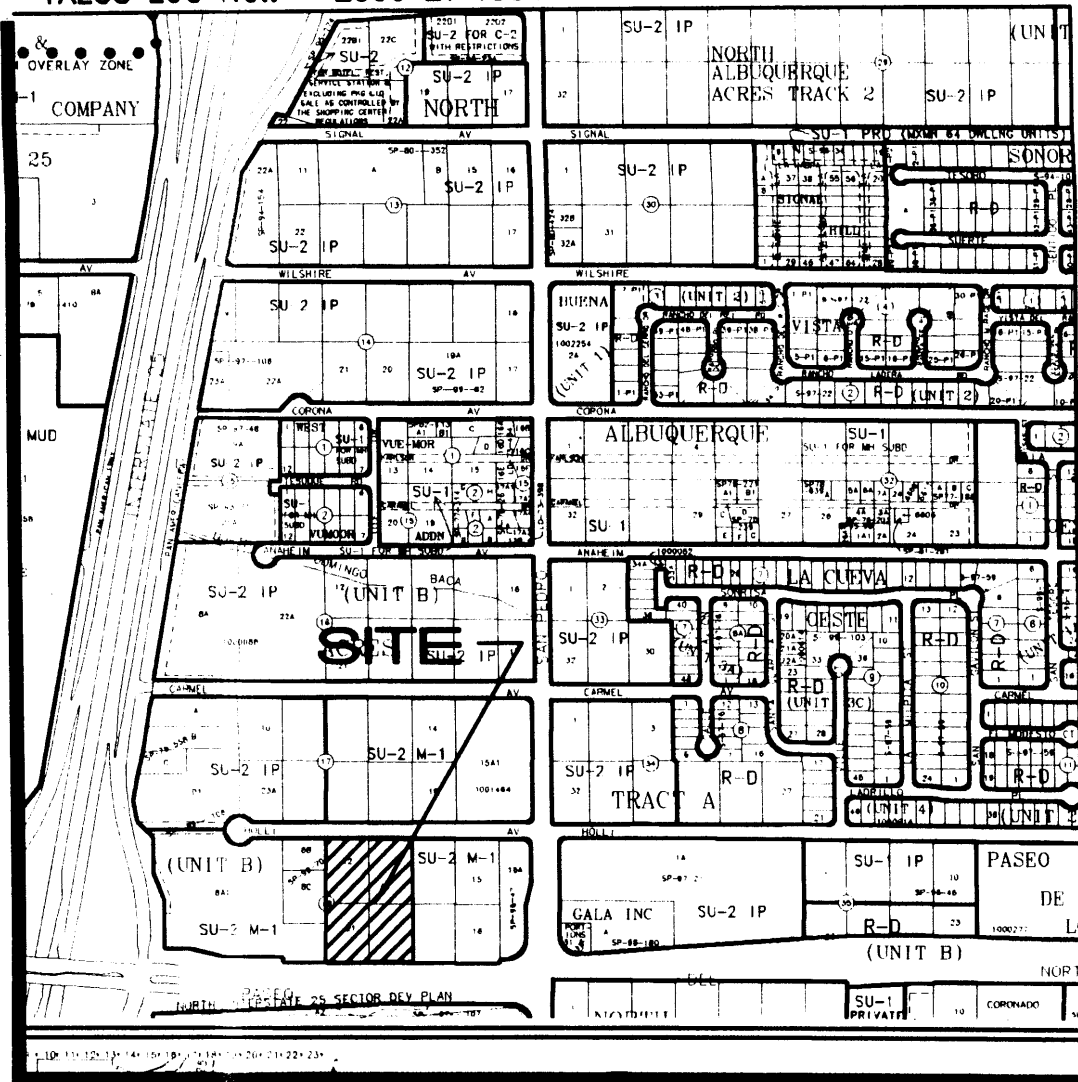


TALOS LOG NO.: 2006 21 1584



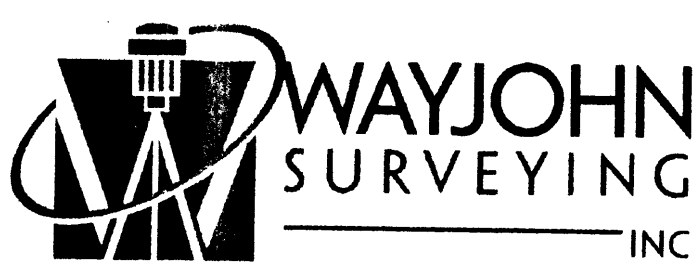
C-18

1"=750'±

VICINITY MAP

SUBDIVISION DATA / NOTES

- Total Number of Existing Tracts: 4
- Total Number of Lots created: 0
- Total Number of Tracts created: 3
- Gross Subdivision Acreage: 3.5370 Ac.
- Total Mileage of Full Width Streets Created: 0
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled: "NORTH ALBUQUERQUE ACRES, BLOCK 18, TRACT A, UNIT B" (FILED 40-24-1936;) all being records of Bernalillo County, New Mexico.
- Field Survey performed on FEBRUARY 15, 2005.
- Title Report: None provided.
- This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.
- City Standard Utility Note II: "City of Albuquerque Water and Sanitary Sewer Service to must be verified and coordinated with the Utility Development Division, P.W.D., City of Albuquerque."
- The property is located within Zone "X (No Flood Hazards)", Community Panel No. 350002 0137 F, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.
- ZONING: SU-1, M-1
- PROPERTY IS SITUATED IN THE ELENA GALLEGOS LAND GRANT, SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST.



330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887

LEGAL DESCRIPTION

Lots numbered Twelve (12), Thirteen (13), Twenty (20), and Twenty-one (21) in Block numbered Eighteen (18) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the Four (4) existing Lots into Three (3) commercial tracts, to grant those public and private easements necessary to serve the commercial development.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque without warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided, and do hereby certify that this subdivision is their free act and deed.

* IN FEE SIMPLE

OWNER

PASEO PLACE L.L.C.

BEN F. SPENCER MANAGING MEMBER

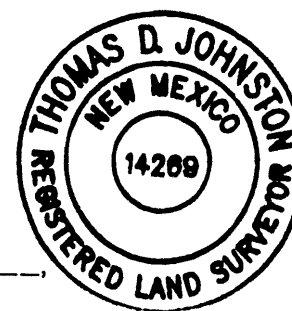
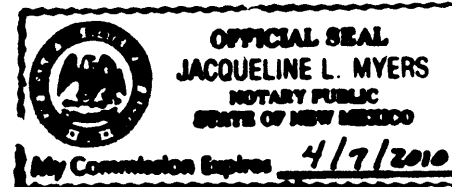
ACKNOWLEDGMENT

STATE OF NEW MEXICO) COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on May 26, 2006, by Ben F. Spencer, Manager of Paseo Place, LLC a New Mexico Limited Liability Company, on behalf of said company.

My Commission Expires: 4/7/2010

Jacqueline L. Myers Notary Public



SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14299

5.26.06 Date

PLAT FOR PASEO PLACE

BEING A REPLAT OF LOTS 12, 13, 20 AND 21 BLOCK 18, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

MAY 2006

APPROVALS DRB PROJECT NO. APPLICATION NO. Utility Approvals

PRELIMINARY PLAT APPROVED BY DRB ON

PNM ELECTRIC SERVICES DIVISION DATE

PNM GAS SERVICES DIVISION DATE

QWEST DATE

COMCAST DATE

City of Albuquerque Approvals

R. Cliff Wilbur CITY SURVEYOR

May 30, 2006 DATE

REAL PROPERTY DIVISION DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITY DEVELOPMENT DIVISION, P.W.D., CITY OF ALBUQUERQUE DATE

PARKS AND RECREATION DEPARTMENT DATE

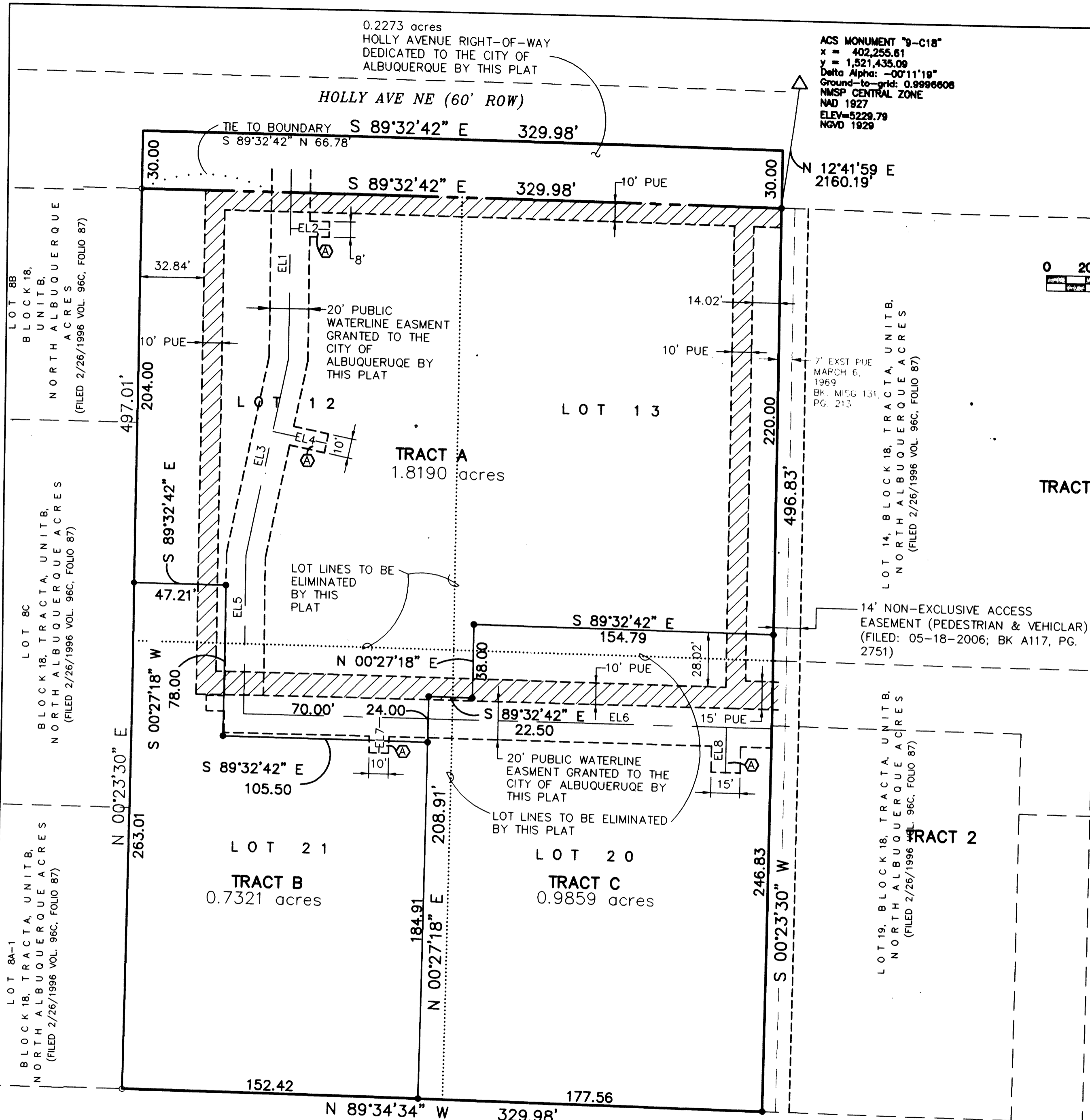
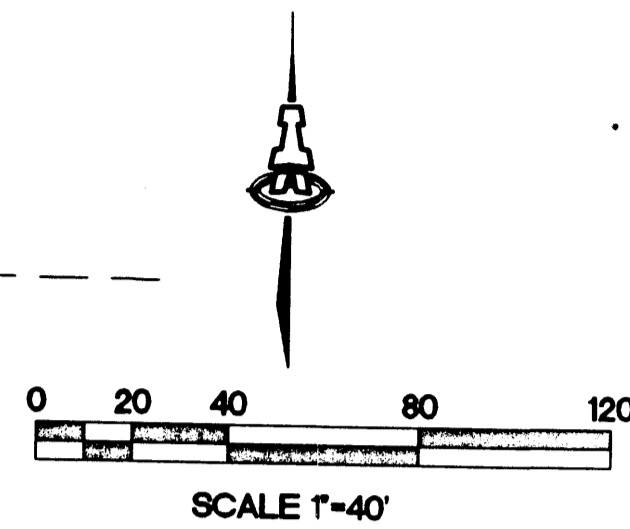
AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

**PLAT
FOR
PASEO PLACE**
BEING A REPLAT OF
LOTS 12, 13, 20 AND 21
BLOCK 18, TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MAY 2006



ACS MONUMENT "9-C18"
x = 402,255.61
y = 1,521,435.09
Delta Alpha: -00°11'19"
Ground-to-grid: 0.9996606
NAD 1927
ELEV=5229.79
NGVD 1929

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

EASEMENTS

CROSS-LOT ACCESS, PARKING AND PRIVATE DRAINAGE EASEMENTS ARE GRANTED FOR THE BENEFIT OF SHOWN TRACTS A, B & C EXCLUDING BUILDING ENVELOPES AND THE ADJOINING EASTERLY LOTS 14, 15, 18 & 19. THE TRACT OWNERS OF TRACTS A, B, & C SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID EASEMENTS ACROSS, OVER & UNDER THEIR INDIVIDUAL TRACTS.

PASEO DEL NORTE
(PUBLIC ROW VARIES)

LOT CORNER LEGEND

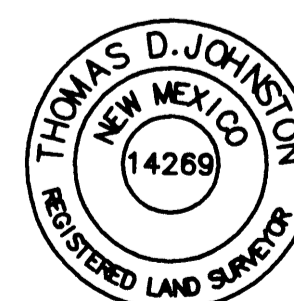
- FOUND PK W/TAG
- SET 5/8" REBAR WITH CAP "PS 14269"

KEYED NOTE:

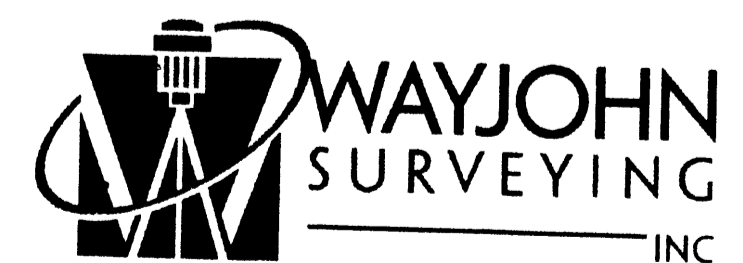
- A. PUBLIC WATERLINE EASEMENT EXPANDED TO ACCOMMODATE PUBLIC FIRE HYDRANTS AND WATER METERS.

EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
EL1	S 00°09'07" W	97.89
EL2	N 89°50'53" W	20.00
EL3	S 11°24'07" W	104.32
EL4	N 78°35'53" W	28.24
EL5	N 00°08'44" E	81.73
EL6	S 89°50'53" E	272.62
EL7	N 00°09'07" E	18.71
EL8	S 00°00'00" E	23.92



INDEXING INFORMATION FOR COUNTY CLERK
OWNER:
LOCATION:
T. N., R. E., N.M.P.M.
LANDS OF .

