

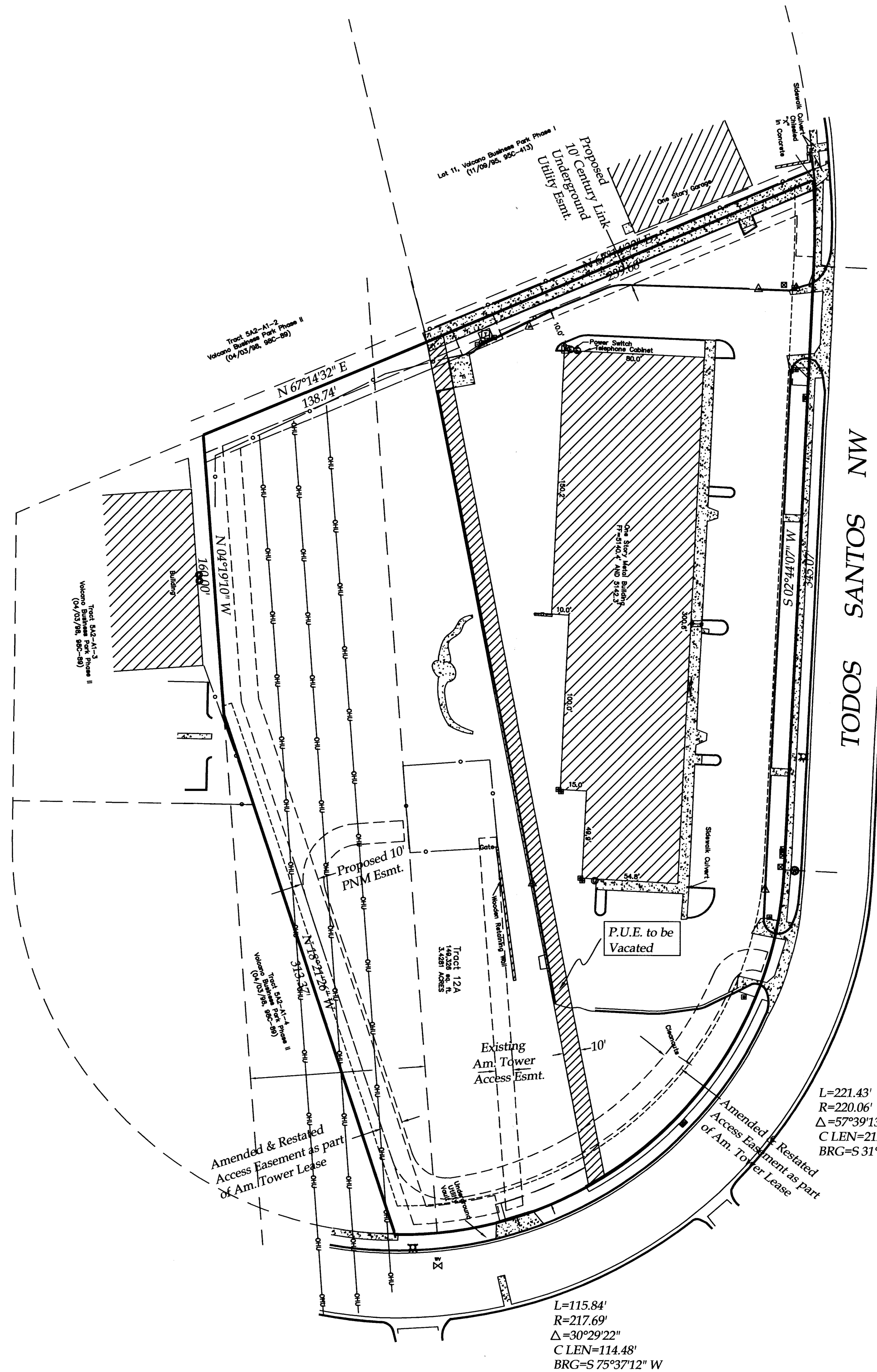
VICINITY MAP (NOT TO SCALE) ZONE PAGE G-10-Z & H-10-Z

SKETCH PLAT
Lot 12A
Volcano Business Park Phase I
City of Albuquerque
Bernalillo County, New Mexico

L=49.45'
 R=468.88'
 $\Delta=06^{\circ}02'35''$
 C LEN=49.43'
 BRG=S 00°17'11" E

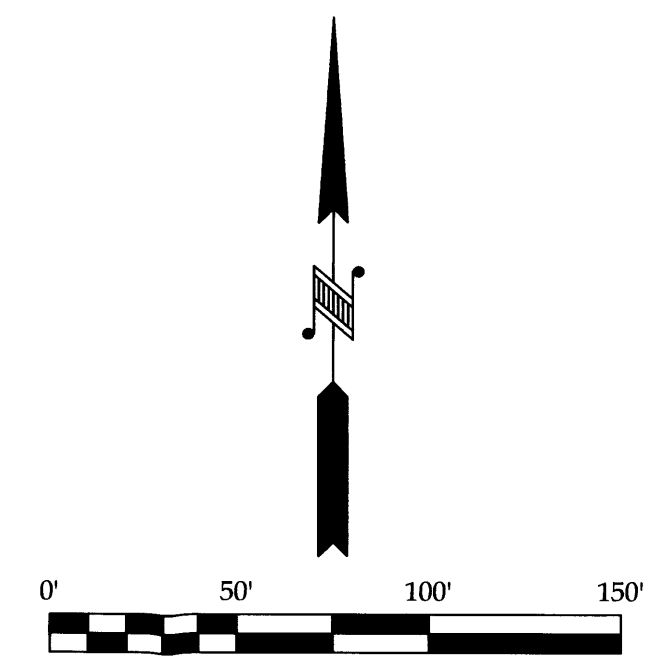
PURPOSE OF PLAT

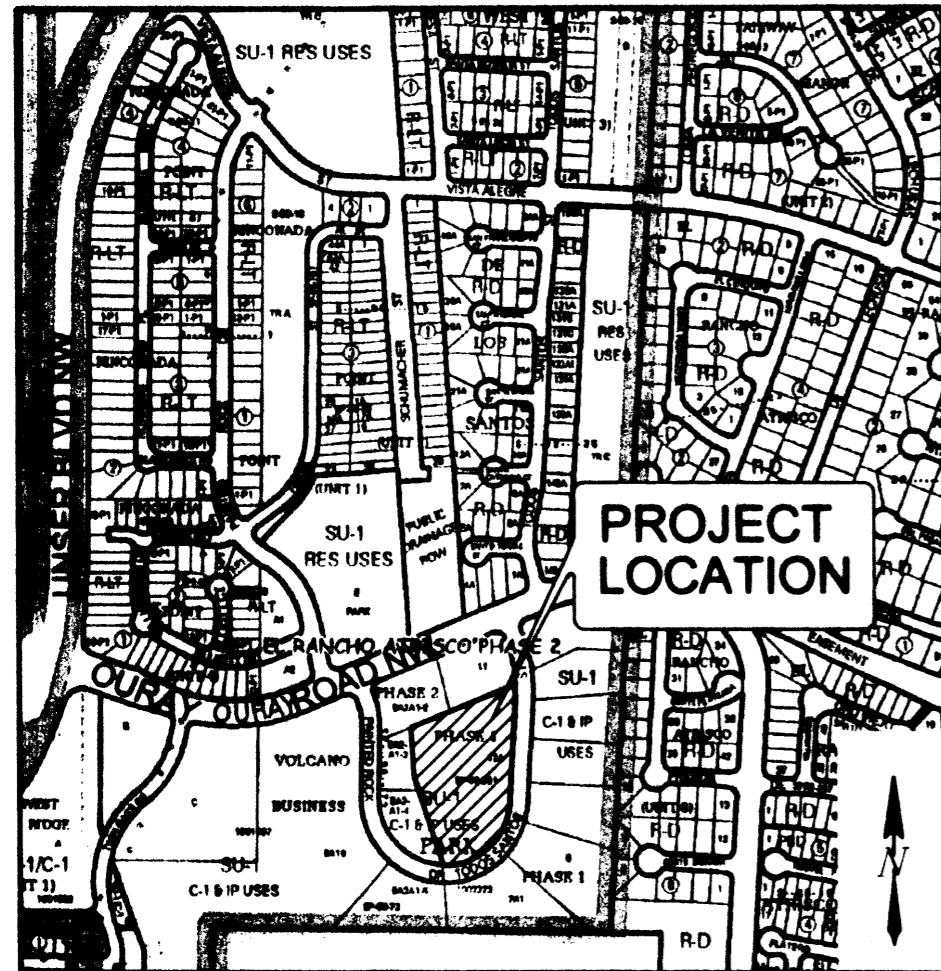
1. Vacate existing 10' PUE.
2. Grant New Easements



L=221.43'
 R=220.06'
 $\Delta=57^{\circ}39'13''$
 C LEN=212.21'
 BRG=S 31°33'40" W

L=115.84'
 R=217.69'
 $\Delta=30^{\circ}29'22''$
 C LEN=114.48'
 BRG=S 75°37'12" W





VICINITY MAP ZONE ATLAS G-10-Z
(NOT TO SCALE)

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO:
1. VACATE EASEMENT (AS SHOWN HEREON).

GENERAL NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE) NAD 83.
2. DISTANCES ARE GROUND.
3. THE "BASIS OF BEARINGS" IS THE LINE BETWEEN ACS MONUMENTS "2_G8" AND "7_G10". BEARING IS N32°18'21"E.
4. RECORD PLAT BEARINGS AND DISTANCES:
 - A) PLAT ENTITLED "PLAT OF TRACT 5A2-A1 AND LOT 12-A, VOLCANO BUSINESS PARK, PHASE II", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 09, 1995, IN BOOK 95C, FOLIO 413.
5. ALL CORNERS SET ARE A 5/8" REBAR WITH RED PLASTIC CAP STAMPED "P.L.S. 15511". UNLESS OTHERWISE INDICATED HEREON.
6. FIELD SURVEYS WERE PERFORMED JANUARY, 2011.
7. DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY ARE AS FOLLOWS:
 - A) "PLAT OF VOLCANO BUSINESS PARK, PHASE I, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1986, IN BOOK C30, FOLIO 78.
 - B) "PLAT OF TRACT 5A2-A1 AND LOT 12-A, VOLCANO BUSINESS PARK, PHASE I", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 09, 1995, IN BOOK 95C, FOLIO 413.
 - C) "PLAT OF TRACTS 5A2-A1-1, 5A2-A1-2, 5A2-A1-3, 5A2-A1-4, AND 5A2-A1-5, VOLCANO BUSINESS PARK, PHASE II, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 03, 1998, IN BOOK 98C, PAGE 89.
 - D) TITLE COMMITMENT PROVIDED FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED MARCH 22, 2012. TITLE COMMITMENT NO. FT000099519-EmeryJ
8. SUBJECT PROPERTY ADDRESS: 3021 TODOS SANTOS STREET NW
9. TOTAL NUMBER OF EXISTING LOTS : 1
10. TOTAL NUMBER OF LOTS CREATED : 0
11. GROSS SUBDIVISION ACREAGE: 3.4269 ACRES
12. CURRENT ZONING: SU-1 FOR C-1 AND IP USES
14. CITY OF ALBUQUERQUE ZONE ATLAS PAGE: G-10-Z
15. PRIOR TO CONSTRUCTION AND DEVELOPMENT ON ANY LOT DEPICTED ON THIS PLAT, A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MUST BE APPROVED BY THE CITY OF ALBUQUERQUE. SUCH APPROVAL SHALL BE CONDITIONED UPON THE GRANTING OF EASEMENTS AT SPECIFIC LOCATIONS
 - (A) FOR RECIPROCAL ACCESS FOR INGRESS AND EGRESS FOR MOTOR VEHICLES AND PEDESTRIANS BETWEEN AND AMONG SUCH LOTS,
 - (B) FOR WATER AND SEWER SERVICE LINES, AND
 - (C) FOR RECIPROCAL DRAINAGE REQUIREMENTS.
 PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO LOTS 12-A MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
16. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

LEGAL DESCRIPTION:

LOT NUMBERED TWELVE-A (12-A), PLAT OF TRACT 5A2-A1 AND LOT 12-A, VOLCANO BUSINESS PARK PHASE I, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 9, 1995, IN PLAT BOOK 95C, FOLIO 413.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY (NMGC), AND QWEST CORPORATION D/B/A CENTURYLINK DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

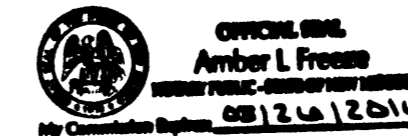
FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED AND NOW COMPRISING LOT 12-A-1, VOLCANO BUSINESS PARK, PHASE I, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) THEREOF, SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY GRANT TO THE USE OF THE PUBLIC FOREVER, THE PUBLIC UTILITY EASEMENTS AS SHOWN HEREON. SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PROPERTY SHOWN HEREON. SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

A. Duran 11-20-2012
AMIE DURAN PRESIDENT, BOARD OF DIRECTORS DATE
HORIZON ACADEMY FOUNDATION

ACKNOWLEDGMENT

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }



THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 20th DAY OF November, 2012, BY *Amie Duran*

Amber L. Frazier MY COMMISSION EXPIRES 03/26/2014
NOTARY PUBLIC

PLAT OF
LOT 12-A-1
VOLCANO BUSINESS PARK
PHASE I
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3 & 10, T.10N., R.2E., N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2012

PROJECT NO. 1004776

APPLICATION NUMBER

CITY APPROVALS

DRB CHAIRPERSON, PLANNING DEPT. DATE

[Signature] 11-20-12
CITY SURVEYOR DATE

A.B.C.W.U.A. DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

PARKS AND RECREATION DEPT. DATE

TRANSPORTATION DEVELOPMENT DATE

ENVIRONMENTAL HEALTH DEPT. DATE

REAL PROPERTY DIVISION DATE

UTILITY APPROVALS

PNM ELECTRIC SERVICES DATE

NEW MEXICO GAS COMPANY DATE

QWEST CORPORATION d.b.a. CENTURYLINK QC DATE

COMCAST DATE

TREASURERS CERTIFICATION

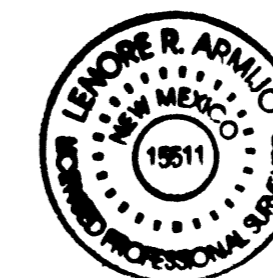
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:
UPC # 101706117537220205 AND UPC # 101706114839820203
PROPERTY OWNERS OF RECORD:

BERNALILLO COUNTY TREASURER DATE

SURVEYOR'S CERTIFICATION

I, LENORE ARMIJO, NEW MEXICO PROFESSIONAL SURVEYOR NUMBER 15511, HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT IT MEETS THE STANDARDS FOR LAND SURVEYS IN THE STATE OF NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS; THAT IT MEETS THE MINIMUM REQUIREMENTS FOR SURVEYS AND MONUMENTATION OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; THAT IT SHOWS ALL EASEMENTS OF RECORD; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Lenore Armijo
LENORE ARMIJO N.M.P.S. 15511
11-16-12



BRASHER & LORENZ
CONSULTING ENGINEERS & SURVEYORS

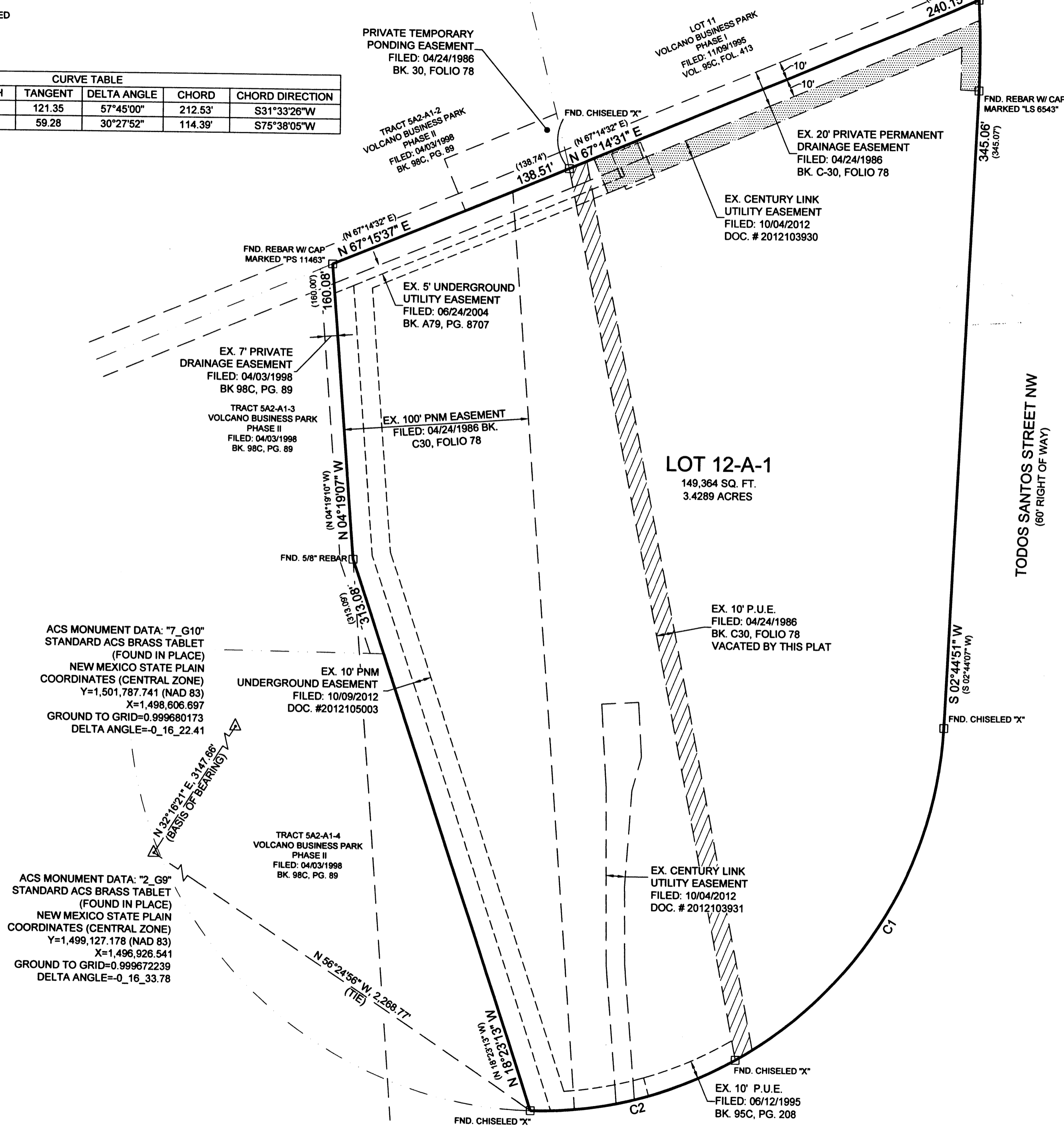
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-8088 Fax: 505-888-8188

LEGEND

- SET #5 REBAR W/RED CAP LS# 15511
- △ U.S.G.S. MONUMENT
- FND REBAR AS NOTED

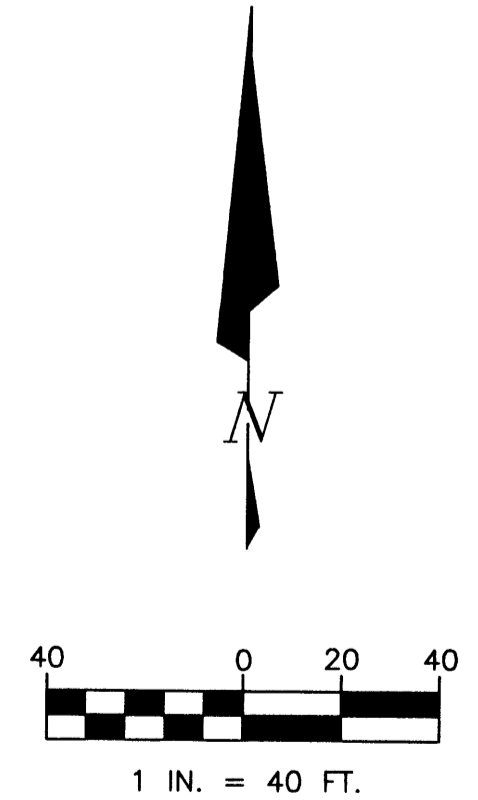
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA ANGLE	CHORD	CHORD DIRECTION
C1	220.06'	221.80'	121.35	57°45'00"	212.53'	S31°33'26"W
C2	217.69'	115.75'	59.28	30°27'52"	114.39'	S75°38'05"W

PLAT OF
LOT 12-A-1
VOLCANO BUSINESS PARK
PHASE I
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3 & 10, T. 10N., R. 2E., N.M.P.M.
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER 2012

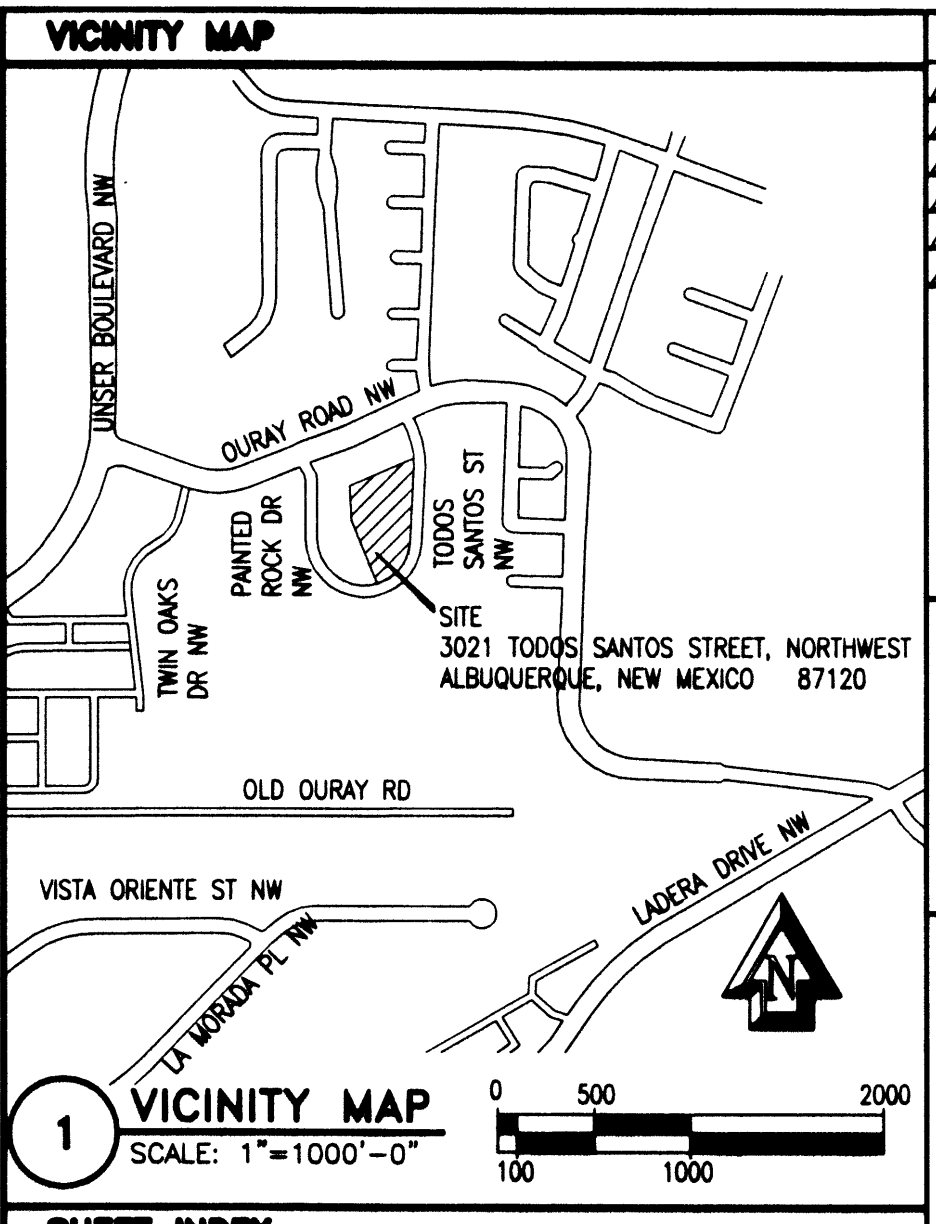
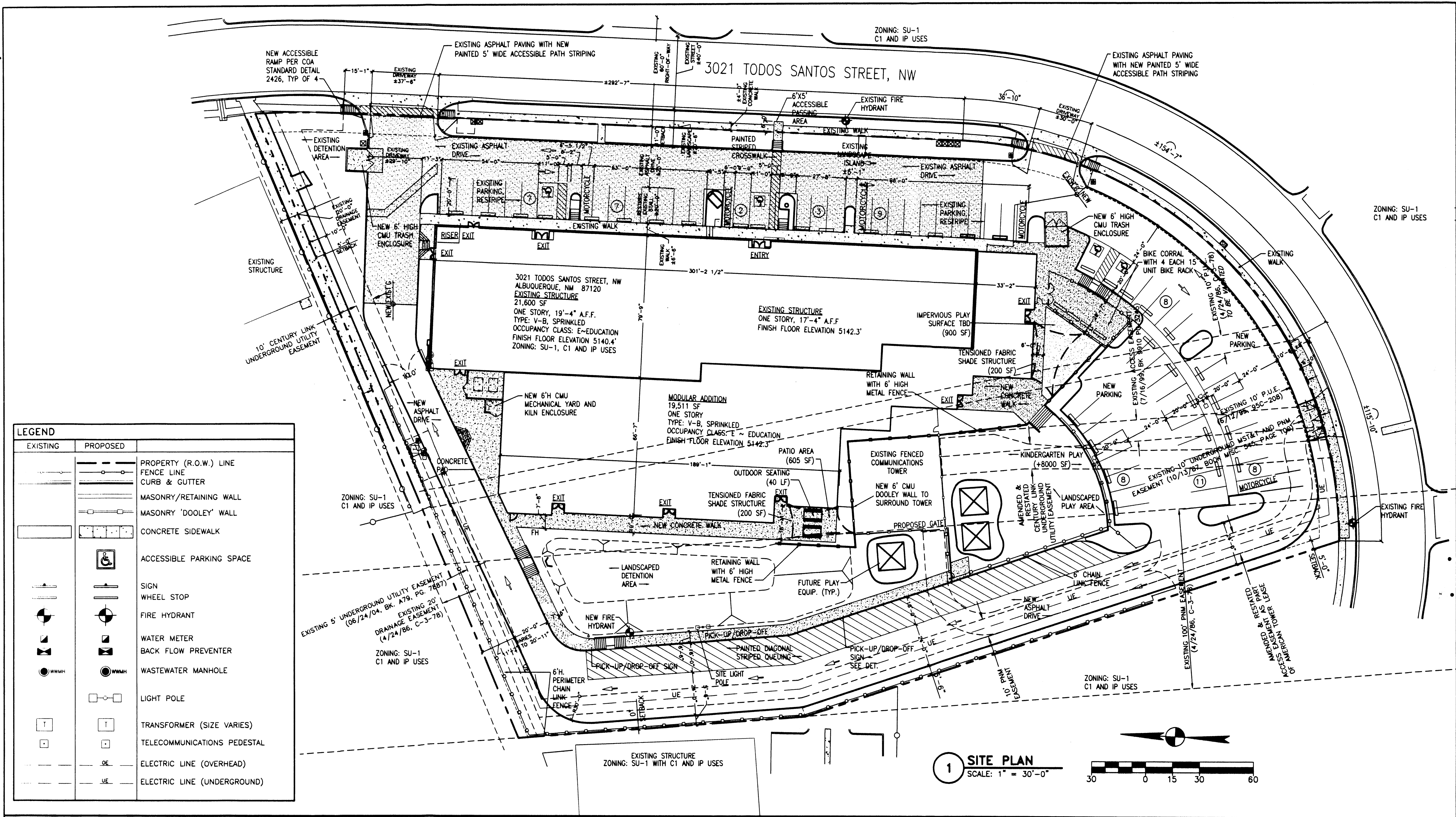


ACS MONUMENT DATA: "7_G10"
 STANDARD ACS BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLAIN
 COORDINATES (CENTRAL ZONE)
 Y=1,501,787.741 (NAD 83)
 X=1,498,606.697
 GROUND TO GRID=0.999680173
 DELTA ANGLE=-0_16_22.41

ACS MONUMENT DATA: "2_G9"
 STANDARD ACS BRASS TABLE
 (FOUND IN PLACE)
 NEW MEXICO STATE PLAIN
 COORDINATES (CENTRAL ZONE)
 Y=1,499,127.178 (NAD 83)
 X=1,496,926.541
 GROUND TO GRID=0.999672239
 DELTA ANGLE=-0_16_33.78



BRASHER & LORENZ
 CONSULTING ENGINEERS & SURVEYORS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-8188
 DRAWN BY: JMT JOB No. 12514



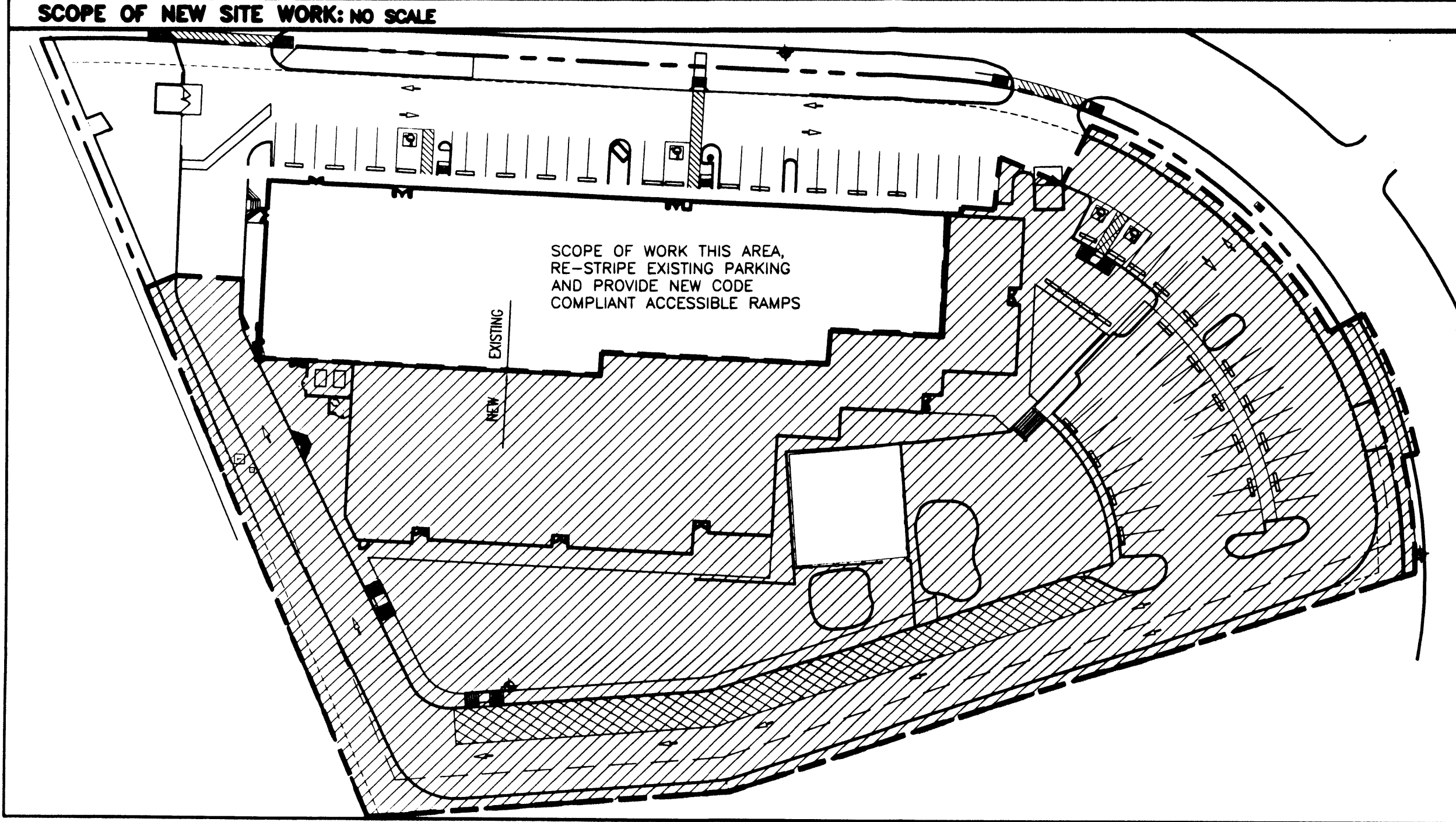
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY (R.O.W.) LINE
---	---	FENCE LINE
---	---	CURB & GUTTER
---	---	MASONRY/RETAINING WALL
---	---	MASONRY 'DOOLEY' WALL
---	---	CONCRETE SIDEWALK
---	---	ACCESSIBLE PARKING SPACE
---	---	SIGN
---	---	WHEEL STOP
---	---	FIRE HYDRANT
---	---	WATER METER
---	---	BACK FLOW PREVENTER
---	---	WASTEWATER MANHOLE
---	---	LIGHT POLE
---	---	TRANSFORMER (SIZE VARIES)
---	---	TELECOMMUNICATIONS PEDESTAL
---	---	ELECTRIC LINE (OVERHEAD)
---	---	ELECTRIC LINE (UNDERGROUND)

SHEET INDEX	
ARCHITECTURAL	A1.1 PRELIMINARY SITE PLAN AND DATA SHEET
	A1.2 PRELIMINARY SITE DETAILS
	A1.3 PRELIMINARY CIRCULATION PLAN
LANDSCAPE	L1 PRELIMINARY LANDSCAPE PLAN
CIVIL	C1 PRELIMINARY GRADING PLAN
	C2 PRELIMINARY UTILITY PLAN
ARCHITECTURAL	A3.1 PRELIMINARY BUILDING ELEVATIONS

GOVERNING CODES	
STATE OF NEW MEXICO GOVERNING CODES - BUILDING ADDITION	
2009	INTERNATIONAL BUILDING CODE
2003	INTERNATIONAL FIRE CODE
2009	UNIFORM MECHANICAL CODE
2009	UNIFORM PLUMBING CODE
2009	NEW MEXICO PLUMBING CODE
2009	NEW MEXICO MECHANICAL CODE
2008	NATIONAL ELECTRIC CODE
2003	AMERICAN NATIONAL STANDARD INSTITUTION (ANSI A117.1)
CITY OF ALBUQUERQUE GOVERNING CODES - BUILDING	
2009	INTERNATIONAL BUILDING CODE
2009	NEW MEXICO EXISTING BUILDING CODE
2008	NATIONAL ELECTRIC CODE
2008	NEW MEXICO MECHANICAL CODE
2008	NEW MEXICO PLUMBING CODE
2009	NEW MEXICO ENERGY CONSERVATION CODE

GENERAL NOTES:

- OFFSETS FROM PROPERTY LINE TO BUILDING ARE TO FACE OF FINISH, NOT CONCRETE SLAB.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. VERIFY IN FIELD.
- ALL UTILITIES INSTALLED SHALL BE UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL SIGNAGE IS CONCEPTUAL. THE FINAL SIGNAGE PACKAGE IS REVIEWED AND APPROVED UNDER A SEPARATE PERMIT PROCESS.
- PIN ALL CONCRETE WALKS TO FOUNDATION SLAB AT ENTRY/EXIT DOORS.
- THERE IS NO FREESTANDING SIGN PROPOSED IN THIS PROJECT SCOPE.
- ALL METAL FENCING PROPOSED IN THIS SCOPE OF WORK SHALL BE GROUNDED PER THE REQUIREMENTS OF PNM.
- ALL PLAYGROUND EQUIPMENT IN THIS SCOPE OF WORK SHALL BE GROUNDED PER REQUIREMENTS OF PNM.
- METAL COLUMNS OF SHADE CANOPY STRUCTURE SHALL BE GROUNDED PER THE REQUIREMENTS OF PNM.



SITE DATA:	
PROJECT LOCATION:	3021 TODOS SANTOS STREET, NORTHWEST ALBUQUERQUE, NEW MEXICO 87120
ASSESSOR PARCEL NUMBER:	SP 95 261, TRACT 12A
LEGAL DESCRIPTION:	TRACT 12A VOLCANO BUSINESS PARK PHASE I, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 9, 1995, IN VOLUME 95C, FOLIO 413.
PROJECT USE:	PUBLIC CHARTER SCHOOL PRE-K THROUGH 6
EXISTING ZONING:	SU-1, SPECIAL USE WITH C1 AND IP USES
ADJACENT ZONING:	NORTHWEST: SU-1, SPECIAL USE WITH C1 AND IP USES NORTH: SU-1, SPECIAL USE WITH C1 AND IP USES NORTHEAST: SU-1, SPECIAL USE WITH C1 AND IP USES EAST: SU-1, SPECIAL USE WITH C1 AND IP USES SOUTHWEST: SU-1, SPECIAL USE WITH C1 AND IP USES SOUTH: SU-1, SPECIAL USE WITH C1 AND IP USES SOUTHWEST: SU-1, SPECIAL USE WITH C1 AND IP USES WEST: SU-1, SPECIAL USE WITH C1 AND IP USES
NET AREA:	3.4281 ACRES 149,326 S.F.
GROSS AREA:	3.59 ACRES 156,425 S.F.
MAX BUILDING HEIGHT ALLOWED:	26'
EXISTING BUILDING HEIGHT:	APPROXIMATELY 19'-4", 1 STORY
PROPOSED BUILDING ADDITION HEIGHT:	21'-4", 1 STORY
TOTAL BUILDING AREA:	41,466 S.F.
EXISTING BUILDING AREA:	21,600 S.F. ~ 9 CLASSROOMS
PHASE I BUILDING AREA:	15,916 S.F. ~ 10 CLASSROOMS
PHASE II BUILDING AREA:	3,950 S.F. ~ 4 CLASSROOMS
EXISTING BUILDING CONSTRUCTION:	TYPE V-B, SPRINKLED
PROPOSED BUILDING ADDITION CONSTRUCTION:	TYPE V-B, SPRINKLED
PROPOSED OCCUPANCY CLASS:	GROUP E
PHASE I AND II OCCUPANCY LOAD:	1009 "E" CLASS, 1312 TOTAL BLDG
FLOOR AREA RATIO PROVIDED:	0.26
41,466 SF BUILDING	
156,425 SF GROSS AREA	
MAXIMUM LOT COVERAGE PROVIDED:	27.76%
41,466 SF BUILDING	
149,326 SF NET AREA	
PERMEABLE RATIO:	29.52%
44,089 SF PERMEABLE SCOPE	
149,326 S.F. NET AREA	
IMPERMEABLE (PAVING AND WALK) RATIO:	43.31%
64,686 SF IMPERMEABLE SCOPE	
149,326 S.F. NET AREA	
PARKING REQUIRED:	55 SPACES
PER SECTION 14-16-3-1 (1 STALL PER EMPLOYEE)	
PER IBC 2009 = 42.6 NON EDUCATIONAL/ASSEMBLY OCCUPANTS	
PER EXISTING CHARTER SCHOOL FULL-TIME EMPLOYEES = ± 55 OCCUPANTS	
STANDARD:	51 STALLS
ACCESSIBLE:	4 STALLS
MOTORCYCLE:	3 STALLS
BICYCLE:	54 STALLS
PARKING PROVIDED:	62 SPACES
STANDARD:	
EXISTING:	26 STALLS
NEW:	32 STALLS
ACCESSIBLE:	4 STALLS
EXISTING:	2 STALLS
NEW:	2 STALLS
MOTORCYCLE:	5 STALLS
EXISTING:	3 STALL
NEW:	2 STALL
BICYCLE:	+60 STALLS
VEHICULAR QUEUING CAPACITY:	
• 28 CAR ON-SITE CAPACITY DIVIDED BETWEEN ONE AND ONE BI-PASS LANE (14 VEHICLES QUEUE FOR INGRESS AND 14 VEHICLE QUEUE FOR EGRESS)	
• PICK-UP AND DROP-OFF CAPACITY OF 10 SECONDS AVERAGES 6 CARS PER MINUTE OR 180 CARS PER 1/2 HOUR.	
• 14 PICK-UP AND DROP-OFF POINTS PER 1/2 HOUR EQUALS 1520 VEHICLES BEING MANNED. THIS QUEUE CAPACITY WILL TURN OVER 54.28 TIMES PER 1/2 HOUR OR 108.56 TIMES PER HOUR.	

DIRECTORY:	
OWNER:	HORIZON ACADEMY WEST 1900 ATRISCO ROAD NORTHWEST ALBUQUERQUE, NEW MEXICO 88120 TEL 505-998-0455 ATT: BRUCE HANSON PRESIDENT, GOVERNING BOARD AMIE DURAN DIRECTOR HORIZON ACADEMY WEST
DESIGN/BUILD CONTRACTOR:	ACCELERATED CONSTRUCTION TECHNOLOGY, INC. 22425 NORTH 14TH STREET PHOENIX, ARIZONA 85024 TEL 602-272-2000 FAX 623-298-2000 ATT: DOUG HENSLEY, VICE PRESIDENT
ARCHITECT:	ATK ARCHITECTS 55 CAMINO DEL SENADOR TUERAS, NEW MEXICO 87059 TEL 505-281-9560 ATT: KEN TRAUERWICHT REGISTRATION: 1285
CIVIL:	BRASHER & LORENZ, INC. 2201 SAN PEDRO DRIVE NE BUILDING 1 SUITE 1200 ALBUQUERQUE, NEW MEXICO 87110 TEL 505-222-6088 FAX 505-888-6188 ATT: DENNIS A. LORENZ, PRINCIPAL REGISTRATION: 9647
LANDSCAPE:	HILLTOP LANDSCAPE 7909 EDITH NORTH EAST ALBUQUERQUE, NEW MEXICO 87104 TEL 505-898-9890 ATT: CRAIG SOLETHOR REGISTRATION: 67

CITY OF ALBUQUERQUE DRB SIGNATURE BLOCK	
PROJECT NUMBER:	1004776
APPLICATION NUMBER:	
THIS SITE PLAN FOR BUILDING PERMIT IS CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION, APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION, JUNE 14, 2012 (PROJECT NUMBER: 1004776)	
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS:

NO.	DATE	DESCRIPTION

SHEET TITLE: SITE PLAN

PROJECT: HORIZON ACADEMY WEST MODULAR ADDITION
3021 TODOS SANTOS STREET NORTHWEST ALBUQUERQUE, NEW MEXICO 87120

ACT PROJECT MANAGER APPROVAL FOR CONSTRUCTION:

Local Jurisdictions please note:
This building is under the jurisdiction of the State of New Mexico, Construction Industries / Manufacturing Housing Division, Regulations and Licensing Department. Review, approval and inspections of the building are the sole responsibility of this Agency.

