



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 21, 2006

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engine

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

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**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:10 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1003175**  
06DRB-00733 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for D R HORTON INC request(s) the above action(s) for all or a portion of Tract(s) 33C-1-A, **SUN GATE SUBDIVISION**, zoned R-LT, located on GIBSON BLVD SW, between BLAKE RD SW and MESA ARENOSA DR SW containing approximately 24 acre(s). [REF: 04DRB-01126] (N-9) **A ONE-YEAR SIA WAS APPROVED.**

2. **Project # 1003612**  
06DRB-00737 Major-Preliminary Plat Approval  
06DRB-00738 Major-Vacation of Pub Right-of-Way  
06DRB-00739 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 37, TOWN OF ATRISCO GRANT (to be known as **SUNDORO SOUTH, UNIT 9**) zoned SU-2 R-LT, located on ENDEE RD NW, between 98<sup>TH</sup> ST NW and 94<sup>TH</sup> ST NW containing approximately 6 acre(s). [REF: 04DRB-01868] *[Deferred from 6/21/06]* (J-9) **DEFERRED AT THE AGENT'S REQUEST TO 6/28/06.**

3. **Project # 1004913**  
06DRB-00730 Major-Vacation of Public Easements  
06DRB-00731 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for REGENTS OF THE UNIVERSITY OF NEW MEXICO (REAL ESTATE) request(s) the above action(s) for all or a portion of Parcel(s) 1, 2, A & B, UNPLATTED LANDS OF UNM (to be known as **TRACTS A, B, C, & D, UNM LANDS WEST**) zoned C-3, located on UNIVERSITY BLVD NE, between INDIAN SCHOOL RD NE and LOMAS BLVD NE containing approximately 20 acre(s). (J-15) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

4. **Project # 1004496**  
06DRB-00667 Major-Preliminary Plat Approval  
06DRB-00668 Major-Vacation of Pub Right-of-Way  
06DRB-00669 Major-Vacation of Public Easements  
06DRB-00671 Minor-SiteDev Plan Subd/EPC  
06DRB-00670 Minor-Sidewalk Waiver

GARCIA/KRAEMER & ASSOCIATES agent(s) for TRAMWAY ASSOCIATES INC request(s) the above action(s) for all or a portion of Lot(s) 1, 1A & 1B, Block(s) J & K, CENAROCA ADDITION (to be known as **THE BLUFFS AT ENCANTADO**) zoned SU-1, RT, located on TRAMWAY BLVD NE, between SKYLINE RD NE and ENCANTADO RD NE containing approximately 3 acre(s). [REF: 05EPC-01805, 06EPC-00138] **[Stephanie Shumsky, EPC Case Planner]** *[Deferred from 6/7/06 & 6/14/06]* (K-23/L-23) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/21/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/18/06 THE PRELIMINARY PLAT WAS APPROVED. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3**

COPIES OF THE SITE PLAN AND THE 15-DAY APPEAL PERIOD. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1004624**  
06DRB-00872 Minor-SiteDev Plan  
BldPermit/EPC
- DENISH & KLINE ASSOCIATES agent(s) for HUNT UPTOWN III LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, SAINT PIUS X (to be known as **UPTOWN VILLAGE APARTMENTS**) zoned SU-2 FOR R-2 AND O-1, located on INDIAN SCHOOL RD NE, between ESPANOLA NE and UPTOWN LOOP RD NE containing approximately 7 acre(s). [REF: 06EPC00023] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 6/21/06*] (H-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/28/06.**
6. **Project # 1004773**  
06DRB-00865 Minor-SiteDev Plan Subd  
06DRB-00866 Minor-SiteDev Plan  
BldPermit **W/D**
- GEORGE RAINHART ARCHITECTS & ASSOCIATES agent(s) for PASEO PLACE LLC request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 20 & 21, Tract(s) A, Block(s) 18, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 – M-1 special neighborhood zone, located on HOLLY AVE NE, between I-25 and SAN PEDRO NE containing approximately 4 acre(s). [REF: 06DRB-00377, 06DRB-00750] (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST. APPLICATION #06DRB00866, THE SITE PLAN FOR BUILDING PERMIT, WAS WITHDRAWN AT THE AGENT'S REQUEST.**
- 06DRB-00750 Minor-Prelim&Final Plat  
Approval
- ISAACSON & ARFMAN PA agent(s) for PASEO PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 12, 13, 20 & 21, Block(s) 18, **NORTH**



ALBUQUERQUE ACRES, UNIT B (to be known as **PASEO PLACE**) zoned SU-1 for M-1, located on HOLLY AVE NE, between PASEO DEL NORTE NE and SAN PEDRO DR NE containing approximately 4 acre(s). [REF: 06DRB-00377] [Was Indef Deferred for the site plan.] (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

7. **Project # 1004676**  
06DRB-00746 Minor-SiteDev Plan  
BldPermit/EPC  
06DRB-00745 Minor-Prelim&Final Plat  
Approval

COMMUNITY SCIENCES CORP agent(s) for ALEXANDER SAMUELS REALTY GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) A-2-A, RIDGEVIEW VILLAGE, UNIT 1, and Tract(s) E, LANDS OF ZOLIN/KUNATH (to be known as **VILLAGE CENTER**) zoned SU-1 for C-1, SU-1 for MIXED USE, located on UNSER BLVD NW NW, between NIGHT WHISPER DR NW and CALLE PERRO RD NW containing approximately 3 acre(s). [David Stallworth, EPC Case Planner] [Deferred from 6/7/06] (A-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/21/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND PLANNING FOR DAVID STALLWORTH'S INITIALS ON THE SITE PLAN AND 3 COPIES OF THE SITE PLAN. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING TO RECORD.**

ajw

8. **Project # 1002405**  
06DRB-00796 Minor-SiteDev Plan  
BldPermit/EPC

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for CRACKER BARREL OLD COUNTRY STORE INC request(s) the above action(s) for all or a portion of Tract(s) A-28-B-1-A, NORTHEAST UNIT, TOWN OF ATRISCO GRANT (to be known as **CRACKER BARREL**) zoned SU-1 FOR C-1 AUTO BODY REPAIR AND PAINTING, located on REDLANDS RD NW, between COORS BLVD NW and ATRISCO DR NW containing approximately 3 acre(s). [REF: DRB-94-398, Z-99-94, 06EPC00471] [Carmen Marrone, EPC Case Planner] [Deferred from 6/14/06] (G-11) **THE SITE PLAN FOR**



**BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

9. **Project # 1004532**  
06DRB-00741 Minor-SiteDev Plan  
BldPermit/EPC

FANNING BARD TATUM ARCHITECTS agent(s) for ASHCROFT REAL ESTATE & DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B-1, MESA DEL NORTE ADDITION (to be known as **LOUISIANA PLACE**, zoned SU-2, R-2 & O-1, located on LOUISIANA BLVD NE, between CONSTITUTION BLVD NE and SUMMER AVE NE containing approximately 5 acre(s). [REF: 05EPC-01693] [**Stephanie Shumsky, EPC Case Planner**] [*Deferred from 6/7/06 & 6/14/06*] (J-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/21/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN AND UTILITIES DEVELOPMENT FOR DRC PLANS AND A PAPER EASEMENT.**

#### **MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

10. **Project # 1003610**  
06DRB-00873 Minor-Final Plat Approval

WILSON AND COMPANY agent(s) for CURB INC LLC request(s) the above action(s) for all or a portion of Tract(s) 29A, LANDS OF SALAZAR, QUATRO, JSJ HANNETT (to be known as **ARROWWOOD HILLS, UNIT 1**) zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO BLVD SW and MESA ARENOSA SW containing approximately 29 acre(s). [REF: 02DRB-01621, 02DRB-01622, 04DRB-00137, 04DRB-00261, 04DRB-00262, 04DRB-00263, 05DRB-01761] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE, TO RECORD THE PLAT AND TO VERIFY THE VACATION OF 34-FEET OF A PUBLIC ACCESS AND UTILITY EASEMENT.**

11. **Project # 1004412**  
06DRB-00870 Minor-Prelim&Final Plat  
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for ABLE ARAGON request(s) the above action(s) for all or a portion of Lot(s) 361, 362 & 363, **RIO GRANDE HEIGHTS**, zoned R-2 residential zone, located on 55TH ST SW, between SUNSET GARDENS RD SW and GONZALES RD SW containing approximately 1 acre(s). [REF: 05DRB-01413] (K-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

12. **Project # 1004073**  
06DRB-00860 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5-A, **JUAN TABO HILLS, UNIT 1B**, zoned RD, located on WAR ADMIRAL DR SE, between SHADOW LEADER DR SE and TRACT 1-A, containing approximately 3 acre(s). (M-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

06DRB-00858 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5-C, **JUAN TABO HILLS, UNIT 1A**, zoned RD, located on JUAN TABO BLVD SE, between PETESKI AVE SE and TRACT 1-B, containing approximately 5 acre(s). (M-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

13. **Project # 1003655**  
05DRB-01833 Minor-Final Plat Approval

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 8, 15, 16 & 17, Block(s) 1, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **LA VISTA AT DESERT RIDGE TRAILS**) zoned RD, located on WYOMING BLVD NE, between EAGLE ROCK AVE NE and MODESTO AVE NE containing approximately 3 acre(s). [REF: 04DRB01373] [*Deferred from 12/14/05 & 1/11/06 & 2/22/06*] (C-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

14. **Project # 1001028**  
05DRB-01886 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Tract(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned R-1, located on ALEJANDRO ST NW, between BLUE WATER NW and RINCON NW containing approximately 5 acre(s). *[Was Indef Deferred on 12/21/05, Indef Deferred on 5/17/06]* (J-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/21/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

15. **Project # 1004804**  
06DRB-00751 Minor-Prelim&Final Plat  
Approval

JESUS SANDOVAL agent(s) for ALEX MCLUSSEr request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 8, **CASAS SERENAS**, zoned R-2, located on PENNSYLVANIA SE, between TRUMBULL SE and BELL SE containing approximately 1 acre(s). *[Deferred from 6/7/06]* (L-19) **INDEFINITELY DEFERRED ON A NO SHOW.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

16. **Project # 1004675**  
06DRB-00836 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES agent(s) for T.S. MCNANEY request(s) the above action(s) for all or a portion of Lot(s) 1, SP KINSCHERFF LAND (to be known as **VISTA DE LA LUZ SUBDIVISION**) zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 28 acre(s). [REF: 06EPC-00140] (F-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

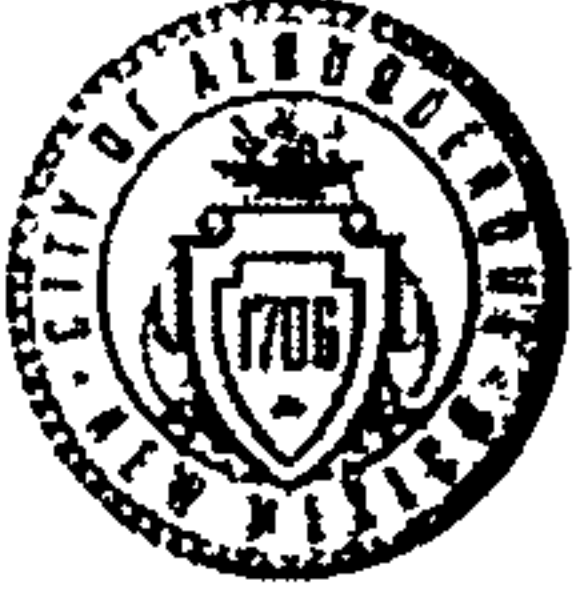


17. **Project # 1004970**  
06DRB-00871 Minor-Sketch Plat or Plan

THOMAS KALM ATTORNEY agent(s) for BEN PADILLA request(s) the above action(s) for all or a portion of Lot(s) 26-A, Block(s) 4, **WHITE CITY ADDITION**, zoned C-2 & C-3, located on MENAUL BLVD NW, between 4<sup>TH</sup> ST NW and 5<sup>TH</sup> ST NW containing approximately 1 acre(s). [REF: DRB-98-289] (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for June 14, 2006. **NO MINUTES WERE APPROVED THIS WEEK AT THE ADMINISTRATIVE ASSISTANT'S REQUEST.**

ADJOURNED: 11:10 A.M.



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COPIES OF THE SITE PLAN AND THE 15-DAY APPEAL PERIOD. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

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Approval
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06DRB-00741 Minor-SiteDev Plan  
BldPermit/EPC

FANNING BARD TATUM ARCHITECTS agent(s) for ASHCROFT REAL ESTATE & DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B-1, MESA DEL NORTE ADDITION (to be known as **LOUISIANA PLACE**, zoned SU-2, R-2 & O-1, located on LOUISIANA BLVD NE, between CONSTITUTION BLVD NE and SUMMER AVE NE containing approximately 5 acre(s). [REF: 05EPC-01693] [**Stephanie Shumsky, EPC Case Planner**] [*Deferred from 6/7/06 & 6/14/06*] (J-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/21/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE SITE PLAN AND UTILITIES DEVELOPMENT FOR DRC PLANS AND A PAPER EASEMENT.**

#### **MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

- 10. Project # 1003610**  
06DRB-00873 Minor-Final Plat Approval

WILSON AND COMPANY agent(s) for CURB INC LLC request(s) the above action(s) for all or a portion of Tract(s) 29A, LANDS OF SALAZAR, QUATRO, JSJ HANNETT (to be known as **ARROWWOOD HILLS, UNIT 1**) zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO BLVD SW and MESA ARENOSA SW containing approximately 29 acre(s). [REF: 02DRB-01621, 02DRB-01622, 04DRB-00137, 04DRB-00261, 04DRB-00262, 04DRB-00263, 05DRB-01761] (N-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE, TO RECORD THE PLAT AND TO VERIFY THE VACATION OF 34-FEET OF A PUBLIC ACCESS AND UTLITY EASEMENT.**



11. **Project # 1004412**  
06DRB-00870 Minor-Prelim&Final Plat  
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for ABLE ARAGON request(s) the above action(s) for all or a portion of Lot(s) 361, 362 & 363, **RIO GRANDE HEIGHTS**, zoned R-2 residential zone, located on 55TH ST SW, between SUNSET GARDENS RD SW and GONZALES RD SW containing approximately 1 acre(s). [REF: 05DRB-01413] (K-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

12. **Project # 1004073**  
06DRB-00860 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5-A, **JUAN TABO HILLS, UNIT 1B**, zoned RD, located on WAR ADMIRAL DR SE, between SHADOW LEADER DR SE and TRACT 1-A, containing approximately 3 acre(s). (M-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

06DRB-00858 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for JTH LLC request(s) the above action(s) for all or a portion of Tract(s) 5-C, **JUAN TABO HILLS, UNIT 1A**, zoned RD, located on JUAN TABO BLVD SE, between PETESKI AVE SE and TRACT 1-B, containing approximately 5 acre(s). (M-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

13. **Project # 1003655**  
05DRB-01833 Minor-Final Plat Approval

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 8, 15, 16 & 17, Block(s) 1, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **LA VISTA AT DESERT RIDGE TRAILS**) zoned RD, located on WYOMING BLVD NE, between EAGLE ROCK AVE NE and MODESTO AVE NE containing approximately 3 acre(s). [REF: 04DRB01373] [*Deferred from 12/14/05 & 1/11/06 & 2/22/06*] (C-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

14. **Project # 1001028**  
05DRB-01886 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Tract(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned R-1, located on ALEJANDRO ST NW, between BLUE WATER NW and RINCON NW containing approximately 5 acre(s). *[Was Indef Deferred on 12/21/05, Indef Deferred on 5/17/06]* (J-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/21/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

15. **Project # 1004804**  
06DRB-00751 Minor-Prelim&Final Plat  
Approval

JESUS SANDOVAL agent(s) for ALEX MCLUSSEr request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 8, **CASAS SERENAS**, zoned R-2, located on PENNSYLVANIA SE, between TRUMBULL SE and BELL SE containing approximately 1 acre(s). *[Deferred from 6/7/06]* (L-19) **INDEFINITELY DEFERRED ON A NO SHOW.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

16. **Project # 1004675**  
06DRB-00836 Minor-Sketch Plat or Plan

MARK GOODWIN & ASSOCIATES agent(s) for T.S. MCNANEY request(s) the above action(s) for all or a portion of Lot(s) 1, SP KINSCHERFF LAND (to be known as **VISTA DE LA LUZ SUBDIVISION**) zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAILS NW and DELLYNE NW containing approximately 28 acre(s). [REF: 06EPC-00140] (F-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1004970**  
06DRB-00871 Minor-Sketch Plat or Plan

THOMAS KALM ATTORNEY agent(s) for BEN PADILLA request(s) the above action(s) for all or a portion of Lot(s) 26-A, Block(s) 4, **WHITE CITY ADDITION**, zoned C-2 & C-3, located on MENAUL BLVD NW, between 4<sup>TH</sup> ST NW and 5<sup>TH</sup> ST NW containing approximately 1 acre(s). [REF: DRB-98-289] (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for June 14, 2006. **NO MINUTES WERE APPROVED THIS WEEK AT THE ADMINISTRATIVE ASSISTANT'S REQUEST.**

ADJOURNED: 11:10 A.M.





**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1004773**

**AGENDA ITEM NO: 6**

**SUBJECT:**

Site Plan for Subd  
Site Plan for BP  
Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat and Site Plan sign-off.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** June 21, 2006

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

*Indef*

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
June 21, 2006  
DRB Comments

ITEM # 6

PROJECT # 1004773

APPLICATION # 06-00865/~~00-00000~~

w/drawn  
per  
A.R.

RE: Lots 12,13,20,21, Tract A, Block 18, N.A.A. Unit 1/sps,spbp

✓ The property lies within 1000 feet of a landfill. This requires AEHD signatures on the plat & both site plans or a letter of exemption.

✓ The lot lines being eliminated should appear labeled as such on the SPS along with clearly defined new lot lines. The new lot lines on both site plans should be darkened for easy identification.

~~Elevations are needed for the site plan for building permit for at least the Phase 1 tenant.~~

✓ The signature blocks: Remove the word "signoff" from the title. This word is used only to indicate final sign off after EPC approval. EPC was not involved in this site plan submittal.

~~"Required cars ...does this refer to parking spaces? The calculations should be shown including the total number of spaces required and provided. Motorcycle spaces are required now as well."~~

✓ What is the trailer shown on the site plan? Why is there a black bar extending to the middle of Holly on the south side of the south access to the property? Does the concrete pad encroach on the property line?

~~What is the purpose of the dotted circles on the SPBP? If they were eliminated, the SPBP would be much less cluttered.~~

~~What materials/colors are to be used on the pedestrian paths from the parking lot to the buildings?~~

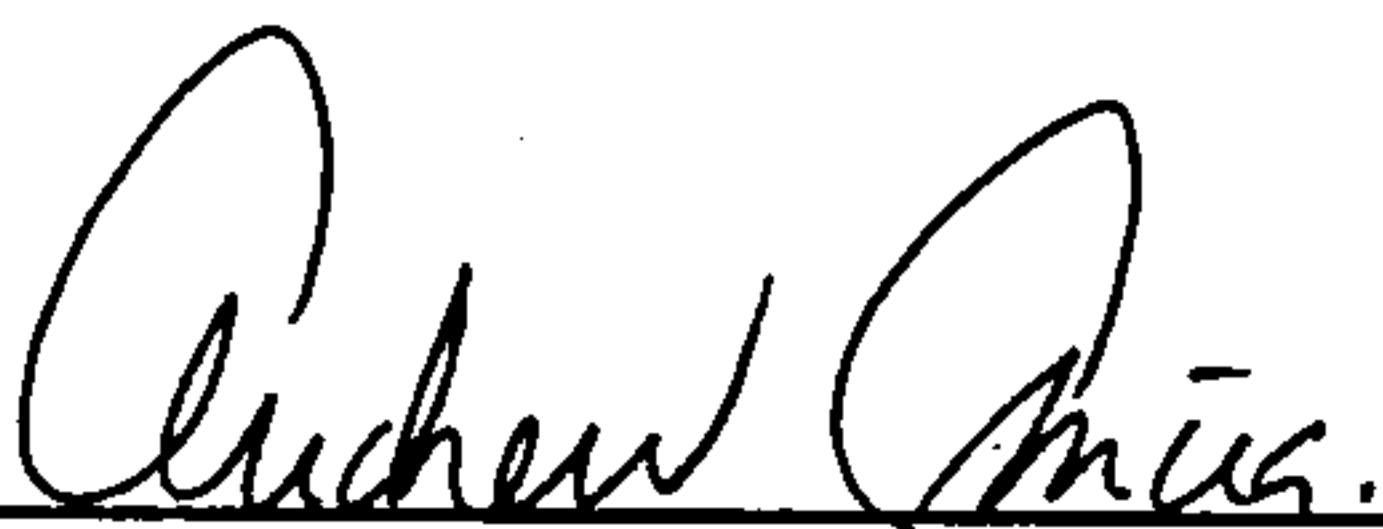
- ✓ Are there any walls...retaining or perimeter...planned along Holly or Paseo del Norte?

~~There is a stand alone sign indicated on the site plan. An elevation is required with dimensions, materials, colors. What type of sign identification is planned for the Holly side?~~

Phase 1 shows a very irregular lot size. The required parking must be adjacent to the building for Phase I. What other reason is there for remote parking spaces as shown?

