/2013

drawing revisions
No. Description Date



INDEX TO DRAWINGS

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LS-101	LANDSCAPE PLAN
A-200	ELEVATIONS (FRONT & SIDE)
A-201	ELEVATIONS (REAR & SIDE)
A-202	ELEVATIONS (PATIO)

PROJECT DATA

LEGAL DESCRIPTION: TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, NM

ZONING: SU-2 FOR M-1

AREAS:

TRACT AREA:	68,377 SF
BUILDING FOOTPRINT:	5,681 SF
PATIO AREA:	1,606 SF
F.A.R.	0.083

PROPOSED USE: RESTAURANT WITH PATIO DINING

PARKING ANALYSIS

STANDARD PARKING SPACES	REQUIRED = 568 SF/200 = 29 SPACES	PROVIDED = 60 SPACES
ADA PARKING SPACES	REQUIRED = 4 SPACES	PROVIDED = 4 SPACES (INCLUDING 2 VAN ACCESSIBLE)
MOTORCYCLE PARKING SPACES	REQUIRED = 2 SPACES	PROVIDED = 2 SPACES
BICYCLE PARKING	REQUIRED = 4 SPACES	PROVIDED = 4 SPACES

EASEMENT NOTES

A. EXISTING PRIVATE CROSS-LOT ACCESS EASEMENT PER DOC# 20080818450 FILED 02/19/08).

- KEYED NOTES**
- PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
 - ADA ACCESSIBILITY RAMP, SEE DETAILS CP-501.
 - ACCESSIBLE PARKING SIGN, SEE DETAIL CP-501.
 - MOTORCYCLE PARKING SIGN, SEE DETAIL CP-501.
 - ACCESSIBLE PARKING STALL, SEE DETAILS CP-501.
 - GARBAGE ENCLOSURE (ROLL-OUT).
 - PCC SIDEWALKS, SEE DETAIL SHEET CP-501.
 - 2-BIKE RACKS. SEE DETAIL SHEET CP-501.
 - VAN ACCESSIBLE PARKING SIGN, SEE DETAIL CP-501.
 - EXISTING MONUMENT SIGN, SHARED PER MASTER AGREEMENT.
 - GARBAGE/LOADING ACCESS.
 - ADA PATH, STRIPED.
 - EXISTING PARKING SPACES TO BE REMOVED.
 - EXISTING PARKING SPACES TO REMAIN.
 - EXISTING TO REMAIN.

- GENERAL NOTES**
- SIGNAGE SHALL COMPLY WITH CITY DESIGN STANDARDS. ONE SHARED MONUMENT SIGN IS EXISTING ALONG PASEO DEL NORTE. FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
 - ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 6% OF EACH BUILDING ELEVATION FACADE.
 - ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE MONTANO PLAZA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 16FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
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PASEO DEL NORTE BOULEVARD N.E.

PROJECT SUMMARY

- THE PROPOSED PROJECT CONSISTS OF A SINGLE-STORY RESTAURANT WITH AN "OUTDOOR" PATIO SPACE, AN OUTDOOR LOFT, AND ASSOCIATED PARKING, ACCESS AND LANDSCAPING TO BE BUILT IN A SINGLE PHASE. THE SITE IS SITUATED ON TRACT B, HOLLY PLACE AND LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, HAVING A LAND AREA OF 1.5697 ACRES (68,377 SF). A PLAT ACTION TO ASSEMBLE THE TRACTS INTO A SINGLE PARCEL IS CURRENTLY BEING PROCESSED THROUGH THE DEVELOPMENT REVIEW BOARD.
- MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PEDESTRIAN CONNECTIONS: THE EXISTING PEDESTRIAN SIDEWALK FROM PASEO DEL NORTE TO THE SOUTH WILL CONNECT TO THE ONSITE PEDESTRIAN ACCESS WALK.
- ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.
 - SEE CIVIL DETAIL SHEET, CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
 - ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0", WITH 2' OVERHANG. 2' OVERHANG INTO LANDSCAPE AREA IS NOT PART OF LANDSCAPE CREDIT.
 - ALL ACCESSIBLE PARKING SPACES AS DIMENSIONED AND 20'-0" DEEP.
 - ALL MOTORCYCLE PARKING SPACES ARE 4'-0" WIDE BY 10'-0" DEEP.
 - ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
 - ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.
 - ALL CURB RADI AT END OF ISLANDS ARE 2'R UNLESS OTHERWISE DIMENSIONED.

APD PLANS CHECKING OFFICE
 924-3511
 APPROVED/DISAPPROVED
 09/23/13
 DATE 09/26/13
 PD ACCESS 0-147

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department-(conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

PREPARED FOR: APPLE INVESTORS GROUP
 917 RAVENWOOD WAY
 CANTON, GA 30115

PREPARED BY: ISAACSON & ARFMAN, P.A.
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 1985 CP-001.dwg Sep 24, 2013

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Applebees
 Lot 20 Holly Place
 ALBUQUERQUE, NEW MEXICO, 12345

project title
 CP-001 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

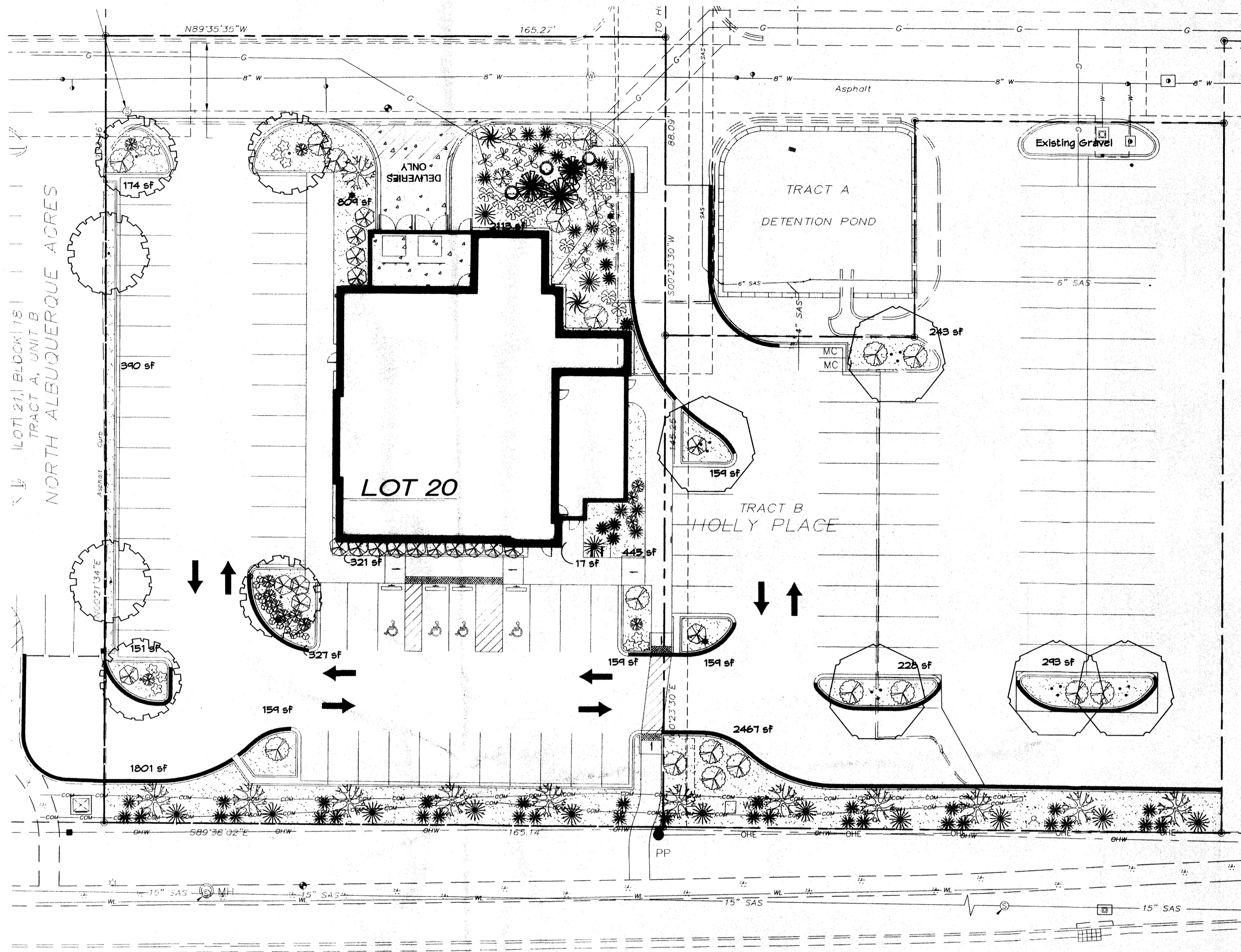
project number
 13024.016

drawing issuance
 BID / PERMIT 09/23/2013

drawing revisions
 No. Description Date:

professional seal

drawing title
 CP-001 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



PASEO DEL NORTE BOULEVARD N.E.

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- SHADE TREES - STREET TREE REQUIREMENT**
- EASTERN REDBUD 5
Cercis canadensis
2" Cal., 8'-10" Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
- SHADE TREES - PARKING LOT TREE REQUIREMENT**
- CHITALPA 6
Chilopsis x Catalpa
2" Cal., 12'-14" Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
- DESERT ACCENTS**
- PALM YUCCA 3
Yucca faxonla
4'-8" Inst., 15' x 6' maturity
Water (L) Allergy (L) Osf
 - OCOTILLO 1
Fouquieria splendens
4'-6" Inst./15' x 10' maturity
Water (L) Allergy (L) Osf
 - BEARGRASS 14
Nolina microcarpa
5 Gal., 10'-3" Inst./5' x 6' maturity
Water (L+) Allergy (L) 36sf
 - BLUE SOTOL 6
Dasylirion wheeleri
10'-3" Inst./3' x 5' maturity
Water (L+) Allergy (L) 25sf
 - BANANA YUCCA 2
Yucca baccata
5 Gal., 10'-3" Inst./4' x 5' maturity
Water (L) Allergy (L) 25sf
 - AGAVE 14
Agave spp.
14'-10" Inst./4' x 4' maturity
Water (L+) Allergy (L) 16sf
 - RED YUCCA 45
Hesperaloe parviflora
5 Gal., 10'-3" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - FRICKLY PEAR 12
Opuntia macrocentra
5 Gal., 12'-3" Inst./3' x 3' maturity
Water (L) Allergy (L) 9sf
- SHRUBS/ORNAMENTAL GRASSES**
- SPANISH BROOM 12
Genista hispanica
5 Gal., 2'-4" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
 - PONS CASTLE SAGE 20
Artemisia x Pouis Castle
1 Gal., 6'-15" Inst./2' x 5' maturity
Water (L+) Allergy (L) 25sf
 - MUSO PINE 3
Pinus musgo
5 Gal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
 - REGAL MIST 13
Muhlenbergia capillaris
5 Gal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
 - POTENTILLA 14
Potentilla fruticosa
1 Gal., 3'-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf
 - WILDFLOWER 16
1 Gal., 3'-15" Inst./varies at maturity
Water (varies) Allergy (varies) 4sf
- GROUNDCOVERS**
- HONEYSUCKLE 10
Lonicera japonica 'Halliana'
1 Gal., 6'-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-groundcover
- HARDSCAPES**
- OVERSIZED GRAVEL 4 3 BOULDERS
 - 1" +/- BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - 2-4" SAN LAZARUS GOLD COBBLE WITH FILTER FABRIC
- * DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 5 Provided 5

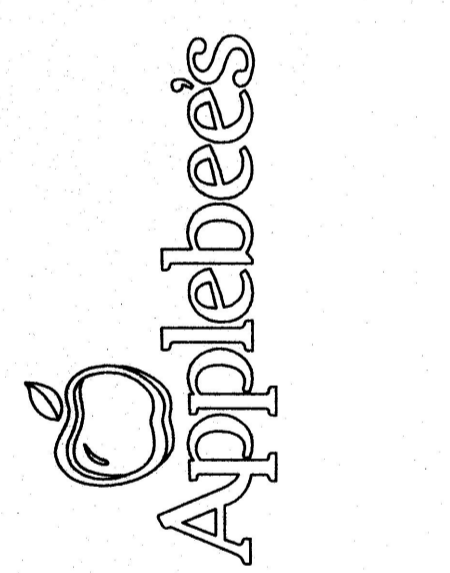
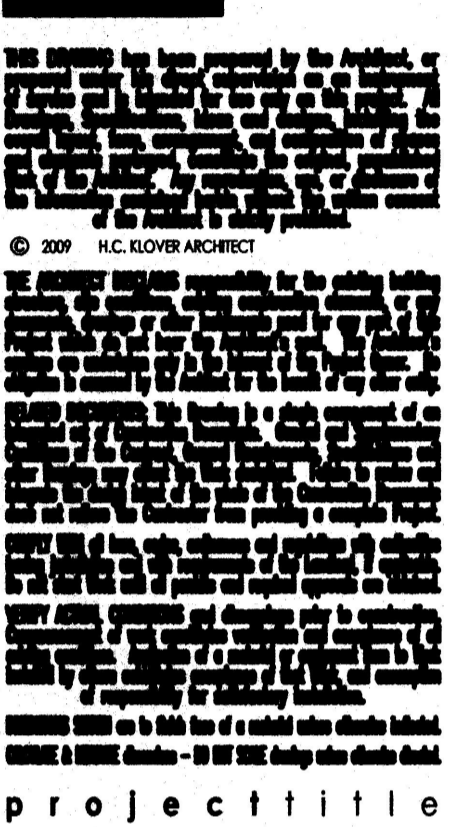
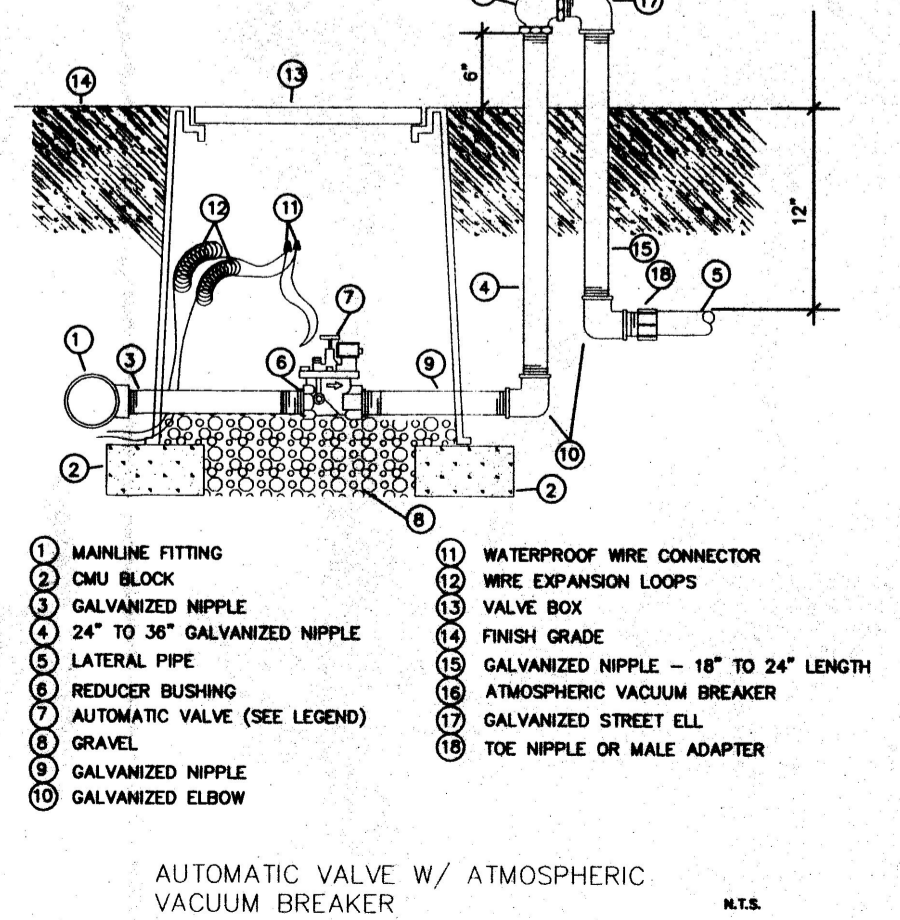
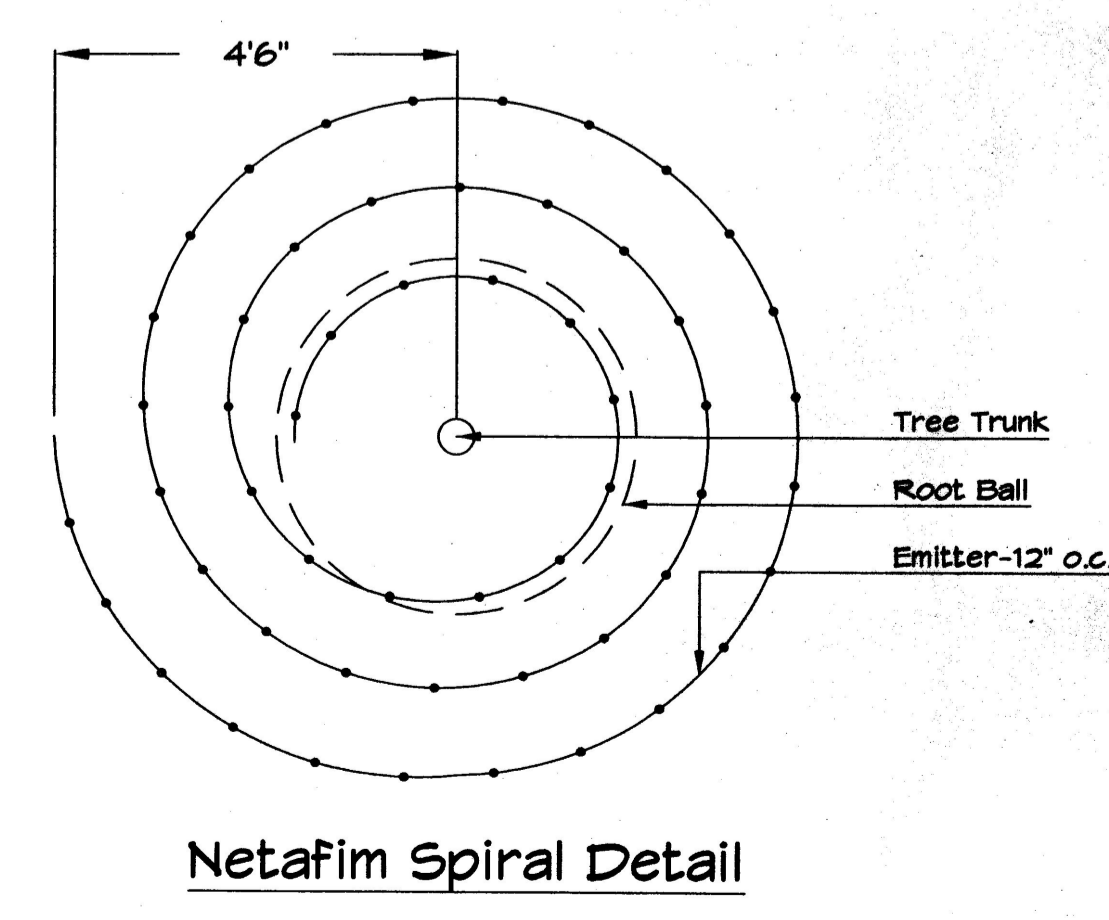
NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