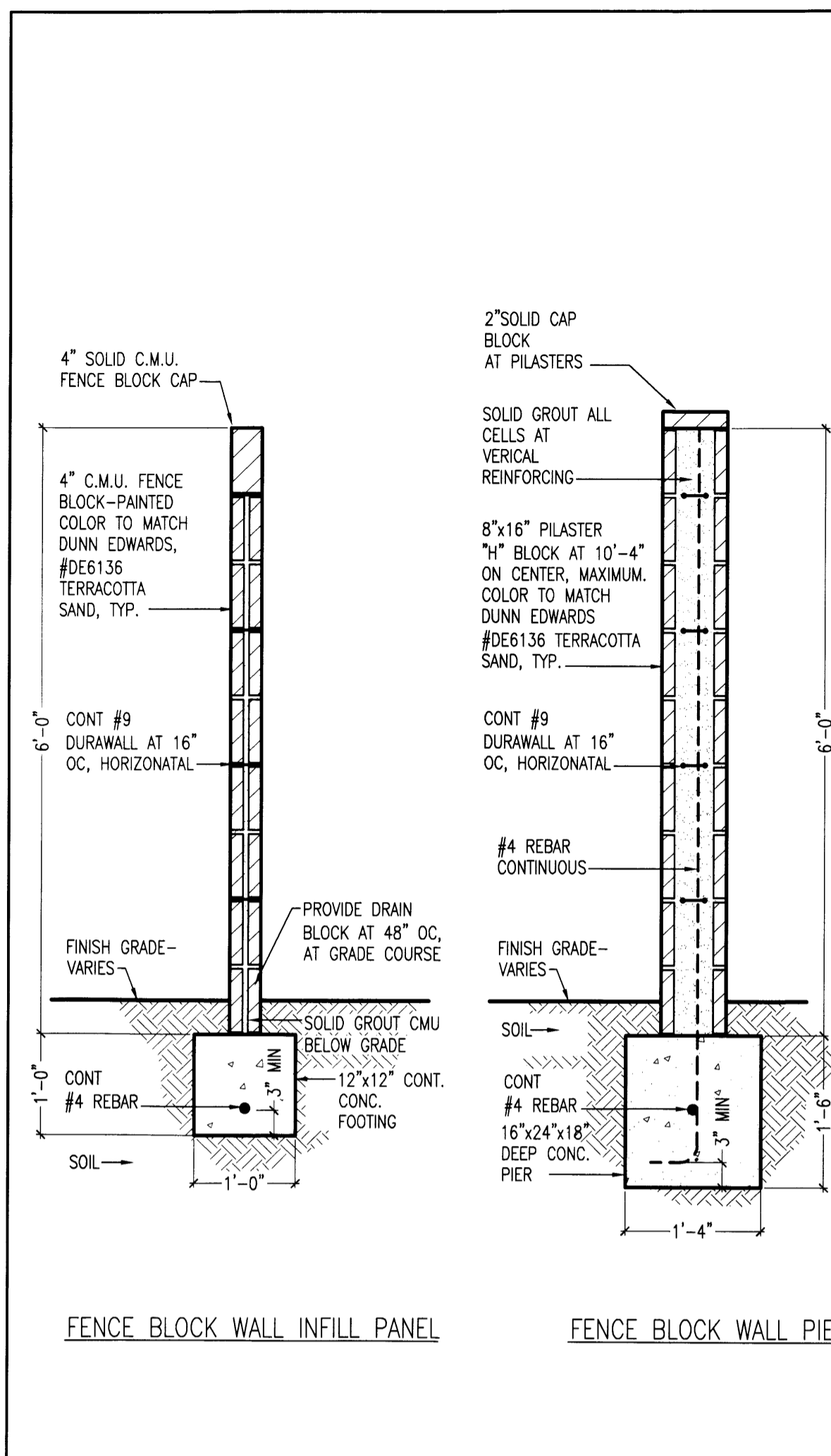
22425 NORTH 14TH STREET
PHOENIX, ARIZONA 85024
TEL 602-272-2000
FAX 623-298-2000

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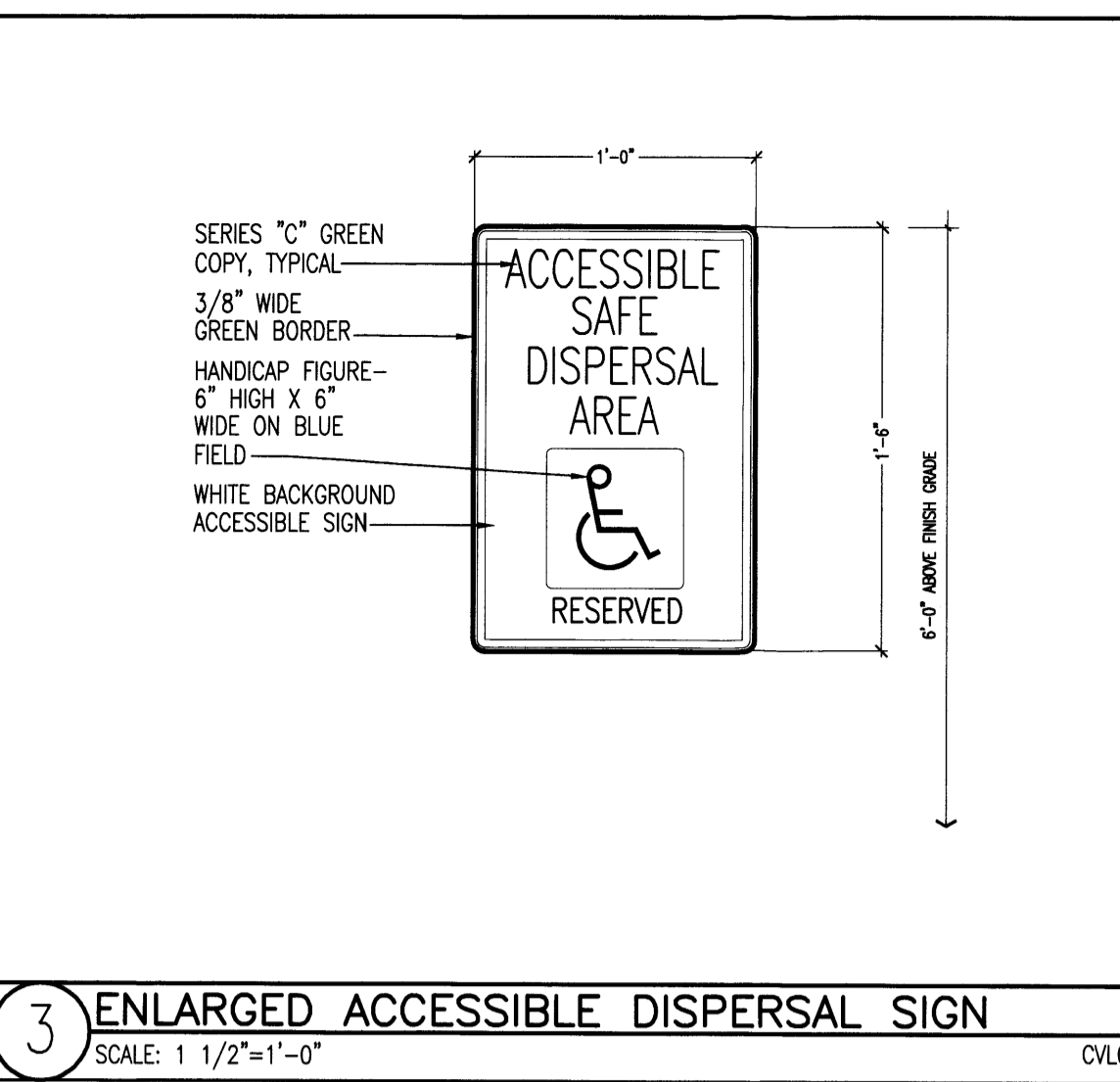
PROJECT: 808
DATE: 11-06-12
DRAWN: JDBT
CONTACT: BC
SCALE: AS NOTED
SHEET: 11-20-12

A1.1

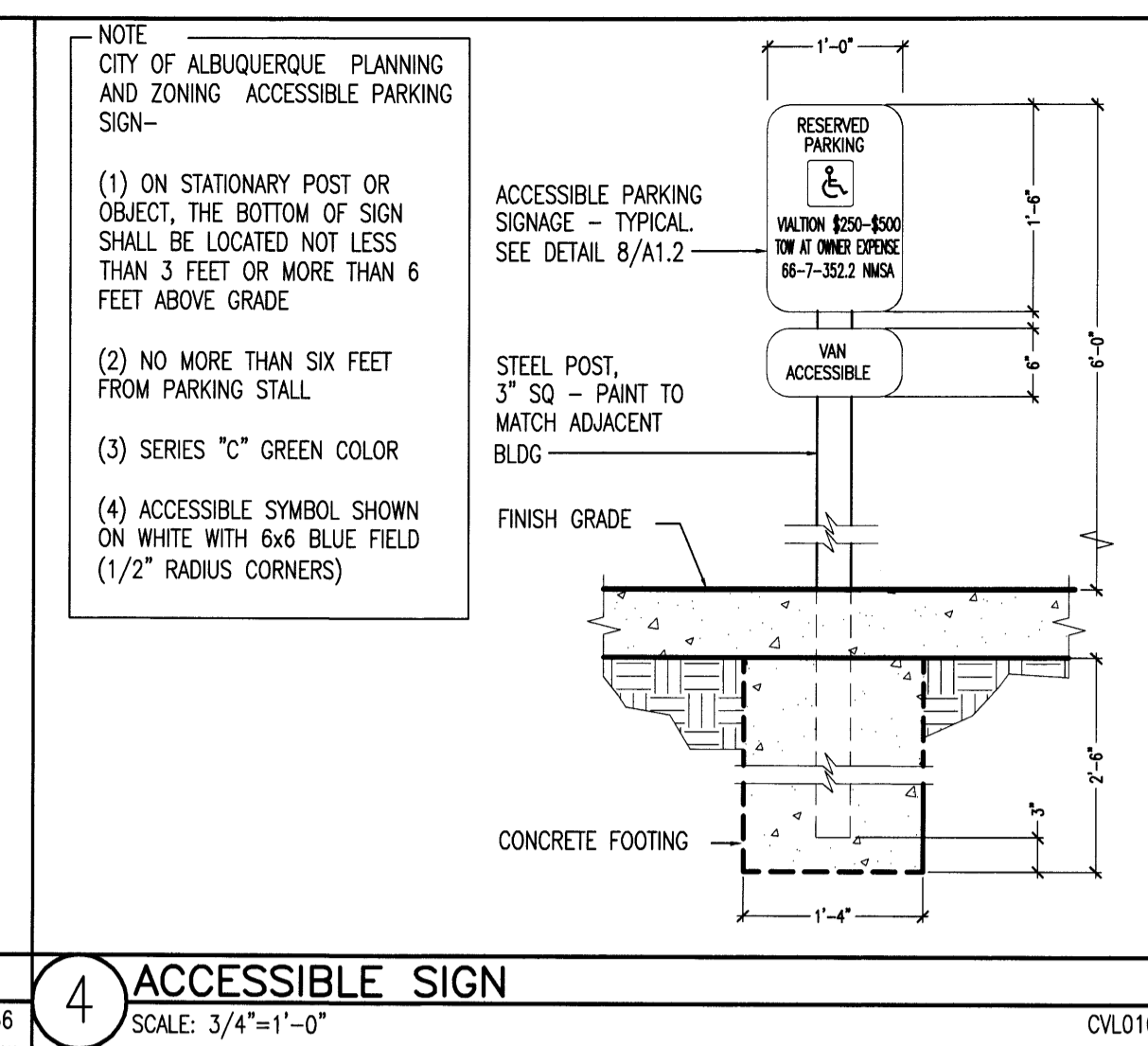
PROGRESS: ISSUED



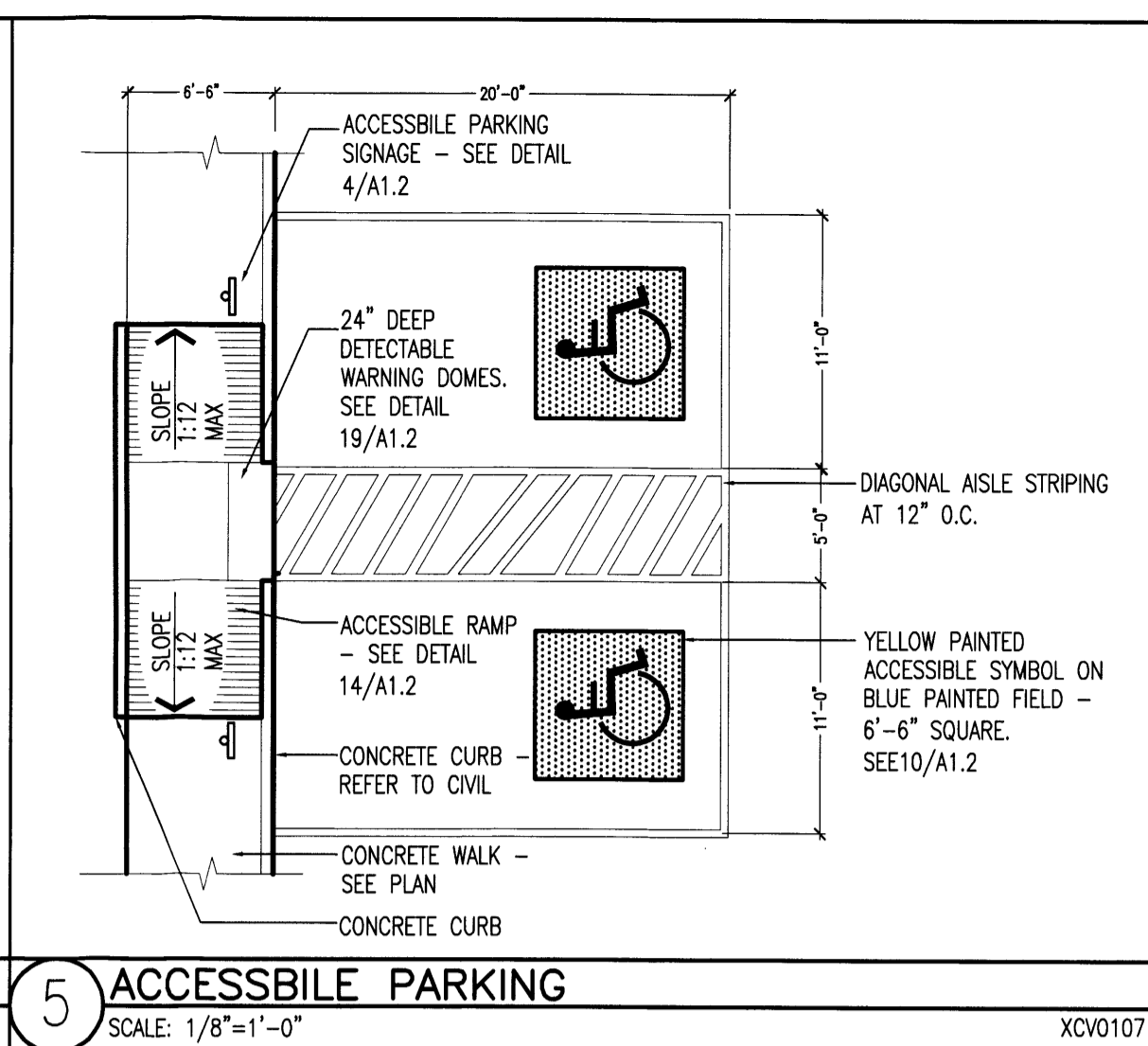
2 CHAIN LINK FENCE ELEVATION
SCALE: 1/4"=1'-0"



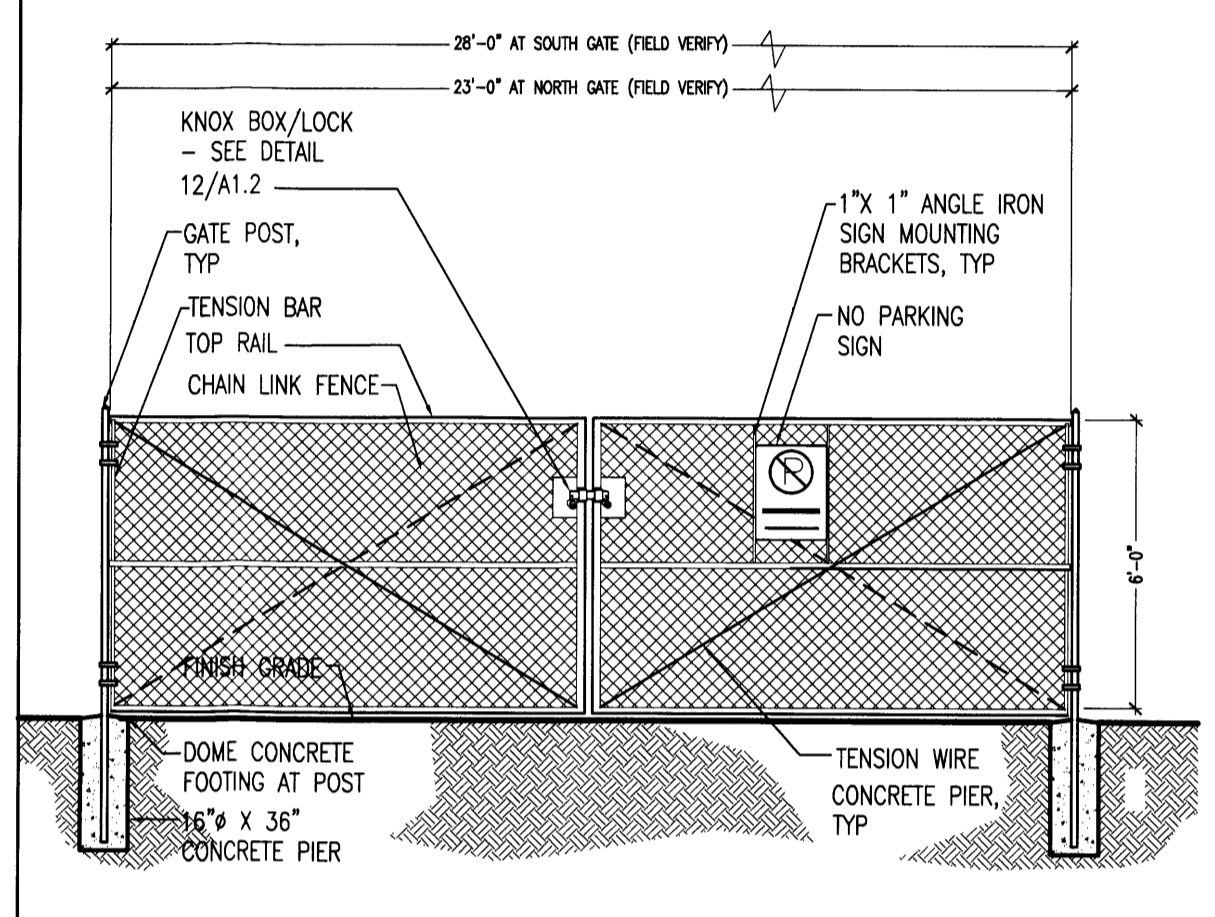
3 ENLARGED ACCESSIBLE DISPERSAL SIGN
SCALE: 1 1/2"=1'-0"



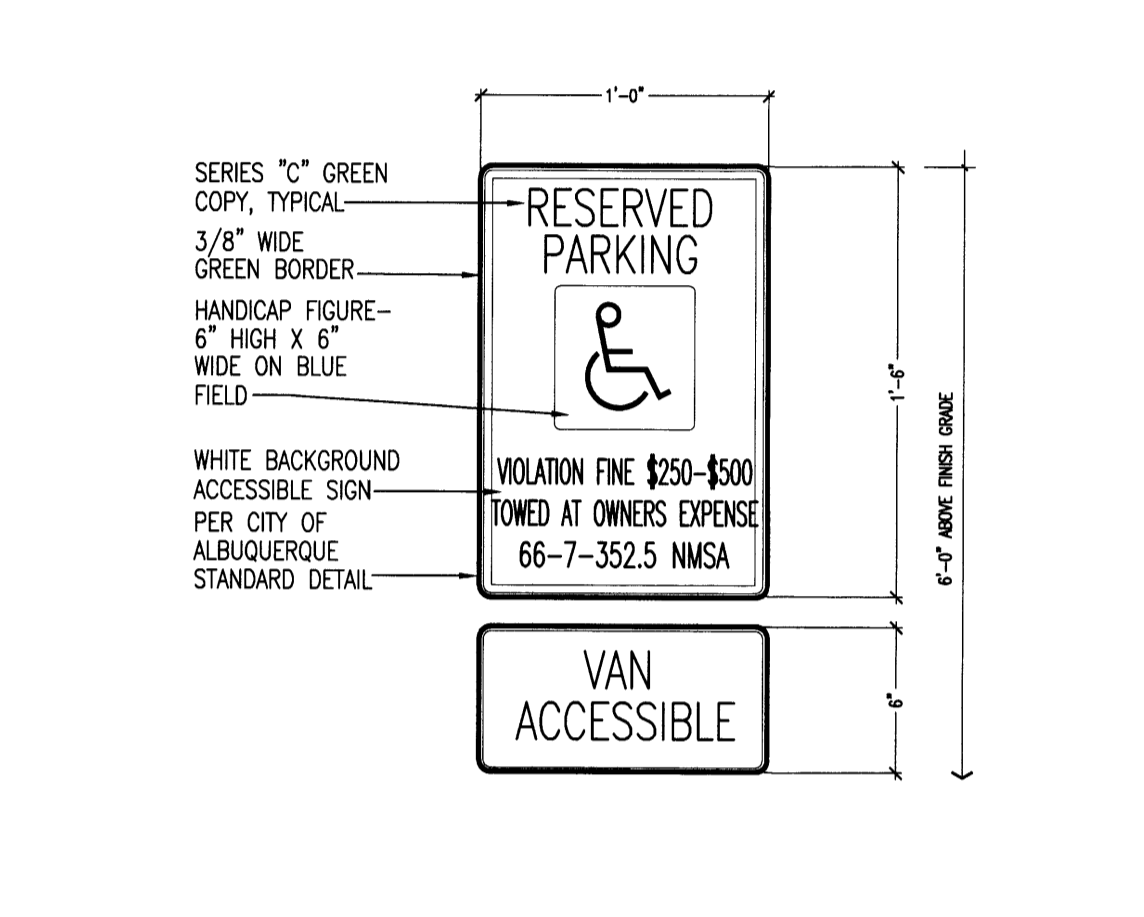
4 ACCESSIBLE SIGN
SCALE: 3/4"=1'-0"



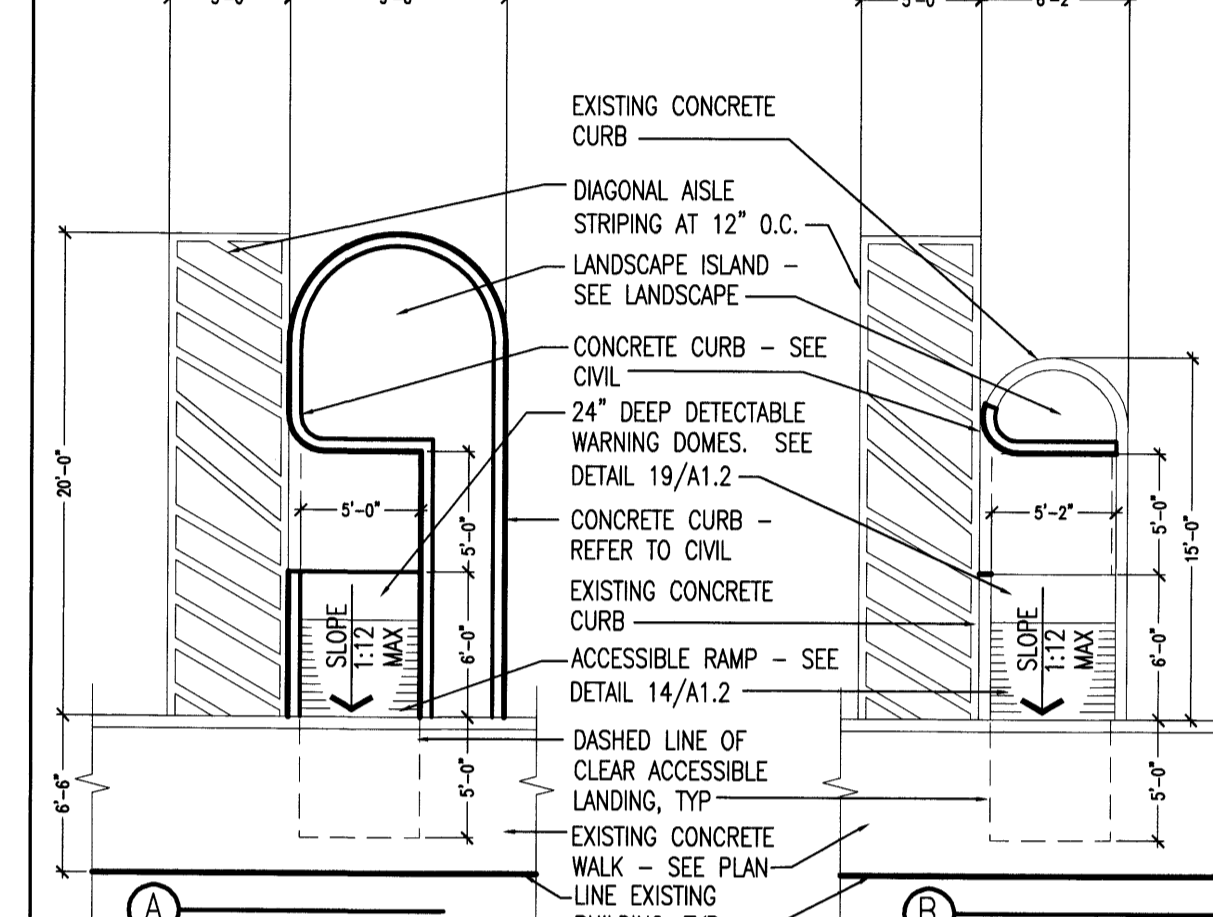
5 ACCESSIBLE PARKING
SCALE: 1/8"=1'-0"



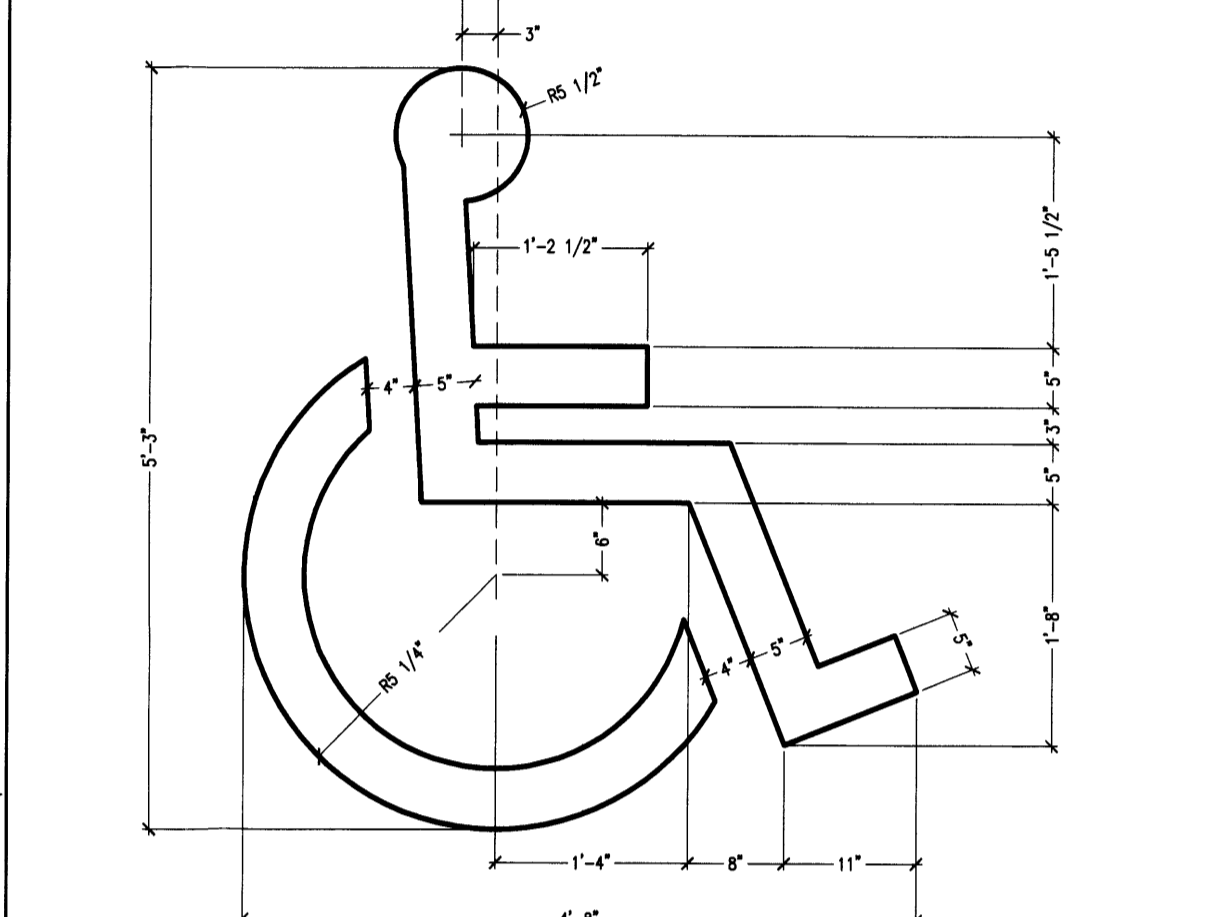
7 CHAIN LINK GATE ELEVATION
SCALE: 1/4"=1'-0"



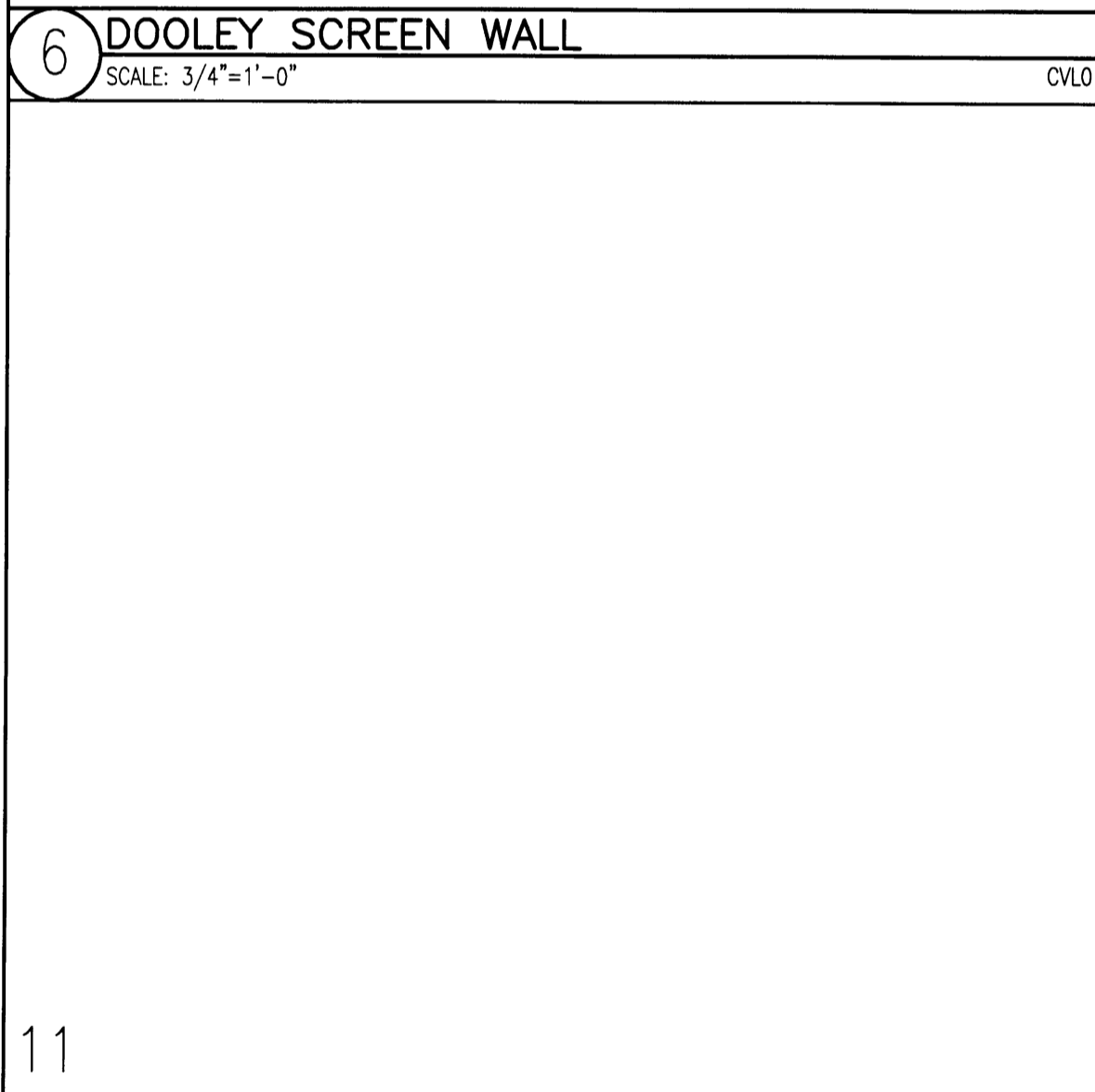
8 ENLARGED ACCESSIBLE SIGN
SCALE: 1 1/2"=1'-0"



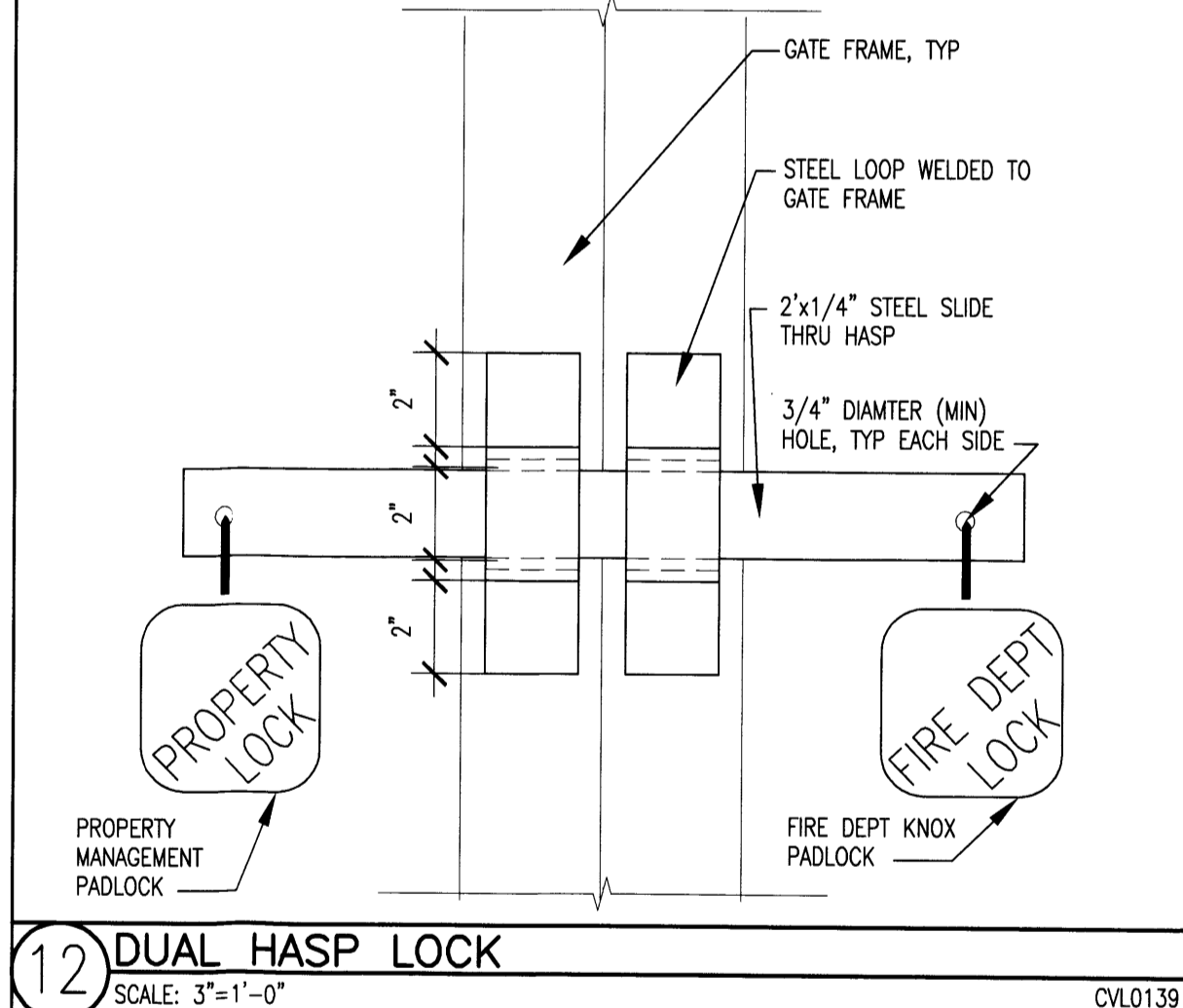
9 ACCESSIBLE RAMPS
SCALE: 1/8"=1'-0"



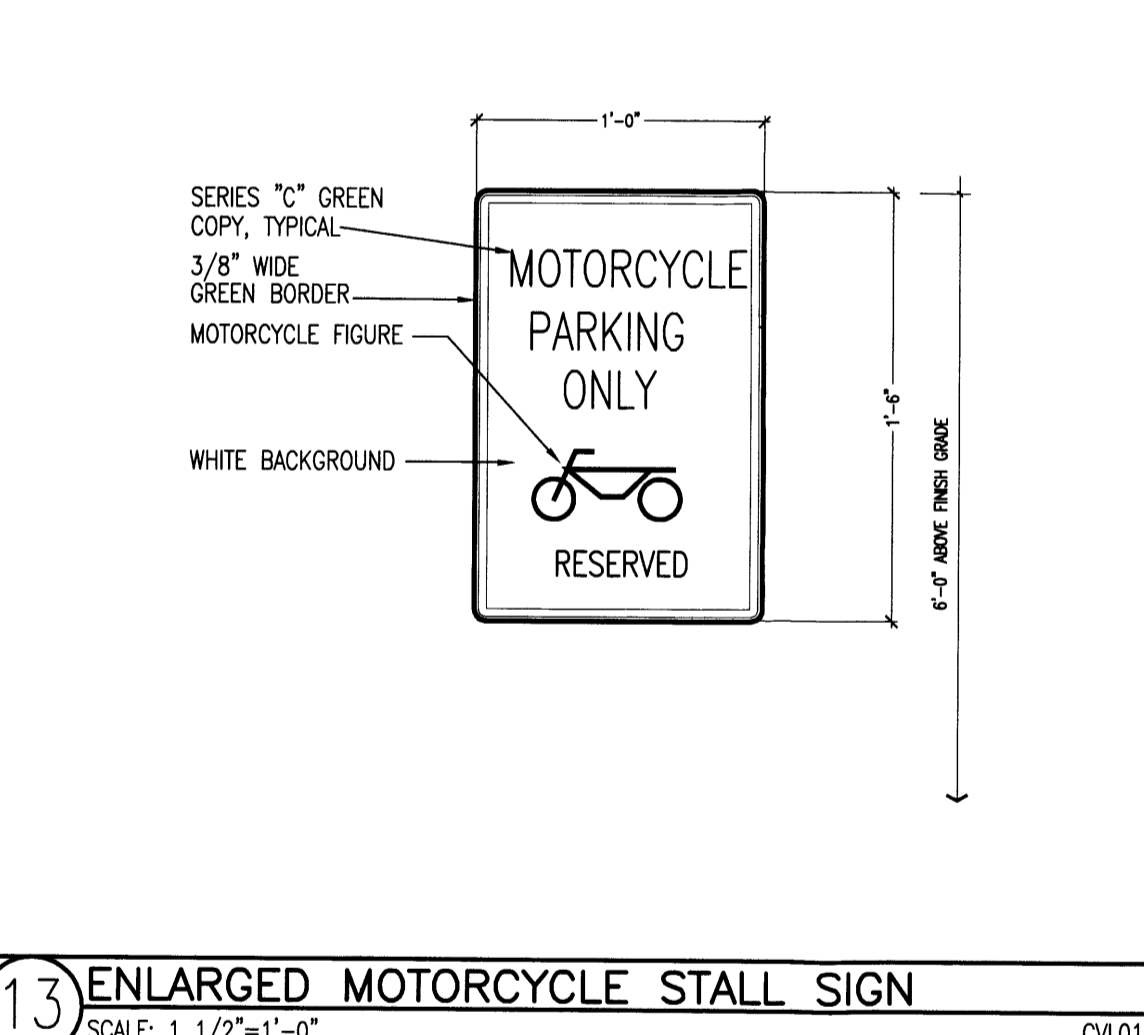
10 ACCESSIBLE PARKING SYMBOL
SCALE: 3/4"=1'-0"



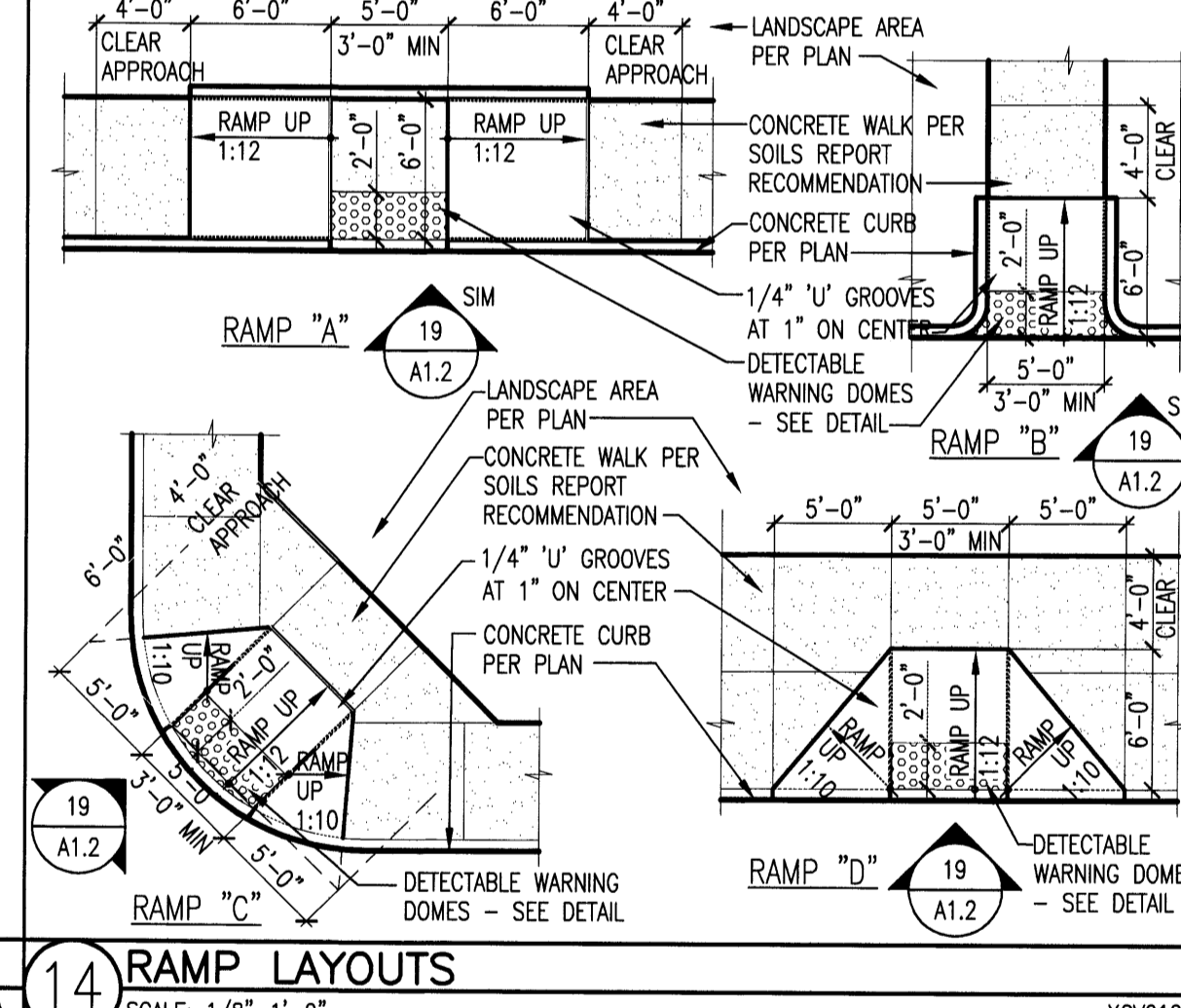
6 DOOLEY SCREEN WALL
SCALE: 3/4"=1'-0"