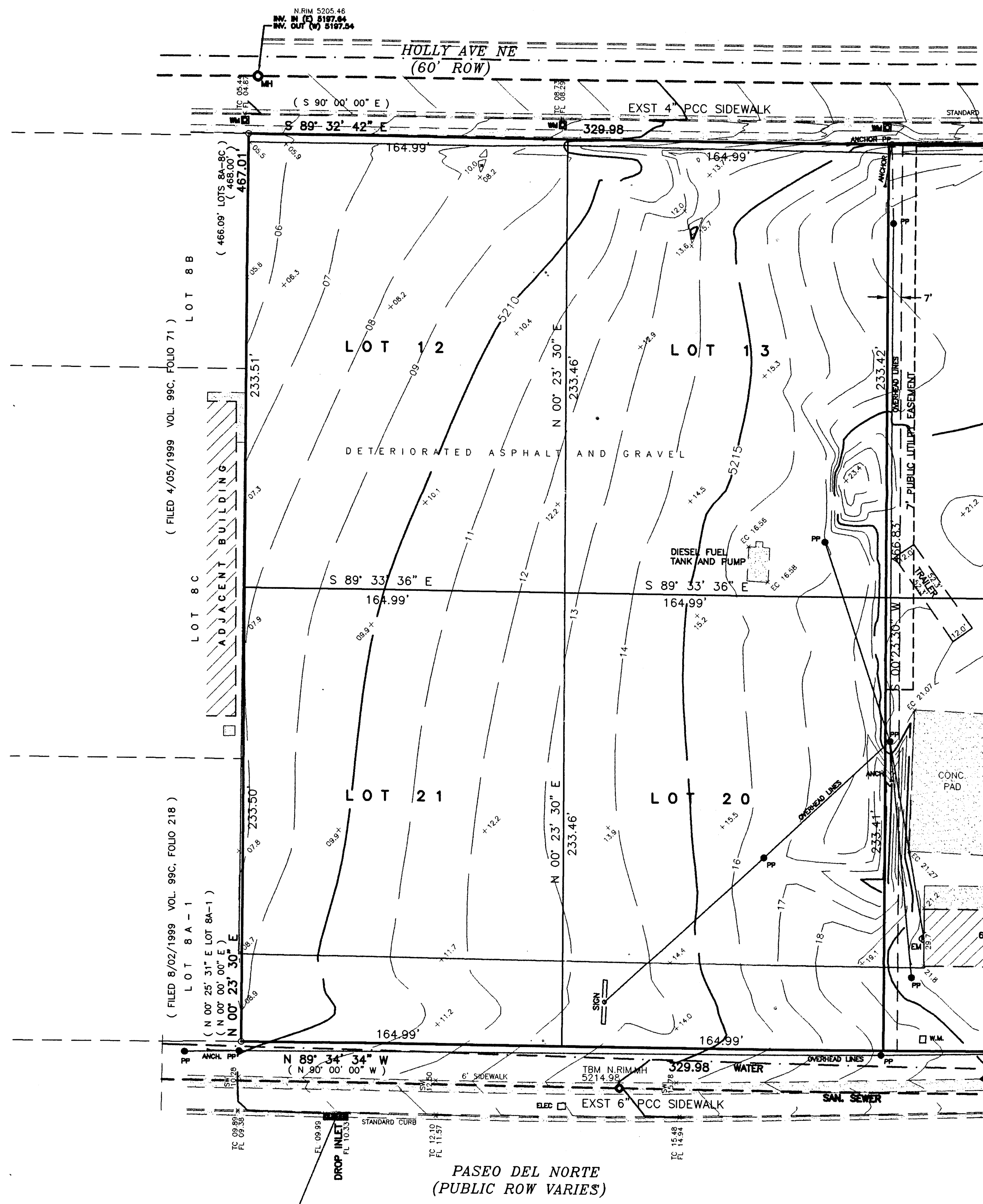


330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

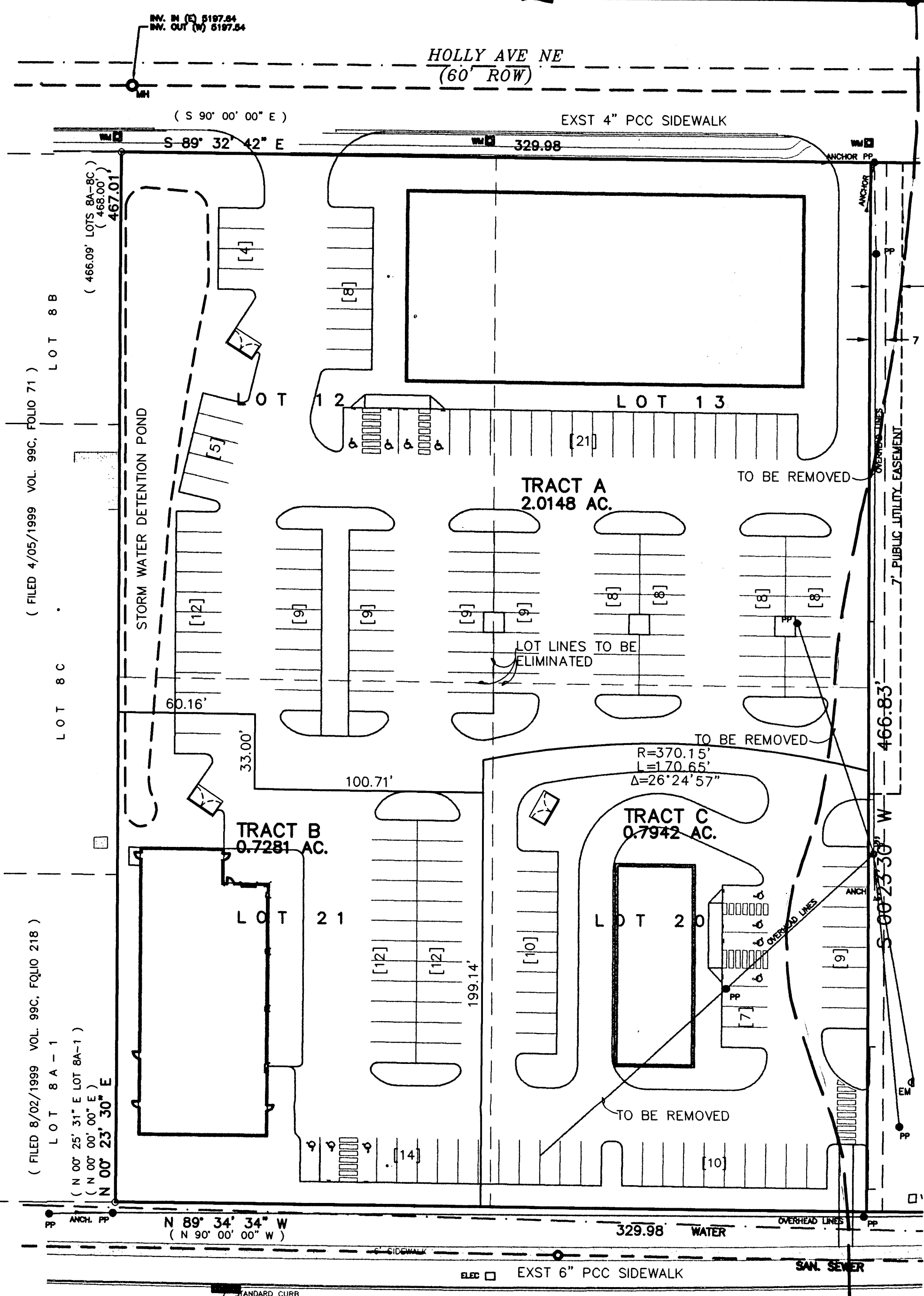
DRAWN: RFH

CHECKED: GLD

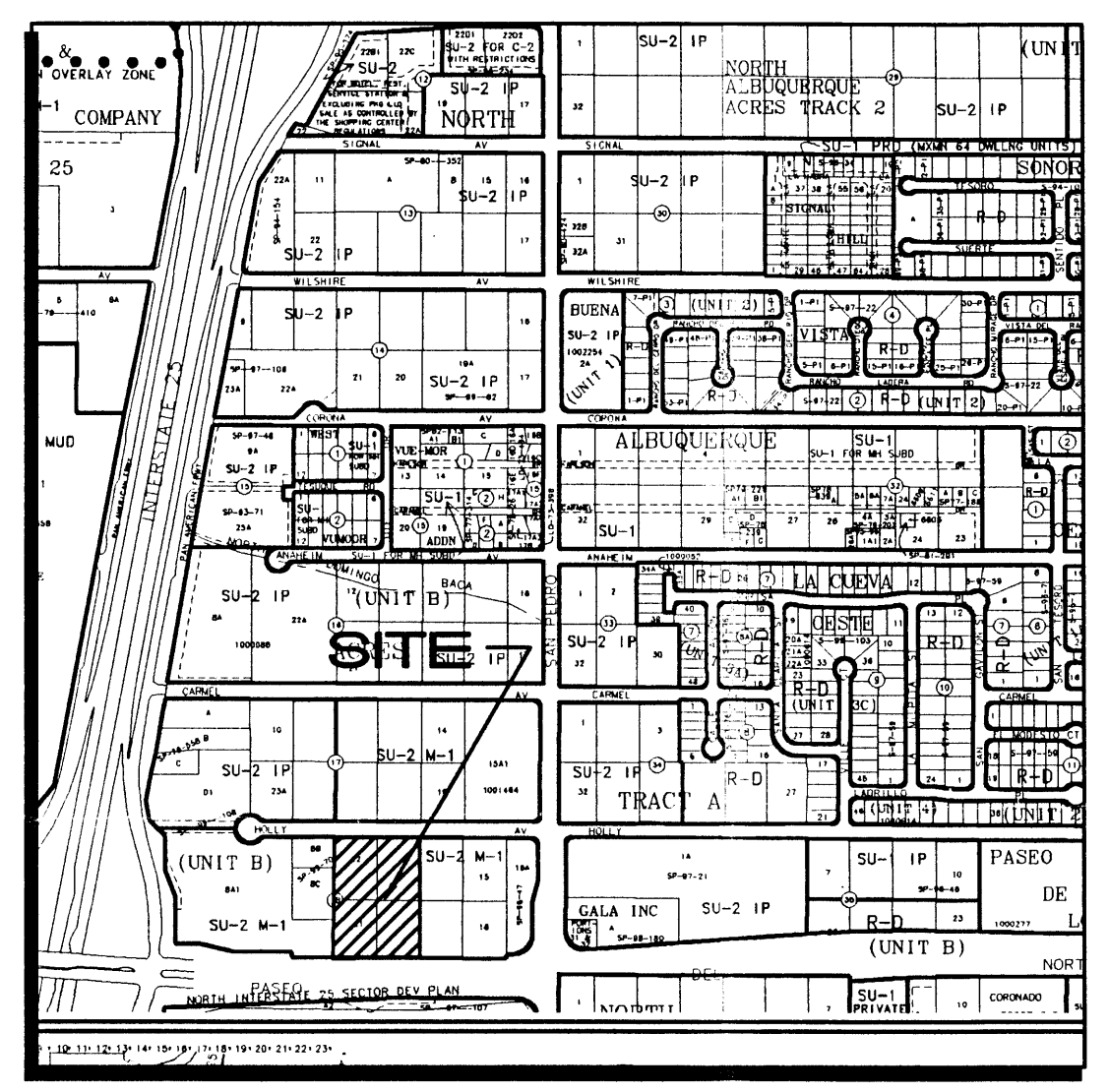
M:\ACTIVELDA1\435\DWG\1435-5\PLAT.dwg, 3/20/2006 1:34:11 PM



EXISTING CONDITIONS
SCALE: 1"=40'



PROPOSED CONDITIONS
SCALE: 1"=40'



C-18
VICINITY MAP
1"=750'

FUTURE 14' PRIVATE ACCESS EASEMENT TO BE SECURED FROM ADJACENT PROPERTY OWNER.

SITE DATA:

LEGAL DESCRIPTION:

Lots numbered Twelve (12), Thirteen (13), Fourteen (14), Fifteen (15), Eighteen (18), Nineteen (19), Twenty (20), and Twenty-one (21) in Block numbered Eighteen (18) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936.

LESS AND EXCEPTING therefrom property described in Warranty Deed filed June 16, 1997, recorded in Book 97-16, Page 1756, as Document No. 97060397, records of Bernalillo County, New Mexico.

The above described property is located within Zone "X (No Flood Hazards)", Community Panel No. 350002 0137, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

LEGEND

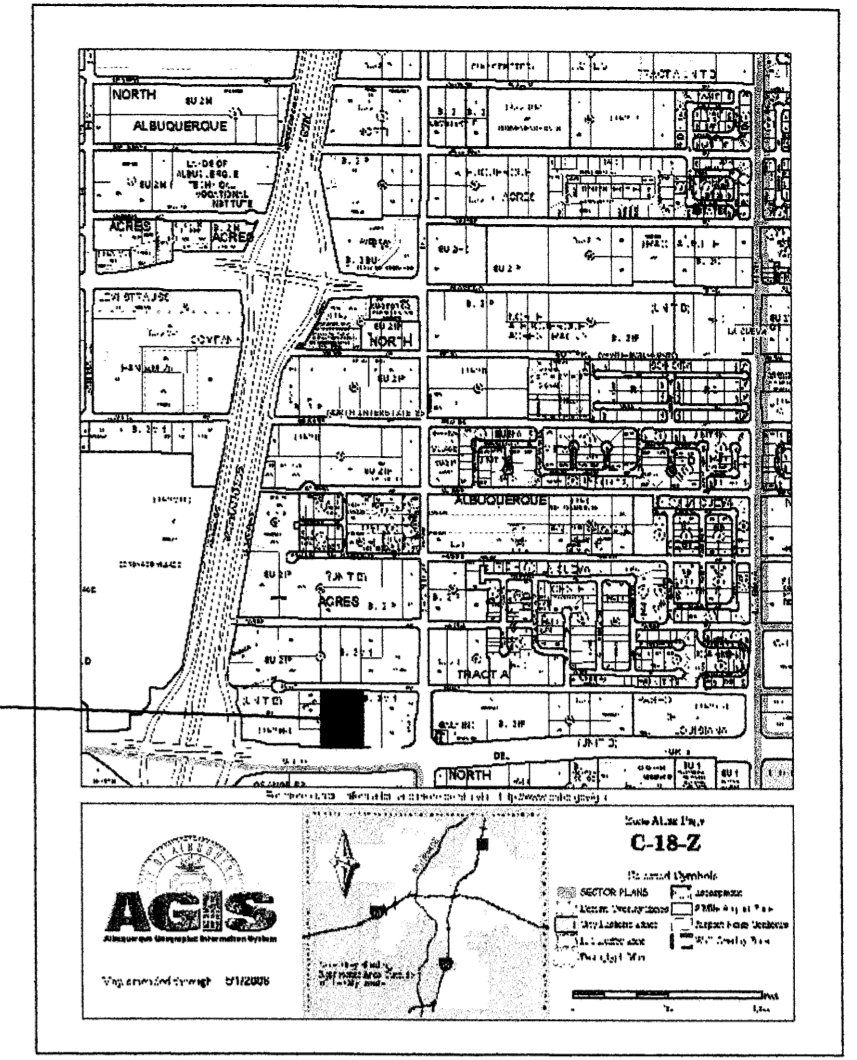
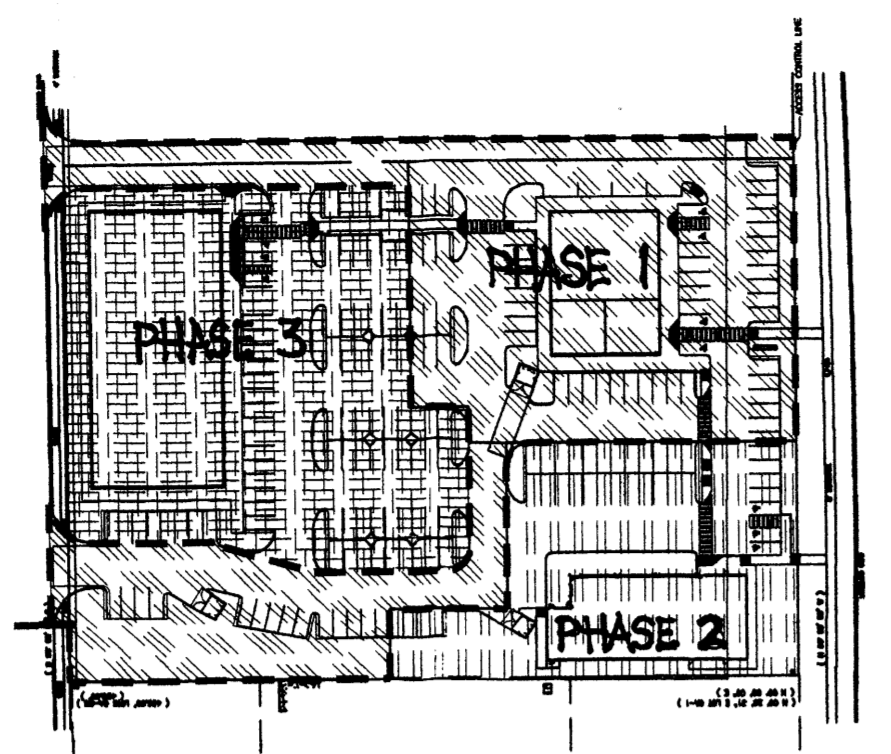
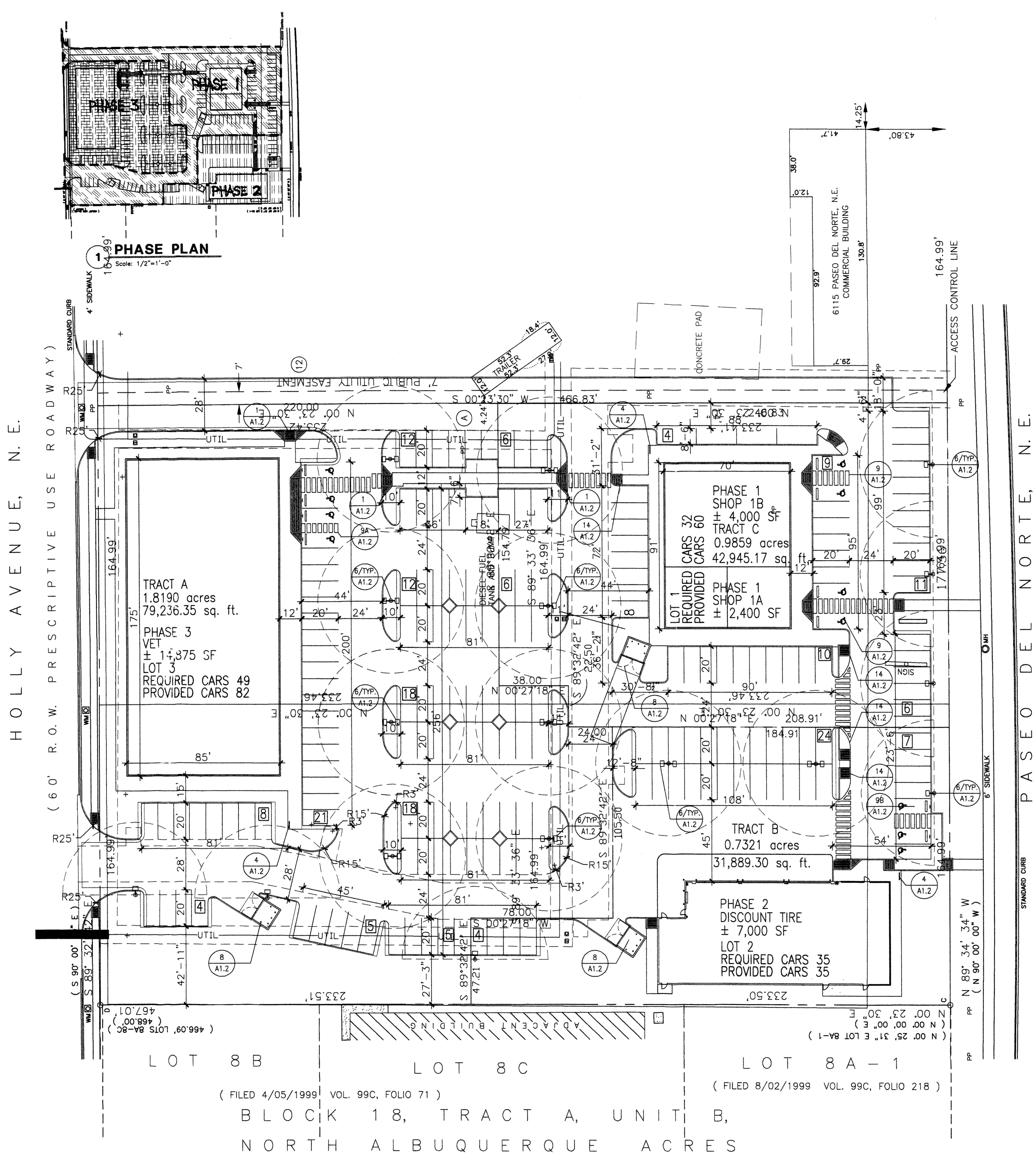
- EXISTING CONTOUR
- PROPOSED LOT LINE
- - - EXISTING LOT LINE
- == EXISTING CURB & GUTTER
- ▭ TRACT A PROPOSED TRACT
- ▭ LOT 12 EXISTING LOT
- [10] PROPOSED NUMBER OF SPACES.

