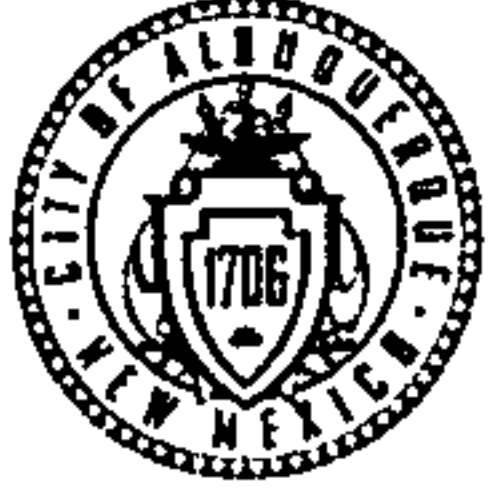


#3



COMPLETED 04/05/06 SH  
DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00402 (SBP)  
Project Name: ALAMEDA BUSINESS PARK  
Agent: SANDERS & ASSOCIATES ARCHITECT

Project # 1004784  
Phone No: 255-5040

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 4-5-06 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign) *3 copies*  
*Sam*  
*4/5/06*  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
  - 3 copies of the approved site plan. Include all pages.**
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
  - Property Management's signature must be obtained prior to Planning Department's signature.**
  - AGIS DXF File approval required.**
  - Copy of recorded plat for Planning.**

Project Number 1004784

#3



# DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00402 (SBP)

Project # 1004784

Project Name: ALAMEDA BUSINESS PARK

Agent: SANDERS & ASSOCIATES ARCHITECT

Phone No: 255-5040

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### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_
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- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- UTILITIES: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

PLANNING (Last to sign) 3 copies  
 HE HD signature  
 I.L. Langstaff on Landfill on SPBP

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  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
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- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1004784



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

APRIL 5, 2006

9:00 A.M.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:40 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

**1. Project # 1000696**

05DRB-01529 Major-Preliminary Plat  
Approval  
05DRB-01530 Minor-Sidewalk Waiver  
05DRB-01531 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s). [Deferred from 10/26/05 & 11/9/05 & 11/23/05 & 11/30/05 & 1/4/06 & 1/25/06 & 2/22/06 & 3/15/06 & 4/5/06] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 4/19/06.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

2. **Project # 1003125**  
06DRB-00401 Minor-SiteDev Plan  
Subd/EPC

DEKKER PERICH SABATINI agent(s) for ECLIPSE AVIATION request(s) the above action(s) for all or a portion of Tract(s) D-1, DOUBLE EAGLE II AIRPORT, **ECLIPSE AVIATION CAMPUS**, zoned SU-1 FOR AIRPORT RELATED FACILITIES, located on AEROSPACE PARKWAY NW, between PASEO DEL VOLCAN NW and SHOOTING RANGE ACCESS RD NW containing approximately 150 acre(s). [REF: 03EPC02054, 04DRB01505, 04DRB01506] [Stephanie Shumsky, EPC Case Planner] (F-6) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/5/06 THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PUBLIC ACCESS EASEMENT BY PLAT OR A PAPER EASEMENT NEEDS TO BE RECORDED AND PLANNING FOR 3 COPIES OF THE SITE PLAN, AND THERE ARE TWO MODIFICATIONS THAT NEED TO BE MADE TO THIS SITE PLAN FOR SUBDIVISION. STEPHANIE SHUMSKY IS IN AGREEMENT ON THESE CHANGES. 1. ON THE SITE PLAN SHEET DIRECTLY UNDER "SITE PLAN FOR SUBDIVISION REQUIRED INFORMATION", THIS STATEMENT SHOULD APPEAR: THIS SITE PLAN FOR SUBDIVISION IS FOR THE ECLIPSE AVIATION CAMPUS ONLY (TRACT D-1) AND SUPERCEDES THAT PORTION OF THE PREVIOUSLY APPROVED AEROSPACE TECHNOLOGY PARK SITE PLAN FOR SUBDIVISION (03EPC-02054) WHICH INCLUDED THE ECLIPSE AVIATION CAMPUS PROPERTY. 2. UNDER #1, FRAMEWORK ON SHEET, THIS CHANGE SHOULD BE MADE: "...FUTURE SITE PLANS FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD AND SHALL NOT REQUIRE...."**

3. **Project # 1004784**  
06DRB-00402 Minor-SiteDev Plan  
BldPermit

SANDERS & ASSOCIATES ARCHITECTS agent(s) for MIKE BAKER request(s) the above action(s) for all or a portion of Lot(s) 39, **ALAMEDA BUSINESS PARK**, zoned SU-2/IP-EP, located on CALLE ALAMEDA NE, between PASEO ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF:DRB-98-223] (C-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN AND ENVIRONMENTAL HEALTH ISSUES.**

#### MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

4. **Project # 1001685**  
06DRB-00405 Minor-Vacation of Private  
Easements

GREAT BASIN ENGINEERING agent(s) for SMITH'S FOOD & DRUG CENTERS request(s) the above action(s) for all or a portion of Tract(s) 1B-2, **PARADISE NORTH** (to be known as **GOLF COURSE MARKET PLACE**) zoned C-2 (SC), located on MCMAHON BLVD NW and GOLF COURSE RD NW, containing approximately 8 acre(s). [REF: 04EPC-01348, 04EPC-01349, 04EPC-01590, 04ZHE-01924, 05DRB-01349, 05DRB-01350, 05DRB-01893, 05DRB01894] (A-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1003483**  
06DRB-00400 Minor-Prelim&Final Plat  
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for SANTOSH MODY request(s) the above action(s) for all or a portion of Lot(s) 17, 18 & 19, Block(s) 12, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN PEDRO NE, between ALAMEDA BLVD NE and SIGNAL AVE NE containing approximately 3 acre(s). [REF: 04DRB-00881, 04DRB-01167] (C-18) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

6. **Project # 1004785**  
06DRB-00403 Minor-Prelim&Final Plat  
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 1, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D 3DU/A, located on EAGLE ROCK AVE NE, between VENTURA ST NE and BARSTOW ST NE containing approximately 1 acre(s). *(Indef Deferred from 4/5/06)* (C-20) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

7. **Project # 1003885**  
06DRB-00389 Minor-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for FAMILY HOUSING DEVELOPMENT CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 4-7, 9-12 & 21-24, Block(s) 13, PEREA ADDITION (to be known as **BELL TRADING POST HOMES**), zoned SU-2 TH, located on ROMA AVE NW, between 15<sup>TH</sup> ST NW and 16<sup>TH</sup> ST NW containing approximately 1 acre(s). [REF: 05ZHE00271, 05ZHE00273, 05ZHE00274, 05DRB00057, 05DRB01674, 05DRB01675, 05DRB01676] (J-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REVIEW OF CONSTRUCTION PLANS WITH EASEMENT AND CORRECT NOTES N AND P AND PLANNING TO RECORD THE PLAT.**

8. **Project # 1004360**  
06DRB-00395 Minor-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-A, ACRES ADDITION (to be known as **ENTRADA DEL BOSQUE**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between GABALDON NW and LULAC AVE NW containing approximately 5 acre(s). [REF: 05DRB01737, 06DRB00025, 06DRB00024] (J-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ADA RAMPS IN RIGHT-OF-WAY AND PLANNING FOR RESTRICTIONS AND COVENANTS TO BE RECORDED, AGIS DXF FILE, MRGCD SIGNATURE AND TO RECORD.**

9. **Project # 1004177**  
06DRB-00407 Major-Final Plat Approval

BOHANNAN HUSTON INC agent(s) for D.R. HORTON HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 12-A VENTANA HIGHLANDS, UNIT 1, (to be known as **VENTANA HIGHLANDS, UNIT 3**, zoned R-LT residential zone, located on VENTANA RIDGE RD NW and DEL OESTE DR NW, containing approximately 26 acre(s). [REF:05DRB01122, 06DRB00374, 06DRB00098] (B-8) **FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

10. **Project # 1004788**  
06DRB-00408 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON agent(s) for UNIVERSITY OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 1E1-A-1 and 1E2-A-1, 1E2-A-2, **UNIVERSITY OF NEW MEXICO, SCIENCE & TECHNOLOGY PARK**, zoned SU-1 PDA, PERMISSIVE USE OF O-1/C-2, IP, located on UNIVERSITY BLVD SE , between AVENIDA CESAR CHAVEZ SE and INTERSTATE 40 SE containing approximately 13 acre(s). [*Deferred from 4/5/06*] (L-15) **DEFERRED AT AGENT'S REQUEST TO 4/12/06.**

11. **Project # 1004036**  
06DRB-00263 Minor-Final Plat Approval

HALL SURVEYING CO agent(s) for MAX CONTRERAS request(s) the above action(s) for all or a portion of Tract(s) A & B, **MAX REPLAT**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW, between LOS ANAYAS RD NW and ZICKERT NW containing approximately 2 acre(s). [REF: 05DRB 00446, 05DRB00922] [*Indef deferred from 3/8/06*] (H-12/H-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

12. **Project # 1004771**  
06DRB-00373 Minor-Prelim&Final Plat  
Approval

RON GARNER agent(s) for GARBAC, LLC request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 41, **RAYNOLDS ADDITION**, zoned SU-2/NCR, located on COAL AVE SW, between 10<sup>TH</sup> ST SW and 11<sup>TH</sup> ST SW containing approximately 1 acre(s). [Deferred from 3/29/06 & 4/5/06] (K-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/12/06.**

13. **Project # 1002176**  
06DRB-00092 Major-Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a PORTION OF LAND IN SW 1/4 - NW 1/4 SEC 26 TION R4E TOGETHER W/ TRACT E-1, NORTH FOUR HILLS, (to be known as **COVERED WAGON SUBDIVISION**) zoned SU-1, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). (Was Indef deferred on 2/1/06) [Deferred from 4/5/06] (L-23) **DEFERRED AT THE AGENT'S REQUEST TO 4/12/06.**

14. **Project # 1004770**  
06DRB-00372 Minor-Prelim&Final Plat  
Approval

WAYJOHN SURVEYING INC agent(s) for COE PROPERTIES, STEVE COE request(s) the above action(s) for all or a portion of Lot(s) 9-12, Block(s) 10, **MESA GRANDE ADDITION**, zoned O-R, located on SIERRA DR SE, between SILVER AVE SE and ZUNI RD SE containing approximately 1 acre(s). [Deferred from 3/29/06 & 4/5/06] (K-17) **DEFERRED AT THE AGENT'S REQUEST TO 4/12/06.**

15. **Project # 1004766**  
06DRB-00361 Minor-Prelim&Final Plat  
Approval

LAND DEVELOPMENT CONSULTANTS agent(s) for JESUS & CINDY FRAIRE request(s) the above action(s) for all or a portion of Lot(s) 12 & 13, Block(s) 2, **GREGORIO & RAFAEL APODACA ADDITION**, zoned SU-2 MR, located on JESUS ST SE, between DAN AVE



SE and JESUS ST SE containing approximately 1 acre(s).  
[Deferred from 3/29/06] [Indef deferred from 4/5/06] (L-14)  
**INDEFINITELY DEFERRED AT THE AGENT'S  
REQUEST.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

16. **Project # 1004782**  
06DRB-00398 Minor-Sketch Plat or Plan  
THOMAS GUIITERREZ request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 1, **SLOANS ACRES**, zoned R-1, located on ESTANCIA NW, between WAYNE NW and EVERITT NW containing approximately 1 acre(s). (G-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
  
17. **Project # 1004789**  
06DRB-00409 Minor-Sketch Plat or Plan  
REBECCA LANGTON request(s) the above action(s) for all or a portion of Lot(s) 10A & 10B, **GAUL - RL ADDITION**, zoned R-1 residential zone, located on 4<sup>TH</sup> ST NW, between GRIEGOS NW and MONTANO NW containing approximately 1 acre(s). (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
  
18. Approval of the Development Review Board Minutes for March 29, 2006. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR MARCH 29, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:40 A.M.