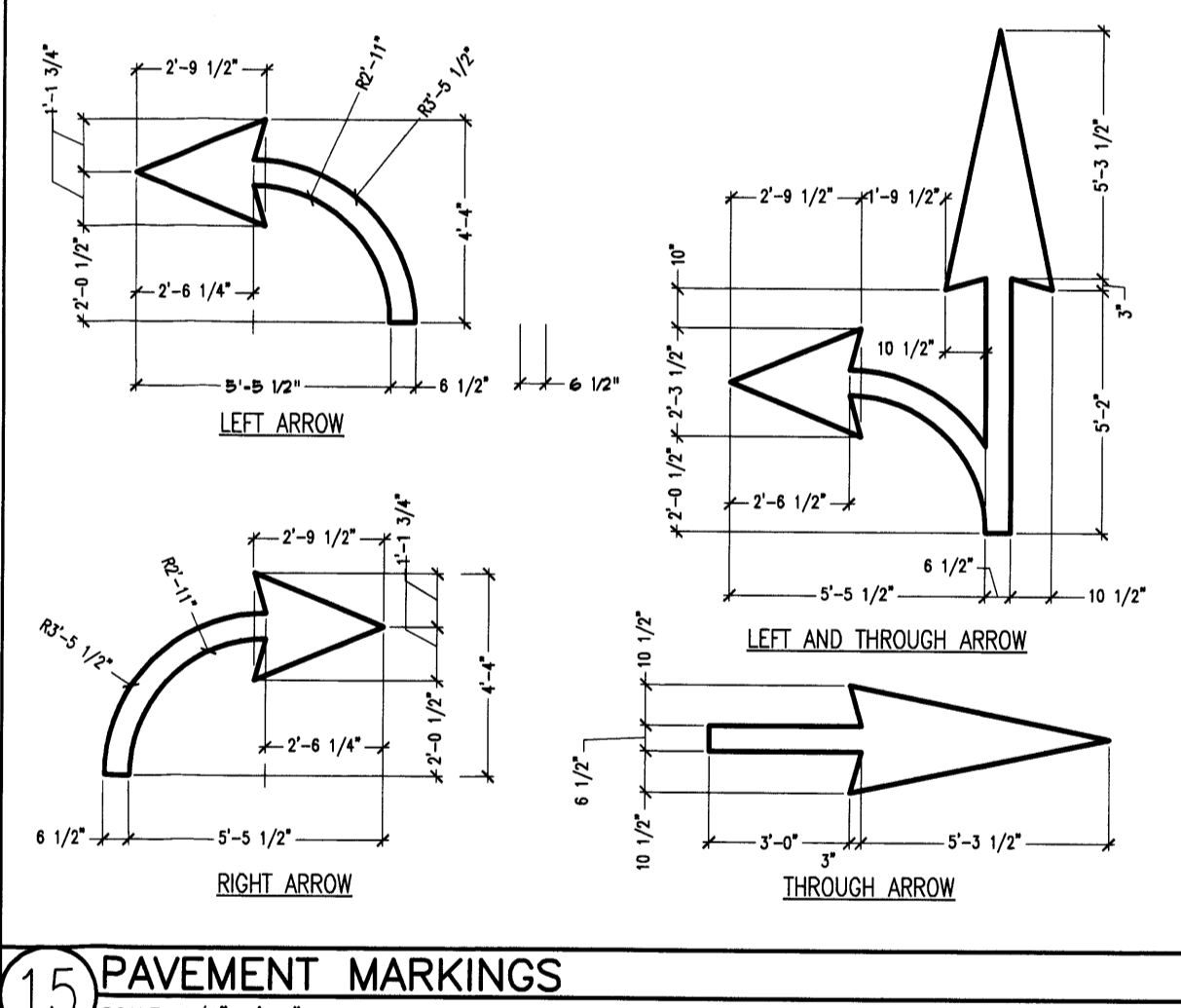
12 DUAL HASP LOCK
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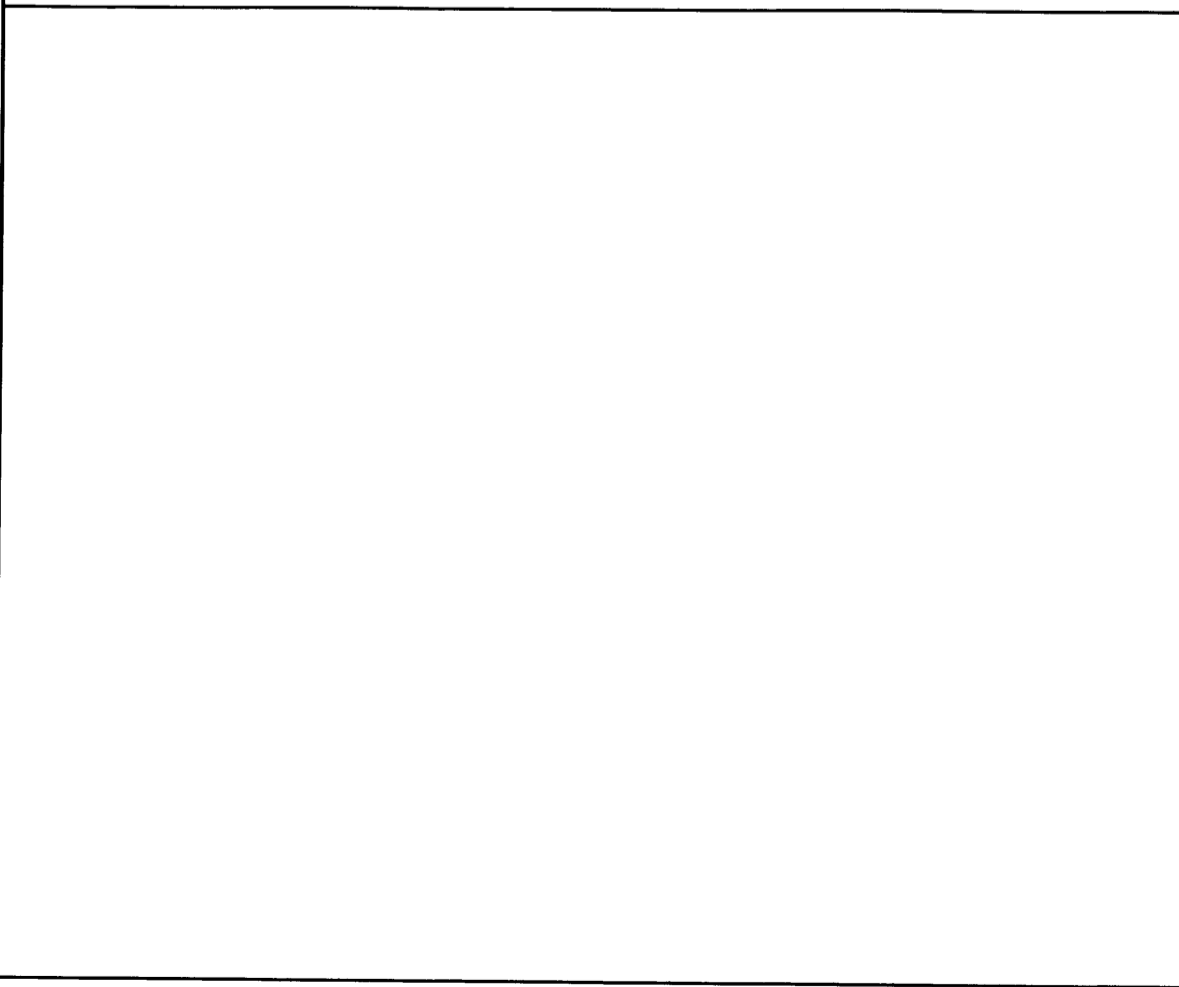
13 ENLARGED MOTORCYCLE STALL SIGN
SCALE: 1 1/2"=1'-0"



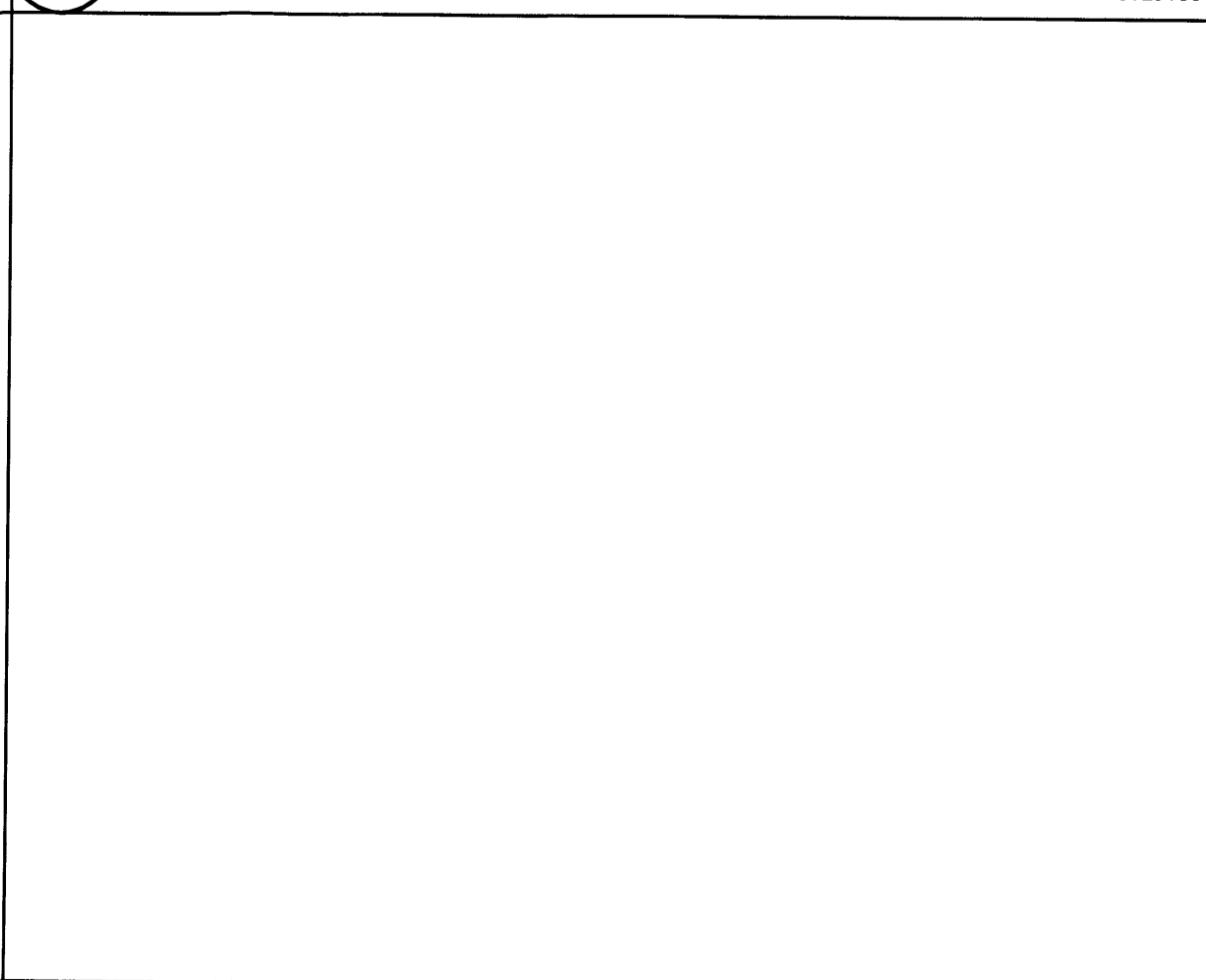
14 RAMP LAYOUTS
SCALE: 1/8"=1'-0"



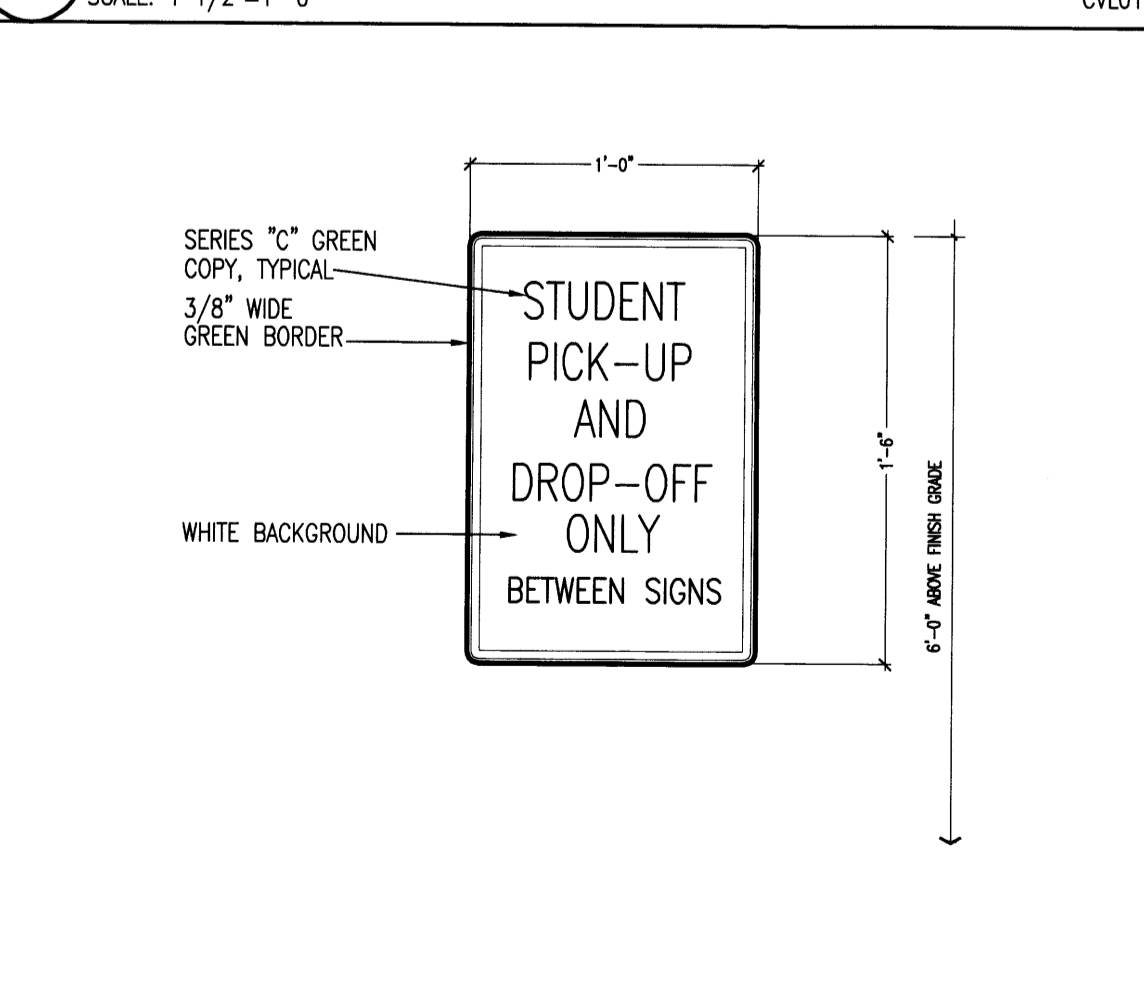
15 PAVEMENT MARKINGS
SCALE: 1/4"=1'-0"



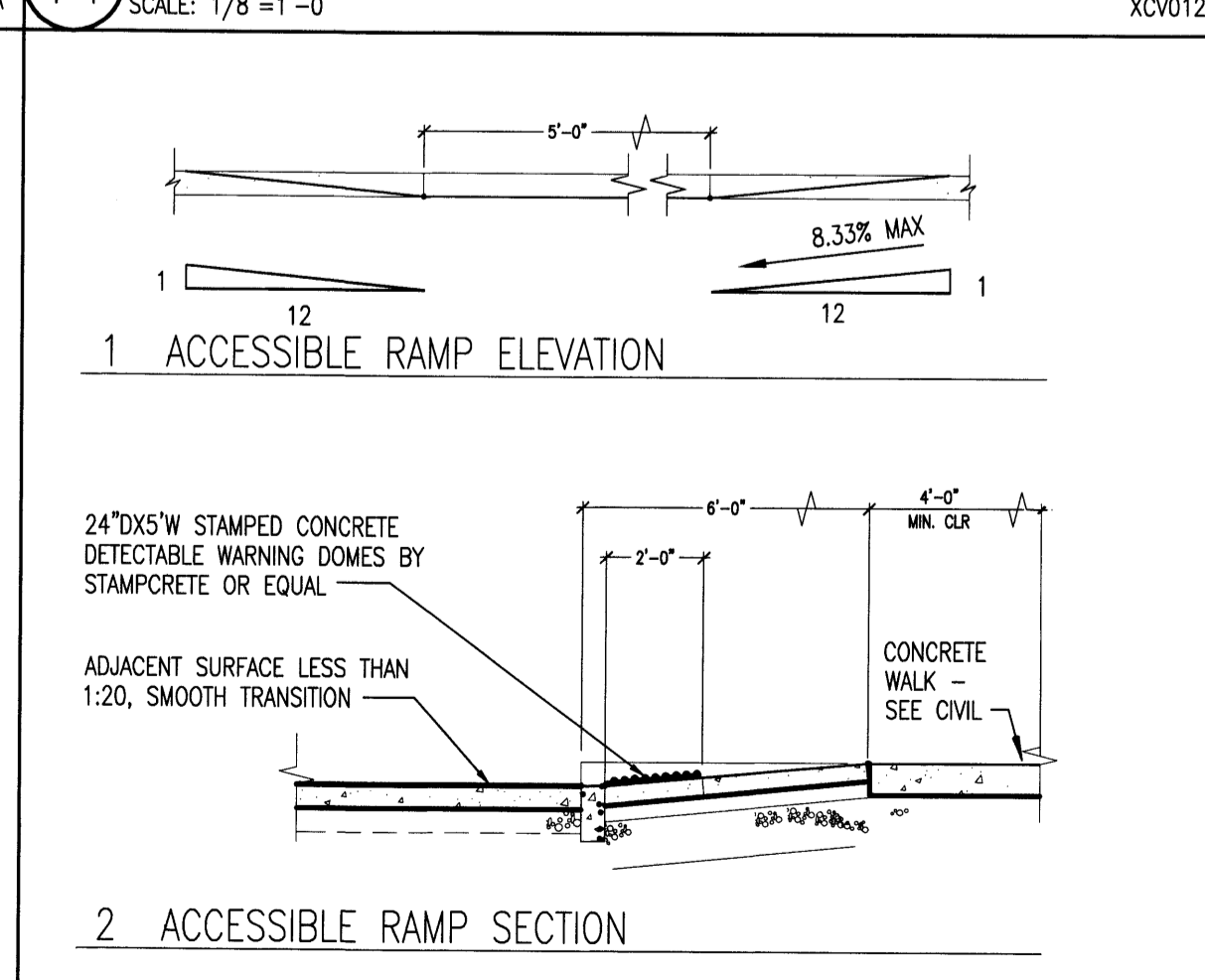
16 ENLARGED PICK-UP/DROP-OFF SIGN
SCALE: 1 1/2"=1'-0"



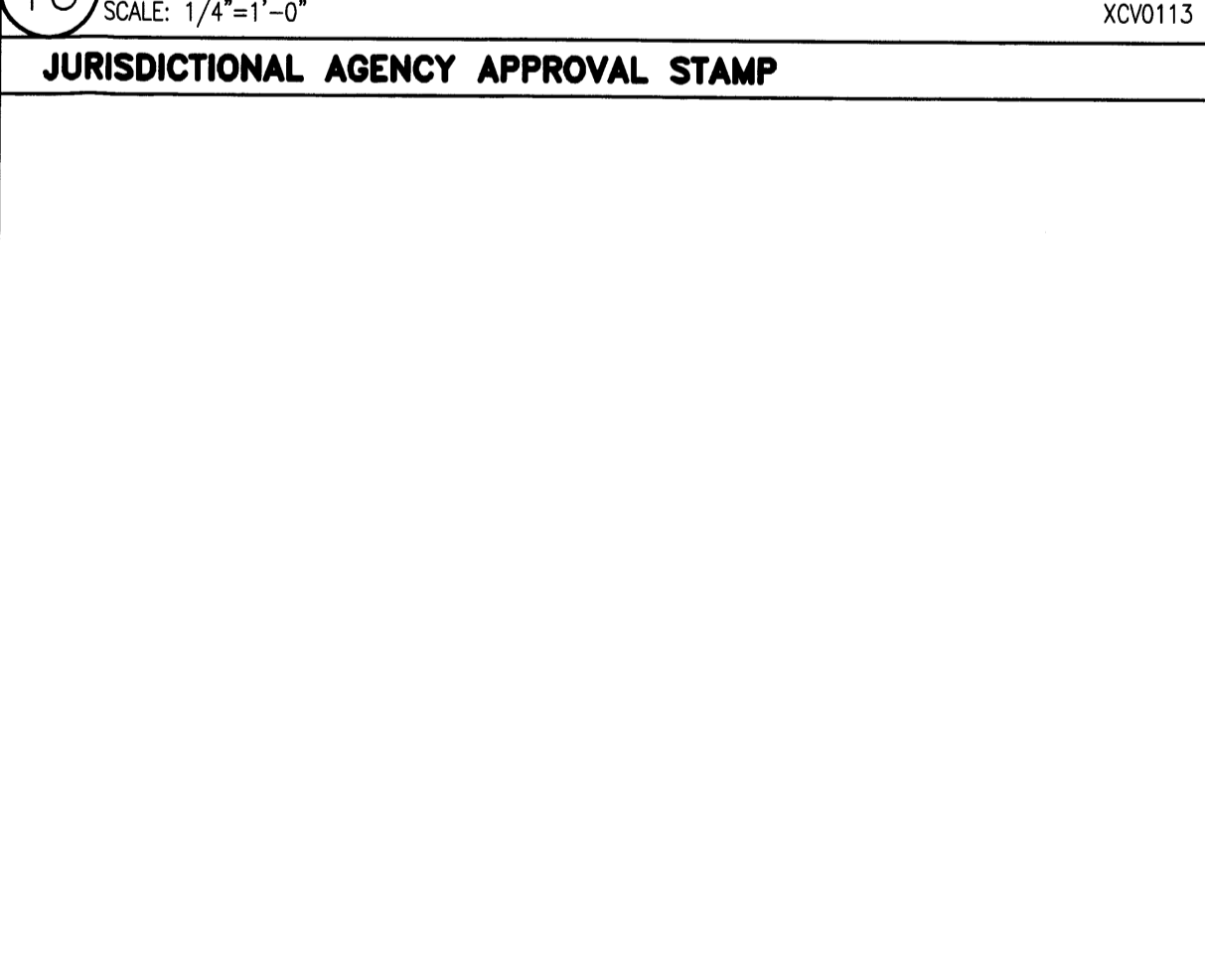
17 ACCESSIBLE RAMP ELEVATION
SCALE: NONE



18 ACCESSIBLE RAMP SECTION
SCALE: NONE



19 RAMP SECTION/ELEVATION
SCALE: NONE



REVISIONS:

1	CITY REVISION 063008
---	----------------------

SHEET TITLE: SITE DETAILS

PROJECT:
HORIZON ACADEMY WEST
MODULAR ADDITION
3021 TODOS SANTOS STREET NORTHWEST
ALBUQUERQUE, NEW MEXICO 87120

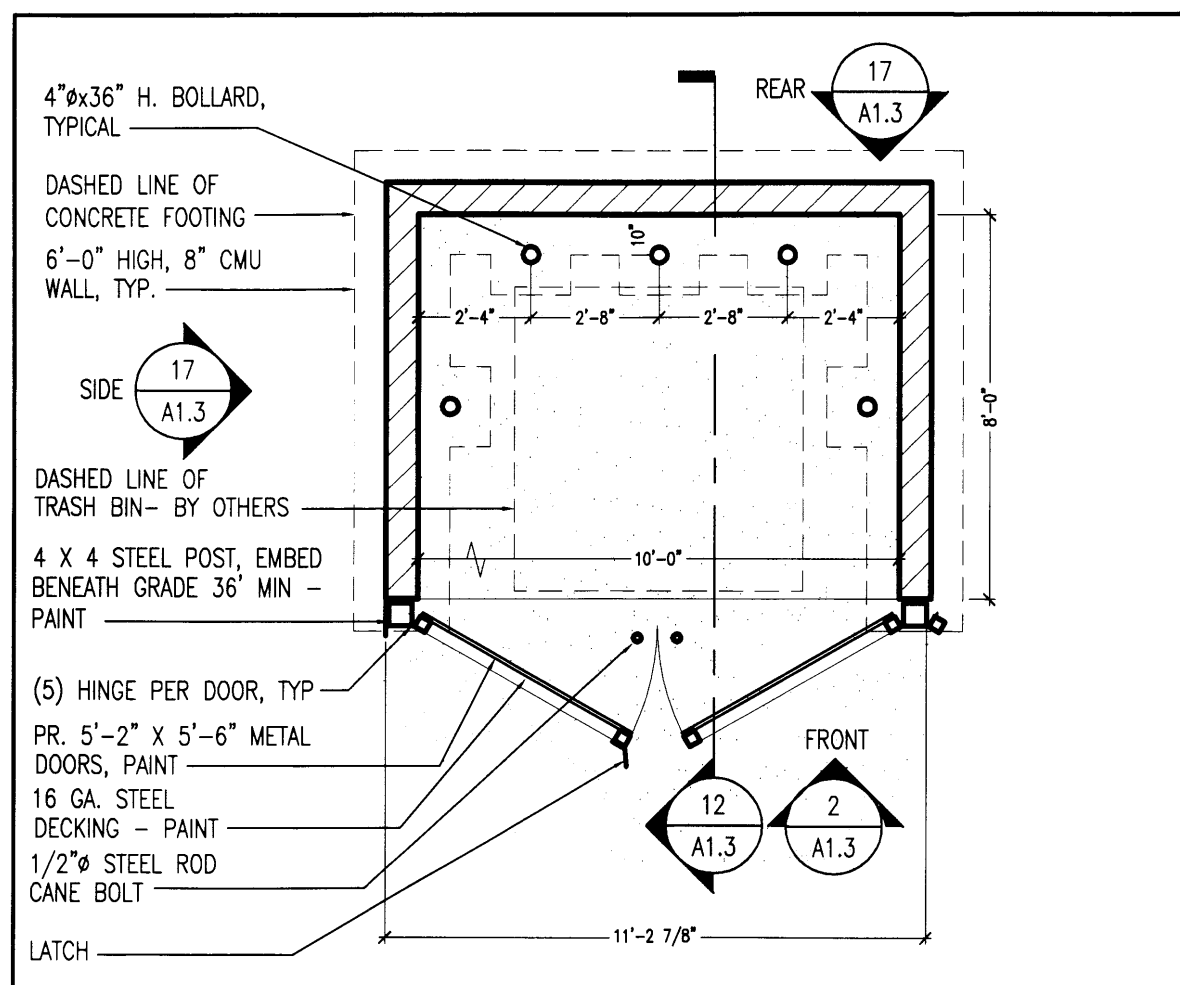
Local Jurisdictions please note.
This building is under the jurisdiction of the State of New Mexico, Construction Industries / Manufacturing Housing Division Regulations and Licensing Department. Review, approval and inspections of the building are the sole responsibility of this Agency.

22425 NORTH 16TH STREET
PHOENIX, ARIZONA 85024
TEL: 602-272-2000
FAX: 602-286-2000

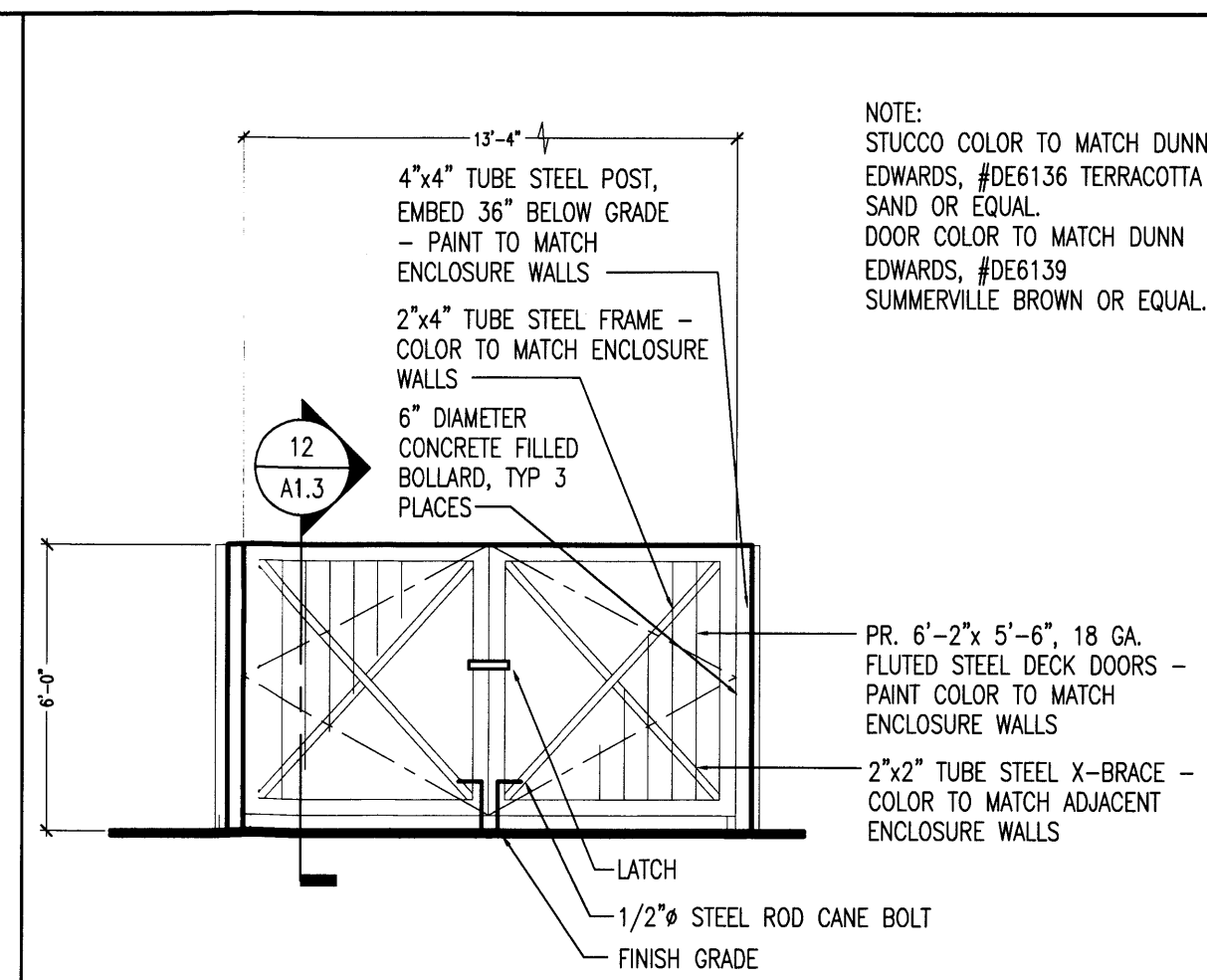
PROGRESS: ISSUED

A1.2

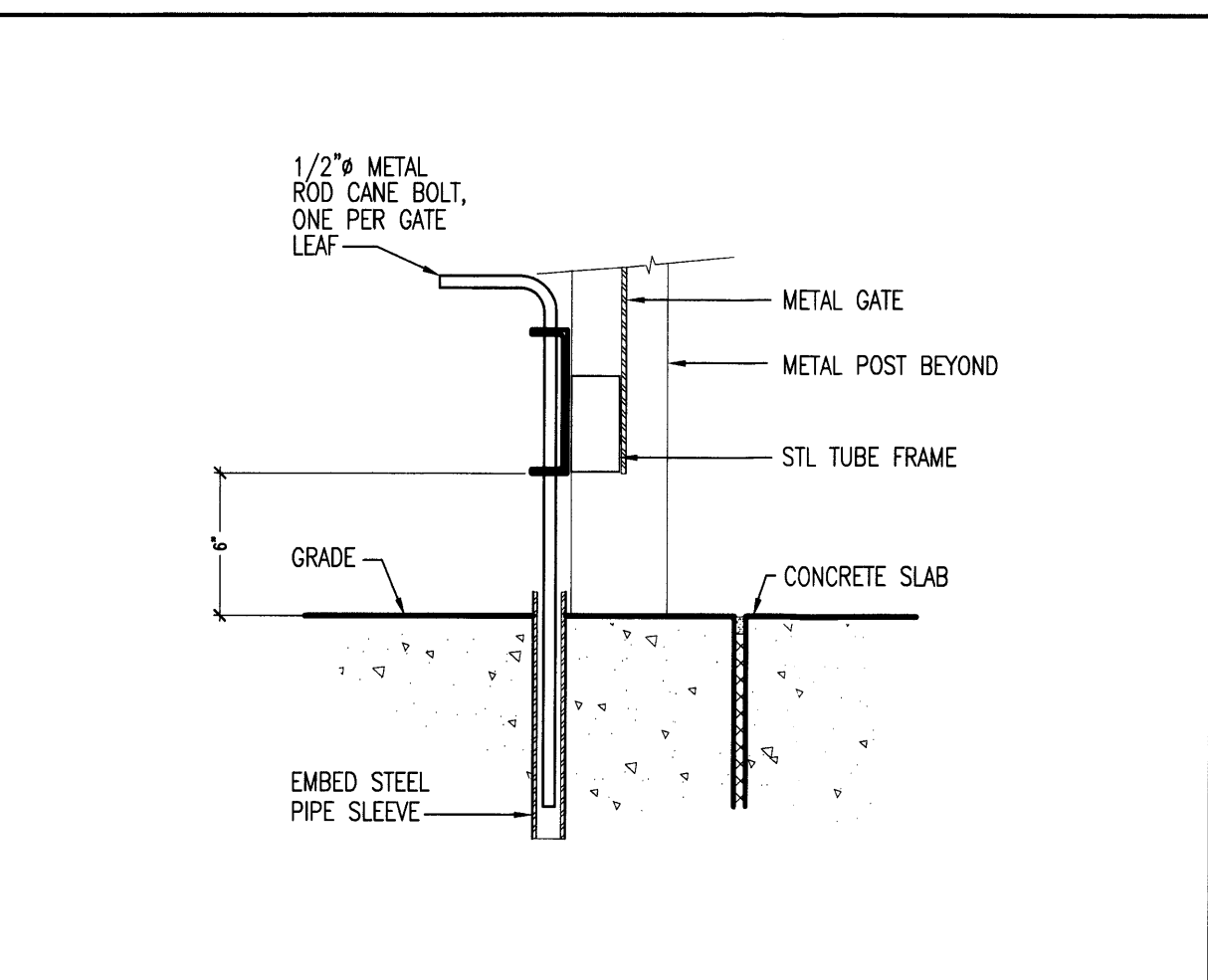
PROJECT: 809
DATE: 11-09-12
DRAWN: JDB/T
CONTACT: BC
SCALE: PER DETAIL
SHEET:



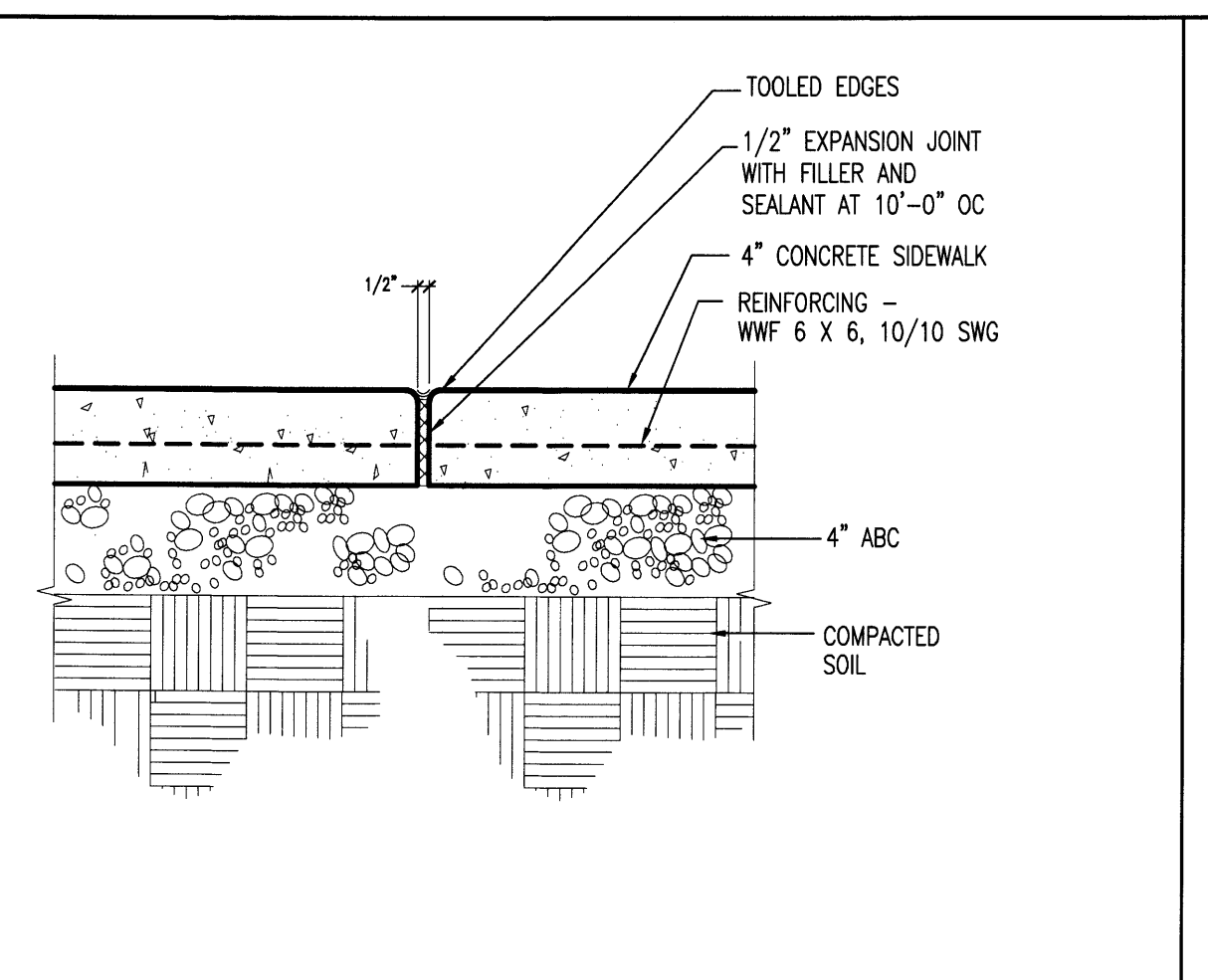
1 TRASH ENCLOSURE/KILN - FRONT
SCALE: 1/4"=1'-0"
XC0117



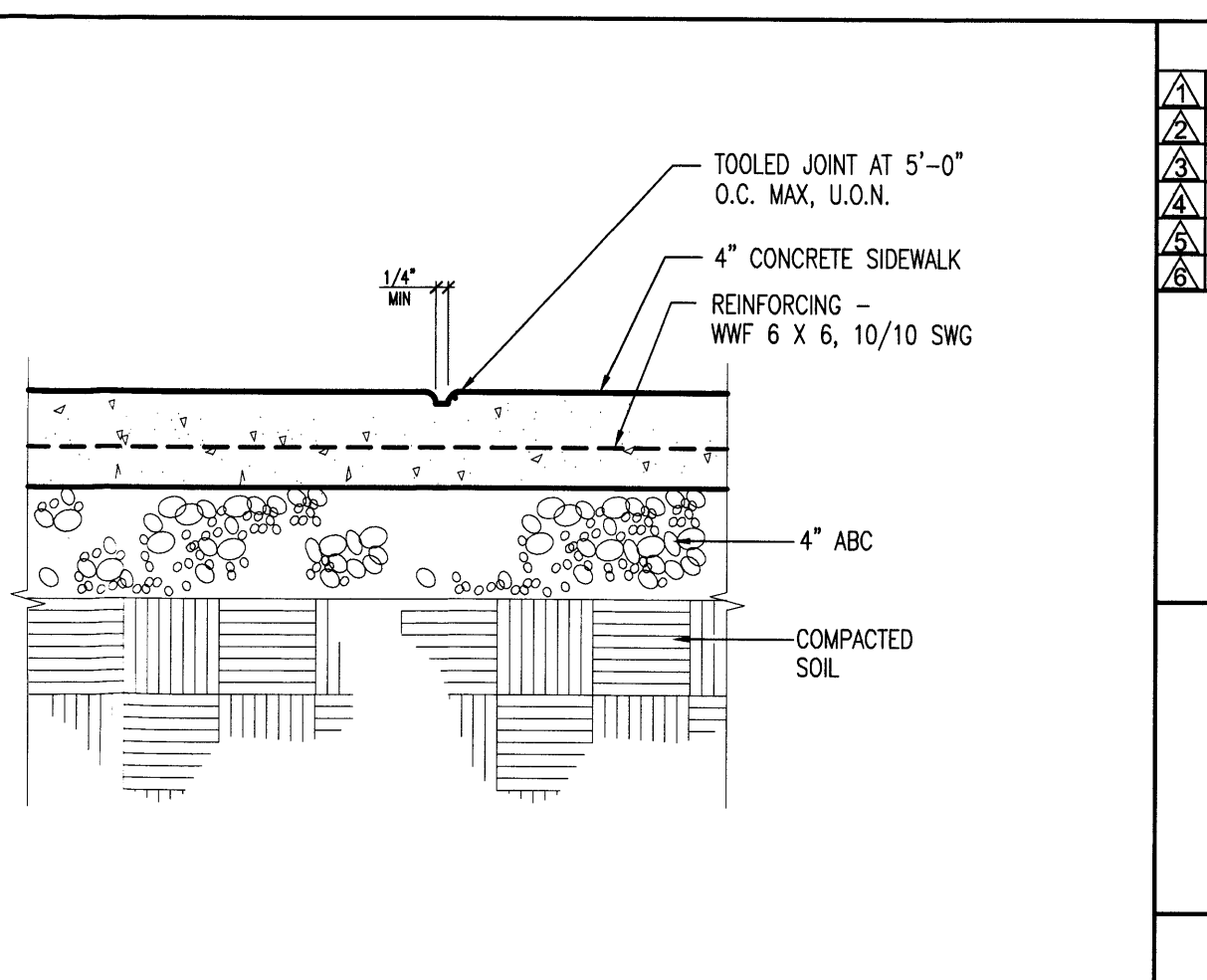
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CVL0119A