EASEMENTS
CROSS-LOT ACCESS, PARKING AND PRIVATE DRAINAGES SHALL BE GRANTED FOR THE BENEFIT OF PROPOSED SHOWN TRACTS AND THE ADJOINING TRACT(S) TO THE EAST.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1435GRD.DWGdip 3/20/06

PASEO PLACE COMMERCIAL
Argus Dev. Co.

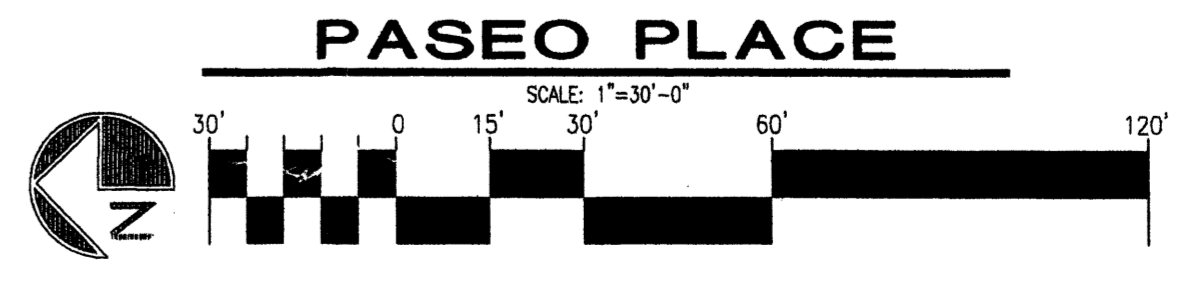
SKETCH PLAT			
Date:	No. Revisions:	Date:	Job No.
3/20/06			1435
Drawn By:			PAGE
dip			81 OF
Old By:			
FCA			



1 VICINITY MAP
Scale: N.T.S.

SPBP
PRELIMINARY PLAN
APPROVED BY DRB
ON _____

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES THEN A SET OF APPROVED DRG PLANS WITH WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS
 DRB SITE DEVELOPMENT PLAN ~~APPROVAL~~ APPROVAL:
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION _____ DATE _____
 WATER UTILITY DEPARTMENT _____ DATE _____
 PARKS & RECREATION DEPARTMENT _____ DATE _____
 CITY ENGINEER _____ DATE _____
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE _____
 Michael Hilton 6/13/06
 SOLID WASTE MANAGEMENT _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____



PASEO PLACE

HOLLY AVENUE, N.E.

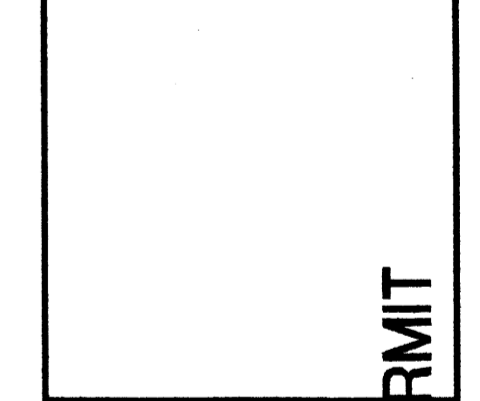
PASEO DEL NORTE, N.E.

(PUBLIC R.O.W. VARIES)

LOT 8 B (FILED 4/05/1999 VOL. 99C, FOLIO 71)
 LOT 8 C
 LOT 8 A - 1 (FILED 8/02/1999 VOL. 99C, FOLIO 218)
 BLOCK 18, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES

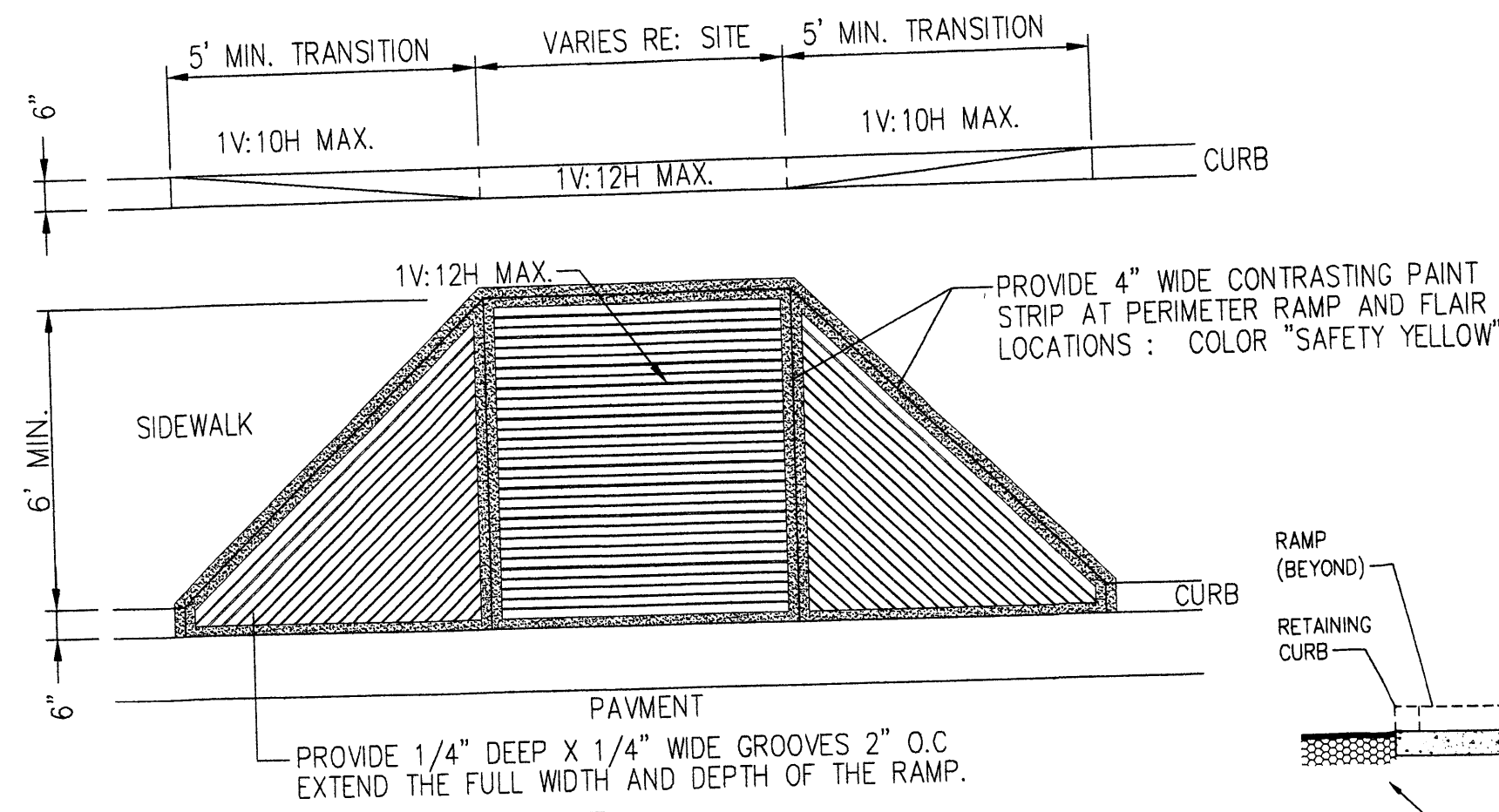
REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



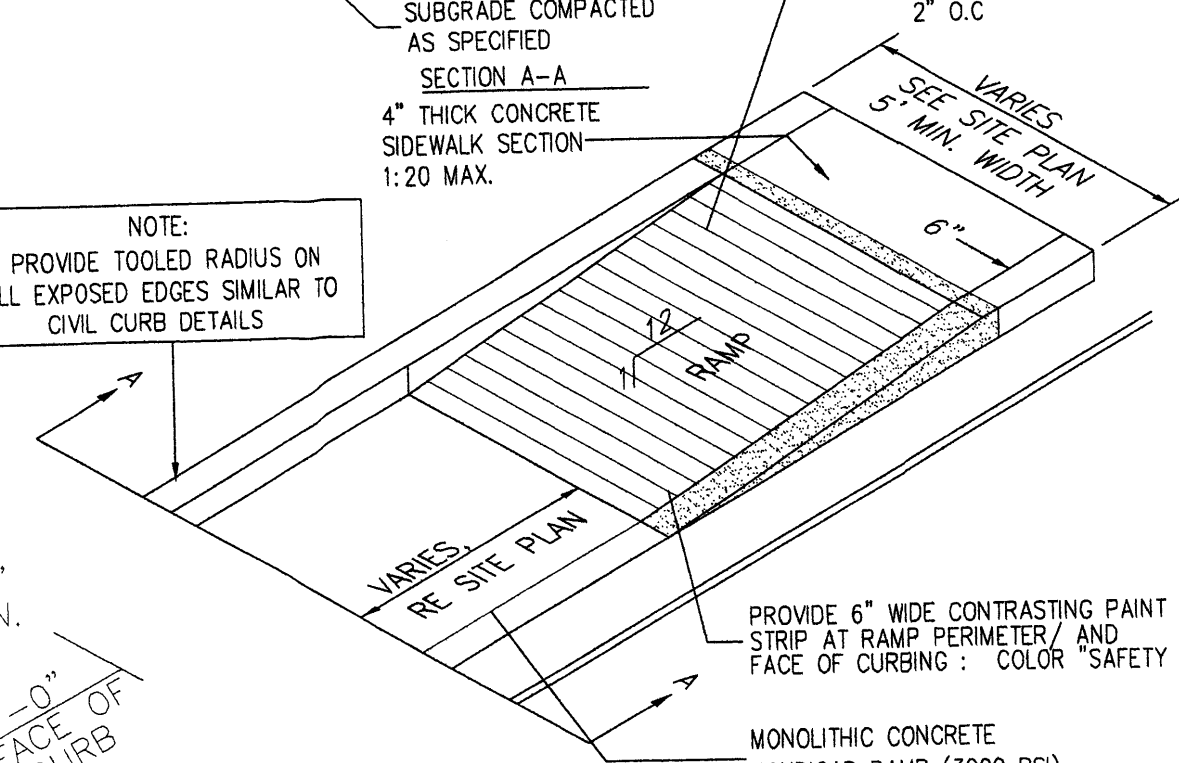
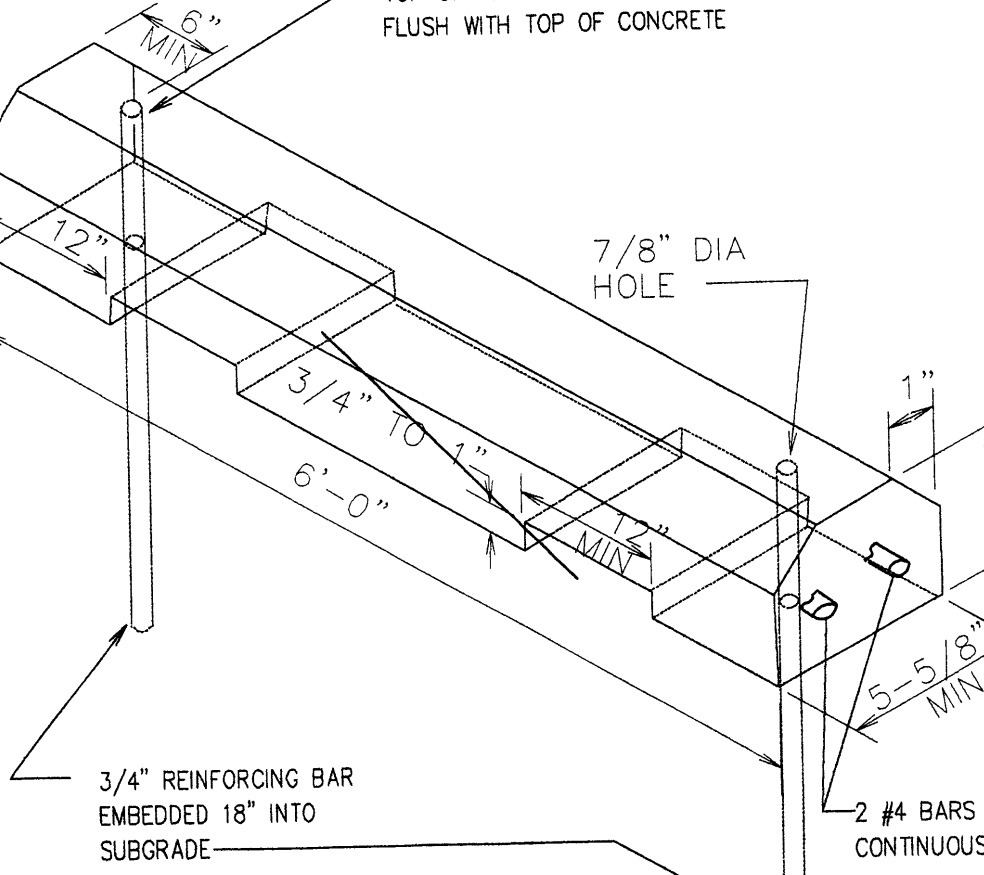
PROJECT TITLE
PASEO PLACE
 PASEO, N.E.
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER
 STEPHEN DUNBAR
 JOB NO.
 SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