~~Identify what the keyed notes on Page A1.2 refer to~~

~~These comments are far too numerous to take delegation. When all the corrections are made, bring in a revised copy to Planning at least by Monday noon of the week the site plans are on the DRB agenda again.~~



---

Andrew Garcia, Planning Alternate  
924-3858 Fax 924-3864 agarcia@cabq.gov







**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 7, 2006

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 12:15 P.M.  
B. Changes and/or Additions to the Agenda  
C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000575**  
06DRB-00665 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for all or a portion of Tract(s) B, **PRESBYTERIAN HOSPITAL, MAIN CAMPUS, PHASE 1**, zoned SU-2, SU-1 for Hospital & Related Uses, located on SILVER AVE SE, between LEAD AVE SE and CEDAR ST SE. [REF: 01EPC-01561] (K-15) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

06DRB-00743 Minor-Prelim&Final Plat  
Approval

BOHANNAN HUSTON agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for all or a portion of Tract(s) 8-A, **PRESBYTERIAN HOSPITAL, MAIN CAMPUS PHASE 1**, zoned SU-2, SU-1 for Hospital & Related Uses,, located on SILVER AVE NE, between LEAD AVE NE and CEDAR ST NE containing approximately 2 acre(s). [REF: 06DRB-00665] (K-15) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE, 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

**2. Project # 1004496**

06DRB-00667 Major-Preliminary Plat  
Approval

06DRB-00668 Major-Vacation of Pub  
Right-of-Way

06DRB-00669 Major-Vacation of Public  
Easements

06DRB-00671 Minor-SiteDev Plan  
Subd/EPC

06DRB-00670 Minor-Sidewalk Waiver

GARCIA/KRAEMER & ASSOCIATES agent(s) for TRAMWAY ASSOCIATES INC request(s) the above action(s) for all or a portion of Lot(s) 1, 1A & 1B, Block(s) J & K, CENAROCA ADDITION (to be known as **THE BLUFFS AT ENCANTADO**) zoned SU-1, RT, located on TRAMWAY BLVD NE, between SKYLINE RD NE and ENCANTADO RD NE containing approximately 3 acre(s). [REF: 05EPC-01805, 06EPC-00138] [**Stephanie Shumsky, EPC Case Planner**] [*Deferred from 6/7/06*] (K-23/L-23) **DEFERRED AT THE AGENT'S REQUEST TO 6/14/06.**

**3. Project # 1004880**

06DRB-00643 Major-Vacation of Pub  
Right-of-Way

WADE JACKSON agent(s) for S & S TREZZA LLC request(s) the above action(s) for all or a portion of Lot(s) B, Block(s) 4, **ROSITA ADDITION**, zoned C-2, located on COORS BLVD NW, between BICE RD NW and ILIFF RD NW containing approximately 1 acre(s). (H-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH CONDITIONS: 9-FEET FROM FACE OF CURB ON BICE ROAD IS REQUIRED, A LETTER FROM NMDOT IS REQUIRED AT FINAL PLAT CONCURRING IN THE VACATION ACTION, THE WATER AND STORM DRAIN EASEMENTS ALONG COORS MUST BE RETAINED.**

4. **Project # 1004877**  
06DRB-00634 Major-Vacation of Pub  
Right-of-Way  
06DRB-00635 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC agent(s) for THE BOARD OF EDUCATION FOR THE CITY OF ALBUQUERQUE (APS REAL ESTATE OFFICE) request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 3 and Lot(s) 1-9, Block(s) 4, **MANDELL ADDITION NO 2**, zoned M-1, located on WOODLAND AVE NW, between 4<sup>TH</sup> ST NW and 2<sup>ND</sup> ST NW containing approximately 4 acre(s). [Deferred from 5/31/06 & 6/7/06] (H-14) **DEFERRED AT THE BOARD'S REQUEST TO 6/14/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

5. **Project # 1004921**  
06DRB-00752 Minor-Volcano Heights  
Sector Development Plan Boundaries

SIGNE RICH agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for BOUNDARIES INCLUDING **VOLCANO CLIFFS, LA CUENTISTA, VISTA VIEJA AND THE TRAILS**, zoned R-1, RD and C-2, containing approximately 3,500 acre(s). (C-8, C-12, G-8, G-9 & E-10) **THE DEVELOPMENT REVIEW BOARD RECOMMENDS APPROVAL OF THE VOLCANO HEIGHTS SECTOR DEVELOPMENT PLAN BOUNDARIES, AS PRESENTED, TO THE ENVIRONMENTAL PLANNING COMMISSION.**

6. **Project # 1004532**  
06DRB-00741 Minor-SiteDev Plan  
BldPermit/EPC

FANNING BARD TATUM ARCHITECTS agent(s) for ASHCROFT REAL ESTATE & DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B-1, MESA DEL NORTE ADDITION (to be known as **LOUISIANA PLACE**, zoned SU-2, R-2 & O-1, located on LOUISIANA BLVD NE, between CONSTITUTION BLVD NE and SUMMER AVE NE containing approximately 5 acre(s). [REF: 05EPC-01693] [**Stephanie Shumsky, EPC Case Planner**] [Deferred from 6/7/06] (J-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/14/06.**



7. **Project # 1004676**  
06DRB-00746 Minor-SiteDev Plan  
BldPermit/EPC  
06DRB-00745 Minor-Prelim&Final Plat  
Approval

COMMUNITY SCIENCES CORP agent(s) for ALEXANDER SAMUELS REALTY GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) A-2-A, RIDGEVIEW VILLAGE, UNIT 1, and Tract(s) E, LANDS OF ZOLIN/KUNATH (to be known as **VILLAGE CENTER**) zoned SU-1 for C-1, SU-1 for MIXED USE, located on UNSER BLVD NW NW, between NIGHT WHISPER DR NW and CALLE PERRO RD NW containing approximately 3 acre(s). **[David Stallworth, EPC Case Planner]** *[Deferred from 6/7/06]* (A-11) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

#### **MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

8. **Project # 1001218**  
06DRB-00735 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for DALE ARMSTRONG request(s) the above action(s) for all or a portion of Tract(s) 4, **LANDS OF LAFARGE**, zoned M-1, located on CARMONY RD NE, between EDITH BLVD NE and YALE BLVD NE containing approximately 6 acre(s). **(G-15) PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A SIDEWALK ISSUE.**

9. **Project # 1004769**  
06DRB-00734 Minor-Prelim&Final Plat  
Approval

SURVEYS SOUTHWEST LTD agent(s) for RAYMOND KO request(s) the above action(s) for all or a portion of Lot(s) 25, 26-A, Block(s) 109, with the southerly 22 feet of Menaul Blvd, **SNOW HEIGHTS ADDITION**, zoned C-1, located on MENAUL BLVD NE, between MORRIS ST NE and TOWNER AVE NE containing approximately 1 acre(s). **[REF: 06DRB00370] (H-21) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/7/06 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: DEDICATION OF RIGHT-OF-WAY ALONG MENAUL SHALL OCCUR ON THE PLAT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**



10. **Project # 1001304**  
06DRB-00749 Minor-Prelim&Final Plat  
Approval

CHRISTOPHER CALOTT request(s) the above action(s) for all or a portion of Lot(s) 17-A, 17-B, 17-C and 15-A, Block(s) 18, **PEREA ADDITION**, zoned R-1, located on 14<sup>TH</sup> ST NW, between ROMA AVE NW and FRUIT AVE NW containing approximately 1 acre(s). [REF: 06DRB-00574] (J-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DRY UTILITIES SIGNATURES AND TO RECORD THE PLAT.**

11. **Project # 1001685**  
06DRB-00736 Minor-Vacation of Private  
Easements

GREAT BASIN ENGINEERING agent(s) for SMITHS FOOD & DRUG CENTERS INC request(s) the above action(s) for all or a portion of Tract(s) 1B-2, **PARADISE NORTH**, zoned SU-1 FOR IP, located on MCMAHON BLVD NW, between GOLF COURSE RD NW and BANDALIER NW containing approximately 8 acre(s). [REF: 04EPC01349, 04EPC01590, 04ZHE01924, 05DRB01349, 05DRB01350] (A-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

12. **Project # 1004773**  
06DRB-00750 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN PA agent(s) for PASEO PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) A, Lot(s) 12, 13, 20 & 21, Block(s) 18, **NORTH ALBUQUERQUE ACRES, UNIT B** (to be known as **PASEO PLACE**) zoned SU-1 for M-1, located on HOLLY AVE NE, between PASEO DEL NORTE NE and SAN PEDRO DR NE containing approximately 4 acre(s). [REF: 06DRB-00377] (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

Needs  
Site Plan  
500  
6/21/06

13. **Project # 1004804**  
06DRB-00751 Minor-Prelim&Final Plat  
Approval

JESUS SANDOVAL agent(s) for ALEX MCLUSSEr request(s) the above action(s) for all or a portion of Lot(s) 10 & 11A, Block(s) 8, **CASAS SERENAS**, zoned R-2, located on PENNSYLVANIA SE, between TRUMBULL SE and BELL SE containing approximately 1 acre(s). *[Deferred from 6/7/06]* (L-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/21/06.**

14. **Project # 1004918**  
06DRB-00744 Minor-Prelim&Final Plat  
Approval

BOHANNAN HUSTON agent(s) for REGENTS OF UNM AND COMMISSIONER OF PUBLIC LANDS OF THE STATE OF NEW MEXICO, TRUSTEE, request(s) the above action(s) for all or a portion of Tract(s) 4 & 9, **MESA DEL SOL**, zoned SU-2 PLANNED COMMUNITY, located on I-25 SW, between BROADWAY BLVD SW and LOS PICAROS RD SW containing approximately 2,295 acre(s). (Q-16, R-15, R-16, R-17, S-14 & S-15) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RECORDING OF BULK PLAT BEFORE FINAL PLAT, A PUBLIC ROADWAY EASEMENT IN-LIEU OF PRIVATE ACCESS EASEMENT, THE NAMING OF STREET D AND TO PLANNING FOR AGIS DXF FILE.**

15. **Project # 1004909**  
06DRB-00717 Minor-Prelim&Final Plat  
Approval

PRECISION SURVEYS agent(s) for JOURNAL CENTER CORPORATION request(s) the above action(s) for all or a portion of Tract(s) 2A-2A-2B, **JOURNAL CENTER**, zoned IP, located on JEFFERSON NE, between HEADLINE NE and JOURNAL CENTER NE containing approximately 9 acre(s). *[Deferred from 5/31/06 & 6/7/06]* (D-17) **DEFERRED AT THE AGENT'S REQUEST TO 6/14/06.**

16. **Project # 1004920**  
06DRB-00748 Minor-Prelim&Final Plat  
Approval

JORDAN AND GALLEGOS INC agent(s) for VIRGINA KILIKUSKIE request(s) the above action(s) for all or a portion of Lot(s) 47 & 48, Block(s) 19, **NETHERWOOD PARK ADDITION**, zoned R-3, located on CUTLER AVE NW, between GIRARD BLVD NW and MENAUL BLVD NW containing approximately 1 acre(s). (H-16) **PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS-SECTION AND RADIUS OF GIRARD AND PLANNING FOR AGIS DXF FILE, CORRECTION OF ZONING ON THE PLAT AND TO RECORD THE PLAT.**

17. **Project # 1004917**  
06DRB-00742 Minor-Prelim&Final Plat  
Approval

JACK'S HIGH COUNTRY INC agent(s) for DONALD & BARBARA DELGADO ROMERO request(s) the above action(s) for all or a portion of Lot(s) 6, **ZICKERT ADDITION**, zoned RA-2 residential and agricultural zone, located on ZICKERT PLACE NW, between DURANES RD NW and ZICKERT RD NW containing approximately 1 acre(s). (H-12) **PRELIMINARY AND FINAL PLAT DENIED DUE TO LOT SIZE.**

18. **Project # 1004320**  
06DRB-00682 Minor-Prelim&Final Plat  
Approval

JACKS HIGH COUNTRY INC agent(s) for INSPIRATION RESEARCH EXCHANGE LLC request(s) the above action(s) for all or a portion of Tract(s) E-2, **SANDIA SCIENCE AND TECHNOLOGY PARK**, zoned IP, located on INNOVATION PKWY SE, between GIBSON AVE SE and RESEARCH AVE SE containing approximately 4 acre(s). *[Deferred from 5/24/06 & 5/31/06]* (M-21) **PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

19. **Project # 1004919**  
06DRB-00747 Minor-Sketch Plat or Plan

WAYJOHN SURVEYING INC agent(s) for MURPHY PROPERTIES LLC request(s) the above action(s) for Tract(s) 127-B, 128-B, 129-B-1, 129-B-2, 131, 131-A, **MRGCD MAP 32** and Lot(s) 15 of **EASTVALE ADDITION** and a portion of vacated GALLEGOS LATERAL, zoned M-1 light manufacturing zone, located on 2<sup>ND</sup> ST NW, between HILTON AVE NW and MONTANO RD NW containing approximately 6 acre(s). (F-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. Approval of the Development Review Board Minutes for May 31, 2006. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MAY 31, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:15 P.M.





**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1004773**

**AGENDA ITEM NO: 12**

**SUBJECT:**

Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(X) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

No adverse comments.

Albuquerque

New Mexico 87103

**RESOLUTION:**

*FP indef*

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED X; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** June 7, 2006

**DEVELOPMENT REVIEW BOARD  
TRANSPORTATION DEVELOPMENT  
Standard Comment Sheet**

DRB- 1004773                      Item No. 12                      Zone Atlas C-18

DATE ON AGENDA 6-7-06

INFRASTRUCTURE REQUIRED  YES ( ) NO

CROSS REFERENCE: \_\_\_\_\_

**TYPE OF APPROVAL REQUESTED:**

- ( ) SKETCH PLAT     PRELIMINARY PLAT     FINAL PLAT
- ( ) SITE PLAN REVIEW AND COMMENT    ( ) SITE PLAN FOR SUBDIVISION
- ( ) SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
1)	Where is access to tracts "C" & "B"?
2)	Is any infrastructure required along Holly?
3)	Unsure how pedestrians and vehicles fit within the 14' access easement to the east?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**June 7, 2006  
DRB Comments**

**ITEM # 12**

**PROJECT # 1004773**

**APPLICATION # 06-00750**

**RE: Lots 12,13,20 & 21 Blk 18, N.A.A., Unit b TBK Paseo  
Place/p&f**

The SU-2/MI zone shall require a site plan for subdivision and landscaping plan incorporating the design standards contained in Section VI of the North I-25 Sector Development Plan.

AGIS dxf is approved.

  
\_\_\_\_\_  
Andrew Garcia, Planning Alternate  
924-3858 Fax 924-3864 agarcia@cabq.gov



# DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00865 (SPS)

Project # 1004773

Project Name: NO ALBUQ ACRES UNIT B

Agent: George Rainhart Architects

Phone No: 884-9110 Ext 106

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): 3 copies  
\_\_\_\_\_  
\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
  - Property Management's signature must be obtained prior to Planning Department's signature.
  - AGIS DXF File approval required.
  - Copy of recorded plat for Planning.

Project Number

1004773



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
July 16, 2008  
DRB Comments**

**ITEM # 9**

**PROJECT # 1004773**

**APPLICATION # 06-70750**

**RE: : Lots 12-13, 20-21, Block 18, North Albuquerque Acres,  
Tract A, Unit B**

Per the North I-25 Sector Development Plan (pg 48), site development plan approval is required for this property. Per the Subdivision Ordinance (14-14-2-2), any platting of such property must conform to an approved site development plan. A site development plan must be approved prior to or concurrent with this plat request; however, the DRB file indicates the site development plan(s) for this property has been withdrawn. Therefore the site plan would have to be re-activated or the Preliminary Plat approval of 11-14-07 would have to be withdrawn as well.

  
\_\_\_\_\_  
Jack Cloud AICP, DRB Chairman  
924-3880/ jcloud@cabq.gov



# DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00750 (P&F)  
Project Name: PASEO PLACE  
Agent: Isaacson & Arfman PA

Project # 1004773  
Phone No.: 268-8828

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1004773

*OK*







**4773**

### DXF Electronic Approval Form

DRB Project Case #: 1004773

Subdivision Name: PASEO PLACE TRACTS A,B, &C


Surveyor: THOMAS D JOHNSTON

Contact Person: FRED ARFMAN

Contact Information: 268-8828

DXF Received: 5/31/2006      Hard Copy Received: 5/31/2006

Coordinate System: NMSP Grid (NAD 27)

  
Approved

05.31.2006  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):

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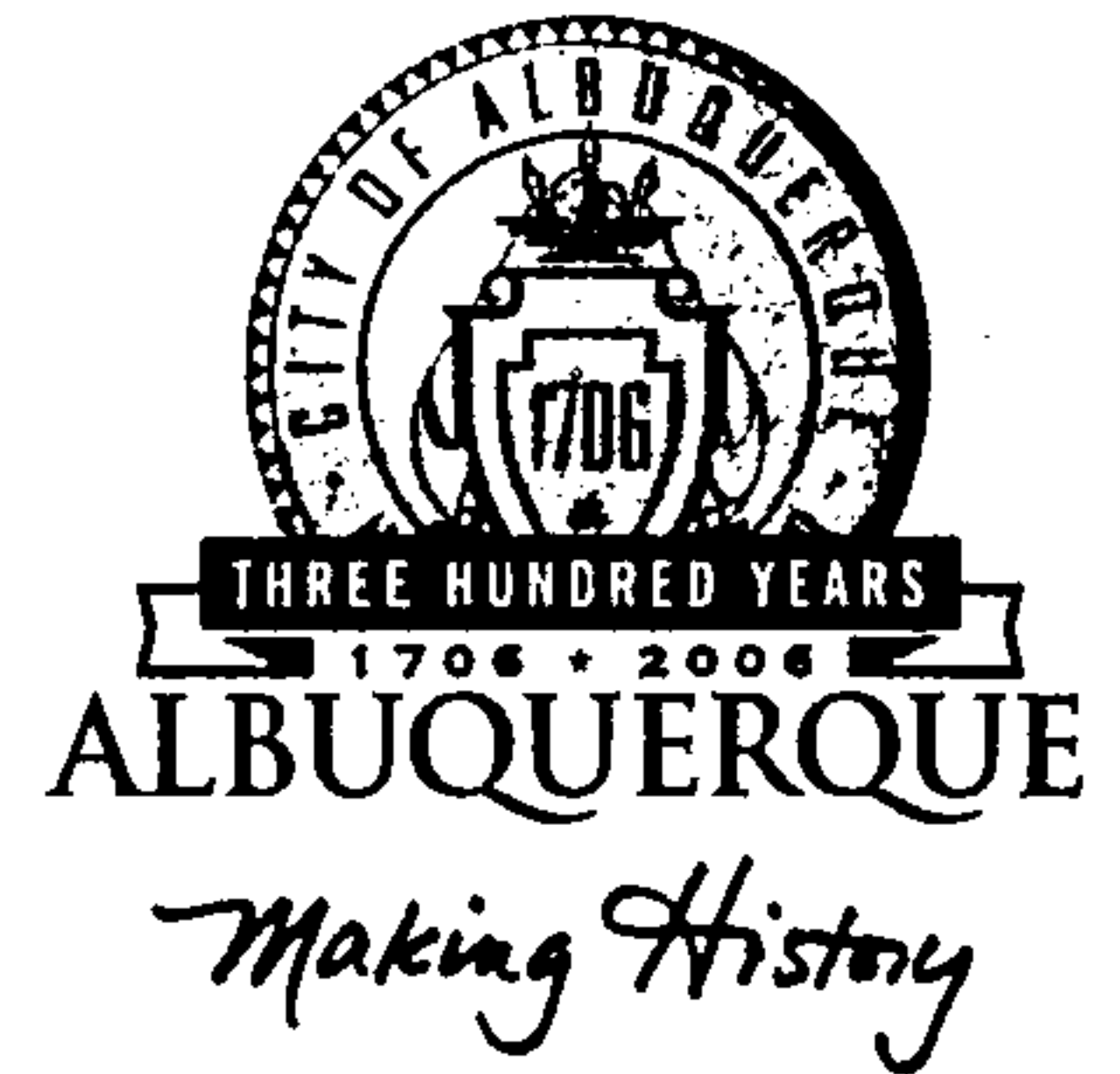
**AGIS Use Only**  
Copied fc 4773      to agiscov on 5/31/2006      Contact person notified on 5/31/2006



PLANNING TRACKING LOG

Date	Project Name & #	Action Request	Action Taken
3/29/06	No Albany Access LOTS 12, 13, 20 & 21 Proj 1004773	Sketch	Comments given
6/7/06	Paseo Place Proj 1004773	Permit Final	

# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1004773**

**AGENDA ITEM NO: 14**

**SUBJECT:**

Sketch Plat/Plan

**ACTION REQUESTED:**

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

An approved conceptual grading and drainage plan is required for Preliminary Plat approval in order to size the area needed to place the pond.