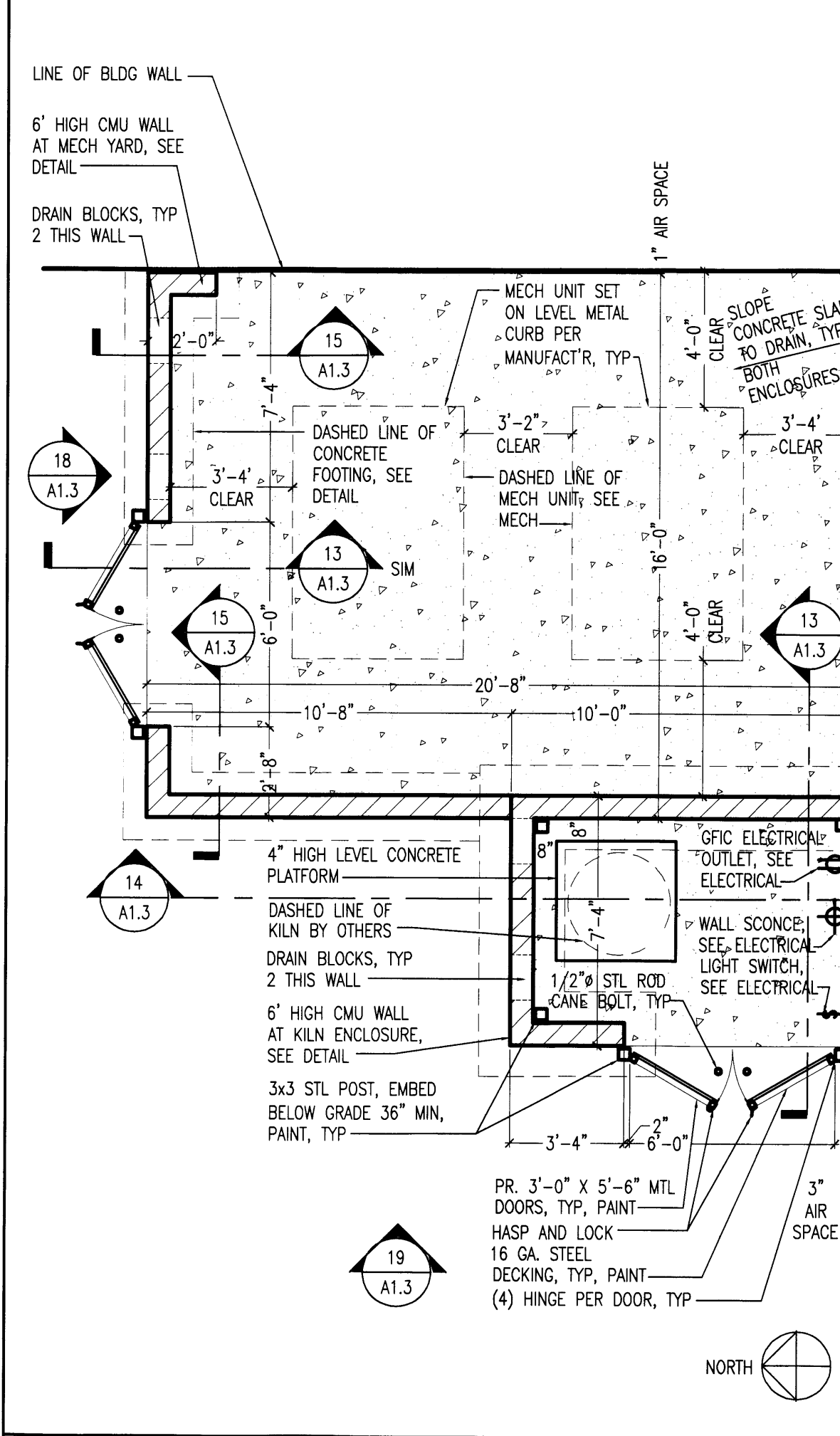
3 CANE BOLT
SCALE: 1/2"=1'-0"
CVL0106



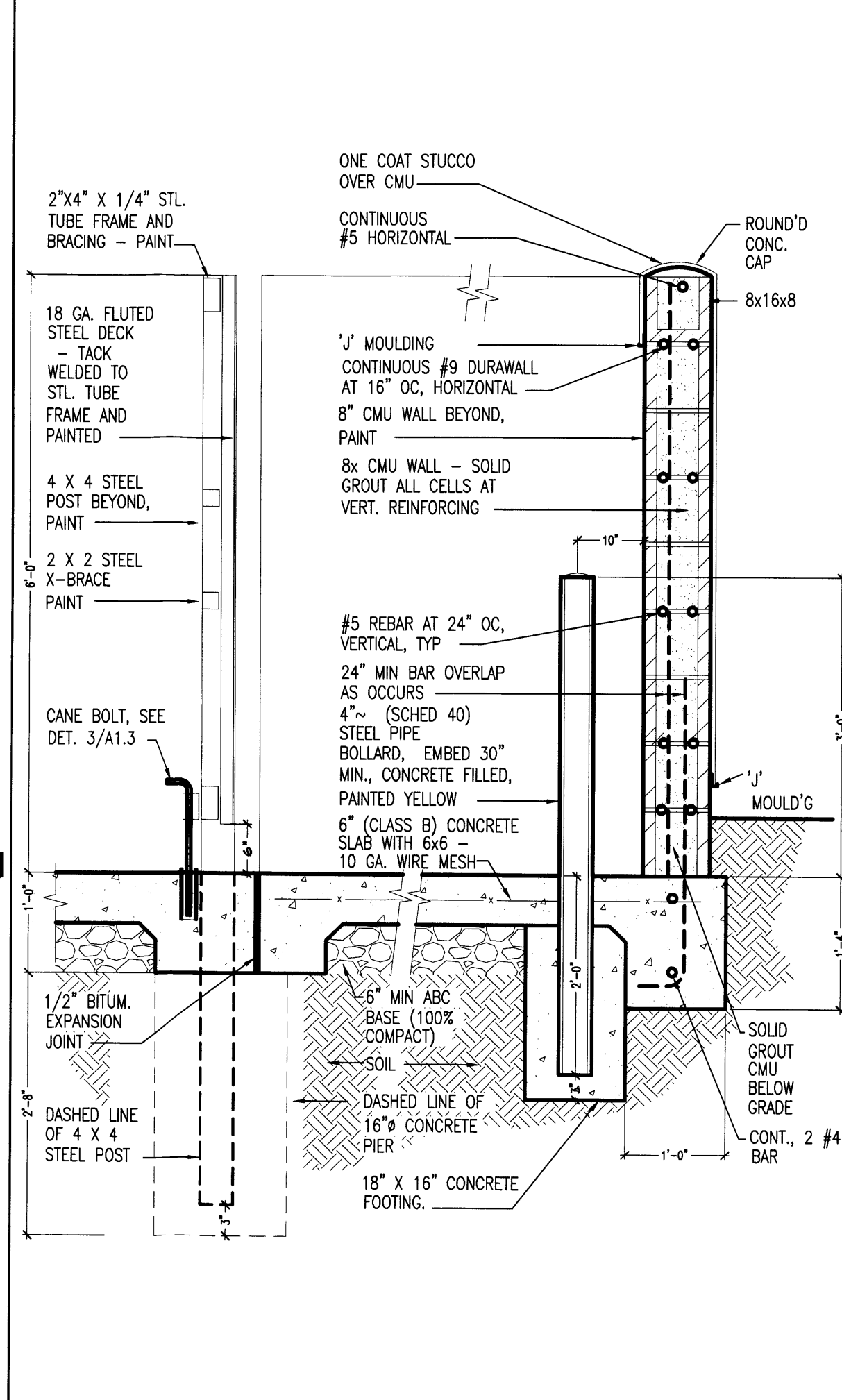
4 EXPANSION JOINT
SCALE: 1/2"=1'-0"
CVL0100



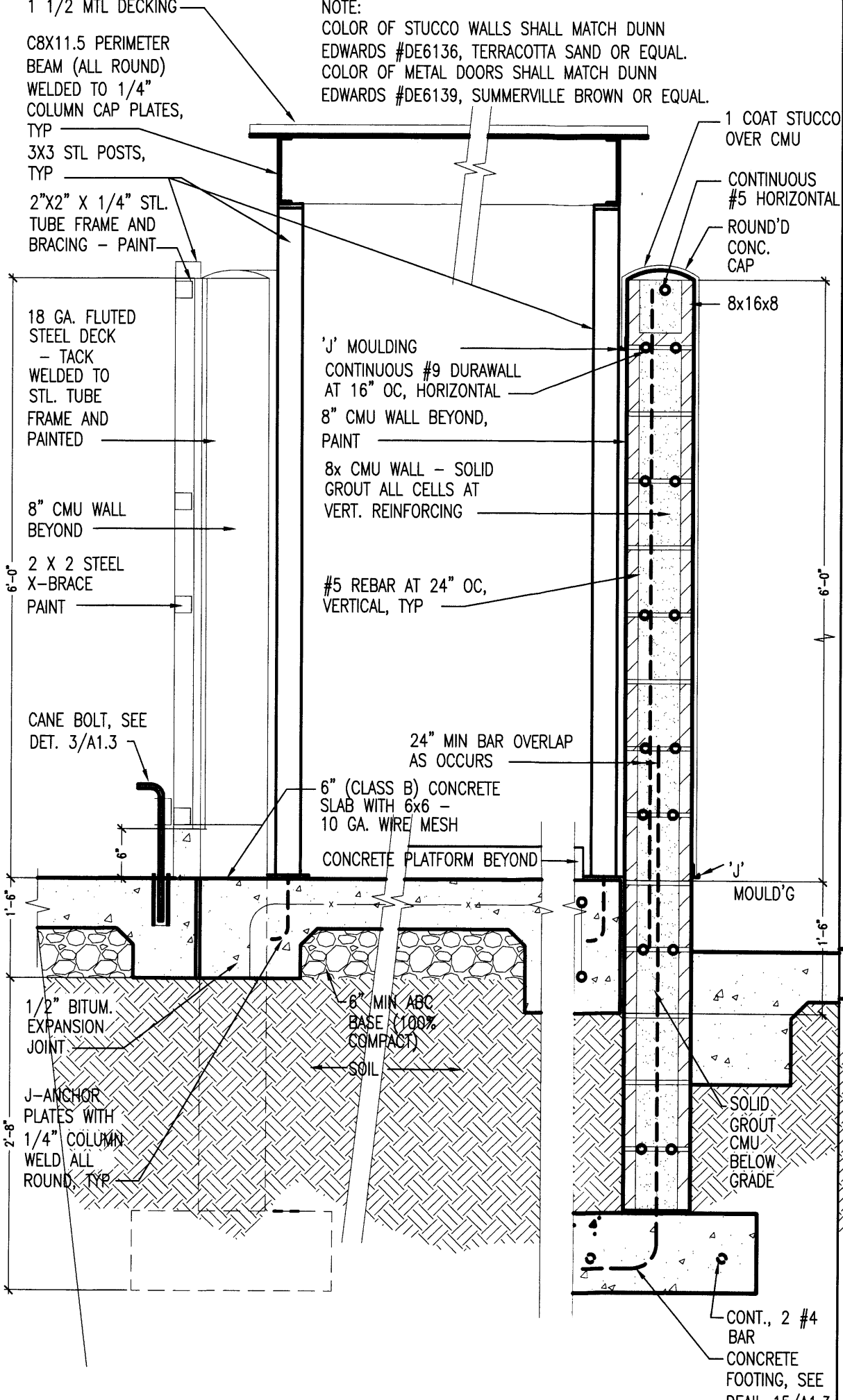
5 TOOLED JOINT
SCALE: 1/2"=1'-0"
CVL0101



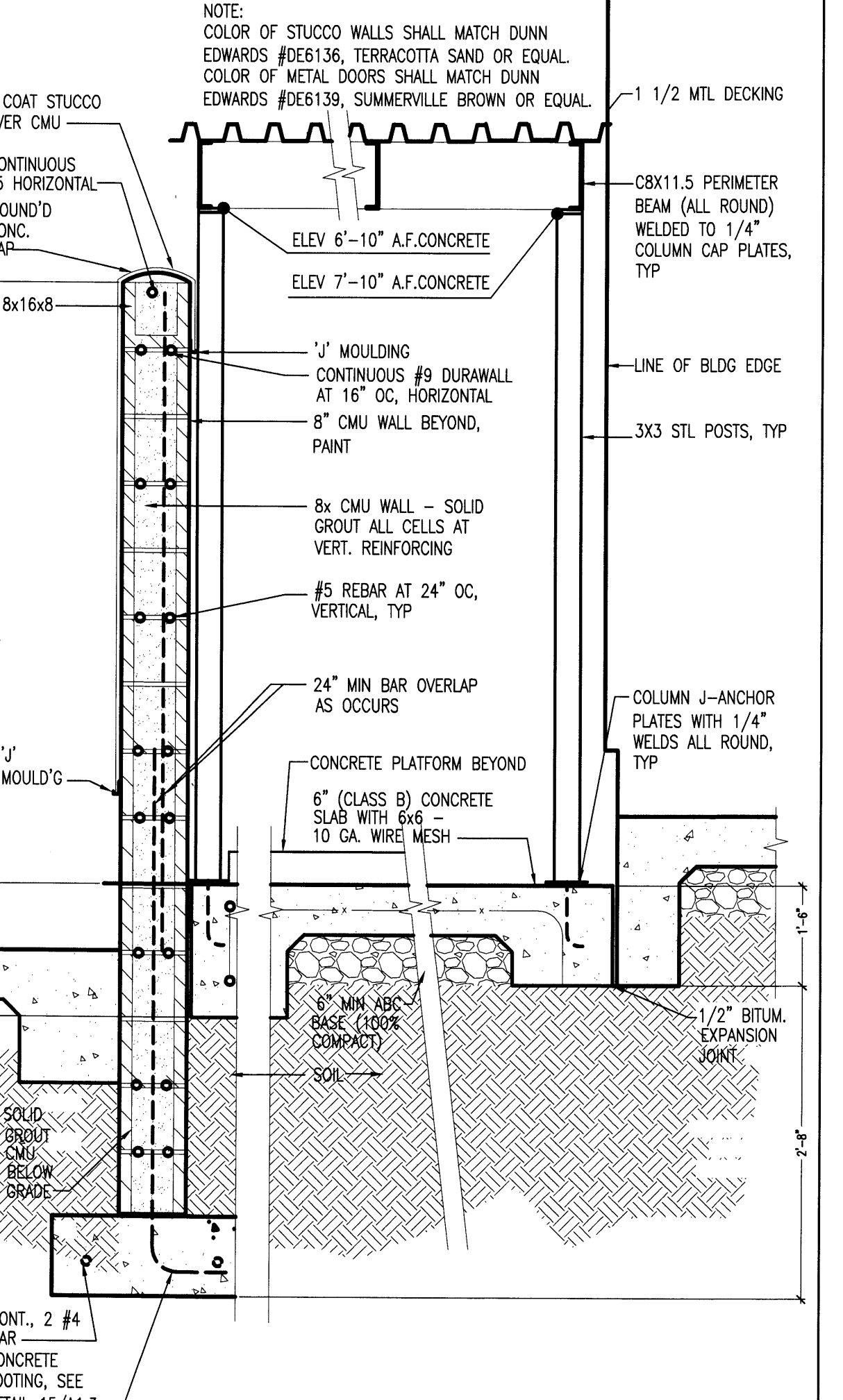
11 MECH YARD/KILN ENCLOSURE PLAN
SCALE: 1/4"=1'-0"
XC0117



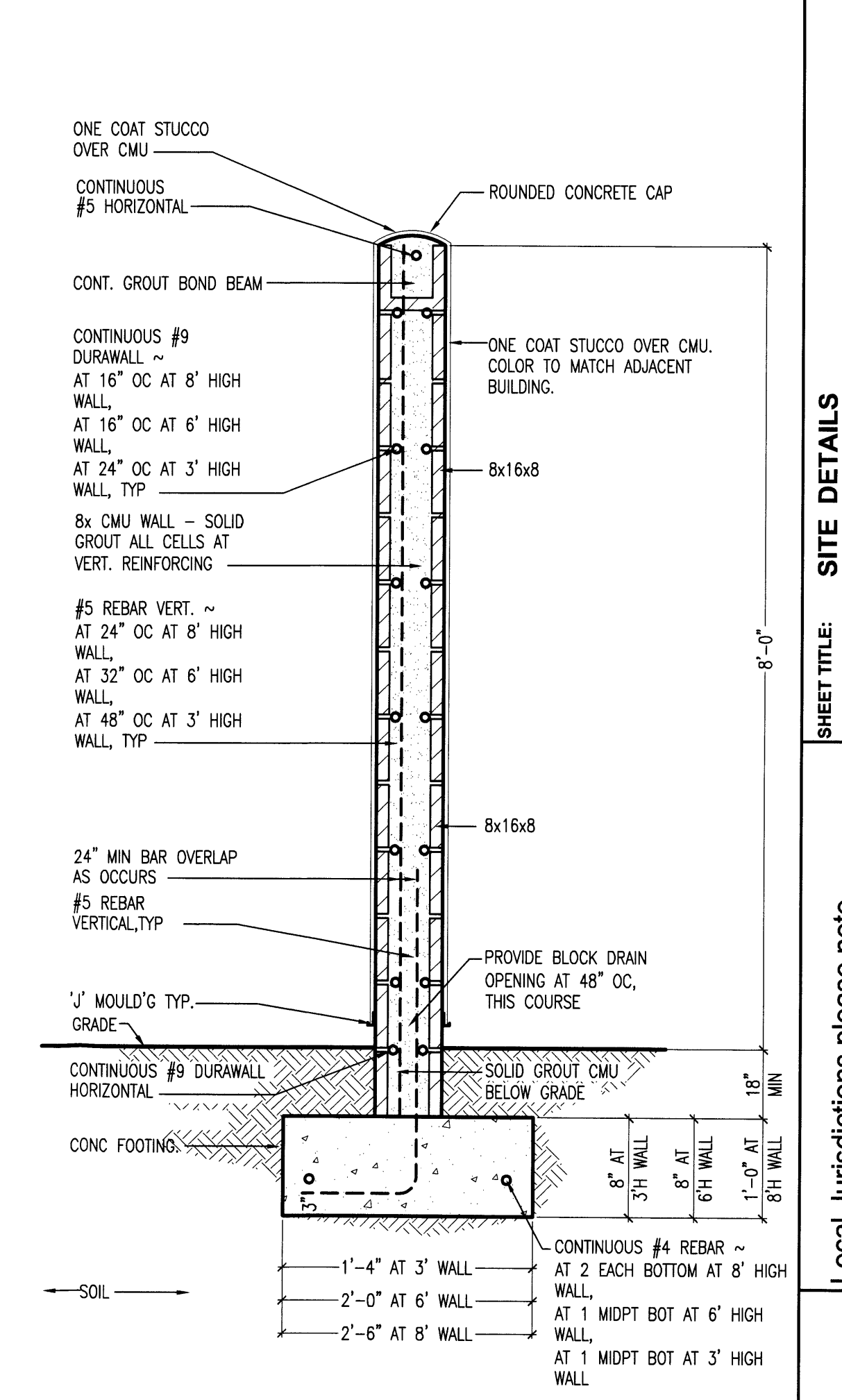
12 TRASH ENCLOSURE SECTION
SCALE: 3/4"=1'-0"
CVL0105



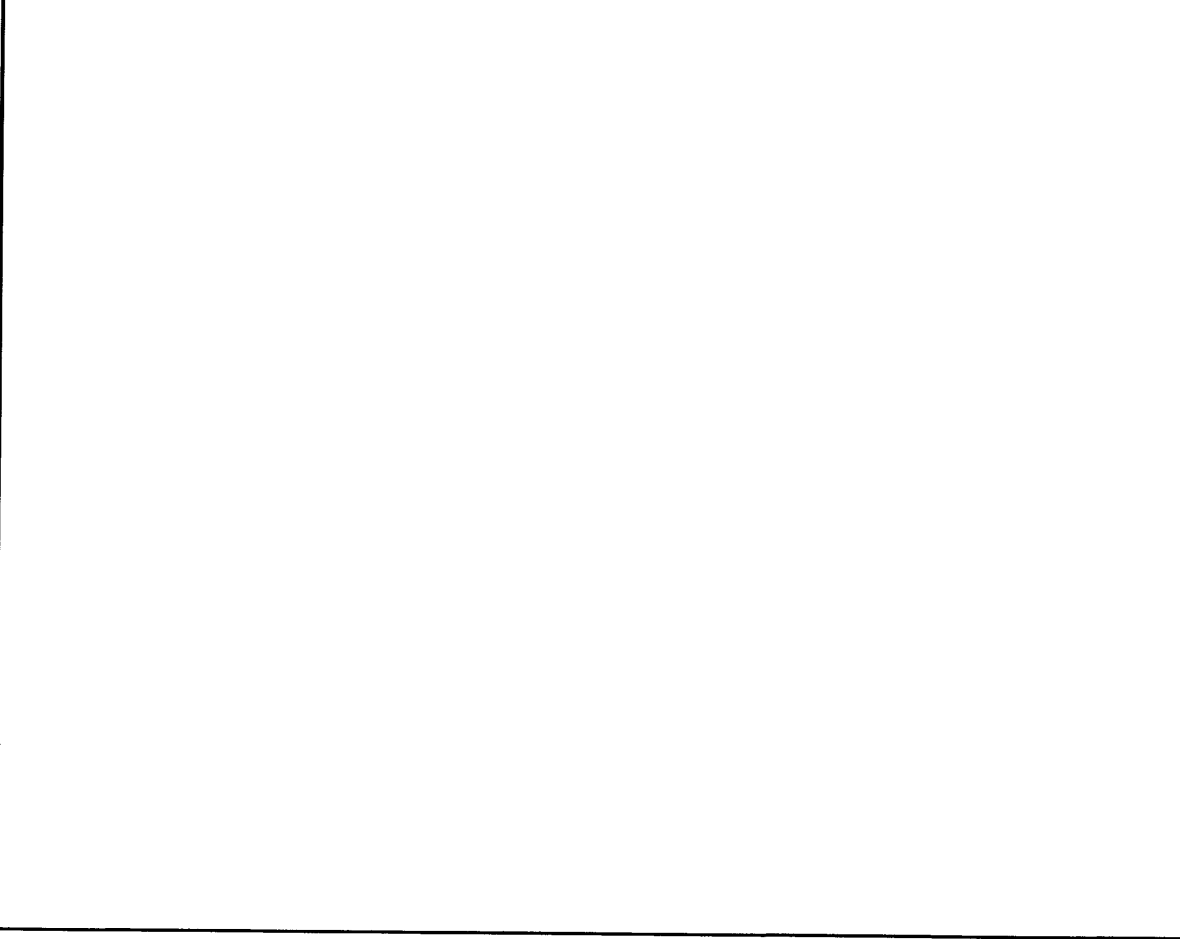
13 KILN ENCLOSURE SECTION
SCALE: 3/4"=1'-0"
CVL0105A



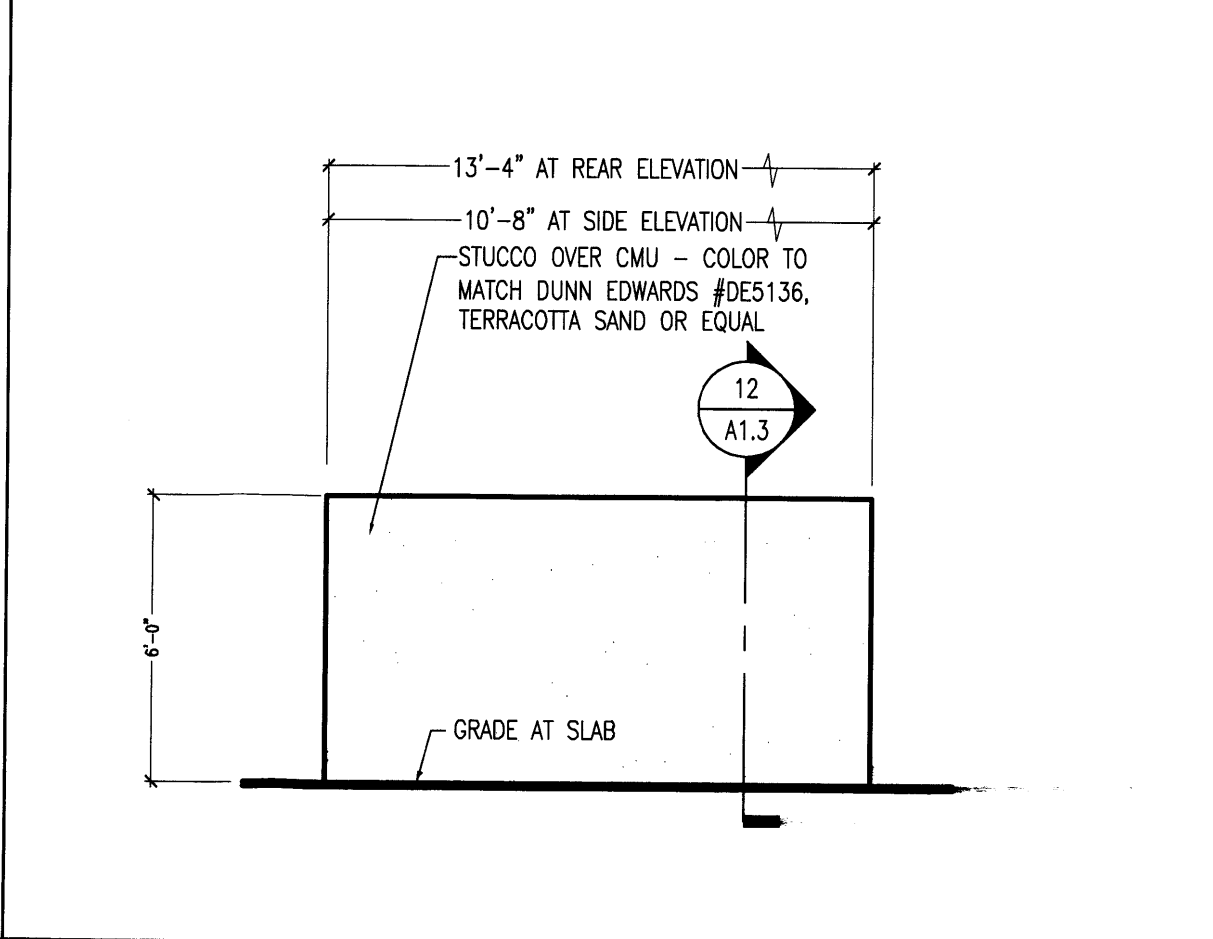
14 KILN ENCLOSURE SECTION
SCALE: 3/4"=1'-0"
CVL0118



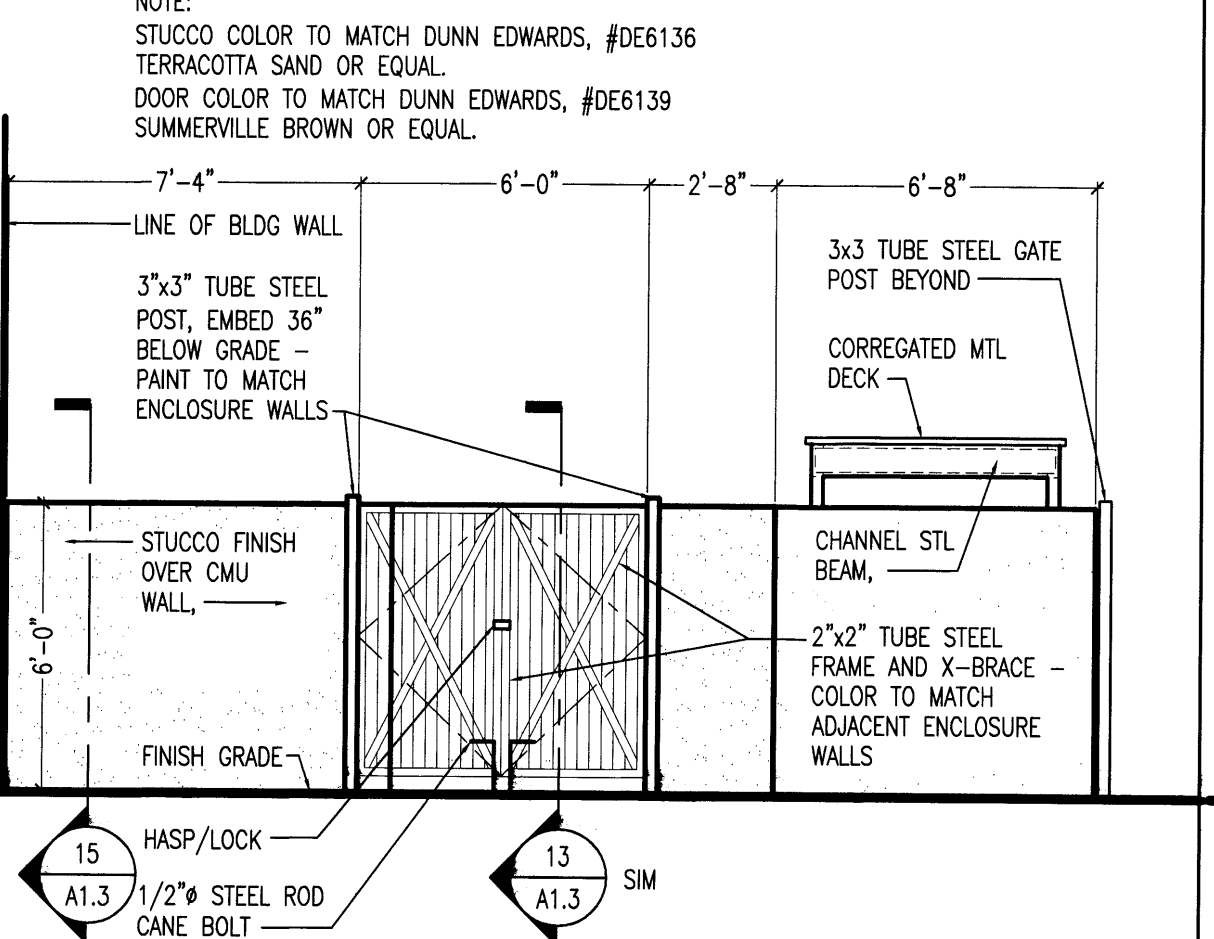
15 CMU SCREEN WALL
SCALE: 3/4"=1'-0"
CVL0140



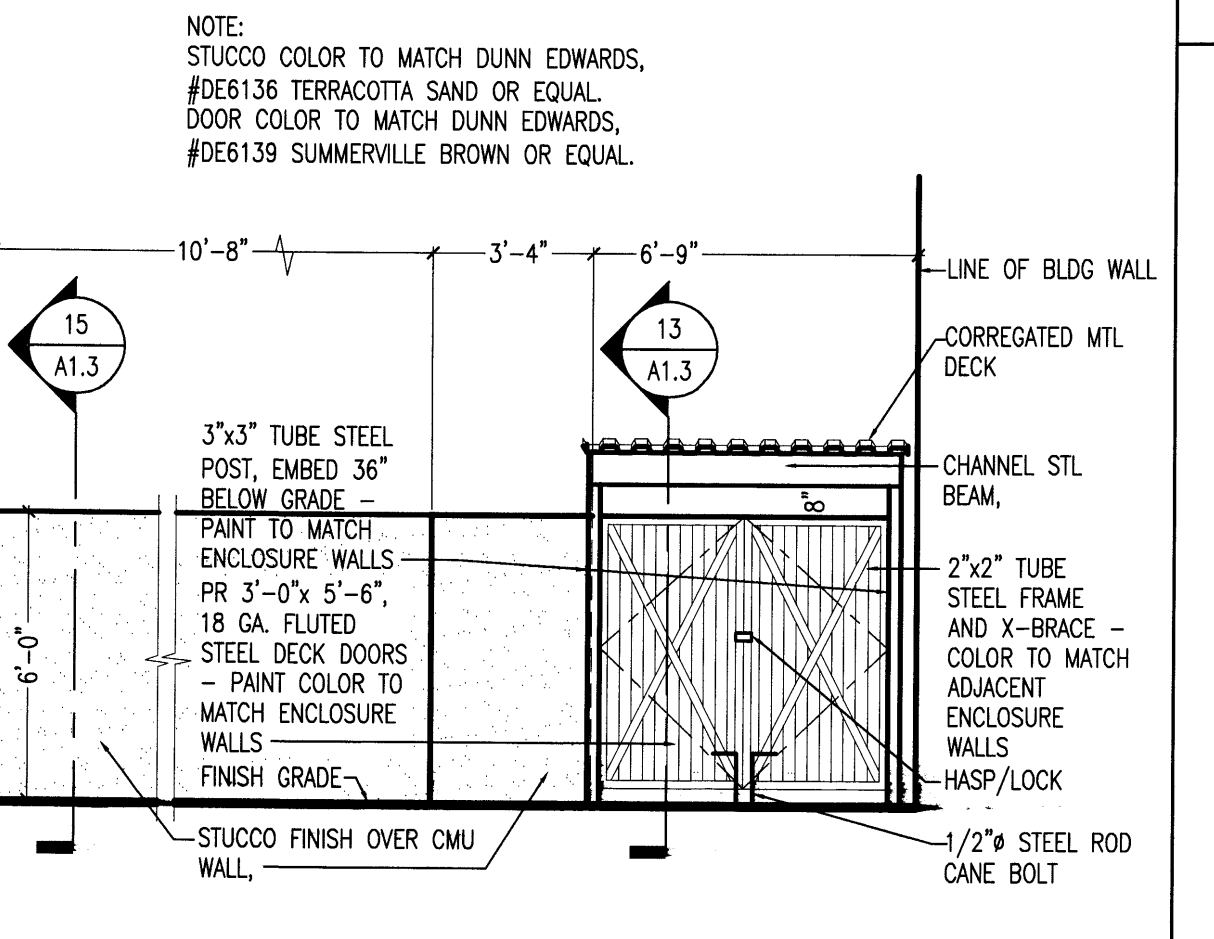
16 TRASH ENCLOSURE
SCALE: 1/4"=1'-0"
CVL0118A



17 TRASH ENCLOSURE
SCALE: 1/4"=1'-0"
CVL0118A



18 MECH YARD/KILN ELEVATION
SCALE: 1/4"=1'-0"
CVL0102



19 MECH YARD/KILN ELEVATION
SCALE: 1/4"=1'-0"
CVL0104

REVISIONS:

1	CITY REVISION 063008
---	----------------------

SHEET TITLE: SITE DETAILS

PROJECT:
HORIZON ACADEMY WEST
MODULAR ADDITION
3021 TODOS SANTOS STREET NORTHWEST
ALBUQUERQUE, NEW MEXICO 87120

Local Jurisdictions please note.
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22425 NORTH 16TH STREET
PHOENIX, ARIZONA 85024
TEL: 602-268-2800
FAX: 602-268-2800

JURISDICTIONAL AGENCY APPROVAL STAMP

PROJECT: 809
DATE: 11-09-12
DRAWN: JD/BI
CONTACT: BG
SCALE: PER DETAIL
SHEET:

A1.3

PROGRESS: ISSUED

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

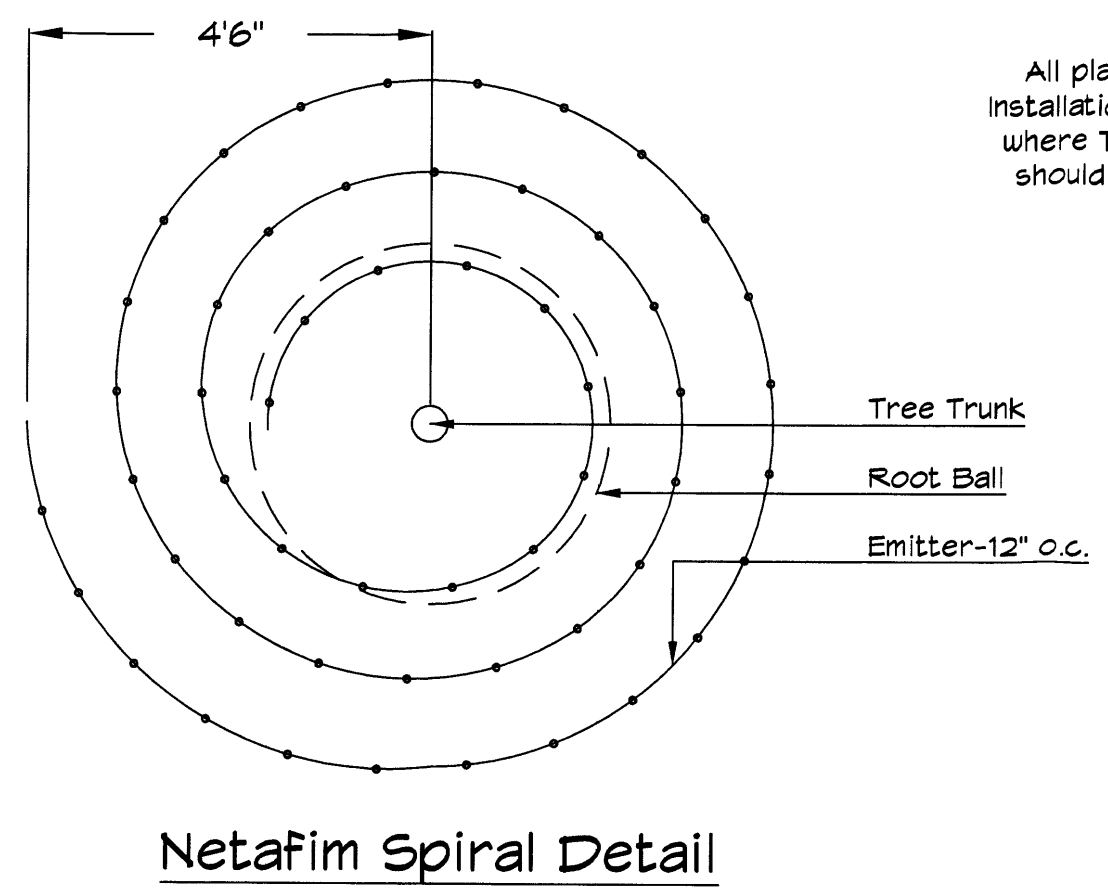
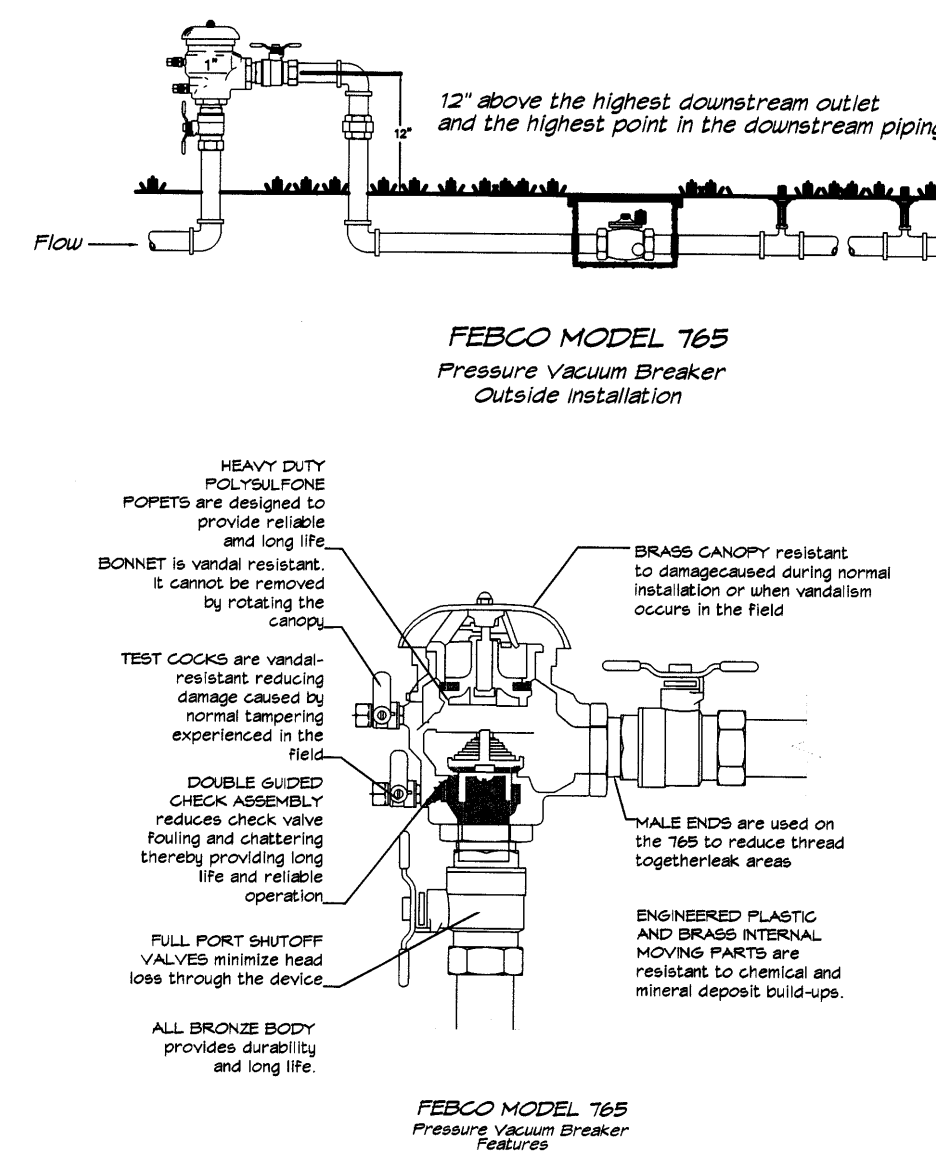
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	149326	square feet
TOTAL BUILDINGS AREA	40551	square feet
NET LOT AREA	108775	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	16316	square feet
TOTAL NEW BED PROVIDED	10760 (28%)	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	8070	square feet
TOTAL GROUND COVER PROVIDED	8196	square feet
TOTAL EXISTING BED	9117 (24%)	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL NATIVE SEED AREA	18151 (48%)	square feet
TOTAL LANDSCAPE PROVIDED	38028 (35%)	square feet



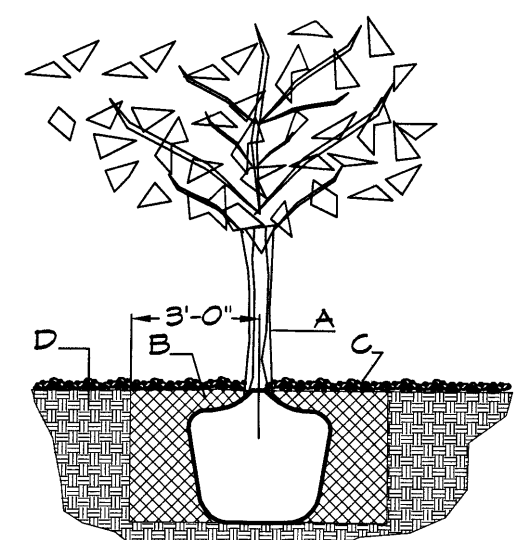
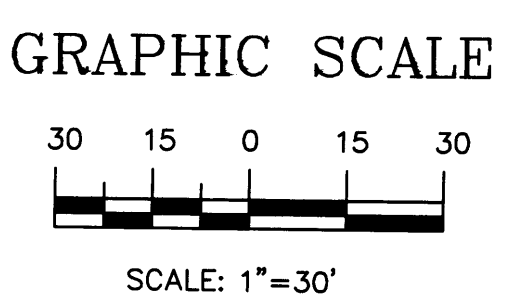
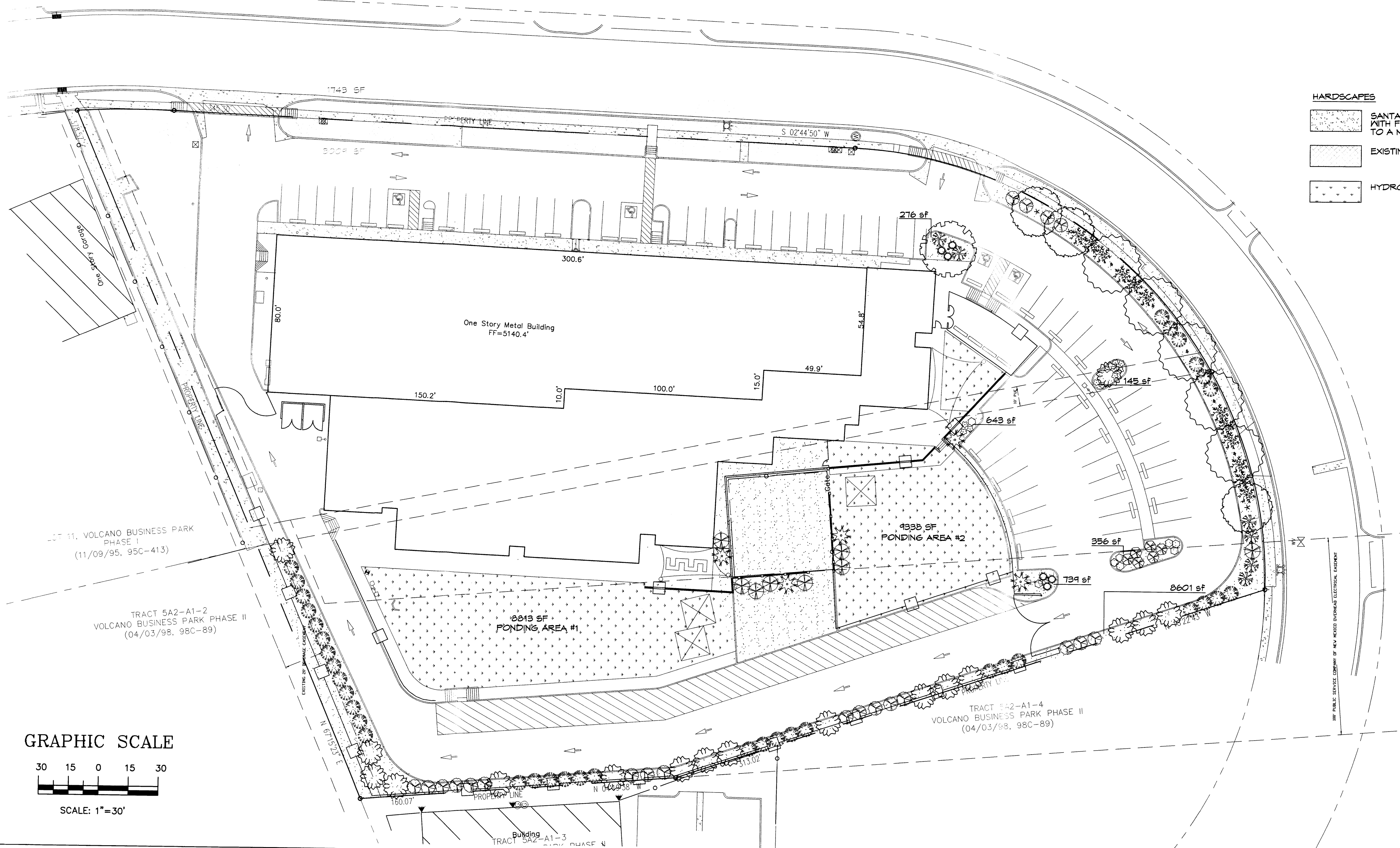
PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant. * DENOTES EVERGREEN PLANT MATERIAL.