GRAVEL ACCENT DETAIL

LANDSCAPE CALCULATIONS

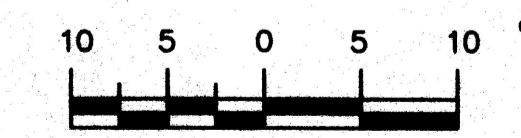
TOTAL LOT AREA	30551	square feet
TOTAL BUILDINGS AREA	7493	square feet
NET LOT AREA	31066	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4659	square feet
TOTAL BED PROVIDED	10415*	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	7811	square feet
TOTAL GROUNDCOVER PROVIDED	8330 (79%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL EXISTING BED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	10415*	square feet

*includes offsite



No.	Description	Date
1	Rev. SitePlan	8-12-13
2	Rev. SitePlan/Client Comments	9-11-13
3	Clarification of extents	9-16-13

GRAPHIC SCALE

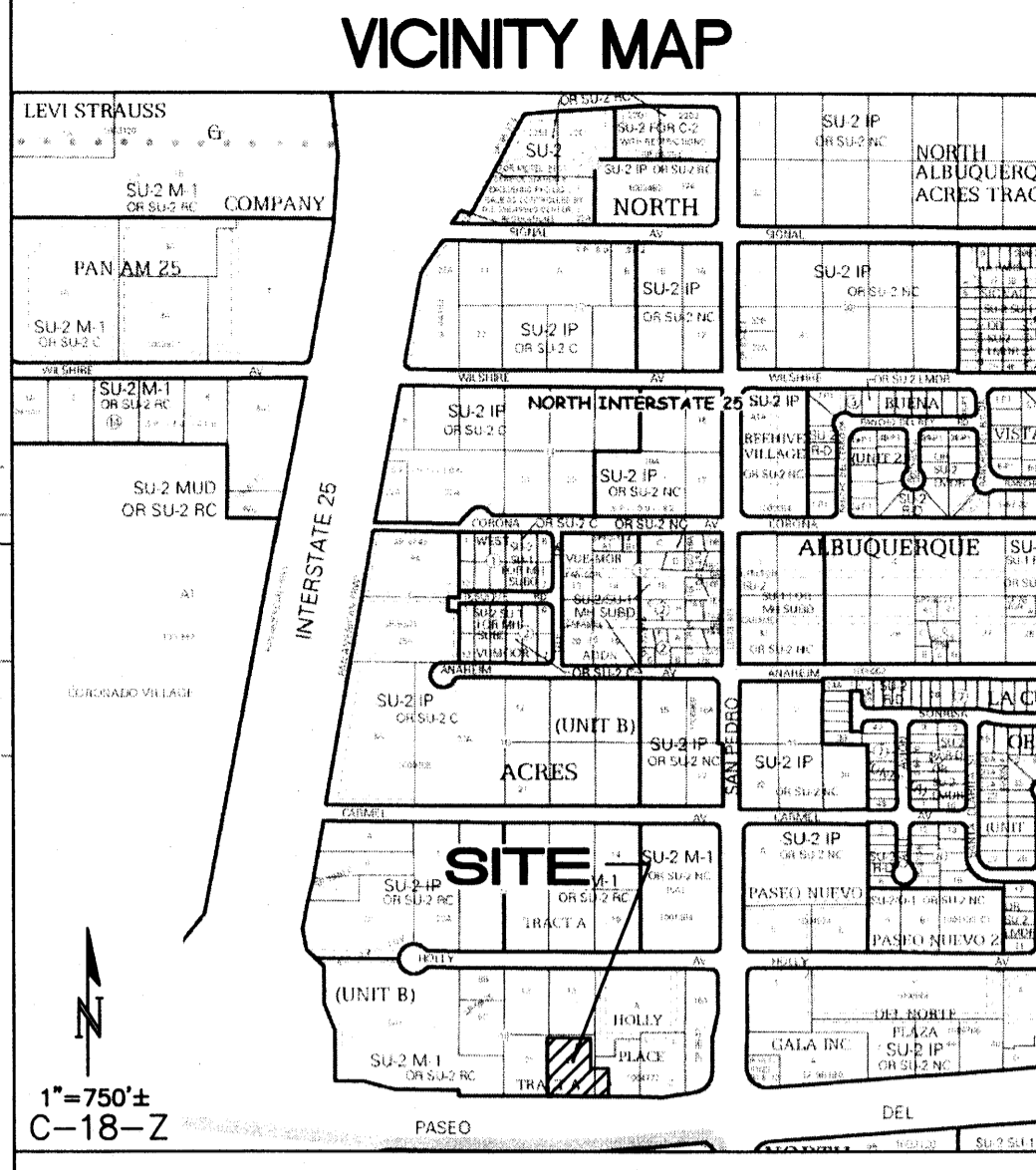
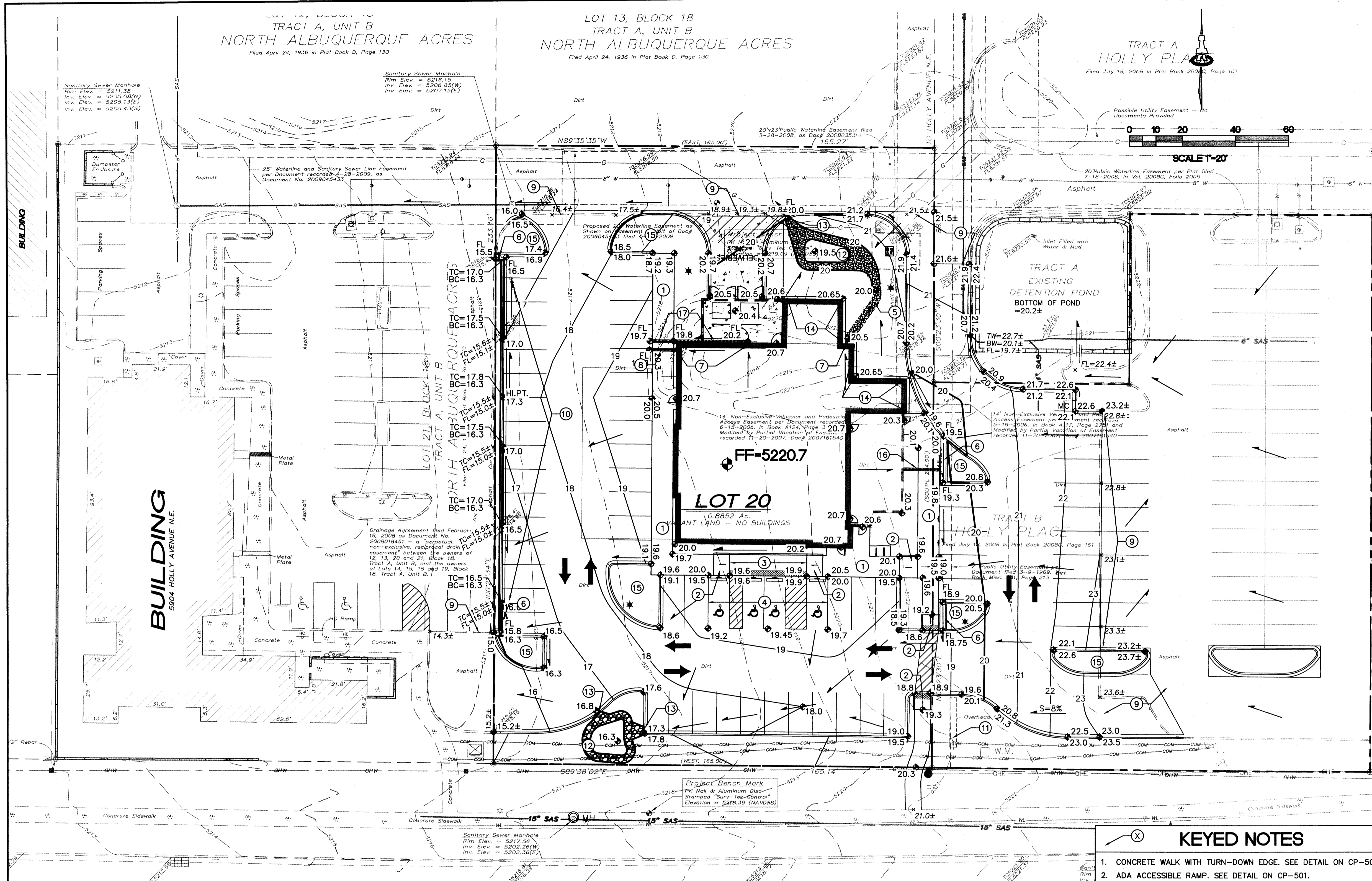


SCALE: 1"=10'

The Hilltop

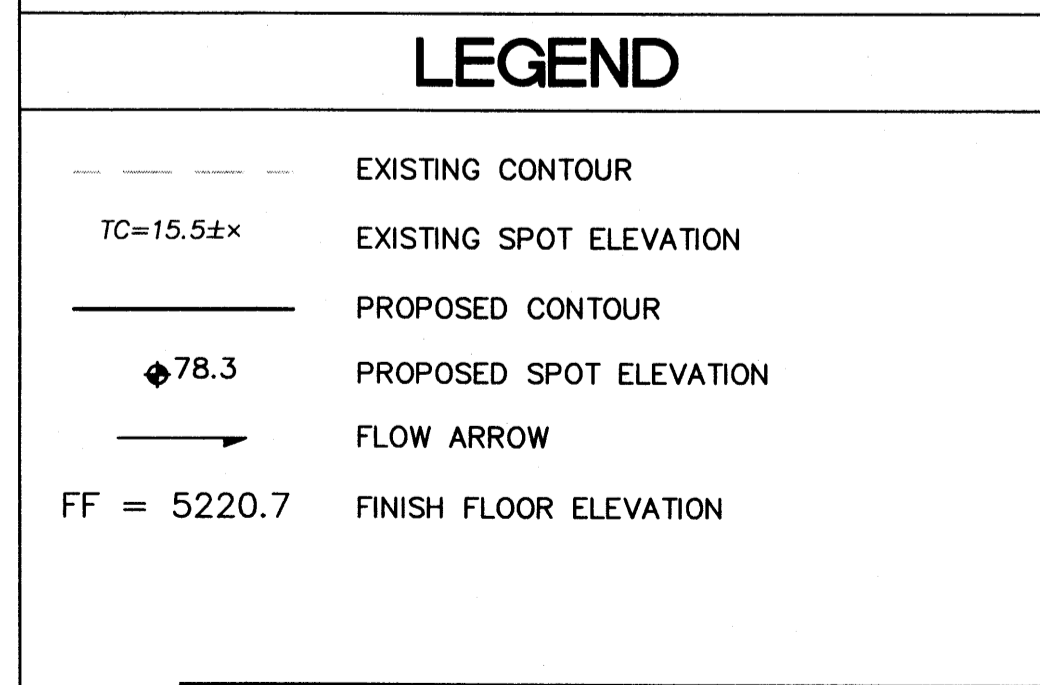
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com

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128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com



- ### GENERAL NOTES
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
 - ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
 - ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
 - FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
 - UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
 - EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
 - OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
 - OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
 - THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
 - ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
 - ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "MATCH" OR "±", TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND LEVEL.
 - ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).
 - ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

- ### KEYED NOTES
- CONCRETE WALK WITH TURN-DOWN EDGE. SEE DETAIL ON CP-501.
 - ADA ACCESSIBLE RAMP. SEE DETAIL ON CP-501.
 - SIDEWALK FLUSH WITH PAVING.
 - ADA ACCESSIBLE PARKING AREA WITH 2% MAXIMUM SLOPE IN ANY DIRECTION. SEE DETAIL ON CP-501.
 - FRACTURED FACE ROCK SWALE. SEE GENERAL NOTE 'L'. SEE DETAIL ON CG-501.
 - 2' WIDE CONCRETE RUNDOWN. SEE DETAIL ON CP-501.
 - ROOF DRAIN LOCATION. SEE ARCHITECTURAL PLANS.
 - EXTEND 4" ROOF DRAIN THROUGH FACE OF WALK. SEE DETAIL ON CG-501.
 - TIE NEW PAVING TO EXISTING PAVING. PROVIDE SMOOTH TRANSITION.
 - EXTENDED DEPTH HEADER CURB WITH GUTTER TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE DETAIL ON CG-501.
 - EXISTING SIGN. CONTRACTOR TO PROTECT DURING CONSTRUCTION.
 - 6" DEEP WATER HARVESTING AREA WITH FRACTURED FACE ROCK SIDE SLOPES AT 6:1. MUST BE AT LEAST 10' AWAY FROM BUILDING FOOTPRINT. SEE GENERAL NOTE 'L'.
 - 2' WIDE CURB OPENING. SEE DETAIL ON CG-501.
 - CONSTRUCT 8" WIDE CONCRETE MOW CURB ADJACENT TO BUILDING THIS AREA TO ACHIEVE GRADES SHOWN. SEE DETAIL ON CG-501.
 - DEPRESS ALL LANDSCAPING MIN. 6" TO PROVIDE WATER HARVESTING EXCEPT FOR ALL AREAS WITHIN 10' OF BLDG.
 - TRENCH DRAIN THROUGH SIDEWALK. SEE DETAIL ON CG-501. CUT GRATE AS NEEDED TO ALLOW ROOF DRAIN FLOWS TO ENTER TRENCH DRAIN.
 - TRENCH DRAIN TO CAPTURE ROOF DRAIN FLOWS, AND DIRECT THEM TO THE WESTERN PARKING AREA. SEE DETAIL ON CG-501. CUT GRATE AS NEEDED TO ALLOW ROOF DRAIN FLOWS TO ENTER TRENCH DRAIN.



PASEO DEL NORTE BOULEVARD N.E.

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 20, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, TOGETHER WITH PORTIONS OF TRACT B, HOLLY PLACE.

AREA: 1.16 ACRES

BENCHMARK: VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "9-C18" HAVING A PUBLISHED ELEVATION OF 5232.470' (NAVD 1988)

SURVEYOR: SURV-TEK, INC.
9384 VALLEY MEW DR NW
ALBUQUERQUE, NM 87114
RUSS T. HUGG, PLS
(505) 897-3366

FLOOD HAZARD: THIS SITE IS OUTSIDE OF THE 100-YEAR FLOOD PLAN, PER FEMA FIRM PANEL 35001C0137H DATED AUGUST 16, 2012

EXISTING CONDITIONS: THIS SITE IS AN UNDEVELOPED, PREVIOUSLY GRADED PROPERTY, THAT IS PART OF THE MASTER PLANNED HOLLY PLACE (AKA PASEO PLACE) COMMERCIAL PROJECT. PASEO DEL NORTE IS TO THE SOUTH. THERE ARE EXISTING DEVELOPMENTS TO THE EAST AND WEST, WITH UNDEVELOPED COMMERCIAL TRACTS TO THE NORTH.

THERE IS AN EXISTING MASTER DRAINAGE PLAN FOR THE SITE. A RETENTION POND TO THE EAST THAT CAPTURES FLOWS FROM DEVELOPMENTS TO THE EAST AND NORTHEAST. MINOR OFFSITE STORM WATER FLOWS IN THE ACCESS ROAD ON THE NORTH

SIDE OF THE PROJECT: FLOWS FROM THE EXISTING PARKING LOT TO THE EAST ARE DIVERTED NORTH, AND DON'T ENTER THIS SITE.

THE PROPERTY SLOPES TO THE WEST, AND HAS HAD PREVIOUS GRADING ACTIVITIES.

PROPOSED CONDITIONS: PER THE MASTER DRAINAGE PLAN, THIS SITE IS ALLOWED FREE DISCHARGE FOR UP TO 85% TYPE D LAND TREATMENT. STORM WATER FROM THIS SITE WILL BE DIRECTED TO THE WEST.

BASINS 1, 2, & 3 ARE DIRECTED TO THE SE CORNER OF THE PROPERTY, WHERE THEY ARE SURFACE DISCHARGED TO THE ADJACENT PARKING LOT THROUGH CONCRETE RUNDOWNS AND A DRIVE PATH CONNECTION.

BASIN 4, WHICH INCLUDES THE ROOF RUNOFF, IS DIRECTED NORTH, WHERE IT DISCHARGES THE SITE EITHER TO THE ADJACENT PARKING LOT THROUGH A CONCRETE RUNDOWN, OR NORTH TO THE EXISTING ACCESS ROAD.

BASIN 5 IS AN EXISTING PARKING AREA THAT IS BEING INCORPORATED INTO THE APPELBEES PROPERTY. THE BASIN FLOWS TO THE EXISTING RETENTION POND ON THE NORTHEAST CORNER OF THE BASIN.

SEE CALCULATIONS ON SHEET CG-501

- ### KEYED NOTES
- CONCRETE WALK WITH TURN-DOWN EDGE. SEE DETAIL ON CP-501.
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 - FRACTURED FACE ROCK SWALE. SEE GENERAL NOTE 'L'. SEE DETAIL ON CG-501.
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 - EXTEND 4" ROOF DRAIN THROUGH FACE OF WALK. SEE DETAIL ON CG-501.
 - TIE NEW PAVING TO EXISTING PAVING. PROVIDE SMOOTH TRANSITION.
 - EXTENDED DEPTH HEADER CURB WITH GUTTER TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE DETAIL ON CG-501.
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ALBUQUERQUE, NEW MEXICO, 12345

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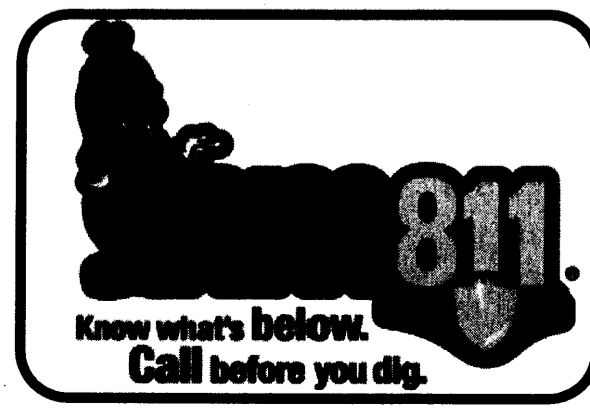
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Ph. 505-268-8828 www.isactail.com
15088
1985 CG-101.dwg Sep 20, 2013

drawing title
GRADING & DRAINAGE PLAN
drawing number
CG-101



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RELATED DOCUMENTS: This drawing is a single component of an integrated set of Construction Documents, General and Supplementary Conditions of the Contract, General Requirements, Specifications and other drawings that shall be read in their entirety. Failure to review and integrate the design intent of the whole of the Construction Documents does not relieve the Contractor from providing a complete project. COMPLY with all laws, codes, ordinances and regulations with authorities having jurisdiction and with requirements of the contract. It is applicable to all work and all permits and required approvals on site.

EVERY ACTUAL CONDITIONS and dimensions prior to construction. Construction of work constitutes verification and acceptance of all existing conditions. Application of a material or equipment item is Work unless by others constitute acceptance of the Work, and assumption of responsibility for satisfactory installation.