DATE:
03/03/06
 SCALE:
1" = 30'
 sheet-
A1.0
of-



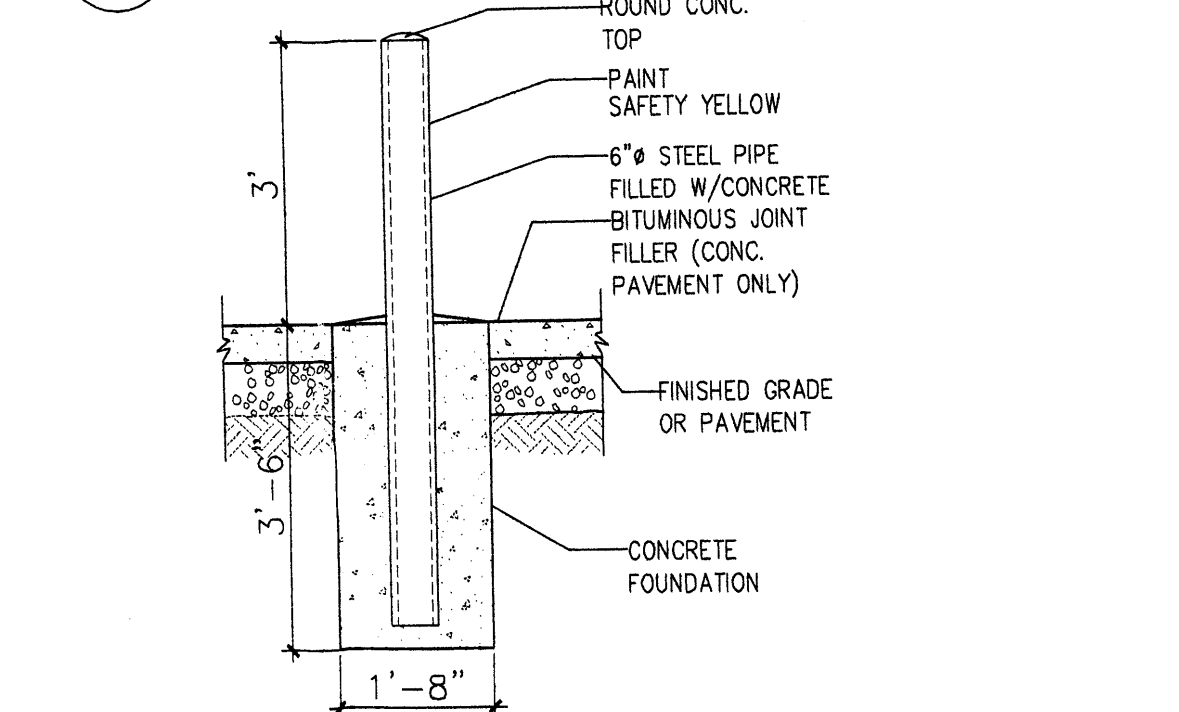
1 H.C RAMP

Scale: N.T.S



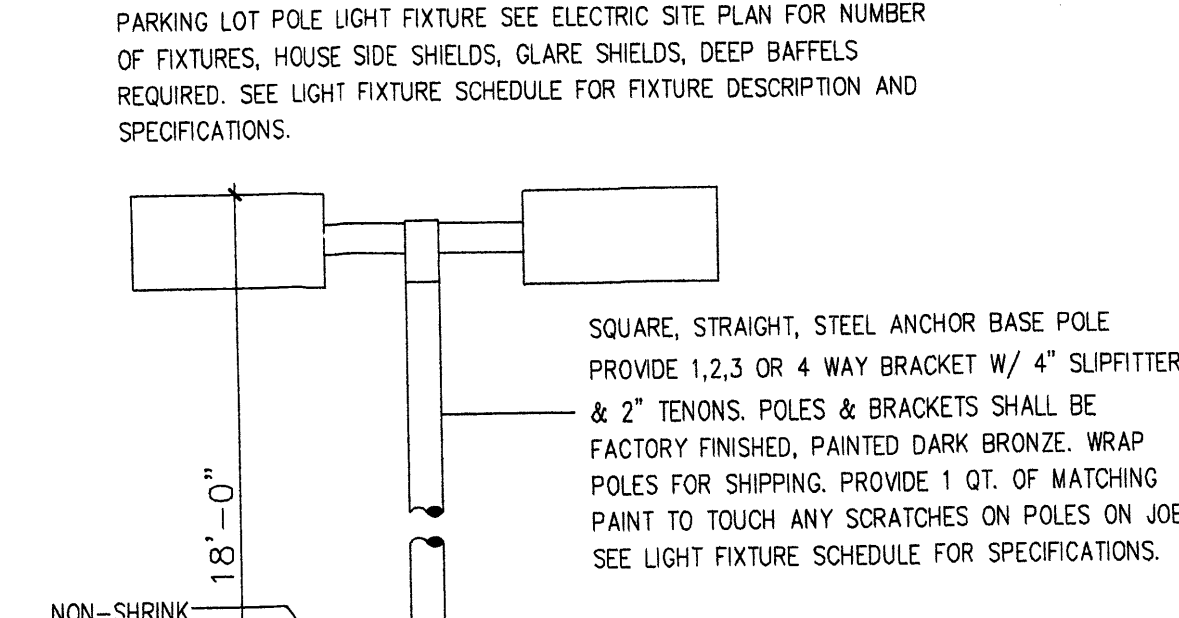
14 SIDEWALK H.C DETAIL

Scale: N.T.S



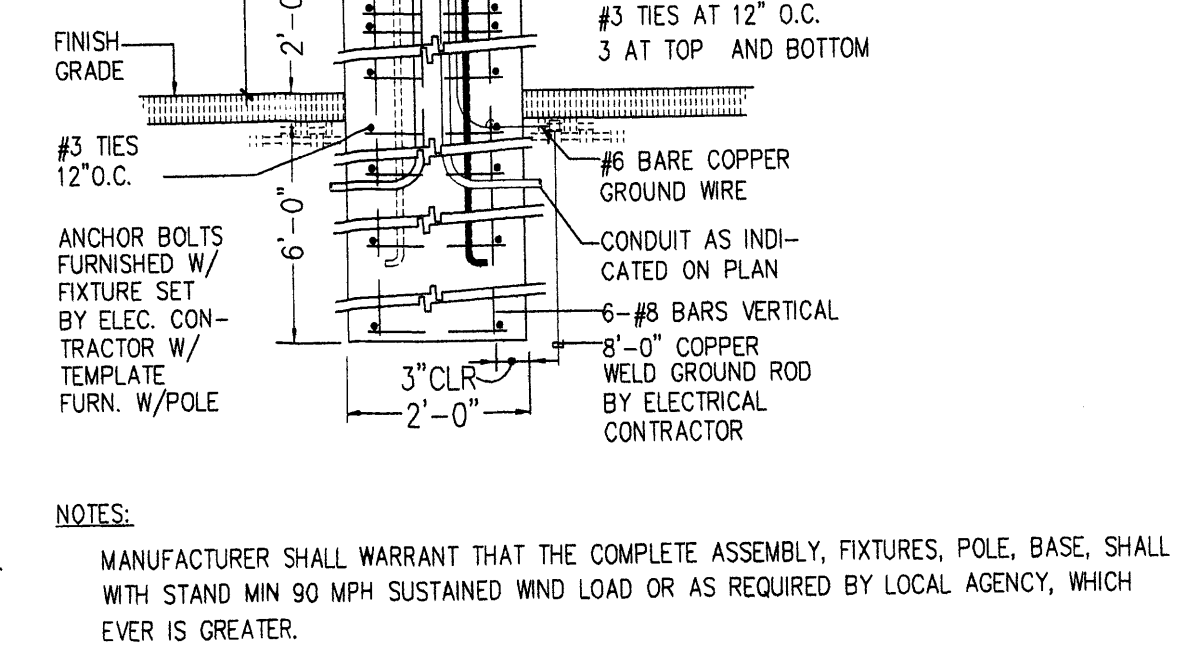
5 BOLLARD DETAIL

Scale: 1/2"=1'-0"



4 BIKE RACK

Scale: 1/2"=1'-0"



6 LIGHT POLE DETAIL

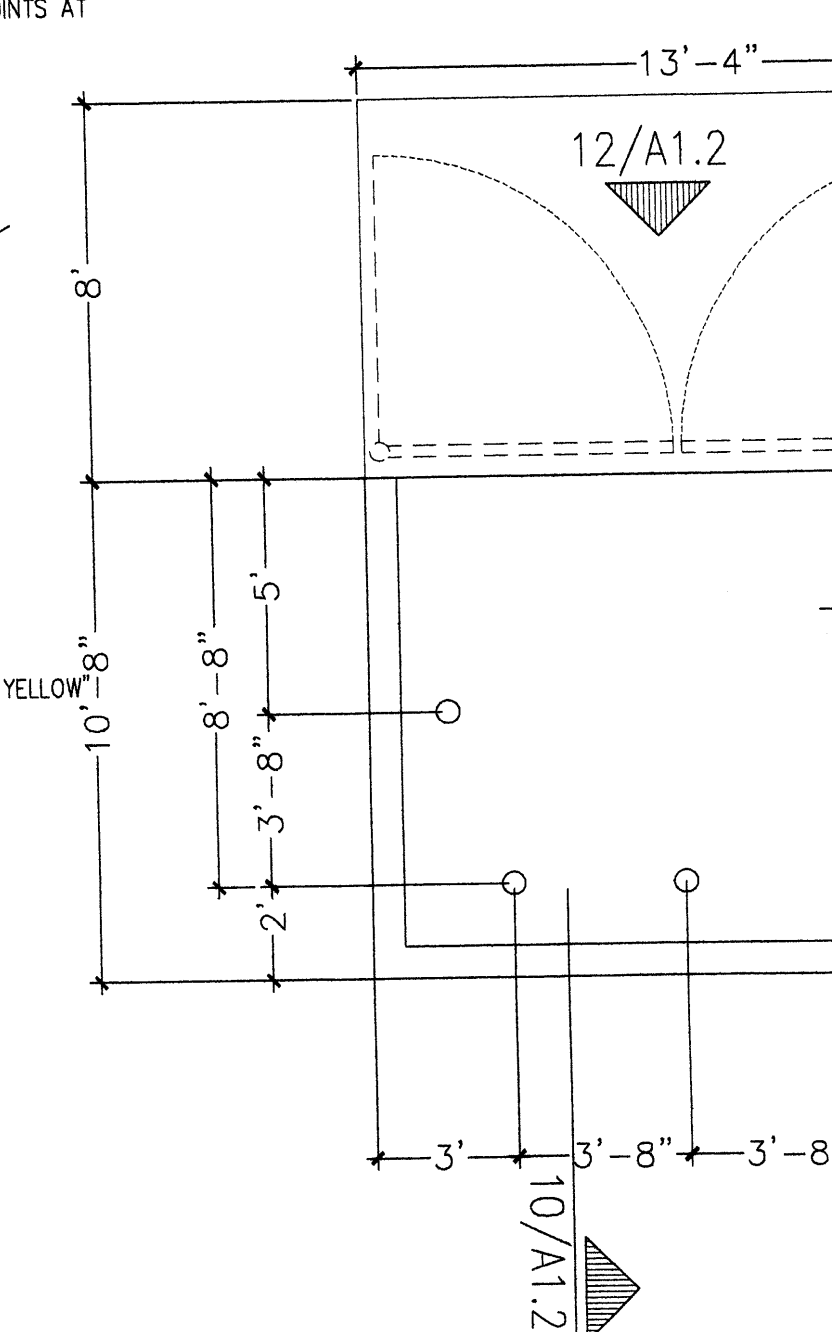
Scale: N.T.S



- KEYED NOTES**
- 8" CMU WALL WITH TEXTURED PAINT PAPER. COLOR TO BE BASKET BEIGE SW 61437.
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM / TURNDOWN EDGE.
 - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

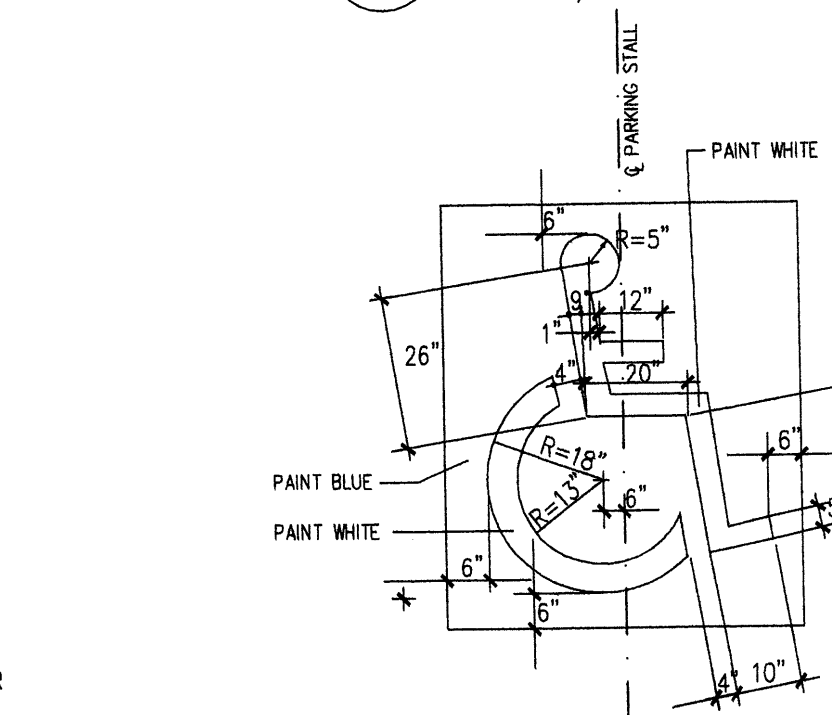
7 ENCLOSURE NOTES

Scale: N.T.S



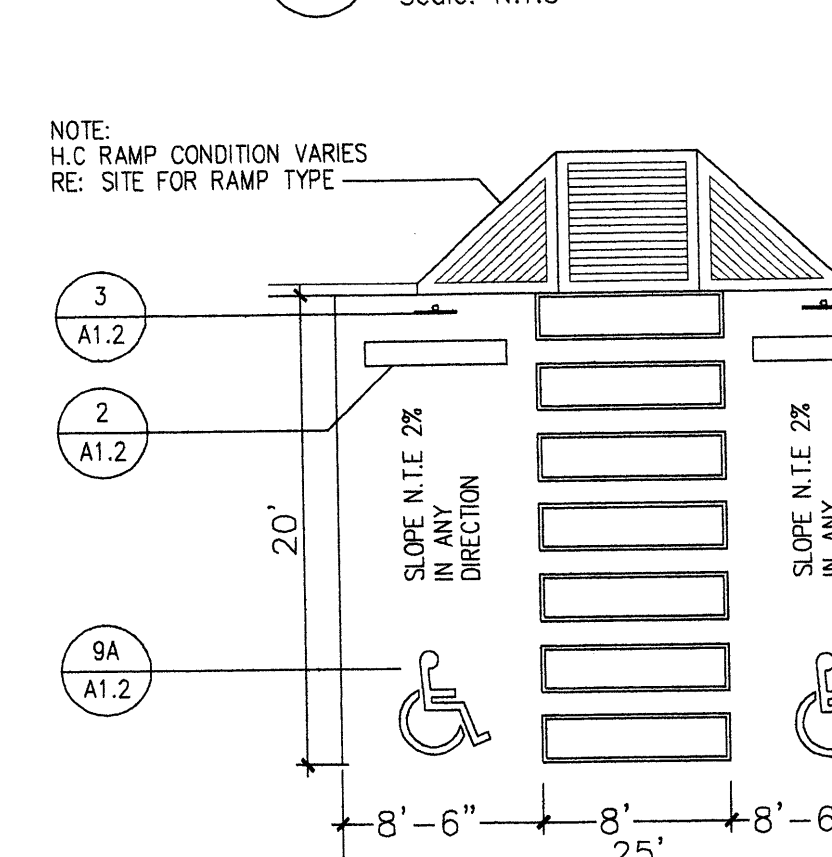
8 DUMPSTER PLAN

Scale: 1/2"=1'-0"