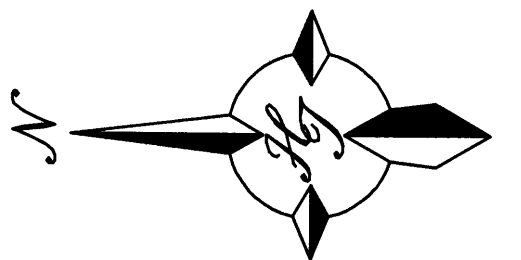
- JAPANESE PAGODA TREE 5
Euphoria japonica
2" Gal., 12-14" Inst./35' x 35' maturity
Water (M) Allergy (L) 0sf
- CHITALPA 1
Chilopsis x Catalpa
12" Gal., 12-14" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- EASTERN REDBUD 3
Cercis canadensis
2" Gal., 10" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- SHRUBS/ORNAMENTAL GRASSES
- DESERT WILLOW SHRUB 10
Chilopsis linearis
15 Gal., 4-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
- ROSE OF SHARON 5
Hibiscus syriacus
5 Gal., 2-4" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- * INDIAN HAWTHORN 6
Raphiolepis indica
5 Gal., 18-3" Inst./6' x 6' maturity
Water (M) Allergy (L) 36sf
- * SCOTCH BROOM 6
Cytisus scoparius
5 Gal., 18-3" Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
- POTENTILLA 6
Potentilla fruticosa
1 Gal., 3-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf
- CATMINT 8
Nepeta mussini
1 Gal., 3-15" Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf
- * LADY BANK'S ROSE 6
Rosa banksiae
5 Gal., 24-4" Inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked Groundcover
- * HONEYSUCKLE 21
Lonicera japonica 'Halliana'
1 Gal., 8-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked Groundcover
- * GREYLEAF COTONEASTER 12
Cotoneaster glaucophyllus
5 Gal., 24-4" Inst./2' x 9' maturity
Water (M) Allergy (L) 81sf
- * BUFFALO JUNIPER 37
Juniperus sabin 'Buffalo'
5 Gal., 24-4" Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf
- * GREEN MOUND JUNIPER 8
Juniperus procumbens 'Green Mound'
1 Gal., 6-15" Inst./8' x 8' maturity
Water (L+) Allergy (H) 64sf

- HARDSCAPES
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- EXISTING LANDSCAPING TO REMAIN
- HYDROSEEDED TURF

- GROUNDCOVERS
- * LADY BANK'S ROSE 6
- * HONEYSUCKLE 21
- * GREYLEAF COTONEASTER 12
- * BUFFALO JUNIPER 37
- * GREEN MOUND JUNIPER 8



- TREE PLANTING DETAIL**
- NTS
- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
 - BACKFILL WITH EXISTING SOIL.
 - 3" DEPTH OF GRAVEL MULCH.
 - UNDISTURBED SOIL.



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
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Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

REVISIONS:

- 4-25-12 Site Rev. cmj
- 5-24-12 COA COMMENTS
- 6-4-12 COA COMMENTS
- 6-12-12 COA COMMENTS
- 7-25-12 TB comments

SEAL: CRAIG E. SOLETHNER, LANDSCAPE ARCHITECT

SHEET TITLE: LANDSCAPE PLAN

PROJECT: HORIZON ACADEMY WEST ELEMENTARY CHARTER SCHOOL 3021 TODOS SANTOS STREET NORTHWEST ALBUQUERQUE, NEW MEXICO 87120

ACT PROJECT MANAGER APPROVAL FOR CONSTRUCTION:

22425 NORTH 16TH STREET L PHOENIX, ARIZONA 85024 TEL: 602-272-2900 FAX: 602-286-2000

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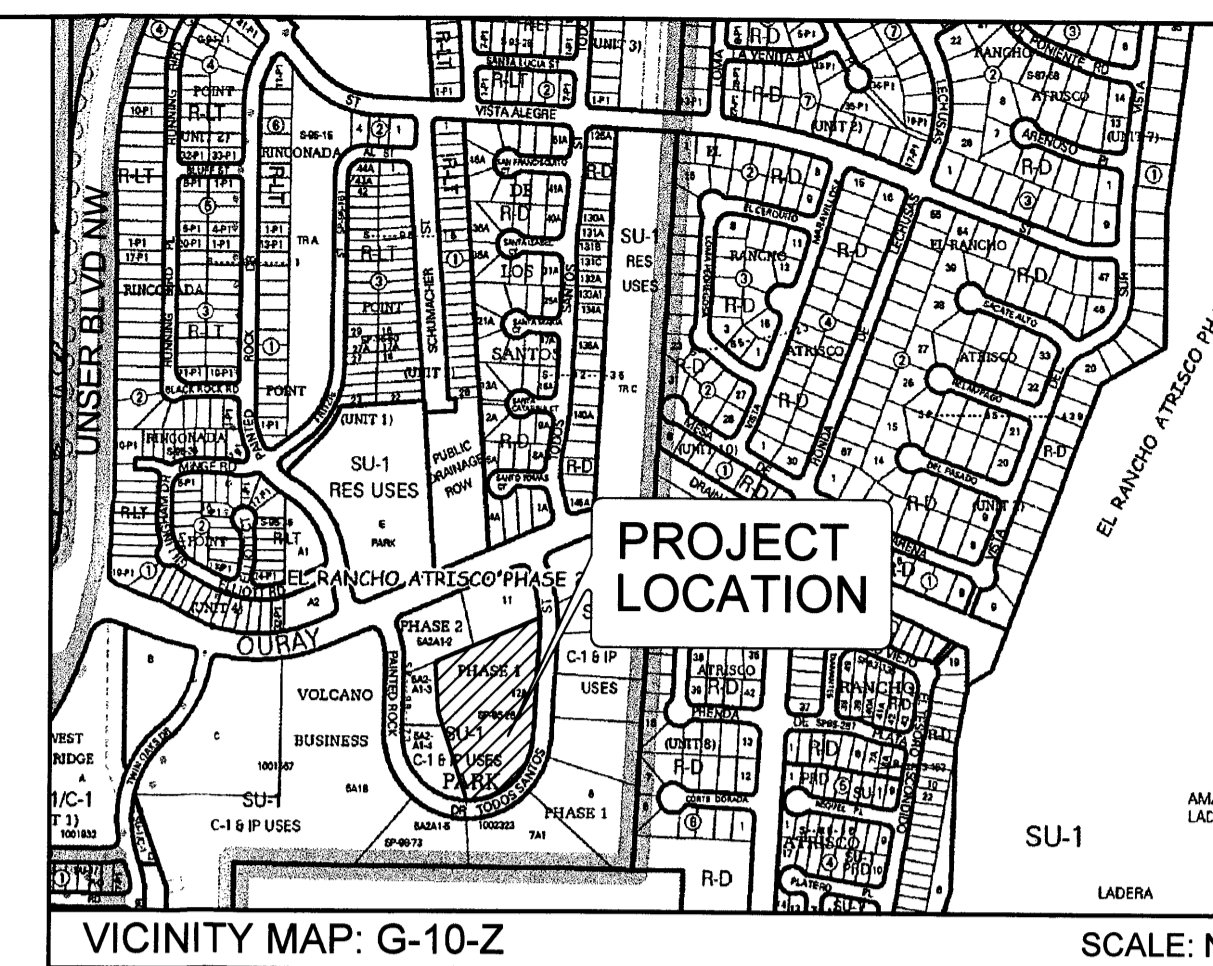
PROJECT: 809
DATE: 3-22-12
DRAWN: CMJ
CONTACT: BG
SCALE: AS NOTED
SHEET:

L1.0

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT; CABQ #1004776

KEYED NOTES

- EXISTING CONCRETE CURB AND GUTTER.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT ROADWAY.
- EXISTING ASPHALT PAVEMENT TO BE CRACK SEALED AND OVERLAYED.
- EXISTING CONCRETE CURB.
- EXISTING CONCRETE VALLEY GUTTER.
- EXISTING UNIDIRECTIONAL HANDICAP RAMP.
- EXISTING CONCRETE DRIVEPAD.
- EXISTING TURNDOWN SIDEWALK.
- EXISTING PEDESTRIAN LINK TO PERIMETER SIDEWALK.
- EXISTING STAIRS TO REMAIN.
- EXISTING CONCRETE DRAINAGE CHANNEL.
- EXISTING CONCRETE POND SPILLWAY.
- REMOVE AND DISPOSE EXISTING ASPHALT RAMP.
- REMOVE AND DISPOSE EXISTING CONCRETE SLAB.
- CONSTRUCT NEW 6" CONCRETE SIDEWALK (PUBLIC).
- CONSTRUCT NEW 5" CONCRETE SIDEWALK SAW CUT EXISTING CONCRETE CURB TO PROVIDE ACCESSIBLE CONNECTION.
- CONSTRUCT NEW REFUSE ENCLOSURE. SEE SHEET C3
- CONSTRUCT 4" CONCRETE VALLEY GUTTER. SEE DETAIL D/C2
- PROVIDE 4" CURB BLOCKOUT AT VALLEY GUTTER.
- CONSTRUCT CONCRETE CURB AND GUTTER. SEE DETAILS SHEET C3
- CONSTRUCT NEW ASPHALT PAVEMENT.
- SAWCUT EXISTING ASPHALT TO LIMIT SHOWN.
- CONSTRUCT NEW HANDICAPPED ACCESS RAMP. SEE DETAIL D/C3
- CONSTRUCT NEW HANDICAPPED ACCESS RAMP. SEE DETAIL G/C3
- CONSTRUCT NEW HANDICAPPED ACCESS RAMP. SEE DETAIL H/C3
- PROVIDE HANDICAP AND ACCESSIBLE STRIPING AND SIGNAGE PER LOCAL CODES.
- INSTALL CONCRETE TIRE STOPS.
- CONSTRUCT CONCRETE SIDEWALK AND/OR FLAT WORK. SEE SITE PLAN.
- CONSTRUCT 12" CONCRETE DRIVEPAD. SEE DETAIL SHEET C2
- NO CURB THIS SECTION. TOP OF SIDEWALK MATCHES TOP OF CURB.
- CONSTRUCT NEW RETAINING WALL. SEE RETAINING WALL PLAN SHEETS C4 & C5.
- CONSTRUCT 18 INCH SIDEWALK CULVERT. SEE DETAILS SHEET C2
- CONSTRUCT CONCRETE POND OVERFLOW SPILLWAY. PER DETAIL C/C2
- CONSTRUCT 12 INCH STORM DRAIN. AT S=0.50%.
- CONSTRUCT AREA DRAIN PER DETAIL SEE SHEET C2.
- CONSTRUCT 6 INCH POND DRAINLINE.
- CONNECT 6 INCH DRAINLINE TO CHANNEL SIDEWALK. SEE DETAIL E/C2.
- LANDSCAPING. SEE LANDSCAPE PLAN.
- INSTALL END SECTION.
- INSTALL 45° BEND.
- INSTALL 90° BEND.
- INSTALL 1-45° BEND & 1-22.5° BEND.



REVISIONS:

NO.	DATE	DESCRIPTION

BRASHER & LORENZ
CONSULTING ENGINEERS
REGISTERED PROFESSIONAL ENGINEER
NO. 10647

GRADING AND DRAINAGE PLAN

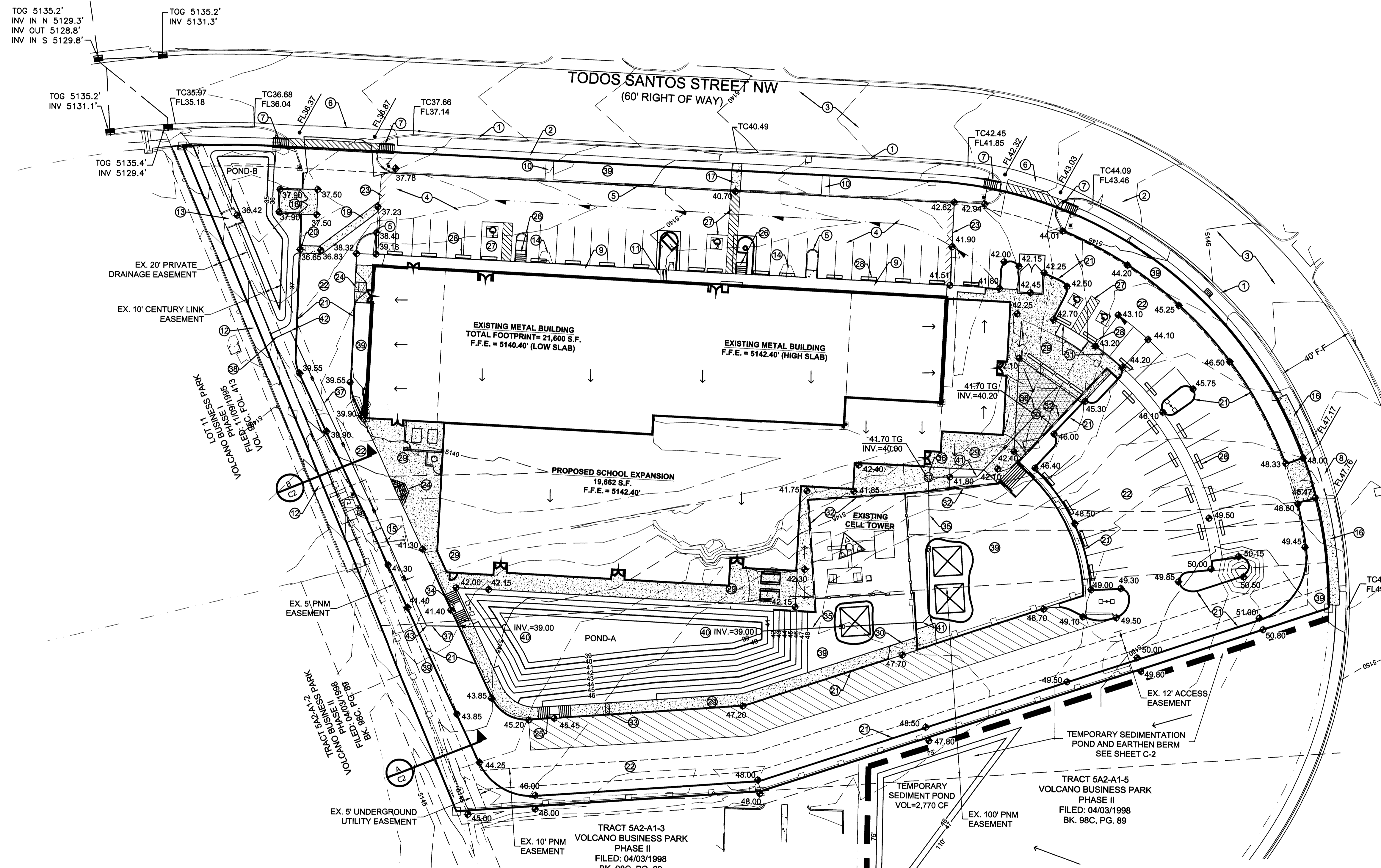
HORIZON ACADEMY WEST
3021 TODOS SANTOS STREET NORTHWEST
ALBUQUERQUE, NEW MEXICO 87120

22425 NORTH 16TH STREET
PHOENIX, ARIZONA 85024
PHONE: 602-998-2000
FAX: 602-998-2000

The accuracy of the data and calculations shown on this plan is the responsibility of the client. The accuracy of the data and calculations shown on this plan is the responsibility of the client. The accuracy of the data and calculations shown on this plan is the responsibility of the client.

LEGEND

ITEM	EXISTING	PROPOSED
PROPOSED SPOT ELEVATION	× 75.5	01.5 ◆
POWER POLE (GUYYED)	PP	PP
STORM DRAIN MANNHOLE	SM	SM
CONTOUR W/ ELEVATION	4992 ---	92 ---
EXISTING FINISHED FLOOR ELEVATION CHANGE	---	---
DIRECTION OF FLOW	←	←
DRAINAGE SWALE	---	---
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
PROPERTY LINE	---	---
CHAIN LINK FENCE	---	---
CURB	---	---
RETAINING WALL	---	---
CONCRETE SIDEWALK OR PAVEMENT	---	---
ASPHALT PAVEMENT	---	---



PROJECT DATA

SITE MAPPING:
TOPOGRAPHIC SURVEY PREPARED BY CARTESIAN SURVEYS, INC., FEBRUARY 2012

PROPERTY ADDRESS:
3021 TODOS SANTOS STREET NW ALBUQUERQUE, NEW MEXICO 87108

LEGAL DESCRIPTION:
TRACT 12-A, VOLCANO BUSINESS PARK PHASE I

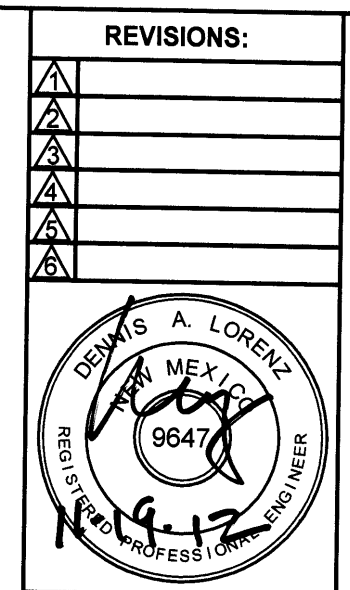
PROJECT BENCHMARK:
ACS MONUMENT "7_G9"
ELEVATION 5158.487 FEET 1988 NAVD
GROUND TO GRID FACTOR: 0.999680173
MAPPING ANGLE: -0.16 22.41
THE MONUMENT IS LOCATED INTERSECTION OF UNSER BLVD. AND ST. JOSEPH AVE., NW IN THE NW QUADRANT, ON THE CONT. TURN ISLAND AT MID POINT OF THE ARC ON THE SE NOSE OF ISLAND.

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are finished grade or top of pavement, unless noted otherwise.
- All landscaping shall be depressed 2" minimum. Where drainage flows are diverted through landscaping, see plan for elevations.

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-6088 Fax: (505) 888-6188

PROJECT: 12514
DATE: 11-12-12
DRAWN: JMT
CONTACT: DAL
SCALE:
SHEET:



SITE UTILITY PLAN

HORIZON ACADEMY WEST
3021 TODOS SANTOS STREET NORTHWEST
ALBUQUERQUE, NEW MEXICO 87120

22425 NORTH 16TH STREET
 PHOENIX, ARIZONA 85024
 TEL: 602-272-2000
 FAX: 602-298-2000

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PROJECT: 12514
 DATE: 11-12-12
 DRAWN: JMT
 CONTACT: DAL
 SCALE:
 SHEET:

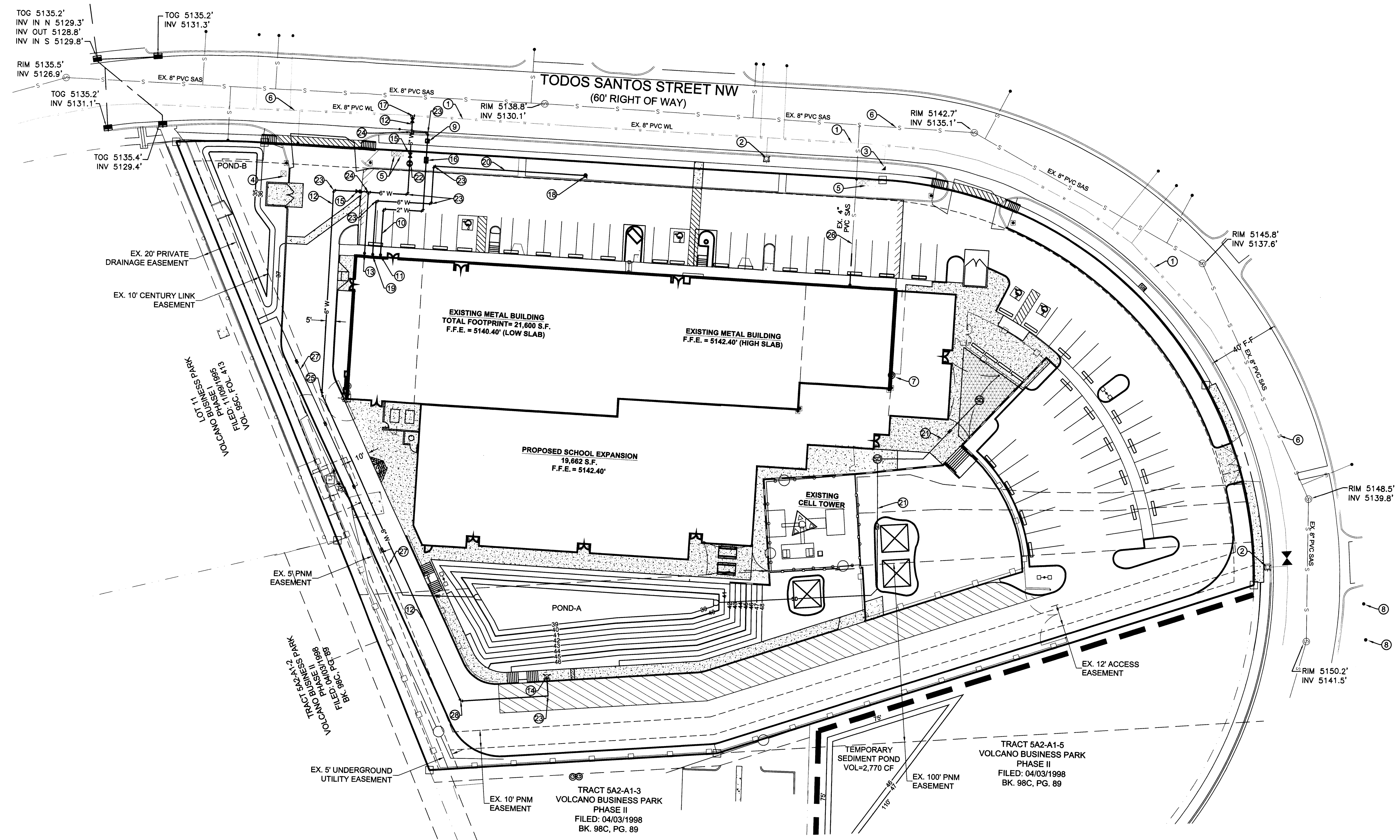
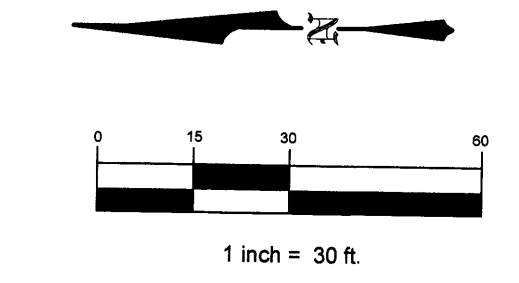
LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	--- 6"W ---	--- 6"W ---
SANITARY SEWER	--- 8"SAS ---	--- 8"SAS ---
STORM SEWER	--- 36"SD ---	--- 24" SD ---
FIRE HYDRANT		
VALVE		
WATER SERVICE (SINGLE)		
WATER SERVICE (DOUBLE)		
MANHOLE		
SEWER SERVICE		
POWER POLE (GUYED)		
DROP INLET		
OVERHEAD ELEC	OHE	OHE
UNDERGROUND TEL CABLE	TC	TC
UNDERGROUND ELEC.	UGE	UGE
GAS, TV	UGT	UGT
TEL. PEDESTAL	TEL	TEL
EASEMENT LINE	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---

GENERAL NOTES FOR UTILITIES

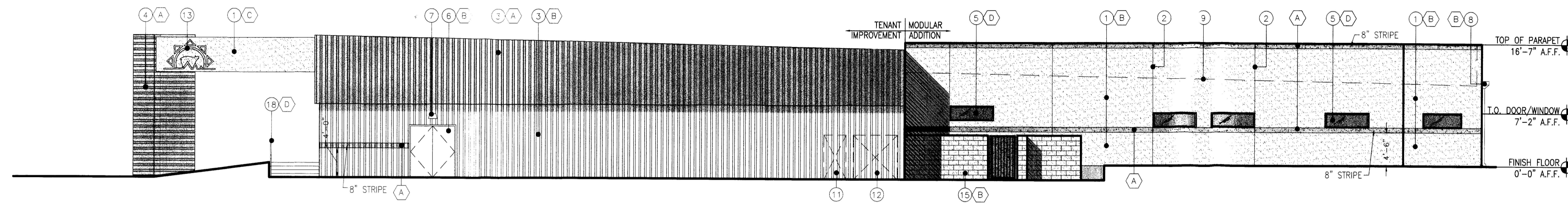
1. ALL WATER AND SANITARY SEWER SERVICE EXTENSIONS WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL STANDARDS AND CRITERIA.
2. ALL PRIVATE WATER AND SANITARY SEWER DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE, 2009 EDITION.
3. ALL DRY UTILITY SERVICE EXTENSIONS WILL BE DESIGNED AND CONSTRUCTED BY THE PROVIDERS.
4. THIS PLAN DOES NOT SPECIFY FIRE PROTECTION CRITERIA.

KEYED NOTES

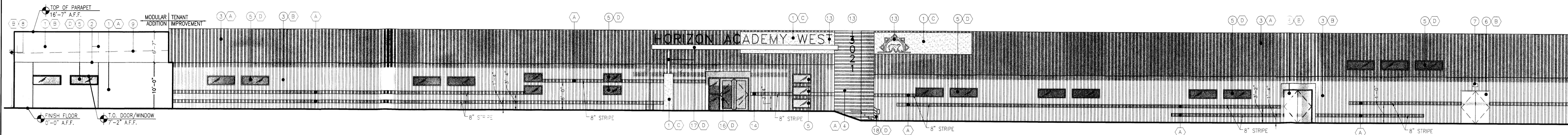
1. EXISTING 8 INCH WATER.
2. EXISTING FIRE HYDRANT
3. EXISTING WATER SERVICE TO BE UTILIZED FOR IRRIGATION. COORDINATE WITH OWNER.
4. EXISTING IRRIGATION BOX TO BE RELOCATED. SEE LANDSCAPE PLAN.
5. EXISTING IRRIGATION BOX TO REMAIN.
6. EXISTING 8 INCH SANITARY SEWER.
7. EXISTING GAS CONNECTION TO BE RELOCATED. COORDINATE WITH GAS PROVIDER.
8. EXISTING UTILITY POLE TO REMAIN.
9. NEW 2 INCH METERED WATER SERVICE. BY PUBLIC WORK ORDER.
10. CONSTRUCT NEW 2 INCH DOMESTIC WATER SERVICE LINE.
11. COORDINATE DOMESTIC WATER HANDOFF LOCATION WITH MEP.
12. CONSTRUCT NEW 6 INCH FIRE LINE.
13. COORDINATE FIRE LINE HANDOFF LOCATION WITH MEP.
14. CONSTRUCT NEW FIRE HYDRANT PER C.O.A. STD. DWG 2340.
15. INSTALL 6 INCH PRIVATE GATE VALVE AND VALVE BOX.
16. INSTALL 2 INCH BACKFLOW PREVENTER PER C.O.A. STD. DWG 2385.
17. 6 INCH TAP, 6 INCH GATE VALVE AND 6 INCH FIRE LINE IN PUBLIC R.O.W. BY PUBLIC WORK ORDER.
18. INSTALL FIRE DEPARTMENT CONNECTION.
19. COORDINATE FIRE BOOSTER LINE HANDOFF LOCATION WITH MEP.
20. CONSTRUCT NEW 6 INCH FIRE BOOSTER WATER LINE.
21. CONSTRUCT 12 INCH STORM DRAIN. SEE SHEET C-1
22. INSTALL POST INDICATOR VALVE.
23. INSTALL 6 INCH 90° BEND.
24. INSTALL 6 INCH TEE.
25. INSTALL 6 INCH 30° BEND.
26. EXISTING 4 INCH SANITARY SEWER SERVICE TO REMAIN.
27. CONSTRUCT 6 INCH STORM DRAIN. SEE SHEET C1.
28. INSTALL 6 INCH 45° BEND AND 22.5° BEND.



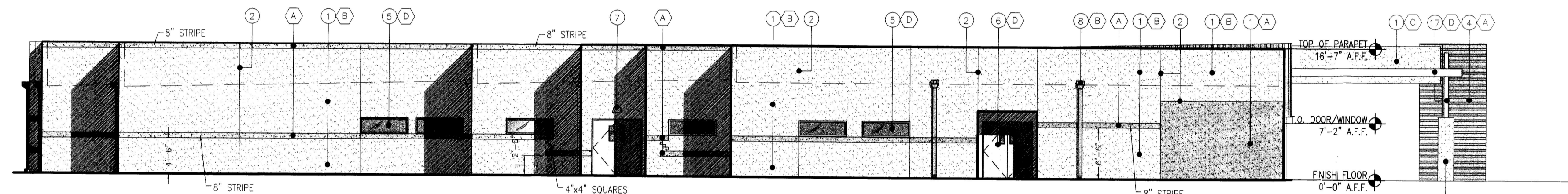
BRASHER & LORENZ
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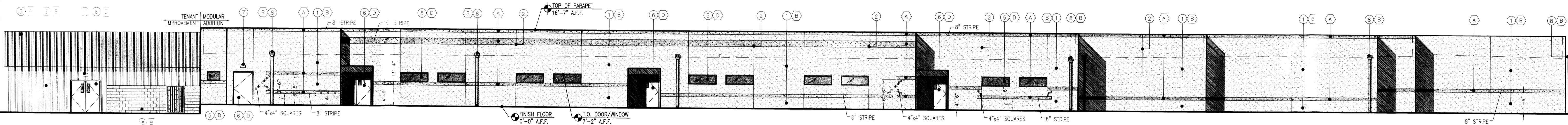
1 EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - EAST
SCALE: 3/32" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



4 EXTERIOR ELEVATION - WEST
SCALE: 3/32" = 1'-0"

COLOR SCHEDULE:

(A)	COLOR TO MATCH DUNN EDWARDS, #DE6139 - SUMMERVILLE BROWN (DARK BROWN)
(B)	COLOR TO MATCH DUNN EDWARDS, #DE6136 - TERRACOTTA SAND (LIGHT BEIGE)
(C)	COLOR TO MATCH DUNN EDWARDS #DE6192 - NOMADIC TAUPE
(D)	COLOR TO MATCH DUNN EDWARDS #DEA136 - BEAUTIFUL BLUE

KEYNOTES:

① FULLY SYNTHETIC EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.), THE SYSTEM TO BE FINISHED ON SITE.	⑪ EXISTING PHONE CABINET
② V-JOINT REVEAL	⑫ EXISTING SERVICE ENTRANCE SECTION
③ EXISTING METAL SIDING	⑬ SIGNAGE / SCHOOL LOGO BY OTHERS
④ NEW METAL SIDING (MATCH EXISTING)	⑭ FIRE DEPARTMENT KNOX BOX - LOCATION VERIFIED WITH THE CITY OF ALBUQUERQUE FIRE DEPARTMENT.
⑤ ALUMINUM WINDOW - SEE SCHEDULE	⑮ MECHANICAL & KILN ENCLOSURE - SEE SITE DETAILS
⑥ HOLLOW METAL DOOR - SEE SCHEDULE	⑯ ALUMINUM STOREFRONT ASSEMBLY - SEE SCHEDULE
⑦ WALL MOUNTED LIGHT	⑰ STEEL BEAM / COLUMN
⑧ ROOF SCUPPER / DOWNSPOUT	⑱ EXISTING HANDRAIL
⑨ ROOF LINE	
⑩ MECHANICAL UNIT	

REVISIONS:

NOT FOR PRELIMINARY CONSTRUCTION

SHEET TITLE: EXTERIOR ELEVATIONS
PROJECT: HORIZON ACADEMY WEST MODULAR ADDITION
3021 TODOS SANTOS STREET NORTHWEST ALBUQUERQUE, NEW MEXICO 87120
ACT PROJECT MANAGER APPROVAL FOR CONSTRUCTION:

Local Jurisdictions please note.
 This building is under the jurisdiction of the State of New Mexico, Construction Industries / Manufactured Housing Division Regulations and Licensing Department. Review, approval and inspections of the building are the sole responsibility of this Agency.