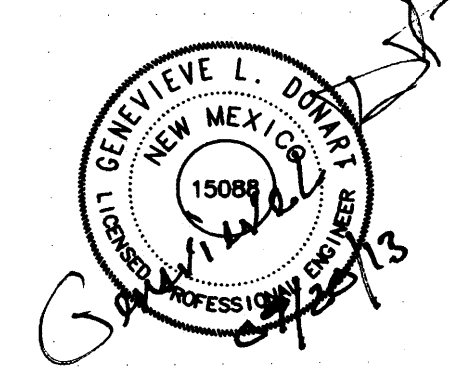
INDICATED DIMENSIONS are to face unless otherwise indicated. EXCEPT AS NOTED, dimensions are in feet and inches unless otherwise indicated.

project title

Applebees
 Lot 20 Holly Place
 ALBUQUERQUE, NEW MEXICO, 12345

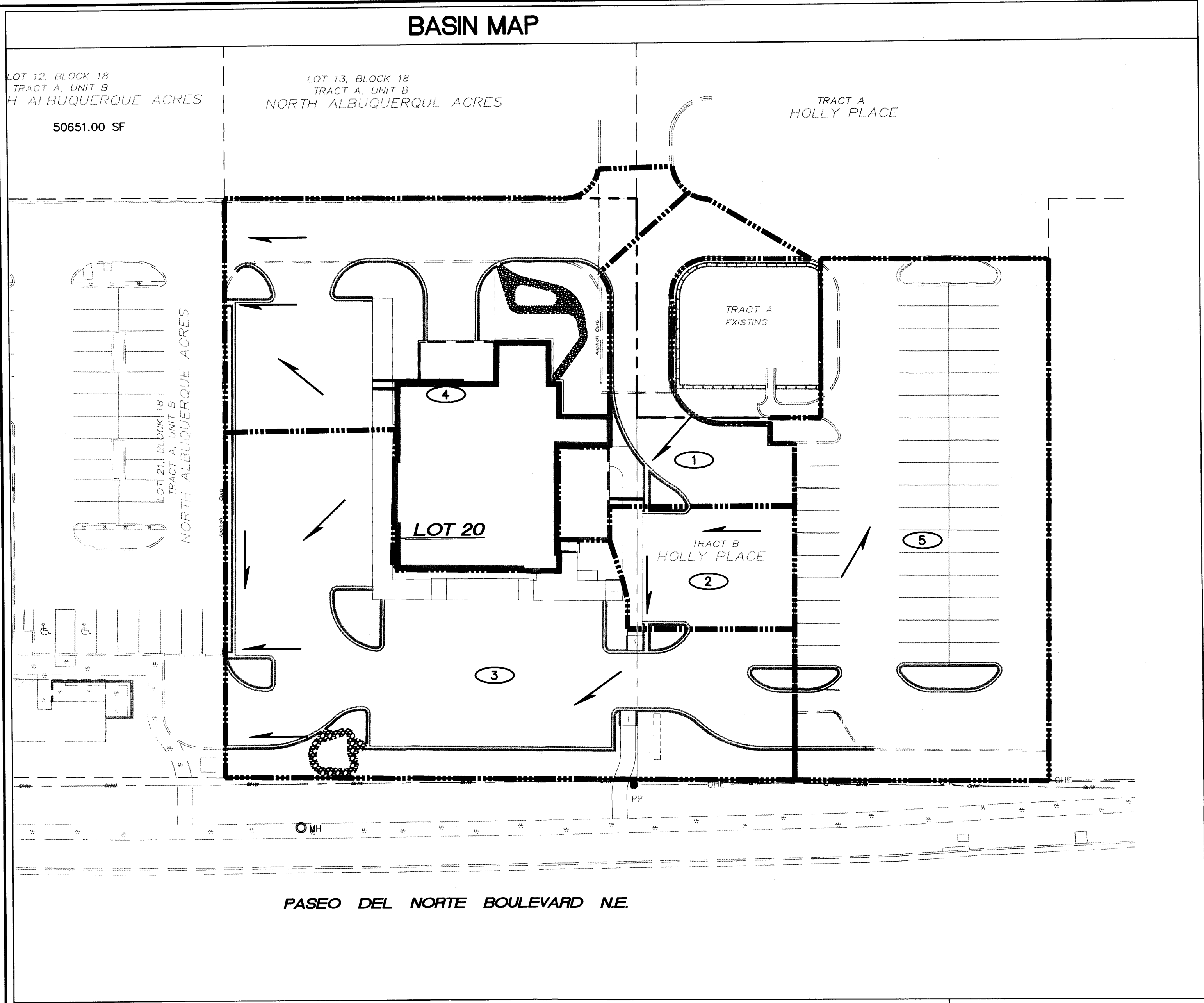
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 GRADING DETAILS & CALCULATIONS
 drawing number
 CG-501

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CALCULATIONS

CALCULATIONS: Applebee's at Holly Place :
 Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993
ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM
 AREA OF SITE: 70938.83 SF = 1.6

HISTORIC FLOWS:

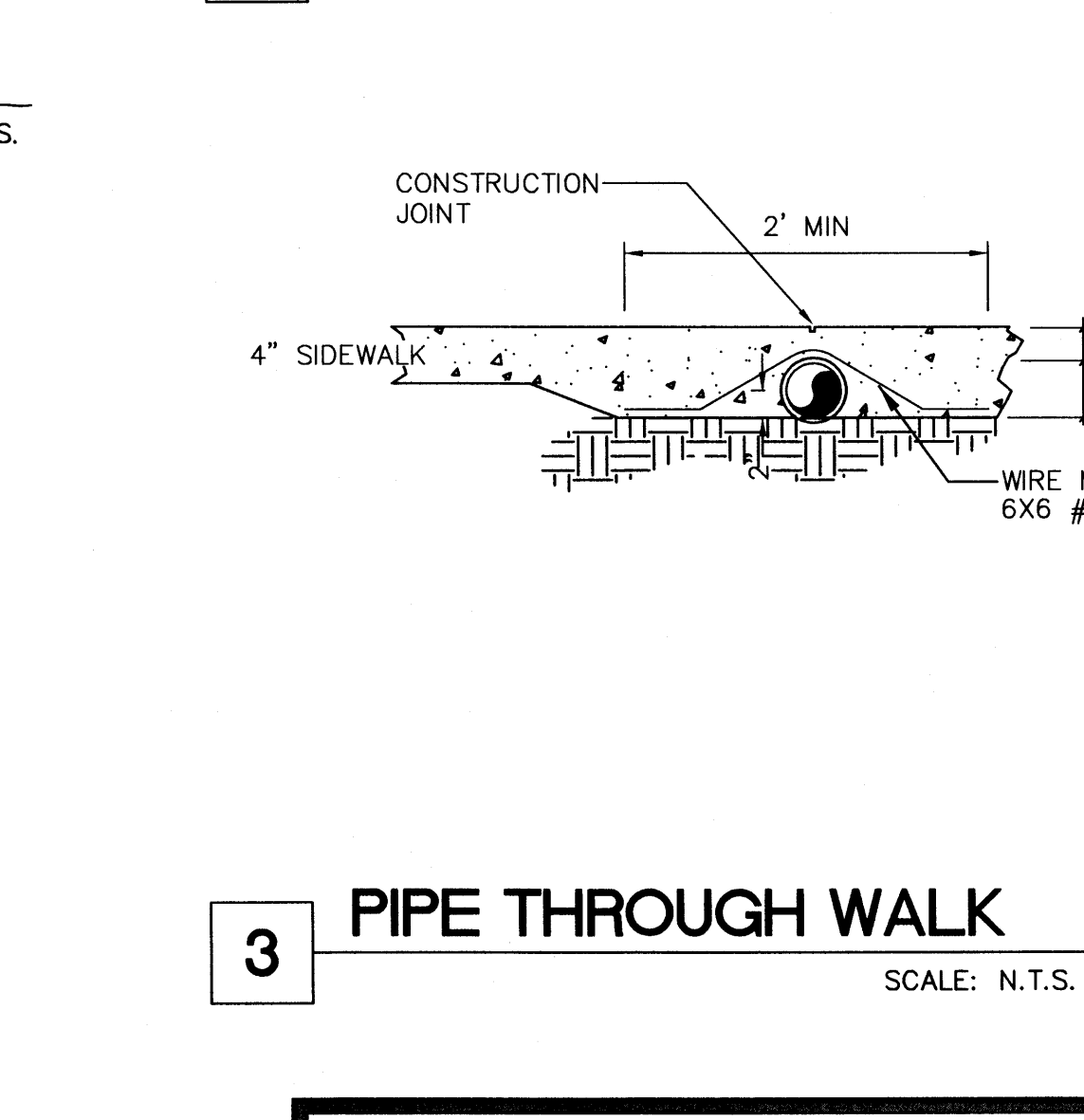
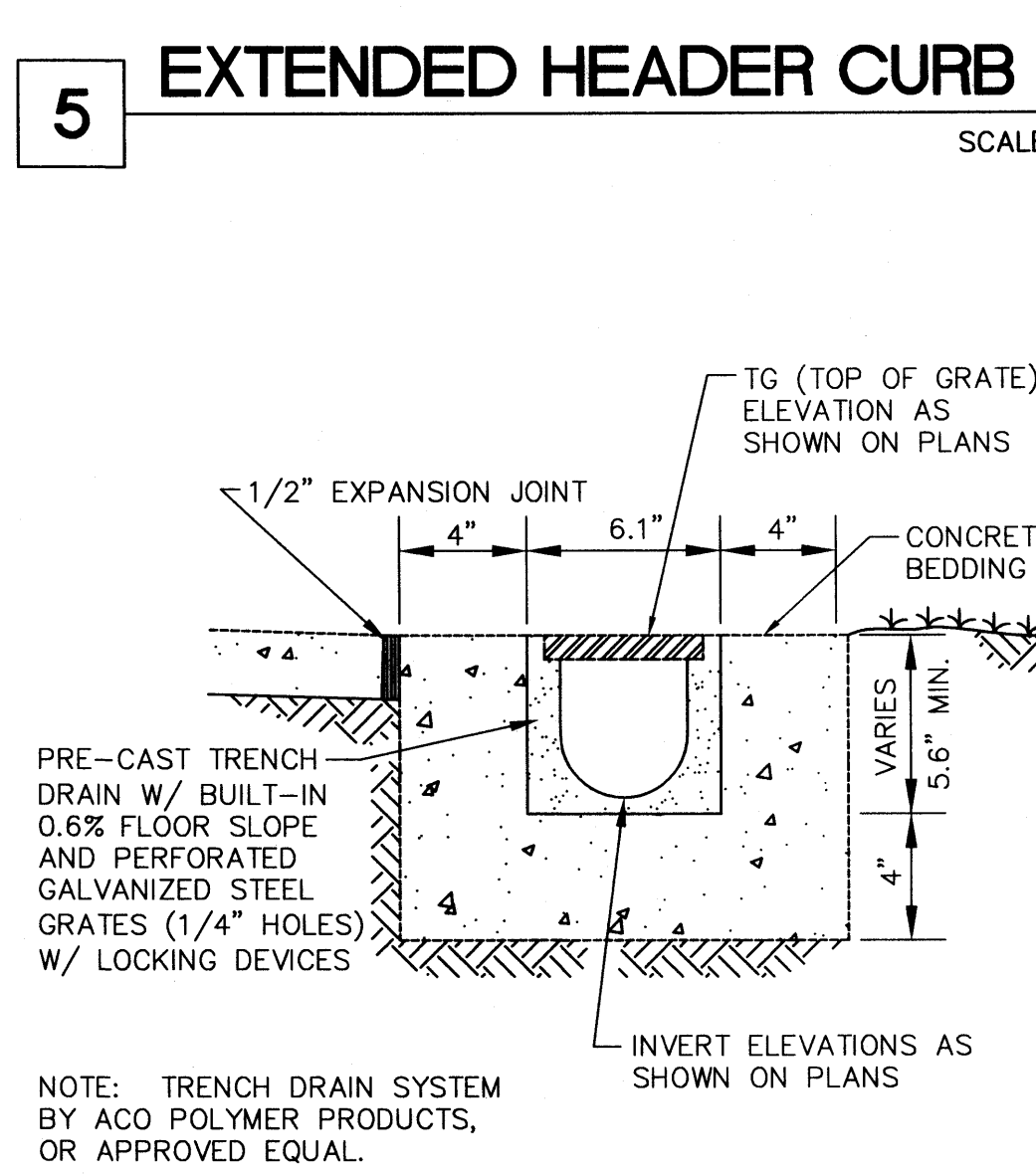
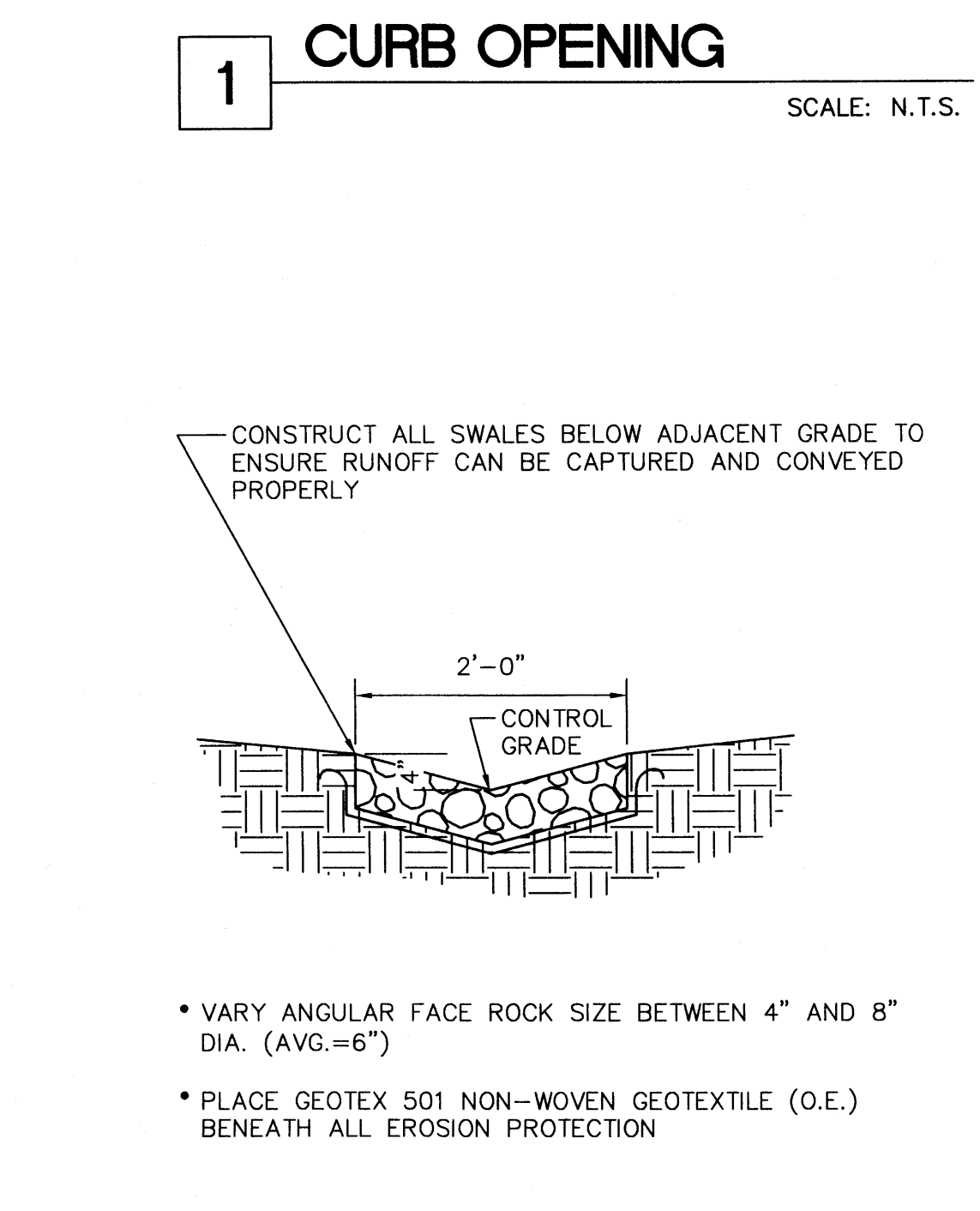
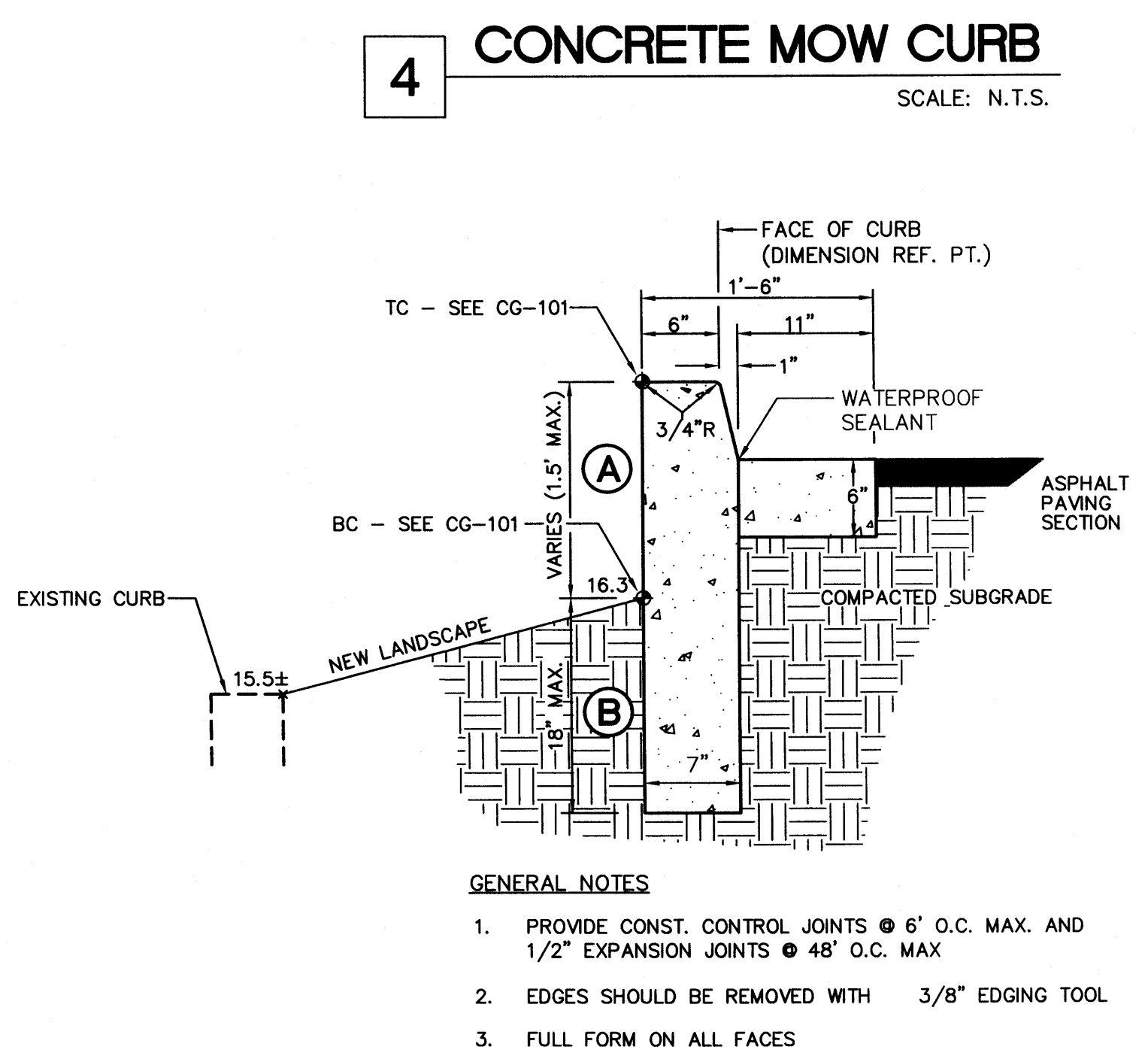
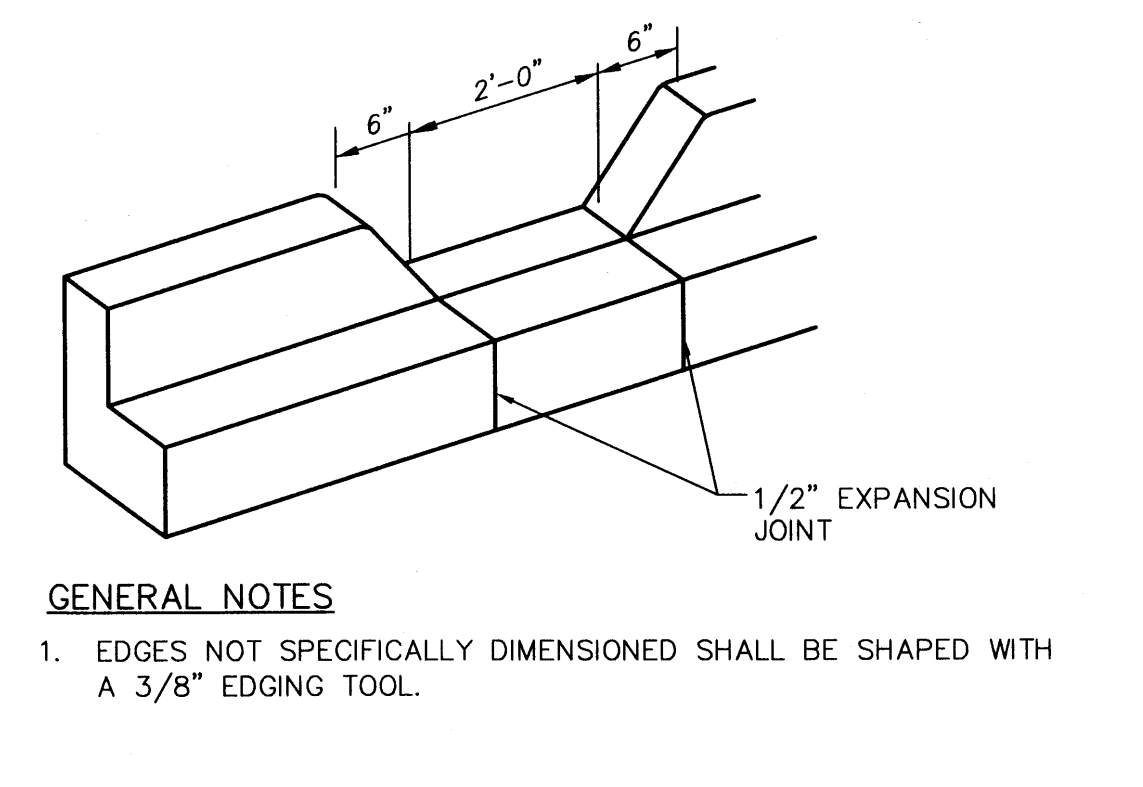
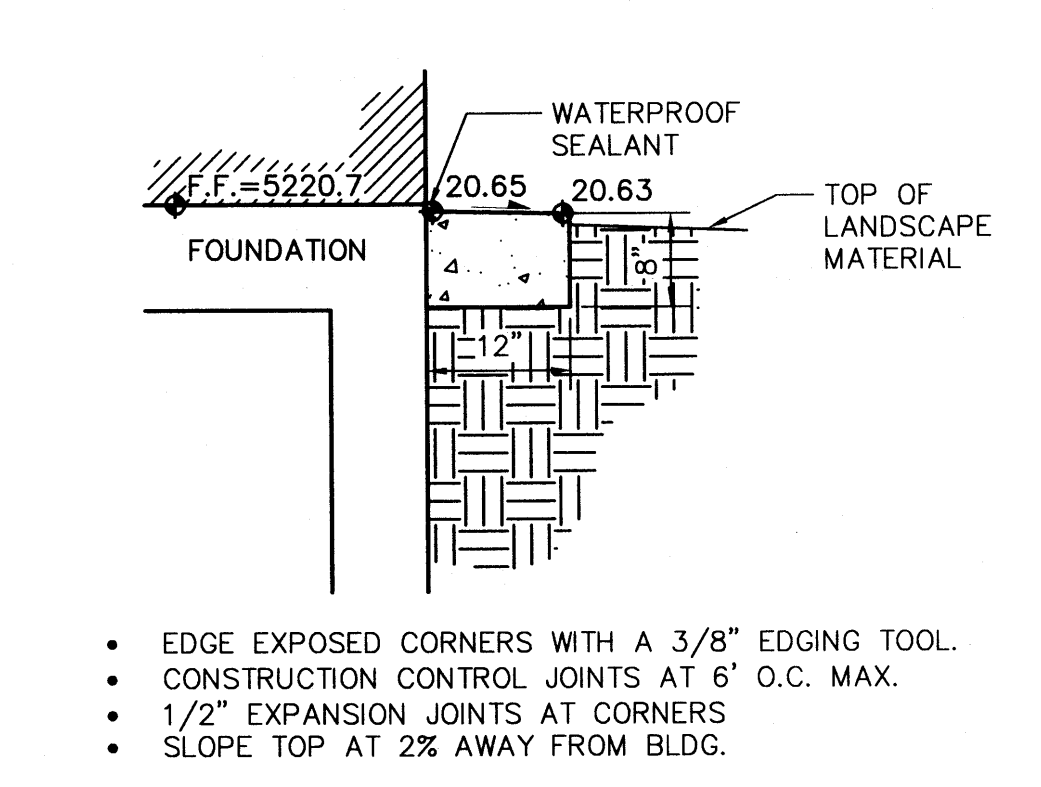
Treatment	%
Area A	0 0%
Area B	0 0%
Area C	70938.83 100%
Area D	0 0%
total Area	70938.83 100%