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**April 5, 2006  
DRB Comments**

**ITEM # 3**

**PROJECT # 1004784      APPLICATION # 06DRB-00402**

**RE: Lot 39, Alameda Business Park/spbp**

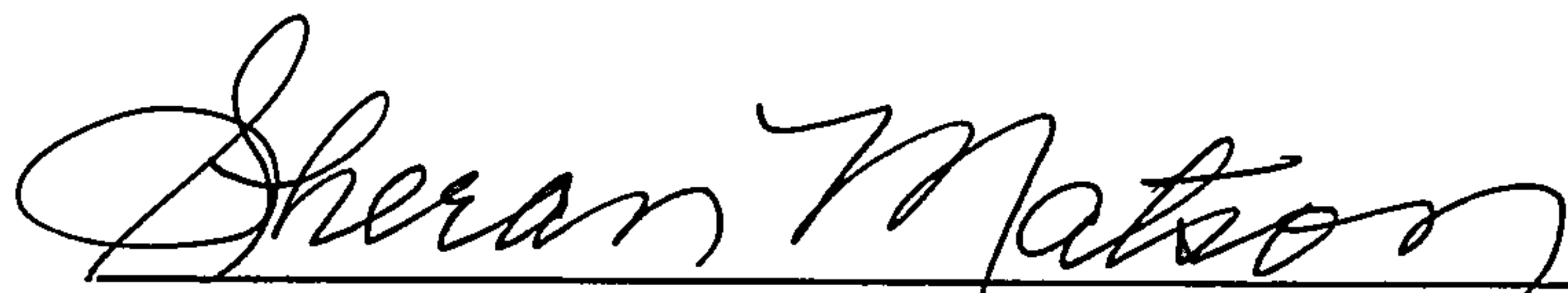
Because this is not an EPC approved site plan, the first paragraph in the signature block should be eliminated.

- ✓ 1. The Conceptual Utility Plan is missing.
- ✓ 2. The existing & proposed easements' identification is missing from the Landscape plan.
- ✓ 3. The color of the split faced block wall is not identified on the site plan.
- ✓ 4. The property lines are not clearly identified on the Landscape Plan.
5. Some of the "Notes" on the Landscape Plan need revising:
  - ✓ • Maintenance of landscape & irrigation system provided by owner.
  - ✓ • This plan is to comply with *City of Albuquerque Water Conservation Landscaping and Waste Water...*
  - ✓ • Landscape areas to be mulched with gravel (*color & size?*) at 3" *minimum* depth over filter fabric.
  - ✓ • Approval of the Landscape Plan does not constitute or imply *exemption from the water waste provisions of the Water Conservation, Landscaping & Water Waste Ordinance.*

- ✓ 6. Materials & colors of windows, doors & framing appear to be missing from Building Elevations.
7. Signage to identify the business occupying the building must be planned. Nothing is provided on the site plan. Signage on the building? Only one building mounted sign per business is allowed and it cannot exceed 15% of the façade area on which it is mounted.
- ✓ 8. Alameda Business Park Master Plan:
- Add a statement about screening roof mounted equipment from public view to the site plan.

**Please provide a revised copy of the site plan to Planning by Monday at noon to assure time to review before Wednesday's meeting.**

Call if you have any questions.



Sheran Matson, AICP, DRB Chair  
924-3880 Fax 924-3864 smatson@cabq.gov

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**April 5, 2006  
DRB Comments**

**ITEM # 3**

**PROJECT # 1004784      APPLICATION # 06DRB-00402**

**RE: Lot 39, Alameda Business Park/spbp**

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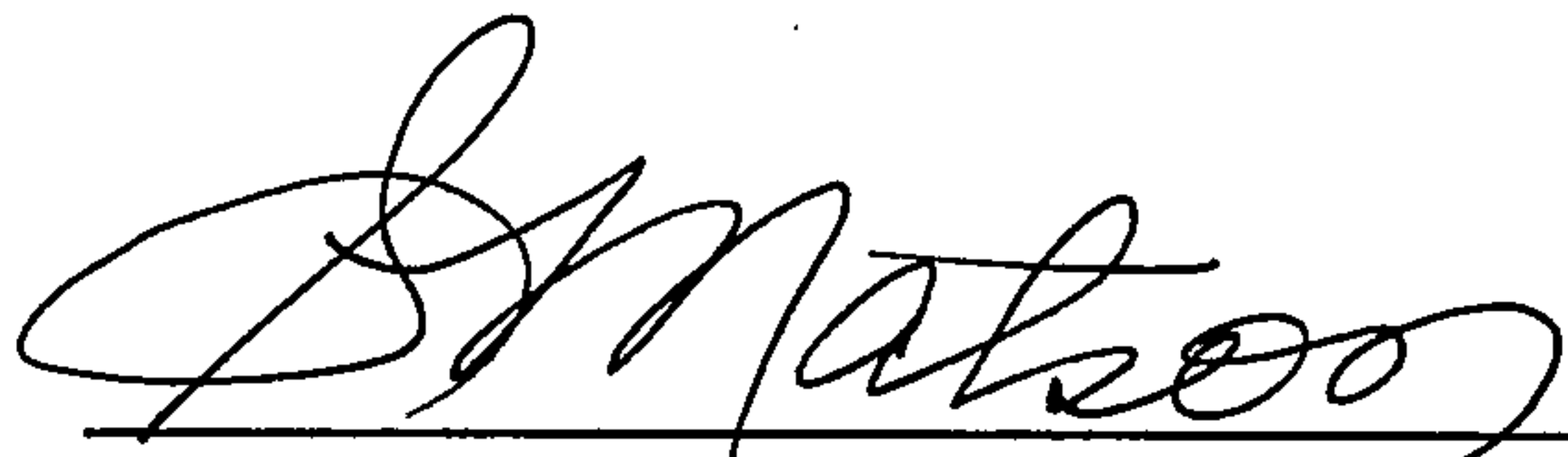
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3. The color of the split faced block wall is not identified on the site plan.
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Page 2, Baker Construction

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Call if you have any questions.



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Sheran Matson, AICP, DRB Chair  
924-3880 Fax 924-3864 smatson@cabq.gov



**DEVELOPMENT REVIEW BOARD  
FAX FORM**

**TO:** George Sanders

**FAX NUMBER:** 255-5040 # **PAGES** 3

**SENT BY:** Sheran Matson, DRB Chair    **DATE:** 3/30/06

**PHONE NUMBER:** 924-3880    **FAX #** 924-3864

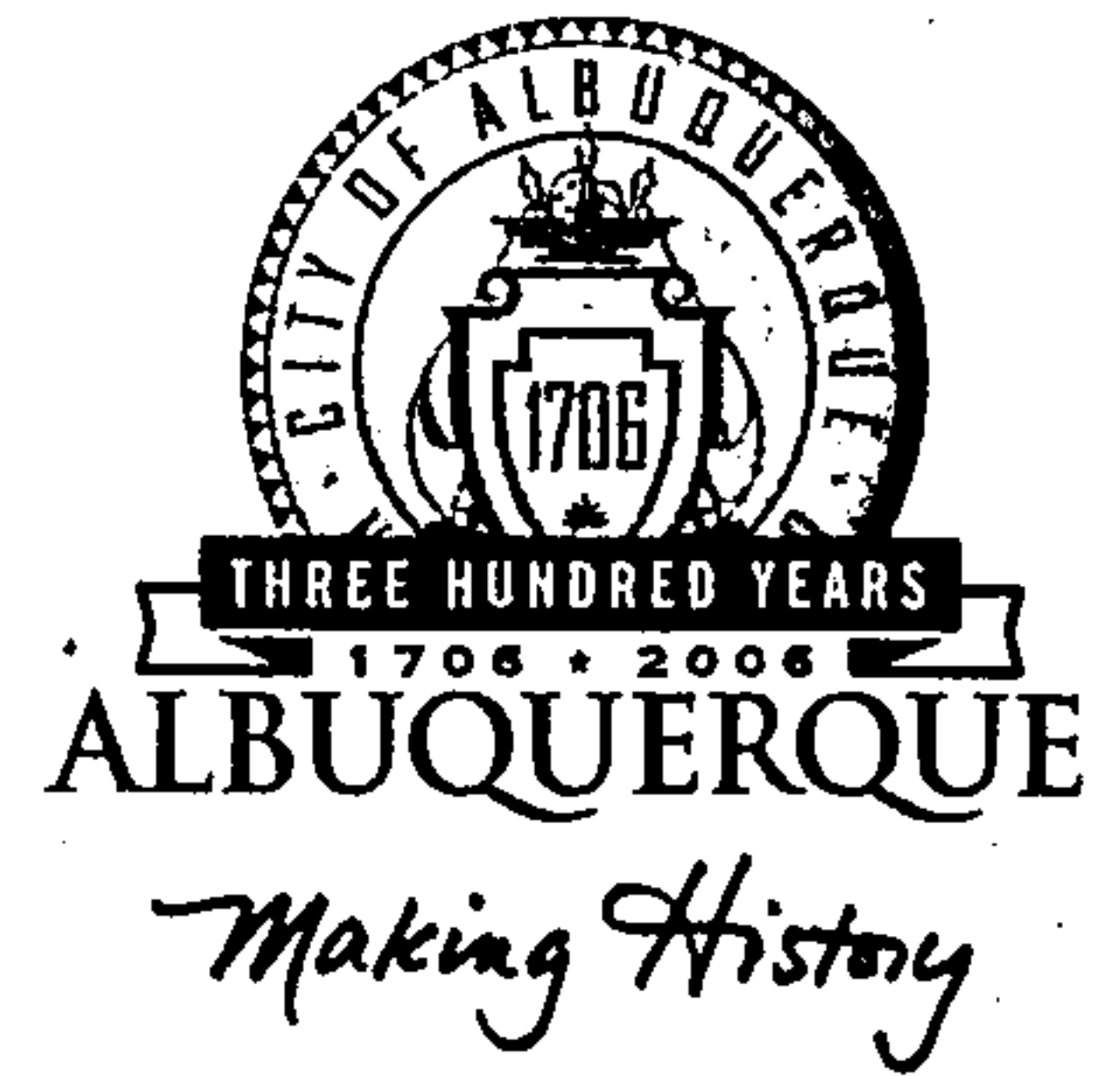
**PROJECT NO:** 1004784 **APPLICATION NO:** \_\_\_\_\_

Baker Construction

\*\*\*\*\*

*My comments only.*

# CITY OF ALBUQUERQUE



PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

**DRB CASE NO/PROJECT NO: 1004784**

**AGENDA ITEM NO: 3**

**SUBJECT:**

Site Plan for BP

**ACTION REQUESTED:**

REV/CMT: ( )    APPROVAL: (X)    SIGN-OFF: ( )    EXTN: ( )    AMEND: ( )

**ENGINEERING COMMENTS:**

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

**RESOLUTION:**

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: (UD) (CE) (TRANS) (PRKS) **(PLNG)**

**SIGNED:** Bradley L. Bingham  
City Engineer / AMAFCA Designee

**DATE:** APRIL 5, 2006





**Intera Incorporated**  
One Park Square  
6501 Americas Parkway NE  
Suite 820  
Albuquerque, NM 87110  
Telephone: 505 246 1600  
Fax: 505 246 2600

### MEMORANDUM

DATE: April 4, 2006

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department  
Kovin Curran, Legal Department  
Sanders & Associates Architects

FROM: James Joseph, INTERA Inc.

SUBJECT: Project # 1004784, 06DRB-Minor-SiteDev Plan Building Permit, Lot 39,  
Alameda Business Park on Calle Alameda NE between Pasco Alameda NE and  
Vista Alameda NE

---

The above-named project is within the buffer zone of a former City owned/operated landfill (Los Angeles Landfill). The Albuquerque Environmental Health Department (AEHD) has determined that this property is exempt from complying with the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". However, the landfill disclosure statement and AEHD signature will be required on the Site Plan and cover sheets to development plans (building permit, DRC, etc.).



**Intera Incorporated**  
One Park Square  
6501 Americas Parkway NE  
Suite 820  
Albuquerque, NM 87110  
Telephone: 505 246 1600  
Fax: 505 246 2600

**MEMORANDUM**

DATE: April 4, 2006

TO: Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department  
Kevin Curran, Legal Department  
Sanders & Associates Architects

FROM: James Joseph, INTERA Inc.