22425 NORTH 16TH STREET
 PHOENIX, ARIZONA 85024
 TEL: 602-998-2000
 FAX: 602-998-2000

AGGREGATED TECHNOLOGIES

PROJECT: 809
DATE: 11-09-12
DRAWN: JD/BI
CONTACT: BG
SCALE: AS NOTED
SHEET:

A3.1

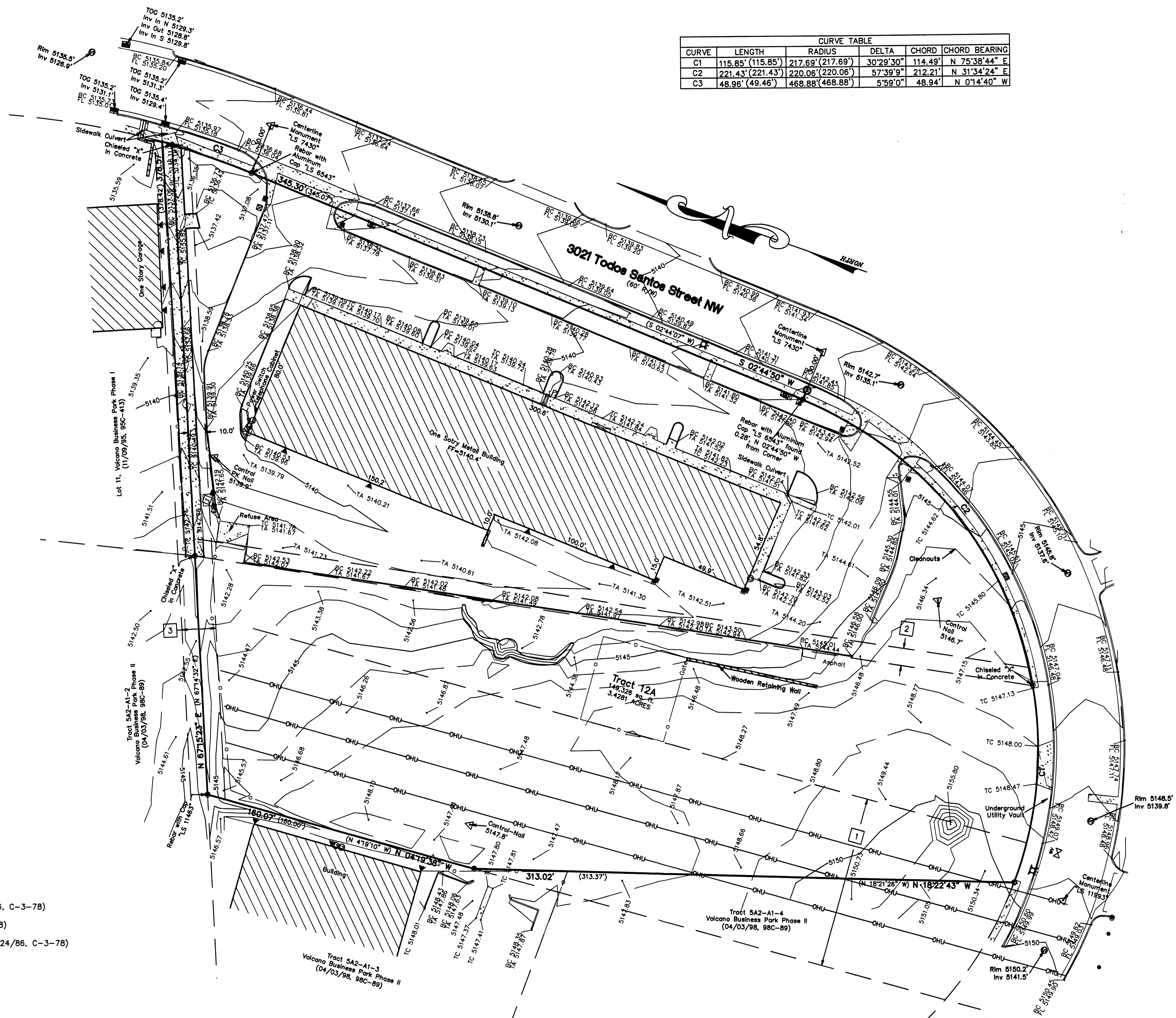
PROGRESS: ISSUED

**Boundary Survey
and
ALTA/ACSM Land Title Survey
and
Topographic Map
for
Tract 12A
Volcano Business Park Phase I
City of Albuquerque
Bernalillo County, New Mexico
February 2012**

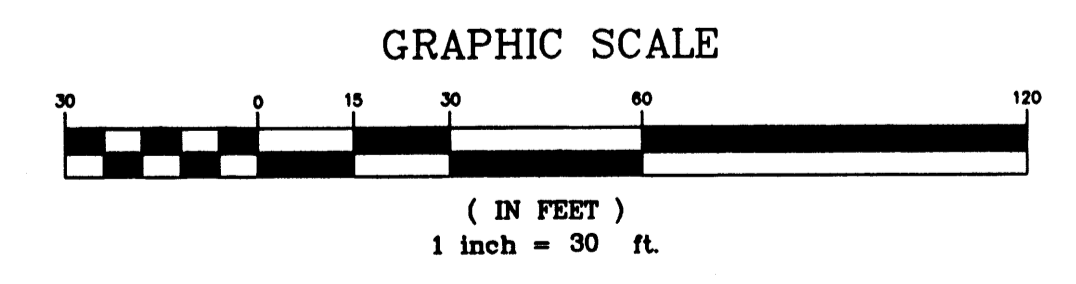
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	115.85' (115.85')	217.69' (217.69')	30°29'30"	114.49'	N 75°38'44" E
C2	221.43' (221.43')	220.06' (220.06')	57°39'9"	212.21'	N 31°34'24" E
C3	48.96' (49.46')	468.88' (468.88')	5°59'0"	48.94'	N 0°14'40" W

Legend

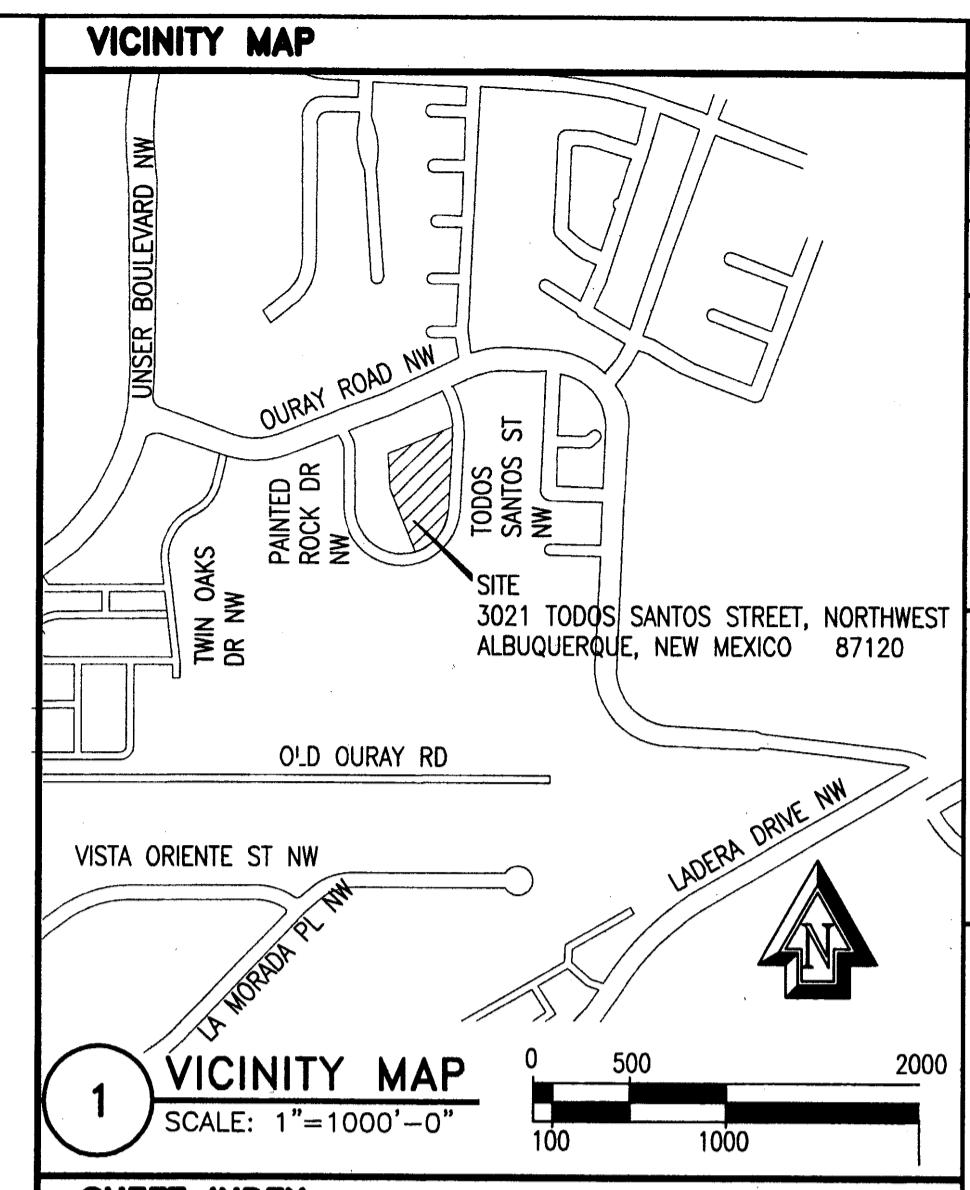
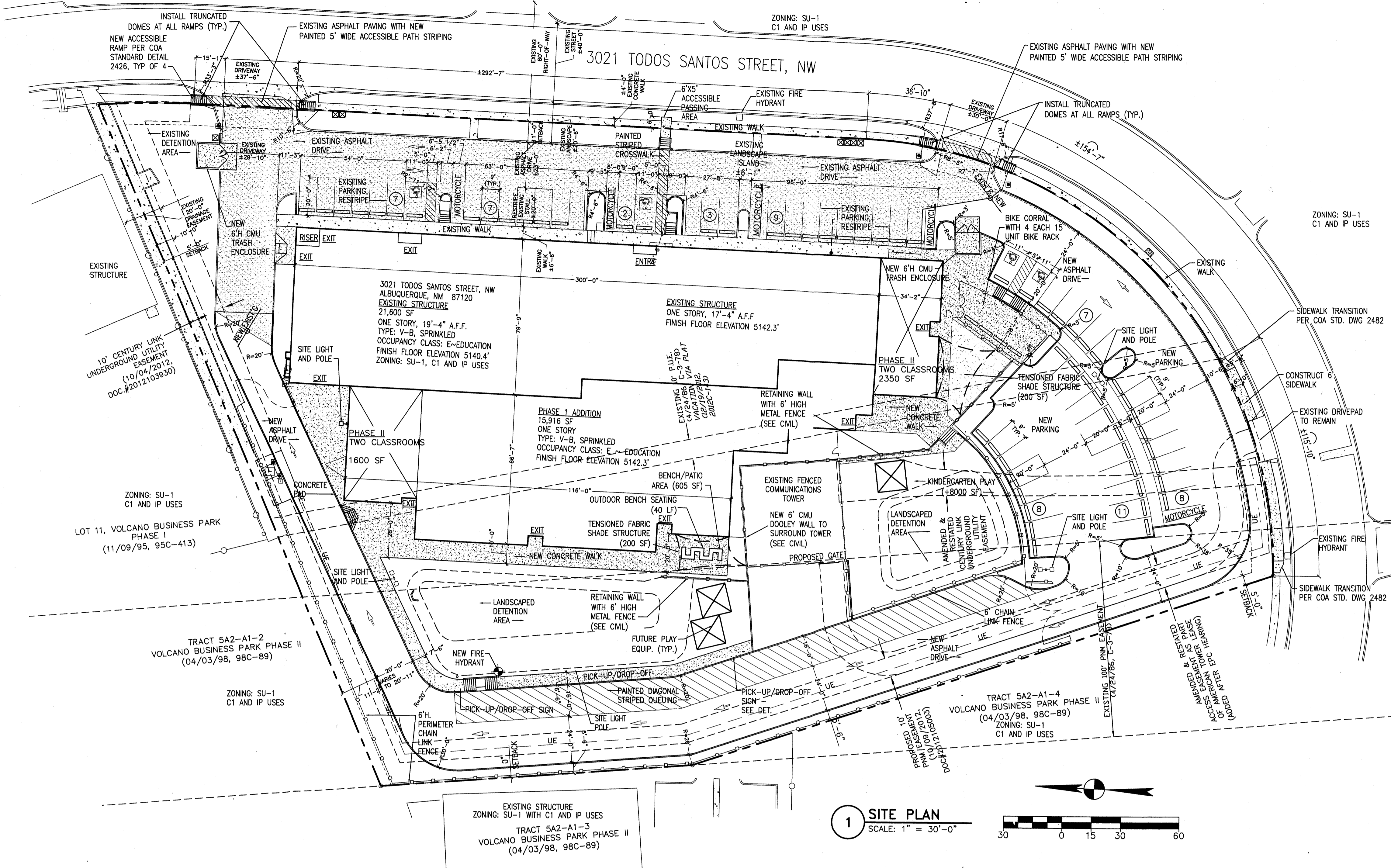
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (95C-413)
●	FOUND AS INDICATED
○	SET CHISELED "X" IN CONCRETE
⊠	COVERED AREA
●	UTILITY POLE
—○—	OVERHEAD UTILITY LINES
■	BOLLARD
—○—	CHAIN LINK FENCE
□	SIGNAL BOX
⊙	GAS METER
⊙	ELECTRIC METER
⊙	FIRE HYDRANT
⊙	TRANSFORMER
⊙	SANITARY SEWER MANHOLE
⊙	IRRIGATION BOX
⊙	RETAINING WALL
⊙	ELECTRIC CABINET
⊙	STORM DRAIN INLET
⊙	ROOF DRAIN
⊙	WATER VALVE



- Easement Notes**
- 1 100' PNM EASEMENT (4/24/86, C-3-78)
 - 2 10' P.U.E. (04/24/86, C-3-78)
 - 3 20' DRAINAGE EASEMENT (04/24/86, C-3-78)



CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



SHEET INDEX

ARCHITECTURAL	A1.1 PRELIMINARY SITE PLAN AND DATA SHEET
A1.2 PRELIMINARY SITE DETAILS	
A1.3 PRELIMINARY CIRCULATION PLAN	
LANDSCAPE	L1 PRELIMINARY LANDSCAPE PLAN
CIVIL	C1 PRELIMINARY GRADING PLAN
C2 PRELIMINARY UTILITY PLAN	
ARCHITECTURAL	A3.1 PRELIMINARY BUILDING ELEVATIONS

GOVERNING CODES

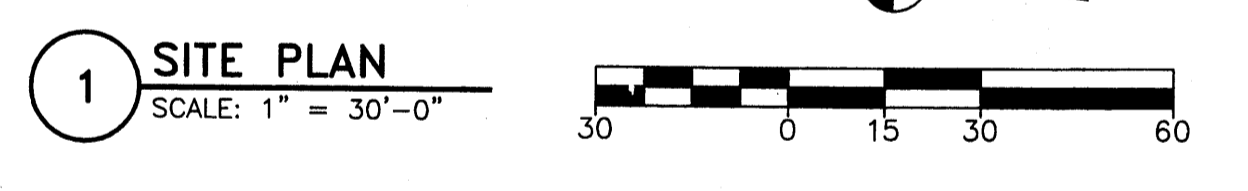
STATE OF NEW MEXICO GOVERNING CODES - BUILDING ADDITION

- 2009 INTERNATIONAL BUILDING CODE
- 2003 INTERNATIONAL FIRE CODE
- 2009 UNIFORM MECHANICAL CODE
- 2009 UNIFORM PLUMBING CODE
- 2009 NEW MEXICO PLUMBING
- 2009 NEW MEXICO MECHANICAL CODE
- 2008 NATIONAL ELECTRIC CODE
- 2003 AMERICAN NATIONAL STANDARD INSTITUTION (ANSI A117.1)

CITY OF ALBUQUERQUE GOVERNING CODES - SITE AND TENANT IMPROVEMENT TO EXISTING BUILDING

- 2009 INTERNATIONAL BUILDING CODE
- 2009 NEW MEXICO EXISTING BUILDING CODE
- 2008 NATIONAL ELECTRIC CODE
- 2008 NEW MEXICO MECHANICAL CODE
- 2008 NEW MEXICO PLUMBING CODE
- 2009 NEW MEXICO ENERGY CONSERVATION CODE

- GENERAL NOTES:**
- ALL NEW WORK IS COMPLETED IN PHASE I. PHASE II WORK IS COMPRISED OF 3950 SQUARE FEET OF 4 CLASSROOM ADDITIONS.
 - OFFSETS FROM PROPERTY LINE TO BUILDING ARE TO FACE OF FINISH, NOT CONCRETE SLAB.
 - EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. VERIFY IN FIELD.
 - ALL UTILITIES INSTALLED SHALL BE UNDERGROUND.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
 - ALL SIGNAGE IS CONCEPTUAL. THE FINAL SIGNAGE PACKAGE IS REVIEWED AND APPROVED UNDER A SEPARATE PERMIT PROCESS.
 - PIN ALL CONCRETE WALKS TO FOUNDATION SLAB AT ENTRY/EXIT DOORS.
 - THERE IS NO FREESTANDING SIGN PROPOSED IN THIS PROJECT SCOPE.
 - ALL METAL FENCING PROPOSED IN THIS SCOPE OF WORK SHALL BE GROUNDED PER THE REQUIREMENTS OF PNM.
 - ALL PLAYGROUND EQUIPMENT IN THIS SCOPE OF WORK SHALL BE GROUNDED PER REQUIREMENTS OF PNM.
 - METAL COLUMNS OF SHADE CANOPY STRUCTURE SHALL BE GROUNDED PER THE REQUIREMENTS OF PNM.



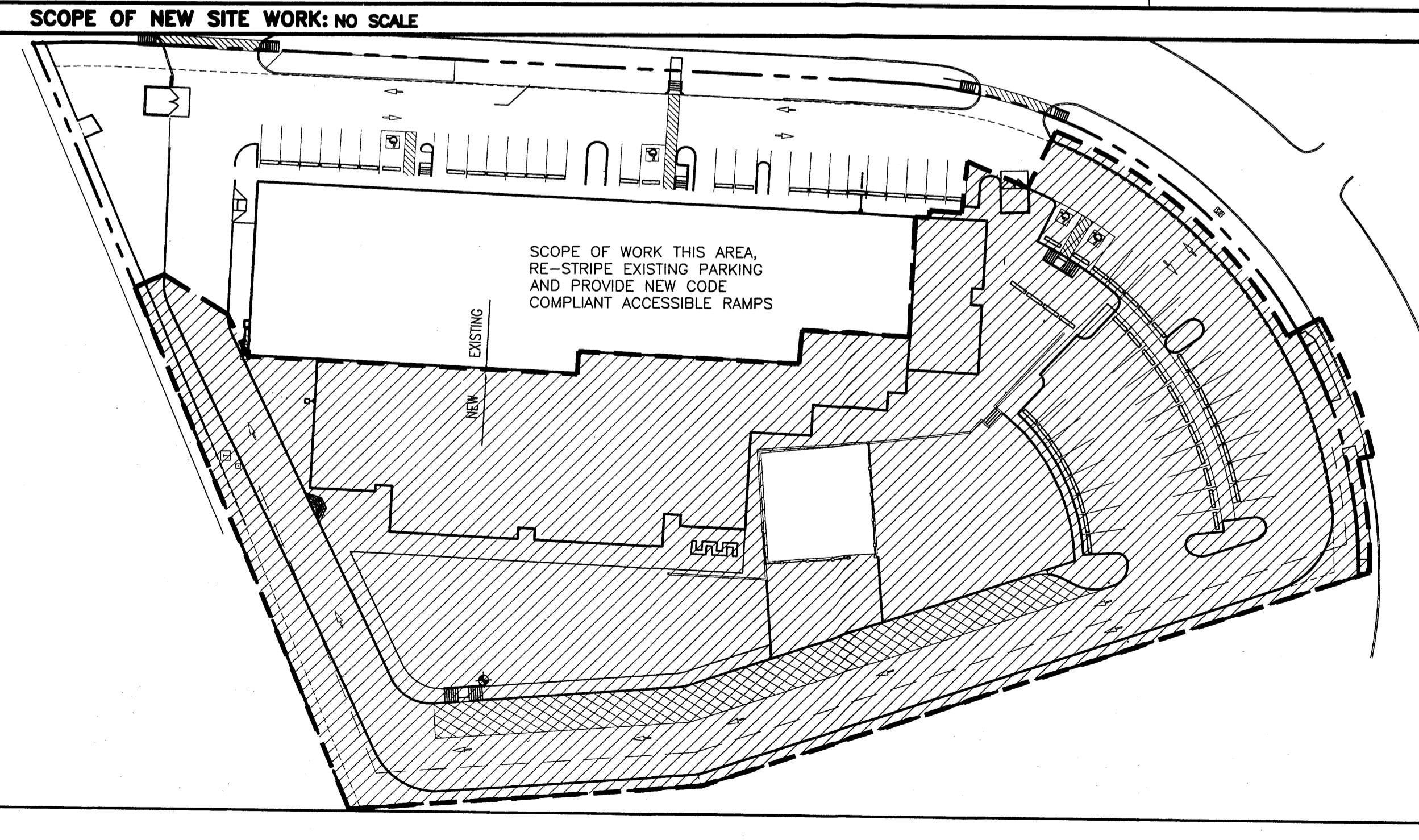
REVISIONS:

△	(6-4-12) ADDRESS EPC CONDITIONS
△	(12-20-12) ADDRESS DRB SUBMITTAL NEEDS

SHEET TITLE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PROJECT:
HORIZON ACADEMY WEST
ELEMENTARY CHARTER SCHOOL
3021 TODOS SANTOS STREET NORTHWEST
ALBUQUERQUE, NEW MEXICO 87120

Local Jurisdictions please note.
 Portions of this building are under the jurisdiction of the State of New Mexico, Construction Industries / Manufacturing Housing Division Regulations and Licensing Department. Review, approval and inspections of the modular portion of the building are the sole responsibility of this Agency.



SITE DATA:

PROJECT LOCATION: 3021 TODOS SANTOS STREET, NORTHWEST ALBUQUERQUE, NEW MEXICO 87120

ASSESSOR PARCEL NUMBER: SP 95 261, TRACT 12A

LEGAL DESCRIPTION
 TRACT 12-A-1 VOLCANO BUSINESS PARK PHASE I, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 19, 2012, IN VOLUME 2012C, FOLIO 143

PROJECT USE: PUBLIC CHARTER SCHOOL PRE-K THROUGH 6

EXISTING ZONING: SU-1, SPECIAL USE WITH C1 AND IP USES

ADJACENT ZONING:
 NORTHWEST: SU-1, SPECIAL USE WITH C1 AND IP USES
 NORTH: SU-1, SPECIAL USE WITH C1 AND IP USES
 NORTHEAST: SU-1, SPECIAL USE WITH C1 AND IP USES
 EAST: SU-1, SPECIAL USE WITH C1 AND IP USES
 SOUTHEAST: SU-1, SPECIAL USE WITH C1 AND IP USES
 SOUTH: SU-1, SPECIAL USE WITH C1 AND IP USES
 SOUTHWEST: SU-1, SPECIAL USE WITH C1 AND IP USES
 WEST: SU-1, SPECIAL USE WITH C1 AND IP USES

NET AREA: 3.4281 ACRES 149,326 S.F.
 GROSS AREA: 3.59 ACRES 156,425 S.F.
 MAX BUILDING HEIGHT ALLOWED: 26'
 EXISTING BUILDING HEIGHT: APPROXIMATELY 19'-4", 1 STORY
 PROPOSED BUILDING ADDITION HEIGHT: 21'-4", 1 STORY

TOTAL BUILDING AREA: 41,466 S.F.
 EXISTING BUILDING AREA: 21,600 S.F. ~ 9 CLASSROOMS
 PHASE I MODULAR BUILDING AREA: 15,916 S.F. ~ 10 CLASSROOMS
 PHASE II MODULAR BUILDING AREA: 3,950 S.F. ~ 4 CLASSROOMS

EXISTING BLDG. CONSTRUCTION: TYPE V-B, SPRINKLED
 PROPOSED BLDG. MODULAR ADDITION CONSTRUCTION: TYPE V-B, SPRINKLED
 PROPOSED OCCUPANCY CLASS: GROUP E
 PROPOSED MODULAR OCCUPANCY LOAD: 1009 "e" CLASS, 1312 TOTAL BLDG

FLOOR AREA RATIO PROVIDED: 0.26

41,466 SF BUILDING
 156,425 SF GROSS AREA
 MAXIMUM LOT COVERAGE PROVIDED: 27.76%

41,466 SF BUILDING
 149,326 SF NET AREA

PERMEABLE RATIO: 29.52%
 44,089 SF PERMEABLE SCOPE
 149,326 SF NET AREA

IMPERMEABLE (PAVING AND WALK) RATIO: 43.31%
 64,686 SF IMPERMEABLE SCOPE
 149,326 SF NET AREA

PARKING REQUIRED: 55 SPACES
 PER SECTION 14-16-3-1 (1 STALL PER EMPLOYEE)
 PER IBC 2009 = 42.6 NON EDUCATIONAL/ASSEMBLY OCCUPANTS
 PER EXISTING CHARTER SCHOOL FULL-TIME EMPLOYEES = ± 55 OCCUPANTS

STANDARD: 51 STALLS
 ACCESSIBLE: 4 STALLS
 MOTORCYCLE: 3 STALLS
 BICYCLE: 54 STALLS

PARKING PROVIDED: 62 SPACES
 STANDARD:
 EXISTING: 26 STALLS
 NEW: 32 STALLS
 ACCESSIBLE: 4 STALLS
 EXISTING: 2 STALLS
 NEW: 2 STALLS
 MOTORCYCLE: 5 STALLS
 EXISTING: 3 STALL
 NEW: 2 STALL
 BICYCLE: +60 STALLS

VEHICULAR QUEUING CAPACITY:
 • 28 CAR ON-SITE CAPACITY DIVIDED BETWEEN ONE AND ONE BI-PASS LANE (14 VEHICLES QUEUE FOR INGRESS AND 14 VEHICLES QUEUE FOR EGRESS).
 • PICK-UP AND DROP-OFF CAPACITY OF 10 SECONDS AVERAGES 6 CARS PER MINUTE OR 180 CARS PER 1/2 HOUR.
 • 14 PICK-UP AND DROP-OFF POINTS PER 1/2 HOUR EQUALS 1520 VEHICLES BEING MANNED. THIS QUEUE CAPACITY WILL TURN OVER 54.28 TIMES PER 1/2 HOUR OR 108.56 TIMES PER HOUR.

DIRECTORY:

OWNER:
 HORIZON ACADEMY WEST
 1900 ATRISCO ROAD NORTHWEST
 ALBUQUERQUE, NEW MEXICO 88120
 TEL 505-998-0455
 ATT: BRUCE HANSON
 PRESIDENT, GOVERNING BOARD
 AMIE DURAN
 DIRECTOR HORIZON ACADEMY WEST

DESIGN/BUILD CONTRACTOR:
 ACCELERATED CONSTRUCTION TECHNOLOGY, INC.
 22425 NORTH 18TH STREET
 PHOENIX, ARIZONA 85024
 TEL 602-272-2000
 FAX 623-298-2000
 ATT: DOUG HENSLY, VICE PRESIDENT

ARCHITECT:
 ATK ARCHITECTS
 55 CAMINO DEL SENADOR
 TUCUEN, NEW MEXICO 87059
 TEL 505-281-9580
 ATT: KEN TRAUERNICHT
 REGISTRATION: 1285

CIVIL:
 BRASHER & LORENZ, INC.
 2201 SAN PEDRO DRIVE NE
 BUILDING 1 SUITE 1200
 ALBUQUERQUE, NEW MEXICO 87110
 TEL 505-222-6088
 FAX 505-888-6188
 ATT: DENNIS A. LORENZ, PRINCIPAL
 REGISTRATION: 9647

LANDSCAPE:
 HILLTOP LANDSCAPING
 7909 EDITH NORTHEAST
 ALBUQUERQUE, NEW MEXICO 87104
 TEL 505-898-9690
 ATT: CRAIG SOLETHOR
 REGISTRATION: 67

CITY OF ALBUQUERQUE DRB SIGNATURE BLOCK:

PROJECT NUMBER: 1004776

APPLICATION NUMBER:
 THIS SITE PLAN FOR BUILDING PERMIT IS CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION, APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION, JUNE 14, 2012 (PROJECT NUMBER: 1004776)

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRP PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