DEVELOPED FLOWS:

Treatment	%	EXCESS PRECIP:
Area A	0 0%	Precip. Zon 3
Area B	3547 5%	E _A = 0.66
Area C	7094 10%	E _B = 0.92
Area D	60298 85%	E _C = 1.29
total Area	70938.83 100%	E _D = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
 Weighted E = $E_A A_A + E_B A_B + E_C A_C + E_D A_D$
 $A_A + A_B + A_C + A_D$
 Historic = 1.29 in. / Developed E = 2.18 in.
 On-Site Volume of Runoff: $V_{360} = E * A / 12$
 Historic = 7626 CF / Developed V = 12893 CF
 On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$
 For Precipitation 2.3
 $Q_{pA} = 1.87$ $Q_{pC} = 3.45$
 $Q_{pB} = 2.60$ $Q_{pD} = 5.02$
 Historic = 5.6 CFS / Developed Q = 7.7 CFS

BASIN NO.	DESCRIPTION	Area of basin flows =	LAND TREATMENT
1	0.1 Ac	6019 SF	A = 0% B = 5% C = 10% D = 85%
2	0.1 Ac	3462 SF	A = 0% B = 5% C = 10% D = 85%
3	0.5 Ac	21613 SF	A = 0% B = 5% C = 10% D = 85%
4	0.4 Ac	19097 SF	A = 0% B = 5% C = 10% D = 85%
5	0.5 Ac	20748 SF	A = 0% B = 5% C = 10% D = 85%



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RELATED DOCUMENTS: This drawing is a single component of an integrated set of Construction Documents. General and Supplementary conditions of the Contract, General Requirements, Specifications and other documents may affect the Work described. Failure to review and comply with the scope items of the whole of the Construction Documents does not relieve the Contractor from providing a complete Project.

CONTRACTOR SHALL be responsible for all utilities and shall verify the location and depth of all utilities prior to construction. Construction of work shall conform to all applicable codes and regulations. Application of a material or equipment item to Work shall be subject to the contractor's selection of that item, and acceptance of responsibility for satisfactory installation.

MARKING SHALL be in the form of a material unless otherwise indicated. CUTLINE & BEZEL DESIGN - BY THE ARCHITECT. SIGNAGE SHALL BE DESIGNED BY THE ARCHITECT.

project title

Applebee's
 5904 Holly Ave.
 ALBUQUERQUE, NEW MEXICO

project number
 13024.017
 drawing issuance
 PERMIT 08.14.2013
 drawing revisions
 No. Description Date

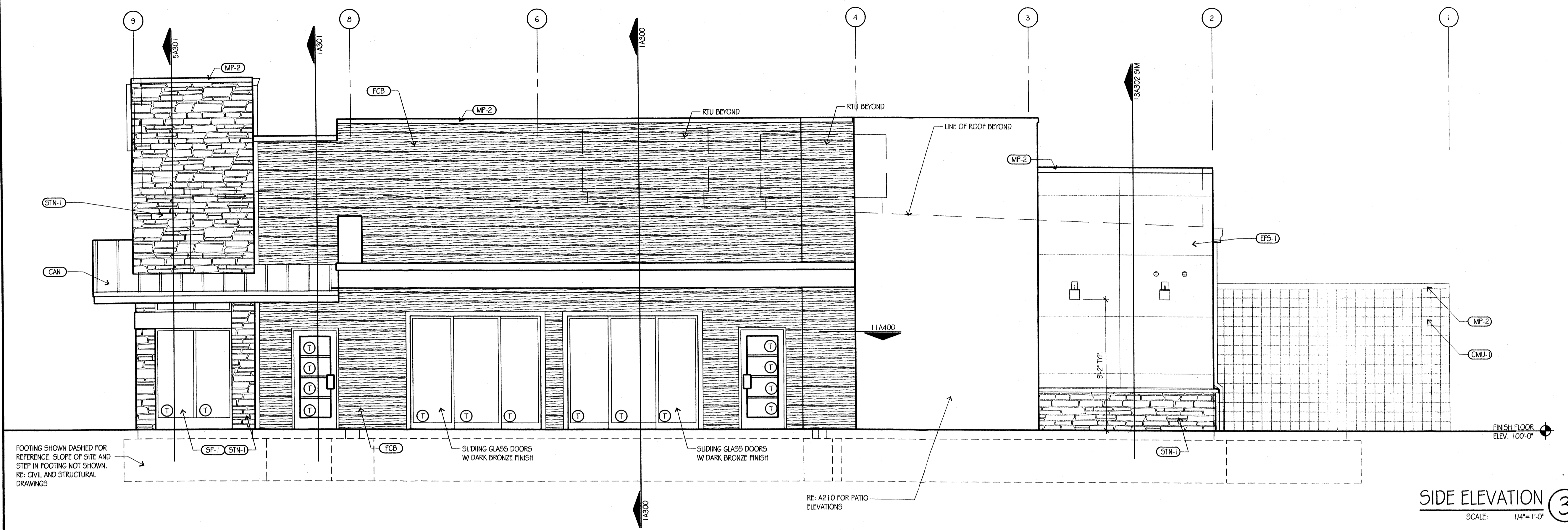
professionalseal

drawing title
 EXTERIOR ELEVATIONS

drawing number
A200

KEYNOTES (NOT ALL NOTES USED)

- 3.01 CONC FOOTING & FOUNDATION - RE STRUCT
- 3.02 5-1/2" UNOD INCH H CONC CURB
- 3.03 CONC STOODP & 4" DRAIN-FILL
- 3.05 CONC FORMED HOP-SINK
- 3.11 4" CONC SLAB ON VB & 4" DRAINAGE-FILL
- 3.12 CONC TOPPING
- 3.13 1/2" W STRIP-TOP EJ-FILLER & SEALANT (TYP)
- 4.01 CMU WALL W/ JT-REIN @ 24" OC WIDTH
- 4.02 3/8" TYP MASONRY CONTROL JOINT W/ SEAL
- 4.04 2" MIN AIR CAVITY W/ DRAINAGE MESH @ BASE
- 4.23 HARDY BOARD SIDING
- 4.24 1X HARDY BOARD SIDING TRIM
- 4.71 SIM-STONE VENEER IN PORTAR W/ MTL-LATH ON BLDG-PAPER ANCHOR LATH @ 5" X 16" TYP
- 4.72 SIM-STONE VENEER SILL-TRIM W/ SUPPORT ANGLE
- 5.01 STEEL COLUMN, RE: STRUCT DWGS
- 5.02 STEEL BEAM, RE: STRUCT
- 5.05 STEEL ANGLE, RE: STRUCT
- 5.06 SILL SUPPORT CLIP
- 5.10 GALV MTL FRAMING (DEPTH)
- 5.50 DOWNSPOUT BOOT WITH GUARD, RE: 17AS101
- 5.51 PTD GALV-MTL PIPE BOLLARD, RE: 17AS101
- 5.52 MTL ROOF-ACCESS LADDER, RE: 7A450
- 5.53 GALV MTL TRASH-GATE
- 5.54 GALV MTL DOWNSPOUT GUARD
- 6.01 2" X 4" W/ FRAMING @ 16 INCH OC U.N.D. RE: STRUCT
- 6.03 PRESSURE TREATED WOOD BLOCKING
- 6.04 WD-TRUSSES - RE: STRUCT
- 6.05 WD-PANEL WALL-SHEATHING, RE: STRUCT
- 6.06 1/2" GLASS-MAT ROOF BO SHEATHING
- 6.07 PLYWOOD ROOF SHEATHING - RE: STRUCT
- 6.08 3/8" CDX PLYWOOD SHEATHING - RE: STRUCT
- 6.09 PLYWOOD DECKING PER STRUCTURE
- 6.10 PLYWOOD SHEATHING PER STRUCTURAL
- 6.11 WD BLOCKING
- 6.13 TREATED WD SHIMS 1/4" IN CLR UNOD
- 6.14 PTD 3/4" PLYWOOD UTL-PANEL (SIZE)
- 6.15 REDWD BLKG @ FSE COOLER/FRZR UNITS
- 6.16 PTD 3/4" FIRE RATED PLYWOOD BLKG @ BEV EQUIP
- 6.17 1/2" PLYWOOD
- 6.18 1X6 LAMINATED WOOD, STAIN FINISH
- 6.22 1/8" WOOD LAMINATE (PL-T) ON 5/8" GYP, NO EXPOSED EDGES
- 6.23 1X HMDW TRIM W/ STAIN FINISH, WS-1
- 6.24 1X HMDW STOOD W/ STAIN FIN - ROUND OFF ALL EDGES AND VISIBLE CORNERS
- 6.25 TYP HMDW BASE W/ STAIN FINISH
- 6.30 1X METAL WRAPPED FASMA TRIM BOARDS
- 6.40 SITE-FAB CASHERY PARTITION
- 6.42 LOW PARTITION WALL BY G.C.
- 6.61 3/4" CORIAN EARTH WITH BULLNOSE EDGE
- 7.01 DAMP PROOFING @ SLAB EDGE TO FTG BELOW
- 7.20 2" X 2" RIGID PERIMETER INSULATION
- 7.21 5-1/2" (R-19) BATT INSUL W/ VAPOR BARRIER
- 7.23 2 LAYERS 1/2" RIGID FREEZE-SLAB INSULATION
- 7.24 BATT OR FOAM-INSULATION FILL
- 7.25 1 1/2" UNOD WATER DRAINAGE EIFS 2' PRE-WRAPPED EDGE TRIM - WRAPPED EDGE TRIM - MECH ATTACH @ FRT PLYWOOD
- 7.26 EPS CONTROL-JOINT
- 7.49 AIR-MOISTURE BARRIER (AMB) ON SHEATHING
- 7.28 MULTIPLE LAYER INSUL BOARD WITH KEFRED BOTTOM
- 7.40 STAND-SEAM ROOF (SSR) ON UNDERLAYMENT
- 7.50 ROOFING-SYSTEM W/ TRT-WD BLKG @ EDGES
- 7.51 ROOF MEMBRANE FULLY ADHERED TO STRUCTURAL SHEATHING
- 7.52 FULLY-ADHERED ROOF MEMB - EXTEND UP BACK AND OVER TO FRONT OF PARAPET WALL
- 7.53 SCUPPER THRU PARAPET, RE: 15A420 TYP
- 7.54 EMERG SCUPPER 2" ABOVE PRIMARY
- 7.55 TAPERED ROOF-INSUL W/ 1/4" IN/FT SLOPE
- 7.60 SHT-MTL COPING AND CONT. CLEAT
- 7.61 SHT MTL FLASH W/ SEAL & WEEPS @ 24" OC MAX - FORM 2 INCH END-DAM @ ALL SILLS
- 7.62 SHEET METAL EXPANSION JOINT PER SHACNA DETAIL 5.14, DET 2.
- 7.63 SHT-MTL COUNTERFLASH
- 7.64 SHT-MTL CONDUCTOR HD
- 7.66 CONT SHT MTL GUTTER
- 7.67 4" X 5" SHT-MTL DOWNSPOUT TO BOOT @ GRADE
- 7.69 CONDENSATE ROOF-PENETRATION, RE: 17A420
- 7.70 30" X 36" ROOF-HATCH POST & RAILING, RE: 78A450
- 7.90 3/8" CONT SEAL W/ BACKER
- 7.91 3/8" CONT SEAL W/ BACKER & WEEPS @ 24" OC
- 8.40 ALUM STOREFRONT FRAMING-SYSTEM W/ MTL REINFC & GLAZING - SEAL ALL AROUND TYP
- 8.41 ALUM BREAK-METAL STOREFRONT TRIM
- 8.70 EXTERIOR THRESHOLD @ DOOR
- 8.80 1" INSULATED LOW-E GLASS TYP
- 8.90 3'-0" X 3'-0" HINGED ACCESS DOOR, RE: 14A420
- 8.91 SHT-MTL ROOF VENT @ 8 FT OC TYP
- 9.11 PTD 1/2" TYPE-X GYP-BO W/ CJS AT 30" MAX TYP
- 9.12 1/2" TYPE-X GYP-BO CEILING/SOFFIT ON METAL FRAMING W/ BRACES AT 12 FT OC TYP
- 9.13 DBL L-BEAD DRYWALL CONTROL-JOINT TYP
- 9.14 PTD 1/2" TYPE-X GYP-BO CEILING/SOFFIT ON METAL FRAMING W/ BRACES AT 12 FT OC TYP
- 9.15 EXTEND DRYWALL TO ROOF FOR DRAFTSTOP
- 9.20 .0312" (20 GA) INT MTL STUDS @ 16" OC (SIZE)
- 9.21 7/8" X .018" (25 GA) HAT CHAN @ 16" OC TYP
- 9.22 1-1/2" X .053" (16 GA) CRC'S @ 48" OC TYP
- 9.30 TILE-BASE, RE: FIN SCHED
- 9.31 EPOXY BASE, RE: FIN SCHED
- 9.32 WD BASE, RE: FIN SCHED
- 10.10 ILLUMINATED BUILDING SIGNAGE
- 10.11 INTERIOR RECESSED LIGHT-BOX
- 10.12 PSV ENTRY-DR SIGNAGE
- 10.13 PSV BLDG ADDRESS NUMBERS
- 10.14 PSV SPRINKLER VALVE ACCESS SIGNAGE
- 10.15 PSV SERVICE-DOOR SIGNAGE
- 10.21 TOOL-PTN PANEL W/ WD BLKG
- 10.23 S/S GRAB-BAR - MOUNT TO 2X8 WD BLKG
- 10.25 S/S CORNER GUARD FROM 6" - 60" AFF TYP
- 10.26 S/S WALL-PANELING
- 10.40 4A-60BC FE MIN - VERIFY LOCATION W/ AHJ
- 10.41 FE CABINET W/ 4A-60BC FE
- 10.42 CLASS K-15 LB FE, VERIFY LOCATION W/ AHJ
- 10.80 PTD EXTERIOR GRILLE, RE: MECH
- 11.02 TRASH DUMPSTER
- 11.03 GREASE-CONTAINMENT SYSTEM @ EXHAUST
- 11.14 SELF CONTAINED STORAGE SHED, BY OWNER
- 11.21 TV/VIDEO-MONITOR
- 11.22 ROOF-MTD SAT-DISH W/ BLKG BELOW
- 11.23 FSE COOLER/FRZR BOX W/ CLOSURE TRIM
- 12.01 MILLWORK PROVIDED BY OWNER
- 12.03 BAR DIE BY G.C. RE: 1B100
- 21.11 AUTO-SPRINKLER BACK-FLOW UNIT
- 21.12 FIRE-ALARM CONTROL PANEL
- 22.03 WATER HEATER UNIT
- 22.04 HAND-SINK OR LAV W/ TOP @ 32" AFF TYP
- 22.05 4 INCH MIN VENT THROUGH ROOF, REF: 16A420, COORD. W/ MEP, TYP.
- 23.01 ROOFTOP HVAC UNIT
- 23.02 HVAC UNIT ROOF MTD CURB, REF: 18A420
- 23.03 ROOFTOP EXHAUST FAN UNIT
- 23.04 COOLER/FRZR ROOFTOP COMPRESSORS W/ ROOF CURB
- 24.02 ELECTRICAL PANEL
- 26.03 LIGHT SCONCE, RE: ELECTRICAL
- 27.01 PHONE EQUIPMENT
- 28.01 SECURITY ALARM SYSTEM BY OWNER, COORD. W/ MEP
- 31.01 LINE OF FINISH GRADE, RE: CIVIL DWGS
- 31.03 COMPACTED BACKFILL
- 32.05 6" CONC PVMT & 4" DRAINAGE-FILL
- 32.05 6" CONC PVMT & 4" DRAINAGE-FILL
- 33.01 TRENCH-DRAIN, RE: CIVIL DWGS