SUBJECT: Project # 1004784, 06DRB-Minor-SiteDev Plan Building Permit, Lot 39,  
Alameda Business Park on Calle Alameda NE between Paseo Alameda NE and  
Vista Alameda NE

---

The above-named project is within the buffer zone of a former City owned/operated landfill (Los Angeles Landfill). The Albuquerque Environmental Health Department (AEHD) has determined that this property is exempt from complying with the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". However, the landfill disclosure statement and AEHD signature will be required on the Site Plan and cover sheets to development plans (building permit, DRC, etc.).



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FROM: James Joseph, INTERA Inc.

SUBJECT: Project # 1004784, 06DRB-Minor-SiteDev Plan Building Permit, Lot 39,  
Alameda Business Park on Calle Alameda NE between Paseo Alameda NE and  
Vista Alameda NE

---

The above-named project is within the buffer zone of a former City owned/operated landfill (Los Angeles Landfill). The Albuquerque Environmental Health Department (AEHD) has determined that this property is exempt from complying with the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones”. However, the landfill disclosure statement and AEHD signature will be required on the Site Plan and cover sheets to development plans (building permit, DRC, etc.).

**SANDERS & ASSOCIATES ARCHITECTS, P. C.**

5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, NEW MEXICO 87110 [505] 255-5040 FAX [505] 255-5040  
Architecture Landscape Architecture Interior Design

March 31, 2006

Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, N.M. 87103

Re: Request for Site Plan for Building Permit for lot number 39 of the Alameda Business Park

To whom it may concern,

Sanders & Associates Architects, P.C. acting as agent for Mike Baker is requesting Site Plan for Building Permit approval for the above referenced project.

The following revisions have been made to the site plan to address the DRB comments.

As requested the first paragraph in the signature block has been eliminated.

comment 1. The conceptual utilities are shown on page C-1 Site Plan.

comment 2. The existing and proposed easements' identification has been added to page L-1 landscaping plan.

comment 3. The color of the split face block wall has been added to page C-1 Site Plan

comment 4. The property line has been darkened on page L-1 landscaping plan.

comment 5. Landscaping notes:

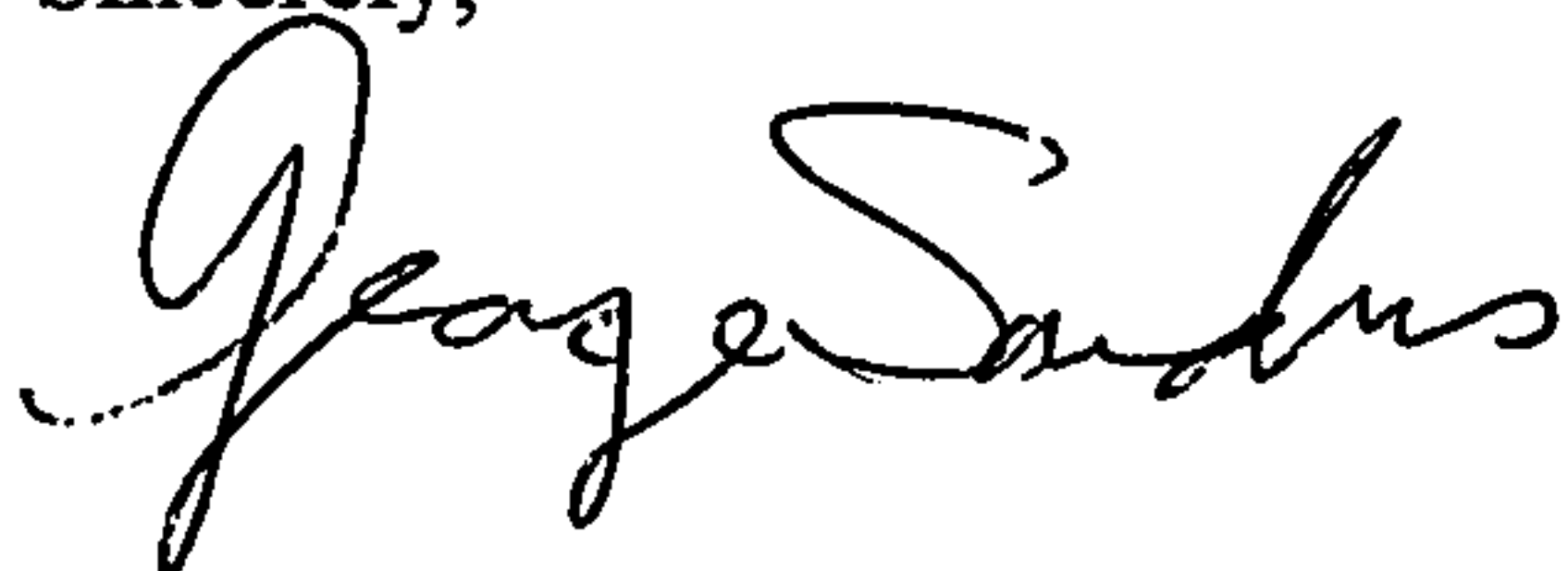
- a.. note has been reworded as requested.
- b. note has been reworded as requested.
- c. note has been reworded as requested.
- d. note has been reworded as requested.

comment 6. Materials and colors for doors, windows and window framing has been added to sheet A-1 elevations

comment 7. There will be no signage other than building address number.

comment 8. A statement about screening roof mounted equipment from public view has been added to both sheet C-1 Site plan and A-1 elevations.

Sincerely,



George Sanders, AIA

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

- SUBDIVISION**
- Major Subdivision action
  - Minor Subdivision action
  - Vacation
  - Variance (Non-Zoning)
- SITE DEVELOPMENT PLAN**
- for Subdivision Purposes
  - for Building Permit
  - IP Master Development Plan
  - Cert. of Appropriateness (LUCC)
- STORM DRAINAGE**
- Storm Drainage Cost Allocation Plan

Supplemental form

- S Z ZONING & PLANNING**
- Annexation
  - County Submittal
  - EPC Submittal
  - Zone Map Amendment (Establish or Change Zoning)
  - Sector Plan (Phase I, II, III)
  - Amendment to Sector, Area, Facility or Comprehensive Plan
  - Text Amendment (Zoning Code/Sub Regs)
  - Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Mike Baker PHONE: (505) 898-0100  
 ADDRESS: P.O. Box 92227 FAX: (505) 898-0200  
 CITY: Albuquerque STATE N.M. ZIP 87199 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_  
 AGENT (if any): Sanders & Associates Architects PHONE: (505) 255-5040  
 ADDRESS: 5921 Lomas Blvd. N.E. Suite B FAX: (505) 255-5040  
 CITY: Albuquerque STATE N.M. ZIP 87110 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: Site development plan approval for building permit for 7,218 s.f. office/warehouse on lot 39 of the Alameda Business Park

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 39 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Alameda Business Park  
 Current Zoning: SU-2, IP-EP Proposed zoning: \_\_\_\_\_  
 Zone Atlas page(s): C-16-Z No. of existing lots: \_\_\_\_\_ No. of proposed lots: \_\_\_\_\_  
 Total area of site (acres): .55 ac. Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. 101606440020010910 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: Calle Alameda N.E.  
 Between: Paseo Alameda and Vista Alameda

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): DRB 98223

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: \_\_\_\_\_

SIGNATURE George Sanders DATE 3/27/06  
 (Print) George Sanders Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB-00402</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$ 385.<sup>00</sup></u>
_____	<u>CMP</u>	_____	<u>\$ 20.<sup>00</sup></u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>April 5, 2006</u>			Total <u>\$ 405.<sup>00</sup></u>

Andrew Garcia 3/28/06 Project # 1004784

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Completed Site Plan for Subdivision Checklist
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - \_\_\_ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - \_\_\_ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - \_\_\_ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

George Sanders  
Applicant name (print)

George Sanders 3/27/06  
Applicant signature / date



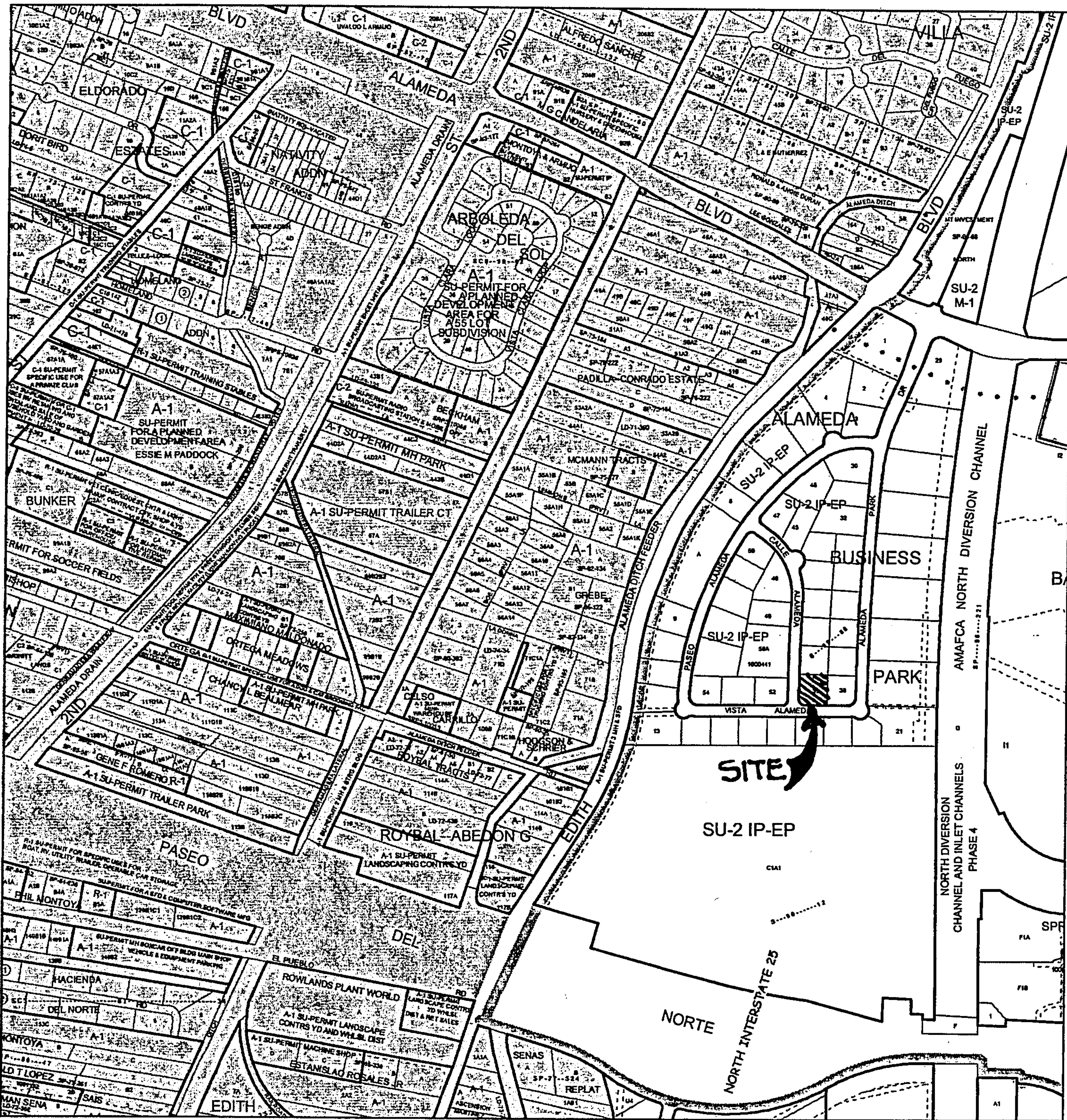
Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06 DRB - - 00402  
 \_\_\_\_\_  
 \_\_\_\_\_

Andrew Garcia 3/28/06  
Planner signature / date

**Project # 1004784**



For more current information and more details visit: <http://www.cabq.gov/gis>

**AGIS**  
Albuquerque Geographic Information System

Map amended through: 11/2/2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-16-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0                      750                      1,500  
Feet

# SANDERS & ASSOCIATES ARCHITECTS, P. C.

5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, NEW MEXICO 87110 [505] 255-5040 FAX [505] 255-5040  
Architecture Landscape Architecture Interior Design