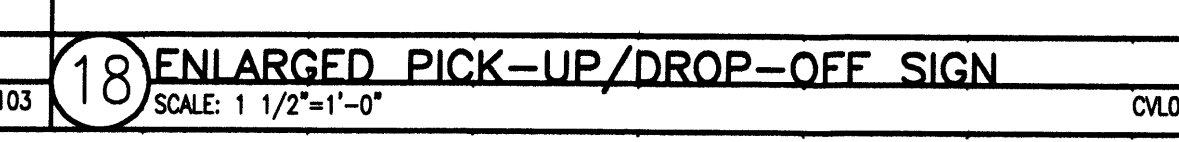
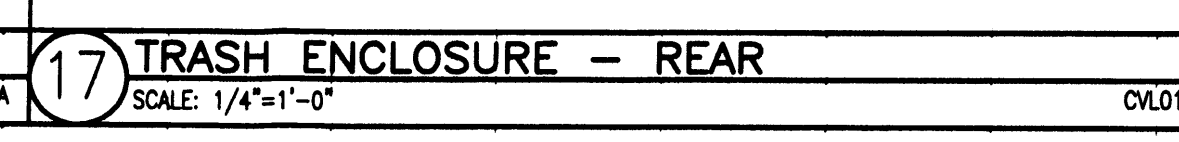
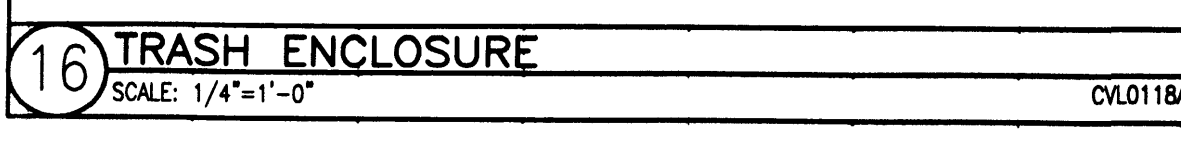
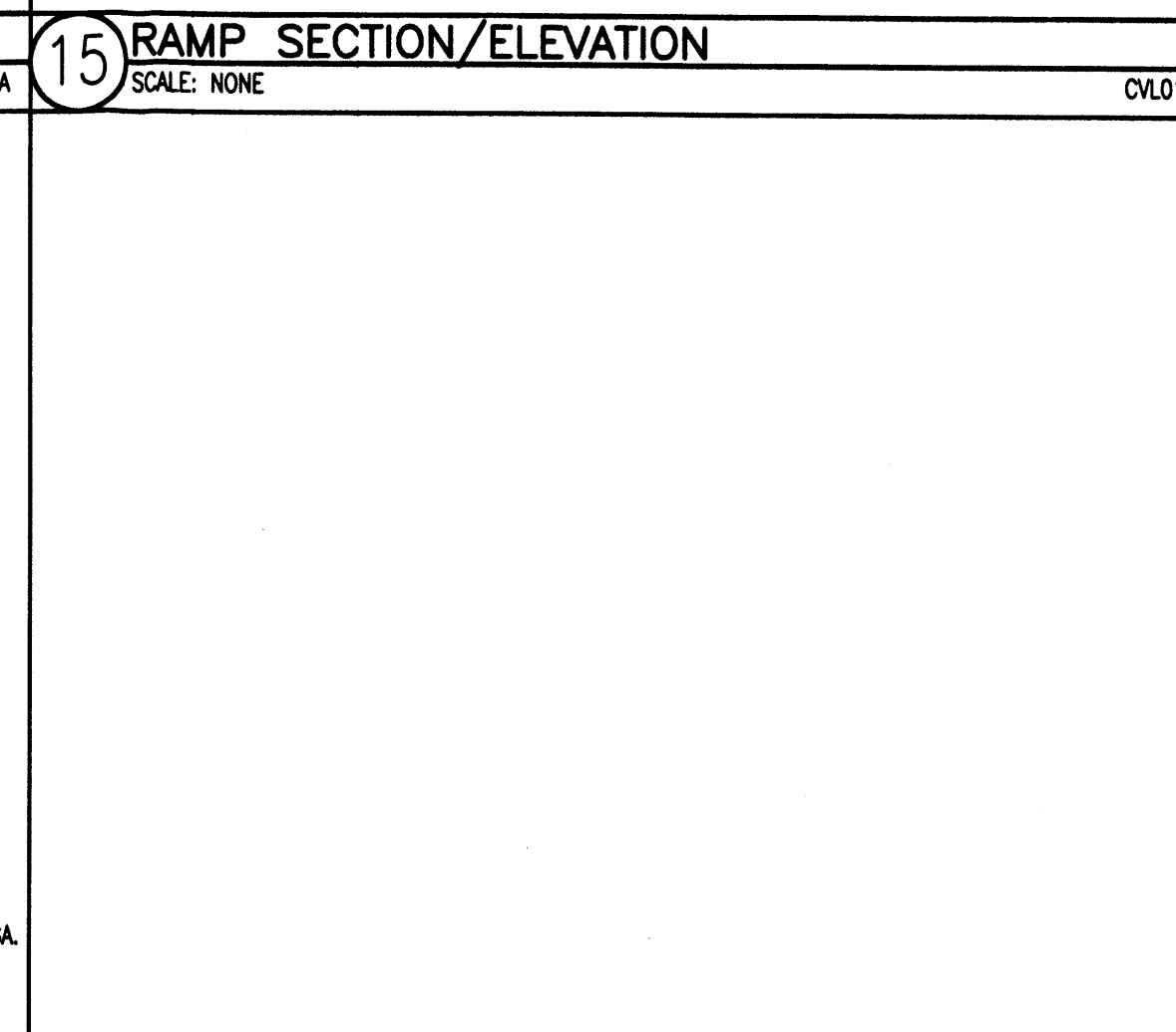
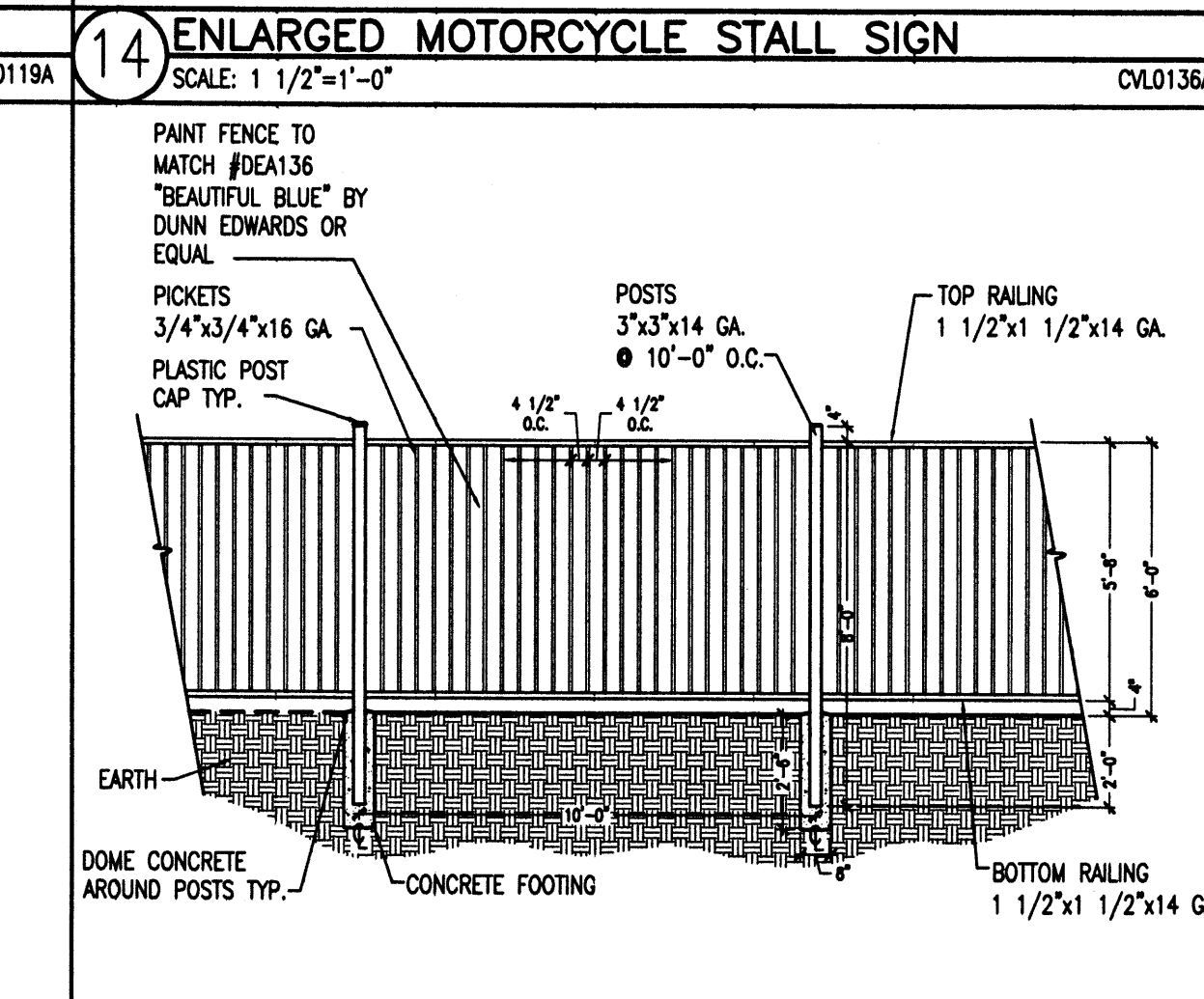
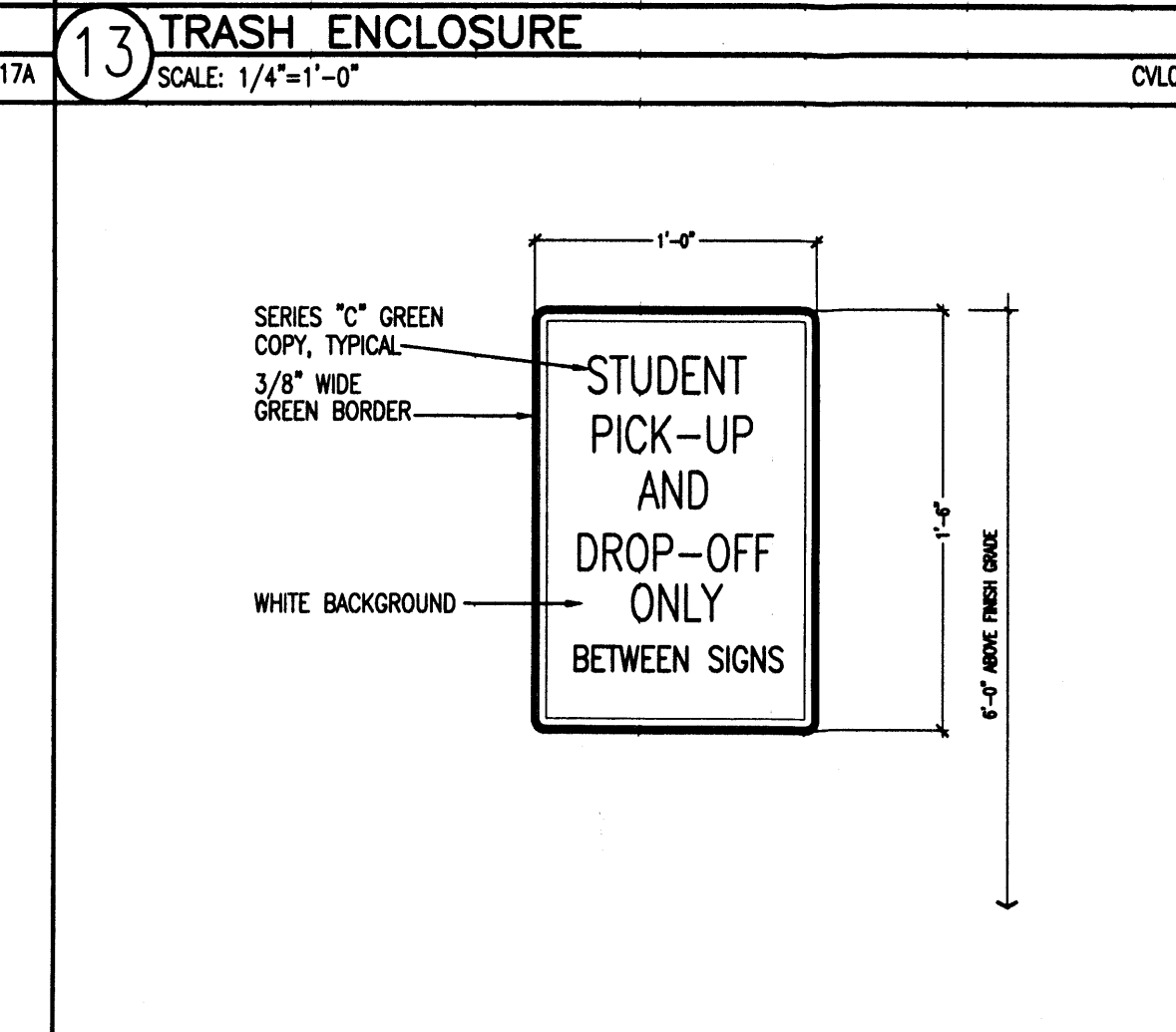
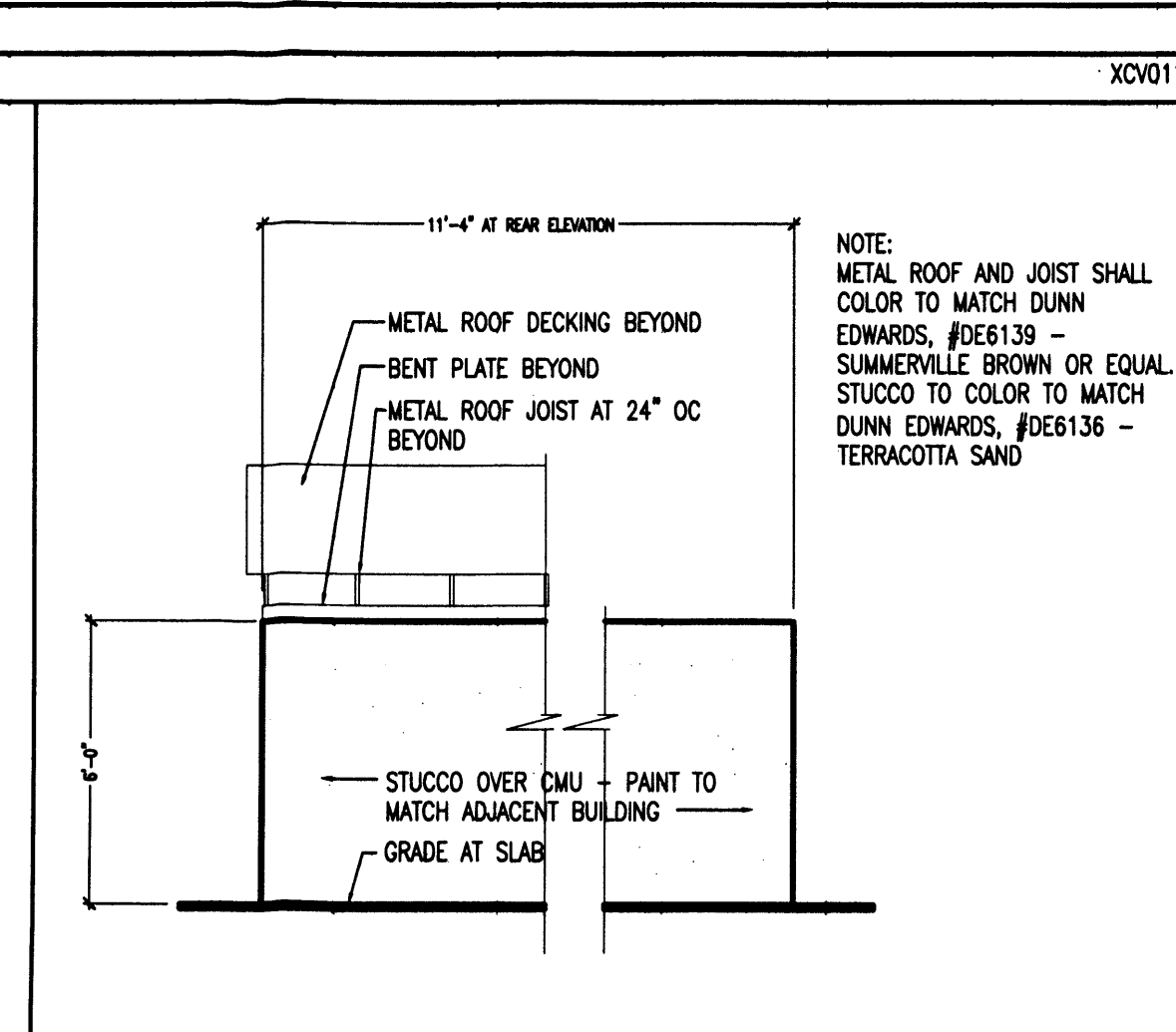
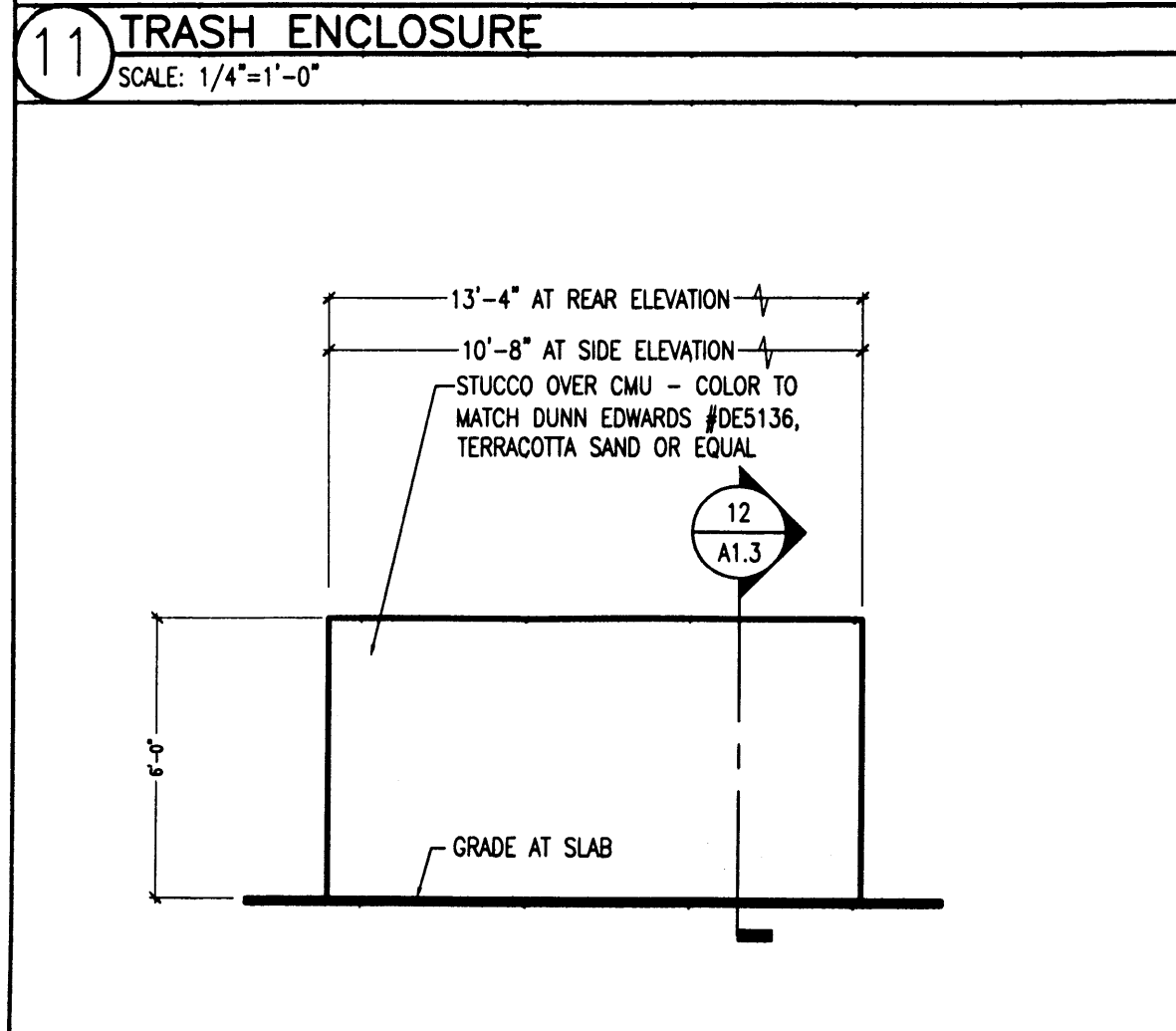
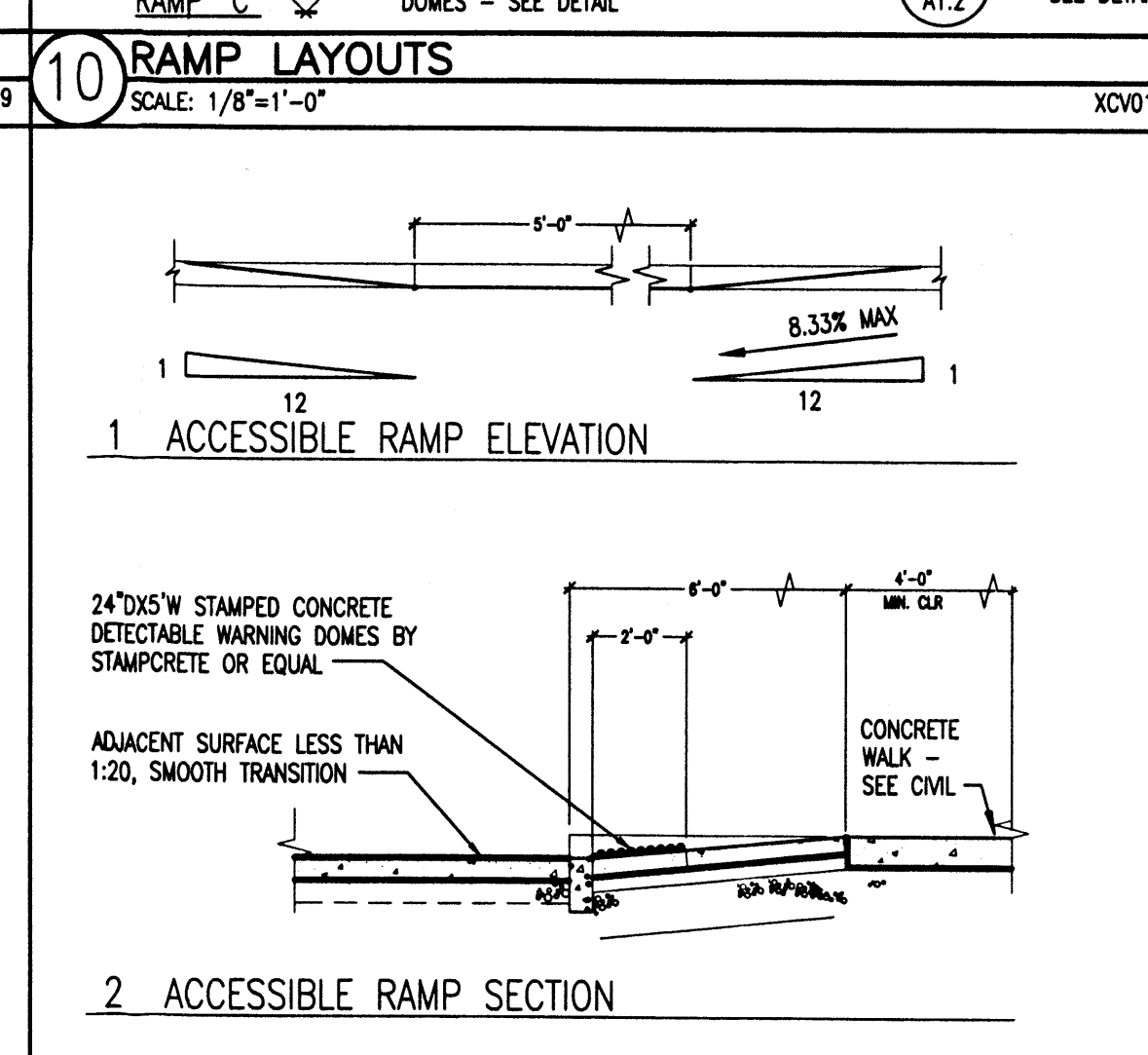
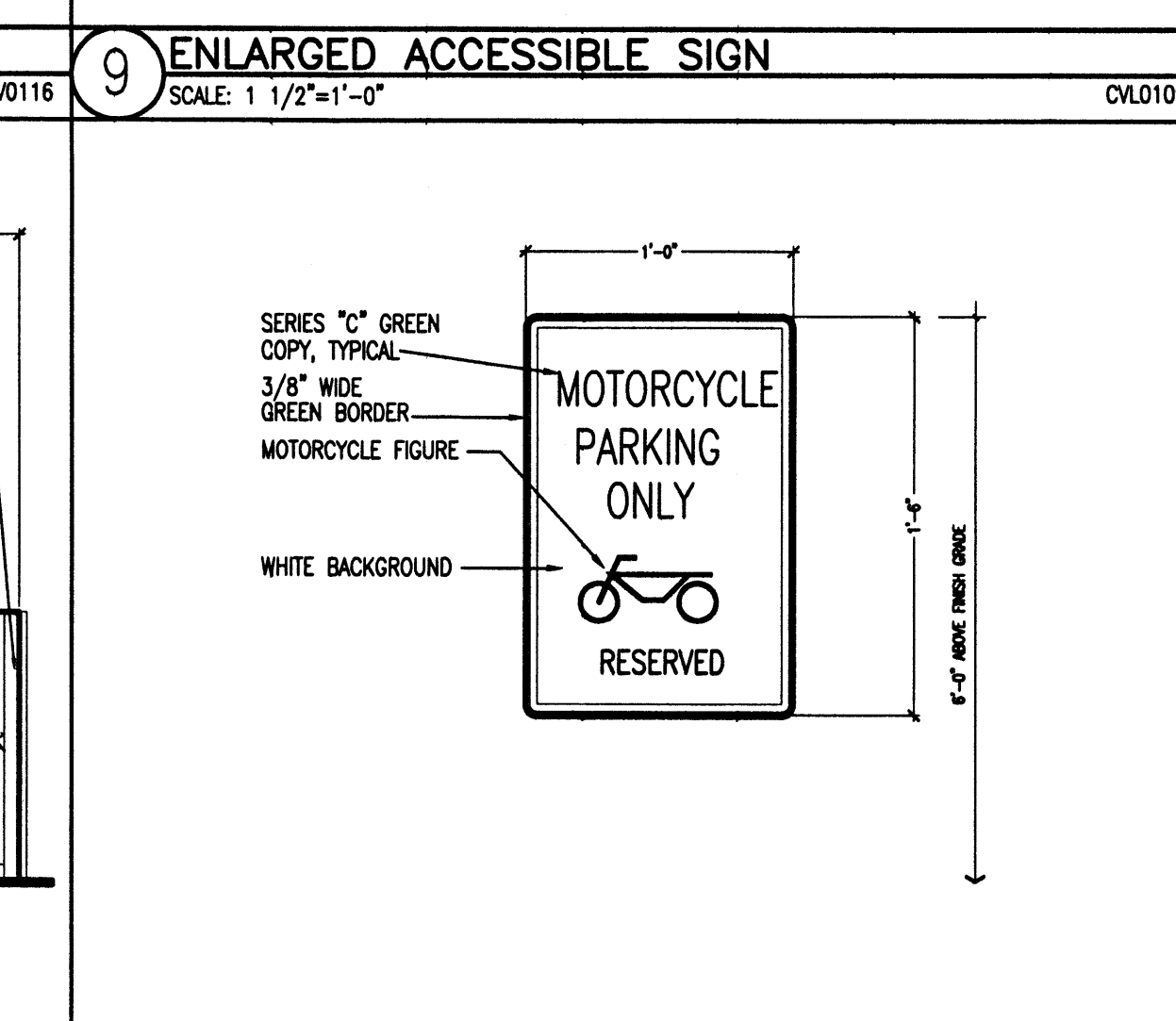
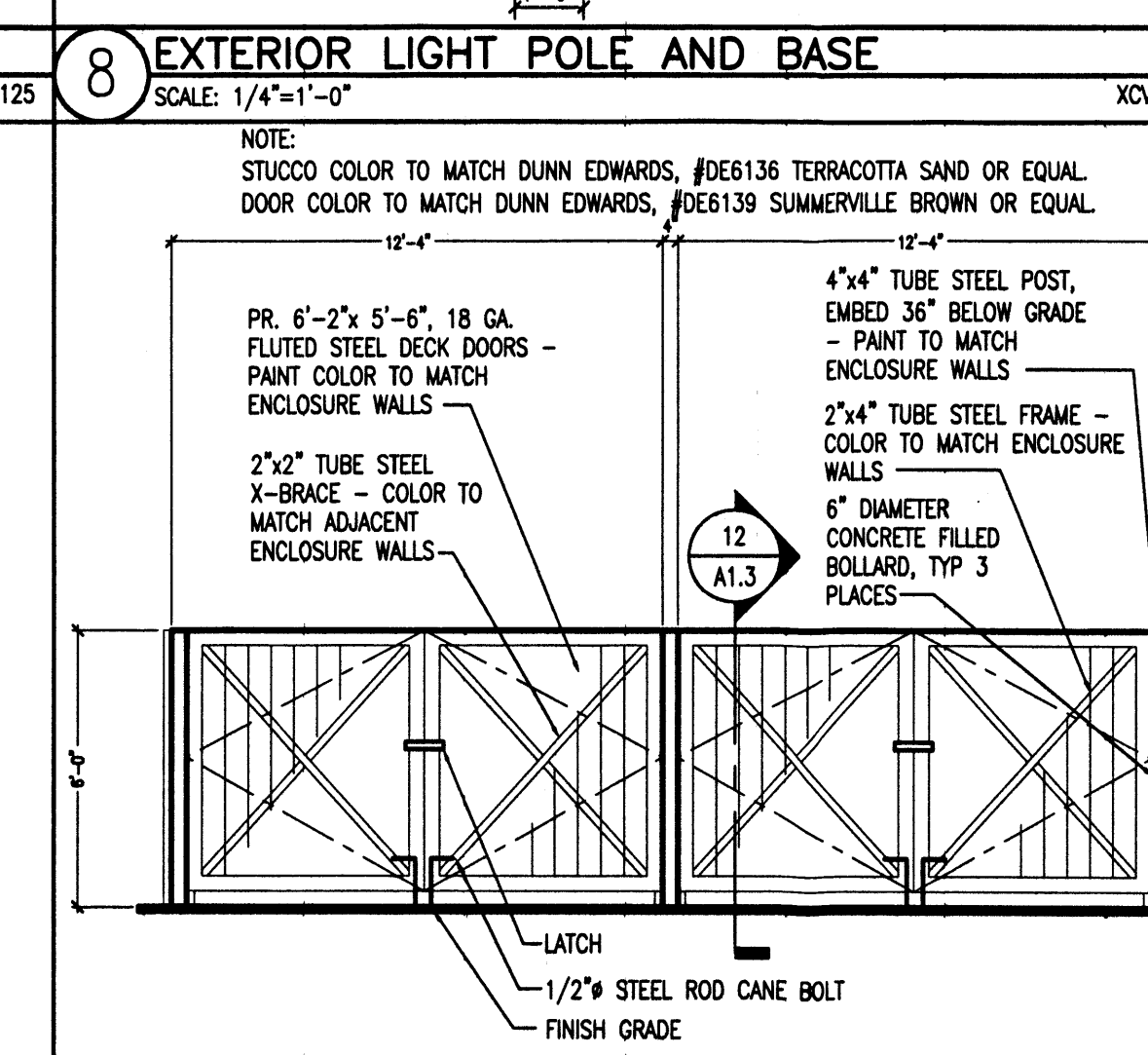
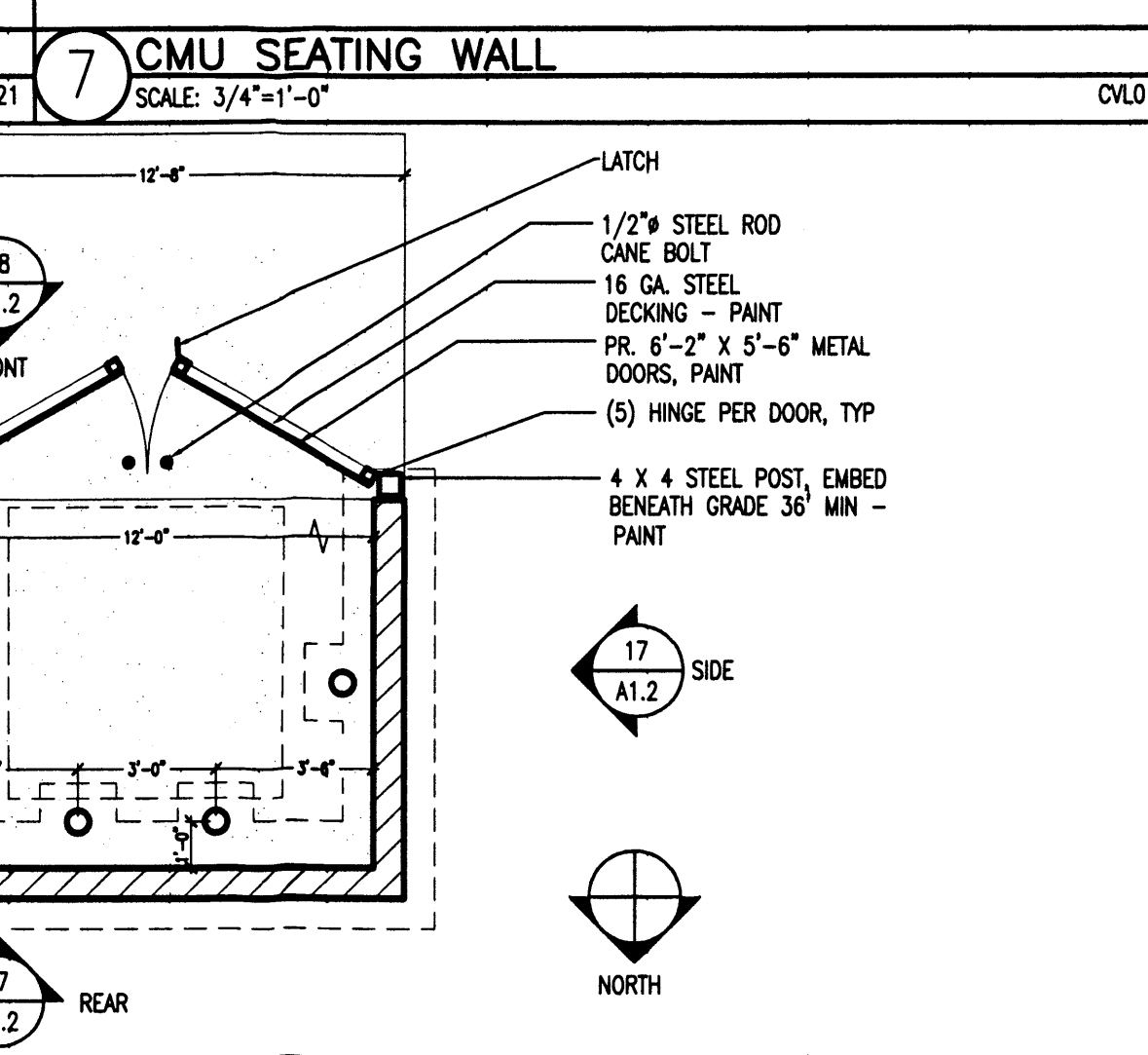
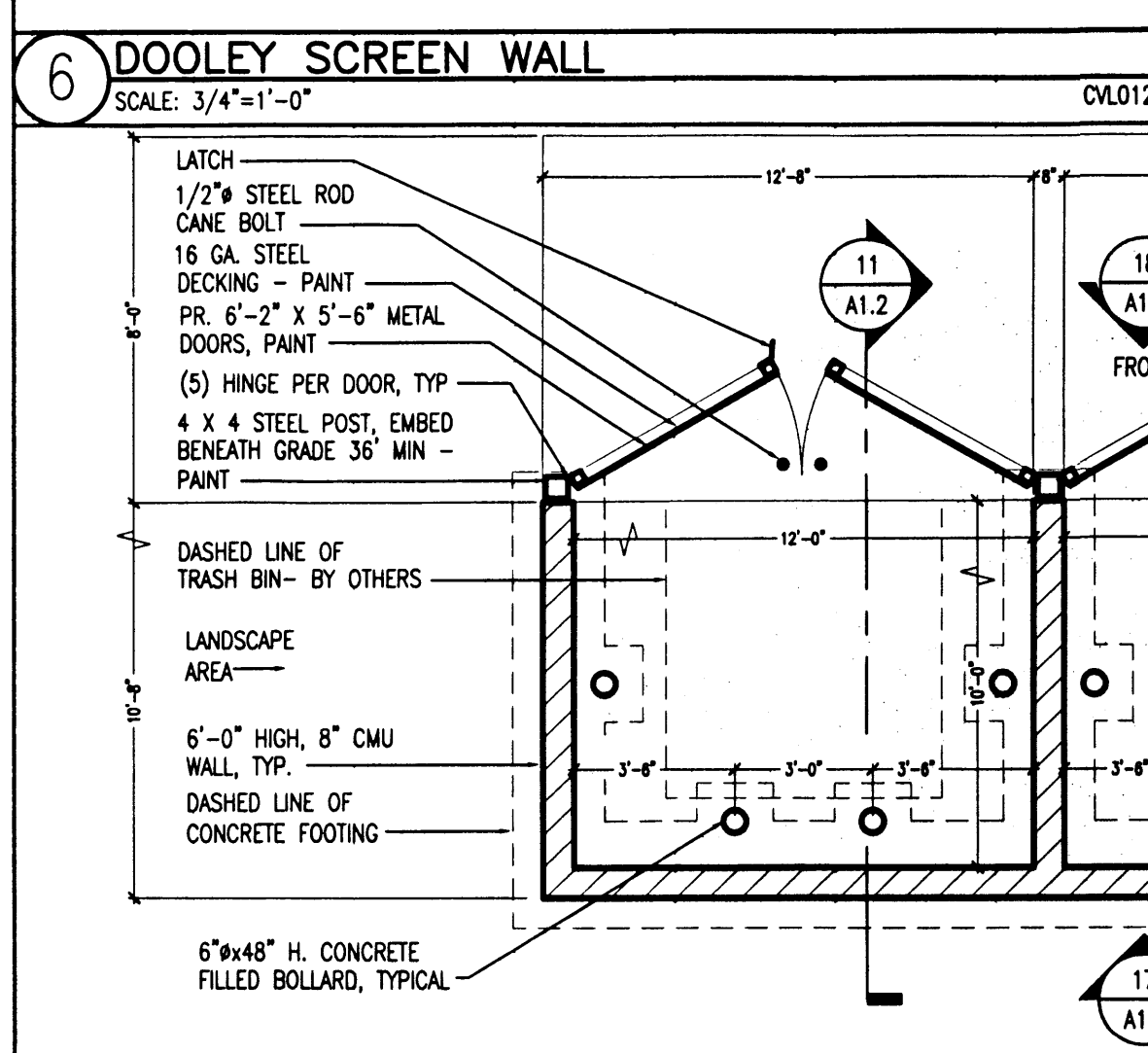
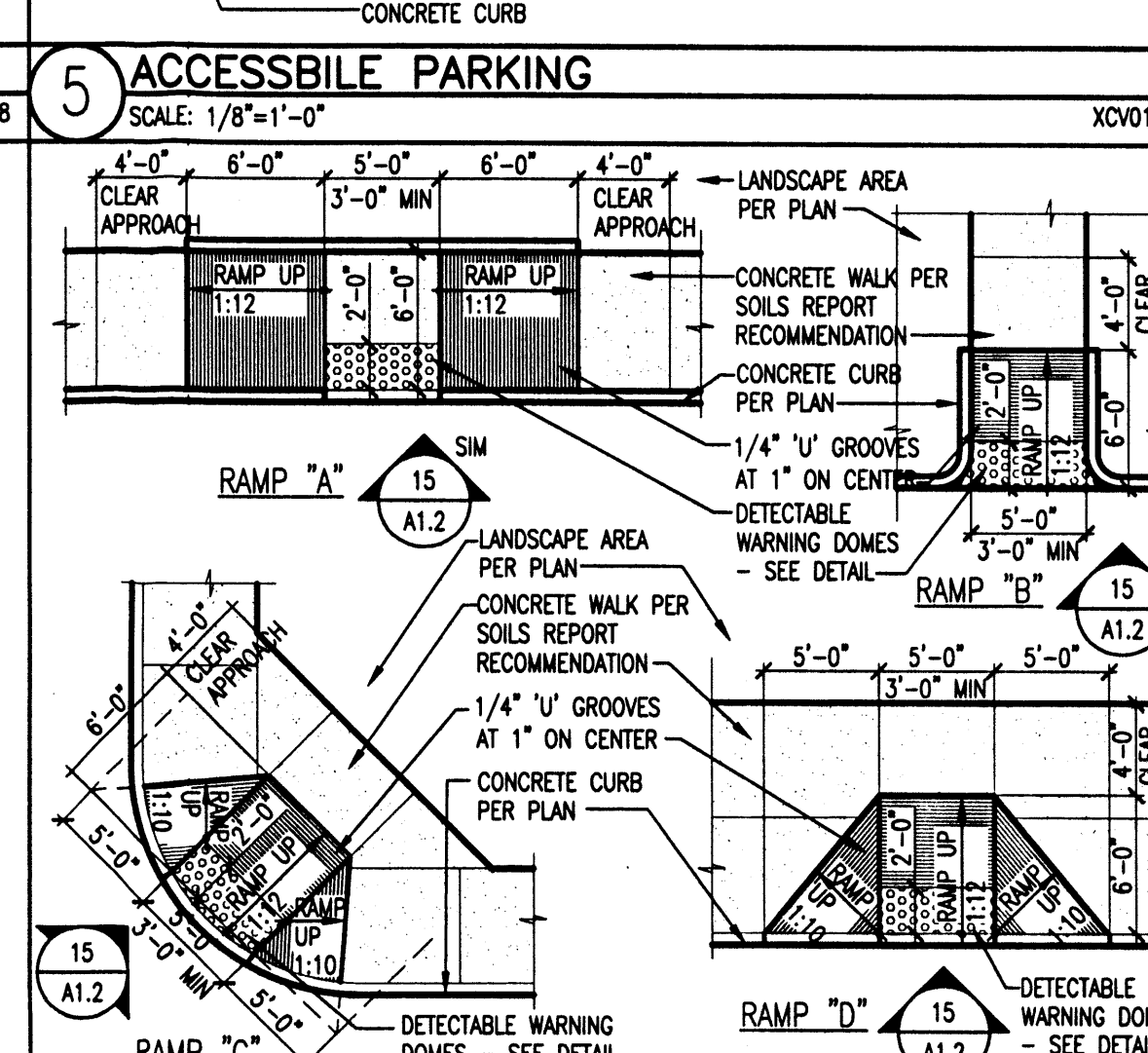
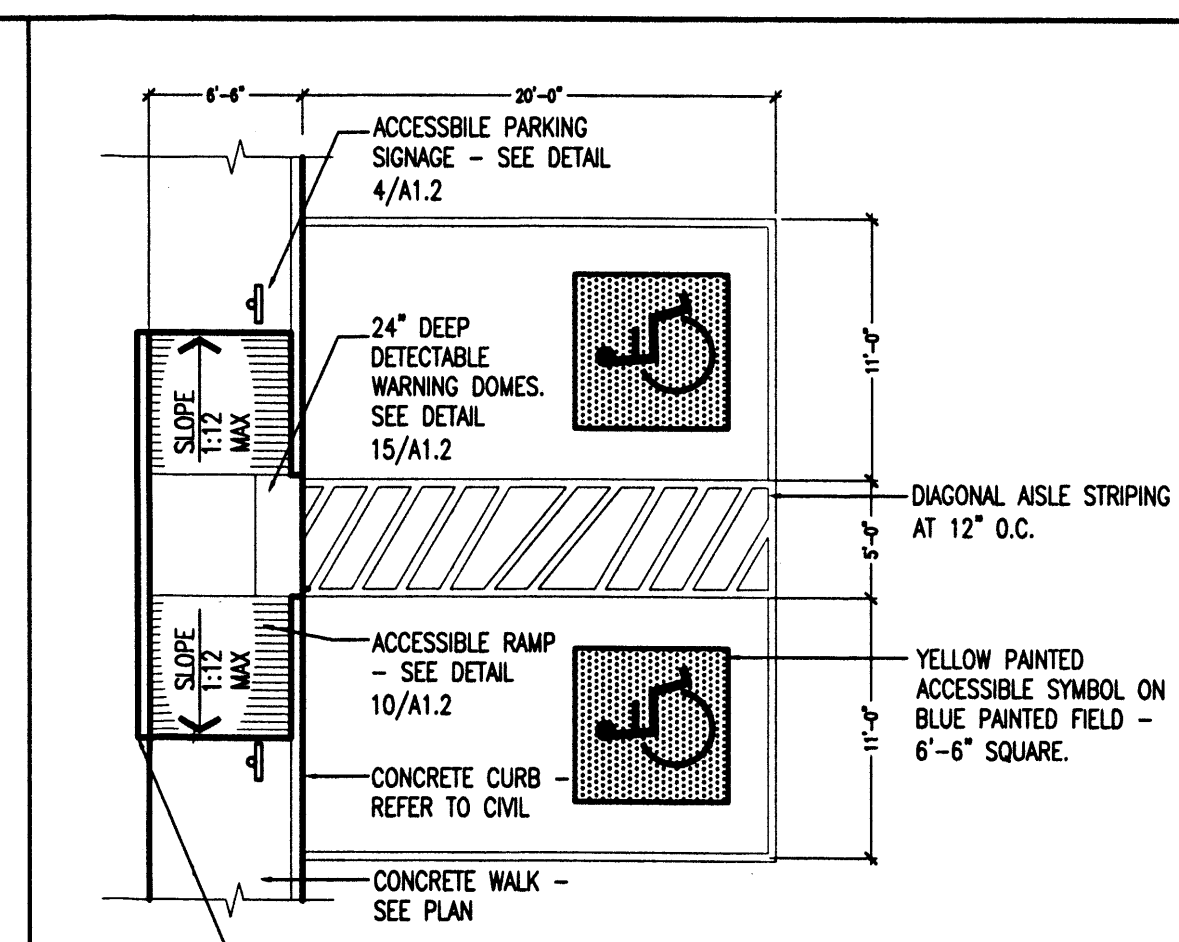
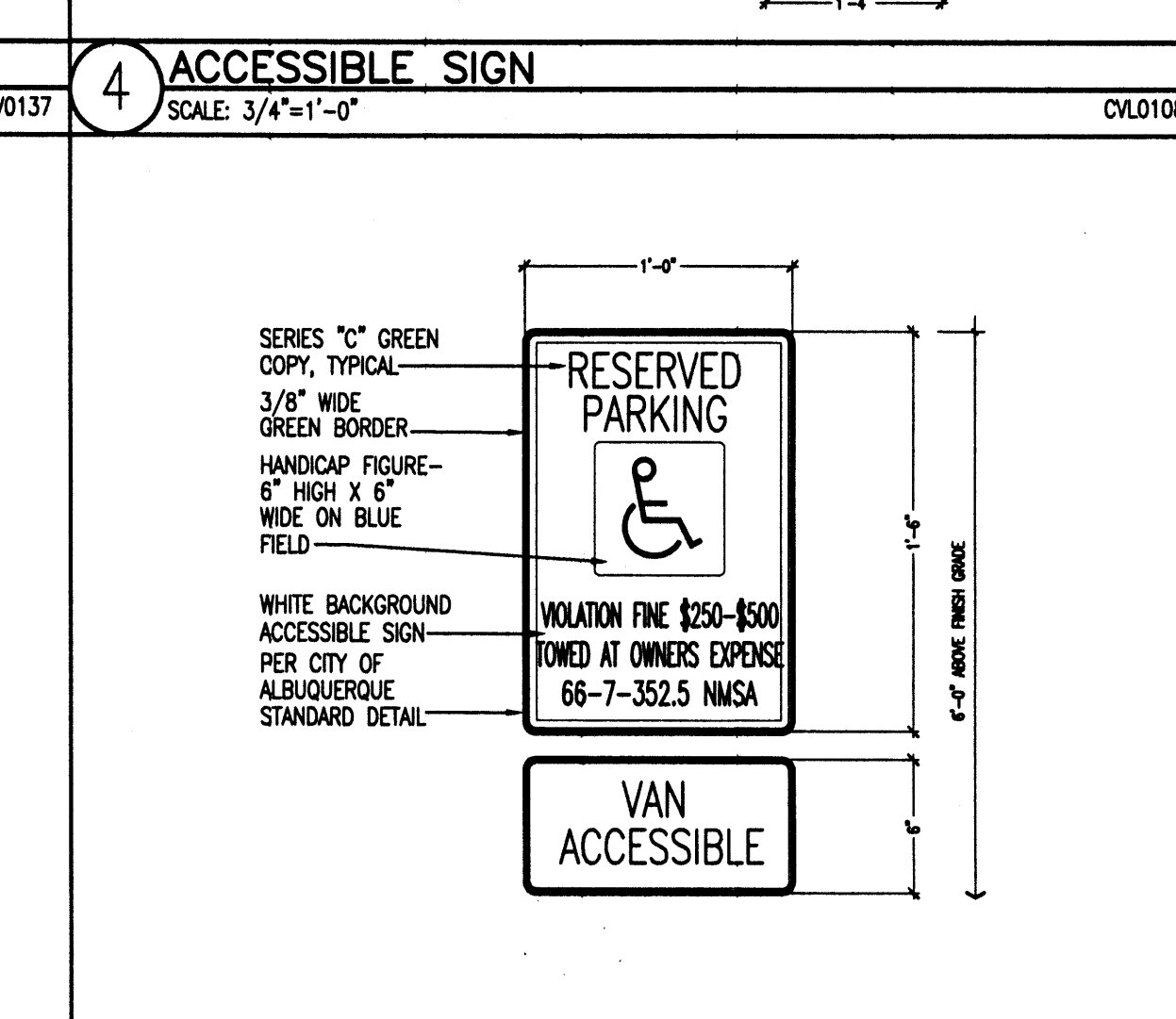
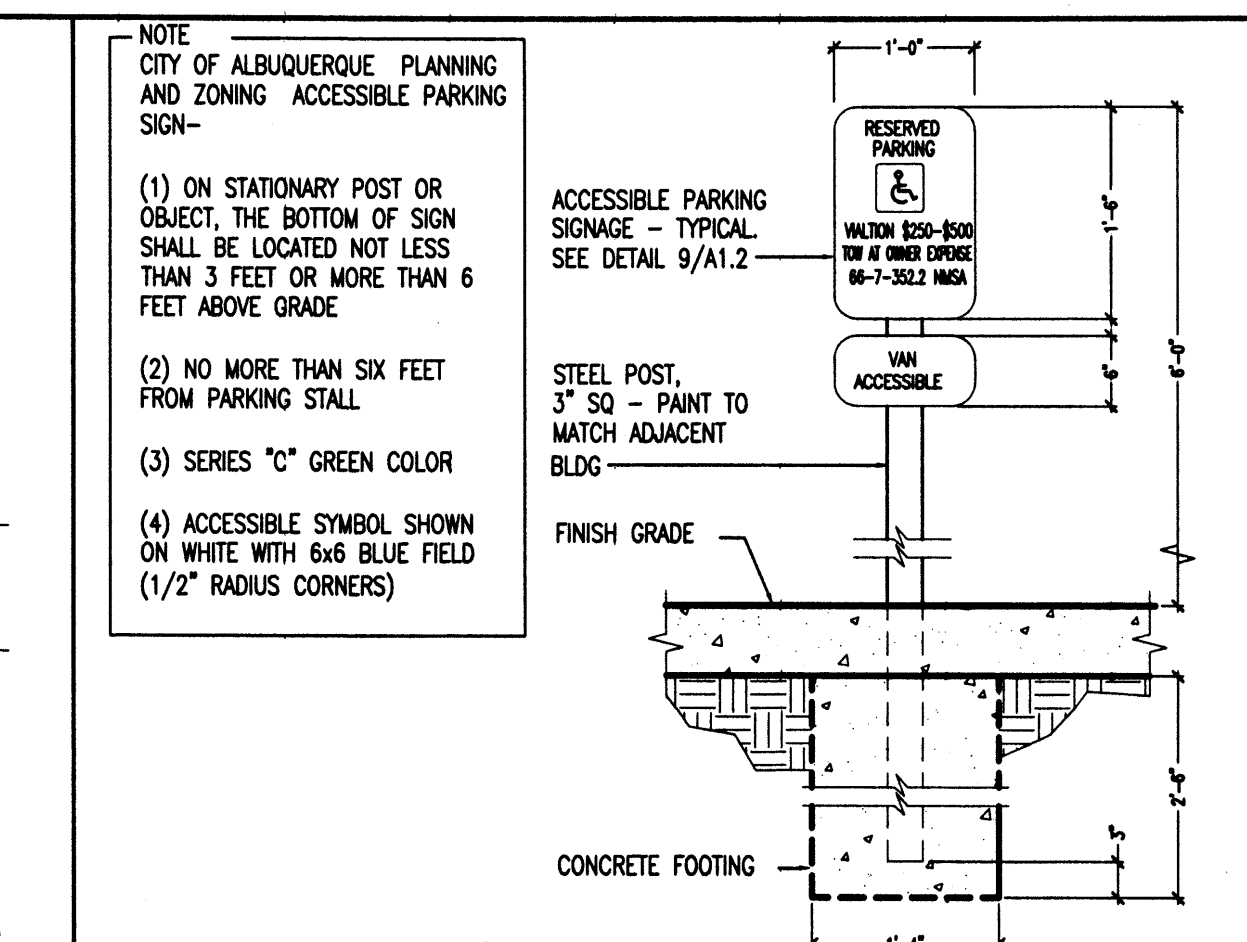
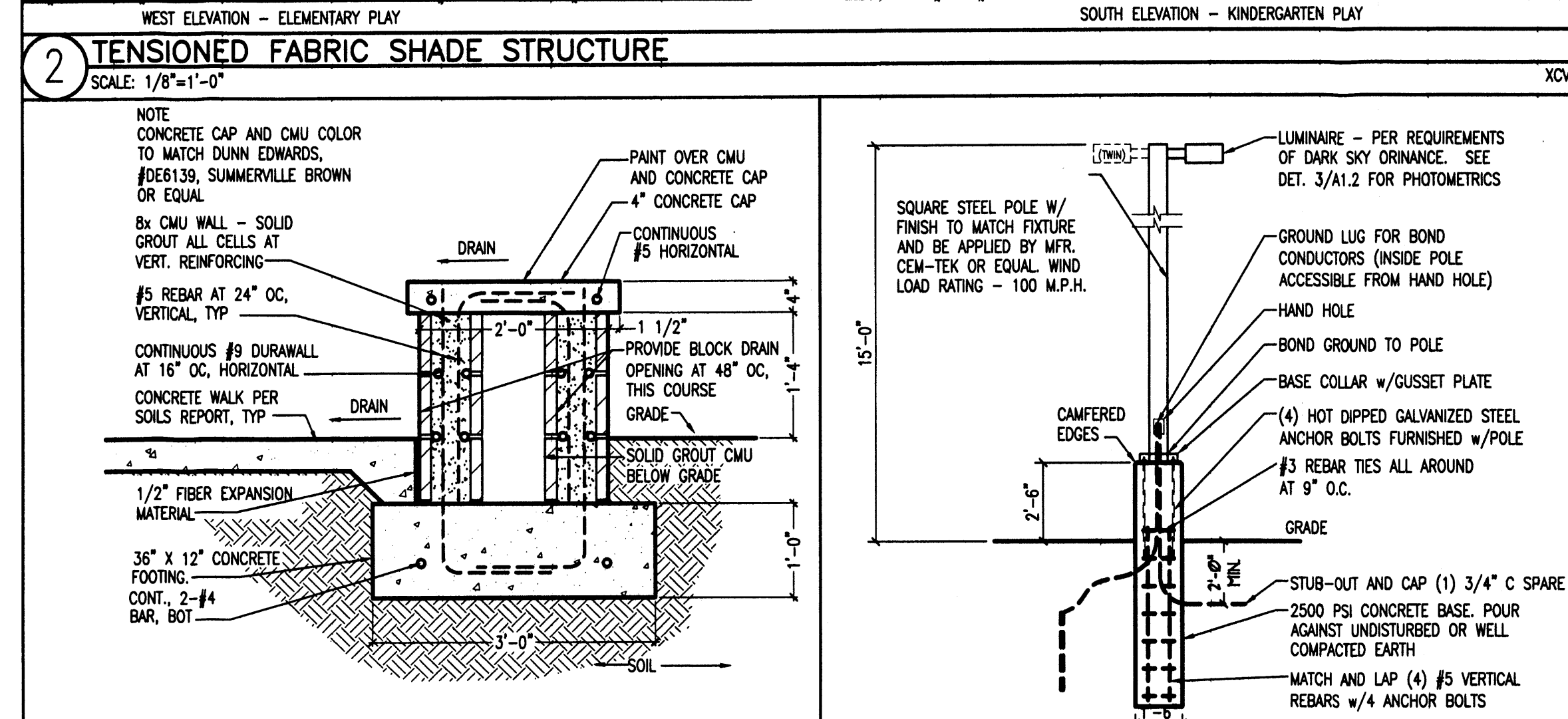
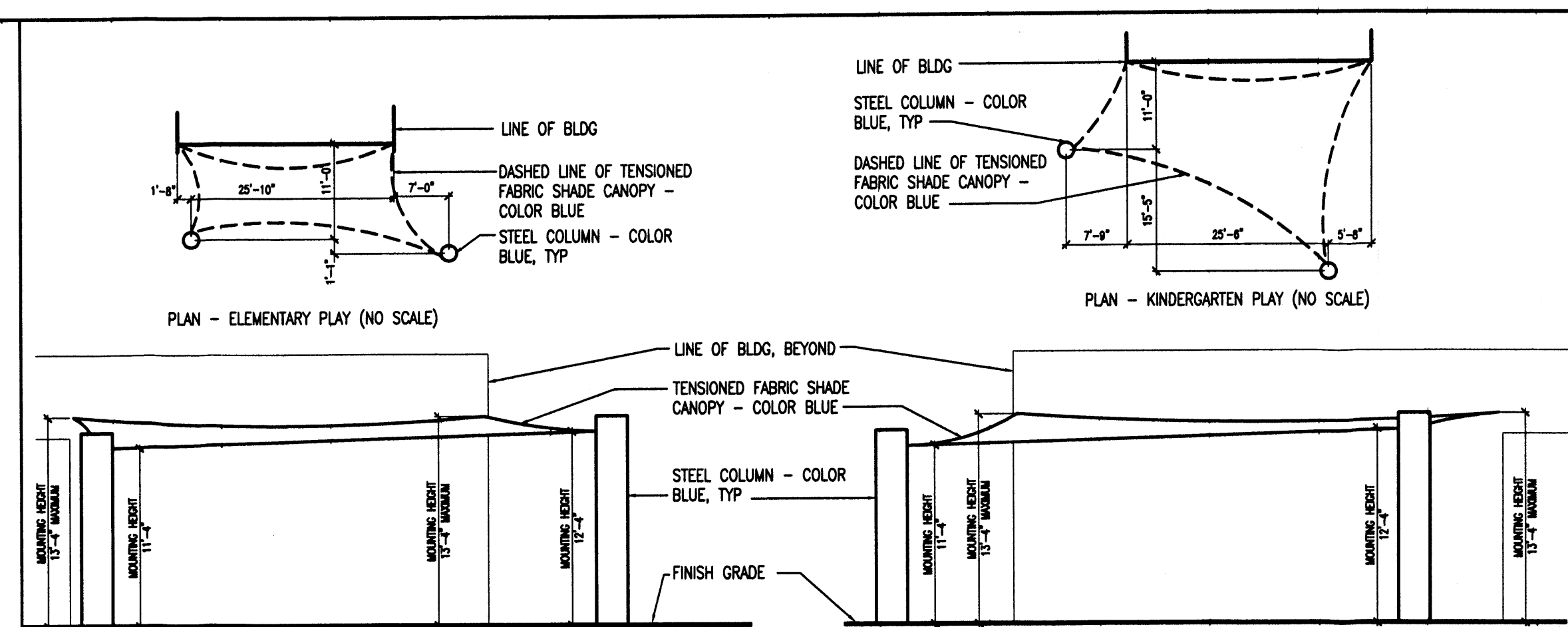
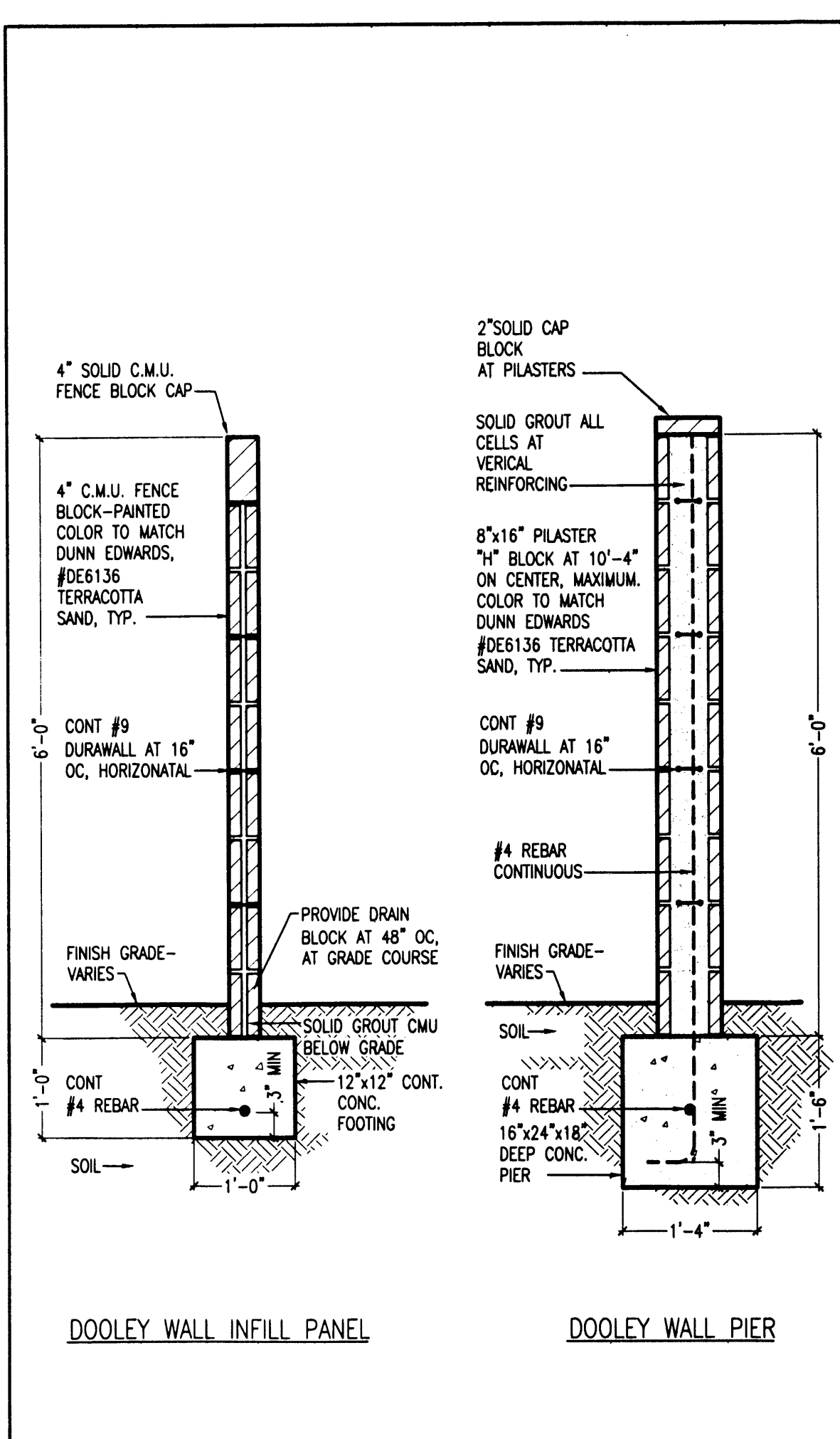
22425 NORTH 18TH STREET
 PHOENIX, ARIZONA 85024
 TEL: 602-272-2000
 FAX: 623-298-2000

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PROJECT: 809
 DATE: 5-24-12
 DRAWN: BDL
 BLDG: BDL
 SCALE: AS NOTED
 SHEET:

A1.1

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - CITY PROJECT NO. 1004776 - SUBMITTED FOR 1/21/13 DRB HEARING



REVISIONS:

6-4-12	ADDRESS EPC CONDITIONS
12-20-12	ADDRESS DRB SUBMITTAL NEEDS

SHEET TITLE: SITE DETAILS

PROJECT:
HORIZON ACADEMY WEST
ELEMENTARY CHARTER SCHOOL
3021 TODOS SANTOS STREET NORTHWEST
ALBUQUERQUE, NEW MEXICO 87120

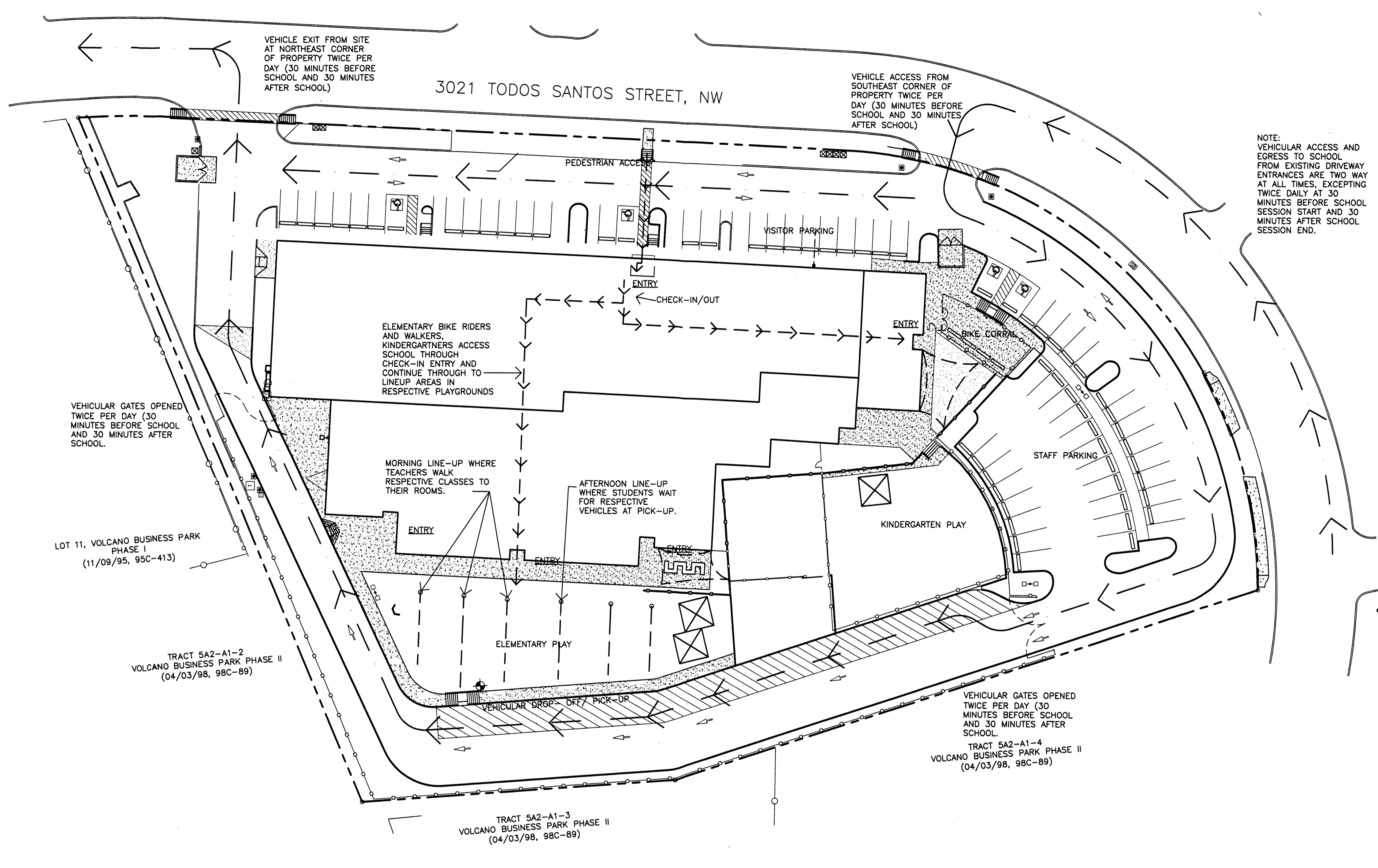
Local Jurisdictions please note.
 Portions of this building are under the jurisdiction of the State of New Mexico, Construction Industries / Manufacturing Housing Division Regulations and Licensing Department. Review, approval and inspections of the modular portion of the building are the sole responsibility of this Agency.