SIDE ELEVATION 3
 SCALE: 1/4"=1'-0"

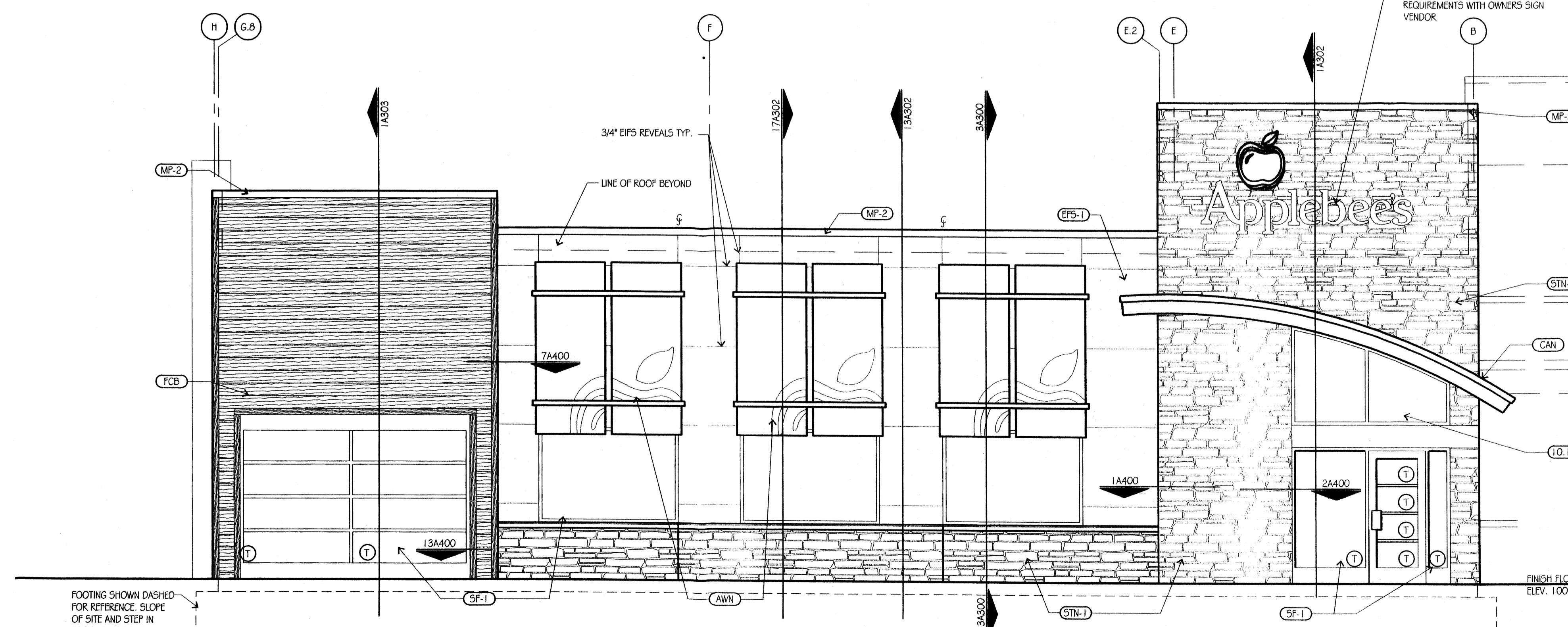
EXTERIOR FINISH SCHEDULE		
FINISH	SEALANT COLORS: MATCH COLOR OF ADJACENT MATERIAL BEING SEALED - WHEN 2 OR MORE COLORS ARE ADJACENT, MATCH LIGHTER-COLORED MATERIAL.	PATTERN
AWN-1	AWNING BY OWNER'S VENDOR. G.C. TO COORDINATE INSTALLATION.	
AWN-2	TENSION AWNING. G.C. TO COORDINATE INSTALLATION.	
STN-1	STONE VENEER, CULTURED STONE, GOLDEN BUCKEYE CVS-528458	
CAN	CANOPY BY OWNER'S VENDOR. G.C. TO COORDINATE INSTALLATION	
EPS-1	EXTERIOR-FINISH SYSTEM - MATCH SW 6354 ARMAGNAC IN SANDBLAST TEXTURE	
FCB	JAMES HARDIE FIBER CEMENT BOARD SIDING; SELECT CEDARMILL 6" PLANK, CUSTOM COLOR TO MATCH BENJAMIN MOORE # 2163-30	
PT-1	PAINT AT EXTERIOR GATES AND TRIM - SHERWIN WILLIAMS, COLOR SW 6354 ARMAGNAC CONTACT: STACY STACHLER (216) 341-6444 - REFER TO NOTE 1	
PT-2	CONCRETE MASONRY INTERIOR OF TRASH ENCLOSURE - SHERWIN WILLIAMS, COLOR SW 6100 - PRACTICAL BEIGE - REFER TO NOTE 1	
SF-1	STOREFRONT # ASSOCIATED ALUMINUM BREAKMETAL-DARK BRONZE ANODIZED	
CMU-1	SMOOTH FACE, SINGLE SCORED, CMU BLOCK: TRENDSTONE PLUS, COLONIAL RED	

NOTE 1: GC TO VERIFY WITH MANUFACTURER APPROPRIATE PRIMER AND PAINT GRAY FOR SUBSTRATE TO BE PAINTED, UNLESS OTHERWISE SPECIFIED

NOTE 2: INSTALL CULTURED STONE WITH JOINT.

GENERAL NOTE: ALL SIGNAGE WORK TO BE DONE SEPARATELY UNDER A SEPARATE PERMIT. FINAL CONNECTION BY GC

① = TEMPERED



FRONT ELEVATION 1
 SCALE: 1/4"=1'-0"

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VERIFY ACTUAL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF ALL EXISTING CONDITIONS. ACCEPTANCE OF A MATERIAL OR EQUIPMENT ITEM IN THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. VERIFY ACTUAL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF ALL EXISTING CONDITIONS. ACCEPTANCE OF A MATERIAL OR EQUIPMENT ITEM IN THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.

INDICATING SIZES ON TO FACE UNLESS OTHERWISE INDICATED. DIMENSIONS & WORKING DIMENSIONS - DO NOT SCALE DIMENSIONS UNLESS OTHERWISE INDICATED.

project title

Applebees
 5904 HOLLY AVE.
 ALBUQUERQUE, NEW MEXICO

project number 13024.017

drawing issuance PERMIT 08.14.2013

drawing revisions No. Description Date

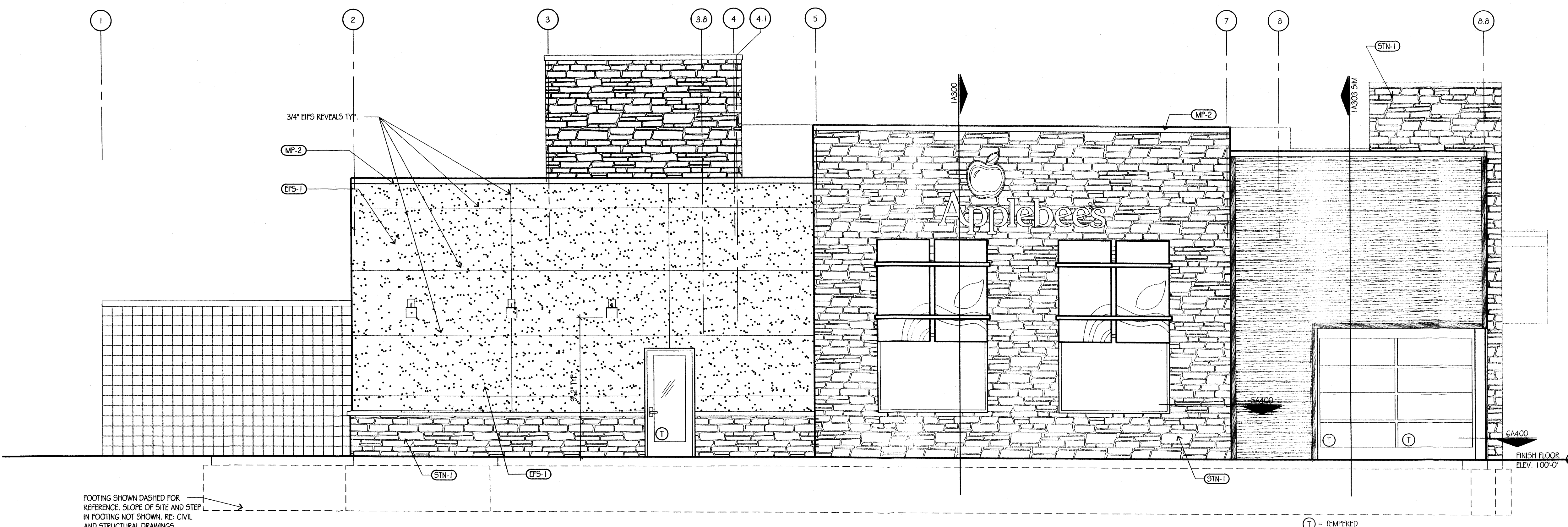
professional seal

drawing title EXTERIOR ELEVATIONS

drawing number A201

KEYNOTES (NOT ALL NOTES USED)

- 3.01 CONE FOOTING & FOUNDATION - RE: STRUCT
- 3.02 5-1/2" (UNO) INCH H CONC CURB
- 3.03 CONC STOOP & 4" DRAIN-FILL
- 3.05 CONC FORMED HOP-SINK
- 3.11 4" CONC SLAB ON VB & 4" DRAINAGE-FILL
- 3.12 CONC TOPPING
- 3.13 1/2" W STRIP-TOP EJ-FILLER & SEALANT (TYP)
- 4.01 CMU WALL W/ JT-REIN @ 24" OC (WIDTH)
- 4.02 3/8" TYP MASONRY CONTROL JOINT // SEAL
- 4.04 2" MIN AIR CAVITY W/ DRAINAGE MESH @ BASE
- 4.23 HARDY BOARD SIDING
- 4.24 1/2" X HARDY BOARD SIDING TRIM
- 4.71 SIM-STONE VENEER IN MORTAR W/ MTL-LATH ON BLDG-PAPER - ANCHOR LATH @ 6" X 16" TYP
- 4.72 SIM-STONE VENEER SILL-TRIM W/ SUPPORT ANGLE
- 5.01 STEEL COLUMN; RE: STRUCTURAL DWGS
- 5.02 STEEL BEAM; RE: STRUCT
- 5.05 STEEL ANGLE; RE: STRUCT
- 5.06 SILL SUPPORT CLIP
- 5.40 GALV MTL FRAMING (DEPTH)
- 5.50 DOWNSPOUT BOOT WITH GUARD; RE: 12AS101
- 5.51 PTD GALV-MTL PIPE BOLLARD; RE: 17AS101
- 5.52 MTL ROOF-ACCESS LADDER; RE: 7AAS50
- 5.53 GALV MTL TRASH-GATE
- 5.54 GALV MTL DOWNSPOUT GUARD
- 6.01 2" X WD FRAMING @ 16 INCH OC U.O.G. RE: STRUCT
- 6.03 PRESSURE TREATED WOOD BLOCKING
- 6.04 WD-TRUSSES - RE: STRUCT
- 6.05 WD-PANEL WALL-SHEATHING; RE: STRUCT
- 6.06 1/2" GLASS-MAT ROOF BO SHEATHING
- 6.07 PLYWD ROOF SHEATHING - RE: STRUCT
- 6.08 3/8" CDX PLYWD SHEATHING - RE: STRUCT
- 6.09 PLYWD DECKING PER STRUCTURE
- 6.10 PLYWD SHEATHING PER STRUCTURAL
- 6.11 WD BLOCKING
- 6.13 TREATED WD SHIMS (1/4 IN CLR UNO)
- 6.14 PTD 3/4" PLYWD UTIL-PANEL (SIZE)
- 6.15 REDWD BLDG @ FSE COOLER/FRZR UNITS
- 6.16 PTD 3/4" FIRE RATED PLYWD BLDG @ BEV EQUIP
- 6.17 1" PLYWOOD
- 6.18 1X6 LAMINATED WOOD, STAIN FINISH
- 6.22 1/8" WOOD LAMINATE (PL-1) ON 5/8" GYP. NO EXPOSED EDGES.
- 6.23 1X HWWD TRIM W/ STAIN FINISH, WS-1
- 6.24 1X HWWD STOOL W/ STAIN FIN - ROUND OFF ALL EDGES AND VISIBLE CORNERS
- 6.25 TYP HWWD BASE W/ STAIN FINISH
- 6.30 1X METAL WRAPPED FASCIA TRIM BOARDS
- 6.40 SITE-FAB CASEWORK PARTITION
- 6.42 LOW PARTITION WALL BY G.C.
- 6.43 3" CORIAN EARTH-TURN BULLNOSE EDGE
- 7.01 DAMP PROOFING @ SLAB EDGE TO FTG BELOW
- 7.20 2" X 24" RIGID PERIMETER INSULATION
- 7.21 5-1/2" (R-19) BATT INSUL W/ VAPOR BARRIER
- 7.23 2 LAYERS 2" RIGID FREEZER-SLAB INSULATION
- 7.24 BATT OR FOAM-INSULATION FILL
- 7.25 1/2" (UNO) WATER DRAINAGE EPS 2' PRE-WRAPPED EDGE TRIM - WRAPPED EDGE TRIM - MECH ATTACH @ FRT PLYWD
- 7.26 EPS CONTROL-JOINT
- 7.27 AIR-MOISTURE BARRIER (AMB) ON SHEATHING
- 7.28 MULTIPLE LAYER INSUL BOARD WITH KERFED BOTTOM
- 7.40 STAND-SEAR ROOF (SSR) ON UNDERLAYMENT
- 7.50 ROOFING-SYSTEM W/ TRT-WD BLDG @ EDGES
- 7.51 ROOF MEMBRANE FULLY ADHERED TO STRUCTURAL SHEATHING
- 7.52 FULLY-ADHERED ROOF MEMB - EXTEND UP BACK AND OVER TO FRONT OF PARAPET WALL
- 7.53 SCUPPER THRU PARAPET; RE: 16A420 TYP
- 7.54 SCUPPER 2" ABOVE FINISH
- 7.55 TAPERED ROOF-INSUL W/ 1/4 IN/FT SLOPE
- 7.60 SHT-MTL COPING AND CONT. CLEAT
- 7.61 SHT-MTL FLASH W/ SEAL & WEEPS @ 24" OC MAX - FORM 2 INCH END-DAM @ ALL SILLS
- 7.62 SHEET METAL EXPANSION JOINT PER SMACNA DETAIL 5.14, DET 2
- 7.63 SHT-MTL COUNTERFLASH
- 7.64 SHT-MTL CONDUCTOR HD
- 7.66 CONT SHT-MTL GUTTER
- 7.67 4" X 5" SHT-MTL DOWNSPOUT TO BOOT @ GRADE
- 7.69 CONDENSATE ROOF-PENETRATION; RE: 7BA420
- 7.70 30 X 36" ROOF-HATCH POST & RAILING; RE: 7BA450
- 7.90 3/8" CONT SEAL W/ BACKER
- 7.91 3/8" CONT SEAL W/ BACKER & WEEPS @ 24" OC
- 8.40 ALUM STOREFRONT FRAMING-SYSTEM W/ MTL REIN & GLAZING - SEAL ALL AROUND TYP
- 8.90 3'-0" X 3'-0" HINGED ACCESS LOUVER; RE: 14A420
- 8.91 SHT-MTL ROOF VENT @ 8 FT OC TYP
- 9.11 PTD 1/2" TYPE-X GYP-BO W/ C/S AT 30" MAX TYP
- 9.12 1/2" TYPE-X GLASS-HAT TILE BACKER-BOARD
- 9.13 DBL L-BEAD DRYWALL CONTROL-JOINT TYP
- 9.14 PTD 1/2" TYPE-X GYP-BO CEILING/SOFFIT ON METAL FRAMING W/ BRACES AT 12 FT OC TYP
- 9.15 EXTEND DRYWALL TO ROOF FOR DRAFTSTOP
- 9.20 3/8" (10 GA) HT MTL STUD @ 16" OC (SIZE)
- 9.21 7/8" X .018" (25 GA) HAT CHAM @ 16" OC TYP
- 9.22 1-1/2" X .053" (16 GA) CRCS @ 48" OC TYP
- 9.30 TILE-BASE; RE: FIN SCHED
- 9.31 EXPOXY BASE; RE: FIN SCHED
- 9.32 WD BASE; RE: FIN SCHED
- 10.10 LUMINATED BLDG SIGNAGE
- 10.11 INTERIOR RECESSED LIGHT-BOX
- 10.12 PSV ENTRY-DR SIGNAGE
- 10.13 PSV BLDG ADDRESS NUMBERS
- 10.14 PSV SPRINKLER VALVE ACCESS SIGNAGE
- 10.15 PSV SERVICE-DOOR SIGNAGE
- 10.21 TOL-FTN PANEL W/ WD BLDG
- 10.23 S/S GRAB-BAR - MOUNT TO 2X8 WD BLDG
- 10.25 S/S CORNER GUARD FROM 6" - 60" AFF TYP
- 10.26 S/S WALL-PANELING
- 10.40 4A-608C FE FIN - VERIFY LOCATION W/ AHJ
- 10.41 FE CABINET W/ 4A-608C FE
- 10.42 CLASS K-15 LB FE, VERIFY LOCATION W/ AHJ
- 10.80 PTD EXTERIOR GRILLE; RE: MECH
- 11.12 TRASH DUMPSTER
- 11.13 GREASE-CONTAINMENT SYSTEM @ EXHAUST
- 11.14 SELF-CONTAINED STORAGE SHED, BY OWNER
- 11.21 TV/VIDEO-MONITOR
- 11.22 ROOF-MTD SAT-DISH W/ BLDG BELOW
- 11.23 FSE COOLER/FRZR BOX W/ CLOSURE TRIM
- 12.01 MILLWORK PROVIDED BY OWNER
- 12.02 MILLWORK FURNISHED BY OWNER, INSTALLED BY G.C.
- 12.03 BAR DIE BY G.C. RE: 19100
- 21.11 AUTO-SPRINKLER BACK-FLOW UNIT
- 21.12 FIRE-ALARM CONTROL PANEL
- 22.03 WATER HEATER UNIT
- 22.04 HAND-SINK OR LAV W/ TOP @ 32" AFF TYP
- 22.05 4 INCH MIN VENT THROUGH ROOF, REF: 16A420, COORD. W/ MEP, TYP
- 23.01 ROOFTOP HVAC UNIT
- 23.02 HVAC UNIT ROOF MTD CURB, REF: 18A420
- 23.03 ROOFTOP EXHAUST FAN UNIT
- 23.04 COOLER/FRZR ROOFTOP COMPRESSORS W/ ROOF CURB
- 26.02 ELECTRICAL PANEL
- 26.03 LIGHT SCONCE; RE: ELECTRICAL
- 27.01 PHONE EQUIPMENT
- 28.01 SECURITY ALARM SYSTEM BY OWNER, COORD. W/ MEP
- 31.01 LINE OF FINISH GRADE; RE: CIVIL DWGS
- 31.03 COMPACTED BACKFILL
- 32.01 4" CONC PVMT & 4" DRAINAGE-FILL
- 32.05 6" CONC PVMT & 4" DRAINAGE-FILL
- 32.07 DETECTABLE-WARNING PANEL @ WALK
- 33.01 TRENCH-DRAIN; RE: CIVIL DWGS