March 27, 2006

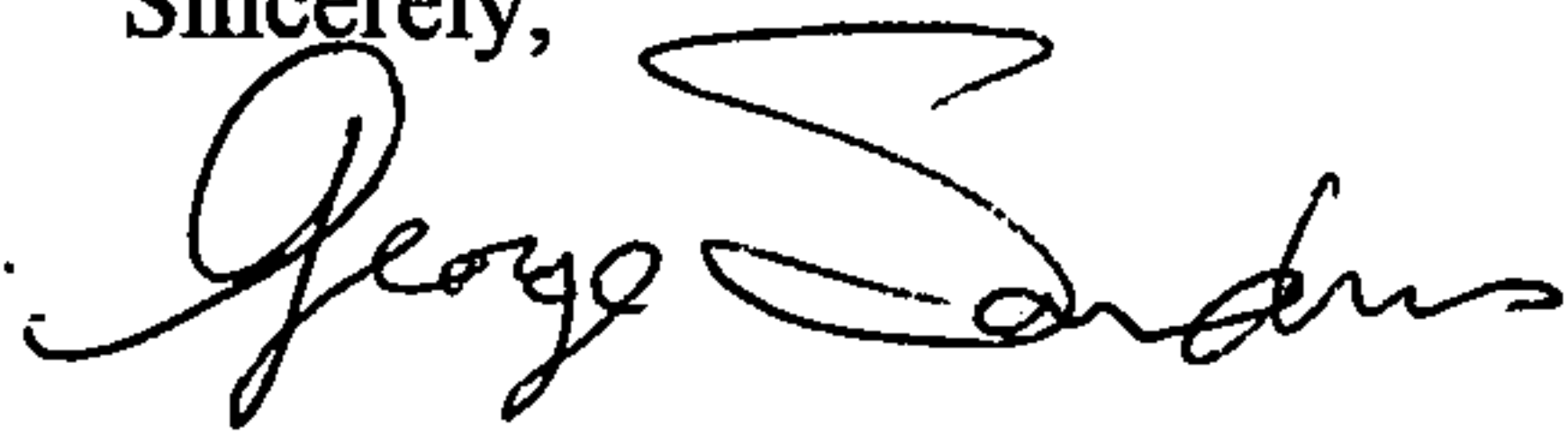
Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street N.W.  
Albuquerque, N.M. 87102

To Whom It May Concern

We present the attached site plan and related drawings for Site Development Plan for Building Permit approval. The proposed building is on lot number 39 in the Alameda Business Park. The proposed building will be an office / warehouse occupancy consisting of 4,218 s.f. of warehouse and 3,000 s.f. of office. The proposed development conforms to the requirements of the North I-25 Sector Development Plan, The Alameda Design Overlay Zone, the North Valley Area Plan, and the IP, Industrial Park Zone.

The refuse collection and outdoor storage areas will be screened by a 6' tall colored masonry wall surrounding the back 2/3rds of the property. All loading and unloading of commercial vehicles will occur behind the building and behind the masonry site wall. The setback requirements of 20' front yard, 10' side yard and 10' rear setbacks have been met or exceeded. Landscaping requirements of the Alameda Business Park have been met as is evidenced on the attached landscaping plan. Building colors and materials conform to existing colors and materials of buildings within and adjacent to the Alameda Business Park.

Sincerely,



George Sanders, AIA



March 25, 2006

George Sanders  
Sanders and Associates, Architects

Re: Lot 39  
Alameda Business Park



---

MEMBER, AGC OF AMERICA

Dear George,

Please consider this letter your authorization to represent myself and Baker Construction Co. Inc. regarding City of Albuquerque planning and building permit issues for the building to be built on Lot 39 in Alameda Business Park in Albuquerque, NM,

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Baker", with a long horizontal flourish extending to the right.

Michael Baker, pres.  
Baker Const. Co. Inc.

EXISTING FENCE  
TO REMAIN

# VICINITY MAP

ZONE ATLAS MAP NO. C-16

AMENDED 8/1/99

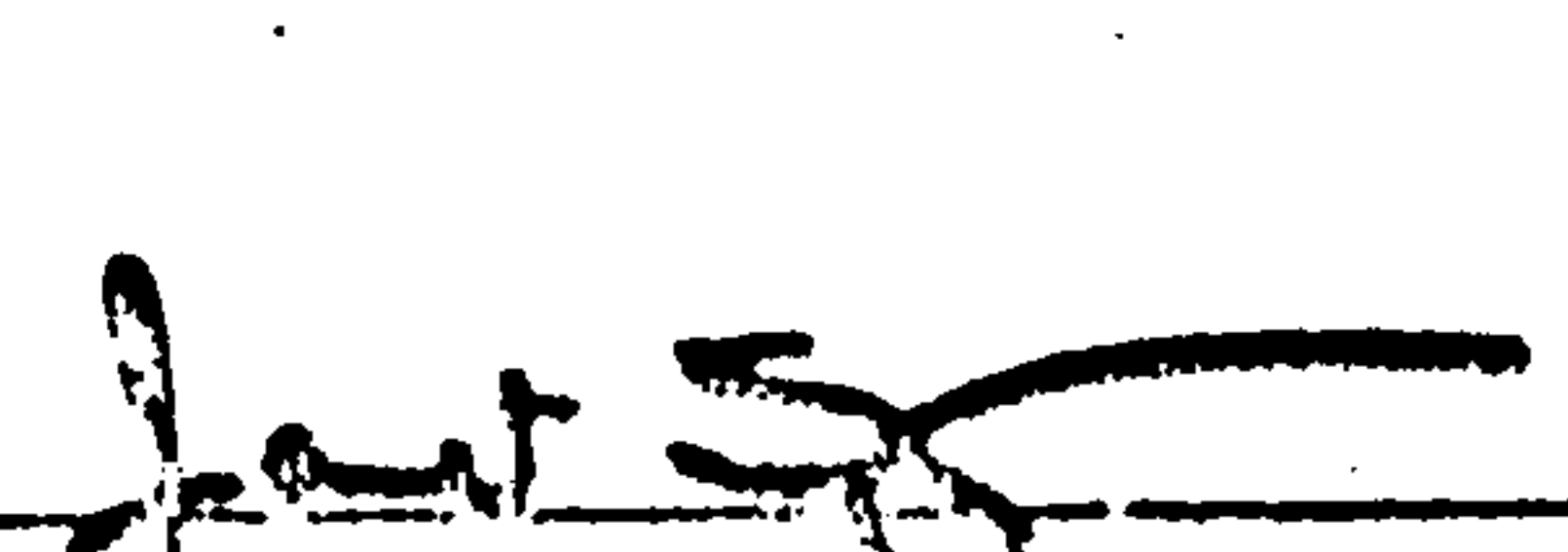
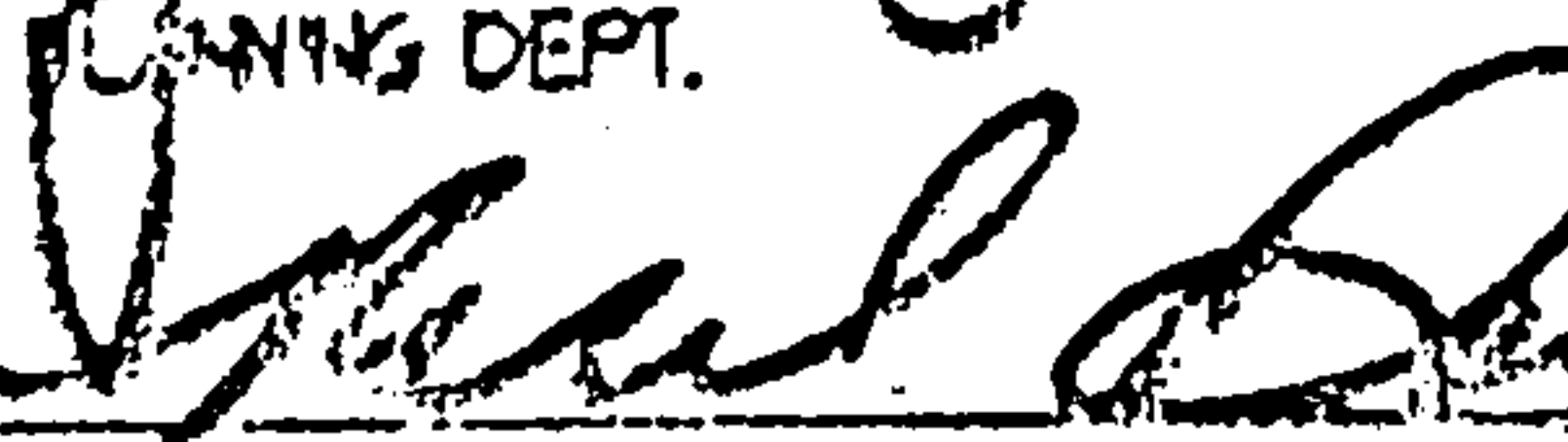
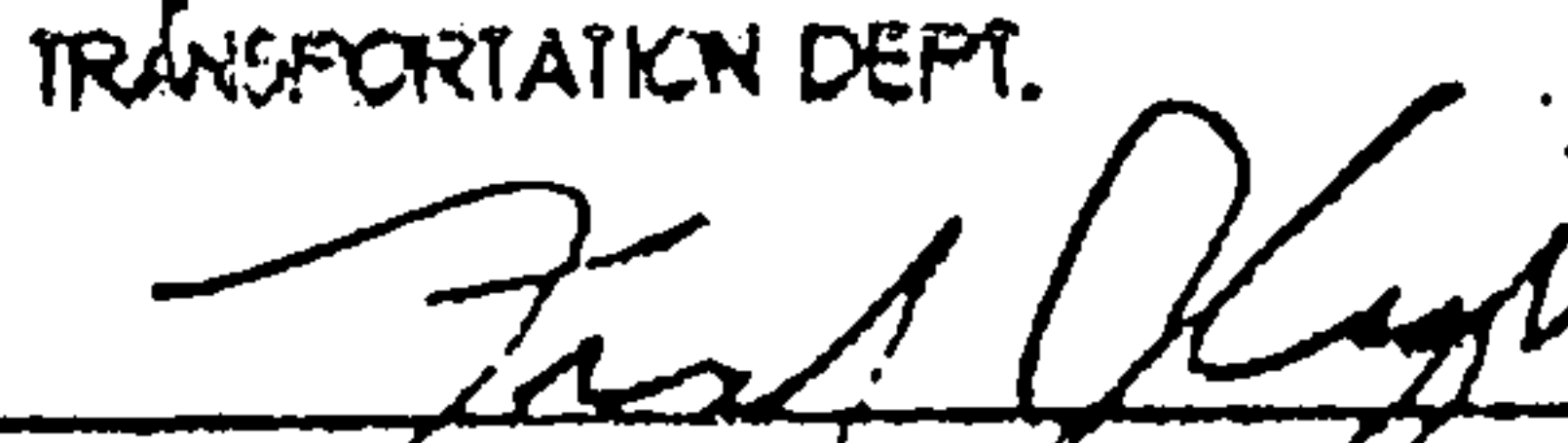
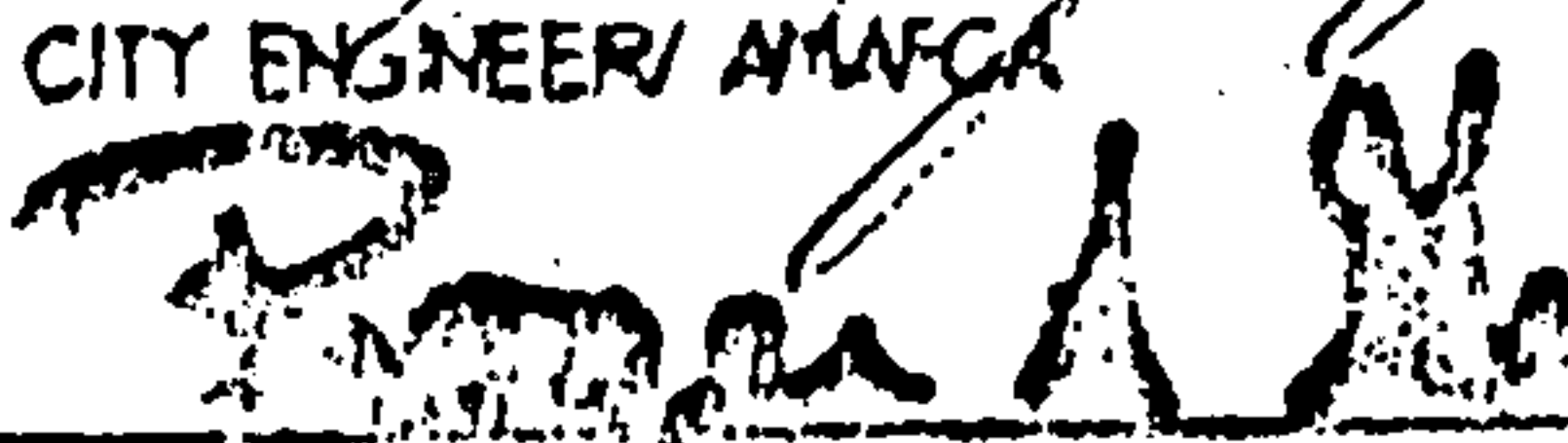
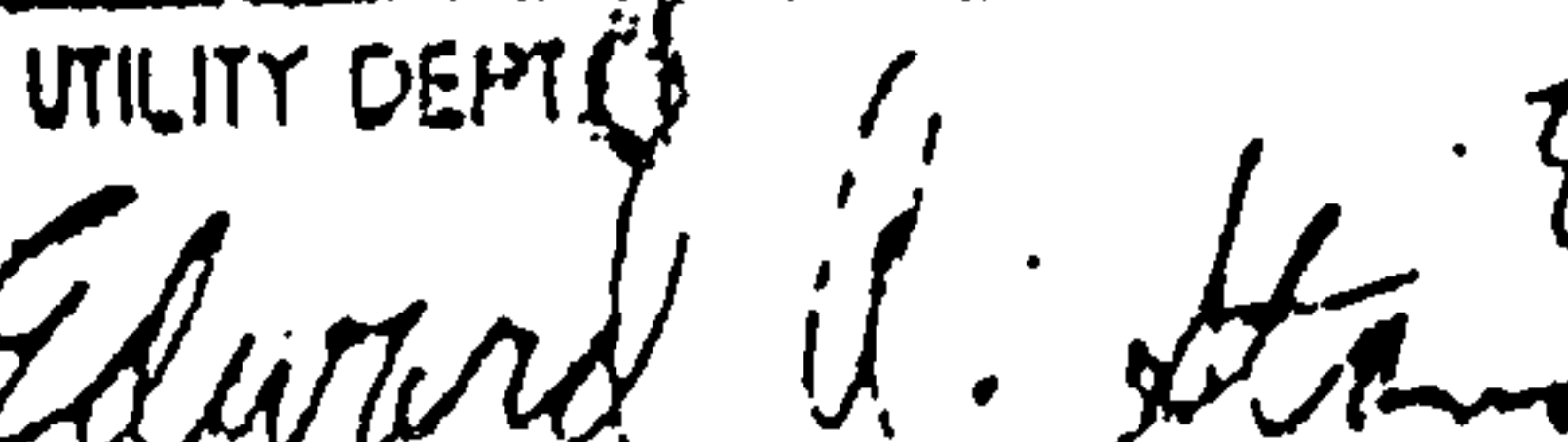