Albuquerque

New Mexico 87103

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED *discussal* X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** March 29, 2006

**DEVELOPMENT REVIEW BOARD**  
**TRANSPORTATION DEVELOPMENT**  
**Standard Comment Sheet**

DRB- 1004773 & 1004772  
18

Item No. 14 & 13

Zone Atlas C-

DATE ON AGENDA 3-29-06

INFRASTRUCTURE REQUIRED (X) YES ( ) NO

CROSS REFERENCE: \_\_\_\_\_  
\_\_\_\_\_

**TYPE OF APPROVAL REQUESTED:**

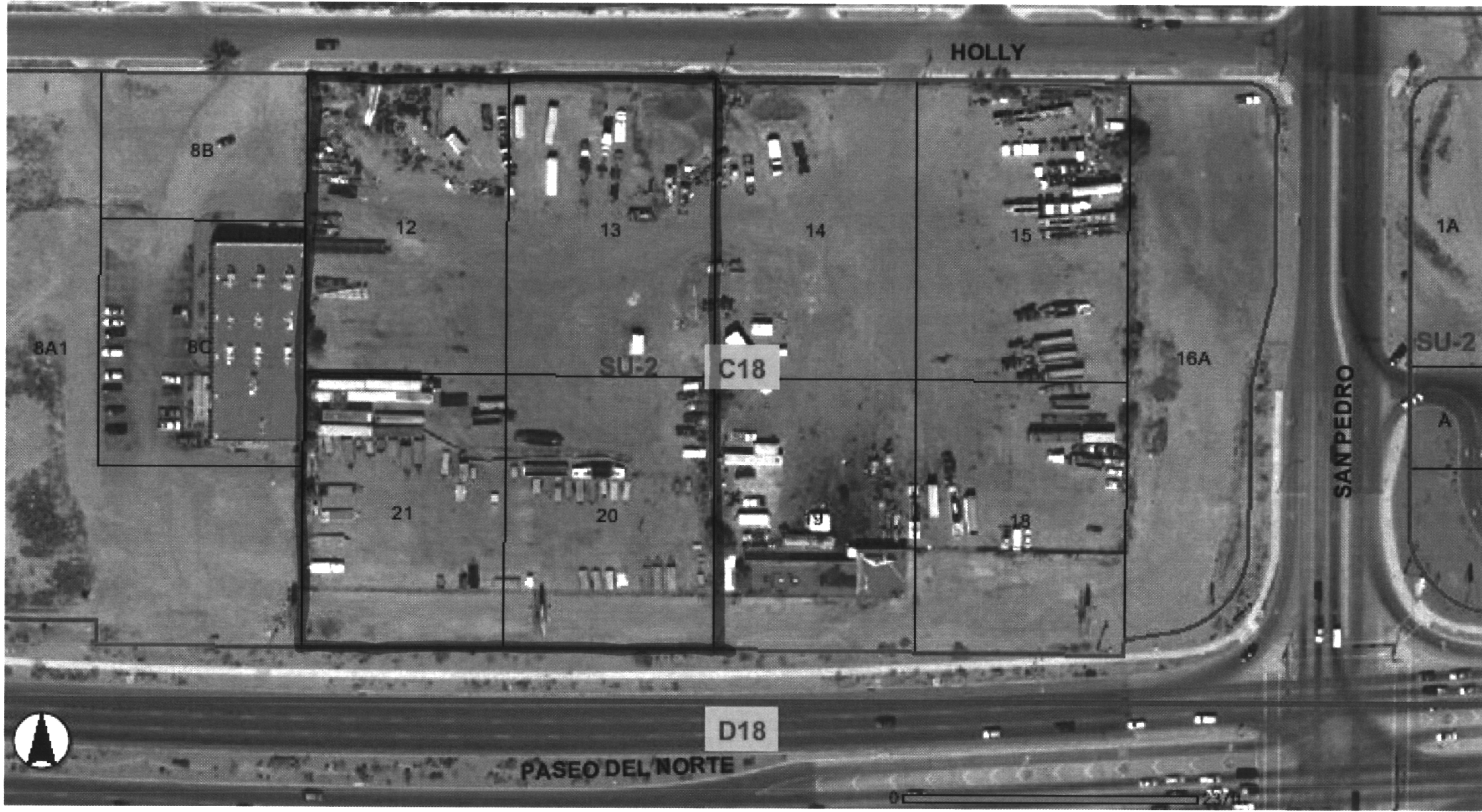
- (X) SKETCH PLAT ( ) PRELIMINARY PLAT ( ) FINAL PLAT  
( ) SITE PLAN REVIEW AND COMMENT ( ) SITE PLAN FOR SUBDIVISION  
( ) SITE PLAN FOR BUILDING PERMIT

No. Comment

- 1) Applicant will need to provide a cross-section of the existing road improvements in relation to the right-of-way in order to evaluate infrastructure requirements.
- 2) What is the condition of the sidewalk on Holly?
- 3) Is the "Future 14'" easement needed now?
- 4) Site needs to meet DPM requirements.
- 5) Sight distance onto Holly needs to be evaluated.
- 6) Is a TIS required?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

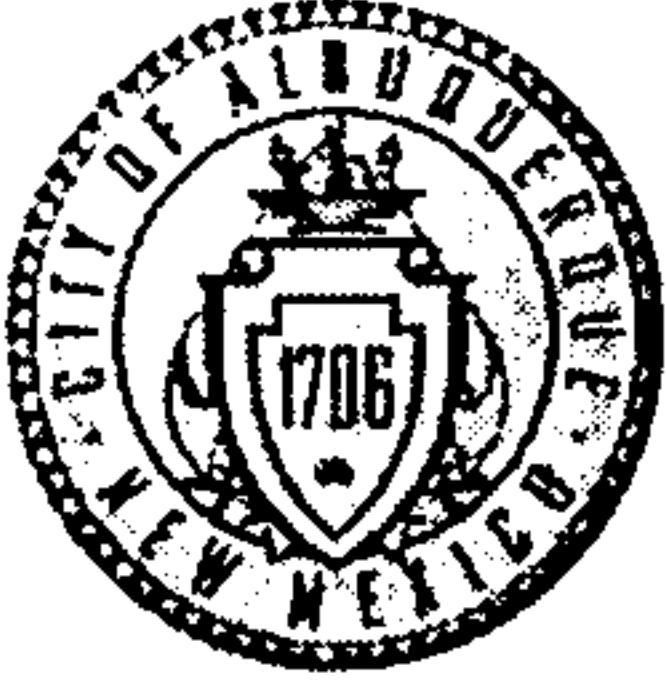




14

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## IMPACT FEES – # 1004773

Development Review Board 3/29/06

Agenda Item # 14

Sketch Plat: Lots 12,13 and 20, 21, Block 18,  
Tract A, North Albuquerque Acres Unit B

Impact Fees will be required at the time a building permit is issued. These fees will be adjusted according to the types of uses, the size of the buildings and the amount of impervious acreage.

Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006.

JACK CLOUD  
IMPACT FEE ADMINISTRATOR

**CITY OF ALBUQUERQUE**  
**Planning Department**  
**March 29, 2006**  
**DRB Comments**

**ITEM # 14**

**PROJECT # 1004773 APPLICATION # 06-00377**

*lots*

**RE: 12,13,20, & 21, Block 18 N.A.A. Unit B/sketch**

The site is located in the North I-25 Sector Development Plan.

The SU-2/MI zone shall require a site plan for subdivision and landscaping plan incorporating the design standards contained in Section VI of the North I-25 Sector Development Plan.

Site is located within 1000 feet of a landfill area. Please contact the Albuquerque Environmental Health Department at 268-2600 to find out what steps, if any, are required to mitigate the site.



---

Andrew Garcia, Planning Alternate

924-3858 fax 924-3864 agarcia@cabq.gov



**ISAACSON & ARFMAN, P.A.**

**Consulting Engineering Associates**

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE  
Scott M. McGee, PE*

July 9, 2008

Mr. Jack Cloud  
DRB Chair  
City of Albuquerque  
600 2<sup>nd</sup> St NE  
Albuquerque, NM 87102

**RE: Holly Place (DRB Project #1004773)  
Preliminary/Final plat**

Dear Mr. Cloud:

The attached plat was heard at DRB a number of months ago, but was put on indefinite deferral pending an SIA for the second phase of the waterline. This SIA is now in place, and our client is ready to proceed with platting.

I've asked Angela to place us back on the agenda for this platting action, but since it has been quite some time since this was last seen, and some filed easements were added to the plat, I'm sending you copies of the latest version of the plat.

The added easements are paper easements that have been filed since the last DRB hearing. They're for dry utilities, and private cross-lot drainage, access, and utilities.

Please contact me at 268-8828 or [gennyd@iacivil.com](mailto:gennyd@iacivil.com) if you have any questions.

Sincerely,  
**Isaacson & Arfman, P.A.**

Genny Denart, PE  
Design Engineer

ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME ISAACSON & ARFMAN  
AGENT RUTH  
ADDRESS HOLLY PLACE  
PROJECT & APP # 1004773 / 06 DRB 00377  
PROJECT NAME \_\_\_\_\_

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee  
\$ 50.<sup>00</sup> 441006/4983000 DRB Actions DEFERRAL FEE  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 50.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ISAACSON AND ARFMAN P A  
128 MONROE ST NE  
ALBUQUERQUE, NM 87108-1247

18306  
95-219/1070 176  
1350743997

DATE 7/10/08

PAY TO THE ORDER OF City of Albuquerque \$ 50.00  
Fifty + 00/100  
City Of Albuquerque  
DOLLARS

WELLS FARGO  
Wells Fargo Bank, N.A.  
New Mexico  
wellsfargo.com

IA 1435.2  
deferral fee

FOR Holly Place DRB 1004773

7/10/2008 2:07PM LOC ANNX  
RECEIPT# 0003803 WSH 003 TRANSH 016  
Activity 006 nd 0110  
3307 TRS  
J24 Misc \$ 0.00  
CHANGE \$ 0.00  
Thank You \$ 0.00

⑈00018306⑈ ⑆107002192⑆ 1350743997⑈



**Gomez, Angela J.**

---

**From:** Genny Donart [gennyd@iacivil.com]  
**Sent:** Tuesday, July 08, 2008 4:39 PM  
**To:** Gomez, Angela J.  
**Cc:** Wes Butero; Tom Johnston; Dan Clemmer  
**Subject:** Holly Place (DRB#1004773) plat

Angela,

The preliminary/final plat for Holly Place (DRB#1004773) was placed on indefinite deferral a number of months ago. We have the plat ready, and are requesting that it be placed back on the earliest available agenda.

I've attached a copy of the approved SIA, which was still needed when we last appeared before DRB. We will bring a check for the deferral fee in the next few days.

Thanks!

**Genny Donart, P.E.**

**Design Engineer**

Isaacson & Arfman, P.A.

Consulting Engineering Associates

128 Monroe St. N.E.

Albuquerque, NM 87108

Phone: (505)268-8828

Fax: (505)268-2632

Email: gennyd@iacivil.com


Sheran Matson, AICP, DRB Chair  
City of Albuquerque  
Planning department  
600 2<sup>nd</sup> St. N.W  
Albuquerque N.M 87102

Re: Withdrawal of site plan for building permit  
Project #1004773

Sheran Matson:

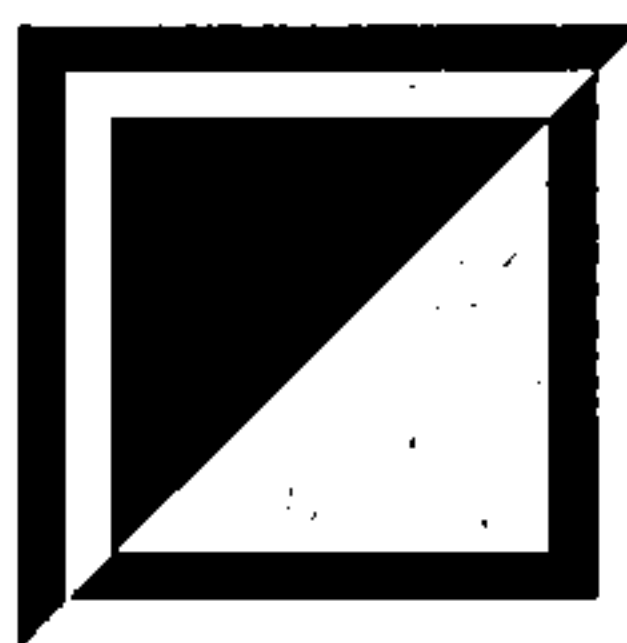
We hereby request the withdrawal of site plan for building permit from the above referenced project.

Sincerely



Stephen A. Dunbar A.I.A

**George Rainhart Architect and Associates**



GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE SUITE 2-B ■ ALBUQUERQUE, NEW MEXICO 87110  
PHONE: 505-884-9110 ■ FAX: 505-837-9877 ■ Email: graa@gra-arch.com

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
June 21, 2006  
DRB Comments

ITEM # 6

PROJECT # 1004773

APPLICATION # 06-00865/00-00000

w/drawn  
per  
A.R.

RE: Lots 12,13,20,21, Tract A, Block 18, N.A.A. Unit 1/sps,spbp

✓ The property lies within 1000 feet of a landfill. This requires AEHD signatures on the plat & both site plans or a letter of exemption.

✓ The lot lines being eliminated should appear labeled as such on the SPS along with clearly defined new lot lines. The new lot lines on both site plans should be darkened for easy identification.

~~Elevations are needed for the site plan for building permit for at least the Phase 1 tenant.~~

✓ The signature blocks: Remove the word "signoff" from the title. This word is used only to indicate final sign off after EPC approval. EPC was not involved in this site plan submittal.

~~"Required cars ...does this refer to parking spaces? The calculations should be shown including the total number of spaces required and provided. Motorcycle spaces are required now as well."~~

✓ What is the trailer shown on the site plan? Why is there a black bar extending to the middle of Holly on the south side of the south access to the property? Does the concrete pad encroach on the property line?

~~What is the purpose of the dotted circles on the SPBP? If they were eliminated, the SPBP would be much less cluttered.~~

~~What materials/colors are to be used on the pedestrian paths from the parking lot to the buildings?~~

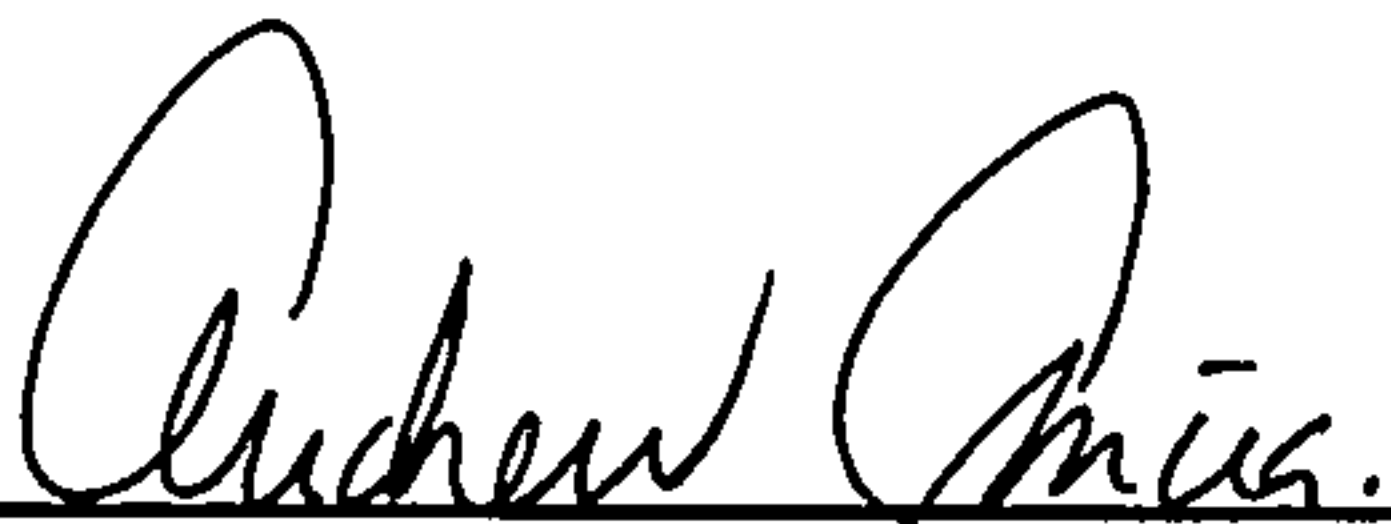
- ✓ Are there any walls...retaining or perimeter...planned along Holly or Paseo del Norte?

~~There is a stand alone sign indicated on the site plan. An elevation is required with dimensions, materials, colors. What type of sign identification is planned for the Holly side?~~

Phase 1 shows a very irregular lot size. The required parking must be adjacent to the building for Phase I. What other reason is there for remote parking spaces as shown?

~~Identify what the keyed notes on Page A1.2 refer to~~

~~These comments are far too numerous to take delegation. When all the corrections are made, bring in a revised copy to Planning at least by Monday noon of the week the site plans are on the DRB agenda again.~~



---

Andrew Garcia, Planning Alternate  
924-3858 Fax 924-3864 agarcia@cabq.gov



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME

AGENT

ISAACSON & ARFMAN

ADDRESS

PROJECT & APP #

1004773

PROJECT NAME

PASED. PLACES

\$ 441032/3424000 Conflict Management Fee

\$ 50.00 441006/4983000 DRB Actions DEFERRAL

\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 441018/4971000 Public Notification

\$ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*

( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit

( ) Letter of Map Revision ( ) Conditional Letter of Map Revision

( ) Traffic Impact Study

\$ 50.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ISAACSON AND ARFMAN P A  
128 MONROE ST NE  
ALBUQUERQUE, NM 87108-1247  
268-8828

17123  
95-219/1070 176  
1350743997

PAY TO THE ORDER OF City of Albuquerque  
Fifty + 00/100

DATE 6/16/06  
\*\*\*DUPLICATE\*\*\*  
City of ALB \$ 50.00  
Treasury Division

WELLS FARGO  
Wells Fargo Bank, N.A.  
New Mexico  
wellsfargo.com

6/16/2006 9:28AM  
RECEIPT# 00059816 WSH 008 TRANS# 001  
Account 441006 Fund 0110  
Activity 4983000 TRSLJS

DRB  
FOR deferral fee #1004773

00017123 107002192 1350743997 0015  
\$50.00



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form		S Z ZONING & PLANNING	
<input type="checkbox"/>	Major Subdivision action	<input type="checkbox"/>		<input type="checkbox"/>	Annexation
<input type="checkbox"/>	Minor Subdivision action	<input type="checkbox"/>		<input type="checkbox"/>	County Submittal
<input type="checkbox"/>	Vacation	<input type="checkbox"/>	V	<input type="checkbox"/>	EPC Submittal
<input type="checkbox"/>	Variance (Non-Zoning)	<input type="checkbox"/>		<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN		<input type="checkbox"/>	P	<input type="checkbox"/>	Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/>	for Subdivision Purposes	<input type="checkbox"/>		<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/>	for Building Permit	<input type="checkbox"/>		<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/>	IP Master Development Plan	<input type="checkbox"/>		<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)	<input type="checkbox"/>	L A	APPEAL / PROTEST of...	
STORM DRAINAGE		<input type="checkbox"/>	D	Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan				

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: PASEO PLACE IIc PHONE: 889-3061  
 ADDRESS: 6300 RIVERSIDE PLAZA 1st N.W. Suite 200 FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87120 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_  
 AGENT (if any): GEORGE FOINHART ARCH & ASSOC PHONE: 834-9110 Ext 106  
 ADDRESS: 2325 SAN PEDRO N.E. Suite 2B FAX: 837-9877  
 CITY: Abq STATE NM ZIP 87110 E-MAIL: SDUNBAR@GRA-ARCH.COM

DESCRIPTION OF REQUEST: Site plan for subdivision & building permit for three retail structures.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 12, 13, 20 & 21 TRACT A Block: 18 Unit: B  
 Subdiv. / Addn. NORTH ALBUQUERQUE ACRES  
 Current Zoning: SC-2 - M-1 Proposed zoning: \_\_\_\_\_  
 Zone Atlas page(s): C-18 No. of existing lots: 4 No. of proposed lots: 3  
 Total area of site (acres): 3.53 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101806418903930210 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: N.W. of SAN PEDRO'S PASO DE NORTE N.E  
 Between: PASEO DEL NORTE 2-25 and Holly AVE N.E. San Pedro N.E

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
06ORB00377, 06ORB00750

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: \_\_\_\_\_

SIGNATURE Stephen A Dunbar AIA DATE 6/12/06  
 (Print) STEPHEN A DUNBAR \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- GIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB 00865</u>	<u>SPS</u>	<u>P(3)</u>	<u>\$385.00</u>
<u>06DRB 00866</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$385.00</u>
_____	<u>CMF</u>	_____	<u>\$20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>06/21/06</u>			Total <u>\$790.00</u>

Sandy Handley 06/13/06 Project # 1004773  
 PLANNER SIGNATURE/DATE



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

**Maximum Size: 24" x 36"**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan **TIED TOP LAY**
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- Any original and/or related file numbers are listed on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Sandra Handley 6/13/06  
Applicant name (print)

[Signature]  
Applicant signature / date



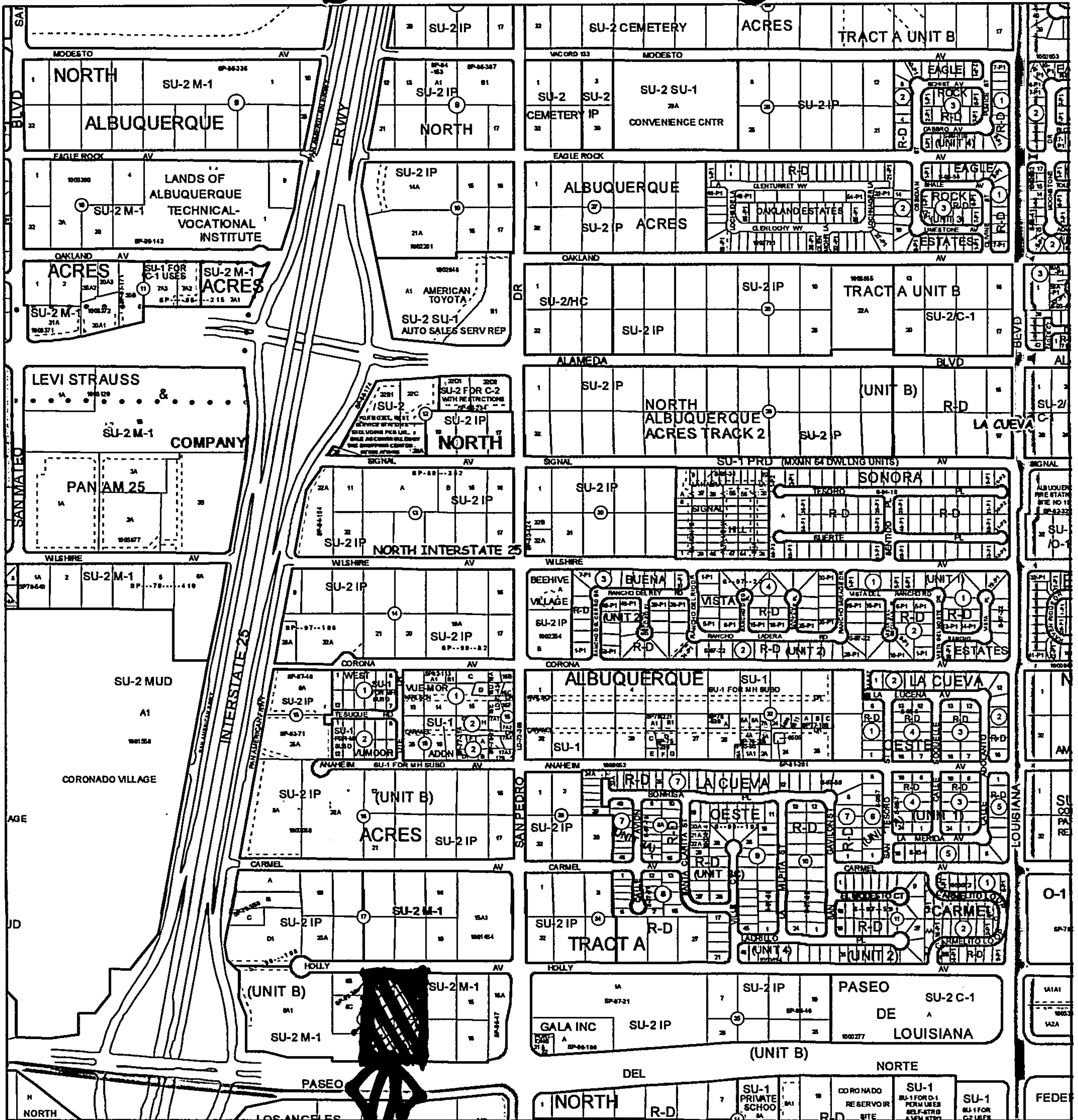
Form revised APRIL 2006

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 06DRB - 00865  
 06DRB - 00866

Sandra Handley 06/13/06  
Planner signature / date

**Project # 1004773**





For more current information and more details visit <http://www.cabq.gov/gis>

Map amended through: 5/1/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-18-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

Sheran Matson, AICP, DRB Chair  
City of Albuquerque  
Planning department  
600 2<sup>nd</sup> St. N.W  
Albuquerque N.M 87102

**Re: Request for Site Plan for Building Permit and Site plan for subdivision**

Dear Sheran

George Rainhart Architects and Associates, on behalf of Paseo Place LLC. requests the DRB approval of site plan for building permit, and site plan for subdivision of the property is currently identified as lots 12,13, 20, and 21 of block 18 tract A unit B of North Albuquerque Acres. The site is located on the N.W.C of Paseo Blvd and San Pedro. The site is approximately 3.53 AC and is currently zoned SU-2 for M-1. Access to the proposed use is off of Holly Ave N.W

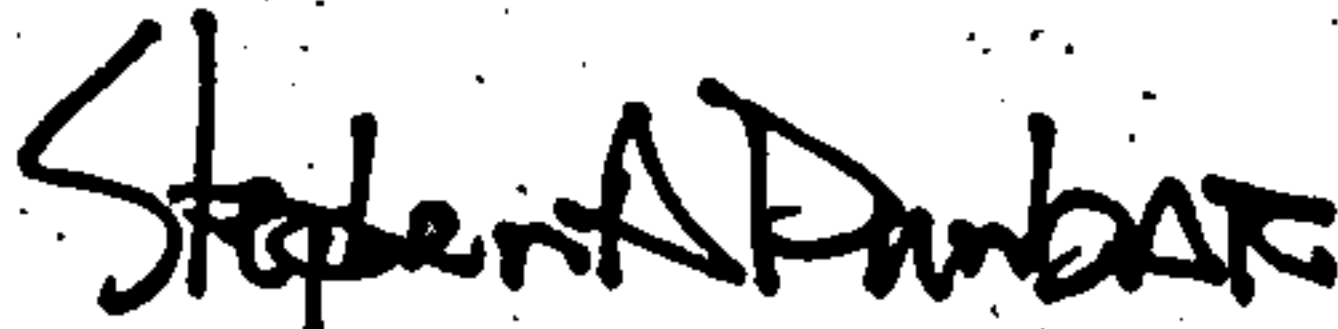
**Proposed Use:**

The existing lots 12,13, 20, and 21 will encompass retail uses of approximately 28,275 SF, as depicted on the attached Site Plan for Building Permit and Subdivision sheets.