SIDE ELEVATION 3
 SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

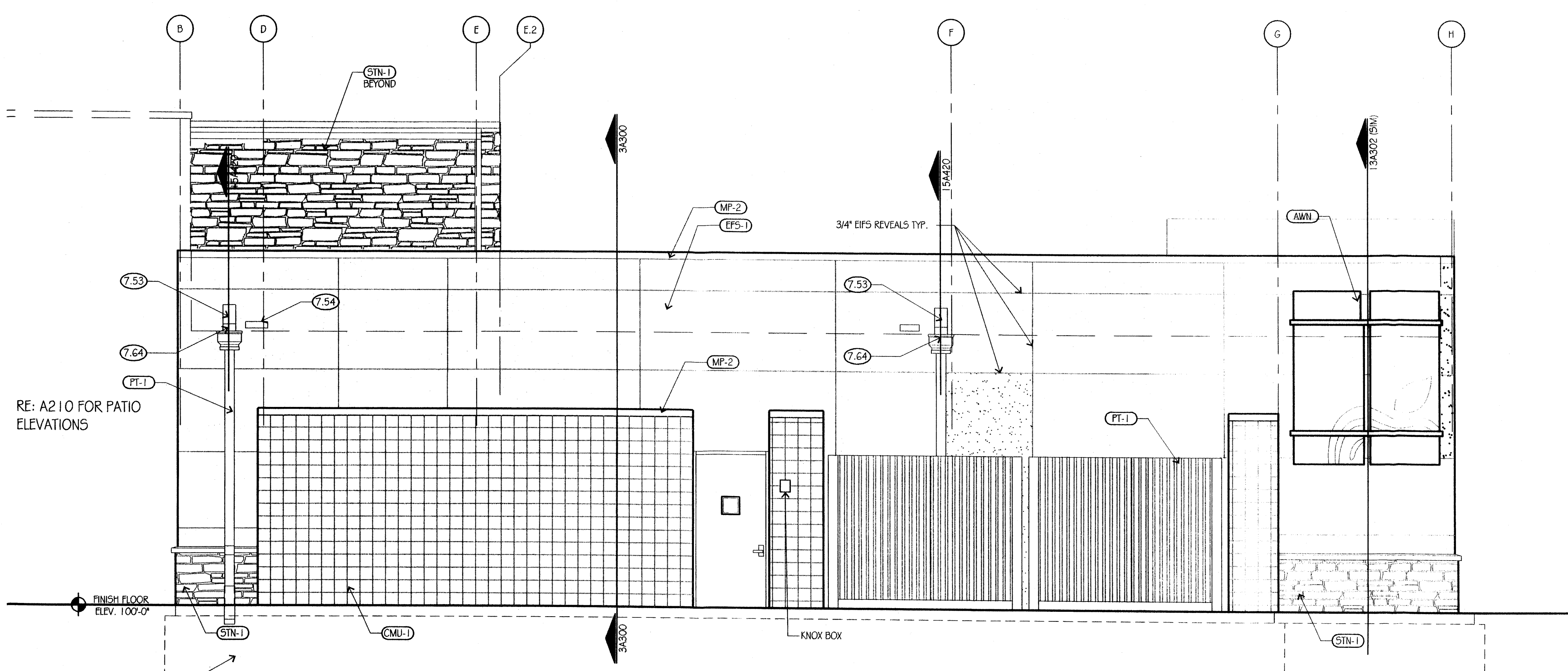
FINISH	MATERIAL	PATTERN
AWN-1	AWNING BY OWNER'S VENDOR. G.C. TO COORDINATE INSTALLATION.	
AWN-2	TENSION AWNING. G.C. TO COORDINATE INSTALLATION.	
STN-1	STONE VENEER, CULTURED STONE, GOLDEN BUCKEYE CV9-52845B	
CAN	CANOPY BY OWNER'S VENDOR. G.C. TO COORDINATE INSTALLATION	
EF5-1	EXTERIOR FINISH SYSTEM - MATCH SW 6354 ARMAGNAC IN SANDBLAST TEXTURE	
FCB	JAMES HARDIE FIBER CEMENT BOARD SIDING; SELECT CEDARMILL 8\"/>	
PT-1	PAINT AT EXTERIOR GATES AND TRIM - SHERWIN WILLIAMS; COLOR SW 6354 ARMAGNAC CONTACT: STACY STACHLER (216) 341-6444 - REFER TO NOTE 1	
PT-2	CONCRETE MASONRY INTERIOR OF TRASH ENCLOSURE - SHERWIN WILLIAMS; COLOR SW G100 - PRACTICAL BEIGE - REFER TO NOTE 1	
SF-1	STOREFRONT & ASSOCIATED ALUMINUM BREAKMETAL; DARK BRONZE ANODIZED	
CMU-1	SMOOTH FACE, SINGLE SCORED, CMU BLOCK; TRENDCSTONE PLUS, COLONIAL RED	

NOTE 1: GC TO VERIFY WITH MANUFACTURER APPROPRIATE PRIMER AND PAINT GRADE FOR SUBSTRATE TO BE PAINTED, UNLESS OTHERWISE SPECIFIED

2. INSTALL CULTURED STONE WITH JOINT.

GENERAL NOTE: ALL SIGNAGE WORK TO BE DONE SEPARATELY UNDER A SEPARATE PERMIT. FINAL CONNECTION BY GC

① = TEMPERED



REAR ELEVATION 1
 SCALE: 1/4"=1'-0"

FOOTING SHOWN DASHED FOR REFERENCE. SLOPE OF SITE AND STEP IN FOOTING NOT SHOWN. RE: CIVIL AND STRUCTURAL DRAWINGS

THIS DRAWING has been prepared by the Architect, or prepared under his direct supervision as an instrument of service and is intended for use only on the project. All drawings, specifications, schedules and designs, including the overall layout, form, arrangement, and composition of spaces and elements, shall constitute the original, unaltered work of the Architect. Any reproduction, use, or disclosure of the information contained herein without the written consent of the Architect is strictly prohibited.

THE ARCHITECT ASSUMES responsibility for the existing building structure, site conditions, existing construction elements, or any documents, drawings or other information used for any part of the Project which do not bear the Architect's seal. The Architect's services are limited to the design of the Project. No obligation is assumed by the Architect for the benefit of any other party.

RELATED DOCUMENTS: This Drawing is a single component of an integrated set of Construction Documents. General and Supplementary Conditions of the Contract, General Requirements, Specifications and other drawings may affect the Work described. Failure to review and integrate the documents of the whole of the Construction Documents does not relieve the Contractor from providing a complete Project.

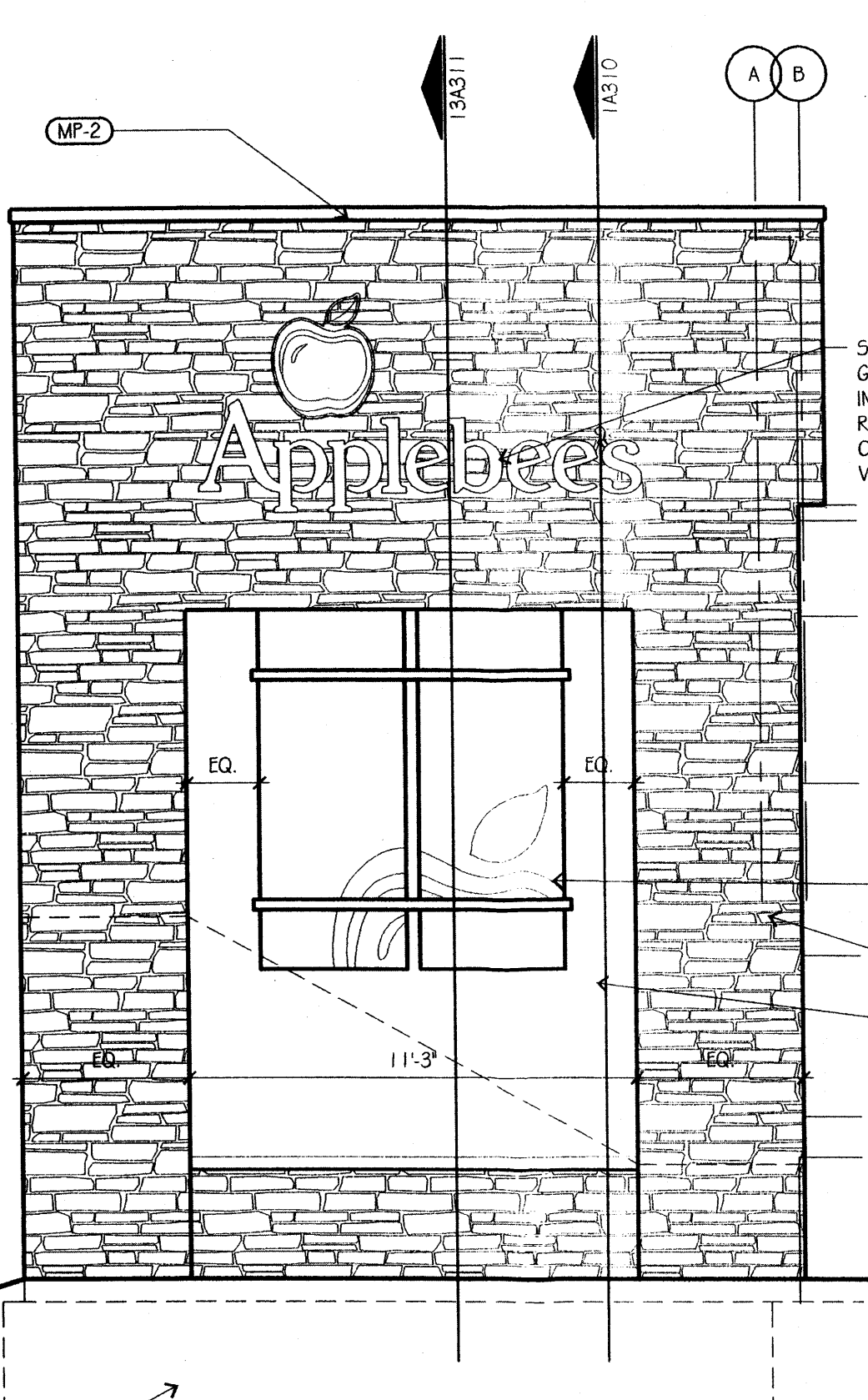
OWNER: Will of Inc. color, schedule and materials will be subject to change and will be subject to the approval of the Architect, if applicable. Do not start Work until all permits and required approvals are obtained.

VERIFY KEY DIMENSIONS and dimensions prior to construction. Construction of work shall be subject to verification and acceptance of all existing conditions. Application of a material or equipment shall be made only by others' written acceptance of the Work, and acceptance of responsibility for satisfactory installation.

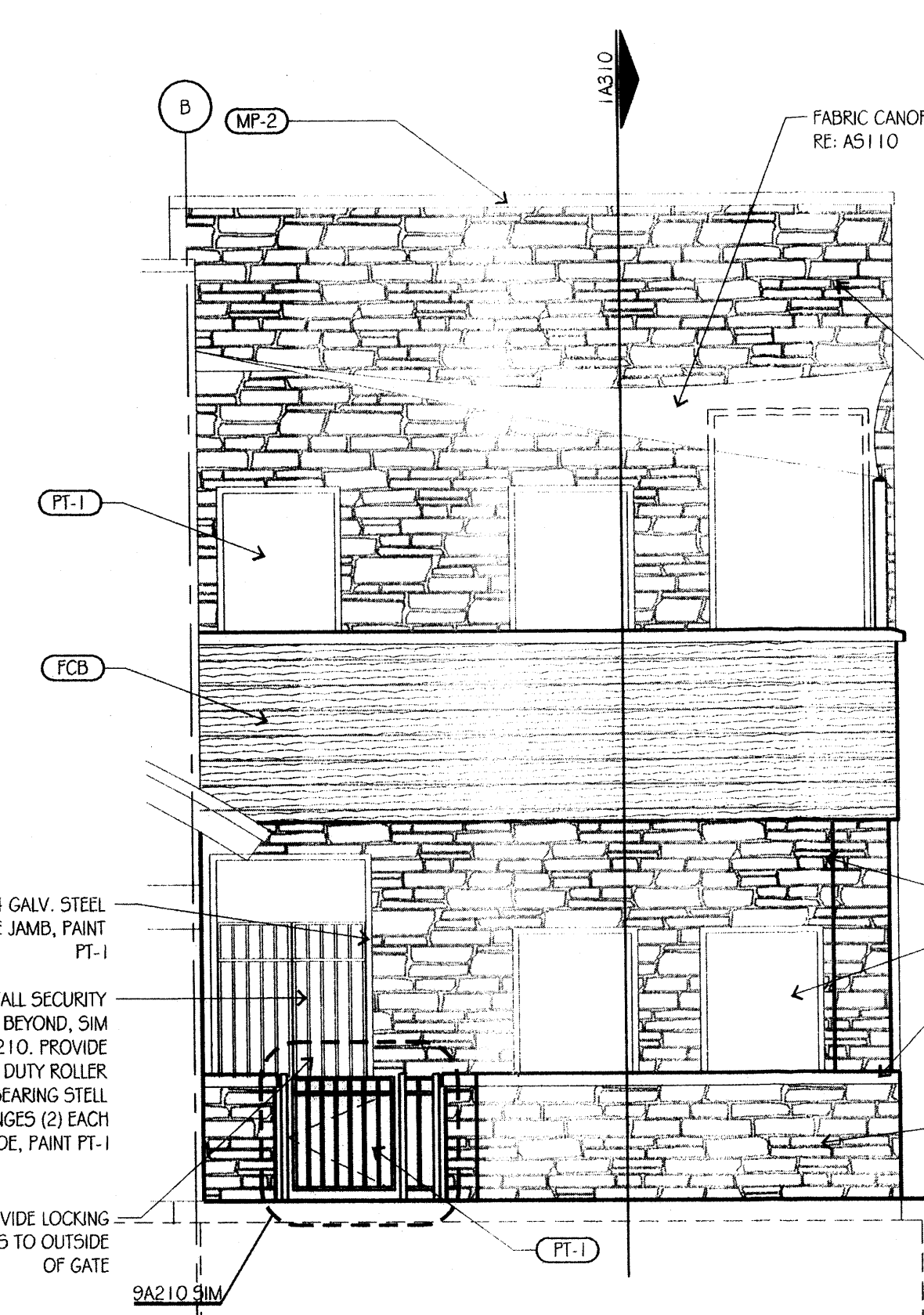
MARKINGS: DIMENSIONS on this plan are of a finished site unless otherwise indicated. UNLESS OTHERWISE NOTED - 30 MIN S&W (SEE SITE DEMO DETAIL).

project number 13024017
 drawing issuance PERMIT 08.14.2013
 drawing revisions No. Description: Date:
 professional seal
 drawing title EXTERIOR PATIO ELEVATIONS
 drawing number A210