## SITE DEVELOPMENT PLAN NOTES:

1. PROPOSED DEVELOPMENT PLAN MUST CONFORM TO THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN, THE ALAMEDA DESIGN OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE IP INDUSTRIAL PARK ZONE.
2. SITE DEVELOPMENT PLANS AND LANDSCAPE PLANS ARE REQUIRED FOR PERMISSIVE USES ON ALL LOTS. LOTS 23, AND 14-36 SHALL BE APPROVED BY THE PLANNING DIRECTOR. LOTS 1, 4-13, AND 37-50 SHALL BE APPROVED BY THE PLANNING DIRECTOR FOLLOWING NOTIFICATION OF AND OPPORTUNITY FOR REVIEW BY THE ALAMEDA NORTH VALLEY NEIGHBORHOOD ASSOCIATION.
3. ALL REFUSE COLLECTION AND OUTDOOR STORAGE AREAS SHALL BE VISUALLY SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT PROPERTY LINES. SCREENING SHALL CONSIST OF OPAQUE MATERIALS. SOLID WALLS OR PROPERTY FENCINGS SHALL BE AT LEAST SIX FT HIGH AND BE CONSTRUCTED OF MATERIALS WHICH BLEND WITH THE ARCHITECTURAL STYLE OF BUILDINGS ON SITE.
4. ALL LOADING AREAS USED FOR THE LOADING AND UNLOADING OF COMMERCIAL VEHICLES SHALL BE SET BACK FROM THE PUBLIC RIGHT-OF-WAY LINE AND FROM ALL PROPERTY LINES TO REDUCE THE VISUAL IMPACT OF LARGE COMMERCIAL VEHICLES AND LOADING AREAS.
5. BUILDING SETBACK REQUIREMENTS:
  - A) FRONT YARD: NOT LESS THAN 20'
  - B) SIDE YARD: NOT LESS THAN 10'
  - C) REAR YARD: NOT LESS THAN 10'
  - D) LOTS 1 AND 4-13 SHALL HAVE A 5' SETBACK FROM THE TOP OF THE SLOPED PORTION OF THE LOT, ADJUTING EDITH BLVD.
6. STRUCTURE HEIGHT AND WIDTH SHALL FALL WITHIN 45° ANGLE PLANES DRAIN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 60 FT (EXCEPT AS FURTHER DEFINED IN THE ZONING CODE).
7. NO MORE THAN 50% OF THE SURFACE OF ANY LOT SHALL BE COVERED WITH BUILDINGS.
8. FOR LANDSCAPE BUFFER REQUIREMENTS SEE LANDSCAPE NOTES ON SHEET 2 OF 2.
9. SEE SHEET 2 OF 2 FOR SIGNAGE, SITE LIGHTING, AND ARCHITECTURAL REQUIREMENTS.

TRACT C-1-A-1, LANDS OF  
SPRINGER BUILDING MATERIALS CORP.  
(EXISTING GENERAL MILLS PLANT)  
ZONED SU-2, IP-EP.

DRB 98-223

THIS PLAN IS CONSISTENT WITH THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN AND CITY OF ALBUQUERQUE ZONING ORDINANCE.

 8/1/99  
 PLANNING DEPT. DATE  
 3-29-99  
 TRANSPORTATION DEPT. DATE  
 C-16-97  
 CITY ENGINEER/AMAFCA  
 3-7-99  
 UTILITY DEPT. DATE  
 8-4-99  
 C.I.P. DATE  
 3-9-99  
 C.I.P. DATE

AMENDED 8/1/99

NOTE:

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

*Jerry San Juan* 3/27/06  
 \_\_\_\_\_  
 Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**Accompanying Material**

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

**SHEET #1 - SITE PLAN**

**A. General Information**

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
    1.0 - 5.0 acres            1" = 20'  
    Over 5 acres                    1" = 50'  
    Over 20 acres                 1" = 100'      *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting, (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

### 2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including handicapped spaces
  - 2. Calculations: spaces required: 17 provided: 17  
Handicapped spaces required: 1 provided: 1
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 1  
provided: 1
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location and description of amenities, including patios, benches, tables, etc.

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

## 4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private)
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## 5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names)
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

## SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

## A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

## A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

## B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

*Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.*

**EXTERIOR LIGHT FIXTURES**

NOTE: ALL EXTERIOR LIGHTING SHALL BE FULL CUT-OFF AND LOW GLARE TO PREVENT LIGHT FROM GLARING ON ADJACENT PROPERTIES AND ROADWAYS.

TYPE 1: WALL PACK UP 6'-0"

TYPE 2: RECESSED SCOTT DOWNLIGHT

CONCRETE WALL

CONCRETE BLOCK

ASPHALT DRIVE

**LEGAL DESCRIPTION**

LOT 39, ALAMEDA BUSINESS PARK (A PART OF TRACT B-14-1, LOTS 39-48 OF ALAMEDA BUSINESS PARK) AS SHOWN ON MAPS AND RECORDED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON JUNE 21, 1988, IN BOOK REC. PAGE 87, AS DOC. NO. 185988-84.