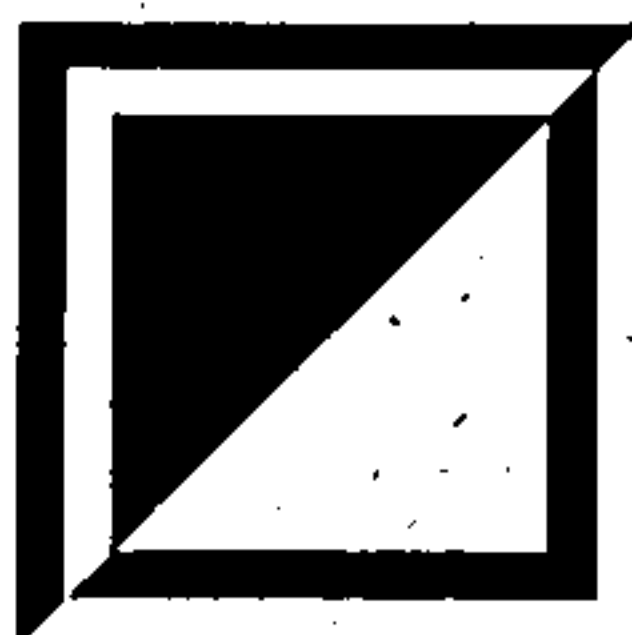
**Summary**

We are requesting Site plan for Building Permit and Site plan for Subdivision approval of approximately 3.53 AC, with 28,275 SF of buildable area as depicted on the attached Site Plan for Building Permit and subdivision sheets.

Sincerely,



Stephen Dunbar AIA  
George Rainhart , Architect and Associates



# Memo

**To:** City of Albuquerque Planning, Zoning, and Land Development

**From:** Ben F. Spencer, Manager  
Paseo Place, LLC, a New Mexico limited liability company  
6300 Riverside Plaza Lane NW, Suite 200  
Albuquerque, New Mexico 87120  
505-889-3061

**Date:** June 12, 2006

**Re:** Albuquerque-Paseo Place Project Submittals

---

This memo is to confirm that George Rainhart Architects & Associates P.C. and Isaacson & Arfman, P.A. have been authorized to act as agents on behalf of Paseo Place, LLC. Please feel free to contact us with any questions.



---

Ben F. Spencer, Manager



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

Stephen A. Dunbar AIA. 6/12/06  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

### Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
1.0 - 5.0 acres                1" = 20'  
Over 5 acres                    1" = 50'  
Over 20 acres                   1" = 100'                        *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each) *Civil PLAN*
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 116 provided: 177  
Handicapped spaces required: 8 provided: 11
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 6  
provided: 15
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - NA 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - NA 3. Location of traffic signs and signals related to the functioning of the proposal
  - NA 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - NA 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- re  
Civil
- 1. Fire hydrant locations, existing and proposed.
  - 2. Distribution lines
  - 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
  - 4. Existing water, sewer, storm drainage facilities (public and/or private).
  - 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

## SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 4/18/2006

## A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

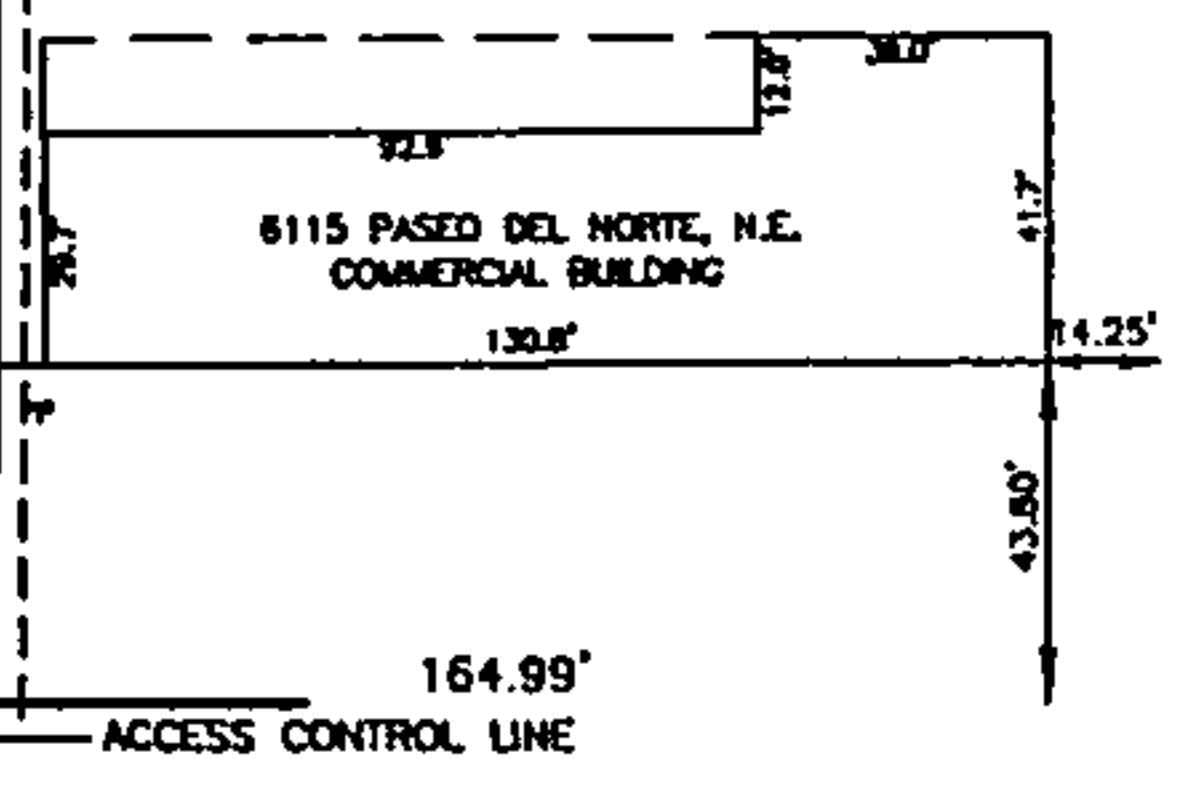
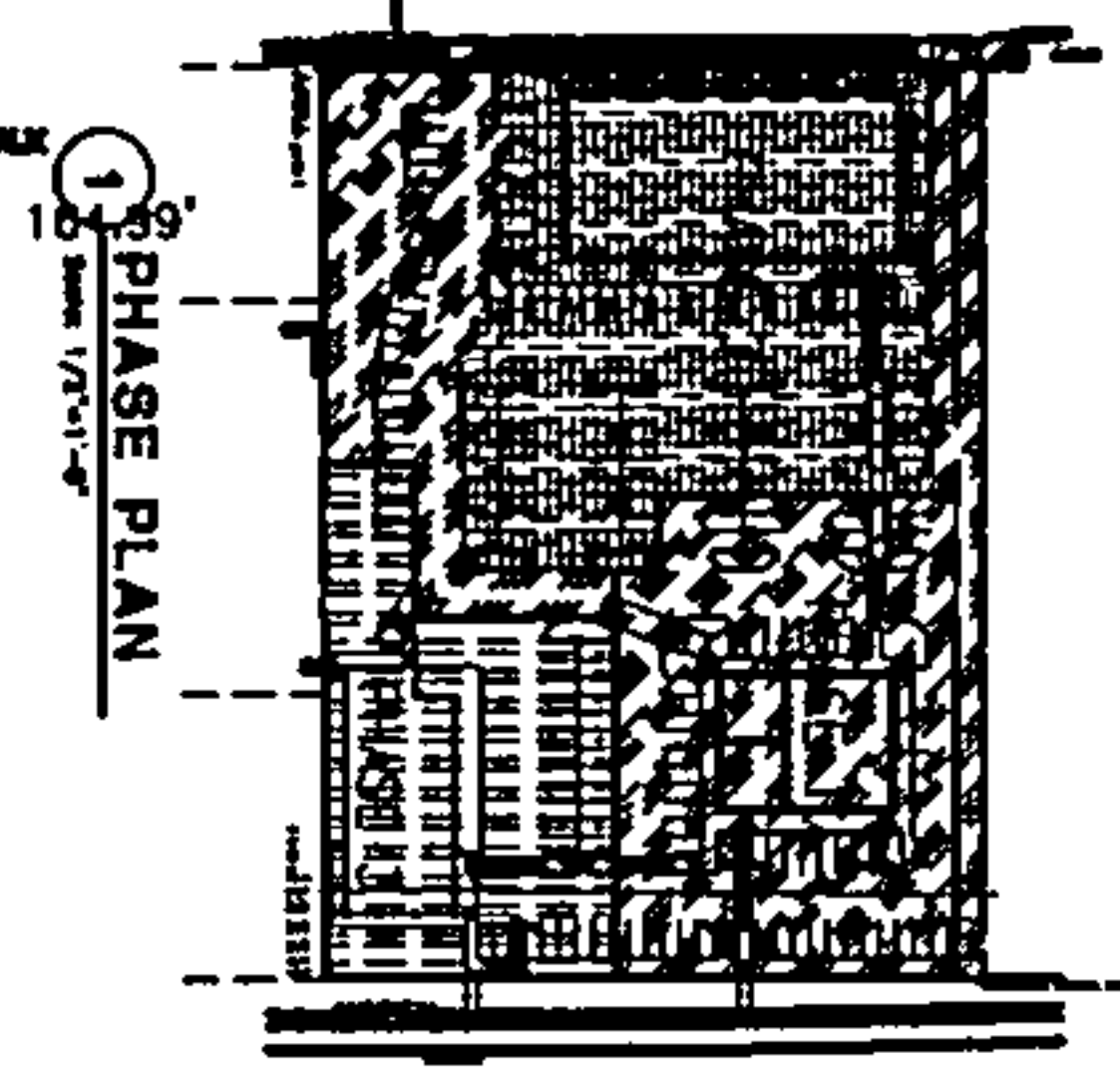
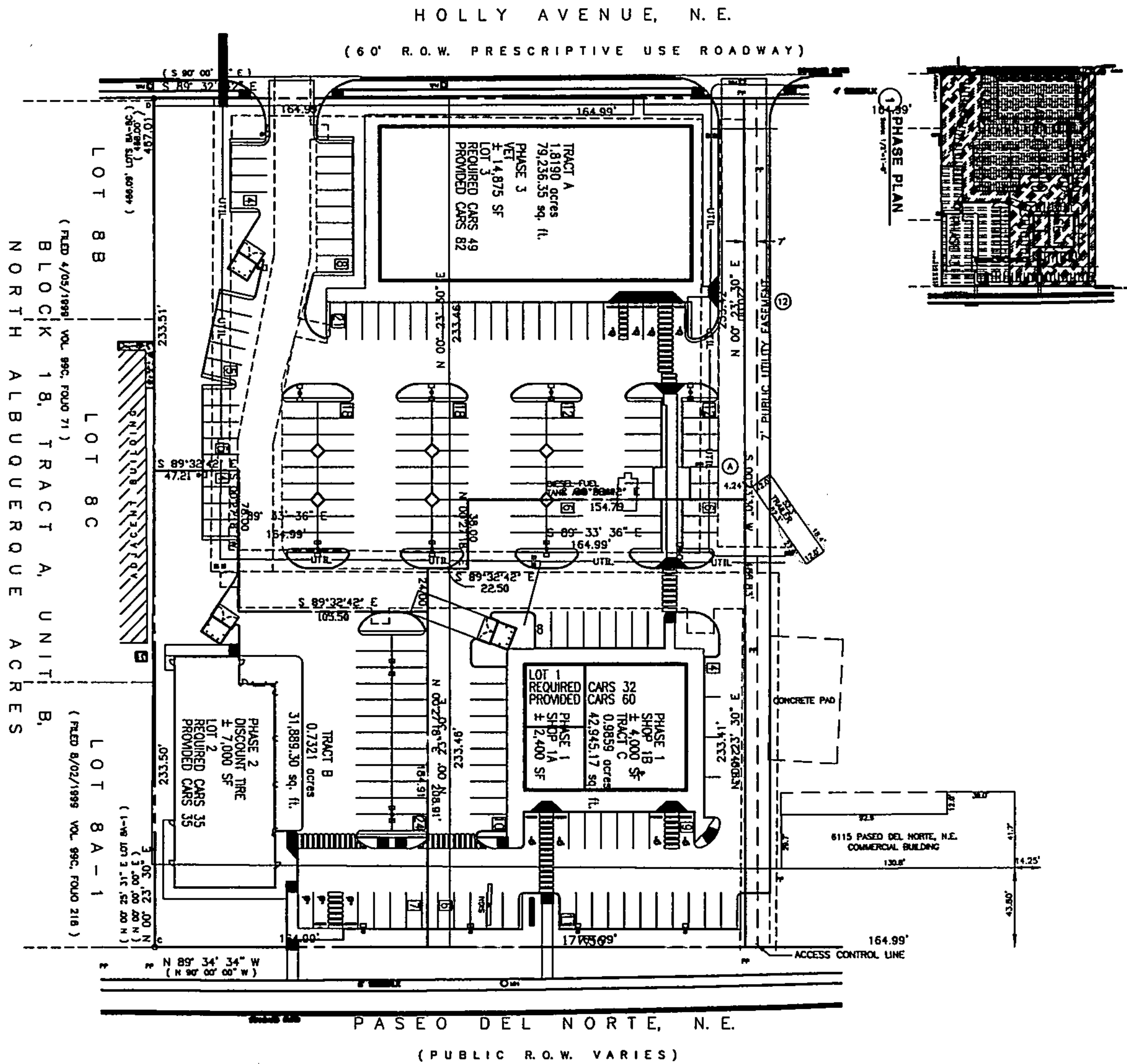
### A. General Information *NA*

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*



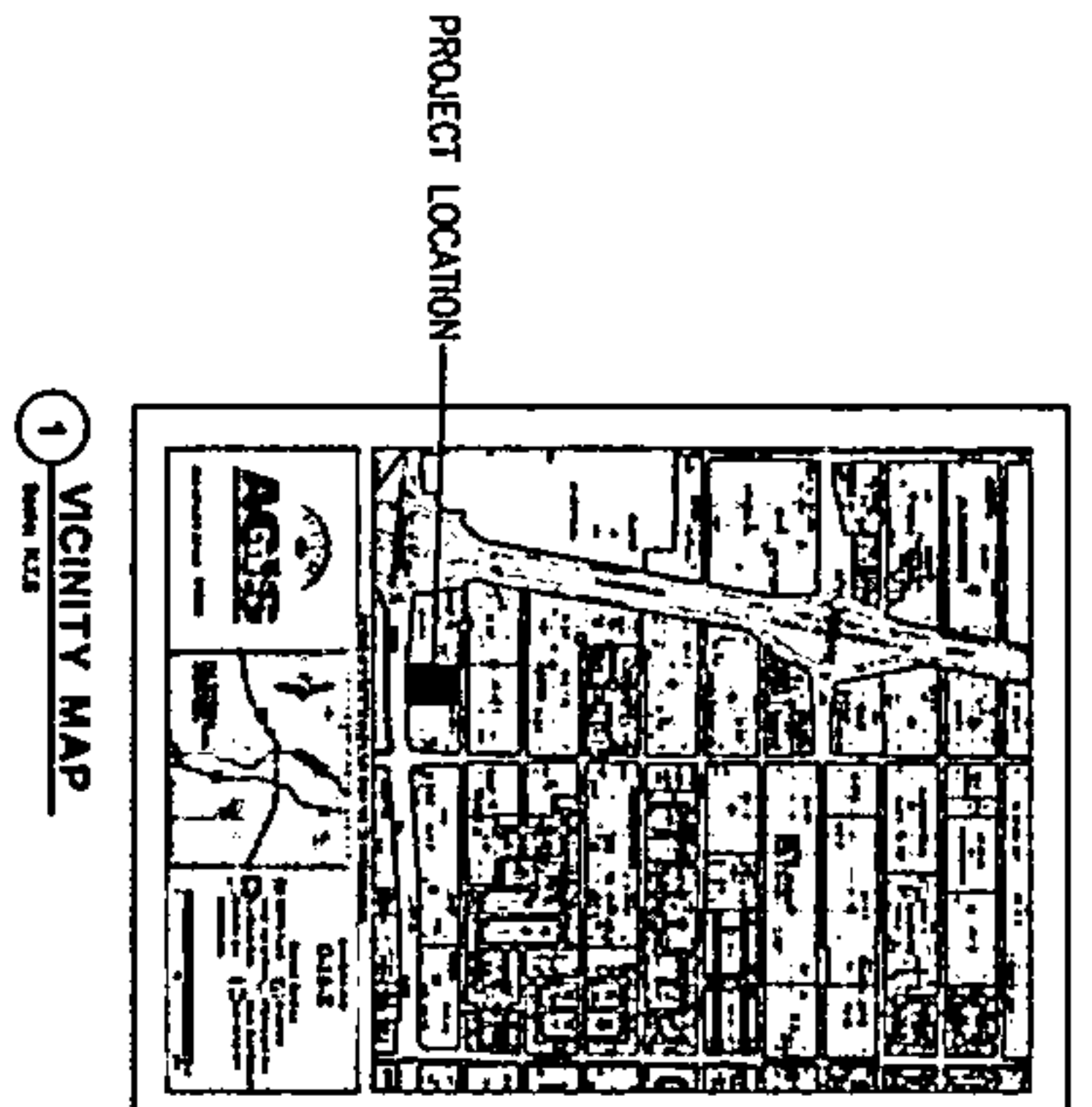
PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

5. All engineering and construction work shall be in accordance with the latest editions of the applicable codes and standards. The engineer shall be responsible for the design and construction of the project.