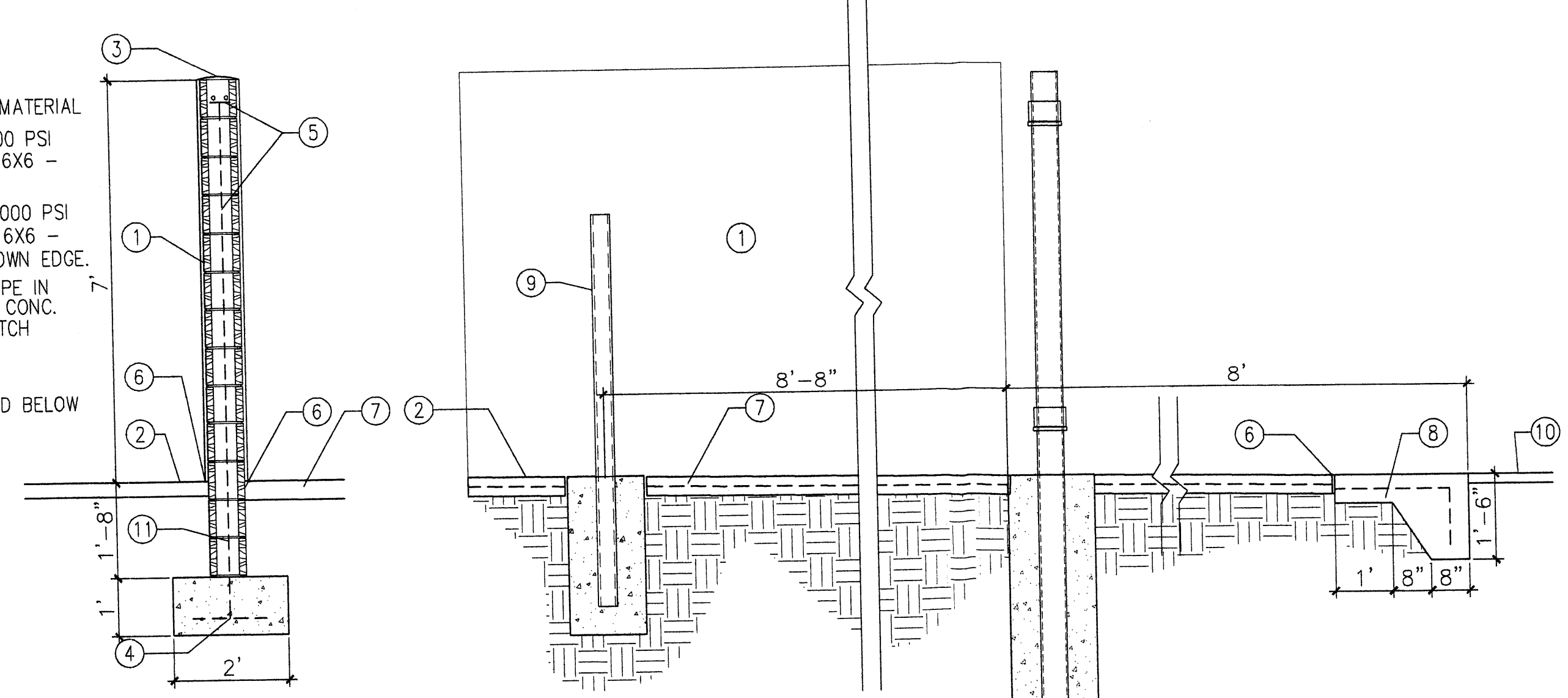
9A H.C SYMBOL

Scale: N.T.S



9 H.C TYP. PARKING DET.

Scale: 1"=1'-0"

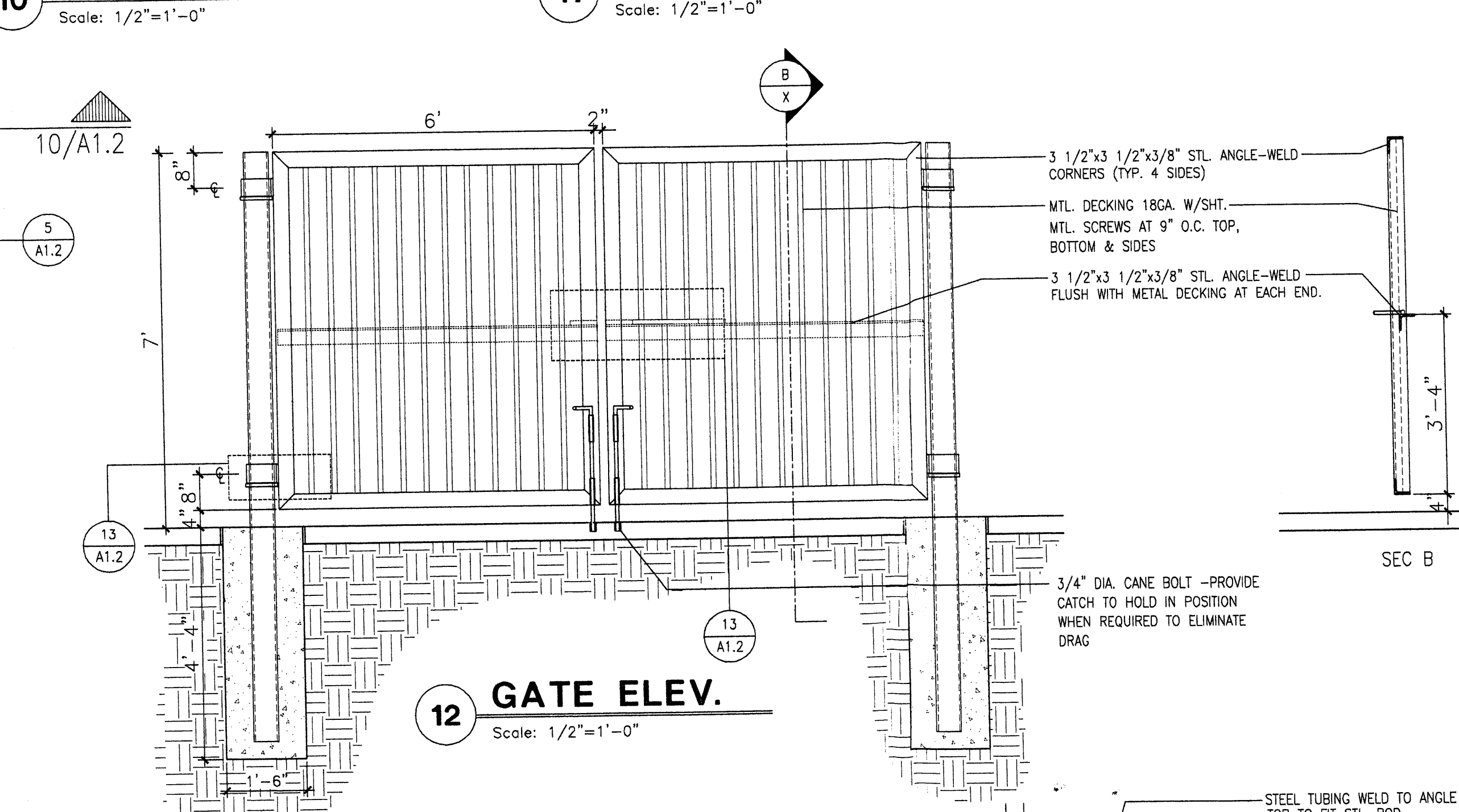


10 DUMPSTER SEC

Scale: 1/2"=1'-0"

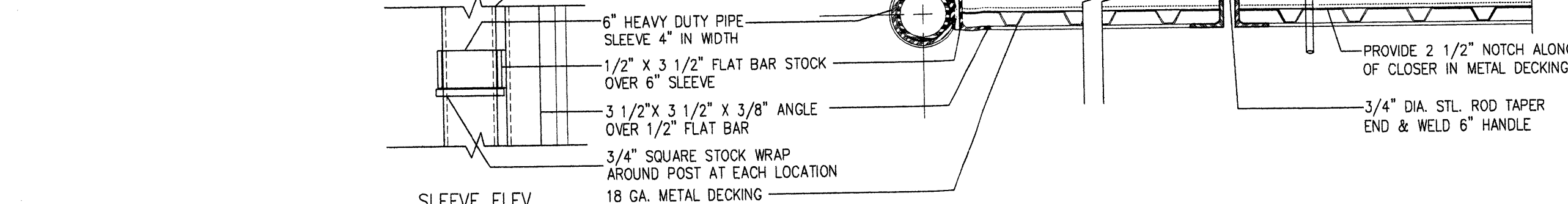
11 DUMPSTER SEC

Scale: 1/2"=1'-0"



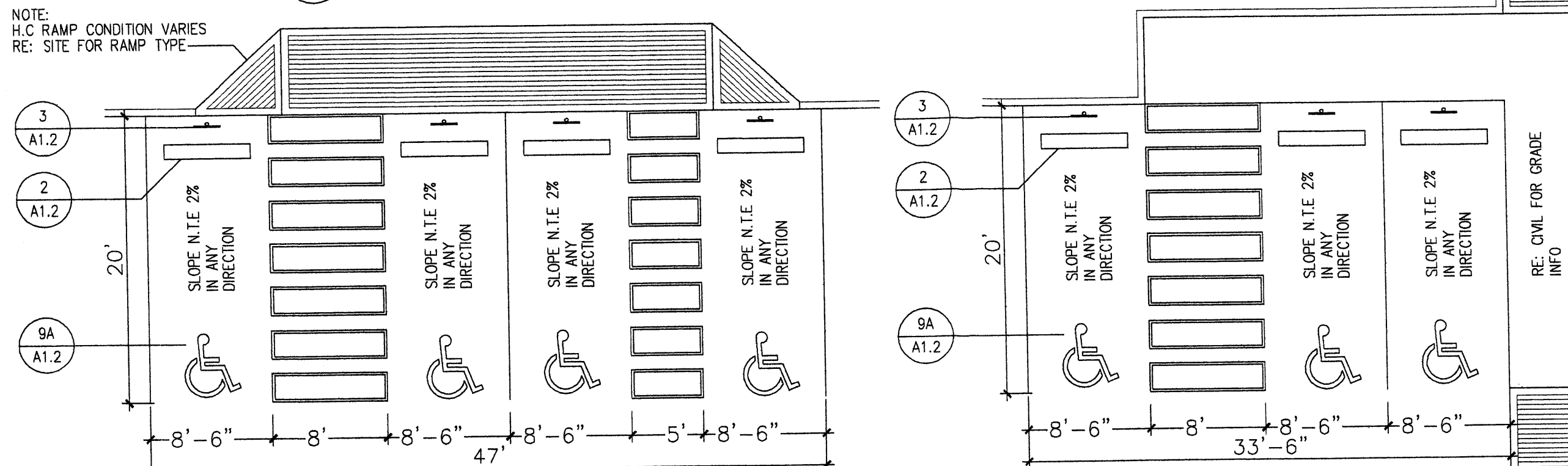
12 GATE ELEV.

Scale: 1/2"=1'-0"



13 GATE POST/SLIDE BOLT DET.

Scale: 1"=1'-0"



9A H.C TYP. PARKING DET.

Scale: 1"=1'-0"

9B H.C TYP. PARKING DET.

Scale: 1"=1'-0"

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO NE SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
 PASEO PLACE
 N.E.C. OF PASEO AND SAN MATEO
 ALBUQUERQUE NEW MEXICO