**ZONING:**

602 B

**SHEET INDEX**

C-1 SITE PLAN

C-2 SITE LAYOUT PLAN

C-3 SITE GRADING PLAN

A-1 BUILDING ELEVATIONS

**PARKING REQUIREMENTS**

OFFICE: 2,000 SF, 1 SPACE PER 200 SF

WAREHOUSE: 4,000 SF, 1 SPACE PER 200 SF

TOTAL REQUIRED: 11 SPACES

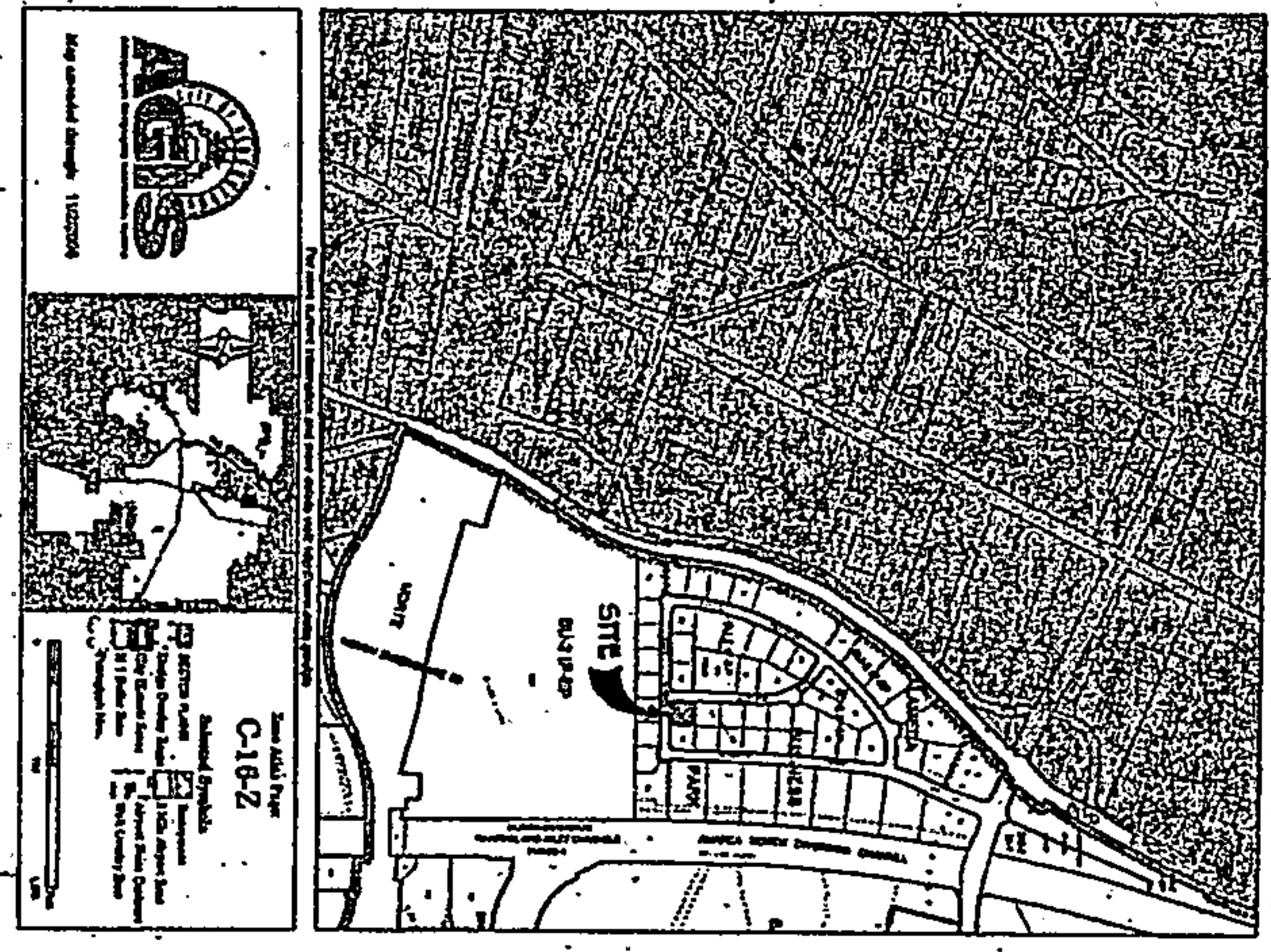
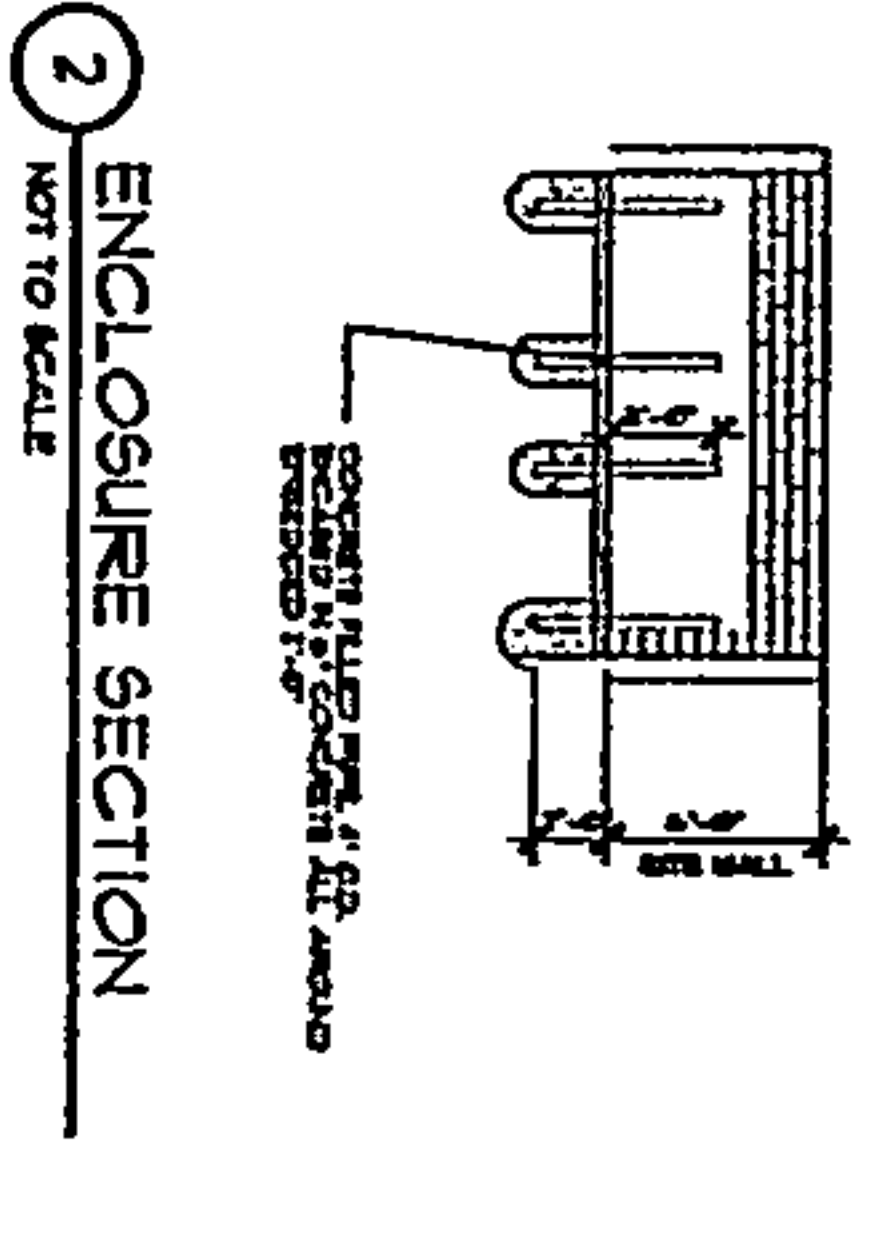
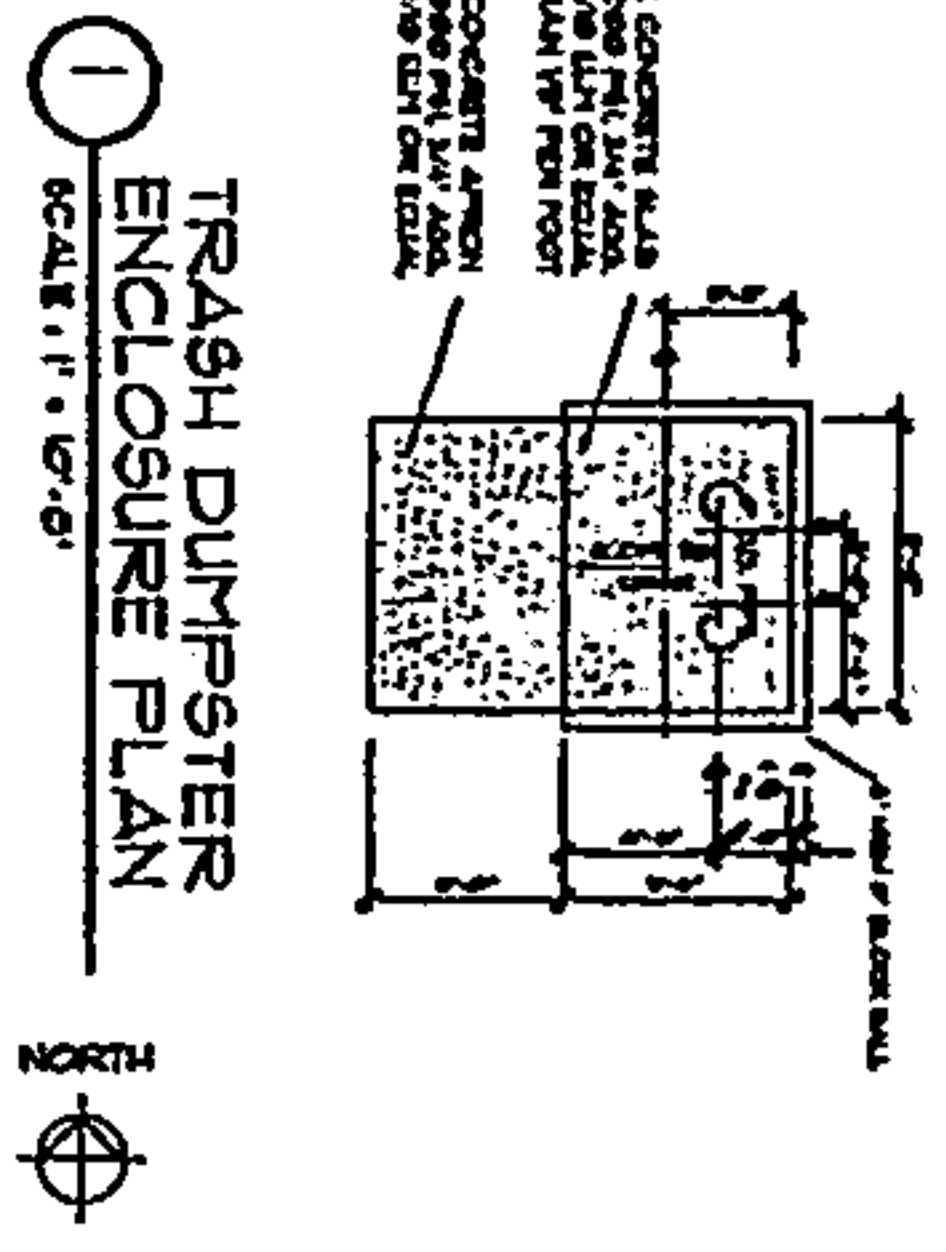
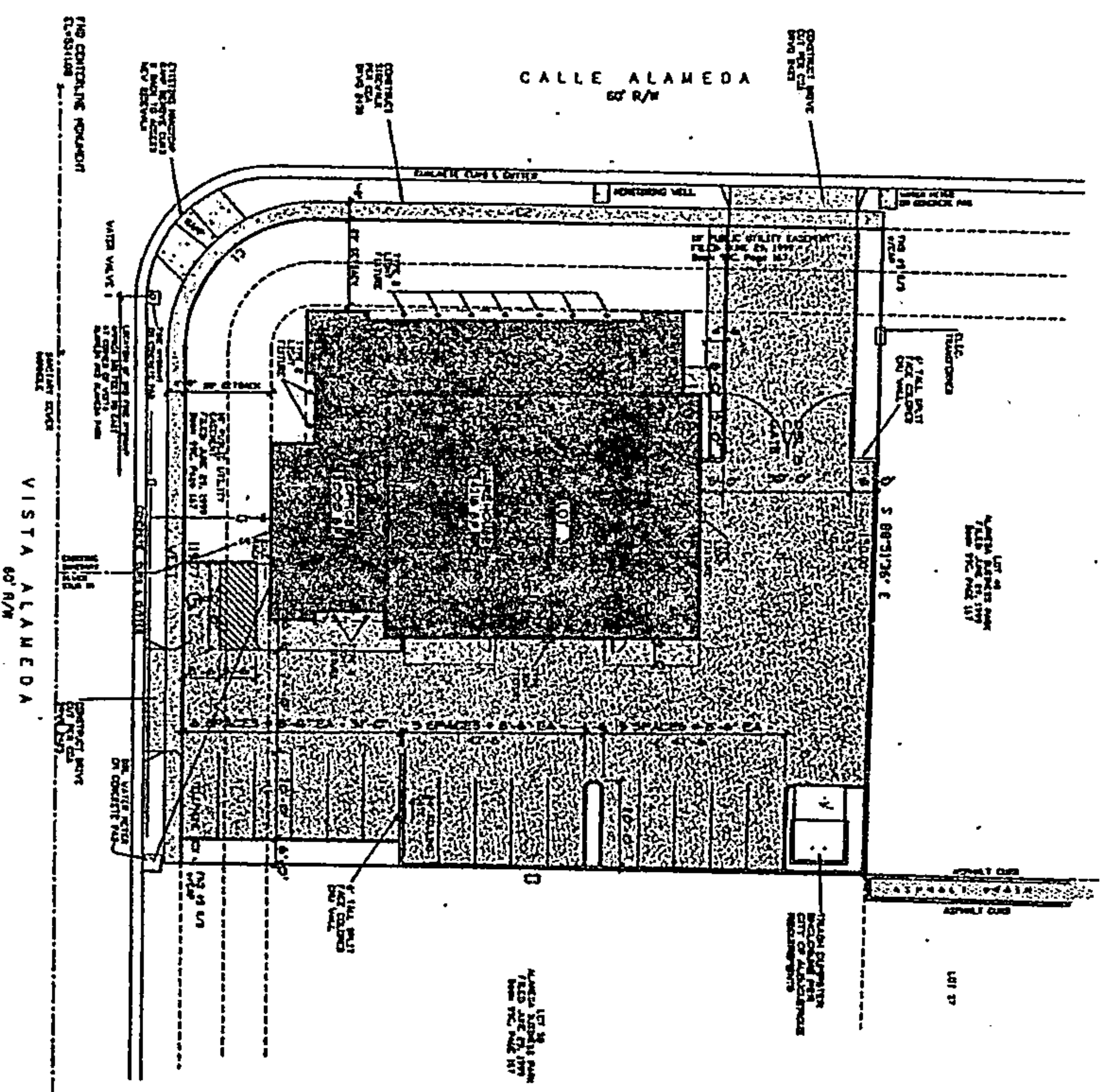
TOTAL PROVIDED: 11 SPACES

TOTAL PROVIDED: 11 SPACES

3 SPACES

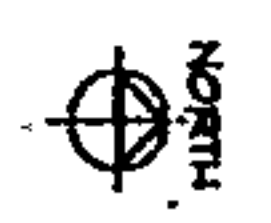
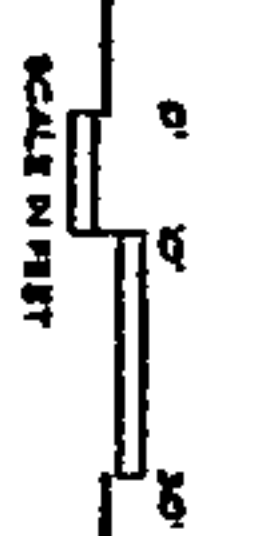
11 SPACES