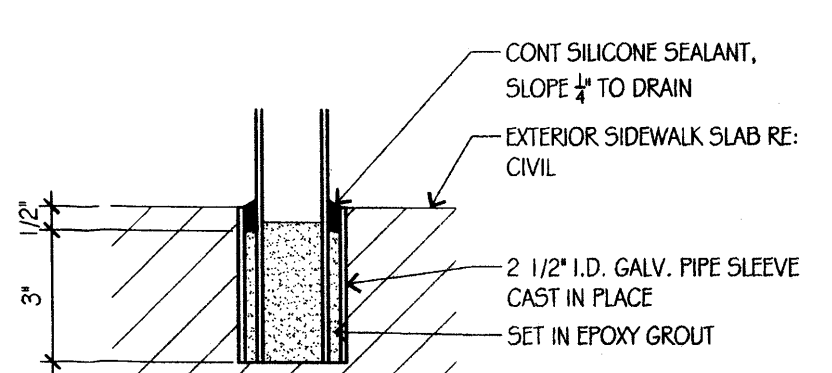
- KEYNOTES (NOT ALL NOTES USED)**
- 3.01 CONC FOOTING & FOUNDATION - RE: STRUCT
 - 3.02 5-1/2" (UNO) INCH H CONC CURB
 - 3.03 CONC STOOD & 4" DRAIN-FILL
 - 3.05 CONC FORMED MOP-SINK
 - 3.11 4" CONC SLAB ON VB & 4" DRAINAGE-FILL
 - 3.12 CONC TOPPING
 - 3.13 1/2" W STRIP-TOP E-FILTER & SEALANT (TYP)
 - 4.01 CONU WALL W/ JT-REIN @ 24" OC W/DTH
 - 4.02 3/8" TYP MASONRY CONTROL JOINT W/ SEAL
 - 4.04 2" MIN AIR CAVITY W/ DRAINAGE MESH @ BASE
 - 4.23 HARDY BOARD SIDING
 - 4.24 1X HARDY BOARD SIDING TRIM
 - 4.71 SIM-STONE VENEER IN PORTAR W/ MTL-LATH ON BLDG-PAPER - ANCHOR LATH @ 1" X 16" TYP
 - 4.72 SIM-STONE VENEER SILL-TRIM W/ SUPPORT ANGLE
 - 5.01 STEEL COLUMN, RE: STRUCTURAL DWGS
 - 5.02 STEEL BEAM, RE: STRUCT
 - 5.05 STEEL ANGLE, RE: STRUCT
 - 5.06 SILL SUPPORT CLIP
 - 5.40 GALV MTL FRAMING (DEPTH)
 - 5.50 DOWNSPOUT BOOT WITH GUARD, RE: 12AS101
 - 5.51 PTD GALV-MTL PIPE BOLLARD, RE: 17AS101
 - 5.52 MTL ROOF-ACCESS LADDER, RE: 7AA50
 - 5.53 GALV MTL TRASH-GATE
 - 5.54 GALV MTL DOWNSPOUT GUARD
 - 6.01 2 X W/D FRAMING @ 16 INCH OC UNO. RE: STRUCT
 - 6.03 PRESSURE TREATED WOOD BLOCKING
 - 6.04 WD-TRUSSES - RE: STRUCT
 - 6.05 WD-PANEL WALL-SHEATHING, RE: STRUCT
 - 6.06 1/2" GLASS-MAT ROOF BO SHEATHING
 - 6.07 PLYWOOD ROOF SHEATHING - RE: STRUCT
 - 6.08 3/8" CDX PLYWD SHEATHING - RE: STRUCT
 - 6.09 PLYWD DECKING PER STRUCTURE
 - 6.10 PLYWD SHEATHING PER STRUCTURAL
 - 6.11 WD BOCKING
 - 6.13 TREATED W/D SHIMS (1/4" IN CLR UNO)
 - 6.14 PTD 3/4" PLYWD UTIL-PANEL (SIZE)
 - 6.15 RED/D B/LKG @ FSE COOLER/FRZR UNITS
 - 6.16 PTD 3/4" FIRE RATED PLYWD B/LKG @ BEV EQUIP
 - 6.17 1/2" PLYWOOD
 - 6.18 1X6 LAMINATED WOOD, STAIN FINISH
 - 6.22 1/8" WOOD LAMINATE (PL-B) ON 5/8" GYP. NO EXPOSED EDGES.
 - 6.23 1X HDWD TRIM W/ STAIN FINISH, WS-1
 - 6.24 1X HDWD STOOL W/ STAIN FIN - ROUND OFF ALL EDGES AND VISIBLE CORNERS
 - 6.25 TYP HDWD BASE W/ STAIN FINISH
 - 6.30 1X METAL WRAPPED FASCIA TRIM BOARDS
 - 6.40 SITE-FAB CASEWORK PARTITION
 - 6.42 LOW PARTITION WALL BY G.C.
 - 6.61 3/4" CORIAN EARTH WITH BULLNOSE EDGE
 - 7.01 DAMP PROOFING @ SLAB EDGE TO FTG BELOW
 - 7.20 2 X 24" RIGID PERMIETER INSULATION
 - 7.21 5-1/2" (R-19) BATT INSUL W/ VAPOR BARRIER
 - 7.23 2 LAYERS 2" RIGID FREEZER-SLAB INSULATION
 - 7.24 BATT OR FOAM-INSULATION FILL
 - 7.25 1 1/2" (UNO) WATER DRAINAGE EPS 2/ PRE-WRAPPED EDGE TRIM - WRAPPED EDGE TRIM - MECH ATTACH @ FRT PLYWD
 - 7.26 EPS CONTROL-JOINT
 - 7.27 AIR-MOISTURE BARRIER (AMB) ON SHEATHING
 - 7.28 MULTIPLE LAYER INSUL BOARD WITH KERFED BOTTOM
 - 7.40 STAND-SEAM ROOF (SSR) ON UNDERLAYMENT
 - 7.50 ROOFING-SYSTEM W/ TRT-W/D B/LKG @ EDGES
 - 7.51 ROOF MEMBRANE FULLY ADHERED TO STRUCTURAL SHEATHING
 - 7.52 FULLY-ADHERED ROOF MEMB - EXTEND UP BACK AND OVER FRONT OF PARAPET WALL
 - 7.53 SCUPPER THRU PARAPET, RE: 15A420 TYP
 - 7.54 ENERG SCUPPER 2" ABOVE PRIMARY
 - 7.55 TAPERED ROOF-INSUL W/ 1/4" IN/FT SLOPE
 - 7.60 SHT-MTL COPING AND CONT. CLEAT
 - 7.61 SHT MTL FLASH W/ SEAL & WEEPS @ 24" OC MAX - FORM 2 INCH END-DAM @ ALL SILLS
 - 7.62 SHEET METAL EXPANSION JOINT PER SMACNA DETAIL 5.14, DET 2
 - 7.63 SHT-MTL COUNTERFLASH
 - 7.64 SHT-MTL CONDUCTOR HD
 - 7.66 CONT SHT MTL GUTTER
 - 7.67 4 X 5" SHT-MTL DOWNSPOUT TO BOOT @ GRADE
 - 7.69 CONDENSATE ROOF-PENETRATION, RE: 17AA20
 - 7.70 30 X 36" ROOF-HATCH POST & RAILING, RE: 7BA450
 - 7.90 3/8" CONT SEAL W/ BACKER
 - 7.91 3/8" CONT SEAL W/ BACKER & WEEPS @ 24" OC
 - 8.40 ALUM STOREFRONT FRAMING-SYSTEM W/ MTL REIN & GLAZING - SEAL ALL AROUND TYP
 - 8.41 ALUM BREAK-METAL STOREFRONT TRIM
 - 8.70 EXTERIOR THRESHOLD @ DOOR
 - 8.80 1" INSULATED LOW-E GLASS TYP
 - 8.90 3"-0" X 3"-0" HINGED ACCESS LOUVER, RE: 14A420
 - 8.91 SHT-MTL ROOF VENT @ 8 FT OC TYP
 - 9.11 PTD 1/2" TYPE-X GYP-BD W/ C/S AT 30" MAX TYP
 - 9.12 1/2" TYPE-X GLASS-HAT TILE BACKER-BOARD
 - 9.13 DBL L-BEAD DRYWALL CONTROL-JOINT TYP
 - 9.14 PTD 1/2" TYPE-X GYP-BD CEILING/SOFFIT ON METAL FRAMING W/ BRACES AT 12 FT OC TYP
 - 9.15 EXTEND DRYWALL TO ROOF FOR DRAFTSTOP
 - 9.20 .0312" (20 GA) INT MTL STUDS @ 16" OC (SIZE)
 - 9.21 7/8" X 1/8" (25 GA) HAT CHAN @ 16" OC TYP
 - 9.22 1-1/2" X .052" (16 GA) CHCS @ 18" OC TYP
 - 9.30 TILE-BASE, RE: FIN SCHED
 - 9.31 EPOXY BASE, RE: FIN SCHED
 - 9.32 WD BASE, RE: FIN SCHED
 - 10.10 ILLUMINATED BUILDING SIGNAGE
 - 10.11 INTERIOR RECESSED LIGHT-BOX
 - 10.15 PSV ENTRY-DR SIGNAGE
 - 10.19 PSV BLDG ADDRESS NUMBERS
 - 10.14 PSV SPRINKLER VALVE ACCESS SIGNAGE
 - 10.15 PSV SERVICE-DOOR SIGNAGE
 - 10.21 TOOL-PTN PANEL W/ WD B/LKG
 - 10.23 S/S GRAB-BAR - MOUNT TO 2X8 WD B/LKG
 - 10.25 S/S CORNER GUARD FROM 6" - 60" AFF TYP
 - 10.26 S/S W/ALL-PANELING
 - 10.40 4A-606C FE MIN - VERIFY LOCATION W/ AHJ
 - 10.41 FE CABINET W/ 4A-606C FE
 - 10.42 CLASS K-15 LB FE, VERIFY LOCATION W/ AHJ
 - 10.80 PTD EXTERIOR GRILLE, RE: MECH
 - 11.1 TRASH DUMPSTER
 - 11.3 GREASE-CONTAINMENT SYSTEM @ EXHAUST
 - 11.4 SELF CONTAINED STORAGE SHED, BY OWNER
 - 11.21 TV/VIDEO-MONITOR
 - 11.22 ROOF-MTD SAT-DISH W/ B/LKG BELOW
 - 11.23 FSE COOLER/FRZR BOX W/ CLOSURE TRIM
 - 12.01 MILLWORK PROVIDED BY OWNER
 - 12.02 MILLWORK FURNISHED BY OWNER, INSTALLED BY G.C.
 - 12.03 BAR DIE BY G.C. RE: 1B100
 - 21.11 AUTO-SPRINKLER BACK-FLOW UNIT
 - 21.12 FIRE-ALARM CONTROL PANEL
 - 22.03 WATER HEATER UNIT
 - 22.04 HAND-SINK OR LAV W/ TOP @ 32" AFF TYP
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 - 26.03 LIGHT SCENE, RE: ELECTRICAL
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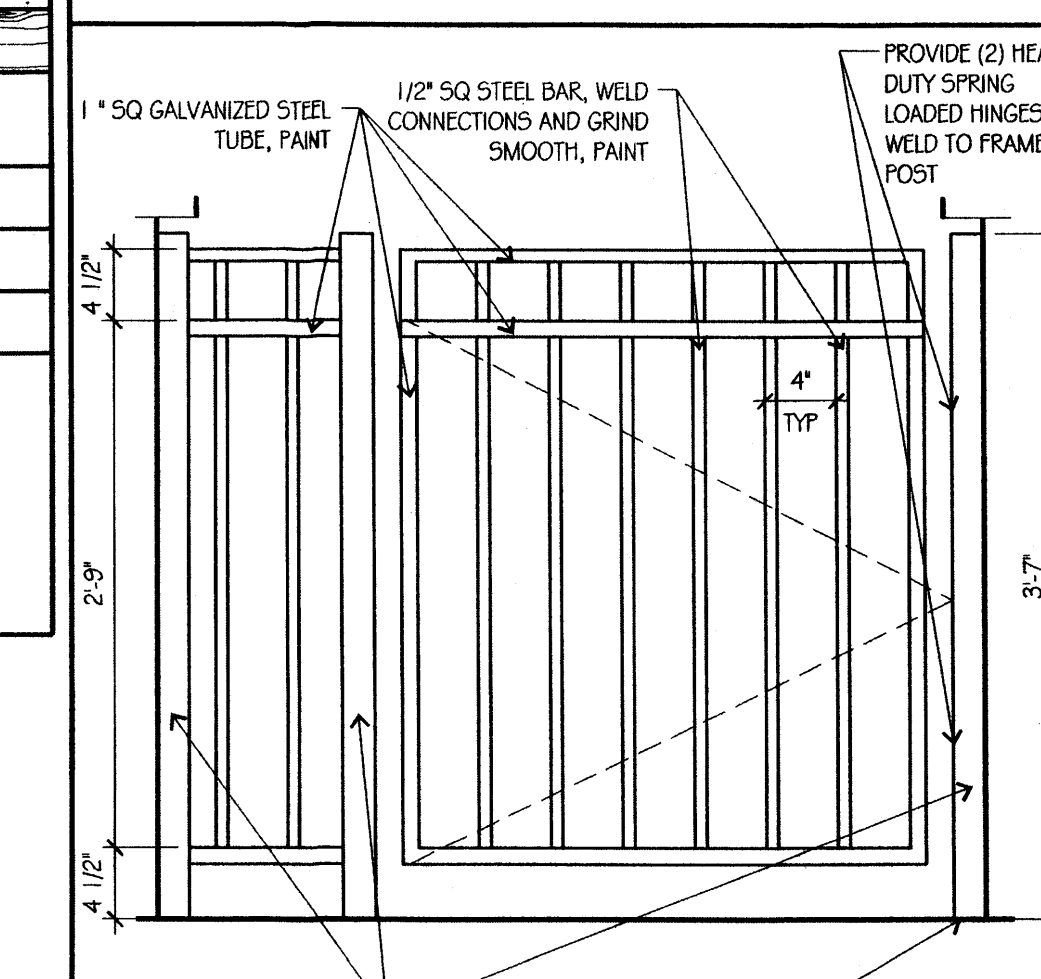
PATIO ELEVATION 7
 SCALE: 1/4"=1'-0"



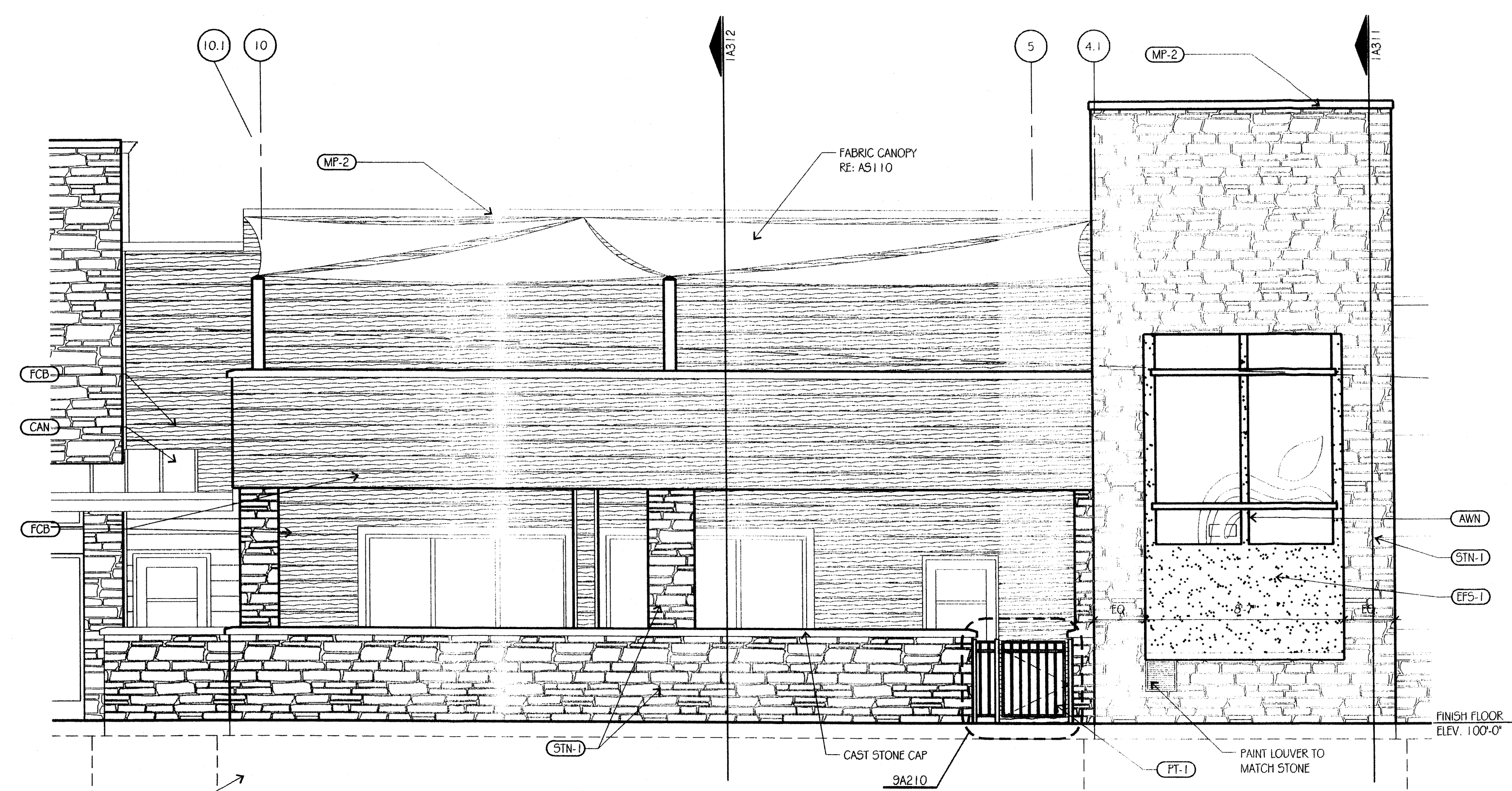
PATIO ELEVATION 3
 SCALE: 1/4"=1'-0"



GATE BASE DETAIL 10
 SCALE: 3/4"=1'-0"



PATIO GATE ELEVATION 9
 SCALE: 1"=1'-0"



PATIO ELEVATION 1
 SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

FINISH	MATERIAL	PATTERN
AWN-1	AWNING BY OWNERS VENDOR. G.C. TO COORDINATE INSTALLATION.	
AWN-2	TENSION AWNING. G.C. TO COORDINATE INSTALLATION.	
STN-1	STONE VENEER, CULTURED STONE, GOLDEN BUCKEYE CVS-528458	
CAN	CANOPY BY OWNERS VENDOR. G.C. TO COORDINATE INSTALLATION	
EFS-1	EXTERIOR FINISH SYSTEM - MATCH SW 6354 ARMAGNAC IN SANDBLAST TEXTURE	
FCB	JAMES HARDIE FIBER CEMENT BOARD SIDING, SELECT CEDARMILL 6" PLANK, CUSTOM COLOR TO MATCH BENJAMIN MOORE # 2163-30	
PT-1	PAINT AT EXTERIOR GATES AND TRIM - SHERWIN WILLIAMS, COLOR SW 6354 ARMAGNAC CONTACT: STACY STACHLER (216) 341-6444 - REFER TO NOTE 1	
PT-2	CONCRETE MASONRY INTERIOR OF TRASH ENCLOSURE - SHERWIN WILLIAMS, COLOR SW 6100 - PRACTICAL BEIGE - REFER TO NOTE 1	
SF-1	STOREFRONT & ASSOCIATED ALUMINUM BREAKMETAL: DARK BRONZE ANODIZED	
CMU-1	SMOOTH FACE, SINGLE SCORED, CMU BLOCK: TRENDSSTONE PLUS, COLONIAL RED	

NOTE 1: GC TO VERIFY WITH MANUFACTURER APPROPRIATE PRIMER AND PAINT GRADE FOR SUBSTRATE TO BE PAINTED, UNLESS OTHERWISE SPECIFIED

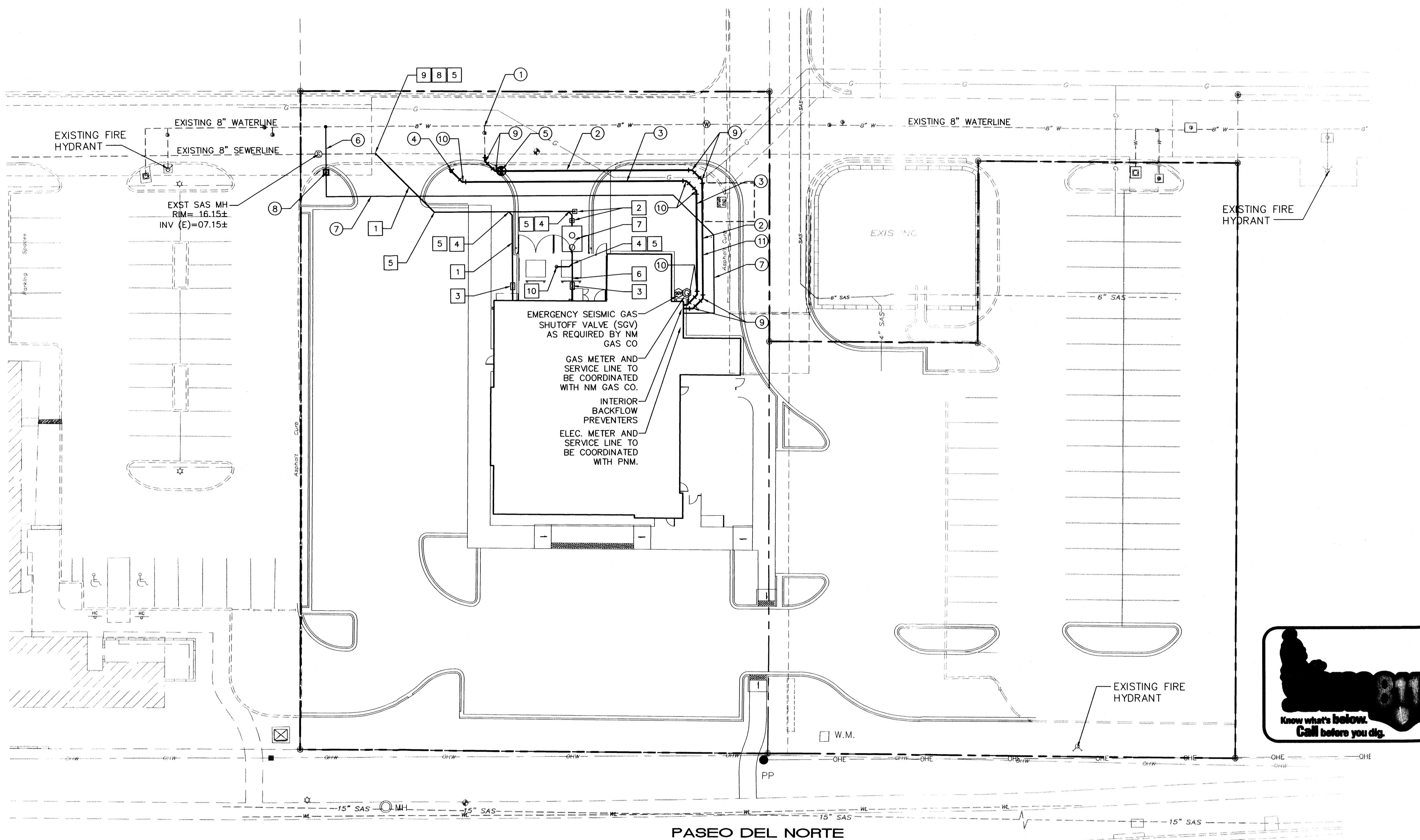
2. INSTALL CULTURED STONE WITH JOINT.