PROJECT MANAGER
 STEPHEN DUNBAR AIA

JOB NO.
 S

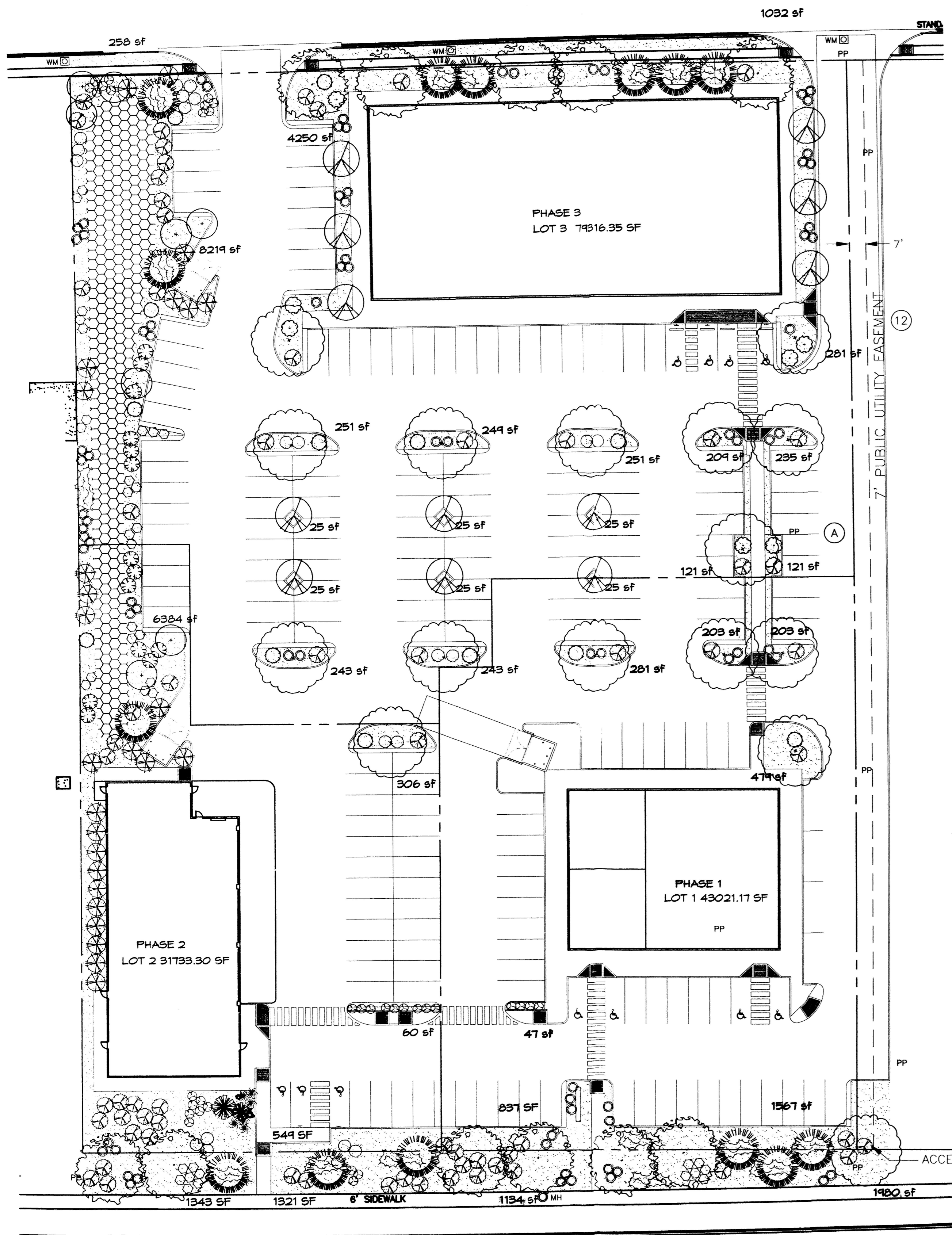
DRAWN BY
 S

SHEET TITLE
 SITE DETAILS

DATE: 5/22/06

SCALE: VARIES

sheet-
A1.2
 of



PLANT LEGEND-WEST PHASE 1

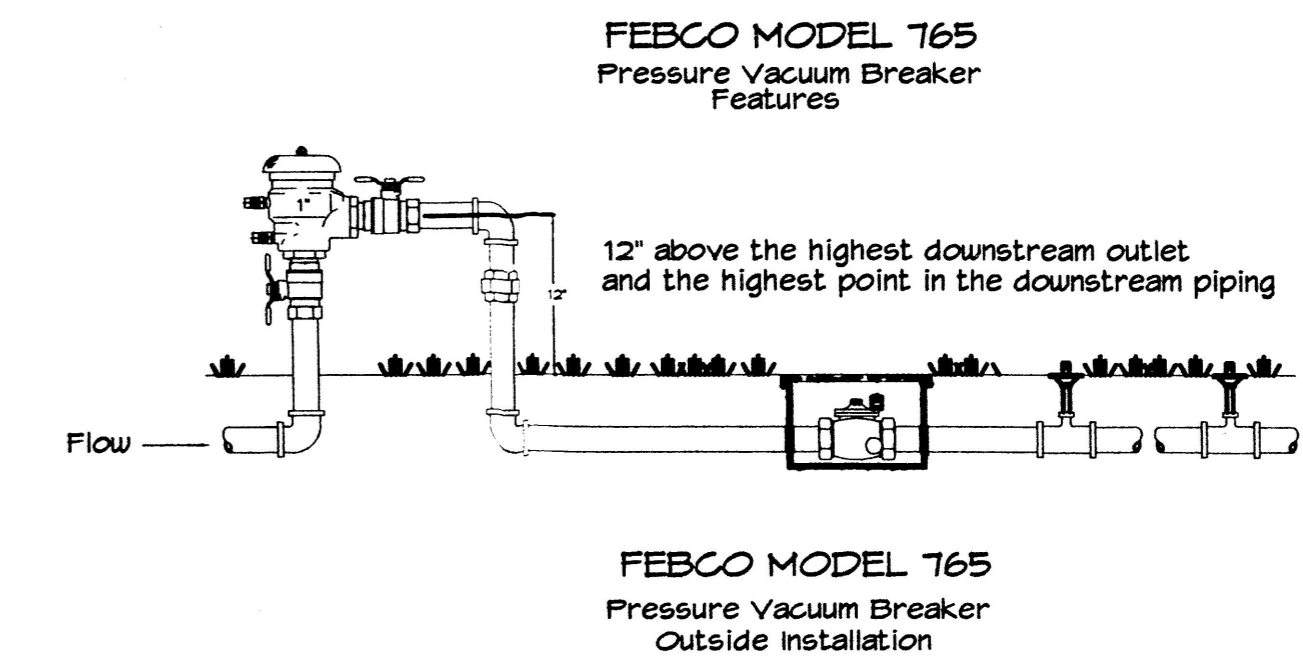
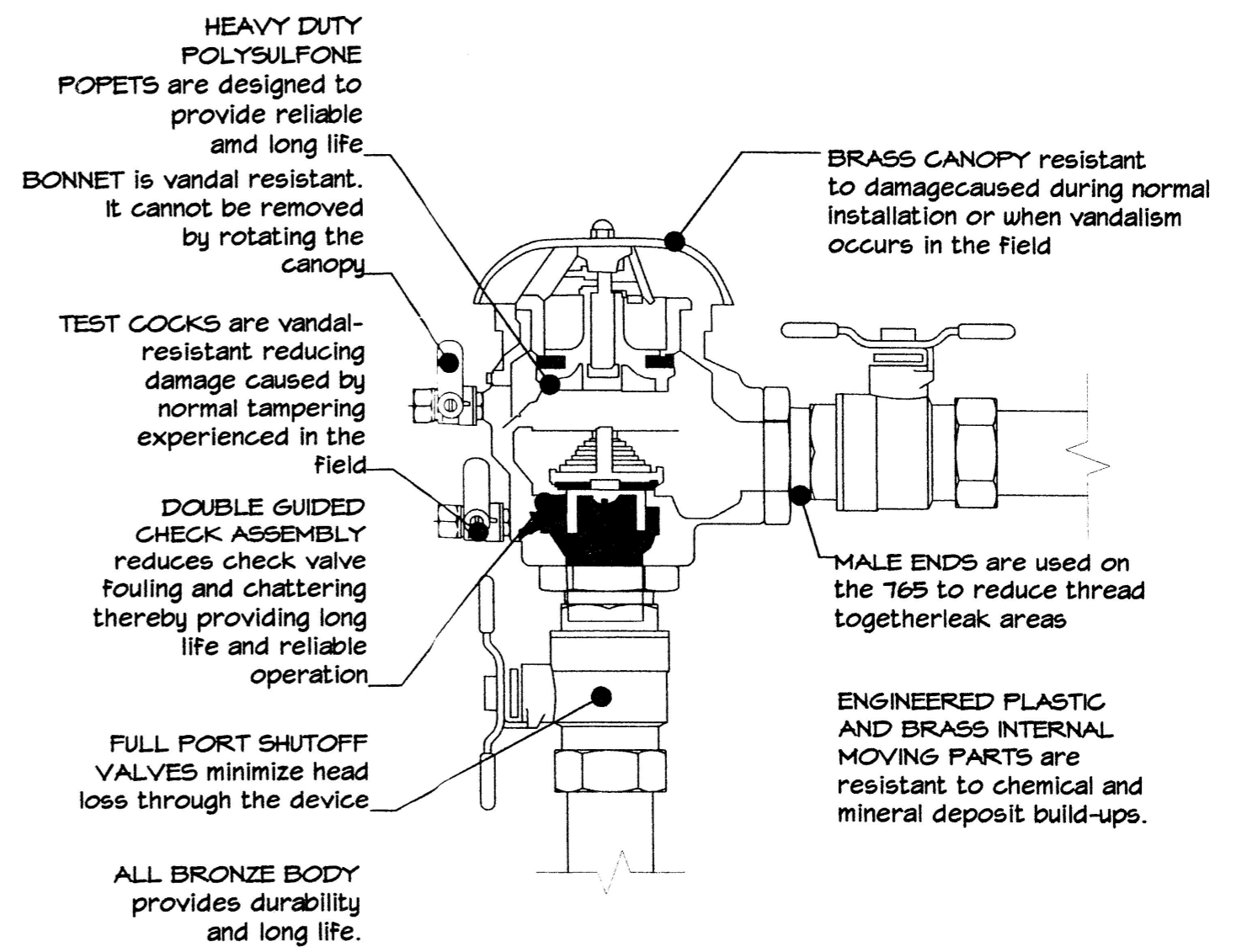
- ASH (H) AND HONEY LOCUST (H) 4
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- PURPLE ROBE LOCUST (M) 5
Robinia ambigua
2" Cal.
- AUTUMN SAGE (M) 7
Salvia greggii
2 Gal. 4sf
- HALL'S HONEYSUCKLE (M) 18
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- AUSTRIAN PINE (M) 3
Pinus nigra
6'-8'
- TAM JUNIPER (L+) 2
Juniperus sabina
1 Gal. 225sf
- ROSEMARY (M) 21
Rosmarinus officinalis
1 Gal. 9sf
- WILDFLOWER 4
1 Gal. 4sf
- GRAYLEAF COTONEASTER (M) 15
Cotoneaster buxifolius
5 Gal. 81sf
Each Symbol = 3 plants
- SANTA ANA TAN GRAVEL
WITH FILTER FABRIC

PLANT LEGEND-WEST PHASE 2

- ASH (H) AND HONEY LOCUST (H) 2
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- NEW MEXICO OLIVE (L) 2
Forestiera neomexicana
15 Gal.
- SILVERBERRY (M) 18
Elaeagnus pungens
5 Gal. 100sf
- INDIAN HAWTHORN (M) 6
Raphiolepis indica
1 Gal. 25sf
- HALL'S HONEYSUCKLE (M) 22
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- AUTUMN SAGE (M) 15
Salvia greggii
2 Gal. 4sf
- CHAMISA (L) 8
Chrysothamnus nauseosus
1 Gal. 25sf
- AUSTRIAN PINE (M) 4
Pinus nigra
6'-8'
- PALM YUCCA (L) 2
- MAIDENGRASS (M) 6
Miscanthus sinensis
5 Gal. 16sf
- TAM JUNIPER (L+) 1
Juniperus sabina
1 Gal. 225sf
- ROSEMARY (M) 10
Rosmarinus officinalis
1 Gal. 9sf
- WILDFLOWER 10
1 Gal. 4sf
- GRAYLEAF COTONEASTER (M) 9
Cotoneaster buxifolius
5 Gal. 81sf
Each Symbol = 3 plants
- SANTA ANA TAN GRAVEL
WITH FILTER FABRIC
- OVERSIZED GRAVEL
#3 BOULDERS
- RIP-RAP

PLANT LEGEND-WEST PHASE 3

- PURPLE ROBE LOCUST (M) 10
Robinia ambigua
2" Cal.
- ASH (H) AND HONEY LOCUST (H) 5
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- NEW MEXICO OLIVE (L) 6
Forestiera neomexicana
15 Gal.
- SILVERBERRY (M) 8
Elaeagnus pungens
5 Gal. 100sf
- INDIAN HAWTHORN (M) 14
Raphiolepis indica
1 Gal. 25sf
- HALL'S HONEYSUCKLE (M) 26
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- AUTUMN SAGE (M) 16
Salvia greggii
2 Gal. 4sf
- AUSTRIAN PINE (M) 7
Pinus nigra
6'-8'
- FLOWERING PEAR (H) 12
Pyrus calleryana
15 Gal.
- CHAMISA (L) 6
Chrysothamnus nauseosus
1 Gal. 25sf
- WINTER JASMINE (L+) 7
Jasminum nudiflorum
1 Gal. 144sf
- TAM JUNIPER (L+) 9
Juniperus sabina
1 Gal. 225sf
- ROSEMARY (M) 49
Rosmarinus officinalis
1 Gal. 9sf
- WILDFLOWER 11
1 Gal. 4sf
- GRAYLEAF COTONEASTER (M) 18
Cotoneaster buxifolius
5 Gal. 81sf
Each Symbol = 3 plants
- SANTA ANA TAN GRAVEL
WITH FILTER FABRIC
- RIP-RAP



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

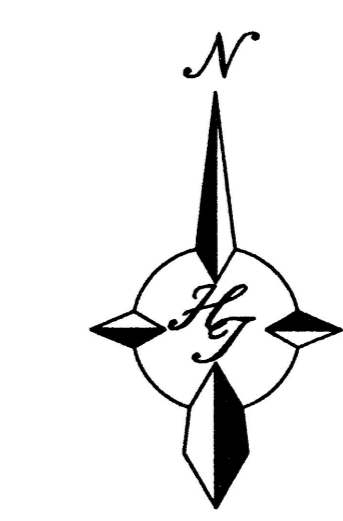
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

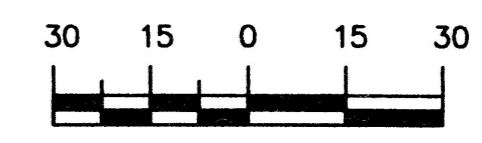
Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

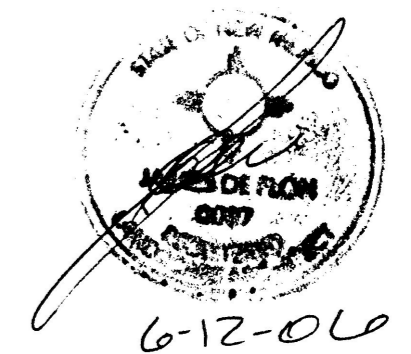
LANDSCAPE CALCULATIONS				
	PHASE 1	PHASE 2	PHASE 3	TOTAL
TOTAL LOT AREA	43021 SF	31733 SF	74316 SF	154070 SF
TOTAL BUILDINGS AREA	6400 SF	7000 SF	14875 SF	28275 SF
NET LOT AREA	36621 SF	24733 SF	64441 SF	125795 SF
LANDSCAPE REQUIREMENT (.15)	5493 SF	3710 SF	9666 SF	18869 SF
TOTAL BED PROVIDED	6731 SF	8845 SF	10678 SF	26254 SF
OFFSITE BED AREA	0 SF	0 SF	1290 SF	1290 SF
TOTAL GC REQ. (.75)	7499 SF	6634 SF	8008 SF	19690 SF
TOTAL GROUNDCOVER PROV.	4525 SF	5111 SF	10164 SF	19800 SF
TOTAL LANDSCAPE PROVIDED	4525 SF	5111 SF	10164 SF	19800 SF



GRAPHIC SCALE



SCALE: 1"=30'



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

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cjohnson@hilltoplandscaping.com
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REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

GEORGE RAINHART ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 884-9110

PROJECT TITLE
PASO PLACE - WEST PHASE 1, 2, 3
PASO NE
ALBUQUERQUE, NEW MEXICO

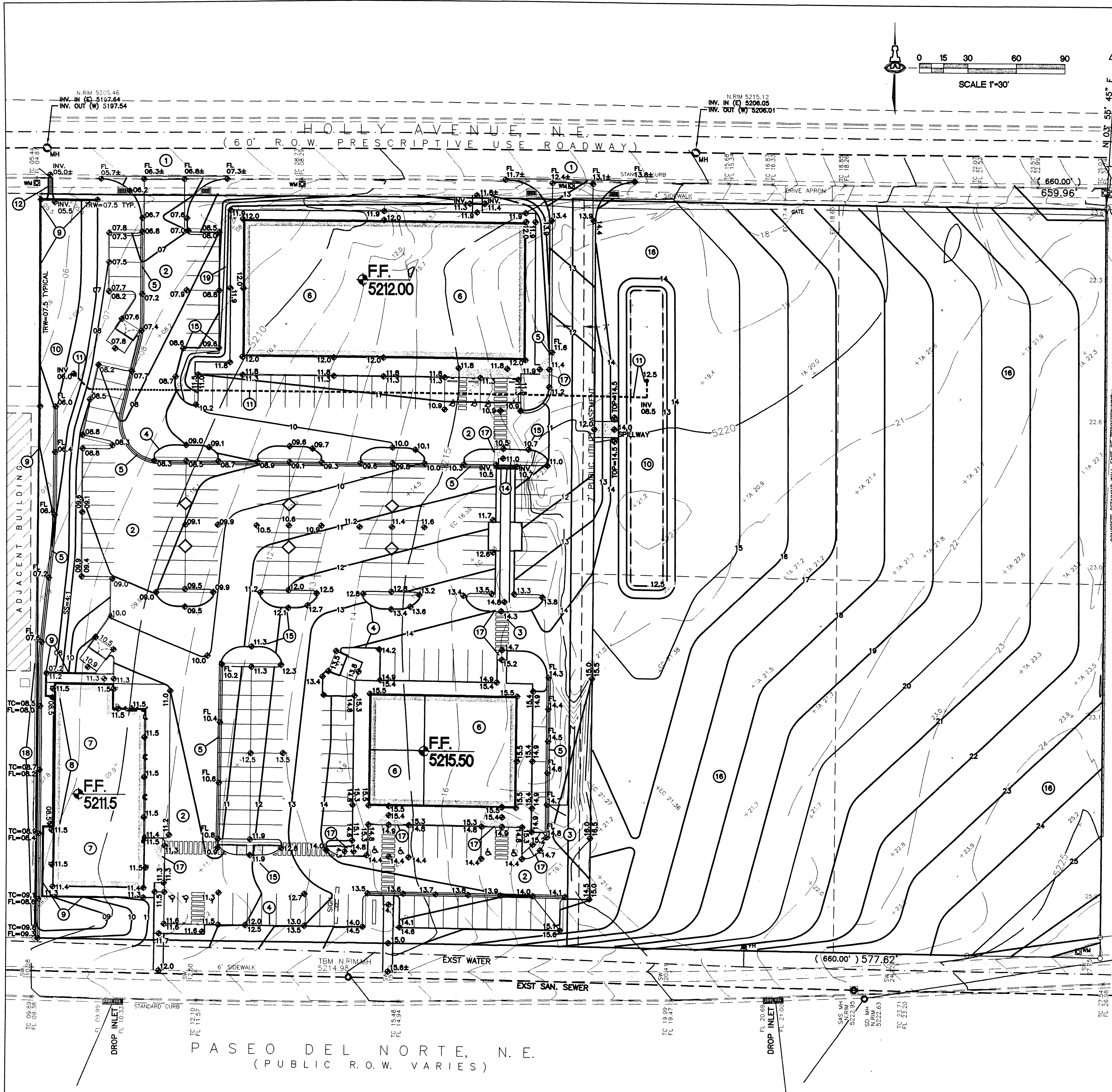
JOB NO.
DRAWN BY:
ADF

SHEET TITLE
LANDSCAPE PLAN

DATE:
04/10/06

SCALE:
1"=30'

sheet -
L1.0
of -



SITE INFORMATION

LEGAL: LOTS 12, 13, 20 AND 21 OF BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

AREA: 3.53 ACRES

SURVEYOR: THOMAS D. JOHNSTON - NMPS#14269

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOOD ZONE 'X', DESIGNATED AS AREAS OUTSIDE THE 500 YEAR FLOODZONE.

GENERAL NOTES

- A. COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. WHERE PROPOSED GRADES ARE SHOWN AS '+', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- D. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.

NOTES FROM SURVEY

- 1. BOUNDARY DIMENSIONS ARE BETWEEN RECOVERED CORNERS AND CORRESPOND TO THOSE ON A PREVIOUS SURVEY BY WAYJOHN SURVEYING, INC. BEARINGS HAVE BEEN ROTATED TO NEW MEXICO STATE PLANE GRID, CENTRAL ZONE.
- 2. BASIS OF ELEVATIONS: ACS BM "14-C18", 1-3/4" ALUM. DISK, SET ON TOP OF CONCRETE DROP INLET, APPROX. 1150' WEST OF CENTERLINE OF SAN PEDRO DRIVE. ELEV. 5207.00 (NGVD 29).
- 3. TBM: N. MANHOLE RIM, LOCATED IN CONC. SIDEWALK, S. OF SOUTH PROPERTY LINE ELEV. 5214.98.
- 4. LOCATIONS OF SANITARY SEWERS AND WATERLINES ARE FROM VISUAL NOTES SUPPLEMENTED BY ON-LINE GRAPHICS PROVIDED BY CITY GIS SITE.