22425 NORTH 16TH STREET
PHOENIX, ARIZONA 85024
TEL: 602-272-2000
FAX: 602-298-2000

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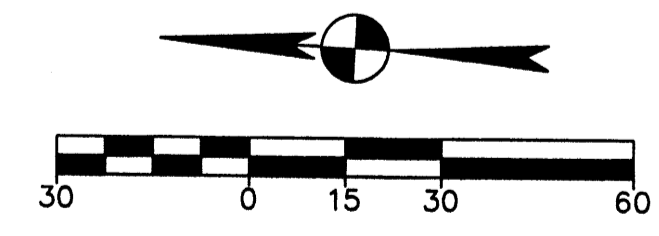
PROJECT: 800
DATE: 5-24-12
DRAWN: BDC
CONTACT: BDC
SCALE: PER DETAIL
SHEET: A1.2

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - CITY PROJECT NO. 1004776 - SUBMITTED FOR 12/13 DRB HEARING



NOTE:
VEHICULAR ACCESS AND
EGRESS TO SCHOOL
FROM EXISTING DRIVEWAY
ENTRANCES ARE TWO WAY
AT ALL TIMES, EXCEPTING
TWICE DAILY AT 30
MINUTES BEFORE SCHOOL
SESSION START AND 30
MINUTES AFTER SCHOOL
SESSION END.

1 CIRCULATION PLAN
SCALE: 1" = 30'-0"



REVISIONS:
(6-4-12) ADDRESS EPC CONDITIONS
(12-20-12) ADDRESS DRB SUBMITTAL NEEDS

SHEET TITLE: CIRCULATION PLAN
PROJECT: HORIZON ACADEMY WEST
ELEMENTARY CHARTER SCHOOL
3021 TODOS SANTOS STREET NORTHWEST
ALBUQUERQUE, NEW MEXICO 87120

Local Jurisdictions please note.
Portions of this building are under the jurisdiction of the State of New Mexico, Construction Industries / Manufacturing Housing Division Regulations and Licensing Department. Review, approval and inspections of the modular portion of the building are the sole responsibility of this Agency.

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PHOENIX, ARIZONA 85024
TEL: 602-272-2000
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PROJECT: 809
DATE: 6-24-12
DRAWN: BDG
CONTACT: BDG
SCALE: AS NOTED
SHEET:

A1.3

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - CITY PROJECT No. 1004776 - SUBMITTED FOR 1/2/13 DRB HEARING

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 8 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

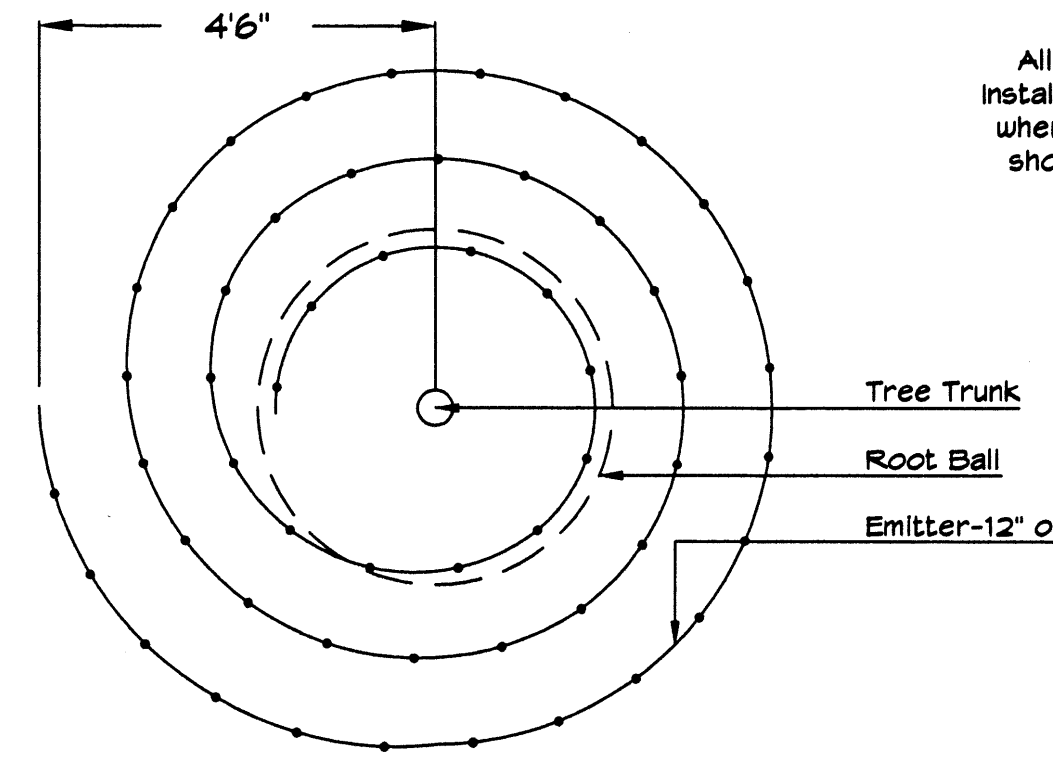
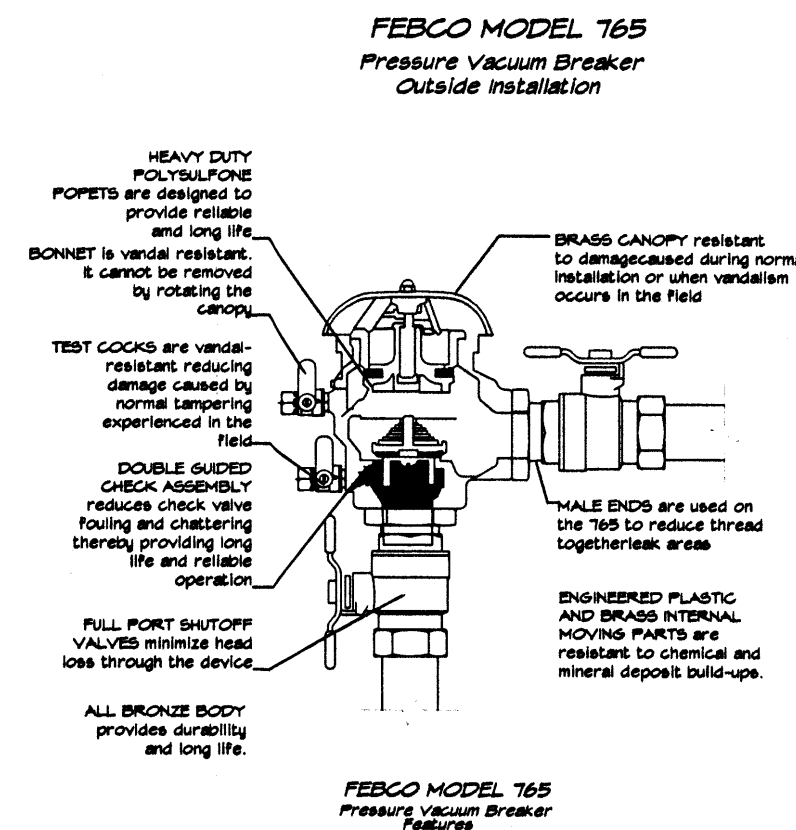
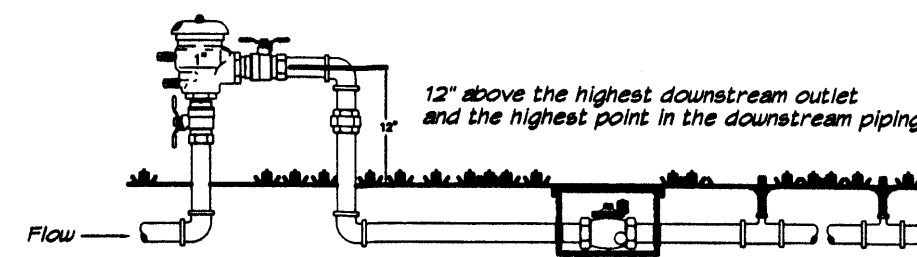
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	149,364	square feet
TOTAL BUILDINGS AREA	41,466	square feet
NET LOT AREA	107,898	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	16,185	square feet
TOTAL NEW BED PROVIDED	10760 (28%)	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	8070	square feet
TOTAL GROUND COVER PROVIDED	8196	square feet
TOTAL EXISTING BED	9117 (24%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	18151 (48%)	square feet
TOTAL LANDSCAPE PROVIDED	38028 (95%)	square feet



Netafim Spiral Detail

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant. DENOTES EVERGREEN PLANT MATERIAL.

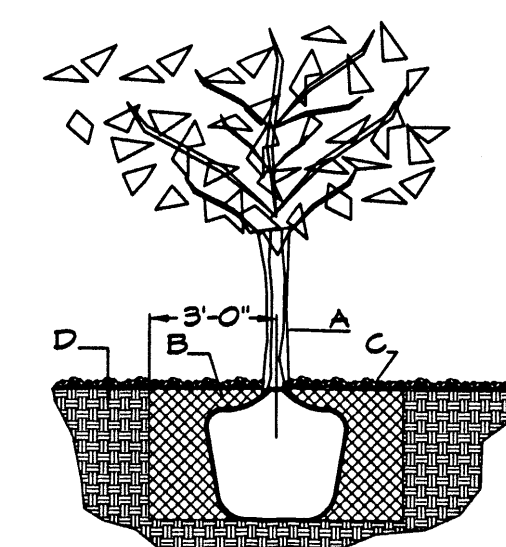
- JAPANESE PAGODA TREE 5
Sophora japonica
2" Gal., 12-14" inst./35' x 35' maturity
Water (M) Allergy (L) 0sf
- CHITALPA 1
Chilopsis x Catalpa
2" Gal., 12-14" inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- EASTERN REDBUD 3
Cercis canadensis
2" Gal., 10" inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- SHRUBS/ORNAMENTAL GRASSES
- DESERT WILLOW SHRUB 10
Chilopsis linearis
15 Gal., 4-10" inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
- ROSE OF SHARON 5
Hibiscus syriacus
5 Gal., 2-4" inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- INDIAN HAWTHORN 6
Raphiolepis indica
5 Gal., 18-3" inst./6' x 6' maturity
Water (M) Allergy (L) 36sf
- SCOTCH BROOM 6
Cytisus scoparius
5 Gal., 18-3" inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
- POTENTILLA 6
Potentilla fruticosa
1 Gal., 3-15" inst./3' x 3' maturity
Water (M) Allergy (L) 4sf
- CATMINT 8
Nepeta mussini
1 Gal., 3-15" inst./1' x 2' maturity
Water (M) Allergy (L) 4sf

HARDSCAPES

- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- EXISTING LANDSCAPING TO REMAIN
- HYDROSEEDED TURF

GROUNDCOVERS

- LADY BANKS ROSE 6
Rosa banksiae
5 Gal., 24-4" inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked Groundcover
- HONEYSUCKLE 21
Lonicera japonica 'Halliana'
1 Gal., 6-15" inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked Groundcover
- GREYLEAF COTONEASTER 12
Cotoneaster glaucophyllus
5 Gal., 24-4" inst./2' x 9' maturity
Water (M) Allergy (L) 81sf
- BUFFALO JUNIPER 37
Juniperus sabinia 'Buffalo'
5 Gal., 24-4" inst./2' x 8' maturity
Water (L) Allergy (H) 64sf
- GREEN MOUND JUNIPER 8
Juniperus procumbens 'Green Mound'
1 Gal., 6-15" inst./8' x 8' maturity
Water (L) Allergy (H) 64sf



TREE PLANTING DETAIL

NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

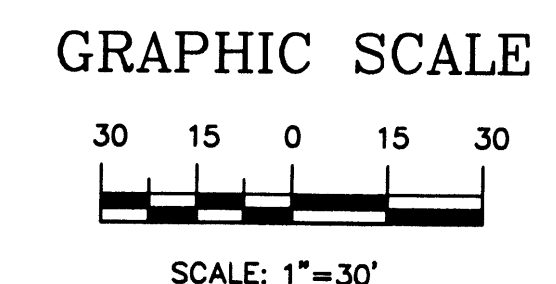
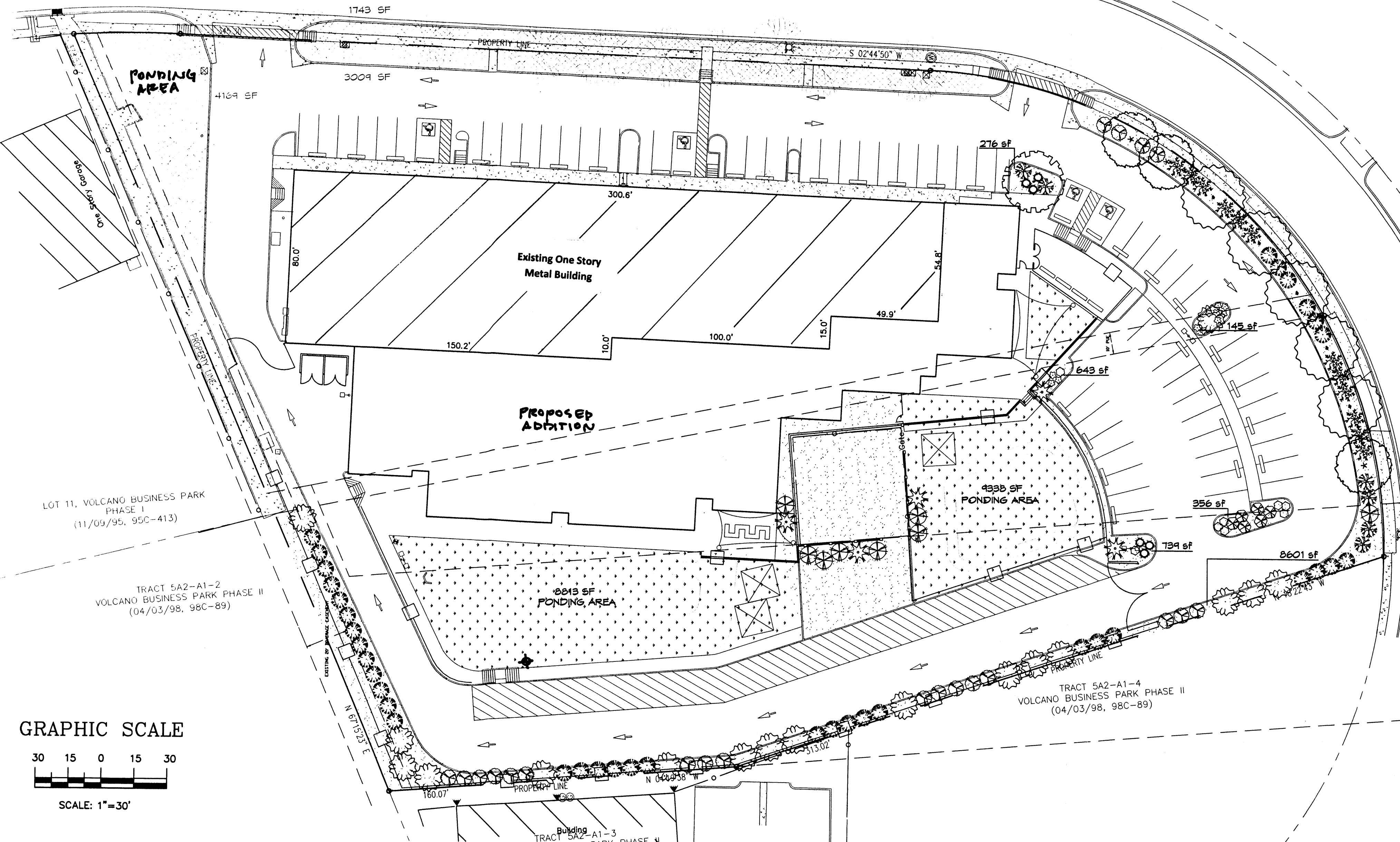
- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

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Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

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REVISIONS:

4-25-12 Site Rev. cmj
5-24-12 COA COMMENTS
6-4-12 COA COMMENTS

THE CITY OF ALBUQUERQUE
GRADE SCHEDULE
1977

LANDSCAPE PLAN
PROJECT: HORIZON ACADEMY WEST ELEMENTARY CHARTER SCHOOL
3021 TODOS SANTOS STREET NORTHWEST ALBUQUERQUE, NEW MEXICO 87120

SHEET TITLE: LANDSCAPE PLAN
PROJECT: HORIZON ACADEMY WEST ELEMENTARY CHARTER SCHOOL
3021 TODOS SANTOS STREET NORTHWEST ALBUQUERQUE, NEW MEXICO 87120

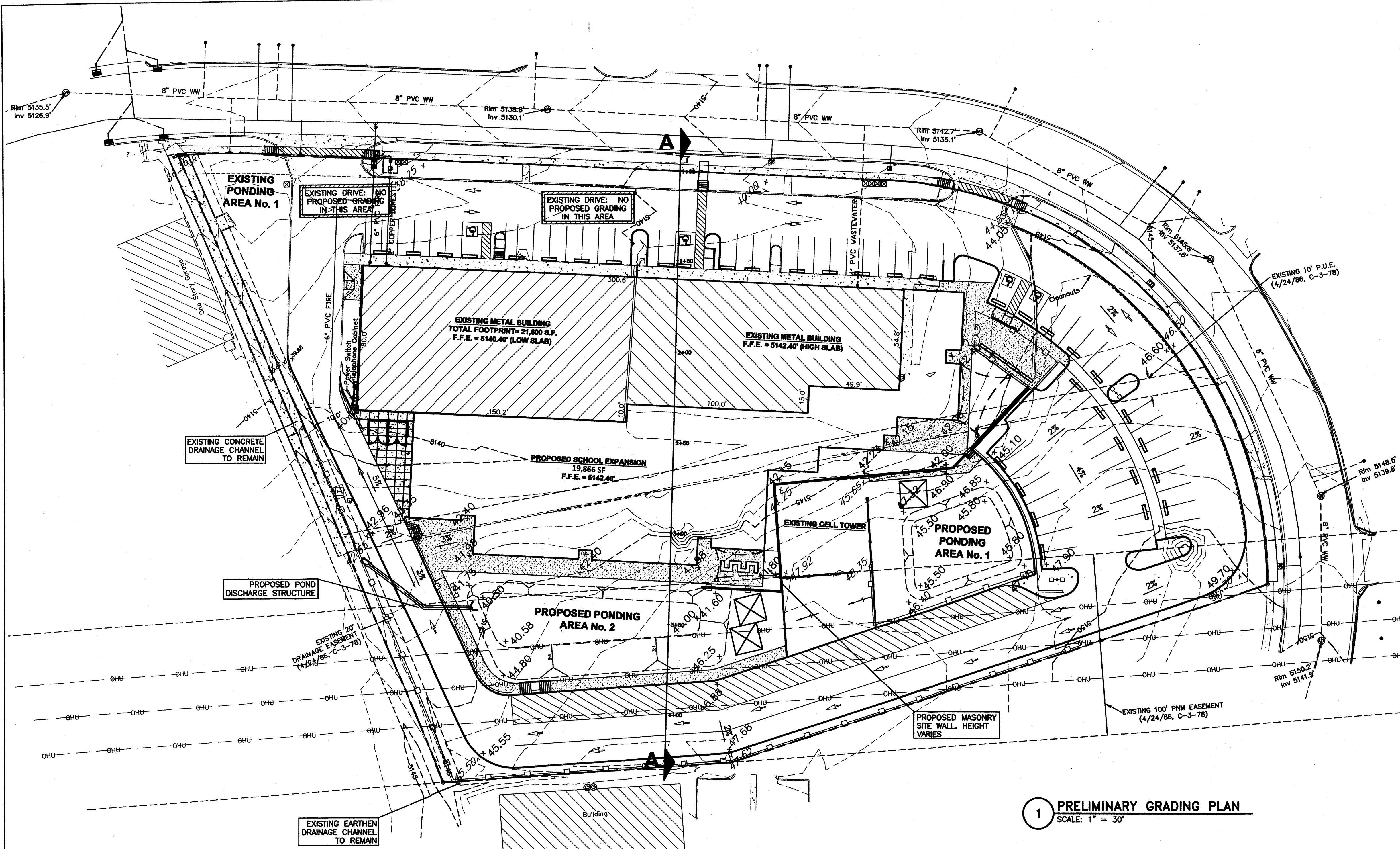
ACT PROJECT MANAGER APPROVAL FOR CONSTRUCTION:

22025 NORTH 16TH STREET
PHOENIX, ARIZONA 85024
TEL: 602-272-2000
FAX: 602-298-2000

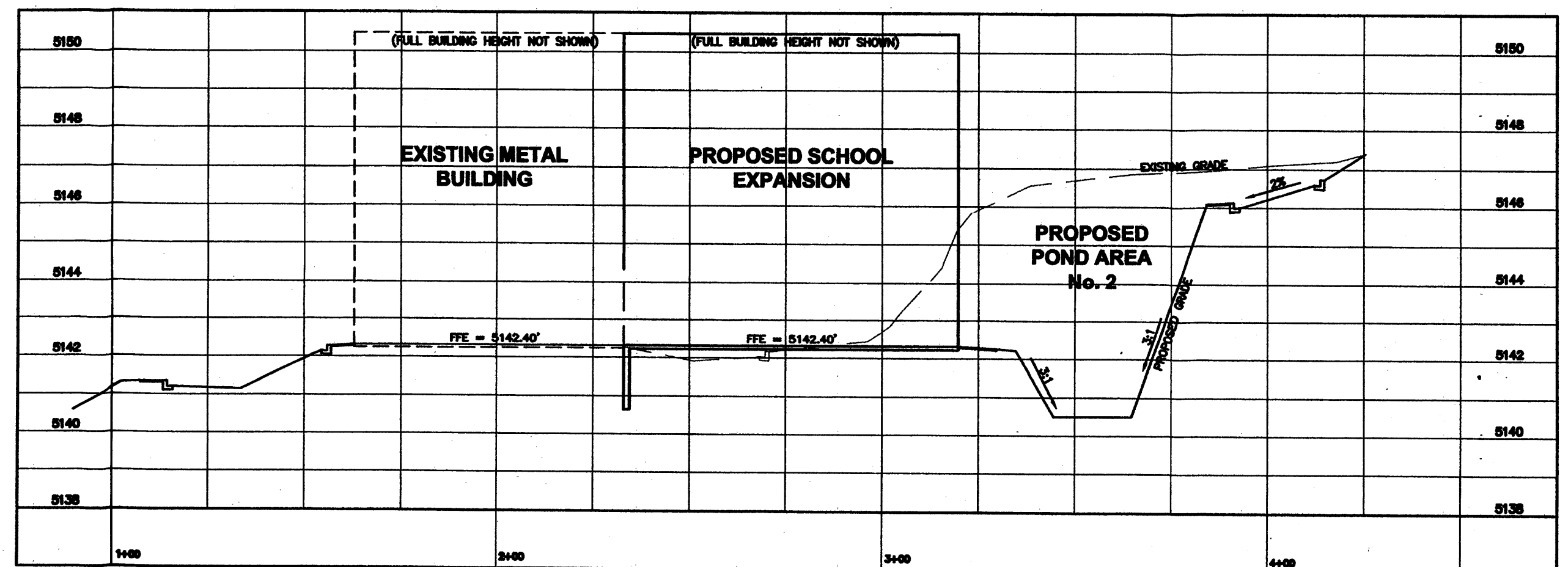
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PROJECT: 808
DATE: 3-22-12
DRAWN: C
CONTACT: BG
SCALE: AS NOTED
SHEET: L1.0

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - CITY PROJECT NO. 1004776 - SUBMITTED FOR 12/13 DRB HEARING



1 PRELIMINARY GRADING PLAN
SCALE: 1" = 30'



2 SITE CROSS SECTION A-A
SCALE: 1" = 30'

LEGEND	
EXISTING	PROPOSED
SITE	
	PROPERTY (R.O.W.) LINE
	FENCE LINE
	EDGE OF PAVEMENT
	CURB & GUTTER
	FIRE LANE DESIGNATION
	MASONRY WALL
	CONCRETE SIDEWALK
	ACCESSIBLE ROUTE
	ACCESSIBLE PARKING SPACE
	WALL
	SIGN
	WHEEL STOP
	BOLLARD
WATER	
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	BACK FLOW PREVENTER
	REDUCER
	WATER LINE
	FIRE LINE
WASTEWATER	
	WASTEWATER MANHOLE
	WASTEWATER CLEANOUT
	WASTEWATER LINE
DRY UTILITIES	
	LIGHT POLE
	POWER POLE
	DOWN GUY
	TRANSFORMER (SIZE VARIES)
	TELECOMMUNICATIONS PEDESTAL
	ELECTRIC BOX
	ELECTRIC VAULT
	ELECTRIC LINE (OVERHEAD)
	ELECTRIC LINE (UNDERGROUND)
	GAS METER
	GAS VALVE
	GAS LINE
GRADING & STORMSEWER	
	CONTOUR-MAJOR (5FT)
	CONTOUR-MINOR (1FT)
	STORMSEWER MANHOLE
	STORMSEWER LINE
	GRATE INLET (SIZE VARIES)
	CURB INLET (SIZE VARIES)
	ROCK RIP-RAP EROSION CONTROL
	FLOW ARROW
EROSION & SEDIMENTATION CONTROL	
	TREE PROTECTION / TEMPORARY SITE PERIMETER FENCE
	LIMITS OF CONSTRUCTION
	SILT FENCE
	STABILIZED CONSTRUCTION ENTRANCE

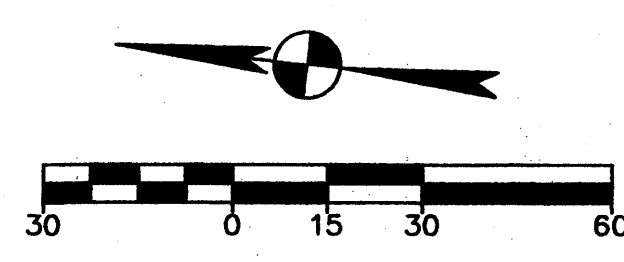
LEGEND	
EXISTING	PROPOSED
GRADING & STORMSEWER, CONTINUED	
50.00	60.00
SPOT ELEVATIONS	

NARRATIVE DESCRIPTION:

The topography of the proposed site, located at 3021 Todos Santos NW, falls from the high point (5151.05' MSL) at the southwest corner to the low point (5136.11' MSL) at the northeast corner of the property. There is a prominent grade change of approximately 4 to 5 feet with a north-south orientation and bisecting the property. In order to detain existing impervious cover generated by a 21,000 square foot metal building and site infrastructure, a detention facility was implemented in the northeast corner of the property to meet discharge requirements established for the subject site as part of a Master Drainage Study completed by Easterling and Associates circa 1985. There is also an existing drainage channel along the northern and western boundary, which conveys off-site flow from the adjoining property to the west.

The proposed site improvements include accommodating 18,000 square feet of additional building coverage as well as supporting drives and parking. Several small site retaining walls and earthen slopes are necessary to transition between these elements. A detention facility will be located between a perimeter drive aisle and the building expansion.

Surrounding topography generally follows the same pattern of fall in a northeasterly direction. Ultimate discharge for each lot within the Volcano Business Park (of which the subject site is defined as Lot 12A) occurs via a public storm drain system in Ouray Road with eventual conveyance to the Ladera regional detention facility.



REVISIONS:

PRELIMINARY GRADING PLAN

HORIZON CHARTER SCHOOL

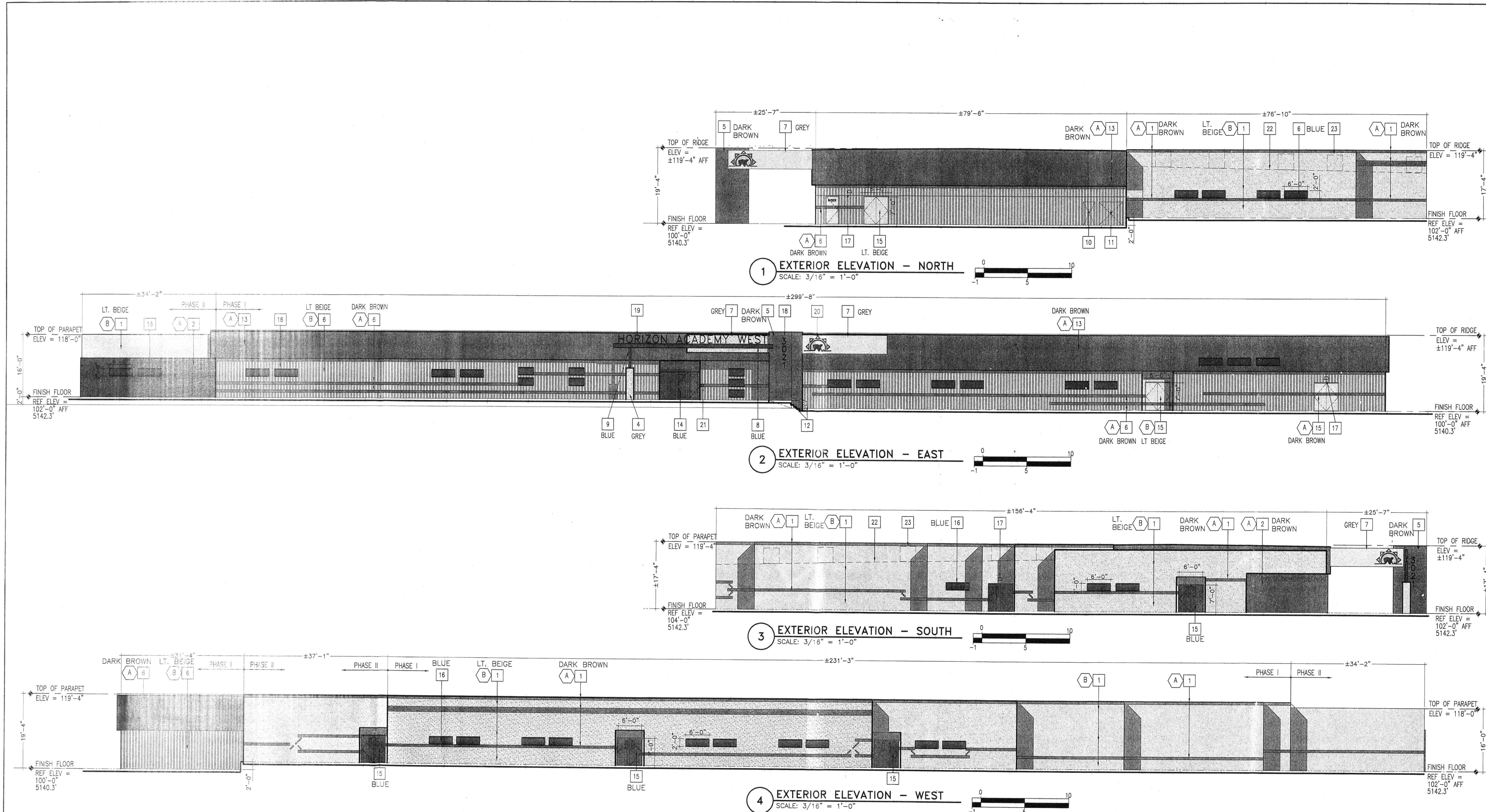
3021 TODOS SANTOS ST. ALBUQUERQUE, NEW MEXICO 87120

22428 NORTH 16TH STREET
PHOENIX, ARIZONA 85024
TEL: 602-272-2000
FAX: 602-296-2000

PROJECT: 809
DATE: 5-24-12
DRAWN: BDG
CONTACT: BDG
SCALE: AS NOTED
SHEET: C1.0

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - CITY PROJECT NO. 1004776 - SUBMITTED FOR 12/13 DRB HEARING

6/12/2009 - Horizon Academy/Utah/CD/1809 - CD/0 Grading & Drainage Plan/As. 5/4/2012 10:57:53 AM



- KEYNOTES:**
- EFS SYSTEM WITH SMOOTH COAT FINISH -
 - 10' HIGH WAINSCOT EFS SYSTEM WITH SMOOTH COAT FINISH -
 - EXPANSION JOINT
 - STUCCO COLUMN - COLOR TO MATCH DUNN EDWARDS #DE6192 NOMADIC TALPE OR EQUAL. BOX COLUMN WITH METAL SIDING TO MATCH DUNN EDWARDS #DE6139 SUMMERVILLE BROWN OR EQUAL.
 - EXISTING WAREHOUSE METAL SIDING - PATCH REPAIR AND PAINT
 - EFS BOX BEAM - COLOR TO MATCH DUNN EDWARDS #DE6192 NOMADIC TALPE OR EQUAL.
 - STEEL BEAM - COLOR TO MATCH DUNN EDWARDS #DEA136 BEAUTIFUL BLUE OR EQUAL.
 - STEEL COLUMN - COLOR TO MATCH DUNN EDWARDS #DEA136 BEAUTIFUL BLUE OR EQUAL.
 - EXISTING PHONE CABINET
 - EXISTING SERVICE ENTRANCE SECTION
 - EXISTING STAIR - PAINT DUNN EDWARDS #DEA136 BEAUTIFUL BLUE OR EQUAL.
 - EXISTING METAL FASCIA - PAINT DUNN EDWARDS #DE6139 SUMMERVILLE BROWN OR EQUAL.
 - ALUM STOREFRONT DOOR/WINDOW SYSTEM: PPG SOLAR BRONZE TINTED GLAZING BY OLD CASTLE AND FRAME COLOR TO MATCH DUNN EDWARDS #DEA136 BEAUTIFUL BLUE OR EQUAL - SEE FLOOR PLAN.
 - DOOR(S) - UNLESS OTHERWISE NOTED, COLOR TO MATCH DUNN EDWARDS #DEA136 BEAUTIFUL BLUE OR EQUAL. SEE FLOOR PLAN AND SCHEDULE.
 - WINDOW SYSTEM: 1" PPG SOLAR BRONZE TINTED GLAZING BY OLD CASTLE AND FRAME COLOR TO MATCH DUNN EDWARDS #DEA136 BEAUTIFUL BLUE OR EQUAL - SEE FLOOR PLAN AND SCHEDULE.
 - WALL MOUNTED LIGHT - SEE ELECTRICAL.
 - 18" ADDRESS SIGNAGE WITH RED METAL LETTERS, CONTRASTING WITH ADJACENT SURFACE - PER MINIMUM REQUIREMENTS OF CITY OF ALBUQUERQUE FIRE DEPARTMENT (APPROXIMATELY 3.5 SF).
 - CONCEPTUAL BUILDING SIGNAGE (BY OTHERS). SIGN TO BE 42" HIGH BLACK METAL CHANNEL LETTERS WITH RED VINYL FACING. SHOP DRAWINGS TO BE SUBMITTED IN THE PERMITTING PROCESS (APPROXIMATELY 70 SF).
 - AREA OF PROPOSED 7'X4' SCHOOL LOGO BY OTHERS (APPROXIMATELY 28 SF).
 - FIRE DEPARTMENT KNOX BOX - LOCATION VERIFIED WITH THE CITY OF ALBUQUERQUE FIRE DEPARTMENT.
 - DASHED LINE OF ROOF BEYOND
 - DASHED LINE OF SCREENED MECHANICAL EQUIP., TYP.

COLOR SCHEDULE:

- COLOR TO MATCH DUNN EDWARDS, #DE6139 - SUMMERVILLE BROWN (DARK BROWN)
- COLOR TO MATCH DUNN EDWARDS, #DE6136 - TERRACOTTA SAND (LIGHT BEIGE)

ACCELERATED TECHNOLOGY STANDARD DETAILS:

- SCUPPER DETAIL: STRU0220

- GENERAL NOTES:**
- ALL MECHANICAL AND COMMUNICATIONS EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
 - ALL SIGNAGE IS CONCEPTUAL AND SHALL BE SUBMITTED/REVIEWED UNDER A THE PERMIT PROCESS.
 - MOUNT EXTERIOR LIGHT FIXTURES AT 8'-0" A.F.F. TO CENTER OF FIXTURE.

JURISDICTIONAL AGENCY APPROVAL STAMP:

REVISIONS:

SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT:
**HORIZON ACADEMY WEST
 ELEMENTARY CHARTER SCHOOL
 3021 TODOS SANTOS STREET NORTHWEST
 ALBUQUERQUE, NEW MEXICO 87120**

ACT PROJECT MANAGER APPROVAL FOR CONSTRUCTION:

ACT PROJECT NO. 1004776 - SUBMITTED FOR 12/13 DRB HEARING

2008 NORTH 10TH STREET
 PHOENIX, ARIZONA 85024
 PHONE: 602-272-2000
 FAX: 602-298-2000

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ACCELERATED CONSTRUCTION TECHNOLOGY

PROJECT: 809
DATE: 05-24-12
DRAWN: JD/DT
CONTACT: BDG
SCALE: AS NOTED
SHEET: A3.1