DRS SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

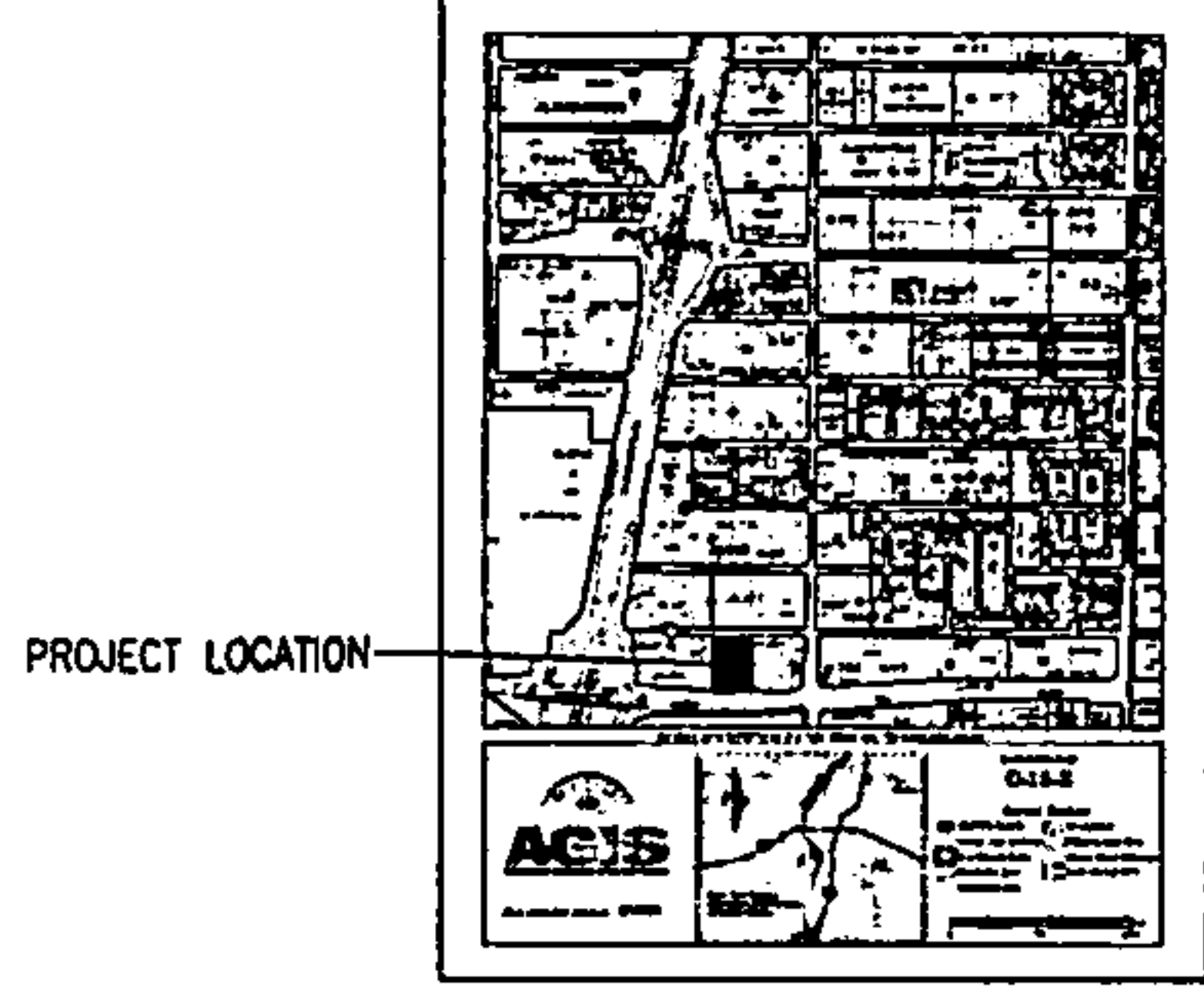
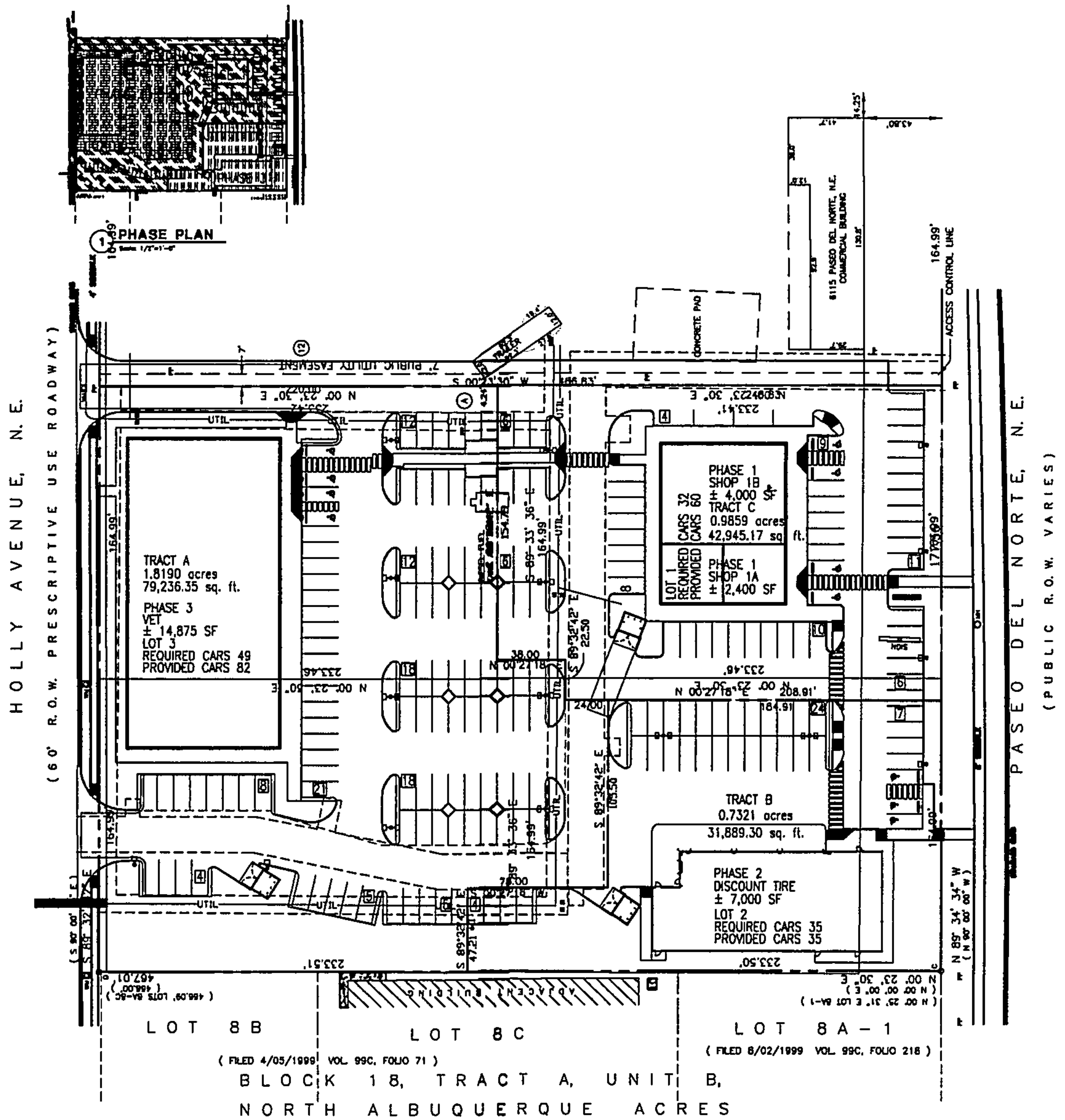
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONSTRUCTION)	DATE
SOLID WASTE MANAGEMENT	DATE
DRM CLERK/EMPSON, PLANNING DEPARTMENT	DATE



DATE: 03/01/08	SCALE: 1"=30'
<b>A.10</b>	
PROJECT TITLE: PASEO PLACE	PROJECT MANAGER: STEPHEN DUNBAR
JOB NO.	DRAWN BY: SD
<b>SITE PLAN FOR BUILDING PERMIT</b>	

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO NE SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

REV	DATE	BY	REVISION



PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_

IS AN INFRASTRUCTURE UTILITY REQUIRED? ( ) YES ( ) NO IF YES THEN A SET OF APPROVED CIRCULARS WITH SOME DESIGN IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REV	DATE	BY	REVISION

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 864-9110 FAX (505) 837-0877

**PASEO PLACE**  
PASEO N.E.  
ALBUQUERQUE NEW MEXICO

**PROJECT MANAGER**  
STEPHEN DUNBAR

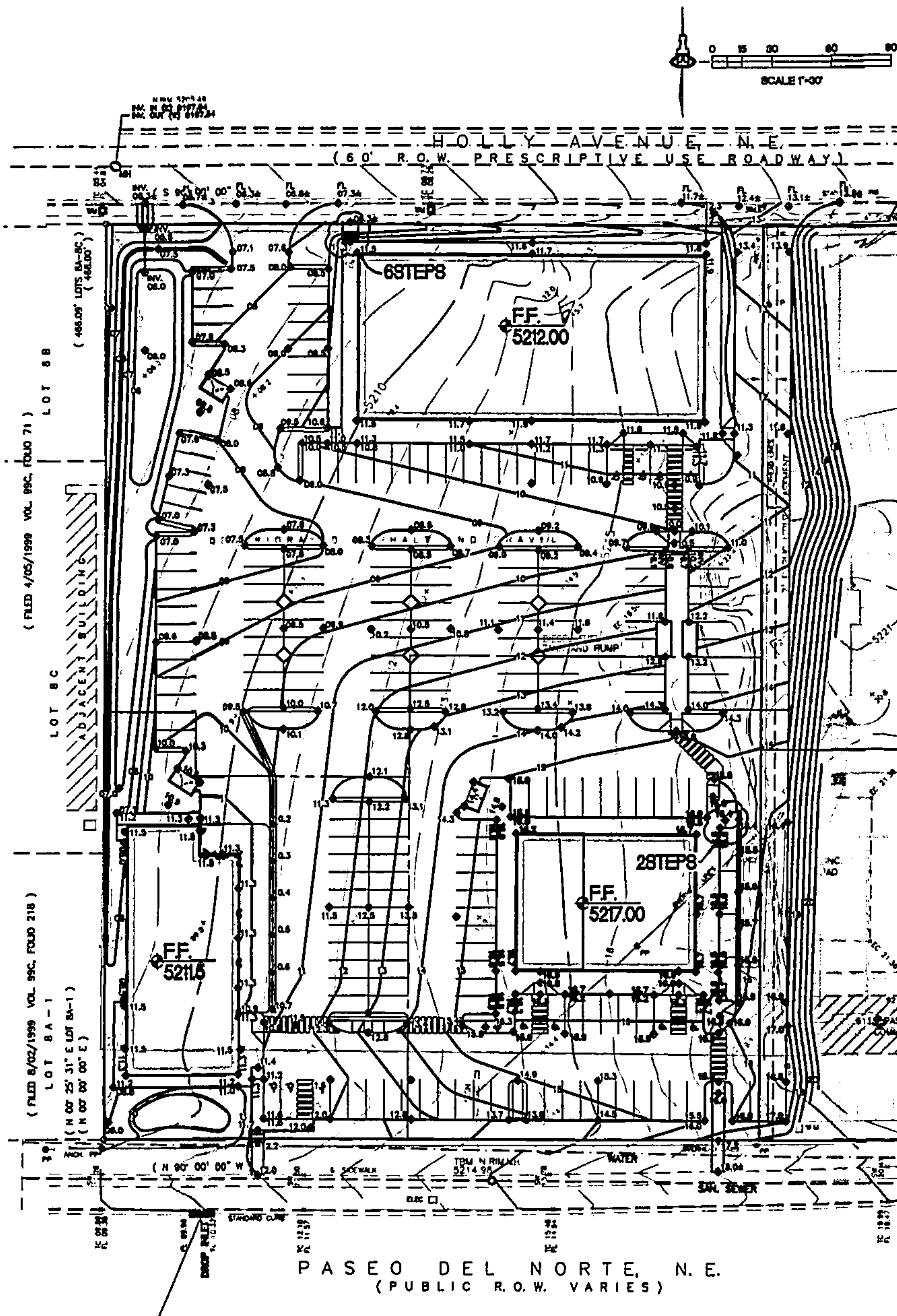
**DRAWN BY**  
SD

**SHEET TITLE**  
SITE PLAN FOR SUBDIVISION

DATE: 03/03/08  
SCALE: 1"=30'

SHEET: **A1.1**





**SITE INFORMATION**

LEGAL: LOTS 12, 13, 20 AND 21 OF BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
 AREA: 3.63 ACRES  
 SURVEYOR: THOMAS D. JOHNSTON - NMP#14286  
 OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.  
 FLOOD HAZARD: PER BERNAILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOOD ZONE "X", DESIGNATED AS AREAS OUTSIDE THE 500 YEAR FLOODZONE.

**DRAINAGE INFORMATION**

THE PROPOSED IMPROVEMENTS INCLUDE THREE COMMERCIAL BUILDINGS WITH ASSOCIATED PAVING AND LANDSCAPING.  
 THE SITE IS LOCATED BETWEEN PASEO DEL NORTE HOLLY AVE. WEST OF SAN PEDRO BLVD. N.E. - WORTHY MAP C-18. PASEO DEL NORTE BORDERS THE PROPERTY TO THE SOUTH, UNDEVELOPED COMMERCIAL PROPERTY (SAME OWNER) TO THE EAST, HOLLY AVE. TO THE NORTH AND DEVELOPED COMMERCIAL PROPERTY TO THE WEST. THE EXISTING SITE SLOPES AT APPROX. 3% TO THE NORTHWEST. IT HAS BEEN PREVIOUSLY DEVELOPED AND CURRENTLY, THE MAJORITY OF THE SITE SURFACE CONSISTS OF DETERIORATED ASPHALT AND GRAVEL.

- THE INTENT OF THIS PLAN IS TO SHOW:
- GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
  - THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
  - THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET BERNAILLO COUNTY REQUIREMENTS FOR DRAINAGE MANAGEMENT.
  - THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

DRAINAGE PLAN CONCEPT: SAD #224, DEVELOPED FOR HOLLY AVENUE AND APPROVED IN 1998 STATES THAT FLOW FROM THESE LOTS WILL HAVE FREE DISCHARGE TO HOLLY AVENUE BASED ON DEVELOPED LAND TREATMENTS OF 105A, 133B, 107C AND 853D. THEREFORE, THE ALLOWABLE FREE DISCHARGE FOR THE 3.63 ACRES IS 13.6 CFS. OTHER THAN MINOR DEVELOPED FLOW DISCHARGING ON THE PROPOSED SITE ACCESS DRIVES, THE MAJORITY OF THE DEVELOPED FLOW WILL BE DIRECTED TO A PROPOSED ON-SITE DETENTION POND LOCATED WITHIN THE LANDSCAPED AREA AT THE NORTHWEST CORNER OF THE PROPERTY. THIS POND WILL RELEASE TO HOLLY AVENUE THROUGH A SERIES OF COVERED SIDEWALK CULVERTS AT A RATE NOT TO EXCEED 13.6 CFS.

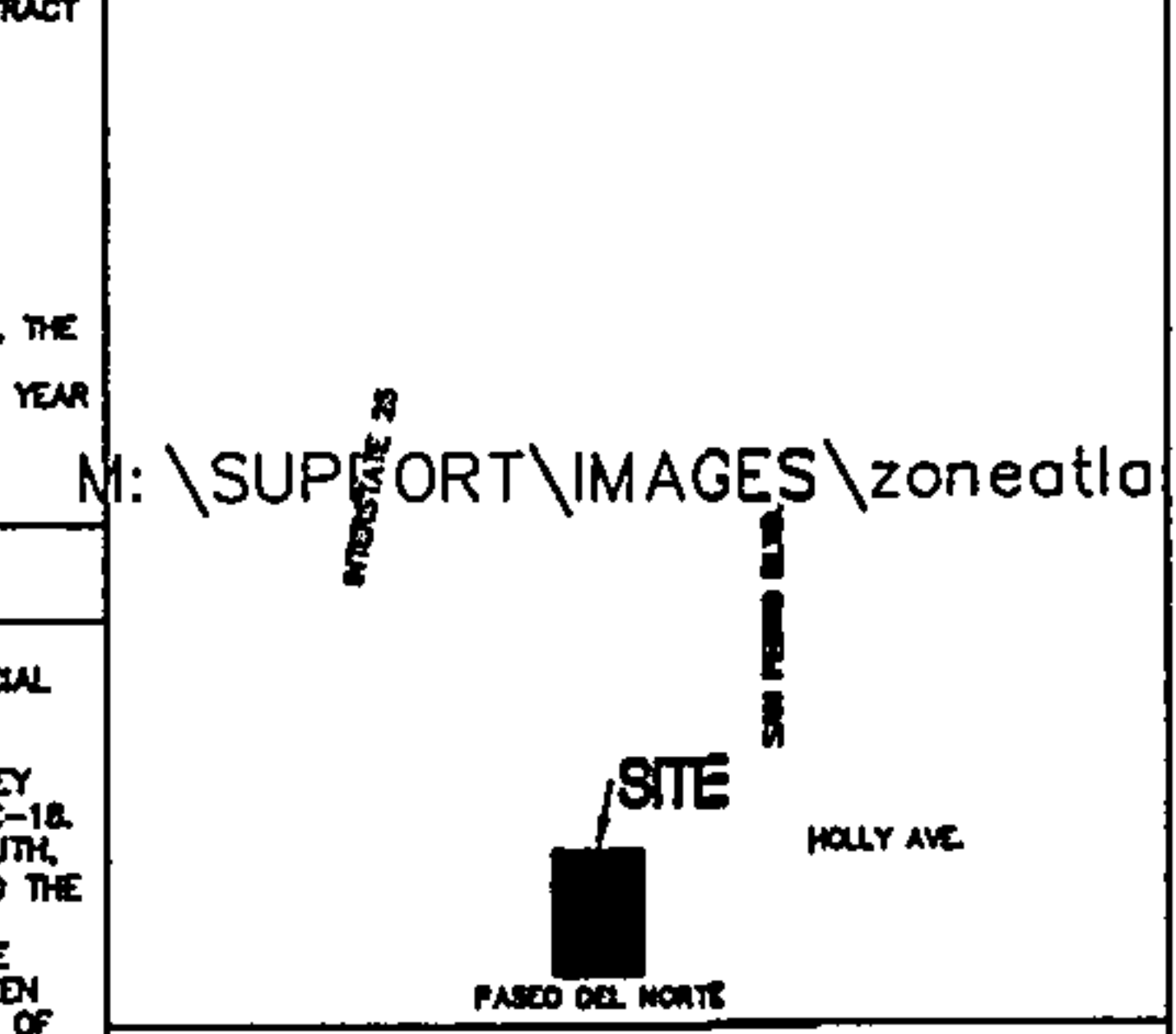
**GENERAL NOTES**

- COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES ARE SHOWN AS 'A', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.

**NOTES FROM SURVEY**

- BOUNDARY DIMENSIONS ARE BETWEEN RECOVERED CORNERS AND CORRESPOND TO THOSE ON A PREVIOUS SURVEY BY WAYCOP SURVEYING, INC. BEARINGS HAVE BEEN ROTATED TO NEW MEXICO STATE PLANE GRID, CENTRAL ZONE.
- BASES OF ELEVATIONS: ACS BM "14-C16", 1-3/4" ALLIUM DISK, SET ON TOP OF CONCRETE DROP INLET, APPROX. 1150' WEST OF CENTERLINE OF SAN PEDRO DRIVE, ELEV. 5207.00 (MVD 29).
- TRM N. MANHOLE RIG. LOCATED IN CONC. SIDEWALK S. OF SOUTH PROPERTY LINE, ELEV. 5214.96.
- LOCATIONS OF SANITARY BENEDES AND WATERLINES ARE FROM VISUAL NOTES SUPPLEMENTED BY ON-LINE GRAPHICS PROVIDED BY CITY GIS SITE.

**COA ZONE ATLAS MAP #C-18**



**KEYED NOTES**

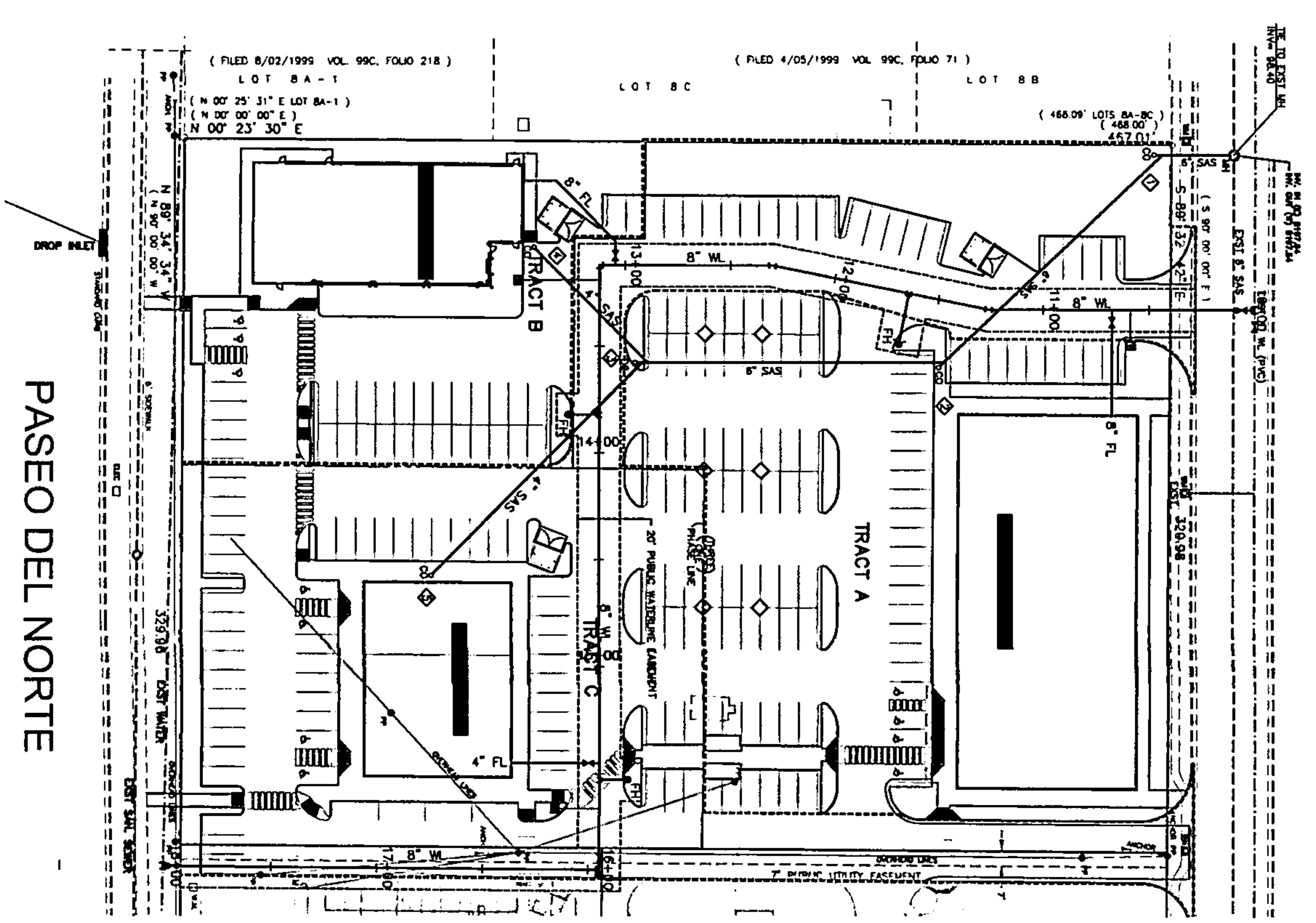
- CONSTRUCT SITE ENTRANCE PER C.G.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 8" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
- PAVING HIGH POINT.
- CONSTRUCT 6" HIGH MEDIAN CURB AND BUTTER AT ELEVATIONS SHOWN FOR ALL ON-SITE CURB LOCATIONS. SEE C-2 FOR DTL.
- CONSTRUCT 2" WIDE CONCRETE VALLEY BUTTER AT FLOWLINE ELEVATIONS SHOWN (0.0050' MIN. SLOPE) TO DIRECT SURFACE FLOW. SEE C-2 FOR DTL.
- ROOF FLOWS FROM THE PROPOSED BUILDINGS TO BE RELEASED TO INTERIOR PAVED AREAS. SEE ARCHITECTURAL PLANS.
- CONSTRUCT BUILDING RETAINING / EXTENDED STEPS AS REQUIRED TO ACHIEVE GRADE DIFFERENCES. DESIGN BY OTHERS.
- CONSTRUCT GRADED DETENTION POND TO DIMENSIONS / ELEVATIONS SHOWN. SEE SEPARATE CALCULATIONS.
- DETENTION POND DISCHARGE STRUCTURE TO HOLLY AVE. SEE DETAIL SHEET C-2.
- PROVIDE 1" WIDE OPENING IN CURB AT FLOWLINE ELEVATIONS SHOWN TO PASS DISCHARGE.
- SPOTS SHOWN WITHIN PAVED AREAS REFERENCE TO TOP OF PAVEMENT ELEVATIONS. ADD 0.5" TYPICAL FOR TOP OF ADJACENT CURB OR CONCRETE WALK.
- GRADE ADJACENT PROPERTY AT 3:1 SLOPE TO DAYLIGHT. SAME OWNER. FUTURE DEVELOPMENT SHOWN FOR GENERAL INFORMATION.