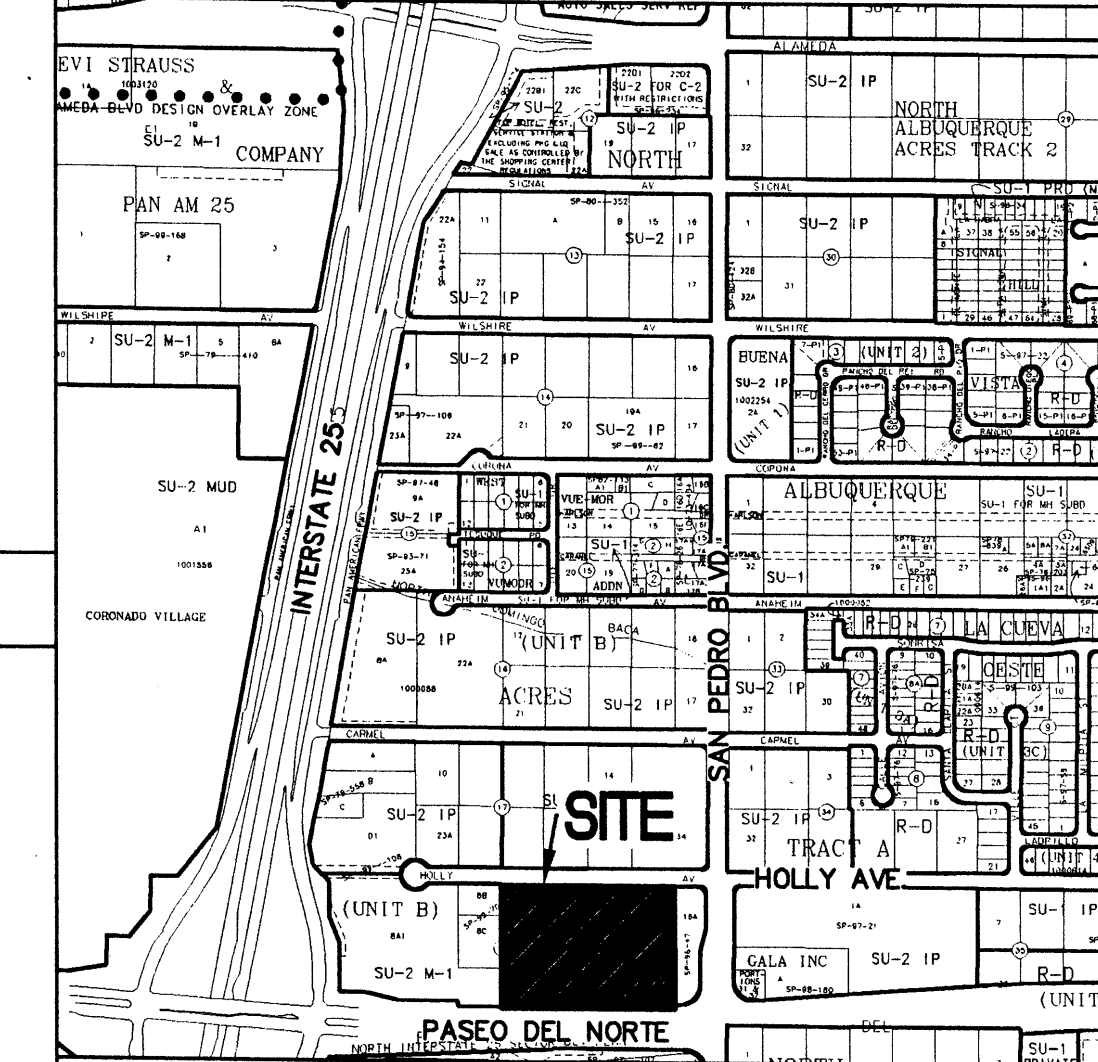
S.O.19 PERMIT REQUIRED

NOTICE TO CONTRACTORS

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

COA ZONE ATLAS MAP #C-18



KEYED NOTES

- 1. CONSTRUCT SITE ENTRANCE WITH ASSOCIATED CONCRETE VALLEY GUTTER AND ACCESS RAMPS PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 8" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
- 2. CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
- 3. PAVING HIGH POINT.
- 4. CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL ON-SITE CURB LOCATIONS. SEE C-2 FOR DTL.
- 5. CONSTRUCT 2' WIDE CONCRETE VALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN (0.0050' / MIN. SLOPE) TO DIRECT SURFACE FLOW. SEE C-2 FOR DTL.
- 6. ROOF DISCHARGE - THIS BUILDING TO BE RELEASED TO INTERIOR PAVED AREAS. SEE ARCHITECTURAL PLANS.
- 7. ROOF DISCHARGE - THIS BUILDING TO BE RELEASED TO WEST TO PASS TO PONDING AREA. SEE ARCHITECTURAL PLANS.
- 8. CONSTRUCT BUILDING RETAINING / EXTENDED STEMMWALLS AS REQUIRED TO ACHIEVE GRADE DIFFERENCES. DESIGN BY OTHERS.
- 9. CONSTRUCT SITE RETAINING WALLS TO ACHIEVE GRADE DIFFERENCES. DESIGN BY OTHERS. TOP OF WALL ELEVATION TO BE 6" ABOVE HIGH SIDE GRADE UNLESS NOTED.
- 10. CONSTRUCT DETENTION POND TO DIMENSIONS / ELEVATIONS SHOWN. SEE SEPARATE CALCULATIONS AND DETAILS.
- 11. PROPOSED EAST POND INLET AND STORM DRAIN. SEE SHEET C-2.
- 12. DETENTION POND DISCHARGE STRUCTURE TO HOLLY AVE. SEE DETAIL SHEET C-2.
- 13. PROVIDE 1' WIDE OPENING IN CURB AT FLOWLINE ELEVATIONS SHOWN TO PASS DISCHARGE.
- 14. INSTALL 12" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 TO PASS FLOW THROUGH ISLAND AS SHOWN.
- 15. SPOTS SHOWN WITHIN PAVED AREAS REFERENCE TO TOP OF PAVEMENT ELEVATIONS. ADD 0.5" TYPICAL FOR TOP OF ADJACENT CURB OR CONCRETE WALK.
- 16. ROUGH GRADE EAST PROPERTY AS PART OF WEST PROPERTY DEVELOPMENT.
- 17. CONSTRUCT HANDICAP RAMPS PER ADA STANDARDS. SEE ARCHITECTURAL FOR SPECIFIC RAMP LOCATIONS AND DETAILS. TYPICAL.
- 18. CONSTRUCT 2' WIDE CONCRETE CHANNEL WITH 6" HIGH CONCRETE CURB ALONG WEST PROPERTY LINE TO DIRECT RUNOFF NORTH TO PROPOSED DETENTION POND.
- 19. INSTALL ROCK ARMORING OR PERMANENT EROSION CONTROL FABRIC FOR ALL SLOPES > 3:1.

FRED C. ARFMAN
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REGISTERED PROFESSIONAL ENGINEER

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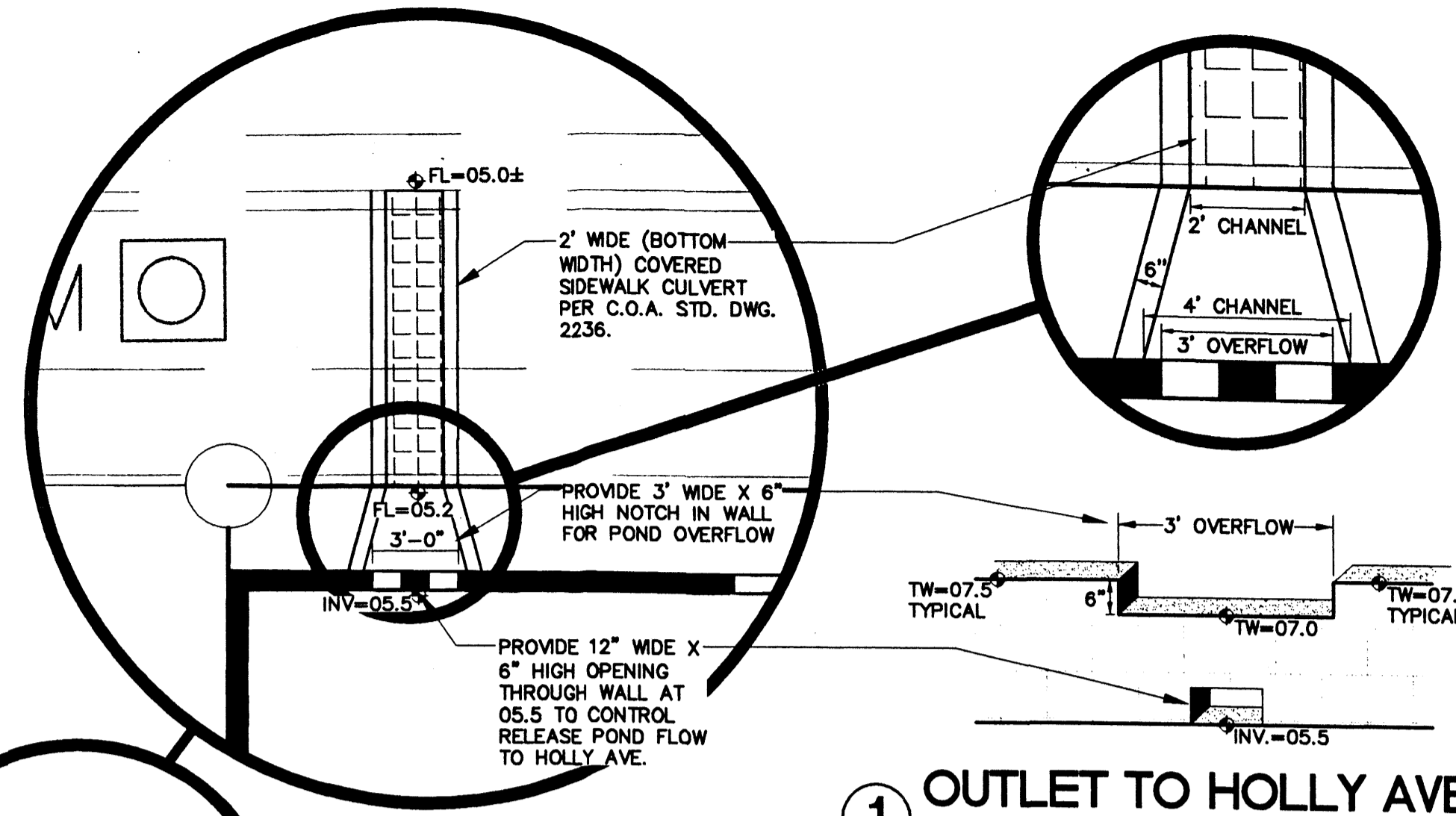
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PASEO PLACE COMMERCIAL
Paseo Place, LLC

GRADING AND DRAINAGE PLAN

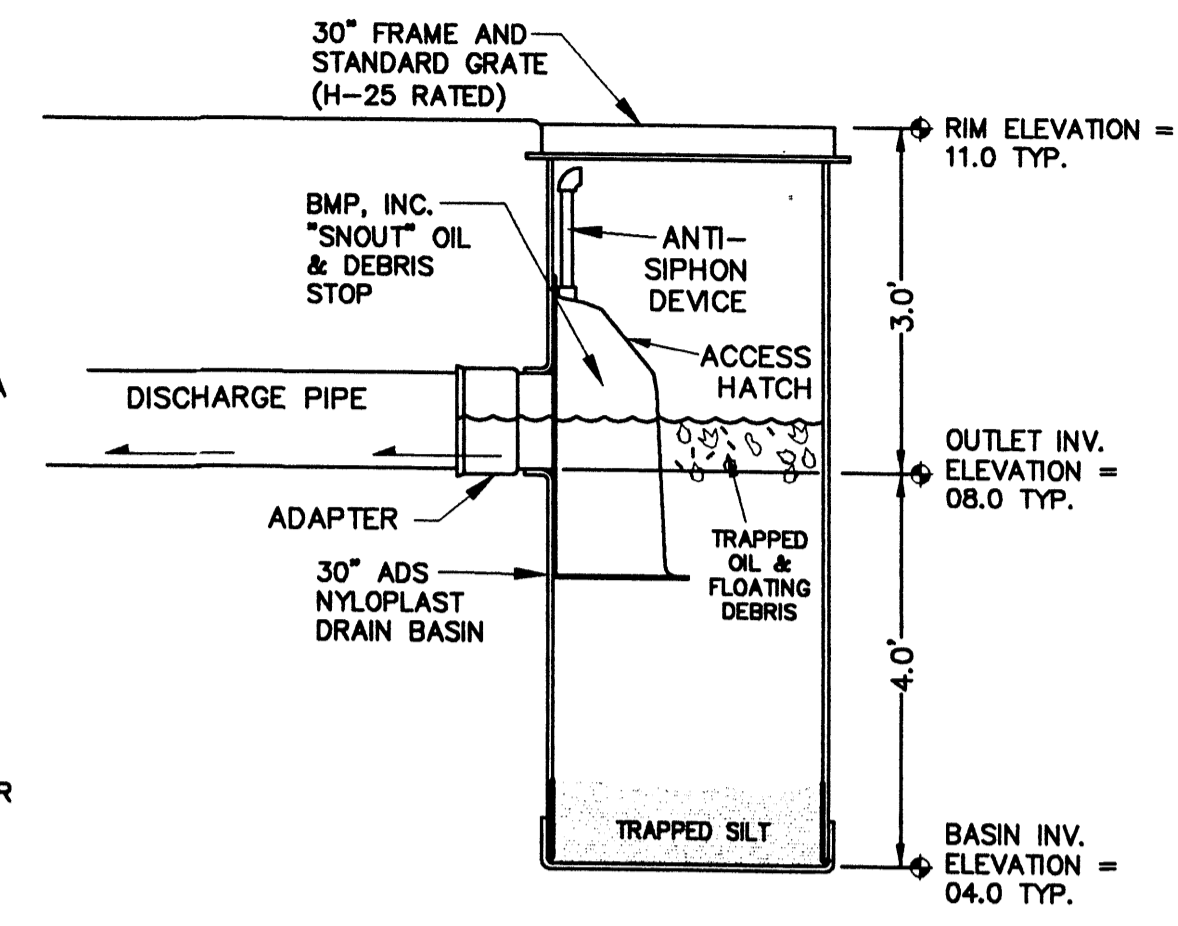
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① OUTLET TO HOLLY AVE.

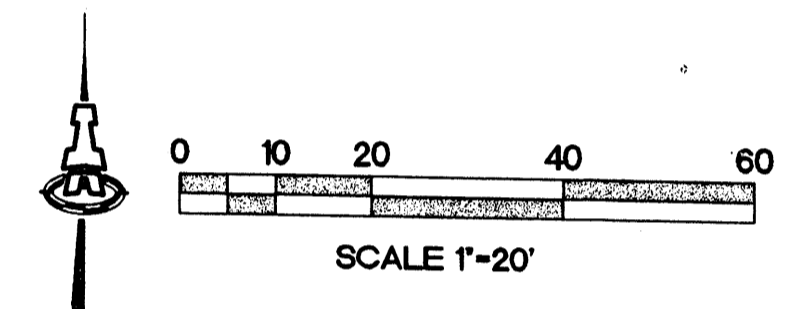
- NOTES:
- 30" ADS NYLOPLAST BASIN (ADS: 1-800-821-6710) WITH BMP, INC. 'SNOUT' OIL AND DEBRIS HOOD (800 504-8008).
 - HOODS SHALL BE EQUIPPED WITH A WATER-TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT.
 - THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH STAINLESS STEEL SCREWS, STAINLESS RUBBER BACKED WASHERS, AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER.
 - INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.