11 SPACES



**SITE PLAN**

SCALE: 1" = 10'-0"



**201 PLANNING & ENGINEERING OFFICE**

874-3811

DESIGN APPROVED

FOR CONTRACTOR'S USE ONLY

DATE: 11/15/11

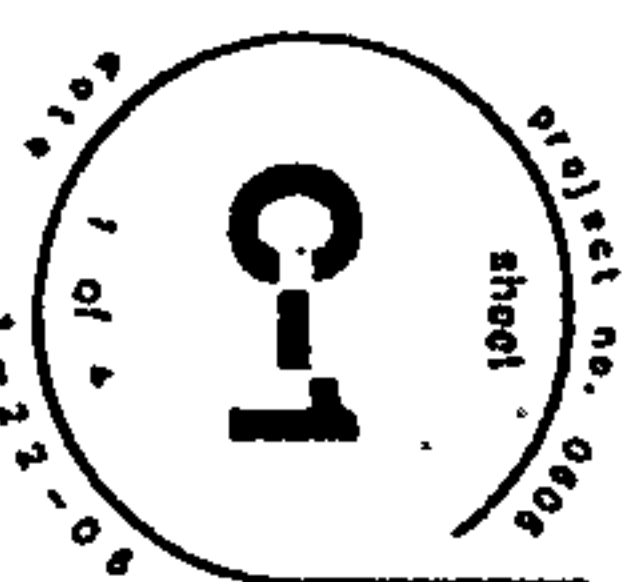
**PROJECT NUMBER:** \_\_\_\_\_ **APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the findings and conditions in the Official Notification of Decisions are satisfied. It is an irrevocable site requirement (J) yes ( ) no. If yes, then a set of approved site plan with a work order is required for any construction within the public right-of-way or for construction of public improvements.

**END SITE DEVELOPMENT PLAN (CONTRACTOR'S USE ONLY)**

Environmental Health	Date	Maria C. Allen	Soils/Water Management	Date	3/24/12
Traffic Engineering	Date		Utilities Development	Date	
Plans & Recreation Dept.	Date	City Engineer		Date	
City/County Planning Department	Date		Signature block, stamp		

**SITE PLAN FOR BUILDING PERMIT**



**BAKER CONSTRUCTION OFFICE/WAREHOUSE**

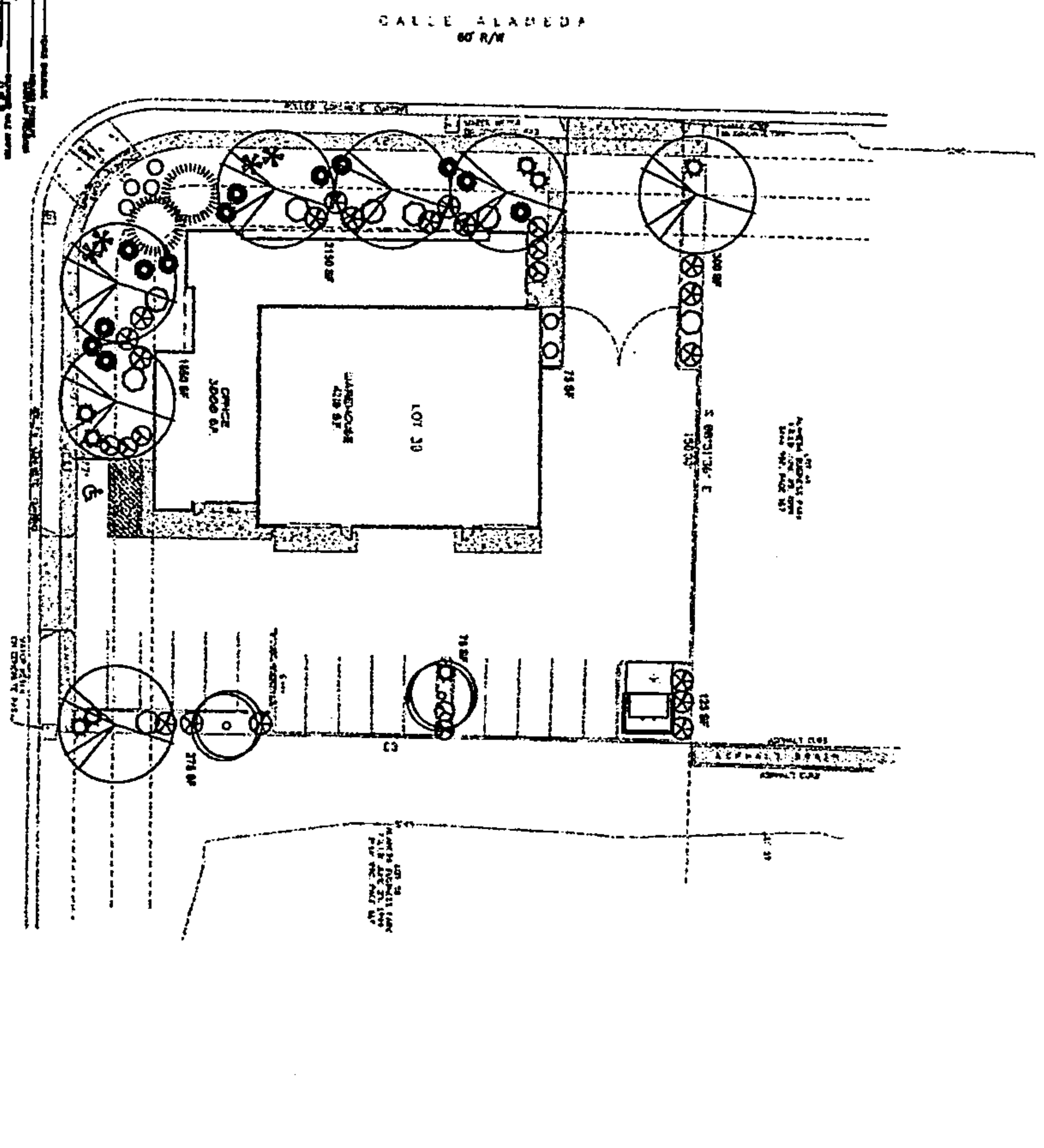
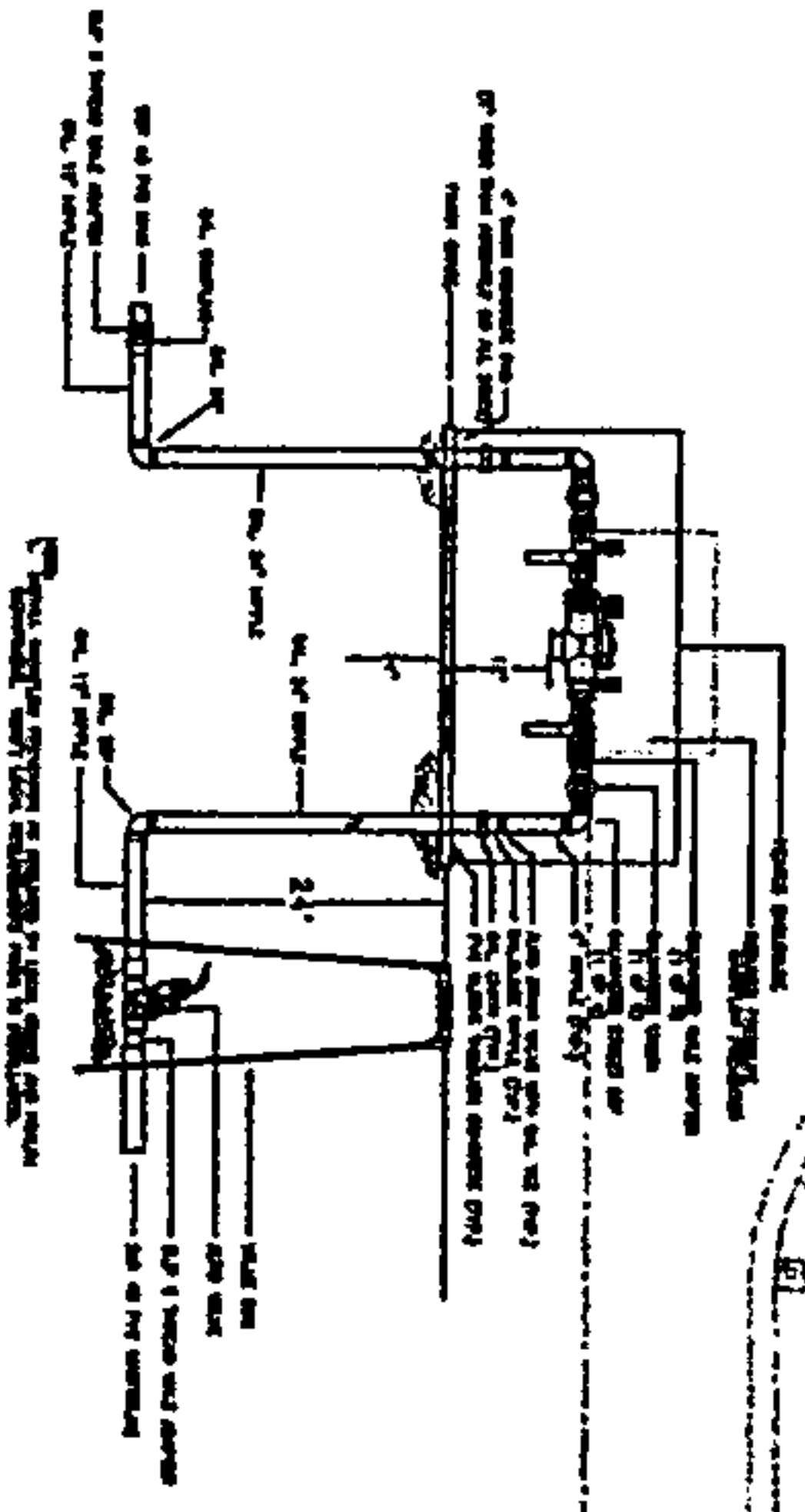
**LOT 39 ALAMEDA BUSINESS PARK**

**ALBUQUERQUE, NEW MEXICO**



LANDSCAPE PLAN  
SCALE: 1" = 30'-0"

Master Valve w/RPBA



**PLANT LEGEND**

Qty	Symbol	Scientific Name	Size	Water Use	Landmark
2	⊙	Forsythia macranthera	1-04	Medium	
7	⊙	Prunella mexicana	2-04	Medium	
2	⊙	Artemisia tridentata	1-0	Medium	

Symbol	Plant Name	Size	Water Use	Landmark
⊙	Buddleia davidii	1-04	Medium	30 ft x 1500 ft
⊙	Conoclinium parryi	1-04	Low	50 ft x 1500 ft
⊙	Chenopodium	1-04	Low	15 ft x 1400 ft
⊙	Hebe xanthea	1-04	Low	30 ft x 800 ft
⊙	Artemisia tridentata	1-04	Low	12 ft x 8-12 ft
⊙	Artemisia tridentata	1-04	Medium	30 ft x 1500 ft

**SITE DATA**

GROSS LOT AREA	3,122 sq ft
NET LOT AREA	1,831 sq ft
REQUIRED LANDSCAPE AREA	1,291 sq ft
PERCENT OF NET LOT AREA	70%

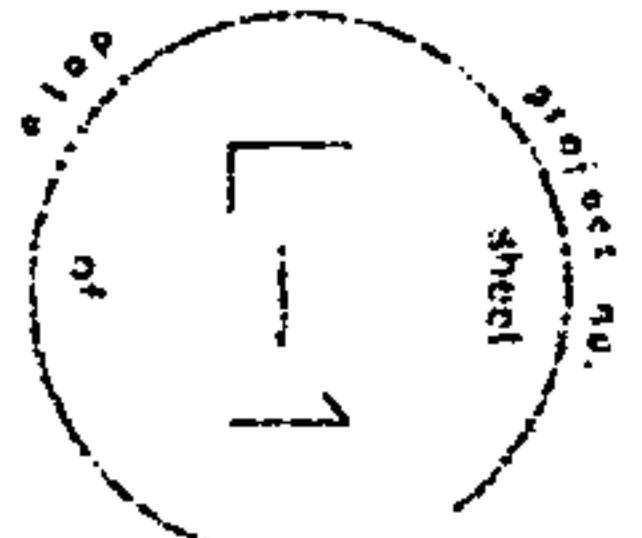
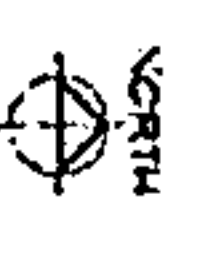
**PLANTING RESTRICTIONS APPROACH**

A MINIMUM OF 50% OF THE PLANTINGS TO BE PLANTED IN THE LANDSCAPE AREA TO BE USED FOR WATER USE SHALL BE PLANTED AT 17 INCH SPACING (17 SPACING) 2

**NOTE**

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER. PLANTINGS TO BE WATERED BY AUTO DWP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (RBP) SHALL BE 15 INCH CITY OF ALBUQUERQUE WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THIS PLAN IS TO COMPLY WITH C.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH. THE INTENT OF THIS PLAN TO PROTECT THE LIVE CONDUIT OF LANDSCAPE AREA AT INSTANTLY. LANDSCAPE AREA TO BE MAINTAINED WITH GRASS. APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR ANY COMPANY WITH OR CONSULTANT FROM THE COMPANY AND WATER WASTE ORDINANCE. THESE ARE NOT TO BE PLACED IN PUBLIC UTILITIES. NO PLANTING SHALL BE MADE THINER THAN 17 INCH.