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 80X CD'S  
 124 Marjorie Street N.E.  
 Albuquerque, New Mexico 87104  
 Ph: 505-263-4428 | Fax: 505-269-2672  
 1422070 04/28/06 04/28/06

**PASEO PLACE COMMERCIAL**  
 Argus Dev. Co.

**GRADING AND DRAINAGE PLAN**

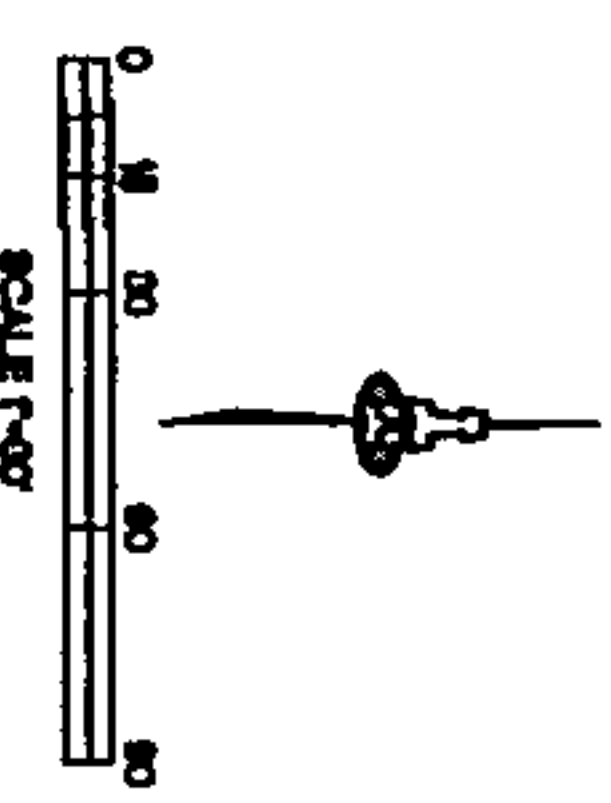
Date:	04.28.06	Sheet No.:	1435
Drawn By:	BJS	Scale:	C-1
Chk By:	FCA	Sheet:	SH. OF



SANITARY SEWER TABLE				
NODE ID	DOWNSTREAM PIPE LENGTH (FT)	SAS BEARING	INVERT	SLOPE (%)
1	31.71	S 0° 00' 00" E	90.28	2.70
2	141.32	N 43° 03' 31" W	03.08	2.70
3	136.88	S 0° 00' 00" W	08.83	2.70
4	74.84	S 45° 00' 00" W	07.30	0.80
5	140.22	S 45° 00' 00" E	12.00	3.87

- LEGEND**
- 8" FL (ENV) EXISTING WL
  - 8" FL (ENV) EXISTING SAS
  - 8" FL (ENV) GATE VALVE W/ VALVE BOX
  - FINE HYDRANT
  - WATER LINE W/ FITTING
  - 4" FL PROPOSED SAS
  - 4" FL PROPOSED SAS CLEANOUT
  - WATER LETTER
  - PHASE LINE
  - PROPOSED EASEMENT

**NOTICE**  
MATERIALS TO BE CONSTRUCTED BY PUBLIC WORK ORIGIN PLANS



**60% SUBMITTAL**

**ISAACSON & ARBMAN, P.A.**  
Consulting Engineering Associates  
128 Yonkers Street N.E.  
Alpharetta, New Mexico 87108  
Tel. 505-244-4148 Fax 505-244-2833

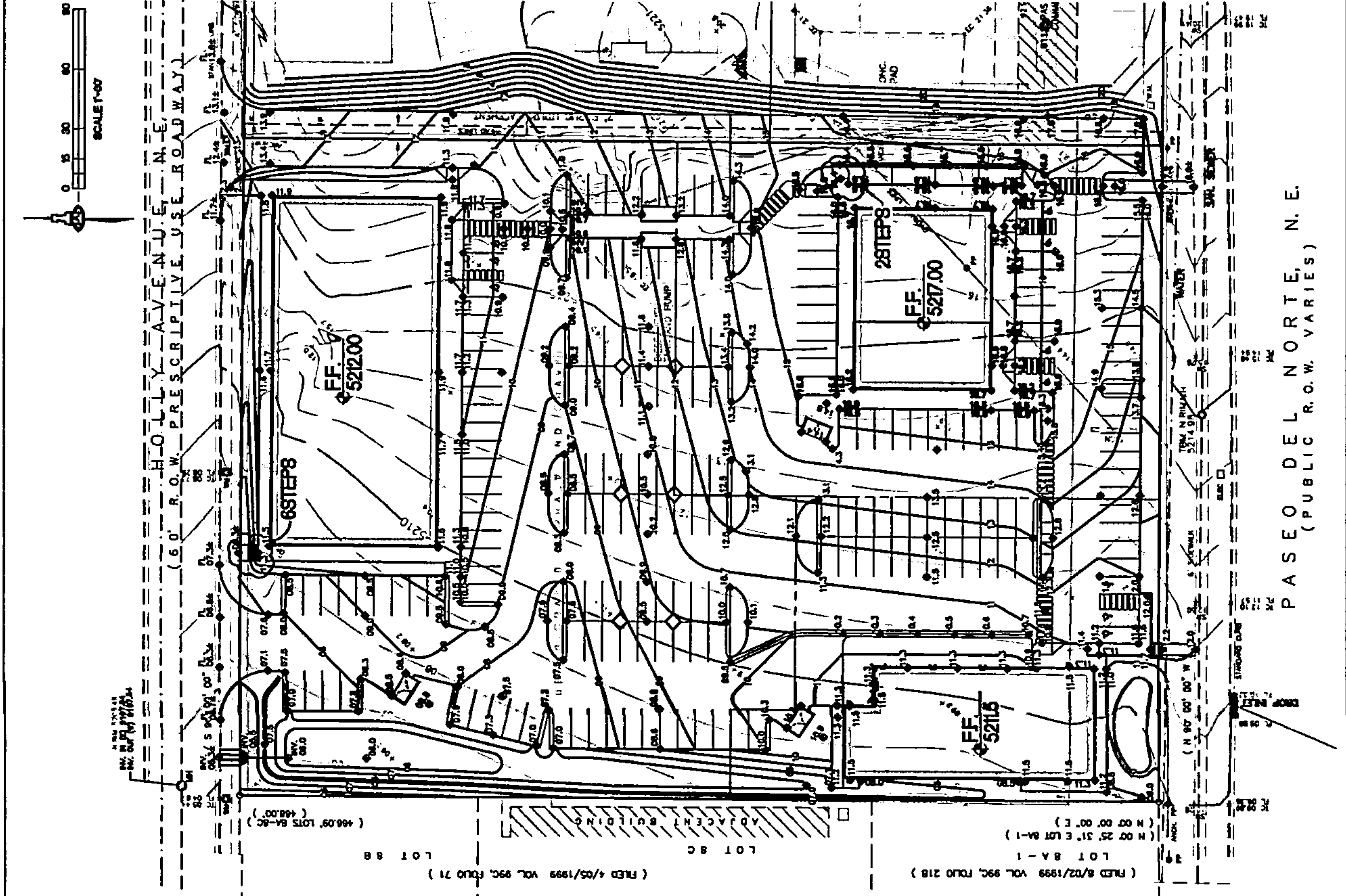
**PASEO PLACE COMMERCIAL**  
Argus Dev. Co.

**UTILITY PLAN WEST**

DATE: 12/09/05  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

PAGE 51 OF 57





COA ZONE ATLAS MAP #C-18	
<p><b>SITE INFORMATION</b></p> <p>LOTS 12, 13, 20 AND 21 OF BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES</p> <p>AREA: 3.53 ACRES</p> <p>SURVEYOR: THOMAS D. JOHNSON - MAPS/14298</p> <p>OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.</p> <p>FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOOD ZONE X1, WHICH IS CLASSIFIED AS AREAS OUTSIDE THE 500 YEAR FLOODZONE</p>	<p><b>DRAINAGE INFORMATION</b></p> <p>THE PROPOSED IMPROVEMENTS INCLUDE THREE COMMERCIAL BUILDINGS WITH ASSOCIATED PAVING AND LANDSCAPING.</p> <p>THE SITE IS LOCATED BETWEEN PASADENA DEL NORTE HOLLEY AVE. WEST OF SAN PEDRO BLVD. N.E. - VICINITY MAP C-18 &amp; PASADENA DEL NORTE HOLLEY AVE. TO THE SOUTH, PASADENA DEL NORTE HOLLEY AVE. TO THE NORTH AND DEVELOPED EAST HOLLEY AVE. TO THE NORTH AND DEVELOPED COMMERCIAL PROPERTY TO THE WEST. THE EXISTING SITE SLOPES AT APPROX. 3% TO THE NORTHWEST. IT HAS BEEN PREVIOUSLY DEVELOPED AND CURRENTLY, THE MAJORITY OF THE SITE SURFACE CONSISTS OF DETEIORATED ASPHALT AND GRAVEL.</p> <p>THE INTENT OF THIS PLAN IS TO SHOW:</p> <ul style="list-style-type: none"> <li>• GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO MAINTAIN POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.</li> <li>• THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.</li> <li>• THE FLOW RATE VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET BERNALILLO COUNTY REQUIREMENTS FOR DRAINAGE MANAGEMENT.</li> <li>• THE RELATIONSHIPS OF ON-SITE IMPROVEMENTS WITH EXISTING DRAINAGE SYSTEMS AND AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.</li> </ul> <p>DRAINAGE PLAN CONCEPT: SUD #224, DEVELOPED FOR HOLLY AVENUE AND WEST OF SAN PEDRO BLVD. N.E. TO THE WEST OF THE DEVELOPED LAND TREATMENTS OF 1024, 1438, 1032 AND 6380. THEREFORE, THE ALLOWABLE FREE DISCHARGE FOR THE 3.53 ACRES IS 13.6 CFS. OTHER THAN MINOR DEVELOPED FLOW DISCHARGING AT THE PROPOSED FLOW DISCHARGE POINTS, THE ALLOWABLE FREE DISCHARGE FLOW WILL BE MAINTAINED AT THE EXISTING NORTHWEST CORNER OF THE PROPERTY. THIS POND WILL RELIEVE TO HOLLY AVENUE THROUGH A SERIES OF COVERED SIDEWALK CULVERTS AT A RATE NOT TO EXCEED 13.6 CFS.</p>
<p><b>KEYED NOTES</b></p> <ol style="list-style-type: none"> <li>1. CONSTRUCT SITE ENTRANCE PER C.G.A. 878.016, 24.04. SEE ARCHITECTURAL FOR ADJ. INFO. PROVIDE SMOOTH TRANSITION CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.</li> <li>2. CONSTRUCT SPECIAL PAVING AS ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PAVING LAYOUT, DIMENSIONS, AND STRIPING.</li> <li>3. PAVING HIGH POINT.</li> <li>4. CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL ON-SITE CURB LOCATIONS. SEE C-2 FOR DET. CONSTRUCT 2" WIDE CONCRETE VALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN (GROSS/ UNL. SLOPE) TO DIRECT SURFACE FLOW. SEE C-2 FOR DET.</li> <li>5. ROOF FLOWS FROM THE PROPOSED BUILDINGS TO BE RELEASED TO INTERIOR PAVED AREAS. SEE ARCHITECTURAL PLAN.</li> <li>6. CONSTRUCT GRADED DETENTION POND TO DIMENSIONS AS REQUIRED TO ACHIEVE GRADE DIFFERENCE DESIGN BY OTHERS. ELEVATIONS SHOWN. SEE SEPARATE CALCULATIONS.</li> <li>7. CONSTRUCT GRADED DETENTION POND TO DIMENSIONS AS REQUIRED TO ACHIEVE GRADE DIFFERENCE DESIGN BY OTHERS. ELEVATIONS SHOWN. SEE SEPARATE CALCULATIONS.</li> <li>8. DETENTION POND DISCHARGE STRUCTURE TO HOLLY AVE. SEE DETAIL SHEET C-2.</li> <li>9. PROVIDE 1" WIDE OPENING IN CURB AT FLOWLINE ELEVATIONS SHOWN TO POND DISCHARGE.</li> <li>10. SPOTS SHOWN WITHIN PAVED AREAS INDICATE TOP OF PAVEMENT ELEVATIONS. ADD 0.5" TYPICAL FOR TOP OF ADJACENT CURB OR CONCRETE WALK.</li> <li>11. GRADE ADJACENT PROPERTY AT 3.1' ABOVE TO DAYLIGHT. SAME DIMER. FUTURE DEVELOPMENT SHOWN FOR GENERAL INFORMATION.</li> </ol>	<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>A. COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DRAINAGE PLANS, UTILITY DRAINAGES AND DETAILS.</li> <li>B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.</li> <li>C. WHERE PROPOSED GRADES ARE SHOWN AS 'X', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.</li> <li>D. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SURFACE TO BE GRADED TO ELEVATION SHOWN UNLESS LANDSCAPE MATERIAL THICKNESS IS SHOWN.</li> </ol> <p><b>NOTES FROM SURVEY</b></p> <ol style="list-style-type: none"> <li>1. BOUNDARY CORNERS ARE BETWEEN RECORDED CORNERS AND CORRESPOND TO THOSE ON A PREVIOUS SURVEY BY WAYCOHAN SURVEYING, INC. MEASUREMENTS HAVE BEEN NOTATED TO NEW MEXICO STATE PLAT #68, CORRAL ZONE.</li> <li>2. BARS OF ELEVATION ARE IN "14-CIT", 1-21/4" ALUM. BRK. SET ON TOP OF CONCRETE DRAIN PILE. APPROX. 1100' WEST OF CONTINUE OF SAN PEDRO DRIVE. ELEV. 5271.60 (DINO 25).</li> <li>3. TRK. N. HANCOCK BLD. LOCATED IN CONC. SIDEWALK, S. OF SOUTH PROPERTY LINE ELEV. 5214.86.</li> <li>4. LOCATIONS OF SANITARY VENTERS AND WATERLINES ARE FROM SURVEY. NOTES SUPPLEMENTED BY ON-SITE GRAPHICS PROVIDED BY CITY OF SB.</li> </ol>
<p><b>80% CDS</b></p> <p>ISAACSON &amp; ARFMAN, P.A. Consulting Engineering Associates 129 Havana Street N.E. Albuquerque, New Mexico 87108 Tel: 505-261-4488   Fax: 505-261-2632 www.isaacson.com</p>	<p><b>PABEO PLACE COMMERCIAL</b></p> <p>Argus Dev. Co.</p>
<p><b>GRADING AND DRAINAGE PLAN</b></p> <p>DATE: 04-28-08 DRAWN BY: [Signature] CHECKED BY: [Signature] SCALE: AS SHOWN</p>	<p>PLAN NO. 435 SHEET C-1 SHEET NO. 1 OF 1</p>



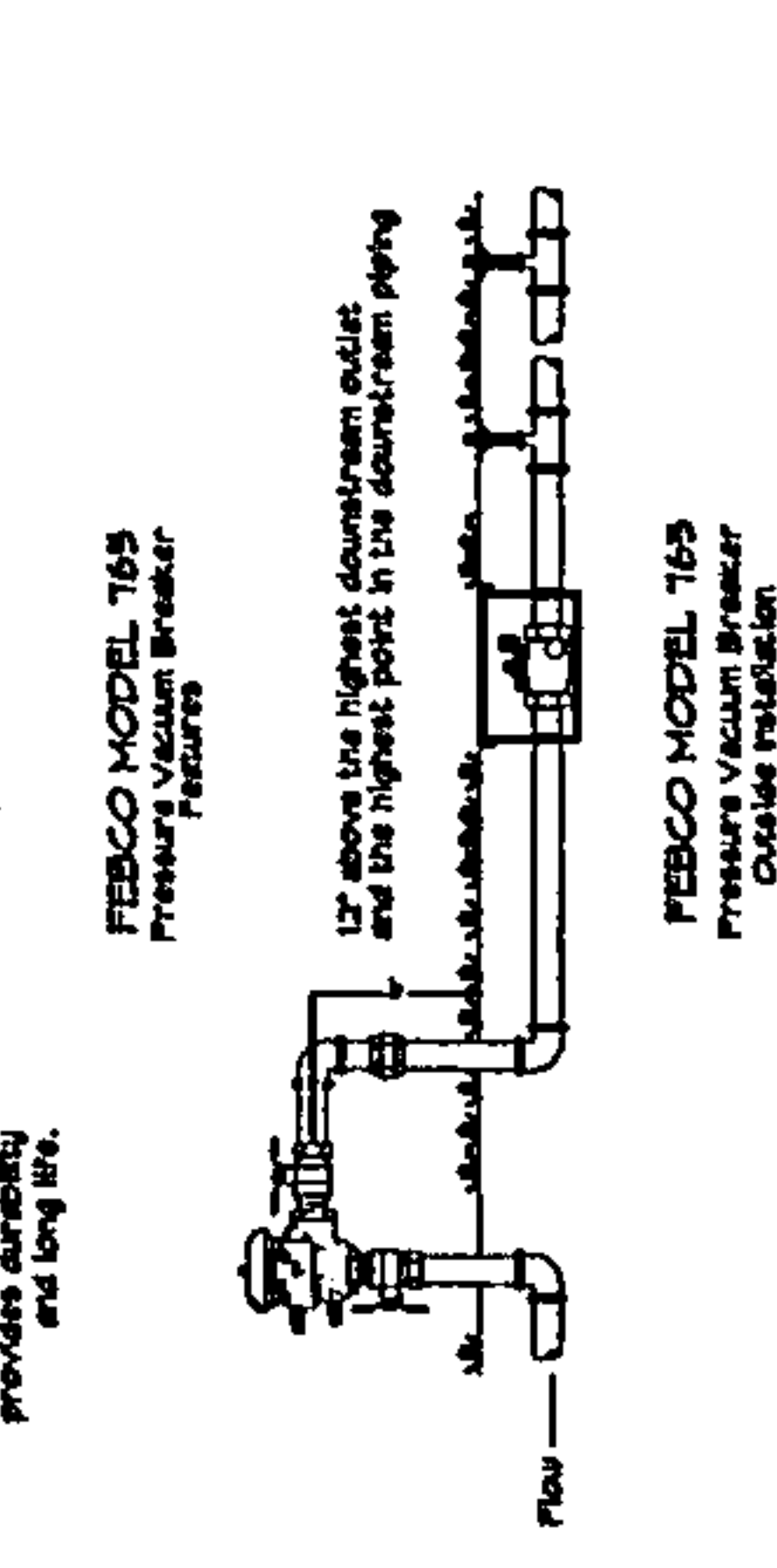
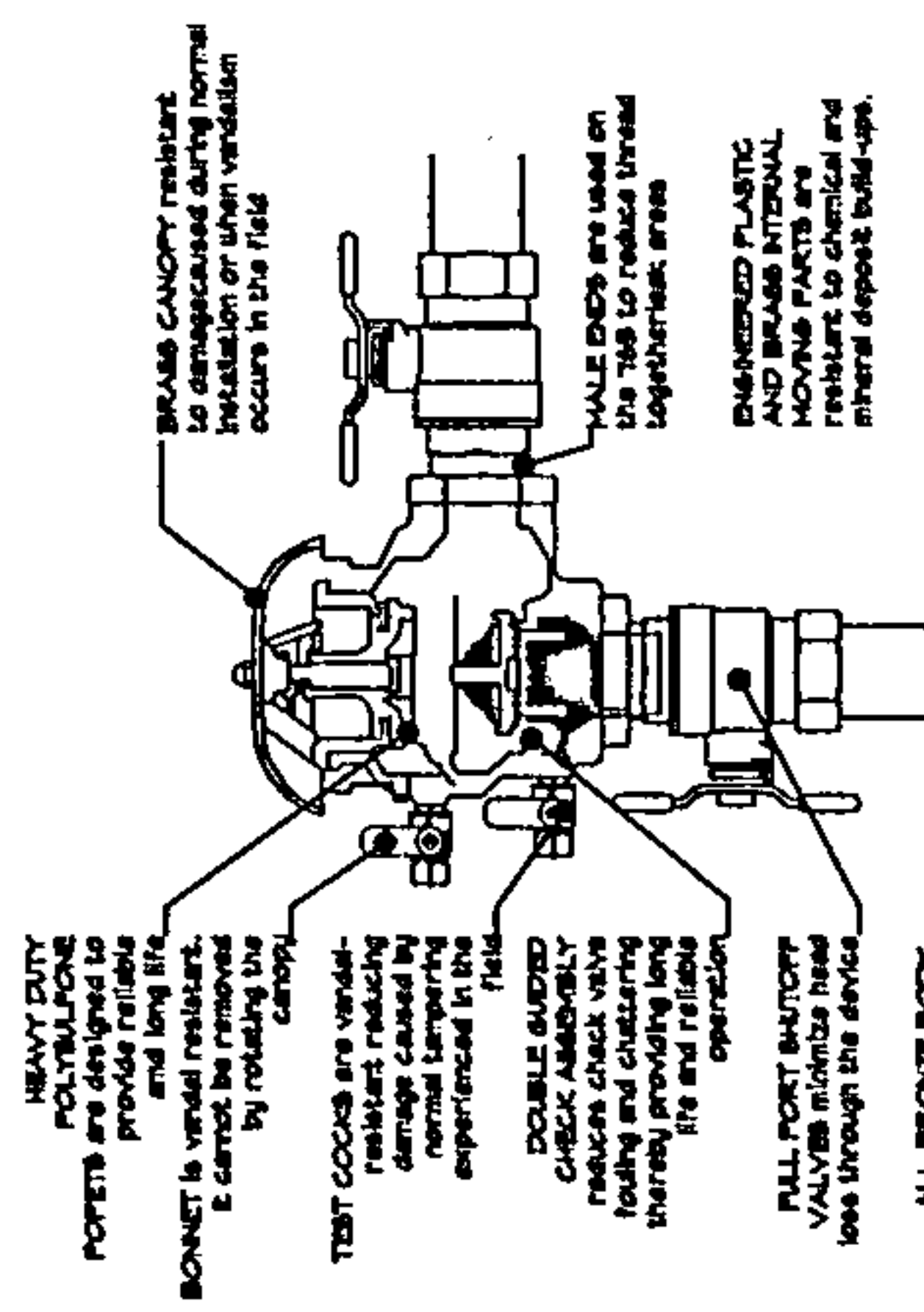
DATE	BY	REVISION
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		3.0
		4.0
		5.0
		6.0
		7.0
		8.0
		9.0
		10.0
		11.0
		12.0
		13.0