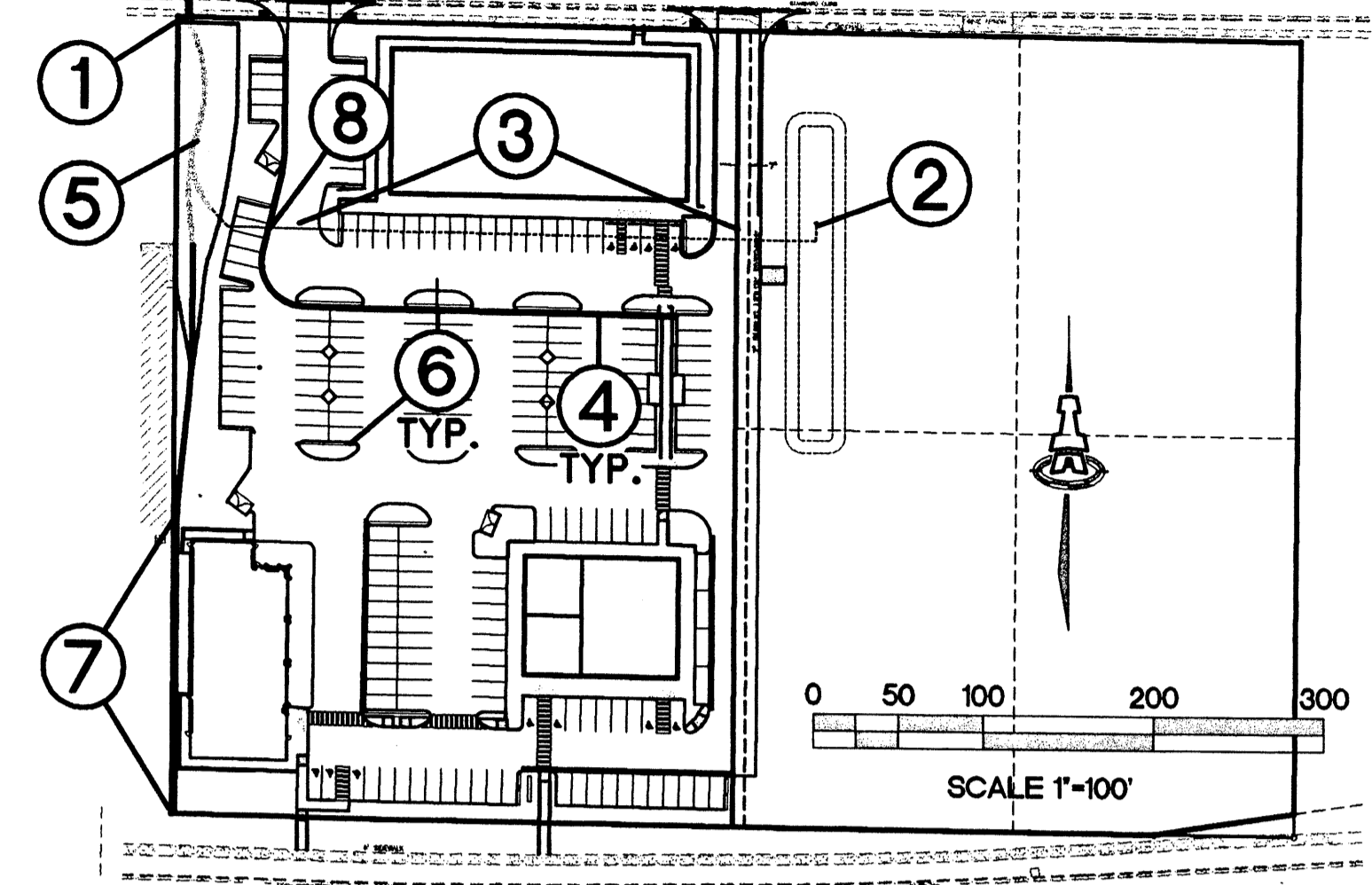
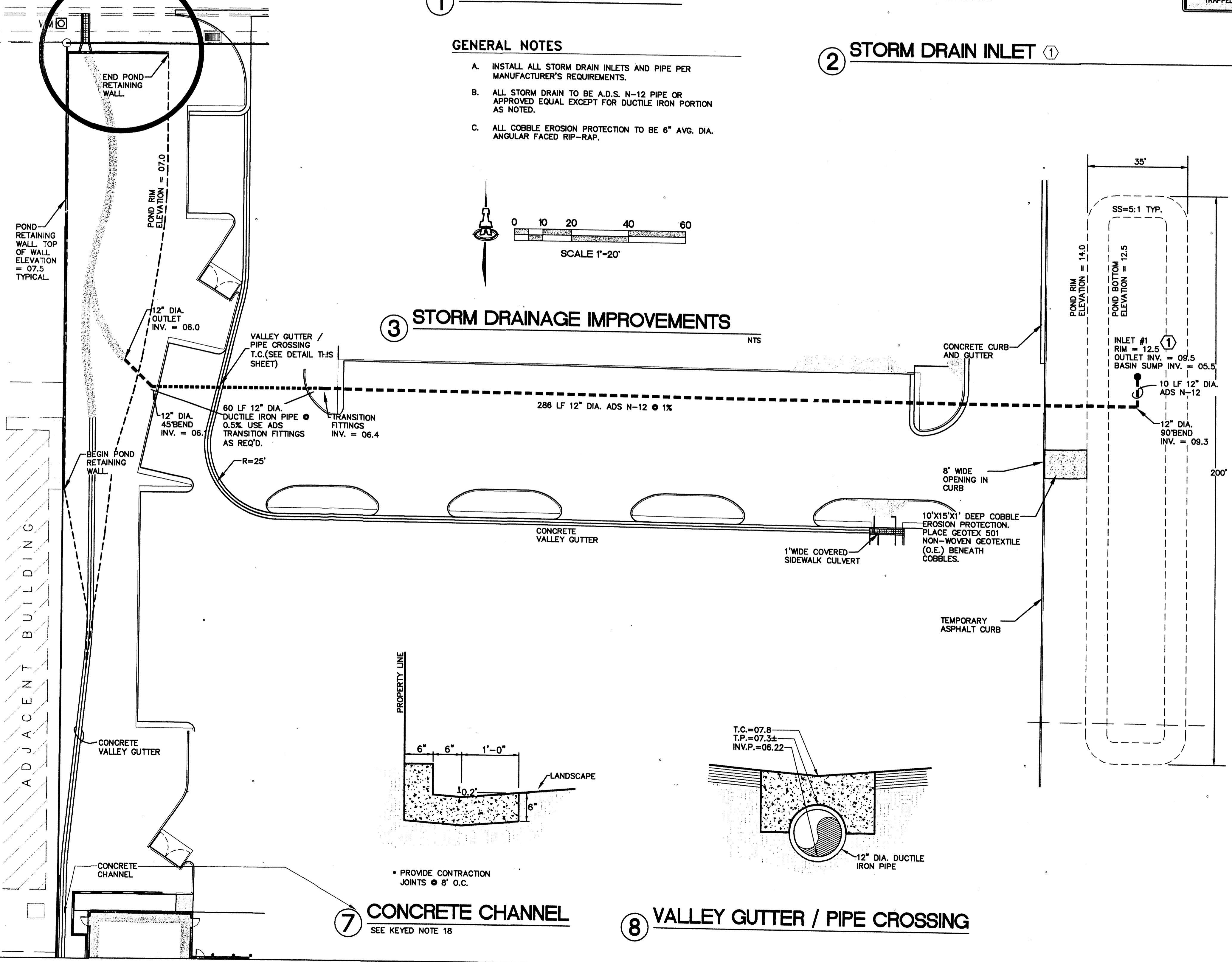
② STORM DRAIN INLET ①

GENERAL NOTES

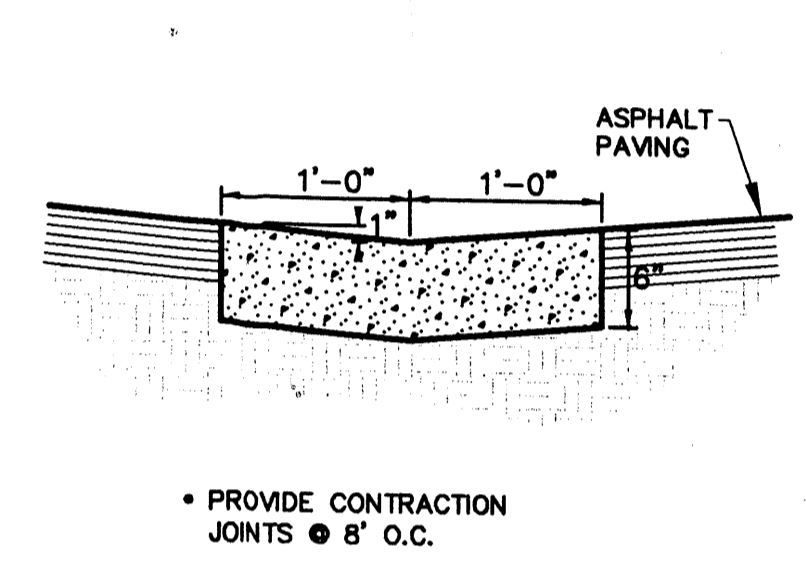
- INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S REQUIREMENTS.
- ALL STORM DRAIN TO BE A.D.S. N-12 PIPE OR APPROVED EQUAL EXCEPT FOR DUCTILE IRON PORTION AS NOTED.
- ALL COBBLE EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED RIP-RAP.



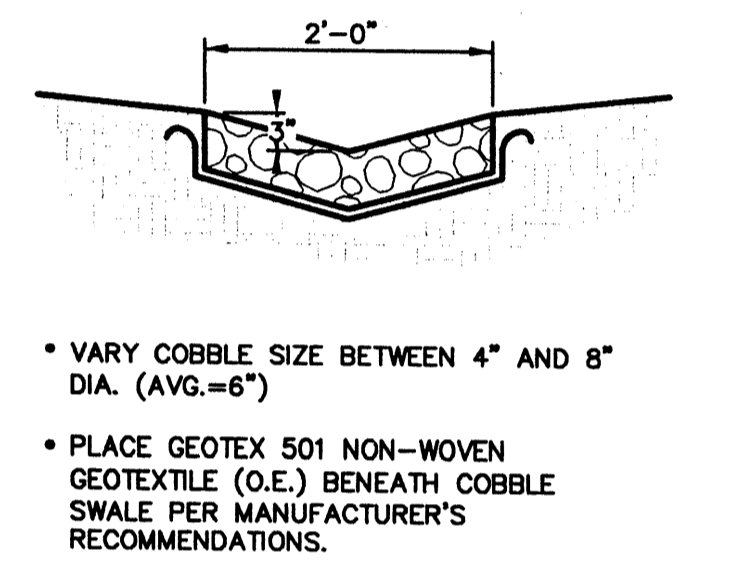
③ STORM DRAINAGE IMPROVEMENTS



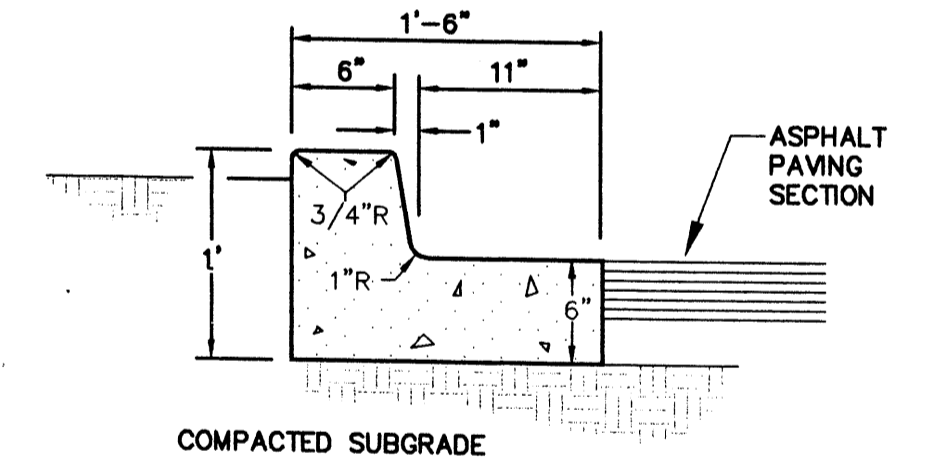
DETAIL KEY



④ CONCRETE VALLEY GUTTER



⑤ COBBLE LINED SWALE



- GENERAL NOTES
- PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
 - EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
 - MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

⑥ MEDIAN CURB AND GUTTER

⑦ CONCRETE CHANNEL
SEE KEYED NOTE 18

⑧ VALLEY GUTTER / PIPE CROSSING

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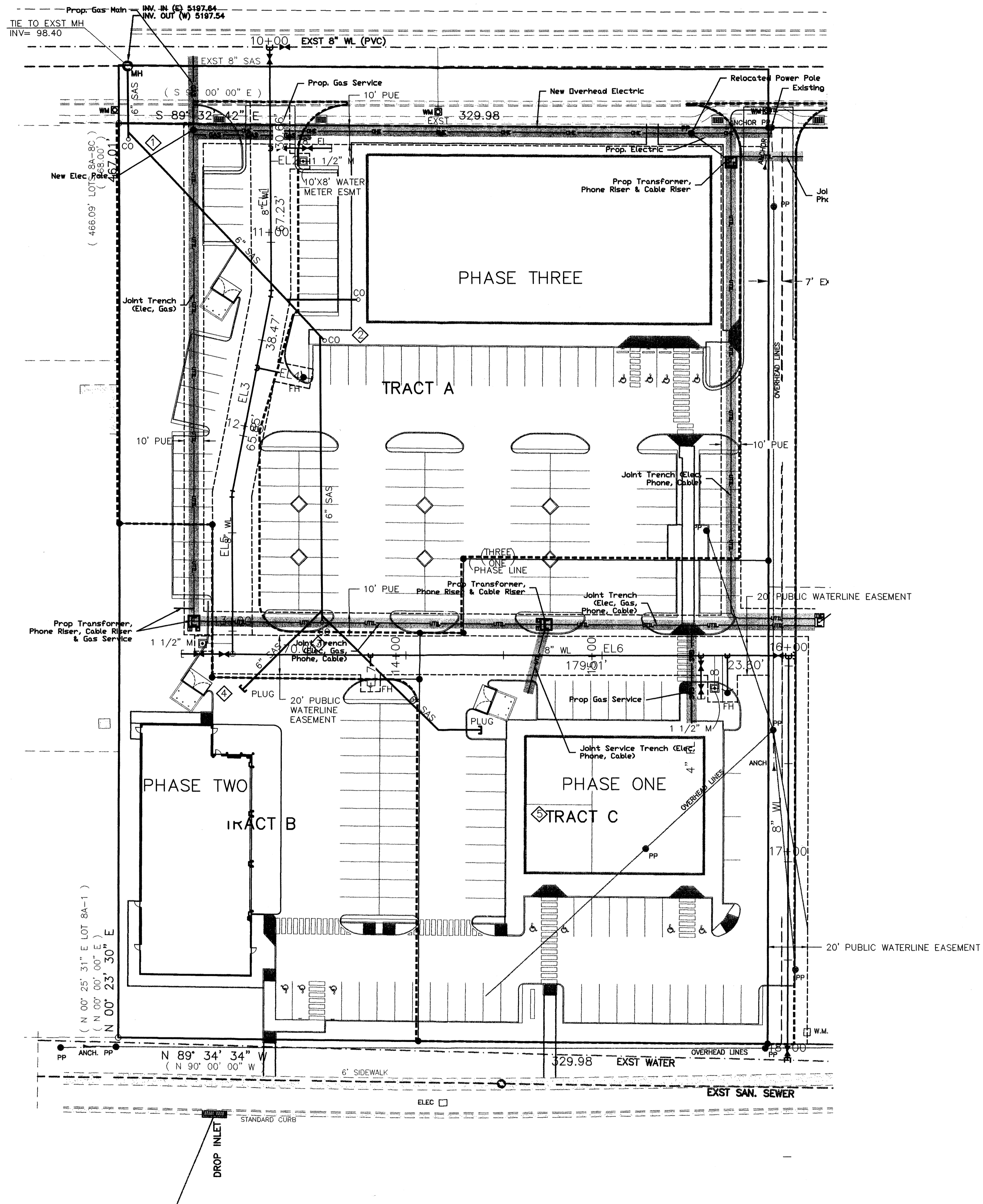
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PASEO PLACE COMMERCIAL

GRADING AND DRAINAGE PLAN

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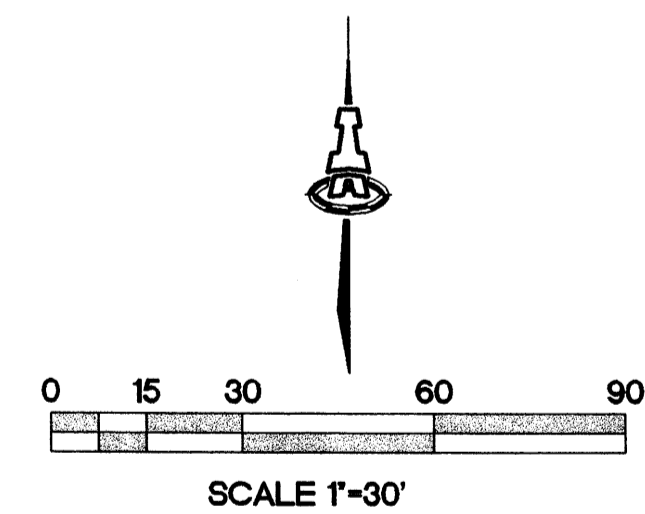


SANITARY SEWER TABLE				
NODE ID	DOWNSTREAM PIPE LENGTH (FT)	SAS BEARING	INVERT	SLOPE (%)
1	31.71	S 00° 00' 00" E	99.26	2.70
2	141.32	N 43° 03' 31" W	03.08	2.70
3	139.96	S 0° 00' 00" W	06.85	2.70
4	74.94	S 45° 00' 00" W	07.30	0.60
5	140.22	S 45° 00' 00" E	12.00	3.67

LEGEND

- 8" WL (PVC) EXISTING WL
- 8" SAS EXISTING SAS
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- 6" SAS PROPOSED SAS
- CO CLEANOUT
- WATER METER
- PHASE LINE
- PROPOSED EASEMENT

NOTE:
WATERLINE TO BE CONSTRUCTED BY PUBLIC WORK ORDER PLANS.



80% SUBMITTAL

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**PASEO PLACE
COMMERCIAL**
Argus Dev. Co.

UTILITY PLAN WEST				
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