SCALE: 1" = 30'-0"

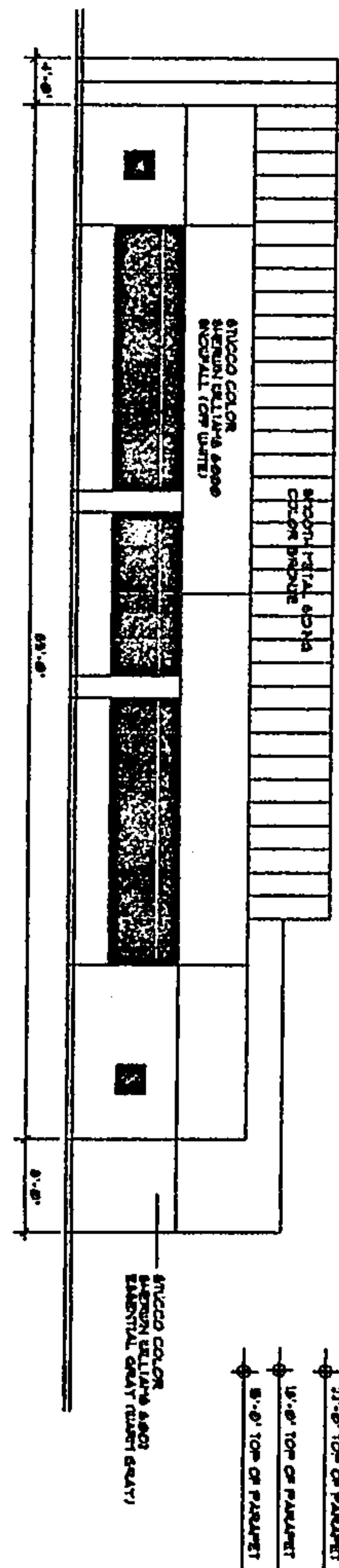


BAKER CONSTRUCTION OFFICE/WAREHOUSE  
LOT 30 CALLE ALAMEDA  
ALBUQUERQUE, NEW MEXICO

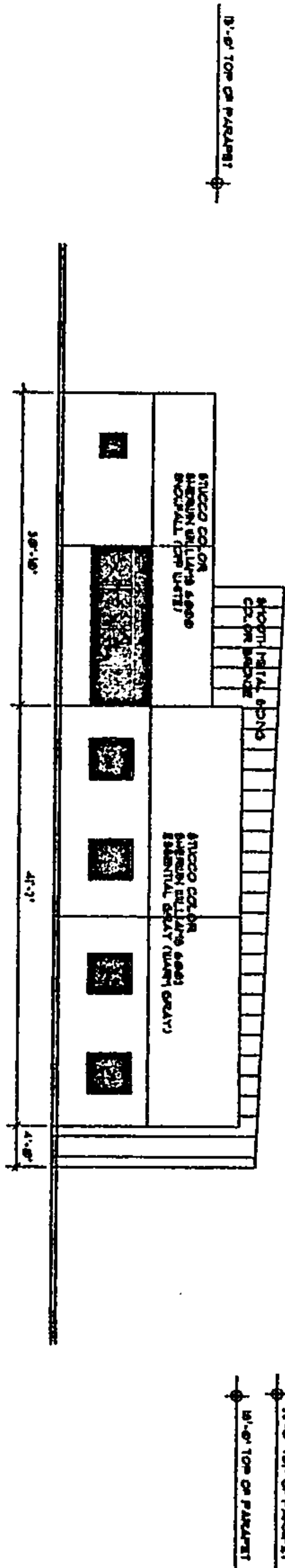




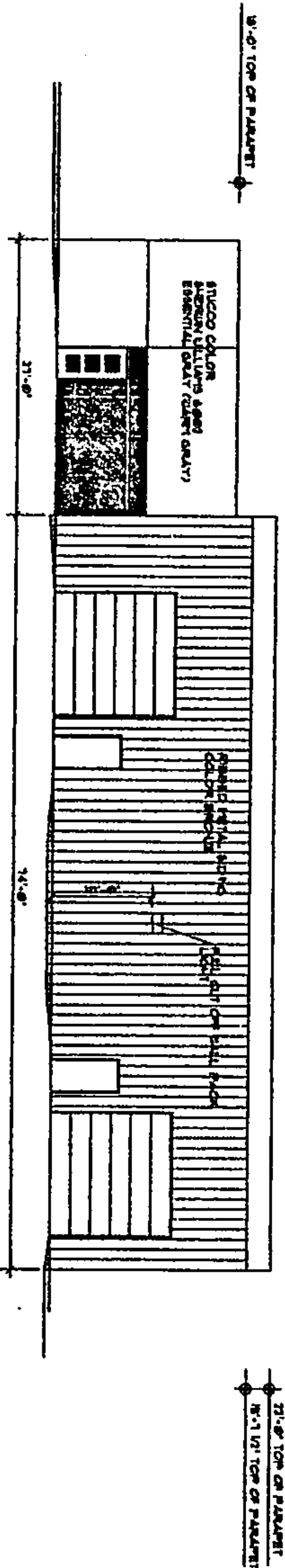




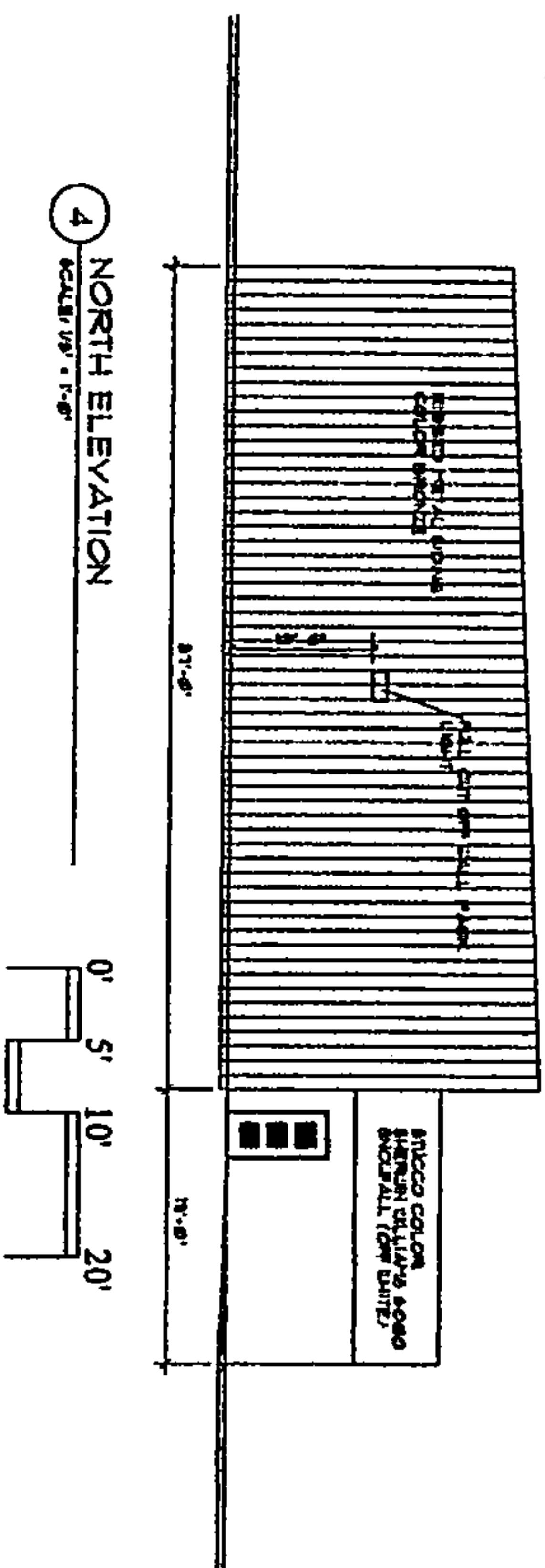
1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



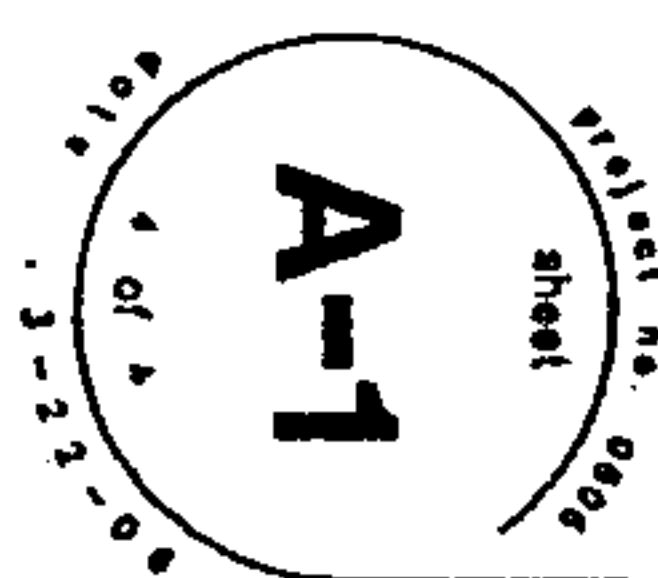
2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



BAKER CONSTRUCTION OFFICE/WAREHOUSE  
LOT 39 CALLE ALAMEDA  
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, N.M. 87110 (505) 255-5040 FAX (505) 255-5040



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME

Mike Baker

AGENT

Sanders & Associates Architects

ADDRESS

5921 Lomas Blvd NE

PROJECT & APP #

1004784 / 06 DRB-00402

PROJECT NAME

Alameda Business Park

\$ 20.<sup>00</sup> 441032/3424000 Conflict Management Fee

\$ 385.<sup>00</sup> 441006/4983000 DRB Actions

\$            441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$            441018/4971000 Public Notification

\$            441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 405.<sup>00</sup> TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

City Of Albuquerque  
Treasury Division

3/28/2006 8:43AM LOC: ANNX  
RECEIPT# 00059699 WSH 007 TRANSH 0003  
Counter receipt doc 6/21/04 Fund 0110  
Activity 4983000 TRSKAL  
Trans Amt \$405.00  
J24 Misc

3/28/2006 8:43AM LOC: ANNX  
RECEIPT# 00059698 WSH 007 TRANSH 0003  
Account 441032 Fund 0110  
Activity 3424000 TRSKAL  
Trans Amt \$405.00  
J24 Misc

VI CHANGE \$385.00 \$405.00 \$0.00

Thank You

\$20.00  
Thank You