GEORGE RAINHART ARCHITECT AND ASSOCIATES P.  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110  
 FAX (505) 837-837



LANDSCAPE PLAN  
 PASEO PLACE-WEST PHASE 1,2,3  
 ALBUQUERQUE NEW MEXICO  
 04/10/08  
 SCALE 1"=30'

1.0



**IRIGATION NOTES:**  
 Irrigation shall be a complete underground system with Trees to receive (9) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" polypropylene flush caps at each end.  
 Run line per each drip valve will be approximately 15 inches per del. to be adjusted according to the season.  
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.  
 Location of controller to be field determined and power source for controller to be provided by others.  
 Irrigation maintenance shall be the responsibility of the Property Owner.  
 Meter and power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE NOTES:**  
 Landscape maintenance shall be the responsibility of the Property Owner.  
 It is the intent of this plan to comply with the City of Albuquerque Tree Conservation Ordinance. Approval of this plan does not constitute or imply exemption from other laws provisions of the Water Conservation Landscaping and Water Waste Ordinance.  
 Meter management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservation practices will be followed in design and installation.  
 Plant beds shall achieve 75% live ground cover at maturity.  
 Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

**The Hiltop**  
 LANDSCAPE ARCHITECTS & PLANNERS  
 2001 N.E. 72nd St  
 Albuquerque, NM 87104  
 Ph: (505) 888-8880  
 Fax: (505) 888-7737  
 www.hiltop.com  
 04/10/08  
 SCALE 1"=30'

**PLANT LEGEND-WEST PHASE 1**

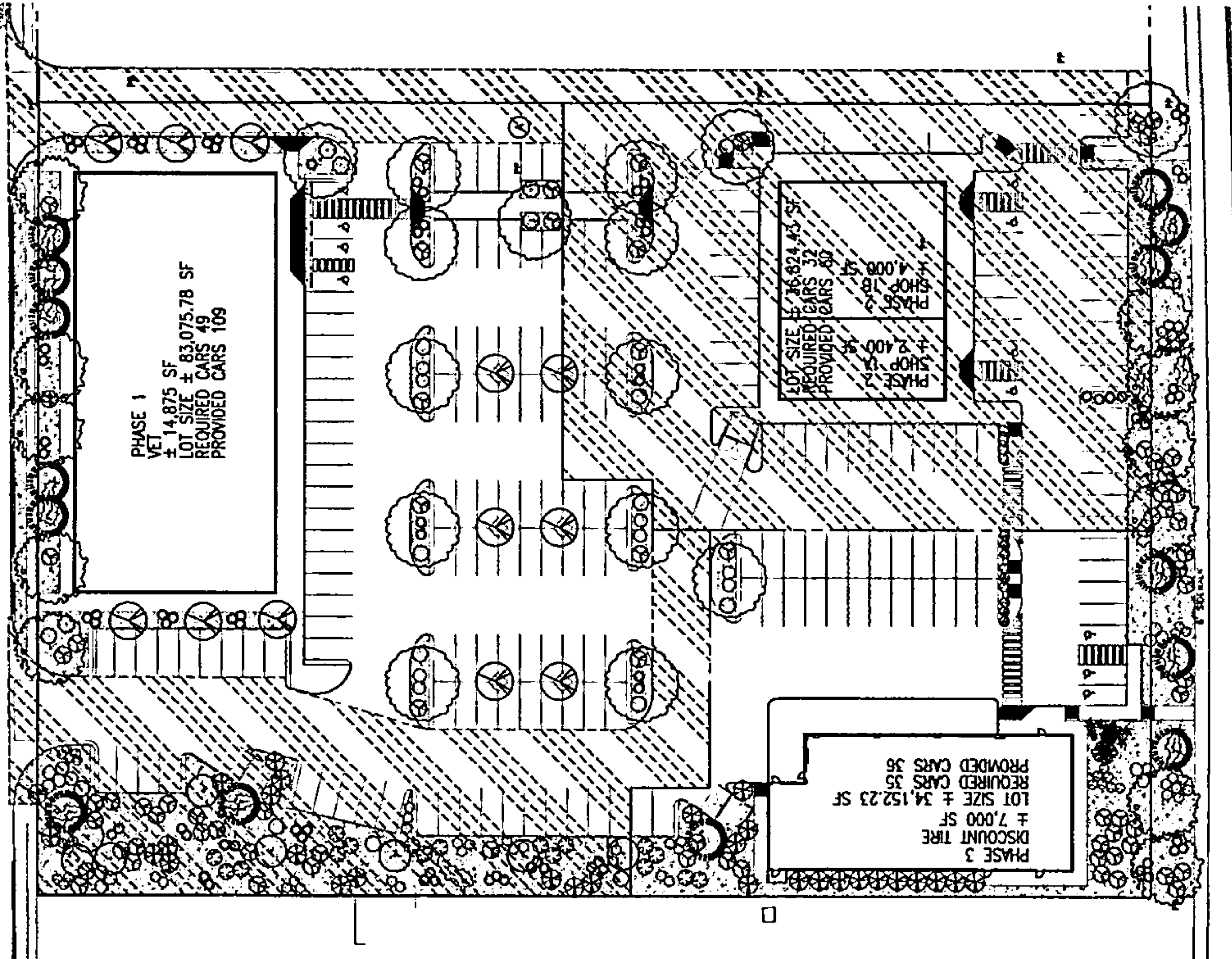
- ASH (N) AND HONEY LOCUST (N) 5  
Fraxinus americana  
Liquidambar styraciflua  
2' Cal.
- PURPLE ROSE LOCUST (N) 4  
Koshoia amigala  
2' Cal.
- FLORISSING PEAR (N) 12  
Pyrus calleryana  
15' Cal.
- ROSBURY (N) 81  
Rosa rugosa  
15' Cal.
- HALL'S HONESTUCKLE (N) 14  
Rhus glabra  
15' Cal.
- WINTER JASMINE (L) 9  
Yucca filifera  
15' Cal.
- AUSTRIAN PINE (N) 3  
Pinus nigra  
8-10' High
- TAN JUNIPER (L) 6  
Juniperus horizontalis  
15' Cal.
- ROSEMARY (N) 81  
Rosmarinus officinalis  
15' Cal.
- GRAVELLY COTONWOOD (N) 9  
Salix glauca  
5' Cal.
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC

**PLANT LEGEND-WEST PHASE 2**

- PURPLE ROSE LOCUST (N) 4  
Koshoia amigala  
2' Cal.
- NEW MEXICO OLIVE (L) 6  
Persea nemoralis  
15' Cal.
- INDIAN HAWTHORN (N) 6  
Ilex verticillata  
15' Cal.
- HALL'S HONESTUCKLE (N) 24  
Rhus glabra  
15' Cal.
- AUTHOR'S BAGE (N) 16  
Sida acuta  
2' Cal.
- CHAMISA (L) 12  
Chrysothamnus nauseosus  
15' Cal.
- AUSTRIAN PINE (N) 2  
Pinus nigra  
8-10' High
- SILVERBERRY (N) 15  
Elaeagnus argentea  
5' Cal.
- TAN JUNIPER (L) 6  
Juniperus horizontalis  
15' Cal.
- ROSEMARY (N) 24  
Rosmarinus officinalis  
15' Cal.
- MELDROWER 15  
447
- GRAVELLY COTONWOOD (N) 4  
Salix glauca  
5' Cal.
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC

**PLANT LEGEND-WEST PHASE 3**

- ASH (N) AND HONEY LOCUST (N) 6  
Fraxinus americana  
Liquidambar styraciflua  
2' Cal.
- PURPLE ROSE LOCUST (N) 2  
Koshoia amigala  
2' Cal.
- SILVERBERRY (N) 15  
Elaeagnus argentea  
5' Cal.
- INDIAN HAWTHORN (N) 6  
Ilex verticillata  
15' Cal.
- HALL'S HONESTUCKLE (N) 81  
Rhus glabra  
15' Cal.
- AUTHOR'S BAGE (N) 14  
Sida acuta  
2' Cal.
- CHAMISA (L) 9  
Chrysothamnus nauseosus  
15' Cal.
- AUSTRIAN PINE (N) 7  
Pinus nigra  
8-10' High
- PALM YUCCA (L) 2  
Yucca filifera  
5' Cal.
- TAN JUNIPER (L) 1  
Juniperus horizontalis  
15' Cal.
- ROSEMARY (N) 11  
Rosmarinus officinalis  
15' Cal.
- MELDROWER 16  
447
- GRAVELLY COTONWOOD (N) 24  
Salix glauca  
5' Cal.
- SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- OVERSIZED GRAVEL  
1/2" BOLLERS



**LANDSCAPE CALCULATIONS**

	PHASE 1	PHASE 2	PHASE 3
TOTAL LOT AREA	5710 SF	7841 SF	9215 SF
TOTAL BUILDING AREA	1400 SF	8400 SF	7000 SF
NET LOT AREA	4310 SF	7001 SF	2215 SF
LANDSCAPE REQUIREMENT (1%)	43 SF	70 SF	22 SF
TOTAL BED PROVIDED	6700 SF	10700 SF	13700 SF
OPPOSITE BED AREA	1070 SF	0 SF	0 SF
TOTAL G.C. BED (1%)	437 SF	700 SF	220 SF
TOTAL LANDSCAPE PROVIDED	6700 SF	10700 SF	13700 SF

SCALE 1"=30'

**SITE DEVELOPMENT PLAN  
FOR SUBDIVISION CHECKLIST**

Revised 4/18/06

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC and DRB will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Conceptual Utility Plan** (required)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN" as outlined in the Zoning Code (§ 14-16-1-1 et. seq.). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

**Accompanying Material**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request
- D. 8-1/2" x 11" reductions

**SHEET # 1 – SITE PLAN** (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s)
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements
- 10. For each lot:
  - a. Maximum Building Height
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or
  - d. Nonresidential Uses' Maximum Floor Area Ratio (F.A.R.)

**SHEET #2 – DESIGN REQUIREMENTS FOR FUTURE SITE DEVELOPMENT  
PLANS FOR BUILDING PERMIT (Optional, but STRONGLY  
recommended)**

- \_\_\_ 1. Overall Design Theme and Land Use Concept
- \_\_\_ 2. Off-Street Parking Requirements and Design (Automobile and Bicycle)
- \_\_\_ 3. Street Design
- \_\_\_ 4. Transit Facilities (benches, shelters, pedestrian connections, etc.)
- \_\_\_ 5. Landscape Design Requirements (plant list, buffer areas, locations, amounts, etc.)
- \_\_\_ 6. Architectural Design Requirements (façade elements, massing, colors, materials, etc.)
- \_\_\_ 7. Signage Design Requirements (face area, colors, materials, maximum height, etc.)
- \_\_\_ 8. Lighting Design Requirements (type, locations, colors materials, maximum height, etc.)
- \_\_\_ 9. Pedestrian Amenities (walkways, plazas, shade structures, etc.)



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME PASEO PLACE LLC  
AGENT GEORGE RAINHART ARCH & ASSOC  
ADDRESS 2325 SAN PEDRO NE STE 2B  
PROJECT & APP # 10047.73/06 DRB 00865, 00866  
PROJECT NAME PASEO PLACE

\$ 20.00 441032/3424000 Conflict Management Fee  
\$ 770.00 441006/4983000 DRB Actions  
\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
\$ \_\_\_\_\_ 441018/4971000 Public Notification  
\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study  
\$ 790.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

6/13/2006  
RECEIPT# 0061951  
Account 44032  
Activity 344000  
Trans Amt  
J24 Misc

GEORGE R. RAINHART  
ARCHITECT & ASSOCIATES, P.C.  
2325 SAN PEDRO NE SUITE 2B  
ALBUQUERQUE, NM 87110  
884-9110

2846

DATE 6/13/06 LOCATE \*\*\*

95-78/1070  
893

City of Albuquerque  
Treasury Division \$ 790.00

PAY TO THE ORDER OF

Seventy nine hundred ninety dollars & No/100

LOC: ANNY  
DOLLARS



FOR PASEO PLACE DRB

Account 441006 Fund 0110  
Activity 4983000  
Trans Amt \$790.00  
J24 Misc

Dolly Rainhart

002846 107000783 0012577984 790.00  
CHANGE \$0.00

Current DRC

Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: June 7, 2006

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DRB Project No.: 1004773

DRB Application No.: 06DRB-00750

**ORIGINAL**

**INFRASTRUCTURE LIST**

(Rev. 9-20-05)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**PASEO PLACE**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOTS 12, 13, 20, & 21, BLOCK 18, TRACT A, NORTH ALBUQUERQUE ACRES, UNIT 8**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8"	Waterline	Onsite 20' Public Easement	Holly Ave.	Paseo del Norte	/	/	/
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ORIGINAL

PLAT



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature      Date		City User Dept. Signature      Date	

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

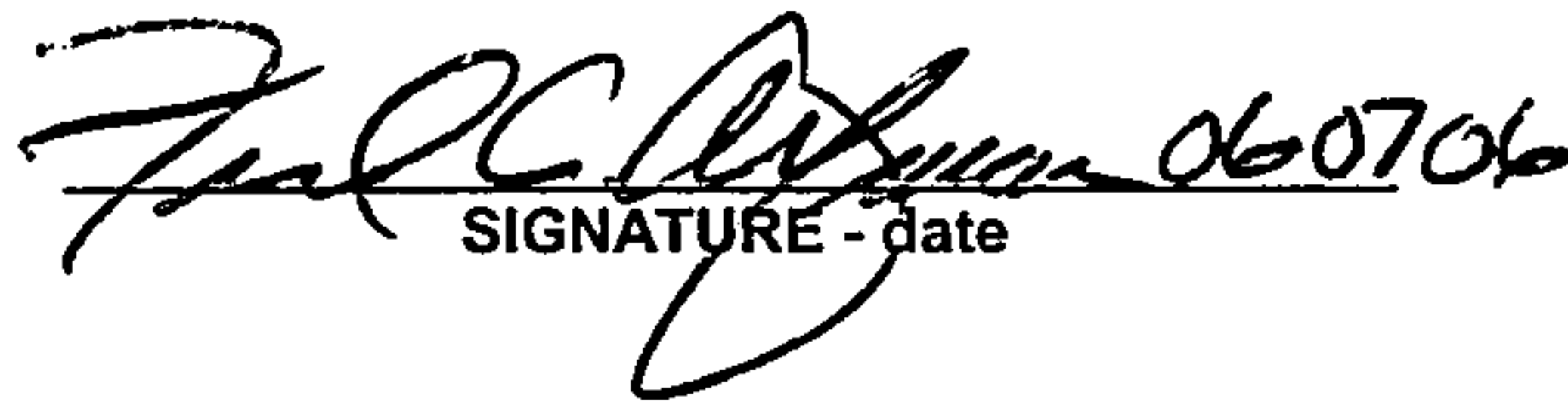
Street lights per City requirements.

- 1 Waterline includes all appurtenances to (valves, fitting, fire hydrant, installation).
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

Fred C. Arfman, PE  
NAME (print)

Isaacson & Arfman, P.A.  
FIRM

  
SIGNATURE - date

\_\_\_\_\_  
DRB CHAIR - date

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
- date

\_\_\_\_\_  
- date

DESIGN REVIEW COMMITTEE REVISIONS
-----------------------------------

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<b>SUBDIVISION</b>	<b>S Z ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>V</b>
<input type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Building Permit	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<input type="checkbox"/> Street Name Change (Local & Collector)
<b>STORM DRAINAGE</b>	<b>L A APPEAL / PROTEST of...</b>
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Paseo Place, LLC PHONE: 889-3061  
 ADDRESS: 6300 Riverside Plaza Lane NW, Suite 200 FAX: 837-1061  
 CITY: ABQ STATE NM ZIP 87120 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_  
 AGENT (if any): Isaacson + Artman, P.A. PHONE: 268-8828  
 ADDRESS: 128 Monroe Street NE FAX: 268-2632  
 CITY: ABQ STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

DESCRIPTION OF REQUEST: Minor S/D Preliminary/Final Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Lots 12, 13, 20, + 21 Tract A Block: 18 Unit: B  
 Subdiv. / Adn. North Albuquerque Acres (tbka Paseo Place)  
 Current Zoning: ~~SM-1, M-1, SR-2-M1~~ Proposed zoning: Same  
 Zone Atlas page(s): C-18 No. of existing lots: 4 No. of proposed lots: 3  
 Total area of site (acres): 3.5370 Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No  
 UPC No. See Attached Sheet MRGCD Map No. NA  
 LOCATION OF PROPERTY BY STREETS: On or Near: Holly Ave NE  
 Between: Paseo del Norte NE and San Pedro Dr NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z-, V-, S-, etc.): 06DRB-00377, ZA-88-217; Z-1534

Check-off if project was previously reviewed by (Sketch Plat/Plan)?, or Pre-application Review Team? . Date of review: 3/29/06

SIGNATURE Fred C. Artman DATE 05/30/06  
 (Print) Fred Artman \_\_\_\_\_ Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB 00750</u>	<u>P&amp;E</u>	<u>5(3)</u>	<u>\$ 355.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>06/07/06</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 375.00</u>

Sandy Handley 05/30/06

Project # 1004773



**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT**

**YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

**Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**  
Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
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- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Signed** Pre-Annexation Agreement if Annexation required.
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.** *Forthcoming*

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred Arfman Applicant name (print)  
Fred C. Arfman Applicant signature / date 05.30.06



Form revised 11/04

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06DRB-00750

Sandy Handley Planner signature / date 05/30/06  
**Project # 1004773**



PASEO PLACE

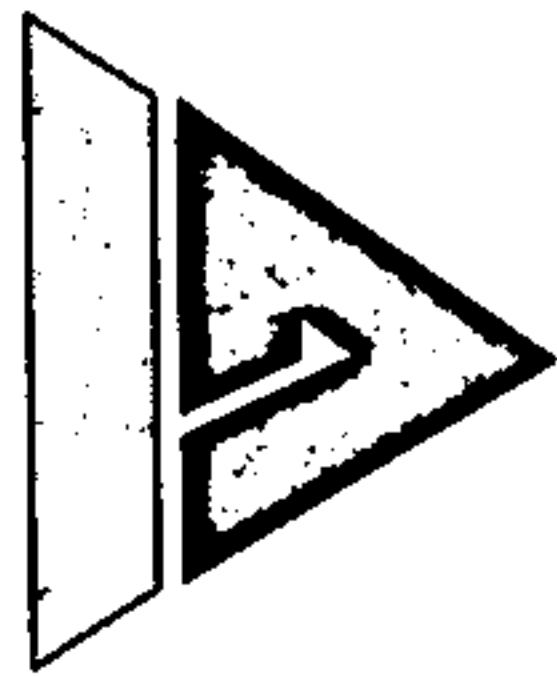
UPC NO.