GENERAL NOTE: ALL SIGNAGE WORK TO BE DONE SEPARATELY UNDER A SEPARATE PERMIT. FINAL CONNECTION BY GC

① = TEMPERED

FOOTING SHOWN DASHED FOR REFERENCE. SLOPE OF SITE AND STEP IN FOOTING NOT SHOWN. RE: CIVIL AND STRUCTURAL DRAWINGS

NOTE: PROVIDE ANGLE STOP, COORDINATE W/ OWNER IF DETEX ALARM WILL BE REQUIRED.



GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING.
- ALL WATER FITTING SHALL HAVE JOINT RESTRAINTS.

KEYED NOTES

WATER KEYED NOTES

- CONNECT NEW 6" FIRE LINE TO EXISTING 6" STUB.
- 6" FIRE LINE.
- 4" FDC LINE.
- FIRE DEPT. CONNECTION (FDC).
- POST INDICATOR VALVE (PIV).
- 2" SERVICE PER COA STD. DWG. 2261 & 2363.
- 2" WATER SERVICE LINE.
- METER BOX PER COA STD. DWG. 2367.
- 6" - 45° BEND.
- 4" - 45° BEND.
- 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.

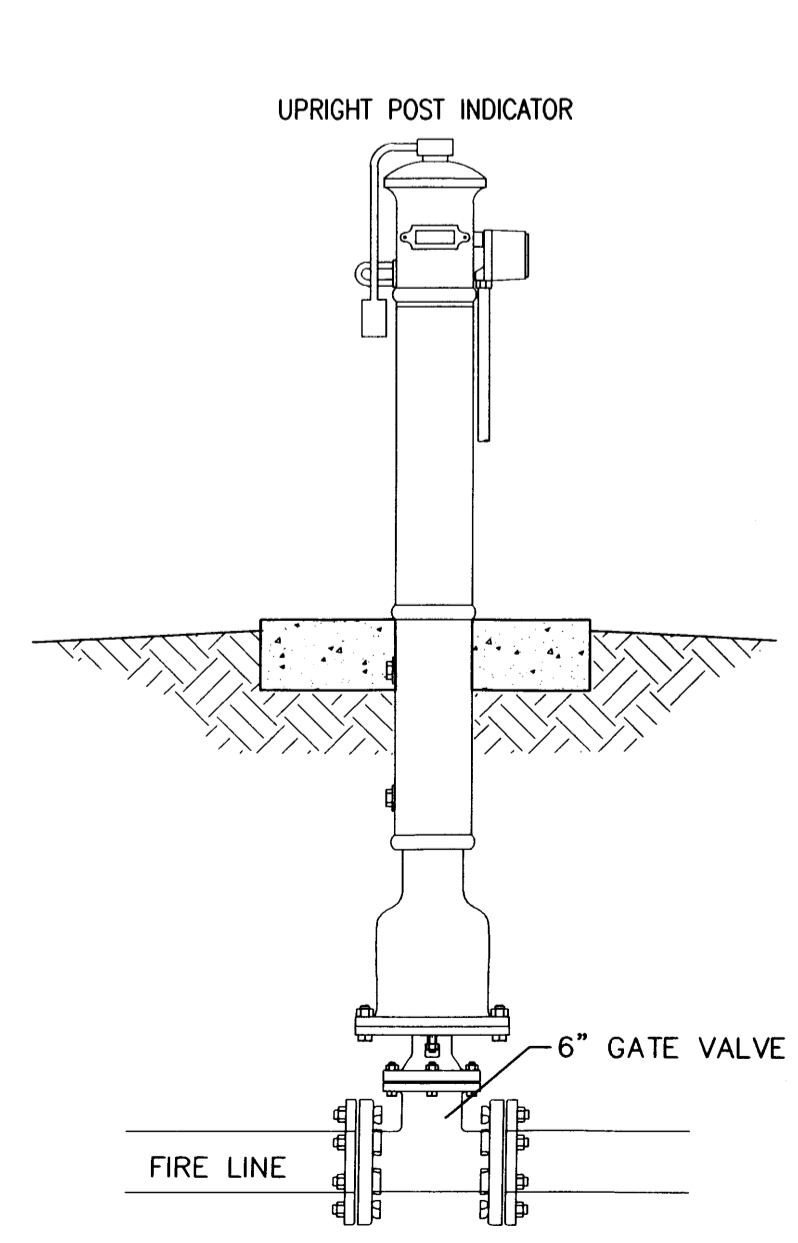
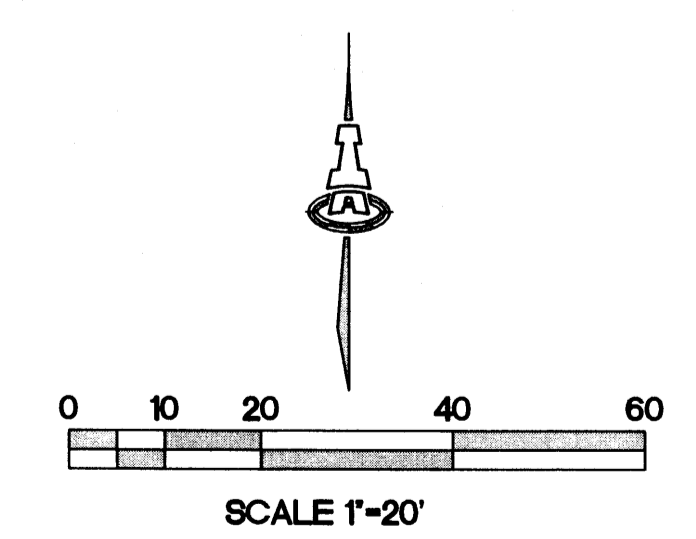
SEWER

- NEW 4" SAS SERVICE LINE AT 2% MIN. SLOPE.
- SINGLE CLEANOUT PER DETAIL THIS SHEET.
- DOUBLE CLEANOUT PER DETAIL THIS SHEET.
- 4" WYE.
- 4" 45° BEND.
- 4" GREASE LINE
- 1500 GALLON GREASE INTERCEPTOR. SEE MECHANICAL PLANS FOR DETAILS.
- 6" x 4" REDUCER.
- CONNECT NEW SEWER LINE TO EXISTING 6" STUB.
- 4" HEAVY DUTY CAST IRON FLOOR DRAIN W/ P-TRAP.

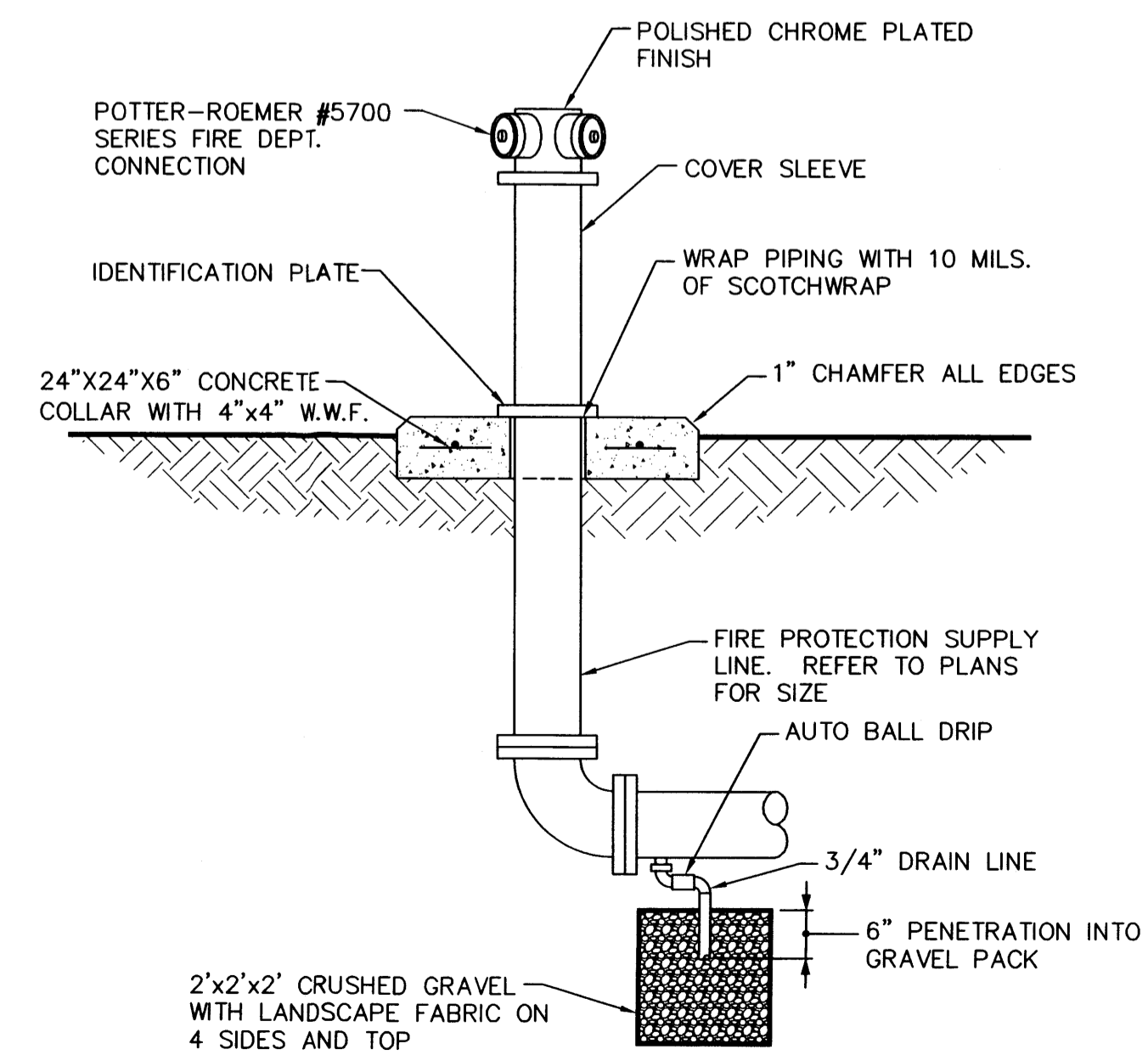


LEGEND

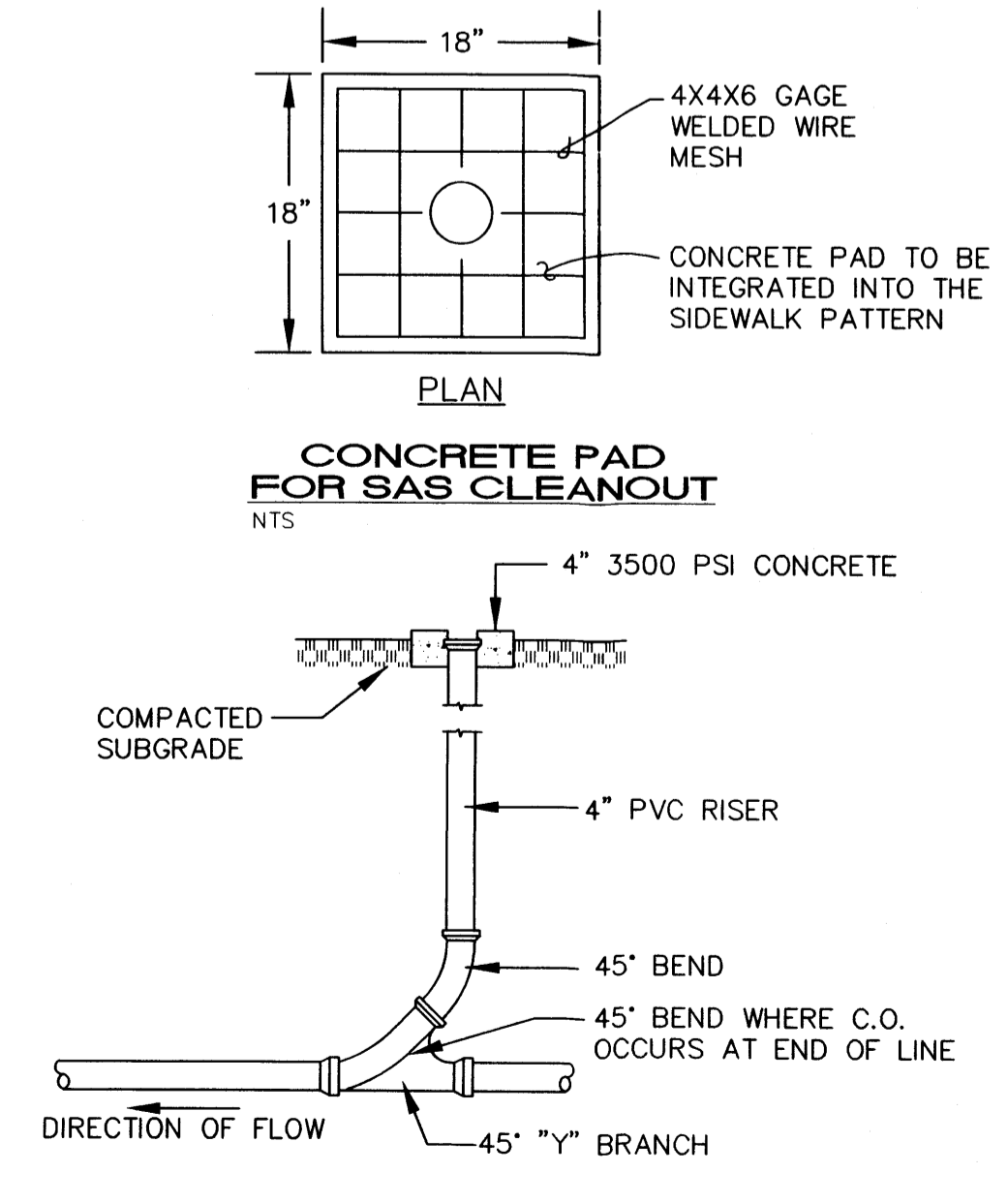
- WATER METER & BOX
- WATER SERVICE LINE
- SAS SERVICE LINE
- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- NEW GAS METER
- EXISTING WATERLINE
- EXISTING SEWER LINE



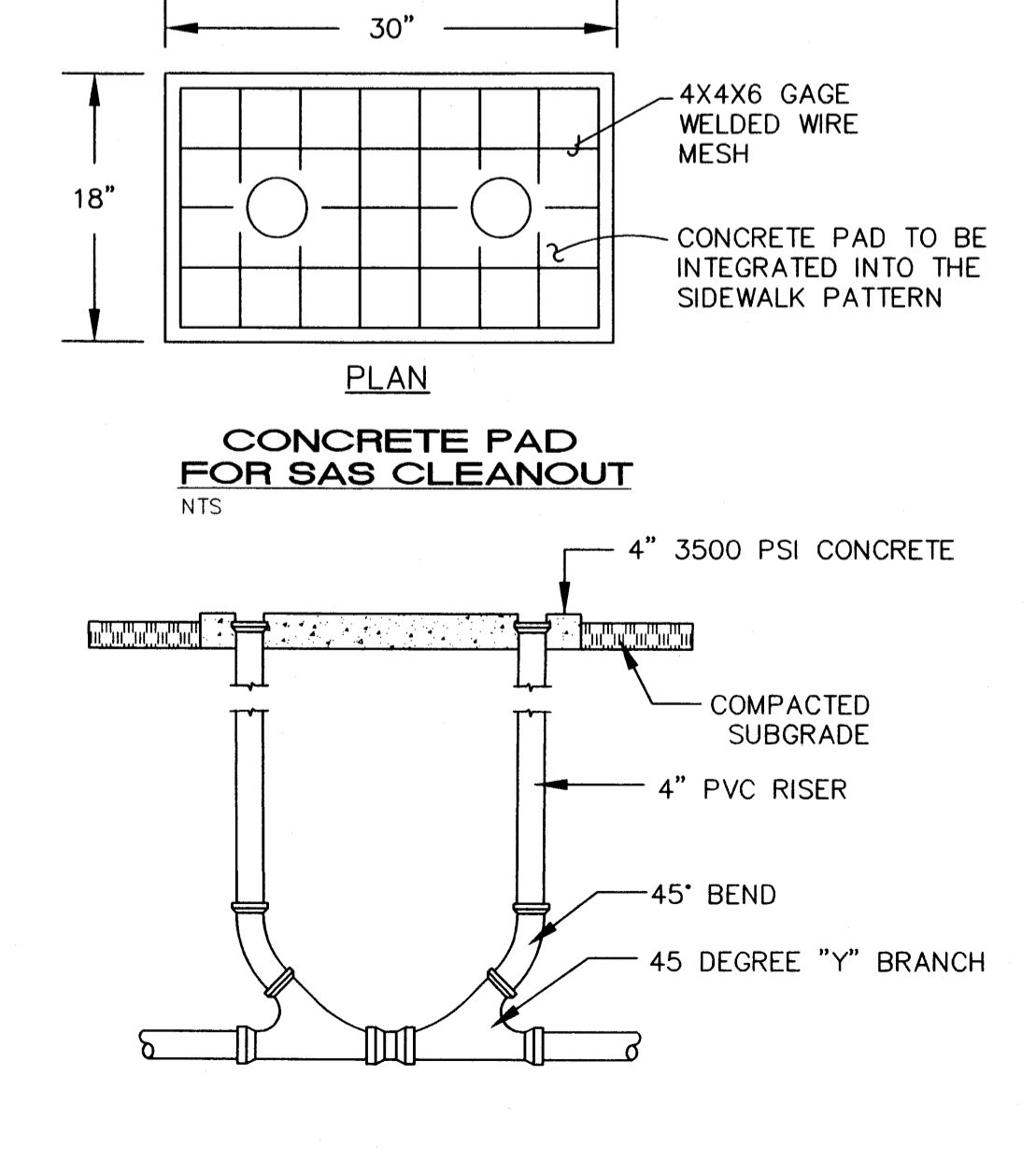
POST INDICATOR VALVE
NTS



FREE-STANDING FIRE DEPARTMENT CONNECTION DETAIL
NTS



SINGLE CLEANOUT DETAIL
NTS



DOUBLE/SINGLE CLEANOUT DETAIL
NTS

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VERIFY ACTUAL CONDITIONS and dimensions prior to construction. Commencement of work constitutes verification and acceptance of all existing conditions. Application of a material or equipment to Work installed by others constitutes acceptance of that Work, and assumption of responsibility for satisfactory installation.
DIMENSIONS SHOWN are to finish face of a material unless otherwise indicated. OBTAIN & VERIFY dimensions - DO NOT SCALE drawings unless otherwise directed.

project title
Applebees
Lot 20 Holly Place
ALBUQUERQUE, NEW MEXICO, 12345

project number
13024016
drawing issuance
BID / PERMIT 05.31.2013
drawing revisions
No. Description: Date:
ADD EAST PARKING LOT 09-20-13

professionalseal

drawing title
SITE UTILITY PLAN
drawing number
CU-101

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iaacivil.com
1985 CU-101.dwg Sep 24, 2013

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