Lot 12 -- 101806418903930216

Lot 13 -- 101806420503930215

Lot 20 -- 101806420501630208

Lot 21 -- 101806418901630207



**PROJECT MEMORANDUM**

05/30/06

**TO:** Sheran Matson, Planning Department

**FROM:** Fred C. Arfman, Isaacson & Arfman, P.A.

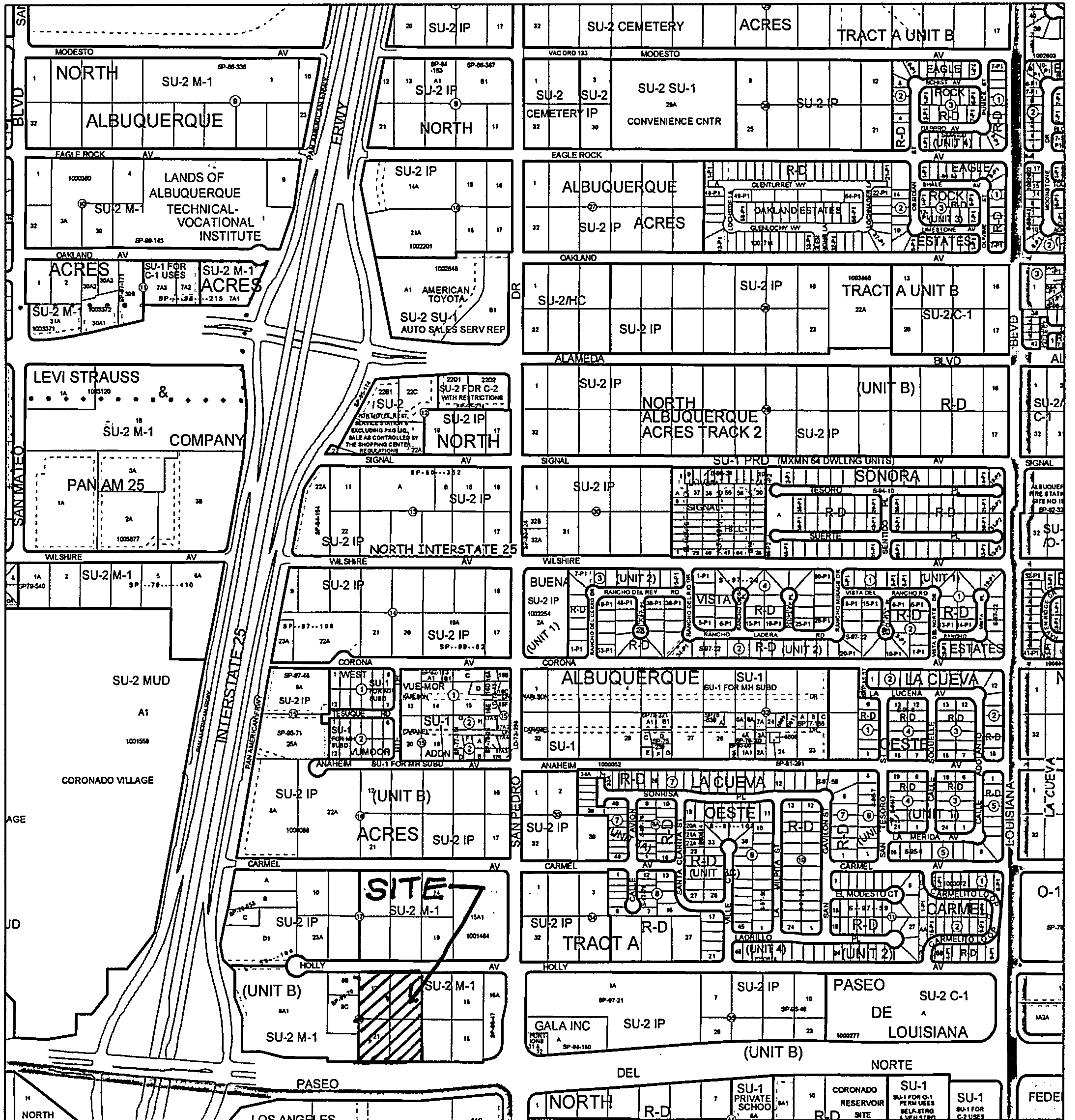
**REF:** Paseo Place

**I&A PROJ NO:** 1435

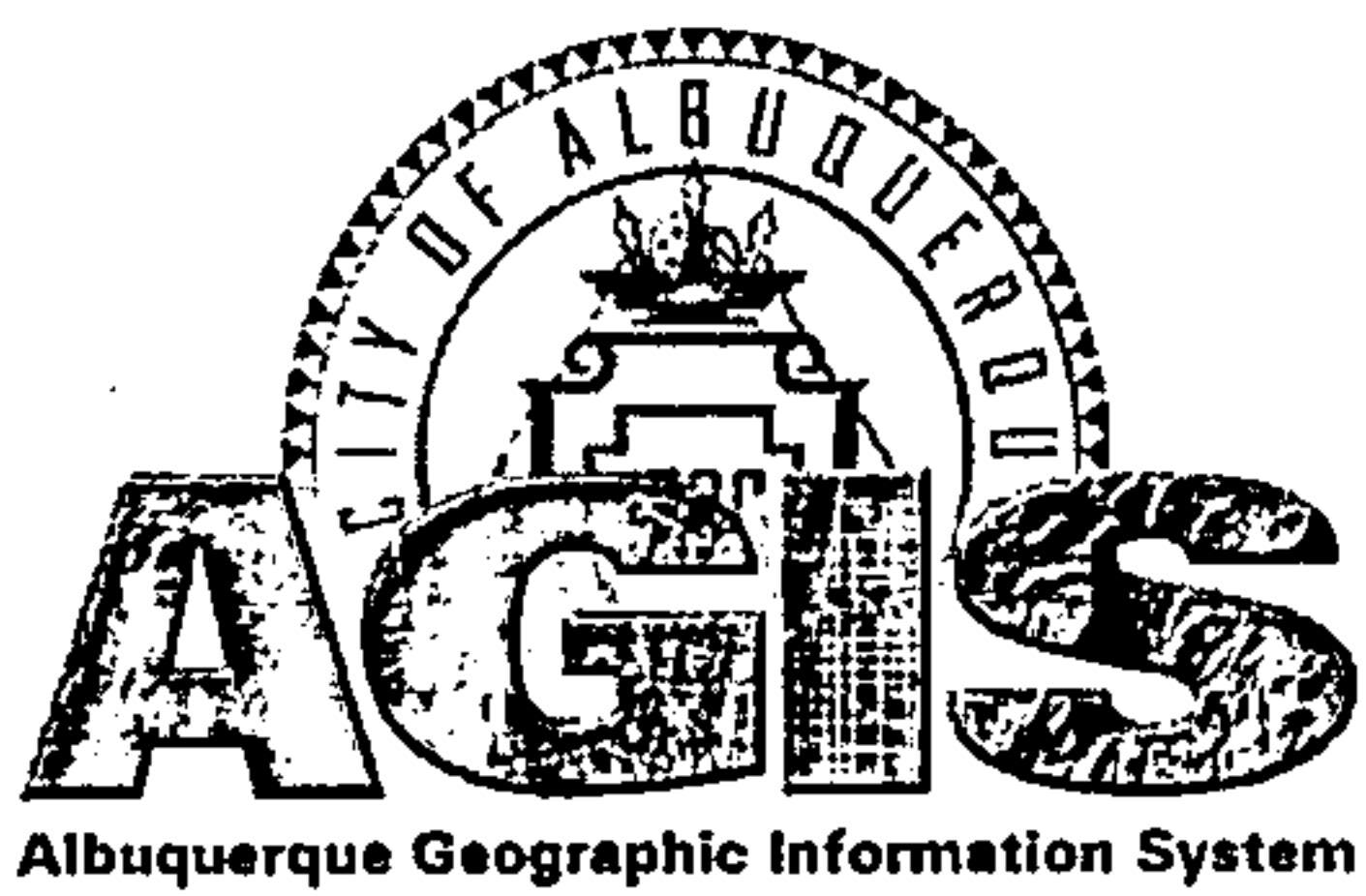
**SUBJ:** Minor Plat Submittal

Isaacson & Arfman, P.A., consulting engineers and agent for Paseo Place, LLC request submittal of preliminary/final plat application package for a DRB hearing on June 7, 2006.

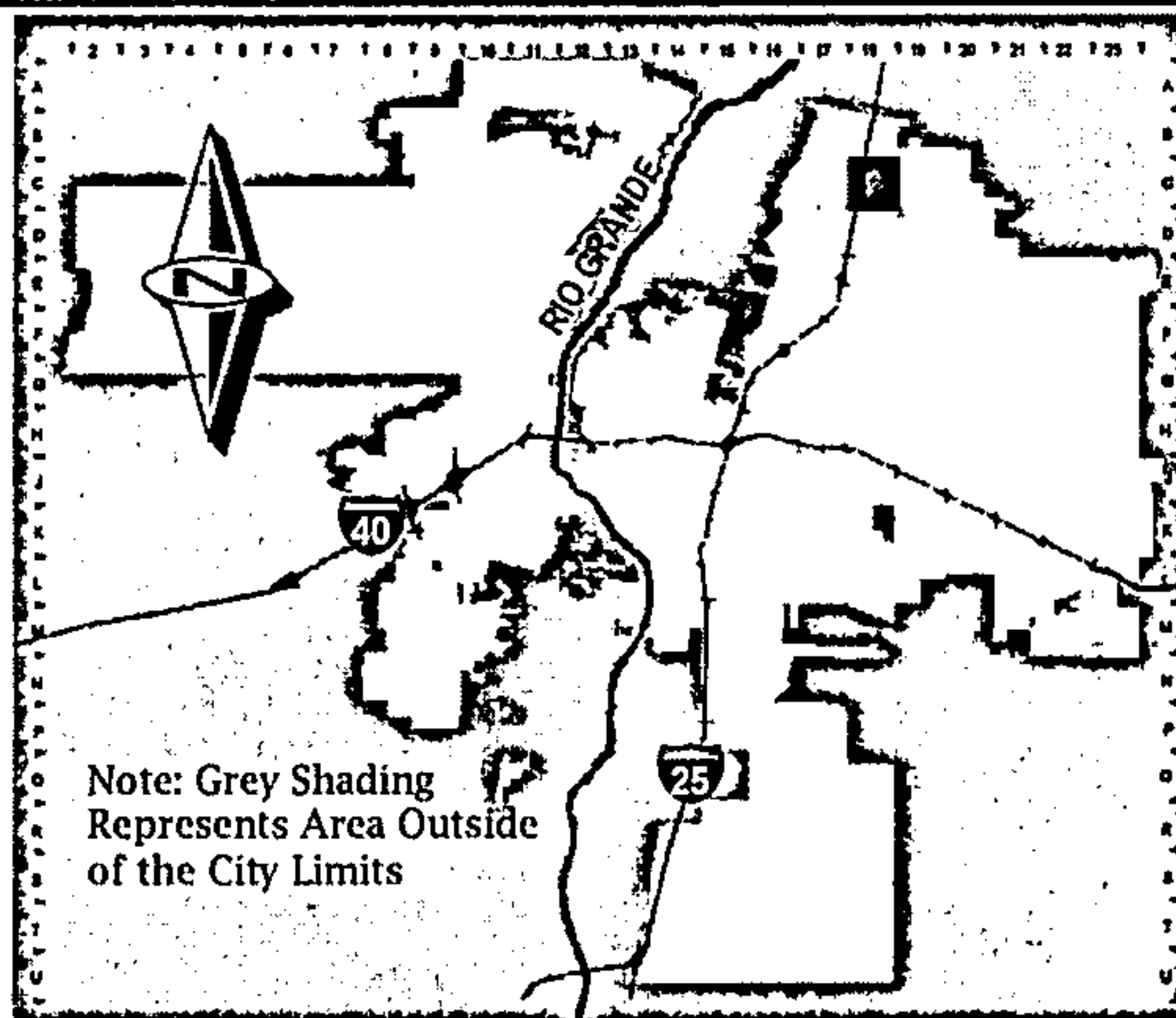
This action will create three (3) individual commercial tracts from the existing four (4) North Albuquerque Acres lots. The existing temporary buildings have been removed from the site.



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 11/2/2005



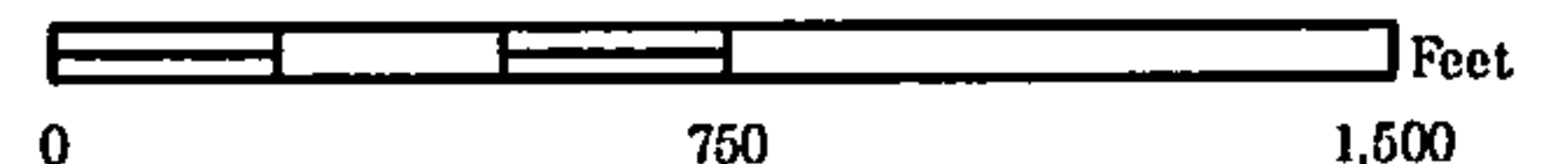
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

**C-18-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME PASEO PLACE LLC  
AGENT ISAACSON & ARFMAN PA  
ADDRESS 128 MONROE ST NE  
PROJECT & APP # 100 4773/06 DRB 00750  
PROJECT NAME PASEO PLACE

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 355.00 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 375.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

CHANGE

Thank You

\$0.00

5/31 2006  
RECEIVED  
ACT 11  
TRAN 11  
J24  
CN  
ISAACSON AND ARFMAN P A  
128 MONROE ST NE  
ALBUQUERQUE, NM 87108-1247  
268-8828  
17089  
95-219/1070 176  
1350743997  
DATE 5/30/06  
\$375.00  
PAY TO THE ORDER OF City of Albuquerque  
Three Hundred Seventy-five + 00/100  
DOLLARS  
WELLS FARGO  
Wells Fargo Bank, N.A.  
New Mexico  
wellsfargo.com  
5/30/2006 12:04PM LOC: AMX  
RECEIPT# 00058638 US# 008 TRAM# 0030  
Account 441032 Fund 0110  
Act 11 34240 TRSL 16  
FOR 1435  
J24 Misc  
00017089 1070021921 1350743997



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

### SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

### STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

### Supplemental form

#### S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICANT INFORMATION:

NAME: PASEO PLACE L.L.C. PHONE: 889-3061  
 ADDRESS: 6300 RIVERSIDE PLAZA LANE NW FAX: 837-1061  
 CITY: ABQ STATE NM ZIP 87120 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: BUYER UNDER CONTRACT List all owners: ABOVE % ARGUS DEV. CO.  
 AGENT (if any): ISAACSON & ARFMAN, P.A. PHONE: 268-8828  
 ADDRESS: 128 MONROE ST NE FAX: 268-2632  
 CITY: ABQ STATE NM ZIP \_\_\_\_\_ E-MAIL: FREDA@IACIVIL.COM

DESCRIPTION OF REQUEST: REVIEW & COMMENTS FOR SKETCH PLAT OF A 3.5 AC. COMMERCIAL DEVELOPMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

### SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 12, 13, 20 & 21, TRACT A Block: 18 Unit: B  
 Subdiv. / Addn. NORTH ALBUQUERQUE ACRES  
 Current Zoning: SU-2 M-1 Proposed zoning: SAME  
 Zone Atlas page(s): C-18 No. of existing lots: 4 No. of proposed lots: 3  
 Total area of site (acres): 3.5365 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A  
 Within city limits?  Yes. No  but site is within 5 miles of the city limits.)  
 Within 1000FT of a landfill? YES  
 UPC No. (2) 101806418903930216 (3) 101806420503930215 MRGCD Map No. \_\_\_\_\_  
(2) 101806420501630208 (2) 101806418901630207

LOCATION OF PROPERTY BY STREETS: On or Near: HOLLY AVE & PASEO DEL NORTE  
 Between: I-25 and SAN PEDRO DR. NE

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
AX-98 RA-88-217 Z-1534

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: \_\_\_\_\_

SIGNATURE Fred C. Arfman DATE 03-21-06  
 (Print) FRED C. ARFMAN \_\_\_\_\_ Applicant  Agent

### FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB 00377</u>	<u>SK</u>	<u>5(3)</u>	<u>\$ 0.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>03/29/06</u>			Total <u>\$ 0.00</u>

Sandy Handberg 03/21/06

Project # 1004773



**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT**

**YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

**Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

**Extensions are not reviewed through internal routing.**

Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

**Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
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- Letter briefly describing, explaining, and justifying the request
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- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Signed** Pre-Annexation Agreement if Annexation required.
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**Your attendance is required.**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
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  - Letter briefly describing, explaining, and justifying the request
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  - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will result in deferral of actions.

Fred C. Artman

Applicant name (print)

Fred C. Artman

3/21/06

Applicant signature / date

Form revised 11/04



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

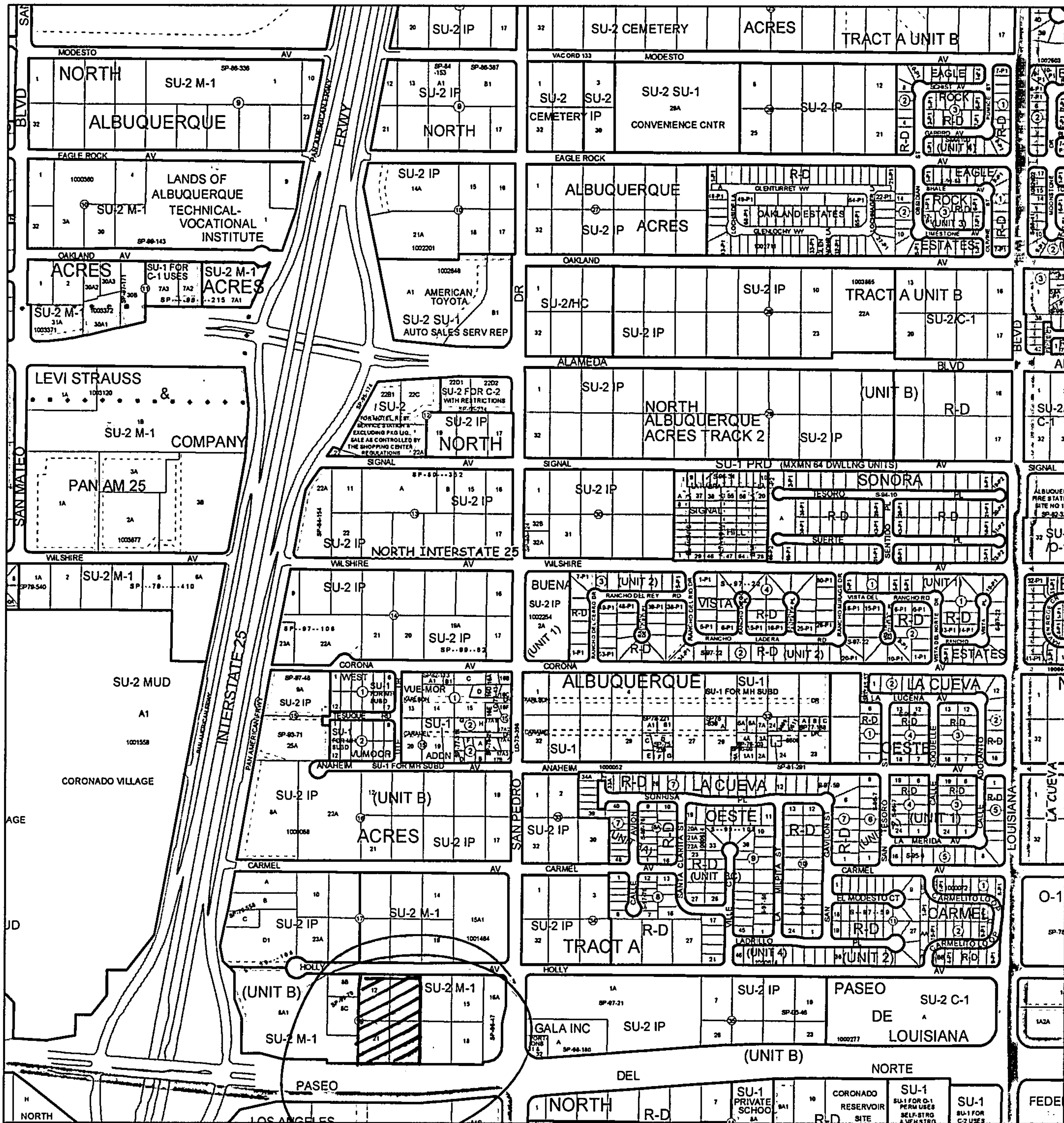
06DRB - 00377

Sandy Handley 03/29/06


Placer signature / date

Project # 1004773



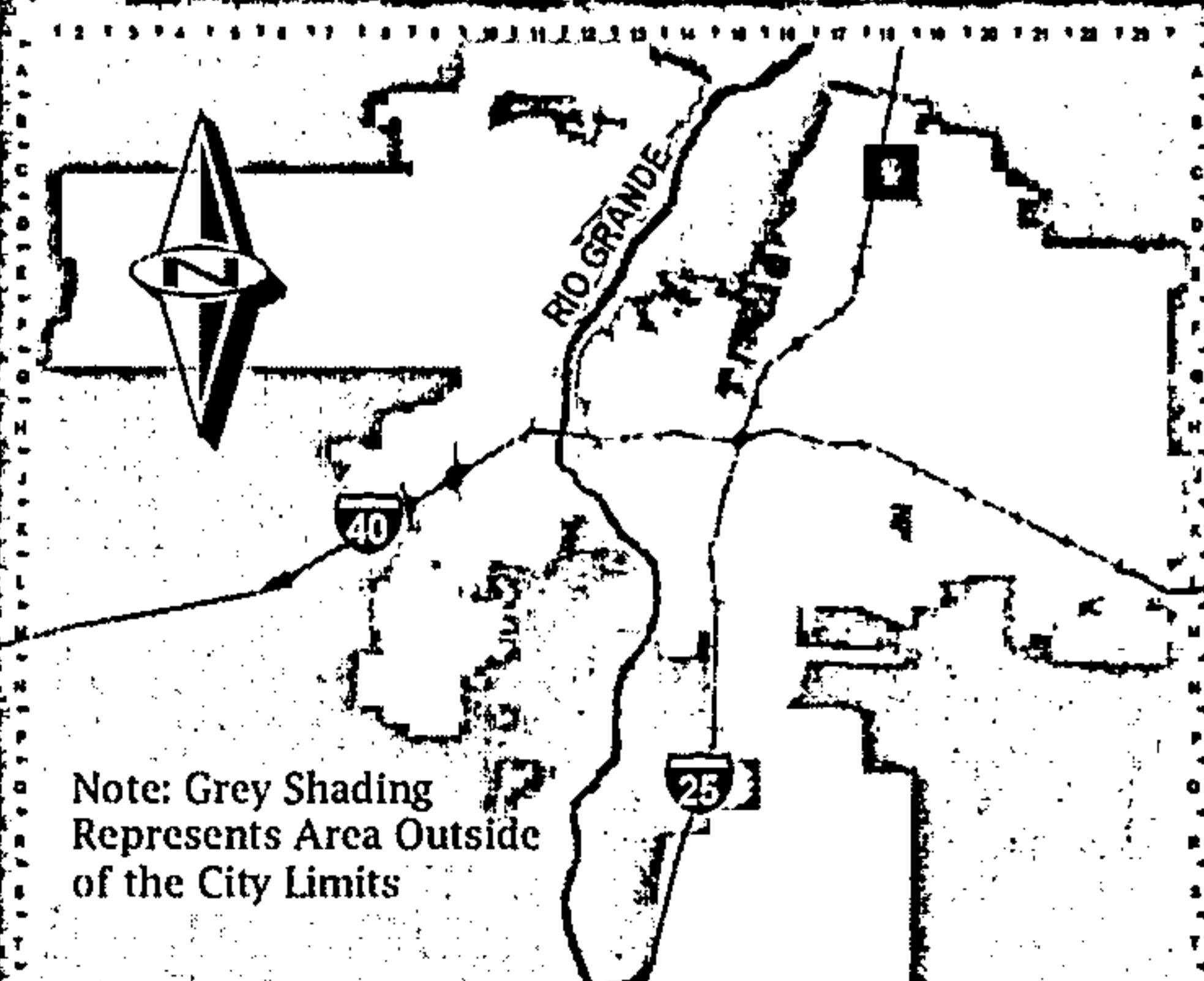


For more current information and more details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System

Map amended through: 11/2/2005




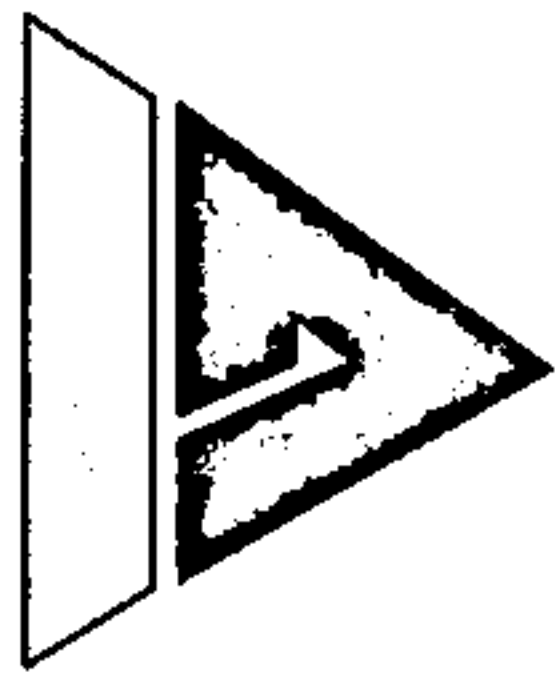
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-18-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		





**PROJECT MEMORANDUM**

03/21/06

**TO:** Sheran Matson, Chair, Development Review Board

**FROM:** Fred C. Arfman, PE, Isaacson & Arfman, P.A.

**REF:** Paseo Place Commercial

**I&A PROJ NO:** 1435

**SUBJ:** Sketch Plat Submittal

Isaacson & Arfman, P.A., agent for Paseo Place, LLC request review and comments for the four (4) lots consisting of 3.5365 acres to be developed as three (3) commercial buildings on three (3) tracts.

Site is within the buffer zone of the Sacramento Landfill.

Easements for cross access, reciprocal parking, and cross-lot drainage will be granted on the final plat.

Water and Sanitary Sewer Availability Statement was issued by the City of Albuquerque on February 6, 2006.